



**Development Permit Panel
Wednesday, October 9, 2024**

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Wayne Craig, General Manager, Planning and Development, Chair
Roeland Zwaag, General Manager, Engineering and Public Works
Kirk Taylor, Director, Real Estate Services

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on September 25, 2024 be adopted.

CARRIED

1. DEVELOPMENT PERMIT 23-029476
(REDMS No. 7799954)

APPLICANT: Interface Architecture Inc.

PROPERTY LOCATION: 5800, 5840, 5860 Granville Avenue

INTENT OF PERMIT:

1. Permit the construction of 18 townhouse units at 5800, 5840, 5860 Granville Avenue on a site zoned “Low Density Townhouses (RTL4)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) reduce the minimum exterior side yard (north yard) from 6.0 m to 4.5 m.
 - (b) permit an electrical closet projection of 0.6 m into the front yard (west yard).

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Applicant's Comments

Ken Chow, Interface Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the proposed development, highlighting the following:

- the proposed site layout and design of the townhouse buildings fit well with the existing surrounding housing context which predominantly consists of two-storey single-family dwellings;
- the proposed exterior cladding materials and colours for the townhouse buildings are consistent with the residential character of the proposed development;
- the adjacent single-detached dwellings to the east of the subject site have redevelopment potential for a townhouse development;
- the proposed vehicular entry to the subject site is from Granville Avenue to avoid traffic congestion on Ledway Road and is intended to provide shared access to the properties to the east should they redevelop in the future;
- the existing bus stop on Granville Avenue immediately adjacent to the north of the subject site will be retained;
- a T-shaped central drive aisle is proposed in the subject site to allow for adequate manoeuvring space for vehicles including fire and garbage trucks;
- the size of the proposed common outdoor amenity at the southeast corner of the site exceeds the minimum requirement and has the potential to be consolidated with the common outdoor amenity space of the adjacent properties to the east should they redevelop in the future;
- resident parking is provided mainly in the garages of townhouse units while some units are provided with outdoor surface parking stalls; and
- two convertible units are proposed at the two-storey duplex buildings at the rear of the subject site.

Donald Duncan, of Donald V.S. Duncan Development Consultant Landscape Architect, with the aid of another visual presentation, briefed the Panel on the main landscape features of the project, noting the following:

- existing trees that have been identified for retention include, among others, a group of on-site trees at the corner of Granville Avenue and Ledway Road, a cherry tree along Ledway Road, a tree adjacent to the subject site's driveway entry off Granville Avenue, and some trees on the adjacent property to the south;
- the proposed frontage planting consists of different types of plant materials with a variety of textures and colours to provide visual interest to pedestrians passing by;
- the proposed interior planting includes, among others, small trees and shrubs, and shade tolerant groundcovers;

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- the proposed common outdoor amenity includes, among others, a children’s play area with a play structure that provides multiple play opportunities, an adult seating area, a mail kiosk, and bicycle parking;
- landscaping along the rear of the site includes, among others, small trees, significant lawn areas and evergreen hedges;
- a pedestrian pathway with entry trellis is proposed off Ledway Road; and
- permeable pavers are proposed on portions of the drive aisle, including at the driveway entrance, residents’ and visitors’ surface parking stalls, and the pedestrian entry off Ledway Road.

Staff Comments

Joshua Reis, Director, Development noted that (i) the project provides two convertible units, (ii) the proposed variances are technical in nature and have been reviewed and supported by staff, and (iii) servicing and frontage works associated with the project were identified at the Rezoning Application review process and include storm sewer upgrades along Ledway Road, boulevard improvements along Granville Avenue and Ledway Road, and (iv) a Servicing Agreement is required prior to Building Permit issuance.

Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) the proposed paving for the subject site includes standard asphalt and tan-coloured permeable pavers for the drive aisle, a slightly lighter tone for the permeable pavers at the pedestrian entries to the townhouse units, and broom finish concrete for the plaza area in the common outdoor amenity area, (ii) permeable paving materials are proposed for the townhouse units’ pedestrian connections to the sidewalk along Granville Avenue to identify them as private walkways, (iii) the drive aisle at the entrance to the subject site off Granville Avenue will provide shared vehicle access to neighbouring properties to the east when they redevelop in the future, (iv) a number of existing trees on the site and on neighbouring properties will be retained and protected, (v) the group of trees at the corner of Granville Avenue and Ledway Road consist primarily of cedar and will be pruned as required to maintain safety sightlines for the intersection, (vi) the size of the proposed lawn area at the corner of Granville Avenue and Ledway Road would be impacted by ground spaces occupied by existing trees, and (v) any potential drainage issues related to grading due to the retention of trees at the northwest corner would be addressed by the applicant.

As a result of the discussion on the retention of existing trees and its impact on grading at the northwest corner of the subject site, the Chair requested that should the application move forward, the landscape architect should work with the project arborist to ensure that any potential drainage issues in that area would be managed.

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With regard to the proposed children's play area located at the southeast corner of the subject site, it was clarified that (i) it is intended for the private use of residents of the proposed development, (ii) should the adjacent property to the east redevelop in the future, their children's play area could be located adjacent to the children's play area of the subject site, and (iii) the two future adjacent children's play areas could be potentially consolidated to create a larger children's play area for the shared use of the two developments subject to an agreement between the future strata corporations of the two developments.

Correspondence

None.

Gallery Comments

None.

Panel Discussion

The Panel expressed support for the project, noting the applicant's efforts to (i) retain the existing mature vegetation on the subject site and neighbouring properties, and (ii) maintain the grading along the perimeter of the site and the hedging on the adjacent properties.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of 18 townhouse units at 5800, 5840, 5860 Granville Avenue on a site zoned "Low Density Townhouses (RTL4)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the minimum exterior side yard (north yard) from 6.0 m to 4.5 m.*
 - (b) *permit an electrical closet projection of 0.6 m into the front yard (west yard).*

CARRIED

2. New Business

It was moved and seconded

That the Development Permit Panel meeting tentatively scheduled on Wednesday, October 23, 2024 be cancelled.

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3. **Date of Next Meeting: November 14, 2024**

ADJOURNMENT

It was moved and seconded
That the meeting adjourn (4:15 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, October 9, 2024.

Wayne Craig
Chair

Rustico Agawin
Committee Clerk

Schedule 1 to the Minutes of the Development Permit Panel meeting held on Wednesday, October 9, 2024

DEVELOPMENT PERMIT APPLICATION

RESUBMISSION: SEPT 17, 2024

PROPOSED 18-UNIT TOWNHOUSE DEVELOPMENT
5800 / 5840 / 5860 GRANVILLE AVENUE

RZ 21-922202 / DP 23-029476



PERSPECTIVE VIEW



5800 GRANVILLE AVENUE

5840 GRANVILLE AVENUE



CONTEXTUAL MAP



5760 GRANVILLE AVENUE ALONG GRANVILLE AVE.



5771 GRANVILLE AVE.

5791 GRANVILLE AVE.



7581 LEDNAY ROAD

5780 GRANVILLE AVENUE ALONG LEDNAY ROAD

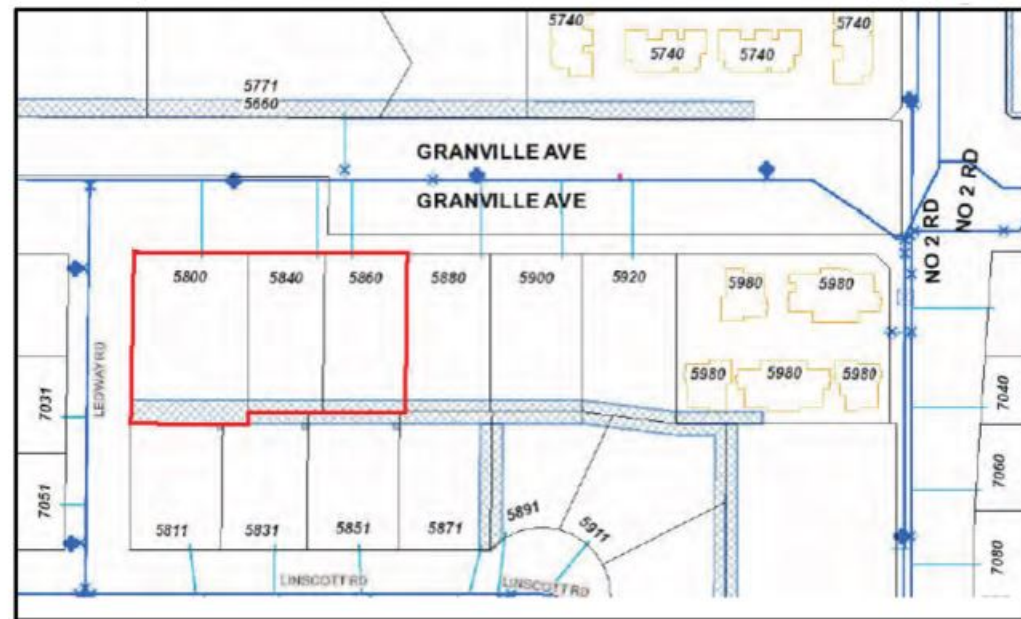
ZONING SUMMARY

Richmond Zoning and Development Bylaw No. 8500

• VARIANCE REQUESTED

LOT ZONING: RTL4 PROPOSED (CURRENTLY: RS1M)
 USES: LOW DENSITY TOWNHOUSES
 LOT SIZE: GROSS AREA 34,046 SF = 0.78 ACRES = 3,163 M²
 CORNER CUT 8 M² (4M x 4M)
 NET AREA 3,155 M² (33,960 SF)

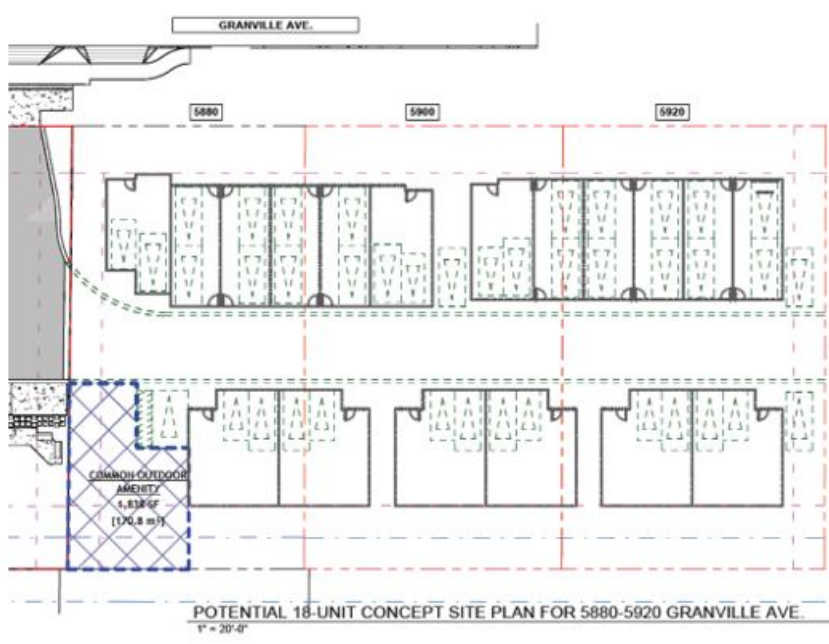
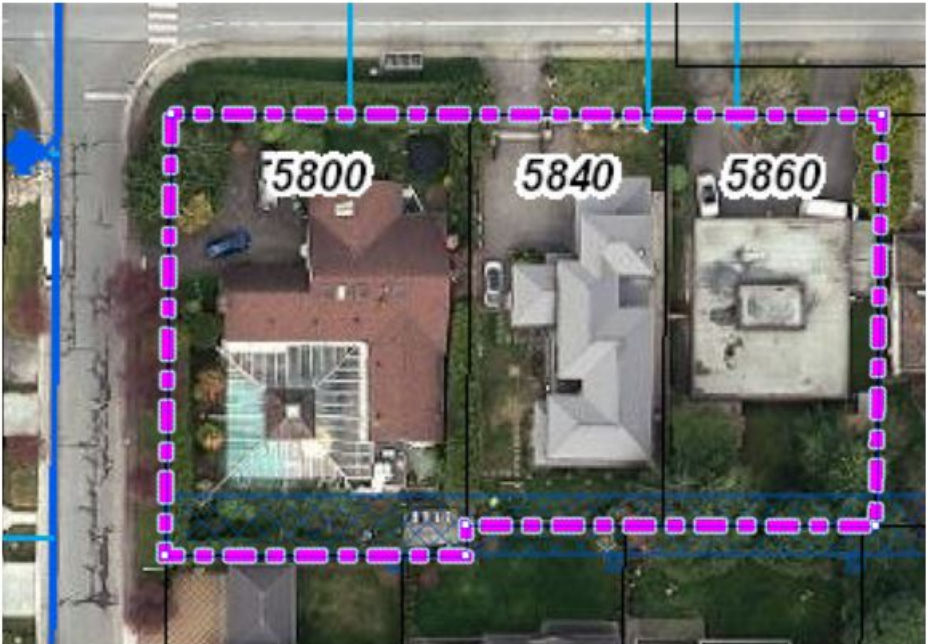
	PERMITTED / REQUIRED	PROJECT SPECIFIC (PROPOSED)
MIN. LOT SIZE	50M (W) X 35M (D)	71.9M (W) X 45.1M(42M (D)
DENSITY (MAX)	FAR 0.60 + 0.1 AMENITY	FAR 0.60 (1891.61 M ² / 3,155 M ²) [20,361 SF / 33,960 SF]
LOT COVERAGE	40% MAX FOR BUILDINGS	35.8% (1,120.2 M ² / 3,155 M ²) [12,144 SF / 33,960 SF]
LOT IMPERMEABLE:	65% MAX NON-POROUS 25% MIN. LIVE PLANTS	57.6% (1,817.5 M ² / 3,155 M ²) * SEE L1-02 FOR OVERLAY 27.2% (857.8 M ² / 3,155 M ²) * SEE L1-02 FOR OVERLAY
YARD SETBACKS		
FRONT (W) (LEDWAY)	6.0 M [19.68'] MIN	6.05M [19.85']
• SIDE (N) (GRANVILLE)	6.0 M [19.68'] MIN	• 4.5M [14.96']
• SIDE (S)	3.0 M [9.84'] MIN	6.02M [19.75']
• REAR (E)	3.0 M [9.84'] MIN	6.98M [22.57'] AT BUILDING 5 10.70M [35.10'] AT BUILDING 1
YARD PROJECTIONS:		
PRINCIPAL BLDG.	1.5 M MAX FRONT YARD	N/A
BAY WINDOWS	1.0 M FRONT, 0.6 M REAR	N/A
BALCONIES	1.5 M, BUT NOT AT SIDE	1.48M
PERGOLAS, ETC.	BY CASE	N/A
• ELECTRICAL CLOSET	0.6 M MAX, BUT NOT AT FRONT	• 0.6 M
BUILDING HEIGHT MAX	MAX. 12 M 3-STORY	11.93 M - 3-STORY (BUILDING 1 & 2) 8.92 M - 2-STORY (BUILDING 3) 6.99 M - 2-STORY (BUILDING 4 & 5)
FLOOD PLAIN C.L.	TOP OF HABITABLE FLOOR AT 0.3 M MIN. ABOVE HIGHEST ROAD CROWN	SET FCL AT 1.63 M [5.35 FT] (ROAD CROWN IS 1.33 M)



CONTEXTUAL MAP



5760 GRANVILLE AVENUE ALONG GRANVILLE AVE.



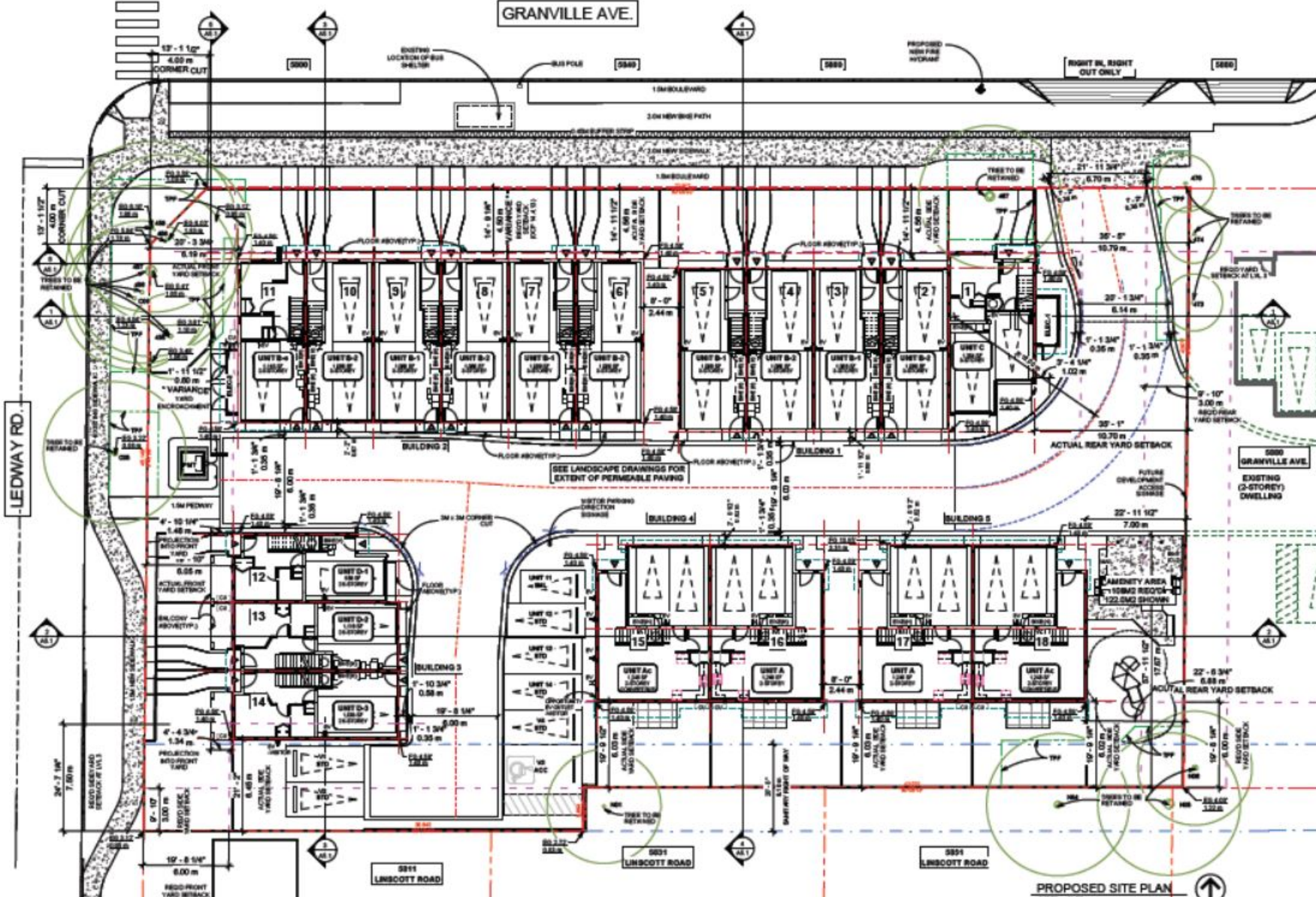
7031 LEDWAY ROAD



5760 GRANVILLE AVENUE ALONG LEDWAY ROAD

HIGHEST CROWN OF ROAD: 1.33M
 NOTE: INTERNAL DRIVE AISLE TO BE ENGINEERED TO SUPPORT FIRE TRUCK @90,000 LBS

GRANVILLE AVE.



LEDWAY RD.

5760 GRANVILLE AVE.

7851 LEDWAY ROAD

8811 LINSKOTT ROAD

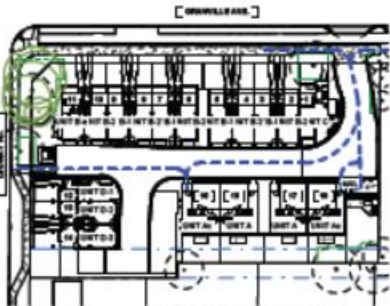
8803 LINSKOTT ROAD

8801 LINSKOTT ROAD

PROPOSED SITE PLAN
 3/22 *14"

8800 GRANVILLE AVE.
 EXISTING (2-STORY) DWELLING

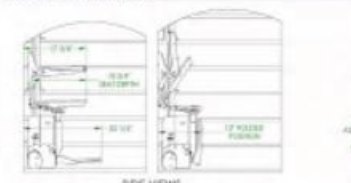
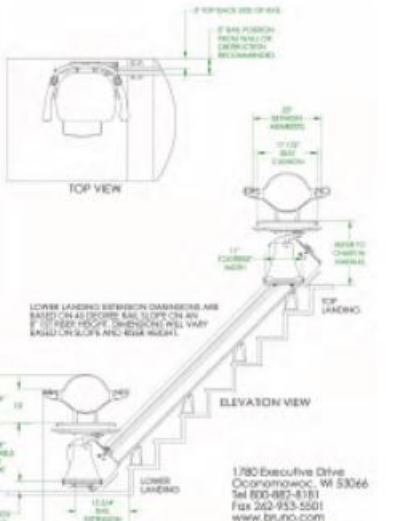
AGING-IN-PLACE MEASURE (ALL UNITS)	
STAIRWELL HANDRAILE	
LIFTS/TYP HANDRAILS FOR	PLUMBING FIXTURES AND DOOR HANDLES
SOLID BUCKLE-IN WHEELCHAIR HIGHS FOR FUTURE USE	HIGH POINT TO FLOOR
GRAB SURFACE SIDE TOILET, SHOWER AND SHOWER	



SITE PLAN: ACCESSIBLE PATHS

CONVERTIBLE UNIT FEATURES CHECKLIST	
DOORS & ENTRANCES	ENTRY DOORS MIN. 32" MIN. BUT IDEALLY 36" MIN. AND HAVE CLEAR ACCESS
	ENTRY DOOR CLEAR WIDTH/FLOOR SPACE MIN. 105" MIN. DEPTH BY DOOR FROM PLUMBING WALL/ATCH SIDE (NOT ASSUMED IF BUSHING IS PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER)
INTERIORS	INTERIORS TO HAVE LEVEL AREAS, 1" BETWEEN AND 1" BEYOND MIN. 32" MIN. CLEAR OPENING WITH PLUMBING WALLS SHALL BE 13" MIN. HEIGHT. CONCRETE PARTITION WALLS ACCESS BETWEEN WALLS AND FLOOR AND WHEELCHAIR ACCESS TO CORNERS IF NECESSARY TO SECURE ACCESS
	PARTITION WALLS MIN. 32" MIN. CLEAR OPENING, ACCESSED FROM REAR DOOR AT GROUND FLOOR
GENERAL CIRCULATION	ALL INTERIOR THRESHOLDS MIN. 3/4" HIGH, COMPLIANT WITH IBC
	LIFTS/TYP HANDRAILS FOR ALL DOORS
RAILINGS	STAIRLIFT: STRUCTURE WITH FINISHED SURFACE, AND LANDING, AS NOTED ON LAYOUT. MIN. 105" MIN. CLEARANCE WITH HANDRAILS (SPECIFICATION: SEE PLAN STRAIGHT RAIL STAIRLIFT AND IBC)
	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2"x12" SOLID LAMBER AT 9" MIN. TO CENTER
BATHROOM (MAX. 10'6" x 6")	MIN. 32" MIN. WIDTH
	MIN. 1' ACCESSIBLE TURNING SPACE WITH MIN. 60" DIA. TURNING SPACE FROM DOOR TO UNIFORM AREA. MIN. 32" MIN. CLEAR OPENING TOILET CLEARANCE/FLOOR SPACE MIN. 105" MIN. AT REAR AND FRONT
KITCHEN (MAX. 10'6" x 6")	WALL BUCKLING FOR FUTURE GRAB BARS AT TOILET, TUB AND SHOWER. REINFORCED WITH 2"x12" SOLID LAMBER AT 9" MIN. TO CENTER AND 10' DIA. TURNING
	LIFTS/TYP HANDRAILS FOR PLUMBING FIXTURES
STOVEN	PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL BUCKLING FIXTURES
	CABINETS UNDERBENCH SHOWN ARE SHOWN UNREMOVED
WINDOWS	MIN. 1' CLEARANCE UNDER FUTURE WORKSPACE, PLUMBING AND SWAPPER. MIN. 32" MIN. AND 6" FLOOR-COATED CLEARANCE OF LEGS AND ARMS OF FUTURE WORKSPACE (TOILET, KITCHEN & BATH 10' MIN. VIEW-COATED). ALL FINES ARE INDICATED IN RED. VIEW-TAKE 20" MIN. TO THE CENTER OF THE VIEW FROM FLOOR LEVEL.
	CABINETS UNDERBENCH SHOWN ARE SHOWN UNREMOVED
OUTLET & SWITCHES	MIN. 32" MIN. TURNING DIAMETER OR TURNING PATH CLEARANCE
	LIFTS/TYP HANDRAILS FOR PLUMBING FIXTURES
CLEAR AREA-NEEDED UNDER FUTURE WORKSPACE, PLUMBING AND SWAPPER. MIN. 32" MIN. AND 6" FLOOR-COATED CLEARANCE OF LEGS AND ARMS OF FUTURE WORKSPACE (TOILET, KITCHEN & BATH 10' MIN. VIEW-COATED). ALL FINES ARE INDICATED IN RED. VIEW-TAKE 20" MIN. TO THE CENTER OF THE VIEW FROM FLOOR LEVEL.	
CABINETS UNDERBENCH SHOWN ARE SHOWN UNREMOVED	
MIN. 32" MIN. TURNING DIAMETER OR TURNING PATH CLEARANCE	
LIFTS/TYP HANDRAILS FOR PLUMBING FIXTURES	
MIN. 1' CLEARANCE THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)	
MIN. 1' CLEARANCE THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)	
MIN. 1' CLEARANCE THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)	
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MIN. 1' CLEARANCE THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)	

TECHNICAL DATA/SPECIFICATION
 MODEL: BR-3000 (SLAN STRAIGHT RAIL STAIRLIFT, PRIVATE RESIDENCE ONLY)
 RATED LOAD: 350 LBS., ONE PASSENGER
 POWER SOURCE: 24 VOLT DC COMPOSED OF (2) 3 AMP/2HR (12 VOLT) SEALED BATTERIES (55-500 VOLT P.C. OR AMP, 24 VOLT DC 1 AMP CONTINUOUS MONITORING CHARGER)
 DRIVE: 24 VOLT DC DIRECT DRIVE SELF-LOCKING POSITIVE GEARED MOTOR, 2.0 HP RATED, 16 HP MAX., RIGHT ANGLE WORM GEARBOX, 30MM (1.418") TORQUE MAX., 35.5 RPM SPEED MAX., 16 AMP CURRENT MAX.
 SUSPENSION: BACK & FRONT - INTEGRATED SELF-GEAR RACK ON RAIL WITH SPIR GEAR ON THE OUTPUT SHAFT OF GEARBOX
 BRAKING: DYNAMIC MOTOR BRAKING THROUGH THE MOTOR CONTROLLER, WORM GEAR, ELECTRO-MECHANICAL MOTOR BRAKE AND OVERSPEED PROTECTION
 CONTROLS: CONTINUOUS PRESSURE FOOTSWITCH LOCATED ON THE AMBIBENT AND WALL MOUNTED CALLING CONTROLS LOCATED AT BOTH THE TOP AND BOTTOM LANDINGS
 ANGLES: 20 TO 40 DEGREE (TYPICAL) UP TO 52 DEGREE, RIGHT OR LEFT HAND ORIENTATION
 FINAL LIMIT SWITCH: STANDARD

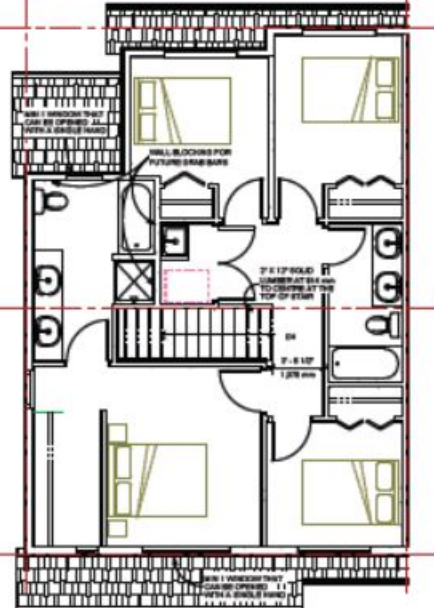


ILS-01345
 SHEET 1 OF 3
 REV. 1 (6456)/(9/01/17)(BHM)

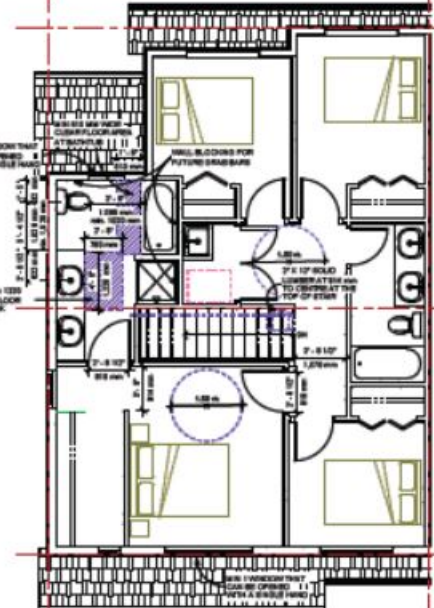
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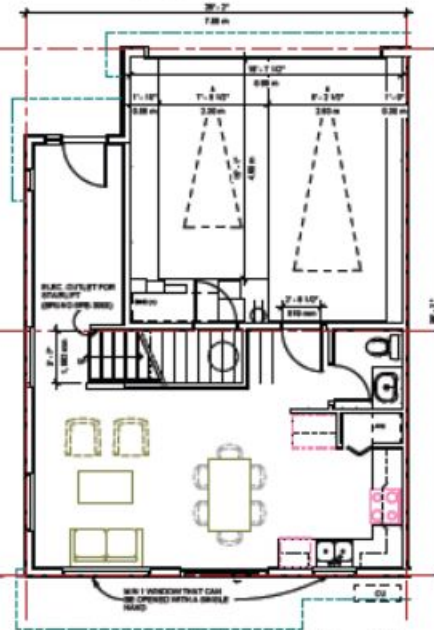
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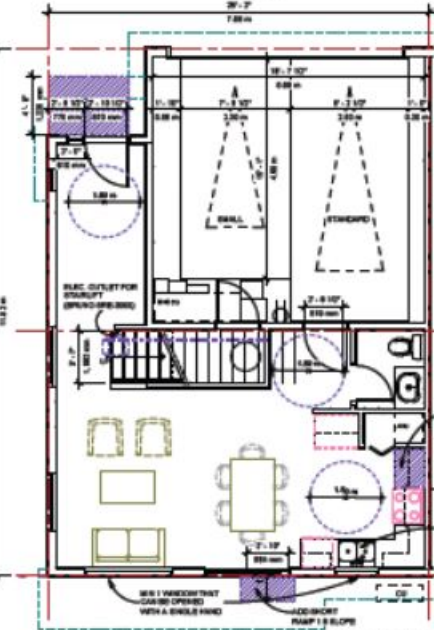
Level 2 - Ao-before conversion 10' x 10'



Level 2 - Ao-after conversion 10' x 10'

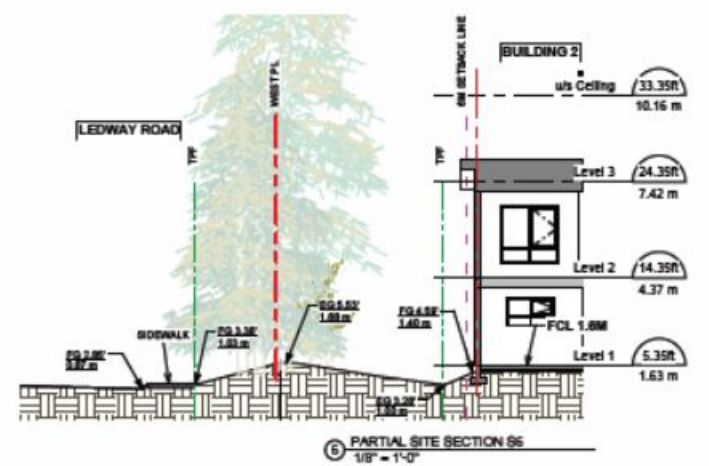
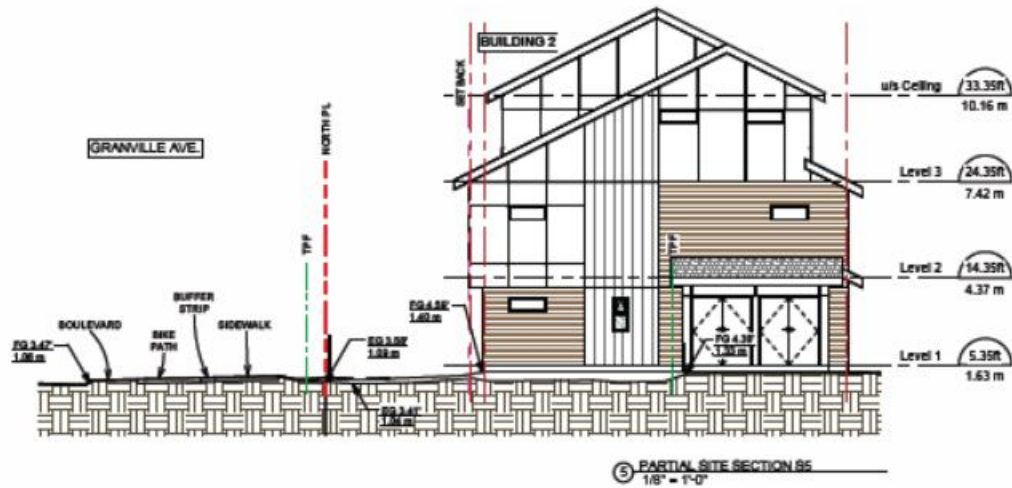
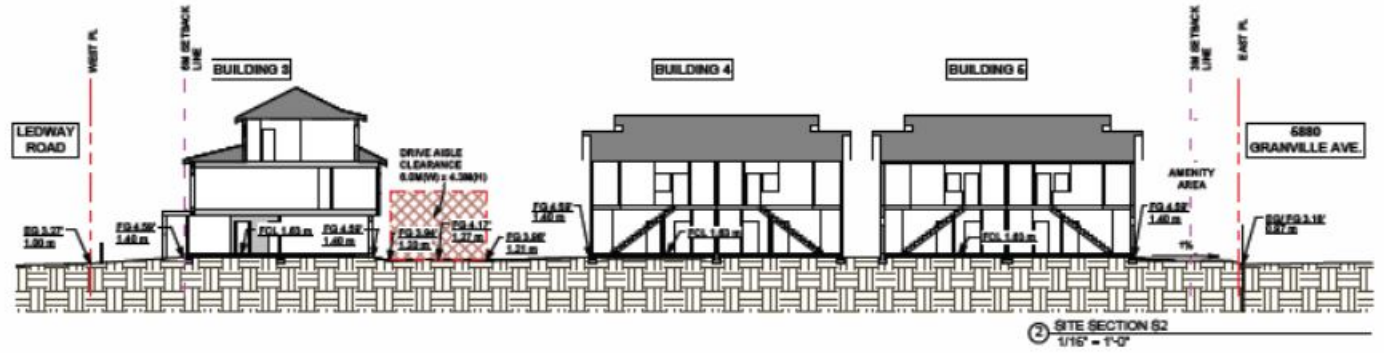
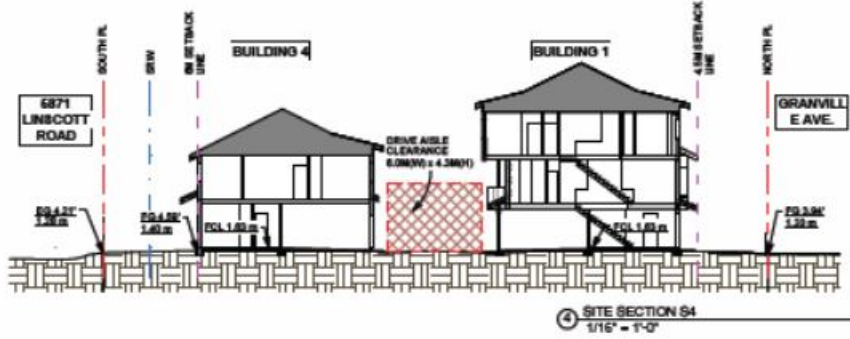


Level 1 - Ao-before conversion 10' x 10'



Level 1 - Ao-after conversion 10' x 10'







STREETSCAPE ALONG GRANVILLE AVENUE

1	2A	2B	3 14	4	5 6
<p>FINISH: CONCRETE PANEL SIDING HARDWARE: PANEL (SMOOTH) Colour: Anvil White</p>	<p>FINISH: CONCRETE PANEL SIDING HARDWARE: PANEL (EMERALD) Colour: BM CC-70 (Jewelbright Red)</p>	<p>FINISH: CONCRETE PANEL SIDING HARDWARE: PANEL (EMERALD) Colour: BM CC-410 (Showerbark)</p>	<p>FINISH: CONCRETE LAP SIDING HARDWARE: PANEL (EMERALD CREAMWELL) Colour: BM CC-12-03 (Pony Irons)</p>	<p>FINISH: ASPHALT ROOF SHINGLES Colour: Dark Grey (Blackstar, Tuffair)</p>	<p>VINYL FRAMED DOUBLE GLAZED WINDOWS Windows or Shutters: DOUBLE GLAZED VINYL SLIDING DOOR Colour: White</p>
7	8 11	9	10 12	13	
<p>ALUMINUM FINISH GUTTER Colour: BRHC100 (Pavani) Charcoal</p>	<p>ENTRY: SOLID WOOD DOOR WITH SIDE LIGHT BULLTIP POST Colour: Natural Cedar Stain</p>	<p>METAL FINISH W/ SHARPLAISTED GLASS Fining Colour: Dark Grey</p>	<p>METAL FINISH W/ SHARPLAISTED GLASS Fining Colour: Dark Grey</p>	<p>ELECTRICAL ROOM DOOR Colour: BRAP-06 (Thunder)</p>	



STREETSCAPE ALONG LEDWAY ROAD



KEY PLAN



PERSPECTIVE IMAGE - BIRD EYE VIEW LOOKING SOUTH-EAST



PERSPECTIVE IMAGE - BIRD EYE VIEW LOOKING NORTH-EAST



PERSPECTIVE IMAGE - BIRD EYE VIEW LOOKING SOUTH-WEST



PERSPECTIVE IMAGE - PEDESTRIAN VIEW LOOKING SOUTH-WEST



PERSPECTIVE IMAGE - PEDESTRIAN VIEW LOOKING NORTH-EAST



PERSPECTIVE IMAGE - PEDESTRIAN VIEW DRIVE AISLE LOOKING WEST

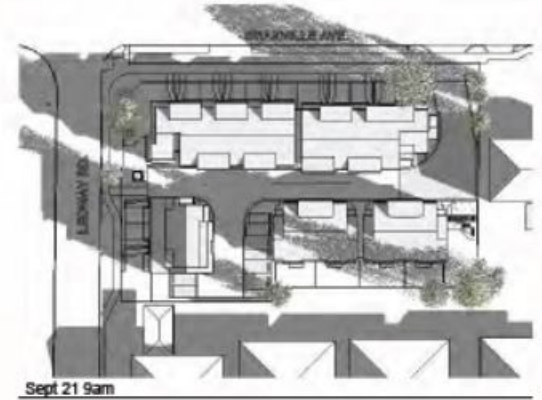
SPRING EQUINOX



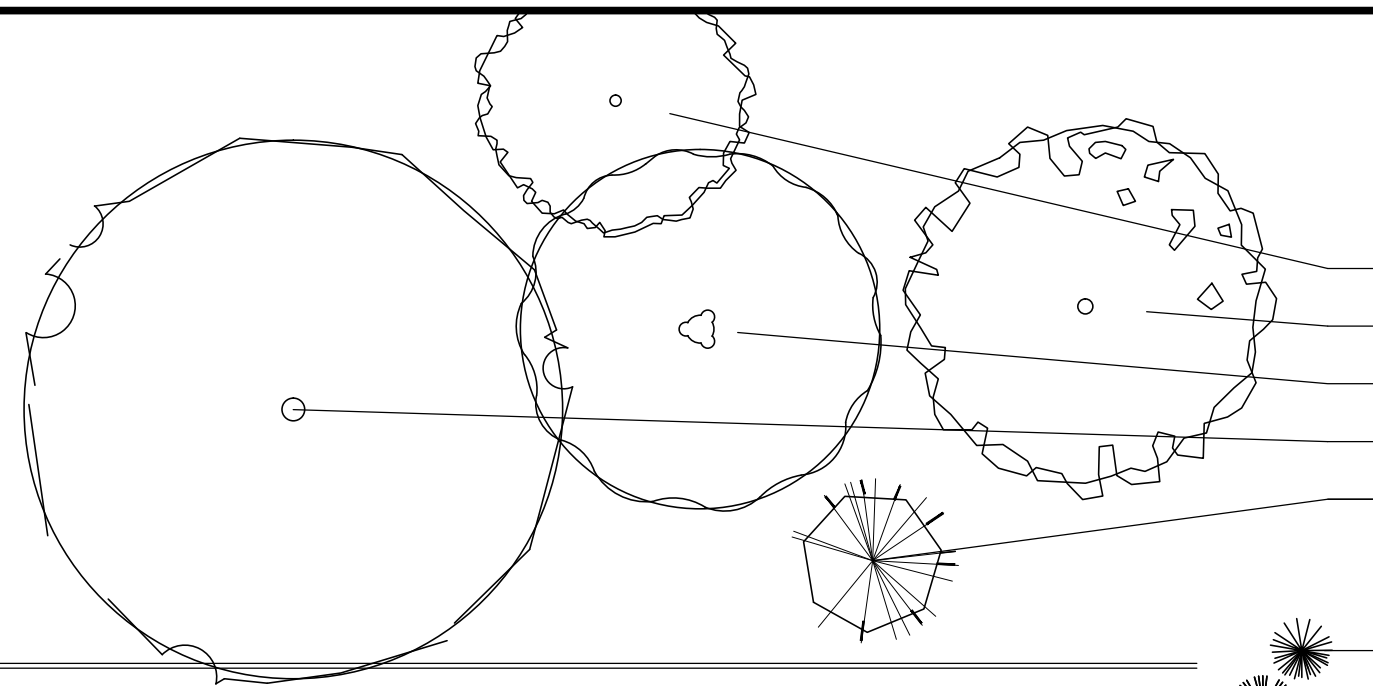
SUMMER SOLSTICE



AUTUMN EQUINOX



PLOT DATE: September 17, 2024 TIME: 3:41 PM FULL PATH AND FILENAME: D:\PROJECTS\020-0089 5800 GRANVILLE\500-DELIV\LAND\01-TB\LO-01.DWG PLOTSYCLE TABLE



PLANT LIST

TREES table with columns: CODE, QTY, SCIENTIFIC NAME, COMMON NAME, SIZE, COMMENTS, MATURE SIZE, SPACING. Includes entries for Acer circinatum, Cornus nuttallii, Crataegus x mordenensis 'Toba', Gleditsia triacanthos, and Picea omorika.

CONIFEROUS SHRUBS table with columns: CODE, QTY, SCIENTIFIC NAME, COMMON NAME, SIZE, COMMENTS, MATURE SIZE, SPACING. Includes entries for Juniperus horizontalis 'Wiltonii', Pinus mugo 'Pumilio', Taxus x media 'Hicksii', and Thuja o. 'Smaragd'.

BROADLEAF EVERGREEN SHRUBS table with columns: CODE, QTY, SCIENTIFIC NAME, COMMON NAME, SIZE, COMMENTS, MATURE SIZE, SPACING. Includes entries for Azalea japonica 'Hino Crimson', Arbutus unedo 'Compacta', Gaultheria shallon, Skimmia japonica, Rhododendron 'Impeditum', and Vaccinium ovatum 'Thunderbird'.

DECIDUOUS SHRUBS table with columns: CODE, QTY, SCIENTIFIC NAME, COMMON NAME, SIZE, COMMENTS, MATURE SIZE, SPACING. Includes entries for Cornus stolonifera, Cotinus cogg. 'Royal Purple', and Ribes s. 'King Edward VII'.

PERENNIALS table with columns: CODE, QTY, SCIENTIFIC NAME, COMMON NAME, SIZE, COMMENTS, MATURE SIZE, SPACING. Includes entry for Astilbe x japonica 'Rheinland'.

FERNS table with columns: CODE, QTY, SCIENTIFIC NAME, COMMON NAME, SIZE, COMMENTS, MATURE SIZE, SPACING. Includes entry for Polystichum munitum.

GROUND COVERS table with columns: CODE, QTY, SCIENTIFIC NAME, COMMON NAME, SIZE, COMMENTS, MATURE SIZE, SPACING. Includes entries for Ajuga reptans 'Chocolate Chip' and Lawn.

GENERAL NOTES

- 1. COMPLIANCE, GOVERNMENT - ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY OF RICHMOND AND SHALL COMPLY WITH ALL STANDARDS AND REGULATIONS OF THE SAME.
2. COMPLIANCE, BCNTA/BCSLA - ALL MATERIAL, SHIPPING PROCEDURES, AND INSTALLATION OF LANDSCAPE ELEMENTS SHALL CONFORM TO LATEST EDITION OF BCNTA/BCSLA LANDSCAPE STANDARD AVAILABLE AT COMMENCEMENT OF WORK.
3. COMPLIANCE, MMCD - ALL WORKS SHALL CONFORM TO THE LATEST MMCD DETAILS AND SPECIFICATIONS AVAILABLE AT COMMENCEMENT OF WORK WHERE NO SPECIFIC DETAIL, NOTE OR SPECIFICATION IS PROVIDED IN THE DRAWING SET OR ATTACHED MATERIALS.
4. EXISTING SERVICES - REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF ALL BURIED SERVICES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL UTILITIES LOCATIONS AND ANY AND ALL COSTS WHICH ARISE FROM DAMAGE TO SERVICES CAUSED BY ANY ACT OR FAILURE TO ACT OF THE CONTRACTOR.
5. COORDINATION - THESE DRAWINGS SHALL BE TAKEN TO BE PART OF THE LARGER SET OF DRAWINGS AND SPECIFICATIONS, WHETHER DIRECTLY ATTACHED OR NOT. ISSUED FOR THE CONSTRUCTION OF THE ASSOCIATED BOULEVARD WORKS. THESE DRAWINGS SHALL BE READ IN CONCERT WITH SUCH DOCUMENTATION AND, WHERE CONFLICTS ARISE, THE CONTRACTOR SHALL IMMEDIATELY REPORT SUCH CONFLICTS TO THE LANDSCAPE ARCHITECT. THE WORK IS TO BE DONE IN COORDINATION WITH THE CONTRACTOR OR CONTRACTORS ENGAGED IN CONSTRUCTION OF SUCH ADJACENT WORKS.
6. CONCRETE, FORMS - THE CONTRACTOR SHALL COMPARE DIMENSIONS PROVIDED WITH SITE CONDITIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT AND THE ENGINEER. ONCE COMPLETED THE CONTRACTOR SHALL CALL FOR INSPECTION OF THE FORMS PRIOR TO PLACING STEEL REINFORCEMENT. CONTACT LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO DESIRED INSPECTION TIME.
7. CONCRETE, REINFORCEMENT - ALL CONCRETE REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO POURING OF CONCRETE. CONTACT STRUCTURAL ENGINEER A MINIMUM OF 48 HOURS PRIOR TO DESIRED INSPECTION TIME.
8. GRADING, GENERAL - THE CONTRACTOR SHALL ESTABLISH GRADES SUCH THAT THERE IS, IN ALL AREAS, POSITIVE DRAINAGE TO AN ADJACENT DRAIN. MINIMUM SLOPES SHALL BE AS FOLLOWS:
PEDESTRIAN PAVED AREAS 1%
VEHICULAR PAVED AREAS 1%
LAWN AREAS 2%
PLANTED BEDS 5%
9. GRADING, ALLOWANCES AND TOPSOIL PLACEMENT - OVERALL DEPTH OF PLANTING MEDIUM AFTER SETTLEMENT SHALL BE:
GRASS AREAS 150 MM
SHRUB BEDS 450 MM
GROUND COVER AREAS 300 MM
TREES 600 MM
N.B. ALL SOIL SHALL BE TESTED NOT MORE THAN 14 DAYS PRIOR TO INSTALLATION ON SITE. TESTING SHALL BE SPECIFIC TO THIS WORK. CONTRACTOR SHALL AMEND THE SOIL ACCORDING TO THE RECOMMENDATIONS OF THE SOILS TESTING LAB.
10. GRADING, BUILDING FINISHED FLOOR & CORNER ELEVATIONS - SEE ARCHITECTURAL DRAWINGS.
11. GRADING, GENERAL RETENTION WORKS - ALL RETENTION WORKS, EITHER SHOWN HERE OR REQUIRED DUE TO UNANTICIPATED CONDITIONS AT THE TIME OF CONSTRUCTION, SHALL BE SPLIT FACED ALLAN BLOCK, WITH THE EXCEPTION OF RETAINING WALLS IN THE SIDE YARD DRAINAGE AREAS SPECIFICALLY NOTED AS PRESSURE TREATED WOOD. SHOULD UNANTICIPATED RETAINING WALLS BE REQUIRED, THE COLANDSCAPE ARCHITECT SHALL INFORM THE CITY IN WRITING OF THE LOCATION, HEIGHT AND EXTENT OF SUCH WALL.
12. PLANT MATERIAL, QUANTITIES - CONTRACTOR SHALL CONFIRM ALL PLANT MATERIAL QUANTITIES. ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE DRAWING SHALL BE REPORTED TO THE CONSULTANT. IN CASE OF DISCREPANCY CONTRACTOR SHALL INSTALL PLANT MATERIAL AS PER DRAWING. IN CIRCUMSTANCES WHERE THERE IS A DISCREPANCY BETWEEN GROUND COVER QUANTITY AND SPACING THE SPACING REQUIREMENT WILL PREVAIL.
13. PLANT MATERIAL, SUBSTITUTIONS - NO SUBSTITUTIONS TO PLANT LIST SHALL BE MADE BY CONTRACTOR WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CONSULTANT.
14. PLANT MATERIAL, HEALTH - ALL PLANT MATERIALS MUST BE DISEASE FREE FROM CERTIFIED NURSERIES.
15. MULCH - PLANTING AREAS SHALL BE MULCHED WITH 50 MM OF HEM/FIR BARK MULCH. THE USE OF CEDAR MULCH OR ANY MIX CONTAINING CEDAR IS NOT PERMITTED.
16. IRRIGATION - AN IRRIGATION SYSTEM SHALL BE INSTALLED AS A DESIGN/BUILD BY AN ACCREDITED IRRIGATION CONTRACTOR. THE SYSTEM SHALL PROVIDE FULL COVERAGE. THE GENERAL CONTRACTOR SHALL PROVIDE SLEEVES AND CORING AS NECESSARY. A PLAN OF THE PROPOSED SYSTEM SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
17. ANY CONTINUOUS PLANTINGS HAVING THE POTENTIAL TO FORM A HEDGE-LIKE SHRUB MASS ALONG STREET FRONTAGES ARE TO BE MAINTAINED AT A MAXIMUM HEIGHT OF 1.2M.

RESIDENTIAL DEVELOPMENT
5800 GRANVILLE AVENUE
RICHMOND BC

Table with columns: DATE, ISSUED FOR, REV. Includes revision history from 2020-12-23 to 2024-09-17.

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Consultants section listing Architectural, Arborist, Civil, Structural, Mechanical, and Electrical services.

DRAWING INDEX

Table mapping drawing codes (L0-01 to L5-04) to drawing titles (NOTES & SYMBOLS, LANDSCAPE AREAS, HARD LANDSCAPE PLAN, etc.).

HARD LANDSCAPE KEY

Diagrammatic key for landscape elements including Arbour, Bike Rack, Bench, Wooden Barrier Fence & Gate, Aluminum Fence & Gate, 450 x 450 Precast Paving Slabs, Asphalt, C.I.P. Concrete - Broom Finish, Standard Concrete Unit Pavers, Aquapave Concrete Unit Pavers, Drain Rock Paving, and Playground Paving.

Donald V. S. Duncan Development Consultant Landscape Architect contact information including address and phone number.

RICHMOND FILE #
DP 23-029476

Revision table for the drawing, showing Project Leader and Drafter information.

Residential Development
5800 Granville (Granville & Ledgewy)
Richmond BC

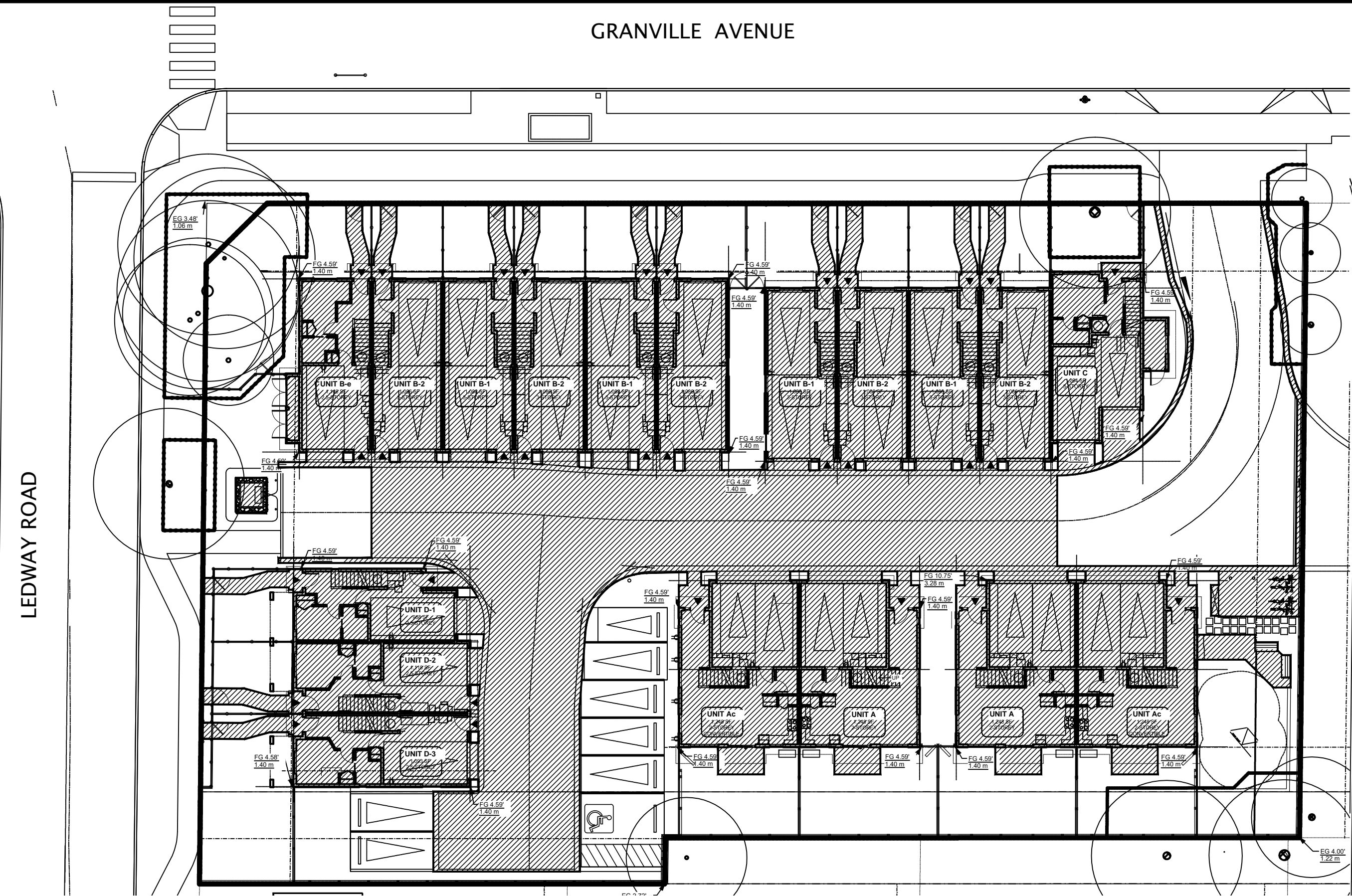
Prepared for:
HorizonDevelopmentWest
6831 Gamba Drive
Richmond BC V7C 2G4

NOTES & SYMBOLS

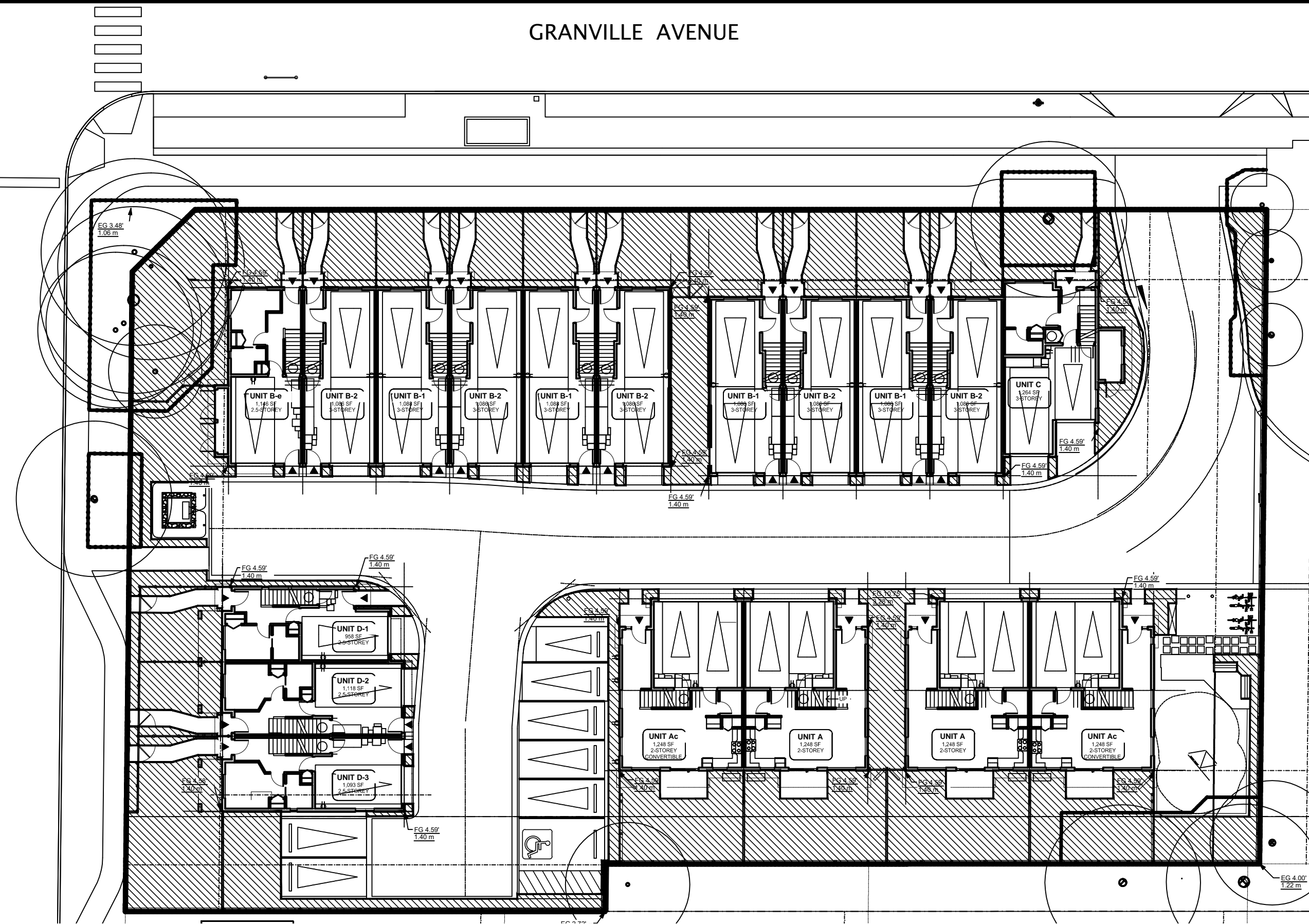


Project No. 20-0089
Drawing No. L0-01

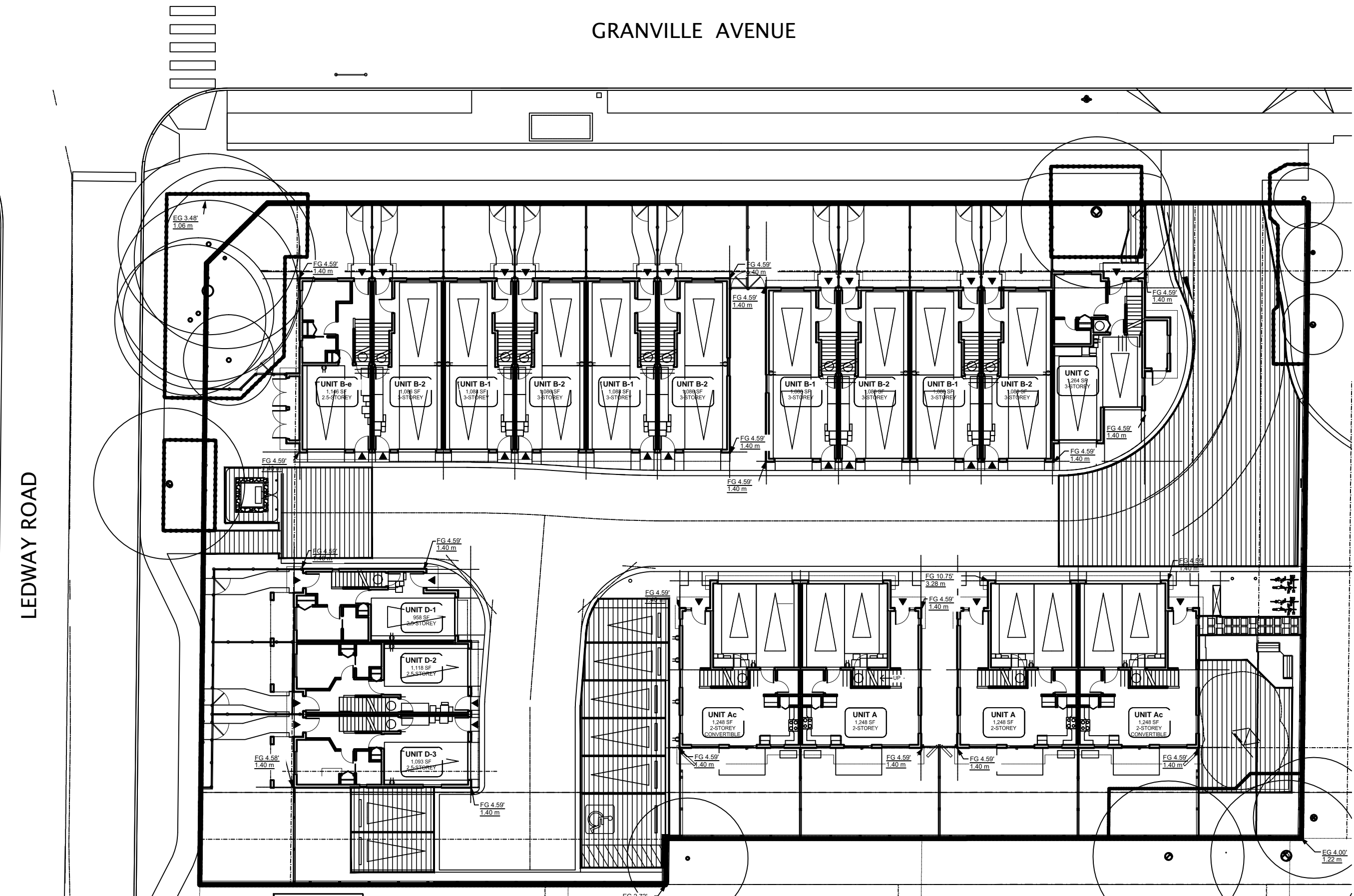
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02 IMPERVIOUS AREAS
L1-02 SCALE 1:250



01 LIVING PLANT AREA
L1-02 SCALE 1:250



01 PERMEABLE PAVING
L1-02 SCALE 1:250

AREAS	AMOUNT	ACTUAL %	REQUIRE %
LOT AREA	3,154.7 m ²		
IMPERVIOUS	1,817.5 m ²	57.6 %	65.0 % MAX
PERMEABLE PAVING	479.4 m ²	15.2 %	
LIVING PLANT	857.8 m ²	27.2 %	25.0% MIN
ALL PERMEABLE (PAVING + LIVING)	1,289.8 m ²	40.9 %	35.0 % MIN

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Arboret:
Civil:
Structural:
Mechanical:
Electrical:

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LANDSCAPE ARCHITECT

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RICHMOND FILE #
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Project Leader
DVS Duncan
Drawn
Revision DVS Duncan

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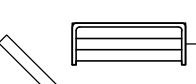
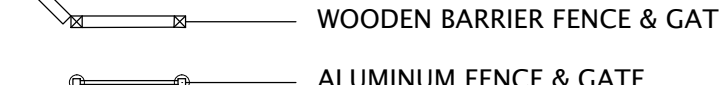
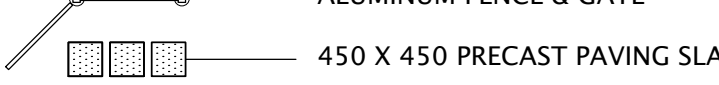
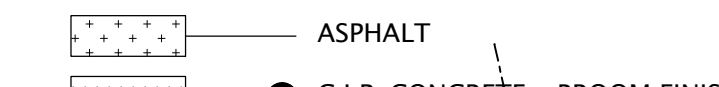

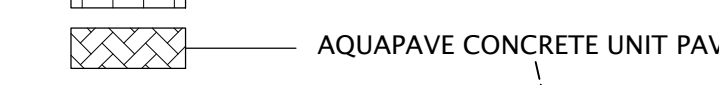
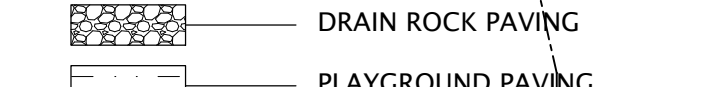



Drawing Title
PERVIOUS / IMPERVIOUS
AREA PLAN

Check Scale (may be photo reduced)
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Project No. 20-0089
Drawing No. L1-02

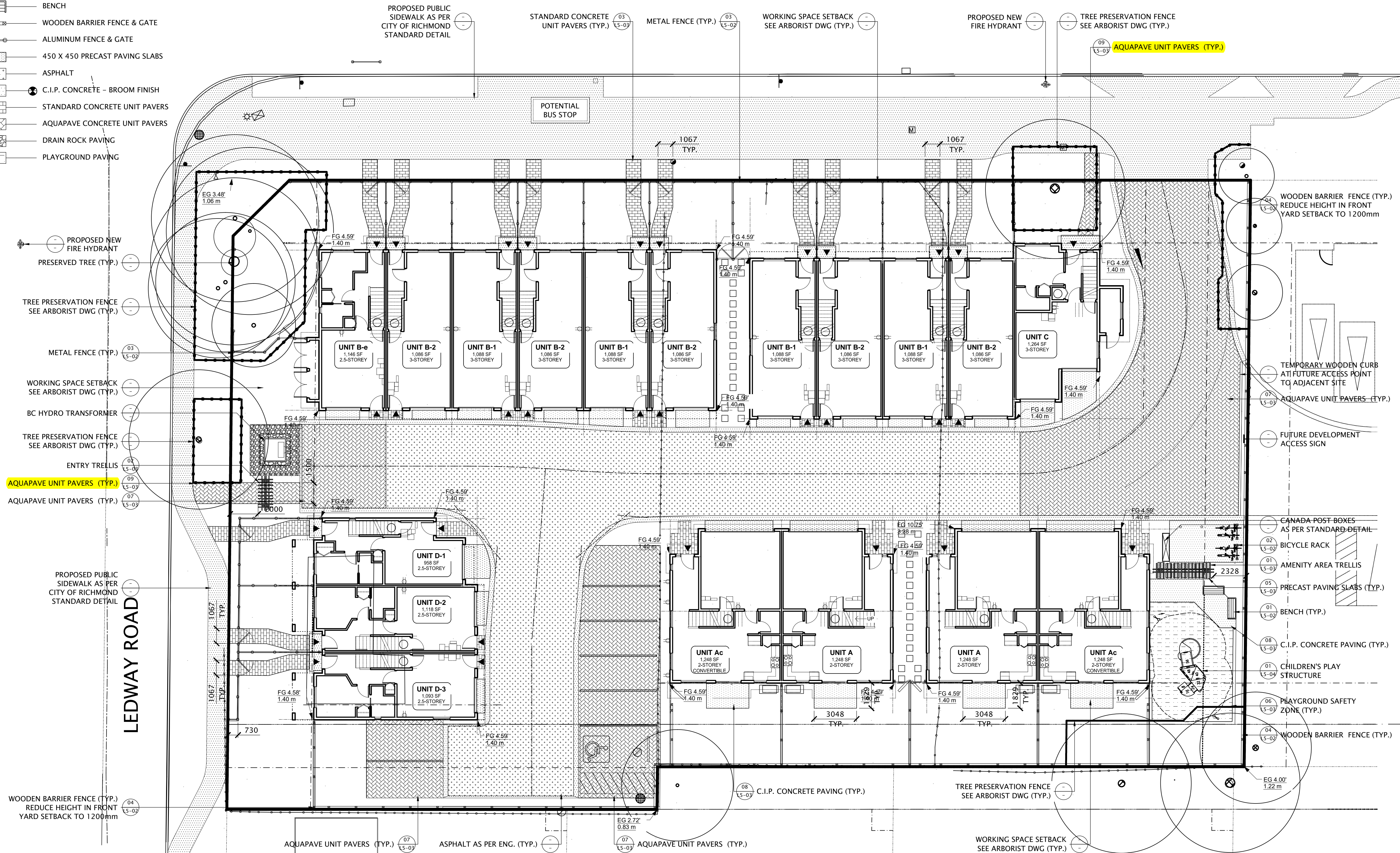
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HARD LANDSCAPE KEY

-  ARBOUR
-  BIKE RACK
-  BENCH
-  WOODEN BARRIER FENCE & GATE
-  ALUMINUM FENCE & GATE
-  450 X 450 PRECAST PAVING SLABS
-  ASPHALT
-  C.I.P. CONCRETE - BROOM FINISH
-  STANDARD CONCRETE UNIT PAVERS
-  AQUAPAVE CONCRETE UNIT PAVERS
-  DRAIN ROCK PAVING
-  PLAYGROUND PAVING

GRANVILLE AVENUE

LEDWAY ROAD



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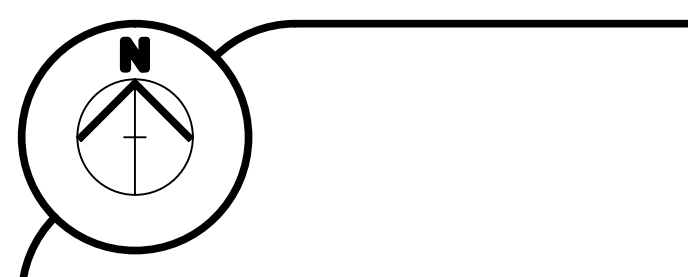
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 Arboret:
 Civil:
 Structural:
 Mechanical:
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 603 - 220 Eleventh Street
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 dvsduncan@gmail.com

RICHMOND FILE #
 DP 23-029476

H Project Leader
 DVSDuncan
 Drawn
 DVSDuncan
 Revision

Residential Development
 5800 Granville (Granville & Ledway)
 Richmond BC

Prepared for:
HorizonDevelopmentWest
 6831 Gamba Drive
 Richmond BC V7C 2G4

Drawing Title
HARD LANDSCAPE PLAN

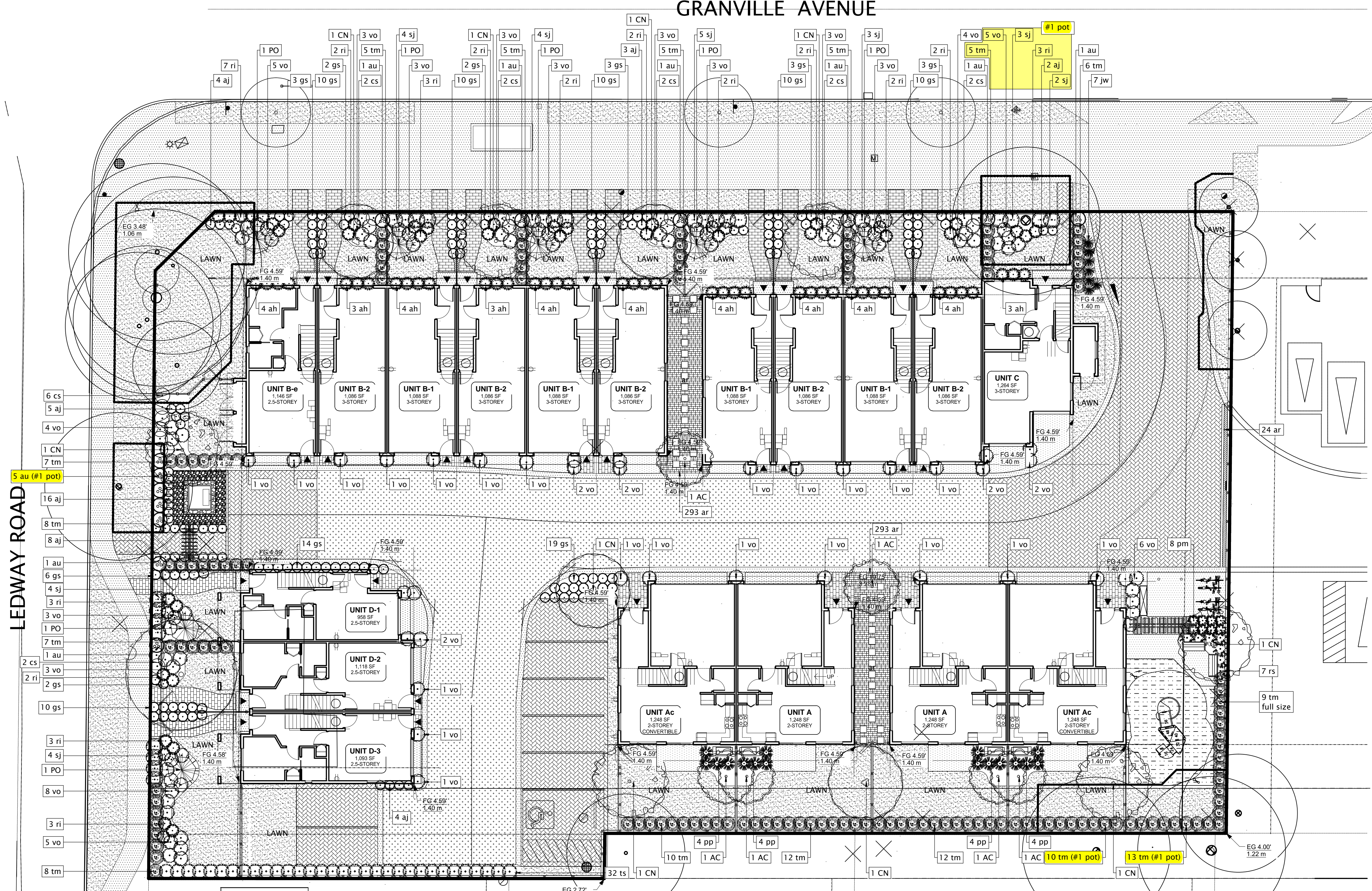
Check Scale (may be photo reduced)
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Project No. 20-0089

Drawing No. L2-01

01
 L2-01 **HARD LANDSCAPE PLAN**
 SCALE 1:150

GRANVILLE AVENUE



LEDWAY ROAD

01 PLANTING PLAN
L4-01 SCALE 1:150

PLANT LIST

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
TREES							
AC	6	Acer circinatum	Vine Maple	4m clump	8&8 min. 60cm root ball dia.	10m height 5m spread	AS SHOWN
CN	6	Cornus natrix	Pacific Dogwood	8cm cal	150cm standard 8&8 min. 70cm root ball dia.	10m height 9m spread	AS SHOWN
CL	4	Crataegus x mordanensis 'Toba'	Toba Hawthorn	8cm cal	150cm standard 8&8 min. 70cm root ball dia.	6m height 6m spread	AS SHOWN
GT	1	Gleditsia triacanthos	Honey Locust	8cm cal	150cm standard 8&8 min. 70cm root ball dia.	21m height 21m spread	AS SHOWN
PO	7	Picea omorika	Serbian Spruce	4.0 m ht.	Dense Tight Habit 8&8 min. 80cm root ball dia.	16m height 80cm spread	AS SHOWN
CONIFEROUS SHRUBS							
JW	8	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	#2 pot	min. 30cm spread	15cm height 120cm spread	60cm
PP	16	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	#2 pot	min. 30cm spread	125cm height 250cm spread	75cm
TM	127	Taxus x media 'Hicksii'	Hick's Yew	1.2m	min. 30cm spread use #1 pot in TPA - 28 st	150cm height 120cm spread	75cm
TS	32	Thuja o. 'Smaragd'	Smaragd Hedging Cedar	1.5m	min. 30cm spread	400cm height 100cm spread	75cm

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
BROADLEAF EVERGREEN SHRUBS							
AH	41	Azalea japonica 'Hino Crimson'	Crimson Japanese Azalea	#2 pot	min. 200mm height	120cm height 120cm width	75cm
AU	13	Arbutus unedo 'Compacta'	Dwarf Strawberry Tree	#5 pot	min. 45cm height use #1 pot in TPA - 6 st	300cm height 300cm spread	100cm
GS	119	Gaultheria shallon	Salal	#1 pot	min. 20cm height	100cm height 120cm spread	65cm
SJ	28	Skimmia japonica	Japanese Skimmia	#2 pot	min. 45cm height use #1 pot in TPA - 4 st	100cm height 130cm spread	75cm
RI	42	Rhododendron 'Impedium'	Impedium Rhododendron	#2 pot	min. 30cm height use #1 pot in TPA - 3 st	60cm height 75cm spread	75cm
VO	103	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#2 pot	min. 60cm height use #1 pot in TPA - 3 st	180cm height 190cm spread	75cm
DECIDUOUS SHRUBS							
CS	18	Cornus stolonifera	Redtwig Dogwood	#1 pot	min. 50cm height heavy	300cm height 200cm spread	90cm
CC	2	Cotinus cogg. 'Royal Purple'	Smoke Tree	#5 pot	min. 60cm height heavy	200cm height 150cm width	90cm

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
PERENNIALS							
AJ	45	Astilbe x japonica 'Rheinland'	Rheinland False Spirea	#1 pot	min. 25cm height	55cm height 60cm spread	45cm
FERNS							
PM	8	Polystichum munifidum	Swordfern	#1 pot	min. 25cm height	100cm height 100cm spread	60cm
GROUND COVERS							
AR	586	Ajuga reptans 'Chocolate Chip'	Chocolate Bugleweed	10cm pot	min. 75cm spread 30cm O.C.	10cm height 60cm spread	30cm

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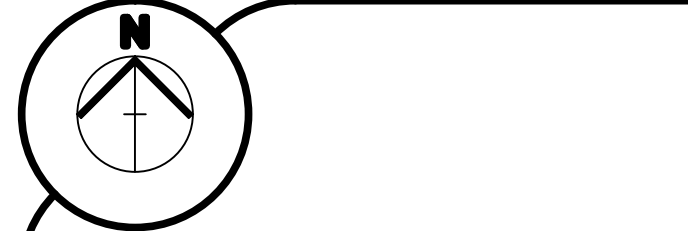
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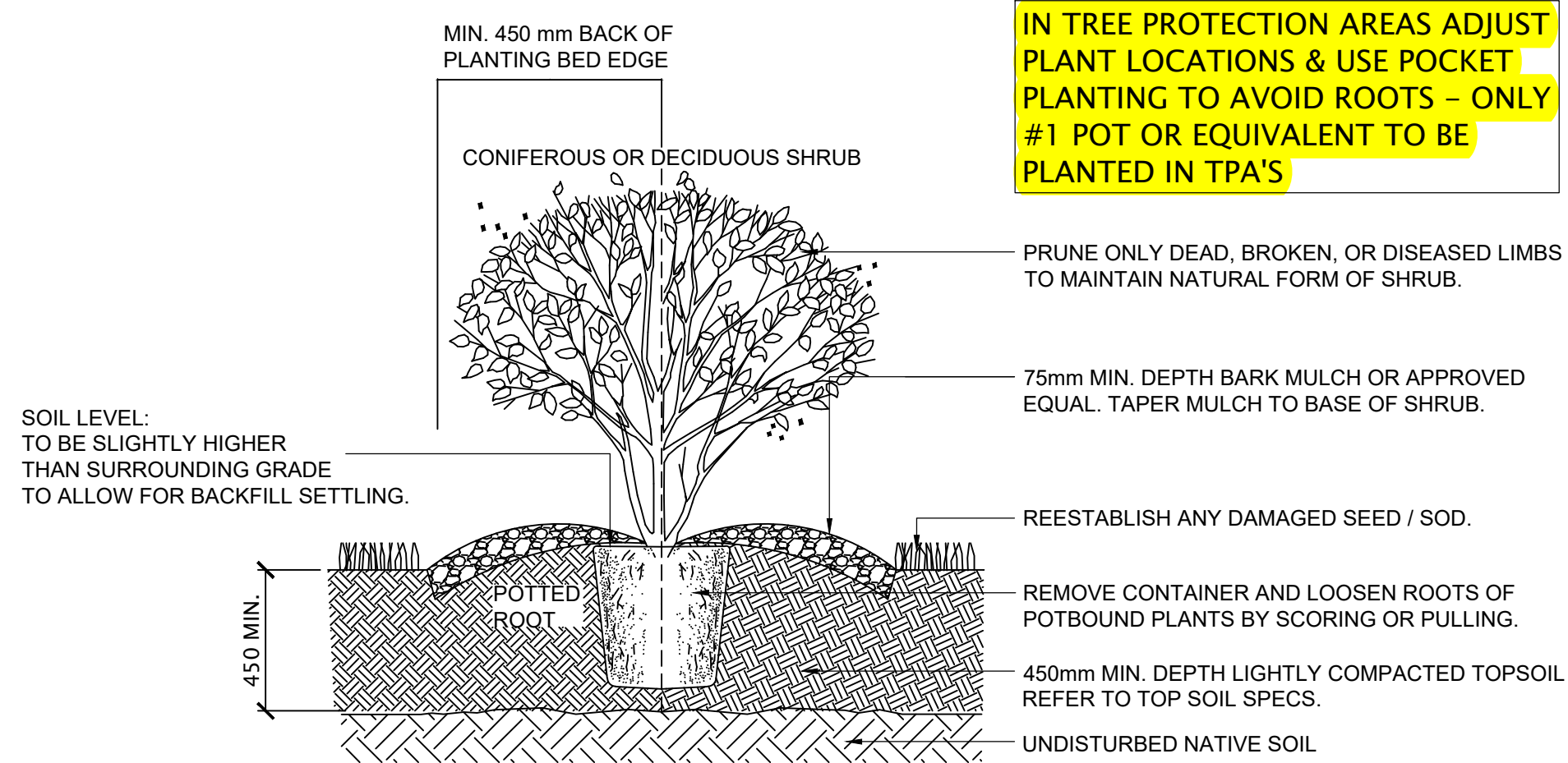
Drawing Title
PLANTING PLAN

Check Scale (may be photo reduced)
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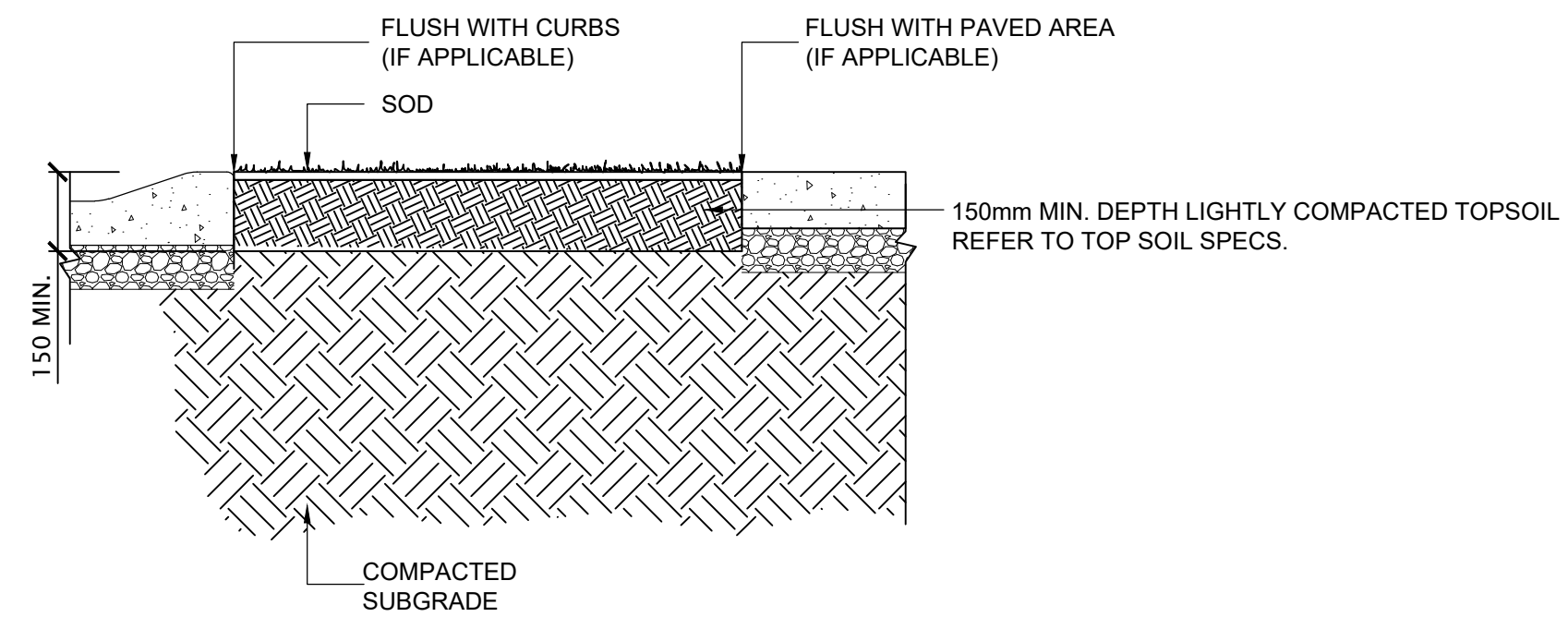
Project No. 20-0089
Drawing No. L4-01

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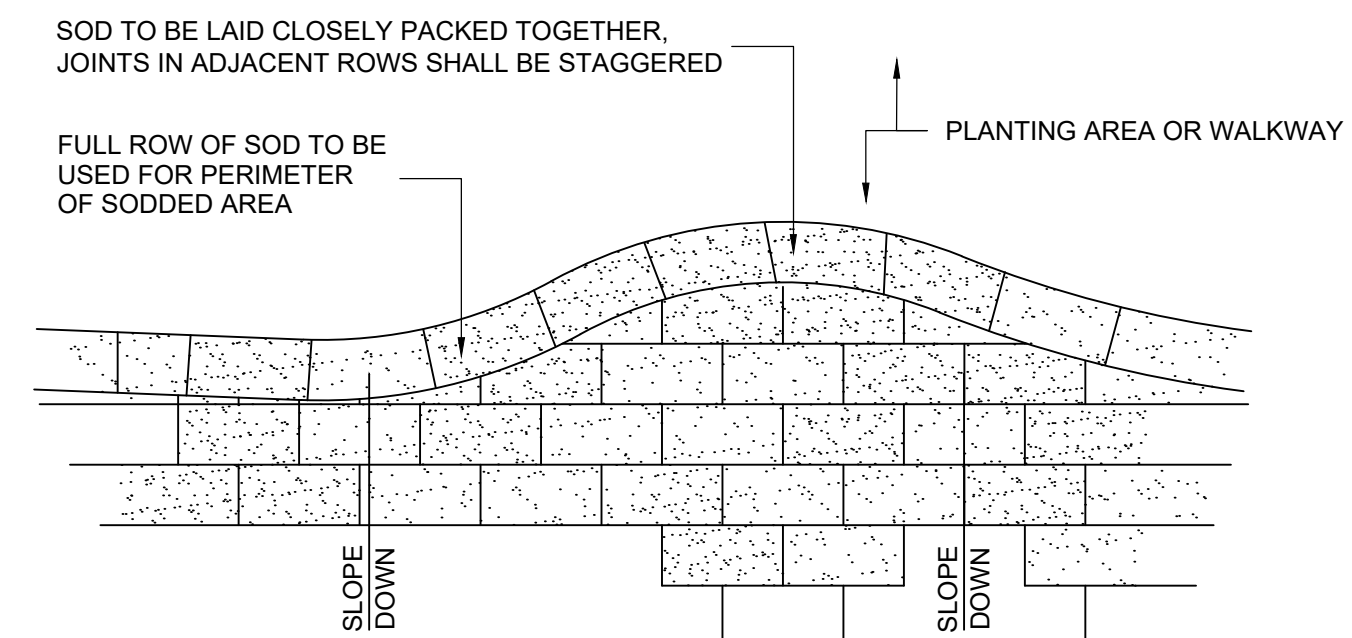
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01 TYPICAL SHRUB INSTALLATION
L5-01 SCALE 1:20

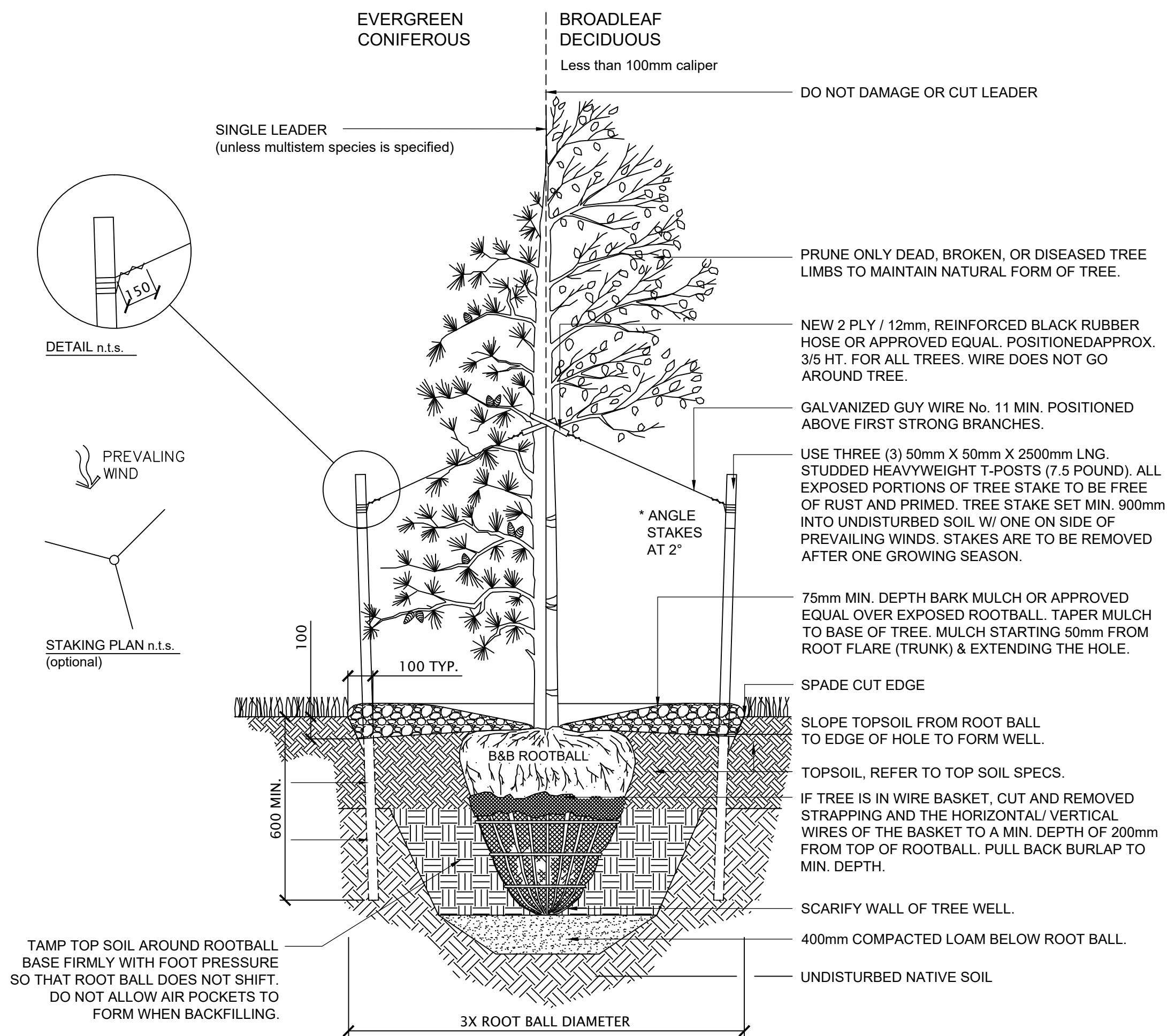


SECTION THROUGH SOD



PLAN VIEW OF SOD LAYOUT AND EDGING
NOT TO SCALE

03 TYPICAL LAWN INSTALLATION
L5-01 SCALE 1:20



02 TYPICAL TREE INSTALLATION
L5-01 SCALE 1:20

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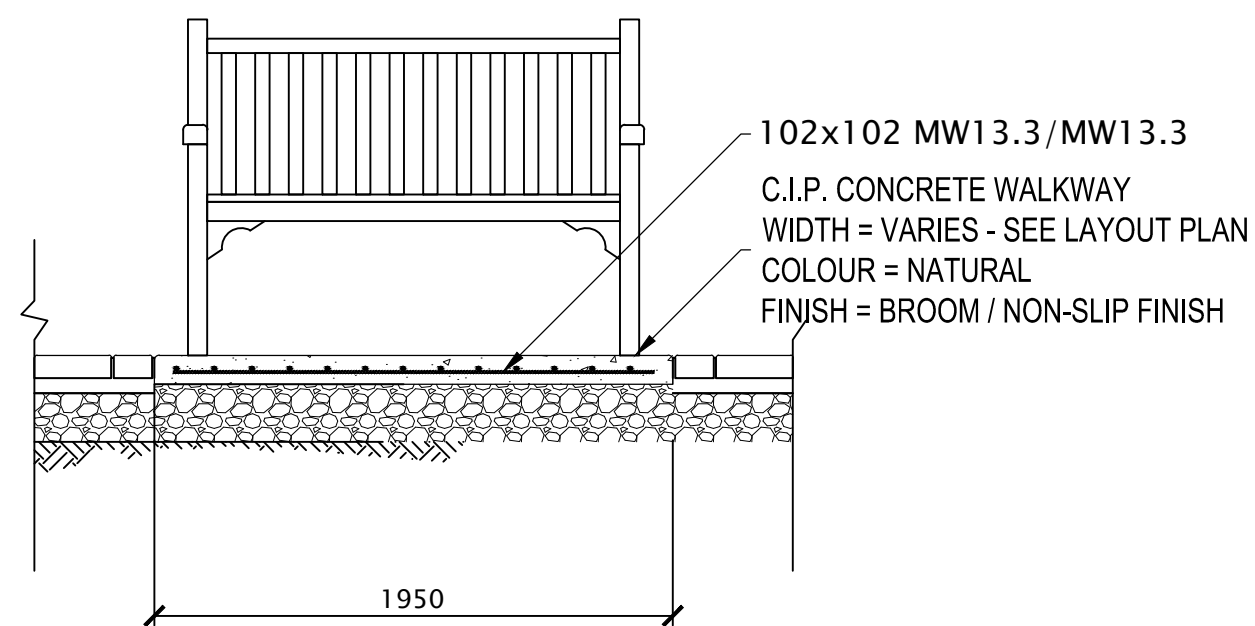
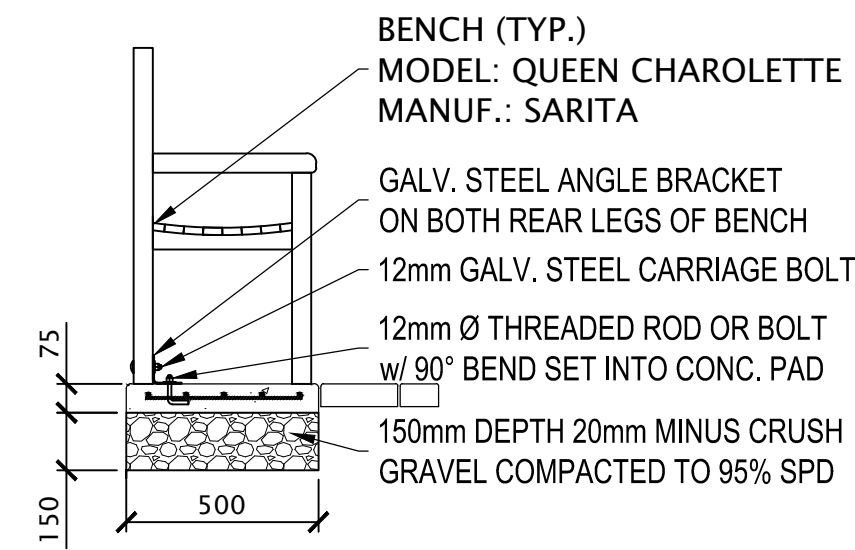
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DETAILS

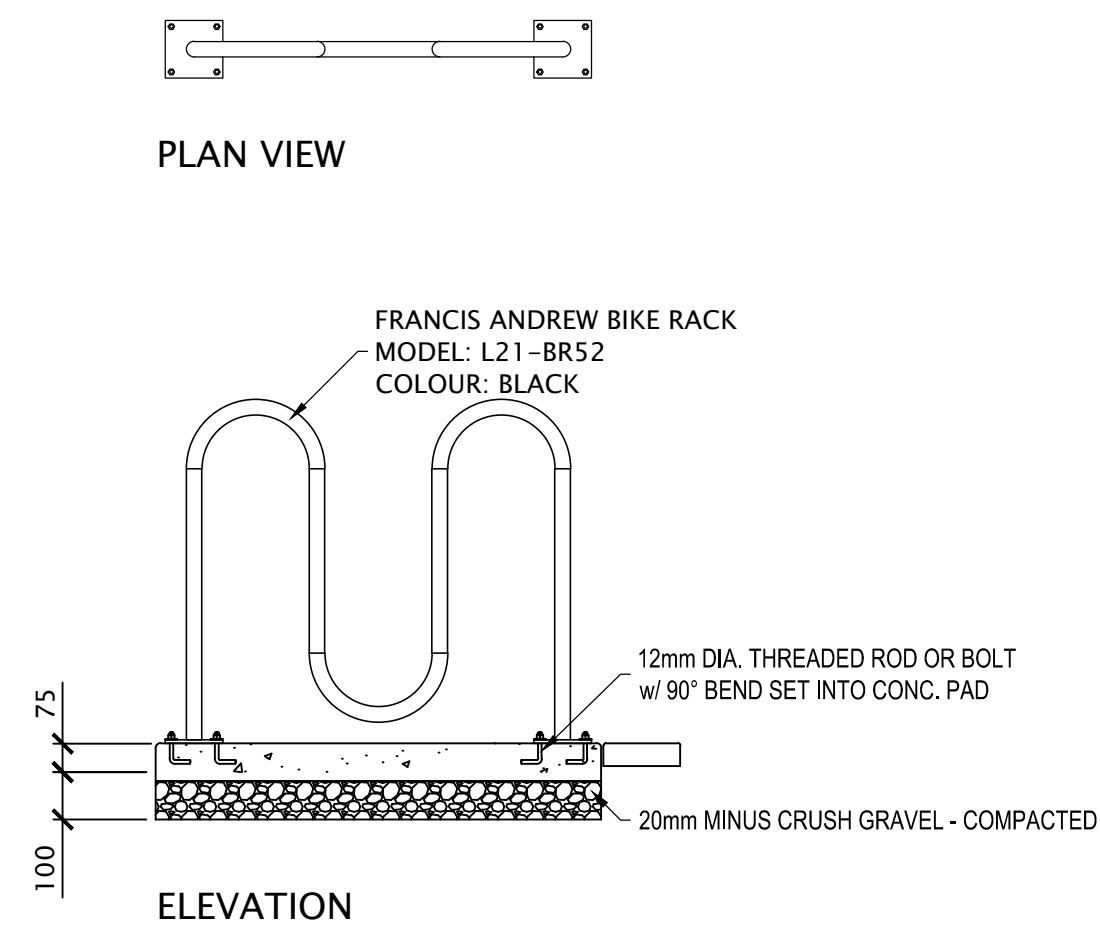
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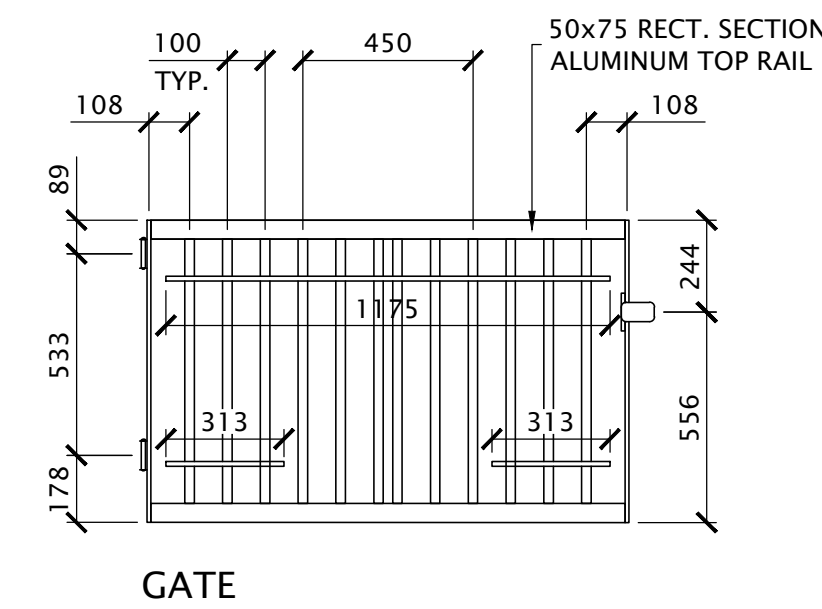
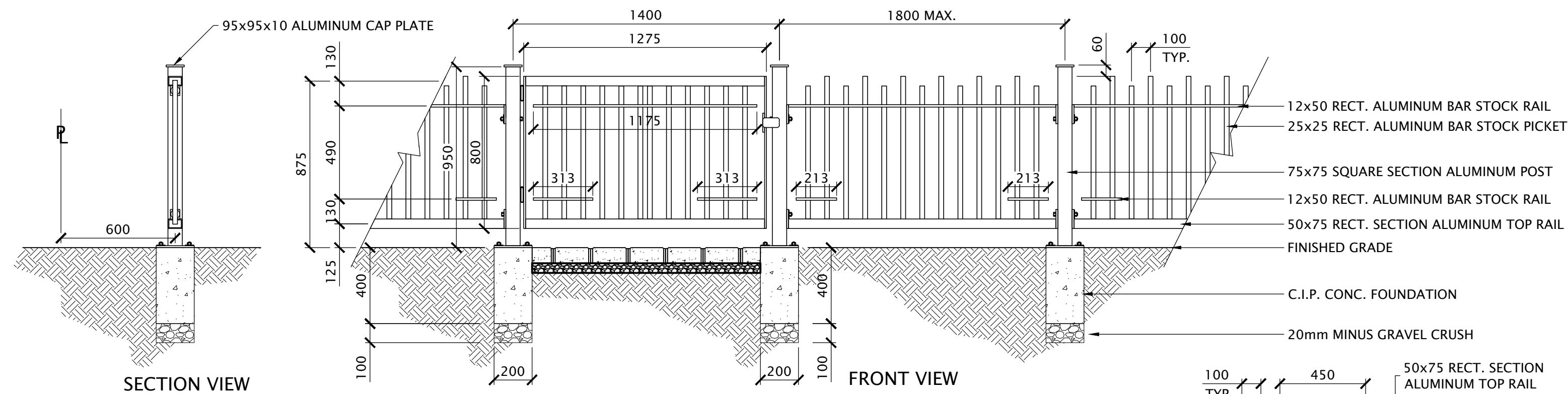
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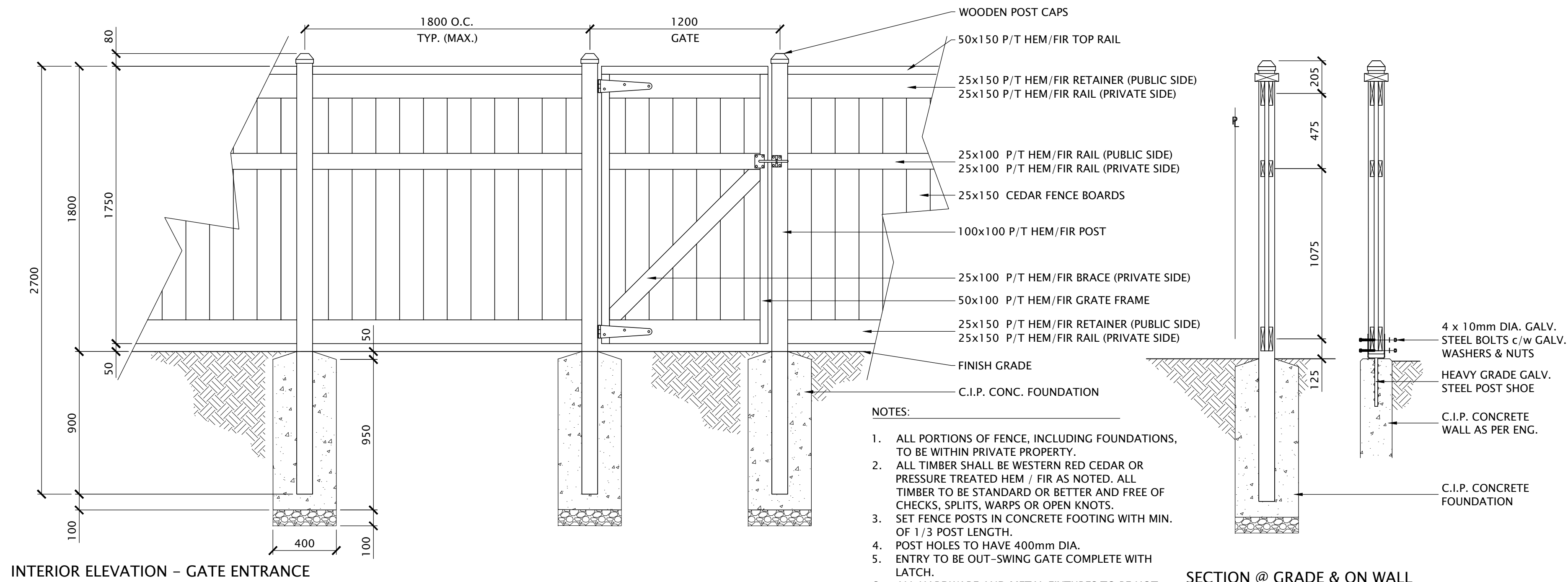
01 BENCH INSTALLATION
 L5-02 SCALE 1:20



02 BICYCLE RACK INSTALLATION
 L5-02 SCALE 1:20



03 METAL FENCE
 L5-02 SCALE 1:20



04 WOODEN BARRIER FENCE
 L5-02 SCALE 1:20

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Project No. 20-0089

Drawing No. L5-02

PLOT DATE: September 17, 2024 TIME: 3:08 PM FULL PATH AND FILENAME: D:\PROJECTS\D20-0089 5800 GRANVILLE\500-DELIV\LAND\01-TB\L5-02.DWG PLOTSYCLE TABLE: -----

DATE	ISSUED FOR	REV
2020-12-23	REZONING	A
2023-05-18	REZONING	B
2023-09-21	D.P.	C
2024-03-12	STREET TREES	C
2024-05-08	D.P.	D
2024-05-30	D.P.	E
2024-07-05	D.P.	F
2024-08-29	D.P.	G
2024-09-17	D.P.	H

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Consultants

Architectural:
Arborist:
Civil:
Structural:
Mechanical:
Electrical:

DVSD Donald V. S. Duncan
DEVELOPMENT CONSULTANT
LANDSCAPE ARCHITECT

603 - 220 Eleventh Street
New Westminster BC
Canada V3M 6N9
778-791-4323
dvsduncan@gmail.com

RICHMOND FILE #
DP 23-029476

Project Leader
DVS Duncan
Drawn
DVS Duncan
Revision

Residential Development
5800 Granville (Granville & Ledwey)
Richmond BC

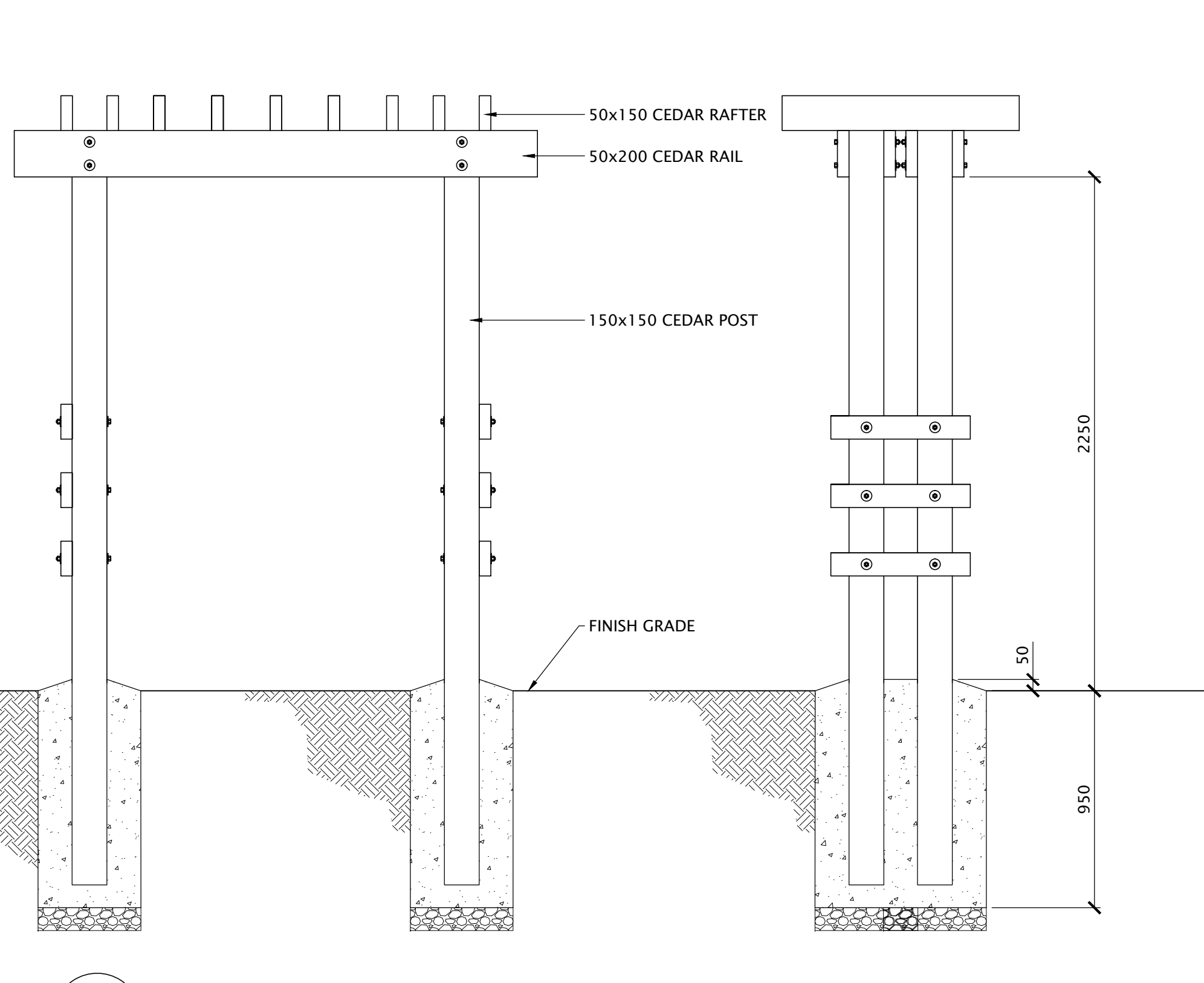
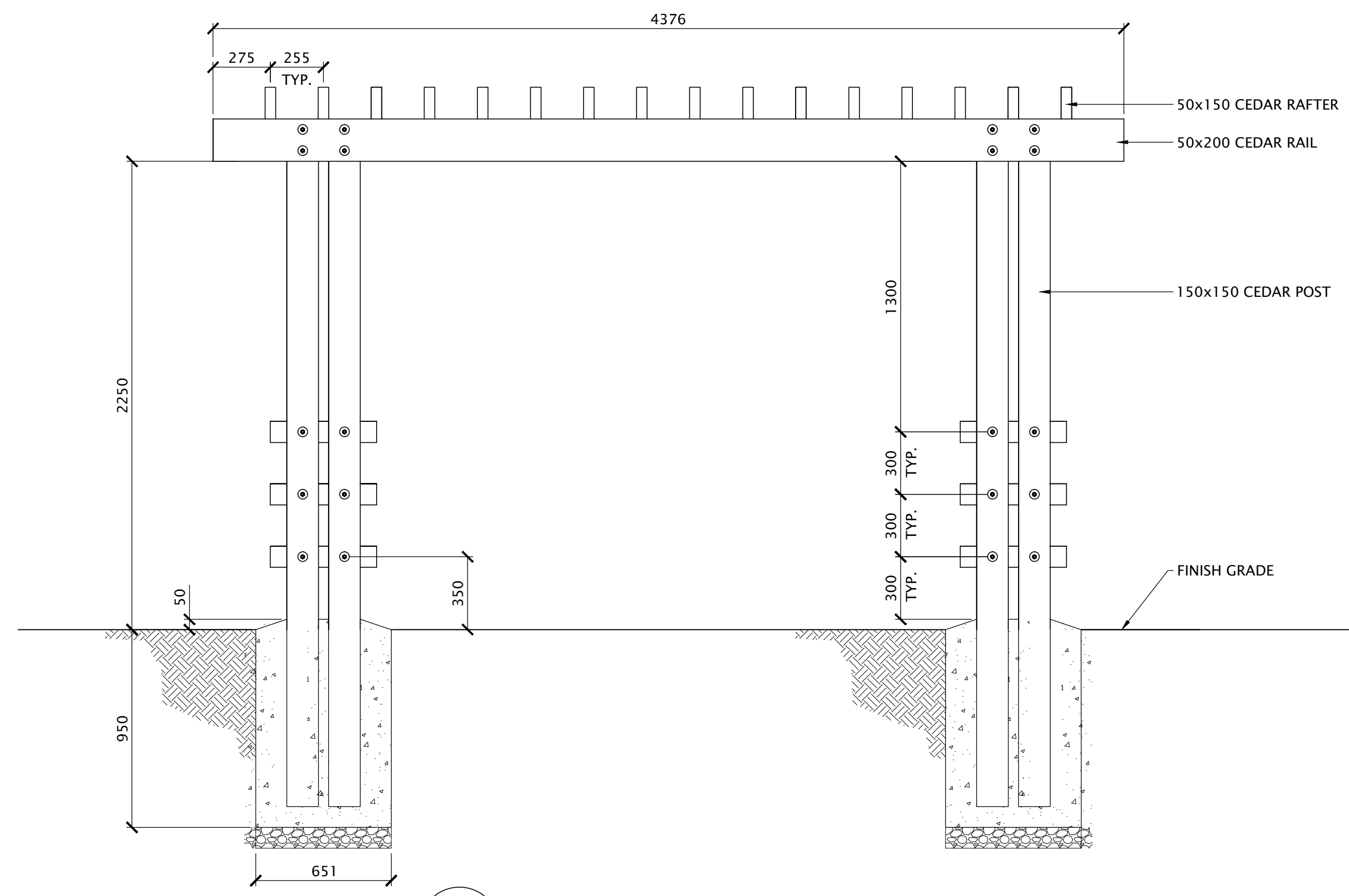
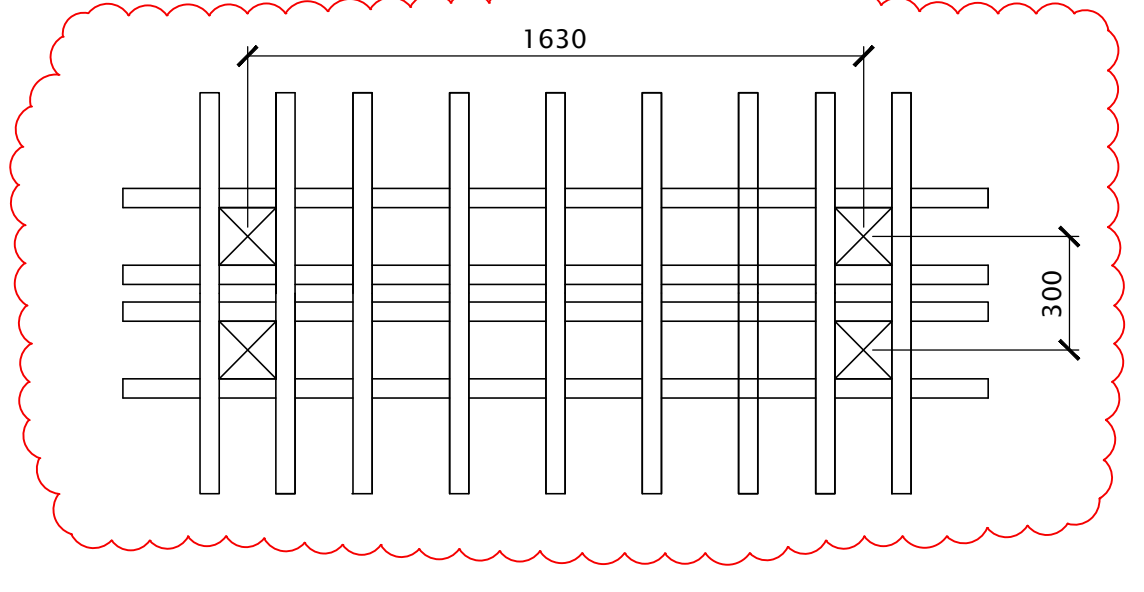
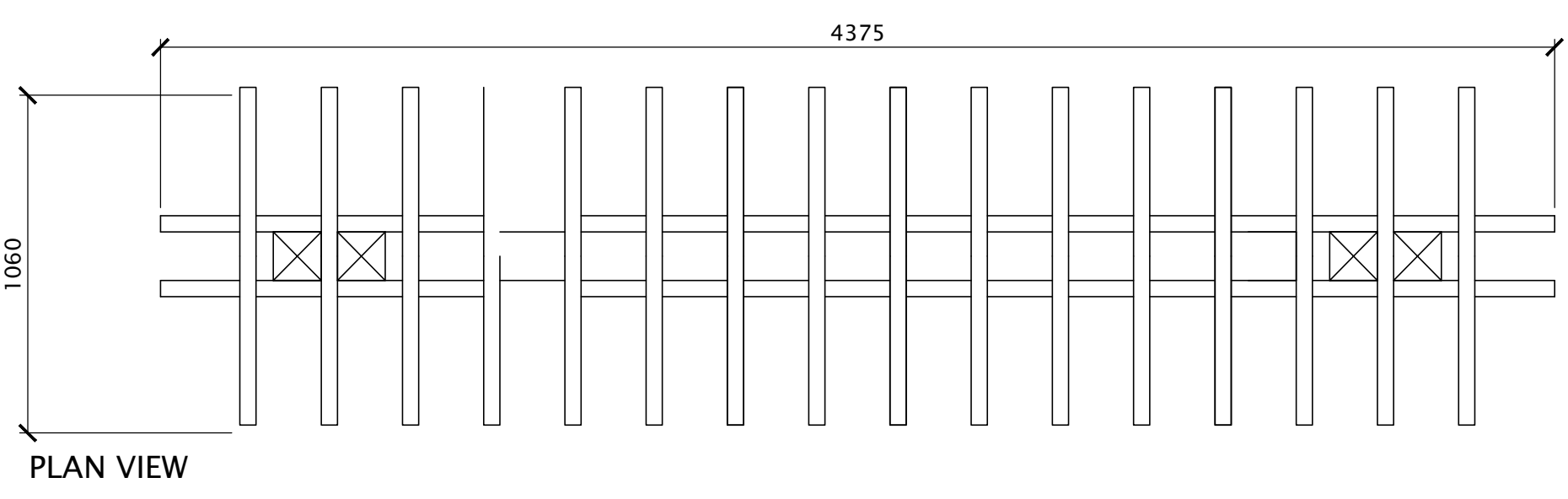
Prepared for:
HorizonDevelopmentWest
6831 Gamba Drive
Richmond BC V7C 2G4

Drawing Title
DETAILS

Check Scale (may be photo reduced)
0 1 inch 0 10mm

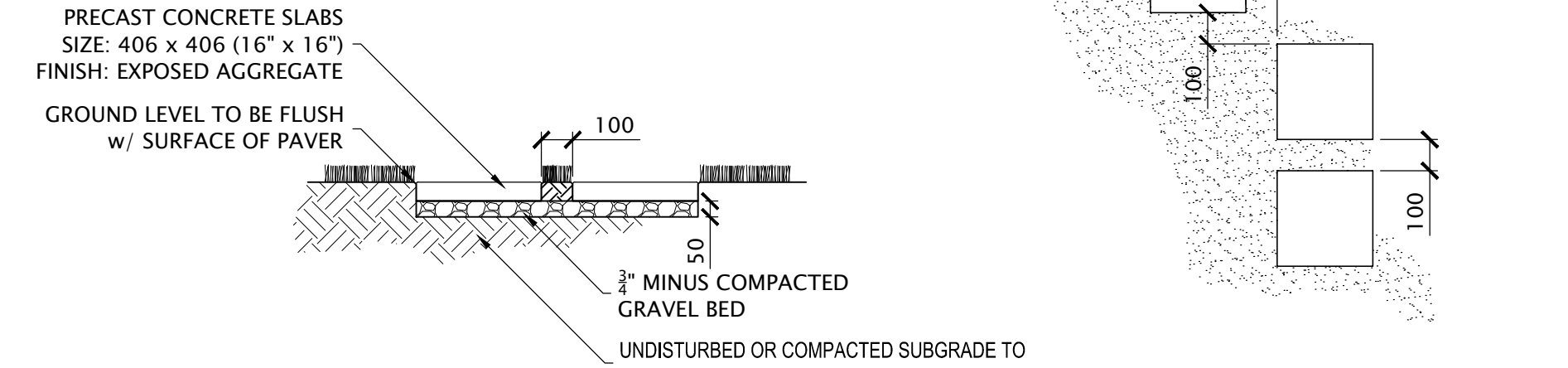
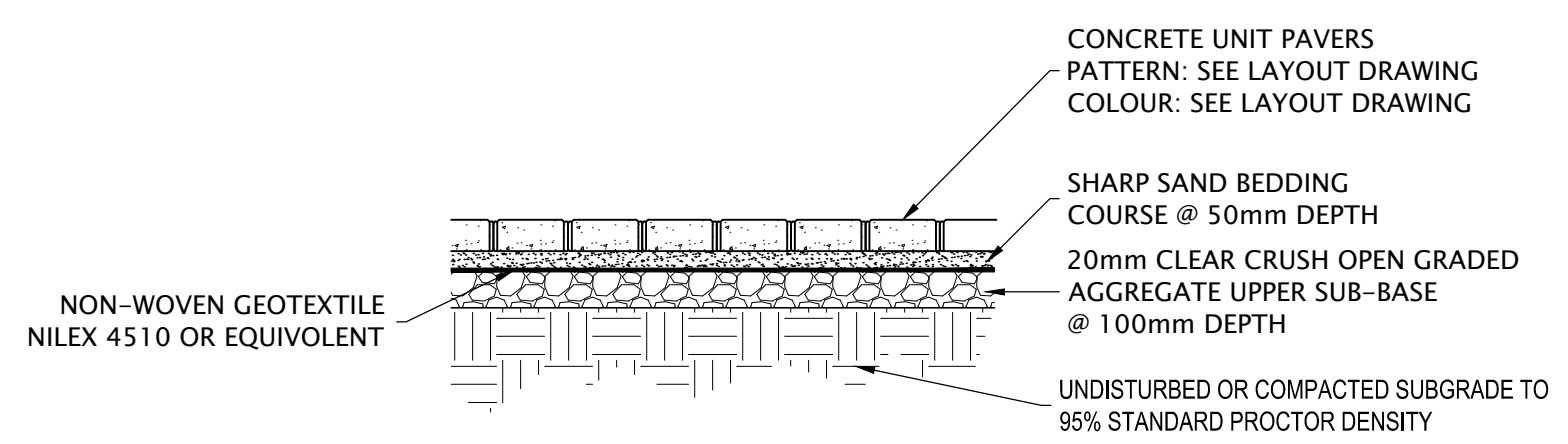
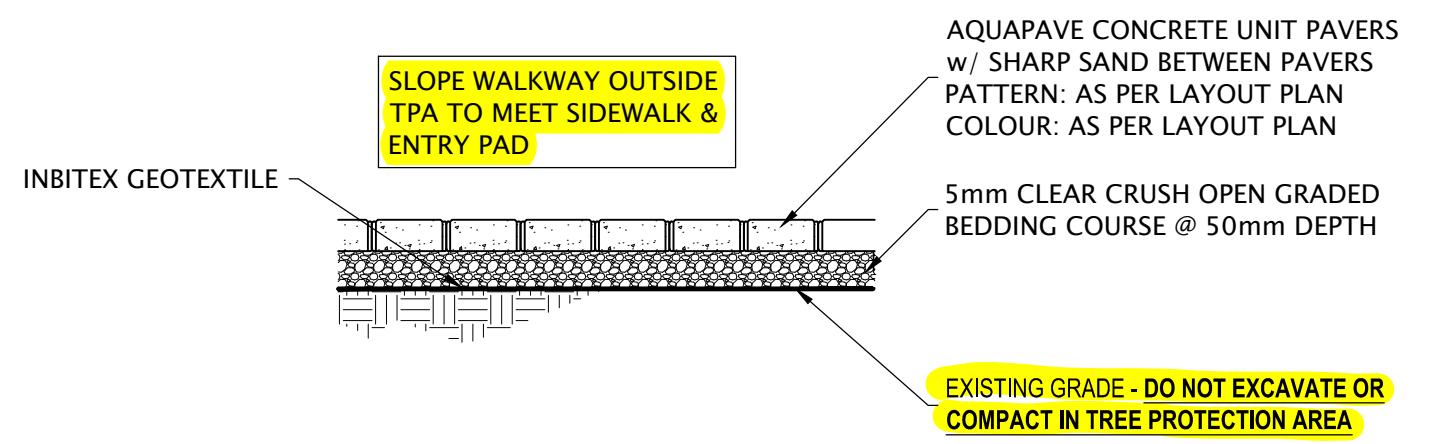
Project No. 20-0089

Drawing No. **L5-03**



01 AMENITY AREA TRELLIS
L5-03 SCALE 1:20

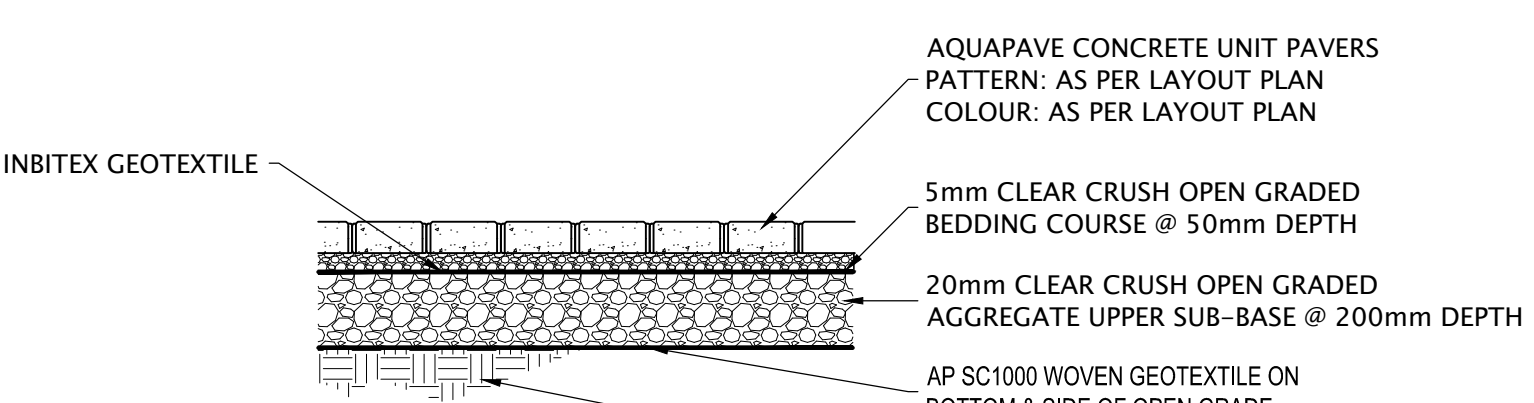
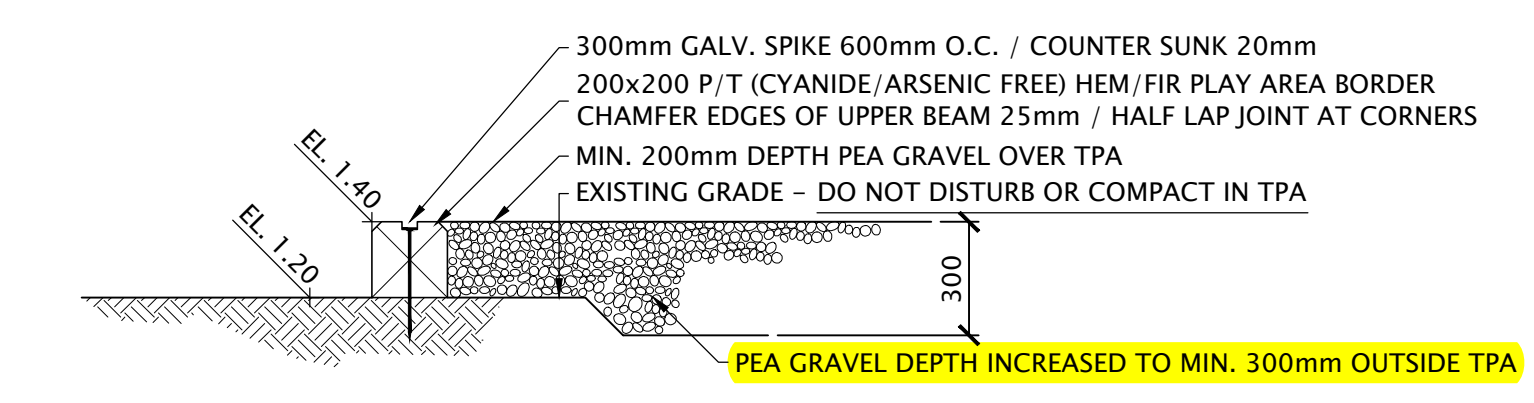
02 ENTRY TRELLIS
L5-03 SCALE 1:20



09 PEDESTIAN PERMEABLE PAVER INSTALLATION
L5-03 SCALE 1:20

04 STANDARD PAVER INSTALLATION
L5-03 SCALE 1:20

05 PAVING SLAB INSTALLATION
L5-03 SCALE 1:20



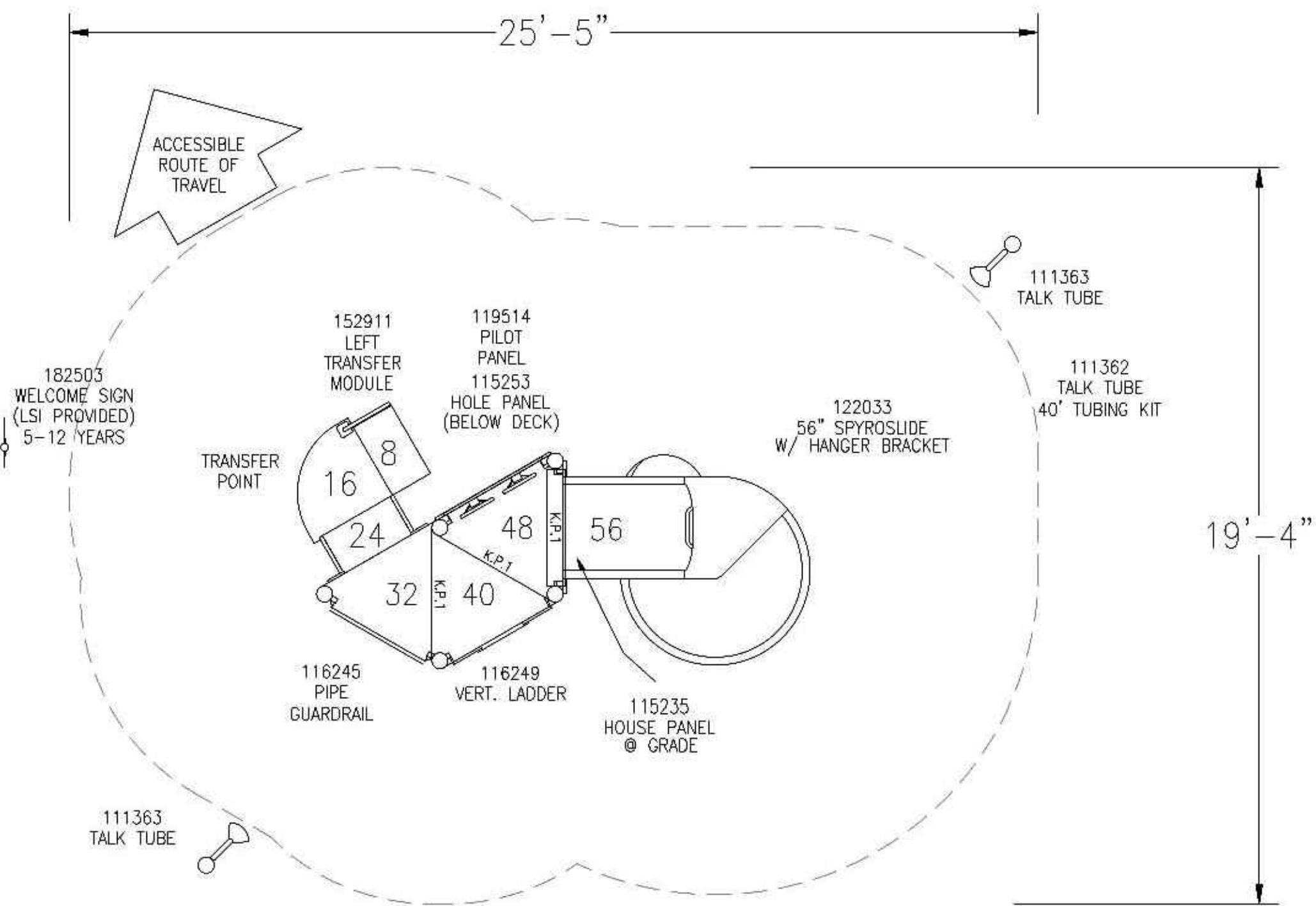
06 PLAYGROUND SAFETY ZONE
L5-03 SCALE 1:20

07 AQUAPAVE INSTALLATION
L5-03 SCALE 1:20

08 PEDESTIAN C.I.P. CONCRETE PAVING INSTALLATION
L5-03 SCALE 1:20

PLOT DATE: September 17, 2024 TIME: 3:07 PM FULL PATH AND FILENAME: D:\PROJECTS\020-0089-5800 GRANVILLE\500-DELIV\LAND 01-TB\L5-03.DWG PLOTS\STYLE TABLE: -----

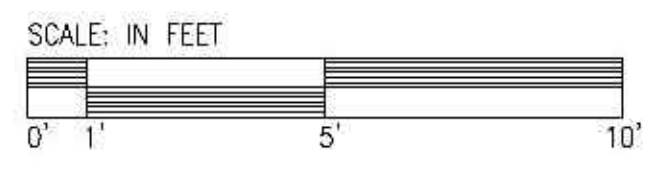
PLOT DATE: September 17, 2024 TIME: 3:03 PM FULL PATH AND FILENAME: D:\PROJECTS\020-0089-5800 GRANVILLE\500-DELI\LAND\01-TB\L5-04.DWG PLOTSYCLE TABLE: -----



PlayBooster®
(5-12 years)
Max Fall Height: 56 inches
TOTAL SQUARE FOOTAGE
402 SQ.FT.

TOTAL ELEVATED PLAY COMPONENTS	3		
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY RAMP	0	REQUIRED	0
TOTAL ELEVATED COMPONENTS ACCESSIBLE BY TRANSFER	3	REQUIRED	2
TOTAL ACCESSIBLE GROUND LEVEL COMPONENTS SHOWN	2	REQUIRED	1
TOTAL DIFFERENT TYPES OF GROUND LEVEL COMPONENTS	2	REQUIRED	2

1/8" RISE KICKPLATE
(K.P.), QTY. (3)



Design
416

Landscape
Structures

SYSTEM TYPE:
Playbooster
DRAWING #:
416



The play components identified on this plan are IPEMA certified. (Unless model number is preceded with *) The use and layout of these components conform to the requirements of ASTM F1487. To verify product certification, visit www.ipema.org

THIS PLAY AREA & PLAY EQUIPMENT IS DESIGNED FOR AGES 5-12 YEARS UNLESS OTHERWISE NOTED ON PLAN.

IT IS THE MANUFACTURERS OPINION THAT THIS PLAY AREA DOES CONFORM TO THE A.D.A. ACCESSIBILITY STANDARDS, ASSUMING AN ACCESSIBLE PROTECTIVE SURFACING IS PROVIDED, AS INDICATED, OR WITHIN THE ENTIRE USE ZONE.

THIS CONCEPTUAL PLAN WAS BASED ON INFORMATION AVAILABLE TO US, PRIOR TO CONSTRUCTION, DETAILED SITE INFORMATION INCLUDING SITE DIMENSIONS, TOPOGRAPHY, EXISTING UTILITIES, SOIL CONDITIONS, AND DRAINAGE SOLUTIONS SHOULD BE OBTAINED, EVALUATED, & UTILIZED IN THE FINAL DESIGN. PLEASE VERIFY ALL DIMENSIONS OF PLAY AREA, SIZE, ORIENTATION, AND LOCATION OF ALL EXISTING UTILITIES, EQUIPMENT, AND SITE FURNISHINGS PRIOR TO ORDERING. SLIDES SHOULD NOT FACE THE HOT AFTERNOON SUN.

CHOOSE A PROTECTIVE SURFACING MATERIAL THAT HAS A CRITICAL HEIGHT VALUE TO MEET THE MAXIMUM FALL HEIGHT FOR THE EQUIPMENT (REF. ASTM F1487 STANDARD CONSUMER SAFETY PERFORMANCE SPECIFICATION FOR PLAYGROUND EQUIPMENT FOR PUBLIC USE, SECTION 8 CURRENT REVISION). THE SUBSURFACE MUST BE WELL DRAINED. IF THE SOIL DOES NOT DRAIN NATURALLY IT MUST BE TILED OR SLOPED 1/8" TO 1/4" PER FOOT TO A STORM SEWER OR A "TRENCH DRAIN".

DESIGNED BY:

COPYRIGHT: 3/07/19
LANDSCAPE STRUCTURES, INC.
601 7th STREET SOUTH - P.O. BOX 188
DELAND, MINNESOTA 55308
PH: 1-800-328-0035 FAX: 1-763-972-6981

Date	Previous Drawing #	Initials

DATE	ISSUED FOR	REV
2020-12-23	REZONING	A
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RICHMOND FILE #
DP 23-029476

Project Leader	DVSDuncan
Drawn	DVSDuncan
Revision	DVSDuncan

Residential Development
5800 Granville (Granville & Ledway)
Richmond BC

Prepared for:
HorizonDevelopmentWest
6831 Gamba Drive
Richmond BC V7C 2G4

Drawing Title
DETAILS



Project No. 20-0089

Drawing No. L5-04

01 PLAYGROUND EQUIPMENT
L5-04 N.T.S.

