



**Development Permit Panel
Wednesday, July 29, 2026**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Wayne Craig, General Manager, Planning and Development, Chair
Roeland Zwaag, General Manager, Engineering and Public Works
Todd Gross, Director, Park Services

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on July 15, 2026, be adopted.

CARRIED

1. DEVELOPMENT PERMIT DP 24-012854
(REDMS No. 8448144)

APPLICANT: SD Railway Homes Inc

PROPERTY LOCATION: 8520 Railway Avenue

INTENT OF PERMIT:

That a Development Permit be issued which would:

1. Permit the construction of 58 rental apartment units for seniors at 8520 Railway Avenue on a site zoned “Low Rise Rental Apartment (ZLR47) – Railway Avenue (Blundell)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) Change the number of proposed market rental units provided on the site from 29 to no more than eight.

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- (b) Reduce the Class 1 on-site bicycle parking space rate for apartment housing units from 0.58 per dwelling unit to 0.43.
- (c) Reduce the number of oversized spaces from five per cent of all required Class 1 bicycle spaces to four per cent for apartment housing use.

Applicant's Comments

Daniel Dirscherl Senior Project Architect, Kasian Architecture Interior Design and Planning Ltd., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1) provided background information on the proposed development highlighting the following:

- The proposal includes 58 senior rental homes designed to support affordability and aging in place through adaptable units. The unit mix comprises 16 studios, 34 one-bedroom units, and eight two-bedroom units;
- The project includes 50 affordable Low-End Market Rental (LEMR) units and eight market rental units. A total of 54 units are adaptable Basic Universal Housing (BUH);
- The surrounding neighbourhood is predominantly single-family homes, with two and three-storey townhouses immediately to the south and an existing three-storey seniors apartment building further south along Railway Avenue;
- The proposed building uses tiered massing, increased setbacks and landscape buffers to transition the scale from its surroundings;
- A 1.0 m statutory right of way (SRW) is provided along the south property line to accommodate the widening of the existing pedestrian pathway connecting Railway Avenue to the neighbourhood east of the site. The pathway provides an east-west connection between the Railway Greenway and Kilgour Neighbourhood Park;
- The building's main entrance and ground-level units are oriented toward Railway Avenue, providing a clear address and wayfinding;
- Parking and service areas are internalized and accessed via a driveway on the north side of the site;
- Landscape buffers are used to soften the shared edges of the property;
- Level entries, accessible circulation, and centrally located amenities, including the amenity room, shared laundry, mail and parcel and waste services, support ease of use for seniors;
- Bike, scooter and EV ready parking all support mobility options for seniors;
- Fully accessible outdoor areas at ground level and level two support social connection and daily activity; and
- The building is rendered in a visually subdued palette of durable low maintenance materials.

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Eason Li, Landscape Architect, Homing Landscape Architecture Corp., with the aid of the same visual presentation, spoke to the landscape architecture component of the proposal noting that (i) the landscape design respects the local context and existing site conditions while prioritizing seniors through accessible, senior-friendly spaces with meaningful access to nature (ii) landscape buffers are proposed along the north property line to protect neighbor privacy. A wide buffer within the east right of way, including evergreen hedges, small trees, shrubs, and groundcovers, will minimize the visual impact of the parkade wall on adjacent neighbors, (iii) multiple seating areas are provided, including at the building entrance and in the east outdoor amenity area, which also includes raised garden planters and landscaped green space; (iv) ground level landscape design provides for direct access to the ground level units facing Railway Avenue, and convenient pedestrian connections to the sidewalk and the site, (v) the main outdoor amenity space is located on the Level 2 roof deck and includes flexible seating with movable tables and chairs, plus weather protection through a metal roof trellis at the south end and shade sails at the north end, (vii) outdoor lighting is proposed for major circulation areas and amenity spaces to ensure safety, while incorporating dark-sky design principles to minimize light pollution. The secondary amenity space includes string lighting, and (viii) a variety of plants and native species will be used in the landscape planting plan.

Staff Comments

Joshua Reis, Director, Development, noted that (i) the height, massing density and setbacks of the project are consistent with what was presented to Council and considered at the Public Hearing at the time that the rezoning was considered, (ii) the total unit count remains unchanged, however, more studio and one bedroom units will now be secured as affordable housing through a City housing agreement, increasing the overall number of below market rental units in the project, (iii) about 93 percent of the units will meet the City's BUH requirements, (iv) minor changes to the Transportation Demand Management Measures are proposed due to refinements in the applicant's programming and operations, and are supported by the City's Transportation department, (v) all landscaped areas will include automatic irrigation, and (vi) a servicing agreement secured through the rezoning process includes frontage improvements, upgrades to the walkway along the southern portion of the property as well as sanitary and storm sewer upgrades and new water service connections.

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Panel Discussion

In response to queries from the Panel, the applicant advised that (i) not all units are BUH units due to space constraints. With a shift toward more studios and one-bedroom units, meeting BUH requirements would require additional space that could not be balanced with overall livability, (ii) the south on-site walkway is limited to a width of 1.2 m due to site constraints, including a 1.0 m right of way along the south property line and the need to retain a 2.0 ft landscape buffer for evergreen hedges. The design balances available space, functionality, and landscaping, (iii) the lighting design is largely dark sky friendly, with dim lighting proposed for the Level 2 outdoor amenity space, which is not expected to see heavy nighttime use. Safety lighting is provided, while evergreen hedges and the south trellis help contain light on site and reduce spillover to neighbouring properties, (iv) 6 ft high solid wood fence screens are proposed along the north and east property line, (v) a 42 inch high metal picket guardrail will be installed along the south property line walkway, and (vi) the building's heating and cooling will use centralized air source heat pumps located on the roof, within a screened area adjacent to the elevator overrun.

The Panel noted that (i) the sun shade sail is to be reviewed and confirmed by the Engineer, failing that is not confirmed or doable, staff suggest replacing it with a hard cover shelter, (ii) adequate access is needed for Level 2 landscape maintenance, including sufficient width at the south staircase for workers and debris removal, (iii) consider replacing Japanese snowbell trees with Japanese maple or another lower debris alternative, and replacing the western hemlock along the east side with a more suitable species, such as Picea omorika, and (iv) consider using Hicks yew throughout due to its hardiness, and adaptability for both shade and growth against fences, retaining walls, etc. The applicant was advised to work with staff to address these comments.

Correspondence

None

Gallery Comments

None

Panel Discussion

The Panel supported the application, subject to the direction provided to the applicant and staff, noting the project's attention to detail, increased affordable units, and alignment with City objectives for rental housing and below market housing for an aging population. The Panel also appreciated the high number of Basic Universal Housing units. The applicant noted they would work with staff on the recommended landscape provisions.

Development Permit Panel

Wednesday, July 29, 2026

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *Permit the construction of 58 rental apartment units for seniors at 8520 Railway Avenue on a site zoned “Low Rise Rental Apartment (ZLR47) – Railway Avenue (Blundell)”;* and
2. *Vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *Change the number of proposed market rental units provided on the site from 29 to no more than eight.*
 - (b) *Reduce the Class 1 on-site bicycle parking space rate for apartment housing units from 0.58 per dwelling unit to 0.43.*
 - (c) *Reduce the number of oversized spaces from five per cent of all required Class 1 bicycle spaces to four per cent for apartment housing use.*

CARRIED

2. **DEVELOPMENT VARIANCE PERMIT DV 25-026463**

(REDMS No. 8309832)

APPLICANT: Navtej Dhot

PROPERTY LOCATION: 11500 Westminster Highway

INTENT OF PERMIT:

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum setback from a constructed road to the rear of a single detached housing building from 50.0 m to 67.2 m, to permit an existing barn to be used as a residential building.

Applicant's Comments

Navtej Dhot, Applicant, Astonish Designs, with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 2) provided background information on the proposed variance highlighting the following:

- The applicant proposes increasing the setback from 50 m to 67.2 m to allow the existing barn to be renovated for residential use and to add an adjacent carport; and
- The proposal retains the main floor, adds a carport and storage area with a sink, converts the second floor into a bedroom, and adds an open sundeck above the carport.

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Staff Comments

Joshua Reis, Director, Development, noted that (i) the variance sought would allow for the existing structure (and unauthorized interior improvements) to be used for residential purposes, should the owner in the future elect to build a new residential building on the property they would need to convert the existing building back into use as a barn/agricultural structure. This commitment has been secured through a legal agreement which is required to be registered on title prior to the DVP being issued, and (ii) the property currently has farm status.

Panel Discussion

In response to queries from the Panel, the applicant advised that the septic field is serviced with water and power.

Correspondence

None

Gallery Comments

None

Panel Discussion

The Panel noted that considering a permit to authorize unauthorized construction is challenging. The Panel supported the recommendation, as it is endorsed by the Food Security and Agricultural Advisory Committee and the property is actively farmed, but noted the situation could have been avoided.

Panel Decision

It was moved and seconded

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum setback from a constructed road to the rear of a single detached housing building from 50.0 m to 67.2 m, to permit an existing barn to be used as a residential building.

CARRIED

3. New Business

It was moved and seconded

That the Development Permit Panel meeting tentatively scheduled on Wednesday, August 12, 2026 be cancelled.

CARRIED

Development Permit Panel
Wednesday, July 29, 2026

4. **Date of Next Meeting- August 26, 2026**

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (4:14 p.m.).

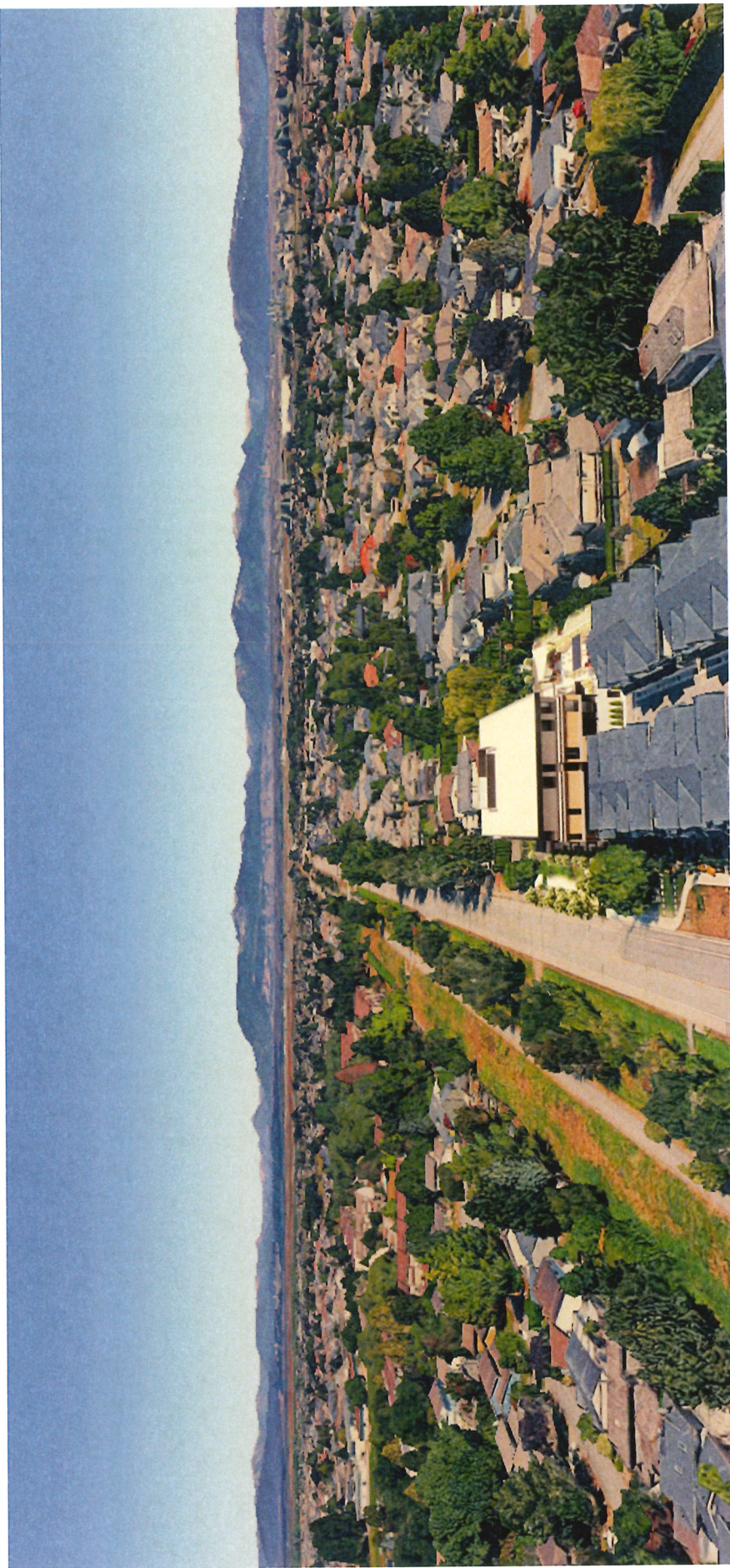
CARRIED

Certified a true and correct copy of the
Minutes of the meeting of the
Development Permit Panel of the Council
of the City of Richmond held on
Wednesday, July 29, 2026.

Wayne Craig
Chair

Raman Grewal
Legislative Services Coordinator

Schedule 1 to the Minutes of
the Development Permit Panel
meeting held on Wednesday,
July 29, 2026



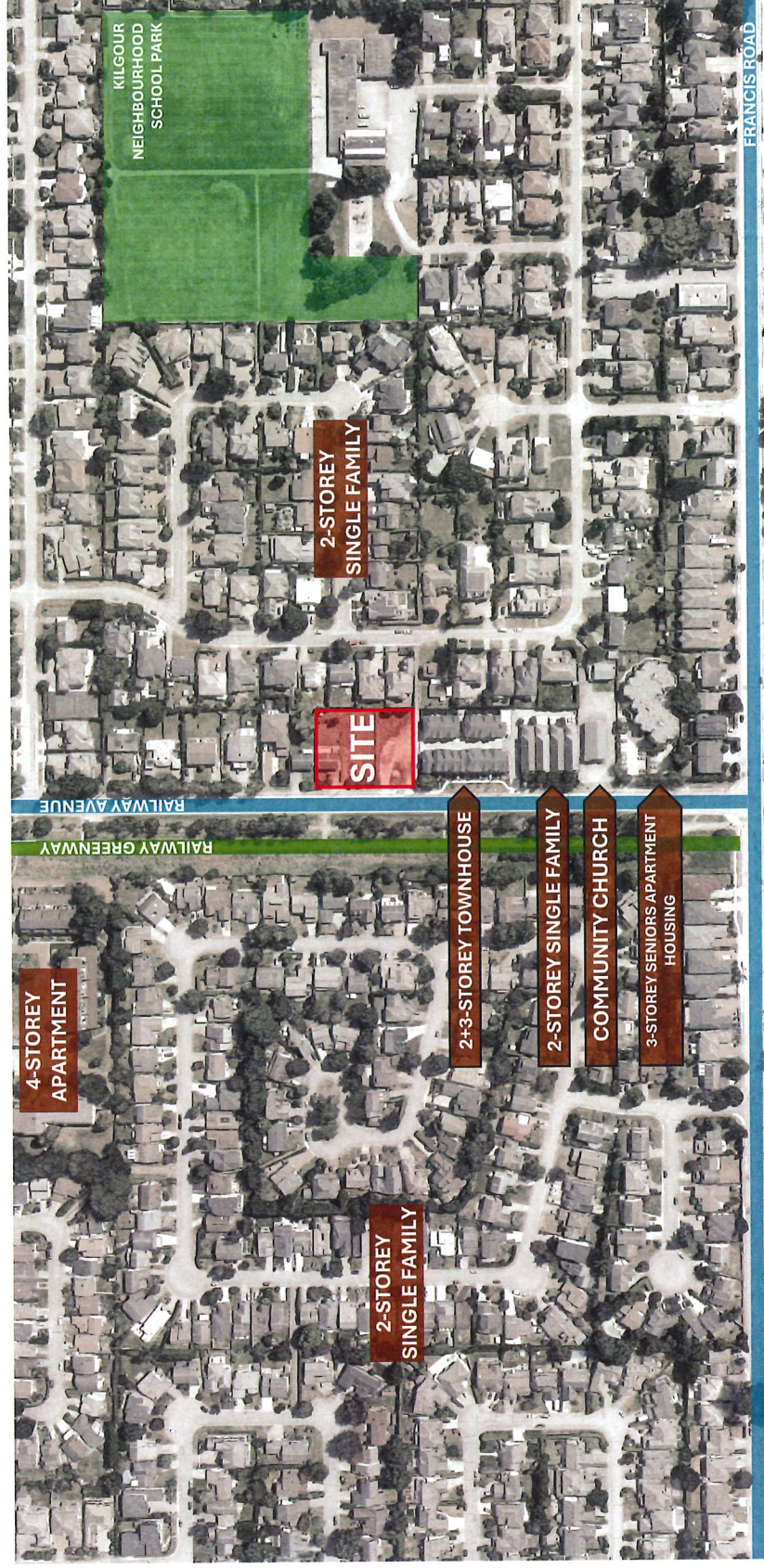
RAILWAY AVENUE SENIORS RENTAL HOUSING

8520, 8540, 8560 Railway Avenue, Richmond, BC

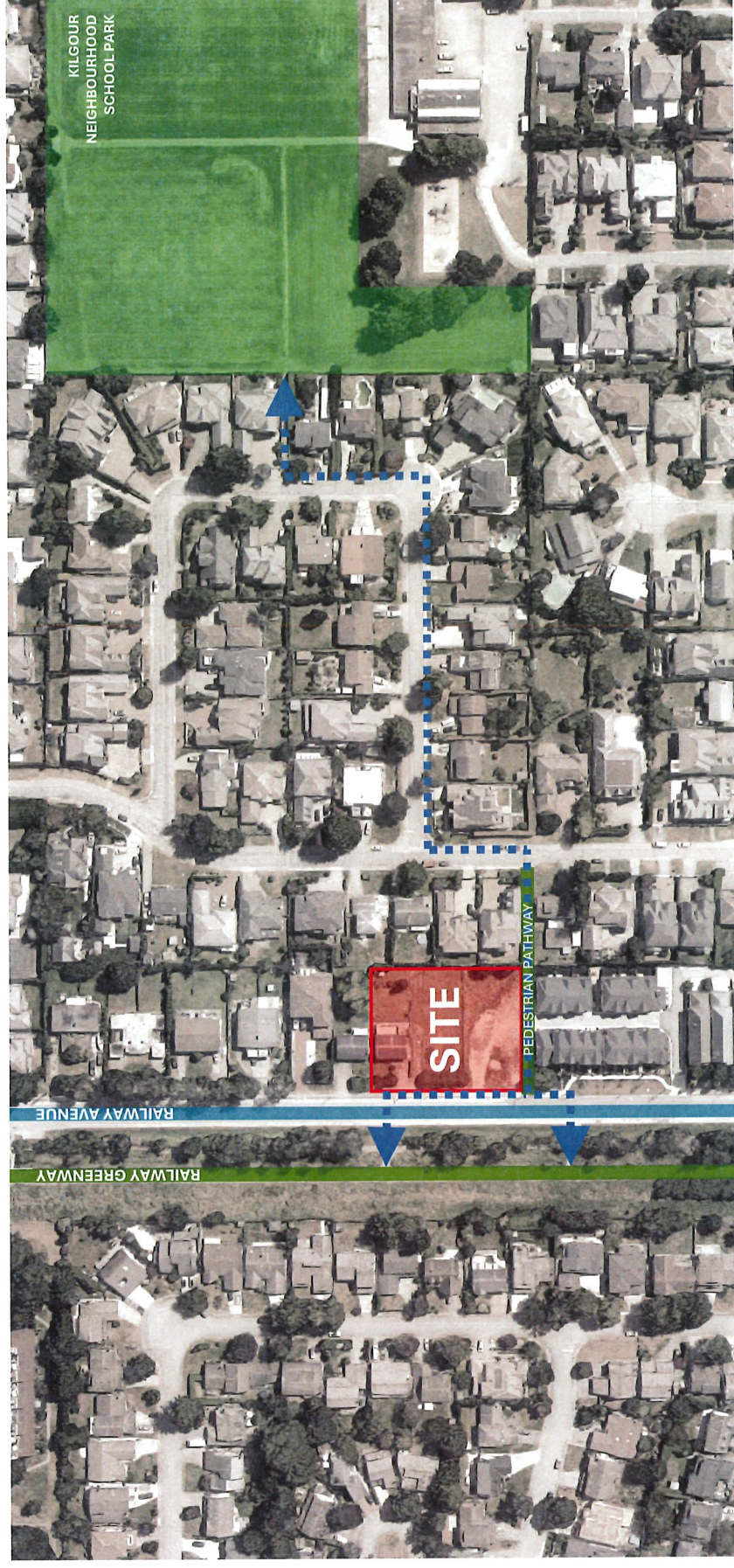
Development Permit Panel

kasian 

Neighbourhood Context



Neighbourhood Context



PROPOSED SITE

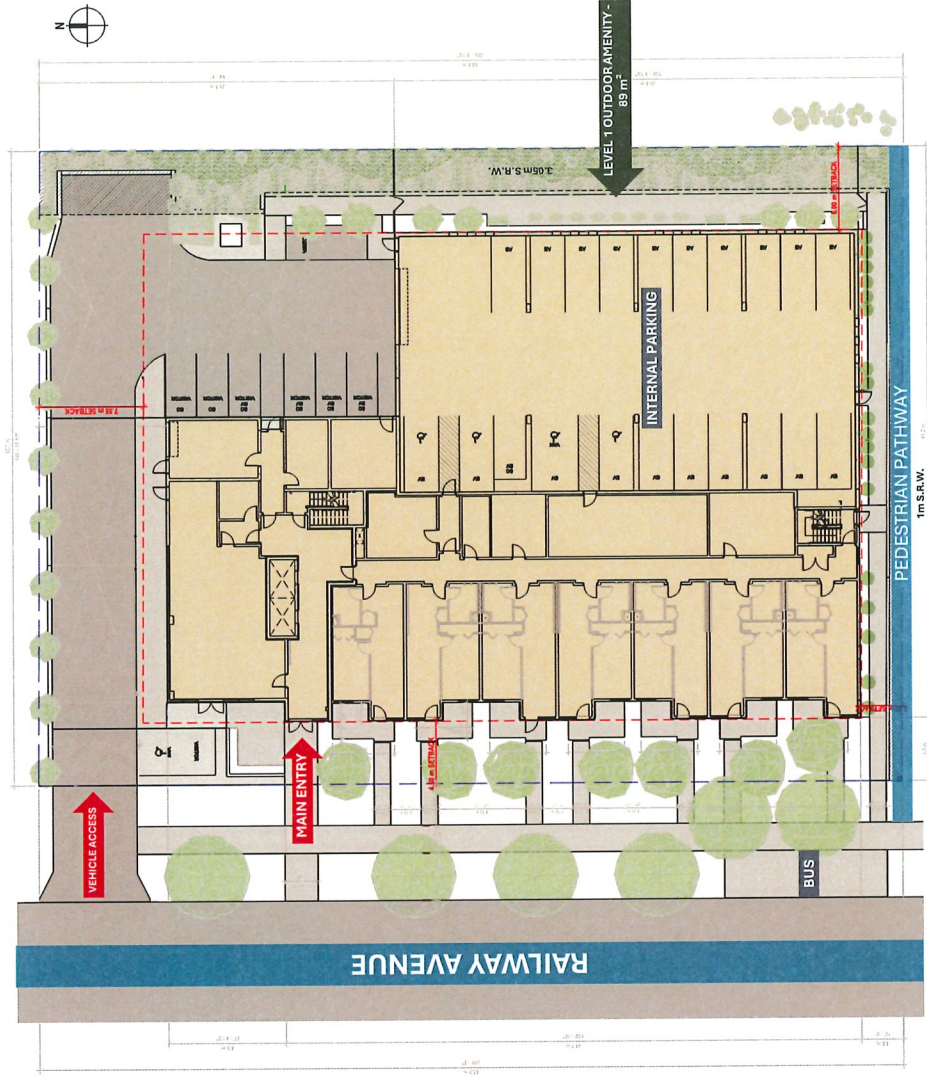
1 2 3 4

PEDESTRIAN PATHWAY
1m S.R.W.

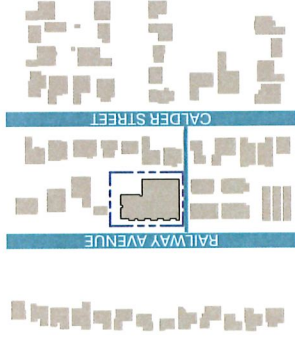


kasian*
DP PANEL

Site Response



SITE PLAN



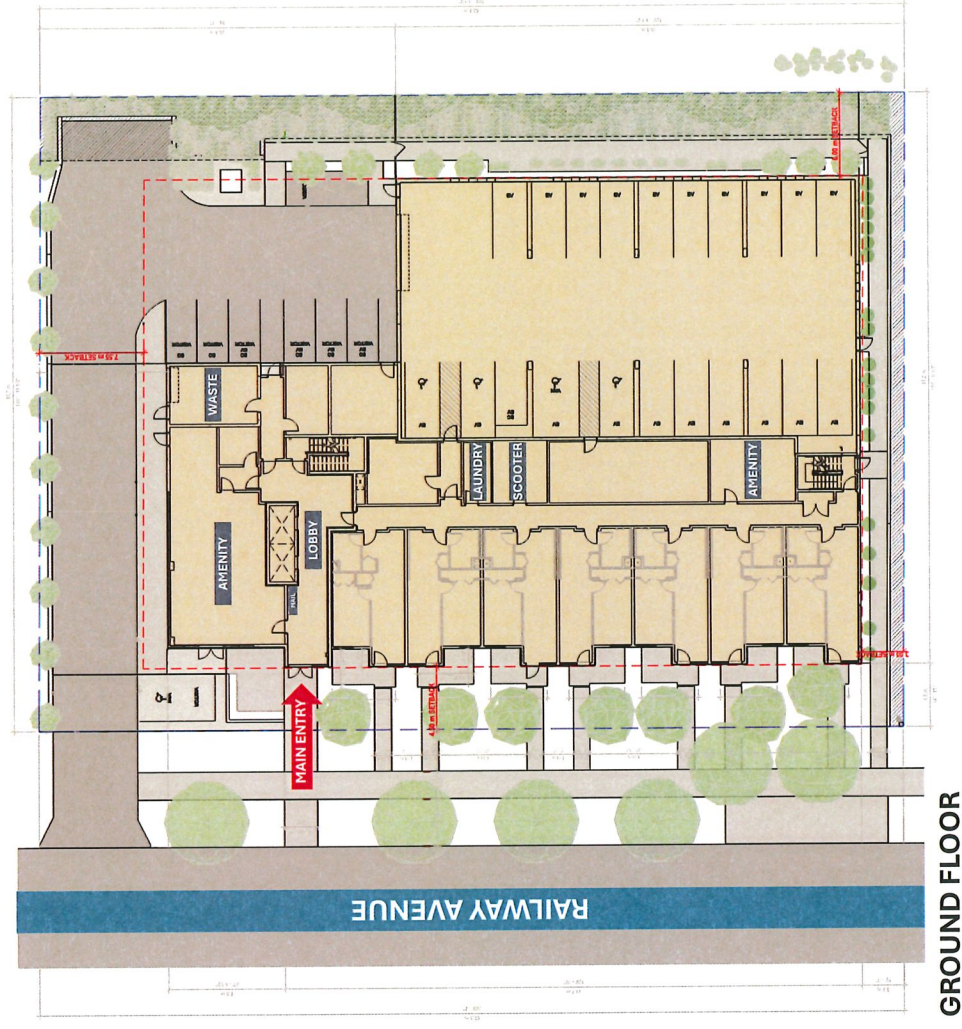
29

vehicle parking stalls

25

resident bicycle stalls

Programming & Accessibility



05

accessible vehicle parking stalls

134.6 m²

indoor amenity

10

scooter stalls with charging access

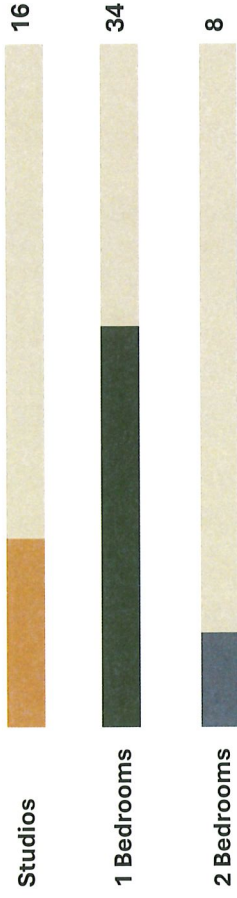
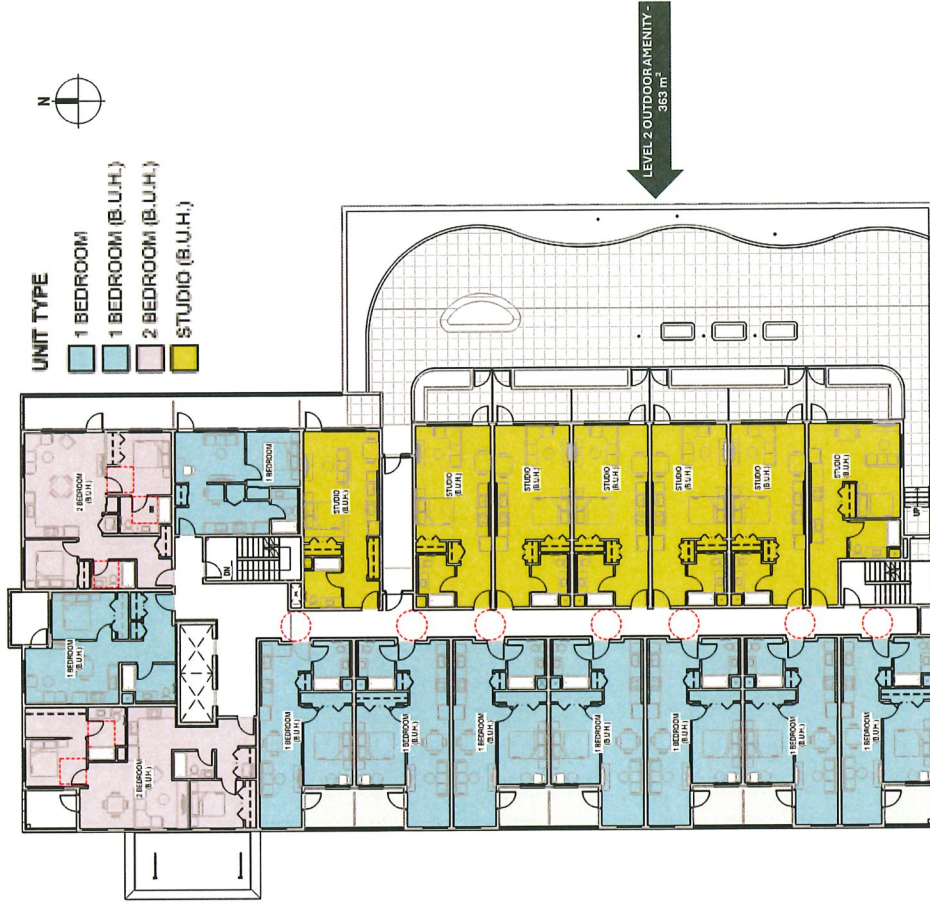
451.6 m²

outdoor amenity

kasian 
DP PANEL

GROUND FLOOR

Unit Mix



08
market rental units

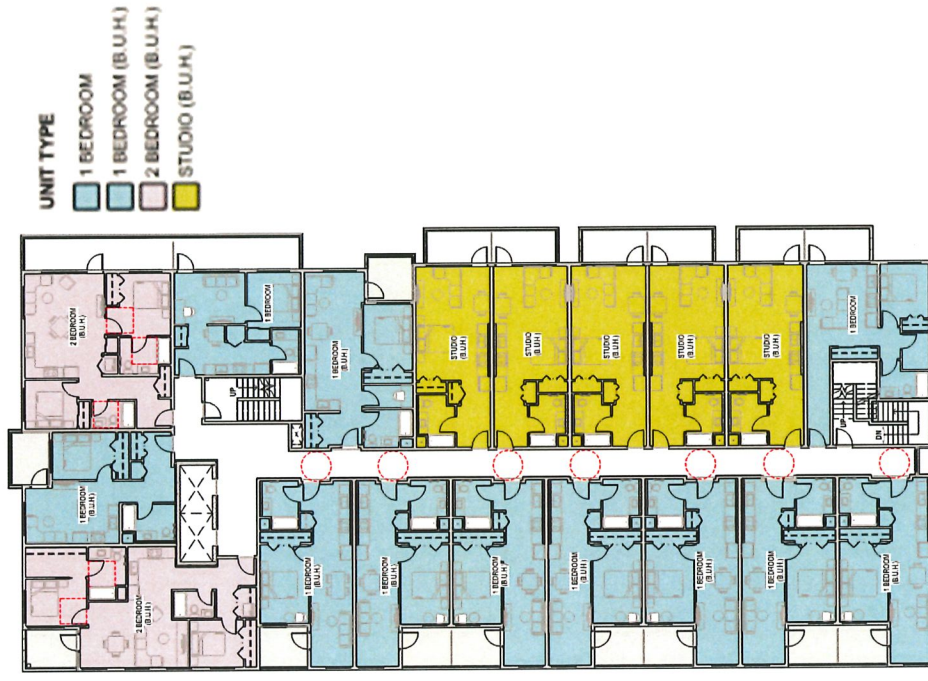
58
total units

50 / 80%
LEMR affordable units

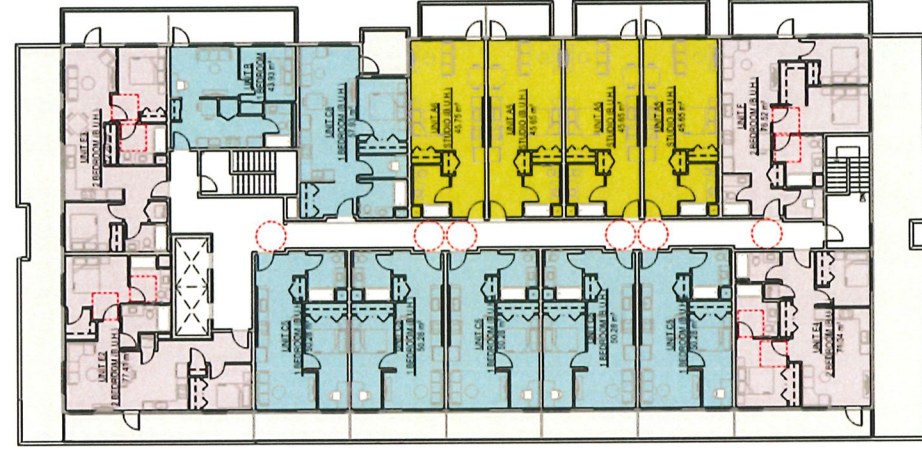
54 / 93%

Basic Universal Housing (B.U.H.) units

Unit Mix



THIRD FLOOR

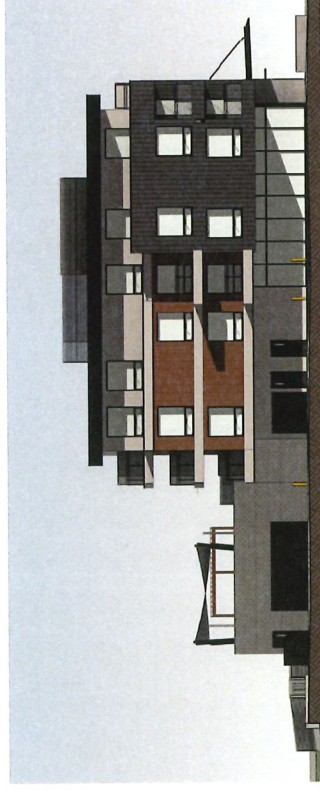


FOURTH FLOOR

Architectural Expression



WEST ELEVATION | RAILWAY AVENUE



NORTH ELEVATION | SIDE YARD

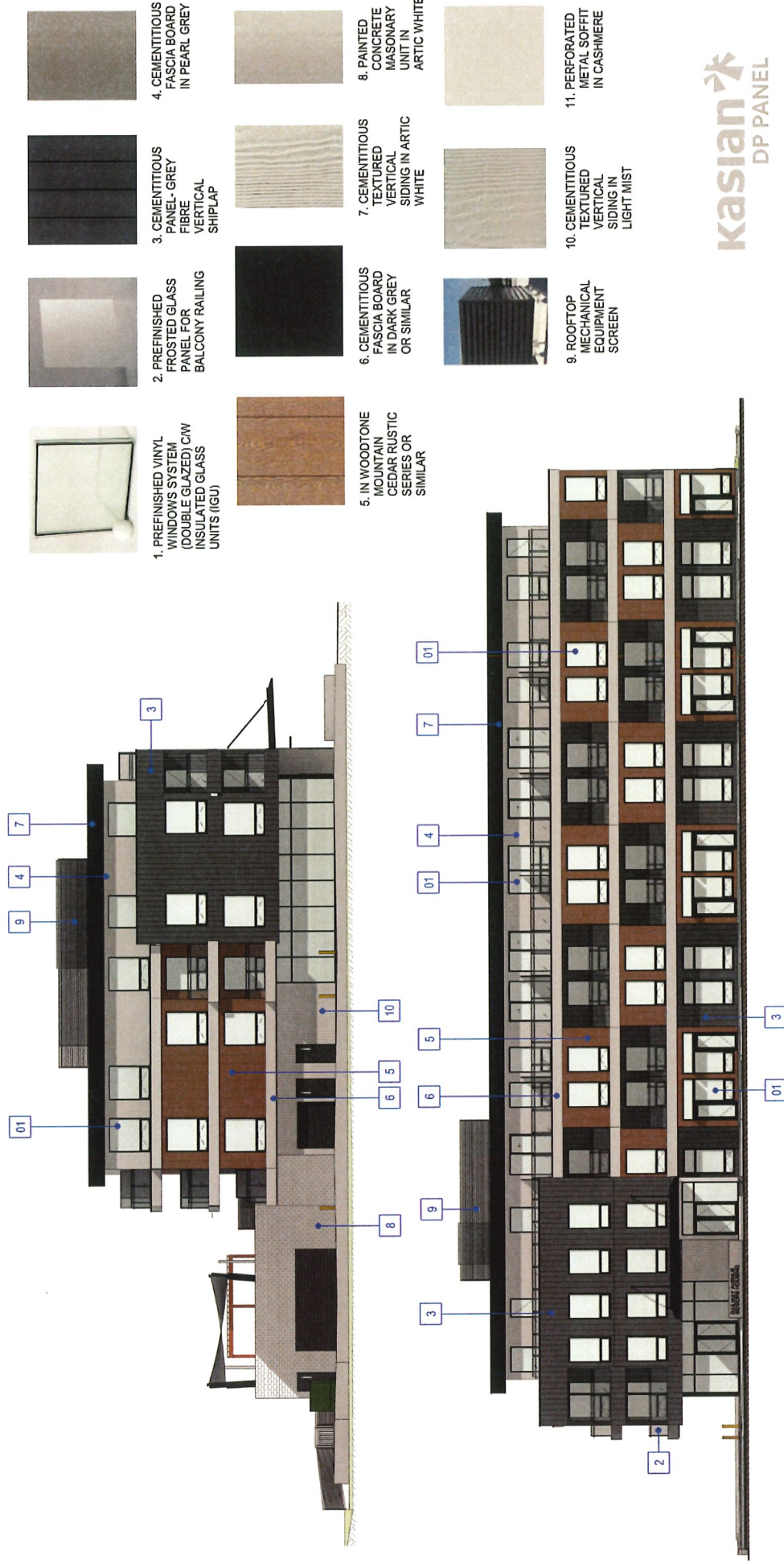


EAST ELEVATION | REAR YARD



SOUTH ELEVATION | SIDE YARD

Materiality



kasian DP PANEL

Perspective Views



NORTHWEST CORNER PERSPECTIVE | RAILWAY AVENUE

Perspective Views



SOUTHWEST CORNER PERSPECTIVE | RAILWAY AVENUE

Perspective Views



NORTHWEST CORNER AERIAL PERSPECTIVE | RAILWAY AVENUE

Perspective Views



NORTHEAST CORNER AERIAL PERSPECTIVE



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Revisions

NO.	Date	Note
1	2022-08-21	ISSUED FOR REZONING
2	2024-03-20	ISSUED FOR DP
3	2024-10-15	ISSUED FOR DP
4	2025-04-07	ISSUED FOR DP
5	2025-03-22	ISSUED FOR DP
6	2025-06-12	ISSUED FOR DP
7	2025-07-07	ISSUED FOR DP

RAILWAY AVENUE
SENIOR RENTAL
HOUSING
DEVELOPMENT

PROJECT ADDRESS:
1423 WYTH AVENUE,
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-20

SCALE: AS SHOWN

DRAWN BY: EL

REVIEWED BY: EL

Landscape Cover
Sheet

PLAN #3 L0.0

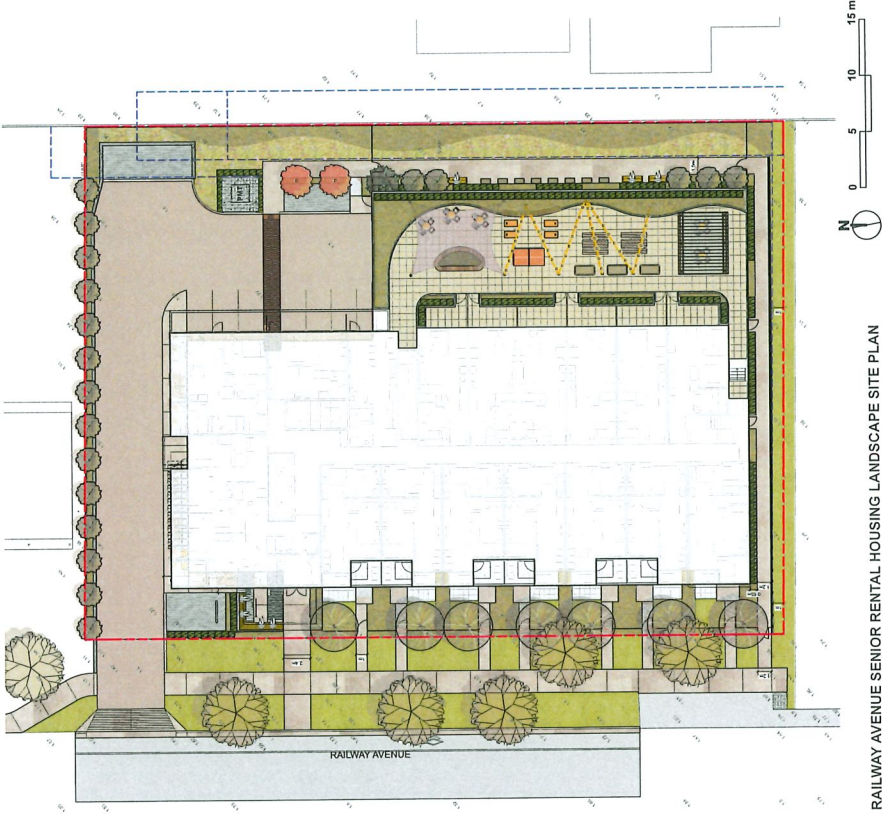
RAILWAY AVENUE SENIOR RENTAL HOUSING DEVELOPMENT
LANDSCAPE SET: ISSUED FOR DP
JULY 7, 2026

LANDSCAPE DRAWING INDEX

DRAWING INDEX	
SHEET No.	SHEET NAME
L0.0	LANDSCAPE COVER SHEET
L0.1	LANDSCAPE DESIGN RATIONALE
L1.0	LANDSCAPE LAYOUT & MATERIALS PLAN - LEVEL 1
L1.1	LANDSCAPE LAYOUT & MATERIALS PLAN - LEVEL 2
L1.2	LANDSCAPE SECTIONS
L1.3	POROUS SURFACE & LIVE LANDSCAPING AREA DIAGRAM
L1.4	PRECEDENTS
L1.5	LANDSCAPE DESIGN-BUILD IRRIGATION PLAN - LEVEL 1
L1.6	LANDSCAPE DESIGN-BUILD IRRIGATION PLAN - LEVEL 2
L1.7	LANDSCAPE LIGHTING PLAN - LEVEL 1
L1.8	LANDSCAPE LIGHTING PLAN - LEVEL 2
L2.0	LANDSCAPE PLANTING PLAN & PLANT LIST - LEVEL 1
L2.1	LANDSCAPE PLANTING PLAN & PLANT LIST - LEVEL 2
L3.0	HARDSCAPE DETAILS
L3.1	HARDSCAPE DETAILS
L3.2	FURNITURING DETAILS
L3.3	FURNITURING DETAILS
L3.4	FURNITURING DETAILS
L3.5	SOFTSCAPE DETAILS

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS, AND ALL OTHER MATERIALS TO THE PROJECT. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



RAILWAY AVENUE SENIOR RENTAL HOUSING LANDSCAPE SITE PLAN



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Revisions

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1	2022-08-21	ISSUED FOR REZONING
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RAILWAY AVENUE SENIOR RENTAL HOUSING DEVELOPMENT

PROJECT ADDRESS:
850.1540.850 RAILWAY AVENUE,
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-20

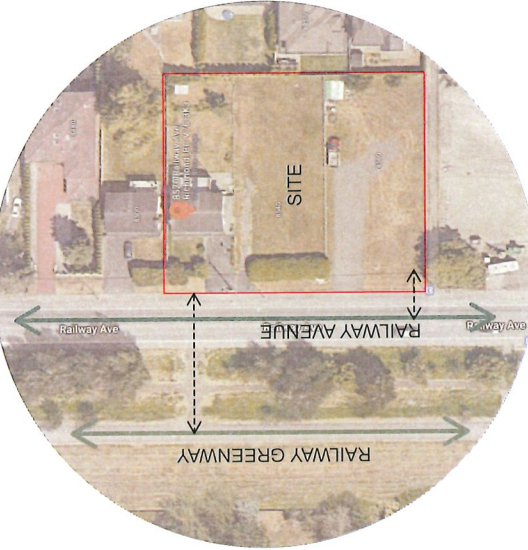
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DRAWN BY: EL

REVIEWED BY: EL

Landscape Design Rationale

PLAN #3.a L0.1



Thoughtful Design to Respect the Context

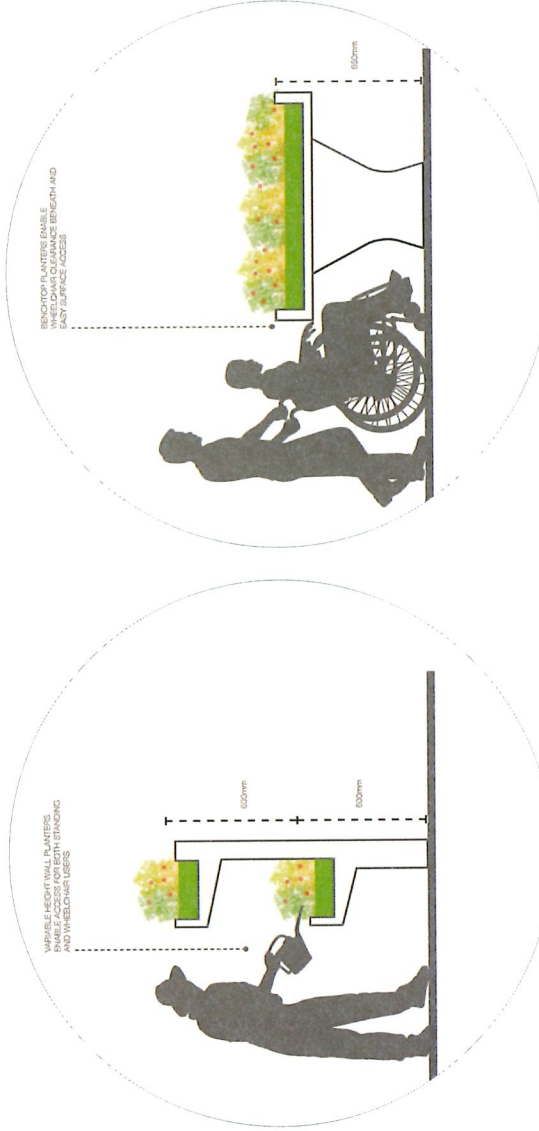
The site is surrounded by single family houses on the north and east sides, future townhouse development on the south side, and Railway Avenue and Railway Greenway on the west side. Landscape design intends to protect the privacy of neighbors, and creates a strong connection between the site and the Railway Avenue and Railway Greenway. A row of columnar trees with shrubs underneath are installed along the north property line to create a green buffer between the site and the north neighbor. The green buffer will protect the north neighbor's privacy and prevent overlooking. A 3-meter wide landscape buffer is also provided along the east property line within the SRW to ensure the privacy of the east neighbor. Greenwall trellis system with vines are proposed on the south side of parkade building to create a green wall facing the future townhouse development in the south. Low terraced concrete planters are proposed along the west property line to separate the public boulevard with the private front yards. The main entry is proposed at the northwestern corner of the site, which creates a direct pedestrian and cycling connection with the Railway Greenway.

Senior-Friendly Landscape Design

The landscape is designed for the seniors. No steps are proposed in the outdoor landscape areas to ensure universal accessibility. A continuous flush concrete path is proposed on the ground level around the building to provide a safe outdoor walking route. The path improves the mobility for the seniors, and provides them with easy access to the outdoor amenity space east of parkade building. A lot of benches are provided along the path for the seniors to sit and rest frequently, and all the benches are designed specifically for the seniors including the disabled seniors. 36 inches high raised wood garden beds are proposed in the outdoor amenity space east of parkade building, and the seniors can easily enjoy gardening there without bending.

Equitable Access to Nature

Accessing to nature is challenging for the seniors, especially for the disabled seniors. The landscape design intends to provide equitable access to nature for the seniors to benefit their physical and mental health. The raised wood agricultural planters in the center of the roof amenity space on the top of parkade are designed specifically for the seniors. The seniors with wheelchairs can easily move close to the planters and enjoy gardening there. Concrete planting beds are designed to be 42 inch high above the patio along the edges of the roof amenity space, and the seniors do not need to bend when working in the planting beds. Evergreen shrubs are proposed in the raised planting beds to prevent overlooking to the neighbors. Besides, a 18" high planter with wood bench seating along the edges is proposed on the roof amenity space, which provides the opportunity for the seniors to touch the plants and feel their texture when seating on the bench.





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PROCEEDING WITH WORK.

Revisions

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RAILWAY AVENUE SENIOR RENTAL HOUSING DEVELOPMENT

PROJECT ADDRESS:
RAILWAY AVENUE,
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-20

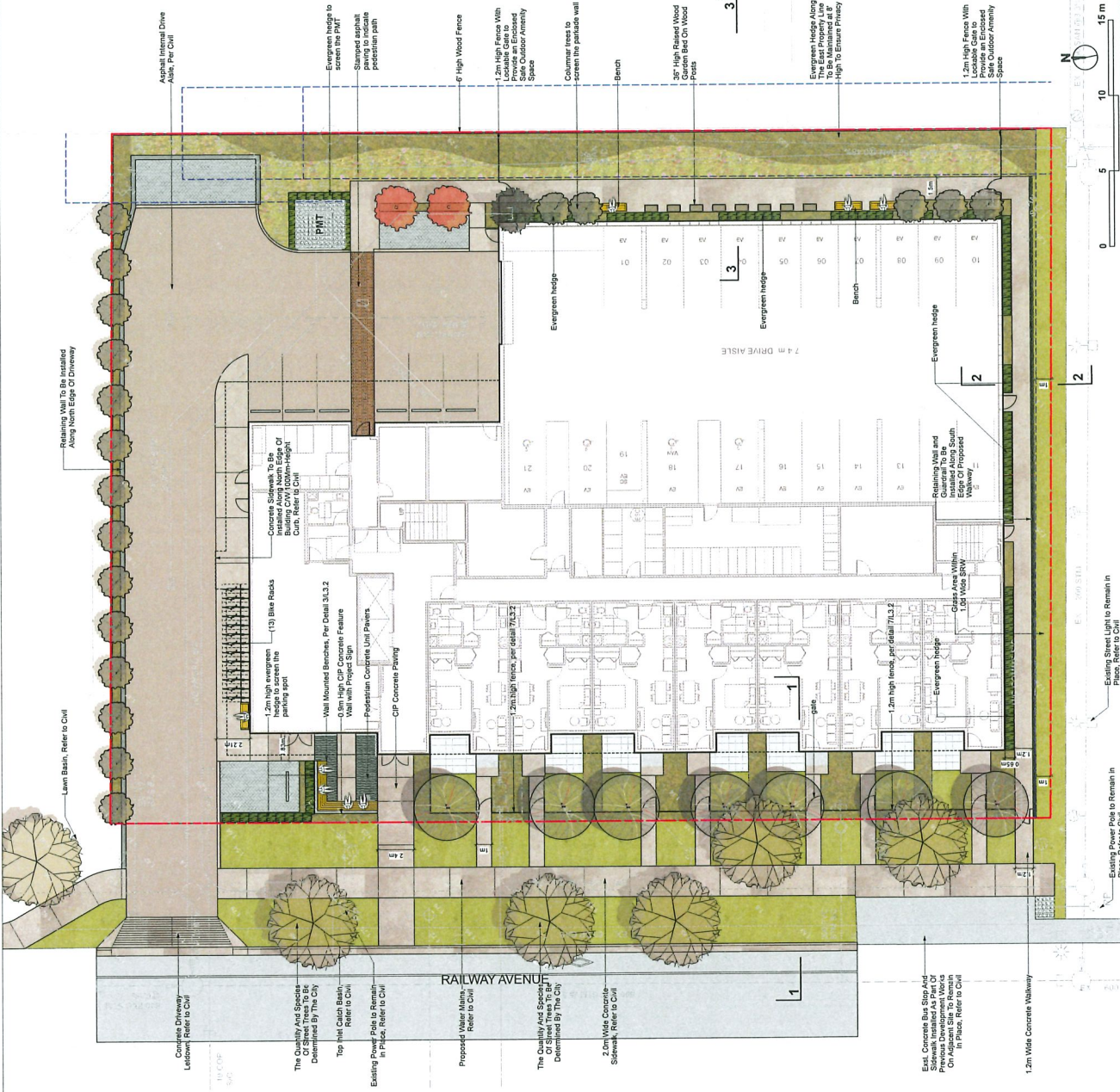
SCALE: 3/32"=1' (1/1128)

DRAWN BY: EL

REVIEWED BY: EL

Landscape Layout & Materials Plan - Level 1

PLAN #3.b L1.0



LANDSCAPE LEGENDS

SYMBOL	MATERIALS	DETAILS
	PERMEABLE PAVER FOR INTERNAL DRIVEWAY	3L3.0
	PEDESTRIAN CONCRETE UNIT PAVES	2L3.0
	CIP CONCRETE PAVING	1L3.0
	18"x18" CONCRETE PAVING	5L3.0
	24"x24" PORCELAIN PAVERS	3L3.1
	GRAVEL	4L3.0
	ASPHALT DRIVEWAY, SEWER AND WATER SPECS, ASPHALT PAVING PER CIVIL	6L3.5
	LAWN	48L3.5
	PLANTING BED	1L3.3
	RAISED WOOD GARDEN BED	18L3.1
	CONCRETE PLANTER	4L3.2
	BENCH	2L3.3
	MOVABLE TABLE AND CHAIRS	6L3.2
	BIKE RACKS	5L3.2
	PICNIC TABLE AND BENCHES	
	6"x6" HIGH WOOD FENCE	
	GUARDRAIL	
	SUN SHADE SAIL, REVIEWED AND REVISED BY ENGINEER	

LAYOUT AND MATERIALS NOTES:

- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS ARE TO BE READ IN CONJUNCTION WITH ALL NOTES AND SPECIFICATIONS.
- ALL EXISTING INFORMATION (PERSONNEL ONLY) VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
- THE CONSULTANT IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
- THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE PLACED OUT ON SITE BY THE CONSULTANT PRIOR TO INSTALLATION.
- ALL OFF-SITE WORKS TO CONFORM TO CITY OF RICHMOND STANDARDS.
- LAYOUT OF ALL OFF-SITE WORKS, INCLUDING FURNISHINGS, ON AND OFF-SITE, SHALL BE CONFIRMED WITH CITY OF RICHMOND PRIOR TO INSTALLATION.



**HOMING
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CLARIFICATION AND APPROVAL BEFORE
PROCEEDING WITH WORKS.

Revisions

NO.	Date	Note
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5	2025-03-22	ISSUED FOR DP
6	2025-06-12	ISSUED FOR DP
7	2025-07-07	ISSUED FOR DP

**RAILWAY AVENUE
SENIOR RENTAL
HOUSING
DEVELOPMENT**

PROJECT ADDRESS:
8520, 8540, 8560 RAILWAY AVENUE,
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-20

SCALE: 3/32"=1'-0" (1:128)

DRAWN BY: EL

REVIEWED BY: EL

**Landscape Layout
& Materials Plan -
Level 2**

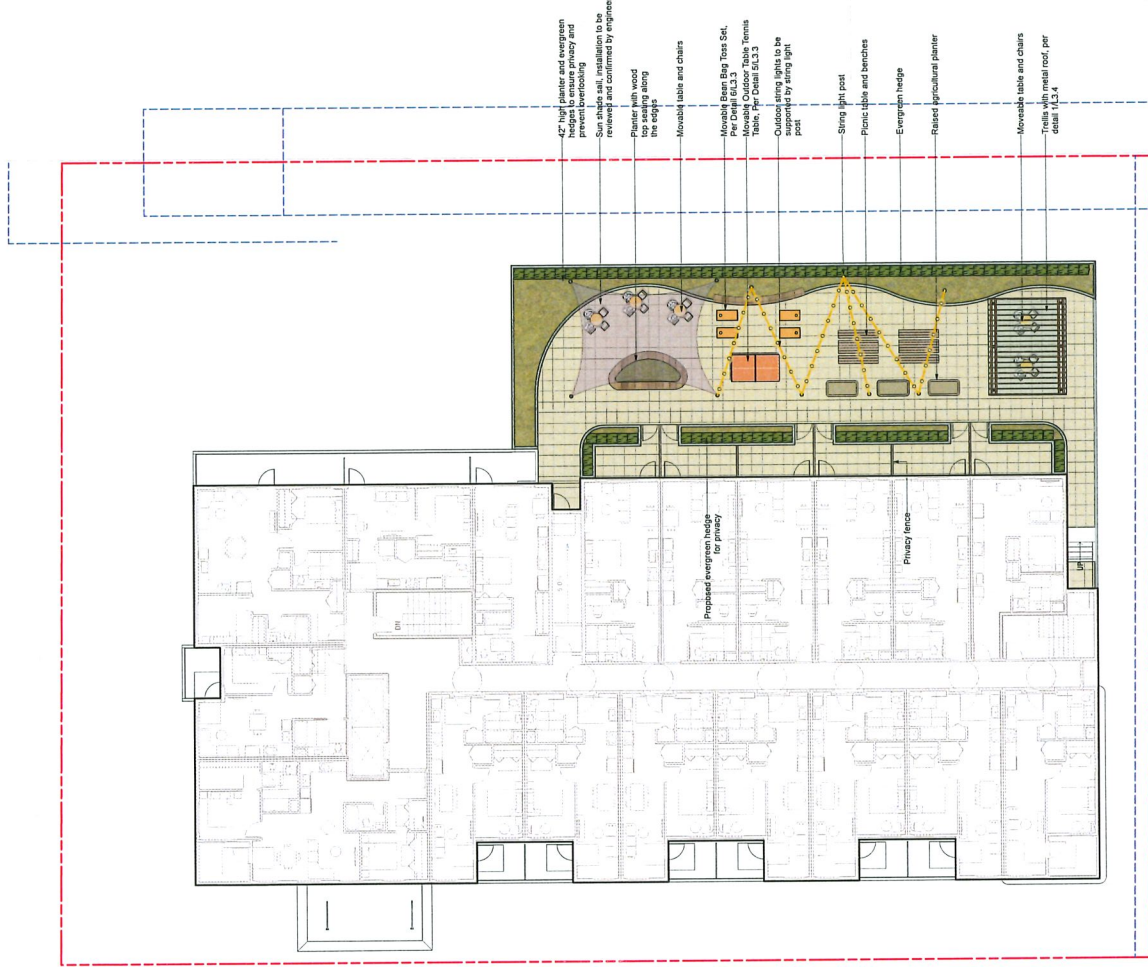
PLAN #3.c L1.1

LANDSCAPE LEGENDS

SYMBOL	MATERIALS	DETAILS
	PERMEABLE PAVER FOR INTERNAL DRIVEWAY	3L3.0
	PEDESTRIAN CONCRETE UNIT PAVERS	2L3.0
	CIP CONCRETE PAVING	1L3.0
	18'X18' CONCRETE PAVING	5L3.0
	24'X22' PORCELAIN PAVING	3L3.1
	GRAVEL	4L3.0
	ASPHALT DRIVEWAY, STAMPED ASPHALT PAVING, PER CIVIL	6L3.5
	LAWN	48L3.5
	RAISED WOOD GARDEN BED	1L3.3
	CONCRETE PLANTER	16L3.1.1
	BENCH	4L3.2
	MOVABLE TABLE AND CHAIRS	2L3.3
	BIKE RACKS	1L3.2
	POND TABLE AND BENCHES	2L3.2
	6'x8' HIGH WOOD FENCE	6L3.2
	GUARDRAIL	5L3.2
	SUN SHADE SAIL, INSTALLATION TO BE CONFIRMED BY	

LAYOUT AND MATERIALS NOTES:

- DO NOT SCALE DRAWINGS
- ALL DIMENSIONS AND LOCATIONS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS
- ALL EXISTING INFORMATION APPROXIMATE ONLY. VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING
- THE CONSULTANT IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS AND TREES FOR DURATION OF CONSTRUCTION
- THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE APPROXIMATE. VERIFY ALL LOCATIONS PRIOR TO INSTALLATION
- ALL OFF-SITE WORKS TO CONFORM TO CITY OF RICHMOND STANDARDS
- LAYOUT OF ALL OFF-SITE WORKS, INCLUDING FURNISHINGS, TREES AND PLANTS, SHALL BE CONFIRMED WITH CITY OF RICHMOND PRIOR TO INSTALLATION



- 42\"/>





NO	Date	Note
1	2022-08-21	ISSUED FOR REZONING
2	2024-03-20	ISSUED FOR DP
3	2024-10-15	ISSUED FOR DP
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5	2026-03-22	ISSUED FOR DP
6	2026-06-12	ISSUED FOR DP
7	2026-07-07	ISSUED FOR DP

PROJECT ADDRESS:
8520, 8540, 8560 RAILWAY AVENUE,
RICHMOND, BC, CANADA

REVIEWED BY: EL

PLAN #3.d L1.2





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Revisions

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6	2026-06-12	ISSUED FOR DP
7	2026-07-07	ISSUED FOR DP

RAILWAY AVENUE SENIOR RENTAL HOUSING DEVELOPMENT

PROJECT ADDRESS:
8201 155th STREET, RAILWAY AVENUE,
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-20

SCALE: 3/32"=1' (1/16")

DRAWN BY: EL

REVIEWED BY: EL

Porous Surface & Live Landscaping Area Diagram

PLAN #3.e L1.3

POROUS SURFACE LEGENDS

SYMBOL	MATERIALS	AREA
	POROUS LANDSCAPING WITH LIVE PLANT MATERIALS, GRASS, GROUND COVER & SHRUB	580.09 m ²
	POROUS HARDSCAPE MATERIAL: PERMEABLE PAVER & GRAVEL	66.47 m ²

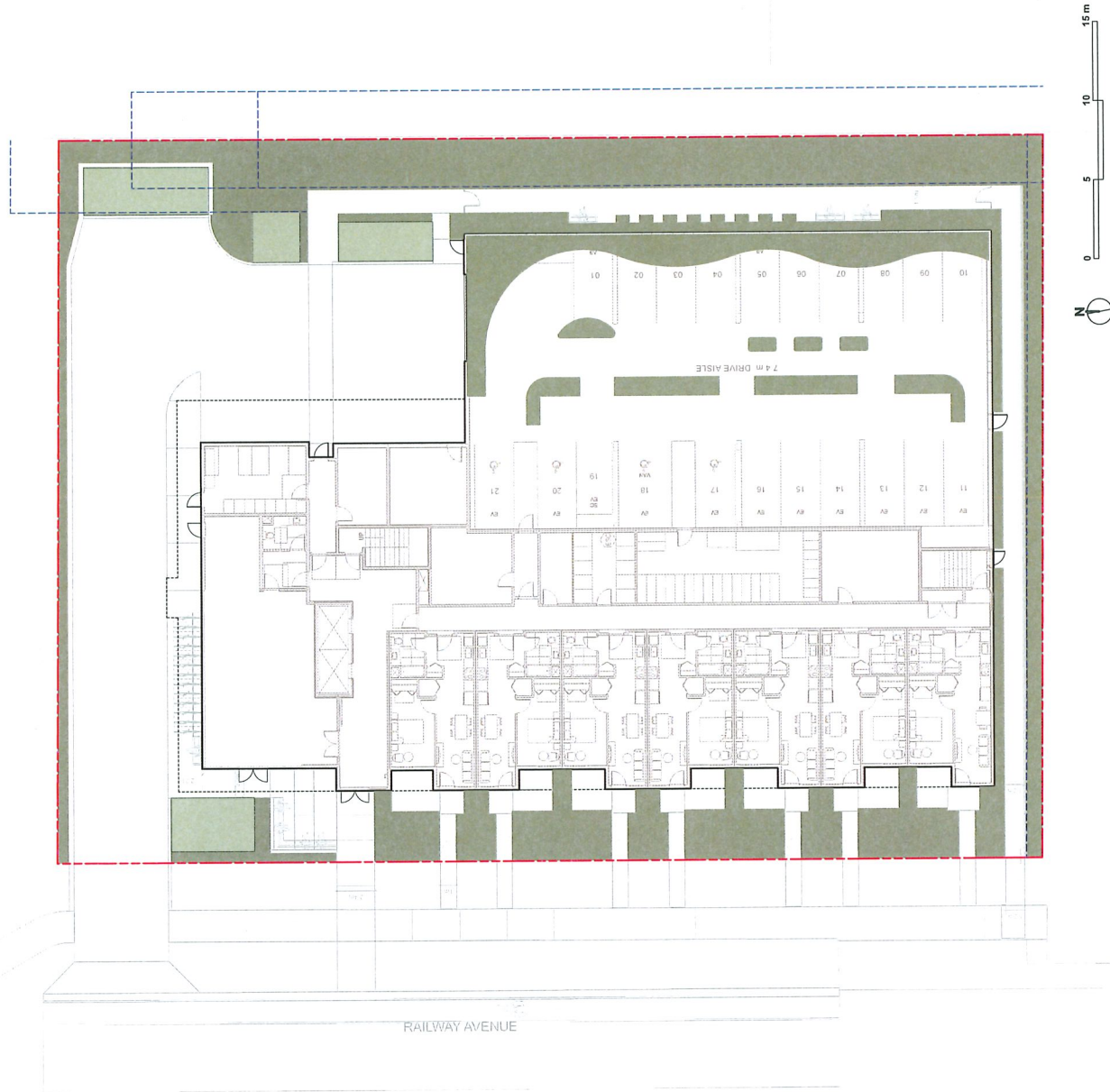
TOTAL POROUS SURFACE AREA: 646.56 m²

TOTAL LOT AREA: 2859.34 m²

TOTAL POROUS SURFACE AREA COVERAGE
PERCENTAGE: 23%

TOTAL NON-POROUS SURFACE AREA COVERAGE
PERCENTAGE: 77%

TOTAL POROUS LANDSCAPING AREA COVERAGE
PERCENTAGE: 20.3%





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6	2025-06-12	ISSUED FOR DP
7	2025-07-07	ISSUED FOR DP

RAILWAY AVENUE SENIOR RENTAL HOUSING DEVELOPMENT

PROJECT ADDRESS:
8225 RAILWAY AVENUE,
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-20

SCALE: N/A

DRAWN BY: EL

REVIEWED BY: EL

Precedents

PLAN #3.f L1.4



a row of columnar trees to define the edge



garden



planter with wood bench seating



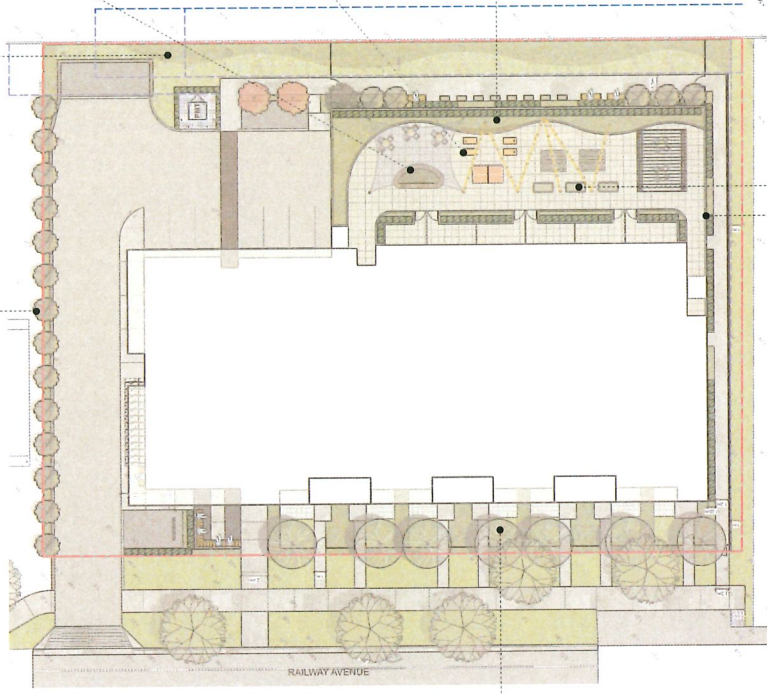
outdoor lightings



raised planting bed



raised agricultural planters



plants along path



green wall



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7	2026-07-07		ISSUED FOR DP

RAILWAY AVENUE
SENIOR RENTAL
HOUSING
DEVELOPMENT

PROJECT ADDRESS: 8520.8540, 8560 RAILWAY AVENUE,
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-20

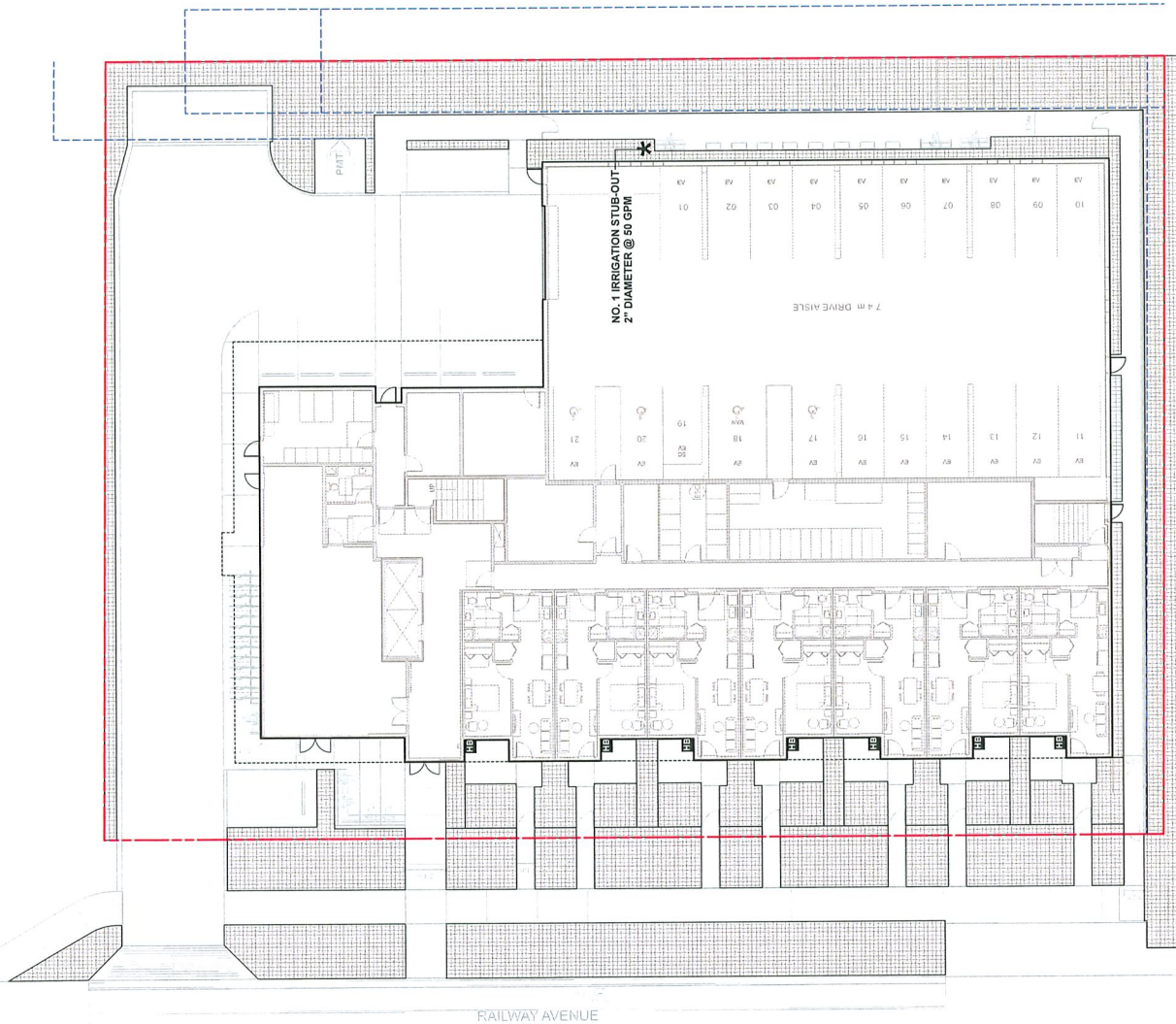
SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

REVIEWED BY: EL

Landscape
Design-Build
Irrigation Plan -
Level 1

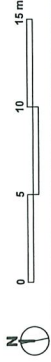
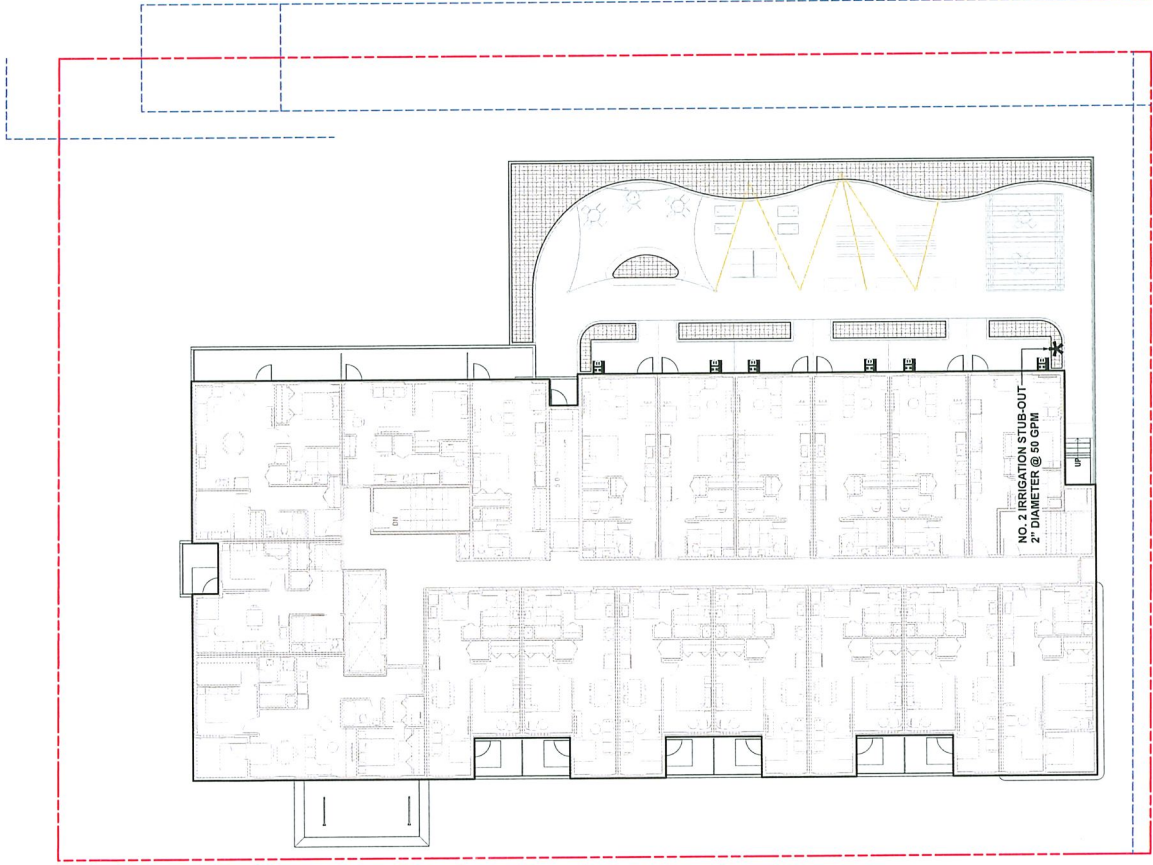
PLAN #3.g L1.5



IRRIGATION LEGENDS

KEY	DESCRIPTION
	WATER STUB-OUT SCHEMATIC ONLY. REFER TO MECHANICAL
	HOSE BIB SCHEMATIC ONLY. REFER TO MECHANICAL
	IRRIGATION AREA

IRRIGATION LEGENDS	
KEY	DESCRIPTION
*	WATER STUB-OUT SCHEMATIC ONLY. REFER TO MECHANICAL
BS	HOUSE BUS SCHEMATIC ONLY. REFER TO MECHANICAL
	IRRIGATION AREA



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5	2025-03-22	ISSUED FOR DP
6	2025-06-12	ISSUED FOR DP
7	2025-07-07	ISSUED FOR DP

RAILWAY AVENUE SENIOR RENTAL HOUSING DEVELOPMENT

PROJECT ADDRESS:
8520, 8540, 8560 RAILWAY AVENUE,
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-20

SCALE: 3/32"=1'0" (1:128)

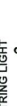
DRAWN BY: EL

REVIEWED BY: EL

**Landscape
Design-Build
Irrigation Plan -
Level 2**

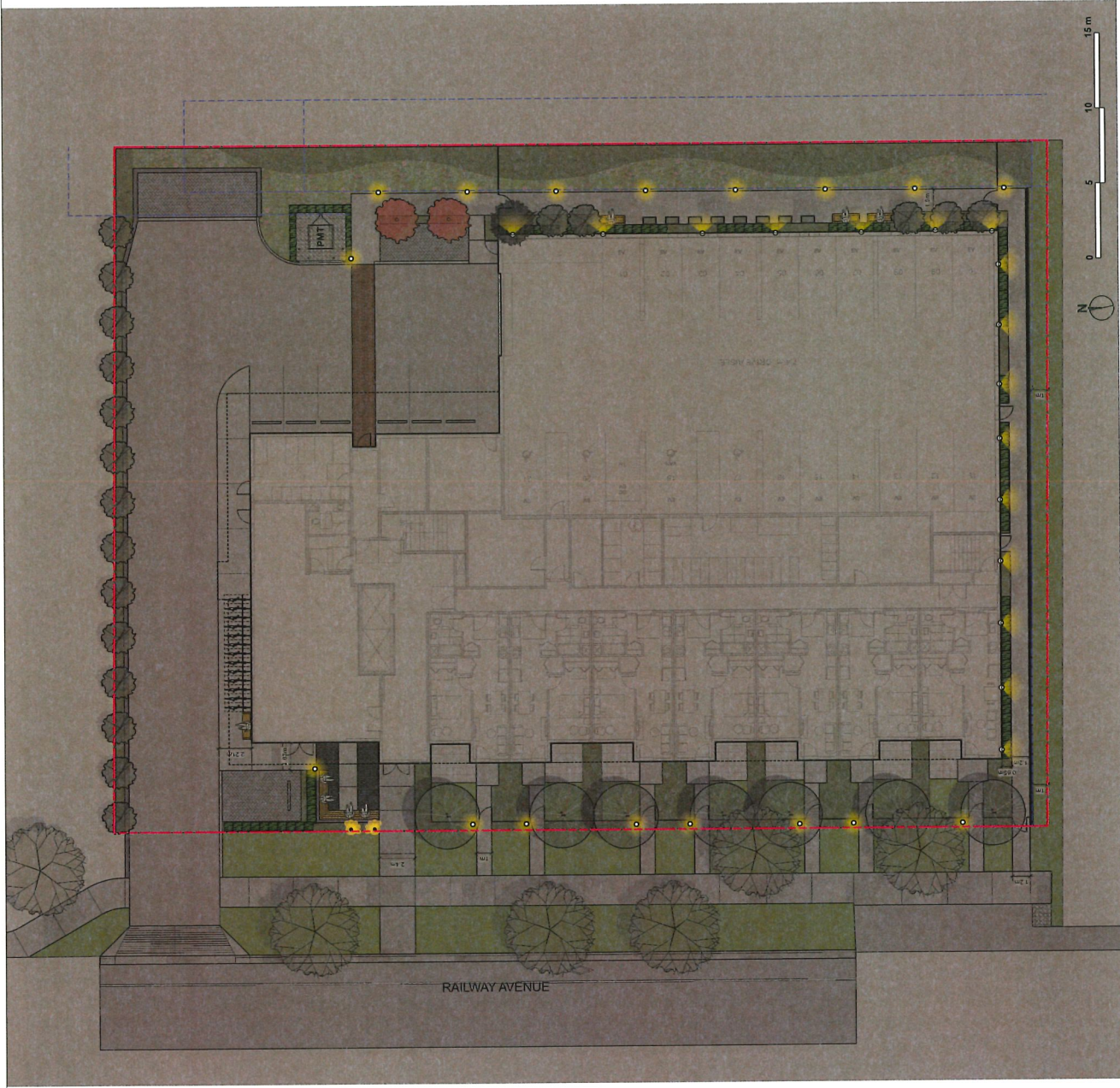
PLAN #3.h L1.6

LANDSCAPE LIGHTING LEGENDS

SYMBOL	MATERIALS
	TREE UPLIGHT WITH SHIELD 
	STEPWALL LIGHT 
	BOLLARD LIGHT WITH SHIELD 
	LED STRING LIGHT 
	DOWN LIGHT 
	WALL MOUNTED DOWNLIGHT 

LIGHTING NOTES

1. LIGHTING PLANS PROVIDES FOR INFORMATION ONLY. ALL EXTERIOR LIGHT FIXTURES, QUANTITIES, AND LOCATIONS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
2. CONTRACTOR TO COORDINATE RECESSED FORMING, ELECTRICAL CONDUIT, AND LOCATION LOGISTICS WITH OTHER TRADES AS REQUIRED.
3. SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
4. CONTRACTOR TO ENSURE ALL LIGHTING WIRE AND FIXTURES COMPLY WITH THE CANADIAN ELECTRICAL REGULATIONS AND SAFETY REQUIREMENTS.



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Revisions

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6	2025-06-12	ISSUED FOR DP
7	2025-07-07	ISSUED FOR DP

**RAILWAY AVENUE
SENIOR RENTAL
HOUSING
DEVELOPMENT**

PROJECT ADDRESS:
1403 WILLOW AVENUE, RICHMOND, BC, CANADA

PROJECT NUMBER: 21-20

SCALE: 3/32"=1'0"(1:128)

DRAWN BY: EL

REVIEWED BY: EL

**Landscape
Lighting Plan -
Level 1**

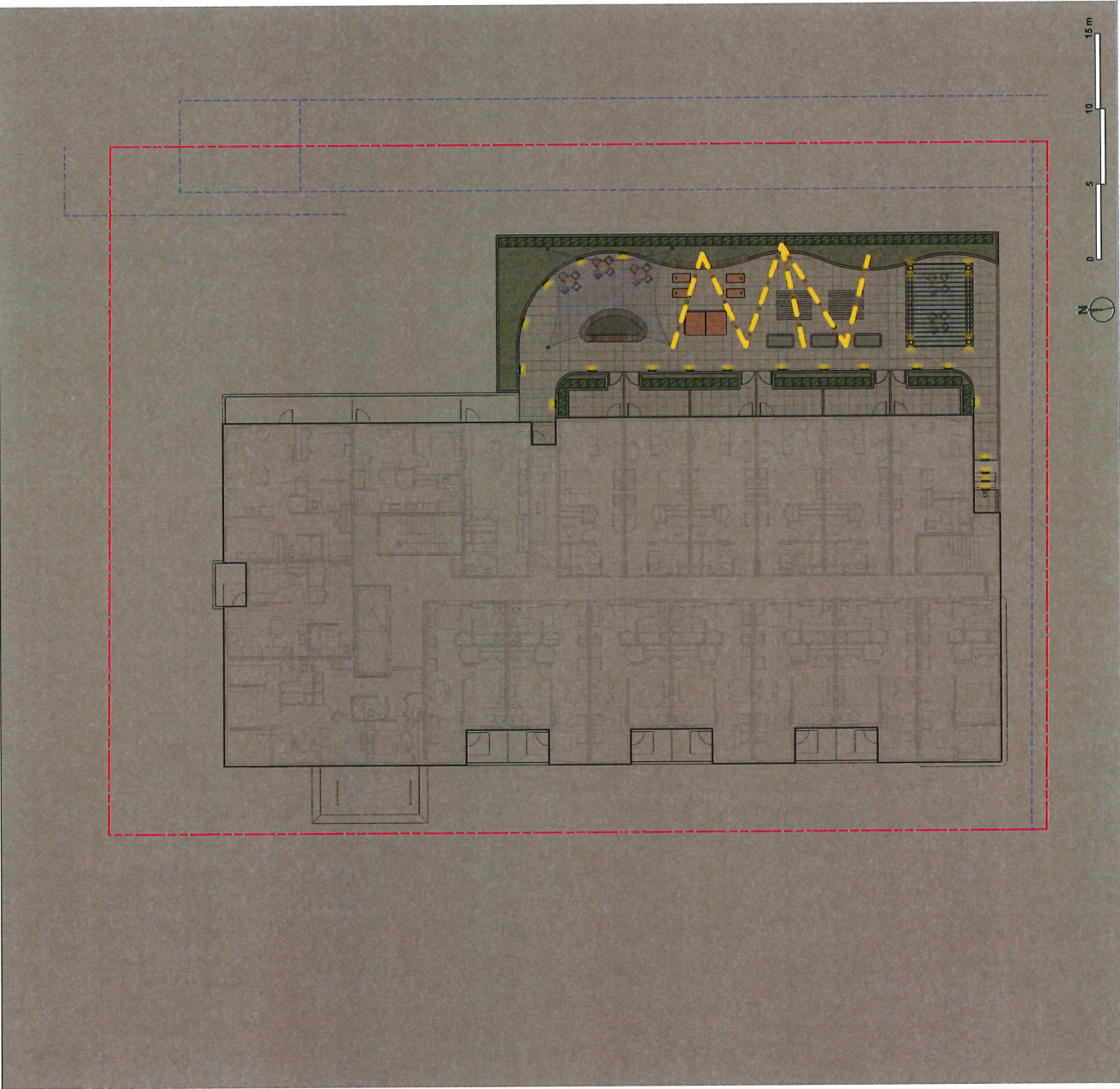
PLAN #3.i L1.7

LANDSCAPE LIGHTING LEGENDS

SYMBOL	MATERIALS
	TREE UPLIGHT WITH SHIELD
	STEP/WALL LIGHT
	BOLLARD LIGHT WITH SHIELD
	LED STRING LIGHT
	DOWN LIGHT
	WALL MOUNTED DOWN LIGHT

LIGHTING NOTES

1. LIGHTING PLANS PROVIDED FOR INFORMATION ONLY. ALL EXTERIOR LIGHT FIXTURES, QUANTITIES, AND LOCATIONS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
2. CONTRACTOR TO COORDINATE RECESSED FORMING, TRAYS, AND CONDUIT AND LOCATION LOGISTICS WITH OTHER TRADES AS REQUIRED.
3. SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
4. CONTRACTOR TO ENSURE ALL LIGHTING WIRE AND FIXTURES ARE INSTALLED IN ACCORDANCE WITH ALL ELECTRICAL REGULATIONS AND SAFETY REQUIREMENTS.



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Revisions

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4	2025-04-07	ISSUED FOR DP
5	2025-05-22	ISSUED FOR DP
6	2025-06-12	ISSUED FOR DP
7	2025-07-07	ISSUED FOR DP

**RAILWAY AVENUE
SENIOR RENTAL
HOUSING
DEVELOPMENT**

PROJECT ADDRESS:
RAILWAY AVENUE, VANCOUVER,
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-20

SCALE: 3/32"=1'0"(1:128)

DRAWN BY: EL

REVIEWED BY: EL

**Landscape
Lighting Plan -
Level 2**

PLAN #3.j L1.8



**HOMING
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6	2025-05-22	ISSUED FOR DP
7	2025-06-12	ISSUED FOR DP
8	2026-07-07	ISSUED FOR DP

RAILWAY AVENUE SENIOR RENTAL HOUSING DEVELOPMENT

PROJECT ADDRESS:
8201-8550 RAILWAY AVENUE,
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-20

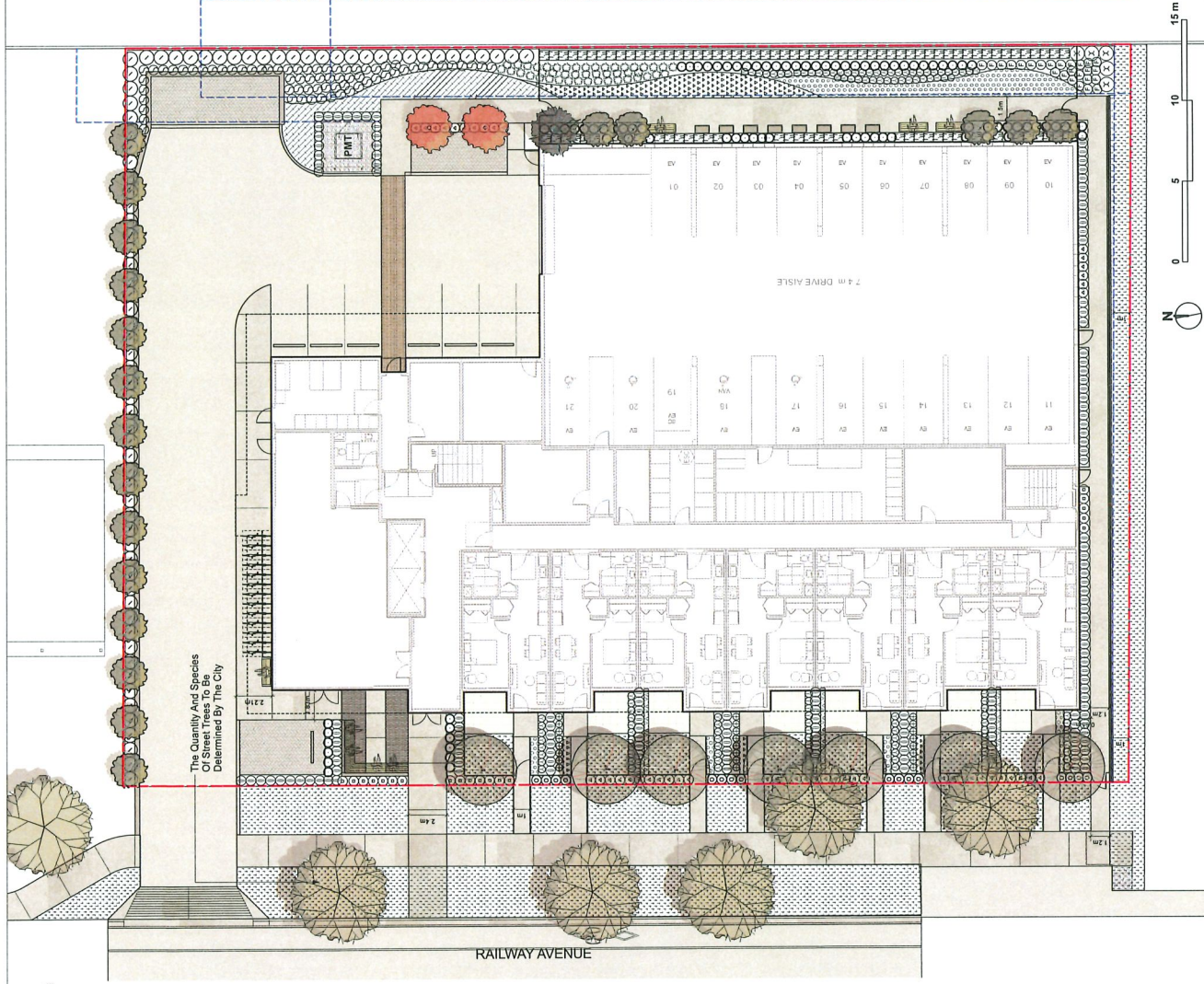
SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

REVIEWED BY: EL

Landscape Planting Plan & Plant List - Level 1

PLAN #3.k L2.0



PLANT LIST

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
------	----------------	-------------	------	---------

TREES

7	<i>Syrax japonicus</i>	Japanese snowbell	6cm cal., B&B	as shown
2	<i>Acer circinatum</i>	Vine Maple	1.8m height	as shown
1	<i>Tsuga heterophylla</i>	Western Hemlock	2m height	as shown
19	<i>Fagus Sylvatica 'Dawyck Gold'</i>	Dawyck Gold Birch	6cm cal., B&B	as shown

SHRUBS

16	<i>Perfecto Mundo® Double White</i>	Reblooming White Azalea	#2 pot	24" o.c.
112	<i>Lavandula angustifolia 'Hidcole'</i>	English Lavender	#2 pot	18" o.c.
11	<i>Rhododendron 'Crele'</i>	Pink Rhododendron	#3 pot	36" o.c.
85	<i>Sarcococca hookeriana humilis</i>	Himalayan Sweet Box	#2 pot	24" o.c.
86	<i>Spiraea bumalda 'Goldflame'</i>	Goldflame Spiraea	#2 pot	24" o.c.
76	<i>Perfecto Mundo® Double Pink</i>	Reblooming Pink Azalea	#2 pot	24" o.c.
5	<i>Gaultheria shallon</i>	Salal	#2 pot	36" o.c.
132	<i>Taxus X Media 'Hicksii'</i>	Hick's Yew	4' height	24" o.c.
156	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Cedar	5' height	24" o.c.
115	<i>Dicentra formosa</i>	Western bleeding heart	#1 pot	18" o.c.
77	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	#3 pot	36" o.c.
29	<i>Eternal Fragrance Daphne</i>	Daphne x transatlantica 'Blair'	#2 pot	24" o.c.
25	<i>Blechnum spicant</i>	Deer fern	#2 pot	24" o.c.
1	<i>Forsythia x intermedia 'Arnold Dwarf'</i>	forsythia	#5 pot	48" o.c.
3	<i>Ribes Sanguineum</i>	Red Flowering Currant	#5 pot	48" o.c.
4	<i>Hydrangea paniculata 'Limelight'</i>	Limelight Hydrangeas	#5 pot	42" o.c.
30	<i>Choisyia ternata</i>	Mexican Orange Blossom		

GROUND COVERS, GRASSES & VINES

150	<i>Pachysandra terminalis</i>	Japanese pachysandra	4" (10cm) pot	15" o.c.
152	<i>Oxalis oregana</i>	Redwood Sorrel	4" (10cm) pot	15" o.c.
0	<i>Fragaria chiloensis</i>	Beach strawberry	4" (10cm) pot	15" o.c.
30	<i>Actostaphylos uva-ursi</i>	Bearberry	4" (10cm) pot	15" o.c.
138	<i>Hakonechloa macro 'Al Gold'</i>	Hakone Grass	#1 pot	18" o.c.

LAWN

431 m²

NOTES:

- 1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
- 2) All plantings shall be in accordance with CSA Landscape Standard, latest edition.
- 3) All planting beds to be installed with 2" (50mm) mulch per specifications.
- 4) Street trees species and locations to be confirmed by the City of Richmond before installation.

PLANT LIST

QTY. BOTANICAL NAME COMMON NAME SIZE SPACING

TREES

7		<i>Styrax japonicus</i>	Japanese snowbell	6cm cal., BAB	as shown
2		<i>Acer circinatum</i>	Vine Maple	1.8m height	as shown
1		<i>Tsuga heterophylla</i>	Western Hemlock	2m height	as shown
19		<i>Fagus sylvatica</i> 'Dawryck Gold'	Dawryck Gold Beech	6cm cal., BAB	as shown

SHRUBS

16		Perfecto Mundo® Double White	Reblooming White Azalea	#2 pot	24" o.c.
112		<i>Lavandula angustifolia</i> 'Hidcote'	English Lavender	#2 pot	18" o.c.
11		<i>Rhododendron</i> 'Crele'	Pink Rhododendron	#3 pot	36" o.c.
85		<i>Sarcococca hookeriana humilis</i>	Himalayan Sweet Box	#2 pot	24" o.c.
86		<i>Spirea bumalda</i> 'Goldflame'	Goldflame Spiraea	#2 pot	24" o.c.
76		Perfecto Mundo® Double Pink	Reblooming Pink Azalea	#2 pot	24" o.c.
5		<i>Gaultheria shallon</i>	Salel	#2 pot	36" o.c.
132		<i>Taxus X Media</i> 'Hicksii'	Hick's Yew	4" height	24" o.c.
166		<i>Thuja occidentalis</i> 'Smaragd'	Emerald Cedar	5' height	24" o.c.
115		<i>Dicentra formosa</i>	Western bleeding heart	#1 pot	18" o.c.
77		<i>Vaccinium ovatum</i>	Evergreen Huckleberry	#3 pot	36" o.c.
29		<i>Elaeagnus Fragrans</i> Daphne	Daphne x transatlantica 'Blair'	#2 pot	24" o.c.
25		<i>Blechnum spicant</i>	Deer fern	#2 pot	24" o.c.
1		<i>Forsythia x intermedia</i> 'Arnold Dwarf'	forsythia	#5 pot	48" o.c.
3		<i>Ribes sanguineum</i>	Red Flowering Currant	#5 pot	48" o.c.
4		<i>Hydrangea paniculata</i> 'Limelight'	Limelight Hydrangeas	#5 pot	42" o.c.
30		<i>Chiosia ternata</i>	Mexican Orange Blossom		

GROUND COVERS, GRASSES & VINES

150		<i>Pachysandra terminalis</i>	Japanese pachysandra	4" (10cm) pot	15" o.c.
152		<i>Oxalis oregana</i>	Redwood Sorrel	4" (10cm) pot	15" o.c.
0		<i>Fragaria chiloensis</i>	Beach strawberry	4" (10cm) pot	15" o.c.
30		<i>Actostaphylos uva-ursi</i>	Bearberry	4" (10cm) pot	15" o.c.
138		<i>Hakonechloa macra</i> 'All Gold'	Hakone Grass	#1 pot	18" o.c.

LAWN

431		m2
-----	---	----

NOTES:

- 1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
- 2) All planting shall be in accordance with CSLA Landscape Standard, latest edition.
- 3) All planting beds to be installed with 2" (50mm) mulch per specifications.
- 4) Street trees species and locations to be confirmed by the City of Richmond before installation.



**HOMING
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SPECIFICATIONS OR ANY OTHER DOCUMENT
SHALL BE REPORTED IN WRITING TO THE
AUTHOR. THIS DRAWING IS THE PROPERTY OF
HOMING LANDSCAPE ARCHITECTURE AND
PROCEEDING WITH WORK.

Revisions

No.	Date	Note
1	2022-09-21	ISSUED FOR REZONING
2	2024-03-20	ISSUED FOR DP
3	2024-10-15	ISSUED FOR DP
4	2025-04-07	ISSUED FOR DP
5	2025-03-22	ISSUED FOR DP
6	2025-06-12	ISSUED FOR DP
7	2026-07-07	ISSUED FOR DP

RAILWAY AVENUE SENIOR RENTAL HOUSING DEVELOPMENT

PROJECT ADDRESS:
8000 RAILWAY AVENUE,
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-20

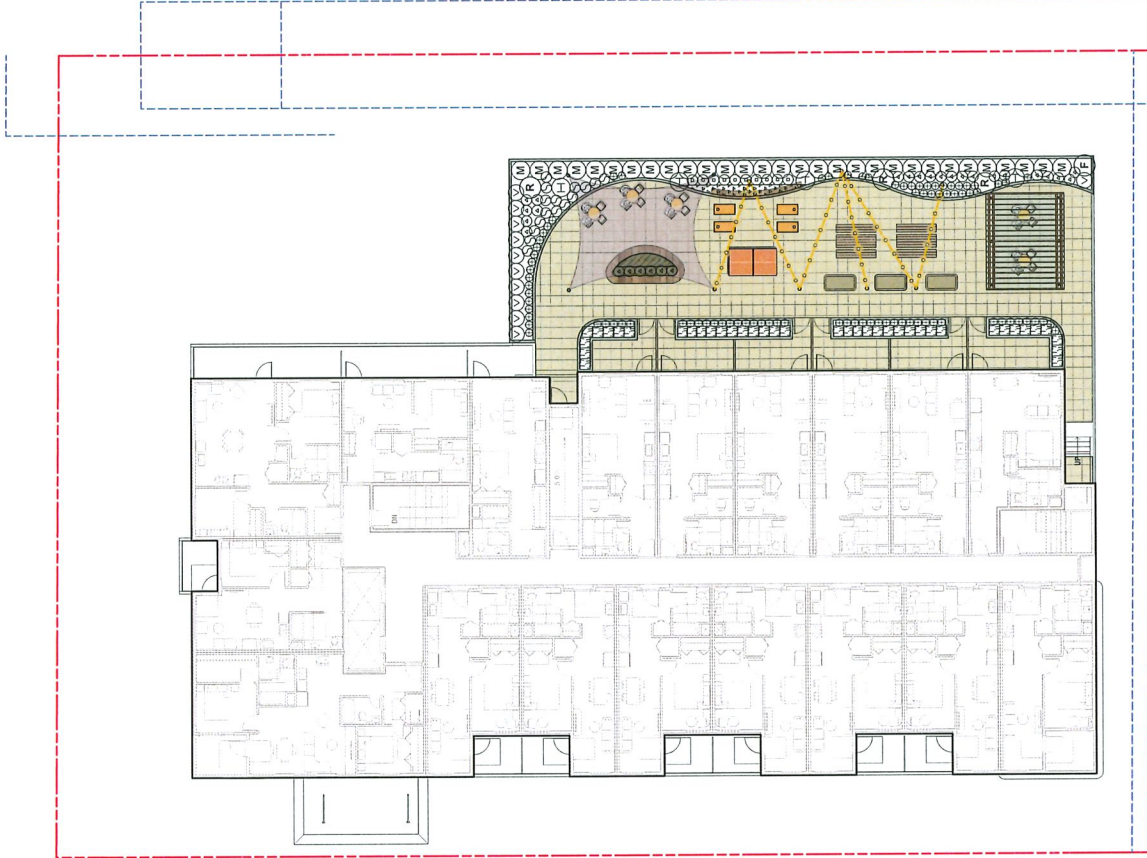
SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

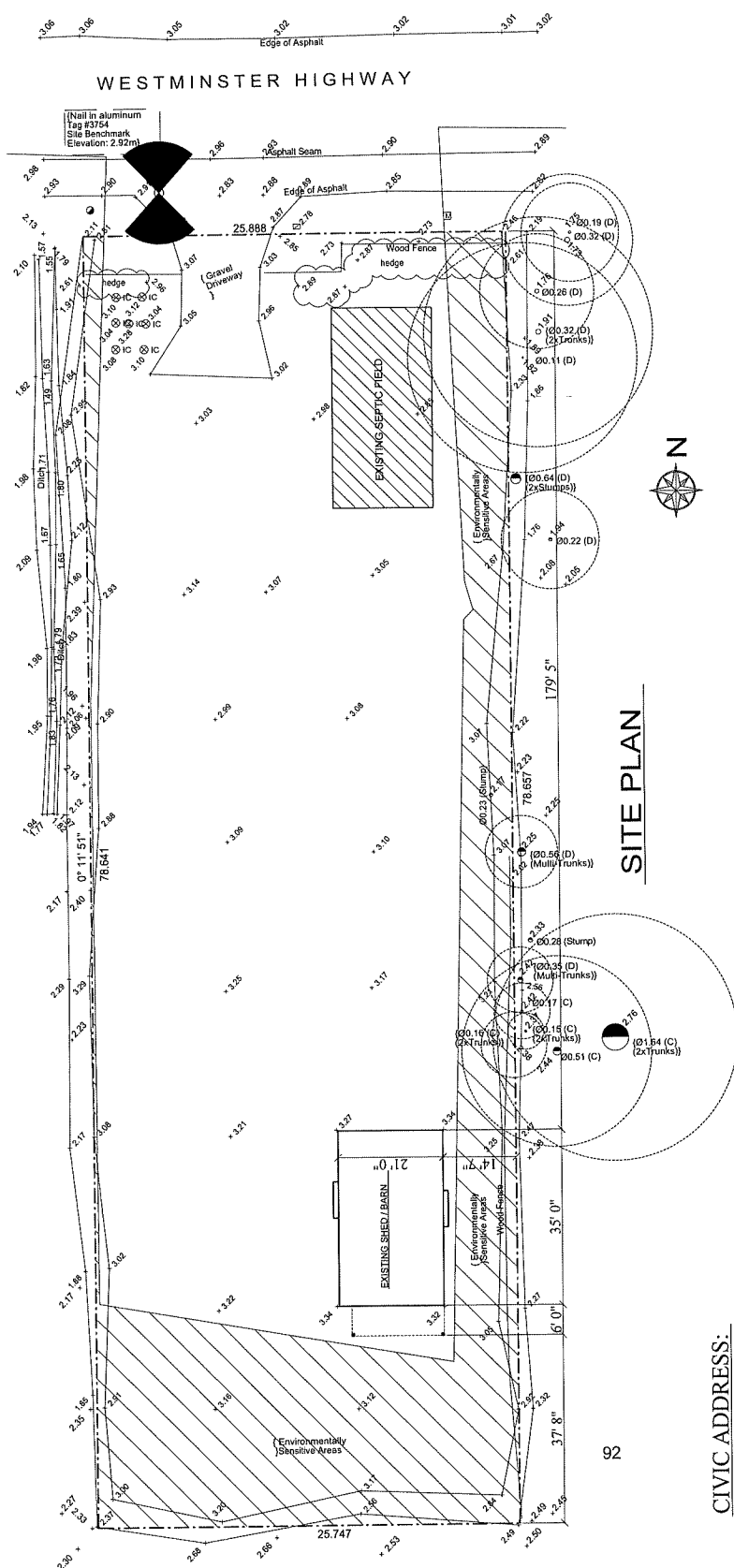
REVIEWED BY: EL

Landscape Planting Plan & Plant List - Level 2

PLAN #3.1 L2.1



Schedule 2 to the Minutes of the Development Permit Panel meeting held on Wednesday, July 29, 2026



EXISTING SITE PLAN

CIVIC ADDRESS:
11500 - Westminster Hwy. RICHMOND B.C.
PID : 004-750-489

LEGAL DESCRIPTION:
LOT 91 SEC 12 BLK 4N RG 6W PL NWP30023
LOT 91, BLOCK 4N, PLAN NWP30023, SECTION 12,
RANGE 6W, NEW WESTMINSTER LAND DISTRICT

CALCULATIONS:
ZONE: AG-1
LOT AREA = 21840.0 S.F. (2029.0 m2)

PROPOSED F.A.R.
 MAIN FLOOR AREA = 735.0 S.F. (68.08 m²)
 UPPER FLOOR AREA = 735.0 S.F. (68.08 m²)
 TOTAL = 1470.0 S.F. (136.56 m²)

Astonish Design & Detailing Ltd.

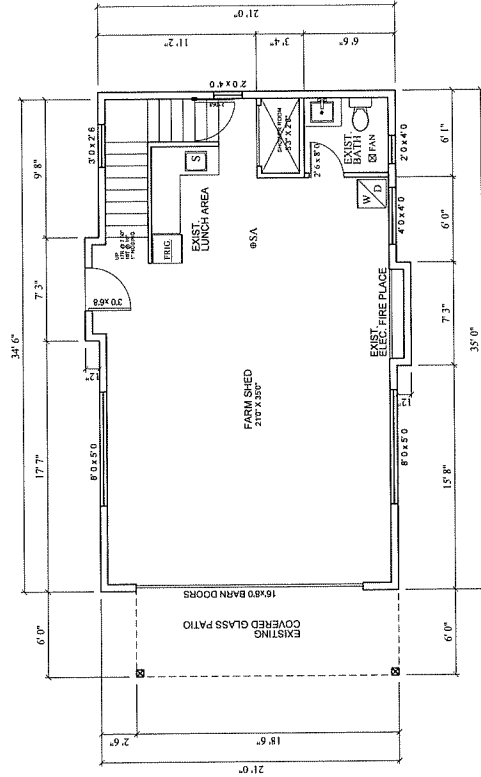
19732 - 71B Ave. Langley B.C.
PH: 1 604 539 1740 FAX: 1 604 539 1741
CELL: 1 604 728 0389 E-MAIL: navtejdhot@hotmail.com

EXISTING SITE PLAN

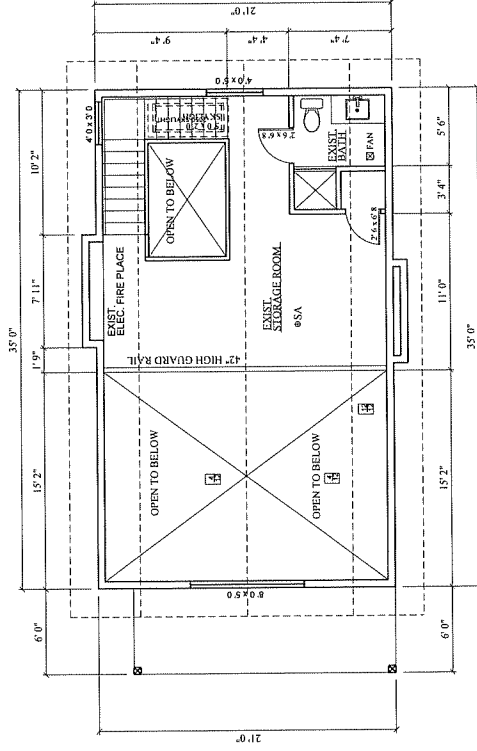
THESE PLANS CONFORM TO
B.C.B.C. 2024 EDITION

11500 - Westminste Hwy. Richmond B.C.

DESIGN BY: KAMAI	CHK. BY: NAVTEJ	SCALE: 3/32" = 1'-0" / 1/16"	Printed On: Sept 09 2025	SHEET NO. A-001	REV. A
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MAIN FLOOR PLAN
FLOOR AREA: 735.0 SQFT



UPPER FLOOR PLAN
FLOOR AREA: 735.0 SQFT

EXISTING FLOOR PLANS

Astonish Design & Detailing Ltd.
19732 - 71B Ave. Langley B.C.
PH: 1 604 539 1740 FAX: 1 604 539 1741
CELL: 1 604 728 0389 E-MAIL: naviedhot@hotmail.com

DESIGN BY: KAMAL
CHECK BY: NAVTEJ
SCALE: 1/4" = 1'-0" UNL.
DATE: Sept 09 2024
SHEET NO: A-002

TITLE: EXISTING FLOOR PLANS
ADDRESS: 11500 - Westminster Hwy, Richmond B.C.

THESE PLANS CONFORM TO
B.C.B.C. 2024 EDITION

RIGHT SIDE ELEVATION

SECTION

1. ROOF
ASPHALT SHINGLES
MEMBRANE TYPE EA/VE PROTECTION
2. 1/2" THICK POLYURETHANE INSULATION
3. 2" RIGID INSULATION @ 24" O.C R40 INSULATION
4. 2" RIGID INSULATION @ 24" O.C R40 INSULATION
5. 6 MIL. POLY VAPOUR BARRIER
6. 2" EXT WALL
HARDE PLANK
7. 1/2" EXT WALL
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HARDE PLANK

FRONT ELEVATION

EXISTING ELEVATIONS

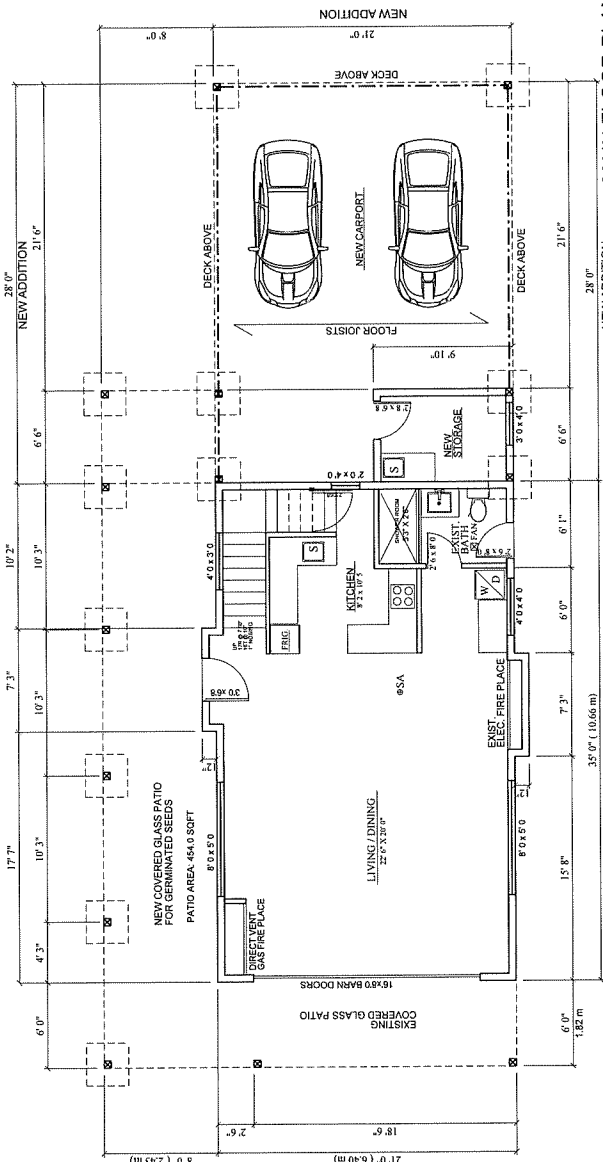
THESE PLANS CONFORM TO
B.C.B.C. 2024 EDITION

EXISTING ELEVATIONS

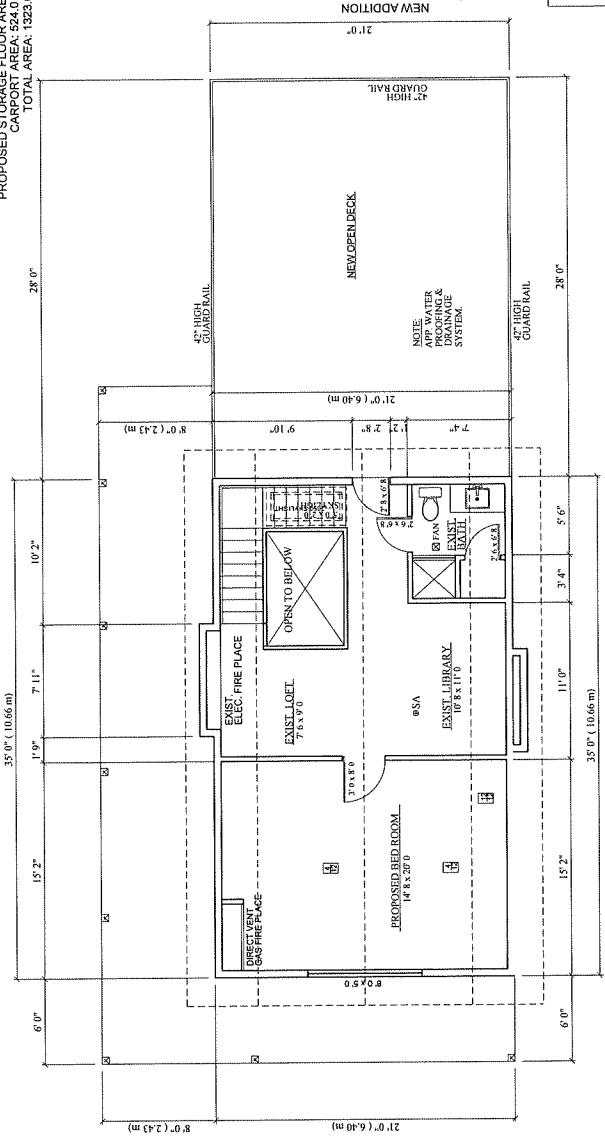
1500 - Westminster Hwy, Richmond B.C

CHK. BY: _____	SCALE: _____	Printed On: _____	SHEET NO. _____
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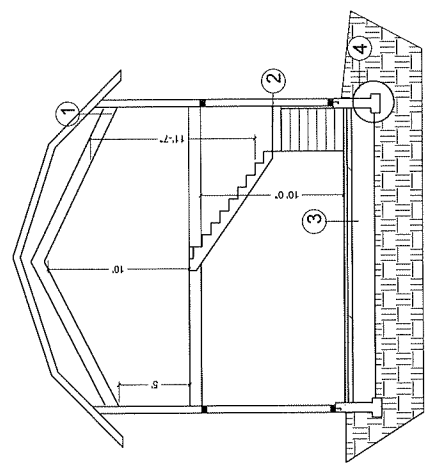
NAVIEJ	1/4" = 1'-0" U/N.	sept 09 2023	A-003
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MAIN FLOOR PLAN
EXISTING FLOOR AREA: 735.0 SQFT
PROPOSED STORAGE FLOOR AREA: 84.0 SQFT
CARPORT AREA: 824.0 SQFT
TOTAL AREA: 1323.0 SQFT



UPPER FLOOR PLAN
FLOOR AREA: 735.0 SQFT



SECTION

- 1. ROOF
ASPHALT SHINGLES
MEMBRANE TYP. EAVE PROTECTION
1/2" THICK PLYWOOD SHEATHING
6" O.C. JOISTS @ 16" O.C. R20 INSULATION
6 MIL. POLY VAPOR BARRIER
- 2. EXTERIOR WALL
HARDIE PLANK
MIN. 18MM (3/4") AIR GAP
1/2" EXTERIOR PLYWOOD SHEATHING
2X6 FRAMING @ 16" O.C. R20 INSULATION
6 MIL POLY
- 3. SLOPED FLOOR
4" CONCRETE SLAB R12 RIGID INSULATION
6 MIL POLY VAPOR BARRIER
MIN. 6" COMPACTED GRANULAR FILL
- 4. EXTERIOR FOUNDATION
DRAINAGE TIE
2 COATS ASPHALT EMULSION
5/8" DIA. ANCHOR BOLTS @ 4 O.C.
8" CONCRETE FOUNDATION WALL
35# REINFORCING STEEL @ 12" O.C.
2X8 STUDS @ 24"
1/2" GYPROC
24"X8 CONC. STRIP FOOTINGS ON
FIRM UNDISTURBED SOIL

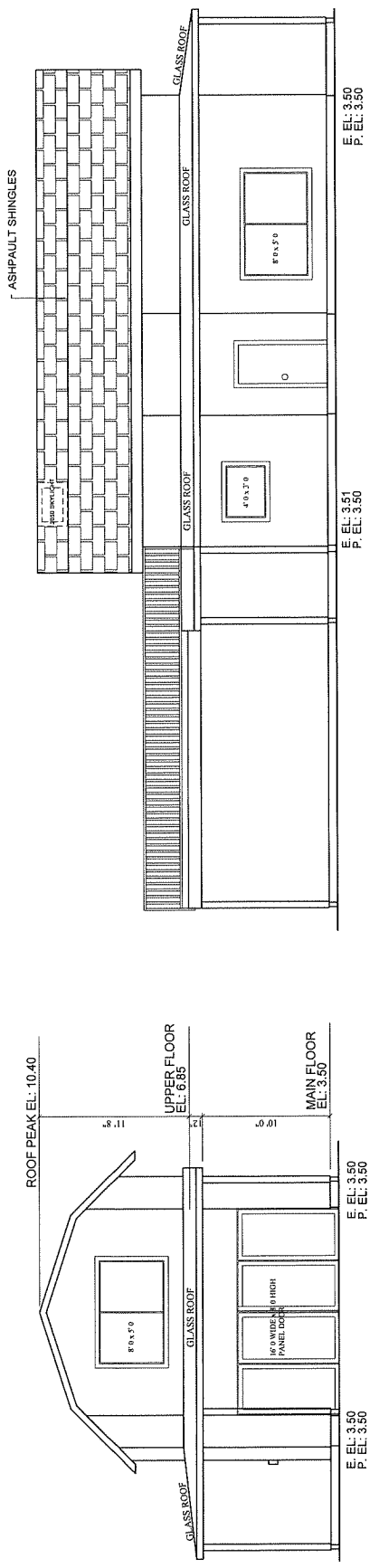
Astonish Design & Detailing Ltd.
19732 - 71B Ave. Langley B.C.
PH: 1 604 539 1740 FAX: 1 604 539 1741
CELL: 1 604 728 0389 E-MAIL: navjeth@hotmail.com

PROPOSED FLOOR PLANS

DESIGN BY: KAMAL
CHECK BY: NAVJETH
DATE: Sept 09 2024
SHEET NO: 1 OF 2
SCALE: 1/4" = 1'-0" UNL

PROJECT: 11500 - Westminster Hwy. Richmond B.C.

THESE PLANS CONFORM TO
B.C.B.C. 2024 EDITION



REAR ELEVATION

LIMITING DISTANCE = 49' 0"
EXPOSED BUILDING FACE = 531.0 S.F.
PER UNPROTECTED OPENINGS (MUSE) = 911.0 S.F.
PROPOSED UNPROTECTED OPENINGS = 52.0 S.F.

RIGHT SIDE ELEVATION

LIMITING DISTANCE = 14' 8"
EXPOSED BUILDING FACE = 598.0 S.F.
PER UNPROTECTED OPENINGS (MUSE) = 208.25 S.F.
PROPOSED UNPROTECTED OPENINGS = 88.0 S.F.

FRONT ELEVATION

LIMITING DISTANCE = 14' 8"
EXPOSED BUILDING FACE = 598.0 S.F.
PER UNPROTECTED OPENINGS (MUSE) = 208.25 S.F.
PROPOSED UNPROTECTED OPENINGS = 88.0 S.F.

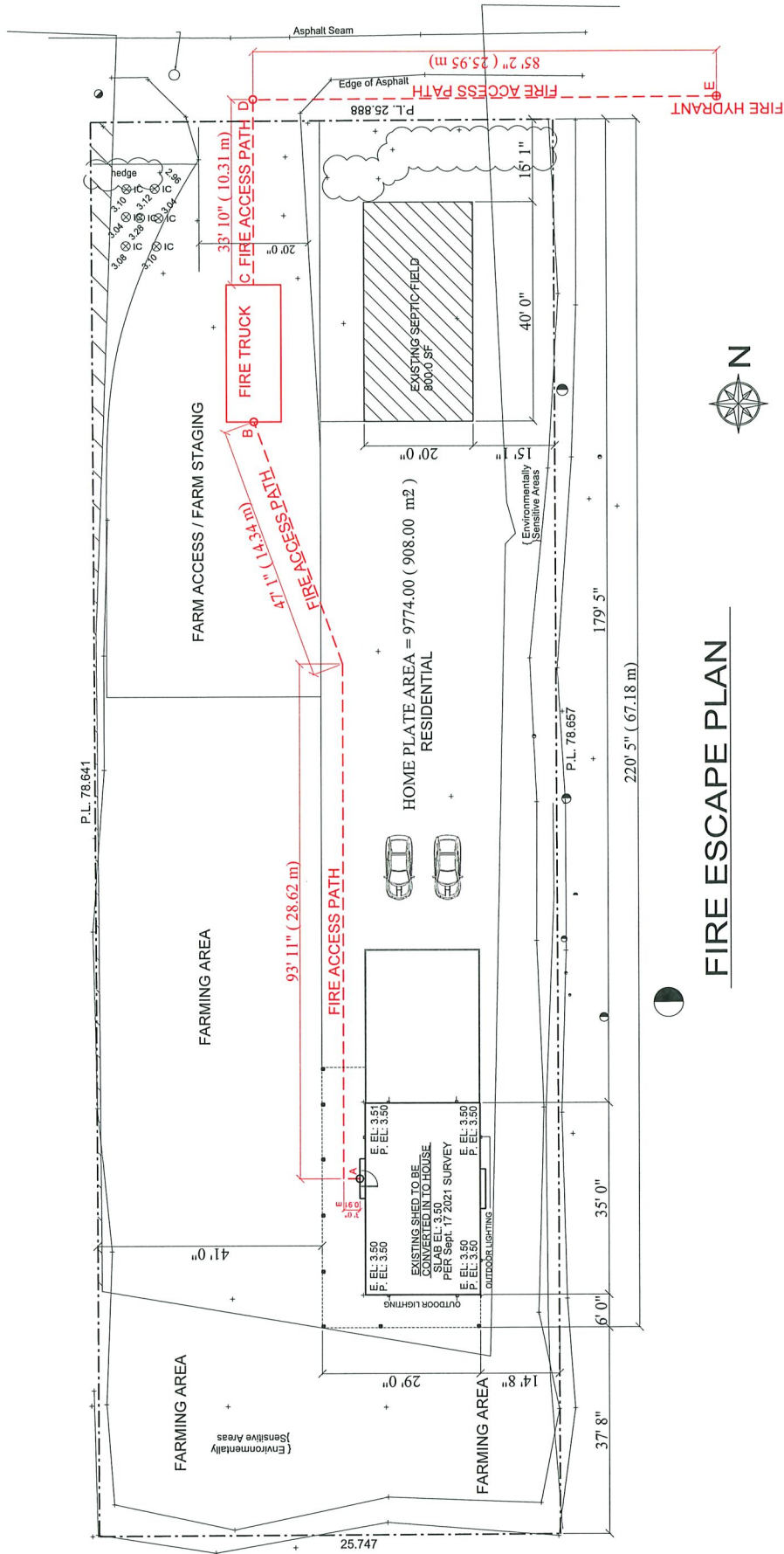
LEFT SIDE ELEVATION

LIMITING DISTANCE = 14' 8"
EXPOSED BUILDING FACE = 598.0 S.F.
PER UNPROTECTED OPENINGS (MUSE) = 208.25 S.F.
PROPOSED UNPROTECTED OPENINGS = 88.0 S.F.

Astonish Design & Detailing Ltd.
19732 - 71B Ave. Langley B.C.
PH: 1 604 539 1740 FAX: 1 604 539 1741
CELL: 1 604 728 0389 E-MAIL: navejdhot@hotmail.com

TITLE: PROPOSED ELEVATIONS & SECTION
JOB NO.: 11500 - Westminster Hwy, Richmond B.C.
DESIGN BY: KAMAL
SCALE: 1/4" = 1'-0" UN.
DATE: Sept 09 2024
SHEET NO.: A-006

THESE PLANS CONFORM TO
B.C.B.C. 2024 EDITION



FIRE ESCAPE PLAN

FIRE ESCAPE DISTANCE

A TO B = 144' 0" (43.89 m)

C TO E = 119' 0" (36.27 m)

Astonish Design & Detailing Ltd.

19732 - 71B Ave, Langley B.C.

PH: 1 604 539 1740 FAX: 1 604 539 1741

CELL: 1 604 728 0389 E-MAIL: navtej@hotmail.com

TITLE: FIRE ESCAPE PLAN

JOB ADD: 11500 - Westminster Hwy, Richmond B.C.

THESE PLANS CONFORM TO
B.C.B.C. 2024 EDITION

DESIGN BY: KANAL	CHK. BY: NAVTEJ	SCALE: NTS	PRINTED ON: Feb 25 2026	SHEET NO. A-004
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Feb 25 2026