



**Development Permit Panel
Thursday, October 16, 2025**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Wayne Craig, General Manager, Planning and Development, Chair
Roeland Zwaag, General Manager, Engineering and Public Works
Milton Chan, Director, Engineering

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on September 10, 2025:

(1) *be amended to read as follows in the second bullet under Item No. 1:*

“in 2024, a Development Permit (DP 24-012258) application proposing changes to the previously approved DP (DP 18-821292) was considered and endorsed by the Development Permit Panel which includes, among others, changing the use and form of Building L from office to hotel use;” and

(2) *be adopted, as amended.*

CARRIED

1. DEVELOPMENT PERMIT 25-007857
(REDMS No. 8142278)

APPLICANT: Pacific West Architecture Inc.

PROPERTY LOCATION: 8251 Alexandra Road

INTENT OF PERMIT:

To permit exterior renovations to the existing building at 8251 Alexandra Road on a site zoned “Auto-Oriented Commercial (CA)”.

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Applicant's Comments

Patrick Yang, of Pacific West Architecture Inc., introduced the project and, with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), highlighted the following:

- the proposed exterior renovations of the existing restaurant building and related site improvements are consistent with the City's applicable standards and guidelines;
- the existing driveway entry and overall service parking will remain unchanged, and a new medium sized loading space, proposed waste and recycling area and Class 1 bicycle parking, will be provided at the rear of the building;
- frontage improvements include construction of a new pedestrian sidewalk along Alexandra Road, together with reconstruction of the existing driveway access;
- two accessible vehicle parking spaces located closest to the main entrance of the building have been provided and, to accommodate improvements including the loading space and garbage enclosure, five existing parking spaces will be removed;
- for the architecture form and character, the existing canopy and skylight above the main entry is proposed to be removed and will be replaced by a new metal canopy, and the existing sunscreen into the southern most portion of the building is to be removed and replaced with a new metal canopy, to provide weather protection for the pedestrian walkway along the east side of the building and the main entrance.
- yellow gold composite panels are being proposed at the south side of the building, a charcoal composite panel has been proposed for the backside of the building, the existing white concrete block wall facing west will be repainted to a charcoal colour, and the metal canopy will also be charcoal colour, all keeping with the overall proposed design approach to modernize the building's appearance;
- the building's height, massing and setbacks remain unchanged;
- all exterior lighting will be high performance LED lighting to reduce energy consumption; and
- in conclusion, the design will transform the building into a contemporary, sustainable and functional asset.

Eason Li, of Homing Landscape Architecture, with the aid of the same visual presentation, briefed the Panel on the landscape aspect of the project, noting that (i) design focus includes landscape improvements at the building entrance to Alexandra Road, with the overall landscape design at the building entrance to match the architectural form of the building's entrance, (ii) retain most of the overall landscaping including existing planting bed and trees along the east property line to the north and large shrubs along the west property line, creating a green landscape buffer to the neighbouring properties, (iii) proposing two street trees in the City's boulevard, providing a further green buffer on Alexander Road and the property, (iv) will relocate two of the existing trees to the back beside the proposed waste and recycling areas, providing healthy conditions for the trees

Development Permit Panel

Thursday, October 16, 2025

in the long term, (v) the landscape planting plan is a balance between ornamental plants and native plants, with more than half of the shrubs and ground cover to be used on the project to be native species, drought tolerant, providing an ecological benefit to the project and the City, (vi) the overall landscape lighting is designed to comply with the dark sky lighting principles and minimum light pollution, proposing bollard lighting near/on the building and softer lights to ensure the area is safe for pedestrians and vehicle traffic at night, and (vii) high privacy screens along the recycling areas are proposed to ensure there is no visual impact to the neighbours.

Staff Comments

Mr. Reis noted that (i) a servicing agreement is required prior to issuance of the Building Permit for the project, (ii) Servicing Agreement works include a new sidewalk, boulevard with planting and curb and reconstruction of the existing driveway, (iii) there is the relocation of two existing trees to elsewhere on the subject property, (iv) all new landscape areas are proposed to be irrigated using an automatic irrigation system, and (v) the yellow metal composite panels on the building south frontage are proposed to be lit by low voltage LED lighting, and as part of the consideration of this application, the Applicant will be required to register a legal agreement to ensure this feature is installed with a dimmer.

Panel Discussion

In reply to queries from the Panel, the applicant noted (i) they are still working to find the final product for the composite panels and will make sure the panels meet the requirements and standard of longevity, and (ii) with respect to signage, it depends on the design of the sign in the future, the existing signage used a concrete base, however the intent is to create a low planter along the base of the existing sign or the future sign so there will be some ornamental plants inside all the planters.

In reply to queries from the Panel, staff clarified that while the applicant's plans show two trees to be planted within the City's Alexandra Road boulevard, the number and location of trees will be confirmed through the review and coordination of the Servicing Agreement which is required prior to building permit issuance.

The applicant was requested to speak to rooftop mechanical equipment, including where on the building it would be located, and if the intent was specifically to locate on the northern portion within the recessed portion of the roof.

Correspondence

None.

Gallery Comments

None.

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Panel Discussion

Discussion ensued with regard to the rooftop mechanical system and as a result, direction was provided for staff to work with the applicant on any potential screening of the rooftop mechanical system prior to advancing the application for Council consideration.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit exterior renovations to the existing building at 8251 Alexandra Road on a site zoned "Auto-Oriented Commercial (CA)".

CARRIED

2. New Business

None.

3. Date of Next Meeting: October 29, 2025

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (3:53 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Thursday, October 16, 2025.

Wayne Craig
Chair

Lorraine Anderson
Legislative Services Associate

DEVELOPMENT PERMIT PANEL

DP 25-007857

October 16, 2025

Schedule 1 to the Minutes of the
Development Permit Panel
meeting held on Thursday,
October 16, 2025



PROPOSED SITE AND BUILDING RENOVATION

CIVIC ADDRESS: 8251 ALEXANDRA RD, RICHMOND BC



1 LOCATION PLAN
Scale: N.T.S.

**SUBJECT PROPERTY:
8251 ALEXANDRA RD.,
RICHMOND, BC**



2 VIEW 1



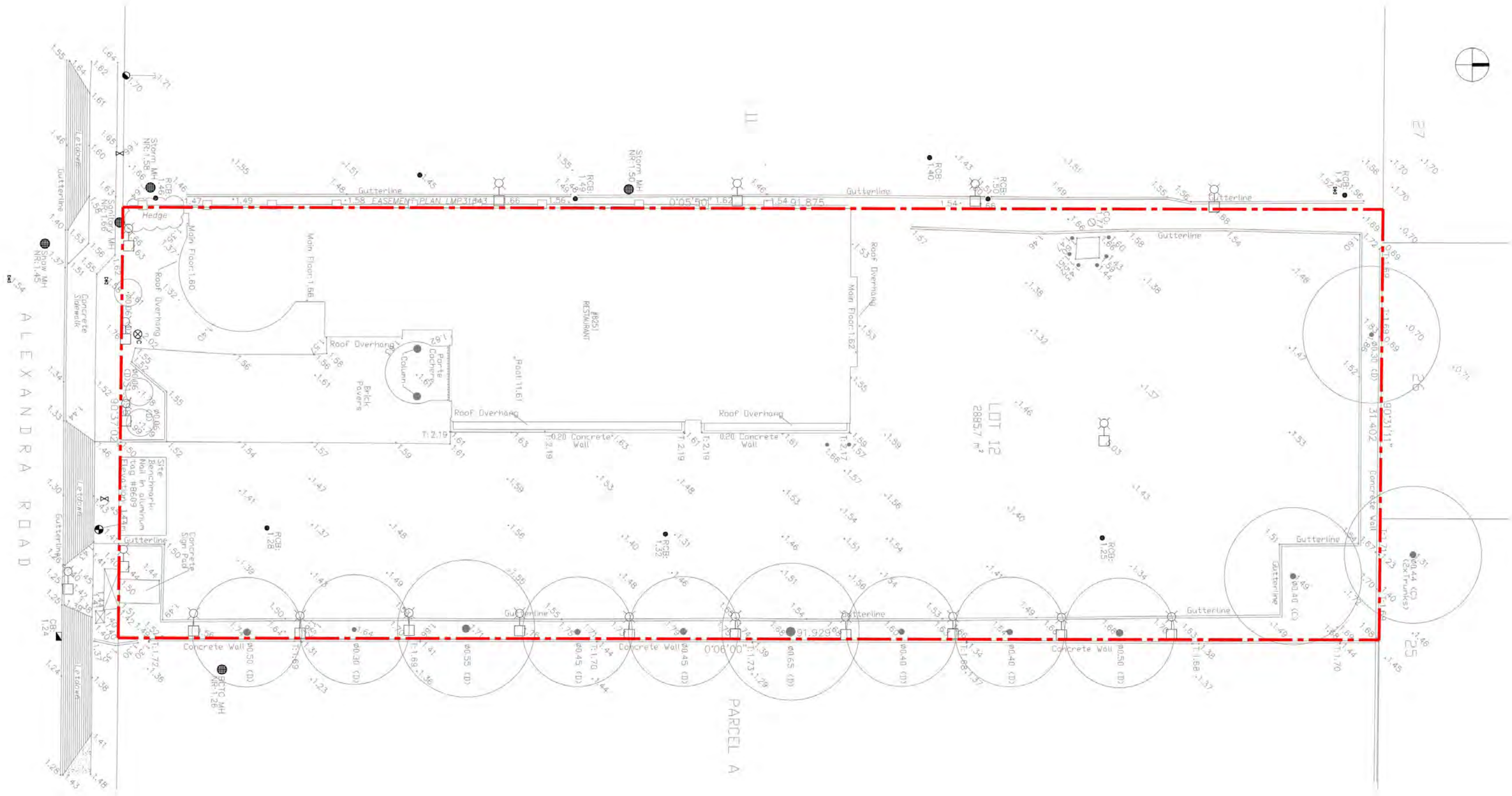
3 VIEW 2

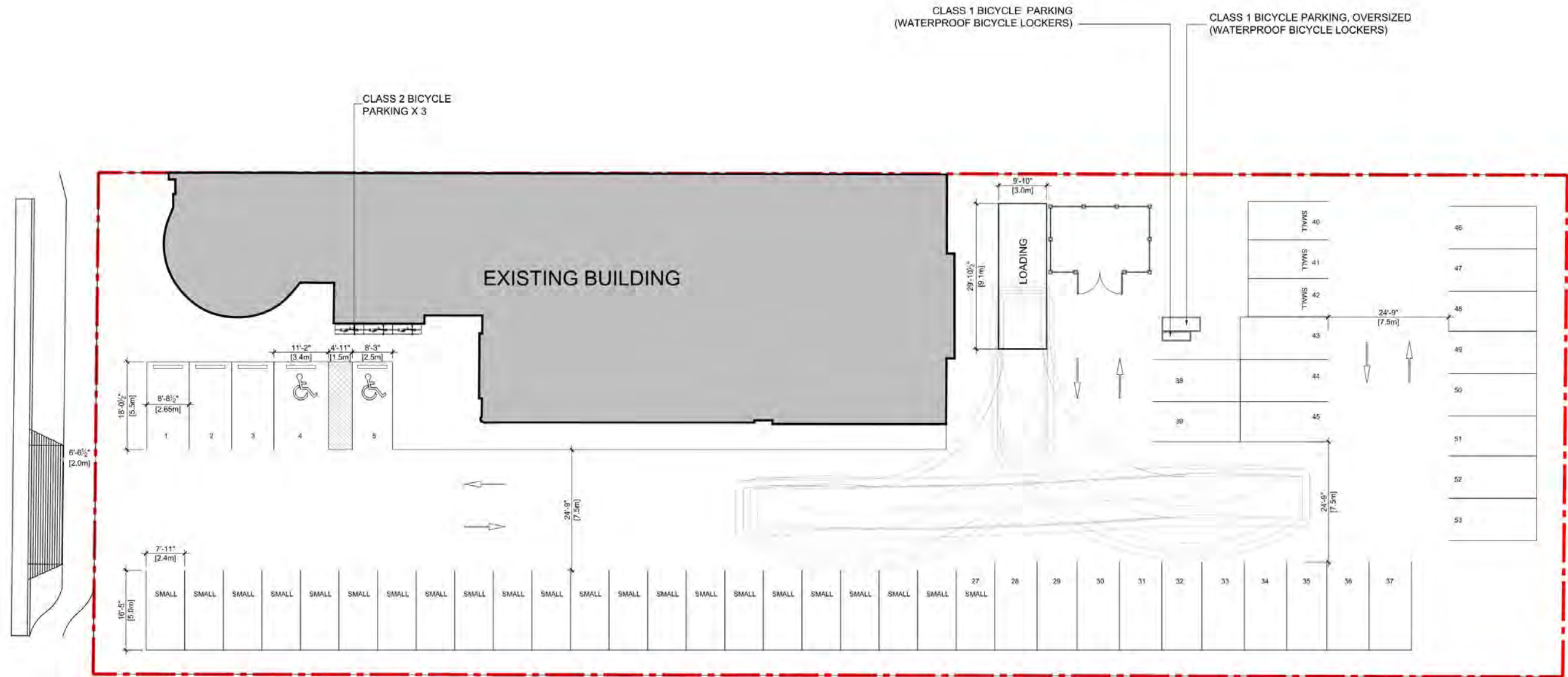


4 VIEW 3

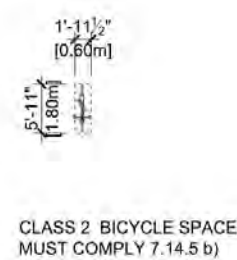
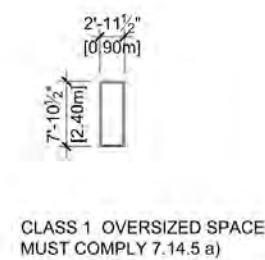
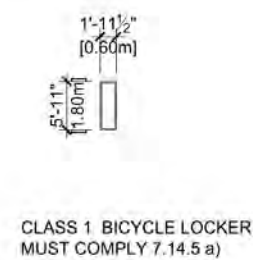
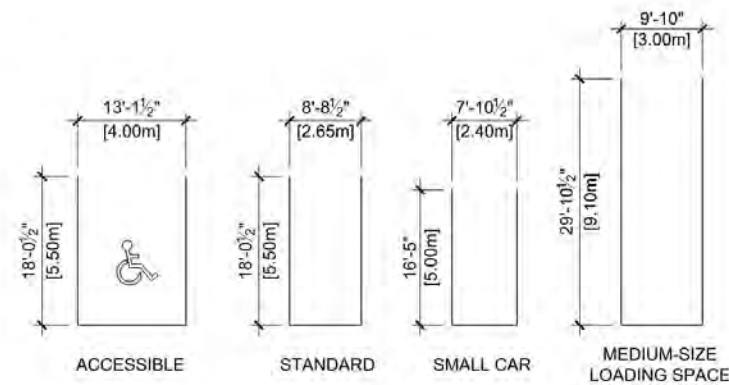


5 VIEW 4





1 PARKING PLAN
Scale: 3/32"=1'-0"

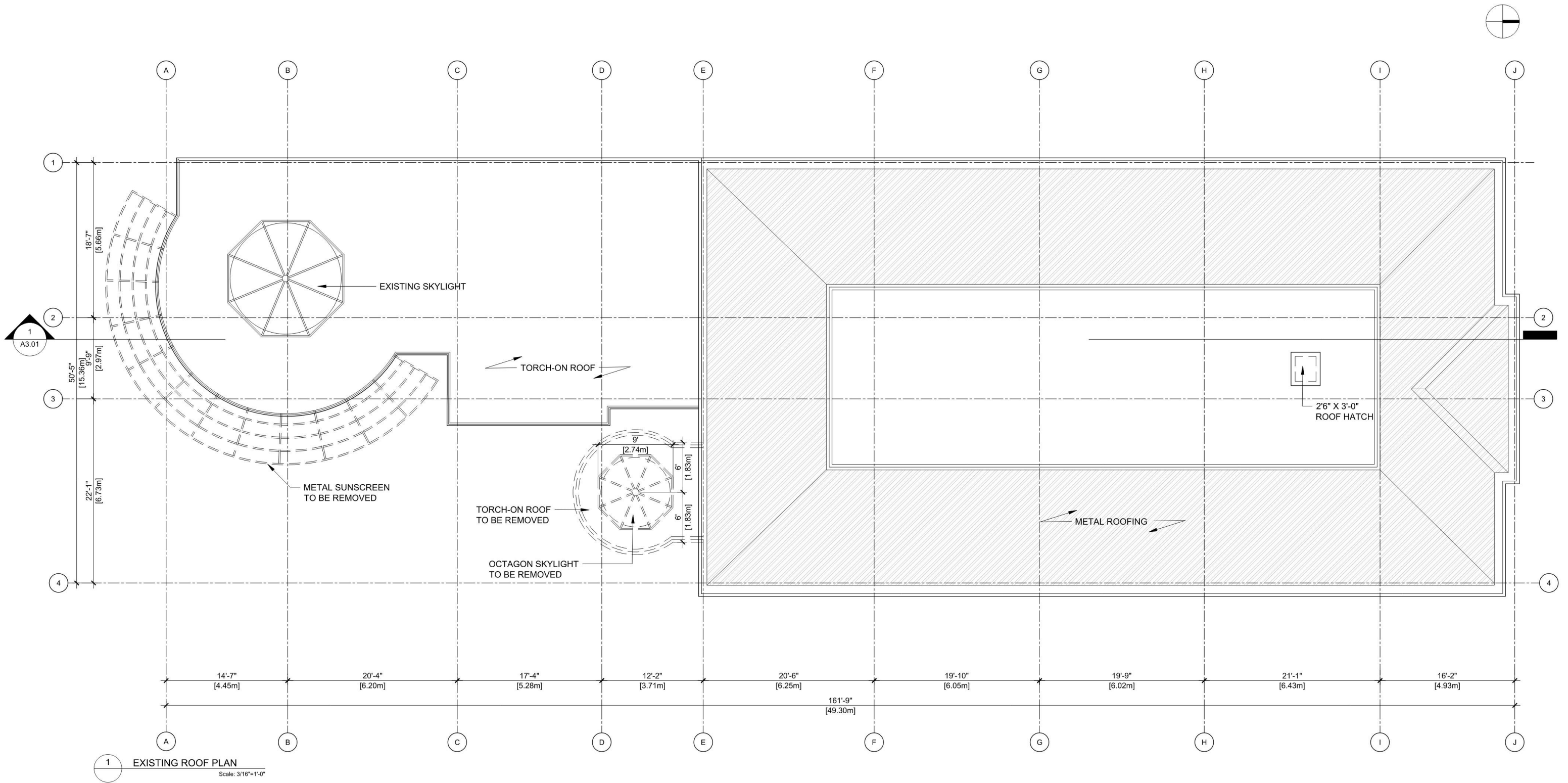


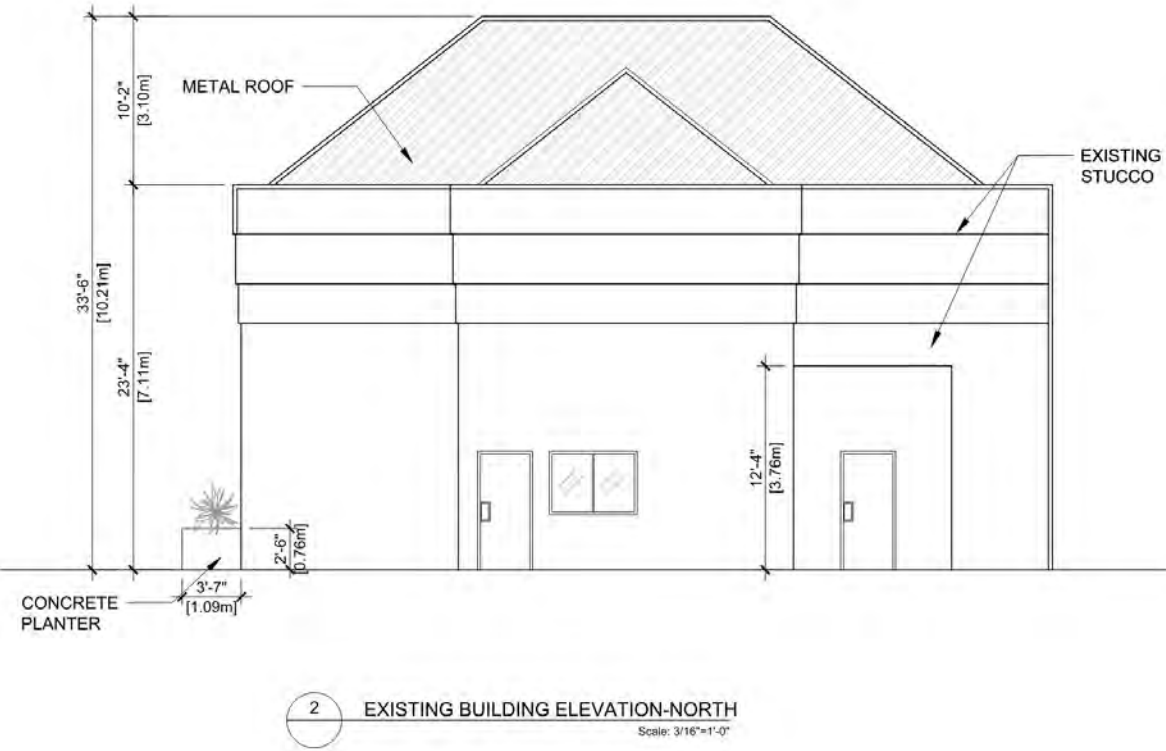
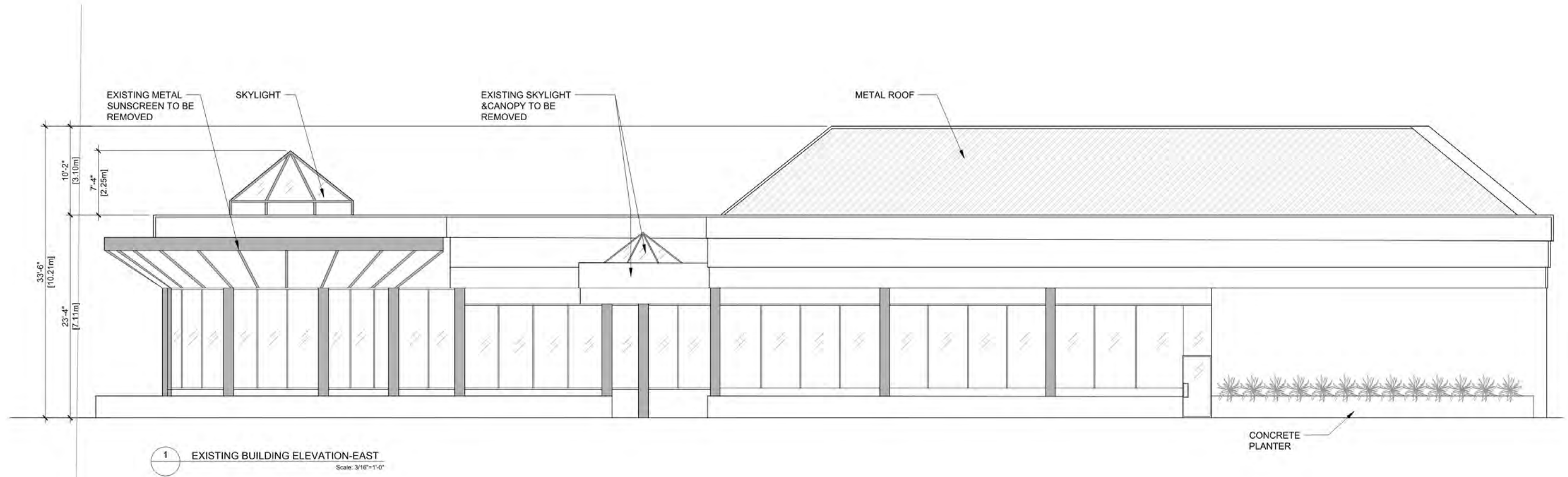
	Off-Street Parking, Bicycle Parking, and Loading Requirements		Provided	VARIANCE
Minimum Parking Requirements (Zone 1, City Centre)	3.75 spaces per 100.0 m2 of gross leasable floor area 3.75 x 569.5m2/100=21.3	Total Required: 22	Regular size: 26 Small car: 25 Accessible: 2 Total: 53	None
Accessible Parking	min. 2% when 11 or more 2% x 55=1.1	2	2	None
Parking Stall Dimension	Standard: 2.65m W x 5.5 m L Small: 2.4m W x 5m L Accessible: 2.5m W x 5.5m L + Shared Aisle: 1.5m	Small : max 50% when 31 or more	Small Car: 25 (49%)	None
Drive Aisle Width	7.5m		7.5m	None
Loading requirement	1 Medium size on-site designated		1 Medium size on-site designated	None
Loading space size	Medium: 9.1m L x 3m W x 3.8m H Large: 18.4m L x 3.5m W x 4.3m H		Medium: 9.1m L x 3m W x 3.8m H	None
Bicycle Parking	Class 1: 0.27 / 100.0 m2 gross leasable area greater than 100 m2 0.27 x 569.5/100=1.5	2	2 (including 1 oversized)	None
	Class 1 bicycle spaces shall include 5% as oversized spaces 5% x 2=0.1	1	1	None
	Class 2: 0.4 / 100.0 m2 gross leasable area greater than 100 m2 0.4 x 569.5/100=2.3	3	3	None
Bicycle Dimension	1.8m (horizontal)/1.0m (vertical) L x 0.6m W x 1.9m H		1.8m (horizontal) L x 0.6m W x 1.9m H.	None

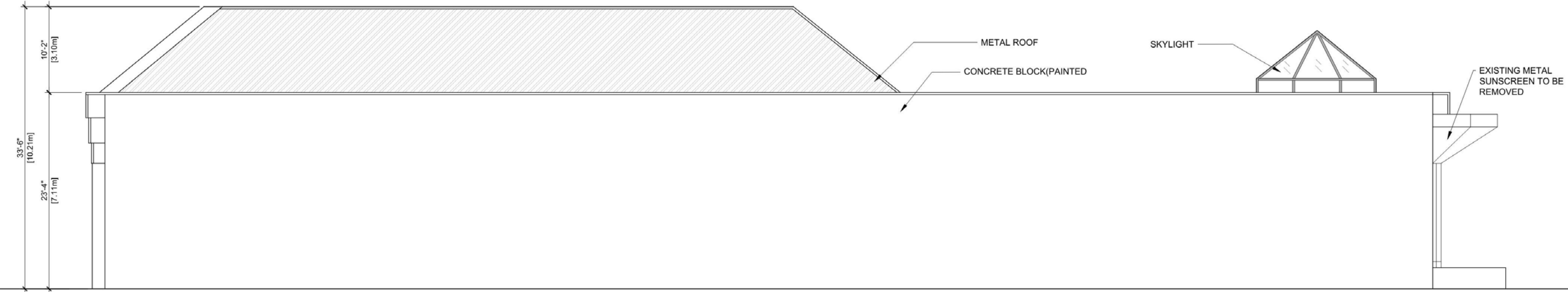


1 EXISTING FLOOR PLAN
Scale: 3/16"=1'-0"

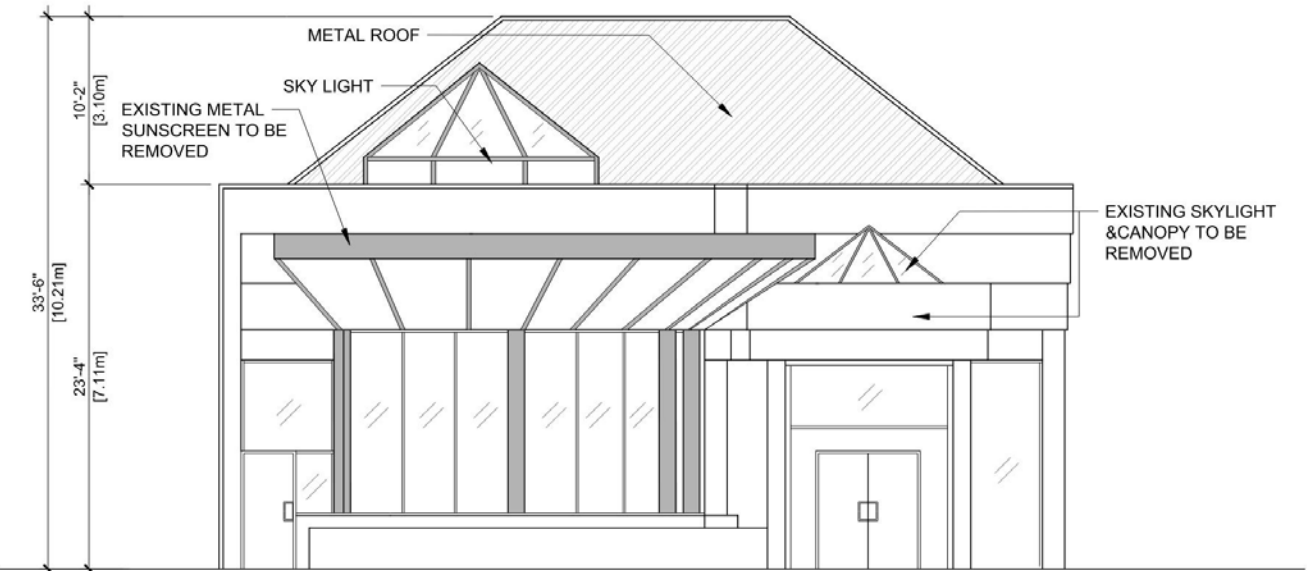
LEGEND	
	EXISTING EXTERIOR WALL
	EXISTING GLAZING PARTITION
	AREA NOT IN SCOPE



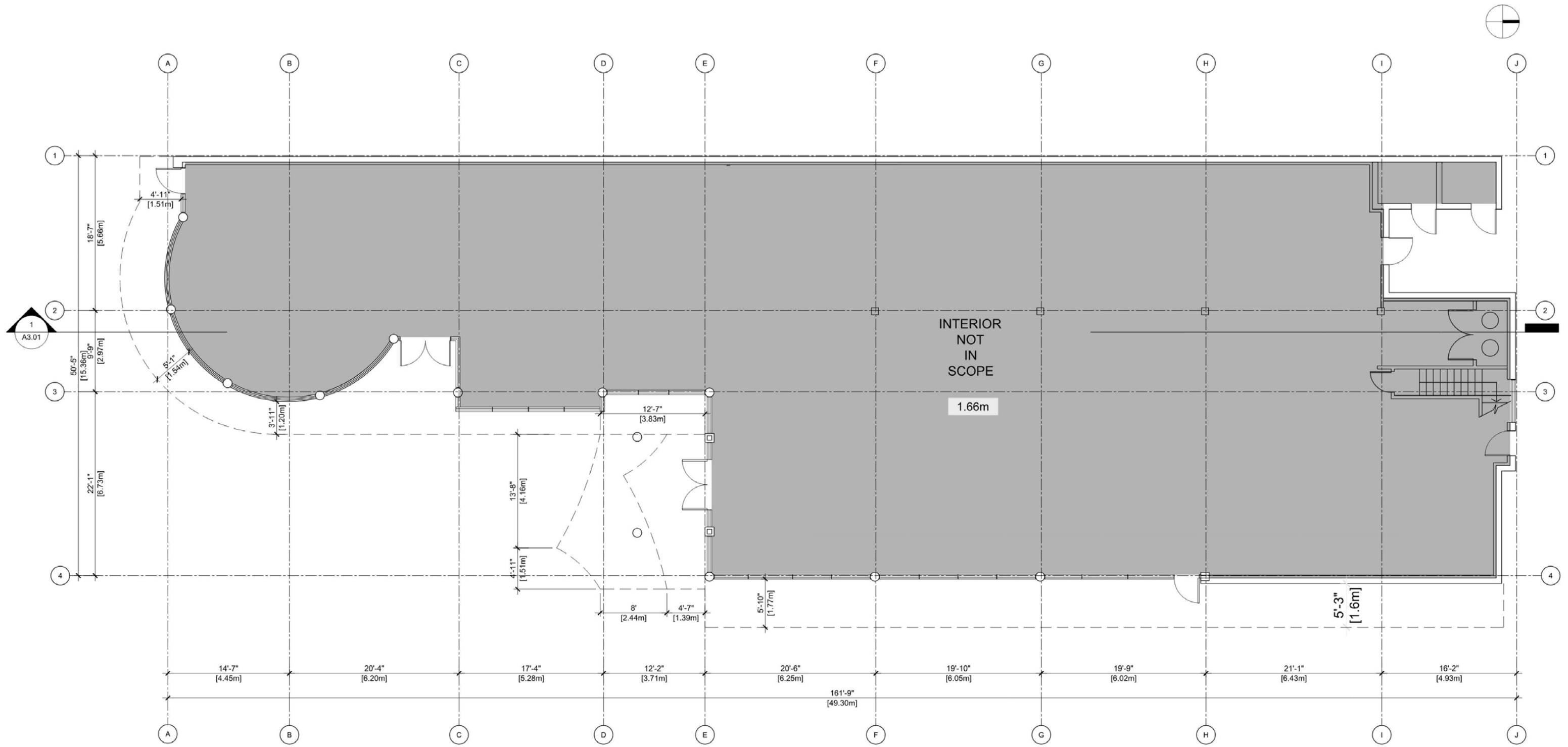




1 EXISTING BUILDING ELEVATION-WEST
Scale: 3/16"=1'-0"

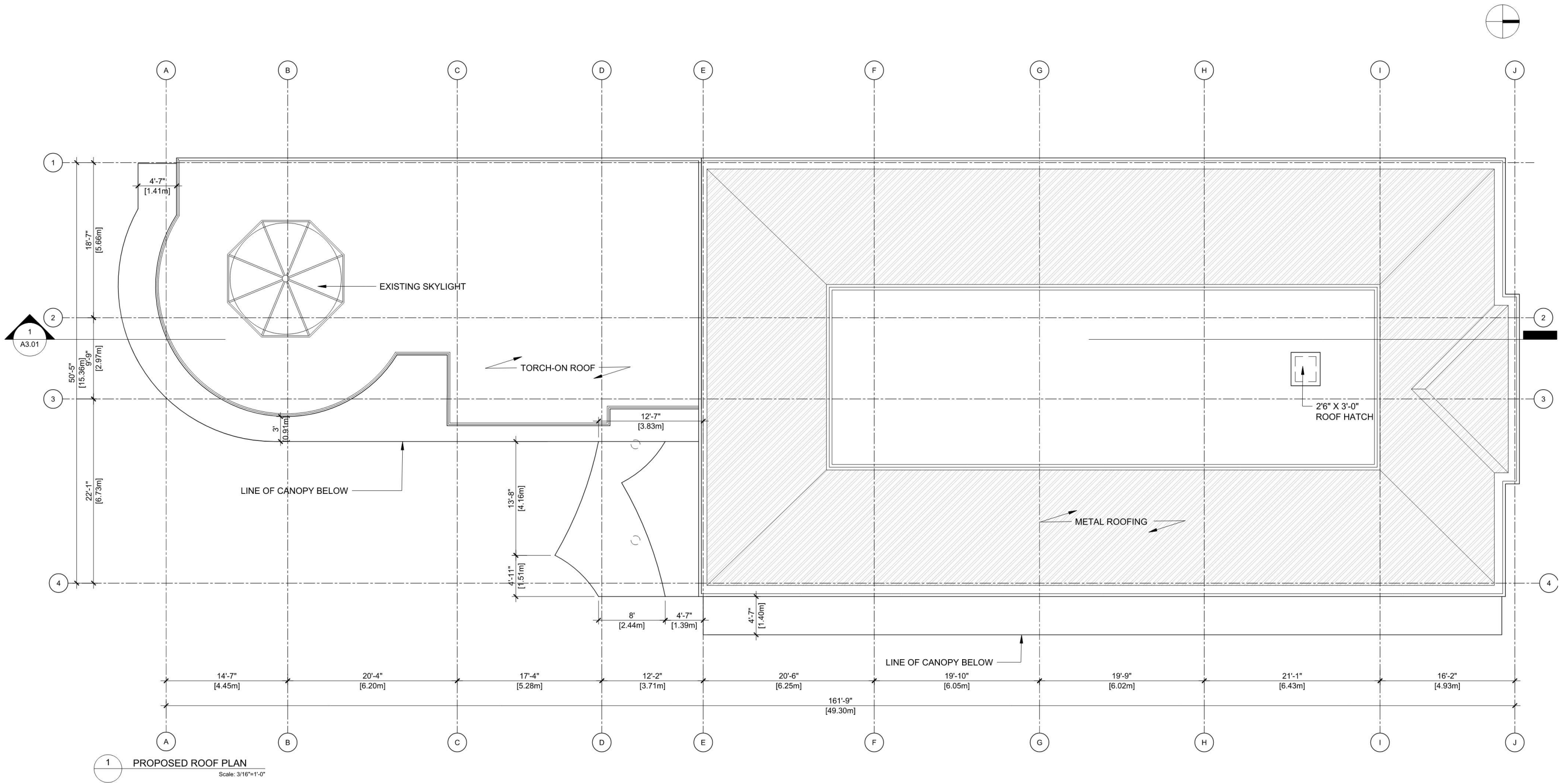


2 EXISTING BUILDING ELEVATION-SOUTH
Scale: 3/16"=1'-0"



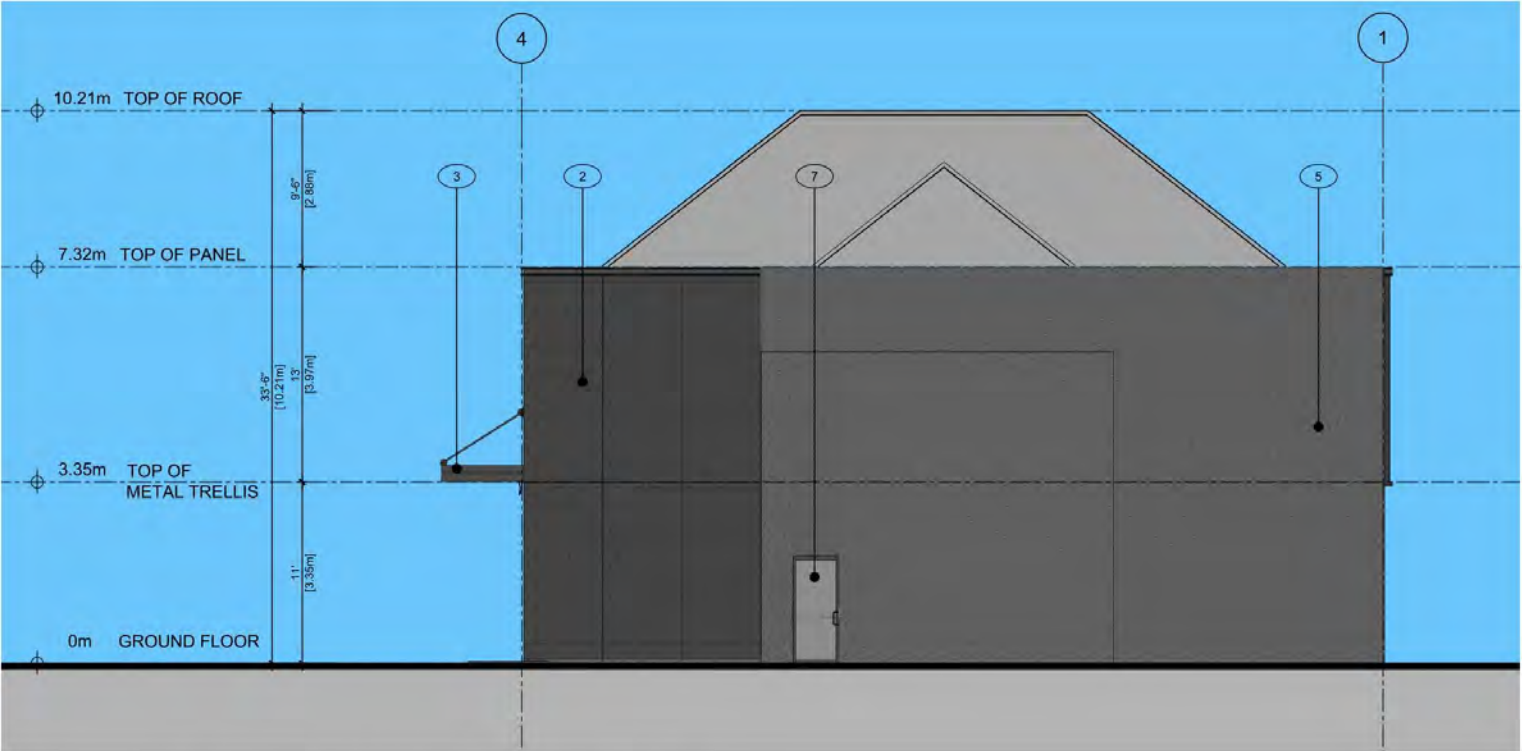
1 PROPOSED FLOOR PLAN
Scale: 3/16"=1'-0"

LEGEND	
	EXISTING EXTERIOR WALL
	EXISTING GLAZING PARTITION
	AREA NOT IN SCOPE



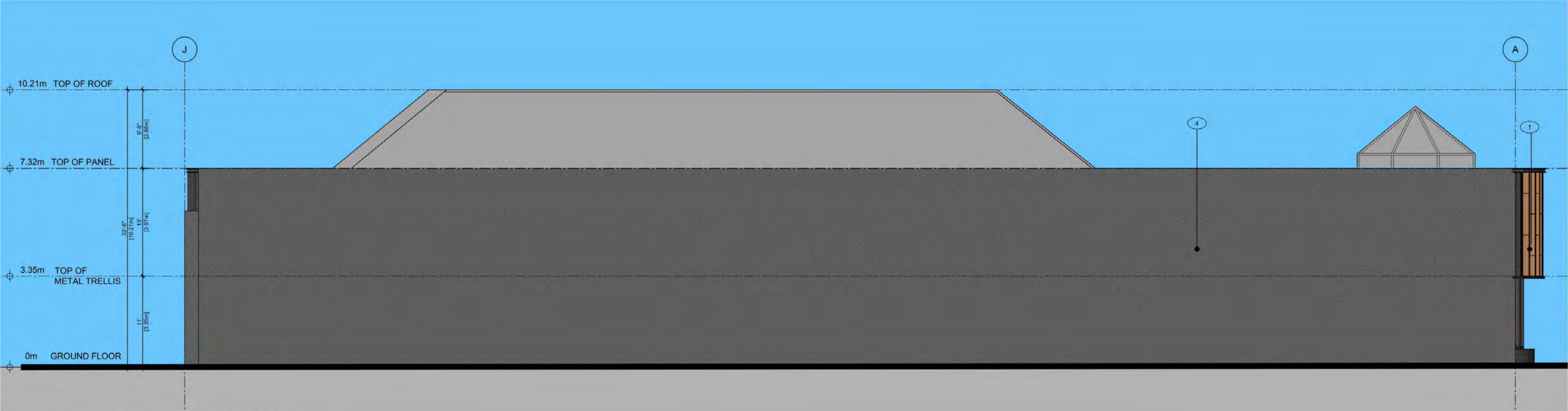


1 PROPOSED BUILDING ELEVATION-EAST
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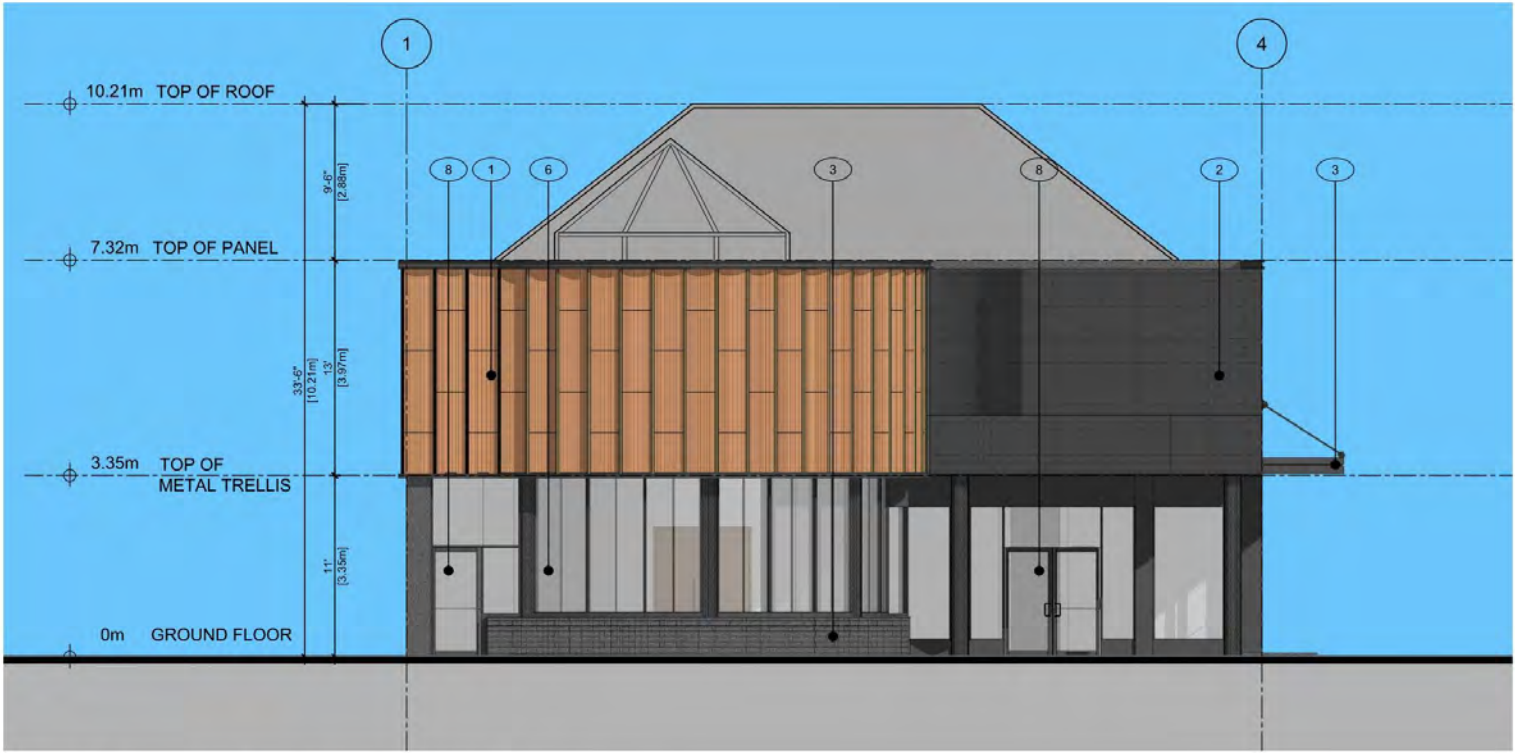


2 PROPOSED BUILDING ELEVATION-NORTH
Scale: 3/16"=1'-0"

EXTERIOR MATERIAL LEGEND	
1	METAL COMPOSITE PANEL - COLOR: YELLOW
2	METAL COMPOSITE PANEL - COLOR: CHARCOAL
3	METAL CANOPY
4	EXISTING CONCRETE BLOCK, PAINTED
5	STUCCO, EXISTING - COLOR: DARK GRAY
6	GLAZED WINDOW
7	HOLLOW METAL DOOR
8	STOREFRONT DOOR



1 PROPOSED BUILDING ELEVATION-WEST
Scale: 3/16"=1'-0"



2 PROPOSED BUILDING ELEVATION-SOUTH
Scale: 3/16"=1'-0"

EXTERIOR MATERIAL LEGEND	
1	METAL COMPOSITE PANEL - COLOR: YELLOW
2	METAL COMPOSITE PANEL - COLOR: CHARCOAL
3	METAL CANOPY
4	EXISTING CONCRETE BLOCK, PAINTED
5	STUCCO, EXISTING - COLOR: DARK GRAY
6	GLAZED WINDOW
7	HOLLOW METAL DOOR
8	STOREFRONT DOOR



1 3D PERSPECTIVE
NTS





EXTERIOR MATERIAL LEGEND	
1	METAL COMPOSITE PANEL - COLOR: YELLOW
2	METAL COMPOSITE PANEL - COLOR: CHARCOAL
3	METAL CANOPY
4	EXISTING CONCRETE BLOCK, PAINTED
5	STUCCO, EXISTING - COLOR: DARK GRAY
6	GLAZED WINDOW
7	HOLLOW METAL DOOR
8	STOREFRONT DOOR



LED STRIP LIGHT

1 MATERIAL BOARD
NTS



METAL COMPOSITE PANEL -
COLOR:CHARCOAL



STUCCO
COLOR:DARK GREY



METAL PANEL
COLOR:YELLOW

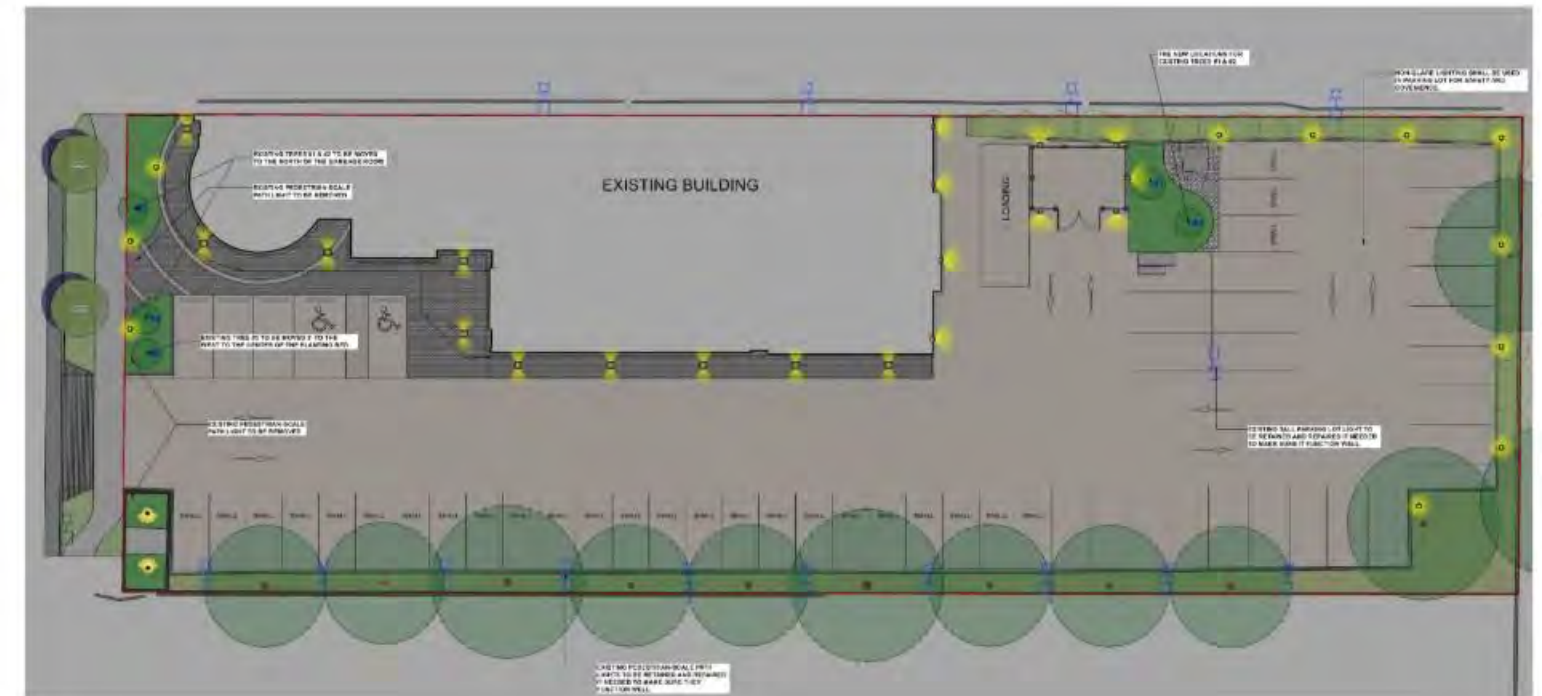


METAL CANOPY
COLOR:CHARCOAL

Sustainability

The sustainability measures proposed for this project include:

- Use high quality and durable building materials, this will keep the look of the building in the long term with minimum future maintenance costs.
- The project will use high-performance LED lighting at exterior locations to reduce energy consumption.
- landscaped area near parking lot. Trees and shrubs will be helpful in mitigating noise and CO2 from car exhaust, and improving air quality. The automatic irrigation system will also be provided.



SYMBOL	MATERIALS								
	PROPOSED UPLIGHT				BOLLARD LIGHT			WALL MOUNTED DOWNLIGHT	
								SOFFIT LIGHT	
								EXISTING LIGHT TO BE RETAINED	
								EXISTING LIGHT TO BE REMOVED	

LIGHTING NOTES

1. LIGHTING PLAN IS PROVIDED FOR INFORMATION ONLY. ALL EXTERIOR LIGHT FIXTURES, QUANTITIES, AND LOCATIONS TO BE APPROVED BY THE CLIENT PRIOR TO ORDERING AND INSTALLATION.
2. CONTRACTOR TO COORDINATE NECESSARY FORMING, ELECTRICAL CONDUIT, AND LOCATION LOGISTICS WITH OTHER TRADES AS REQUIRED.
3. SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY THE CLIENT PRIOR TO ORDERING AND INSTALLATION.
4. ALL BETWEEN LIGHT FIXTURE LOCATIONS TO BE VERIFIED BY CONTRACTOR AND APPROVED BY THE CLIENT AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. CONTRACTOR TO ENSURE ALL LIGHTING WIRE AND FIXTURES MUST BE INSTALLED TO MEET THE LOCAL ELECTRICAL REGULATIONS AND SAFETY REQUIREMENTS.



DO NOT SCALE THE DRAWINGS. COPYRIGHT RESERVED. IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

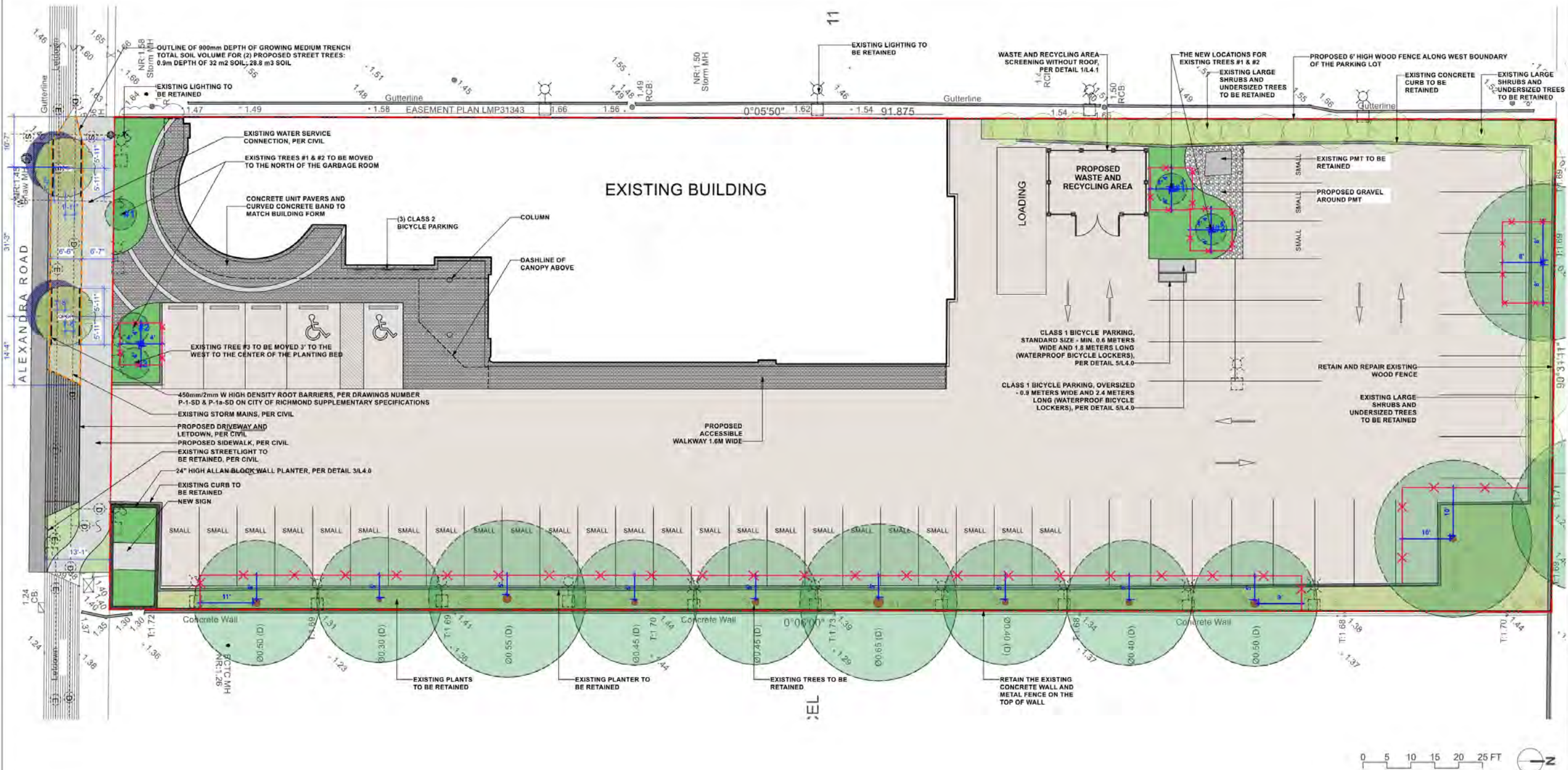
NO.	Date	Note
1	2025-07-16	ISSUED FOR DP
2	2025-09-10	ISSUED FOR DP
3	2025-09-23	ISSUED FOR DP

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND,
BC, CANADA

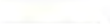
REVIEWED BY: EL

Landscape Site Plan

PLAN # 3.a
L1.0



LANDSCAPE LEGENDS

SYMBOL	MATERIALS	DETAILS	SYMBOL	MATERIALS	DETAILS	SYMBOL	MATERIALS	DETAILS
	PEDESTRIAN CONCRETE UNIT PAVERS	1/L4.0		PROPOSED TREES	1&5 /L4.2		EXTENT OF CONTINUOUS 900MM GROWING MEDIUM TRENCH	
	CIP CONCRETE PAVING	2/L4.0		EXISTING TREES TO BE RETAINED	N/A		ROOT BARRIER	
	ASPHALT PAVING	PER CIVIL		PROPOSED BIKE RACKS	4/L4.0		EXISTING LARGE SHRUBS AND UNDERSIZED TREES TO BE RETAINED	
	PROPOSED LAWN	4/L4.2		TREE PROTECTION FENCING TREE PROTECTION FENCING TO BE INSTALLED PER CITY OF RICHMOND STANDARDS AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST				
	PROPOSED PLANTING BED	3/L4.2						
	EXISTING PLANS IN THE PLANTING AREA TO BE RETAINED	N/A						
	PROPOSED ALLAN BLOCK WALL PLANTER	3/L4.0						

LANDSCAPE NOTES

1. DO NOT SCALE DRAWINGS.
2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.
3. ALL EXISTING INFORMATION APPROXIMATE ONLY. VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
4. THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
5. THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. ALL OFF-SITE WORKS TO CONFORM TO CITY OF RICHMOND STANDARDS.
7. LAYOUT OF ALL OFF-SITE WORKS, INCLUDING FURNISHINGS, PATHWAYS, WALLS, PLANTING, ETC., TO BE CONFIRMED WITH CITY OF RICHMOND PRIOR TO INSTALLATION.



DO NOT SCALE THE DRAWINGS. COPYRIGHT RESERVED. IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

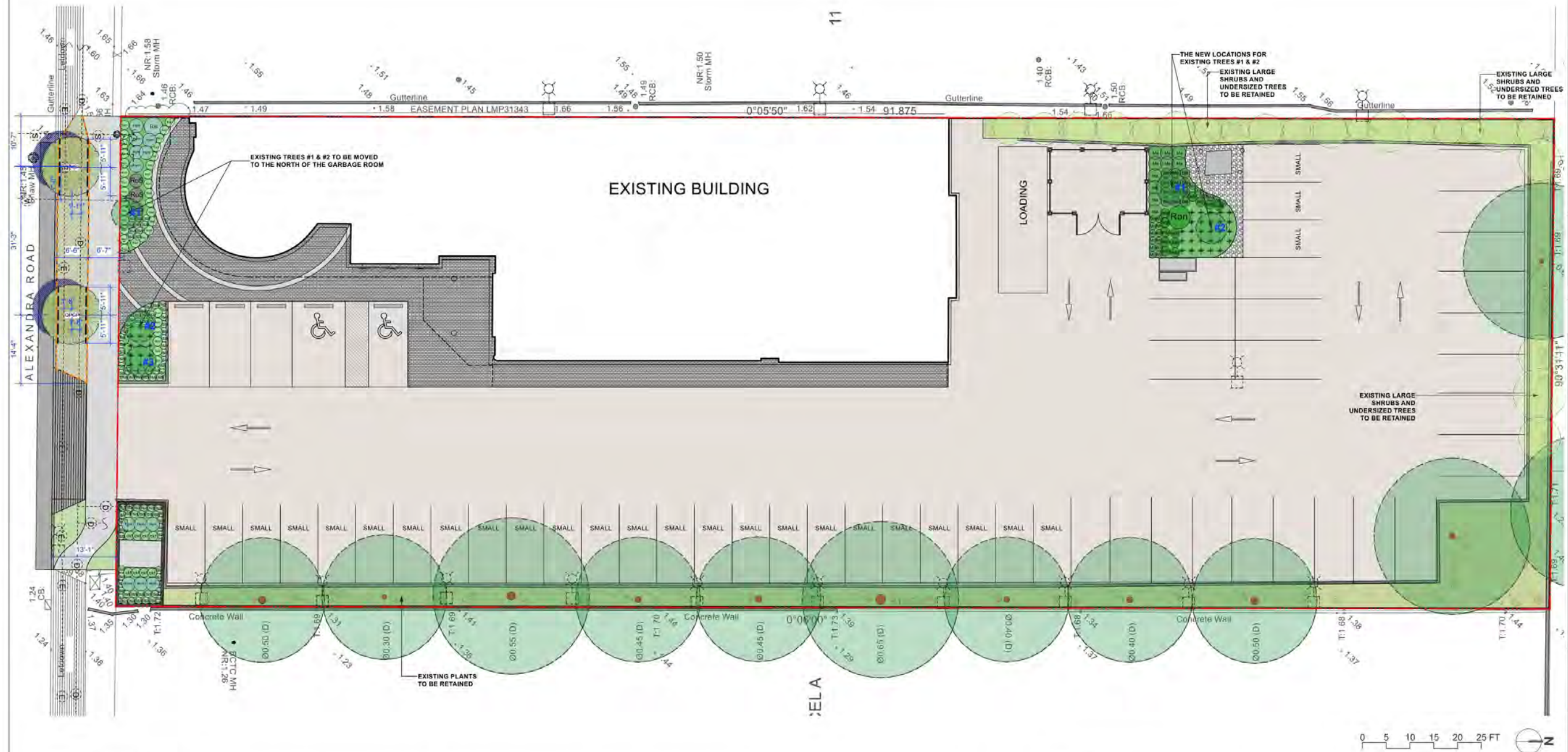
NO.	Date	Note
1	2025-07-16	ISSUED FOR DP
2	2025-09-10	ISSUED FOR DP
3	2025-09-23	ISSUED FOR DP

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND ,
BC, CANADA

REVIEWED BY: EL

Landscape Planting Plan

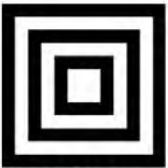
PLAN # 3.b
L2.0



ONSITE PLANT LIST					
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES (DECIDUOUS & CONIFEROUS)					
SHRUBS					
Hym	Hydrangea macrophylla	Bigleaf Hydrangea	12	#5 pot	
Ma	Mahonia aquifolium	Oregon Grape Holly	10	#3 pot	native species
Mn	Mahonia nervosa	Dwarf Oregon Grape	18	#1 pot	native species
Nan	Nandina domestica 'Compacta'	Dwarf Heavenly Bamboo	35	#2 pot	
Ris	Ribes sanguineum	Red Flowering Currant	1	#3 pot	native species
Ron	Rosa nutkana	Native Shrub Rose	1	#5 pot	native species
Ro5	Rosa x 'Scarlet Meidiland'	Scarlet Meidiland Rose	3	#3 pot	
PERENNIALS & GROUNDCOVERS					
adp	Adiantum pedatum	American Maidenhair Fern	12	#1 pot	native species
ar	Arctostaphylos uva-ursi 'Vancouver Jade'	Bearberry, Kinnikinnick	42	#1 pot	native species
ble	Blechnum spicant	Deer Fern	12	#1 pot	native species
lsa	Lavandula angustifolia	English Spike Lavender	89	#1 pot	
ORNAMENTAL GRASSES & BAMBOOS					
ckf	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	8	#3 pot	
VINES					

		OFFSITE PLANT LIST			
Latin Name	Common Name	ID	Quantity	Scheduled Size	Notes
		TREES (DECIDUOUS & CONIFEROUS)			
Quercus palustris 'Green Pillar'	Green Pillar Oak	QPGP	2	6cm cal.	Street trees to be confirmed by the City

- 1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
- 2) All planting shall be in accordance with CSLA Canadian Landscape Standard, latest edition.
- 3) The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification & the findings of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.
- 4) All plant material to be supplied on the job site must be obtained from a nursery participating in the BCLNA Phytophthora ramorum Certification Program.



**HOMING
LANDSCAPE
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE,
VANCOUVER, BC, CANADA V6H 1K9
CELL: 778-323-3536
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

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ASSOCIATED WITH THE PROJECT, THE CONFLICT
SHALL BE REPORTED IN WRITING TO THE
LANDSCAPE ARCHITECT TO OBTAIN
CLARIFICATION AND APPROVAL BEFORE
PROCEEDING WITH WORKS.

Revisions

NO.	Date	Note
1	2025-07-16	ISSUED FOR DP
2	2025-09-10	ISSUED FOR DP
3	2025-09-23	ISSUED FOR DP

**8251 ALEXANDRA
ROAD**

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND ,
BC, CANADA

PROJECT NUMBER: 25-23

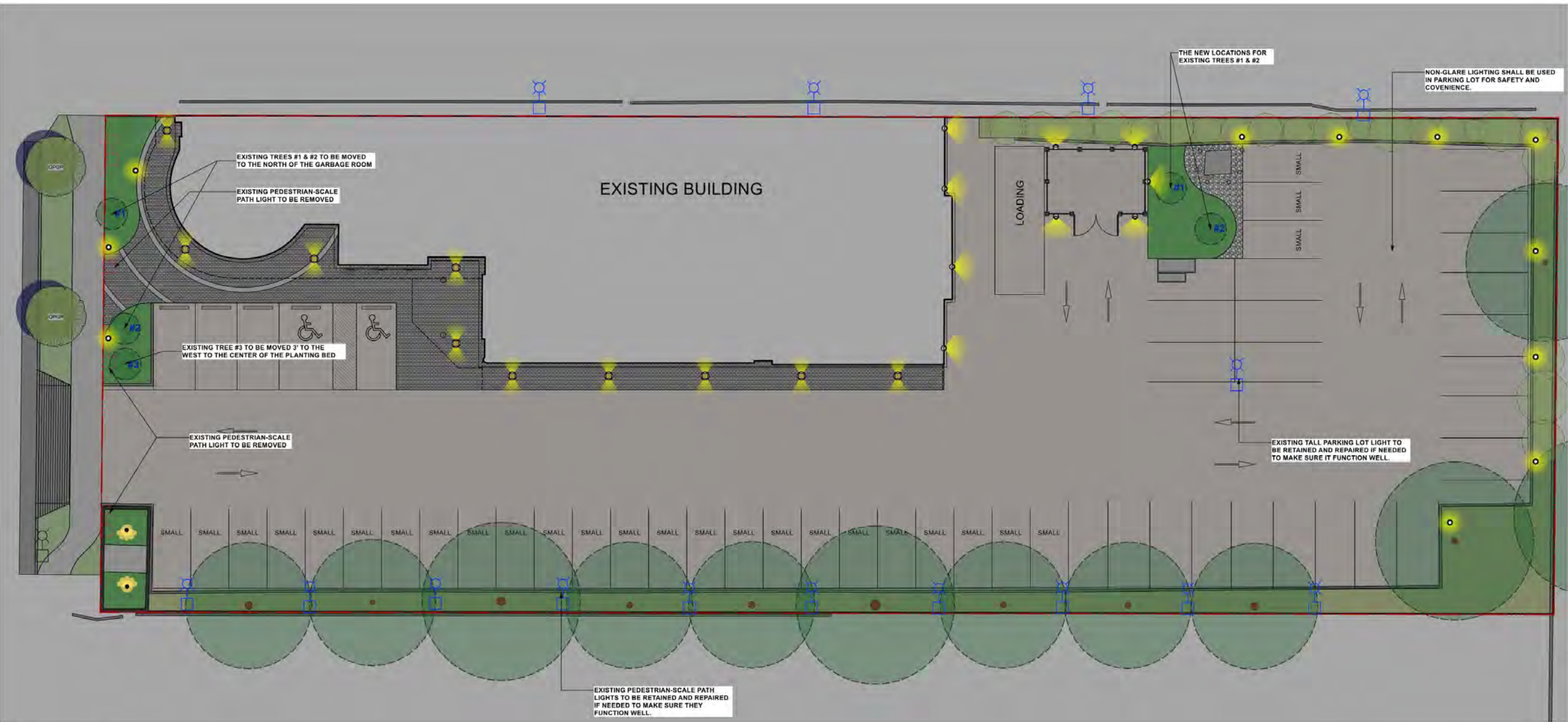
SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

REVIEWED BY: EL

**Conceptual
Landscape
Lighting Plan**

PLAN # 3.c
L3.0



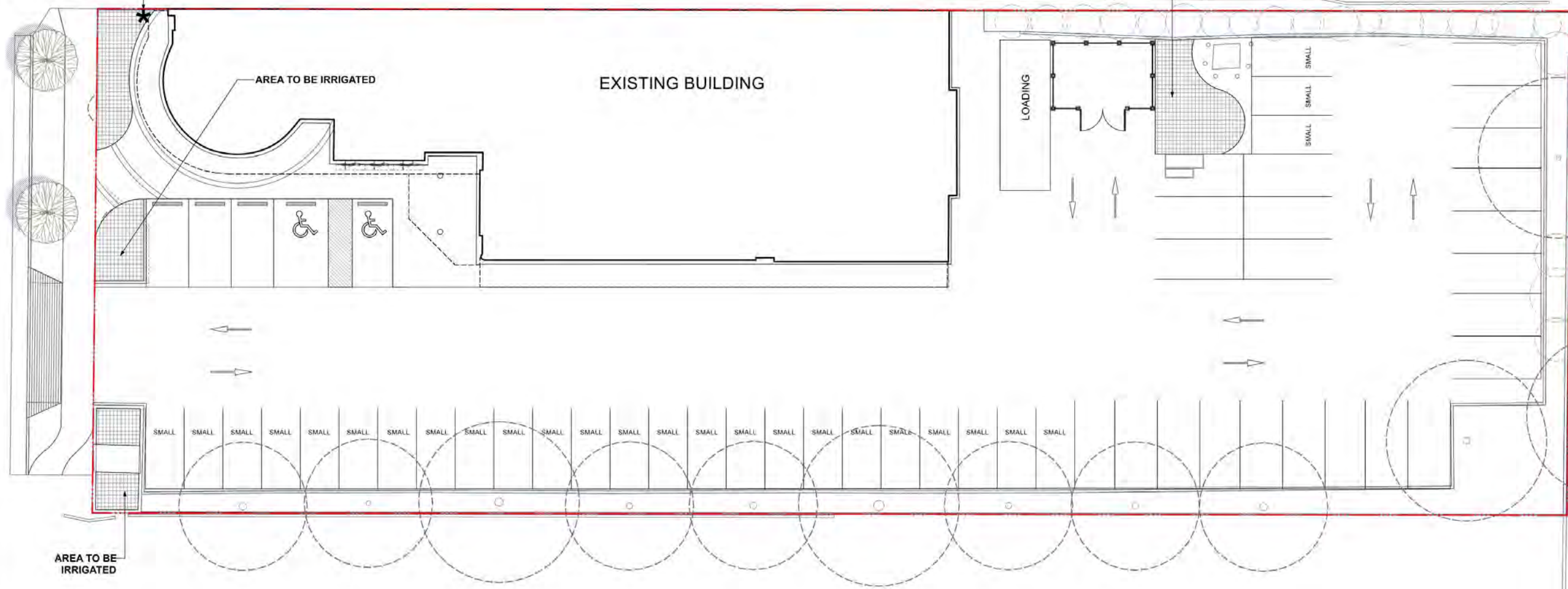
LANDSCAPE LIGHTING LEGENDS

SYMBOL	MATERIALS
	PROPOSED UPLIGHT
	BOLLARD LIGHT
	WALL MOUNTED DOWNLIGHT
	SOFFIT LIGHT
	EXISTING LIGHT TO BE RETAINED
	EXISTING LIGHT TO BE REMOVED

LIGHTING NOTES

1. LIGHTING PLANS PROVIDED FOR INFORMATION ONLY. ALL EXTERIOR LIGHT FIXTURES, QUANTITIES, AND LOCATIONS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
2. CONTRACTOR TO COORDINATE RECESSED FORMING, ELECTRICAL CONDUIT, AND LOCATION LOGISTICS WITH OTHER TRADES AS REQUIRED.
3. SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
4. ALL EXTERIOR LIGHT FIXTURE LOCATIONS TO BE STAKED BY CONTRACTOR AND APPROVED BY THE CLIENTS AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. CONTRACTOR TO ENSURE ALL LIGHTING WIRE AND FIXTURES MUST BE INSTALLED TO MEET THE LOCAL ELECTRICAL REGULATIONS AND SAFETY REQUIREMENTS.

IRRIGATION STUB-OUT
2" DIAMETER @ 50 GPM



AREA TO BE IRRIGATED

AREA TO BE IRRIGATED

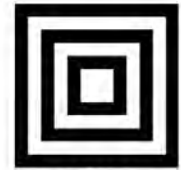
EXISTING BUILDING

LOADING

AREA TO BE IRRIGATED

IRRIGATION LEGENDS

KEY	DESCRIPTION
*	WATER STUB-OUT SCHEMATIC ONLY. REFER TO MECHANICAL
	IRRIGATION AREA



**HOMING
LANDSCAPE
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE,
VANCOUVER, BC, CANADA V6H 1K9
CELL: 778-323-3536
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

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Revisions

NO.	Date	Note
1	2025-07-16	ISSUED FOR DP
2	2025-09-10	ISSUED FOR DP
3	2025-09-23	ISSUED FOR DP

**8251 ALEXANDRA
ROAD**

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 25-23

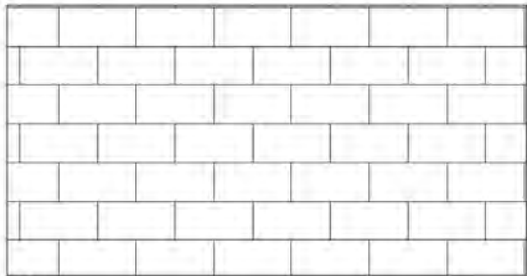
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DRAWN BY: EL

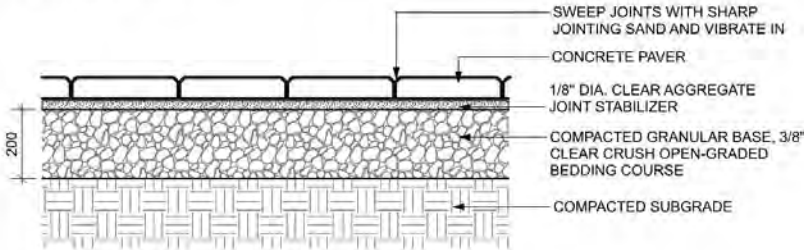
REVIEWED BY: EL

**Design-Build
Irrigation Plan**

PLAN # 3.d
L3.1

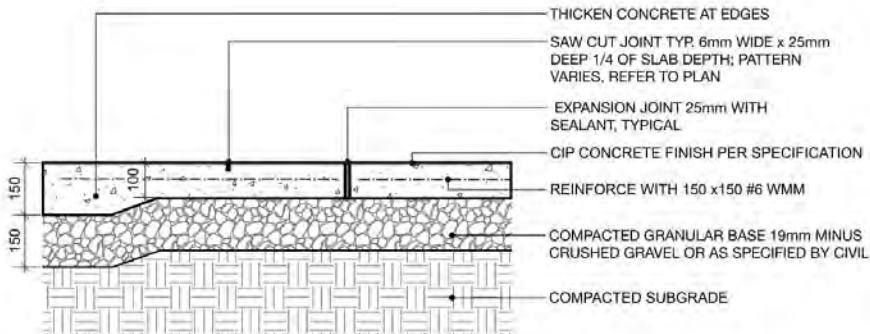


PLAN
CLASSIC STANDARD PAVERS - STANDARD SIZE BY BELGARD (877-235-4273)
DIMENSIONS: STANDARD 225(L) x 112.5(W) x 60(T) mm (8-7/8" x 4-7/16" x 2-3/8")
PATTERN: RUNNING BOND
COLOUR: NATURAL



NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

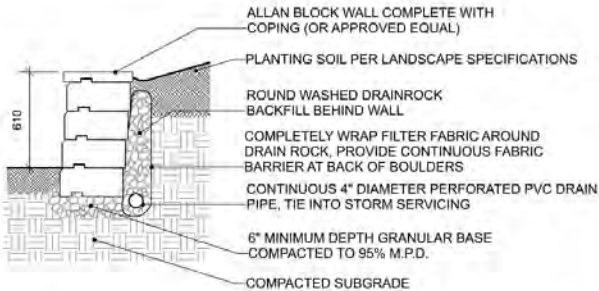
1 CONCRETE UNIT PAVING ON GRADE
Scale: 1:10



NOTES:
1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

2 CIP CONCRETE ON GRADE (TYPICAL)
Scale: 1:10

NOTES:
1 - INSTALL WALLS PER MANUFACTURER SPECIFICATIONS.
2 - GLUE CAPS DOWN WITH ADHESIVE RECOMMENDED BY WALL MANUFACTURER.



3 ALLAN BLOCK WALL PLANTER AROUND THE PROJECT SIGN
Scale: 1:25

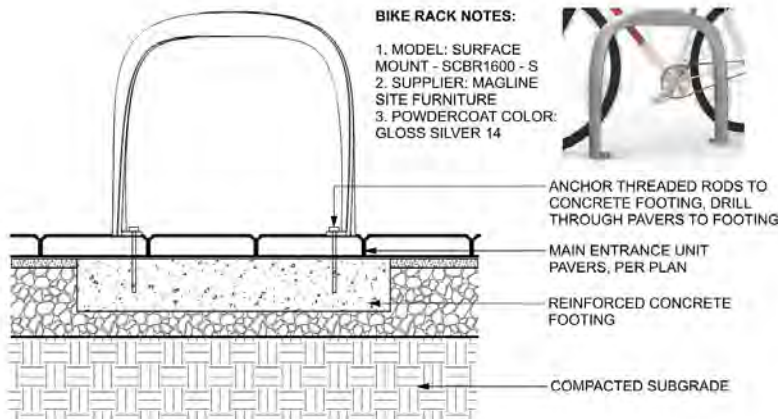


PRECEDENT

NOTES:

1. STANDARD SIZE MODEL: MIN. 0.6 METERS WIDE AND 1.8 METERS LONG
2. OVERSIZED MODEL: 0.9 METERS WIDE AND 2.4 METERS LONG
3. SUPPLIER: CYCLESafe OR APPROVED ALTERNATIVE SUPPLIER

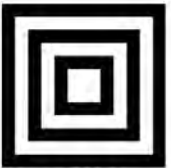
5 OUTDOOR BIKE LOCKER - STANDARD SIZE & OVERSIZED MODELS
Scale: N/A



BIKE RACK NOTES:
1. MODEL: SURFACE MOUNT - SCBR1600 - S
2. SUPPLIER: MAGLINE SITE FURNITURE
3. POWDERCOAT COLOR: GLOSS SILVER 14

NOTE:
PER SUPPLIER FOR SPECIFICATIONS AND INSTALLATIONS.

4 BIKE RACK
Scale: 1:10



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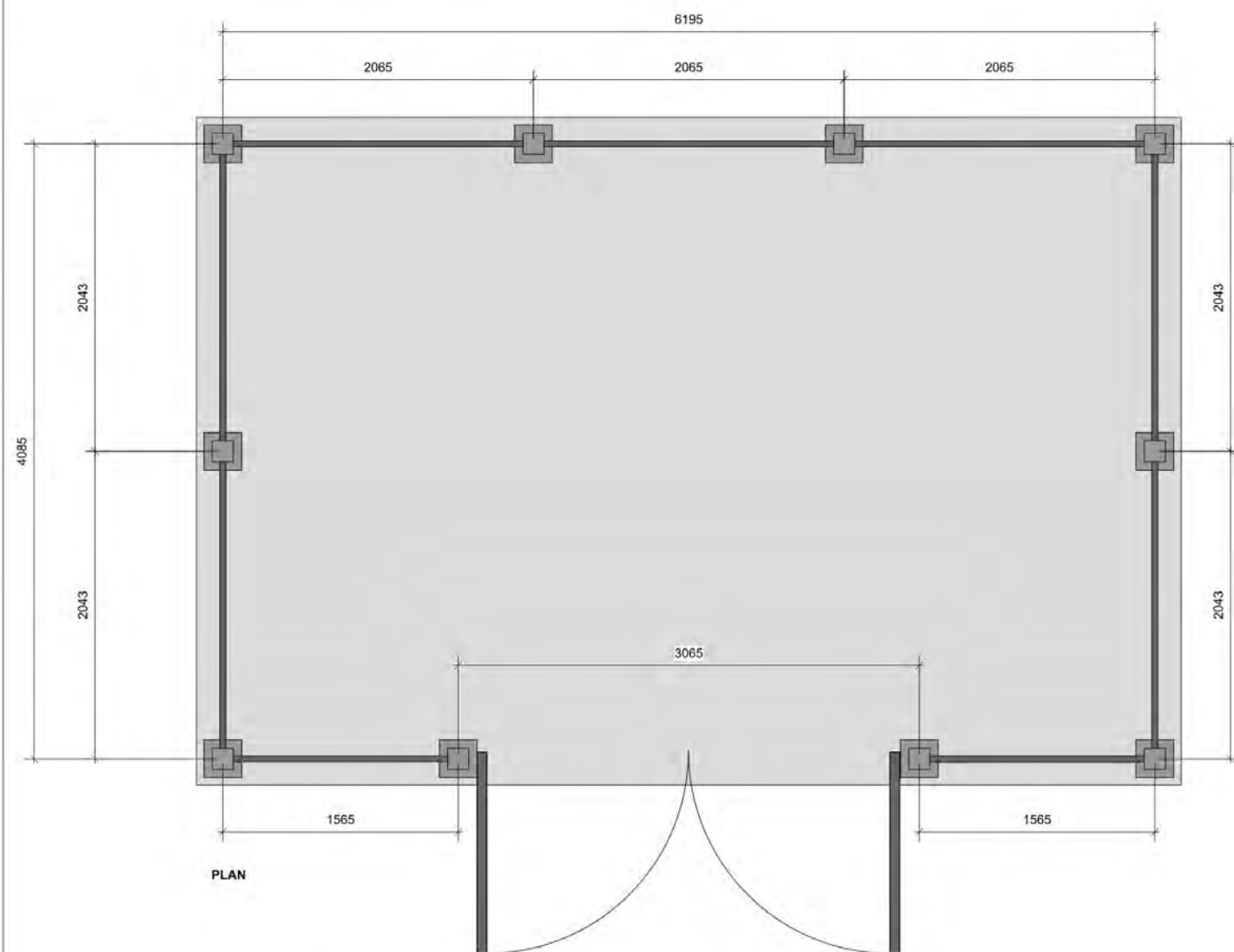
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REVIEWED BY: EL

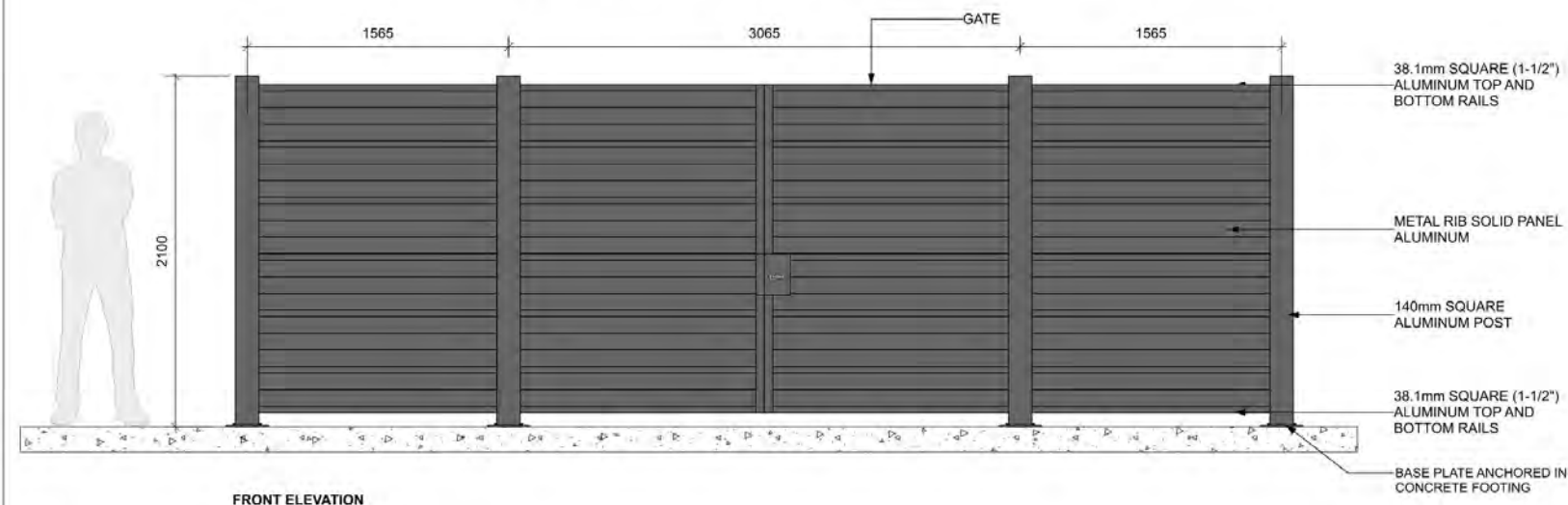
**HARDSCAPE &
FURNITURING
DETILS**

PLAN # 3.e

L4.0



PLAN



FRONT ELEVATION

- NOTES:
1. ALL METAL ALUMINUM WITH BLACK POWDERCOAT FINISH (TO BE FACTORY APPLIED)
 2. ALL WELDED CONSTRUCTION
 3. PROVIDE SHOP DRAWINGS FOR APPROVAL
 4. CONCRETE FOOTING TO BE CONFIRMED BY STRUCTURAL ENGINEER.

1 WASTE AND RECYCLING AREA SCREENING
Scale: 1:20



PRECEDENT

NOTE: THE SCREENING SHALL BE A MINIMUM OF 2.0 METRES IN HEIGHT TO A MAXIMUM HEIGHT THAT IS EQUIVALENT TO THE HEIGHT OF THE REFUSE OR RECYCLING BIN BUT IN NO CASE MORE THAN 2.4 METRES.



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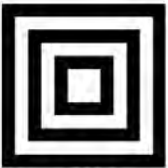
DRAWN BY: EL

REVIEWED BY: EL

**HARDSCAPE &
FURNITURING
DETILS**

PLAN # 3.f

L4.1



**HOMING
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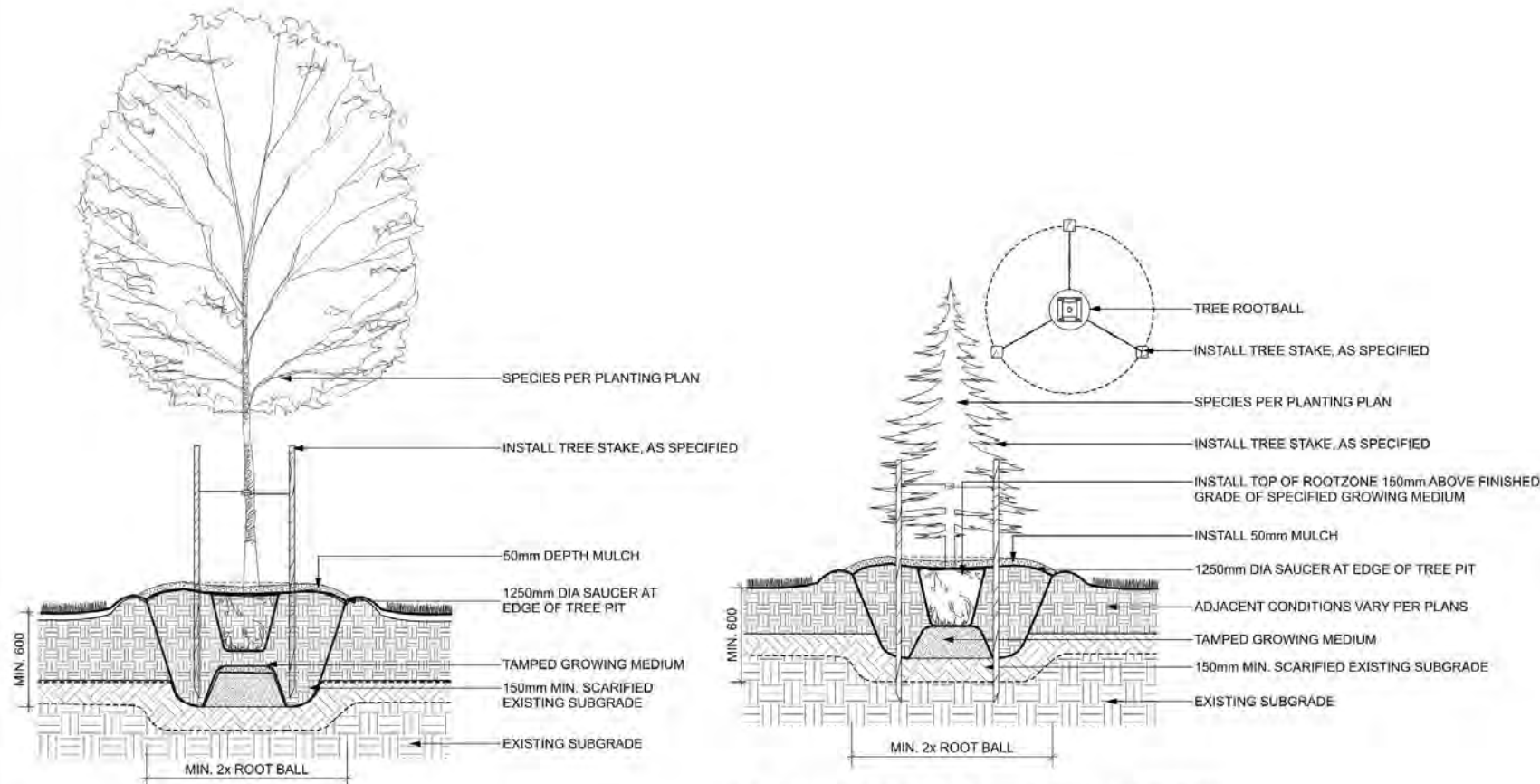
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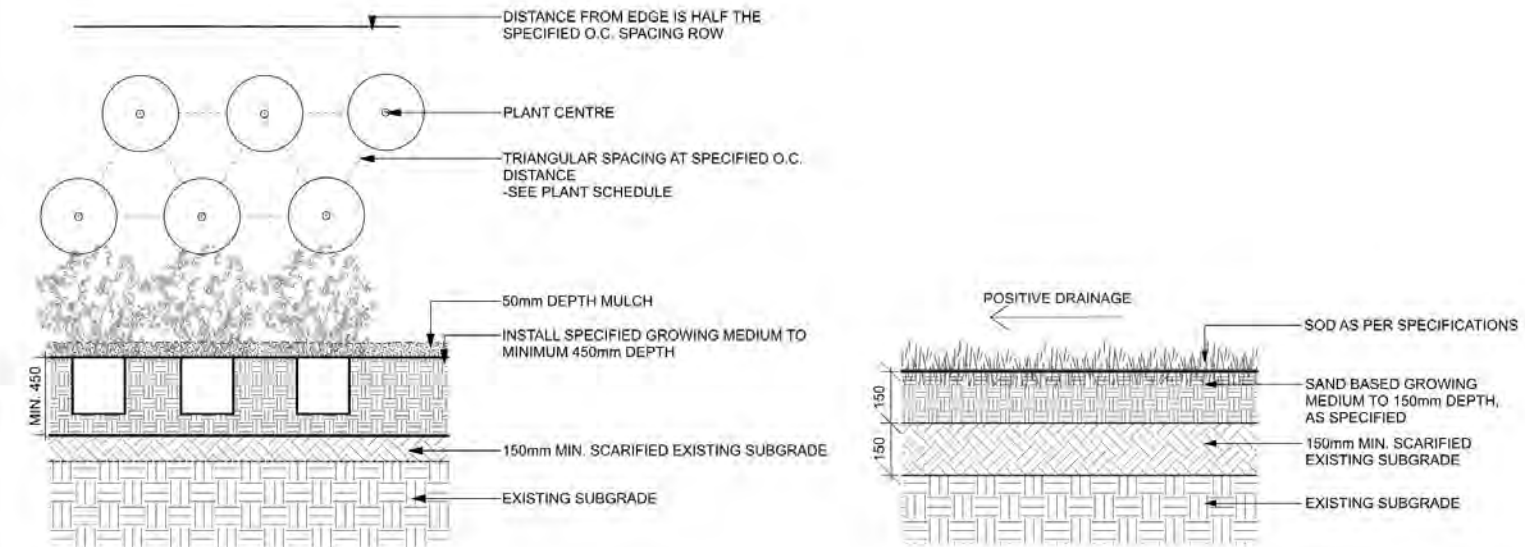
**SOFTSCAPE
DETILS**

PLAN # 3.g
L4.2



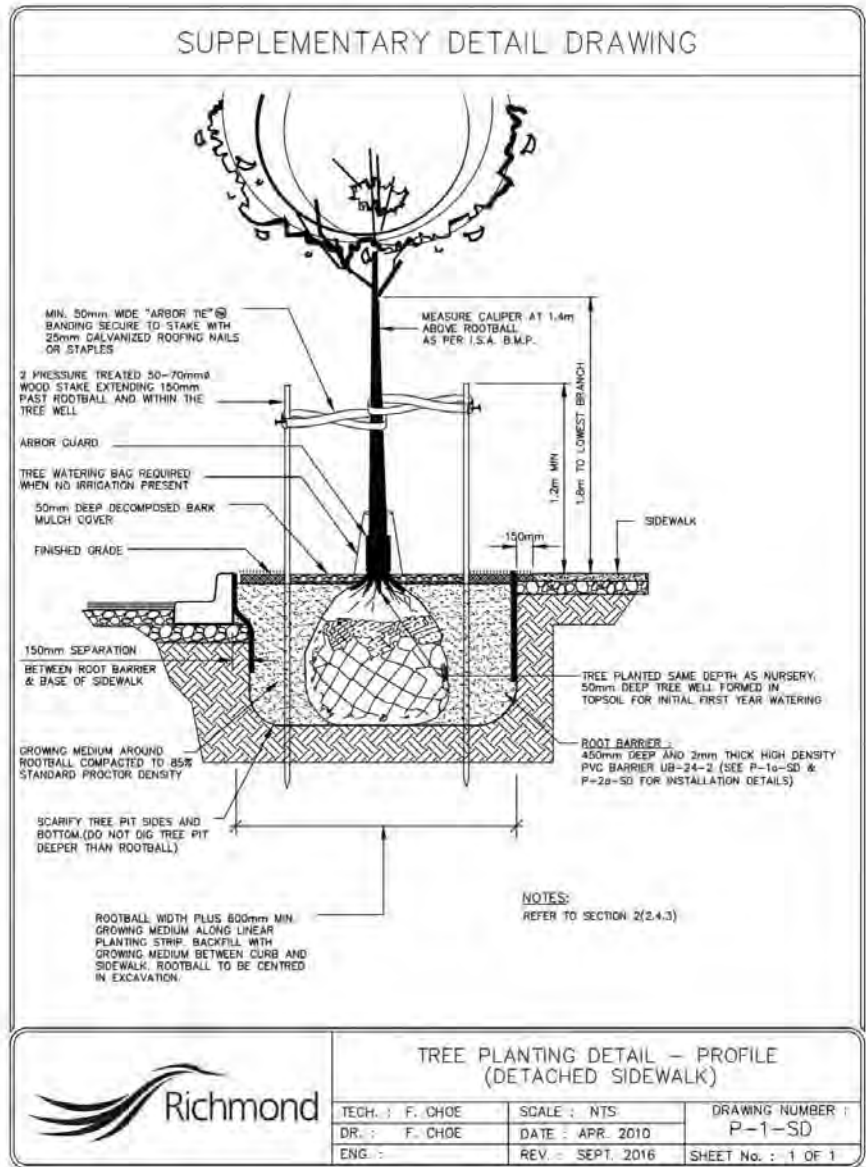
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20

2 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



3 PLANTING ON GRADE (TYPICAL)
Scale: 1:20

4 SOD LAWN (TYPICAL)
Scale: 1:10



5 GRASS BOULEVARD TREE PLANTING DETAIL - CITY OF RICHMOND
SCALE: N/A