



**Development Permit Panel  
Wednesday, May 15, 2024**

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Wayne Craig, General Manager, Planning and Development, Chair  
Cecilia Achiam, General Manager, Community Safety  
Marie Fenwick, Director, Arts, Culture and Heritage

The meeting was called to order at 3:30 p.m.

**MINUTES**

It was moved and seconded

*That the minutes of the meeting of the Development Permit Panel held on April 24, 2024 be adopted.*

**CARRIED**

**1. DEVELOPMENT PERMIT 21-945917  
(REDMS No. 7658413)**

APPLICANT: Arno Matis Architecture

PROPERTY LOCATION: 6851 and 6871 Elmbridge Way

## Development Permit Panel

### Wednesday, May 15, 2024

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#### INTENT OF PERMIT:

1. Permit the construction of 376 residential units, hotel and accompanying commercial uses in a high-rise mixed use development containing three 15 storey towers at 6851 and 6871 Elmbridge Way on a site zoned “High-Density Mixed Use (ZMU52) – Oval Village (City Centre)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - (a) reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development’s podium (Levels 3 to 6) for components of the building and residential balcony units; and
  - (b) not require a large size on-site loading space in the proposed development.

#### **Applicant’s Comments**

Arno Matis, Arno Matis Architecture, with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the proposed development, highlighting the following:

- the project consists of three 15-storey towers for hotel, residential and commercial uses;
- a total of 376 residential units are proposed, including 341 market residential units and 35 low-end-of-market (LEMR) housing units, 22 of which are two- to three-bedroom units;
- 38 Basic Universal Housing (BUH) units will be provided and 11 hotel units are proposed for hearing-impaired hotel guests;
- a total of 682 parking stalls are provided on-site, including 52 parking stalls reserved for special events use at the neighbouring Richmond Olympic Oval facility;
- four at grade public plazas are located in all four corners of the site and additional public plazas are located at mid-block;
- the existing lane between the subject development and Ora mixed-use development to the east will be widened;
- a new west road will be constructed along the west property line of the subject site;
- the architectural design of the proposed three towers was inspired by the City’s natural landscape;
- the siting of the three towers considered the existing location of neighbouring towers as well as the Richmond Olympic Oval to maximize views and minimize shadowing;
- the primary vehicle access to the parkade for residents and hotel guests is located mid-block of the new west road;

## Development Permit Panel

### Wednesday, May 15, 2024

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- a secondary vehicle access for hotel and on-site employees only is proposed off the existing lane to the east which will be widened;
- extensive wayfinding signage will be installed to minimize traffic along the lane;
- a comprehensive package of Transportation Demand Management (TDM) measures is proposed to reduce vehicle ownership in the proposed development;
- the project will comply with Step 2 of the BC Energy Step Code and will be connected to a City District Energy Utility (DEU) facility;
- extensive sustainability measures are proposed to enhance energy efficiency in the proposed development;
- accessibility routes are provided for accessible pedestrian circulation at grade and in the common outdoor amenity area on level 6;
- exclusive as well as shared indoor and outdoor amenity spaces for residents and hotel guests are provided; and
- proposed building and exterior cladding materials include, among others, glass and concrete.

Jeffrey Staates, PFS Studio, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) the overall landscape design is consistent with the river-inspired theme of the architectural design of the buildings, (ii) ground level hard and soft landscaping include the use of banding for surface paving treatment and planting around the bands, (iii) the proposed outdoor amenity area on level 6 of the project podium includes, among others, layered planting, small and medium-sized trees, seating, multi-purpose lawn, outdoor pool, and small decks overlooking the street below, (iv) a terrace is provided at the south end on level 8 of the hotel (east) building, (v) on level 9, terraces and green roof are proposed for the hotel building and the principal children's play area for the residential use is proposed to be located in the courtyard area between the two residential towers, and (vi) a series of patios with stair access and small planting strips are proposed on the rooftop of residential towers.

## **Development Permit Panel**

### **Wednesday, May 15, 2024**

---

#### **Staff Comments**

Suzanne Smith, Program Manager, Development, noted that (i) there is a Servicing Agreement associated with the project which includes, among others, frontage works, a new west road along the western edge of the site that will connect Elmbridge Way and River Drive, and widening of the existing lane to the east and related works, (ii) 52 parking stalls will be allocated to Richmond Olympic Oval for use during special events and can be used by the public at other times, (iii) an interim asphalt walkway will be installed on the south side of River Road to connect the subject site to Oval Way and provide an additional pedestrian route to access the Richmond Olympic Oval facility, (iv) the project includes a comprehensive package of Transportation Demand Management (TDM) measures secured through the rezoning process, (v) the project has been designed to comply with Step 2 of the BC Energy Step Code and will be connected to the City Centre District Energy Utility (DEU) for space and domestic hot water heating and cooling through an on-site low carbon energy system, and (vi) six on-site trees were identified for removal at the time of rezoning and 83 trees are proposed to be planted on-site which exceed the City's Official Community Plan requirements.

In addition, Ms. Smith stated that there are two proposed variances associated with the project, noting that (i) the proposed variance on the minimum road setback along River Road applies only to one small corner portion of the development's podium on levels 3 to 6 which will not impact the pedestrian streetscape at-grade and will enable the units at this corner portion to achieve adequate private outdoor amenity space, and (ii) the proposed variance to not require a large size on-site loading space in the development is supported by staff as it was determined at rezoning that a medium size loading space is sufficient for the proposed uses in the development.

In closing, Ms. Smith noted that a public art contribution in the amount of approximately \$330,000 will be provided by the applicant and a Public Art Plan is required for the project which will be brought forward for Council approval prior to the issuance of a Building Permit.

#### **Panel Discussion**

In reply to queries from the Panel, the applicant noted that (i) a digital model was used in a previous presentation of the project to illustrate the project's site layout and building massing which could be made available to the Panel, (ii) there will be a comprehensive signage strategy around the perimeter of the site that will be developed and implemented to assist in wayfinding, (iii) the adjacent Ora mixed-use development to the east of the subject site has two vehicle access points from the existing lane to their below grade and above grade parking system, and (iv) the subject development's secondary vehicle access from the lane is located directly across from Ora's below grade parkade entrance for safety and visibility reasons.

## **Development Permit Panel**

### **Wednesday, May 15, 2024**

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With regard to the query on parking and traffic management to mitigate and manage traffic in the area during construction, the Chair advised that a Construction Parking and Traffic Management Plan is required should the application move forward to Building Permit stage.

In reply to further queries from the Panel, the applicant noted that (i) the owner has engaged the services of a public art consultant and they are currently in the process of selecting an artist for the project's public art; however, no specific choice of public art and their location in the subject site have been determined, and (ii) the applicant has incorporated noise mitigation measures in the building design to comply with the City's noise mitigation standards.

In reply to further queries from the Panel, the applicant confirmed that (i) portions of the green roof on the ninth floor of the hotel building where there are no public access there is an intensive green roof component, (ii) the applicant will look into the impact of the use of banding and contrast in colours for at grade paving treatment on visually impaired persons and will address the connection of the public walkways to the pedestrian entrances of buildings, (iii) the street-fronting commercial units can be accessed from at grade parking level 1 (P1) through the pedestrian circulation zone along the ramp and out to the new west road walkway, and (iv) the parking stalls allocated to the Richmond Olympic Oval for use during special events are located in parking levels P1 and P2 which can be accessed from the new west road.

The Chair advised the applicant to review the proposed ground level paving treatment in order to assist the on-site circulation of visually impaired persons and provide an efficient and accessible connection from the sidewalks/pathways to the building entries prior to the project moving forward to Council for consideration.

#### **Correspondence**

Luo Yilei (Elaine Luo), 3600 Broadway St. ([Schedule 2](#))

Staff noted that Ms. Luo's email indicated she has no concerns and comments regarding the proposal.

#### **Gallery Comments**

None.

#### **Panel Discussion**

The Panel expressed support for the project, noting that (i) it nicely complements the Richmond Olympic Oval, (ii) it is carefully designed and well thought out, and (iii) it is a good addition to the area.

**Development Permit Panel**  
**Wednesday, May 15, 2024**

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**Panel Decision**

It was moved and seconded

*That a Development Permit be issued which would:*

1. *permit the construction of 376 residential units, hotel and accompanying commercial uses in a high-rise mixed use development containing three 15 storey towers at 6851 and 6871 Elmbridge Way on a site zoned “High-Density Mixed Use (ZMU52) – Oval Village (City Centre)”;* and
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
  - (a) *reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development’s podium (Levels 3 to 6) for components of the building and residential balcony units; and*
  - (b) *not require a large size on-site loading space in the proposed development.*

**CARRIED**

**2. DEVELOPMENT PERMIT 22-008932**

(REDMS No. 7540972)

APPLICANT: Kenneth Kim (Kenneth Kim Architecture Inc.)

PROPERTY LOCATION: 6500 Cooney Road

INTENT OF PERMIT:

Permit the construction of six townhouse units over a common parking structure at 6500 Cooney Road on a site zoned “Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)”.

**Applicant’s Comments**

Cavan KaiYue Liao, Kenneth Kim Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 3), provided background information on the proposed development, highlighting the following:

- the project includes a three-storey building with six townhouse units over a single level parking structure at grade;
- the building height is consistent with neighbouring three-storey townhouse buildings;
- a north-south lane is proposed along the east property line of the subject site that will provide access to the parkade from Cook Road;
- a total of 10 parking stalls will be provided on-site;
- the common outdoor amenity space and shared facilities are located along Cooney Road and an accessible pathway will be provided to enhance on-site accessibility;

## Development Permit Panel

### Wednesday, May 15, 2024

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- the proposed townhouse units will be located fronting Cook Road;
- the project provides one convertible unit;
- non-combustible exterior cladding materials are proposed;
- a variety of private outdoor spaces are provided for each townhouse unit; and
- the single slope roof of the building is a distinctive design feature of the project.

Fred Liu, Fred Liu and Associates Inc., with the aid of the same visual presentation, briefed the Panel on the proposed landscaping for the project, noting that (i) two significant elm trees along Cook Road will be retained and protected, (ii) adjustments to landscape design have been made to ensure the protection of the two retained trees, (iii) four conifer trees are proposed to be planted on-site as replacements trees, (iv) coniferous shrubs will be planted in between individual patios to provide privacy, (v) layered planting is proposed to provide separation between the sidewalk and the patios along Cook Road, (vi) a small playhouse and natural logs will be installed in the children's play area, (vii) a bench is provided in the west side yard that could be used by parents to supervise children in the children's play area, (viii) two street trees are proposed to be planted, and (ix) climbing vines will be planted to soften the appearance of the fence along the north property line of the subject site.

#### **Staff Comments**

Ms. Smith noted that (i) there is a Servicing Agreement associated with the project which includes, among others, utility upgrades and frontage improvements along Cooney Road and Cook Road frontages, intersection improvements, and construction of a new north-south lane along the east property line which will be widened through future development to the east and provide future connection from Cook Road to Spires Gate, (ii) all of the proposed units will incorporate aging-in-place features, (iii) the development will provide one convertible unit, (iv) the development will comply with Step 3 of the BC Energy Step Code, (v) the proposed ten parking stalls will be provided with Level 2 electric vehicle (EV) charging, (vi) six trees are proposed to be planted on-site for the three on-site trees identified for removal at rezoning and a voluntary cash-in-lieu contribution to the City's Tree Compensation Fund will be provided by the applicant for the additional four trees that the applicant had originally committed to provide at rezoning stage but could not be accommodated on-site due to installation of required utilities on-site, and (vii) significant efforts were made to retain and protect two City trees along Cook Road including adjusting the design of the Cook Road sidewalk to ensure the retention and protection of the two City trees.

## Development Permit Panel

### Wednesday, May 15, 2024

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#### Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) the proposed design of the development's parkade does not include an entrance gate as recommended by the City's Transportation Department, (ii) the applicant will consider installing a gate for the parkade entrance should it be required for security reasons; however, the significant width and height of the parkade entrance would need to be considered, (iii) Crime Prevention Through Environmental Design (CPTED) measures have been incorporated in the design of the parkade including using bright paint and installing appropriate lighting, (iv) there will be no privacy concerns for the adjacent development to the east as the proposed north-south lane along the east property line of the subject site will provide more than adequate separation between the proposed development and the adjacent development to the east which also have an existing lane adjacent to the proposed lane of the subject site, and (v) to address potential privacy concerns of the adjacent development to the north, the building height of the proposed development has been lowered to match the height of the adjacent development to the north and a five-foot fence will be installed along the north property line of the subject development.

In addition, the Chair advised that a comprehensive Construction Parking and Traffic Management Plan will be required as a condition for Building Permit issuance should the application move forward to this stage.

The Panel then directed staff to work with the applicant to investigate opportunities to install an entrance gate for the parkade to address CPTED concerns prior to the application moving forward to Council for consideration.

#### Correspondence

None.

#### Gallery Comments

None.

#### Panel Decision

It was moved and seconded

*That a Development Permit be issued which would permit the construction of six townhouse units over a common parking structure at 6500 Cooney Road on a site zoned "Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)".*

**CARRIED**



## Development Permit Panel

### Wednesday, May 15, 2024

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### 3. **DEVELOPMENT PERMIT 23-034544** (REDMS No. 7643815)

APPLICANT: Maskeen (Hamilton) Properties Corp.

PROPERTY LOCATION: 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361, 23381 Gilley Road

INTENT OF PERMIT:

Permit the construction of a mixed-use mid-rise development comprising commercial space, City-owned community amenity space and 186 residential units, including 19 low-end-of-market (LEMR) units at 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361, 23381 Gilley Road on a site zoned "Residential/Limited Commercial (ZMU53) - Neighbourhood Village Centre (Hamilton)".

#### **Applicant's Comments**

Sameh Guindi, Ionic Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 4), provided background information on the proposed development, highlighting the following:

- the project consists of one four-storey apartment building, one five-storey mixed-use building and a two-storey amenity building;
- the existing public strollway along the western edge of the site will be widened;
- the developer will design and construct a Community Policing Office with turnkey finish which will be transferred to the City;
- surface parking for visitors as well as for the two reserved parking stalls for the Community Policing Office will be provided on the podium level central courtyard;
- a green roof will be installed on top of the two-storey amenity building and an elevator will be provided to provide accessibility; and
- proposed landscaping along Smith Crescent include tiered planters to provide screening to the parkade wall.

Ben Aldaba, PMG Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) landscaping along the Smith Crescent and Garripie Avenue frontages includes tiered planters and planting at grade to help screen the parkade wall, (ii) vertical landscape screening is proposed along Gilley Road to screen the tapered retaining wall, (iii) the large central courtyard on the podium level includes multiple uses for residents including among others, open play turf and lawn areas, children's play area, seating areas, and gathering spaces, (iv) the proposed landscaping in the central courtyard has been designed to integrate with the amenity building, (v) bollard lighting is provided throughout the courtyard to enhance security and assist in wayfinding, (vi) street lighting will be installed along the three road frontages, and (vii) permeable pavers are proposed for visitor parking stalls in the central courtyard.

## **Development Permit Panel**

### **Wednesday, May 15, 2024**

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#### **Staff Comments**

Joshua Reis, Program Manager, Development, noted that (i) the project is required to provide a City-owned Community Policing Office with a turnkey level of finish, (ii) the project will provide 19 low-end-of-market (LEMR) residential units, 17 of which consist of two- to three-bedroom units, (iii) the publicly accessible areas on the site include the extension of the public plaza and the north-south public strollway along the west property line, (iv) there is a comprehensive Servicing Agreement associated with the project as a condition of rezoning adoption including, among others, the extension of Garripie Avenue, widening of Smith Crescent, the public plaza and the public strollway along the west property line, frontage improvements, and service utility connections, (v) there is a cash-in-lieu contribution towards the Hamilton Area Sanitary Pump Station, (vi) the project provides a comprehensive package of TDM measures, and (vii) staff have coordinated with the applicant who has committed to work with owners of adjacent properties, developers and the neighbouring school and provide information regarding construction traffic management plans and schedules for the proposed development.

#### **Panel Discussion**

In reply to queries from the Panel, the applicant noted that (i) the podium level central courtyard which includes, among others, the common outdoor amenity space is publicly accessible and is not fenced, (ii) the amenity building is not publicly accessible, and (iii) the amenity building provides indoor amenity spaces for all residents including, among others, activity rooms, accessible washroom, bicycle room and access to the green roof area.

In reply to a further query from the Panel, the applicant reviewed the building elevations of the proposed development, noting that (i) majority of commercial units have a large frontage and are clad with clear glazing and aluminum panels above for installation of signage, (ii) the proposed exterior cladding materials for the residential buildings include, among others, glazing, fibre cement panel, metal panel, and stone cladding materials, (iii) identical exterior cladding materials and colours are proposed for the two residential buildings, and (iv) there is variation in exterior cladding treatment for the amenity building from the two residential buildings to provide more visual interest.

In reply to a query from the Panel, staff confirmed that the public strollway and Garripie Avenue extension will be designed through the Servicing Agreement that is required as a condition of rezoning adoption.

#### **Gallery Comments**

None.

**Development Permit Panel**  
**Wednesday, May 15, 2024**

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**Correspondence**

None.

**Panel Discussion**

Staff were directed by the Panel to work with the applicant to review the design of the podium level central courtyard taking into consideration measures to ensure that the resident's amenity areas are appropriately secured from general public access.

It was moved and seconded

*That a Development Permit be issued which would permit the construction of a mixed-use mid-rise development comprising commercial space, City-owned community amenity space and 186 residential units, including 19 low-end-of-market (LEMR) units at 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361, 23381 Gilley Road on a site zoned "Residential/Limited Commercial (ZMU53) - Neighbourhood Village Centre (Hamilton)".*

**CARRIED**

**4. New Business**

None.

**5. Date of Next Meeting: May 29, 2024**

**ADJOURNMENT**

It was moved and seconded

*That the meeting adjourn (5:14 p.m.).*

**CARRIED**

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, May 15, 2024.

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Wayne Craig  
Chair

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Rustico Agawin  
Committee Clerk

# 6851 - 6871 ELMBRIDGE WAY

DP BOARD PANEL PRESENTATION

**PROJECT TIMELINE:**

**DATED AUG 16TH 2017 (UNDER PREVIOUS OWNERSHIP)**

**LANDA ACQUIRES PROJECT: JAN 2020.**

**REZONING AMENDMENT SUBMISSION: JUNE 3, 2021**

**SITE AREA: 148,887 SF (AFTER DEDICATIONS)**

**HEIGHT: 15 STOREYS (47M)**

**GROSS FLOOR AREA: 781,041 SF**

**FAR: 3.05 (INCLUDE AMENITY)**



## PUBLIC BENEFITS



**\$6 MILLION CONTRIBUTION TOWARD COMMUNITY AMENITIES**  
(LARGEST IN RICHMOND HISTORY)



**35 AFFORDABLE HOUSING UNITS**  
**38 BASIC UNIVERSAL HOUSING UNITS (ACCESSIBLE)**  
(32 AFFORDABLE AND 6 MARKET)  
**11 HEARING-IMPARED HOTEL UNITS**



**52 PARKING STALLS FOR THE OLYMPIC OVAL;**



**4 PUBLIC PLAZAS AT GRADE;**



**A NEW NORTH-WEST CONNECTOR ROAD;**



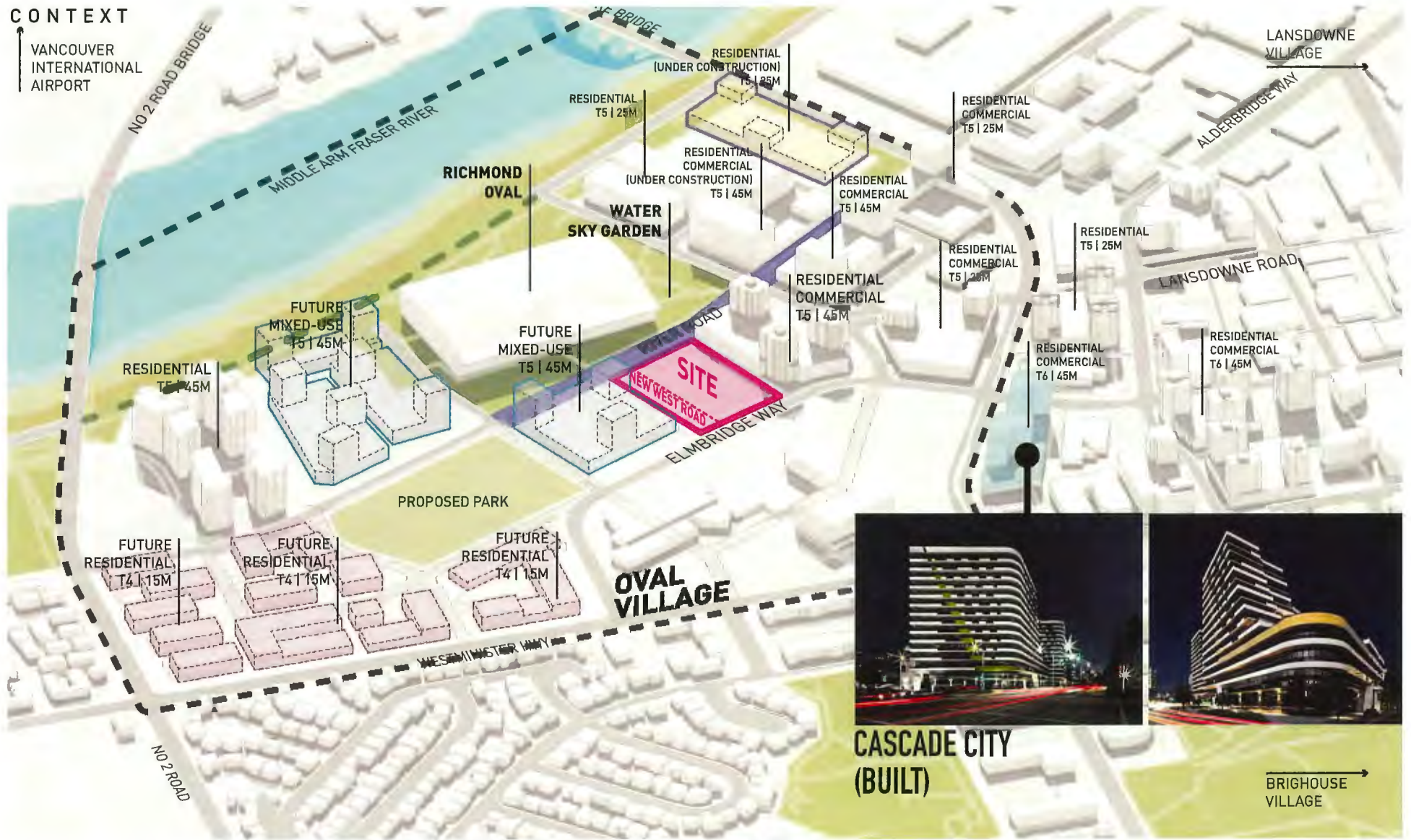
**214 NEW HOTEL ROOMS TO PROVIDE:**  
**105 HOTEL JOBS + 62 RETAIL JOBS TO BE CREATED\*;**



**SUSTAINABLY-BUILT LOW-EMISSIONS BUILDING**  
**CONNECTED TO OVAL VILLAGE DISTRICT ENERGY UTILITY;**

**CONTEXT**

VANCOUVER INTERNATIONAL AIRPORT



LANSDOWNE VILLAGE

ALDERBRIDGE WAY

RICHMOND OVAL

WATER SKY GARDEN

FUTURE MIXED-USE T5 | 45M

FUTURE MIXED-USE T5 | 45M

NEW WEST ROAD

ELMBRIDGE WAY

PROPOSED PARK

OVAL VILLAGE

WESTMINSTER WAY

NO 2 ROAD



**CASCADE CITY (BUILT)**



**BRIGHTHOUSE VILLAGE**

MODELED AS PER CITY CENTRE AREA OVAL VILLAGE SPECIAL LAND USE MAP

CONCEPT



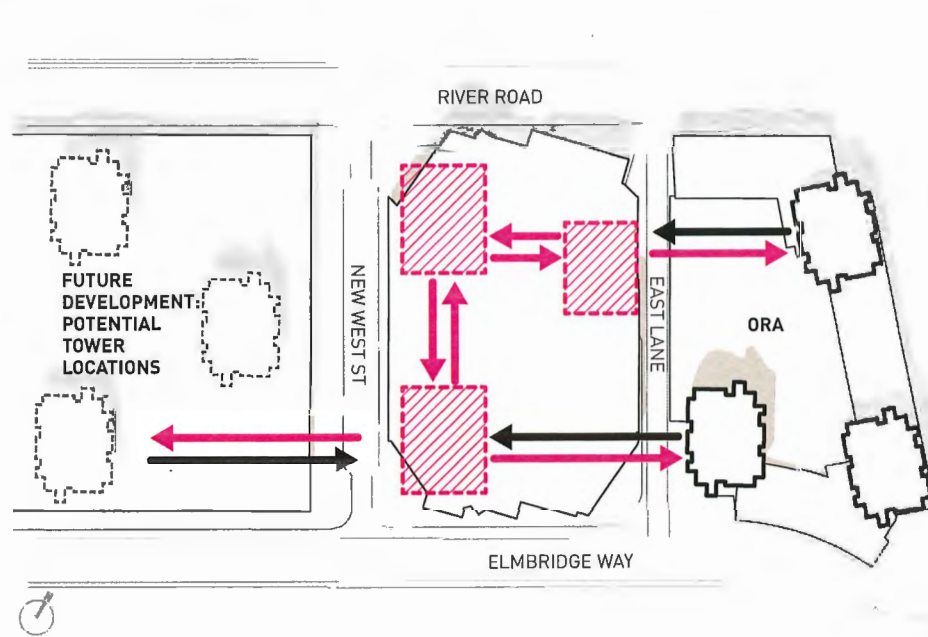
*RIPPLED SAND PATTERNS FOUND IN TIDAL FLATS OF THE RIVER DELTA*



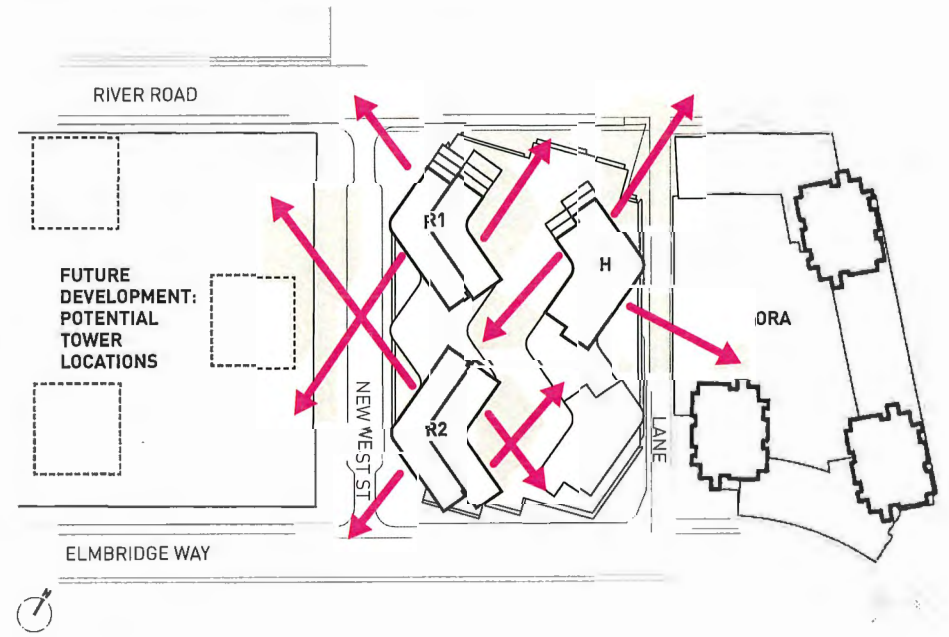
*UNDULATING TOPOGRAPHICAL FORM*

## TOWER LOCATION AND ORIENTATION

*SQUARED TOWER FORM: RESULTS IN INCREASED OVERLOOK.  
LACK OF PRIVACY FOR RESIDENTS*



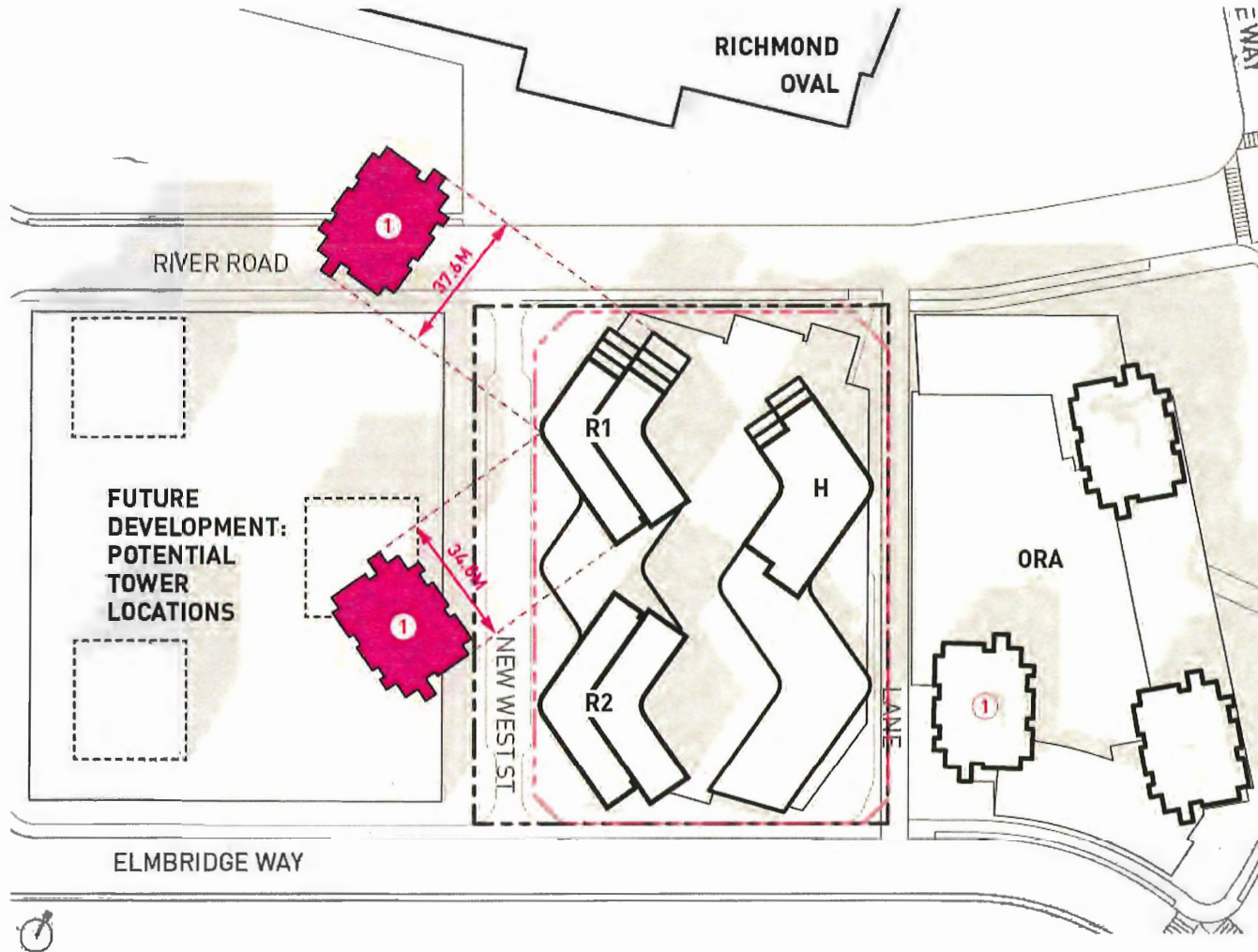
*BENT-SLAB TOWER FORM REDUCES OVERLOOK,  
INCREASED PRIVACY FOR RESIDENTS*





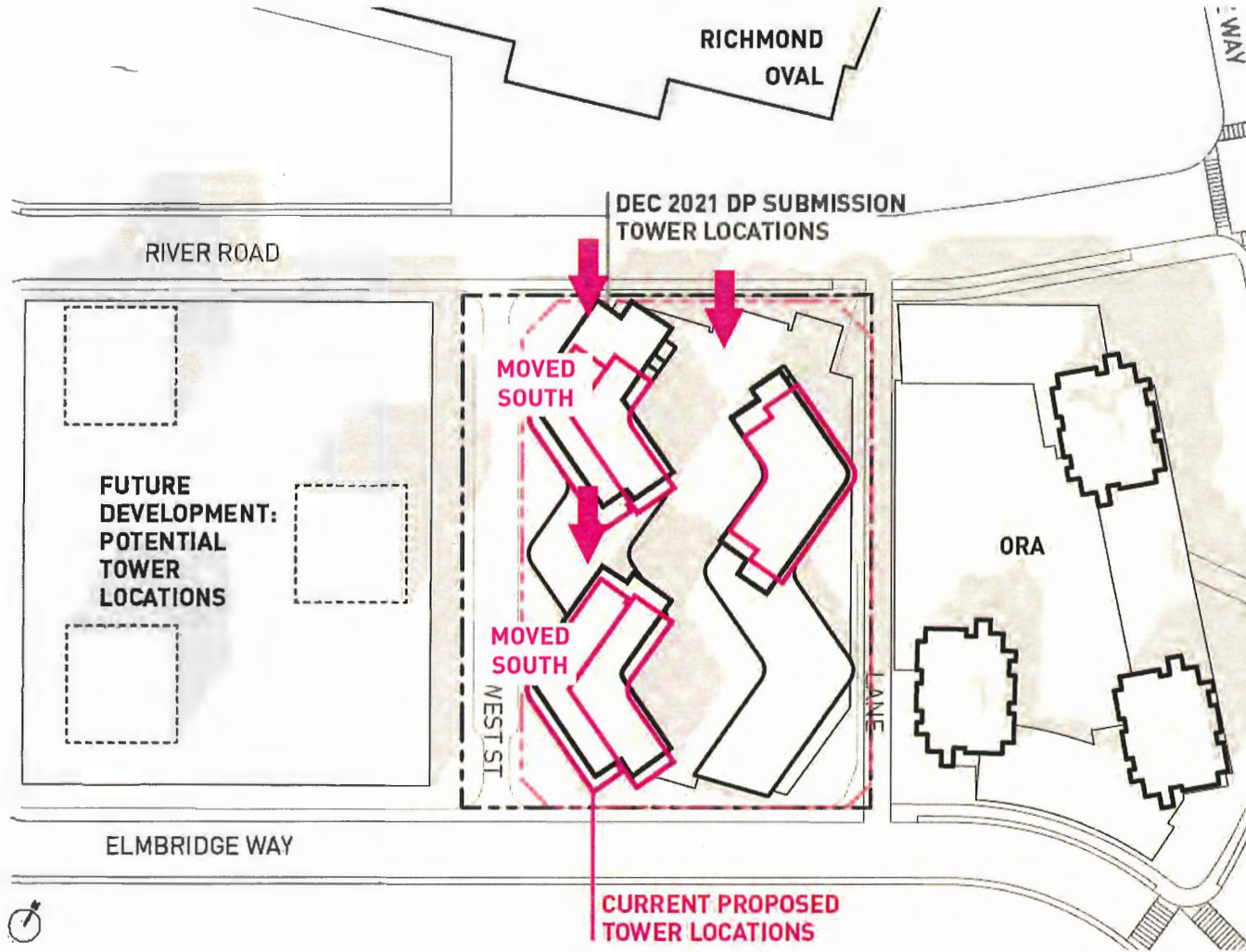
# TOWER LOCATION AND ORIENTATION

*BENT-SLAB BLOCK MASSING DIMENSIONALLY SIMILAR TO STANDARD RICHMOND FLOORPLATE:*



# TOWER LOCATION

PROPOSED TOWER LOCATIONS ARE STEPPED AND SHIFTED SOUTH TO REDUCE SHADOWING



## PROGRAM

PROGRAM	UNITS
AFFORDABLE UNITS	35 (32 BUH)
AFFORDABLE FAMILY UNITS	22 (62%)

MARKET RESIDENTIAL	341 (6 BUH)
MARKET FAMILY HOUSING	161 (42%)

TOTAL BUH UNITS	38 (MARKET AND AFFORDABLE)
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HOTEL ROOMS TOTAL	214
ACCESSIBLE HOTEL ROOMS	6
HEARING IMPAIRED ROOMS	11

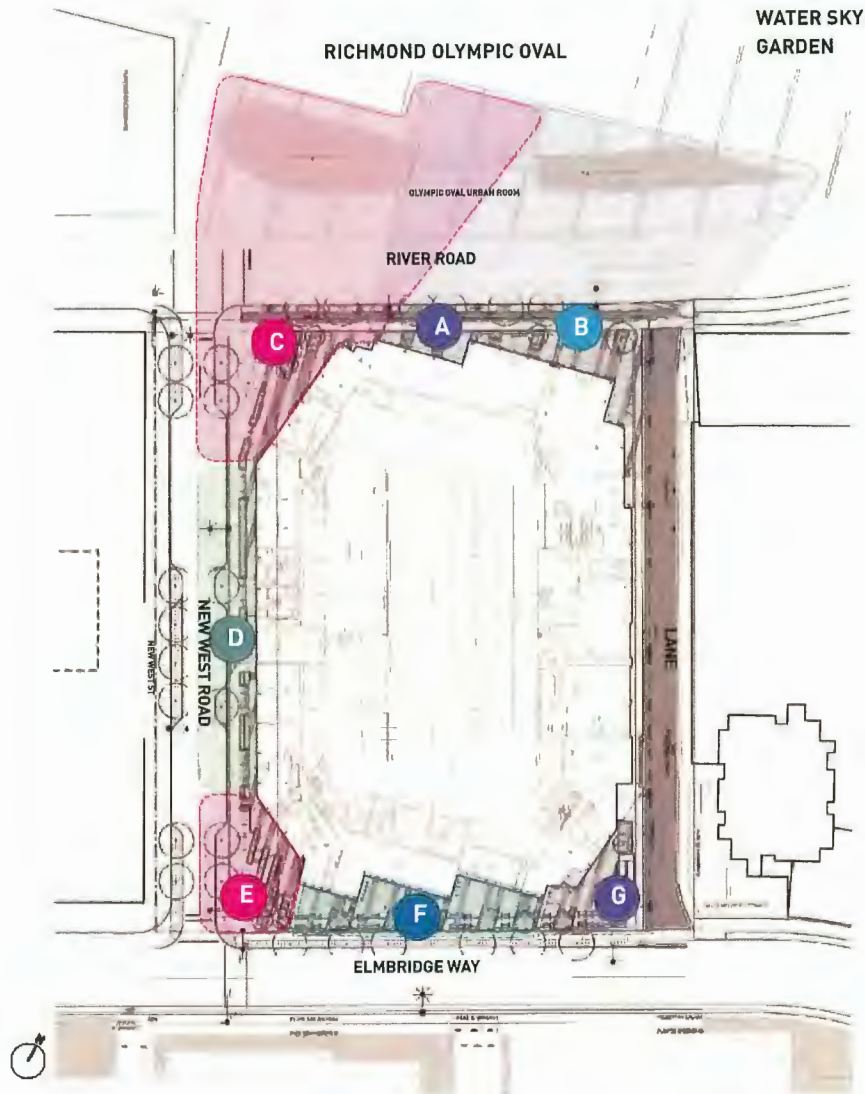
PARKING	STALLS
RESIDENTIAL (INCLUDES AH)	350
OVAL	52
MIXED (CRU/OFFICE/HOTEL/RESI VISITOR)	273
CAR SHARE/CARPOOL	7
TOTAL CAR STALLS	682
TOTAL BIKE PARKING	782 (INCL. SHORT-TERM BIKE PARKING)
LOADING	6 SM, 5 MID (INCL. 1 FOR HOTEL SHUTTLE BUS), 1 LARGE

AREAS:	SF:
COMMERCIAL	15,538 SF
HOTEL	139,573 SF
AFFORDABLE HOUSING	29,784 SF
RESIDENTIAL	291,625 SF
RES AMENITY	8,105 SF



# PUBLIC PLAZA

PROJECT FEATURES PLAZAS RANGING IN SIZE FROM 2350-4200 SQFT



**A** HOTEL-CAFE/RESTAURANT + URBAN ROOM



**B** NORTH 'LIGHT' PLAZA



**C** WINTER SPORTS LEGACY PLAZA



**D** SMALL BUSINESS RETAIL PROMENADE



**E** BOTANICAL PLAZA



**F** SUN-ORIENTED SOUTHERN WALKWAY & BOUTIQUE RETAIL EDGE



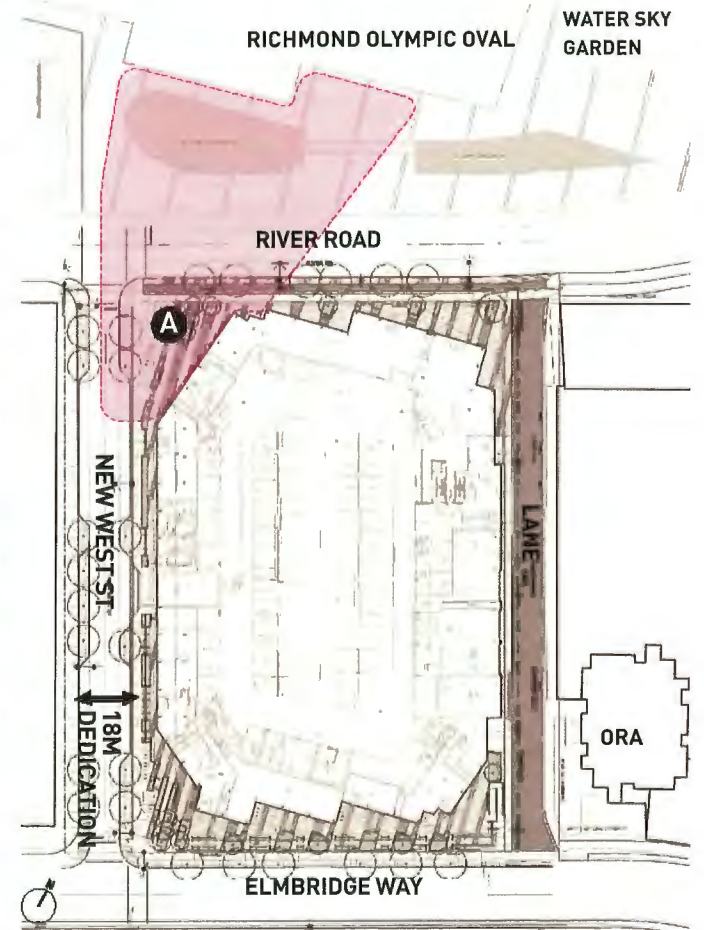
**G** SUN-ORIENTED PLAZA



# PUBLIC PLAZAS



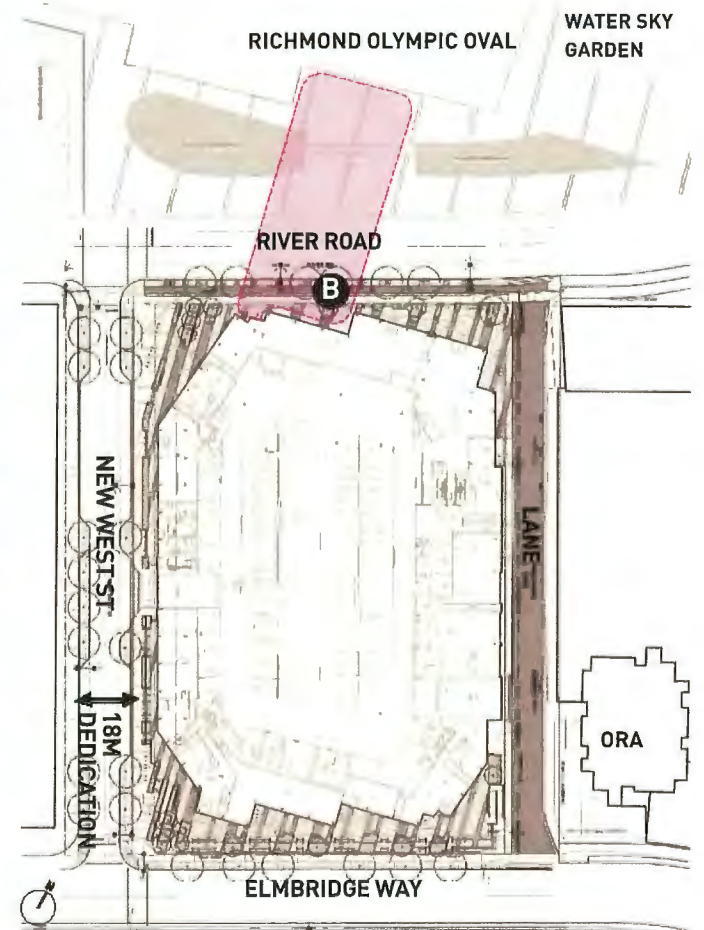
**A** WINTER SPORTS LEGACY PLAZA



# PUBLIC PLAZAS



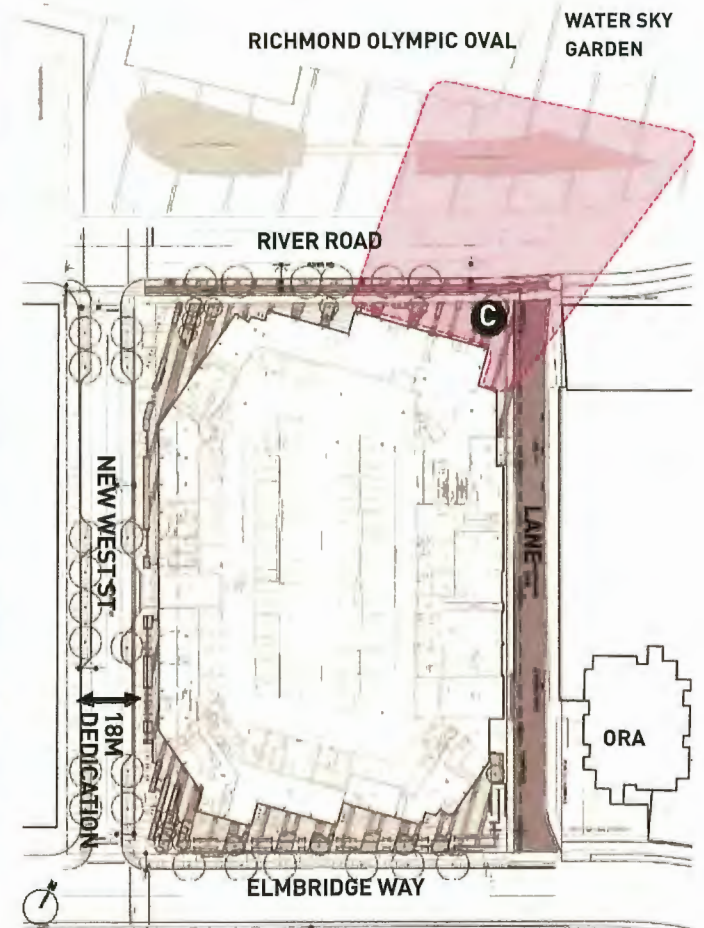
**B** HOTEL-CAFE/RESTAURANT + URBAN ROOM



# PUBLIC PLAZAS



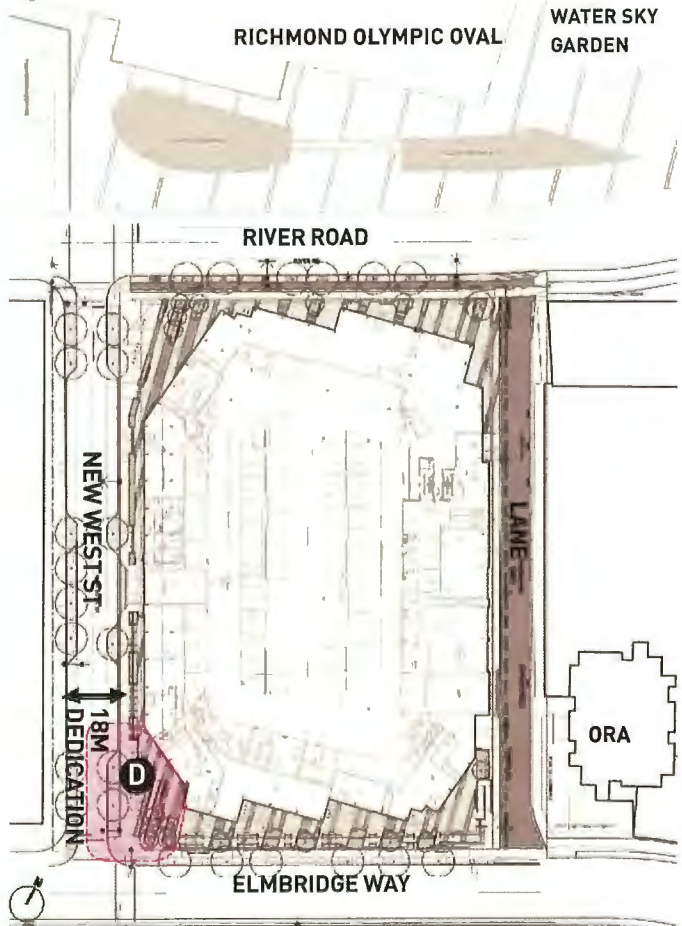
**C** NORTH 'LIGHT' PLAZA



PUBLIC PLAZAS



**D** BOTANICAL PLAZA

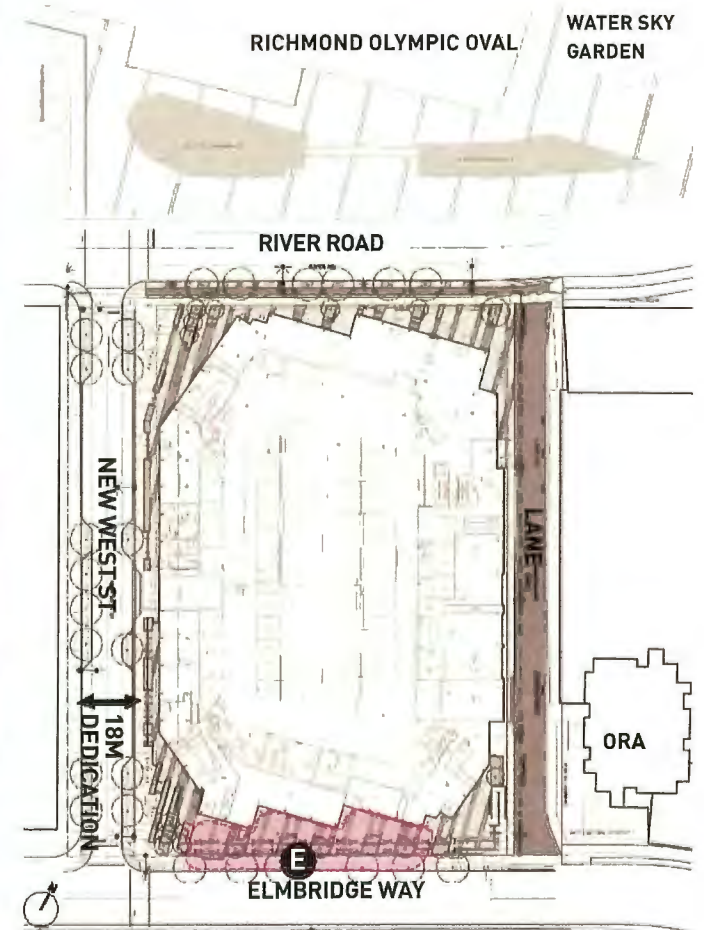




## PUBLIC PLAZAS



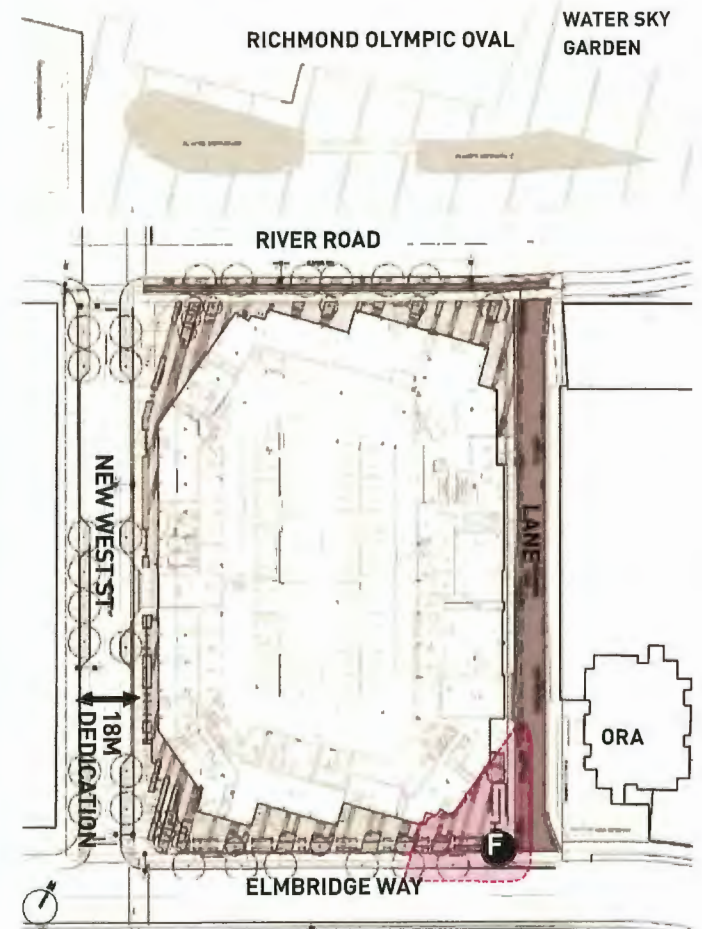
**E** SUN-ORIENTED SOUTHERN WALKWAY & BOUTIQUE RETAIL EDGE



# PUBLIC PLAZAS



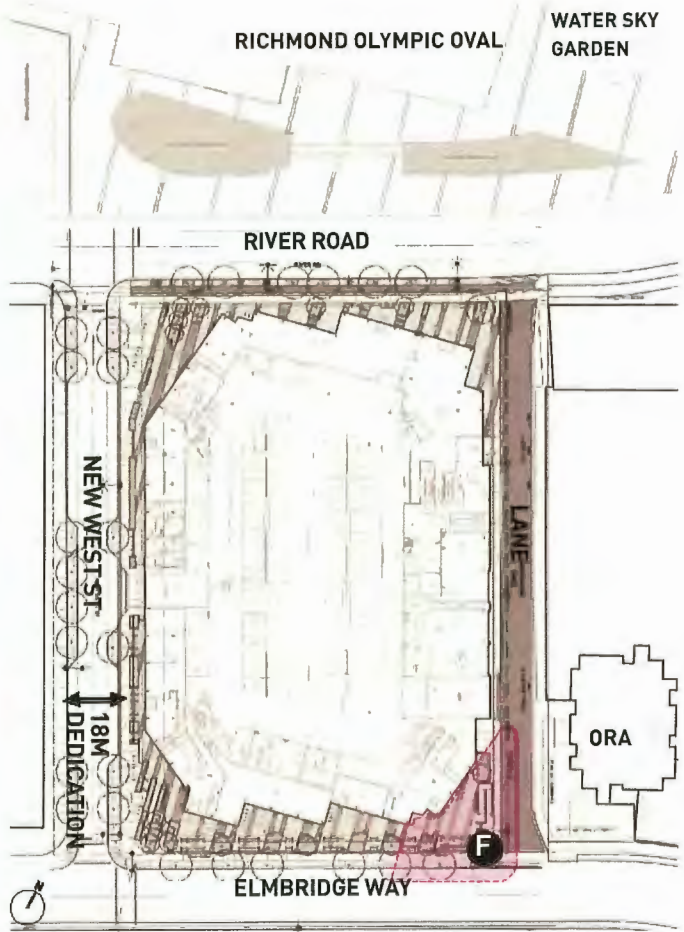
**F** ENTRY PLAZA



PUBLIC PLAZAS



**F** ENTRY PLAZA



VEHICLE ACCESS

**PRIMARY VEHICLE ACCESS**  
NEW WEST RD. (ALL VEHICLES)

ELMBRIDGE WAY

RESIDENTIAL  
TOWER 1

NEW WEST ROAD

RESIDENTIAL  
TOWER 2

HOTEL

**SECONDARY VEHICLE ACCESS**  
LANE (HOTEL/ON-SITE EMPLOYEE ONLY)

RIVER ROAD

LANE

ORA

OLYMPIC OVAL



**OUTREACH TIMELINE**

**THE TEAM HAS WORKED EXTENSIVELY WITH THE NEIGHBOURHOOD TO IMPROVE VEHICLE ACCESS**

<b>DEC 6, 2022</b>	<b>MEETING #1 WITH ORA STRATA COUNCIL</b>
<b>DEC 8, 2022</b>	<b>CANVASS OF BUSINESSES ADJACENT TO THE SITE</b>
<b>FEB 22, 2023</b>	<b>MEETING #2 WITH ORA STRATA COUNCIL</b>
<b>FEB 24, 2023</b>	<b>MEETING WITH T&amp;T MANAGEMENT TEAM</b>
<b>MARCH 20, 2023</b>	<b>CANVASS OF ORA COMMERCIAL TENANTS</b>
<b>MARCH 29, 2023</b>	<b>FOLLOW UP LETTER SENT TO ORA STRATA COUNCIL VIA THE PROPERTY MANAGER SUMMARIZING PROPOSED REDESIGN OF THE LANE</b>

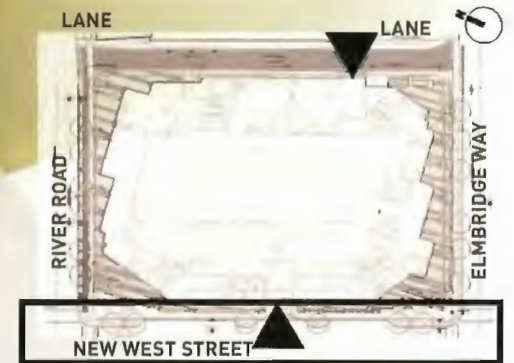
PRIMARY VEHICLE ACCESS



## PRIMARY VEHICLE ACCESS

NEW WEST RD.

- MAIN ACCESS FOR ALL VEHICLES
- GATED WITH INTERCOM
- GATE TO REMAIN OPEN DURING REGULAR BUSINESS HOURS FOR COMMERCIAL USE
- INTERCOM SYSTEM TO BE AVAILABLE FOR NON-RESIDENTIAL USERS WHEN GATE IS CLOSED

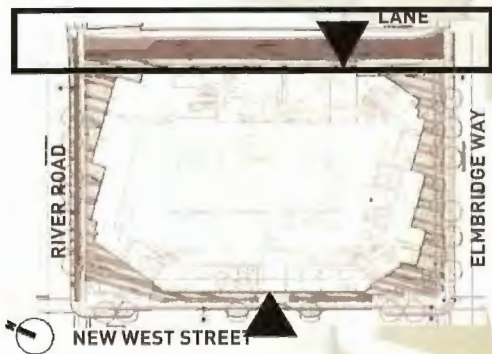


## SECONDARY VEHICLE ACCESS

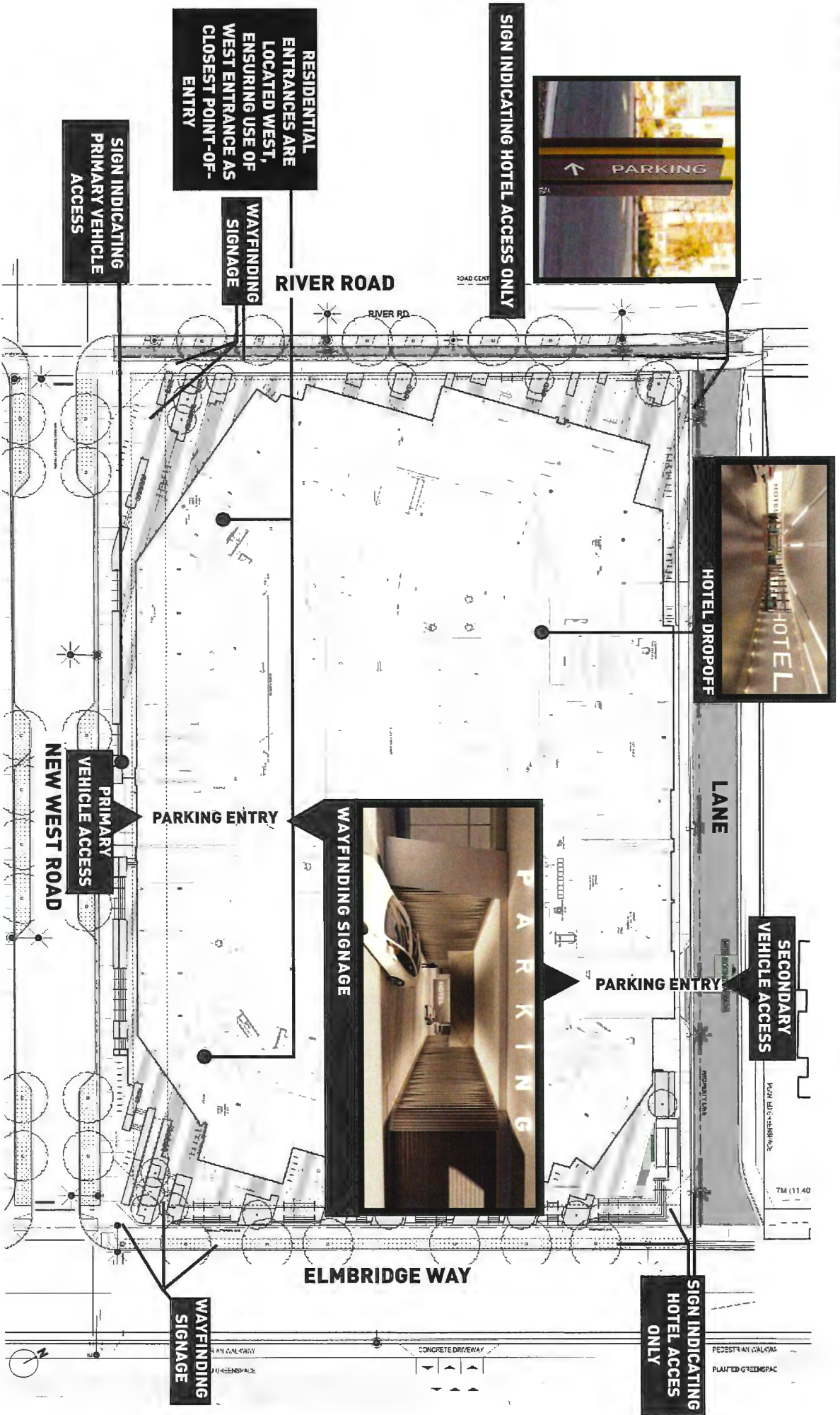
# SECONDARY VEHICLE ACCESS LANE

## SIGNIFICANT IMPROVEMENTS MADE TO REDUCE LANE TRAFFIC

- HOTEL/ON-SITE EMPLOYEE USE ONLY
- REGULATED THROUGH USE OF FOB
- SECURITY GATE TO BE ADDED
- LANE WILL BE WIDENED
- SIDEWALK PROVIDED ALONG LANE **DANGER**
- WAYFINDING SIGNAGE TO BE ADDED
- HOTEL DROP-OFF TO BE MOVED FROM LANE TO INSIDE PARKADE



WAYFINDING





## TDM MEASURES

### TDM MEASURES TO REDUCE VEHICLE OWNERSHIP:



**CAR SHARE VEHICLES AND STALLS**



**CAR POOLING STALLS**



**25% ADDITIONAL LONG-TERM BIKE PARKING,  
AND 5% SHORT-TERM BIKE PARKING**



**2-ZONE TRANSIT PASS SUBSIDY**



**END-OF-TRIP FACILITIES**



**ELECTRICAL OUTLET FOR LONG TERM CLASS A BIKE PARKING**



**BICYCLE MAINTENANCE AND REPAIR STATION**

## SUSTAINABILITY



**Connection to Oval Village District Energy Utility (OVDEU)**



**Sustainability-Built Low Emissions building**

*(meeting Step 2 of BC Energy Step Code referenced in BC Building Code 2018)*



**782 Bike Stalls**



**Addition of 26 off-site trees and 93 on-site trees**



**Intensively landscaped podium roof to reduce runoff and store water**



**Passive daylight control through balcony frame expression**

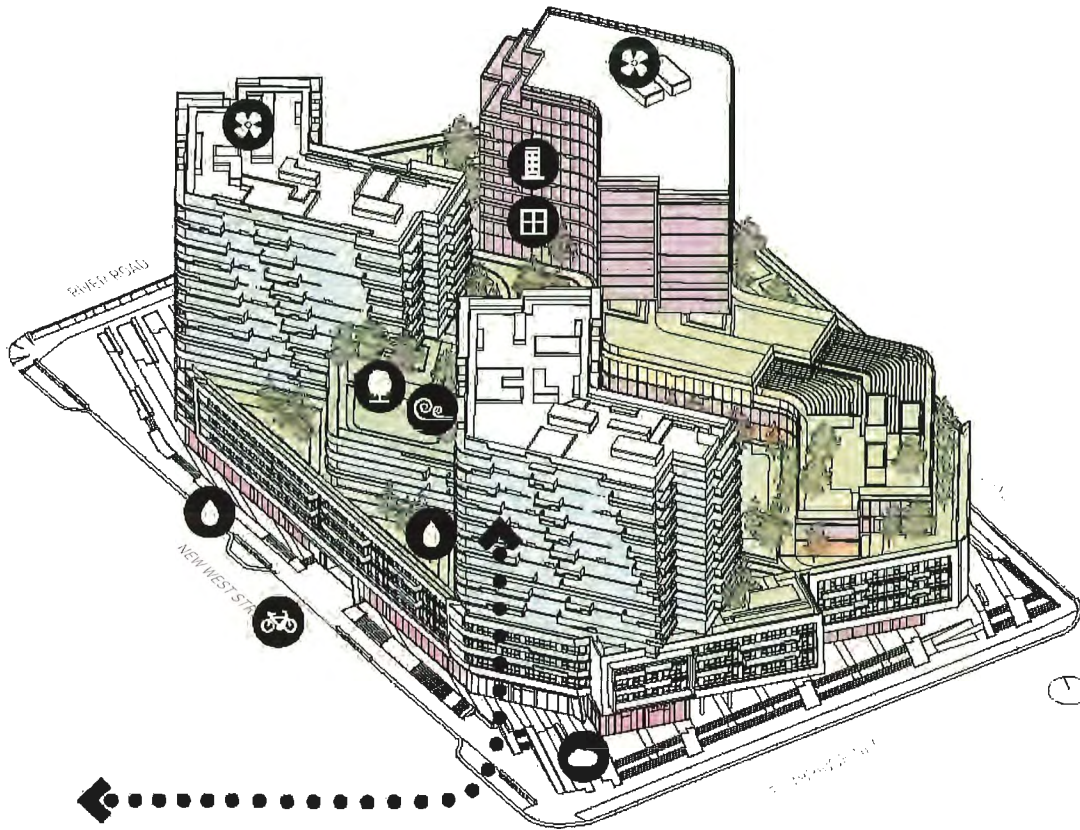



**Use of green concrete resulting in reduced embodied emissions**



# SUSTAINABILITY

*PROJECT COMPLIES WITH STEP 2 OF BC ENERGY STEP CODE REFERENCED IN BC BUILDING CODE 2018 VIA THE LOW CARBON BUILDING ENERGY SYSTEMS COMPLIANCE PATHWAY.*

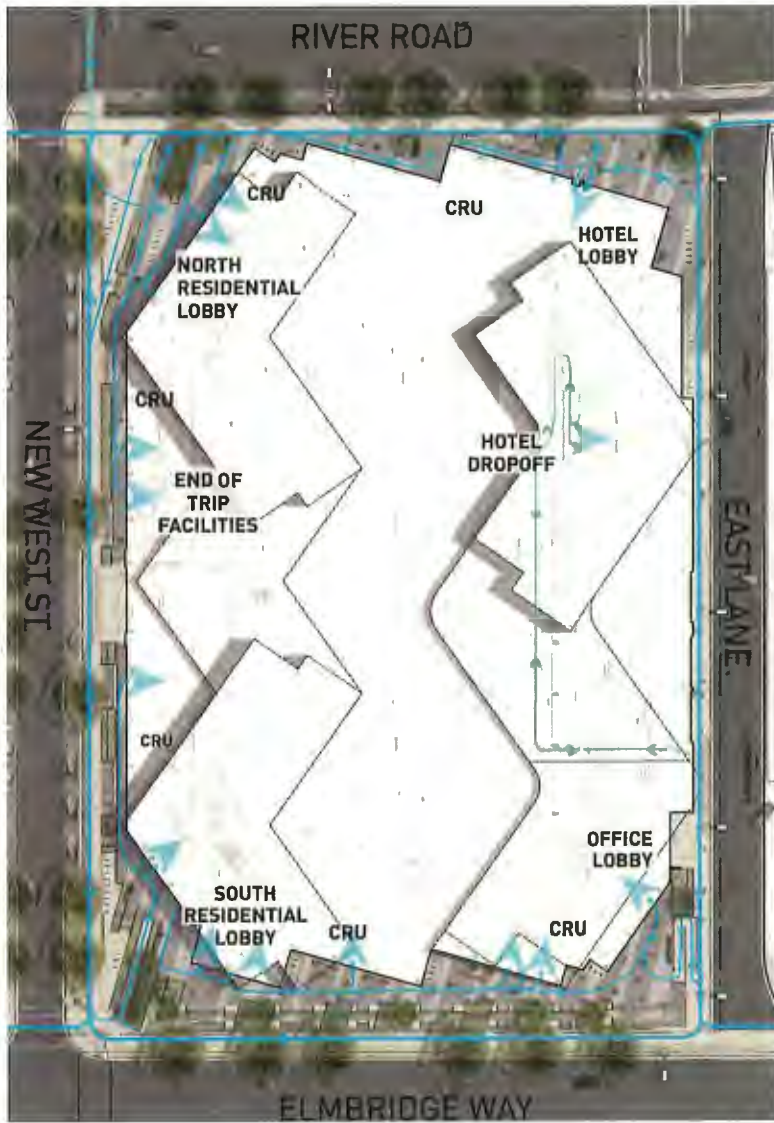


 CONNECTION TO OVAL VILLAGE DISTRICT ENERGY UTILITY (OVDEU);

-  HIGH PERFORMANCE BUILDING ENVELOPE
-  OPTIMIZED GLAZING PLACEMENT
-  HYDRONIC FAN COIL UNITS WITH EC MOTORS
-  RAINWATER MANAGEMENT VIA ROOF LANDSCAPED PODIUM ROOF/AT GRADE
-  REDUCED HEAT ISLAND EFFECT
-  PASSIVE SHADING
-  GREENING OF SITE
-  ADDITIONAL BIKE PARKING  
REQUIRED: 769  
PROVIDED: 782

# ACCESSIBILITY

ACCESSIBILITY ROUTES - AT GRADE



ACCESSIBILITY ROUTES - AMENITY SPACES AT L6



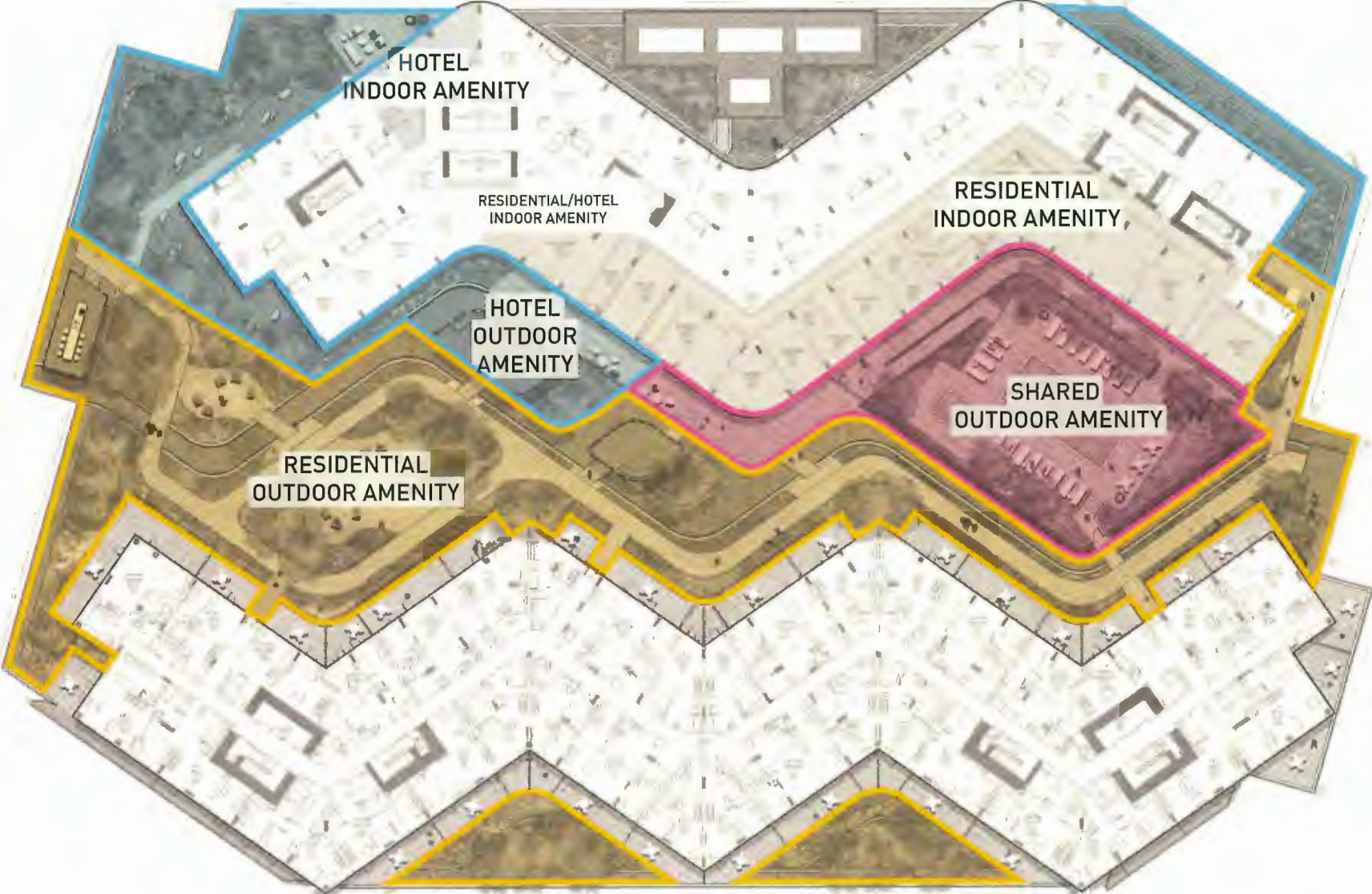
**A M E N I T Y**

**RESIDENTIAL AMENITY SPACE REQUIREMENT**

	<b>NUMBER OF UNITS</b>	<b>AREA REQUIRED</b>	<b>AREA PROPOSED</b>
<b>RESIDENTIAL INDOOR AMENITY SPACE</b>	<b>376</b> <i>(341 MARKET + 35 AFFORDABLE)</i>	<b>752 SQM</b> <i>(25QM PER UNIT)</i>	<b>753 SQM</b>
<b>RESIDENTIAL OUTDOOR AMENITY SPACE</b>	<b>376</b> <i>(341 MARKET + 35 AFFORDABLE)</i>	<b>2256 SQM</b> <i>(6SQM PER UNIT)</i>	<b>3139 SQM</b> <i>(2039 SQM L6 RESIDENTIAL + 649 SQM L6 SHARED + 451 SQM L9 RESIDENTIAL)</i>

PER CITY CENTRE AREA PLAN 3-32, 3.1.8 MULTIPLE-FAMILY B. AMENITY SPACE: • "NOTWITHSTANDING THE ABOVE PROVISIONS, IN THE CASE OF LARGE PROJECTS (TYPICALLY EXCEEDING 400 DWELLING UNITS), THE MINIMUM AMENITY SPACE MAY BE REDUCED, PROVIDED THAT THE DEVELOPMENT INCLUDES ONE OR MORE SPECIAL RECREATIONAL FACILITIES, TOGETHER WITH MULTI-PURPOSE SPACE, TO THE SATISFACTION OF THE CITY;"

AMENITY: LEVEL 6



AMENITY: LEVEL 9



## MATERIALS & WEST ELEVATION



### PODIUM COMMERCIAL



- A** ALUMINUM STOREFRONT GLAZING SYSTEM. COLOUR: CHARCOAL GREY FRAME
- C** GLAZED SHADOW BOX SPANDREL. COLOUR: LIGHT GREY



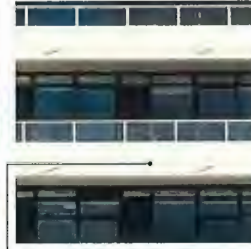
- 6** PAINTED CONCRETE (ARCHITECTURAL FINISH) COLOUR: WHITE



- 1** ALUMINUM PERFORATED SCREEN



- B** WINDOW WALL GLAZING SYSTEM. CHARCOAL GREY FRAME
- D** GLAZED SHADOW BOX SPANDREL. COLOUR: LIGHT & CHARCOAL GREY



- 6** PAINTED CONCRETE (ARCHITECTURAL FINISH) COLOUR: WHITE



- 1** ALUMINUM GLASS GUARD. FRAME COLOUR: CHARCOAL GREY

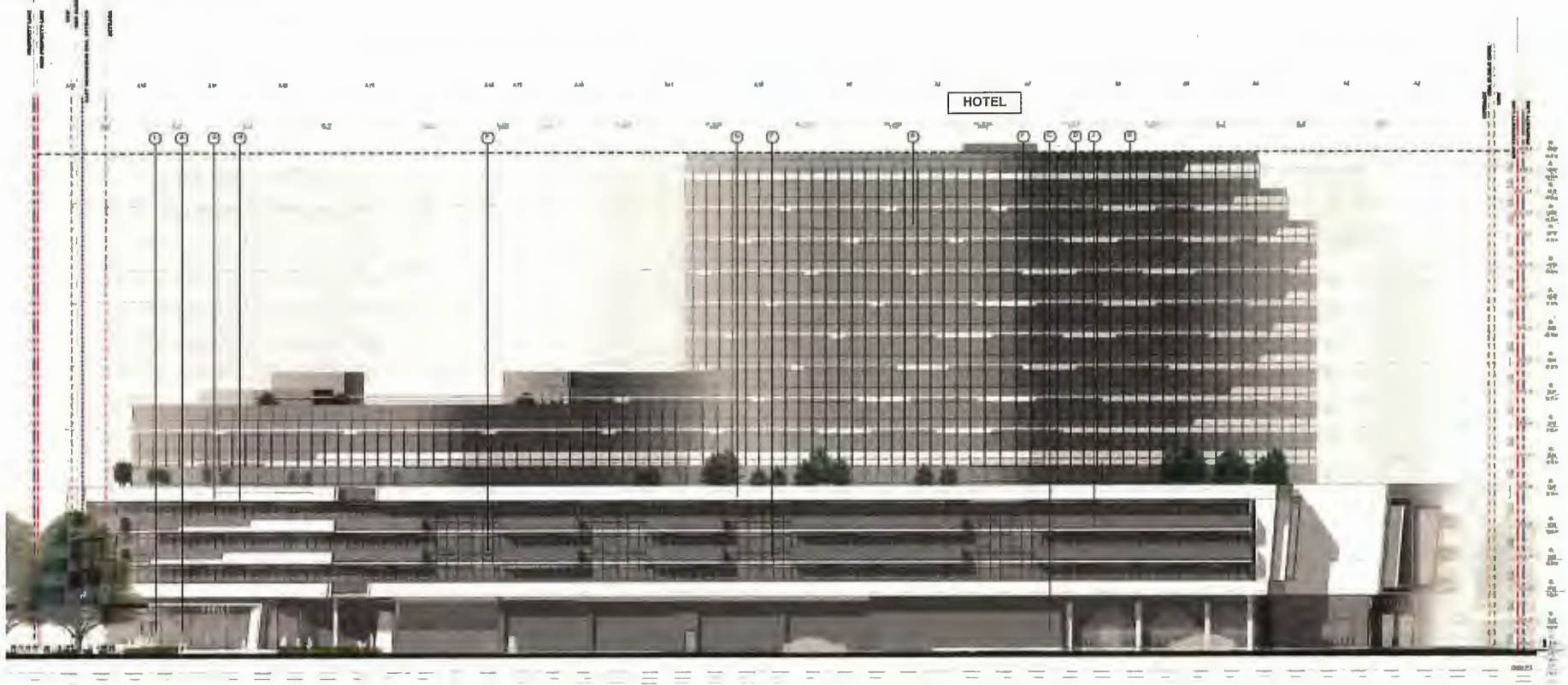


- 5** FULL HEIGHT FROSTED GLASS PRIVACY SCREEN

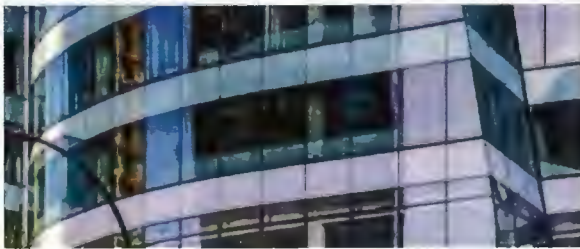
### RESIDENTIAL TOWERS & PODIUM RESIDENTIAL



## MATERIALS & EAST ELEVATION



*HOTEL TOWER*



**1** 4-SSG CURTAIN WALL FRAME. COLOUR: CHARCOAL GREY

*CASE STUDY - CASCADE CITY*



# LANDSCAPE: GROUND LEVEL



LANDSCAPE: GROUND LEVEL PRECEDENT IMAGES



FEATURE UNIT PAVING WITH BANDS



PLANTING WITH TREES AND EDGE SEATING



MOVABLE FURNITURE AT CRU PATIOS



TERRACED PLANTING



PUBLIC ART OPPORTUNITIES



LANDSCAPE: LEVEL 6 PLAN



## LANDSCAPE: LEVEL 6 PRECEDENT IMAGES



STEPPING STONE PATH



LANDSCAPED ISLAND



'RIVER' AS DRY CREEK



MEADOW PLANTING



LAWN



OUTDOOR FITNESS

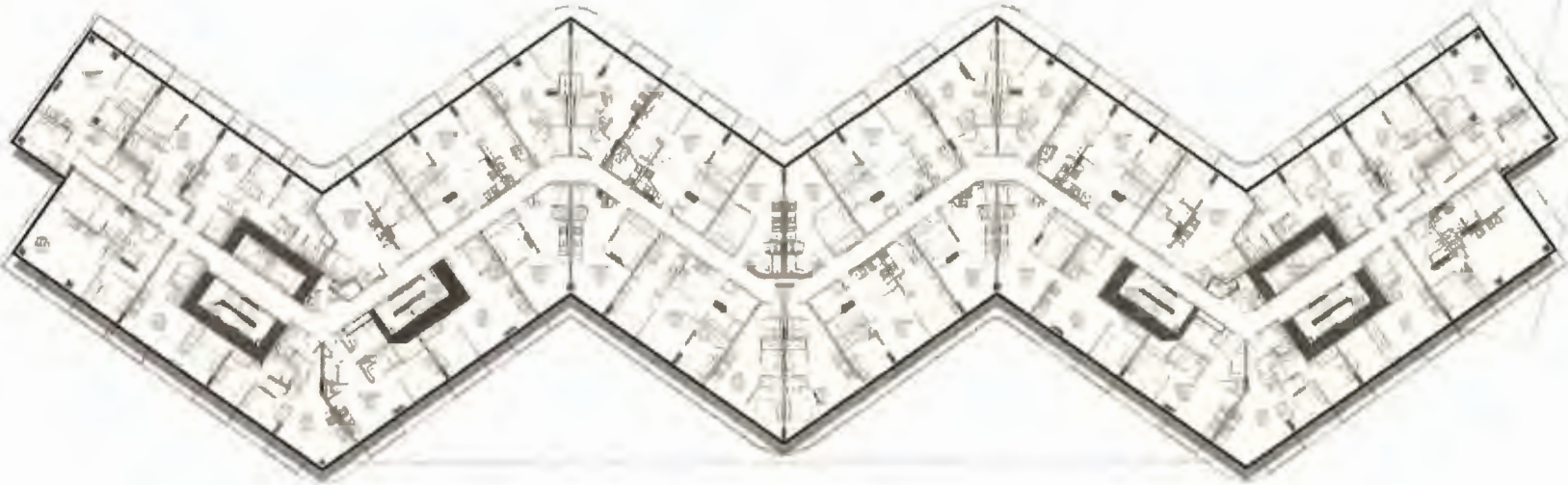


LANDSCAPE STRUCTURE



POOL DECK

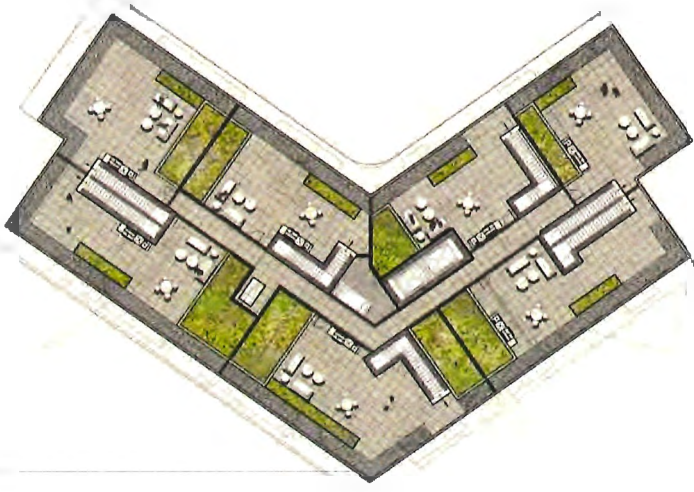
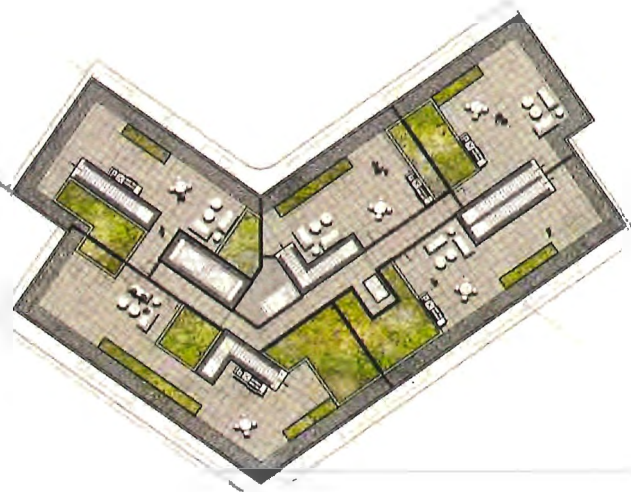
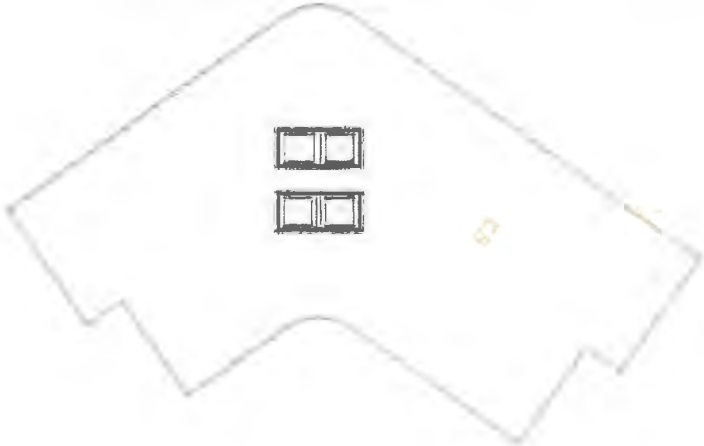
LANDSCAPE: LEVEL 8 PLAN



LANDSCAPE: LEVEL 9 PLAN



LANDSCAPE: ROOF TOP PLAN





LANDSCAPE: LEVEL 9 AND ROOF PRECEDENT IMAGES



HOTEL CRU TERRACE



TOPOGRAPHY PLAY

PLAY STRUCTURE



PENTHOUSE ROOF TERRACE

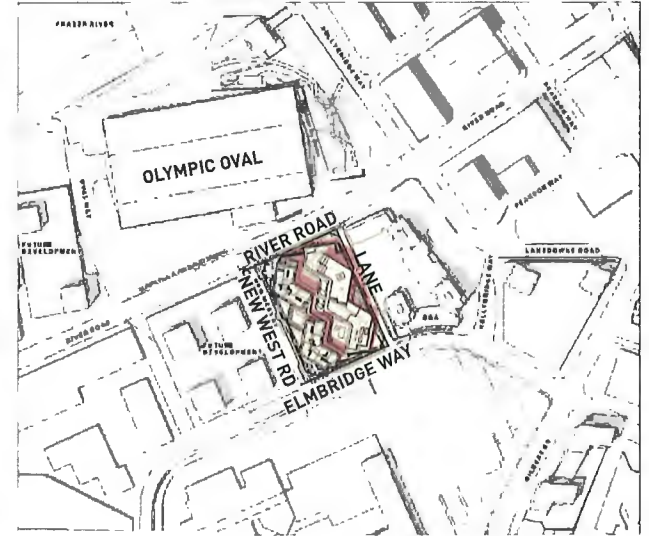
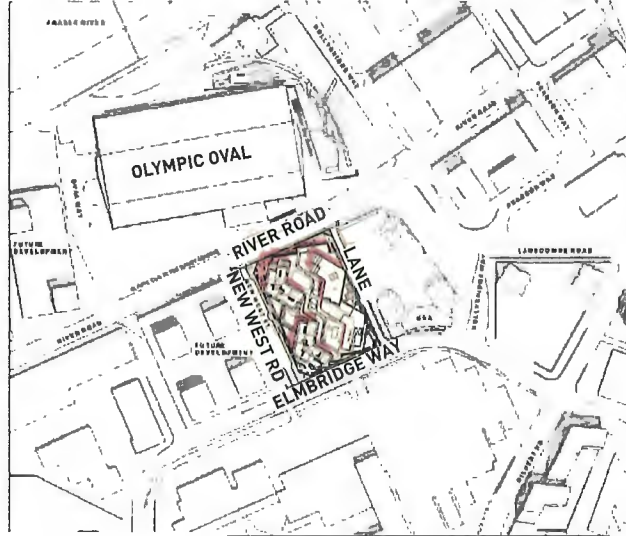
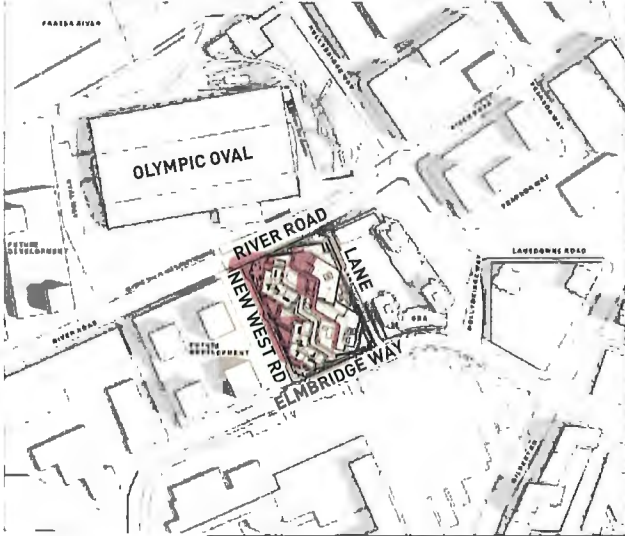
# SHADOW STUDY

10 AM

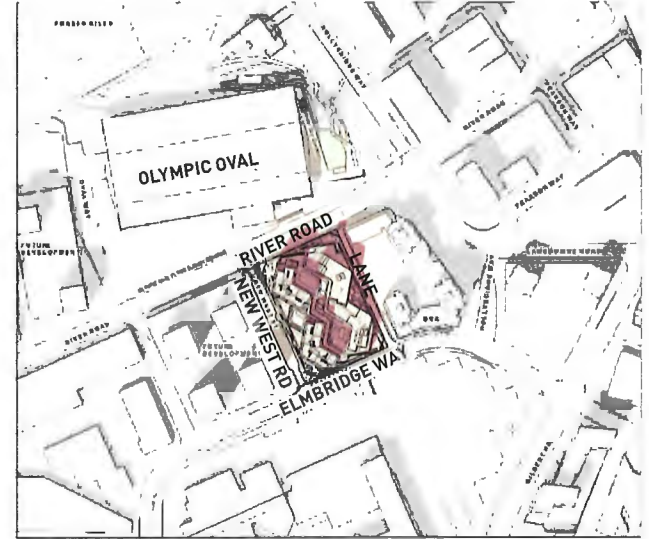
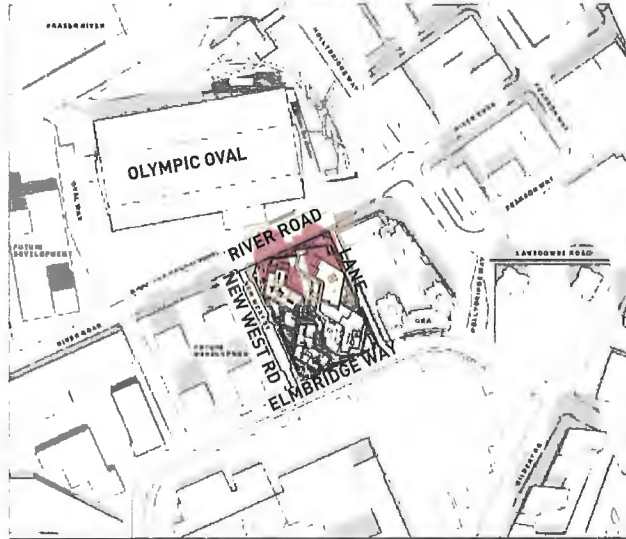
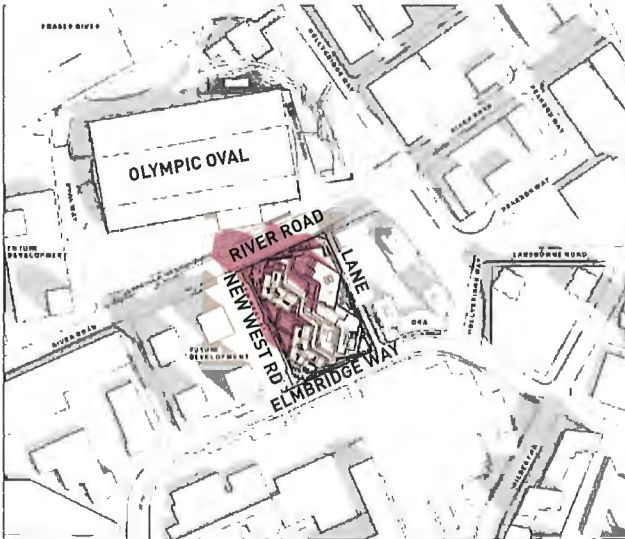
12 PM

2 PM

SUMMER



FALL



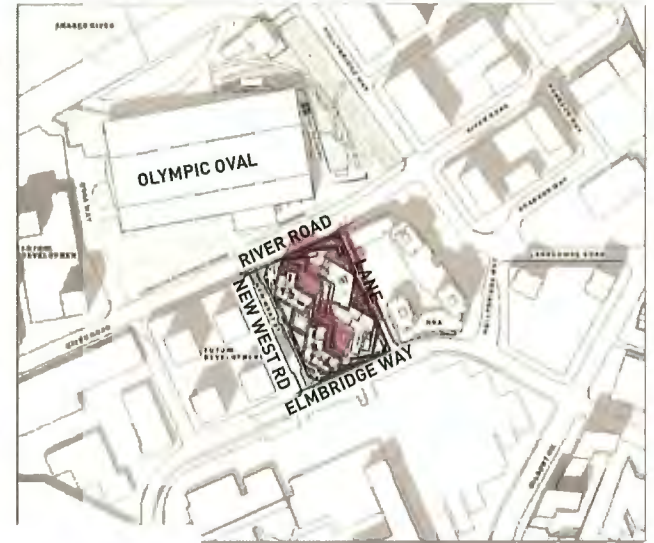
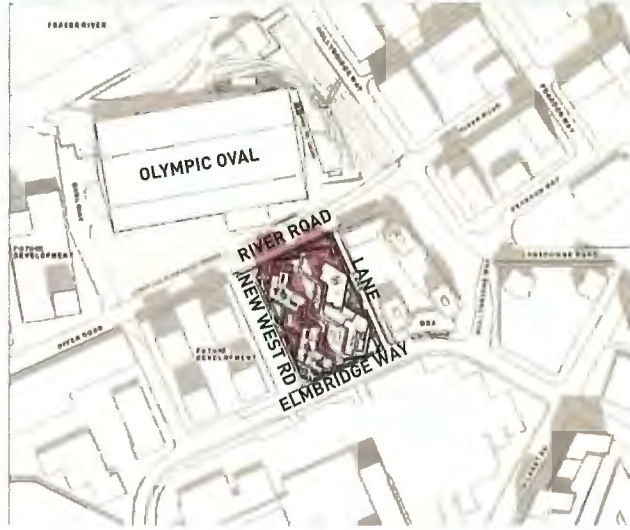
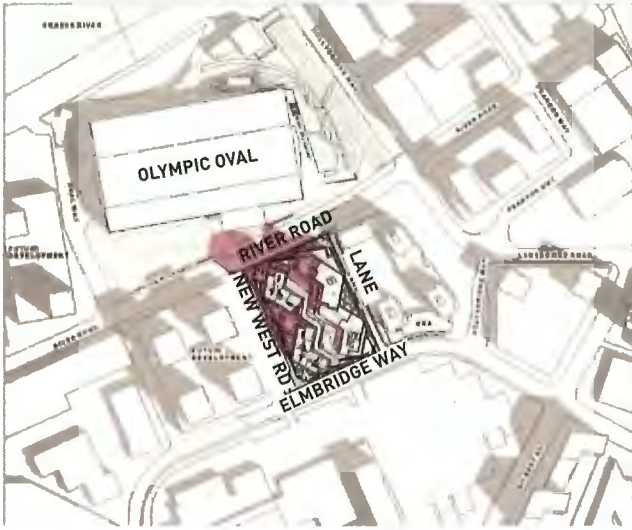
# SHADOW STUDY

10 AM

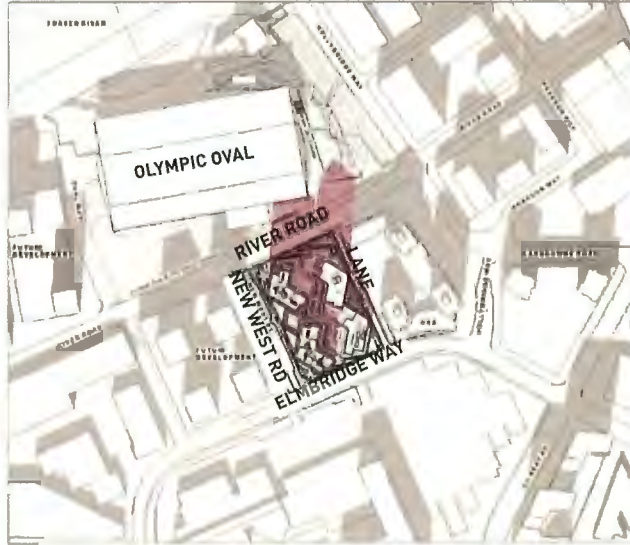
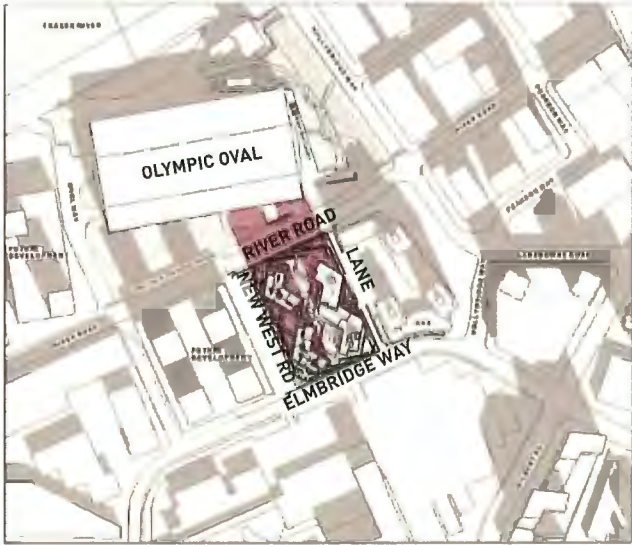
12 PM

2 PM

SPRING



WINTER



**THANK YOU!**

6851-6871 ELMBRIDGE WAY

**HOTEL**

**LANDA**



Schedule 2 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
May 15, 2024

**From:** Elaine Luo <luoelaine@outlook.com>  
**Sent:** May 3, 2024 9:23 AM  
**To:** CityClerk  
**Subject:** Notice of Development Permit

**Categories:** Rustico

**To Development Permit Panel**  
**Date:** MAY 15, 2024  
**Item #** 1  
**Re:** DP 21-945917

**City of Richmond Security Warning:** This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe.

Luo Yilei  
3600 Broadway St  
Richmond BC V7E 2X8

I am unable to attend Development Permit Panel meeting due to being unavailable May 15<sup>th</sup> 2024.  
The purpose of the development permit to be issued on site 6851 and 6871 Elmbridge Way seems fine, no extra comments.



# 6500 COONEY RD - 6 UNIT TOWNHOUSE DEVELOPMENT

## PROJECT SUMMARY

OWNER ADDRESS: 6500 COONEY ROAD, RICHMOND, BC  
 LEGAL DESCRIPTION: LOT 20 SECTION 9, BLOCK 40 RANGE 6W HWD PLAN 18292  
 LOT SIZE:  
 ORIGINAL SITE: 8743.9 SM (374.5 SF)  
 ROAD DEDICATIONS: 2.4M ALONG COONEY ROAD, 1.8M ALONG COOK ROAD, 5M X 5M AT SW CORNER  
 LAINE DEDICATIONS: 6M ALONG EAST PROPERTY LINE  
 NET SITE AREA: 6323.9 SM (8811.4 SF) (GRANTED SUBDIVISION PLAN APR 2024)

	Current Proposal (2021)	Bylaw Requirement (ETRS)
FAR DENSITY	1.2	1.2 Max
LOT COVERAGE - BUILDING	52.4%	55 % Max
LOT COVERAGE - NON-POROUS	74.1%	75 % Max
SETBACK - COONEY	20%	20 % Min
SETBACK - COOK	3.19m	3m Min
SETBACK - CORNER CUT	4.6m	3m Min
SETBACK - LAINE	3.03m	3m Min
SETBACK - NORTH INTERIOR SIDE YARD	0.68m	0m Min
BUILDING HEIGHT	15.43m 4-4-storeys	15.5m Min
LOT WIDTH	20.34m	20m Min
LOT DEPTH	31.62m	30m Min
LOT AREA	632.9 m <sup>2</sup>	600 m <sup>2</sup> Min
<b>PARKING</b>		
PARKING REQUIRED	10 (8 Residents + 2 Visitors)	10 (1.25/1st Residents + 0.25/1st Visitor)
TANDEM PARKING	25% (2 out of 8)	50 % Max
BICYCLE PARKING	8 Class 1 + 2 Class 2	8 Class 1 (1.25/1st) + 2 Class 2 (0.25/1st)
ACCESSIBLE PARKING	0	Not required
EY CHARGING	100% of resident parking spaces	10 Level 2, 12th Ey Charging outlets
<b>AMENITY - BIROOD</b>		
AMENITY - BIROOD	Cash-in-lane	50 m <sup>2</sup> Min
AMENITY - BIROOD	Cash-in-lane	36 m <sup>2</sup> Min
AMENITY - BIROOD	Cash-in-lane	63.1 m <sup>2</sup> Min (10% of Net Site Area)
AMENITY - BIROOD	Cash-in-lane	37 m <sup>2</sup> Min



AERIAL VIEW OF THE SUBJECT PROPOSAL



VIEW FROM LANE AT COOK ROAD



VIEW OF CHILDREN PLAY AREA

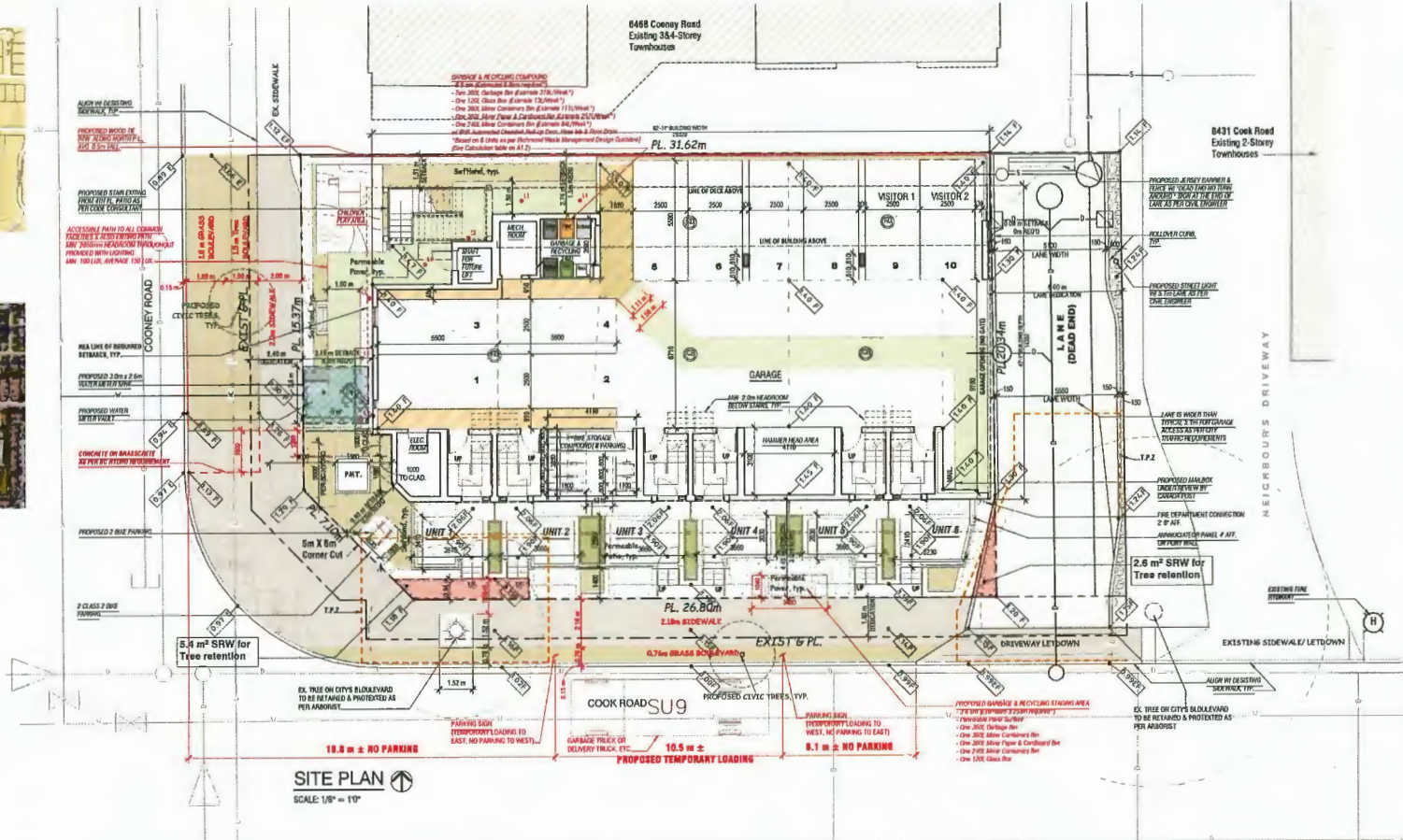


LOCATION PLAN



SITE AERIAL PHOTO

- LEGEND**
- Existing Storm Service
  - Proposed Storm Service
  - Existing Sanitary Service
  - Proposed Sanitary Service
  - Existing Water Service
  - Proposed Water Service
  - Existing Gas Line
  - Existing Street Light Duct
  - Proposed recessed light
  - Proposed wall sconce light



**Kim Architecture Inc**  
 779-779-8818 / 1-800-800-0775  
 k.ivanov@kim.ca  
 21-2223 West Broadway  
 Vancouver, B.C. V6R 2E4

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**Project Title**  
**6-UNIT TOWNHOUSE**  
 6500 Cooney Rd (Existing)  
 8399 Cooney Rd (Proposed)  
 Richmond, BC

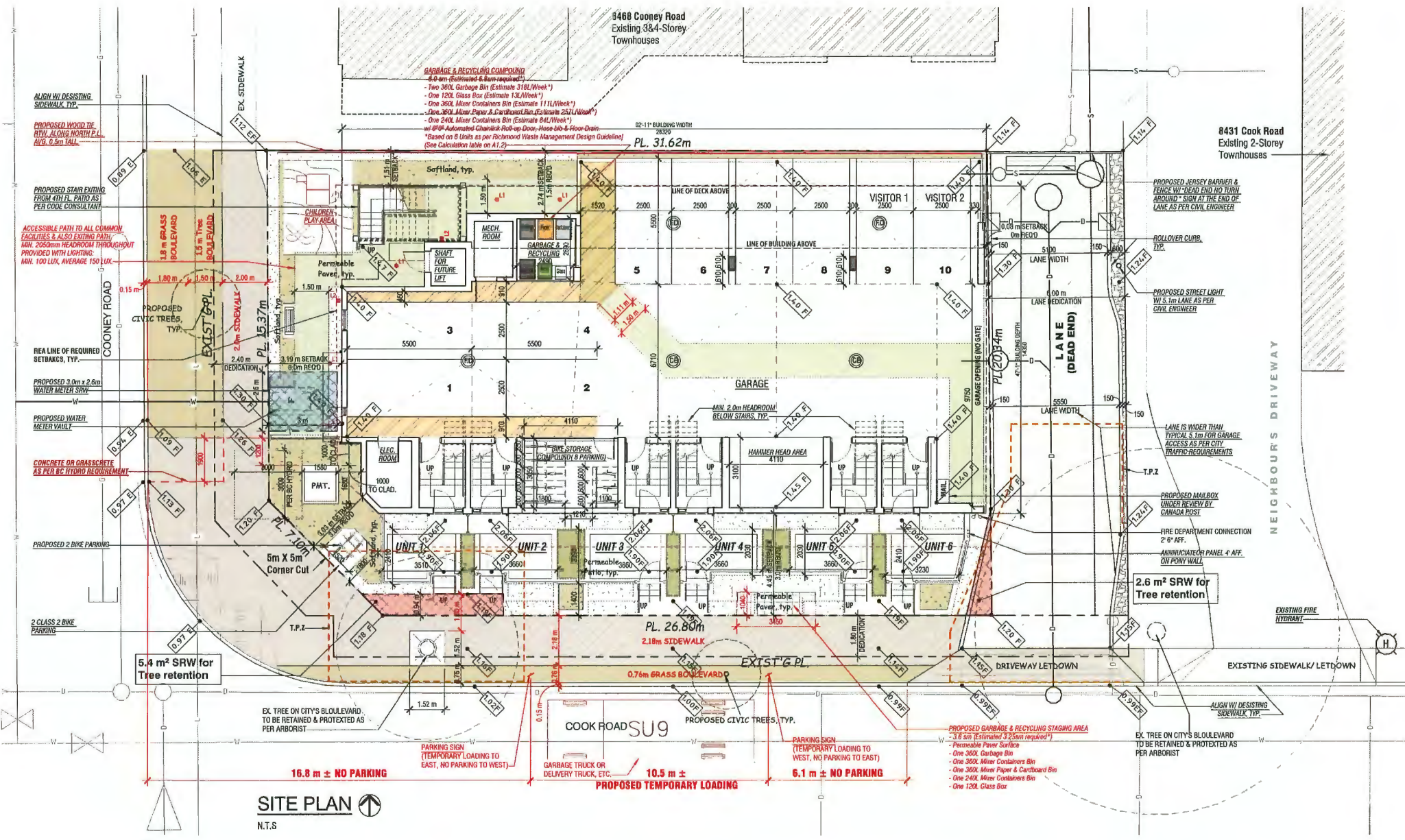
Sign & Seal

No.	Date	Provision
12	May 8 2024	Issued for DPP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DPP Revision 2
10	Jun 12 2023	DPP Revision 1
9	Jun 9 2023	BP Revision 1
8	Aug 19 2022	Fire fighting updates
7	Jul 29 2022	About to update
6	Jul 9 2022	BP Submission
5	Jun 21 2022	DPP Updated Set
4	Feb 25 2022	DPP Submission Set
3	Jun 9 2021	Prepping application (Traffic Revision)
2	May 13 2021	Prepping application (Revision)
1	Jan 13 2020	Prepared for Parking Layout

**Sheet Title**  
**PROJECT DATA & SITE PLAN**

Drawn: **CL**  
 Checked: **KK**  
 Scale:  
 Print date: **May 2, 2024**  
 Dwg. no. **A1.0**





**GARBAGE & RECYCLING COMPOUND**  
 3.6 m (Estimated & 3.6m required)  
 - Two 360L Garbage Bin (Estimate 318L/Week)  
 - One 120L Glass Bin (Estimate 13L/Week)  
 - One 360L Mixer Containers Bin (Estimate 111L/Week)  
 - One 360L Mixer Paper & Cardboard Bin (Estimate 251L/Week)  
 - One 240L Mixer Containers Bin (Estimate 04L/Week)  
 w/ #04 Automated Chainlink Roll-up Door, Hose-bib & Floor-Drain  
 \*Based on 8 Units as per Richmond Waste Management Design Guideline  
 (See Calculation table on A1.2)

**PROPOSED GARBAGE & RECYCLING STAGING AREA**  
 3.6 m (Estimated & 3.6m required)  
 - Permeable Paver Surface  
 - One 360L Garbage Bin  
 - One 360L Mixer Containers Bin  
 - One 360L Mixer Paper & Cardboard Bin  
 - One 240L Mixer Containers Bin  
 - One 120L Glass Bin

**SITE PLAN**  
 N.T.S.

ALIGN W/ DESISTING SIDEWALK TYP.

PROPOSED STAIR EXITING FROM 4TH FL. PATIO AS PER CODE CONSULTANT

ACCESSIBLE PATH TO ALL COMMON FACILITIES & ALSO EXITING PATH MIN. 2000mm HEADROOM THROUGHOUT PROVIDED WITH LIGHTING: MIN. 100 LUX, AVERAGE 150 LUX

REALINE OF REQUIRED SETBACKS, TYP.

PROPOSED 3.0m x 2.6m WATER METER SRV

PROPOSED WATER METER VAULT

CONCRETE OR GRASSCRETE AS PER BC HYDRO REQUIREMENT

PROPOSED 2 BIKE PARKING

2 CLASS 2 BIKE PARKING

EX. TREE ON CITY'S BLOULEVARD. TO BE RETAINED & PROTECTED AS PER ARBORIST

16.8 m ± NO PARKING

PARKING SIGN (TEMPORARY LOADING TO EAST, NO PARKING TO WEST)

GARBAGE TRUCK OR DELIVERY TRUCK, ETC.

10.5 m ± PROPOSED TEMPORARY LOADING

PARKING SIGN (TEMPORARY LOADING TO WEST, NO PARKING TO EAST)

6.1 m ± NO PARKING

EX. TREE ON CITY'S BLOULEVARD TO BE RETAINED & PROTECTED AS PER ARBORIST

3468 Cooney Road  
 Existing 3&4-Storey Townhouses

8431 Cook Road  
 Existing 2-Storey Townhouses

NEIGHBOURS DRIVEWAY

EXISTING FIRE HYDRANT

EXISTING SIDEWALK/ LETDOWN

ALIGN W/ DESISTING SIDEWALK TYP.

PROPOSED JERSEY BARRIER & FENCE W/ TREAD END PD TURN AROUND SIGN AT THE END OF LANE AS PER CIVIL ENGINEER

PROPOSED STREET LIGHT W/ 5.1m LANE AS PER CIVIL ENGINEER

PROPOSED MAIL BOX UNDER REVIEW BY CANADA POST

FIRE DEPARTMENT CONNECTION 2" P AFF. ANNUNCIATOR PANEL 4" AFF. ON PONY WALL

2.6 m<sup>2</sup> SRW for Tree retention

DRIVEWAY LETDOWN

LANE (DEAD END)

LANE IS WIDER THAN TYPICAL 5.1m FOR GARAGE ACCESS AS PER CITY TRAFFIC REQUIREMENTS

T.P.Z.

PROPOSED MAIL BOX UNDER REVIEW BY CANADA POST

FIRE DEPARTMENT CONNECTION 2" P AFF. ANNUNCIATOR PANEL 4" AFF. ON PONY WALL

2.6 m<sup>2</sup> SRW for Tree retention

DRIVEWAY LETDOWN

DRIVEWAY LETDOWN

DRIVEWAY LETDOWN

DRIVEWAY LETDOWN

DRIVEWAY LETDOWN

DRIVEWAY LETDOWN

DRIVEWAY LETDOWN

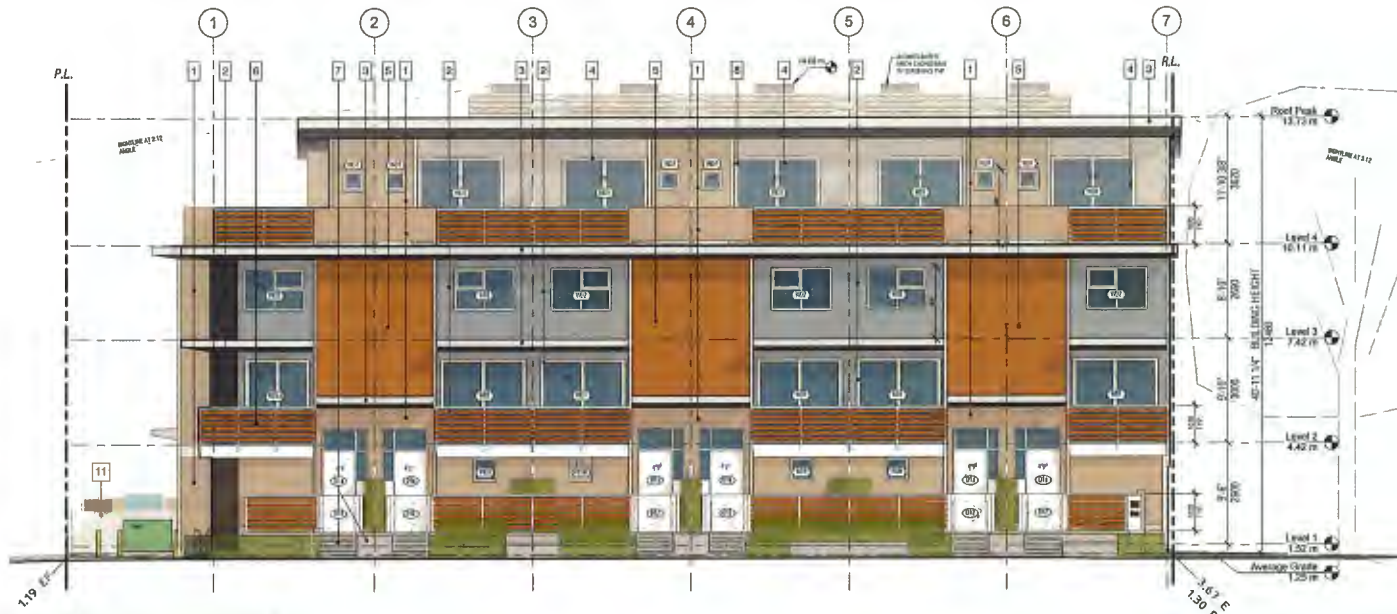
DRIVEWAY LETDOWN

DRIVEWAY LETDOWN

DRIVEWAY LETDOWN

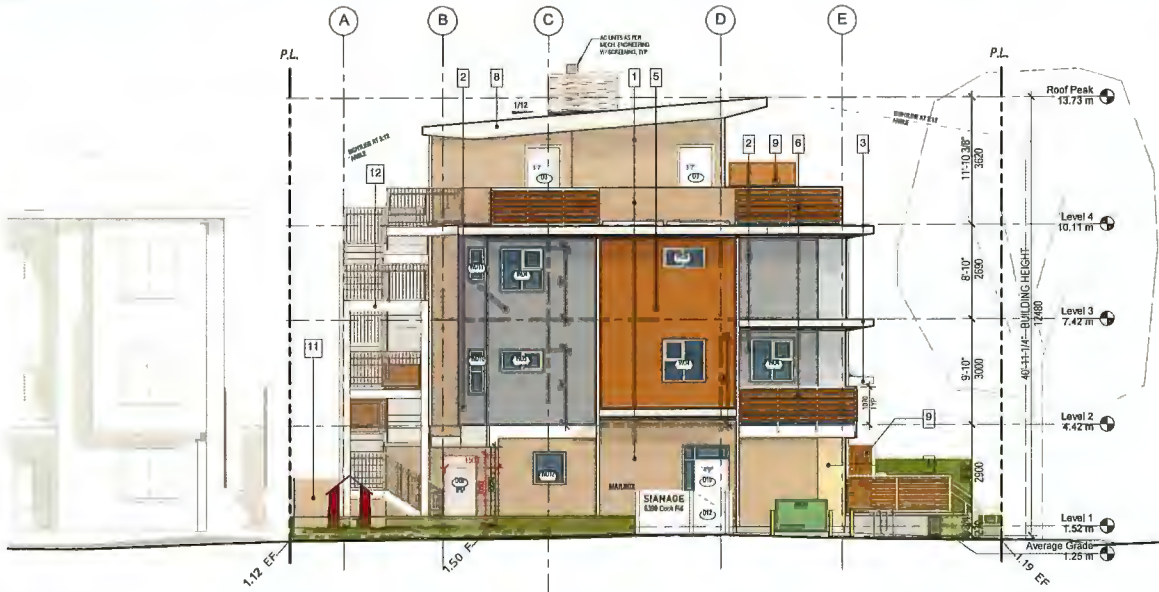
DRIVEWAY LETDOWN





**SOUTH ELEVATION (COOK RD)**

SCALE: 3/16" = 1'-0"



**WEST ELEVATION (COONEY RD)**

SCALE: 3/16" = 1'-0"

**MATERIALS LEGEND**

- 1 Horizontal HardiePlank Siding  
COLOUR: Light Brown
- 2 Slatdash Stucco Finish  
COLOUR: Slate Gray
- 3 Metal Flashing  
COLOUR: Silver/light gray
- 4 Slatdash Stucco Finish  
COLOUR: Light Gray
- 5 Horizontal Siding  
(Aluminum, Steel or Composite)  
(e.g. Longboard® Tongue & Groove)  
COLOUR: Simulated Wood
- 6 Alum/Glass Balcony Guards  
w/ Decorative Wood Slats (Painted) @  
Outside of Glass  
COLOUR: Medium Brown
- 7 Concrete- Painted  
COLOUR: Light Gray
- 8 Wood Trim/Fascia/Downspout- painted  
COLOUR: Ivory White
- 9 Open Trills Privacy Screen  
Between Units  
COLOUR: Medium Brown
- 11 Wood Painted Privacy Fencing to  
Neighbour  
COLOUR: Medium Brown
- 12 Exit Stairs  
Steel Structure: Silver/light gray  
Railing: Light Brown  
Tread & Landing: Light Gray



**Kenneth  
Kim  
Architecture  
Inc**

T: 778-770-8010 / F: 604-600-0775  
e: kenneth@kkai.ca  
211-2223 West Broadway  
Vancouver, B.C. V6K 2E4

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PRIOR WRITTEN CONSENT.

Project Title  
**6-UNIT  
TOWNHOUSE**  
6500 Cooney Rd (Existing)  
8399 Cooney Rd (Proposed)  
Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 9 2024	Issued for DPP
12	May 3 2024	BP Revision 2
11	April 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abolish update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Per zoning application (Traffic Revision)
2	May 13 2021	Per zoning application (Firewall)
1	Jan 13 2020	Proposed w/ Fire Parking Layout

Sheet Title  
**SOUTH & WEST  
ELEVATION**

Drawn: **CL**

Checked: **KK**

Scale:

Print date: **May 2, 2024**

Dwg. no. **A3.1**



1. 778-779-8818 / 1. 604-600-0775  
 k.kim@kka.ca  
 211-2223 West Broadway  
 Vancouver, B.C. V6K 2E4

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Project Title  
**6-UNIT  
 TOWNHOUSE**  
 6500 Conroy Rd (Existing)  
 8399 Cooney Rd (Proposed)  
 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 8 2024	Issued for DPP
12	May 3 2024	BP Revision 2
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9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire lighting update
7	Jul 29 2022	Aborist update
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5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Planning application (Traffic Revision)
2	May 13 2021	Planning application (Revised)
1	Jan 19 2020	Proposed w/ New Parking Layout

Sheet Title  
**NORTH & EAST  
 ELEVATION**

Drawn: **CL**

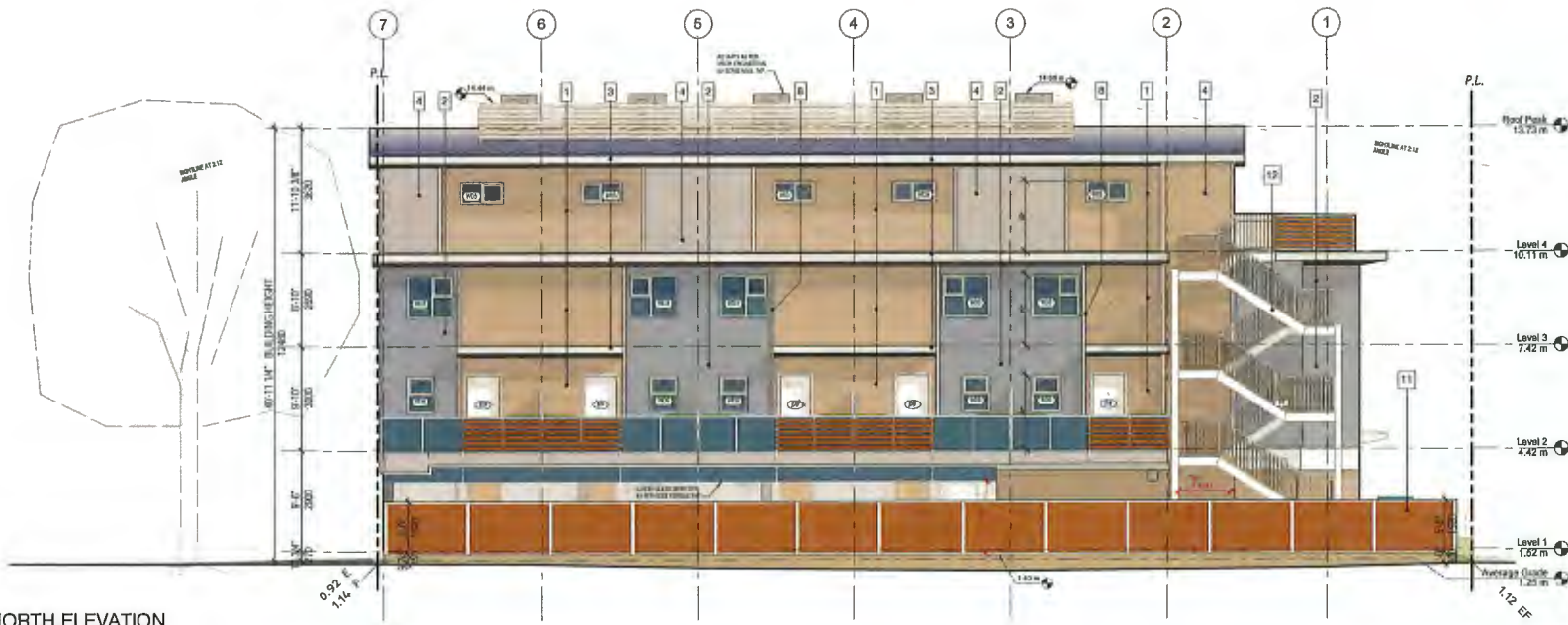
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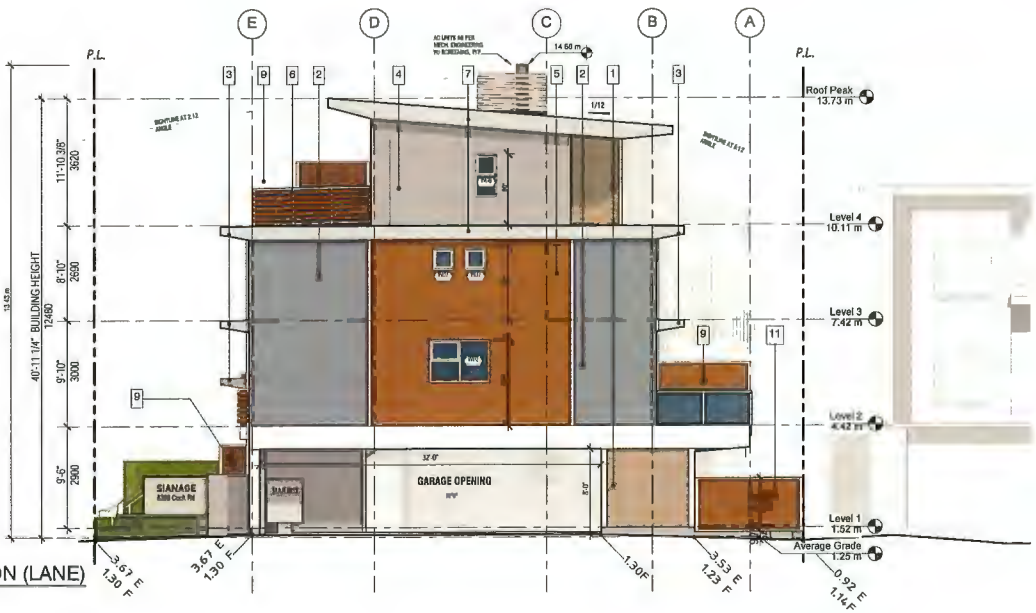
Print date: **May 2, 2024**

Dwg. no.

**A3.2**



**NORTH ELEVATION**  
 SCALE: 3/16" = 1'-0"



**EAST ELEVATION (LANE)**  
 SCALE: 3/16" = 1'-0"

**MATERIALS LEGEND**

- Horizontal HardiePlank Sliding  
 COLOUR: Light Brown
- Slapdash Stucco Finish  
 COLOUR: Slate Gray
- Metal Flashing  
 COLOUR: Silver/light gray
- Slapdash Stucco Finish  
 COLOUR: Light Gray
- Horizontal Sliding  
 (Aluminum, Steel or Composite)  
 (e.g. Longboard® Tongue & Groove)  
 COLOUR: Simulated Wood
- Alum/Glass Balcony Guards  
 w/ Decorative Wood Slats (Painted) @  
 Outside of Glass  
 COLOUR: Medium Brown
- Concrete- Painted  
 COLOUR: Light Gray
- Wood Trim/Fascia/Downspout- painted  
 COLOUR: Ivory White
- Open Trellis Privacy Screen  
 Between Units  
 COLOUR: Medium Brown
- Wood Painted Privacy Fencing to  
 Neighbour  
 COLOUR: Medium Brown
- Exit Stairs  
 Steel Structure: Silver/light gray  
 Railing: Light Brown  
 Tread & Landing: Light Gray



**Aerial View of the Project**



**View from Cooney Rd**



**View from Cooney Rd & Cook Rd Intersection**



**View from Cook Rd**



**View from Lane at Cook Rd**



**View from North side of Project**


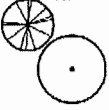







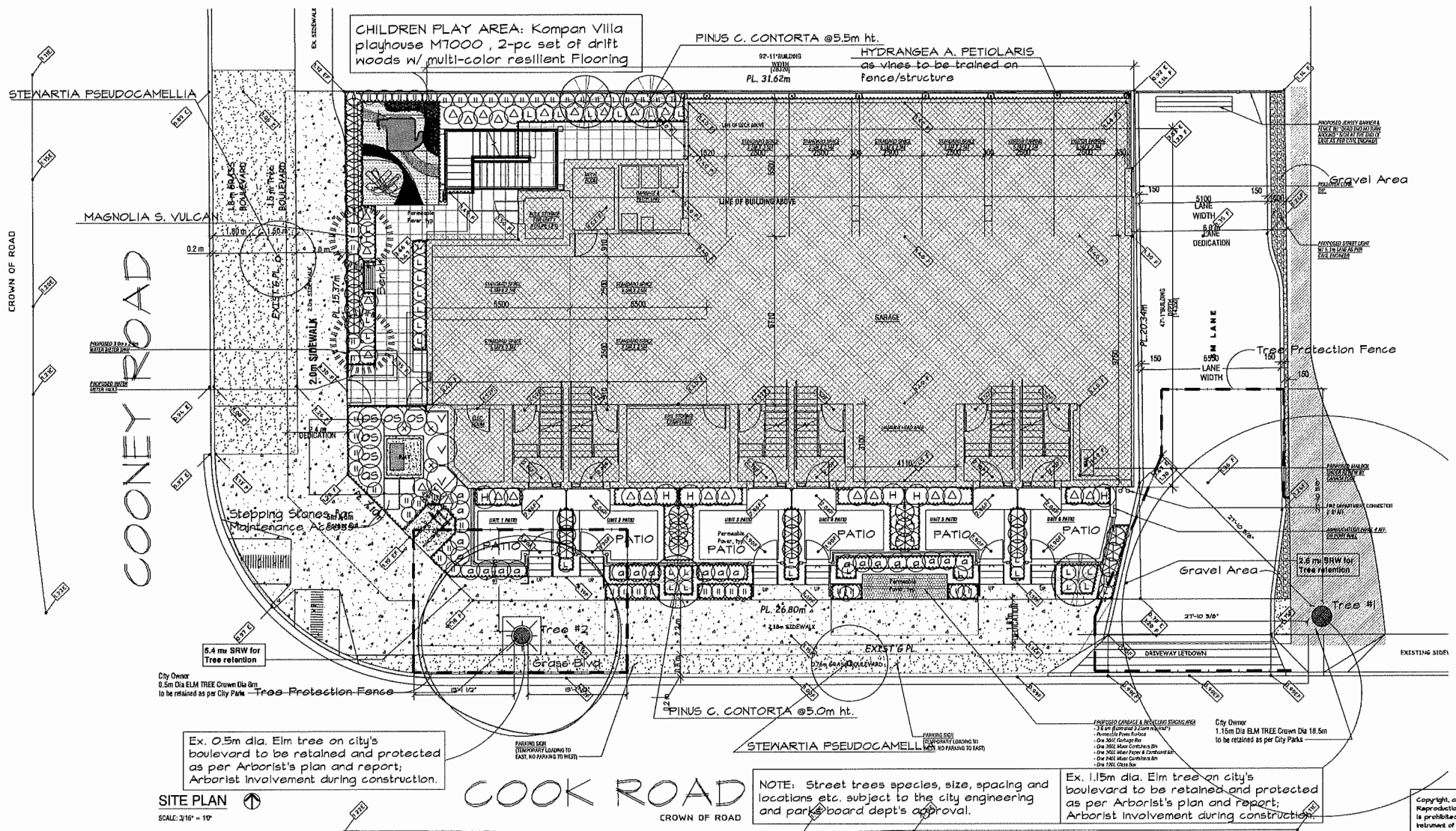
**View of Children Play Area**



## APPENDIX 1: PLANT LIST & LANDSCAPE PLAN (LINE DRAWING )

P L A N T   L I S T				Project No. 220102.KIM Updated @2024-04-18
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTED SIZE
	2	MAGNOLIA S. VULCAN	Vulcan Sav. Magnolia	3 @B&B 6cm cal., 1.75m std.
	4	PINUS CONTORTA CONTORTA	Shore Pine	B&B 5.5m+ ht.
	2	STEWARTIA PSEUDOCAMELLIA	Japanese Stewartia	B&B 5.0m+ ht. B&B 9cm cal., 1.75m std.
a	20	ABELIA EDWARD GOUCHER	Dwarf Abelia	#2 pot 40cm ht.
H	6	HYDRANGEA SERRATA BLUE BIRD	Blue Bird Hydrangea	#5 pot 50cm ht.
L	44	LAVANDULA SPICA MUNSTEAD	English Lavender	#1 pot heavy
OS	6	OSMAREA BURKWOODII	Burkwood Osmaria	#3 pot 60cm ht.
	55	LEUCOTHOE AXEL	Cherry Laurel	#2 pot 30cm ht.
△	28	RHODODENDRON DWARF (Hyb. TBD)	Dwarf Rhododendron	#2 pot 35cm ht.
Allowed	6	ROSA MEIDI BONICA/RED SEVILLENA	Meidiland Rose	#2 pot 35cm ht.
	31	TAXUS MEDIA HICKSII	Hick's Yew	B&B 1.5m+ ht.
V	3	VIBURNUM BURKWOODII	Burkwood Viburnum	#3 pot 60cm ht., bushy
	8	HYDRANGEA A. PETIOLARIS	Climbing Hydrangea	#3 pot Stkd., Heavy

- NOTE:
1. All plant materials shall meet or exceed BCSLA/BCLNA Standard.
  2. All grass areas shall be sodded unless otherwise indicated.
  3. "Hyb. TBD" denotes hybrids to be determined at the nursery during plant material inspection.
  4. For all other requirements, see Landscape Specifications & Details on 8.5"x11" sheets.  
(Spec. is to be included for tendering & construction use)



CHILDREN PLAY AREA: Kompan Villa playhouse M7000, 2-pc set of drift woods w/ multi-color resilient flooring

PINUS C. CONTORTA @5.5m ht.

HYDRANGEA A. PETIOLARIS as vines to be trained on fence/structure

STEWARTIA PSEUDOCAMELLIA

MAGNOLIA S. VULCANICA

COONEY ROAD

CROWN OF ROAD

COOK ROAD

CROWN OF ROAD

NOTE: Street trees species, size, spacing and locations etc. subject to the city engineering and parks board dept's approval.

Ex. 1.15m dia. Elm tree on city's boulevard to be retained and protected as per Arborist's plan and report; Arborist involvement during construction.

SITE PLAN  
SCALE: 3/16" = 1'

City Owner  
0.8m Dia ELM TREE Crown Dia 10m to be retained as per City Parks - Tree Protection Fence

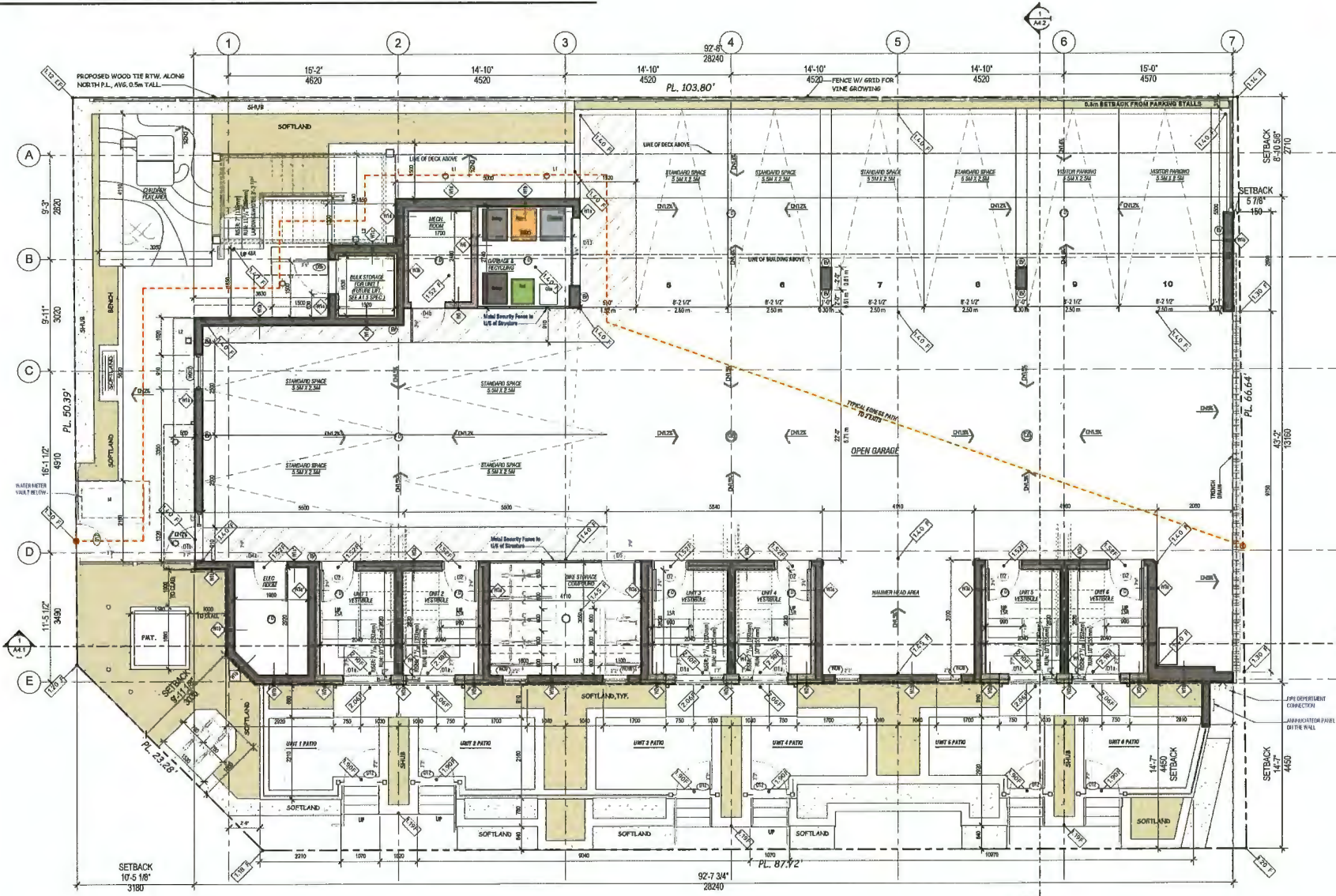
Ex. 0.5m dia. Elm tree on city's boulevard to be retained and protected as per Arborist's plan and report; Arborist involvement during construction.

City Owner  
1.15m Dia ELM TREE Crown Dia 18.5m to be retained as per City Parks

NORTH

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# APPENDIX 2: FLOOR PLANS & SECTIONS



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 10"

- ⊙ LEVEL 2 EV CHARGING OUTLET, 12KW, 1 FOR EACH PARKING SPACE
- ⊙ PROPOSED RECESSED LIGHT
- ⊙ PROPOSED WALL SCONCE LIGHT



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Project Title  
**6-UNIT TOWNHOUSE**  
6500 Conney Rd (Existing)  
8399 Conney Rd (Proposed)  
Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 6 2024	Issued for DPP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DIP Revision 2
10	Jun 12 2023	DIP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abstract update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DIP Updated Set
4	Feb 29 2022	DIP Submission Set
3	Jun 9 2021	Resubmitting application (Traffic Reduction)
2	May 13 2021	Resubmitting application (Revised)
1	Jan 13 2020	Propositor's New Parking Layout

Sheet Title  
**FIRST FLOOR PLAN**

Drawn: **CL**

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Scale:

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Dwg. no. **A2.1**



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 Richmond, BC

Sign & Seal

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12	May 3 2024	BP Revision 2
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10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abomit update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Planning application (Traffic Revision)
2	May 13 2021	Planning application (Revised)
1	Jan 13 2020	Proposed site Parking Layout

Sheet Title  
**SECOND FLOOR  
 PLAN**

Drawn: **CL**

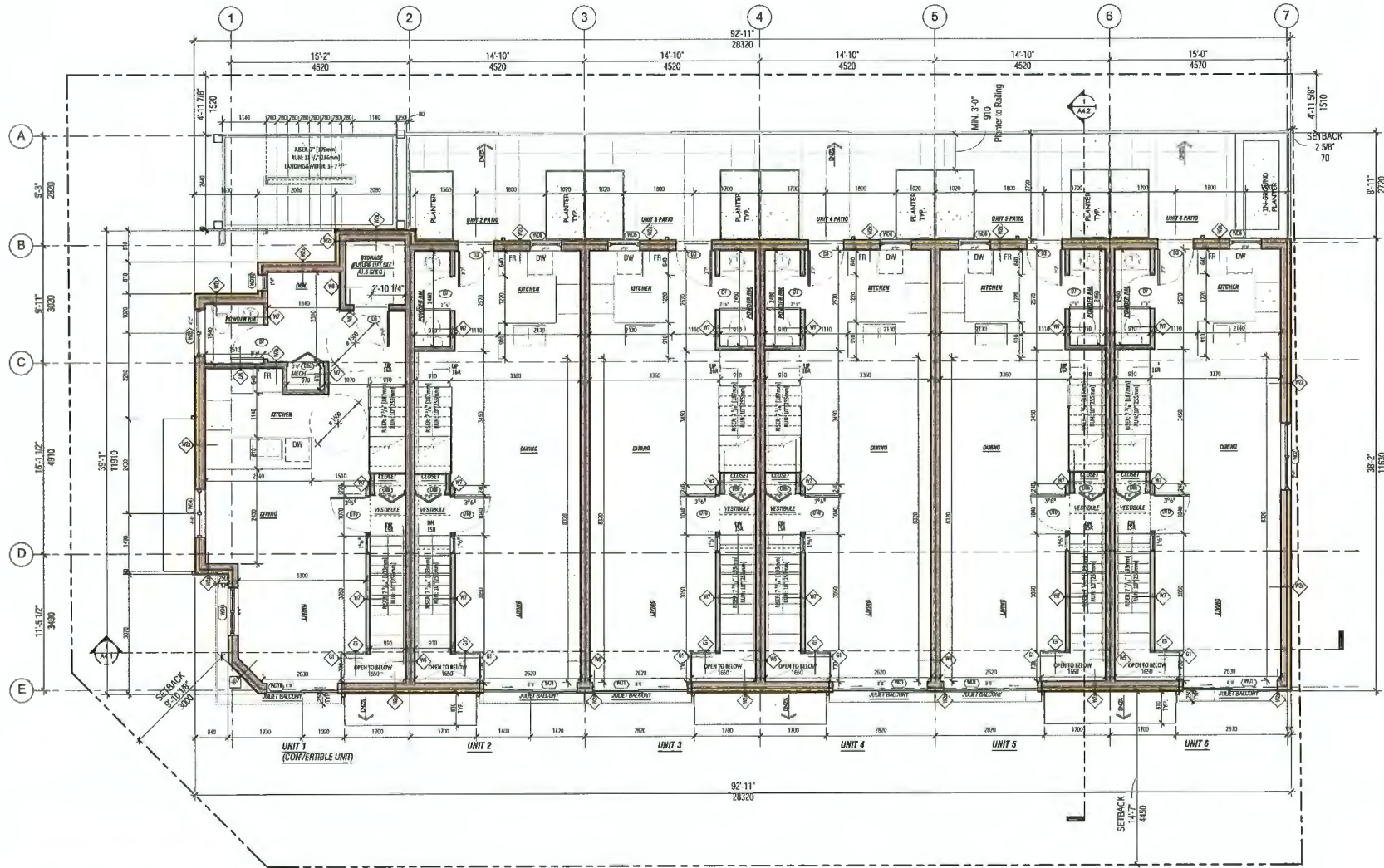
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**A2.2**



**SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"



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Project Title  
**6-UNIT  
 TOWNHOUSE**  
 6500 Conney Rd (Existing)  
 8399 Cooney Rd (Proposed)  
 Richmond, BC

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No.	Date	Revision
12	May 8 2024	Issued by DFP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire lighting Update
7	Jul 29 2022	Abstrct Update
6	Jul 8 2022	BP Submission
5	Jan 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Planning application (Traffic Revision)
2	May 13 2021	Planning application (Revised)
1	Jan 13 2020	Proposed new Parking Layout

Sheet Title  
**THIRD FLOOR PLAN**

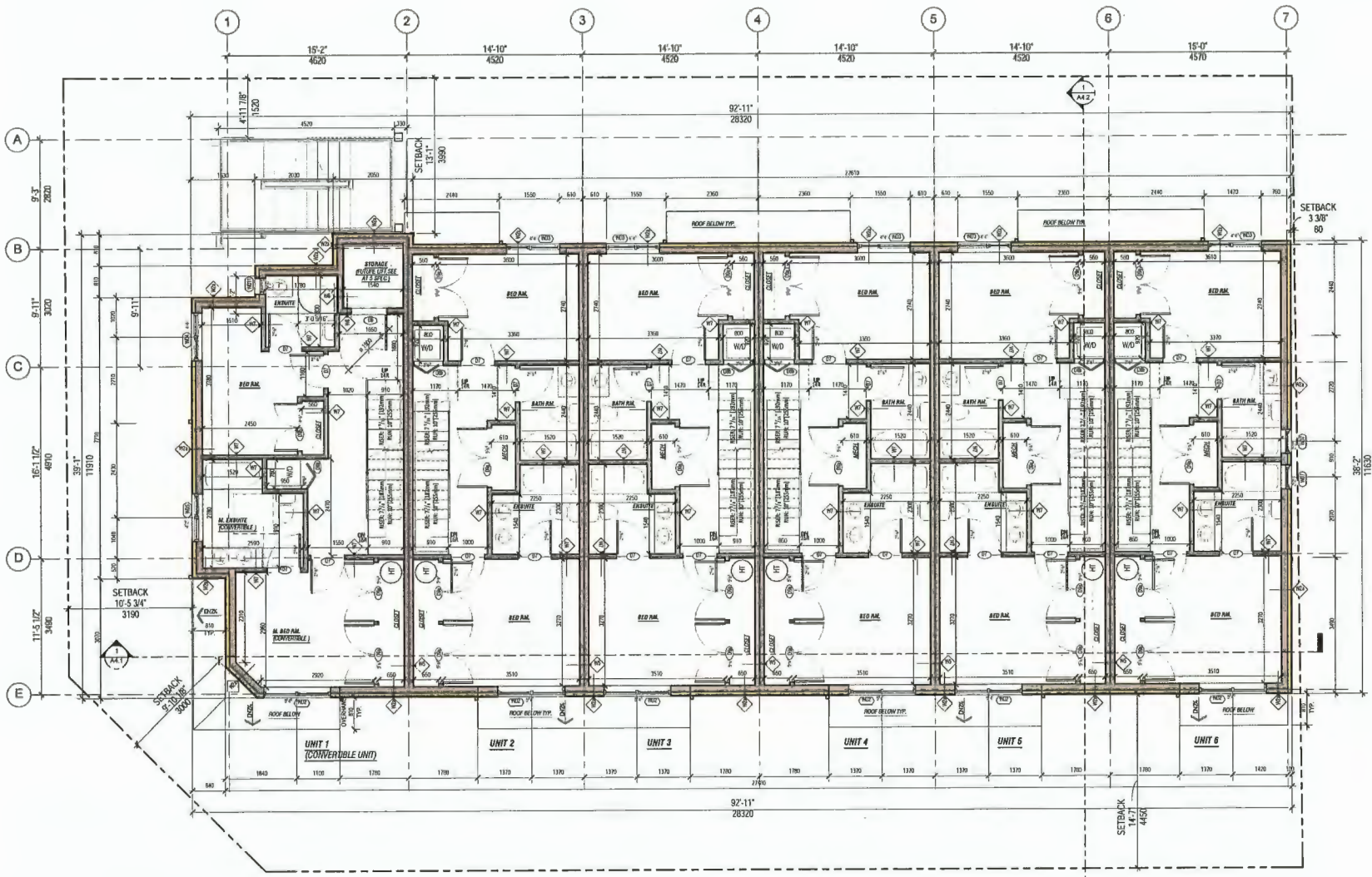
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**A2.3**



**THIRD FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"





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**6-UNIT  
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 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 9 2024	Issued for ODP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire lighting update
7	Jul 29 2022	Abolish update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Resolving application (Traffic Revision)
2	May 13 2021	Resolving application (Revised)
1	Jun 13 2020	Proposed w/ New Parking Layout

Sheet Title  
**FOURTH FLOOR  
 PLAN**

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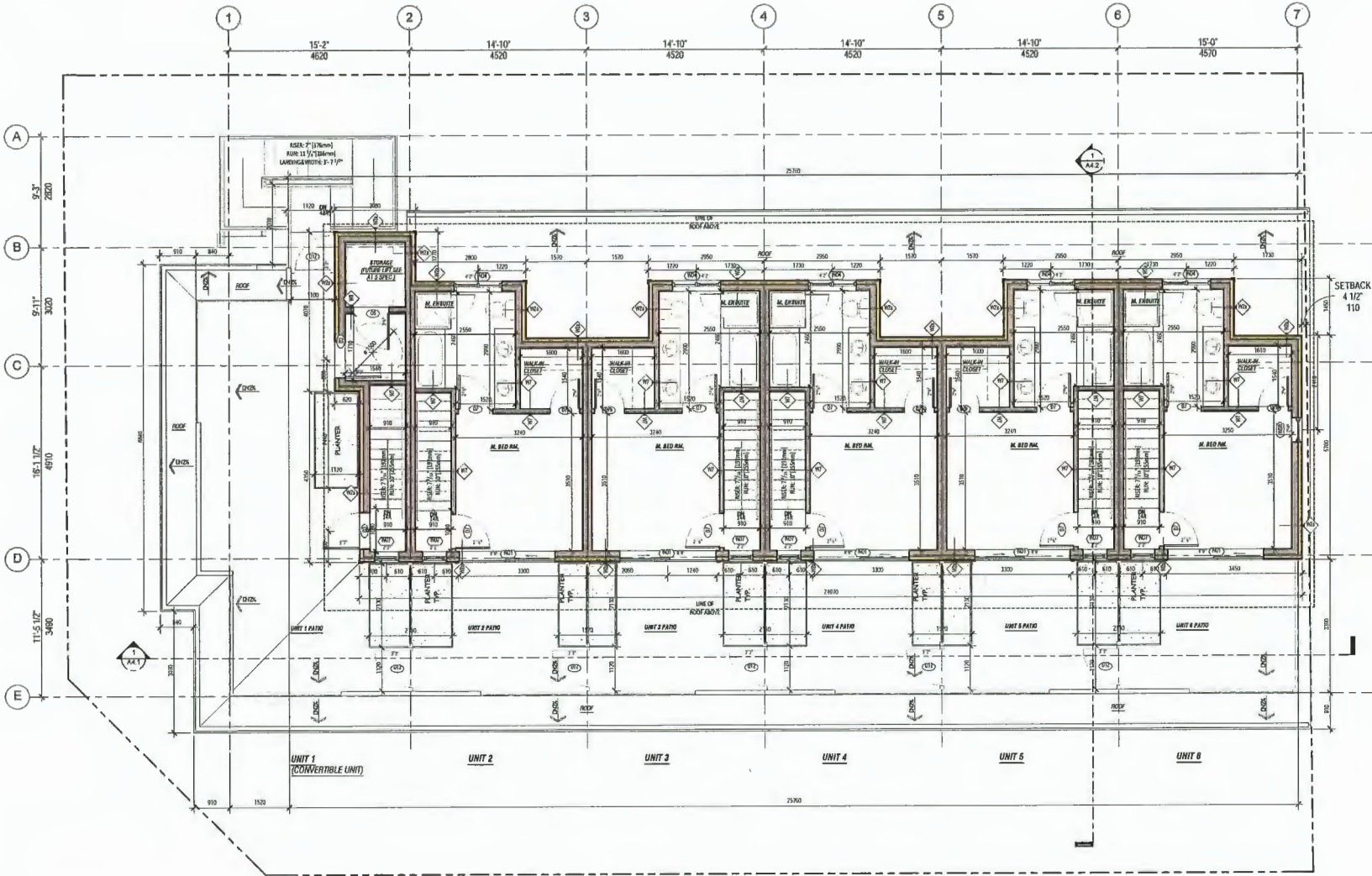
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**A2.4**



**FOURTH FLOOR PLAN**

SCALE: 1/4" = 1'-0"





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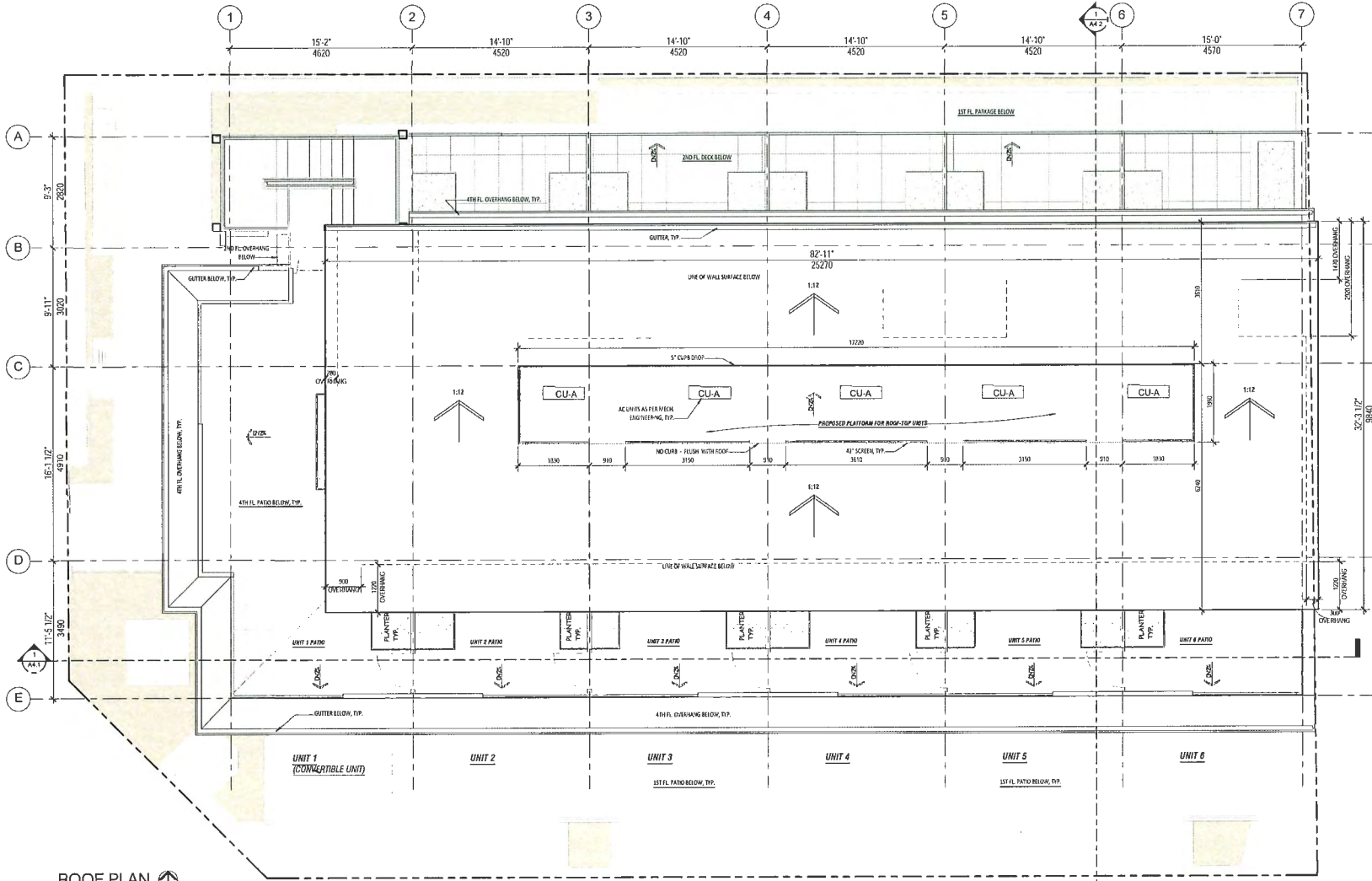
Project Title  
**6-UNIT TOWNHOUSE**  
 6500 Conney Rd (Existing)  
 8399 Conney Rd (Proposed)  
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9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abomit update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Revising approval (Final Revision)
2	May 13 2021	Revising approval (Revised)
1	Jan 13 2020	Proposed w/ Fire Ratings Layout

Sheet Title  
**ROOF PLAN**

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 Scale:  
 Print date: **May 2, 2024**  
 Dwg. no. **A2.5**



**ROOF PLAN**  
 SCALE 1/4" = 1'-0"

NOTE: ALL ROOF COVERING MATERIALS SHALL BE CLASS A, B, OR C AS PER CAN/ULC-S107- \*FIRE TEST OF ROOF COVERINGS\*



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Project Title  
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 Richmond, BC

Sign & Seal

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12	May 6 2024	Issued for OHP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 25 2022	Abort update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Planning application (Final Revision)
2	May 13 2021	Planning application (Revised)
1	Jan 13 2020	Preparation of Final Parking Layout

Sheet Title  
**LONGITUDINAL  
 SECTION 1**

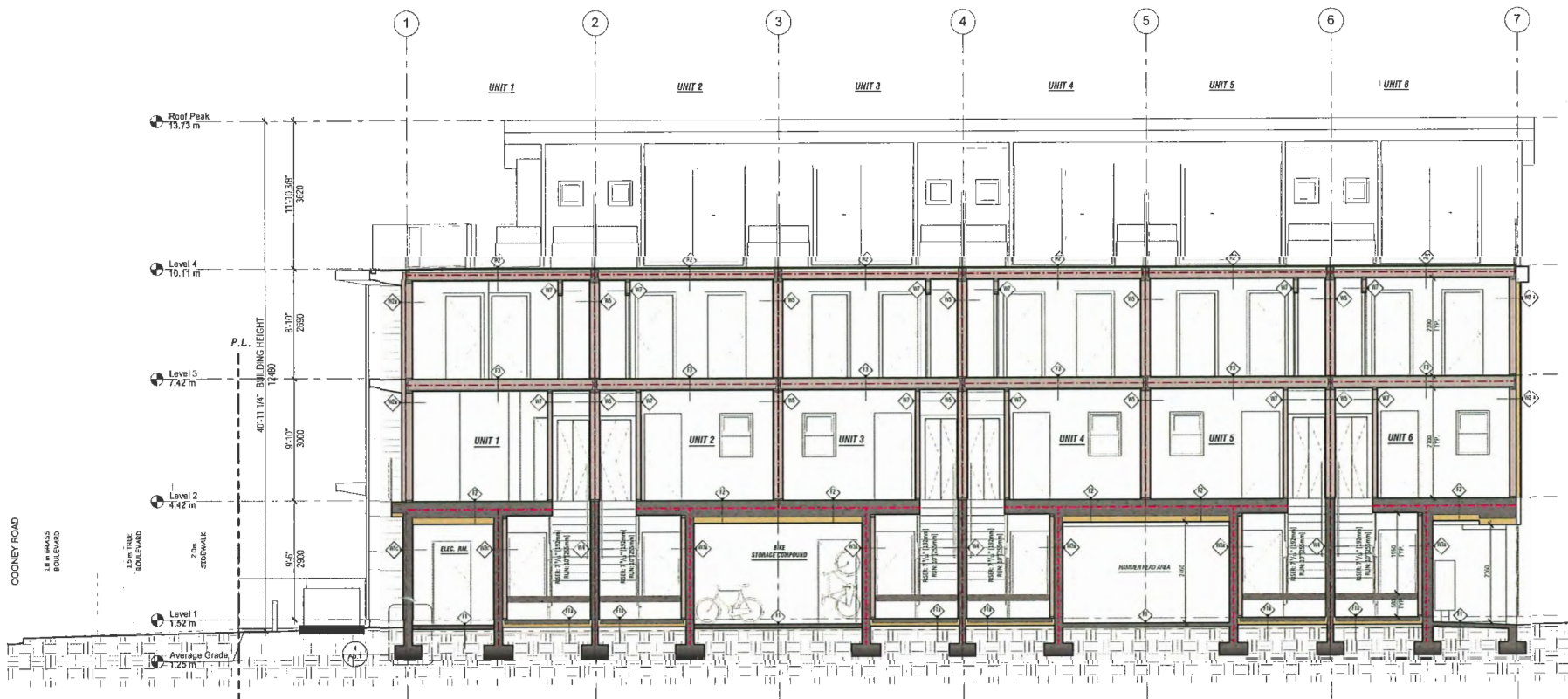
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Scale:

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Dwg. no.  
**A4.1**



**LONGITUDINAL SECTION 1**

SCALE: 1/4" = 1'-0"  
 --- 1.5m RIR Separation  
 --- 1.0m RIR Separation

COONEY ROAD  
 18 m GRASS BOULEVARD  
 1.5 m TREE BOULEVARD  
 2.5 m SIDEWALK

P.L.  
 46'-11 1/4" BUILDING HEIGHT  
 14.80  
 8'-10" 2650  
 6'-10" 2000  
 9'-6" 2900

Roof Peak 13.73 m  
 Level 4 10.11 m  
 Level 3 7.42 m  
 Level 2 4.42 m  
 Level 1 1.52 m  
 Average Grade 1.25 m

UNIT 1 UNIT 2 UNIT 3 UNIT 4 UNIT 5 UNIT 6

ELEC. RM  
 STORAGE/POUND  
 HALLER/HEAD AREA

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11	Apr 23 2024	BP Revis on 2
10	Jun 12 2023	BP Revis on 1
9	Jun 9 2023	BP Revis on 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abstract update
6	Jul 6 2022	BP Submission
5	Jun 21 2022	CP Updated Set
4	Feb 25 2022	CP Submission Set
3	Jun 9 2021	Prezoning application (Chief's Review)
2	May 13 2021	Rezonning application (Review)
1	Jan 13 2020	Proposed New Parking Layout

Sheet Title  
**CROSS SECTION 1**

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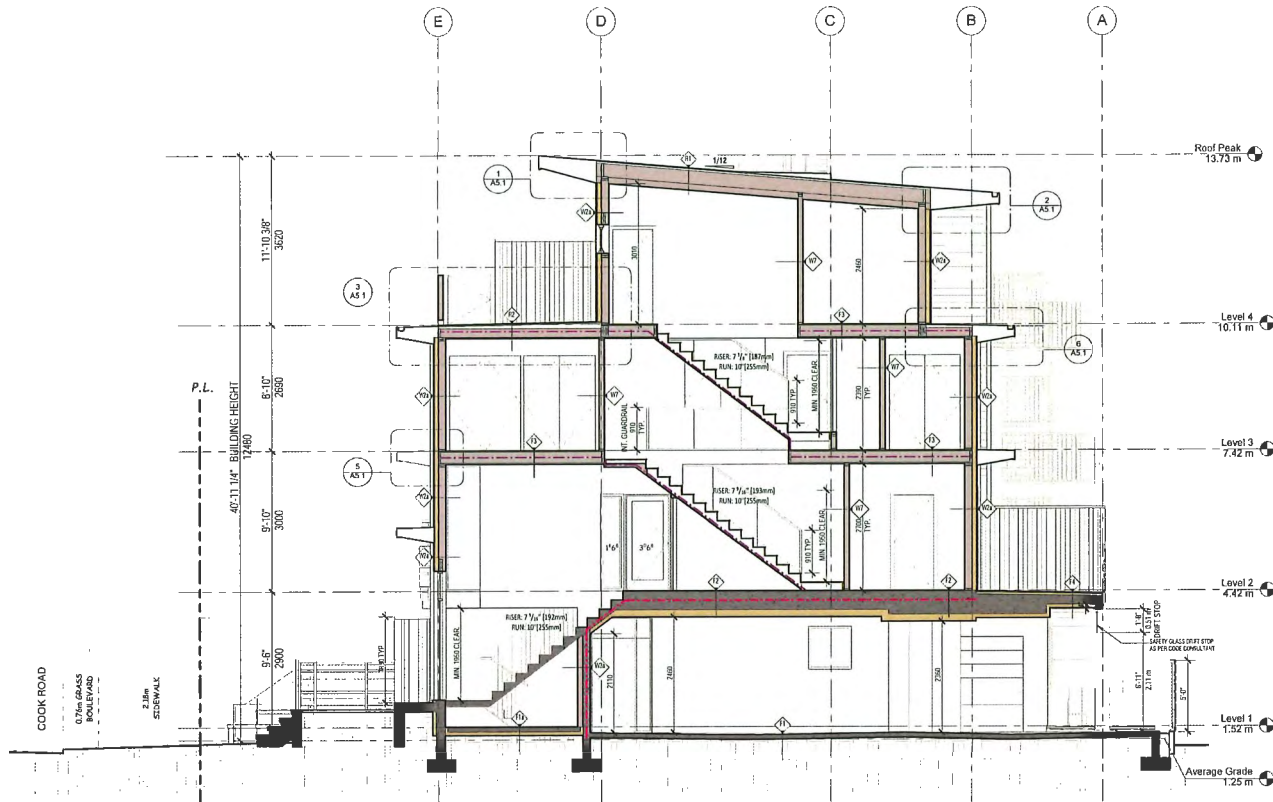
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Scale:

Print date: **May 2, 2024**

Dwg. no.

**A4.2**



**CROSS SECTION 1**

SCALE: 1/4" = 1'-0"

--- 13M RFR Spigot  
 --- 10M RFR Spigot

# APPENDIX 3: SHADOW ANALYSIS



SPRING/FALL EQUINOX 10AM



SPRING/FALL EQUINOX 2PM



SUMMER SOLSTICE 10AM



SUMMER SOLSTICE 2PM

SHADOW ANALYSIS   
SCALE= 1:300



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 Richmond, BC

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4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Precedent Application (Traffic Revision)
2	May 13 2021	Precedent Application (Revised)
1	Jan 13 2020	Proposed Site Parking Layout

Sheet Title  
**SHADOW ANALYSIS**

Drawn: **CL**

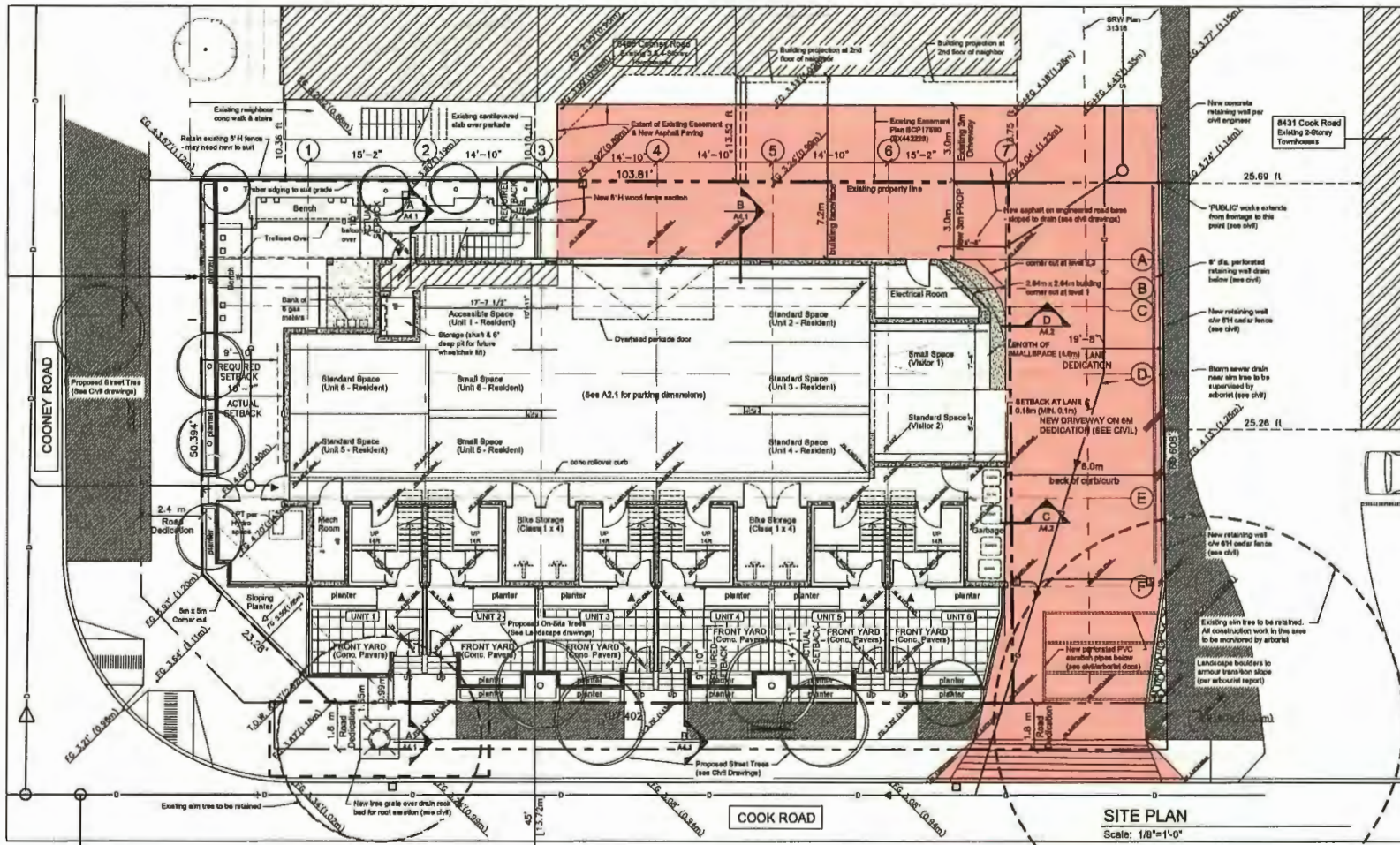
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**A1.4**

# APPENDIX 4: THE ORIGINAL OF CURRENT PROPOSAL



## OLD SITE PLAN

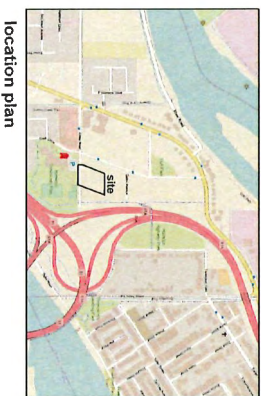
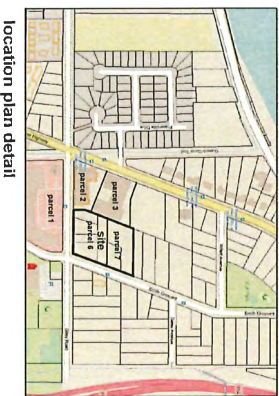
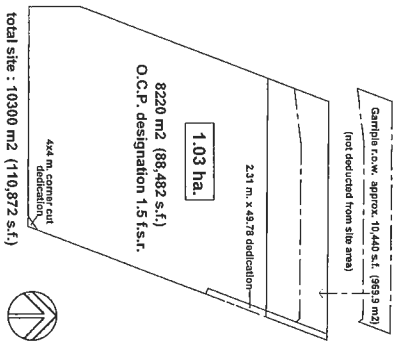
N.T.S



NOTE: This page is only a reference to help explain the background of this project.

<p><b>Kenneth Kim Architecture Inc</b> t: 778-379-9918 f: 604-800-0775 e: kenneth@kkai.ca 211-2223 West Broadway Vancouver, B.C. V6K 2E4</p>	<p>THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.</p> <p>COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND SHALL REMAIN AT ALL TIMES THE EXCLUSIVE PROPERTY OF KENNETH KIM ARCHITECTURE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.</p>	<p>Project Title <b>6-UNIT TOWNHOUSE</b></p> <p>6500 Conney Rd (Existing) 8399 Cooney Rd (Proposed) Richmond, BC</p>	<p>Consultants</p>	<table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>May 8 2024</td> <td>Issued for DPP</td> </tr> </tbody> </table>	No.	Date	Revision	1	May 8 2024	Issued for DPP	<p>Sheet Title <b>PROJECT HISTORY/ OLD SITE PLAN</b></p>	<p>File number: _____ Scale: _____</p> <p>Drawn: <b>CL</b> Dwg. no. _____</p> <p>Checked: <b>KK</b></p> <p>Print date: <b>May 8, 2024</b></p>	<p><b>A7.2</b></p>
		No.	Date	Revision									
1	May 8 2024	Issued for DPP											
<p>Scale: 1/8"=1'-0"</p>													





**project data :**

**proposed zoning :** ZMUS3 Neighbourhood Village Centre (Hamilton)

**site area :** 110,872 s.f. (10300 m<sup>2</sup> = 1.03ha)

(after road dedications)

**building areas :**

Block A -	
ground floor -	24,696 s.f.
2nd floor -	22,374 s.f.
3rd floor -	22,374 s.f.
4th floor -	22,374 s.f.
5th floor -	22,374 s.f.
total -	114,156 s.f. (10,608.4 m <sup>2</sup> )
Block B -	
ground floor -	12,892 s.f.
2nd floor -	12,892 s.f.
3rd floor -	12,892 s.f.
4th floor -	12,892 s.f.
total -	50,848 s.f. (4,723.8 m <sup>2</sup> )

total buildings A & B - 165,004 s.f. (15,332.2 m<sup>2</sup>)

total office rooms

as permitted by zoning bylaw - refer to diag. 1(a)

F.A.R. : 114,401 + 50,475 = 164,877 / 110,872 = 1.48Z

site coverage : 4223 m<sup>2</sup> 43%

**unit types :**

type	Block A :	Block B :	total :
studio	55	76	131
1-bedroom	23	76	99
2-bedroom	59	97	156
3-bedroom	28	86	114
total	165	195	360

**parking provision :**

required per bylaw :	
standard apt. -	157 x 1.4 = 214 (TDM rate)
affordable apt. -	19 x 1 = 19
total	233
provided :	233
total req'd - 233 spaces	
provided - 233 surface spaces	
total req'd - 233 spaces	
provided - 233 spaces	

(TDMs to support 1:4 residential parking ratio - refer to CTR report)

**bicycle parking required :**

residential spaces required :	186 x 1.5 = 279 spaces
total	186 x 2.37 spaces
provided :	279 spaces
total - 279 spaces	
commercial spaces required :	5 spaces total
provided :	2 class 1, bike lockers in parkade
total - 5 spaces	

**indoor amenity :**

required :	1,076 s.f. (100 m <sup>2</sup> )
provided :	2,550 s.f. (238 m <sup>2</sup> )

**outdoor amenity :**

required :	186 x 6 = 1116 m <sup>2</sup> (12,013 s.f.)
provided :	approx. 13,200 s.f. = 1226 m <sup>2</sup>

**building height :**

max. allowed per bylaw :	4-storey & 17.0 m. (55.77 ft.)
proposed height :	4-storey & 17.55 m. (57.58 ft.)
proposed height :	4-storey & 17.55 m. (57.58 ft.)
proposed height :	4-storey & 19.95 m. (65.45 ft.)

**project data**

ADP submission	Feb. 26, 2024
revised to April 12, 2024	

**parcels 6 & 7 - proposed residential - commercial development**

Hamilton Lands

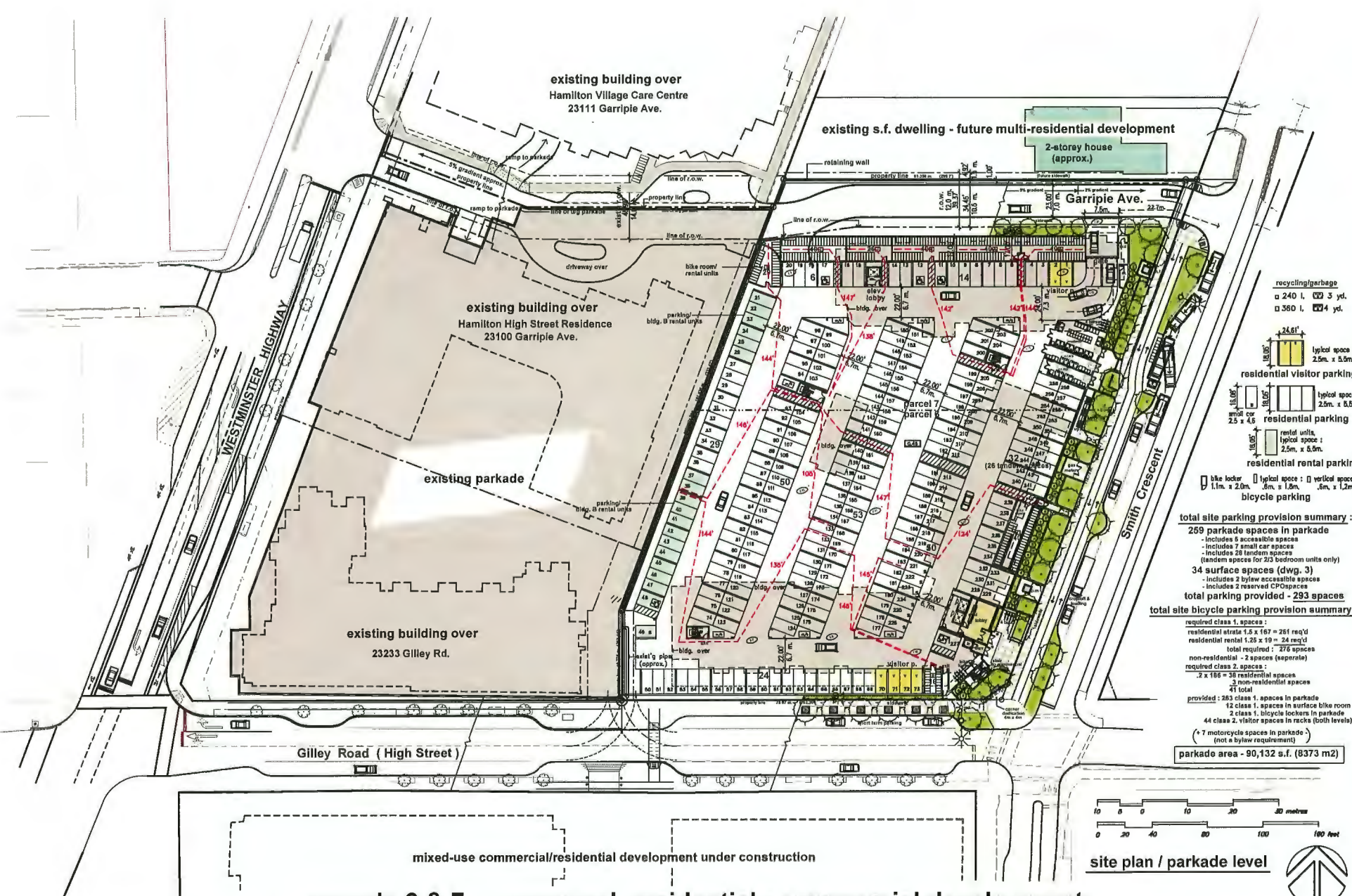
Richmond B.C.

Rev	Date	By	Description
05	21-2138	A-1	proposed development parcels 6 & 7 - Hamilton Lands

**Iconic Architecture Inc.**  
Architects a.i.b.c.

1000-1000 14th St. W. Vancouver, BC V6H 2M6  
Tel: 604-271-1111 Fax: 604-271-1112  
www.iconicarchitects.com





existing building over  
Hamilton Village Care Centre  
23111 Garrpie Ave.

existing s.f. dwelling - future multi-residential development  
2-storey house (approx.)

existing building over  
Hamilton High Street Residence  
23100 Garrpie Ave.

existing building over  
23233 Gilley Rd.

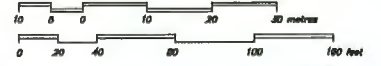
Gilley Road (High Street)

mixed-use commercial/residential development under construction

- recycling/garbage
  - 240 l. 3 yd.
  - 360 l. 4 yd.
- residential visitor parking
  - typical space: 2.5m x 5.5m
- residential parking
  - typical space: 2.5m x 8.5m
- residential rental parking
  - typical space: 2.5m x 8.5m
- bicycle parking
  - typical space: 1.1m x 2.0m
  - vertical space: .8m x 1.8m, .8m x 1.2m

**total site parking provision summary:**  
 259 parkade spaces in parkade  
 - includes 6 accessible spaces  
 - includes 7 small car spaces  
 - includes 28 tandem spaces (tandem spaces for 20 bedroom units only)  
 34 surface spaces (dwg. 3)  
 - includes 2 bylaw accessible spaces  
 - includes 2 reserved CPD spaces  
**total parking provided - 293 spaces**

**total site bicycle parking provision summary:**  
 required class 1, spaces:  
 residential strata 1.5 x 167 = 251 req'd  
 residential rental 1.25 x 19 = 24 req'd  
 total required: 275 spaces  
 non-residential - 2 spaces (separate)  
 required class 2, spaces:  
 2 x 186 = 368 residential spaces  
 3 non-residential spaces  
 41 total  
 provided: 365 class 1, spaces in parkade  
 12 class 1, spaces in surface bike room  
 2 class 1, bicycle lockers in parkade  
 44 class 2, visitor spaces in parkade (both levels)  
 (+ 7 motorcycle spaces in parkade - not a bylaw requirement)  
**parkade area - 90,132 s.f. (8373 m2)**



site plan / parkade level



**parcels 6 & 7 - proposed residential - commercial development**

Hamilton Lands

Richmond B.C.

issued for D.P.

ADP submission  
Feb. 26 2024  
revltd to May 6 2024

Rev.	Date	By	Description
01	2-22-24	DP	issued for DP
02	11-27-23	DP	issued for D.P. submission
03	7-17-23	DP	issued for resubmission
04	4-12-23	DP	issued for resubmission
05	10-05-23	DP	original resubmission

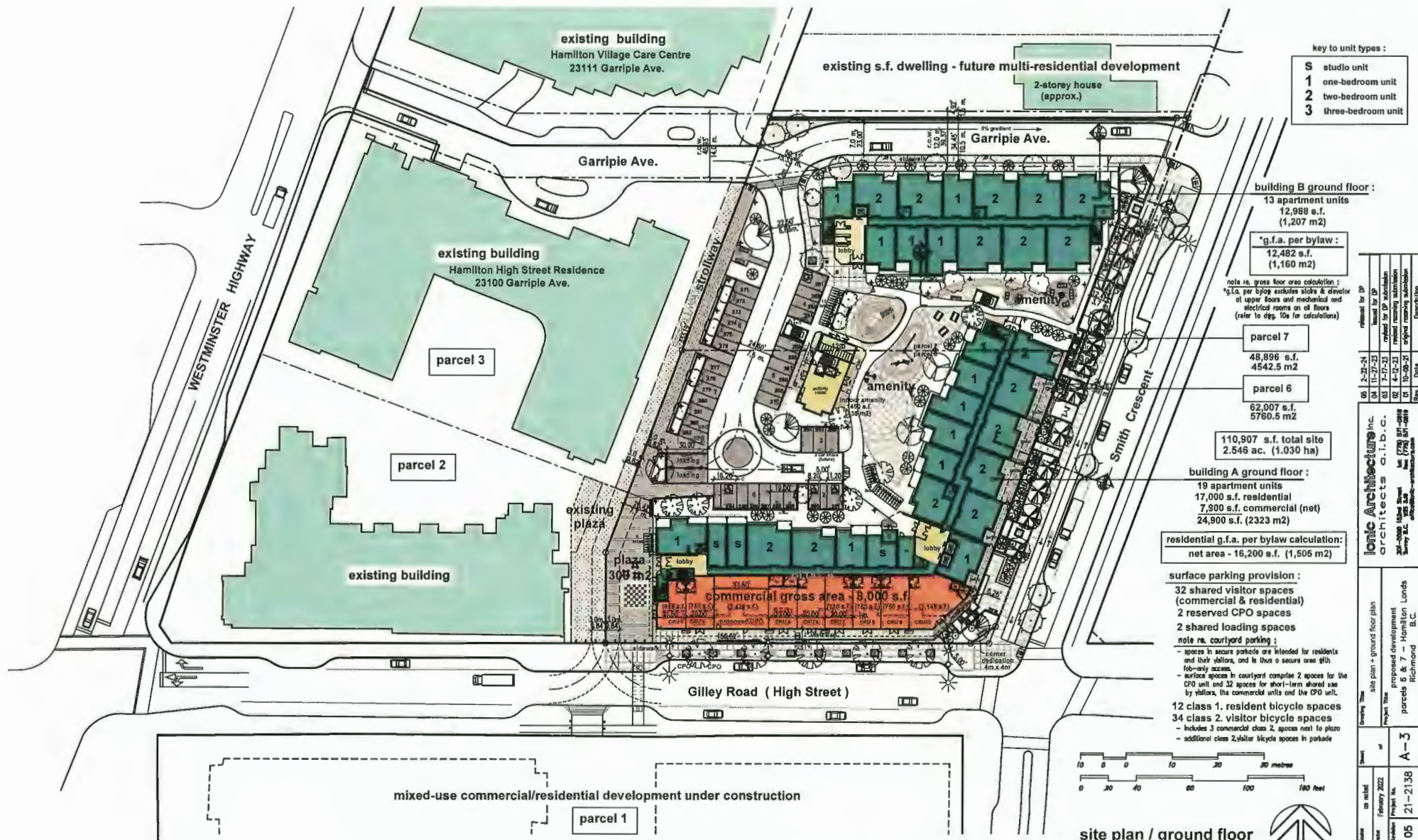
  

Rev.	Date	By	Description
01	2-22-24	DP	issued for DP
02	11-27-23	DP	issued for D.P. submission
03	7-17-23	DP	issued for resubmission
04	4-12-23	DP	issued for resubmission
05	10-05-23	DP	original resubmission

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04	4-12-23	DP	issued for resubmission
05	10-05-23	DP	original resubmission





key to unit types :

- S studio unit
- 1 one-bedroom unit
- 2 two-bedroom unit
- 3 three-bedroom unit

building B ground floor :  
13 apartment units  
12,988 s.f.  
(1,207 m<sup>2</sup>)

\*g.f.a. per bylaw :  
12,482 s.f.  
(1,160 m<sup>2</sup>)

note re. gross floor area calculation :  
\*g.f.a. per bylaw excludes stairs & elevator  
at upper floors and mechanical and  
electrical rooms on all floors  
(refer to diag. 10a for calculations)

parcel 7  
48,896 s.f.  
4542.5 m<sup>2</sup>

parcel 6  
62,007 s.f.  
5760.5 m<sup>2</sup>

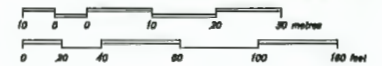
110,907 s.f. total site  
2.546 ac. (1.030 ha)

building A ground floor :  
19 apartment units  
17,000 s.f. residential  
7,900 s.f. commercial (net)  
24,900 s.f. (2323 m<sup>2</sup>)

residential g.f.a. per bylaw calculation:  
net area - 16,200 s.f. (1,506 m<sup>2</sup>)

surface parking provision :

- 32 shared visitor spaces (commercial & residential)
- 2 reserved CPO spaces
- 2 shared loading spaces
- note re. courtyard parking :
  - spaces in secure parkade are intended for residents and their visitors, and to thus a secure area with 100% access.
  - surface spaces in courtyard comprise 2 spaces for the CPO unit and 32 spaces for short-term shared use by visitors, the commercial units and the CPO unit.
- 12 class 1. resident bicycle spaces
- 34 class 2. visitor bicycle spaces
  - includes 3 commercial class 2, spaces next to plaza
  - additional class 2, visitor bicycle spaces in parkade



site plan / ground floor



Rev.	Date	Description
06	2-20-24	released for DP
04	11-27-23	revised for DP submission
03	7-17-23	revised for DP submission
02	4-12-23	revised remaining submission
01	10-05-21	original master submission

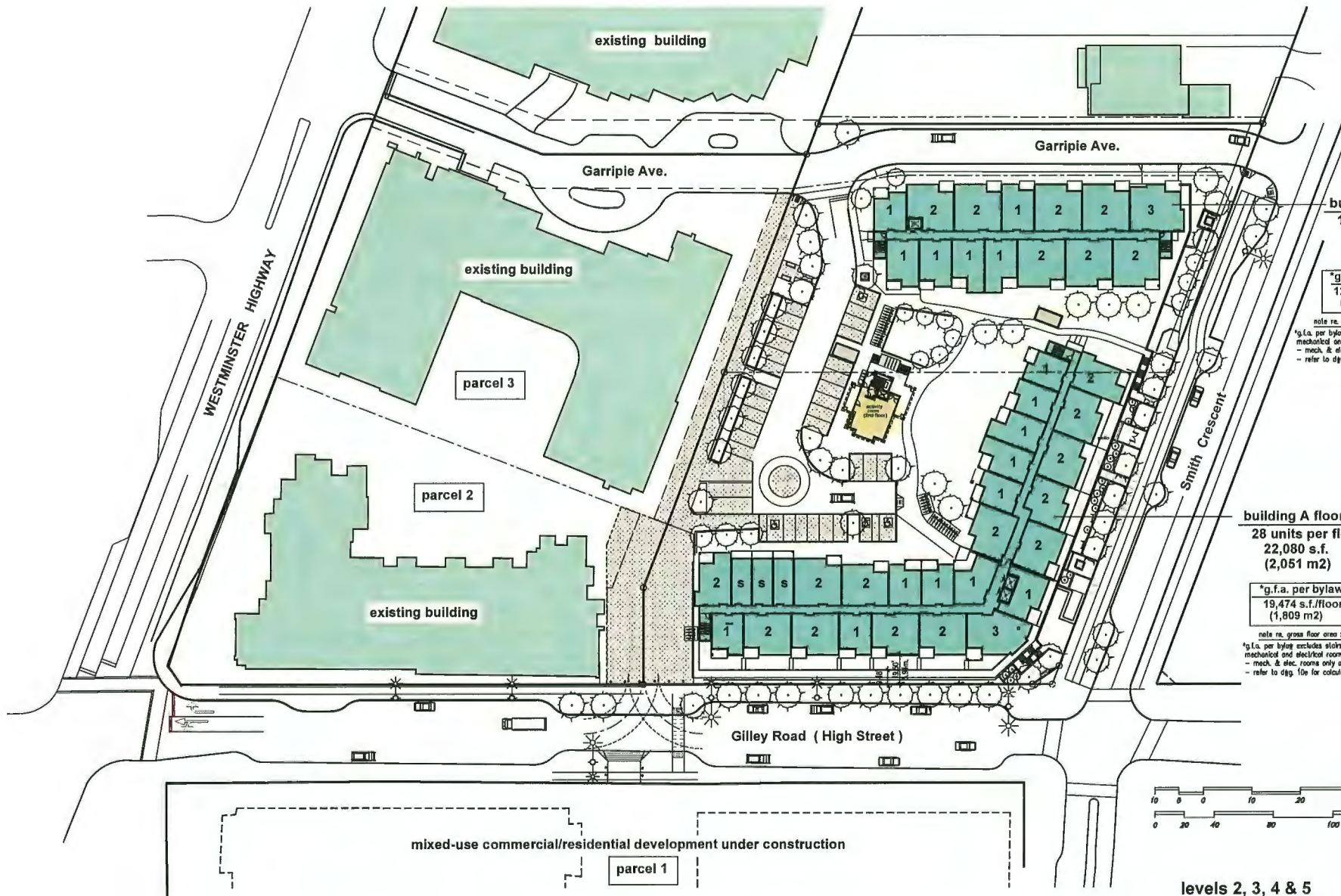
Sheet	of	Drawn	Date	Project Name	Project No.	Parcel No.	Location
05	21-2138	ADP	February 2022	proposed development parcels 6 & 7 - Hamilton Lands	21-2138	6 & 7	Richmond B.C.

**parcels 6 & 7 - proposed residential - commercial development**  
Hamilton Lands Richmond B.C.

issued for D.P.

ADP submission  
Feb. 26 2024  
revised to May 6 2024





- key to unit types :
- S** studio unit
  - 1** one-bedroom unit
  - 2** two-bedroom unit
  - 3** three-bedroom unit

**building B floors 2,3,4 :**  
 14 units per floor  
 13,072 s.f./floor  
 (1,215 m<sup>2</sup>)

**\*g.f.a. per bylaw :**  
 12,712 s.f./floor  
 (1,181 m<sup>2</sup>)

note re. gross floor area :  
 \*g.l.a. per bylaw excludes stairs, elevators and mechanical and electrical rooms on all floors  
 - mech. & elec. rooms only on ground floor  
 - refer to dpg. 10e for calculations

**building A floors 2,3,4,5 :**  
 28 units per floor  
 22,080 s.f.  
 (2,051 m<sup>2</sup>)

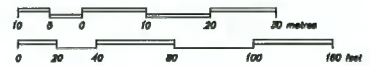
**\*g.f.a. per bylaw :**  
 19,474 s.f./floor  
 (1,809 m<sup>2</sup>)

note re. gross floor area :  
 \*g.l.a. per bylaw excludes stairs, elevators and mechanical and electrical rooms on all floors  
 - mech. & elec. rooms only on ground floor  
 - refer to dpg. 10e for calculations

Rev.	Date	Description
01	2-20-24	issued for DP
02	11-27-23	issued for U.P. submission
03	7-17-23	revised for zoning
04	4-12-23	original zoning submission
05	10-05-23	original zoning submission

**Ionic Architecture inc.**  
 architects  
 201-888-1888  
 201-888-1888  
 201-888-1888

proposed development  
 parcels 6 & 7 - Hamilton Lands  
 Richmond B.C.



**levels 2, 3, 4 & 5**

**parcels 6 & 7 - proposed residential - commercial development**  
 Hamilton Lands Richmond B.C.

issued for D.P.

ADP submission  
 Feb. 26 2024  
 revised to May 6 2024



A2 east elevation - to Smith Crescent

EXTERIOR MATERIALS & FINISHES :			
MATERIAL / FINISH	COLOUR	MATERIAL / FINISH	COLOUR
① STONE	IKL - WARTON ESTATE STONE	① WINDOWS & DOORS :	
② JAMES HARDIE PANELS VERTICAL SIDING STYLE	SMOOTH - PRIME - NIGHT GRAY	COMMERCIAL UNITS -	BLACK ALUMINUM FRAMES CLEAR GLASS
③ JAMES HARDIE PANELS	SMOOTH - PRIME - NIGHT GRAY	RESIDENTIAL UNITS -	BLACK VINYL & CLEAR GLASS
④ JAMES HARDIE PANELS	SMOOTH - PRIME - COBBLE STONE	④ AMENITY BUILDING	WHITE ENAMEL FRAMES & CLEAR GLASS
⑤ JAMES HARDIE PANELS	SMOOTH - PRIME - ARCTIC WHITE	⑤ HARDIE FASCIA	TIMBER BARK
⑥ JAMES HARDIE SOFFIT	SMOOTH - PRIME - ARCTIC WHITE	⑥ CONCRETE	NATURAL CONCRETE
⑦ FAST PLANK SYSTEM	DARK WALNUT	⑦ ALUM. AND GLASS RAILING	BLACK ENAMEL ALUM. & CLEAR GLASS
⑧ AL13 METAL PANEL SOLUTION	PEWTER METALLIC	⑧ GLASS CANOPY	CLEAR GLASS
		⑧ COMMERCIAL SIGNAGE / SIGN BACKING SUPPORT	B. COMPOSITE WOOD PLASTIC DARK WALNUT (1 1/2 IN+ 4IN)



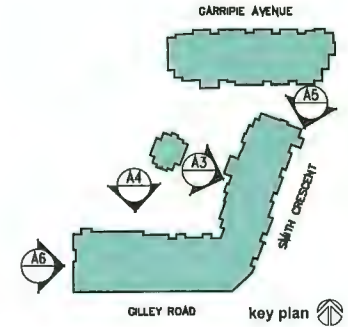
A1 south elevation - to Gilley Road 'High Street'

**parcels 6 & 7 - proposed residential - commercial development**  
Hamilton Lands  
Richmond B.C.

ADP submission  
Feb. 26 2024  
revised to May 6 2024

**5a**

Scale	A4 1/4" = 1'-0"	Sheet	of	Drawings Title	building A_south & east elevations
Date	AUGUST 2023	Project No.	21-2135	Project Title	PROPOSED DEVELOPMENT parcels 6 & 7 - Hamilton Lands Richmond B.C.
Revision	04	Project No.	21-2135	Revision	A5a
Drawn		Checked		Drawn	
Designed		Reviewed		Designed	
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Approved		Issued		Approved	
Client		Issued		Client	
Contract		Issued		Contract	
Project		Issued			



EXTERIOR MATERIALS & FINISHES :	
MATERIAL / FINISH	COLOUR
① STONE	IXL - HARTON ESTATE STONE
② JAMES HARDIE PANELS VERTICAL SIDING STYLE	SMOOTH - PRÄIE - NIGHT GRAY
③ JAMES HARDIE PANELS	SMOOTH - PRÄIE - NIGHT GRAY
④ JAMES HARDIE PANELS	SMOOTH - PRÄIE - ARCTIC WHITE
⑤ JAMES HARDIE PANELS	SMOOTH - PRÄIE - COBBLE STONE
⑥ JAMES HARDIE SOFFIT	SMOOTH - PRÄIE - ARCTIC WHITE
⑦ FAST PLANK SYSTEM	DARK WALNUT
⑧ AL13 METAL PANEL SOLUTION	PEWTER METALLIC
⑨ WINDOWS & DOORS - COMMERCIAL UNITS	BLACK ALUMINUM FRAMES CLEAR GLASS
RESIDENTIAL UNITS	BLACK VINYL & CLEAR GLASS
⑩ JAMES HARDIE FASCIA	PRIME COLOR - PEWTER METALLIC
⑪ CONCRETE	NATURAL CONCRETE
⑫ METAL AND GLASS RAILING	BLACK / NATURAL ANOD. ALUM.
⑬ METAL & GLASS CANOPY	PATTERNED GLASS
⑭ COMMERCIAL SIGNAGE	(VARIES, 3D ILLUMINATED)
⑮ SIGN BACKING SUPPORT	B. COMPOSITE WOOD PLASTIC DARK WALNUT (1/2" x 4")

**parcels 6 & 7 - proposed residential - commercial development**  
 Hamilton Lands Richmond B.C.

ADP submission  
 Feb. 26 2024  
 revised to May 6 2024

**5b**

Rev.	Date	Description
01	4-20-24	revised per ADP comments
02	2-20-24	revised for D.P.
03	11-27-23	issued for DP
04	8-30-23	issued for review

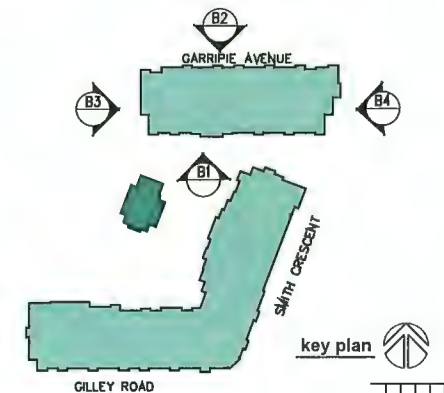
<b>Ionic Architecture Inc.</b> architects o.i.b.c. 201-600 1020 Street Surrey B.C.	Tel: (778) 971-8810 Fax: (778) 971-8810 ionic@ionic-architects.com
---	--

Drawing Title: building _north & west elevations Project No.: PROPOSED DEVELOPMENT parcels 6 & 7 - Hamilton Lands Richmond B.C. Sheet: A5a Date: AUGUST 2023 Revision: D4 Scale: 21-2138
---



B1 - south elevation to courtyard



key plan



B3 - west elevation

EXTERIOR MATERIALS & FINISHES :		
MATERIAL / FINISH	COLOUR	
① STONE	DL - WARTON ESTATE STONE	
② JAVES HARDE PANELS VERTICAL SIDING STYLE	SMOOTH - PRIME - NIGHT GRAY	
③ JAVES HARDE PANELS	SMOOTH - PRIME - NIGHT GRAY	
④ JAVES HARDE PANELS	SMOOTH - PRIME - ARCTIC WHITE	
⑤ JAVES HARDE PANELS	SMOOTH - PRIME - COBBLE STONE	
⑥ JAVES HARDE SOFT	SMOOTH - PRIME - ARCTIC WHITE	
⑦ FAST PLANK SYSTEM	DARK WALNUT	
⑧ ALIS METAL PANEL SOLUTION	PENTER METALLIC	
⑨ WINDOWS & DOORS - COMMERCIAL UNITS	BLACK ALUMINUM FRAMES	
	CLEAR GLASS	
RESIDENTIAL UNITS	BLACK VINYL & CLEAR GLASS	
⑩ JAVES HARDE FASCIA	PRIME COLOR - PENTER METALLIC	
⑪ CONCRETE	NATURAL CONCRETE	
⑫ METAL AND GLASS RAILING	BLACK / NATURAL ANOD. ALUM.	
⑬ METAL & GLASS CANOPY	PATTERNED GLASS	
⑭ COMMERCIAL SIGNAGE	B. COMPOSITE WOOD PLASTIC (VARIES, 3D ILLUMINATED)	
⑮ SIGN BACKING SUPPORT	DARK WALNUT (1/2" x 4")	



B4 - east elevation



B2 - north elevation to Garrippe Avenue

parcels 6 & 7 - proposed residential - commercial development  
Hamilton Lands Richmond B.C.

building B elevations

Rev.	Date	Description
01	2-20-24	released for D.P.
02	11-27-23	based for D.P.
03	5-04-23	based for rev. 1

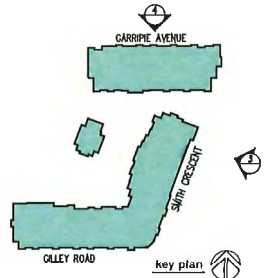
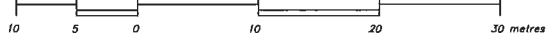
  

Ionic Architecture inc.		building B elevations	
architects g.i.b.c.		PROJECT TITLE	
297-4800 Island Street		PROPOSED DEVELOPMENT	
Vancouver BC V6P 4R8		parcels 6 & 7	
Tel: (778) 871-0810		Hamilton Lands	
Fax: (778) 871-0808		Richmond B.C.	
www.ionicarch.com		Sheet	
		of	
Issue		A5C	
As Noted		August 2023	
Date		03	
Revision		21-2135	

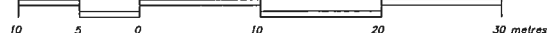




streetscape to Garripie Avenue



streetscape to Smith Crescent



streetscapes

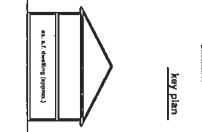
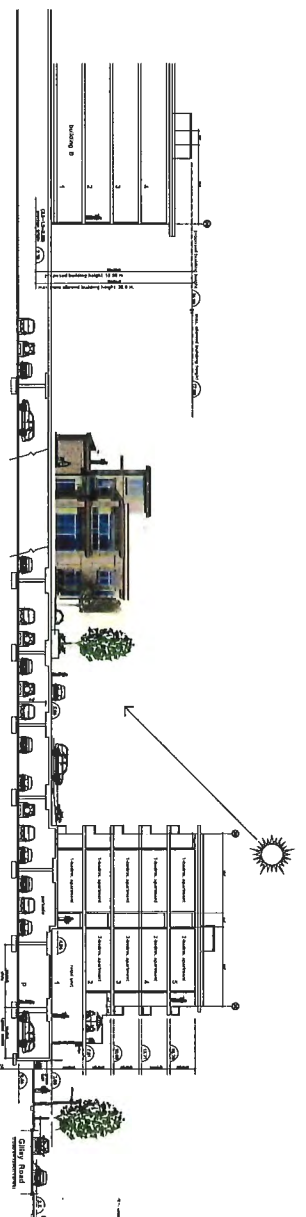
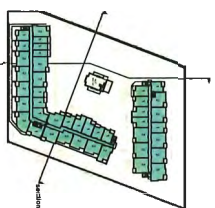
**parcels 6 & 7 - proposed residential - commercial development**  
 Hamilton Lands Richmond B.C.

ADP submission  
 Feb. 26 2024  
 revised to May 6 2024

**6b**

Scale	As Noted	Sheet	6b
Date	March 2022	of	
Revision		Project No.	6b
Drawing Title: streetscapes - Smith Cres. & Garripie Ave.			
Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.			
<b>ionic Architecture Inc.</b> <b>architects a.i.b.c.</b> 200-6000 Island Street Surrey B.C. V3W 3J8 Tel: (778) 871-9818 Fax: (778) 871-9818 info@ionic-architects.com			
03	11-27-23	issued for DP	
02	11-22-23	revised for review	
01	04-19-23	issued for rezoning	
		Rev.	Date
		Description	





Rev	Date	Description
04	7-26-21	Issued for ASP
03	11-27-15	Issued for GP
02	6-18-13	Issued for SR
01	1-12-11	Issued for rezoning
Rev	Date	Description

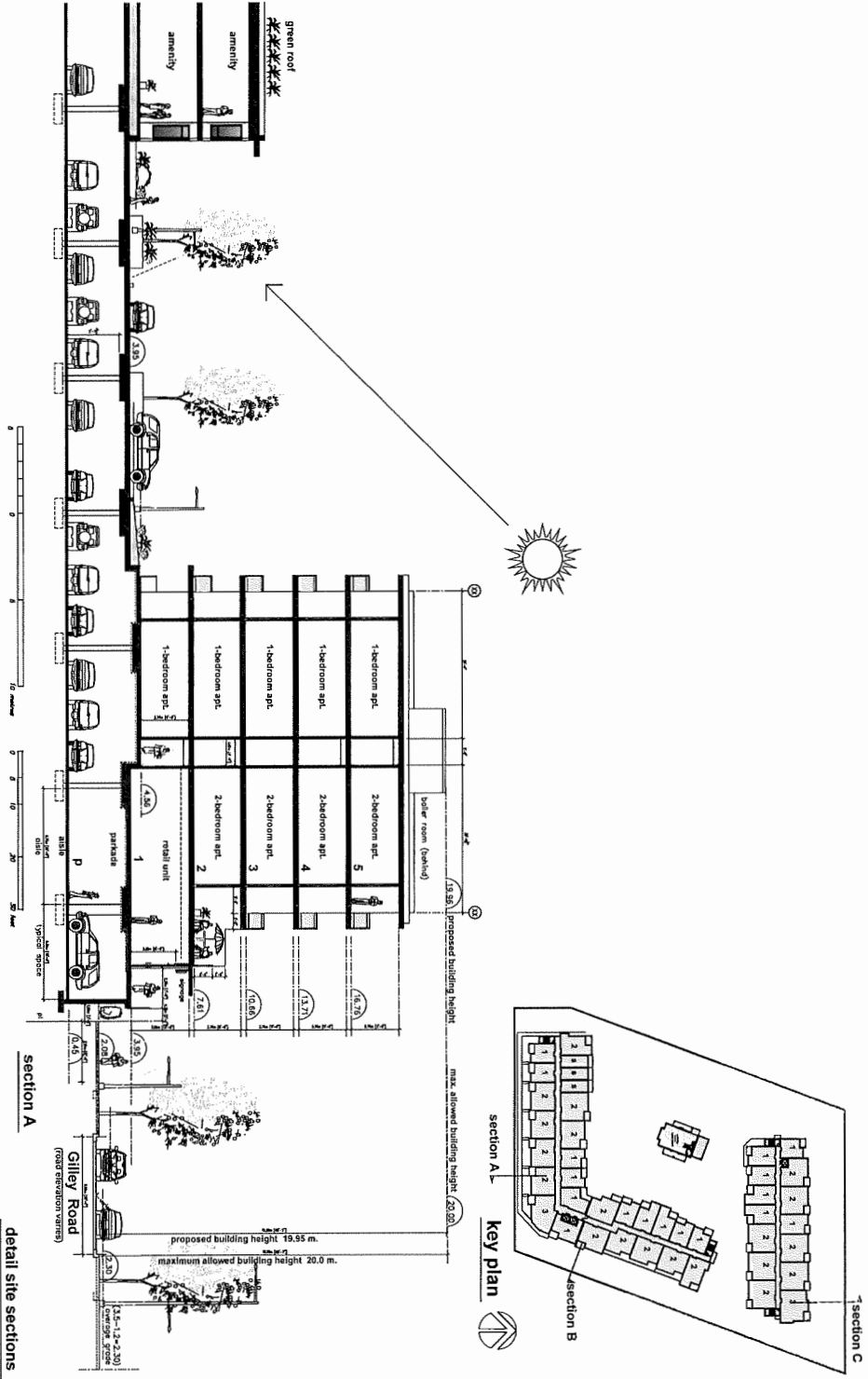
**Ionic Architecture inc.**  
architects a.i.b.c.

301-5000 Island Street, Suite 200, Richmond B.C. V6V 2G9  
 Tel: (778) 871-2618  
 Fax: (778) 871-2618  
 a@ionic-a.com or ionic@ionic.com

Sheet	as noted	Drawing Title
04	21-2138	A7a site sections

**parcels 6 & 7 - proposed residential - commercial development**  
 Hamilton Lands  
 Richmond B.C.

ADP submission  
 Feb. 26, 2024  
 revised to May 6, 2024



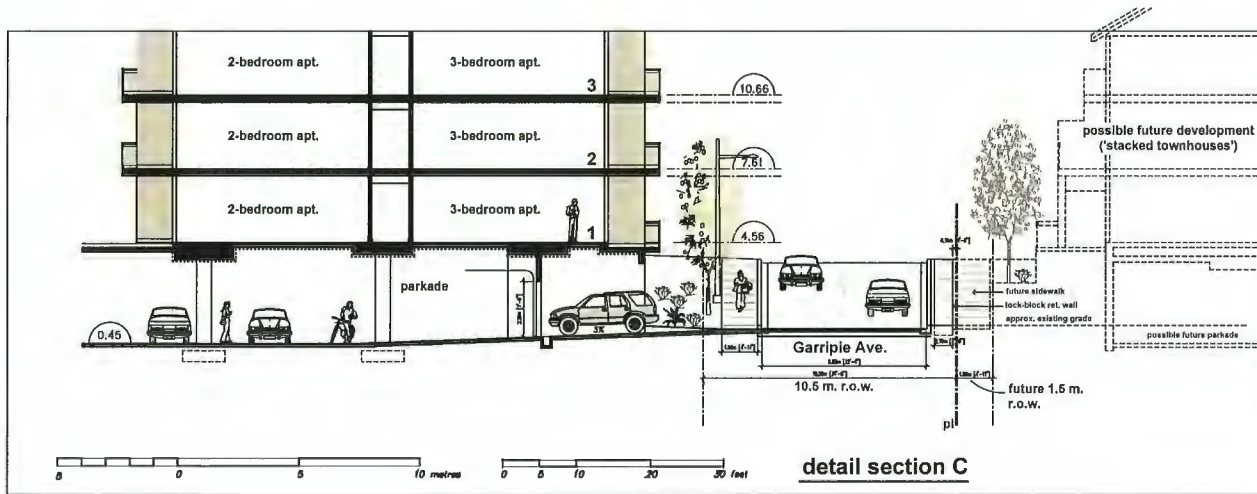
parcels 6 & 7 - proposed residential - commercial development  
 Hamilton Lands  
 Richmond B.C.

ADP submission  
 Feb. 26, 2024  
 revised to May 9, 2024

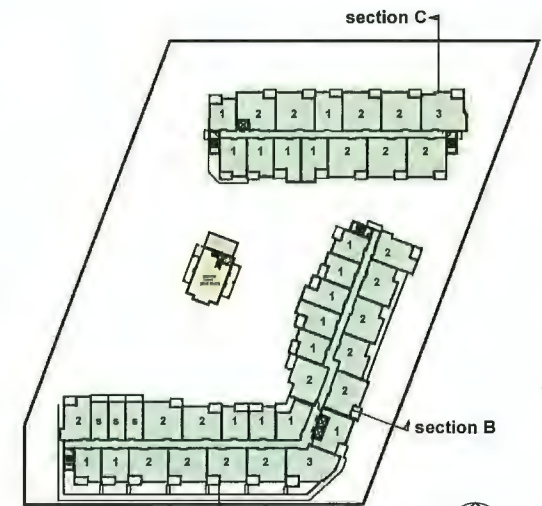
Rev	Date	Description
01	4-02-24	re-based for DP.
02	10-27-23	based for DP.
03	4-11-23	rebased for DP.
04	4-12-23	issued for rezoning.

**Ionic Architecture** inc.  
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 Fax: (778) 877-0819  
 www.ionic-architects.com

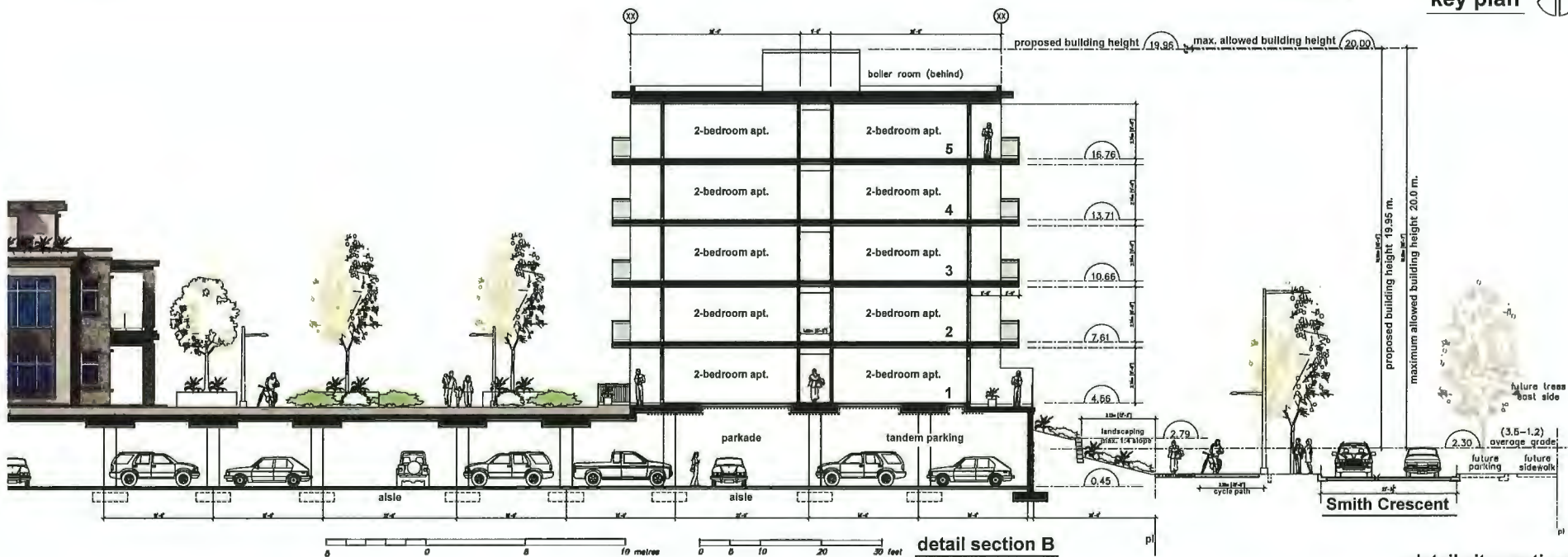
Rev	Date	Drawn	Checked	Project Name	Project File
03	21-2138	A-Ba		proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.	



detail section C



key plan



detail section B

detail site sections

parcels 6 & 7 - proposed residential - commercial development  
Hamilton Lands  
Richmond B.C.

ADP submission  
Feb. 26, 2024  
revised to May 6, 2024

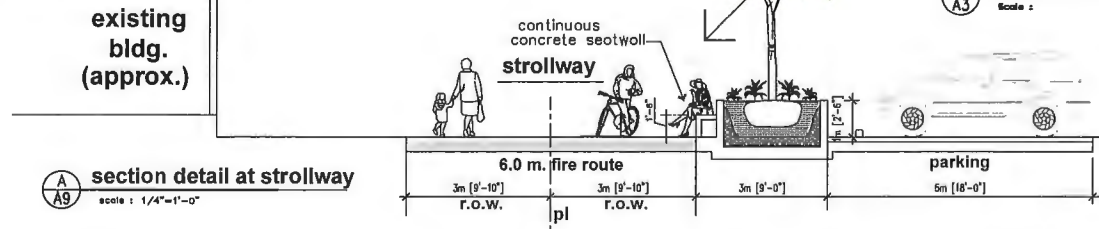
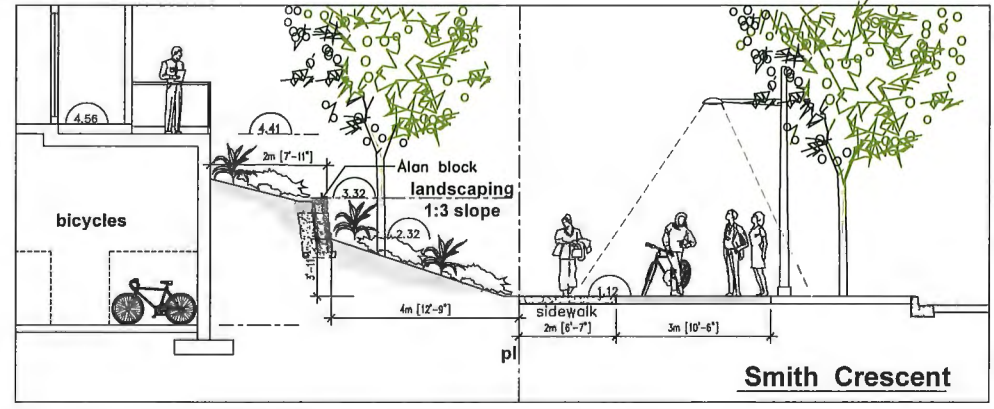
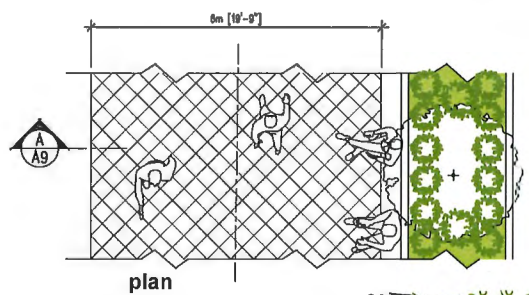
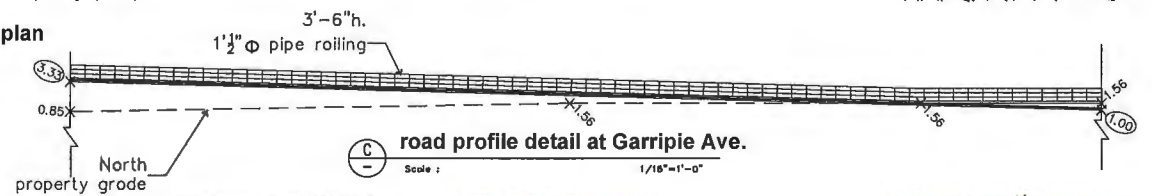
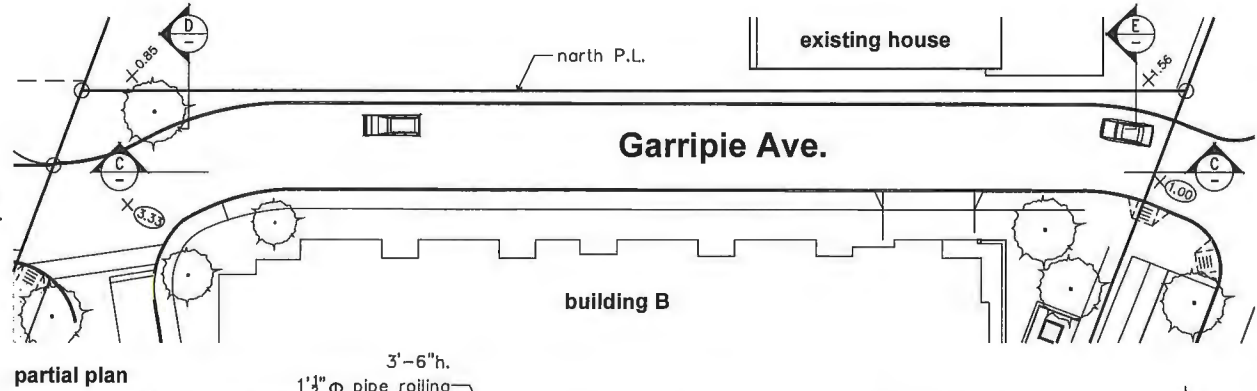
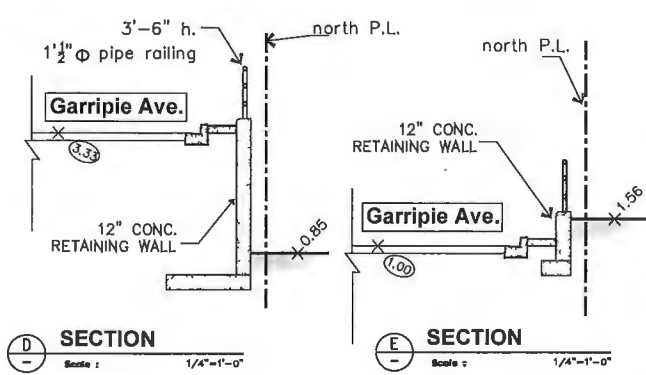
8b

Rev.	Date	Description
04	2-29-24	re-based for D.P.
03	05-27-23	based for D.P.
02	6-14-23	revised for D.P.
01	4-12-23	based for rezoning

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Surrey B.C. V4L 1A8  
Tel: (779) 877-0888  
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drawn: [blank]  
checked: [blank]  
project: [blank]  
proposed development  
parcels 6 & 7 - Hamilton Lands  
Richmond B.C.

Sheet	As Noted	March 2022	at	Project No.	Revision
A-8b				21-2135	04



**parcels 6 & 7 - proposed residential - commercial development**  
Hamilton Lands Richmond B.C.

ADP submission  
Feb. 26, 2024  
revised to May 6, 2024

Rev.	Date	Description
04	2-29-24	re-based for D.P.
03	11-27-23	based for U.P.
02	4-16-23	based for naming
01	3-29-22	based for review

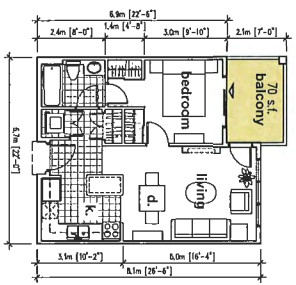
Sheet	Site details
A-9	proposed development parcels 6 & 7 Richmond B.C.

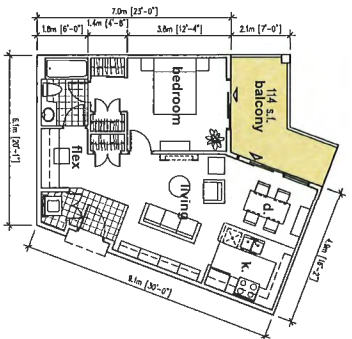
Drawn	Checked	Scale	Date
As Noted	March 2024	1/4"=1'-0"	21-2136

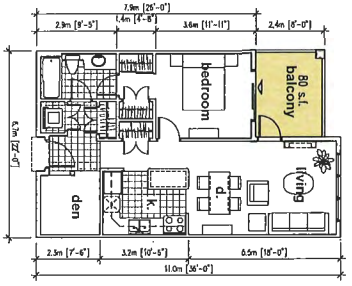
Drawn	Checked	Scale	Date
As Noted	March 2024	1/4"=1'-0"	21-2136



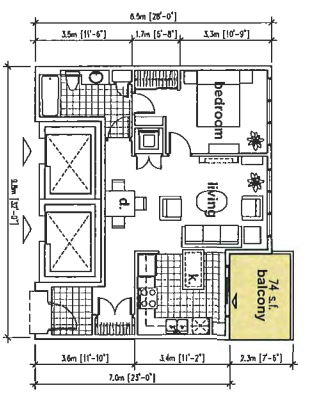
**B5** 1-bedroom 11 units  
539 s.f.  
50.1m<sup>2</sup>



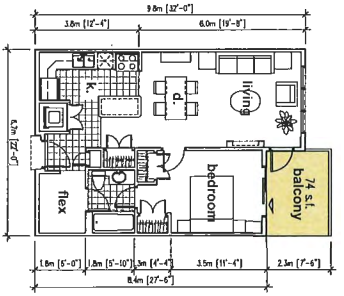
**B4** 1-bedroom 4 units  
695 s.f.  
64.5m<sup>2</sup>



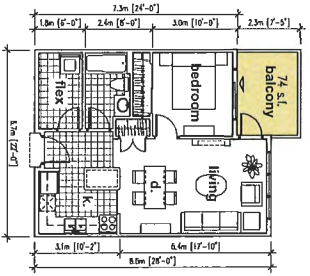
**B3** 1-bedroom + den 18 units  
686 s.f.  
63.7m<sup>2</sup>



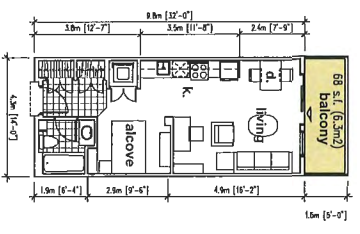
**B2** 1-bedroom 5 units  
695 s.f.  
64.6m<sup>2</sup>



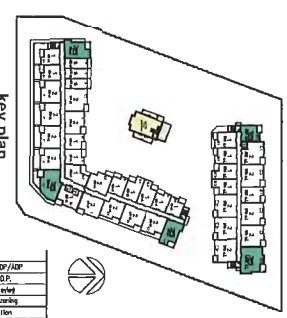
**B1** 1-bedroom + flex 7 units  
656 s.f.  
60.0m<sup>2</sup>



**B** 1-bedroom + flex 27 units  
572 s.f.  
53.1m<sup>2</sup>



**A** studio + flex 14 units  
444 s.f.  
41.2m<sup>2</sup>  
(see dwg. 113 for A2 unit)



- key plan**
- A studio unit
  - B one-bedroom unit
  - C two-bedroom unit
  - D three-bedroom unit
- (refer to dwg. A.113 for locations)

Issued for D.P.

**parcels 6 & 7 - proposed residential - commercial development**  
Hamilton Lands

Richmond B.C.

ADP submission  
revised to May 9, 2024  
**10a**

**unit floor plans**

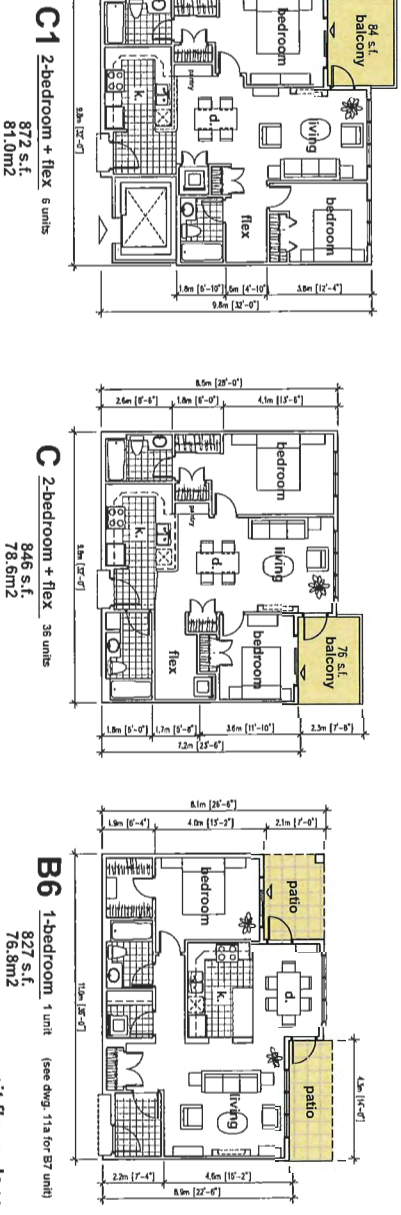
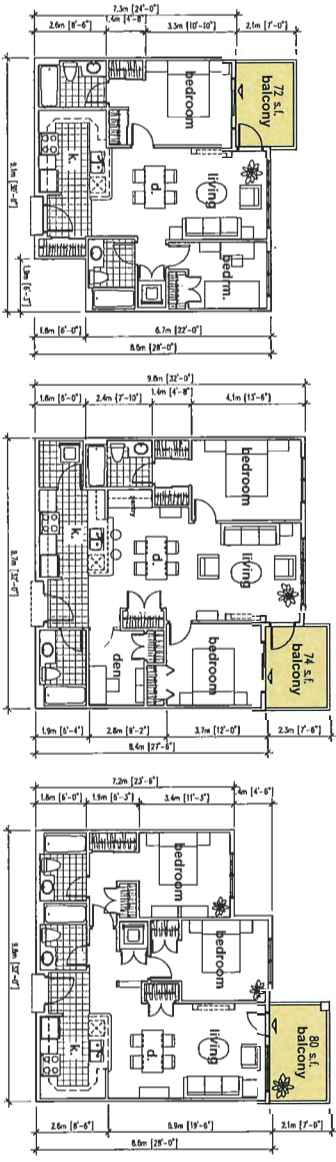
Unit	Area	Count
A10a	444 s.f. 41.2m <sup>2</sup>	14

Rev	Date	Description
04	21-2138	

**Ionic Architecture** inc.  
architects a.i.b.c.

201-902 1188 Street  
Surrey B.C. V3R 2J8  
Tel: (778) 871-2118  
Fax: (778) 871-2119  
www.ionicarchitects.com

Rev	Date	Description
04	2-26-24	re-submitted for D.P./ADP
03	11-27-23	Issued for D.P.
02	12-29-23	checked for errors
01	12-12-23	Issued for review
00	08-08-23	Issued for review



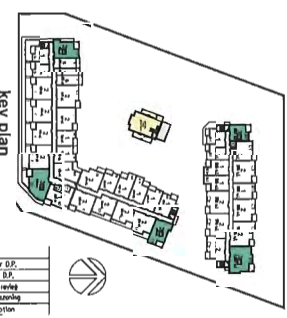
**parcels 6 & 7 - proposed residential - commercial development**

Hamilton Lands Richmond B.C.

unit floor plans  
+ 1 D2 unit - see dng. 10c  
ADP submission  
Feb. 26, 2024  
revised to May 6, 2024

**10b**

Issued for D.P.



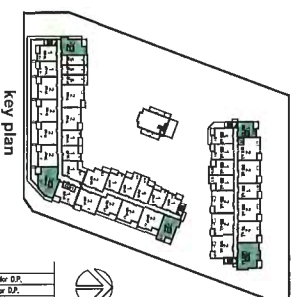
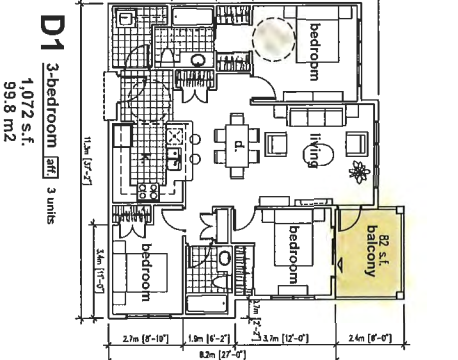
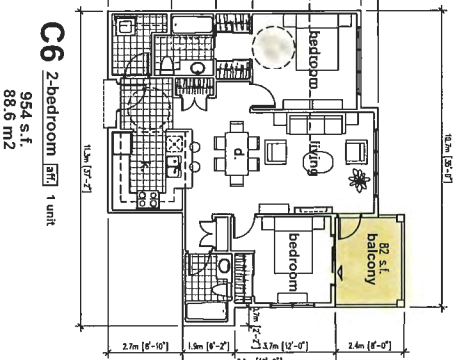
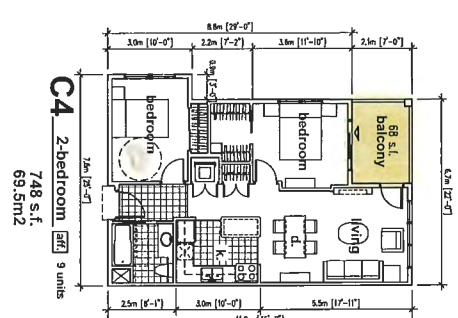
- Key plan**
- A studio unit
  - B one-bedroom unit
  - C two-bedroom unit
  - D three-bedroom unit
- (refer to dng. A.11s for locations)

Date	Description
2-26-24	revised for D.P.
11-27-23	based for D.P.
8-25-23	revised for review
4-12-23	based for rezoning
11-22-22	initial design

**Ionic Architecture Inc.**  
architects a.i.b.c.  
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Vancouver, BC V6Z 2Y7  
Tel: 604.681.1111  
www.ionicarch.com

Drawn	Checked	Project Name	Project No.
AD	AD	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.	21-2138

Sheet: A10b



**Key plan**  
 A studio unit  
 B one-bedroom unit  
 C two-bedroom unit  
 D three-bedroom unit  
 (refer to page 102 for all locations)

**affordable housing data :**

minimum unit areas per AH Strategy :

studio unit	400 s.f., 37 m2
1-bedroom unit	535 s.f., 50 m2
2-bedroom unit	741 s.f., 69 m2
3-bedroom unit	980 s.f., 91 m2

affordable units provided :

studio units	none
1-bedroom B5	2 x 552 = 1104 s.f.
2-bedroom C3	1 x 974 = 974 s.f.
2-bedroom C4	9 x 748 = 6732 s.f.
2-bedroom C6	1 x 954 = 954 s.f.
3-bedroom D1	3 x 1072 = 3216 s.f.
3-bedroom D2	3 x 1020 = 3060 s.f.
19 units total	= 16,040 s.f.

(min. required area : 15,695 s.f. - see 10e)

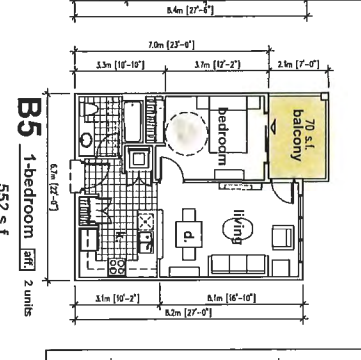
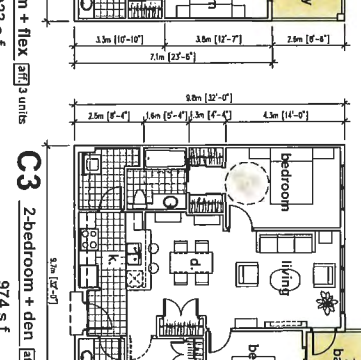
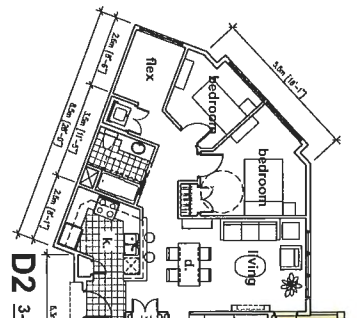
affordable unit percentages :

Z19	= 10.5% 1-bedroom units
F19	= 57.5% 2-bedroom units
G19	= 31.5% 3-bedroom units
100%	

all affordable units (19 units) to have Basic Universal Housing Features per zoning 591aw section 4.1b

**affordable units**

Parcel	no. of units	total
A10c	19	19



**parcels 6 & 7 - proposed residential - commercial development**

Hamilton Lands

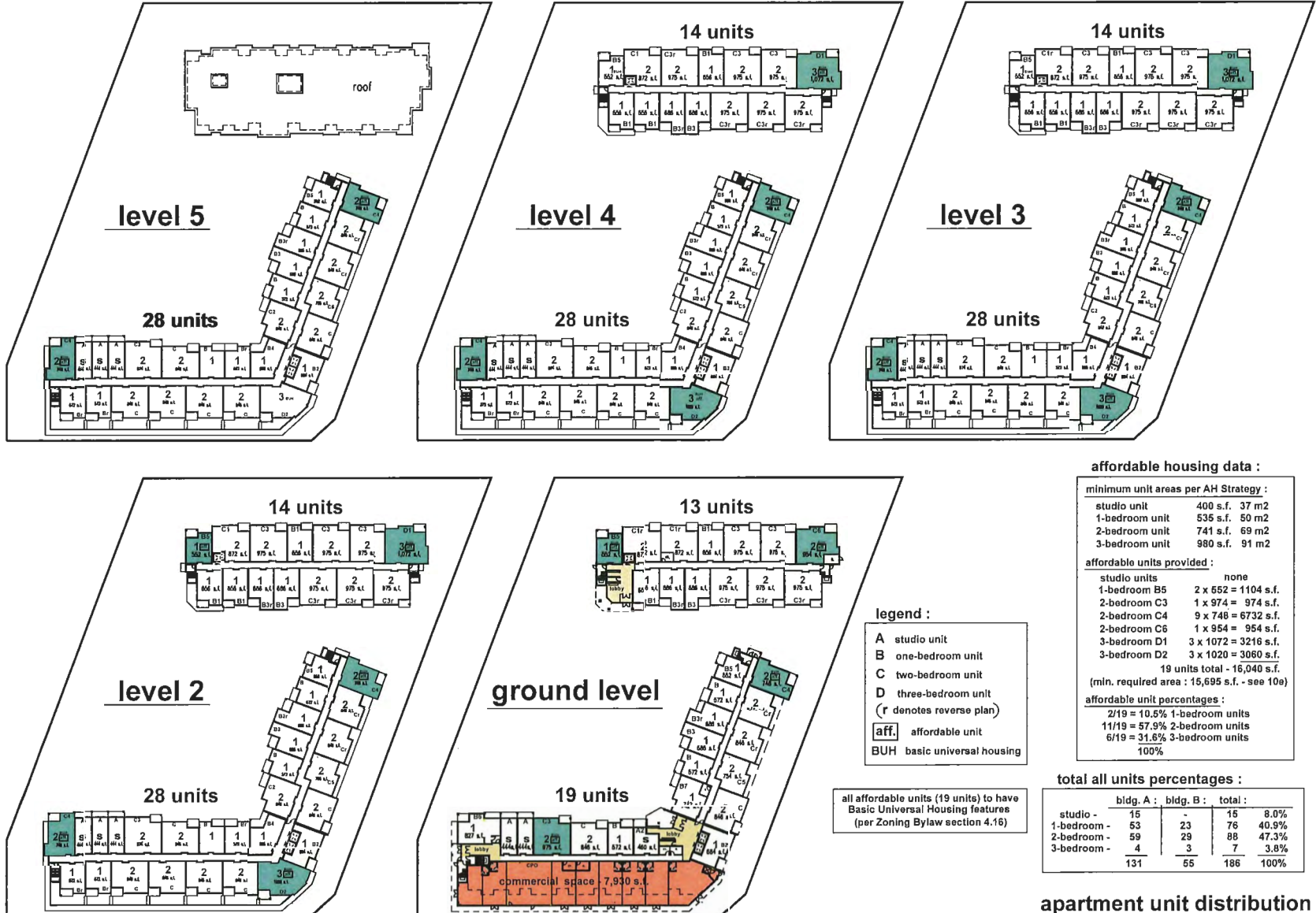
Richmond B.C.

**10c**

ADP submission  
 Feb. 26, 2024  
 revised to May 1, 2024

Drawn by	unit plans - affordable rental units
Project No.	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
Scale	1:100
Date	2024
Author	Architects O.I.D. Inc.
Client	201-800-1548 Street 100, Suite 100, Richmond B.C. V6V 1K6
Project	21-2138
Parcel	A10c
Sheet	02
Revised to	May 1, 2024

issued for D.P.



**parcels 6 & 7 - proposed residential - commercial development**  
**Hamilton Lands**  
**Richmond B.C.**

**affordable housing data :**

minimum unit areas per AH Strategy :

studio unit	400 s.f.	37 m <sup>2</sup>
1-bedroom unit	535 s.f.	50 m <sup>2</sup>
2-bedroom unit	741 s.f.	69 m <sup>2</sup>
3-bedroom unit	980 s.f.	91 m <sup>2</sup>

**affordable units provided :**

studio units	none
1-bedroom B5	2 x 652 = 1104 s.f.
2-bedroom C3	1 x 974 = 974 s.f.
2-bedroom C4	9 x 748 = 6732 s.f.
2-bedroom C6	1 x 954 = 954 s.f.
3-bedroom D1	3 x 1072 = 3216 s.f.
3-bedroom D2	3 x 1020 = 3060 s.f.
19 units total - 16,040 s.f.	

(min. required area : 15,695 s.f. - see 10e)

**affordable unit percentages :**

2/19 = 10.5% 1-bedroom units
11/19 = 57.9% 2-bedroom units
6/19 = 31.6% 3-bedroom units
100%

**legend :**

- A studio unit
- B one-bedroom unit
- C two-bedroom unit
- D three-bedroom unit
- (r denotes reverse plan)
- aff. affordable unit
- BUH basic universal housing

all affordable units (19 units) to have Basic Universal Housing features (per Zoning Bylaw section 4.16)

**total all units percentages :**

	bldg. A :	bldg. B :	total :	
studio -	15	-	15	8.0%
1-bedroom -	53	23	76	40.9%
2-bedroom -	59	29	88	47.3%
3-bedroom -	4	3	7	3.8%
	131	55	186	100%

**apartment unit distribution**

ADP submission  
 Feb. 26, 2024  
 revised to May 6 2024

issued for D.P.



Rev.	Date	Description
04	2-22-24	revised for D.P.
03	11-27-23	based for D.P.
02	8-22-23	revised for review
01	4-15-23	based for rezoning

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 architects o.i.b.c.  
 304-4000 Steeles Street  
 Scarboro, ON M1V 5P8  
 Tel: (770) 971-2818  
 ionic@ionic-architecture.com

Drawing Title: apartment unit distribution  
 Project Title: proposed development parcels 6 & 7 - Hamilton Lands  
 Location: Richmond B.C.

Scale	Sheet	of
1:1	A100	1
Date: April 2023	Project No.:	
Revision:	Project No.:	
04	21-2138	A100



- A** studio unit
  - B** one-bedroom unit
  - C** two-bedroom unit
  - D** three-bedroom unit
- (refer to dwg. A-11a for locations)

**saleable/rentable floor areas :**

**commercial area :**

7,930 s.f. including CPO  
(includes mech. & elec. spaces)

**saleable residential area :**

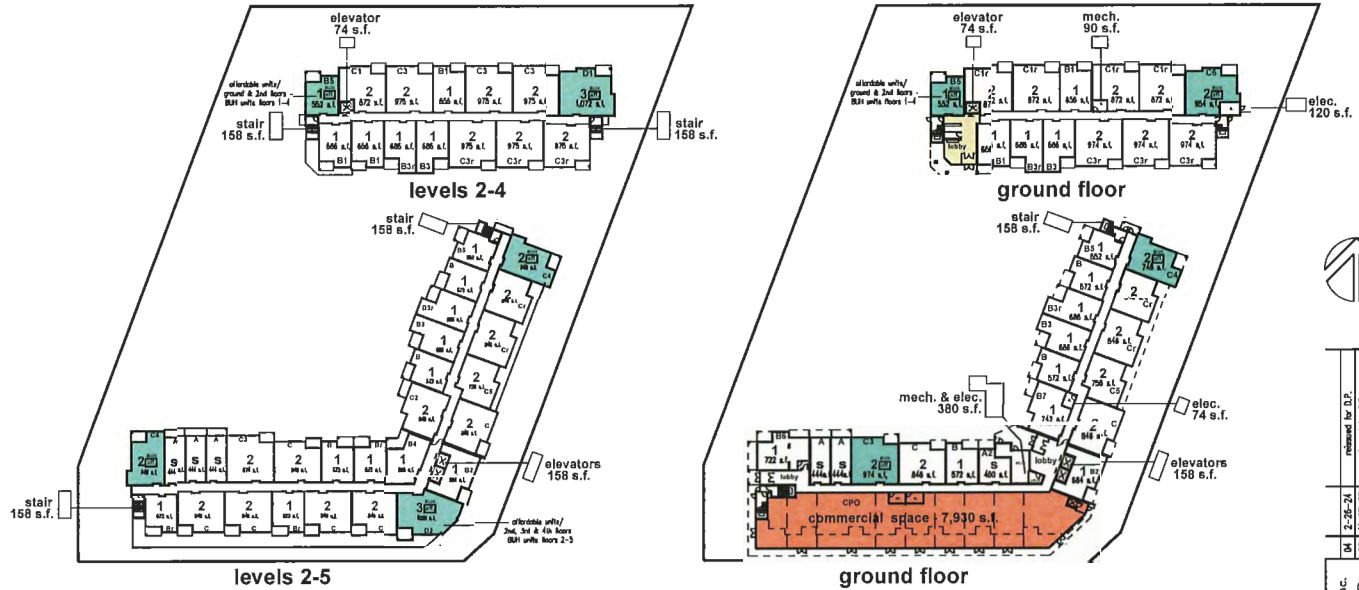
unit type	area	no. units	total area -
A	444 s.f.	14	6,216 s.f.
A1	460 s.f.	1	460 s.f.
B	672 s.f.	26	14,872 s.f.
B1	656 s.f.	7	4,592 s.f.
B2	695 s.f.	5	3,475 s.f.
B3	686 s.f.	18	12,348 s.f.
B4	695 s.f.	4	2,780 s.f.
B5	539 s.f.	11	5,929 s.f.
B6	827 s.f.	1	827 s.f.
B7	742 s.f.	1	742 s.f.
C	846 s.f.	36	30,456 s.f.
C1	872 s.f.	6	5,232 s.f.
C2	846 s.f.	4	3,384 s.f.
C3	975 s.f.	27	26,325 s.f.
C5	764 s.f.	5	3,770 s.f.
D2	1,020 s.f.	1	1,020 s.f.
<b>totals -</b>		<b>167 units</b>	<b>122,571 s.f.</b> (11387 m2)

**rentable residential area :**

uniy type	area	no. units	total area -
B6	552 s.f.	2	1,104 s.f.
C3	974 s.f.	1	974 s.f.
C4	748 s.f.	9	8,732 s.f.
C6	954 s.f.	1	954 s.f.
D1	1,072 s.f.	3	3,216 s.f.
D2	1,020 s.f.	3	3,060 s.f.
<b>totals -</b>		<b>19 units</b>	<b>16,040 s.f.</b> (1490.1 m2)

**residential summary :**

total units - 167 + 19 = **186 units**  
total unit area - 122,571 + 16,158 = **138,729 s.f.**  
(12,867.9 m2)



**bylaw floor area calculation (net area for density calculation) :**

building A :						
floor -	actual gross area -	deductions per zoning bylaw -			bylaw net floor area -	notes -
		elevators	stairs	mech. / elec.		
ground	25,150 s.f. 2336.4 m2	---	---	454 s.f. ---	24,696 s.f. 2294.3 m2	- mech. and elec. spaces may be deducted on any floor - stairs and elevators deducted above ground floor only
second	22,848 s.f. 2122.5 m2	158 s.f. ---	316 s.f. ---	---	22,374 s.f. 2078.5 m2	
third	22,848 s.f. "	158 s.f. ---	316 s.f. ---	---	22,374 s.f. "	
fourth	22,848 s.f. "	158 s.f. ---	316 s.f. ---	---	22,374 s.f. "	
fifth	22,848 s.f. "	158 s.f. ---	316 s.f. ---	---	22,374 s.f. "	
<b>totals -</b>	<b>116,542 s.f. 10826.8 m2</b>	<b>632 s.f.</b>	<b>58.7 m2</b>	<b>1,264 s.f. 117.4 m2</b>	<b>454 s.f. 42.2 m2</b>	<b>114,192 s.f. 10608.4 m2</b>

building B :						
floor -	actual gross area -	deductions per zoning bylaw -			bylaw net floor area -	notes -
		elevators	stairs	mech. / elec.		
ground	13,012 s.f. 1208.8 m2	---	---	210 s.f. ---	12,802 s.f. 1189.3 m2	- mech. and elec. spaces may be deducted on any floor - stairs and elevators deducted above ground floor only
second	13,072 s.f. 1214.4 m2	74 s.f. ---	316 s.f. ---	---	12,682 s.f. 1178.2 m2	
third	13,072 s.f. "	74 s.f. ---	316 s.f. ---	---	12,682 s.f. "	
fourth	13,072 s.f. "	74 s.f. ---	316 s.f. ---	---	12,682 s.f. "	
<b>totals -</b>	<b>52,228 s.f. 4852 m2</b>	<b>222 s.f.</b>	<b>20.5m2</b>	<b>948 s.f. 88.1 m2</b>	<b>210 s.f. 19.5 m2</b>	<b>50,848 s.f. 4723.8 m2</b>

total bylaw floor area for site density calculation : 114,192 + 50,848 = 165,040 - (22 x 20') = 164,620 s.f. (\*20 s.f./unit deduction for units with BUH features)

**bylaw residential area for affordable housing provision requirement :**

bylaw total area : 114,192 + 50,848 = 165,040 s.f. bylaw residential area : 165,040 - 7,930 = 157,110 s.f. x 10% = **15,711 s.f. required** area provided : 16,158 s.f.

issued for D.P.

**parcels 6 & 7 - proposed residential - commercial development**  
**Hamilton Lands**  
**Richmond B.C.**

**floor area calculations**

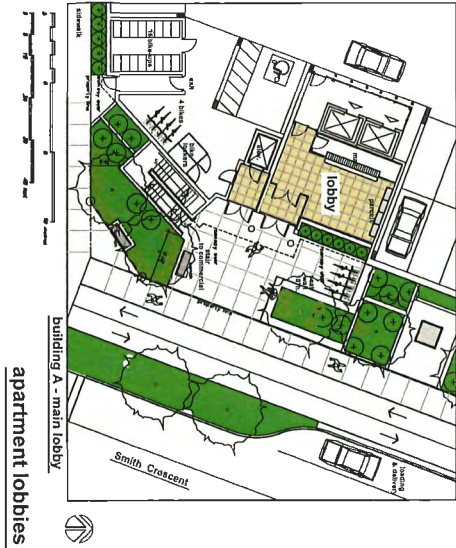
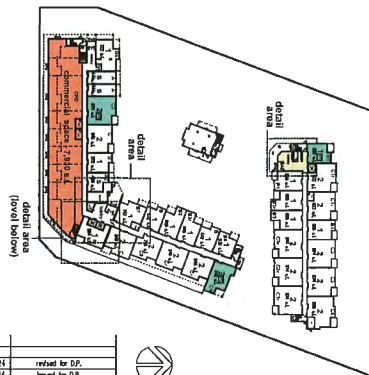
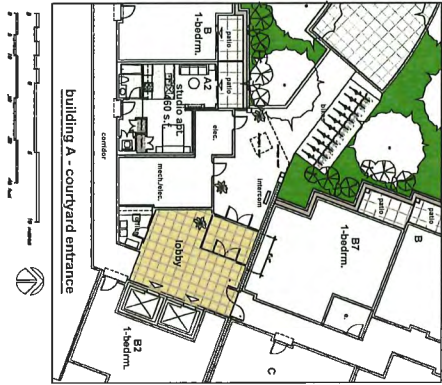
ADP submission  
Feb. 26, 2024  
revised to May 6 2024

**10e**

**Ionic Architecture Inc.**  
Architects O.I.B.C.  
200-1000 Wood Street, Suite 100  
Surrey B.C. V4L 1S5  
Tel: (779) 671-8818  
www.ionic-architecture.com

Rev.	Date	By	Description
04	2-26-24		released for D.P.
03	11-27-23		issued for D.P.
02	8-22-23		revised for pricing
01	4-12-23		issued for permitting

Drawing Title: floor area calculation for FAR  
Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.  
Sheet: A10e of  
Date: November 2023  
Revision: 04  
Project No.: 21-2138



Sheet	of	Drawn by	Detail floor plans - apartment lobbies
Revised	Feb. 2024	Project Title	proposed development
03	21-2138	Parcel	parcels 6 & 7 - Heritage Lands
		Location	Richmond B.C.

**ionic Architecture inc.**  
 architects o.l.b.c.  
 205-6022 Kingsway  
 Surrey B.C. V3T 3K1  
 Tel: (604) 271-0111  
 Fax: (604) 271-0112  
 www.ionic-architect.com

01	5-26-24	revised for D.P.
02	7-19-24	issued for D.P.
03	2-26-24	issued for review
04		
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parcels 6 & 7 - proposed residential - commercial development  
 Richmond B.C.

ADP submission  
 Feb. 26, 2024  
 revised to 2026/2024



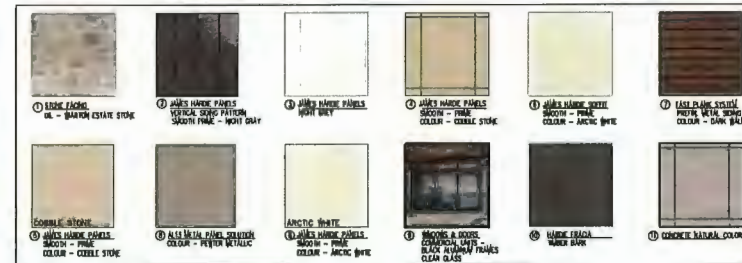


north elevation



west elevation to strollway

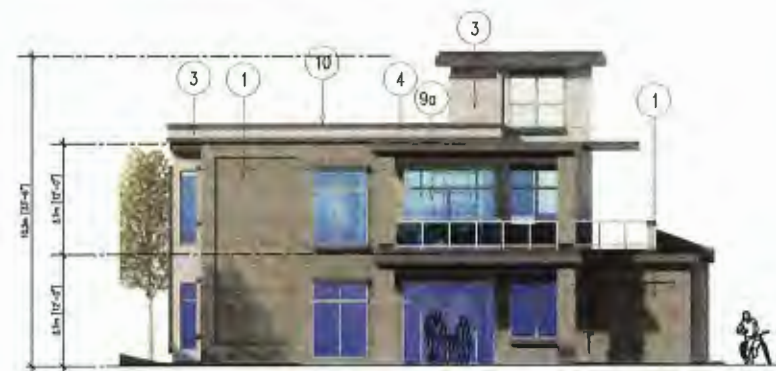
EXTERIOR MATERIALS & FINISHES :			
MATERIAL / FINISH	COLOUR	MATERIAL / FINISH	COLOUR
① STONE	IXL - MARTON ESTATE STONE	⑨ WINDOWS & DOORS :	
② JAMES HARDIE PANELS VERTICAL SIDING STYLE	SMOOTH - PRIME - NIGHT GRAY	COMMERCIAL UNITS -	BLACK ALUMINUM FRAMES CLEAR GLASS
③ JAMES HARDIE PANELS	SMOOTH - PRIME - NIGHT GRAY	RESIDENTIAL UNITS -	BLACK VINYL & CLEAR GLASS
④ JAMES HARDIE PANELS	SMOOTH - PRIME - COBBLE STONE	⑩ AMENITY BUILDING	WHITE ENAMEL FRAMES & CLEAR GLASS
⑤ JAMES HARDIE PANELS	SMOOTH - PRIME - ARCTIC WHITE	⑪ HARDIE FASCIA	TIMBER BARK
⑥ JAMES HARDIE SOFFIT	SMOOTH - PRIME - ARCTIC WHITE	⑫ CONCRETE	NATURAL CONCRETE
⑦ FAST PLANK SYSTEM	DARK WALNUT	⑬ ALUM. AND GLASS RAILING	BLACK ENAMEL ALUM. & CLEAR GLASS
⑧ AL13 METAL PANEL SOLUTION	PEWTER METALLIC	⑭ GLASS CANOPY	CLEAR GLASS
		⑮ COMMERCIAL SIGNAGE / SIGN BACKING SUPPORT	B. COMPOSITE WOOD PLASTIC DARK WALNUT (1 1/2 IN+ 4IN)



materials & colours - all buildings



south elevation



east elevation entrance

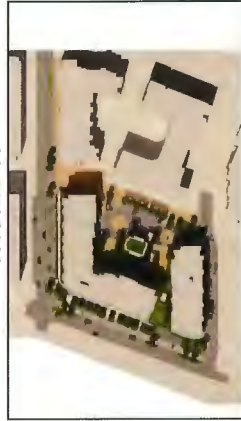


parcels 6 & 7 - proposed residential - commercial development  
Hamilton Lands  
Richmond B.C.

ADP submission  
Feb. 26 2024  
revised to April 12 2024

11b

06	4-12-24	RE-DESIGN FOR JP			
05	10-27-23	Issued for IUP			
04	4-08-23	Issued for rezoning			
03	2-22-23	general rezoning/updates			
02	5-25-22	rezoned for rezoning			
01	2-23-22	Issued for rezoning			
			Rev.	Date	Description
<p>06  <b>Ionic Architecture Inc.</b>          architects o.i.b.c.          204-600 100th Street          Surrey B.C. V3V 2K9          Tel: (778) 371-3888          ionic@ionic-architecture.com</p>					
Drawn by:	Sheet	of	Project Title	Proposed development	parcels 6 & 7 - Hamilton Lands
Date:	February 2022				Richmond B.C.
Scale:	as noted		Sheet No.	A11b	
			Revision	06	21-2139



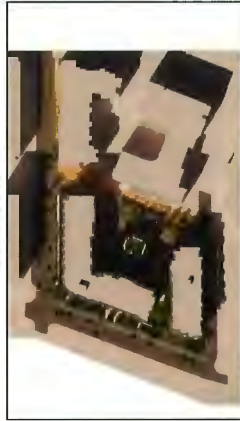
21 JUN 0900



21 JUN 1200



21 JUN 1500



21 MAR 0900



21 MAR 1200



21 MAR 1500



21 DEC 0900



21 DEC 1200



21 DEC 1500

shadow casts

parcels 6 & 7 - proposed residential - commercial development  
Hamilton Lands  
Richmond B.C.

ADP submission  
Feb. 26, 2024

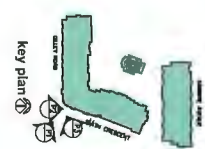
Issue	As noted	Sheet	of	Project Title	shadow casts	01	2-26-24	Issued for ADP
Date	March 2024			Client Name	proposed development	02	11-27-23	Issued for DR
Revision	Project No.	A13		Project Site	parcels 6 & 7 - Hamilton Lands Richmond B.C.	03	4-15-23	Issued for meeting
04	21-2138			Prepared by		04	4-06-23	Issued for review
<b>Ionic Architecture Inc.</b> architects a.i.b.c. 881-8801 Island Drive Unit 1700 Richmond B.C. V6V 1K6 Tel: (778) 871-0878 Fax: (778) 871-0878 info@ionic-architects.com www.ionic-architects.com						Rev.	Date	Description



building A - Smith Crescent entrance



building A viewed from Gilley Road / High Street / Smith Avenue intersection



**parcels 6 & 7 - proposed residential - commercial development**  
 Hamilton Lands  
 Richmond B.C.

ADP Application  
 Feb. 26, 2024  
 revised to May 6, 2024

**14a**

Rev.	Date	Description
01	4-02-21	revised per ADP comments
02	2-20-21	revised for DP
03	01-23-23	based for DP
04	8-20-23	based for refile

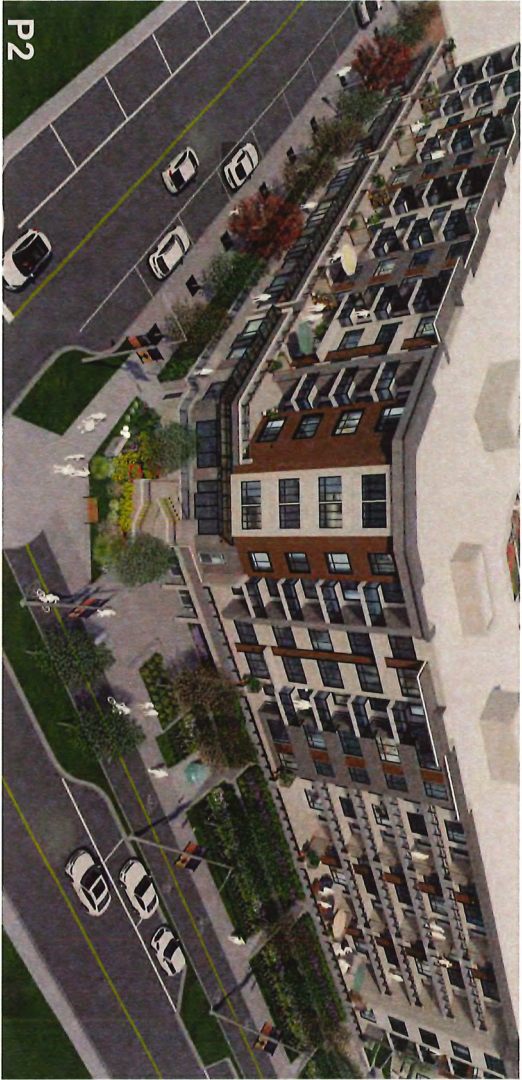
04	21-2138	14a	Drawing title perspective views - building A Project title PROPOSED DEVELOPMENT parcels 6 & 7 - Hamilton Lands RICHMOND BC 204-5800 Wood Street Burnaby BC V5G 1A7 Tel: (778) 847-0818 info@tonic-architects.com
----	---------	-----	---



P3  
CPO detail view



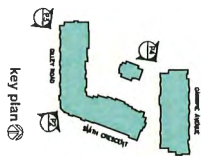
P4  
building B - entrance



P2  
building A - south-east corner view

**parcels 6 & 7 - proposed residential - commercial development**  
Hamilton Lands

Richmond B.C.

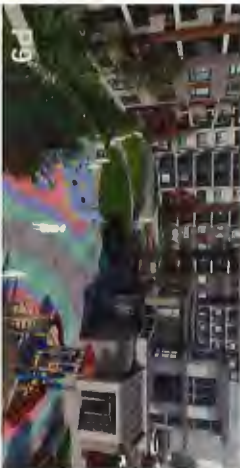
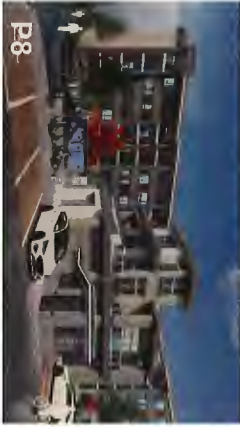
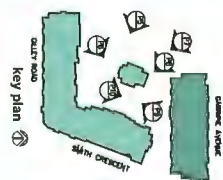


key plan

ADP # 2023-0011  
revised to May 5, 2024

**14b**

Drawn	As Noted	Sheet	of	Drawing Title	perspective views	<b>Ionic Architecture Inc.</b> architects o.i.b.c. 201-6002 Maple Street Surrey B.C. V3R 4S6 Tel: (778) 871-0916 Fax: (778) 871-0918 www.ionic-architects.com	01	4-02-24	revised per ADP comments
Date	August 2023			Project Name	PROPOSED DEVELOPMENT parcels 6 & 7 - Hamilton Lands RICHMOND BC		02	2-20-24	released for CP
Number	PROJECT No.	14b					03	11-23-23	issued for CP
							04	8-30-23	issued for review
							Rev.	Date	Description



amenity building & bidg. A

amenity building & outdoor amenity

courtyard view from building B entry

**parcels 6 & 7 - proposed residential - commercial development**

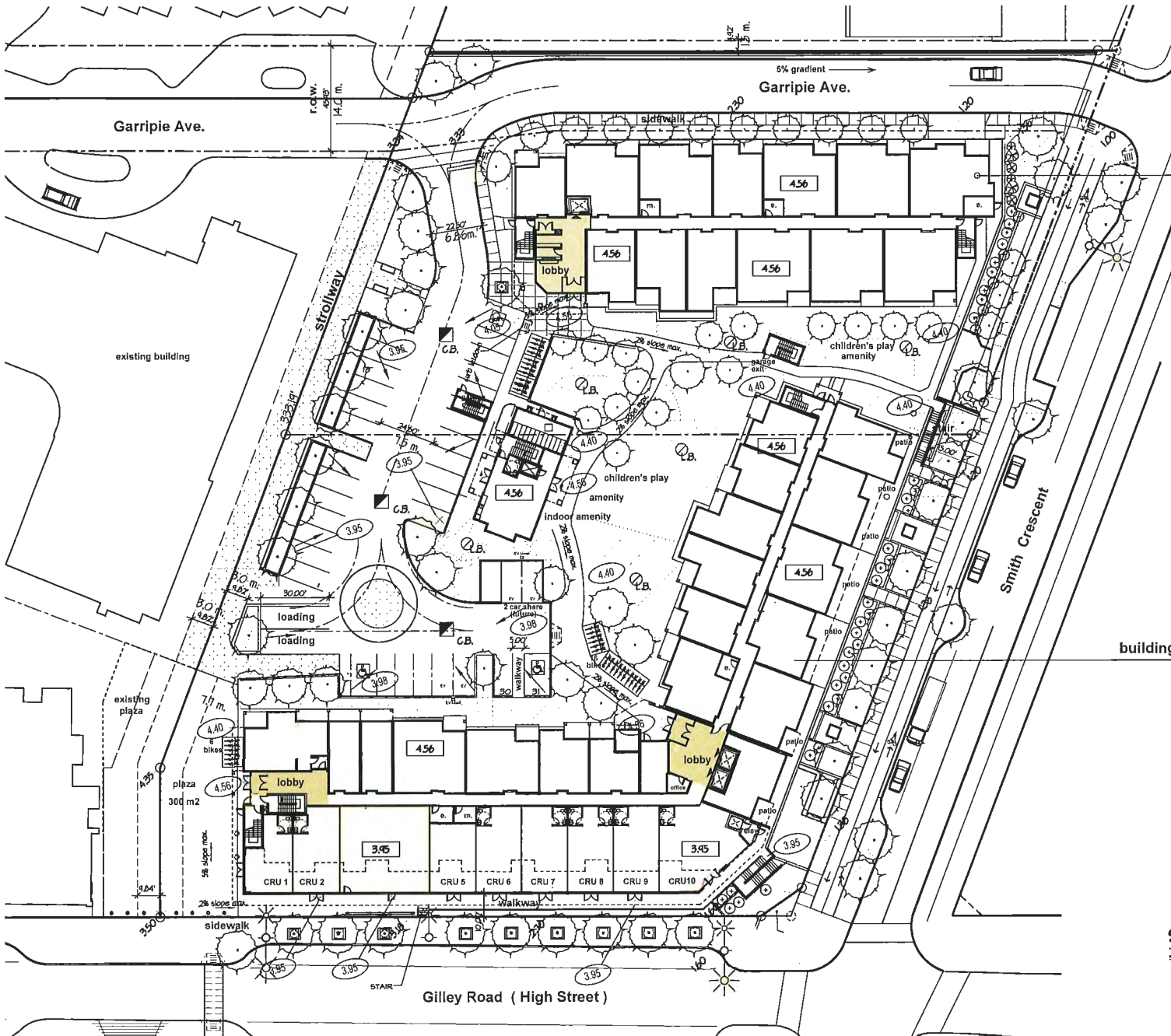
Hamilton Lands

Richmond B.C.

ADP Presentation  
14C  
revised to May 9, 2024

Date	As noted	Sheet of	Drawing Title	Project Name	Client	Revision	Description
04	21-2135	14c	perspective views	PROPOSED DEVELOPMENT parcels 6 & 7 - Hamilton Lands RICHMOND BC	ionic Architecture inc. architects a.i.b.c. 307-3022 Island Street Surrey B.C. V3R 2J6 Tel: (778) 837-2015 Fax: (778) 837-0216 a.i.b.c@ionic-architects.com	01 4-02-24 02 7-25-24 03 11-21-23 04 8-25-23	revised per ADP comments revised for ADP issued for ADP issued for review
Rev	Date	Description					





building B ground floor :

**GRADING KEY :**

( ELEVATIONS IN METRES )

- EXISTING GRADE
- EX. GRADE (Interpolated)
- PROPOSED GRADE
- FINISH FLOOR ELEVATION
- SURFACE DRAINAGE
- L.B. LAWN BASIN
- C.B. CATCH BASIN
- 3" SLAB DRAIN BELOW ROAD FINISHED
- P.D. PLANTER DRAIN

REFER TO CIVIL ENG. DRAWINGS FOR FINAL GRADING

building A ground floor :

**SITE GRADING - ACCESSIBILITY STRATEGY**

Scale 1"=20'

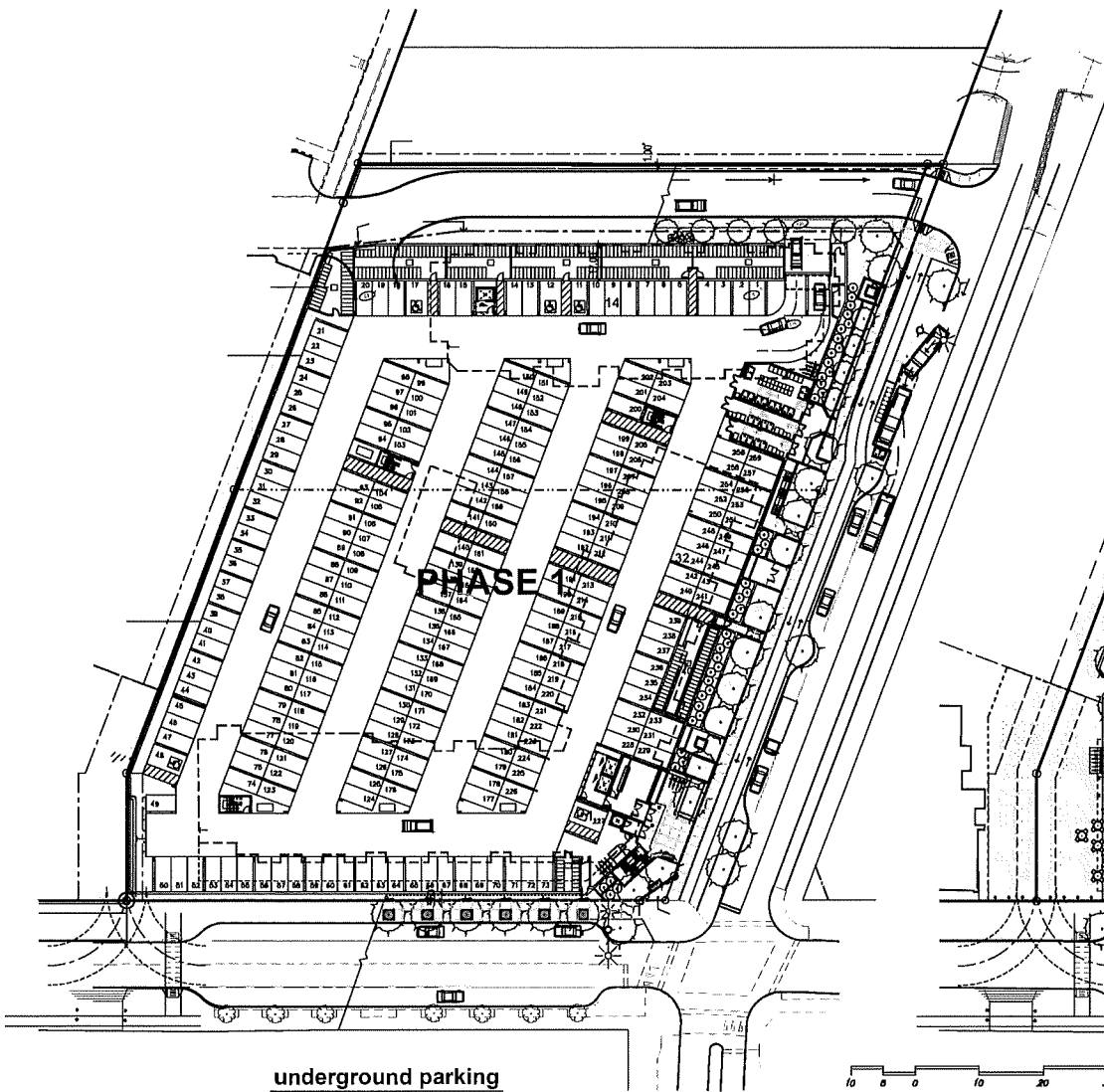
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Date	February 2022	Project Title	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
Revision	21-2138	Project No.	
Scale		Author	
		Checked	
		Drawn	
		Reviewed	
		Final Date	2024-05-24
		Description	

**Ionic Architecture inc.**  
 architects a.i.b.c.  
 200-6000 Island Street, Unit 102  
 Surrey B.C. V3V 3S9  
 Tel: (778) 871-5818  
 Fax: (778) 871-5819  
 www.ionic-architects.com

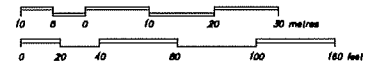
ADP submission  
 Feb. 28, 2024  
 revised to April 17, 2024

**S2**

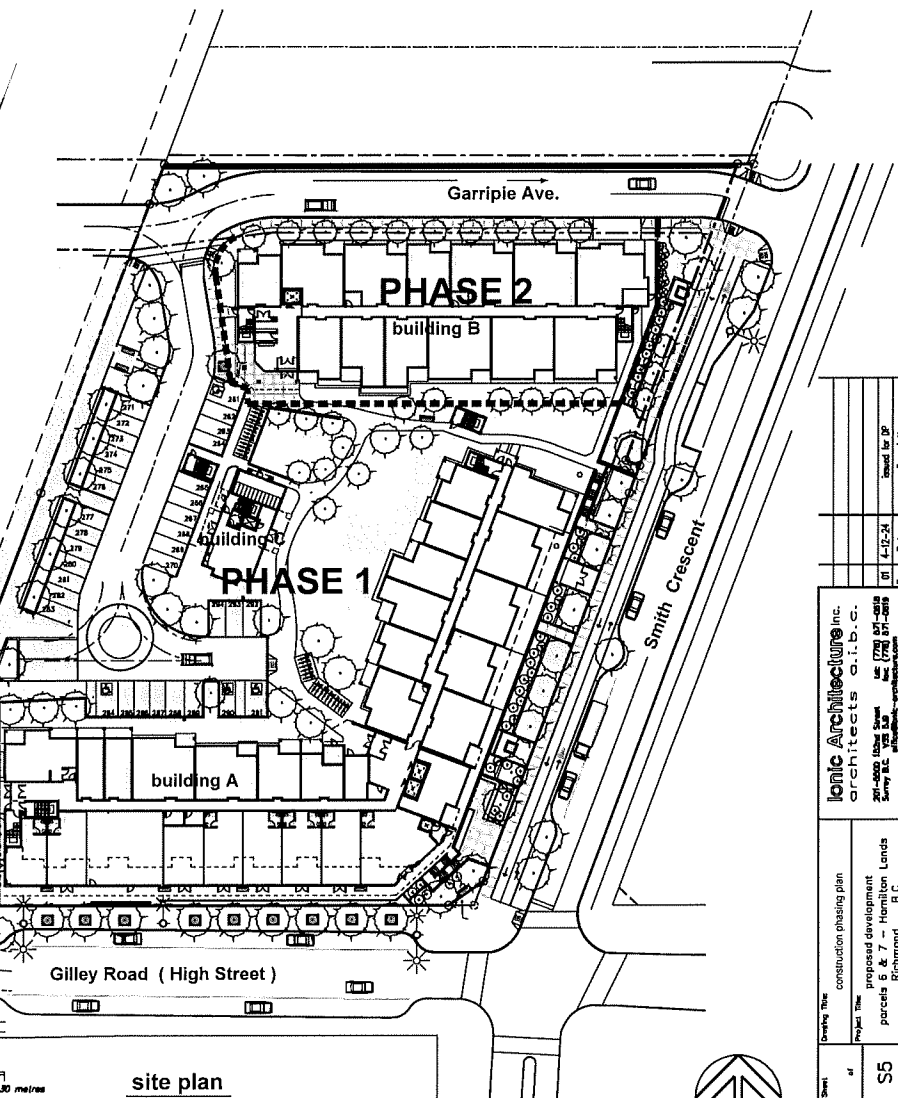




underground parking



site plan



construction phasing plan

**parcels 6 & 7 - proposed residential - commercial development**  
 Hamilton Lands Richmond B.C.

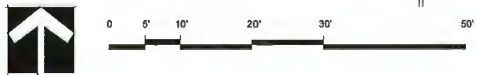
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Scale:	as noted
Date:	February 2022
Project No.:	21-2136
Project Name:	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
Sheet No.:	S5
Scale:	1:1000
Date:	11-12-21
Drawn by:	[Signature]
Checked by:	[Signature]
Approved by:	[Signature]
Project Name:	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
Sheet No.:	S5
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Checked by:	[Signature]
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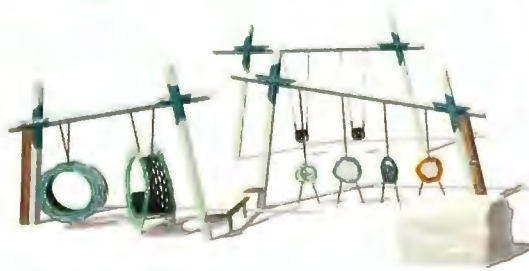








RATANA PARK LANE SOFA, LOVESEAT & END TABLE  
 TENDERTUFF PICNIC TABLE (#141694) & BACKED BENCH (#141683)  
 SOLUS 30\"/>



LANDSCAPE STRUCTURES PLAY EQUIPMENTS:  
 FOX DEN HANGOUTS (#307431), BALANCE BEAM (#307435), FOCAL SENSORY WALL (#307430), SLIDEWINDER2 (#124853), HILL NET CLIMBER (#CP006885), FLOWER ACCENT TOPPER (#212256)



LANDSCAPE STRUCTURES PLAY EQUIPMENTS:  
 FOX DEN HANGOUTS (#307431), BALANCE BEAM (#307435), FOCAL SENSORY WALL (#307430), SLIDEWINDER2 (#124853), HILL NET CLIMBER (#CP006885), FLOWER ACCENT TOPPER (#212256)

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 LANDSCAPE ARCHITECTS  
 Suite C100 - 4185 Gill Creek Drive  
 Burnaby, British Columbia, V5C 0C9  
 p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	24.APR.24	COMMENTS	JL
2	24.APR.24	COMMENTS	JL
3	24.APR.24	NEW SITE PLAN / CONDITIONS	JL
4	24.APR.24	ISSUES FOR BP	JL
5	24.APR.24	NEW SITE PLAN / CONDITIONS	JL

CLIENT:

PROJECT:  
**CORNERSTONE**  
 23301, 23321, 23361, 23381  
 GILLEY RD @ 4651, 4671 AND 4651  
 SMITH CRESCENT, RICHMOND, BC

DRAWING TITLE:  
**AMENITY ENLARGEMENT**

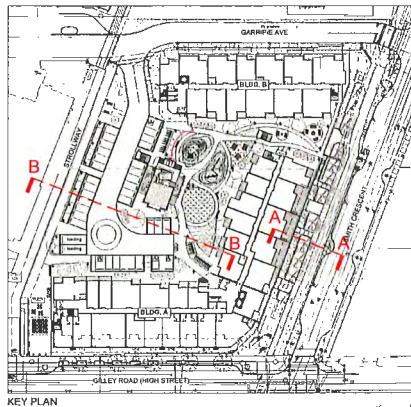
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 CHECK: BA OF 7



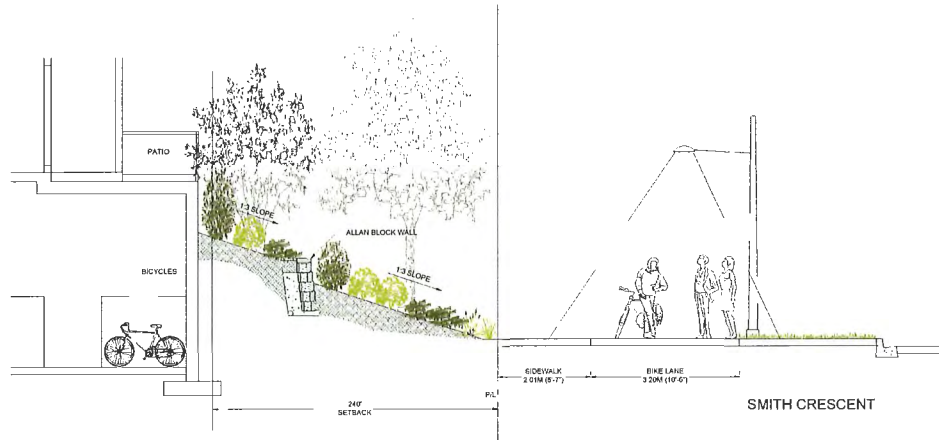
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**pmg**  
**LANDSCAPE ARCHITECTS**  
 Suite C1100 - 4185 8th Creek Drive  
 Burnaby, British Columbia, V5C 6G9  
 p. 604 294-0011 ; f. 604 294-0022

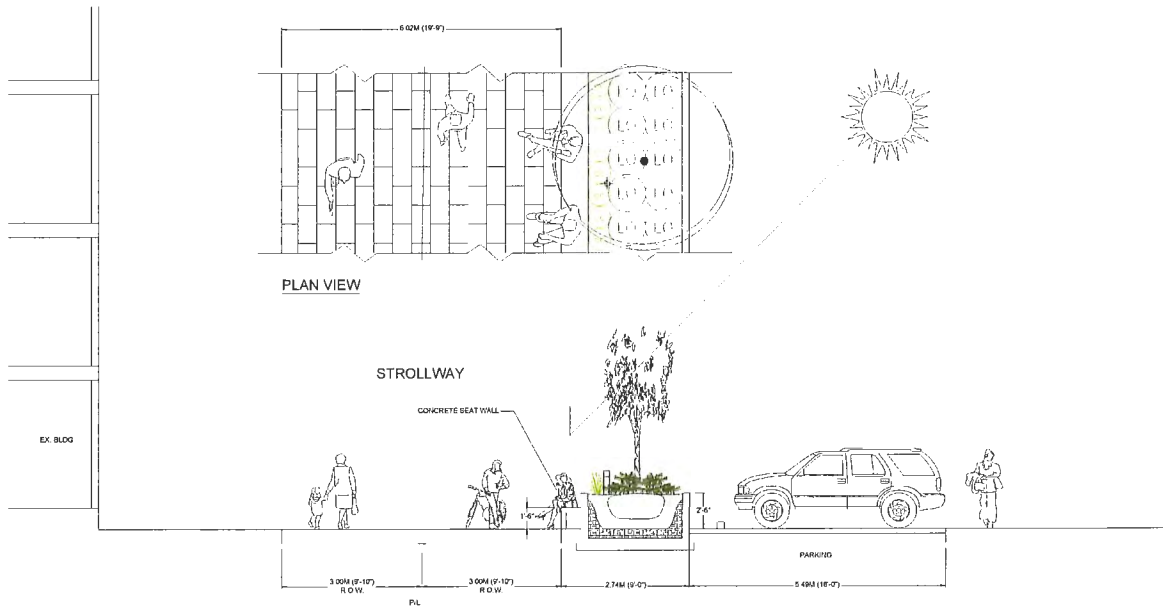
SEAL:



KEY PLAN



SECTION A - A (NOTE: REFER TO ARCHITECTURAL DRAWINGS FOR SIDEWALK AND PATIO ELEVATIONS)  
 SCALE = 1/4" = 1'-0"



SECTION B - B  
 SCALE = 1/4" = 1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
1	21 APR 11	CONCEPTS	JA
2	21 APR 11	CONCEPTS	JA
3	21 APR 11	NEW SITE PLAN / CONCEPTS	JA
4	21 APR 11	CONCEPTS	JA
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19	21 APR 11	CONCEPTS	JA
20	21 APR 11	CONCEPTS	JA

CLIENT:

PROJECT:

**CORNERSTONE**

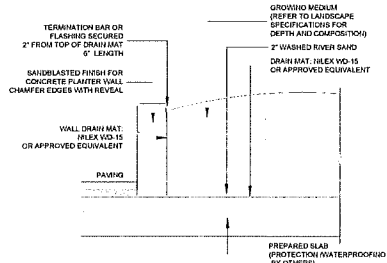
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 GILLEY RD & 4631, 4671 AND 4651  
 SMITH CRESCENT, RICHMOND, BC

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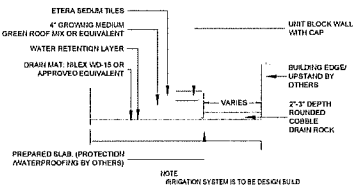
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 DESIGN: JR  
 CHKD: SA

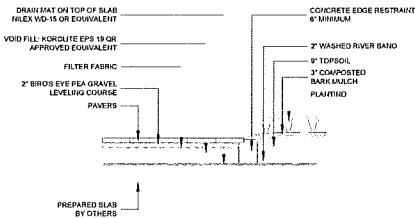
**L6**  
 OF 7



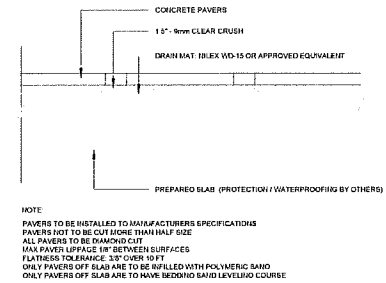
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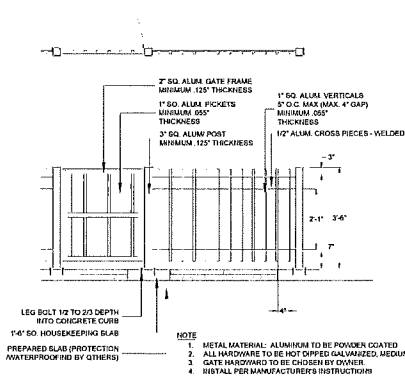
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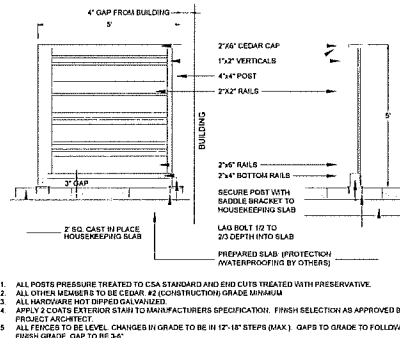
3 PAVER EDGING  
SCALE: 1/2" = 1'-0"



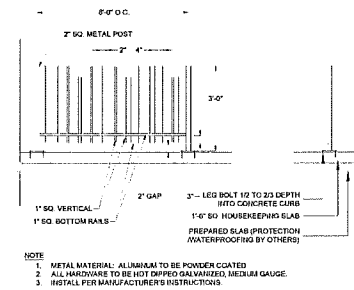
4 PAVERS  
1" = 1'-0"



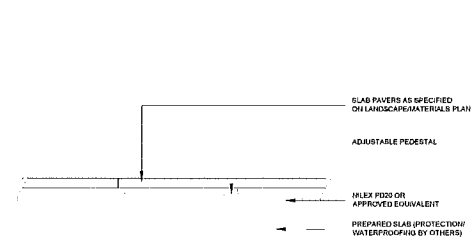
5 ALUMINUM PICKET FENCE  
1/2" = 1'-0"



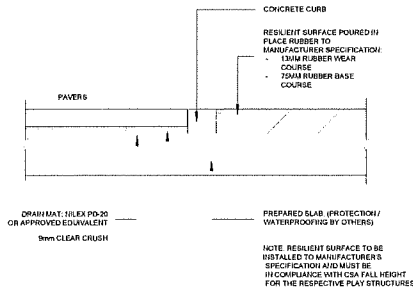
6 PATIO SCREEN  
1/2" = 1'-0"



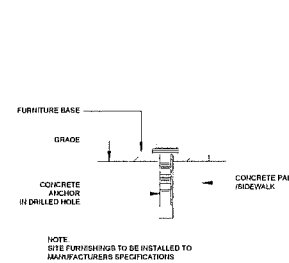
7 ALUMINUM PICKET FENCE AT PLAY AREA  
1/2" = 1'-0"



8 HYDRAPRESSED SLABS OVER PEDESTALS  
1" = 1'-0"



9 POURED IN PLACE RUBBER PLAY SURFACE EDGE  
1" = 1'-0"



10 SITE FURNITURE MOUNTING  
1/12" = 1'-0"

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SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
1	21.05.18	CONTRACTS	JR
4	21.05.15	CONTRACTS	JR
3	21.05.03	NEW TILE PLAN/CONTRACTS	JR
2	21.05.19	SHED/FORFP	JR
1	21.05.13	NEW SHEET PLAN/CONTRACTS	JR

CURT:

PROJECT:

CORNERSTONE

23301, 23321, 23361, 23381  
GILLEY RD & 4631, 4671 AND 4651  
SMITH CRESCENT, RICHMOND, BC

DRAWING TITLE:

LANDSCAPE DETAILS

DATE: 23.MAR.23 DRAWING NUMBER:

SCALE: AS NOTED

DRAWN: JR

DESIGN: JR

CHKD: BA

OF 7