



Development Permit Panel
Wednesday, June 24, 2026

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: John Hopkins, Acting General Manager, Planning and Development, Acting Chair
Marie Fenwick, Director Arts Cultural and Heritage
Lloyd Bie, Director, Transportation

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded
That the minutes of the meeting of the Development Permit Panel held on June 10, 2026, be adopted.

CARRIED

1. DEVELOPMENT PERMIT DP 24-012108
(REDMS No. 8414725)

APPLICANT: Orion Construction
PROPERTY LOCATION: 14111 Entertainment Boulevard

INTENT OF PERMIT:

- 1. Permit the subdivision of 14111 Entertainment Boulevard into three lots and permit construction of a two-storey commercial industrial mixed-use building on proposed Lot 2 and a six-storey hotel on proposed Lot 3, on a site zoned "Commercial and Light Industrial (ZC56) - Riverport (Fraser Land)"; and
- 2. Vary the minimum required parking space provisions of Richmond Zoning Bylaw 8500 applicable to proposed Lot 1 from 877 stalls to 600 on a site zoned "Entertainment & Athletics (CEA)".

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Applicant's Comments

Ruchir Dhall, Architecture Panel Inc., with the aid of the visual presentation (attached to and forming part of these minutes as Schedule 1) provided background information on the proposed development highlighting the following:

- This project optimizes use of the parcel, consisting of Lots 1, 2 and 3. Lot 1 contains the existing theatre and currently Lots 2 and 3 are a large parking lot;
- The proposal consists of a mixed commercial and industrial building with rooftop parking on Lot 2 and a hotel on Lot 3;
- The applicant has taken into consideration Advisory Design Panel's comments and made changes to the design as per their recommendations;
- The site is safely designed for pedestrian and vehicle movement;
- Sustainability features, including high efficiency LED for all outdoor lighting will be incorporated into the proposed development;
- The project is consistent with the City's Zoning Bylaw requirements for EV charging and the BC Building Code and the City's energy efficiency requirements;
- The commercial-industrial building and hotel are anticipated to comply with ASHRAE 90.1-2019 and Step 2 with EL-3;
- The design promotes high visibility across the site through the strategic placement of glazing, lighting and active uses;
- There is barrier free accessibility across the entire site linking the new buildings and the existing theatre;
- To improve rooftop parking accessibility, an elevator was added with a direct connection to the hotel beneath the ramp;
- Amenities will be located throughout the site; and
- The variation in colour and the use of canopy elements will be used to define individual tenant spaces and enhance visual interest.

Mohamed Ahmed, AMR Systems. Inc., with the aid of the same visual presentation, spoke to the main landscape features noting that (i) the landscape design enhances the public realm, increases tree canopy, provides amenity spaces and exceeds the City's minimum tree replacement requirement, (ii) the covered amenity areas proposed in the northwest corner of the site include benches and picnic seating, (iii) extensive bicycle parking is proposed to support active transportation, (iv) large landscape islands and structural soil is incorporated throughout the site to support long term tree health, (v) at the south west corner of the site a landscape plaza with seating, decorative paving and enhanced planting is proposed, (vi) existing trees will be retained and protected where feasible per the arborist's recommendations, trees that are removed are proposed to be replaced at a minimum 2 to 1 ratio, and (vii) 119 on-site trees are proposed, along with a diverse mix of shrubs, ground covers and perennials.

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Panel Discussion

In response to queries from the Panel, the applicant advised that (i) the buildings are built to the flood construction level which is above the existing parking lot, (ii) there are significant off-site roadwork requirements that are proposed as part of the development, (iii) per the grading plan, the drive isle between Lot 1 and 2 will have the new slab at 3.0 m, and the asphalt on the east side of the commercial building will meet the existing building at grade, then slope up about 0.5 m so that the area functions as a single parking lot. The parking will be raised to meet the building entrance, (iv) there is no plan for street lighting for the drive isle but the applicant will put together some information on a lighting strategy prior to Council issuance, (v) there are smaller amenity spaces distributed throughout the site for employees, pedestrians, and cyclists, while a larger corner plaza serves as a shared amenity for all users, (vi) the zoning allows a broad range of potential tenancies, from restaurants and commercial amenities to front-of-house sales, with a façade and layout suited to diverse users, (vii) there will be signage directing movie patrons to the overflow parking on the rooftop, (viii) an elevator has been added on the southside of the proposed commercial building, and (ix) site access will remain open throughout construction, with access from No. 6 Road and Steveston Highway maintained, (xii) the parking area will be used for laydown and staging, with no impact to the site. In addition, staff advised that a detailed Construction Parking and Traffic Management Plan must be submitted to and approved by the City prior to building permit issuance.

Staff Comments

Joshua Reis, Director, Development, noted that (i) the proposed development and subdivision into three lots are intended to function together, with statutory rights-of-way over the main drive aisles and cross access easements for shared parking secured to support the proposed design, (ii) the proposed parking variance is only applicable to Lot 1 (existing movie theatre), (iii) the applicant has provided a parking survey and a transportation memorandum supporting the proposed variance, which has been supported by the City's Transportation department, (iv) prior to Zoning Bylaw adoption, the applicant is required to enter into a Servicing Agreement for frontage improvements and intersection upgrades on Steveston Highway and No. 6 Road, and water and storm service connections, and (v) prior to Building Permit issuance, the applicant must register a legal agreement committing to voluntary sustainability measures, including high efficiency LED outdoor lighting and water conservation features including plumbing fixtures and high efficiency rain metres and irrigation.

Panel Discussion

None

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Correspondence

None.

Gallery Comments

None.

Panel Discussion

The Panel expressed support for the application noting that the proposed development is well suited for the area, activates a large site, and reflects strong safety and CPTED efforts. The Panel recommended additional lighting along the drive corridors, as they are public Statutory Rights of Way (SRWs). Staff were given direction to work with the applicant to address the lighting of the public SRW areas prior to the application advancing to Council for issuance.

Panel Decision

It was moved and seconded

1. *Permit the subdivision of 14111 Entertainment Boulevard into three lots and permit construction of a two-storey commercial industrial mixed-use building on proposed Lot 2 and a six-storey hotel on proposed Lot 3, on a site zoned "Commercial and Light Industrial (ZC56) - Riverport (Fraser Land)"; and*
2. *Vary the minimum required parking space provisions of Richmond Zoning Bylaw 8500 applicable to proposed Lot 1 from 877 stalls to 600 on a site zoned "Entertainment & Athletics (CEA)".*

CARRIED

2. **New Business – None.**

3. **Date of Next Meeting: July 15, 2026**

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (4:09 p.m.).

CARRIED

4.

Development Permit Panel
Wednesday, June 24, 2026

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, June 24, 2026.

John Hopkins
Acting Chair

Raman Grewal
Legislative Services Coordinator

Schedule 1 to the Minutes of
the Development Permit Panel
meeting held on Wednesday,
June 24, 2026



Hotel

DPP FOR DP 24-012108

14111 Entertainment Boulevard, Richmond, BC.



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Project Brief.

This development proposes two buildings: a commercial building with 33 units and a hotel with 124 rooms.

Site Context

The subject property at 14111 Entertainment Boulevard occupies a prominent corner at Steveston Highway and No. 6 Road in proximity to the Fraser River. The site is surrounded by a mix of commercial and industrial uses, with broader agricultural and residential areas nearby. Currently developed with a movie theatre and associated surface parking under CEA (Entertainment and Athletics) zoning, the 5.09-hectare parcel is significantly underutilized, with the theatre footprint covering only 18% of the land. Its strategic location, direct access to Highway 99, and adjacency to established commercial activity make it well-positioned for a redevelopment that enhances the walkability of the area, introduces employment-generating uses, and better aligns the land use with evolving market demand.

Planning

The subject property at 14111 Entertainment Boulevard occupies a prominent corner at Steveston Highway and No. 6 Road in proximity to the Fraser River. The site is surrounded by a mix of commercial and industrial uses, with broader agricultural and residential areas nearby. Currently developed with a movie theatre and associated surface parking under CEA (Entertainment and Athletics) zoning, the 5.09-hectare parcel is significantly underutilized, with the theatre footprint covering only 18% of the land. Its strategic location, direct access to Highway 99, and adjacency to established commercial activity make it well-positioned for a redevelopment that enhances the walkability of the area, introduces employment-generating uses, and better aligns the land use with evolving market demand.

Sustainability Strategy

1. Energy Efficiency and Renewable Energy:

- Meet Richmond Bylaw requirements for EV charging for commercial/industrial building and hotel.
- Use high-efficiency LEDs for all outdoor lighting to improve building efficiency.
- Ensure base building electrical infrastructure can support tenant installation of motion sensors and timers in common areas to reduce electricity consumption.
- Limit window-to-wall ratio to reduce solar heat gain in industrial building.
- Incorporate high-performance glazing to enhance building energy efficiency.
- Design hotel to Step Code compliance.
- Design Industrial/commercial building to NECB 2020 or ASHRAE 90.1-2019 compliance.

2. Water Conservation:

- Install rain meter irrigation systems to optimize water use.
- Use water-efficient plumbing fixtures.
- Select drought-resistant and native plant species to minimize the need for irrigation.

3. Sustainable Building Materials and Construction:

- Use of local and recycled materials for foundations, slabs, and wall panels, where possible.
- Select long-lasting, low-maintenance materials to extend the building's lifespan and reduce future obsolescence.
- Provide fully insulated exterior wall panels on the commercial/industrial building to improve energy efficiency.
- Maximize solar reflectivity by using high albedo paint on vertical building surfaces.

4. Waste Reduction and Recycling:

- Provide facilities for three-stream waste separation and recycling.
- Store garbage and waste materials in weatherproof, animal-resistant containers that are visually screened from adjacent sites and public thoroughfares.

5. Landscaping and Transportation:

- Ensure easy access to public transportation by adding pedestrian connections to reduce the carbon footprint of commuting.
- Meet bicycle parking requirements and install bike racks throughout the project.
- Limit the removal of existing trees where possible.

CPTED Strategy

1. Natural Surveillance

The design promotes high visibility across the site through the strategic placement of glazing, lighting, and active uses.

- Extensive glazing on the commercial building provides clear sightlines to loading areas, parking courts, and primary entrances.
- The six-storey hotel—with glazing on all elevations and 24-hour operation—introduces continuous passive surveillance, increasing “eyes on the street” throughout the day and night.
- Rooftop parking has been deliberately kept open, uncluttered, and well illuminated to minimize blind spots and eliminate opportunities for concealment.

These measures collectively enhance perceived and actual safety by increasing natural observation across key movement areas.

2. Access Control

Physical and operational design elements have been used to guide legitimate users into the site while deterring unauthorized entry into sensitive locations.

- Employee-only areas within the commercial building utilize controlled access systems (e.g., keycard authentication) to manage movement.
- The hotel is designed with two primary access points, both adjacent to staffed reception desks, ensuring visitors are consistently monitored upon arrival.

These features strengthen the site's ability to regulate access and reduce opportunities for inappropriate use.

3. Territorial Reinforcement

The development establishes a clear transition between public, semi-public, and private realms.

- Landscaped setbacks along Steveston Highway, No. 6 Road, and Entertainment Boulevard visually signal entry into the site and reinforce property boundaries.
- Clearly defined vehicular access points create an intuitive sense of arrival and indicate that the space is actively managed.

Through these cues, users can readily distinguish between areas intended for public passage and those reserved for site users, reinforcing territorial cues and reducing the likelihood of trespass.

4. Maintenance (Management & Operations)

Materials and design details have been selected to support a long-term maintenance strategy consistent with CPTED best practices.

- Durable building finishes and landscape materials minimize deterioration and reduce opportunities for vandalism.
- A proactive maintenance standard—including regular cleaning and prompt repairs—signals ongoing site management and discourages unwanted behaviour consistent with “broken windows” principles.
-

5. Activity Support

Site programming and circulation have been designed to encourage legitimate activity and reduce the presence of inactive or isolated areas.

- Pedestrian pathways between the commercial building, hotel, and adjacent Cineplex are clearly delineated and supported by directional signage and continuous lighting.
- Amenity spaces are strategically located in visible, well-used areas where passive surveillance is naturally high.
- The arrangement of commercial, hospitality, and parking functions promotes steady pedestrian movement, contributing to a sense of safety and shared stewardship of the site.

6. Defensible Space

The site layout clearly defines the development as a cohesive, privately managed environment.

- Adequate setbacks and separation from adjacent roadways and parcels create a defined perimeter.
- Building orientation and landscaping reinforce the sense that the space is intended for visitors, guests, and employees, limiting opportunities for non-legitimate users to enter undetected.

Accessibility Plan

The redevelopment is designed to provide an intuitive, barrier-free experience across the entire site, linking the new buildings and the existing theatre. Both new buildings will be developed to meet BCBC accessibility requirements, City of Richmond accessible parking and bylaw requirements, and general best practices. Universal washrooms, tactile wayfinding, and clear signage are incorporated throughout to support safe and easy navigation.

All commercial units and the hotel offer accessible ground-level entry with flush sidewalks and clear pedestrian connections. A continuous, generous walking route links offsite pedestrian networks, parking stalls, amenity areas, commercial unit entrances, the hotel lobby, theatre, and the rooftop parking area to ensure seamless movement for all users. This track across the site links raised stamped-concrete pathways, raised concrete sidewalks, painted colored roadway crossings, and painted coloured pathways in front of commercial units. Elevators and stairs in the hotel and commercial building, and a safely designed ramp for vehicles, connect the rooftop parking to the ground level, allowing hotel users and theatre visitors with easy access to and from the roof.

Visitors to the theatre requiring accessible parking will continue to use accessible stalls on Lot 1 near the theatre entrance. Accessible parking is provided at grade-level and on the rooftop on Lots 2 and 3, nearby building entrances. An elevator is provided to access the rooftop parking area, allowing hotel guests to reach their rooms easily. Together, these elements create an inclusive environment that supports comfortable, safe, and direct access for visitors, employees, and hotel guests.

Design Rationale.

1. Site Design

The overall site strategy transforms an underutilized surface parking area into a connected mixed-use development featuring commercial/industrial uses and a hotel.

The redevelopment achieves a cohesive site plan that integrates into the existing theatre parcel and adjacent road network. The plan emphasizes improved pedestrian permeability, establishing new off-site sidewalks and paths, multiple raised internal crossings, and clear pathways that link the hotel, commercial building, and existing theatre. These moves create a coherent circulation network that balances vehicular function with walkability. The site also features amenity areas placed strategically across the site.

Building placement reinforces the edges of Steveston Highway and No. 6 Road while framing new amenity zones and landscaped setbacks that soften the public realm and clearly define site organization. The commercial building is situated in the middle of the north parcel, is longest north-to-south, and features commercial frontages on its east and west facades. In the south, the hotel fronts Steveston, offering a primary pedestrian entrance on this frontage and a secondary entrance from the rear. The existing site vehicle entrances on Steveston Highway and No. 6 Road are maintained and will remain open through construction. The access ramp to the rooftop parking area is placed near the southside of the commercial building close to the Steveston entrance to make wayfinding clear but far enough away to cause back ups or impede access traffic.

2. Hotel Design

The six-storey hotel acts as a prominent visual anchor along Steveston Highway, using massing, texture, and materiality to establish a contemporary hospitality presence. The façade composition layers brick, longboard, and smooth cladding in warm, complementary tones to create depth and a tactile, regionally appropriate character. Colours were chosen to complement the theatre and commercial building. Recessed windows, colour-framed openings, and a heightened and glazed entry canopy establish a dynamic rhythm, articulate the building's vertical proportions, and provide clear wayfinding for guests on both the front and rear.

Extensive glazing on all sides enhances natural surveillance, raises hotel guest experiences, and supports a welcoming, safe environment throughout the site. Access to Rooftop parking on the commercial building is provided via elevator and enclosed stairs, supplying guests parking there with secure, direct access to the hotel. Generous setbacks from No. 6 Rd., extensive landscaping including a plaza, and strengthened pedestrian linkages integrate the hotel into the existing theatre and planned commercial development while enhancing the public interface and site porosity.

3. Commercial Building Design

The commercial building is designed as a multi-tenant employment centre with an elevated architectural expression appropriate for commercial, light-industrial, and customer-serving uses. The building adopts a refined design language, including materiality and colour palette, that aligns with the surrounding entertainment and hotel contexts. The long frontage is visually broken into a sequence of smaller components through varied canopy heights, recessed and proud storefronts, articulated wall planes, and contrasting colour bands. This approach reduces perceived massing and creates a lively, fine-grained rhythm along No. 6 Road and the internal parking area.

Material choices balance durability with visual interest, integrating accent tones and canopies shared with the hotel and high-performance glazing to maintain cohesiveness across the site. Glazed overhead doors and transparent storefronts reinforce an open, engaging building edge and support flexibility in future tenant uses. Accessible sidewalks and coloured pathways wrap the building and safely interface directly with loading and entry areas. Collectively, the massing, articulation, and site integration support a contemporary, adaptable commercial building that contributes to an active, connected, and economically diverse development.

CONTEXT PLAN LEGEND

- RESIDENTIAL USE
- INDUSTRIAL USE
- COMMERCIAL USE
- AGRICULTURAL USE
- GREEN SPACE
- EXISTING ROAD NETWORK
- BIKING PATH
- WALKING TRAIL



2 VIEW OF SITE FROM CORNER OF No. 6 RD & STEVESTON HWY
SCALE: NTS



1 CONTEXT PLAN
SCALE: NTS



4 VIEW OF THE HOLIDAY INN TO THE NORTH
SCALE: NTS



5 VIEW OF THE EXISTING THEATRE FROM THE CORNER OF ENTERTAINMENT BLVD & STEVESTON HWY
SCALE: NTS



6 VIEW OF THE RICHMOND ICE CENTRE TO THE NORTH
SCALE: NTS



8 VIEW OF THE EXISTING THEATRE FROM PARKING LOT
SCALE: NTS

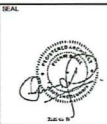
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NO.	DATE	REVISION
1	NOV 21 25	APP
2	NOV 25 25	DEVELOPMENT PERMIT
3	JUN 25 25	DEVELOPMENT PERMIT
4	MAY 25 25	DEVELOPMENT PERMIT
5	MAY 24 25	RE ISSUED FOR DP
6	NOV 12 24	RE ISSUED FOR DP
7	NOV 12 24	RE ISSUED FOR DP
8	MAY 12 24	RE ISSUED FOR DP
9	FEB 12 23	RE ISSUED FOR DP
10	JUN 19 23	ISSUED FOR DP
11	FEB 12 23	DEVELOPMENT PERMIT
12	APR 29 23	APP

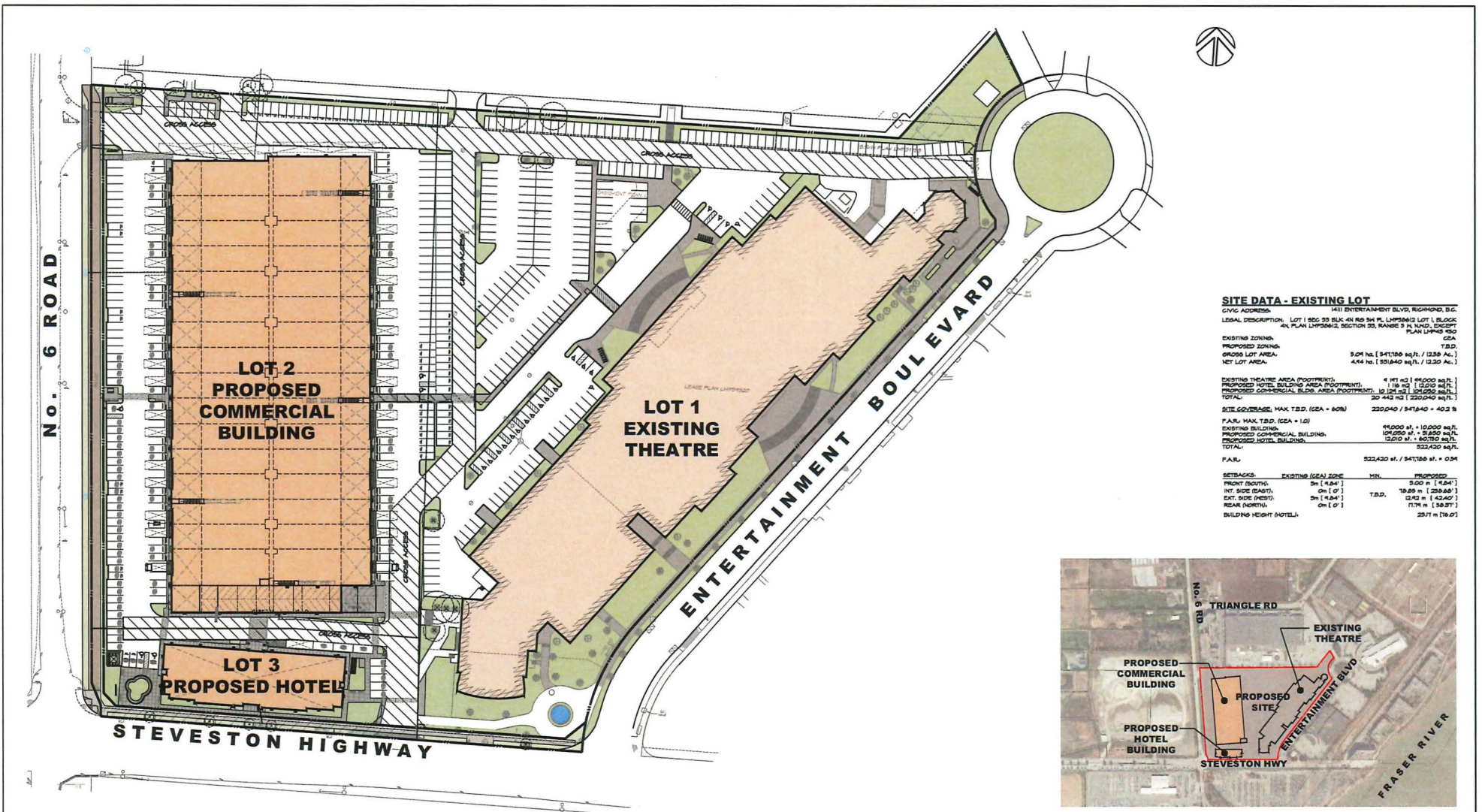
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13	MAY 13 25	APP
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PROJECT PROPOSED BUILDING FOR:
ENTERTAINMENT BOULEVARD REDEVELOPMENT
ADDRESS: 1411 ENTERTAINMENT BLVD., RICHMOND BC
DRAWING: **CONTEXT PLAN & PHOTOS**

DRAWN: DPJ/SB	CHECKED: N/D
DATE PLOTTED: MAY 19 25	
DRAWING NUMBER: A-0.8	

REV 13



SITE DATA - EXISTING LOT

CIVIC ADDRESS: 1411 ENTERTAINMENT BLVD, RICHMOND, B.C.
 LEGAL DESCRIPTION: LOT 1 SEC 55 BLK 44 RD 54 FR. LAMPSONS LOT 1 BLOCK 44, PLAN L1P50662, SECTION 55, RANGE 5 N, UND. EXCEPT PLAN L1P49155
 EXISTING ZONING: CEA
 PROPOSED ZONING: T.B.D.
 GROSS LOT AREA: 5.04 ha [547100 sq.ft. / 1238 Ac.]
 NET LOT AREA: 4.44 ha [531640 sq.ft. / 1230 Ac.]

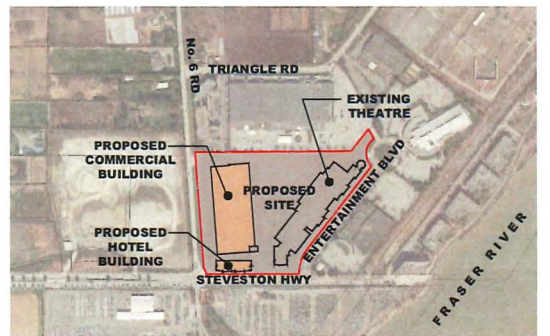
EXISTING THEATRE AREA (FOOTPRINT): 4 1/2 FT x 3 [46,000 sq.ft.]
 PROPOSED HOTEL BUILDING AREA (FOOTPRINT): 1 1/8 AC [12,000 sq.ft.]
 PROPOSED COMMERCIAL BLDG. AREA (FOOTPRINT): 1.2 AC [12,000 sq.ft.]
 TOTAL: 20 443 SQ [220,040 sq.ft.]

SITE COVERAGE, MAX. T.B.D. (CEA = 60%) 230,040 / 547,100 = 40.3 %

F.A.R. MAX. T.B.D. (CEA = 1.0) 45,000 sq. ft. + 10,000 sq. ft.
 EXISTING BUILDING: 10,000 sq. ft. + 5,000 sq. ft.
 PROPOSED COMMERCIAL BUILDING: 12,000 sq. ft. + 8,000 sq. ft.
 PROPOSED HOTEL BUILDING: 22,420 sq. ft.
 TOTAL: 52,420 sq. ft. + 54,710 sq. ft. = 0.34

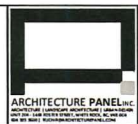
SETBACKS: EXISTING (CEA SIDE) MIN. PROPOSED

FRONT (SOUTH): 5m [16.41'] 5.00 m [16.41']
 INT. SIDE (EAST): 0m [0'] 18.29 m [59.99']
 EXT. SIDE (WEST): 5m [16.41'] T.B.D. 0.45 m [1.48']
 REAR (NORTH): 0m [0'] 11.74 m [38.52']
 BUILDING HEIGHT (HOTEL): 25.17 m [82.6']



1 OVERALL SITE PLAN
 SCALE: 1" = 100'-0"

2 CONTEXT PLAN
 SCALE: N.T.S.



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NO.	DATE	REVISION	NO.	DATE	REVISION	NO.	DATE	REVISION
1	NOV 21 20	ISP	13			25		
2	FEB 12 21	DEVELOPMENT PERMIT	14			26		
3	APR 22 21	ISP	15			27		
4	MAY 13 21	ISP	16			28		
5			17			29		
6			18			30		
7			19			31		
8			20			32		
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11			23					
12			24					



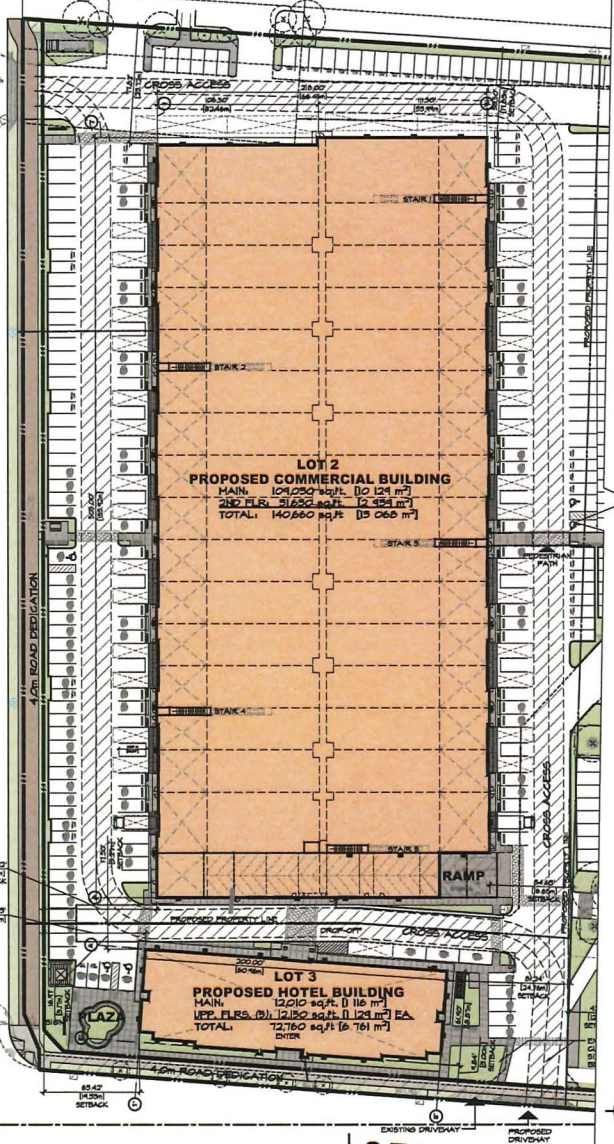
PROJECT: PROPOSED BUILDINGS FOR
ENTERTAINMENT BOULEVARD DEVELOPMENT
 ADDRESS: 1411 ENTERTAINMENT BLVD., RICHMOND BC

DRAWING: **OVERALL SITE PLAN** REV: 4

DATE PLOTTED: MAY 15 21
 DRAWING NUMBER: **A-1.0**

DRAWN: OFB
 CHECKED: R.D.

No. 6 ROAD



SITE DATA - LOT 2 (COMMERCIAL - IR1 ZONE)

CIVIC ADDRESS: NO. 6 ROAD, RICHMOND, B.C.
 LEGAL DESCRIPTION: T.B.D.
 EXISTING ZONING: CEA
 PROPOSED ZONING: IR1 ZONE
 GROSS LOT AREA: 2.043 ha [219,422 sq.ft. / 8,044 ACRES]
 NET LOT AREA: 1.870 ha [212,057 sq.ft. / 4,868 ACRES]
 PROPOSED BUILDING AREA (FOOTPRINT): 10 124 m² [104,050 sq.ft.]
 SITE COVERAGE: (IR1 MAX = 75%) 104,050 / 212,057 = 51.4 %
 F.A.R. (IR1 MAX = 1.0):
 PROPOSED BUILDING:
 MAIN FLOOR 10 124 m² [104,050 sq.ft.]
 2ND FLOOR 2 494 m² [9,650 sq.ft.]
 TOTAL: 15 068 m² [140,660 sq.ft.]
 F.A.R.: 140,660 sq.ft. / 212,057 sq.ft. = 0.663
 SETBACKS: EXISTING (CEA) ZONE MIN. PROPOSED
 FRONT (SOUTH): 5m [4.84'] 5m [4.84'] 5.21 m [17.08']
 INT. SIDE (EAST): 0m [0'] 0m [0'] 16.65 m [54.65']
 EXT. SIDE (WEST): 5m [4.84'] 5m [4.84'] 22.85 m [74.92']
 REAR (NORTH): 0m [0'] 0m [0'] 11.74 m [38.51']
 BUILDING HEIGHT: 12.5 m [41.0']
 ENERGY COMPLIANCE: ASHRAE 90.1-2019 - EGB

SITE DATA - LOT 3 (HOTEL - CD ZONE)

CIVIC ADDRESS: STEVENSON HIGHWAY, RICHMOND, B.C.
 LEGAL DESCRIPTION: T.B.D.
 EXISTING ZONING: CEA
 PROPOSED ZONING: CD ZONE
 GROSS LOT AREA: 0.558 ha [50,505 sq.ft. / 0.864 ACRES]
 NET LOT AREA: 0.505 ha [52,847 sq.ft. / 0.754 ACRES]
 PROPOSED HOTEL BUILDING AREA (FOOTPRINT): 1 116 m² [12,010 sq.ft.]
 SITE COVERAGE: MAX. T.B.D. (CEA = 60%), 12,010 sq.ft. / 52,847 sq.ft. = 56.6 %
 F.A.R.: MAX. T.B.D.
 PROPOSED HOTEL BUILDING:
 MAIN FLOOR 12,010 sq.ft.
 UPPER FLOORS (5) 12,150 (5) sq.ft.
 TOTAL: 12,160 sq.ft.
 F.A.R.: 12,160 sq.ft. / 52,847 sq.ft. = 2.215
 SETBACKS: EXISTING (CEA) ZONE MIN. PROPOSED
 FRONT (SOUTH): 5m [4.84'] 1.65 m [6.07']
 INT. SIDE (EAST): 0m [0'] T.B.D. 24.70 m [81.02']
 EXT. SIDE (WEST): 5m [4.84'] T.B.D. 14.55 m [65.42']
 REAR (NORTH): 0m [0'] 9.17 m [30.07']
 BUILDING HEIGHT: 25.17 m [82.91']
 ENERGY COMPLIANCE: STEP 4 AND EL-1 OR STEP 5 AND EL-2 PER CITY OF RICHMOND REQUIREMENTS

PARKING CALCULATIONS - LOT 2

PROPOSED COMMERCIAL BUILDING

Building Areas:	m ²	sq.ft.
Level 1 Commercial	7131	77,400
Level 1 Office	2939	31,630
Level 2 Storage	2939	31,630
Total	13009	140,660

Parking Stalls Required - 1 per (sq.ft.):
 Warehouse 1,435 76.0
 Auxiliary Office 1,435 77.0
 Total 98

CROSS ACCESS PARKING ALLOCATION

Stalls Allocated to:
 Lot 1 (Existing Theatre): 292
 Lot 3 (New): 108
 Total Provided 121

Small Car Stalls Allowed (50%) 210.5
 Small Car Stalls Provided 208

Accessible Stalls Req'd (2%) 1.5
 Accessible Stalls Provided 2

Electric Vehicle Stalls Req'd (45%) 44
 Electric Vehicle Stalls Provided 44

Loading Spaces Required - 1 space per GFLA over 20,021 sf.
 Medium: 1 space plus 53819.5 2.6
 Large 53819.5 2.6
 Medium Proposed 33.0
 Large Proposed 4.0

Bike Parking Required - 1 per (sq.ft.):
 Class 1 Required 3986.63 35.3
 Class 2 Required (2 Per Rack) 3986.63 35.3
 Class 1 Proposed 73.0
 Class 2 Proposed (2 Per Rack) 66.0

PARKING CALCULATIONS - LOT 3

PROPOSED HOTEL

Building Areas:	m ²	sq.ft.
Total Guest Units: 124		
Meeting Rooms	141	1522
Office Space	80	866
Breakfast/Pantry	105	1125
Treats Shop	12	129

Parking Stalls Required - 1 stall per:
 2 Guest Rooms 62
 Office/Gown Retail 359 sq.ft. 3

Total 65

Lot 3 Stalls Provided:
 New (Grade Level) 51
 Allocated from Lot 2 (Roof Level) 39
 Total Provided 90

Accessible Stalls Req'd (2%) 2
 Accessible Stalls Provided 2 + 1 (Lot 2)

Electric Vehicle Stalls Req'd (100%) 50
 Electric Vehicle Stalls Provided 50

Loading Spaces Required - 1 space per GFLA over 20,021 sf.
 Medium: 1 space plus 53819.5 2.6
 Large 53819.5 2.6
 Medium Proposed 1.0
 Large Proposed 0.0

Bike Parking Required - 1 per (sq.ft.):
 Class 1 Required 3986.63 18.0
 Class 2 Required (2 Per Rack) 3986.63 18.0
 Class 1 Proposed 18.0
 Class 2 Proposed (2 Per Rack) 18.0

OVERALL SITE PLAN (LOTS 2 & 3)
 SCALE: 1" = 80'-0"



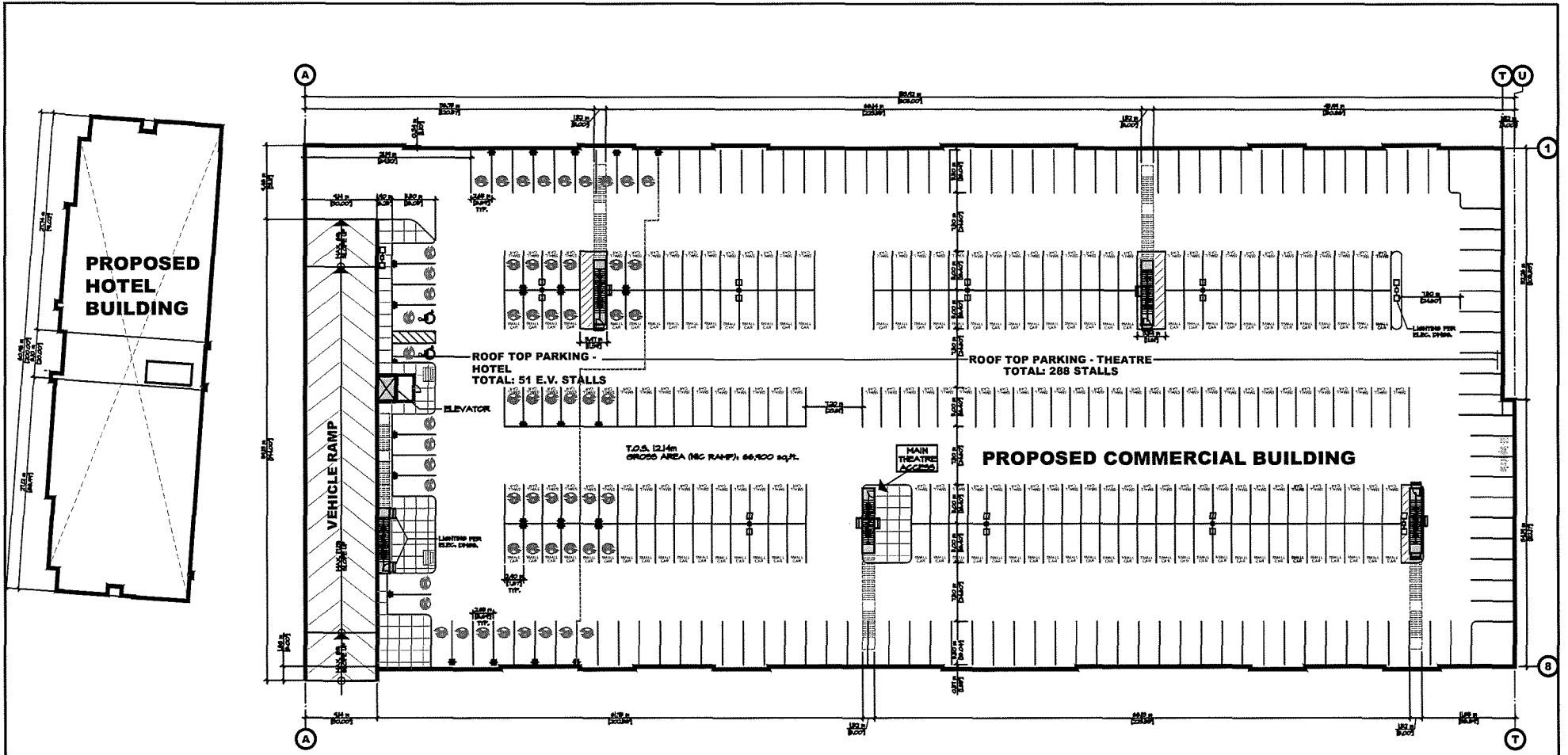
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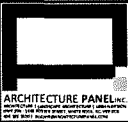
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2	MAY 21 25	ASCP	14		
3	FEB 17 26	DEVELOPMENT PERMIT	15		
4	APR 19 26	CDM	16		
5	MAY 15 26	CDM	17		
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PROJECT: PROPOSED BUILDINGS FOR
ENTERTAINMENT BOULEVARD REDEVELOPMENT
 ADDRESS: 1411 ENTERTAINMENT BLVD., RICHMOND BC
 DRAWING NO.: **A-1.0b**
 SHEET NO.: 5
 DATE PLOTTED: MAY 16 26
 DRAWING NUMBER: A-1.0b



1 ROOF PARKING PLAN
 A-1.2 SCALE: 1" = 40'-0"



PROJECT MANAGERS/CONTRACTORS
 ORION CONSTRUCTION
 955 19873 85A AVE.
 DANFORTH, BC V2V 1K2
 PHONE: (604) 593 2888



NO.	DATE	REVISION	NO.	DATE	REVISION
1	1997 07 23	REV	11		
2	1997 11 28	REV	12		
3	1998 01 28	CONDEVELOPMENT PERMIT	13		
4	1998 02 20	END	14		
5	1998 05 23	END	15		
6			16		
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NO.	DATE	REVISION
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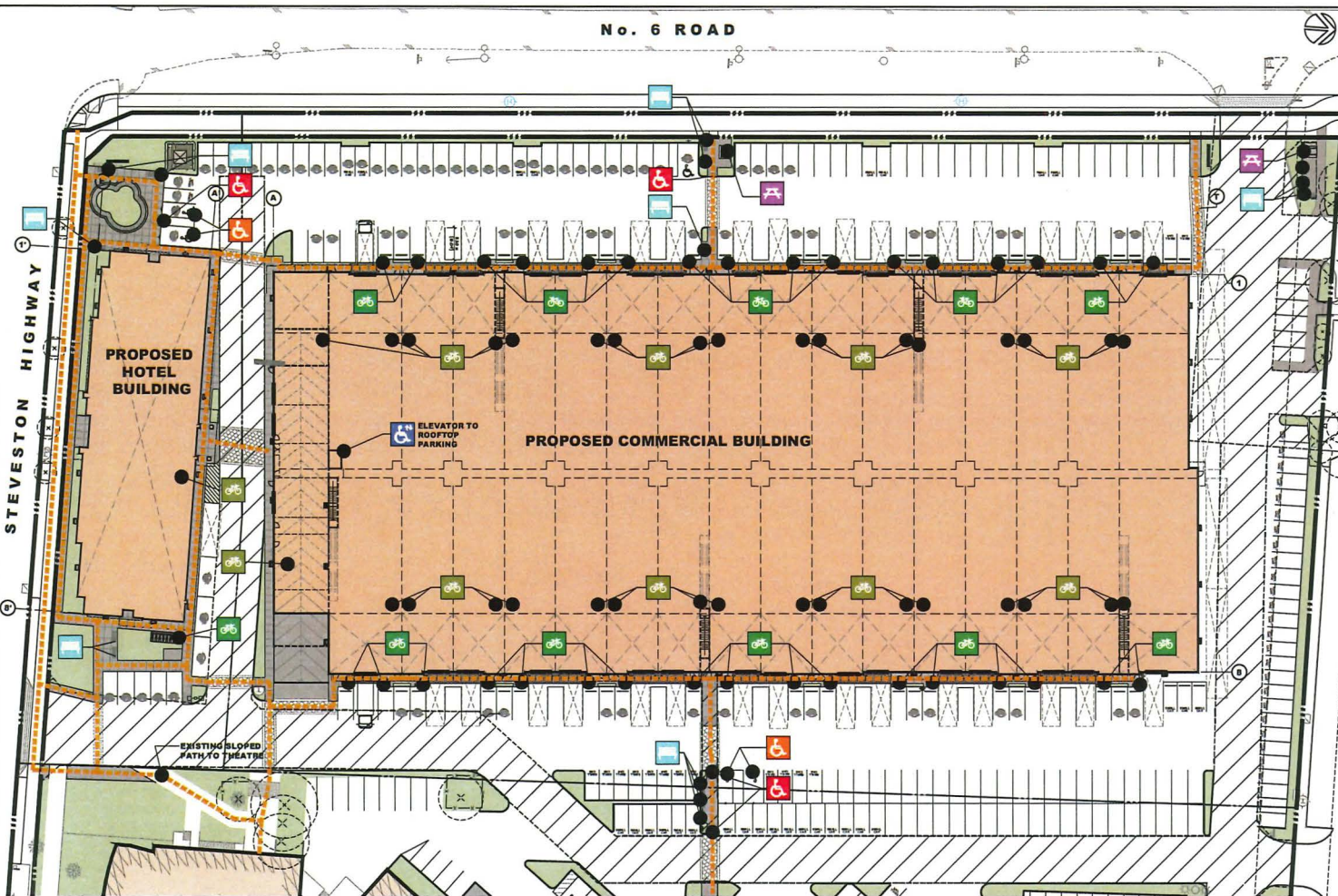


PROJECT PROPOSED BY ORION FOR:
ENTERTAINMENT BOULEVARD REDEVELOPMENT
 ADDRESS: 1111 ENTERTAINMENT BLVD., RICHMOND BC
 DRAWN: [Signature] REV: 5
A-1.2

DATE PLOTTED: MAY 15 2008
 DRAWING NUMBER: [Blank]
 DRAWN BY: [Blank] CHECKED BY: [Blank]

No. 6 ROAD

STEVESTON HIGHWAY



SYMBOL LEGEND

- CLASS 2 EXTERIOR BIKE PARKING
- PICNIC TABLE
- BENCH
- CLASS 1 SECURED BIKE STORAGE ROOM
- ACCESSIBLE PARKING STALL
- ACCESSIBLE ACCESS TO AMENITIES
- ACCESSIBLE ELEVATOR
- ACCESSIBLE PATH OF TRAVEL

ACCESSIBILITY RATIONAL

- FULLY COMPLIANT PER BCBC 2024 SECTION 3.0 & BUILDING ACCESS HANDBOOK
- ALL UNITS ARE ACCESSIBLE
 - ACCESSIBLE MAIN FLOOR (ALL AMENITIES PROVIDED ON MAIN FLOOR) - 3.0.2.1.(F)
 - 50% OF PEDESTRIAN ENTRANCES ARE ACCESSIBLE - 3.0.2.2
 - ACCESSIBLE PATH OF TRAVEL
 - ACCESSIBLE PATH OF TRAVEL PROVIDED FROM ACCESSIBLE PARKING STALLS TO UNIT ENTRANCES - 3.0.2.5
 - 1600mm WIDE PATH PROVIDED TO ALL UNIT ENTRANCES - 3.0.3
 - ELEVATORS AND RAMP PROVIDED TO OVERCOME DIFFERENCE IN LEVEL FROM ROOF PARKING TO HOTEL - 3.0.3.2.3
 - RAMP
 - RAMP IN ACCESSIBLE PATHS OF TRAVEL TO CONFORM TO 3.0.3.5
 - ACCESSIBLE WASHROOM
 - ALL UNITS PROVIDED WITH ONE ACCESSIBLE UNIVERSAL WASHROOM - 3.0.2.9
 - ALL ACCESSIBLE UNIVERSAL WASHROOMS TO CONFORM TO THIS SECTION - 3.0.3.12
 - SIGNS & INDICATORS
 - ALL UNITS PROVIDED WITH SIGNAGE FOR ACCESSIBLE WASHROOMS & PARKING STALLS - 3.0.2.10
 - ALL STAIRS & RAMP PROVIDED WITH TACTILE SURFACE INDICATORS - 3.0.2.10.3
 - PASSENGER-ELEVATING DEVICES
 - ELEVATORS IN ACCESSIBLE PATHS OF TRAVEL TO CONFORM TO 3.0.3.1
 - ACCESSIBLE PARKING STALLS
 - ACCESSIBLE STALLS PROVIDE PER THE CITY OF RICHMOND ZONING BYLAW 7.5.11 & 7.5.14

AMENITY PLANNING DESIGN RATIONAL

- KEY DESIGN CONSIDERATIONS:
- DECENTRALIZED
 - ALLOWS FOR ACCESS FROM A VARIETY OF UNITS AT A TIME AND REDUCES WALKING DISTANCE FROM UNITS
 - MULTIPLE STREET CONNECTIONS
 - ACCESS POINTS TO THE SITE HAVE BEEN PROVIDED ALONG ENTERTAINMENT BLVD. TO ALLOW FOR MULTIPLE CONNECTIONS TO THE SITE FOR PEDESTRIANS AND CYCLISTS. PROVISIONS HAVE BEEN MADE FOR A FUTURE CONNECTION TO No. 6 ROAD TO ACCOMMODATE FUTURE BOULEVARD IMPROVEMENTS
 - SOUTHERN EXPOSURE
 - EFFORTS HAVE BEEN MADE TO TAKE ADVANTAGE OF THE SOUTHERN EXPOSURE TO SUNLIGHT FOR MANY OF THE AMENITY AREAS

1 ACCESSIBILITY & AMENITY PLAN
SCALE: 1" = 80'-0"

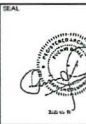


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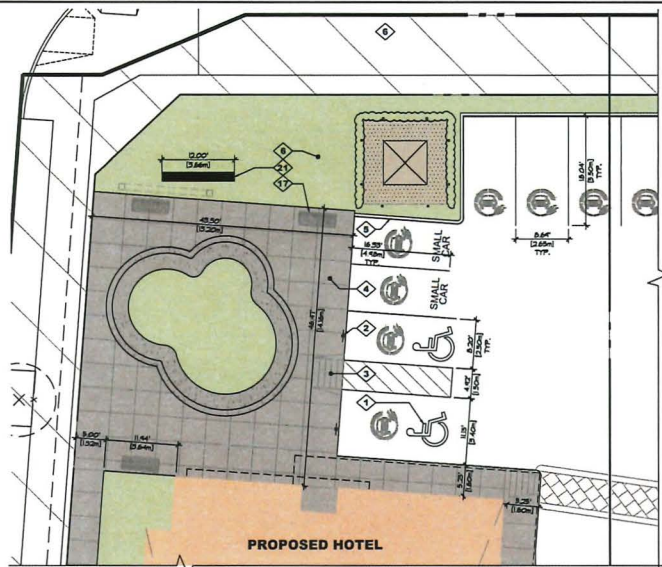


ORION CONSTRUCTION
181-1810 20th Ave
LANGLEY, BC V3Y 6E2
PHONE: (604) 562-2964

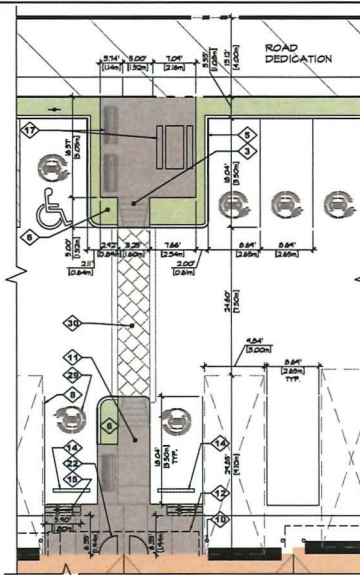
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2	DEC 15 23	RE-ISSUED FOR DP	19	FEB 12 24	DEVELOPMENT PERMIT
3	MAY 19 24	RE-ISSUED FOR DP	20	APR 29 25	DPF
4	NOV 14 24	RE-ISSUED FOR DP	21	MAY 12 25	DPF
5	NOV 12 24	RE-ISSUED FOR DP	22		
6	MAR 24 25	DEVELOPMENT PERMIT	23		
7	MAY 23 25	DEVELOPMENT PERMIT	24		
8	JUN 23 25	DEVELOPMENT PERMIT	25		
9	JUL 11 25	DEVELOPMENT PERMIT	26		
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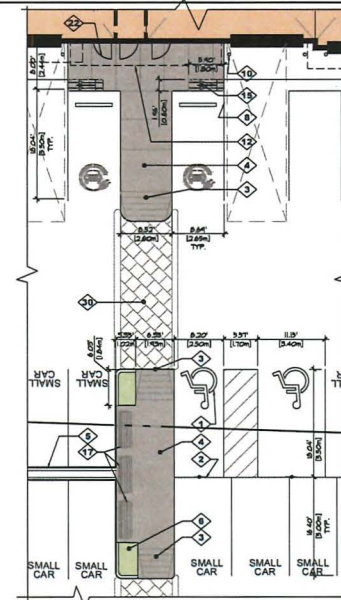
PROJECT: PROPOSED BUILDINGS FOR
ENTERTAINMENT BOULEVARD REDEVELOPMENT
ADDRESS: 1411 ENTERTAINMENT BLVD., RICHMOND BC
DRAWING: **ACCESSIBILITY & AMENITY PLAN LOT 2 & 3** REV 16
JOB NO: 22-018
DATE PLOTTED: MAY 13 25
DRAWING NUMBER: **A-1.5**



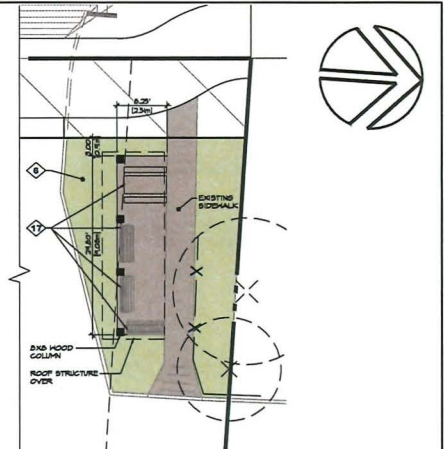
1 ENLARGED SOUTH-WEST AMENITY PLAN
SCALE: 1" = 20'-0"



2 ENLARGED WEST AMENITY PLAN
SCALE: 1" = 20'-0"



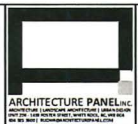
5 ENLARGED EAST AMENITY PLAN
SCALE: 1" = 20'-0"



4 ENLARGED NORTH AMENITY PLAN
SCALE: 1" = 20'-0"

KEYED SITE PLAN NOTES

1	INTERNATIONAL SYMBOL OF ACCESS PAINTED ON ASPHALT, SEE DETAIL 1/A-1-B	11	FLUSH CONCRETE SIDEWALK, LIGHT BROOM FINISH, TYP. U.N.O.	21	FREE STANDING SIGNAGE SEE DETAIL 4/A-1-B, SUBJECT TO SEPARATE SIGN PERMIT.
2	POST MOUNTED ACCESSIBLE PARKING SIGN, SEE DETAIL 3/A-1-B	12	LINE OF CANOPY ABOVE, SEE PLANS AND DETAILS FOR MORE INFORMATION	22	TYPICAL ACCESSIBLE ENTRANCE
3	5'X5' SIDEWALK LETDOWN, PROVIDE MINIMUM 5'X5' CLEAR AT TOP OF LETDOWN SEE DETAIL 2/A-1-B	13	GARBAGE ROOM, SEE FLOOR PLAN 1/A-2-5	23	FIRE DEPARTMENT CONNECTION SEE MECHANICAL DRAWINGS
4	CONCRETE SIDEWALK, 6"± ABOVE ADJACENT ASPHALT LIGHT BROOM FINISH	14	WHEELSTOP, SEE DETAIL 3/A-1-B	24	TRAVEL DISTANCE HYDRANT TO FDG (14') [45m] MAX CONFIRM ON SITE
5	6x6 EXTRUDED CONCRETE CURB TYPICAL AT EDGE OF LANDSCAPING, SEE DETAIL 5/A-1-B	15	CLASS 2 EXTERIOR BICYCLE PARKING, SEE DETAIL 6/A-1-B	25	RETAINING WALL PER CIVIL DRAWINGS UNPAINTED C/A 42" GUARDRAIL, GUARDRAIL REQUIRED UNTIL THE GRADE DIFFERENCE IS LESS THAN 2'-0" (600MM)
6	LANDSCAPING PER LANDSCAPE ARCHITECTS DRAWINGS	16	PERMEABLE PAVER CROSSWALK, PER LANDSCAPE ARCHITECTS DRAWINGS	26	ANNUNCIATOR PANEL, SEE ELECTRICAL DRAWINGS
7	PAINT ON ASPHALT	17	SEATING PER LANDSCAPE ARCHITECTS DRAWINGS	27	EXISTING FIRE HYDRANT
8	4' PAINT STRIPE, TYPICAL	18	MECHANICAL ROOMS / EQUIPMENT, SEE MECHANICAL DRAWINGS	28	TREE PROTECTION FENCING PER ARBORIST REPORT
9	ASPHALT CROSSING TO MUNICIPAL SPECS	19	GAS METERS PER MECHANICAL DRAWINGS WITH FENCE AND PROTECTION AS REQUIRED BY BC HYDRO AND MUNICIPALITY, SEE DETAIL 4/A-1-B	29	EV PARKING SYMBOL INDICATING PARKING STALLS WITH ENERGIZED OUTLET CAPABLE OF PROVIDING LEVEL 2 CHARGING OR HIGHER
10	6"Ø X 1/4" THICK CONCRETE FILLED STEEL BOLLARD PAINTED 'BRIGHT YELLOW' OR EQUIVALENT AT EACH SIDE OF GRADE LEVEL DOOR, TYPICAL AT ALL GRADE DOORS, SEE DETAIL 1/A-1-B	20	ELECTRICAL SUBSTATION ROOM, SEE ELECTRICAL DRAWINGS	30	RAISED, STAMPED CONCRETE CROSSWALK



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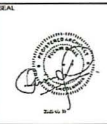
PROJECT MANAGERS / CONTRACTORS

ORION CONSTRUCTION
156 9822 8th AVE.
LANGLEY BC V3Y 6E2
PHONE: (604) 202-2984

NO.	DATE	REVISION
1	NOV 21 20	SDP
2	FEB 11 20	DEVELOPMENT PERMIT
3	APR 29 20	SDP
4	MAY 15 20	SDP
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PROJECT PROPOSED BUILDINGS FOR

ENTERTAINMENT BOULEVARD REDEVELOPMENT

ADDRESS: 1111 ENTERTAINMENT BLVD., RICHMOND BC

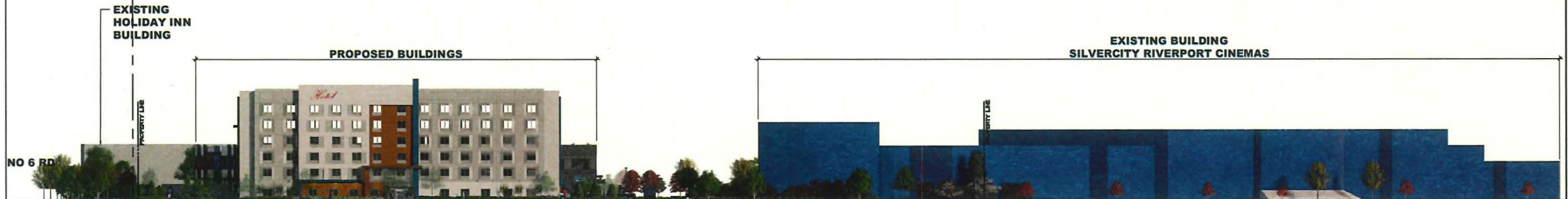
DRAWING: **ENLARGED AMENITY PLANS** REV: **4**

DATE PLOTTED: MAY 16 20
DRAWING NUMBER: **A-1.7b**

DRAWN: [Signature] CHECKED: [Signature]



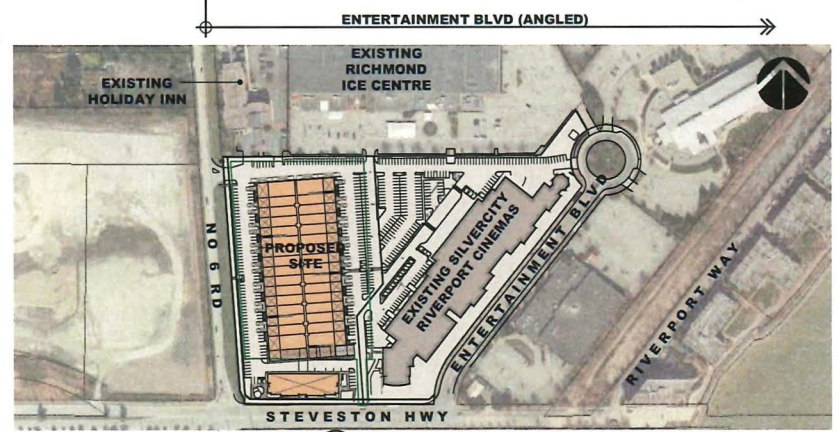
1 STREETScape PARALLEL TO NO 6 RD
SCALE: N.T.S.



2 STREETScape PARALLEL TO STEVESTON HWY
SCALE: N.T.S.



3 VIEW OF NEIGHBOUR TO THE NORTH
SCALE: N.T.S.



4 CONTEXT PLAN
SCALE: N.T.S.



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ORION CONSTRUCTION
105-105 80A AVE.
LANGLEY BC V3Y 8E2
PHONE: (604) 510-2064

NO.	DATE	REVISION	NO.	DATE	REVISION
1	JAN 19 23	ISSUED FOR OP	13	MAY 15 23	OP
2	DEC 18 23	RE-ISSUED FOR OP	14		
3	MAY 18 24	RE-ISSUED FOR OP	15		
4	NOV 1 24	RE-ISSUED FOR OP	16		
5	NOV 12 24	RE-ISSUED FOR OP	17		
6	MAR 04 25	RE-ISSUED FOR OP	18		
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8	NOV 18 25	DEVELOPMENT PERMIT	20		
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11	FEB 17 26	DEVELOPMENT PERMIT	23		
12	FEB 26 26	OP	24		

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PROJECT PROPOSED BUILDING FOR:
ENTERTAINMENT BOULEVARD REDEVELOPMENT
ADDRESS: 1111 ENTERTAINMENT BLVD, RICHMOND BC

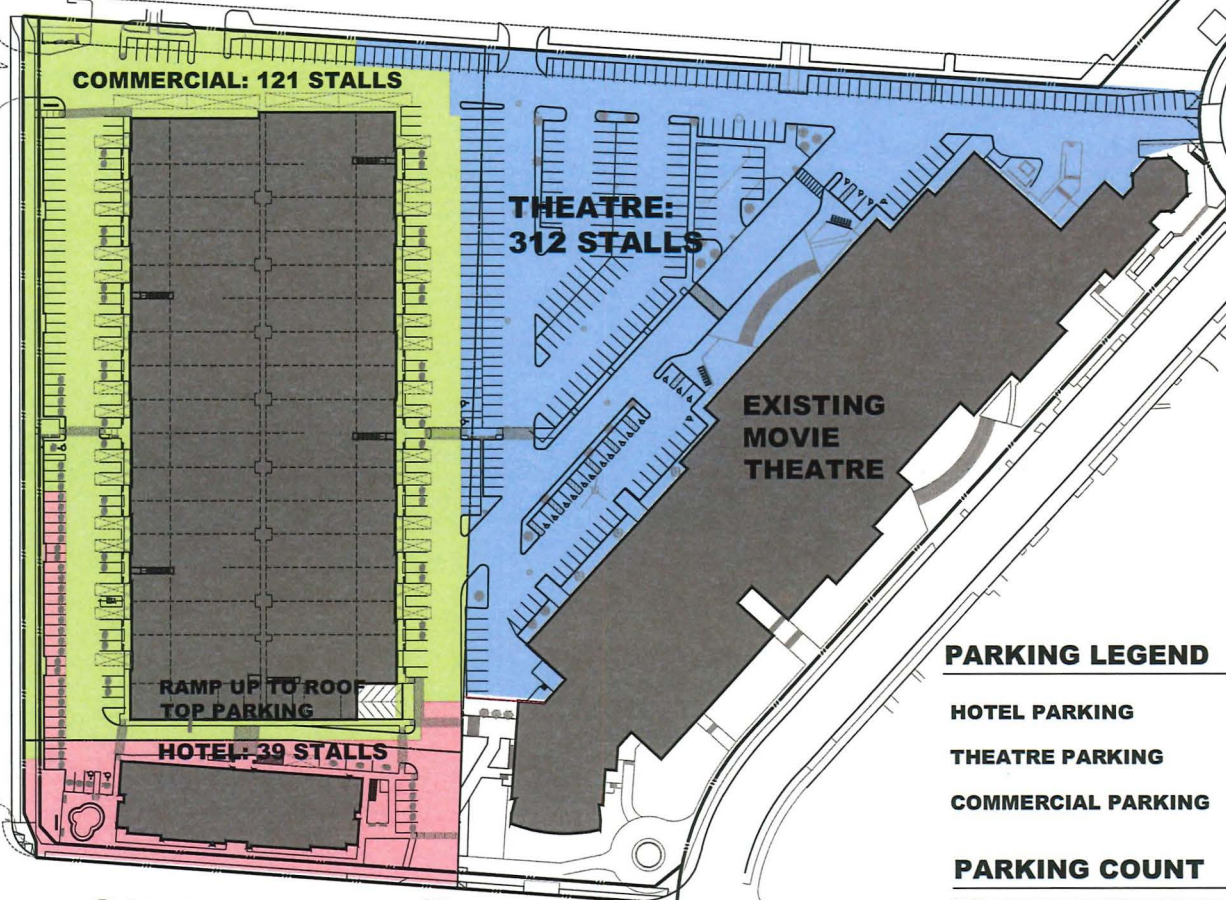
DRAWN: JB
CHECKED: R.D.
JOB NO.: 23-019
DATE PLOTTED: MAY 15 25
DRAWING NUMBER: **A-1.10**

REV 13
STREETScape ELEVATIONS



2 ROOF TOP PARKING
SCALE: 1" = 100'-0"

NO 6 ROAD



STEVESTON HWY

1 GROUND FLOOR PARKING
SCALE: 1" = 100'-0"

PARKING LEGEND

- HOTEL PARKING
- THEATRE PARKING
- COMMERCIAL PARKING

PARKING COUNT

BUILDING	PROVIDED STALLS	EV CAPABLE STALLS
HOTEL	90	90 (100%)
COMMERCIAL	121	44
MOVIE THEATRE	600	0
GRAND TOTAL	811	134



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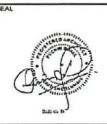


ORION CONSTRUCTION
158-1982 80A AVE.
LARGELY BC V7Y 8E2
PHONE: (604) 302-2984

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3	MAR 27 25	OSP
4	MAY 15 25	OSP
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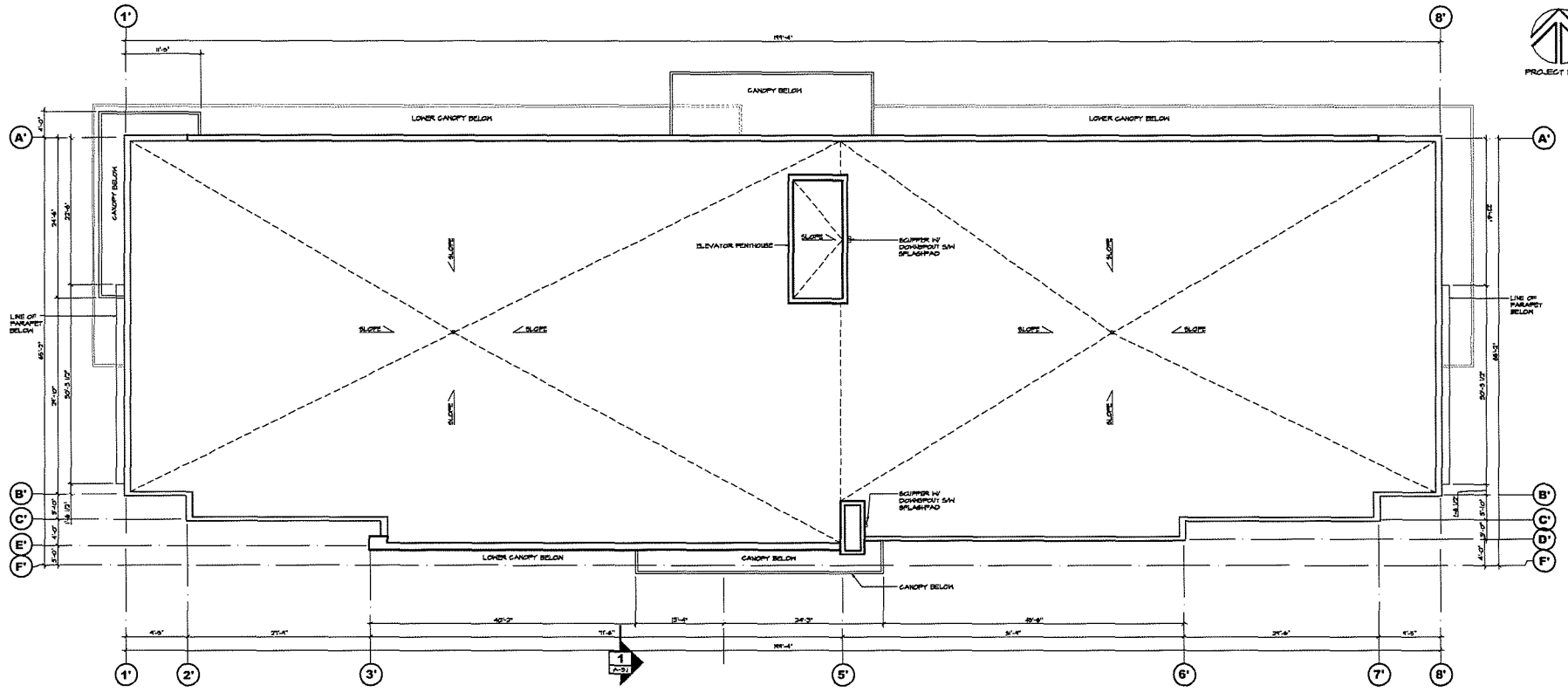
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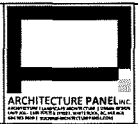


PROJECT PROPOSED BUILDINGS FOR:
ENTERTAINMENT BOULEVARD REDEVELOPMENT
ADDRESS: 1411 ENTERTAINMENT BLVD. RICHMOND BC
DRAWING: **OVERALL PARKING PLAN** REV: **4**

DRAWN: **ALJ** CHECKED: **ALJ**
JOB NO.: 25-018
DATE PLOTTED: MAY 19 25
DRAWING NUMBER: **A1.13a**



**HOTEL BUILDING
ROOF PLAN**
SCALE: 1/8"=1'-0"

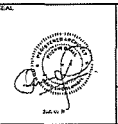


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ORION CONSTRUCTION
100-10020 RIVA AVE.
LARKSPY, CO VAY 802
PHONE: (303) 950-3364

NO.	DATE	REVISION	NO.	DATE	REVISION	NO.	DATE	REVISION
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2	NOV 21 18	RFI	14					
3	FEB 07 19	DEVELOPMENTAL PERMIT	15					
4	APR 24 19	RFI	16					
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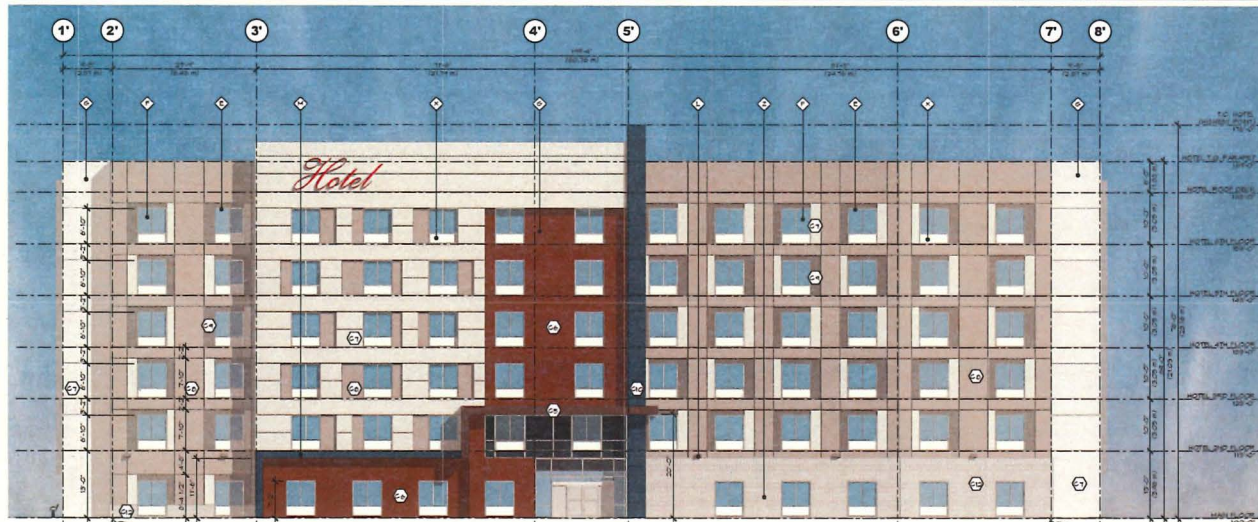


PROJECT: PROPOSED WALKWAYS FOR
ENTERTAINMENT BOULEVARD REDEVELOPMENT
ADDRESS: 14111 ENTERTAINMENT BLVD., RICHMOND BC

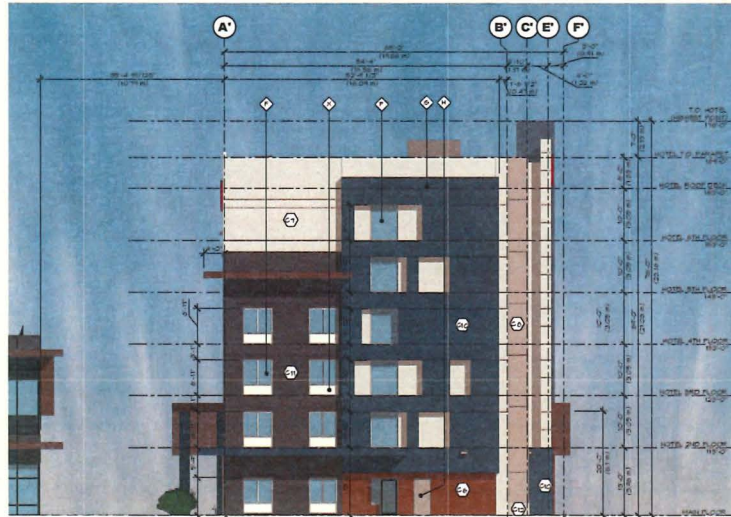
DRAWING: **HOTEL BUILDING ROOF PLAN** REV: 5

DRAWN BY: [Signature] CHECKED BY: [Signature]

JOB NO.: 22-619
DATE PLOTTED: MAY 18 2020
DRAWING NUMBER: **A-3.1**



2 SOUTH ELEVATION - HOTEL - 11X17
SCALE: 3/32" = 1'-0"



1 WEST ELEVATION - HOTEL - 11X17
SCALE: 3/32" = 1'-0"

MATERIAL LEGEND

- ◆ CONCRETE FLT-UP WALL TYP. - PAINTED
- ◆ REVEAL IN CONCRETE - PAINTED
- ◆ PANEL JOINT
- ◆ PRE-FINISHED METAL CAP FLASHING
- ◆ STOREFRONT FRAMED - BLACK PAINTED ALUMINUM
- ◆ STOREFRONT GLASS - CLEAR
- ◆ EPS WALL SYSTEM
- ◆ STEEL HANDDOORS - PAINTED
- ◆ STEEL SECTIONAL OVERHEAD DOORS
- ◆ ALUMINUM GUARDRAILS WITH GLASS PANELS
- ◆ LIGHT FIXTURE - SEE ELECTRICAL DWG'S
- ◆ ACM OR SIMILAR CANOPY CLADDING
- ◆ SPANDREL GLAZING (LOSSURE TO MATCH VISION GLAZING)
- ◆ SCOPPER
- ◆ STEEL BOLLARD - PAINTED
- ◆ CONCRETE CURB WIDER, PAINTED
- ◆ CURTAIN WALL FRAMED - BLACK PAINTED ALUMINUM
- ◆ CURTAIN WALL GLASS - CLEAR
- ◆ LONGBOARD SOFFIT
- ◆ STEEL SECTIONAL OVERHEAD DOORS WITH VISION PANELS
- ◆ LONGBOARD SIDING
- ◆ LOUVERED COVER FOR AG UNITS
- ◆ PAINTED METAL GUARDRAIL
- ◆ BRICK VENEER

PROJECT COLOURS

- ALL PAINT COLOURS TO BE SHERWIN WILLIAMS VEG.
- 21 MAIN FIELD COLOUR 1: HIGH REFLECTIVE WHITE (SH 7787)
 - 22 FIELD ACCENT COLOUR 1: CYBERSPACE (SH 7076)
 - 23 FIELD ACCENT COLOUR 2: GURTON BLACK
 - 24 FIELD ACCENT COLOUR 3: CONHODORE (SH 6924)
 - 25 FIELD ACCENT COLOUR 4: VESTIFORM METALS - BLACK COFFEE
 - 26 LONGBOARD ACCENT GLAZING: DARK BAMBOO
 - 27 EPS COLOUR 1: HIGH REFLECTIVE WHITE (SH 7787)
 - 28 EPS COLOUR 2: LIGHT FRENCH GRAY (SH 0059)
 - 29 EPS COLOUR 3: CLASSIC FRENCH GRAY (SH 0073)
 - 30 EPS COLOUR 4: CONHODORE (SH 6924)
 - 31 EPS COLOUR 5: CYBERSPACE (I)
 - 32 BRICK VENEER: POCKET FENCE WHITE GLOSS GLAZED - NATURAL MATERIALS 6/4 BRICK (OR EQUIV.)
 - 33 STEEL HANDDOOR COLOUR: CYBERSPACE (SH 7076)
 - 34 EXTERIOR GUARDRAILS: POWDER COAT BLACK VELVET
 - 35 ALUMINUM STOREFRONT MULLIONS: BLACK (INDUSTRIAL UNITS) PAINT TO MATCH GB HOTELS
 - 36 TYPICAL GLAZING: CLEAR ALUM E AND / OR AQUARAE 40.1 2018 CO-PLANT
 - 37 SPANDREL GLAZING COLOUR: RAL 7013 BRANT GREY
 - 38 TYPICAL METAL CAP FLASHING: VESTIFORM POLAR WHITE # 01 PANELS CHARCOAL GREY # 02 PANELS

NOTE: THE ABOVE LEGEND ITEMS ARE SHOWN ONLY ON A SMALL AREA OF THE ELEVATIONS HOWEVER, THEY APPLY TO ALL SIMILARLY MARKED AREAS THROUGHOUT THE BUILDING. MATERIALS INDICATED MAY NOT ALL BE APPLICABLE.



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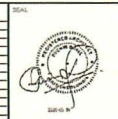
PROJECT MANAGERS / CONTRACTORS

ORION CONSTRUCTION
UNIT 109 1900 80A AVE.
LANOLEY, BC V2Y 0E2
PHONE: 604.250.0294

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
01	2024.03.28	ISSUED FOR PERMIT	01	2024.03.28	ISSUED FOR PERMIT
02	2024.04.05	REVISIONS FOR PERMIT	02	2024.04.05	REVISIONS FOR PERMIT
03	2024.04.12	FOR CONSTRUCTION	03	2024.04.12	FOR CONSTRUCTION
04	2024.04.19	FOR CONSTRUCTION	04	2024.04.19	FOR CONSTRUCTION
05	2024.04.26	FOR CONSTRUCTION	05	2024.04.26	FOR CONSTRUCTION
06	2024.05.03	FOR CONSTRUCTION	06	2024.05.03	FOR CONSTRUCTION
07	2024.05.10	FOR CONSTRUCTION	07	2024.05.10	FOR CONSTRUCTION
08	2024.05.17	FOR CONSTRUCTION	08	2024.05.17	FOR CONSTRUCTION
09	2024.05.24	FOR CONSTRUCTION	09	2024.05.24	FOR CONSTRUCTION
10	2024.06.01	FOR CONSTRUCTION	10	2024.06.01	FOR CONSTRUCTION

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
11	2024.06.08	FOR CONSTRUCTION	11	2024.06.08	FOR CONSTRUCTION
12	2024.06.15	FOR CONSTRUCTION	12	2024.06.15	FOR CONSTRUCTION
13	2024.06.22	FOR CONSTRUCTION	13	2024.06.22	FOR CONSTRUCTION
14	2024.06.29	FOR CONSTRUCTION	14	2024.06.29	FOR CONSTRUCTION
15	2024.07.06	FOR CONSTRUCTION	15	2024.07.06	FOR CONSTRUCTION
16	2024.07.13	FOR CONSTRUCTION	16	2024.07.13	FOR CONSTRUCTION
17	2024.07.20	FOR CONSTRUCTION	17	2024.07.20	FOR CONSTRUCTION
18	2024.07.27	FOR CONSTRUCTION	18	2024.07.27	FOR CONSTRUCTION
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23	2024.08.31	FOR CONSTRUCTION	23	2024.08.31	FOR CONSTRUCTION
24	2024.09.07	FOR CONSTRUCTION	24	2024.09.07	FOR CONSTRUCTION
25	2024.09.14	FOR CONSTRUCTION	25	2024.09.14	FOR CONSTRUCTION
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28	2024.10.05	FOR CONSTRUCTION	28	2024.10.05	FOR CONSTRUCTION
29	2024.10.12	FOR CONSTRUCTION	29	2024.10.12	FOR CONSTRUCTION
30	2024.10.19	FOR CONSTRUCTION	30	2024.10.19	FOR CONSTRUCTION



PROJECT: PROPOSED INDUSTRIAL BUILDING FOR

ENTERTAINMENT BOULEVARD REDEVELOPMENT

8000 111 STREET, VANCOUVER, BC

HOTEL BUILDING ELEVATIONS

DATE: MAY 10, 2024

DRAWING NUMBER: **A-4.1a**

SCALE: 1/8" = 1'-0"

DATE: MAY 10, 2024

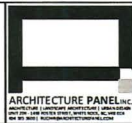
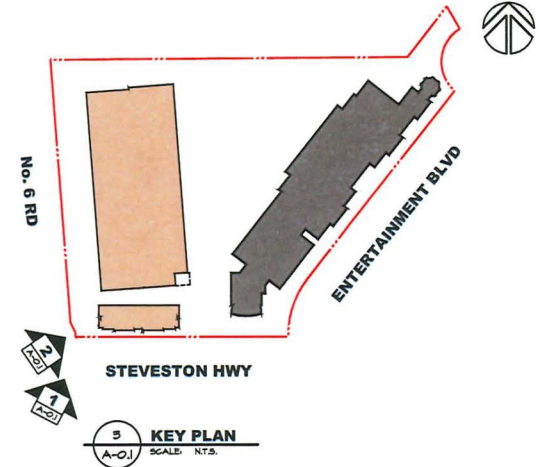
DRAWING NUMBER: **A-4.1a**



1 BIRDSEYE VIEW FROM SOUTHWEST CORNER
SCALE: N.T.S.



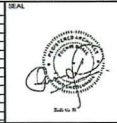
2 VIEW OF SOUTHWEST CORNER
SCALE: N.T.S.



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NO.	DATE	REVISION	NO.	DATE	REVISION	NO.	DATE	REVISION
1	NOV 21 20	LOSP	13			21		
2	FEB 17 20	DEVELOPMENT PERMIT	14			22		
3	APR 23 20	LOSP	15			23		
4	MAY 13 20	LOSP	16			24		
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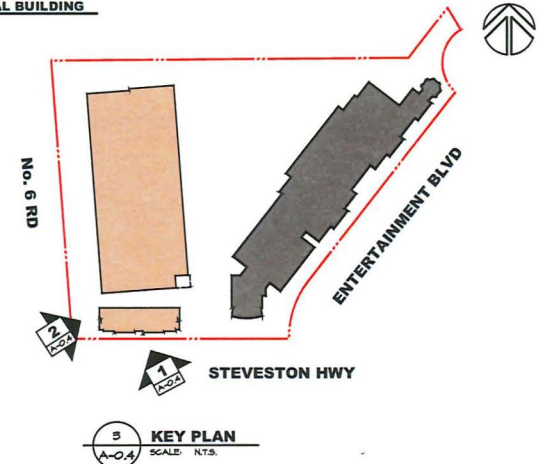
PROJECT PROPOSED BUILDERS FOR
ENTERTAINMENT BOULEVARD REDEVELOPMENT
ADDRESS: 1111 ENTERTAINMENT BLVD., RICHMOND BC
DRAWING NUMBER: **4 A-0.1**
DRAWN: JWH
JOB NO.: 22-004
DATE PLOTTED: MAY 11 2020



1 CLOSEUP VIEW OF HOTEL ENTRY FROM STEVESTON
SCALE: N.T.S.



2 VIEW OF SOUTHWEST CORNER OF COMMERCIAL BUILDING
SCALE: N.T.S.



3 KEY PLAN
SCALE: N.T.S.



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NO.	DATE	REVISION	NO.	DATE	REVISION	NO.	DATE	REVISION
1	NOV 27 25	CONCEPT PLAN	13			21		
2	FEB 17 26	DEVELOPMENT PERMIT	14			22		
3	APR 22 26	CONCEPT PLAN	15			23		
4	MAY 15 26	CONCEPT PLAN	16			24		
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12			24			32		



PROJECT: PROPOSED BUILDINGS FOR
ENTERTAINMENT BOULEVARD REDEVELOPMENT
ADDRESS: 14111 ENTERTAINMENT BLVD., RICHMOND BC

DRAWN: JGJ
JOB NO.: 22-018
DATE PLOTTED: MAY 11 2026
DRAWING NUMBER: **A-0.4**

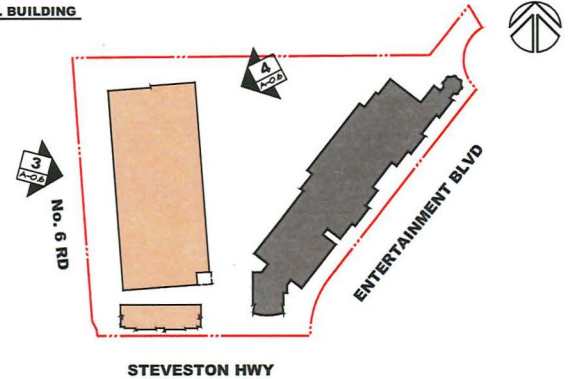
RENDERINGS **4**



1 VIEW OF WEST CENTRE OF COMMERCIAL BUILDING
SCALE: N.T.S.



2 VIEW OF NORTHEAST END OF COMMERCIAL BUILDING
SCALE: N.T.S.



STEVESTON HWY

3 KEY PLAN
SCALE: N.T.S.



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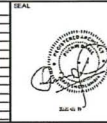


ORION CONSTRUCTION
85-1803 BIA AVE
LAWLEY, BC V3V 4E2
PHONE: (604) 362-2384

NO.	DATE	REVISION	NO.	DATE	REVISION
1	NOV 22 2018	DCP	13		
2	FEB 17 2019	DEVELOPMENT PERMIT	14		
3	APR 25 2019	DFP	15		
4	MAY 15 2019	DFP	16		
5			17		
6			18		
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NO.	DATE	REVISION
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NO.	DATE	REVISION
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PROJECT: PROPOSED BUILDINGS FOR
ENTERTAINMENT BOULEVARD REDEVELOPMENT
ADDRESS: 14111 ENTERTAINMENT BLVD., RICHMOND BC
DRAWING: **RENDERINGS**

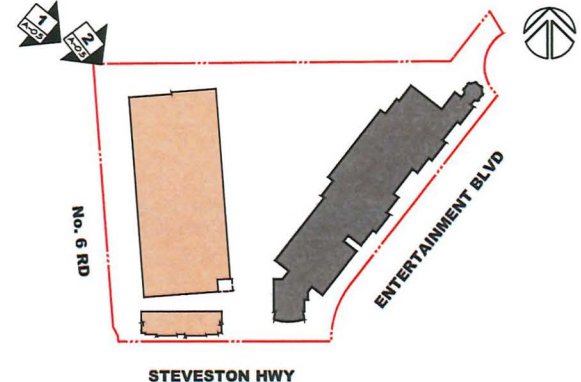
DRAWN: 20/24
JOB NO.: 20-018
DATE PLOTTED: MAY 15 2019
DRAWING NUMBER:
4 A-0.6



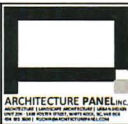
1 BIRDSEYE VIEW OF NORTHWEST CORNER
SCALE: N.T.S.



2 VIEW OF NORTHWEST CORNER OF COMMERCIAL BUILDING
SCALE: N.T.S.



3 KEY PLAN
SCALE: N.T.S.



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NO.	DATE	REVISION	NO.	DATE	REVISION
1	NOV 21 25	DCP	13		
2	FEB 17 25	DEVELOPMENT PERMIT	14		
3	FEBRUARY 25	CONTRACT	15		
4	MAY 15 25	DCP	16		
5			17		
6			18		
7			19		
8			20		
9			21		
10			22		
11			23		
12			24		



PROJECT: PROPOSED BUILDINGS FOR
ENTERTAINMENT BOULEVARD REDEVELOPMENT
ADDRESS: 1411 ENTERTAINMENT BLVD., RICHMOND BC

DRAWING NO. **4** CHECKED: **A-0.5**

DATE PLOTTED: MAY 15 25
DRAWING NUMBER: **A-0.5**

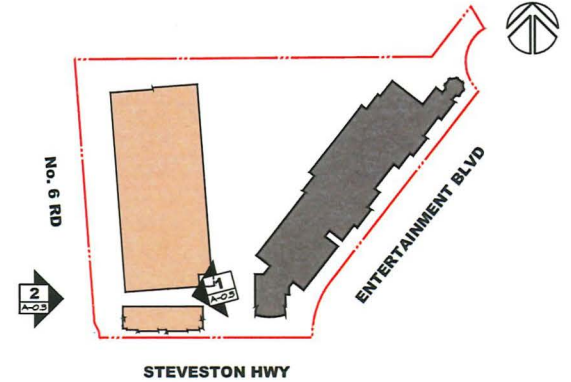
RENDERINGS



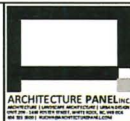
1 VIEW TO WEST BETWEEN BUILDINGS
SCALE: N.T.S.



2 VIEW TO EAST BETWEEN BUILDINGS
SCALE: N.T.S.



3 KEY PLAN
SCALE: N.T.S.

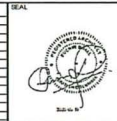


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NO.	DATE	REVISION	NO.	DATE	REVISION	NO.	DATE	REVISION
1	NOV 01 20	RAMP	13			25		
2	FEB 12 20	DEVELOPMENT PERMIT	14			26		
3	APR 20 20	ESP	15			27		
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			19			31		
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			21			33		
			22			34		
			23			35		
			24			36		



PROJECT: PROPOSED BUILDINGS FOR
ENTERTAINMENT BOULEVARD REDEVELOPMENT
ADDRESS: 1111 ENTERTAINMENT BLVD., RICHMOND BC

DATE PLOTTED: MAY 15 20
DRAWING NUMBER: **A-0.3**

DRWING: **RENDERINGS** REV: **4**

DRAWN: JBL/JH
CHECKED: H.D.



ENTERTAINMENT BLVD REDEVELOPMENT

14111 ENTERTAINMENT BLVD | RICHMOND | BC

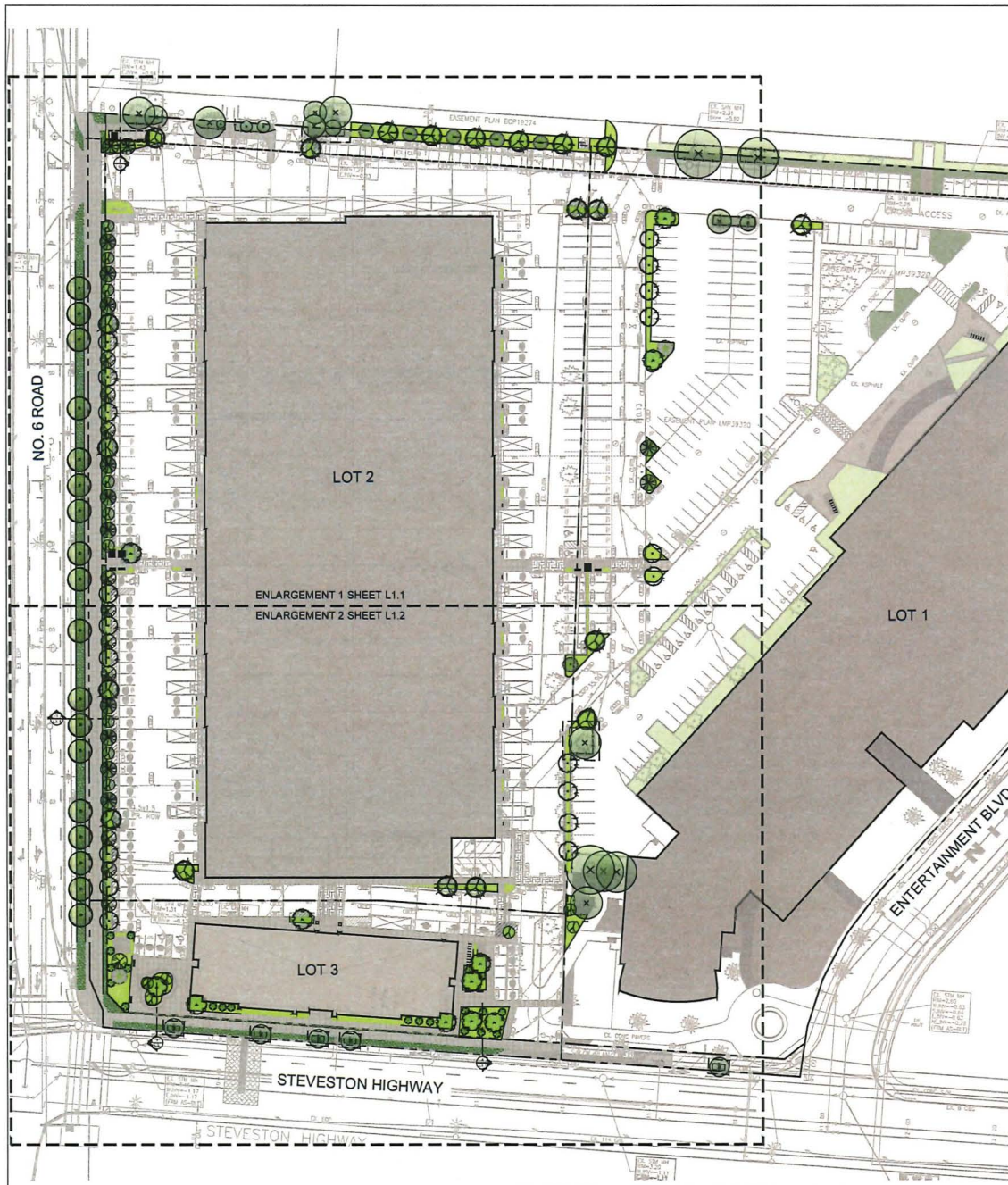
LANDSCAPE DRAWINGS



24-323L | L0 |



Landscape Architecture / Arboricultural Consulting
CPTED Consulting (Crime Prevention Through Environmental Design)



NOTES

GENERAL NOTES

1. ALL LANDSCAPE WORKS MUST CONFORM TO THE CANADIAN LANDSCAPE STANDARD CURRENT EDITION.
2. EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
3. ALL MEASUREMENTS ON SITE DO NOT SCALE DRAWINGS.
4. CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
5. CONFIRM BYLAW REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BYLAW REQUIREMENTS. OBTAIN PERMIT PRIOR TO BEGINNING CONSTRUCTION WORKS.
6. OBTAIN UTILITY AND SERVICES LOCATED PRIOR TO BEGINNING CONSTRUCTION WORKS.
7. PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
8. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
9. THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE DURING THE PERIOD OF WORKS. PEDESTRIAN PUBLIC AND ROAD AREAS ARE TO BE SWEEP AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

PLANTING NOTES

1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
4. TREE PROTECTION: PER THE MUNICIPAL DETAIL IF REQUIRED.
5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.
6. SOIL DEPTHS SHALL BE A MINIMUM 150mm FOR TURF GRASS, A MINIMUM 450mm FOR PLANTING AREAS, AND A MINIMUM 600mm IN PLANTING BEDS WITH TREES.
7. APPROVED SOILS FOR TURF GRASS ARE THRIVE TURF BLEND SUPPLIED BY VERATED ENGINEERED PRODUCTS INC., TRIO BLEND SUPPLIED BY THE ANSWER GARDEN PRODUCTS, OR APPROVED EQUAL.
8. APPROVED SOILS FOR PLANTING BEDS ARE THRIVE PLANTER BLEND SOIL SUPPLIED BY VERATED ENGINEERED PRODUCTS INC., TRIO BLEND SUPPLIED BY THE ANSWER GARDEN PRODUCTS, OR APPROVED EQUAL.
9. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUM IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
10. PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
11. ALL PLANTING BEDS TO BE FINISHED WITH 50mm OF WELL-COMPOSTED BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
12. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. AND/OR POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
13. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY OF ARBORICULTURE (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TRIMMING FOR EACH SPECIES.
14. PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL, INCLUDING ANY REPLACEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - 12.1 REGULAR SCHEDULE OF WATERING OF THE PLANTS AS REQUIRED AND/OR AS DIRECTED BY THE PROJECT MANAGER DURING CONSTRUCTION AND THE WARRANTY PERIOD. PLANTS SHALL BE WATERED WITHIN 48 HOURS OF WRITTEN REQUEST BY THE OWNER OR OWNER'S REPRESENTATIVE. FAILURE TO DO SO AFTER THE REQUEST SHALL RESULT IN THE WORK BEING UNDERTAKEN BY OTHERS. THE COST OF THIS WORK SHALL BE DEDUCTED FROM THE TOTAL CONTRACT PRICE OR HOLDBACK AND OTHERWISE RECOVERED FROM THE CONTRACTOR.
 - 12.2 MAINTENANCE AND ADDITIONAL INSTALLATION OF MULCH
 - 12.3 WEED REMOVAL
 - 12.4 DISEASE CONTROL

MINIMUM TREE PLANTING CLEARANCES

1. TREES SHALL HAVE THE FOLLOWING MINIMUM CLEARANCES FROM:
 - 1.1 STREET LIGHT POLES - 60m
 - 1.2 UTILITY POLES - 3.0m
 - 1.3 EDGE OF DRIVEWAY, CURB RETURN, CATCHBASIN OR ABOVE GROUND UTILITY FACILITY - 2.0m
 - 1.4 SEWER AND DRAINAGE SERVICE CONNECTION FIRE HYDRANTS - 1.5m
 - 1.5 MANHOLES, VALVE BOXES, WATER SERVICES - 1.2m
 - 1.6 BCH LIFT/PM/VISTA SWITCH VAULTS - 2.25m
2. WHERE THERE IS A BOLLARD PLANTING STRIP BETWEEN THE BACK OF THE CURB AND FRONT OF THE SIDEWALK, TREES SHALL BE PLANTED A MINIMUM OF 1.0m FROM BACK OF CURB AND 1.0m FROM BACK OF SIDEWALK.
3. IN OTHER CIRCUMSTANCES TREES SHALL BE PLANTED 1.0m FROM THE BACK OF THE SIDEWALK AND 2.5m FROM BACK OF CURB.

SODDING NOTES

1. SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOD, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
 - 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 20% PERENNIAL Ryegrass
2. USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE.
3. ALL SOD TO BE CHAFER BEETLE RESISTANT.
4. AREAS TO BE SODDED SHALL HAVE A MINIMUM 150mm TOPSOIL BASE.
5. APPROVED SOILS FOR TURF GRASS ARE THRIVE TURF BLEND SUPPLIED BY VERATED ENGINEERED PRODUCTS INC., TRIO BLEND SUPPLIED BY THE ANSWER GARDEN PRODUCTS, OR APPROVED EQUAL.
6. LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMPS AND HOLLOWES. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
7. PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
8. DELIVER SOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 30 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOD FROM DRYING, AND WATER SOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOD WILL BE REJECTED.
9. LAY SOD DURING GROWING SEASON. LAY SOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
10. WATER SOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150mm OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

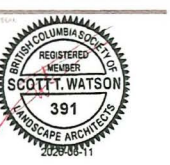
IRRIGATION NOTES

1. IRRIGATION DESIGN AND INSTALLATION WILL CONFORM TO THE IRRIGATION INDUSTRY OF BC (IIBC) STANDARDS.



LEGEND	
[Symbol]	CONCRETE SIDEWALK PAVING
[Symbol]	STAMPED CONCRETE SIDEWALK
[Symbol]	TURF
[Symbol]	LANDSCAPING BED
[Symbol]	EXISTING LANDSCAPE
[Symbol]	TABLE
[Symbol]	BENCH
[Symbol]	BIKE RACK (SINGLE)
[Symbol]	PROPERTY LINE
[Symbol]	DETRAIL LINE
[Symbol]	TRIS PROTECTION FENCE
[Symbol]	ARBOREST SUPERVISION ZONE
[Symbol]	ROOT BARRIER
[Symbol]	EXISTING TREE TO BE RETAINED
[Symbol]	EXISTING TREE TO BE REMOVED
[Symbol]	STREET TREES

[Symbol]	25-0511	ISSUED FOR DPP PRESENTATION
[Symbol]	25-0526	ISSUED FOR DPP
[Symbol]	25-0529	ISSUED FOR COMMENTS RESPONSE
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PROJECT NAME:
ENTERTAINMENT BLVD REDEVELOPMENT

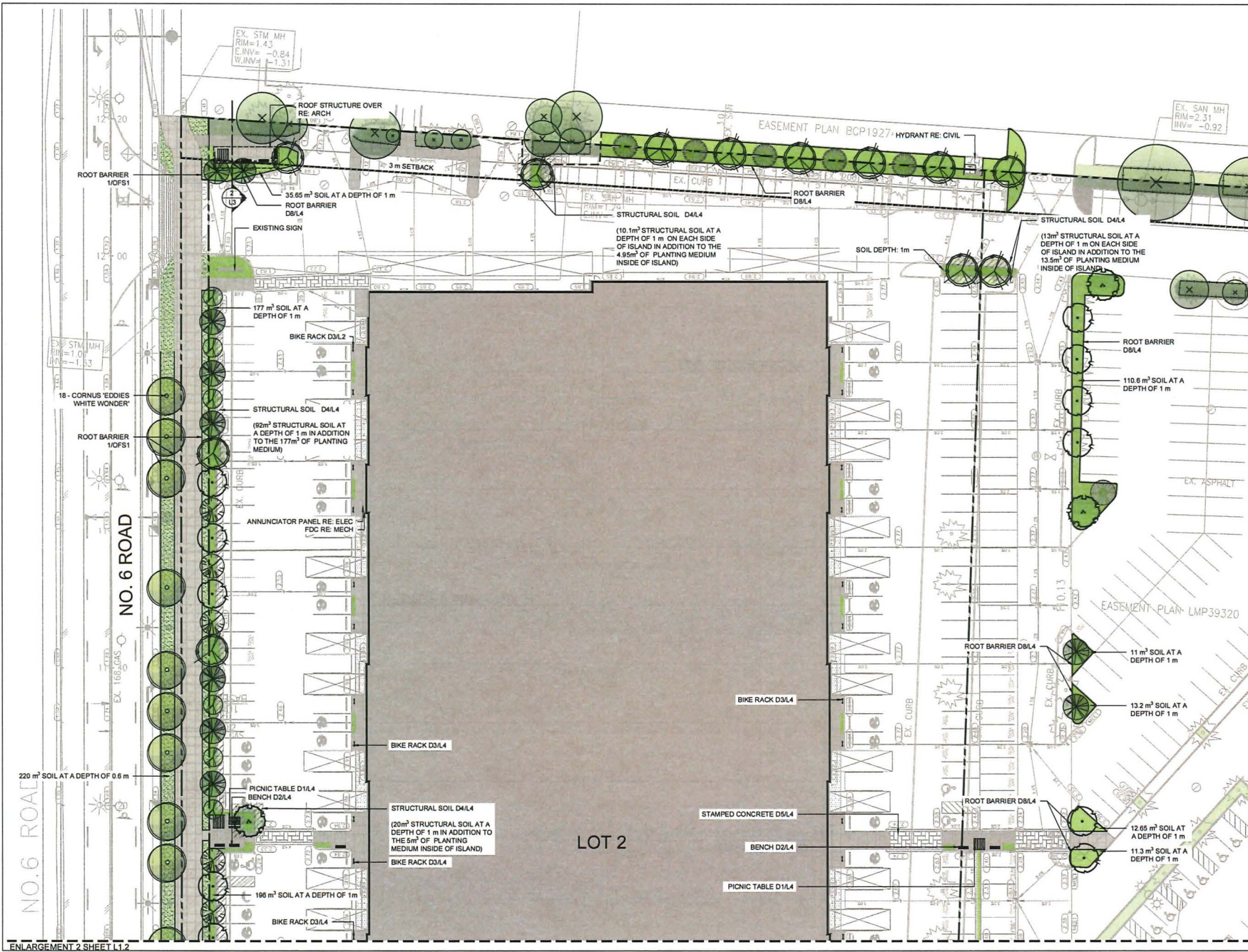
PROJECT ADDRESS:
14111 ENTERTAINMENT BLVD RICHMOND, BC

DESIGNED BY:
LANDSCAPE PLAN

SCALE:	1:500
DATE:	MA
DESIGNER:	SW
CHECKED BY:	SW
DATE:	24 JUN
START DATE:	2025-01-22
PROJECT NO.:	

L1

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LEGEND

- CONCRETE SIDEWALK PAVING
- STAMPED CONCRETE WALKWAY
- TURF
- LANDSCAPING BED
- EXISTING LANDSCAPE
- TABLE
- BENCH
- BIKE RACK (SINGLE)
- PROPERTY LINE
- SETBACK LINE
- TREE PROTECTION FENCE
- ARBORIST SUPERVISION ZONE
- ROOT BARRIER
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- STREET TREES

25/06/11	ISSUED FOR DPP PRESENTATION
25/09/20	ISSUED FOR DPP
26/02/19	ISSUED FOR COMMENTS RESPONSE
25/06/19	ISSUED FOR COORDINATION
25/11/19	ISSUED FOR COMMENTS RESPONSE
25/11/17	ISSUED FOR RE-OP
25/11/13	ISSUED FOR RE-OP
21/10/27	ISSUED FOR COORDINATION
25/09/13	ISSUED FOR READING / DPP
24/11/06	ISSUED FOR RE-OP



PROJECT NAME
ENTERTAINMENT BLVD REDEVELOPMENT

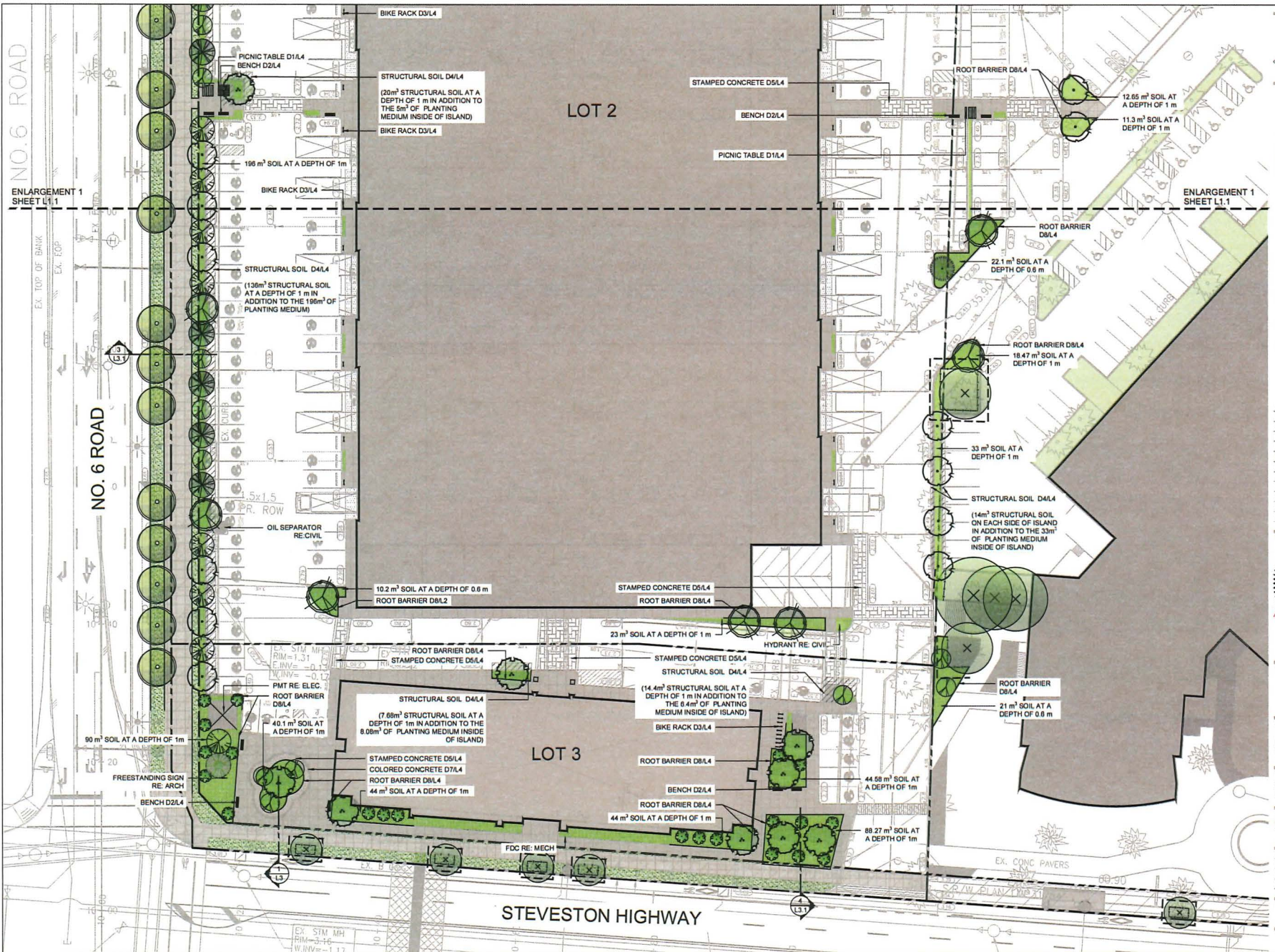
PROJECT ADDRESS
14111 ENTERTAINMENT BLVD RICHMOND, BC

ISSUED DATE
ENLARGEMENT PLAN 1

SCALE	1:250
COUNTRY	MA
DATE CREATED	BW
PROJECT NO.	24-0055
ISSUE NO.	2020-06-22
DATE REVISION	

L1.1

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AMR Systems
Landscape Architecture / Architectural Consulting
OFFICE: 14111 Entertainment Blvd, Richmond, BC V6V 1K6
TEL: 604.273.1111 FAX: 604.273.1112
WWW.AMRSYSTEMS.COM

LEGEND

- CONCRETE SIDEWALK PAVING
- STAMPED CONCRETE WALKWAY
- TURF
- LANDSCAPING BED
- EXISTING LANDSCAPE
- TABLE
- BENCH
- BIKE RACK (SINGLE)
- PROPERTY LINE
- SETBACK LINE
- TREE PROTECTION FENCE
- ARBORET SUPERVISOR ZONE
- ROOT BARRIER
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- STREET TREES

20/09/11	ISSUED FOR RFP PRESENTATION
20/09/20	ISSUED FOR RFP
20/09/24	ISSUED FOR COMMENTS RESPONSE
20/09/23	ISSUED FOR COORDINATION
20/11/19	ISSUED FOR COMMENTS RESPONSE
20/11/17	ISSUED FOR R.E.O.P.
20/11/13	ISSUED FOR R.O.R.O.P.
20/10/27	ISSUED FOR COORDINATION
20/08/13	ISSUED FOR RE-ZONING / L.P.
20/11/06	ISSUED FOR PRE-OP.

ISSUED FOR PRE-OP



REGISTERED MEMBER
SCOTT F. WATSON
391
LANDSCAPE ARCHITECT
2020-05-11

NORTH

PROJECT NAME:
ENTERTAINMENT BLVD REDEVELOPMENT

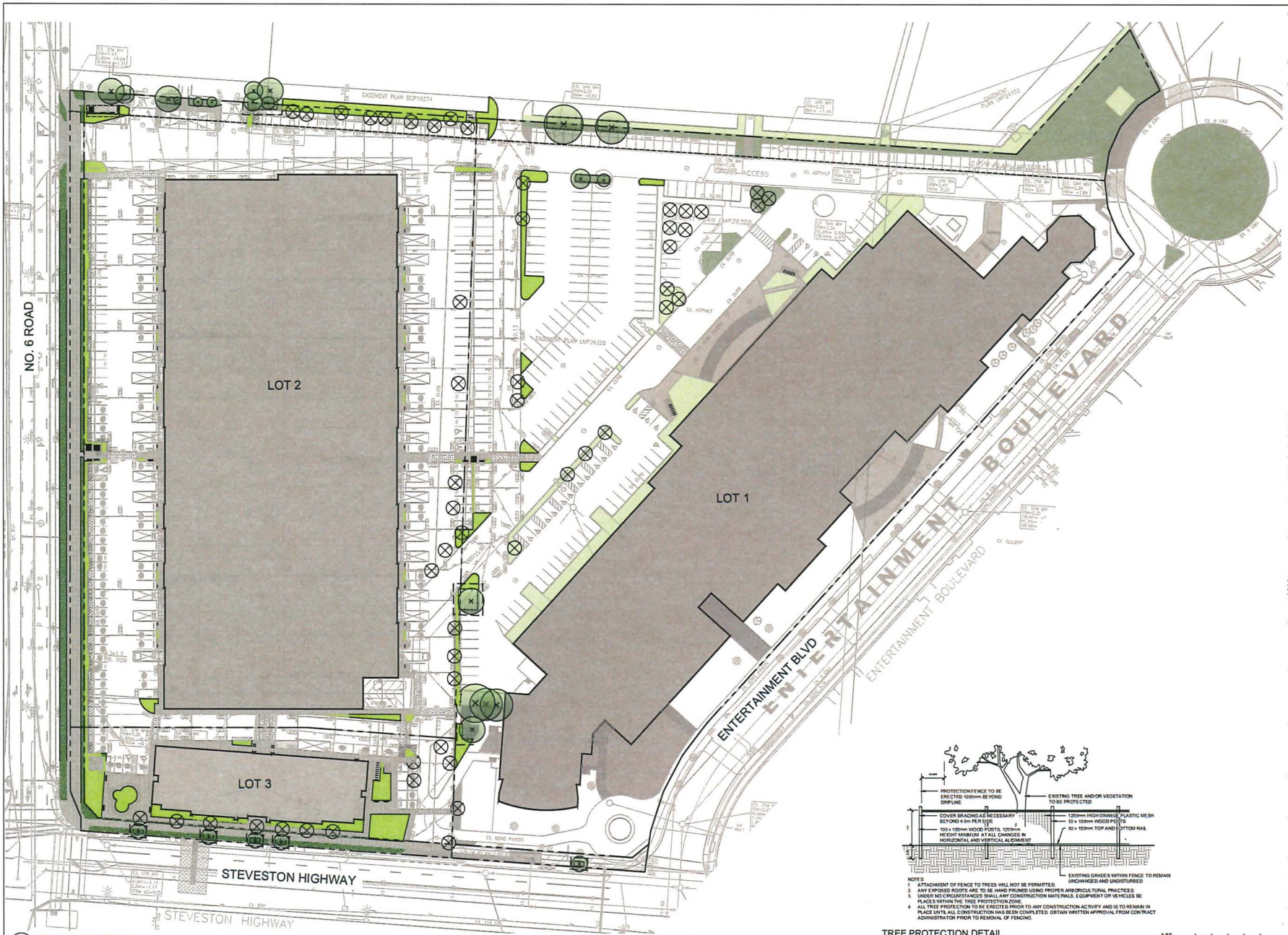
PROJECT ADDRESS:
14111 ENTERTAINMENT BLVD
RICHMOND, BC

PROJECT TITLE:
ENLARGEMENT PLAN 2

SCALE:	1:200
DATE:	2020
DESIGNER:	AMR
DATE:	2020
START DATE:	2020.01.22
PROJECT NO.:	

L1.2

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LEGEND

- CONCRETE SIDEWALK PAVING
- STAMPED CONCRETE WALKWAY
- TURF
- LANDSCAPING BED
- EXISTING LANDSCAPE
- TABLE
- BENCH
- BIKE RACK (SINGLE)
- PROPERTY LINE
- SETBACK LINE
- TREE PROTECTION FENCE
- ARBORET SUPERVISOR ZONE
- ROOT BARRIER
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- STREET TREE

- 25-0611 ISSUED FOR DPP PRESENTATION
- 25-0926 ISSUED FOR DPP
- 25-0219 ISSUED FOR COMMENTS RESPONSE
- 25-0213 ISSUED FOR COORDINATION
- 25-1119 ISSUED FOR COMMENTS RESPONSE
- 25-1117 ISSUED FOR RE-OP
- 25-1113 ISSUED FOR RE-OP
- 25-0227 ISSUED FOR COORDINATION
- 25-0613 ISSUED FOR REVISION / OP
- 24-1106 ISSUED FOR RE-OP



ENTERTAINMENT BLVD REDEVELOPMENT

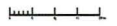
PROJECT ADDRESS
 14111 ENTERTAINMENT BLVD
 RICHMOND, BC

TREE MANAGEMENT PLAN

DATE	AS NOTED
DESIGNED	MA
CONCEPT	BW
PROJECT NO.	24-031
DATE	2024-01-22
DRAWN BY	

L1.4

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LEGEND

- CONCRETE SIDEWALK PAVING
- STAMPED CONCRETE WALKWAY
- TURF
- LANDSCAPING BED
- EXISTING LANDSCAPE
- TABLE
- BENCH
- BIKE RACK (SINGLE)
- PROPERTY LINE
- SETRACK LINE
- TREE PROTECTION FENCE
- ARBOREST SUPERVISION ZONE
- ROOT BARRIER
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- STREET TREES

- 25.09.11 ISSUED FOR ODP PRESENTATION
- 25.09.25 ISSUED FOR ODP
- 25.02.19 ISSUED FOR COMMENTS RESPONSE
- 25.02.21 ISSUED FOR COORDINATION
- 25.04.16 ISSUED FOR COMMENTS RESPONSE
- 25.04.17 ISSUED FOR ODP
- 25.04.18 ISSUED FOR ODP
- 25.07.27 ISSUED FOR COORDINATION
- 25.09.13 ISSUED FOR REDLINE / ODP
- 24.01.08 ISSUED FOR ODP
- NO DATE, IN USE ODP/OTM
- ISSUED & REVISIONS



PROJECT NAME
ENTERTAINMENT BLVD REDEVELOPMENT

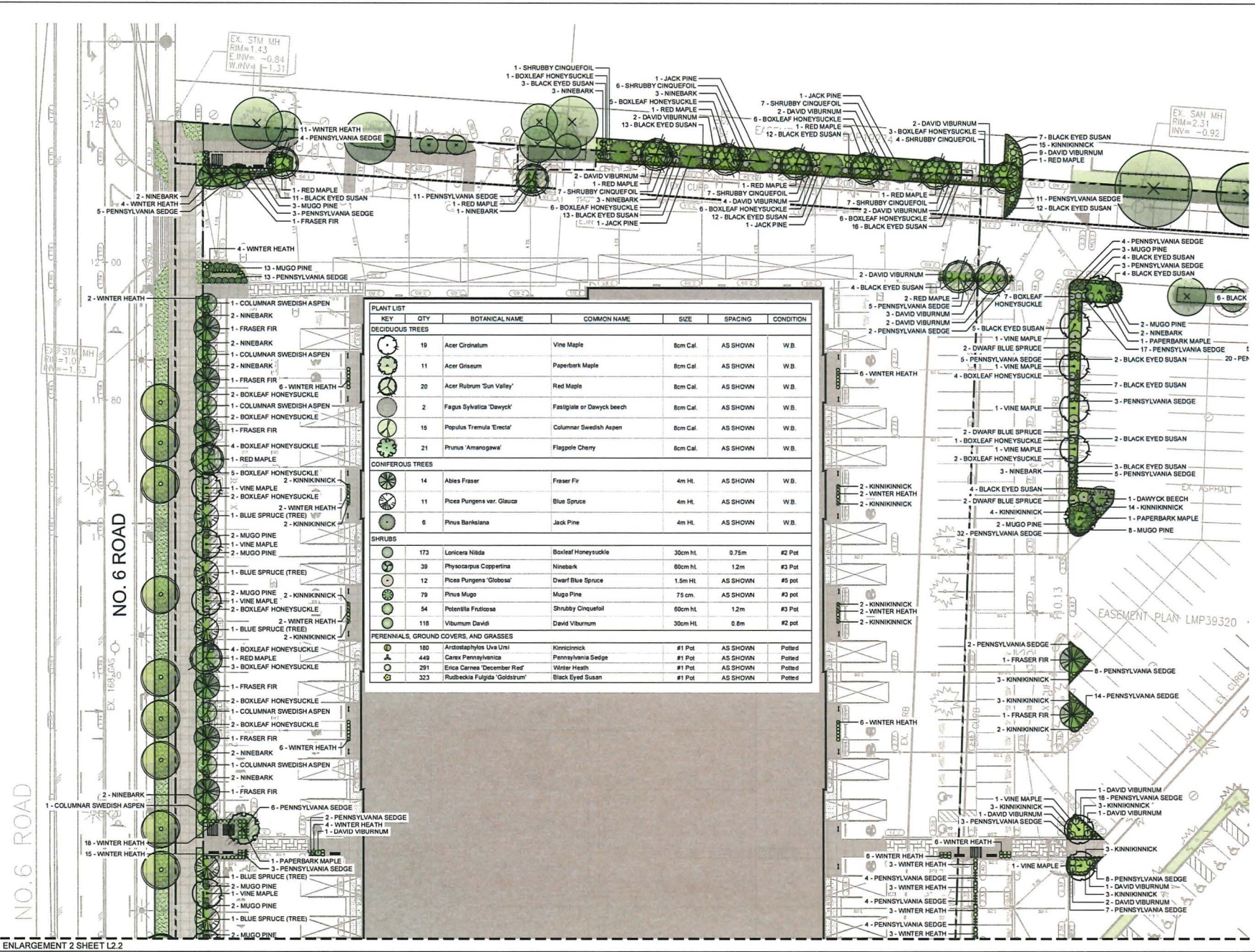
PROJECT ADDRESS
14111 ENTERTAINMENT BLVD RICHMOND, BC

PLANTING PLAN ENLARGEMENT 1

SCALE	1:200
DRAWN	MA
CHECKED	BSW
PROJECT NO.	24-2021
DATE	2025.01.22

L2.1

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PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	19	Acer Circinalum	Vine Maple	8cm Cal.	AS SHOWN	W.B.
	11	Acer Glabrum	Paperbark Maple	8cm Cal.	AS SHOWN	W.B.
	20	Acer Rubrum 'Sun Valley'	Red Maple	8cm Cal.	AS SHOWN	W.B.
	2	Fagus Sylvatica 'Dawyck'	Fasiglate or Dawyck beech	8cm Cal.	AS SHOWN	W.B.
	15	Populus Tremula 'Erecta'	Columnar Swedish Aspen	8cm Cal.	AS SHOWN	W.B.
	21	Prunus 'Annamogawa'	Flaggole Cherry	8cm Cal.	AS SHOWN	W.B.
CONIFEROUS TREES						
	14	Abies Fraser	Fraser Fir	4m Ht.	AS SHOWN	W.B.
	11	Picea Pungens var. Glauca	Blue Spruce	4m Ht.	AS SHOWN	W.B.
	6	Pinus Banksiana	Jack Pine	4m Ht.	AS SHOWN	W.B.
SHRUBS						
	173	Lonicera Nilda	Boxleaf Honeysuckle	30cm ht.	0.75m	#2 Pot
	38	Physocarpus Opertina	Ninebark	60cm ht.	1.2m	#3 Pot
	12	Picea Pungens 'Globosa'	Dwarf Blue Spruce	1.5m Ht.	AS SHOWN	#5 pot
	79	Pinus Mugo	Mugo Pine	75 cm.	AS SHOWN	#3 pot
	54	Potentilla Fruticosa	Shubby Cinquefoil	60cm ht.	1.2m	#3 Pot
	118	Viburnum Davidi	David Viburnum	30cm Ht.	0.8m	#2 pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	180	Ardostaphylos Uva Ursi	Kinnikinnick	#1 Pot	AS SHOWN	Potted
	448	Carex Pennsylvanica	Pennsylvania Sedge	#1 Pot	AS SHOWN	Potted
	291	Erica Carnea 'December Red'	Winter Heath	#1 Pot	AS SHOWN	Potted
	323	Rutbeckia Fulgida 'Goldstrum'	Black Eyed Susan	#1 Pot	AS SHOWN	Potted

NO. 6 ROAD
 ENLARGEMENT 2 SHEET L2.2

LEGEND

- CONCRETE SIDEWALK FINISH
- STAMPED CONCRETE WALKWAY
- TURF
- LANDSCAPING BED
- EXISTING LANDSCAPE
- TABLE
- BENCH
- BIKE RACK (SINGLE)
- PROPERTY LINE
- SETBACK LINE
- TREE PROTECTION FENCE
- ARBOREST SUPERVISION ZONE
- ROOT BARRIER
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- STREET TREES

20.0511	ISSUED FOR ODP PRESENTATION
20.0526	ISSUED FOR ODP
20.0219	ISSUED FOR COMMENTS RESPONSE
20.0515	ISSUED FOR COORDINATION
20.1119	ISSUED FOR COMMENTS RESPONSE
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20.1113	ISSUED FOR RE-OP
20.1027	ISSUED FOR COORDINATION
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24.1108	ISSUED FOR RE-OP

NO. DATE, TIME, DESCRIPTION
 ISSUED BY: GDM



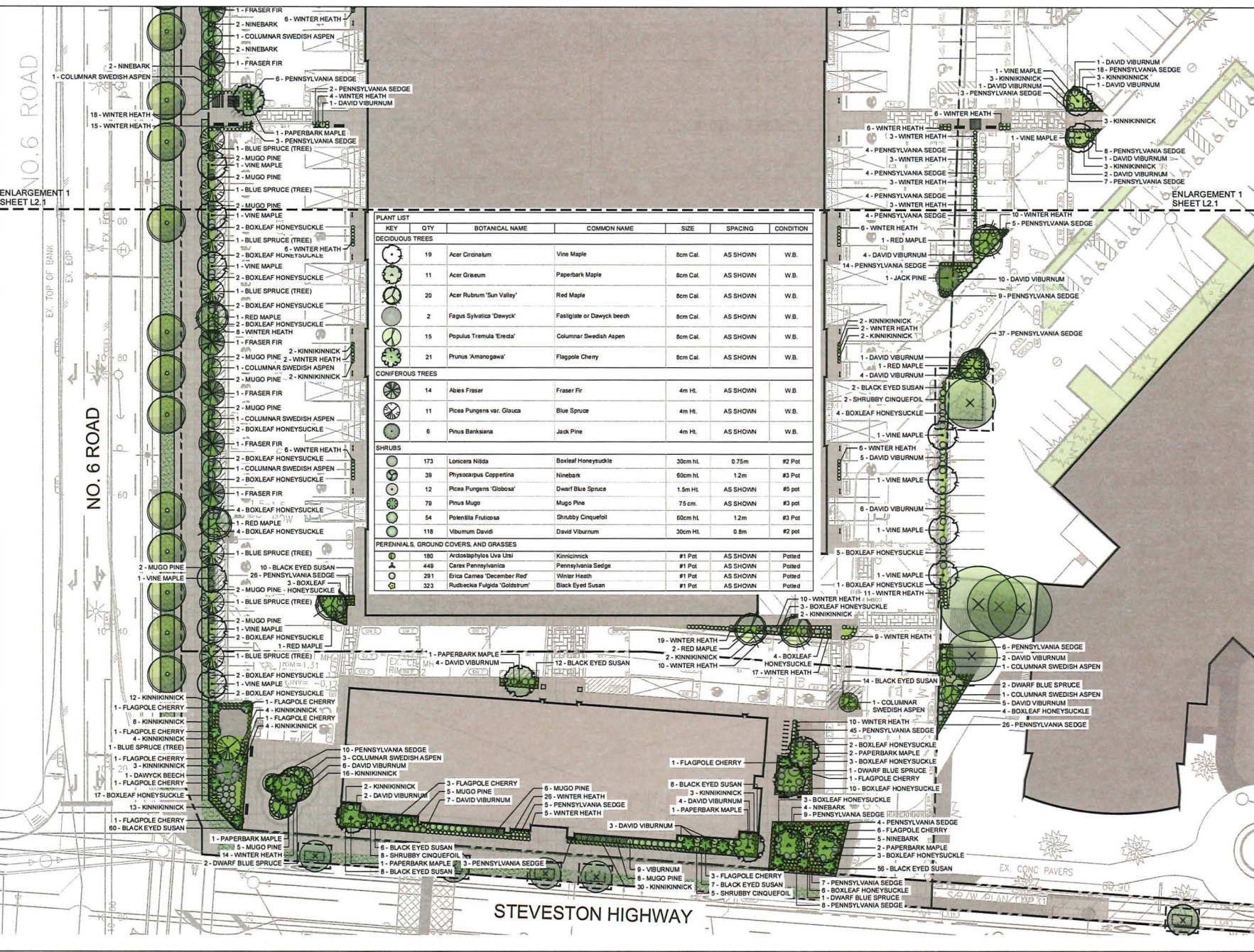
ENTERTAINMENT BLVD REDEVELOPMENT

PROJECT ADDRESS:
 14111 ENTERTAINMENT BLVD
 RICHMOND, BC

PLANTING PLAN ENLARGEMENT 2

SCALE	1:250
CHECKED	MA
DATE	2023-09-22
PROJECT NO.	24-2025
DATE	2023-09-22
DRAWING NO.	L2.2

L2.2



PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
(Symbol)	19	Acer Circinalum	Vine Maple	8cm Cal.	AS SHOWN	W.B.
(Symbol)	11	Acer Gresum	Paperbark Maple	8cm Cal.	AS SHOWN	W.B.
(Symbol)	20	Acer Rubrum 'Sun Valley'	Red Maple	8cm Cal.	AS SHOWN	W.B.
(Symbol)	2	Fagus Sylvatica 'Dawyck'	Fastigate or Dawyck beech	8cm Cal.	AS SHOWN	W.B.
(Symbol)	15	Populus Tremula 'Erecla'	Columnar Swedish Aspen	8cm Cal.	AS SHOWN	W.B.
(Symbol)	21	Prunus 'Amanogawa'	Flagpole Cherry	8cm Cal.	AS SHOWN	W.B.
CONIFEROUS TREES						
(Symbol)	14	Abies Fraser	Fraser Fir	4m Ht.	AS SHOWN	W.B.
(Symbol)	11	Picea Pungens var. Glauca	Blue Spruce	4m Ht.	AS SHOWN	W.B.
(Symbol)	6	Pinus Banksiana	Jack Pine	4m Ht.	AS SHOWN	W.B.
SHRUBS						
(Symbol)	173	Lonicera Nlida	Boxleaf Honeysuckle	30cm Ht. 0.75m	#2 Pot	
(Symbol)	39	Physocarpus Oppertina	Ninebark	60cm Ht. 1.2m	#3 Pot	
(Symbol)	12	Picea Pungens 'Gibbosa'	Dwarf Blue Spruce	1.5m Ht.	AS SHOWN	#5 pot
(Symbol)	70	Pinus Mugo	Mugo Pine	75 cm.	AS SHOWN	#3 pot
(Symbol)	54	Potentilla Fruticosa	Shrubby Cinquefoil	60cm Ht. 1.2m	#3 Pot	
(Symbol)	118	Viburnum Davidi	David Viburnum	30cm Ht. 0.8m	#2 Pot	
PERENNIALS, GROUND COVERS, AND GRASSES						
(Symbol)	180	Arctostaphylos Uva Ursi	Kinnikinnick	#1 Pot	AS SHOWN	Potted
(Symbol)	449	Carex Pennsylvanica	Pennsylvania Sedge	#1 Pot	AS SHOWN	Potted
(Symbol)	291	Erica Carnea 'December Red'	Winter Heath	#1 Pot	AS SHOWN	Potted
(Symbol)	323	Rudbeckia Fulgida 'Goldstrum'	Black Eyed Susan	#1 Pot	AS SHOWN	Potted

ENLARGEMENT 1
 SHEET L2.1

ENLARGEMENT 1
 SHEET L2.1

STEVESTON HIGHWAY

EX. CONC PAVERS

LEGEND

	CONCRETE DIAGONAL PAVING
	STAMPED CONCRETE WALKWAY
	GRASS
	LANDSCAPE BED
	EXISTING LANDSCAPE
	TILE
	BENCH
	FIRE TRUCK SYMBOL
	PROPERTY LINE
	SETBACK LINE
	TREE PROTECTION FENCE
	ARBOREAL SUPERVISION ZONE
	FOOT BARRIER
	PLANTING TREE TO BE PLANTED
	EXISTING TREE TO BE REMOVED
	STREET TREES

200611 - ISSUED FOR PRESERVATION
 200620 - ISSUED FOR BIDDING
 200624 - ISSUED FOR COMMENTS RESPONSE
 200625 - ISSUED FOR COMMENTS RESPONSE
 201413 - ISSUED FOR COMMENTS RESPONSE
 201414 - ISSUED FOR COMMENTS RESPONSE
 201415 - ISSUED FOR COMMENTS RESPONSE
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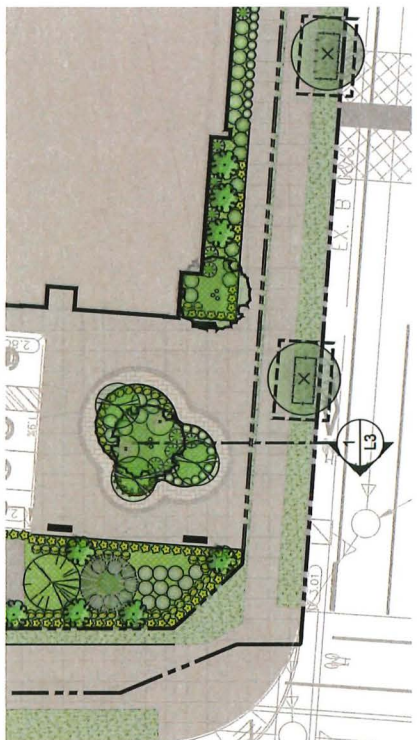
PROFESSIONAL SEAL
 BRITISH COLUMBIA SOCIETY OF
 LANDSCAPE ARCHITECTS
 391
 SCOTT WATSON
 2028-08611

PROJECT NAME
 ENTERTAINMENT BLVD
 REDEVELOPMENT

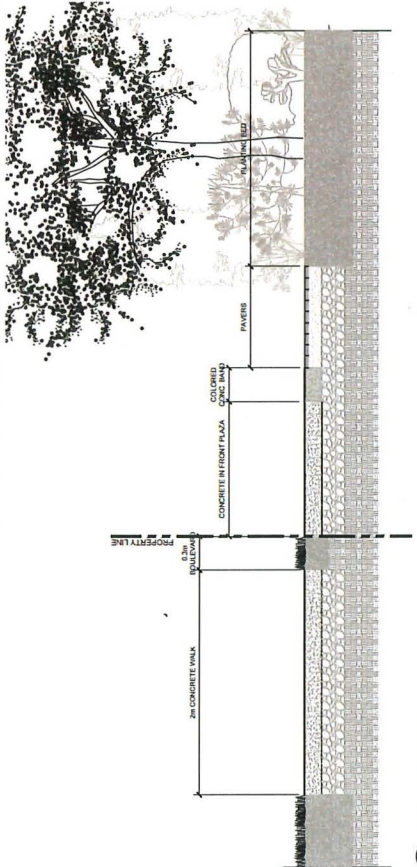
PROJECT ADDRESS
 14111 ENTERTAINMENT BLVD
 RICHMOND, BC

LANDSCAPE SECTIONS

DATE:	N.T.S.
DRAWN BY:	MA
CHECKED BY:	HW
PROJECT NO.:	201402
DATE PLOTTED:	20140222



N.T.S.



1 SOUTH SITE SECTION



N.T.S.

2 NORTH SITE SECTION





MANUFACTURER: MAGLIN
MODEL NUMBER: MLPT210-S-W
QUANTITY: 4

D1 PICNIC TABLE

N.T.S.



MANUFACTURER: MAGLIN
MODEL NUMBER: MLB870-W
QUANTITY: 13

D2 BENCH

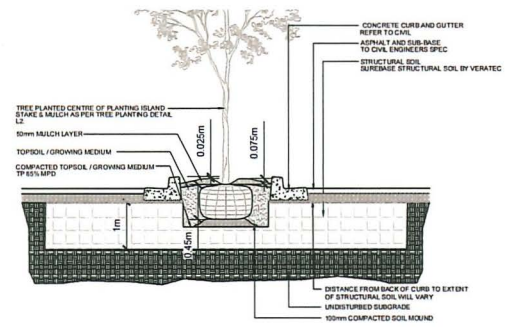
N.T.S.



MANUFACTURER: ULINE
MODEL NUMBER: H-6572
COLOUR: BLUE
QUANTITY: 57

D3 BIKE RACK

N.T.S.

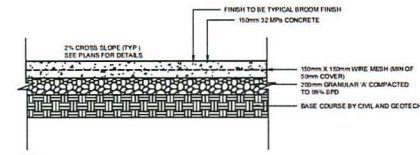


D4 STRUCTURAL SOIL

1:30

NOTES:

- CONCRETE TO BE 30MPa CLASS C-2 AT 28 DAYS WITH 5-8% AIR ENTRAINMENT
- CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK
- EXPANSION JOINTS TO BE LOCATED AT EVERY 6.0m AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS
- CONTROL JOINTS TO BE LOCATED AT INTERVALS OF 2.0m AND AT CENTRELINE OF 4.0m WIDTH WALKWAY
- CONCRETE TO BE SPRAYED WITH WHITE PIGMENT CURING COMPOUND
- ALL DIMENSIONS ARE IN MILLIMETRES.



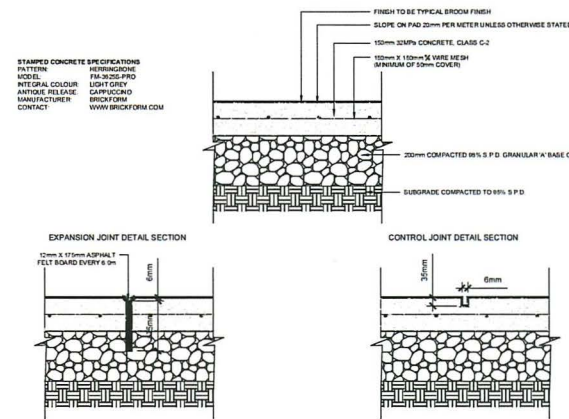
TYPE A
SOLICONS CONCRETE SERVICES
1650 COLLEGE AVENUE
ANTHUS RELEASE
ANTHUS BROSCH
MANUFACTURER
CONTACT WWW.BROCKFORM.COM

D7 COLOURED CONCRETE BAND

N.T.S.

D5 STAMPED CONCRETE

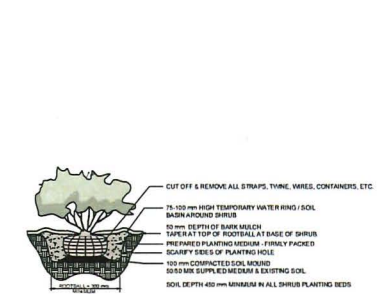
1:10



- STAMPED CONCRETE SPECIFICATIONS
- | | |
|-----------------|-------------------|
| PATTERN | HEINGONGZHE |
| MODEL | FM-305E-PRO |
| INTERNAL COLOUR | LIGHT GREY |
| ANTHUS RELEASE | CA-100000 |
| MANUFACTURER | BROCKFORM |
| CONTACT | WWW.BROCKFORM.COM |
- FINISH TO BE TYPICAL BROOM FINISH
SLOPE ON PAD 30mm PER METER UNLESS OTHERWISE STATED
100mm x 100mm x 1/2 WIRE MESH (MINIMUM OF 50mm COVER)
200mm COMPACTED W/S S.P.D GRANULAR 'A' BASE COURSE
SUBGRADE COMPACTED TO 95% S.P.D

D6 SHRUB AND PERENNIAL PLANTING DETAIL

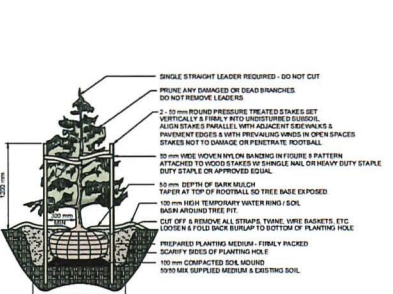
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SHRUB AND PERENNIAL PLANTING DETAIL

D6 CONIFEROUS TREE

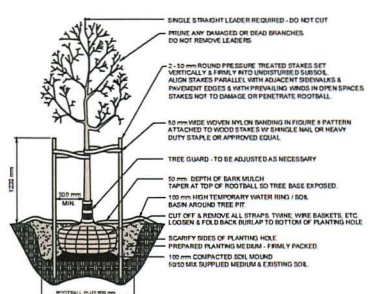
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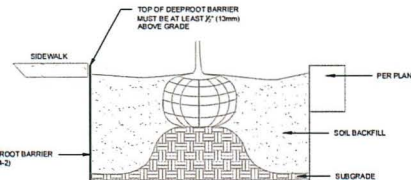
CONIFEROUS TREE

D6 DECIDUOUS TREE

N.T.S.



DECIDUOUS TREE



MANUFACTURER: DEEPROOT CANADA CORP.
MODEL: UB 24-2
1-604-687-0899
www.deeproot.com

D8 ROOT BARRIER

N.T.S.



25-09-11	ISSUED FOR DPP PRESENTATION
25-09-20	ISSUED FOR DPP
25-02-19	ISSUED FOR COMMENTS RESPONSE
25-02-13	ISSUED FOR COORDINATION
25-1-19	ISSUED FOR COMMENTS RESPONSE
25-1-17	ISSUED FOR RE-OP
25-1-13	ISSUED FOR RE-OP
25-1-07	ISSUED FOR COORDINATION
25-09-13	ISSUED FOR REVISIONING / DP
24-1-08	ISSUED FOR RE-OP



PROJECT NAME	ENTERTAINMENT BLVD REDEVELOPMENT
PROJECT ADDRESS	1411 ENTERTAINMENT BLVD RICHMOND, BC
PROJECT FILE	
DETAILS	
SCALE	AS NOTED
DESIGNER	MA
DATE	24-03-24
ISSUED DATE	2024-01-22

L4

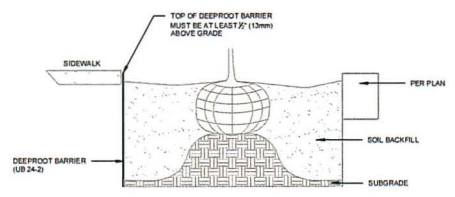
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LEGEND

- CONCRETE SIDEWALK PAVING
- STAMPED CONCRETE WALKWAY
- TURF
- LANDSCAPE BED
- EXISTING LANDSCAPE
- TABLE
- BENCH
- BIKE RACK (ANGLE)
- PROPERTY LINE
- SETBACK LINE
- TREE PROTECTION FENCE
- ARBORIST SUPERVISION ZONE
- ROOT BARRIER
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- STREET TREES

PLANT LIST - OFFSITE TREES

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	18	Cornus Edulis White Wonder	Edulis White Wonder Dogwood	Non Cal	AS SHOWN	WS



MANUFACTURER: DEEPROOT CANADA CORP.
 MODEL: UB 24-Z
 1-804-687-0899
 www.deeproot.com

1 ROOT BARRIER N.T.S.

- 25.05.11 ISSUED FOR DPP PRESENTATION
- 25.05.20 ISSUED FOR DPP
- 25.02.19 ISSUED FOR COMMENTS RESPONSE
- 25.02.18 ISSUED FOR COORDINATION
- 25.11.18 ISSUED FOR COMMENTS RESPONSE
- 25.11.17 ISSUED FOR RE-DP
- 25.11.13 ISSUED FOR RE-DP
- 25.10.27 ISSUED FOR COORDINATION
- 25.09.13 ISSUED FOR RE-MEETING / DP
- 24.11.08 ISSUED FOR RE-DP



PROJECT NAME:
ENTERTAINMENT BLVD REDEVELOPMENT

PROJECT ADDRESS:
14111 ENTERTAINMENT BLVD RICHMOND, BC

PROJECT TYPE:
LANDSCAPE OFFSITE PLAN

SCALE: 1:500

DATE: MA

DWG. NO.: DW

PROJECT NO.: 24-0203

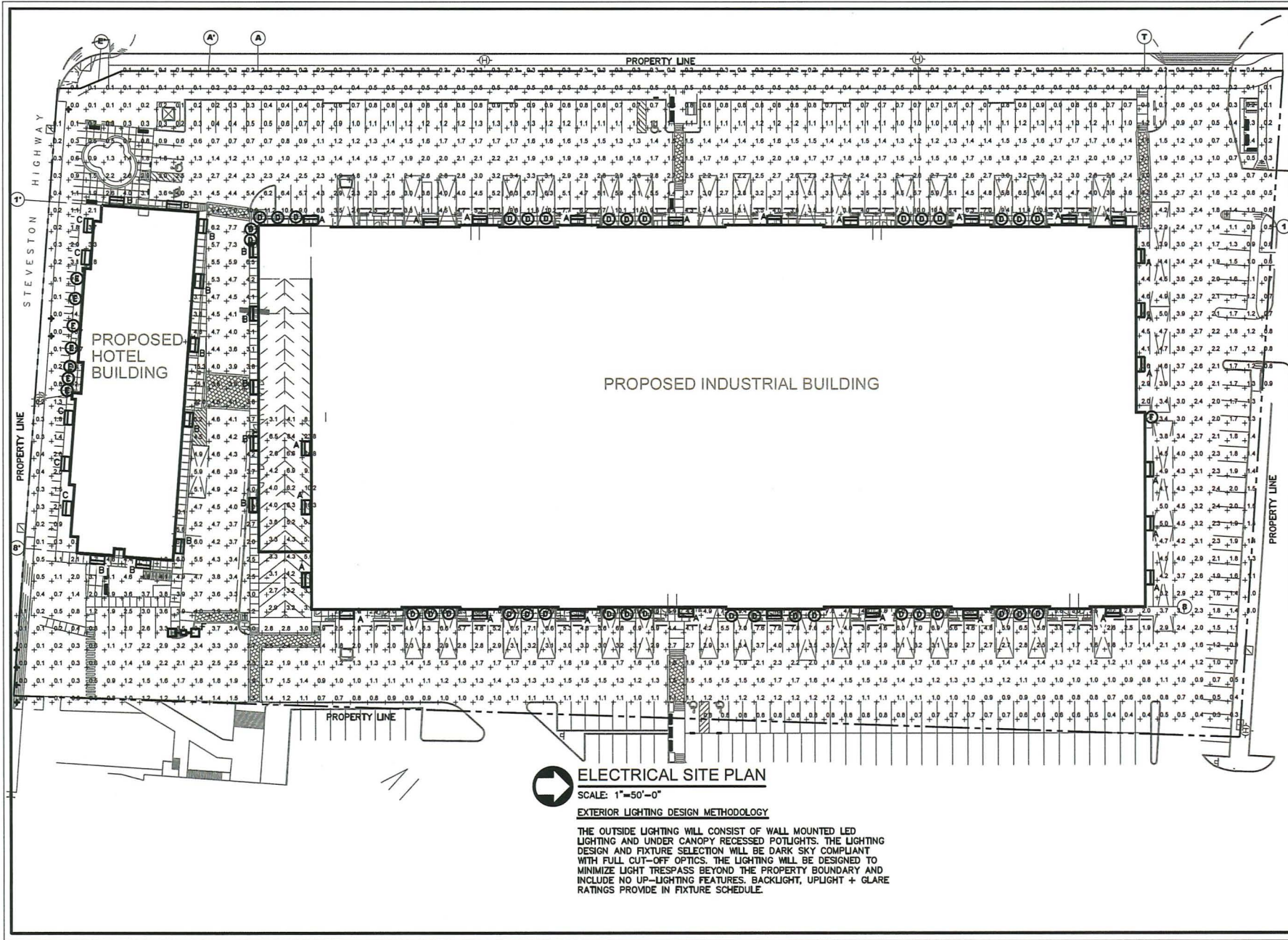
PROJECT DATE: 2024-01-22

ISSUING NO.

OFS1

DATE DRAWING: 23.01.2024
 DRAWN BY: MA
 CHECKED BY: DW
 PROJECT NO.: 24-0203
 PROJECT DATE: 2024-01-22
 ISSUING NO.





ARCHITECTURE PANEL INC.
 ARCHITECTURE LANDSCAPE ARCHITECTURE URBAN DESIGN
 UNIT 200 - 1491 FORTY STREET, WHITE ROCK BC V4W 6G4
 (604 363 3633) | ARCH@ARCHITECTUREPANEL.COM

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SMI Consultants Group Ltd.
 Professional Electrical Consulting
 8100 - 7320 Down Street
 Burnaby BC V5H 4G4
 www.smi-consultants.com

THIS PROJECT HAS BEEN DESIGNED UNDER THE FOLLOWING APPLICABLE CODES:
 BUILDING CODE: BCBC 2024
 ELECTRICAL CODE: CEC 2024
 ENERGY CODE: ASHRAE 90.1 (2019)
 EIBC PERMIT TO PRACTICE: #1000739

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2	MAY 27, 2024	RE-ISSUED FOR OP
1	NOV 09, 2023	ISSUED FOR OP REVIEW
NO	DATE	DESCRIPTION

PROJECT MANAGER/COORDINATOR:

ORION CONSTRUCTION
 105-18223 80A AVE.
 LANGLEY, BC V3Y 0E2
 PHONE: (604) 362-2994

PROJECT: PROPOSED:
ENTERTAINMENT BLVD REDEVELOPMENT
 ADDRESS: 14111 ENTERTAINMENT BLVD, RICHMOND, B.C.
 DRAWING:
ELECTRICAL DEVELOPMENT PLAN

SEAL	JOB NO.	DRAWN
	SMA 2074	LL
	DESIGNED	R.C.T
	CHECKED	R.C.T
	PLLOT DATE	

PROJECT - DRAWING NUMBER	REV.
ED1 #022	2

ELECTRICAL SITE PLAN
 SCALE: 1"=50'-0"
EXTERIOR LIGHTING DESIGN METHODOLOGY
 THE OUTSIDE LIGHTING WILL CONSIST OF WALL MOUNTED LED LIGHTING AND UNDER CANOPY RECESSED POTLIGHTS. THE LIGHTING DESIGN AND FIXTURE SELECTION WILL BE DARK SKY COMPLIANT WITH FULL CUT-OFF OPTICS. THE LIGHTING WILL BE DESIGNED TO MINIMIZE LIGHT TRESPASS BEYOND THE PROPERTY BOUNDARY AND INCLUDE NO UP-LIGHTING FEATURES. BACKLIGHT, UPLIGHT + GLARE RATINGS PROVIDE IN FIXTURE SCHEDULE.



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THIS PROJECT HAS BEEN DESIGNED UNDER THE FOLLOWING APPLICABLE CODES:
 BUILDING CODE: BCBC 2024
 ELECTRICAL CODE: CED 2024
 ENERGY CODE: ASHRAE 90.1 (2019)
 CBC PERMIT TO PRACTICE: #1000739

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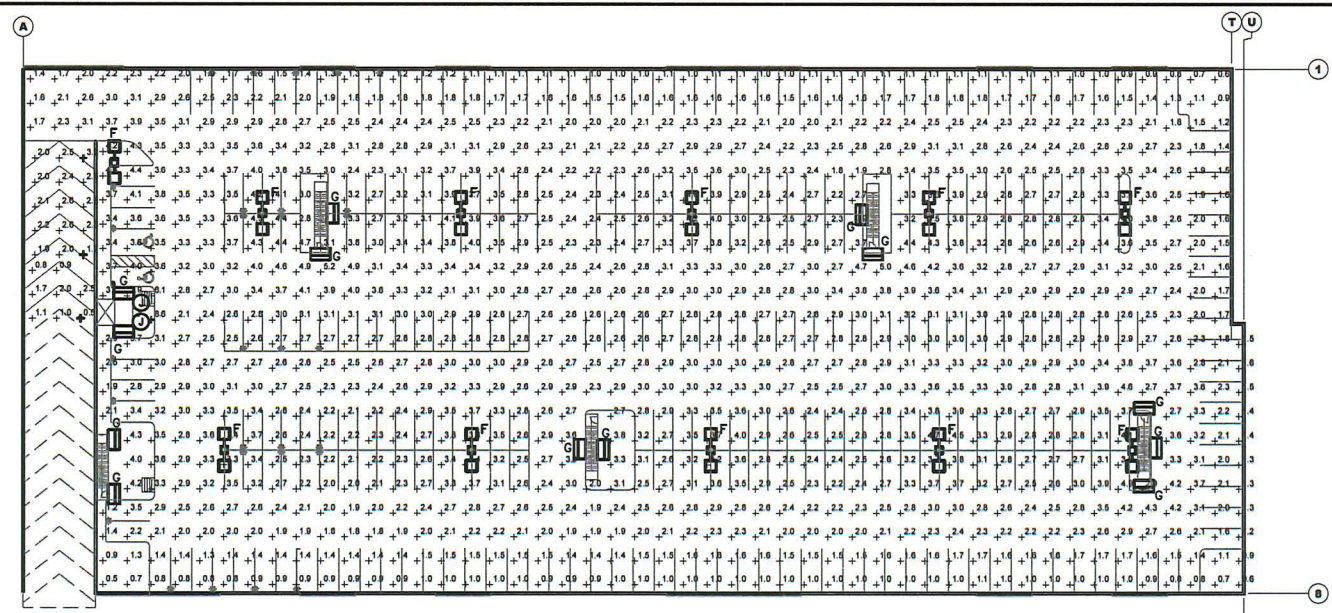
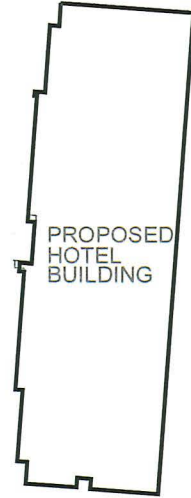
ORION CONSTRUCTION
 105-10923 80A AVE.
 LANGLEY, BC V3Y 0E2
 PHONE: (604) 362-2994

PROJECT: ENTERTAINMENT BLVD REDEVELOPMENT
 ADDRESS: 1411 ENTERTAINMENT BLVD, RICHMOND, B.C.

DRAWING: ELECTRICAL DEVELOPMENT PARKING ROOF

SEAL	JOB NO.	DRAWN
	EML2571	LL
	DESIGNED	R.C.T.
	CHECKED	R.C.T.
	PLT DATE	

PROJECT - DRAWING NUMBER: ED2 k202
 REV: 2



ELECTRICAL ROOF PARKING PLAN
 SCALE: 1"=50'-0"

EXTERIOR LIGHTING DESIGN METHODOLOGY
 THE OUTSIDE LIGHTING WILL CONSIST OF WALL MOUNTED LED LIGHTING AND UNDER CANOPY RECESSED POTLIGHTS. THE LIGHTING DESIGN AND FIXTURE SELECTION WILL BE DARK SKY COMPLIANT WITH FULL CUT-OFF OPTICS. THE LIGHTING WILL BE DESIGNED TO MINIMIZE LIGHT TRESPASS BEYOND THE PROPERTY BOUNDARY AND INCLUDE NO UP-LIGHTING FEATURES. BACKLIGHT, UPLIGHT + GLARE RATINGS PROVIDE IN FIXTURE SCHEDULE.

FIXTURE SCHEDULE

	TYPE	SYMBOL	DESCRIPTION	LAMPS	MOUNTING
	A		WALL MOUNTED LED WALL PACK C/W CUTOFF TYPE IV OPTICS. B2-U0-G2	LED 72W, 4000K	WALL MOUNTED +28' AFF
	B		WALL MOUNTED LED WALL PACK C/W CUTOFF TYPE IV OPTICS. B1-U0-G2	LED 47W, 4000K	WALL MOUNTED +12' AFF
	C		WALL MOUNTED LED WALL PACK C/W CUTOFF TYPE II OPTICS. B0-U0-G0	LED 10W, 4000K	WALL MOUNTED +12' AFF
	D		HIGH LUMEN 6" LED POTLIGHT C/W CLEAR ALZAK REFLECTOR. B0-U0-G1	LED 34W, 4000K	RECESSED IN SOFFIT
	E		HIGH LUMEN 6" LED POTLIGHT C/W CLEAR ALZAK REFLECTOR. B0-U0-G1	LED 22W, 4000K	RECESSED IN SOFFIT
	F		DUAL MOUNT LED AREA LIGHTS C/W CUTOFF TYPE III OPTICS. B2-U0-G4	LED 2x102W, 4000K	POLE MOUNTED, +25'-0" AFF POLE
	G		WALL MOUNTED LED WALL PACK C/W CUTOFF TYPE IV OPTICS. B1-U0-G0	LED 19W, 4000K	WALL MOUNTED +10' ABOVE PARKING
	H		WALL MOUNTED LED WALL PACK C/W CUTOFF TYPE IV OPTICS. B1-U0-G2	LED 59W, 4000K	WALL MOUNTED +20' ABOVE RAMP
	J		4" LED POTLIGHT C/W CLEAR ALZAK REFLECTOR. B0-U0-G0	LED 17W, 4000K	RECESSED IN SOFFIT

THANK YOU

ORION CONSTRUCTION

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Langley, BC, V2Y 0E2

info@orionconstruction.ca
604-362-2994

orionconstruction.ca