



**Development Permit Panel  
Wednesday, April 24, 2024**

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Cecilia Achiam, General Manager, Community Safety, Chair  
Marie Fenwick, Director, Arts, Culture and Heritage  
Michael Allen, Acting Director, Real Estate Services

The meeting was called to order at 3:30 p.m.

**MINUTES**

It was moved and seconded

*That the minutes of the meeting of the Development Permit Panel held on March 27, 2024 be adopted.*

**CARRIED**

**1. DEVELOPMENT PERMIT 23-024119  
(REDMS No. 7609062)**

APPLICANT: Topstream Management Ltd.

PROPERTY LOCATION: 8635, 8655, 8675 and 8695 Cook Crescent

INTENT OF PERMIT:

Permit the construction of 28 townhouse units and fourteen secondary suites at 8635, 8655, 8675 and 8695 Cook Crescent on a site zoned "Town Housing (ZT103) – Parking Structure Townhouses (Spires Road – Cook Crescent)".

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#### Applicant's Comments

Coby Xiao, Topstream Management Ltd., introduced the presenters for the application and Jeff Shen, J+S Architect, Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the proposed development, highlighting the following:

- the form of the proposed development is consistent with neighbouring townhouse developments in the area;
- due to the closure of Cook Crescent in the future, the entrances to the building's parkade and main lobby will be located off Spires Road on the south side of the proposed development;
- the project provides 28 dwelling units, including 27 multi-level townhouse units and one ground level flat in four building blocks;
- the proposed unit mix consists of two- to five-bedroom townhouse units and 14 townhouse units will contain a secondary suite on ground level;
- a central courtyard space is proposed on the podium level surrounded by the four building blocks;
- all townhouse units include a patio on the podium level and/or rooftop deck and all secondary suites will have a private outdoor space;
- a three-metre wide north-south public walkway along the west property line and a 10-meter wide greenway, i.e. Pedestrian Linkage, along the north property line are proposed;
- the triangular area north of the 10-meter wide greenway will be dedicated by the developer to the City;
- a three-metre landscape strip around the perimeter of the site is proposed to provide a second layer of landscaping on the ground level;
- the proposed 34 residential parking spaces meet the minimum Zoning bylaw requirement;
- the proposed use of materials, colours and architectural elements visually reduce the height of the building and breaks down the building mass;
- two four-storey convertible units and one single-level Basic Universal Housing (BUH) unit are proposed; and
- the project has been designed to achieve Step Code 4 of the BC Energy Step Code.



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Yiwen Ruan, PMG Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) each unit will be provided with a landscaped yard with a canopy tree to enhance the pedestrian experience around the site, (ii) multiple trees are proposed to be retained and protected along the west property line, (iii) the west public walkway is configured to protect the retained trees, (iv) street furniture is proposed at the northeast and southeast corner plazas to encourage their use, (v) the outdoor amenity area on the podium level includes two children's play areas in different locations and exercise and play equipment for adults, (vi) each unit will be provided with a landscaped yard on the podium level, (vii) wall mounted and bollard lighting are proposed for the project, (viii) drought tolerant species are proposed for planting on-site, and (ix) an on-site high-efficiency irrigation system is proposed for all planted areas.

#### **Staff Comments**

Wayne Craig, General Manager, Planning and Development, clarified that the triangular area north of the proposed 10-metre wide greenway is not intended to be a City park as it is a future development lot and there is an expectation that a licence agreement will be entered into to allow the residents of the proposed development to use the area until the redevelopment of the lot occurs.

In addition, Mr. Craig noted that (i) there is a Servicing Agreement associated with the project for site services and frontage works, and (ii) the applicant is commended for their efforts to integrate the four existing trees on the walkway along the western edge of the subject site.

In reply to a query from the Panel, Mr. Craig stated that the title of the triangular property north of the 10-metre wide greenway will be transferred to the City and the City anticipates to enter into a licencing agreement to allow the residents of the proposed development to use the lot, which will be fenced to prohibit public access.

#### **Panel Discussion**

In reply to queries from the Panel, the applicant team noted that (i) the secondary suites can be accessed on the ground level either from the street or public walkways, (ii) the secondary suites are designed to be studio or one-bedroom units and have sizes ranging from approximately 300 square feet or larger, (iii) there is a tree in the triangular area north of the 10-metre wide greenway that will be retained, (iv) the sculptural pieces hanging down in between buildings are intended to fill the gap between buildings and are not part of public art, and (v) lighting will be installed along the public walkways and on adjacent buildings.

#### **Correspondence**

None.

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### Gallery Comments

The Chair advised staff to meet with the member of public present in Council Chambers wanting to delegate but unable to speak on the proposal due to the absence of her translator.

### Panel Discussion

The Panel expressed support for the project, noting the design is well thought out and there is adequate separation from the future development to the west through the provision of the public walkway.

### Panel Decision

It was moved and seconded

*That a Development Permit be issued which would permit the construction of 28 townhouse units and fourteen secondary suites at 8635, 8655, 8675 and 8695 Cook Crescent on a site zoned "Town Housing (ZT103) – Parking Structure Townhouses (Spires Road – Cook Crescent)".*

**CARRIED**

## 2. DEVELOPMENT PERMIT 23-029453

(REDMS No. 7623245)

APPLICANT: Fougere Architecture Inc.

PROPERTY LOCATION: 10611 and 10751 River Drive

INTENT OF PERMIT:

Permit the construction of a mid-rise residential development comprising 181 residential units, including 18 low-end-of-market-rental (LEMR) units and 13 market rental units at 10611 and 10751 River Drive on a site zoned "Low to Mid Rise Apartment (ZLR46) - Bridgeport"

### Applicant's Comments

Wayne Fougere, Fougere Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 2), provided background information on the proposed development, highlighting the following:

- the proposed development completes the multi-phase overall development on the north side of River Drive between No. 4 Road and Shell Road;
- the lower two-storey amenity building and four-storey apartment building are located along River Drive and the higher two six-storey apartment buildings are sited at the rear, fronting the dike and the river;

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- a total of 181 dwelling units are proposed including 150 market strata units, 13 market rental units and 18 Low-End-of-Market (LEMR) units;
- street-facing apartment buildings have lower living areas to provide better connection to the street;
- the central pedestrian entry to the proposed development is located on River Drive and provides pedestrian connection from River Drive to the dike through the central courtyard;
- a wheelchair accessible widened public walkway is located along the edge of the west property line and provides pedestrian connection from River Drive to the dike walkway;
- the public multi-use path along Shell Road on the east side of the subject site is wheelchair accessible; however, the access from the pathway's northern terminus to the dike is not wheelchair accessible due to its steep slope;
- the central courtyard on the podium level is enclosed by the four buildings and can be accessed from the street, public walkways and the dike;
- public art is proposed at the corner of River Drive and Shell Road;
- the project provides 91 Basic Universal Housing (BUH) units, including 16 for LEMR units, 10 for market rental units, and 65 for market strata units;
- the contemporary architectural style of the buildings in the proposed development is consistent with the buildings in Phase 1 of the overall development; and
- outdoor amenity space is provided on the podium level central courtyard and indoor amenity spaces are provided in the two-storey indoor amenity building and smaller multi-purpose rooms in the larger northeast and northwest apartment buildings.

Yiwen Ruan, PMG Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the proposed landscaping for the project, noting that (i) the proposed landscape design is intended to provide pedestrian connectivity and interaction, (ii) semi-private spaces along the edges of the site are separated from public spaces through grade change and landscaping, including installation of tiered planters, (iii) the proposed outdoor amenity area on the podium level central courtyard provides a variety of uses for adults and children, including among others, as gathering spaces and play areas, (iv) accessible pedestrian pathways are provided along the west and east edges of the site and through the courtyard at the centre of the site, (v) proposed on-site planting includes drought tolerant and pollinator friendly species, and (vi) a high-efficiency on-site irrigation system will be provided for all planted areas.

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#### **Staff Comments**

Mr. Craig noted that (i) the rental units in the rental building fronting River Drive will be secured through housing agreements and the developer has entered into a memorandum of understanding with a non-profit organization for the management of the rental units, (ii) the Servicing Agreement associated with the project includes frontage works on River Drive and Shell Road and site services, among others, (iii) there will be a separate Servicing Agreement for the construction of the dike and dike pathways, (iv) there is an extensive Transportation Demand Management (TDM) package associated with the project which includes, among others, the provision of transit passes to 15 percent of the residents of market strata units, an increase of on-site bicycle storage facility, and the provision of a bicycle maintenance facility, and (v) more than 70 percent of the total number of units provided in the project are family-friendly units, i.e., two-to three-bedroom units.

In reply to queries from the Panel, staff advised that (i) aging-in-place features incorporated in all of the proposed units include the provision of stairwell handrails, lever-type handles for plumbing fixtures and door handles, and solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers, (ii) there are no fully accessible units provided in the project; however, the project provides 91 Basic Universal Housing (BUH) units which includes 16 out of 18 LEMR units, 10 out of 13 market rental and 65 out of 150 market strata units, (iii) the dike connection from the Shell Road terminus to the dike is intended for maintenance vehicles and public access for pedestrians; however, it is not suitable for people in wheelchairs due to its steep grade, (iv) the public walkway along the west edge of the site from River Drive to the dike walkway is wheelchair accessible, and (v) it is not feasible for the proposed development to connect to the privately-owned geo utility located in the earlier phase of the overall development.

#### **Panel Discussion**

In reply to queries from the Panel, the applicant team advised that (i) the proposed public art for the project has been presented to the City's Public Art Advisory Committee, (ii) a local artist will be commissioned for the proposed public art, and (iii) the project has been designed to achieve Step Code 3 of the BC Energy Step Code with a privately owned low-carbon energy system.

#### **Correspondence**

None.

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#### Gallery Comments

Sandra Lindahl, 10766 River Drive, queried about (i) actions taken by the developer to put in place pest control to address rodent infestation as a result of building demolition as noted at the June 19, 2023 Public Hearing for the rezoning of the subject site, (ii) the exact number of residential units provided in the proposed development, (iii) how the City will ensure that the proposed number of rental housing units are actually built and used for their intended purpose, (iv) who should the neighbours contact if they are not satisfied with the measures taken by the developer to ensure roads are kept free from dust, nails and other construction debris, (v) whether the strata or the renters of LEMR units will shoulder the cost for the installation of grab bars and the conversion of the BUH units into accessible units, and (vi) the location of vehicle access to the underground parkade on River Drive.

In addition, Ms. Lindahl expressed disagreement with the Traffic Impact Assessment prepared by a qualified professional referenced in the staff report indicating that the existing road network can accommodate the additional traffic generated by the proposed development, as she noted that residents in the area are currently experiencing traffic concerns on River Drive.

In reply to Ms. Lindahl's queries, the applicant team advised that (i) a pest control company has been commissioned by the developer to undertake pest control and will soon commence their work, (ii) the project will provide a total of 181 units, including 150 market strata units, 13 market rental units and 18 LEMR units, (iii) the developer can be contacted for construction related concerns and will regularly monitor construction and dialogue with neighbours, (iv) the rental company/operator will shoulder the costs for the installation of grab bars in the market rental and LEMR units, and (v) vehicle access to the underground parkade is located at the southwest corner of the subject site.

In reply to the query regarding how the City will ensure that the proposed number of market rental and LEMR units will be constructed and used for their intended purpose, Mr. Craig noted that the City will be registering a housing agreement on title of the property which includes the obligation to provide statutory declarations to the City on a periodic basis to ensure that those units are rented and LEMR units are rented by qualified tenants under the City's Affordable Housing Strategy guidelines.

In reply to Ms. Lindahl's concern regarding the Traffic Impact Assessment at rezoning, Mr. Craig noted that an independent third party assessment was provided during the rezoning phase and it was reviewed and approved by the City's Transportation Department.

A resident of 2401 Shell Road queried about (i) the number of parking stalls provided in the project, (ii) measures to mitigate construction debris including dust and dirt in the subject site impacting neighbouring residential properties, and (iii) the timeline for project construction.

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In reply to the query regarding the number of parking stalls proposed for the project, the applicant team noted that 274 parking stalls will be provided for 181 residential units. In addition, Mr. Craig stated that the proposed number of parking stalls to be provided is consistent with the City's Zoning Bylaw requirement.

In reply to queries regarding measures to mitigate the impact of dust and dirt during construction and project construction timeline, the applicant team advised that (i) appropriate equipment will be used as needed to clear dust, dirt and other construction debris that are above normal levels, and (ii) the developer intends to commence project construction in the later part of this year subject to the timing of required City approvals.

In reply to a further query, the applicant clarified that the developer will endeavor to keep the roads clean during construction.

In addition, the Chair advised that the City's Bylaws Department contact information will be posted on the subject site so neighbouring residents can contact the City for construction-related concerns.

**Panel Decision**

It was moved and seconded

*That a Development Permit be issued which would:*

- 1. permit the construction of a mid-rise residential development comprising 181 residential units, including 18 low-end-of-market-rental (LEMR) units and 13 market rental units at 10611 and 10751 River Drive on a site zoned "Low to Mid Rise Apartment (ZLR46) - Bridgeport"*

**CARRIED**

**3. DEVELOPMENT PERMIT 23-035339**  
(REDMS No. 7603680)

APPLICANT: Gustavson Wylie Architects Inc.

PROPERTY LOCATION: 18399 Blundell Road

INTENT OF PERMIT:

Permit the construction of two single-storey buildings with drive-through restaurant uses at 18399 Blundell Road on a site zoned "Industrial (I)".

**Applicant's Comments**

David Cheung, Gustavson Wylie Architects Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 3), provided background information on the proposed development, highlighting the following:

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- the original Development Permit for the project was issued by Council around three years ago; however, due to unforeseen events, the permit lapsed as construction did not take place within the required period;
- two single-storey buildings are proposed for quick service restaurant and drive-through uses with a central plaza located between the two buildings for outdoor eating area;
- a right-in/right-out vehicle entry/exit and left turn entry are provided on Blundell Road and a right-in/right-out only vehicle entry/exit is proposed on Nelson Road;
- 64 outdoor parking spaces are proposed including two accessible parking stalls near the entrances of the two buildings;
- nine of the 64 parking stalls will be provided with electric vehicle (EV) charging stations;
- bicycle parking will be provided on the site;
- canopies are proposed at restaurant entrances to provide weather protection;
- tilt-up concrete was proposed to be used in the original design of the buildings but has been changed to insulated metal panel system to meet sustainability requirements;
- contrasting colours are proposed for the project to provide visual interest in the industrial neighbourhood; and
- the central plaza includes an awning feature and landscaped to animate the place and provide visual interest.

Christy Voelker, Prospect and Refuge Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) three pedestrian entries are proposed from the sidewalk to the subject site, (ii) areas of pedestrian walkways that cross the drive aisles and vehicle queuing areas are treated with a different colour of permeable pavers to enhance pedestrian safety, (iii) shading and a variety of seating opportunities are proposed in the central plaza, (iv) proposed planting includes species that are low-maintenance and provide all-season interest, (v) a row of canopy trees is proposed along the south edge of the site to provide shade in the parking lot, (vi) on-site irrigation will be provided for planted areas, and (vii) permeable pavers are proposed for the outdoor eating plaza and pedestrian walkways.

#### **Staff Comments**

Mr. Craig noted that (i) an Automatic Volume Control (AVC) system that adjusts speaker volume will be installed in the drive-through to ensure compliance with the City's Noise Bylaw, (ii) the project includes nine electric vehicle (EV) charging stations, and (iii) there was a Servicing Agreement entered into as part of the previous Development Permit approval for frontage works which have been completed.

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**Panel Discussion**

In reply to queries from the Panel, the applicant team noted that (i) the AVC system automatically adjusts the speaker volume based on ambient noise levels and has been successfully used by many drive-through restaurants, (ii) shower facilities for restaurant workers biking to work would be difficult to provide in the restaurant buildings due to their size, (iii) automatic irrigation will be provided on-site for all planted areas, and (iv) raised planters in the central plaza will have adequate soil volume for the size of trees to be planted.

**Gallery Comments**

None.

**Correspondence**

None.

**Panel Discussion**

The Panel expressed support for the project for restaurant uses, noting that it is a welcome addition to the industrial neighbourhood.

It was moved and seconded

*That a Development Permit be issued which would permit the construction of two single-storey buildings with drive-through restaurant uses at 18399 Blundell Road on a site zoned "Industrial (I)".*

**CARRIED**

**4. New Business**

None.

**5. Date of Next Meeting: May 15, 2024**

**ADJOURNMENT**

It was moved and seconded

*That the meeting adjourn (5:02 p.m.).*

**CARRIED**



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**Wednesday, April 24, 2024**

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Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, April 24, 2024.

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Cecilia Achiam  
Chair

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Rustico Agawin  
Committee Clerk



2024-04-24 Development Permit Panel Presentation

A 28-unit Townhouse Development

8635-8695 COOK CRESCENT, CITY OF RICHMOND



# PROJECT INFO

## Site Context

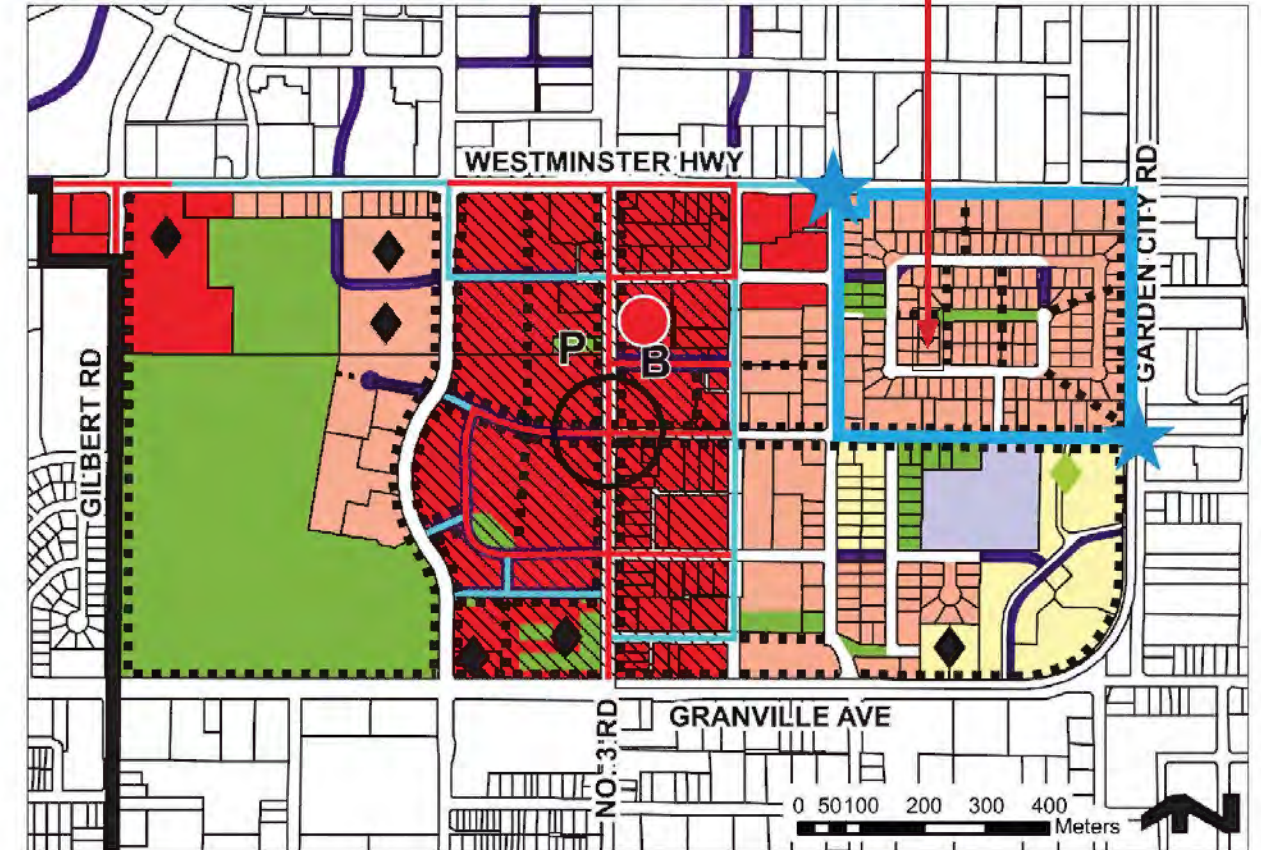


SE Corner

SITE LOCATION

City of Richmond

Specific Land Use Map: Brighthouse Village (2031) Bylaw 9892 2020/07/13



General Urban T4 (15m)	School	Proposed Streets
Urban Centre T5 (25m)	Village Centre Bonus	Pedestrian-Oriented Retail Precincts-High Street & Linkages
Urban Core T6 (45m)	Institution	Pedestrian-Oriented Retail Precincts-Secondary Retail Streets & Linkages
Park	Pedestrian Linkages	Canada Line Station
Park-Configuration & location to be determined	Enhanced Pedestrian & Cyclist Crossing	Transit Plaza
Village Centre: No. 3 Road & Cook Road Intersection	Bus Exchange	Spires Road Area

Bylaw 10020 2019/05/21 Maximum building height may be subject to established Airport Zoning Regulations in certain areas.



# PROJECT INFO

## Neighboring Townhouse Developments

neighboring townhousing developments have received approvals in recent years



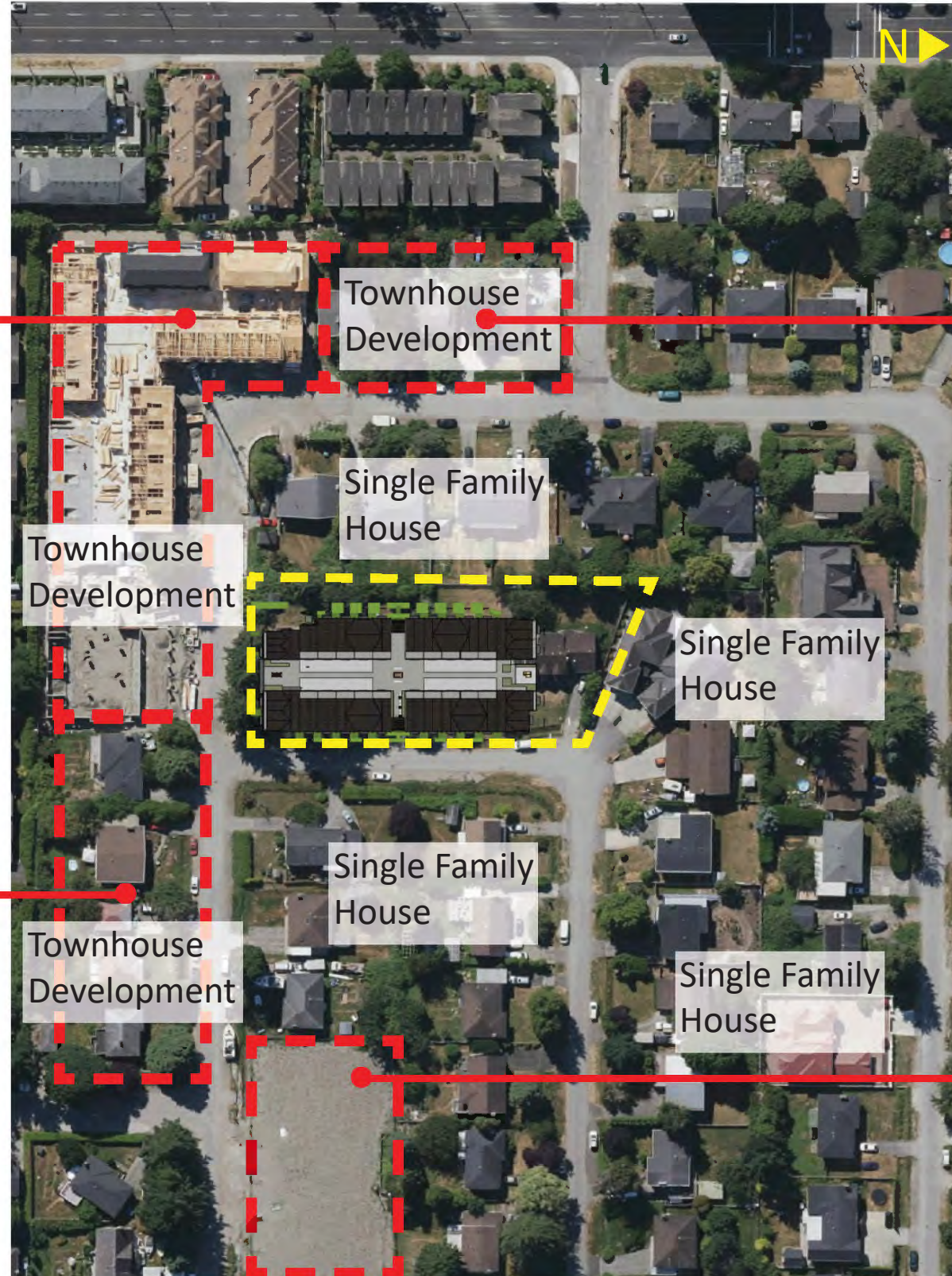
8888 Spires Road

“Parking Structure Townhouses”



8800 Spires Road

“Parking Structure Townhouses”



8951, 8971 Spires Road and 8991 Spires Gate

“Parking Structure Townhouses”



8671, 8731 Spires Road

“Parking Structure Townhouses”



# PROJECT INFO

## Features to Fit Into Surrounding Neighborhood



8888 Spires Road

“Parking Structure Townhouses”



8951, 8971 Spires Road and 8991 Spires Gate

“Parking Structure Townhouses”



8800 Spires Road

“Parking Structure Townhouses”

- reflects a contemporary take on the traditional architectural style in the Neighborhood
- similar size and proportion of building blocks
- common features e.g., pitched roofs and at-grade yards with weather-protected entries
- traditional roof gables to downsize building scale
- same material language e.g., asphalt shingle on gable roof and siding on exterior



8671, 8731 Spires Road

“Parking Structure Townhouses”



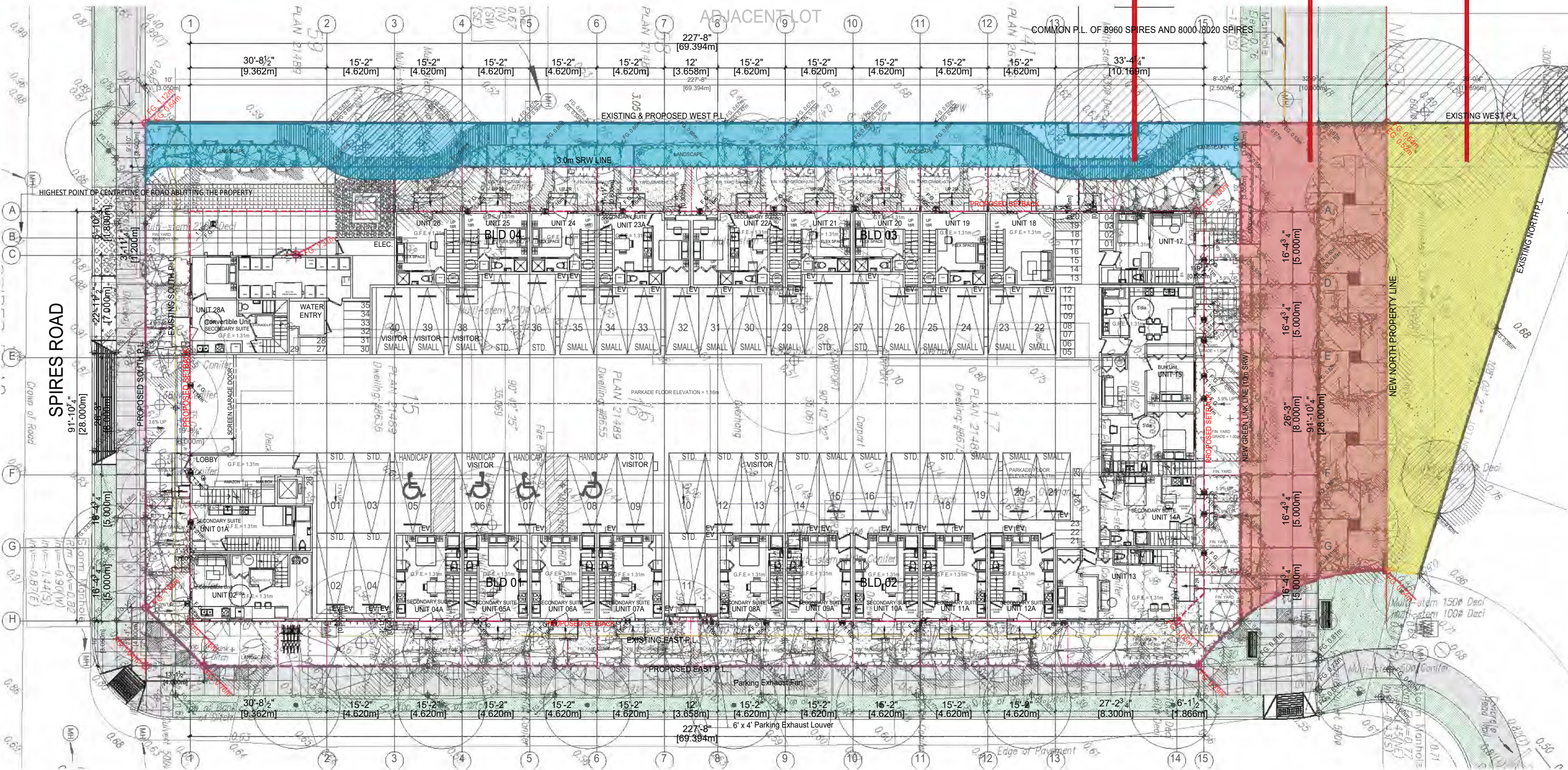
# PROJECT INFO

## Recap from Rezoning: Pedestrian Linkage in the north and the west

West SRW

North SRW

Dedicated area





# Master Site Plan



T 604 210 8688 OFFICE@J+SARCHITECT.CA  
 208-603 KINGSWAY, BURNABY, BC V5H 4M4  
 WWW.J+SARCHITECT.CA

CONSULTANT:

**BUILDER'S RESPONSIBILITY TO LAYOUT WORK**  
 It is the Builder's responsibility to lay out and carry out the work as detailed in the contract documents. It is the Builder's responsibility to verify the accuracy of the information provided in the contract documents, including but not limited to, dimensions, elevations and conditions which may vary from those stated herein. The Builder shall be responsible for any discrepancies which the Builder discovers within the contract documents themselves or between the contract documents and the actual site conditions. The Builder shall immediately advise the Architect in writing of any such discrepancies before proceeding with any work. Written dimensions shall have precedence over scaled dimensions.

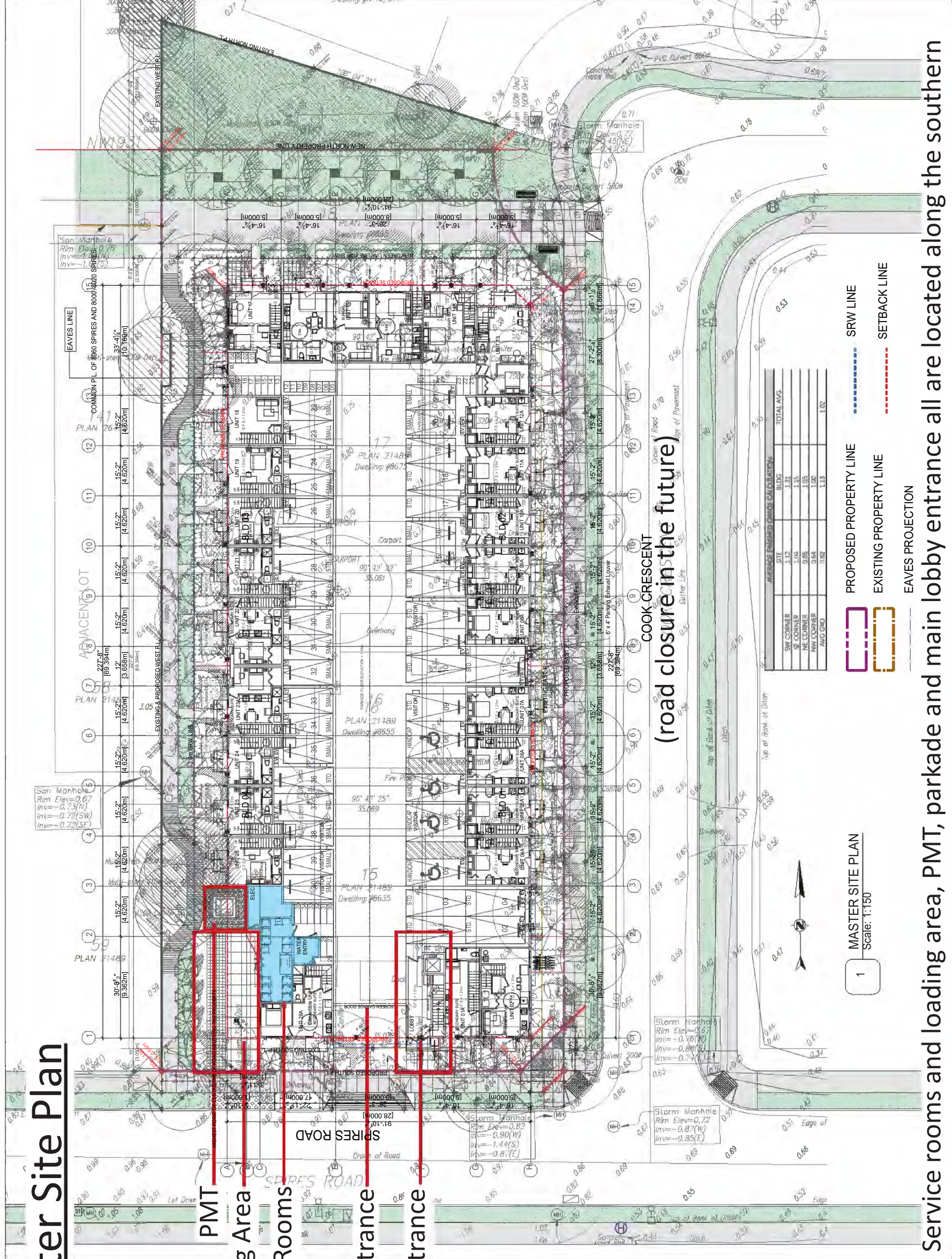
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NO.	REVISION	DATE (MM/YY)
1	ISSUED FOR RZ APPLICATION	2023/03/23
2	ISSUED FOR RZ SUBMISSION	2023/03/23
3	ISSUED FOR RZ SUBMISSION	2023/03/23
4	ISSUED FOR RZ SUBMISSION	2023/03/23
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49	ISSUED FOR RZ SUBMISSION	2023/03/23
50	ISSUED FOR RZ SUBMISSION	2023/03/23

PROJECT:  
 8635-8695 COOK CRESCENT  
 TOWNHOUSE DEVELOPMENT  
 8635-8695 Cook Crescent,  
 Richmond BC

SCALE	DATE	DRAWN BY	CHECKED BY	JOB NO.	SHEET TITLE
SCALE	DATE: 2023/03/23	DRAWN BY:	CHECKED BY:	JOB NO:	21-28

Master Site Plan  
 A1.01



- PMT
- Loading Area
- Service Rooms
- Parkade Entrance
- Lobby Entrance

**1 MASTER SITE PLAN**  
 Scale: 1:150

PROPOSED PROPERTY LINE  
 EXISTING PROPERTY LINE  
 SRW LINE  
 SETBACK LINE  
 EAVES PROJECTION

Service rooms and loading area, PMT, parkade and main lobby entrance all are located along the southern frontage because of road closure of cook crescent in the future.



# Ground Floor Plan

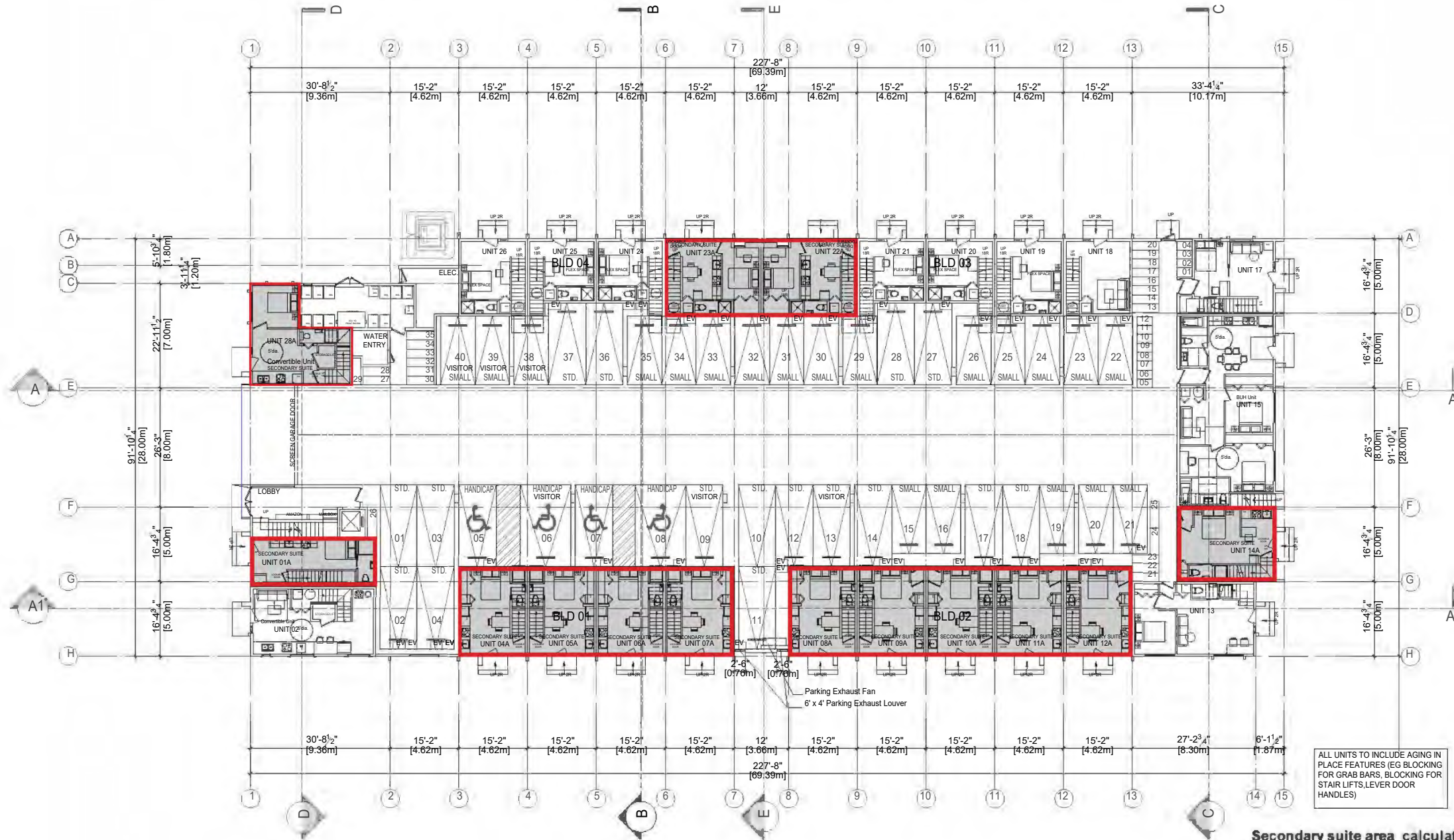
## 14 (50%) Secondary Suite for Rental



T 604 210 9698 OFFICE@JSARCHITECT.CA  
206-4603 KINGSWAY, BURNABY, BC V5H 4M4  
WWW.JSARCHITECT.CA

CONSULTANT:

**BUILDER'S RESPONSIBILITY TO LAYOUT WORK**  
It is the Builder's responsibility to lay out and carry out the work as detailed in the contract documents. It is therefore necessary for the builder to pay very close attention to actual site dimensions, geometries and conditions which may vary from those assumed on the drawings.  
Any discrepancies which the Builder discovers within the contract documents themselves or between the contract documents & site conditions, are to be discussed with the Architect immediately before proceeding with any work.  
Written dimensions shall have precedence over scaled dimensions.  
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1 GROUND FLOOR PLAN  
Scale: 1:150

SECONDARY SUITE

### Secondary suite area calculation

Unit	Ground floor area(sq ft)	Stairs area(sq ft)	Total(sq ft)
Unit01A	300.95	12.83	288.12
Unit04A	299.54	19.44	280.1
Unit05A	299.54	19.44	280.1
Unit06A	299.54	19.44	280.1
Unit07A	299.54	19.44	280.1
Unit08A	299.54	19.44	280.1
Unit09A	299.54	19.44	280.1
Unit10A	299.54	19.44	280.1
Unit11A	299.54	19.44	280.1
Unit12A	299.54	19.44	280.1
Unit14A	356.03	22.5	333.53
Unit22A	354.18	27.43	326.75
Unit23A	354.18	27.43	326.75
Unit28A	386.30	16.50	369.8

Minimum floor area of at least 250sq m(2691sq ft) less than 120sq m(129167sq ft)

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## Ground Floor Plan

DRAWING NO: A2.01 REVISION NO:



# Ground Floor Outdoor Amenity Overlay



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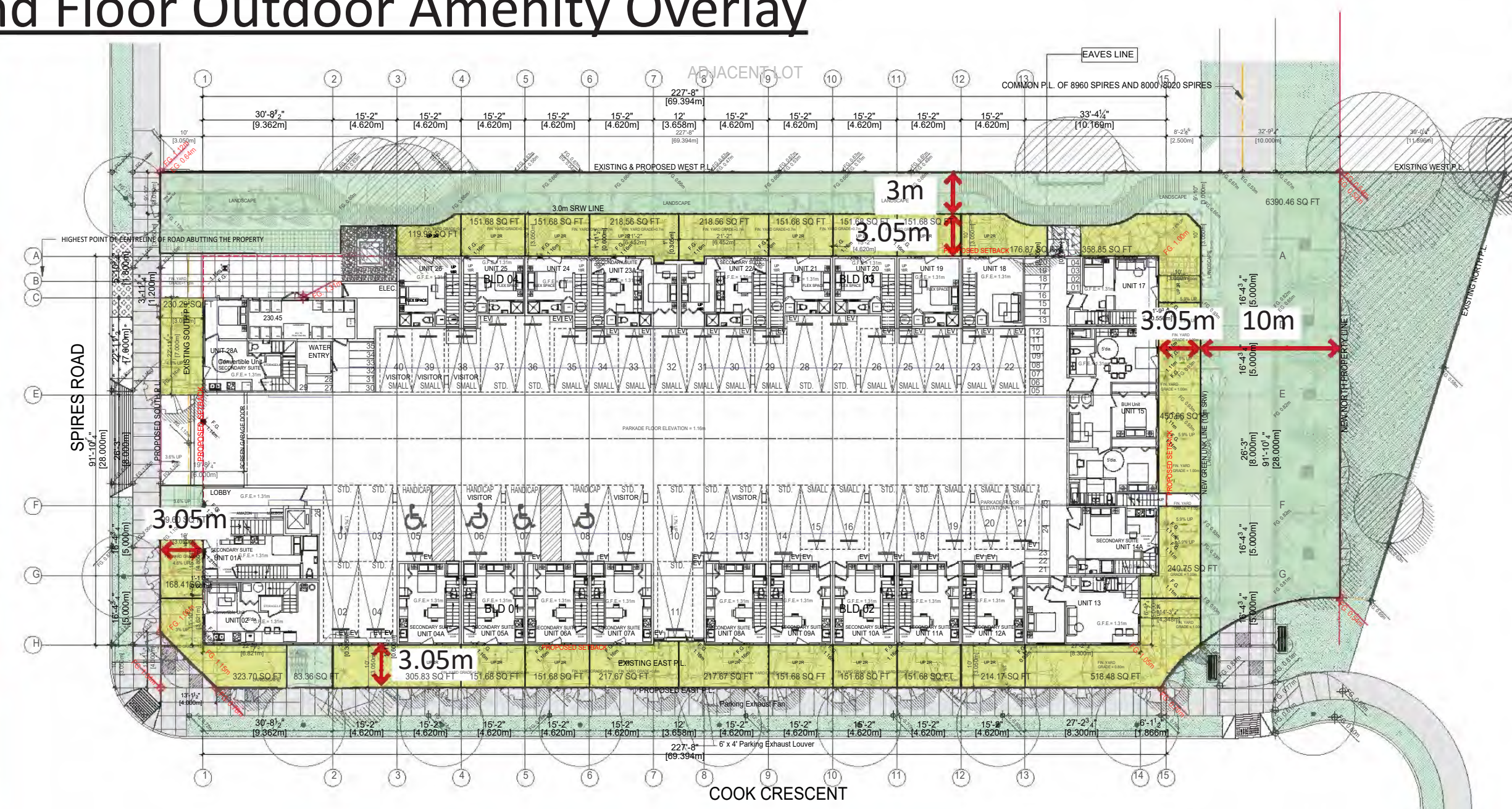
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Ground Floor Outdoor Open Area Overlay

DRAWING NO: A2.01b REVISION NO:



**LEGEND**

- OUTDOOR AMENITY AREA
- CHILDREN'S PLAY
- ADDITIONAL OUTDOOR AMENITY AREA (GROUND FLOOR) 6578.20 SQ FT IN TOTAL
- PRIVATE YARD AREA

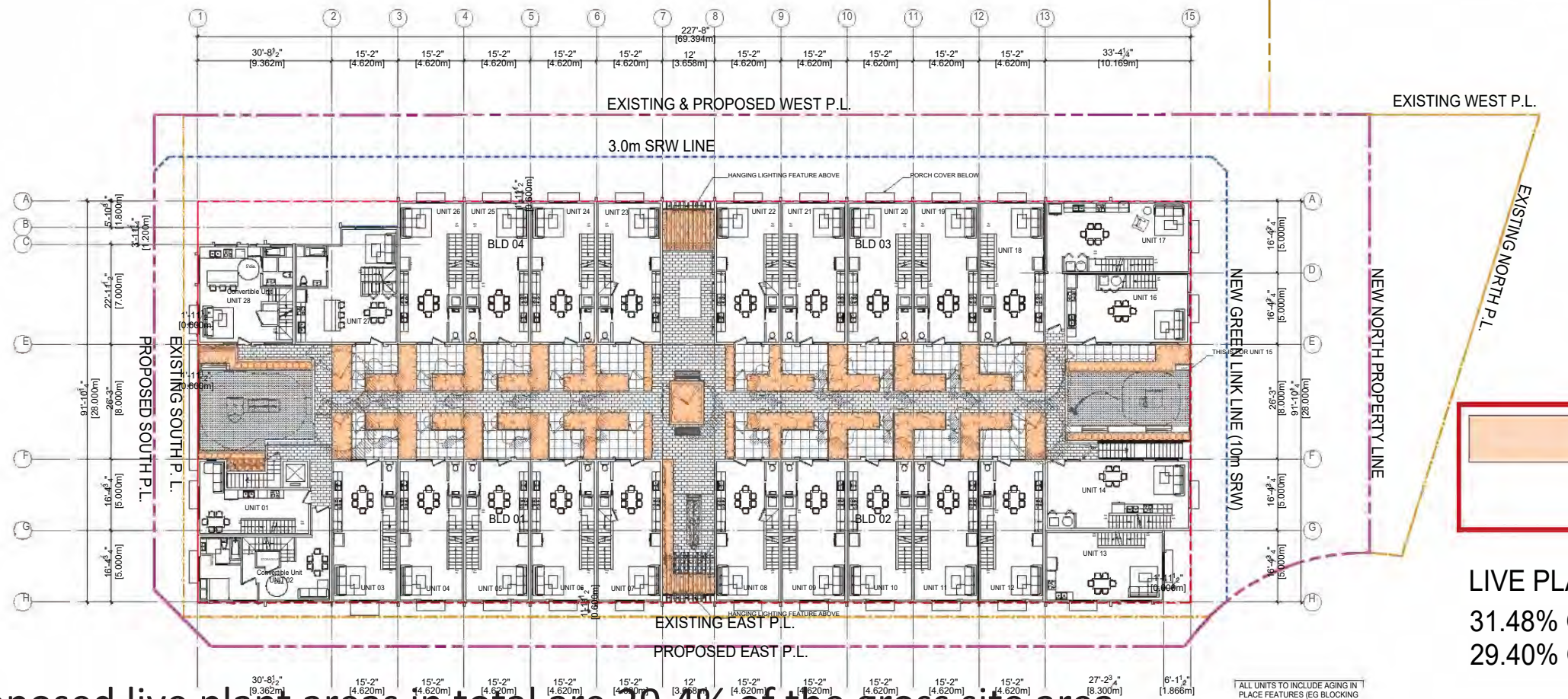
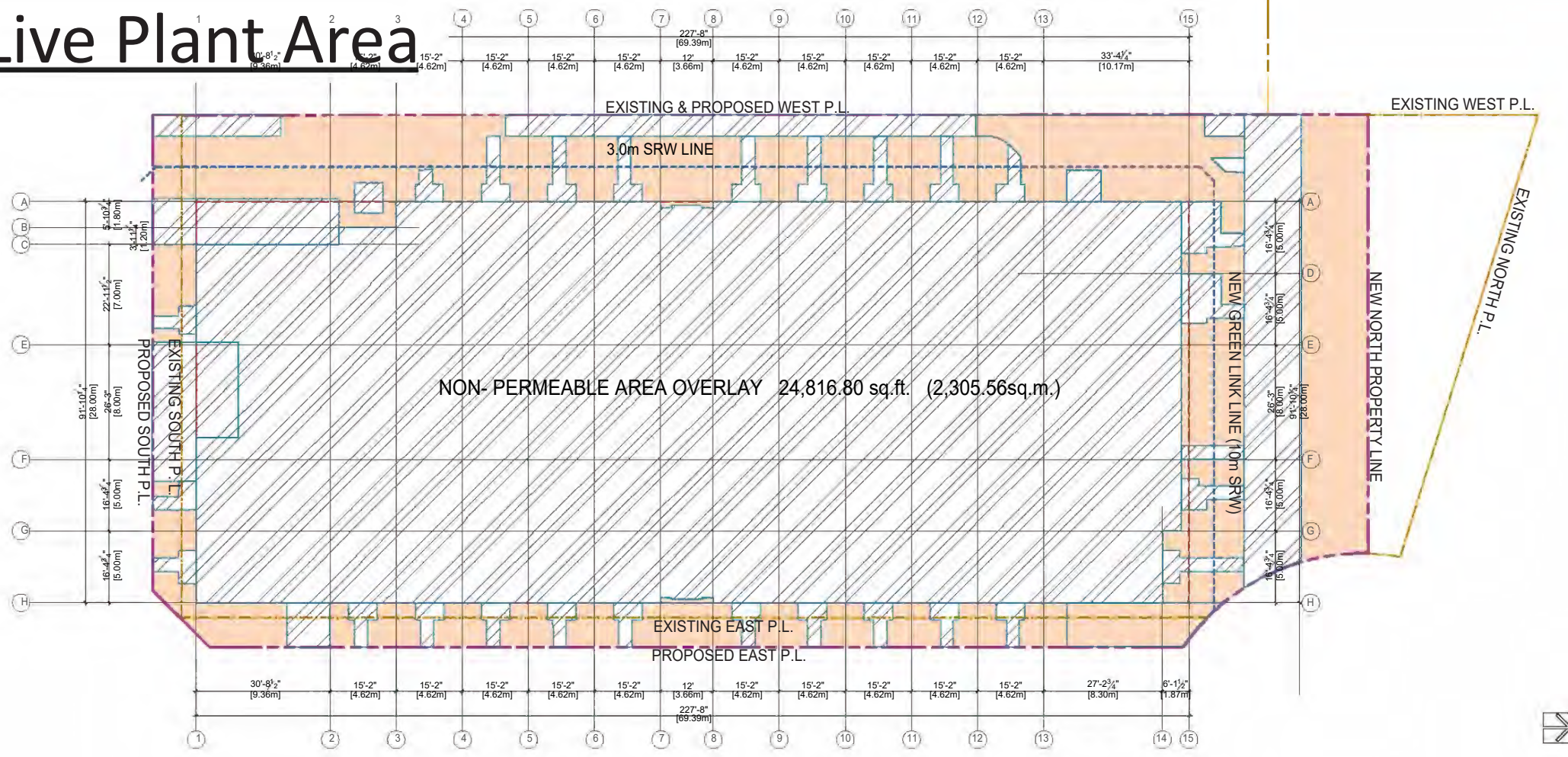
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- SRW LINE
- SETBACK LINE

1 GROUND FLOOR OUTDOOR OPEN AREA OVERLAY  
Scale: 1:150

The private front yards are setback from west and north to provide public accessible walkways and green areas.



# Live Plant Area



**LIVE PLANT AREA OVERLAY (970.97sq.m in total)**  
 8,358.31sq.ft. (776.51 sq.m) ON GROUND FLOOR  
 2093.08 sq.ft. (194.45 sq.m) ON SECOND FLOOR

**LIVE PLANT AREA COVERAGE:**  
 31.48% ON THE NET SITE AREA (970.97sq.m/ 3084.8 sq.m= 0.3148)  
 29.40% ON THE GROSS SITE AREA (970.97 sq.m/ 3302.8 sq.m= 0.2940)

Proposed live plant areas in total are 29.4% of the gross site area.

Approximately 80% of live plant areas is on G/F. The rest is on 2/F.



# Parking Plan



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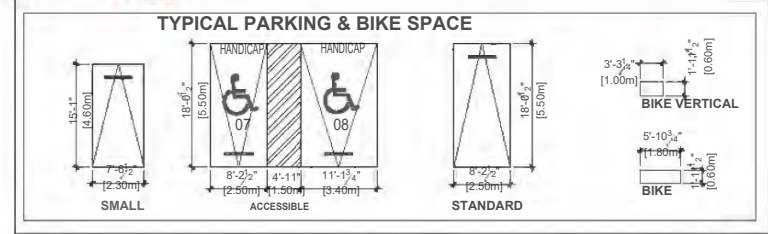
Parking Plan

DRAWING NO: A1.02 REVISION NO:



1 PARKING PLAN  
Scale: 1:150

- Residential Parking = 40
- Visitor Parking = 6
- Accessible Parking = 4



PARKING STALL (UNIT ASSIGN LIST)

	Bylaw Required/Allowed		Proposed	
	Count	Code	Count	Notes
Residential 1.2 spaces per unit	33.6	sec 7.9.3.1	34	ALL EV STALLS
Visitor: 0.2 spaces per unit	5.6	sec 7.9.3.1	6	
Total spaces(round up to nearest whole #)	40	For >31 spaces provided, minimum 50% shall be standard stalls [sec 7.5.13]	40	21 Standard/Accessible 19 small stalls
Tandem Parking Space (Included in above Total)	20	Max: 50% of required parking stalls	8	8 Standard
Disability: 2% of the required parking space (included in above total)	4	sec 7.5.14	4	ALL EV STALLS 3 for convertible units 1 for Visitor
Loading 1 medium size for 11-60 Residential Units	1	sec 7.13.7	1	13m length, 3.25m width provided for loading area

	Bylaw Required/Allowed		Proposed	
	Count	Code	Count	Notes
Class 1: Long term 1.25 spaces per unit	35	sec 7.14.9	35	(12 vertical, 23horizontal @ Parkade)
Class 2: Short Term 0.2 spaces per unit	6	sec 7.14.9	6	6 @ Lobby Entrance Area 5@east
<b>Total</b>	<b>41</b>		<b>41</b>	

Parking Stall #	#01	#02	#03	#04	#05	#06	#07	#08	#09	#10	#11	#12	#13	#14	#15	#16	#17	#18	#19	#20	#21	#22	#23	#24	#25	#26	#27	#28	#29	#30	#31	#32	#33	#34	#35	#36	#37	#38	#39	#40	Sub-Total	Total			
Standard Handicap																																										4			
Standard Stall	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	15			
Small Car Stall																																												20	
Assign to the Unit#	Unit 04	Unit 04	Unit 05	Unit 05	Unit 02	VISITOR	Unit 28	Unit 14	Unit 01	Unit 06	Unit 06	Unit 03	Unit 07	Unit 08	Unit 09	Unit 10	Unit 13	Unit 14	Unit 13	Unit 16	Unit 12	Unit 17	Unit 18	Unit 19	Unit 20	Unit 21	Unit 22	Unit 23	Unit 24	Unit 25	Unit 26	Unit 27	EXTRA	EXTRA	EXTRA	EXTRA	EXTRA	EXTRA	VISITOR	VISITOR	VISITOR	VISITOR	EXTRA	EXTRA	
Notes	Tandem	Tandem	Tandem	Tandem	Convertible Unit	Convertible Unit	BUH Unit	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem	Tandem

For unit 9 to 17, each of them has direct access from parkade for convenience and fire department access purpose.



# 2nd Floor Plan

- Courtyard accessed through main lobby and northern staircase
- 1.5mW pedestrian pathway to leave more space for greenery and amenities
- 3.25m patios in depth to accommodate larger lounge furnishings



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UP From Main Lobby

UP from northern staircase

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LEGEND	
<span style="display:inline-block; width:15px; height:10px; background-color:green; border:1px solid black;"></span>	OUTDOOR AMENITY AREA
<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen; border:1px solid black;"></span>	CHILDREN'S PLAY
<span style="display:inline-block; width:15px; height:10px; background-color:yellow; border:1px solid black;"></span>	ADDITIONAL OUTDOOR AMENITY AREA (2ND FLOOR) 1,117.06 SQ FT IN TOTAL
<span style="display:inline-block; width:15px; height:10px; background-color:yellow; border:1px solid black;"></span>	PRIVATE YARD AREA

Amenity areas & children's play areas proposed calculation

areas type	depth(ft)	width(ft)	areas(sq.ft)	areas(sq.ft)	required
Amenity areas	12.00	31.23	374.76	1211.72	6.0sq.m(64.59sq.ft)/uint 28*6.0sq.m(64.59sq.ft)=168sq.m(1808.34sq.ft)
	17.58	26.25	461.48		
	12.00	31.29	375.48		
children's play areas	26.81	26.25	638.00	1108.55	3.0sq.m(32.29sq.ft)/uint 28*3.0sq.m(32.29sq.ft)=84sq.m(904.17sq.ft)
	28.96	16.25	470.55		
<b>total amenity areas</b>				<b>2320.27</b>	

1 2ND FLOOR OUTDOOR OPEN AREA OVERLAY  
Scale: 1:150

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2ND Floor Outdoor Open Area Overlay

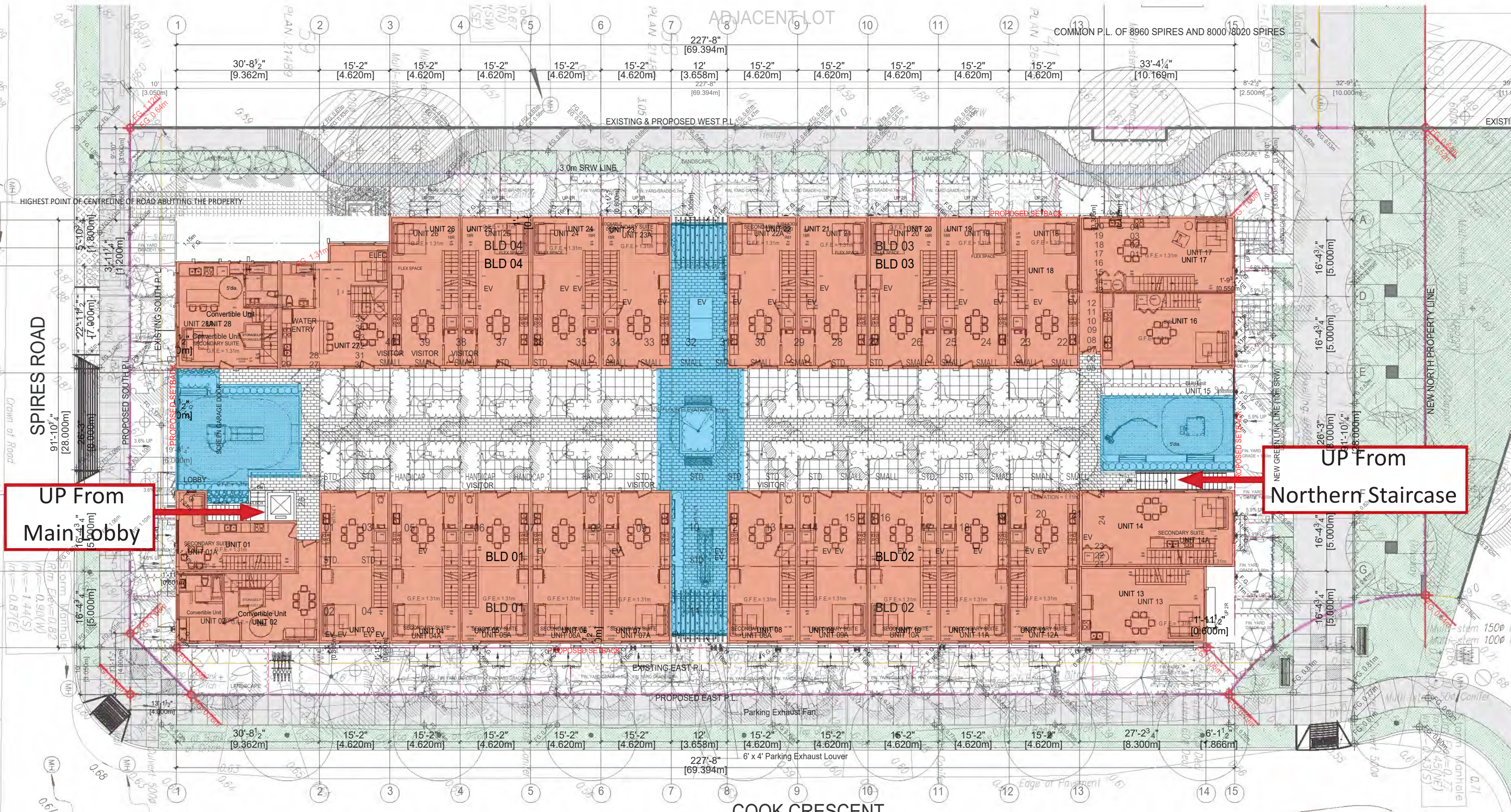
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A2.02b



# Connectivity with Ground Floor Green Spaces

- Connect the outdoor amenity with our North and West Side green belts.
- Outdoor spaces are integrated and achieve the functions as a system.









# Streetscape - East Elevation



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Verical fins as separators

Hardie board (white finish)

Hardie board (grey finish)

- Different material on G/F to visually reduce height of building.
- Vertical fins, occasional black exterior, and glazing break G/F into parts instead of long solid walls.



Occasional Black Exterior

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Street-Scene-02

DRAWING NO.: A5.02	REVISION NO.:
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2 EAST ELEVATION - STREETSCAPE  
Scale: 1:250



# Streetscape - West Elevation



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1 WEST ELEVATION - STREETSCAPE  
Scale: 1:250



2 EAST ELEVATION - STREETSCAPE  
Scale: 1:250



EAST ELEVATION

- Vertical metal tube elements hanging over the amenity areas to fill in spacing and activate building frontage further.
- Side facade of corner units is treated as the front facade.

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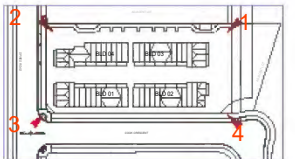
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Perspective Rendering-01

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A6.01	



1 VIEW FROM NORTHWEST



2 VIEW FROM SOUTHWEST



3 VIEW FROM SOUTHEAST



4 VIEW FROM NORTHEAST

Buildings are surrounded by pedestrian walkways, so that all corners are of equal importance and visual interest.



# Streetscape - North & South Elevations



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Street-Scape-01

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A5.01	

## Symmetry and Color Contrast



- Contemporary take on traditional architectural style -- Pitched roof in the neighborhood.
- Symmetry and contrast of black and white are utilised to enhance the North and South Facade.



# Further articulation to provide individuality to each block



Building 1  
Sun (Yellow)



Building 2  
Land (Orange)



Building 3  
Water (Blue)



Building 4  
Life (Green)



- Different color to the individual entry frames to give identity to each individual block.
- A signboard for each building block is hung at the corner unit to draw pedestrian attention.



# Highlighting The Main Entrance



- The main lobby is under a large frame with the parkade entry.
- The architectural style of the frame is consistent with the overall contemporary style.
- Larger and higher than individual unit frames to be easily recognized.
- Features large glazing, which appears distinct from the individual unit entry with wood cladding.
- The address signage hung over lobby entry is for pedestrians to promptly notice its significance.



# Elevation (BLD1)

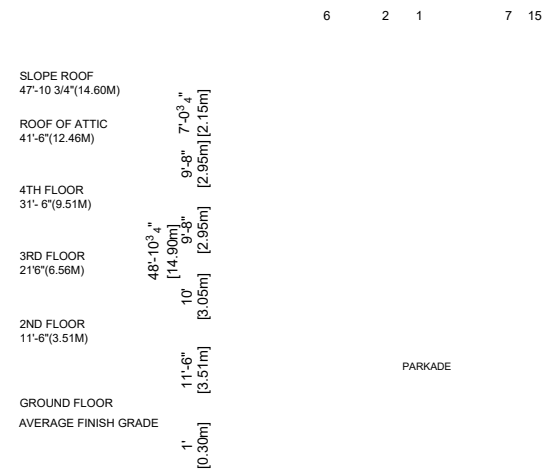
Exterior blends materials including asphalt shingle, Hardie board siding, metal flashing, metal panel and natural fluted panel.



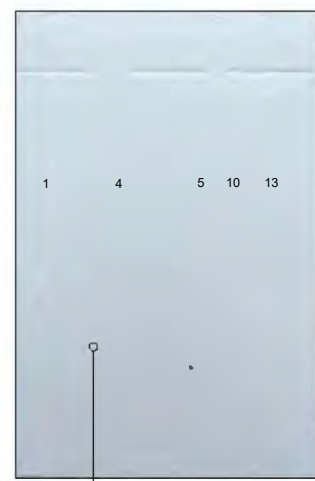
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## Extract from Material Board:



1. Asphalt Shingles Roof (Gray Finish)

2. Hardie Board (White Finish)

3. Hardie Board (Gray Finish)

5. Natural Walnut Fluted Panel

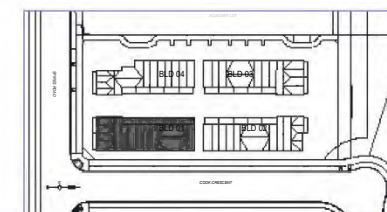
7. Charcoal Metal Flashing

12. Pre Matte-finished Metal Panel (BM Spring Sky 674)

3 SOUTH ELEVATION Scale: 1:150

4 WEST ELEVATION Scale: 1:150

- 1. Asphalt Shingles Roof (Gray Finish)
- 2. Hardie Board (White Finish)
- 3. Hardie Board (Gray Finish)
- 4. Hardie Board (Taupe Finish)
- 5. Natural Walnut Fluted Panel
- 6. Natural Walnut Wood Panel
- 7. Charcoal Metal Flashing
- 8. Hardie Board in Gray Finish for Window/Door/Edge Trim
- 9. Pre-finished Windows Frame (Black)
- 10. Metal Railing With Clear Glazing(Gray Paint)
- 11. Pre Matte-finished Metal Panel (BM Green Thumb CSP-870)
- 12. Pre Matte-finished Metal Panel (BM Spring Sky 674)
- 13. Pre Matte-finished Metal Panel (BM Yellow Highlighter 2021-40)
- 14. Pre Matte-finished Metal Panel (BM Orange Appeal 124 )
- 15. Frosted Tempered Glass Screen



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DP RESUBMISSION	28/03/2024

PROJECT:  
8635-8695 COOK CRESCENT TOWNHOUSE DEVELOPMENT

8635-8695 Cook Crescent, Richmond BC

CLIENT:

SCALE:	SEAL:
DATE: 28/03/2024	
DRAWN BY:	
CHECKED BY:	
JOB NO.: 21-28	

SHEET TITLE:

Elevations(BLD1)

DRAWING NO.: A3.02

REVISION NO.:



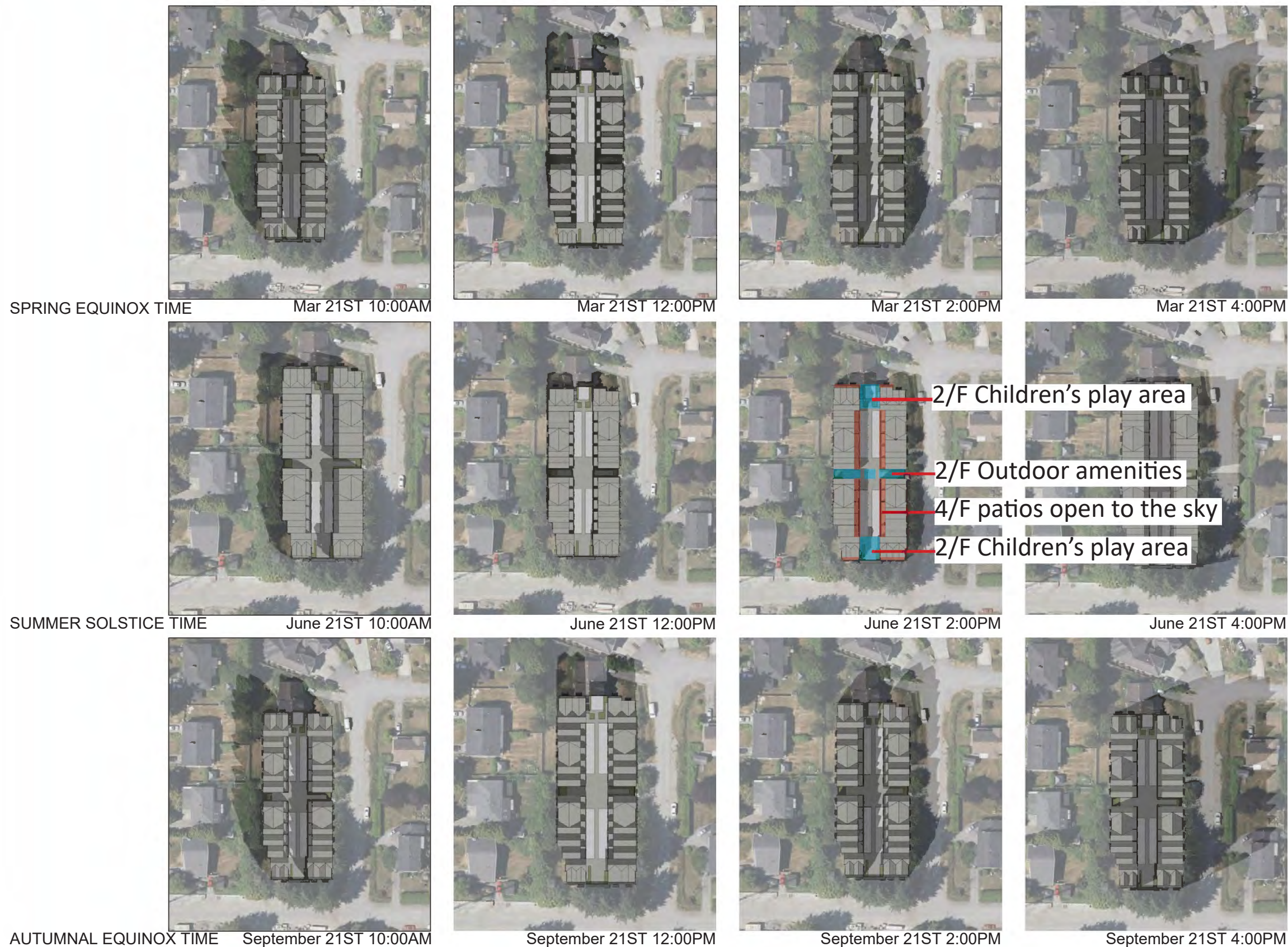
# SUN & SHADOWS STUDIES



T 604 210 9698 OFFICE@JSARCHITECT.CA  
206-4603 KINGSWAY, BURNABY, BC V5H 4M4  
WWW.JSARCHITECT.CA

CONSULTANT:

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ISSUED FOR:	DATE(D/M/Y)
ISSUED FOR ADP	25/11/2024
ISSUED FOR DP RESUBMISSION	19/12/2023
ISSUED FOR DP	10/07/2023
ISSUED FOR DP COORDINATION	28/06/2023
ISSUED FOR RZ RE-SUBMISSION	06/04/2023
ISSUED FOR RZ RE-SUBMISSION	20/03/2023
ISSUED FOR RZ APPLICATION	14/04/2022
NO. REVISION:	DATE(D/M/Y)
REVISIONS:	
ISSUED FOR:	DATE(D/M/Y)
DP RESUBMISSION	28/03/2024

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PROJECT:  
8635-8695 COOK CRESCENT  
TOWNHOUSE DEVELOPMENT  
8635-8695 Cook Crescent,  
Richmond BC

CLIENT:

SCALE:	SEAL:
DATE: 28/03/2024	
DRAWN BY:	
CHECKED BY:	
JOB NO.: 21-28	
SHEET TITLE:	

Sun & Shadows Studies

DRAWING NO.: A0.06 REVISION NO.:

- 4/F patios are open to sky instead of being completely covered by pitched roof.
- Breaking the massing in the middle on the south and west sides to accommodate children's play areas and allow more sunlight to come through.



# G/F Accessibility Plan



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ADP	DATE
ISSUED FOR DP RESUBMISSION	25/01/2024
ISSUED FOR DP	19/12/2023
ISSUED FOR DP COORDINATION	10/07/2023
ISSUED FOR RZ RE-SUBMISSION	28/06/2023
ISSUED FOR RZ RE-SUBMISSION	06/04/2023
ISSUED FOR RZ RE-SUBMISSION	20/03/2023
ISSUED FOR RZ APPLICATION	14/04/2022

NO. REVISION	DATE(D/M/Y)
REVISIONS:	
ISSUED FOR:	DATE(D/M/Y)

ADP Resubmission 23/02/2024

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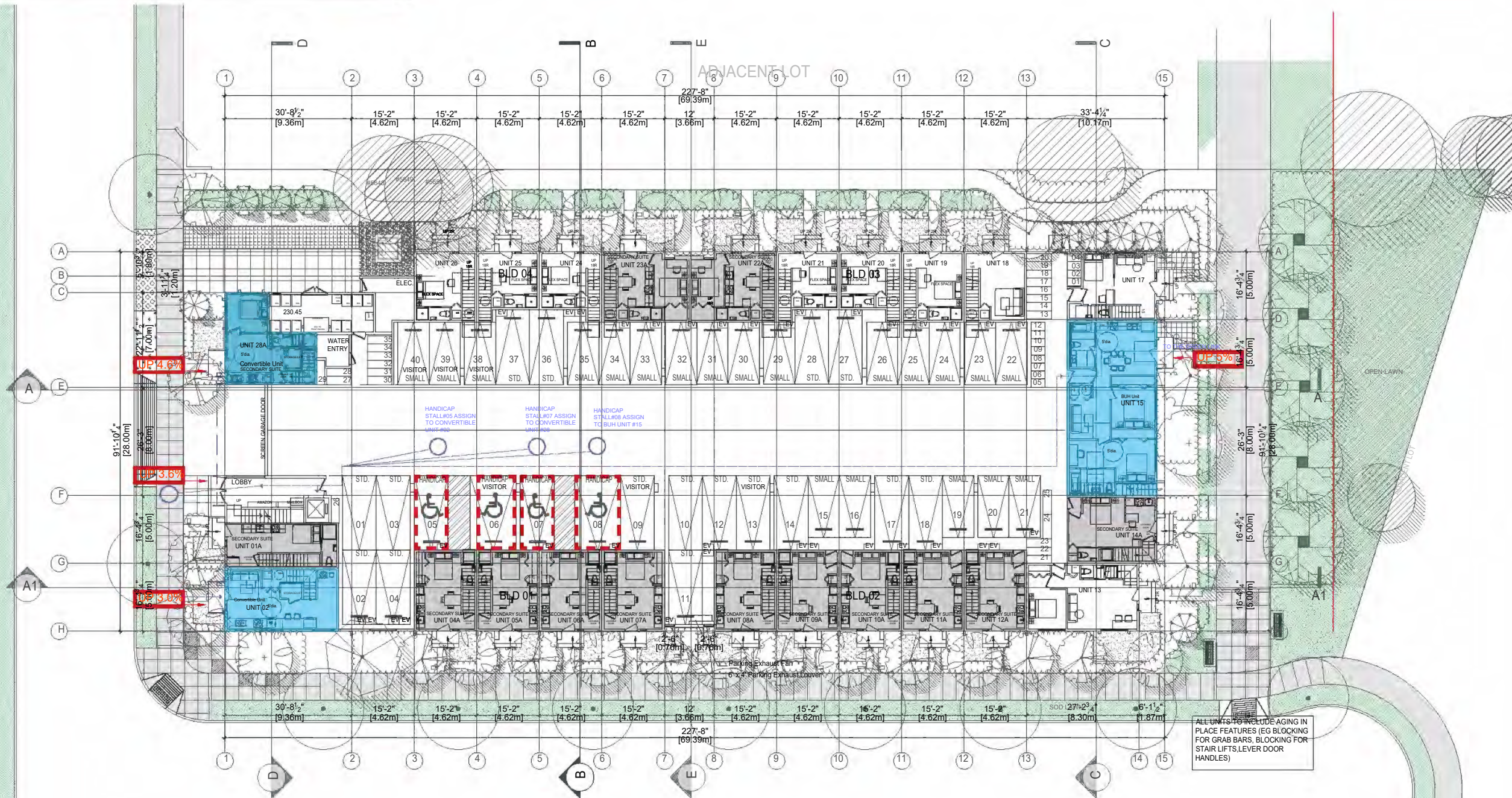
PROJECT:  
8635-8695 COOK CRESCENT  
TOWNHOUSE DEVELOPMENT

8635-8695 Cook Crescent,  
Richmond BC  
CLIENT:

SCALE:	SEAL:
DATE: 23/02/2024	
DRAWN BY:	
CHECKED BY:	
JOB NO:	
21-28	
SHEET TITLE:	

Convertible Unit Access Plan (GndFL)

DRAWING NO. REVISION NO.



**Accessible Units**  
(2 four-level convertible units + 1 one level BUH on G/F)

1 Convertible Unit Access Plan (Gnd FL)  
Scale: 1:150

- 1 van-accessible parking stall and 3 standard accessible parking stalls are provided for residents.
- All residents of accessible units can access their ground floor entry and main lobby with a slope of no more than 5%.



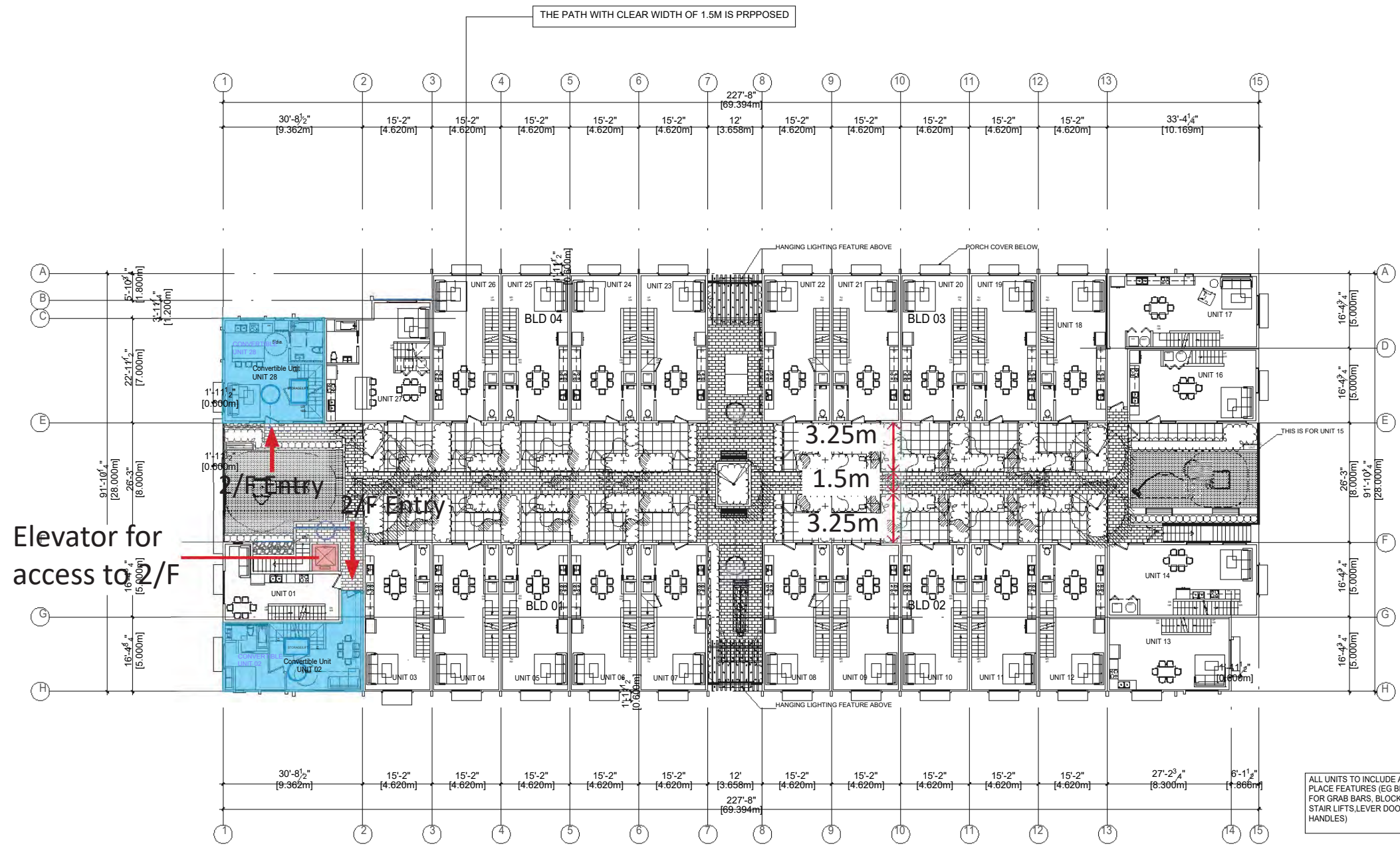
# 2/F Accessibility Plan



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206-4603 KINGSWAY, BURNABY, BC V5H 4M4  
WWW.JSARCHITECT.CA

CONSULTANT:

**BUILDER'S RESPONSIBILITY TO LAYOUT WORK**  
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Elevator for access to 2/F

■ Accessible Units  
(2 four-level convertible units on 2/F)

1 Convertible Unit Access Plan (2nd FL)  
Scale: 1:150

- The four-level convertible units 02 and 28 have an additional entry on the podium level.
- To enhance accessibility, there is an elevator in the lobby for residents to move upstairs from the ground floor. The main pedestrian pathway is 1.50m wide.

ADP	2501/2024
ISSUED FOR DP RESUBMISSION	19/12/2023
ISSUED FOR DP	10/07/2023
ISSUED FOR DP COORDINATION	28/06/2023
ISSUED FOR RZ RESUBMISSION	06/04/2023
ISSUED FOR RZ RESUBMISSION	20/03/2023
ISSUED FOR RZ APPLICATION	14/04/2022
NO REVISIONS:	(DATE(D/M/Y))
ISSUED FOR:	(DATE(D/M/Y))
ADP Resubmission	23/02/2024

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PROJECT:  
8635-8695 COOK CRESCENT  
TOWNHOUSE DEVELOPMENT  
8635-8695 Cook Crescent,  
Richmond BC  
CLIENT:

SCALE:	SEAL:
DATE: 23/02/2024	
DRAWN BY:	
CHECKED BY:	
JOB NO: 21-28	
SHEET TITLE:	

Convertible Unit Access Plan (2nd FL)

DRAWING NO:	REVISION NO:
A2.07b	



# Sustainability Strategy

The proposed building will comply with **BC Energy Step Code Step 4 target**, fulfilling the City’s requirements.

## Current Requirements

The table below outlines Richmond’s BC Energy Step Code requirements for Part 3 buildings.

Building Type	Jul 1, 2022 to Oct 30, 2023	After Oct 31, 2023
Residential greater than 6 stories or non-combustible construction	Step 3 or Step 2 and LCES	Step 3 w/ EL-1 or Step 2 w/ EL-2
Residential 6 stories or less with combustible construction	Step 4 or Step 3 and LCES	Step 4 w/ EL-1 or Step 3 w/ EL-2
Office and Retail buildings	Step 3 or Step 2 and LCES	Step 3 w/ EL-1 or Step 2 w/ EL-2
Hotels and Motels	Step 3 or Step 2 and LCES	Step 4 w/ EL-1 or Step 3 w/ EL-2

The proposed building is a combustible construction and is required to meet Step 4 w/ EL-1 or Step 6 w/ EL-2. Emission Level (EL) information of EL-1 and EL-2 are listed in the BC Building Code Section 10.3.

**Table 1 Modelling Results Summary**

Design Cases	TEUI	TEDI
Step 4	100.0	15.0
Proposed design	94.3	13.34

Other highlighted features include:

- Operable panes for natural ventilation and light penetration.
- Light-colored roof pavers for roof decks to reduce heat absorption and cooling loads.
- LED lights to reduce electrical power demands.
- High-efficiency heat pumps.
- Double-glazed windows for energy efficiency.

Proposed **energy conservation measures (ECMs)** to help the project achieve the energy and emission performance requirements:

- High-performance building envelope considering the thermal bridging effect

Model Inputs	Proposed
<i>Glazing Information</i>	
Window assembly U-value (including frame) (Btu/h.ft <sup>2</sup> .°F) & SHGC	U 0.15 SHGC 0.38
WWR	22.66%
<i>Envelope Information</i>	
Overall wall effective R or U-value (ft <sup>2</sup> .°F.h/ Btu)	Over all exterior wall R20.5 with TB: WF wall: effective R35 Wall between parkade and conditioned space: effective R24 Parkade exterior Wall: 8" reinforced concrete wall
Overall roof effective R-value (ft <sup>2</sup> .°F.h/ Btu)	EffectiveR40

- Direct Ventilation with in-suite HRV (72% SRE) will be incorporated into the ventilation system design
- High-efficiency HVAC system with air source heat pump heating and cooling at suite level (heating COP of 3.5 and cooling SEER of 3.8)





Landscape Design





MAGLIN BENCH 870 BACKED IPE WOOD

MATERIAL LEGEND	
	SOD LAWN
	BOARDWALK
	CONCRETE PAVING
	SAW-CUT CONCRETE WITH CHARCOAL COLOUR PANELS
	MAGLIN 870 BACKED IPE WOOD
	REFER TO DETAIL
	5'-6" HT SOLID WOOD FENCE

PLANT SCHEDULE				PMG PROJECT NUMBER: 22065
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
3		ACER PALMATUM 'BLOODGOOD'	RED JAPANESE MAPLE	8CM CAL, B&B
1		GLEDITSIA T. INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	8CM CAL; B&B
9		LIQUIDAMBAR STYRACIFLUA 'EMERALD SENTINEL'	EMERALD SENTINEL SWEETGUM	8CM CAL; B&B
2		MAGNOLIA KOBUS	KOBUS MAGNOLIA (WHITE)	8CM CAL; STD; B&B
12		PARROTTIA PERSICA 'RUBY VASE'	RUBY VASE PERSIAN IRONWOOD	8CM CAL; TREE FORM; B&B
6		PINUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN BLACK PINE	4M HT; B&B
5		STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	8CM CAL; B&B

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED USING DESIGN/BUILD HIGH EFFICIENCY, DRIP IRRIGATION SYSTEM WITH RAIN SENSOR. PROVIDE SHOP DRAWINGS FOR CONSULTANT REVIEW PRIOR TO CONSTRUCTION.

REQUIRED REPLACEMENT TREES (8CM CAL): 58  
ACTUAL REPLACEMENT TREES: 47  
DEFICIT: 11

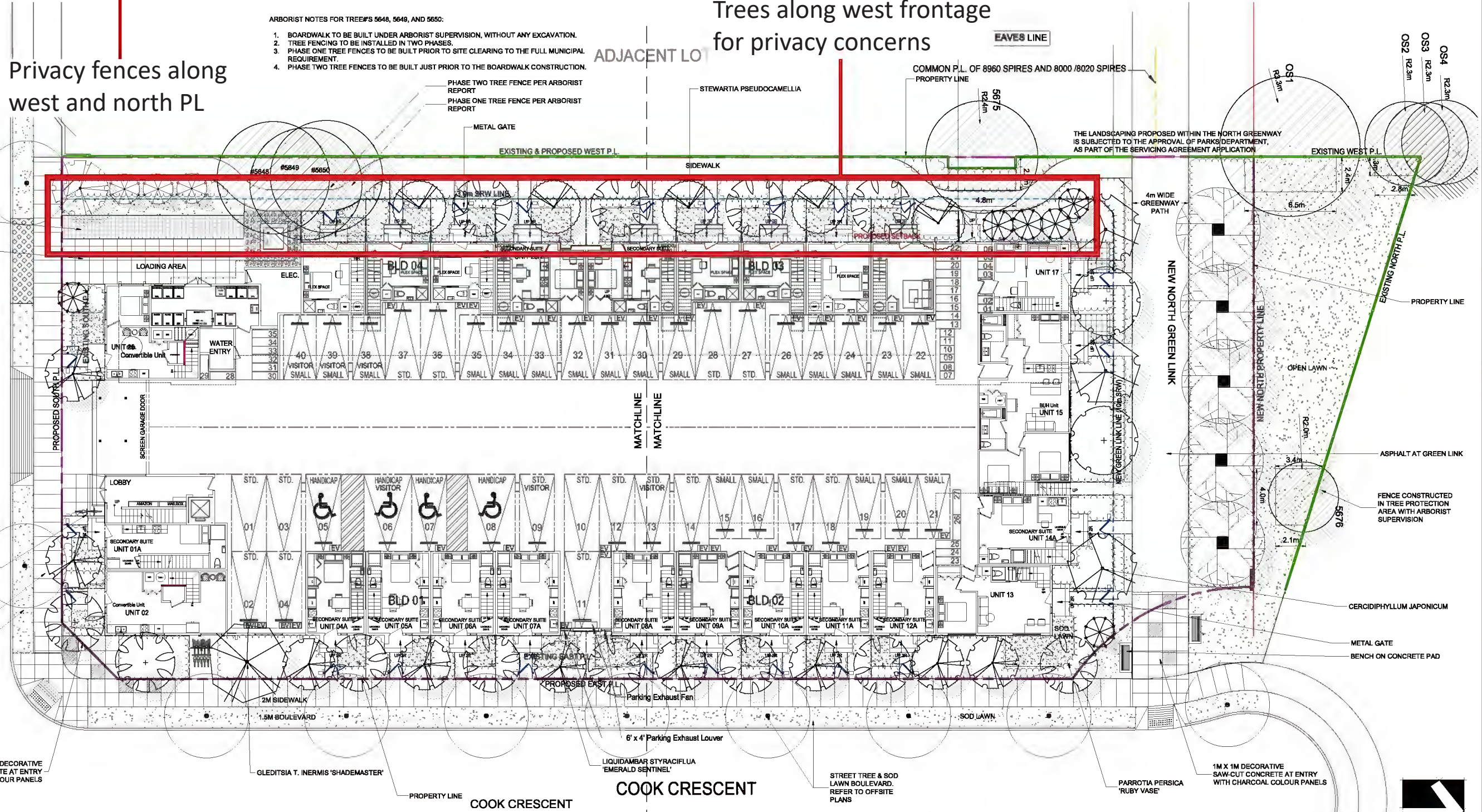
PLANT SCHEDULE - SRW				PMG PROJECT NUMBER: 22065
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
5		AESCULUS CARNEA 'BRIOTI'	RED HORSE CHESTNUT	8CM CAL; 1.8M STD; B&B
1		LIQUIDAMBAR STYRACIFLUA 'EMERALD SENTINEL'	EMERALD SENTINEL SWEETGUM	8CM CAL; B&B
3		PINUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN BLACK PINE	4M HT; B&B

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- ARBORIST NOTES FOR TREE#S 5648, 5649, AND 5650:
- BOARDWALK TO BE BUILT UNDER ARBORIST SUPERVISION, WITHOUT ANY EXCAVATION.
  - TREE FENCING TO BE INSTALLED IN TWO PHASES.
  - PHASE ONE TREE FENCES TO BE BUILT PRIOR TO SITE CLEARING TO THE FULL MUNICIPAL REQUIREMENT.
  - PHASE TWO TREE FENCES TO BE BUILT JUST PRIOR TO THE BOARDWALK CONSTRUCTION.

Trees along west frontage for privacy concerns

Privacy fences along west and north PL



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Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
18	24.MAR.14	ISSUED FOR DP	
17	24.MAR.12	NEW SITE PLAN	RJ
16	24.FEB.21	NEW SITE PLAN	YR
15	24.FEB.18	NEW SITE PLAN	YR
14	24.FEB.14	NEW SITE PLAN	RJ
13	24.JAN.10	NEW SITE PLAN	YR
12	23.DEC.15	REVISION PER COMMENTS	MCM/VR
11	23.NOV.03	REVISION PER COMMENTS	MNM
10	23.OCT.27	NEW SITE PLAN	MC
9	23.JUN.28	NEW SITE PLAN	MC
8	23.APR.05	SITE PLAN COORDINATION	
7	23.MAR.20	NEW SITE PLAN	DD
6	23.MAR.14	NEW SITE PLAN	JR
5	23.MAR.09	NEW SITE PLAN	JR
4	23.MAR.06	NEW SITE PLAN	JR
3	22.DEC.20	NEW SITE PLAN	MC
2	22.DEC.16	NEW SITE PLAN	MC
1	22.DEC.06	NEW SITE PLAN	DD

CLIENT:

PROJECT:  
**RESIDENTIAL DEVELOPMENT**  
8635-8695 COOK CRESCENT  
RICHMOND, BC

DRAWING TITLE:  
**LANDSCAPE PLAN  
GROUND LEVEL**

DATE: 22.APR.12 DRAWING NUMBER:  
SCALE: 1:150 **L1**  
DRAWN: DO  
DESIGN: DO  
CHKD: MCY OF 11

PMG PROJECT NUMBER: 22-065

- Trees are planting along the west frontage considering privacy concerns with single houses to the west.
- A solid wood privacy fence proposed along the west and north property line to provide additional screening opportunities.
- Multiple trees retained along the west PL.



22065-19.ZIP





MAGLIN BENCH 970 BACKED IPE WOOD

MATERIAL LEGEND	
	SOD LAWN
	BOARDWALK
	CONCRETE PAVING
	SAW-CUT CONCRETE WITH CHARCOAL COLOUR PANELS
	MAGLIN 970 BACKED IPE WOOD
	REFER TO DETAIL
	5'-6" HT SOLID WOOD FENCE

PLANT SCHEDULE				PMG PROJECT NUMBER: 22065
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
3		ACER PALMATUM 'BLOODGOOD'	RED JAPANESE MAPLE	8CM CAL; B&B
1		GLEDITSIA T. INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	8CM CAL; B&B
2		LIQUIDAMBAR STYRACIFLUA 'EMERALD SENTINEL'	EMERALD SENTINEL SWEETGUM	8CM CAL; B&B
9		MAGNOLIA KOBUS	KOBUS MAGNOLIA (WHITE)	8CM CAL; STD; B&B
12		PARROTIA PERSICA 'RUBY VASE'	RUBY VASE PERSIAN IRONWOOD	8CM CAL; TREE FORM; B&B
6		PINUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN BLACK PINE	4M HT; B&B
5		STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	8CM CAL; B&B

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REQUIRED REPLACEMENT TREES (8CM CAL): 56  
ACTUAL REPLACEMENT TREES: 47  
DEFICIT: 11

PLANT SCHEDULE - SRW				PMG PROJECT NUMBER: 22065
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
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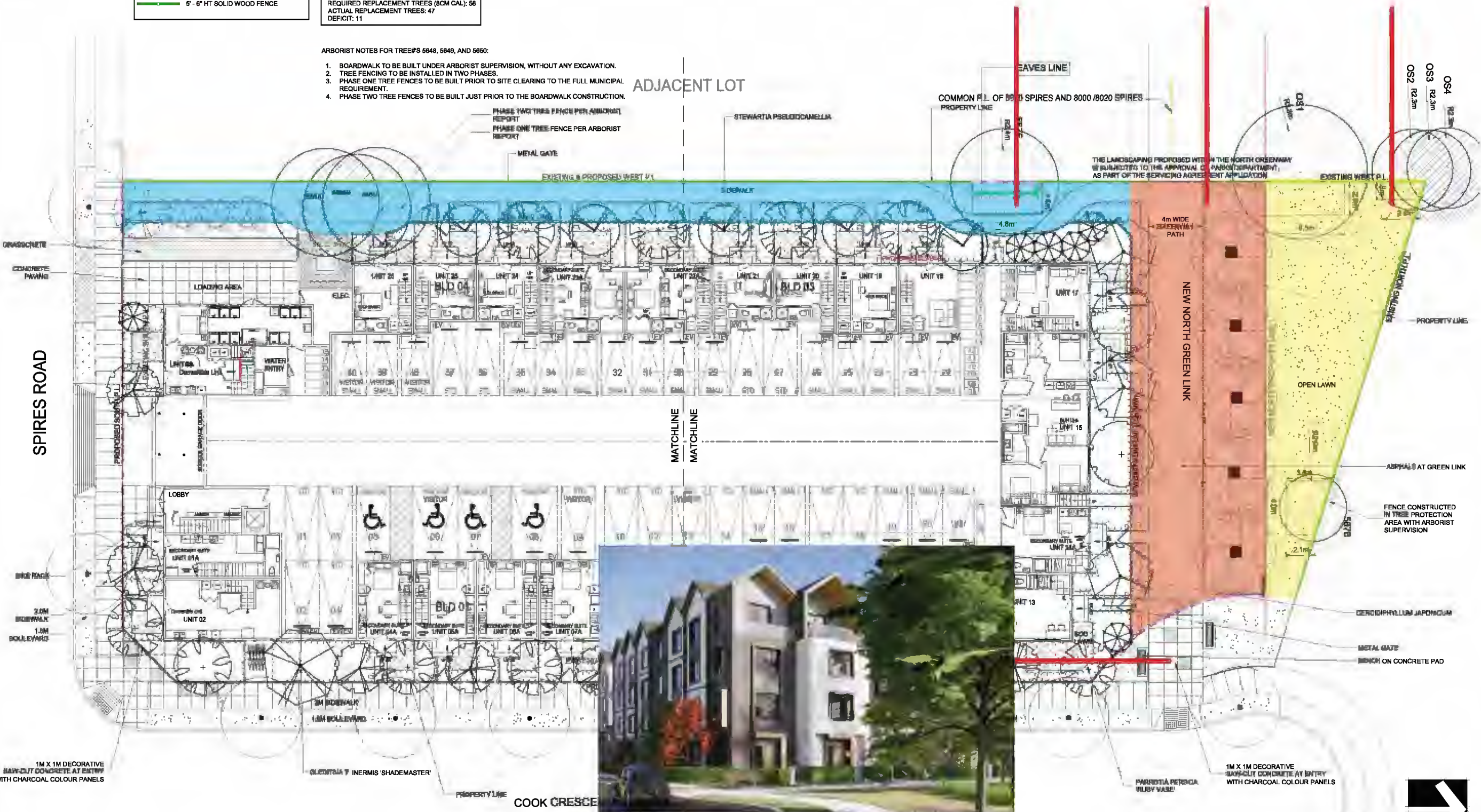
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**pmg**  
LANDSCAPE ARCHITECTS

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Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 ; f: 604 294-0022

ARBORIST NOTES FOR TREES 5648, 5649, AND 5850:

- BOARDWALK TO BE BUILT UNDER ARBORIST SUPERVISION, WITHOUT ANY EXCAVATION.
- TREE FENCING TO BE INSTALLED IN TWO PHASES.
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- PHASE TWO TREE FENCES TO BE BUILT JUST PRIOR TO THE BOARDWALK CONSTRUCTION.



NE Corner - seating area

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
18	24.MAR.14	ISSUED FOR DP	
17	24.MAR.12	NEW SITE PLAN	RJ
16	24.FEB.21	NEW SITE PLAN	YR
15	24.FEB.18	NEW SITE PLAN	YR
14	24.FEB.14	NEW SITE PLAN	RJ
13	24.JAN.10	NEW SITE PLAN	YR
12	23.DEC.15	REVISION PER COMMENTS	MNF
11	23.NOV.03	REVISION PER COMMENTS	MNM
10	23.OCT.27	NEW SITE PLAN	MC
9	23.JUN.28	NEW SITE PLAN	MC
8	23.APR.05	SITE PLAN COORDINATION	
7	23.MAR.20	NEW SITE PLAN	DO
6	23.MAR.14	NEW SITE PLAN	JR
5	23.MAR.09	NEW SITE PLAN	JR
4	23.MAR.06	NEW SITE PLAN	JR
3	22.DEC.20	NEW SITE PLAN	MC
2	22.DEC.16	NEW SITE PLAN	MC
1	22.DEC.06	NEW SITE PLAN	DO

CLIENT:

PROJECT:

RESIDENTIAL DEVELOPMENT

8635-8695 COOK CRESCENT  
RICHMOND, BC

DRAWING TITLE:

LANDSCAPE PLAN  
GROUND LEVEL

DATE:	22.APR.12	DRAWING NUMBER:	
SCALE:	1:150		
DRAWN:	DO		
DESIGN:	DO		
CHKD:	MCY		

PMG PROJECT NUMBER: 22-065

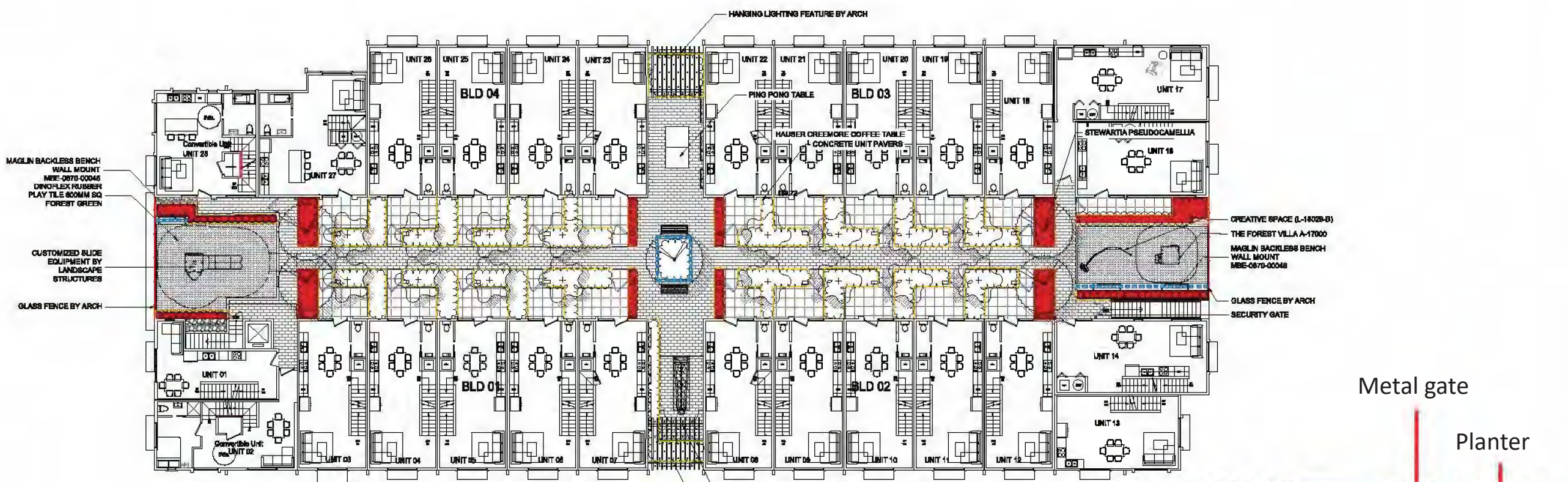


L1

OF 11



REAR:



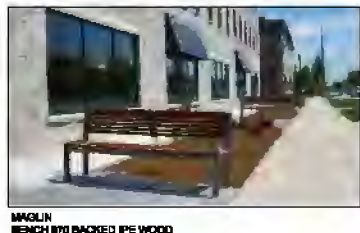
Green buffers between common areas and residential units

MATERIAL LEGEND	
	SOLID LAWN
	BELGARD HOLLAND STONE
	BELGARD CORTAZ SLAB
	DINOFLEX RUBBER PLAY TILE 600MM SQ FOREST GREEN
	MAGLIN 870 BACKED IPE WOOD
	JAMBETTE THE FOREST VILLA A-17000
	JAMBETTE CREATIVE SPACE (L-18029-B)
	REFER TO DETAIL
	PING PONG TABLE
	CUSTOMIZED SLIDE EQUIPMENT BY LANDSCAPE STRUCTURES
	KOMPAN, CORE TWIST PRO FAZ106
	MAGLIN BACKLESS BENCH WALL MOUNT MBE-0870-00046
	18' HT. RETAINING WALL
	6' CONCRETE CURB
	GLASS FENCE BY ARCH

PLANT SCHEDULE				
KEY	QTY	BOTANICAL NAME	COMMON NAME	PMG PROJECT NUMBER: 22-065
TREE	16	ACER PALMATUM 'TWO-SIDED RED SENTINEL'	COLUMNAR RED JAPANESE MAPLE	PLANTED SIZE / REMARKS
	6	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	2.5M HT; B&B 5CM CAL. B&B

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED USING DESIGNBUILD HIGH EFFICIENCY, DRIP IRRIGATION SYSTEM WITH RAIN SENSOR. PROVIDE SHOP DRAWINGS FOR CONSULTANT REVIEW PRIOR TO CONSTRUCTION.



- Individual patios are separated from common spaces by metal gates and planters.
- Green buffers between the play/amenity area and residential units for privacy and noise mitigation.

NO.	DATE	REVISION DESCRIPTION	DR.
18	24.MAR.24	ISSUED FOR DP	
17	24.MAR.22	NEW SITE PLAN	RS
16	24.FEB.21	NEW SITE PLAN	YS
15	24.FEB.18	NEW SITE PLAN	YS
14	24.FEB.18	NEW SITE PLAN	RS
13	24.JAN.10	NEW SITE PLAN	YS
12	23.DEC.18	REVISION PER COMMENTS	MCYR
11	23.NOV.08	REVISION PER COMMENTS	SGM
10	23.OCT.27	NEW SITE PLAN	MC
9	23.JUN.18	NEW SITE PLAN	MC
8	23.APR.05	SITE PLAN COORDINATION	
7	23.MAR.20	NEW SITE PLAN	DO
6	23.MAR.14	NEW SITE PLAN	JR
5	23.MAR.08	NEW SITE PLAN	JR
4	23.MAR.08	NEW SITE PLAN	JR
3	22.DEC.20	NEW SITE PLAN	MC
2	22.DEC.18	NEW SITE PLAN	MC
1	22.DEC.08	NEW SITE PLAN	DO

CLIENT:

PROJECT:

**RESIDENTIAL DEVELOPMENT**  
8635-8695 COOK CRESCENT  
RICHMOND, BC

DRAWING TITLE:

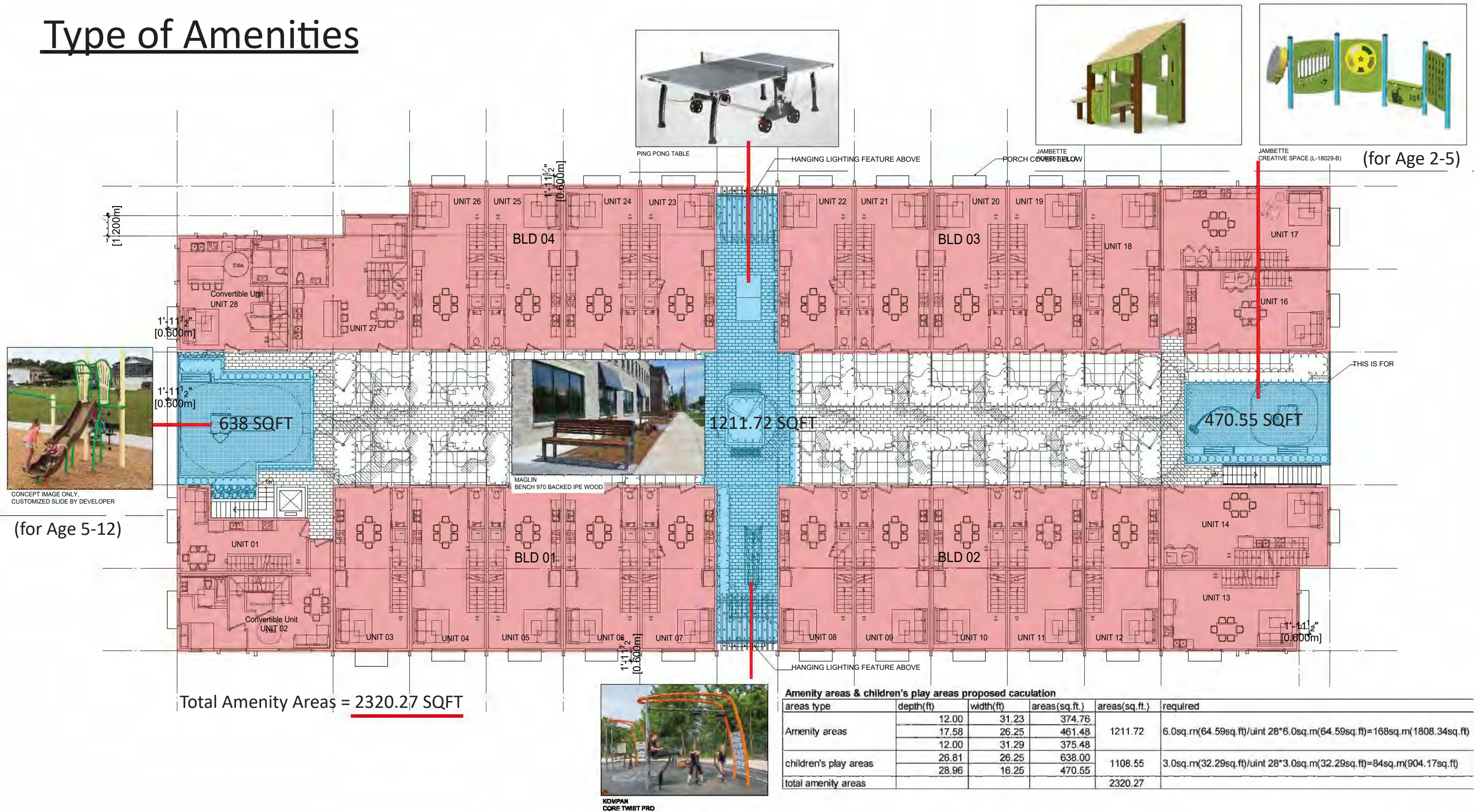
**LANDSCAPE PLAN  
LEVEL 2**

DATE: 22.APR.12 DRAWING NUMBER:  
SCALE: 1:150 **L5**  
DRAWN: DO  
DESIGN: DO OF 11  
CHKD: MCY





# Type of Amenities



- The play areas are in the south and another in the north between buildings, each for a different age group (age 2 to 5 and age 5-12).
- A variety of play equipment for different play opportunities and benches for caregivers are provided in play areas, surrounded by appropriate shrub material as screens for privacy and noise mitigation.



PLANT SCHEDULE				PMG PROJECT NUMBER: 22-065
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB	8	AZALEA JAPONICA 'AUTUMN CHEER'	DWARF AZALEA; LIGHT PINK	#2 POT; 25CM
	4	AZALEA JAPONICA 'GOLDEN LIGHT'	DECIDUOUS AZALEA; YELLOW; L. MAY	#2 POT; 25CM
	17	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM
	20	HYDRANGEA SERRATA 'BLUEBIRD'	MOUNTAIN HYDRANGEA; LACECAP BLUE	#2 POT; 30CM #3 POT; 40CM
	8	ILEX CRENATA 'CONVEXA'	JAPANESE HOLLY	#3 POT; 50CM
	41	NANDINA DOMESTICA	HEAVENLY BAMBOO	#3 POT; 50CM
	22	PIERIS JAPONICA 'VALLEY VALENTINE'	PIERIS; RED BLOOMS	#3 POT; 50CM
	34	RHODODENDRON 'BOW BELLS'	RHODODENDRON	#3 POT; 50CM
	55	ROSA 'NOVARTRAUF'	CARPET ROSE; PINK	#2 POT; 40CM
	361	TAXUS X MEDIA 'H.M. EDDIE'	EDDIE'S YEW	1.5M B&B
GRASS	108	FESTUCA CINEREA 'ELIJAH BLUE'	FESTUCA	#1 POT
PERENNIAL	18	LIRIOPE MUSCARI	BLUE LILY-TURF	15CM POT
GC	18	ERICA CARNEA 'SPRINGWOOD PINK'	WINTER HEATH; PINK	#1 POT
GC	18	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM

PLANT SCHEDULE - SRW				PMG PROJECT NUMBER: 22-065	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
SHRUB	72	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM	
	48	ILEX CRENATA 'CONVEXA'	JAPANESE HOLLY	#3 POT; 50CM	
	84	NANDINA DOMESTICA	HEAVENLY BAMBOO	#3 POT; 50CM	
	84	RHODODENDRON 'BOW BELLS'	RHODODENDRON	#3 POT; 50CM	
	20	TAXUS X MEDIA 'H.M. EDDIE'	EDDIE'S YEW	1.5M B&B	
	GRASS	63	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
	GC	143	FESTUCA CINEREA 'ELIJAH BLUE'	FESTUCA	#1 POT
	GC	35	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM

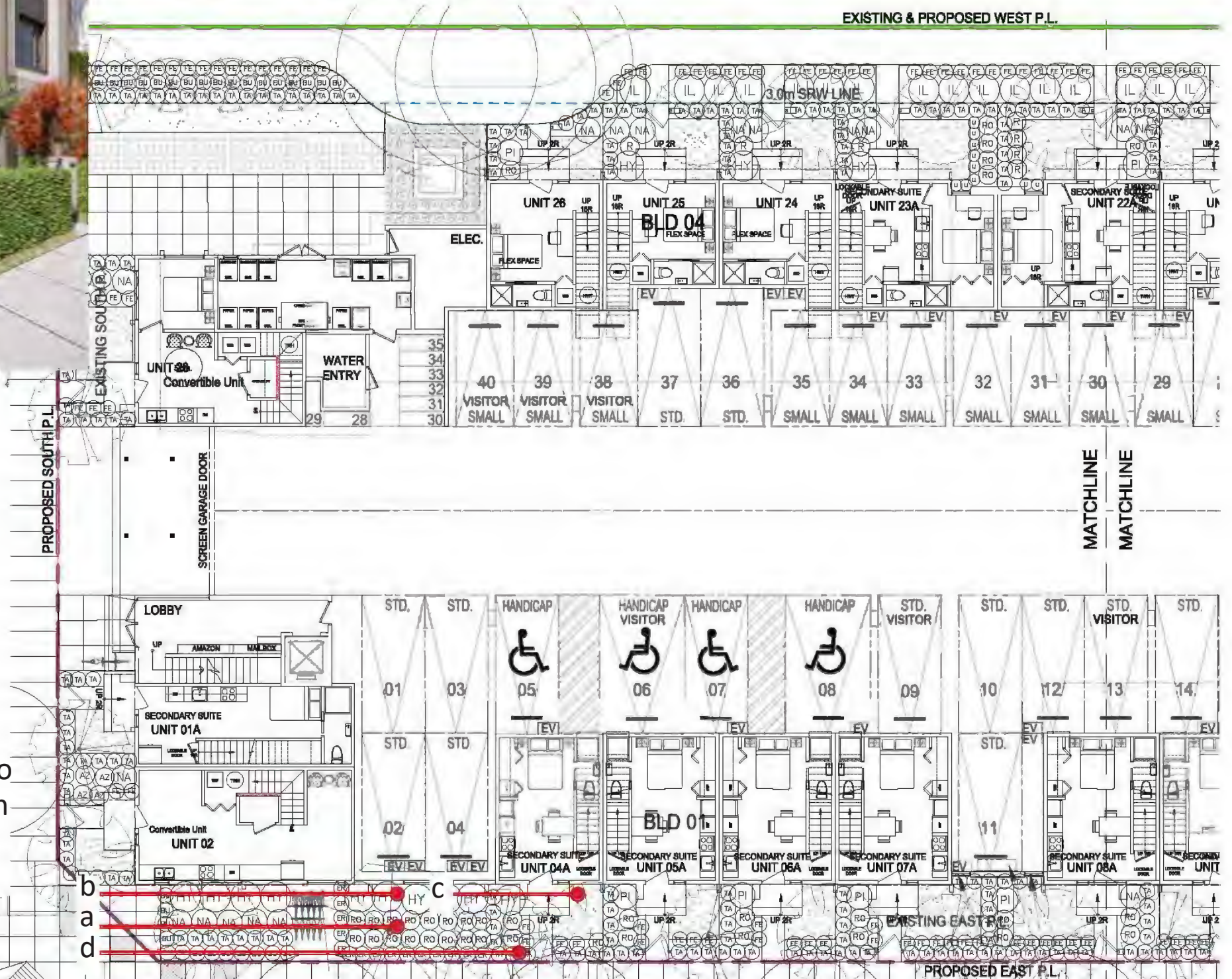
NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT THE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

ED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES IT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT THE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL TIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

ATED USING DESIGNBUILD HIGH EFFICIENCY, DRIP IRRIGATION SYSTEM WITH RAIN SENSOR. PROVIDE SHOP DRAWINGS FOR



- Front yards include:
- layered pedestrian-scaled planting,
  - with foundation planting directly adjacent to the building.
  - usable open lawn/paving space.
  - a layer of planting on the streetside with metal gates to provide additional separation between the public sidewalk and the private yard.



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Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
18	24.MAR.14	ISSUED FOR DP	
17	24.MAR.12	NEW SITE PLAN	RI
16	24.FEB.21	NEW SITE PLAN	VB
15	24.FEB.18	NEW SITE PLAN	VB
14	24.FEB.14	NEW SITE PLAN	RI
13	24.JAN.10	NEW SITE PLAN	VB
11	23.DEC.13	REVISION PER COMMENTS	MC/YR
11	23.NOV.20	REVISION PER COMMENTS	MVM
20	23.OCT.17	NEW SITE PLAN	MC
9	23.JUN.28	NEW SITE PLAN	MC
8	23.APR.05	SITE PLAN COORDINATION	
7	23.MAR.30	NEW SITE PLAN	DO
6	23.MAR.14	NEW SITE PLAN	JR
5	23.MAR.05	NEW SITE PLAN	JR
4	23.MAR.05	NEW SITE PLAN	JR
3	22.DEC.20	NEW SITE PLAN	MC
2	22.DEC.16	NEW SITE PLAN	MC
1	22.DEC.08	NEW SITE PLAN	DO

CLIENT:

PROJECT:  
**RESIDENTIAL DEVELOPMENT**  
8635-8695 COOK CRESCENT  
RICHMOND, BC

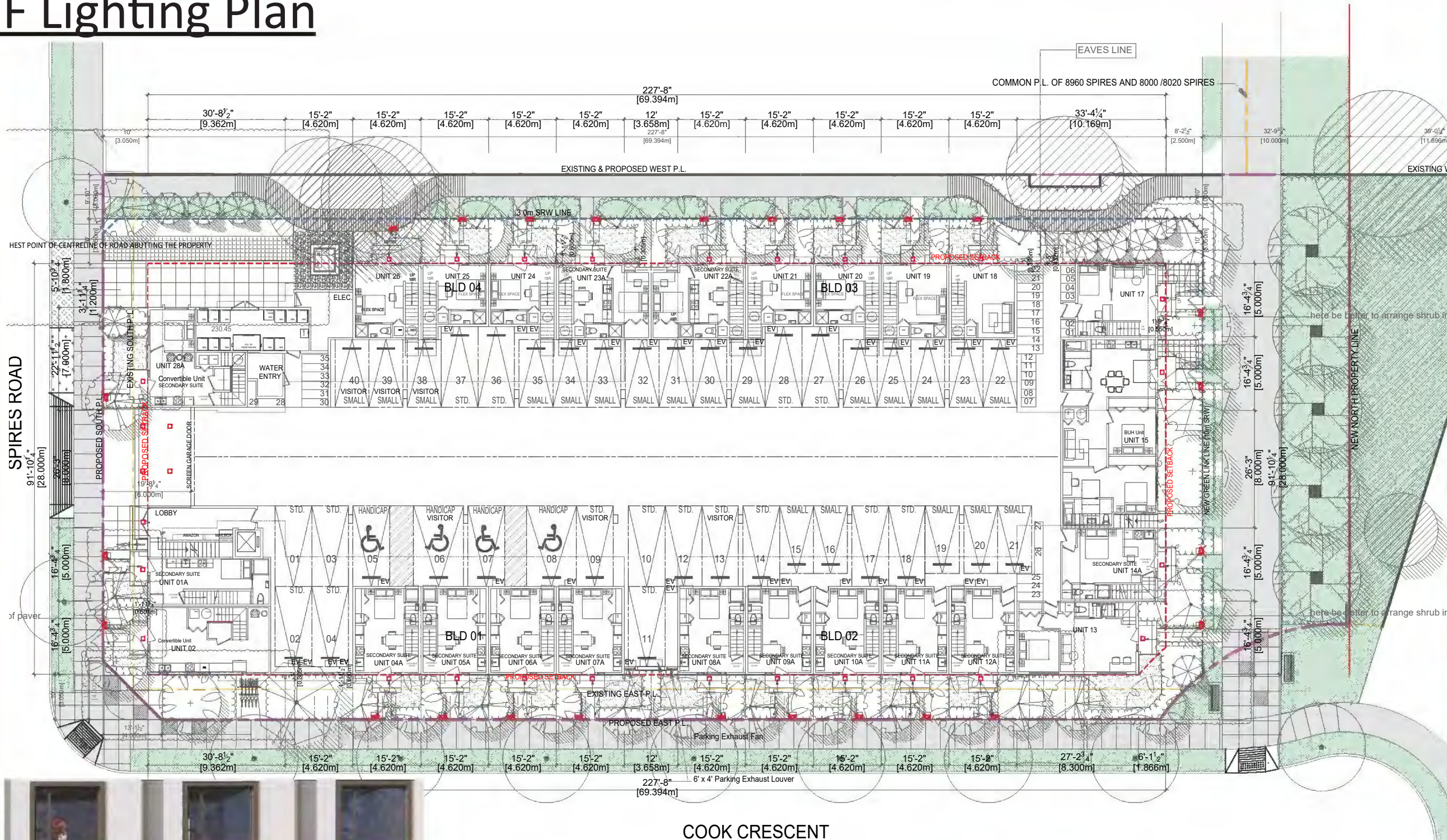
DRAWING TITLE:  
**SHRUB PLAN  
GROUND LEVEL**

DATE: 22.APR.12 DRAWING NUMBER:  
SCALE: 1:100 **L2**  
DRAWN: DO  
DESIGN: DO  
CHKD: MCY OF 11





# G/F Lighting Plan



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NO.	DESCRIPTION	DATE



GROUND FLOOR LIGHTING PLAN  
 Scale: 3/32" = 1'-0"

Recessed Pot Light

Outdoor Wall Mounted LED Light



OUTDOOR WALL MOUNT LED LIGHT C/W DARK SKY COMPLIANCE CONCEPTUAL IMAGE

COOK CRESCENT

## LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	LAMP	NOTES	LOCATION
□	RECESSED POT LIGHT C/W DARK SKY COMPLIANCE			OUTDOOR
■	OUTDOOR WALL MOUNT LED LIGHT C/W DARK SKY COMPLIANCE			OUTDOOR (WET LOCATION)

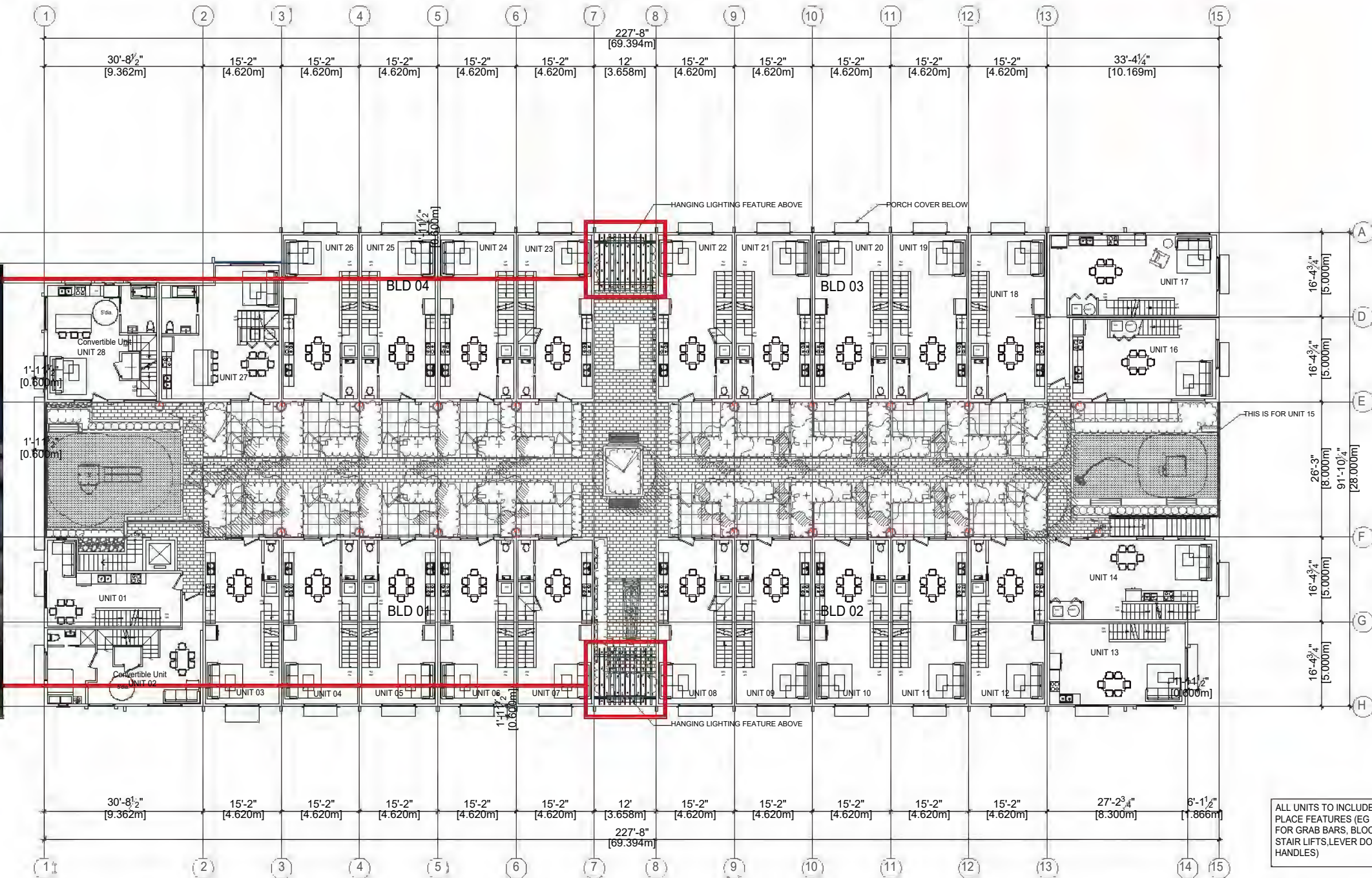
NOTE: ELECTRICAL ENGINEER TO CONFIRM.

8635-8695 COOK CRESCENT TOWNHOUSE DEVELOPMENT  
 GROUND FLOOR LIGHTING PLAN  
 PROJECT:  
 DATE: 2024/03/26  
 DRAWN BY:  
 CHECKED BY:  
 SCALE: 3/32" = 1'-0"

- Two types of light on G/F.
- All proposed lighting fixtures are dark sky compliant lighting.



# 2/F Lighting Plan



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 CONTRACTORS/BUILDERS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB-SITE.  
 DESIGNER SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS.

NO.	DESCRIPTION	DATE

ALL UNITS TO INCLUDE AGING IN PLACE FEATURES (EG BLOCKING FOR GRAB BARS, BLOCKING FOR STAIR LIFTS, LEVER DOOR HANDLES)

1 2ND FLOOR PLAN  
 Scale: 3/32" = 1'-0"

TUBE ARCHITECTURAL LED OUTDOOR WALL MOUNT, DOUBLE SIDED CONCEPTUAL IMAGE



TYPE	DESCRIPTION	LAMP	NOTES	LOCATION
	TUBE ARCHITECTURAL LED OUTDOOR WALL MOUNT, DOUBLE SIDED			OUTDOOR
NOTE: ELECTRICAL ENGINEER TO CONFIRM.				

8635-8695 COOK  
 CRESCENT TOWNHOUSE  
 DEVELOPMENT

2/F LIGHTING PLAN

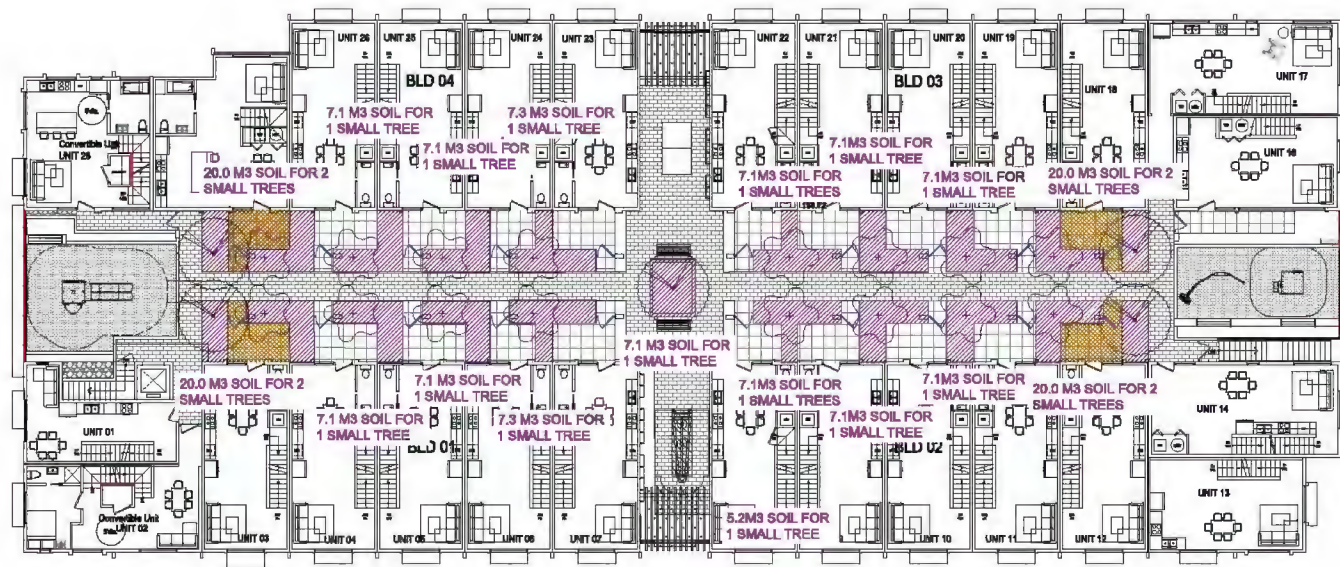
PROJECT:  
 DATE: 2024/03/26  
 DRAWN BY:  
 CHECKED BY:

SCALE: 3/32" = 1'-0"

- Wall mounted lighting on exterior walls.
- Some of the vertical metal tube elements over the amenity areas are equipped with LED lights at the end.

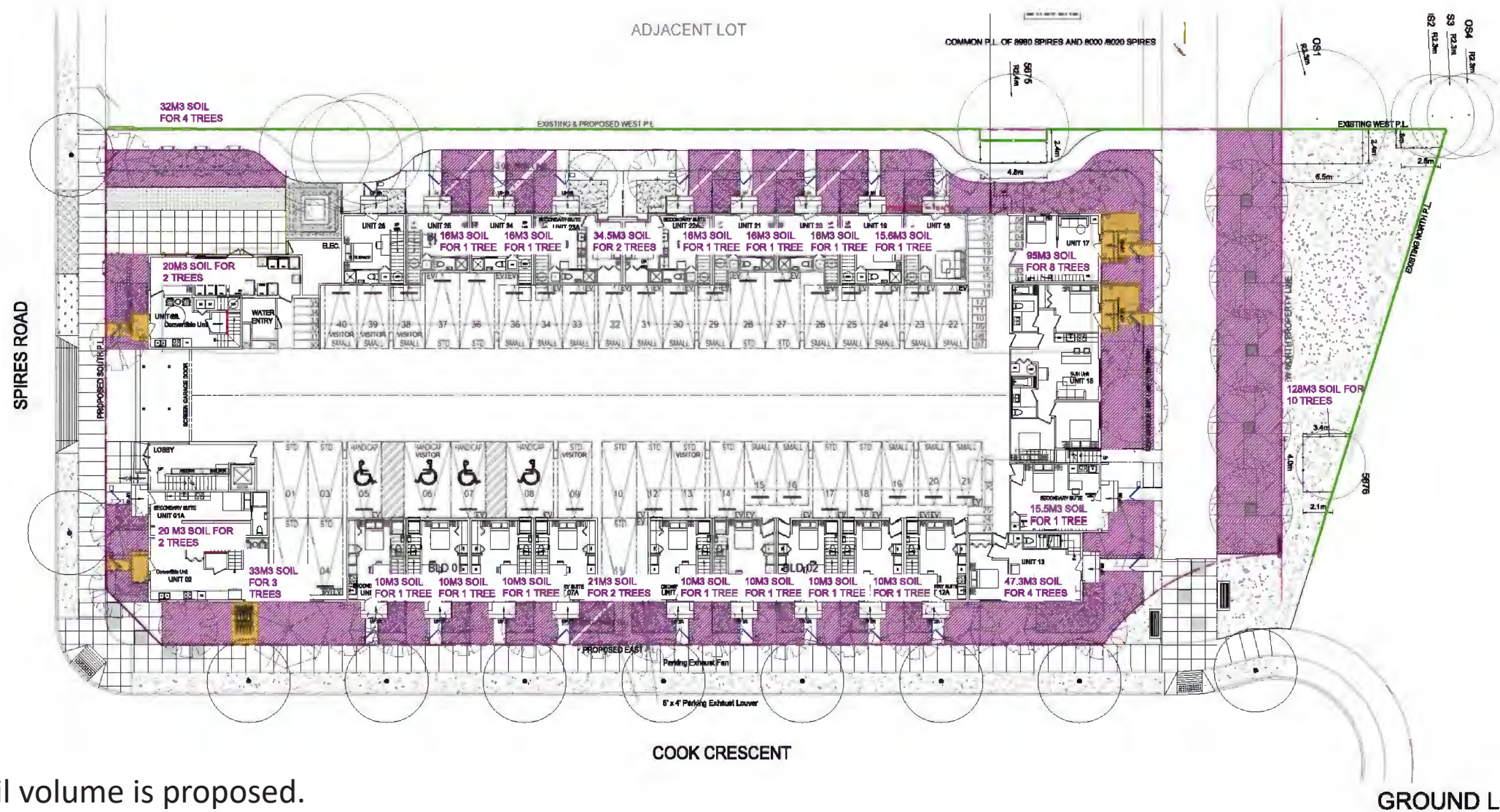


SEAL:



NOTE: THE SOIL DEPTH FOR REST AREAS REFERS TO LANDSCAPE SPECIFICATIONS, OR CANADIAN LANDSCAPE STANDARD.

LEVEL 2



Sufficient soil volume is proposed.

NO.	DATE	REVISION DESCRIPTION	DR.
18	24.MAR.14	ISSUED FOR DP	
17	24.MAR.12	NEW SITE PLAN	RJ
16	24.FEB.21	NEW SITE PLAN	YR
15	24.FEB.18	NEW SITE PLAN	YR
14	24.FEB.14	NEW SITE PLAN	RJ
13	24.JAN.10	NEW SITE PLAN	YR
12	23.DEC.13	REVISION PER COMMENTS	MC/YR
11	23.NOV.05	REVISION PER COMMENTS	MNM
10	23.OCT.27	NEW SITE PLAN	MC
9	23.JUN.28	NEW SITE PLAN	MC
8	23.APR.03	SITE PLAN COORDINATION	
7	23.MAR.20	NEW SITE PLAN	DO
6	23.MAR.14	NEW SITE PLAN	JR
5	23.MAR.02	NEW SITE PLAN	JR
4	23.MAR.06	NEW SITE PLAN	JR
5	22.DEC.30	NEW SITE PLAN	MC
2	22.DEC.18	NEW SITE PLAN	MC
1	22.DEC.08	NEW SITE PLAN	DO

CLIENT:

PROJECT:

**RESIDENTIAL DEVELOPMENT**

8635-8695 COOK CRESCENT  
RICHMOND, BC

DRAWING TITLE:

**SOIL VOLUME PLAN**

DATE:	22.APR.12	DRAWING NUMBER:	
SCALE:	1:200		
DRAWN:	DO		<b>L7</b>
DESIGN:	DO		
CHKD:	MCY		OF 11





Schedule 2 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
April 24, 2024

DEVELOPMENT PERMIT PANEL



## RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024



# CONTEXT



VIEW 1



VIEW 2



VIEW 3



VIEW 4



VIEW 5



VIEW 6

# RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

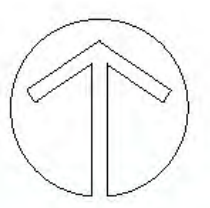


# CONCEPT AND PUBLIC REALM



 Public Art




 Public Walkways

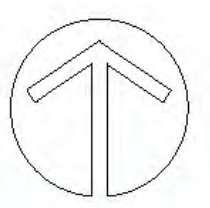




# ACCESS AND CONNECTIVITY



-  Public Art
-  Public Walkways
-  Secondary Pedestrian Circulation





5.01m LEVEL 1  
 3.59m LOWER LIVING AREA

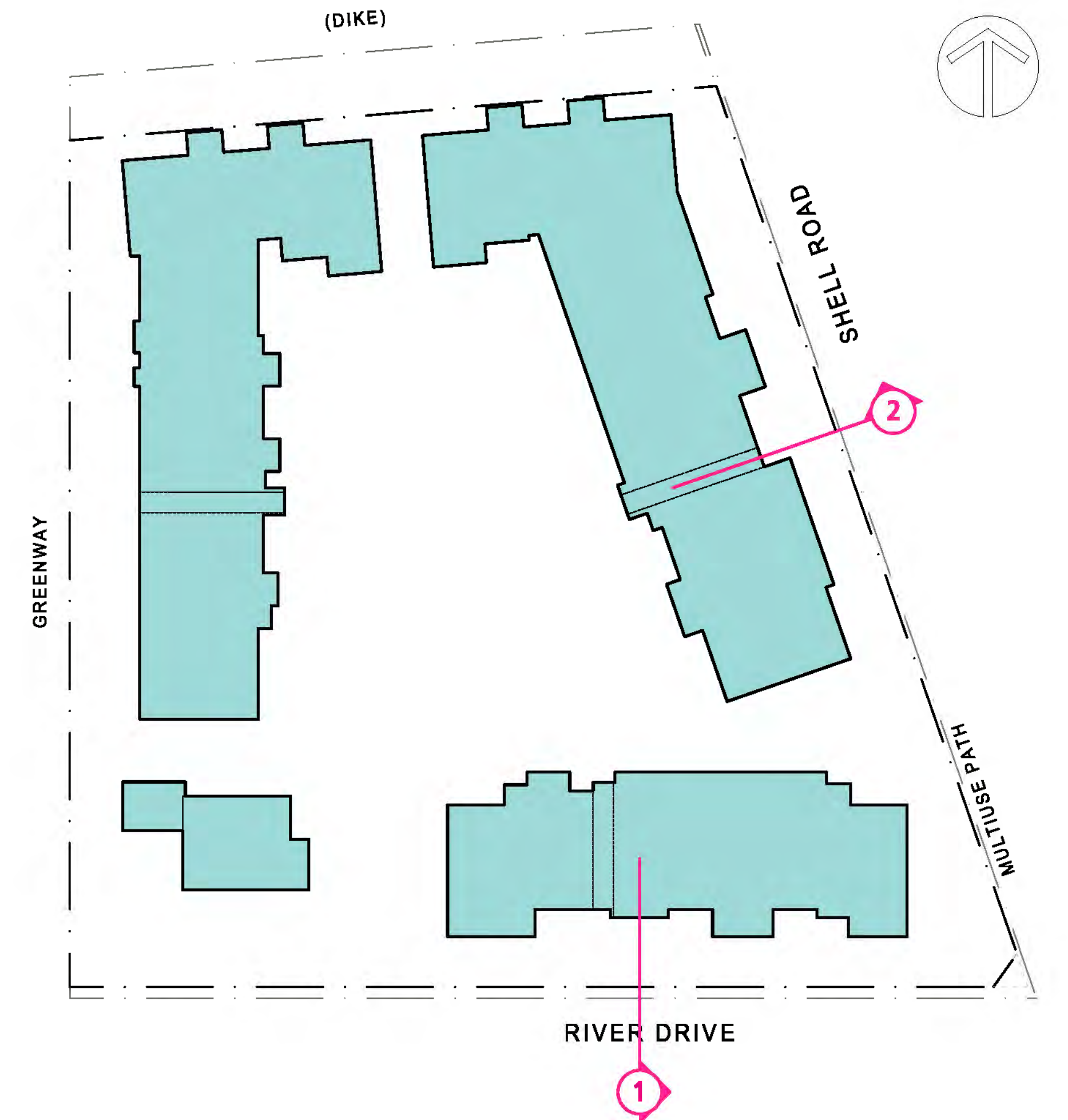


BUILDING 3

min. 64'-6 1/2" planting & patios  
 5'-9" sidewalk  
 2.0 m boulevard  
 1.5 m

RIVER DRIVE

SECTION 1



5.01m LEVEL 1  
 3.74m LOWER LIVING AREA



BUILDING 2

3.59 m patio  
 2.39 m  
 2.27 m  
 3.0 m sidewalk  
 1.5 m boulevard

SHELL ROAD

SECTION 2



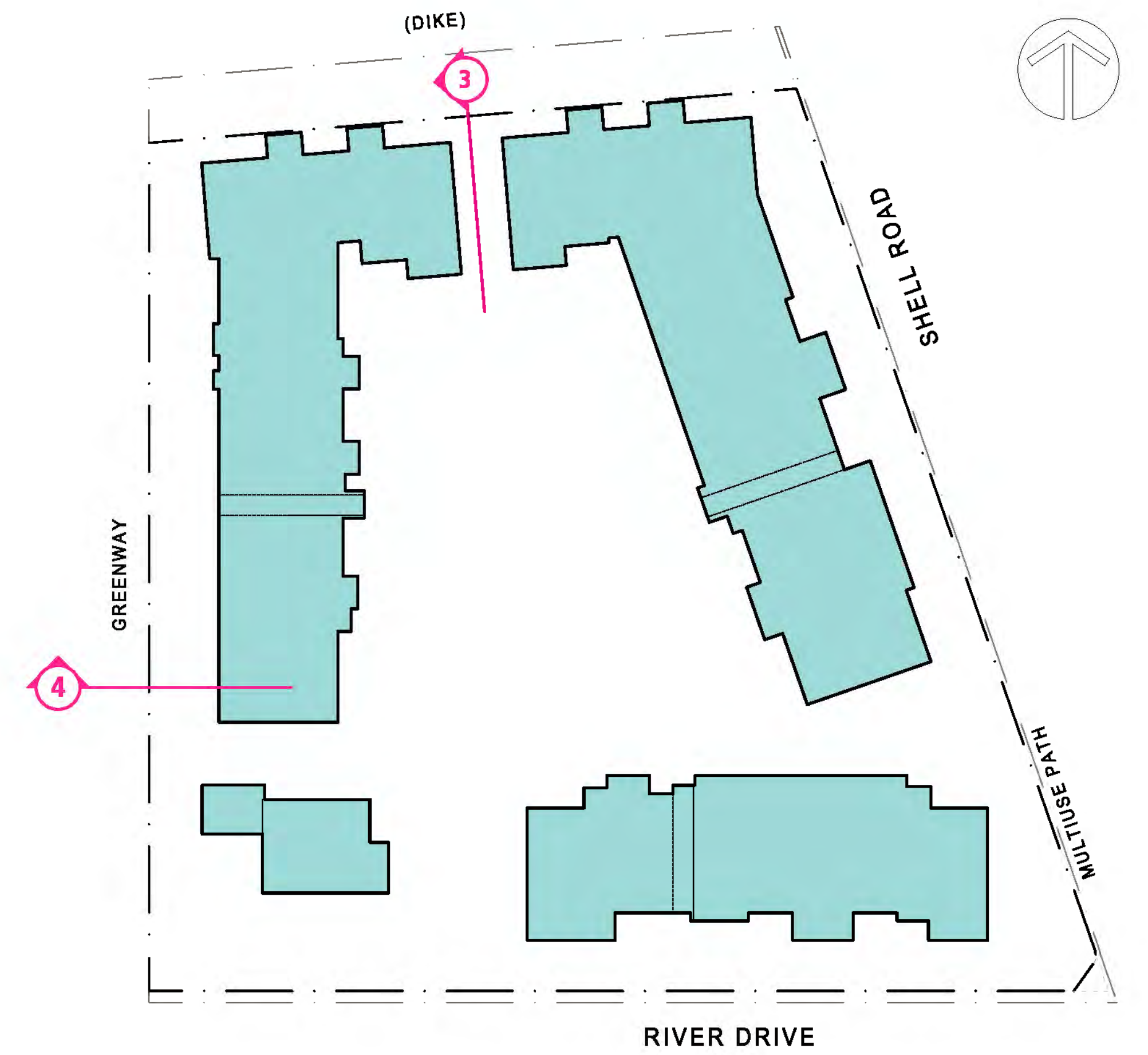
5.01m LEVEL 1



BUILDING 1

walkway

SECTION 3



5.01m LEVEL 1



10333 River Drive

4.20m

3.00 m  
greenway

30.00  
S.R.W.

BUILDING 1

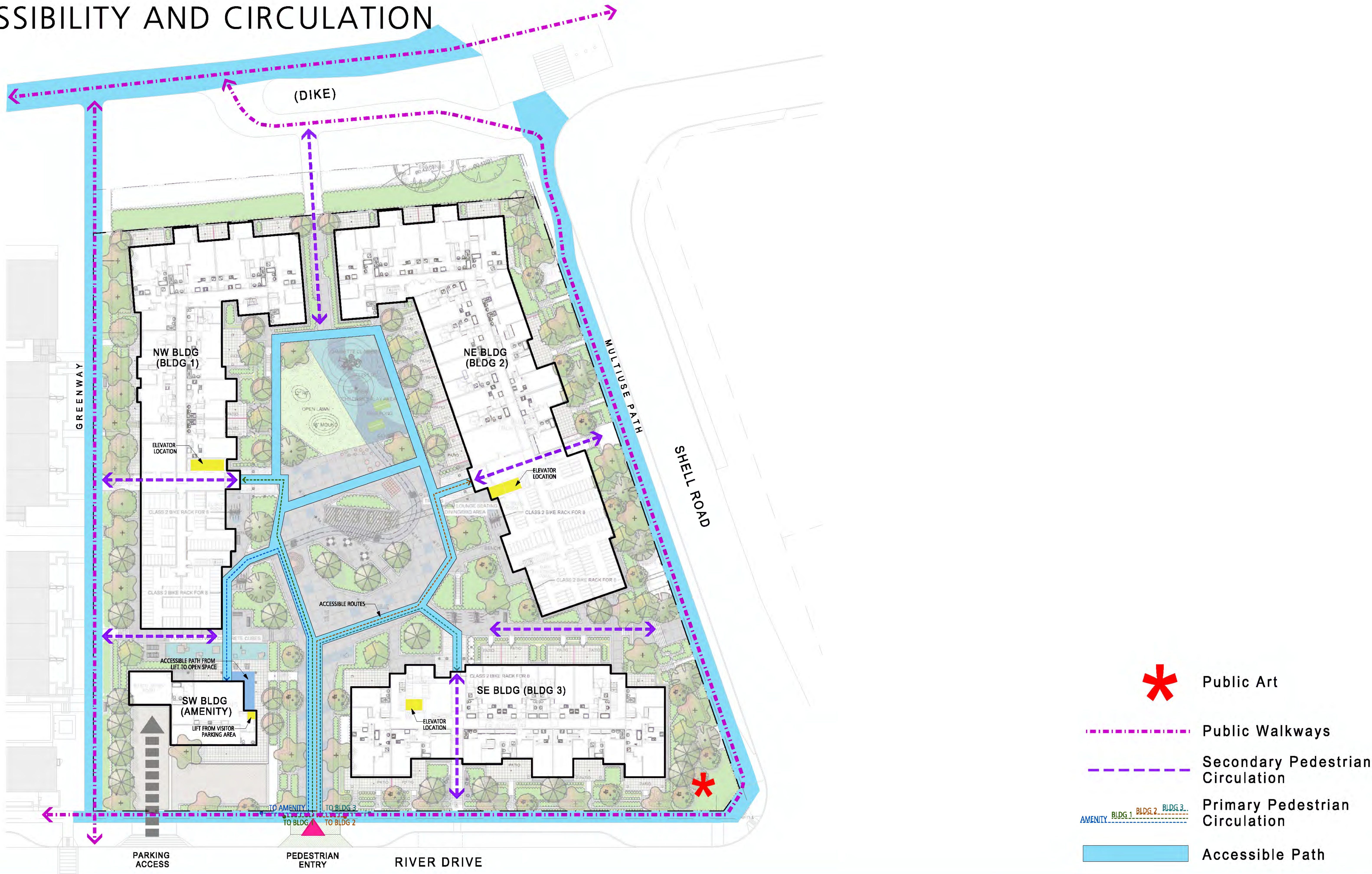
bike room

LEVEL 1 5.01m

SECTION 4

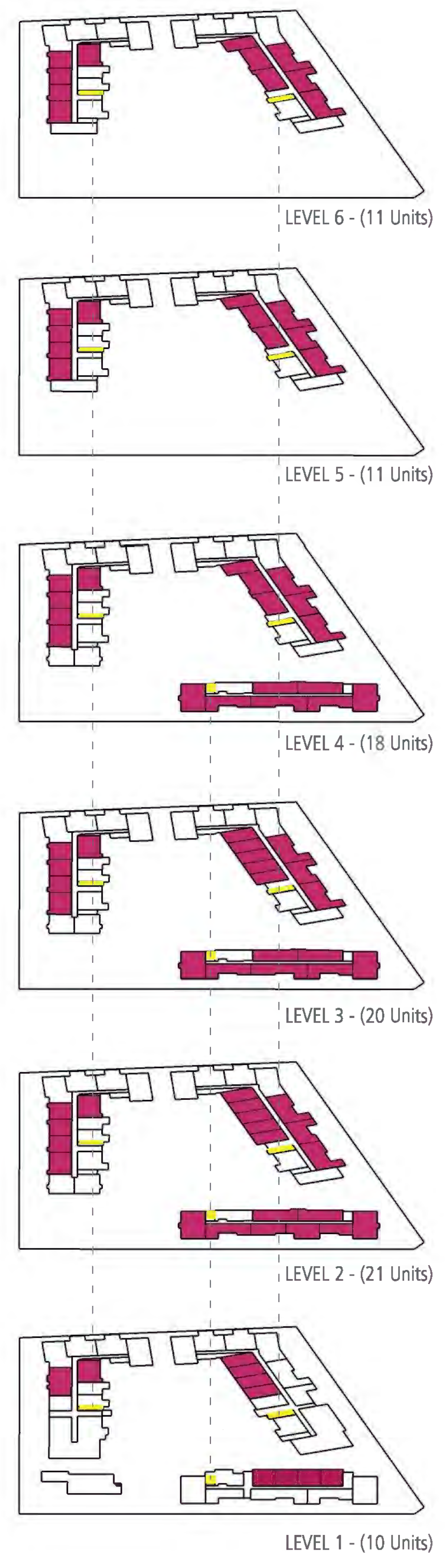


# ACCESSIBILITY AND CIRCULATION

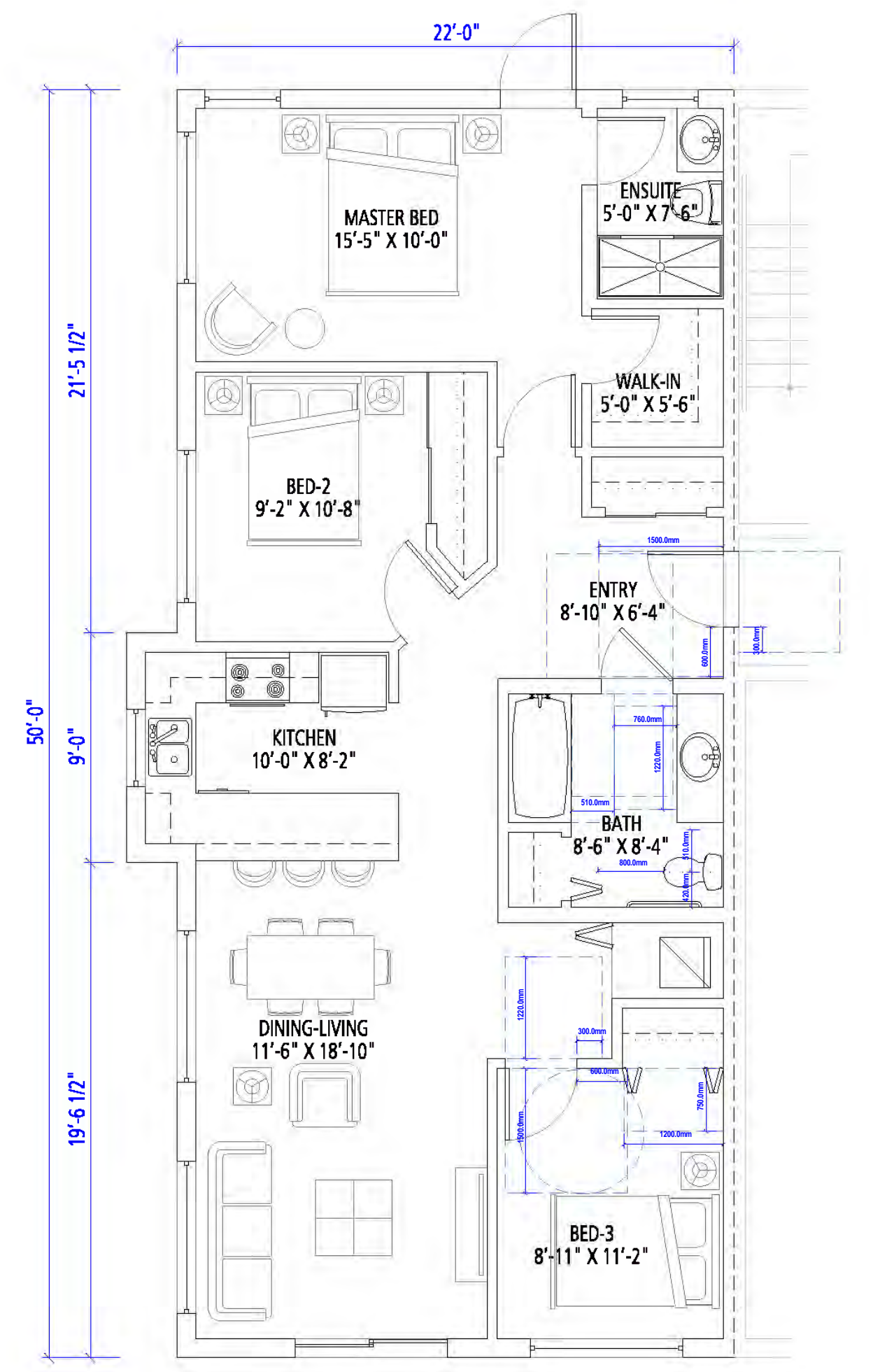




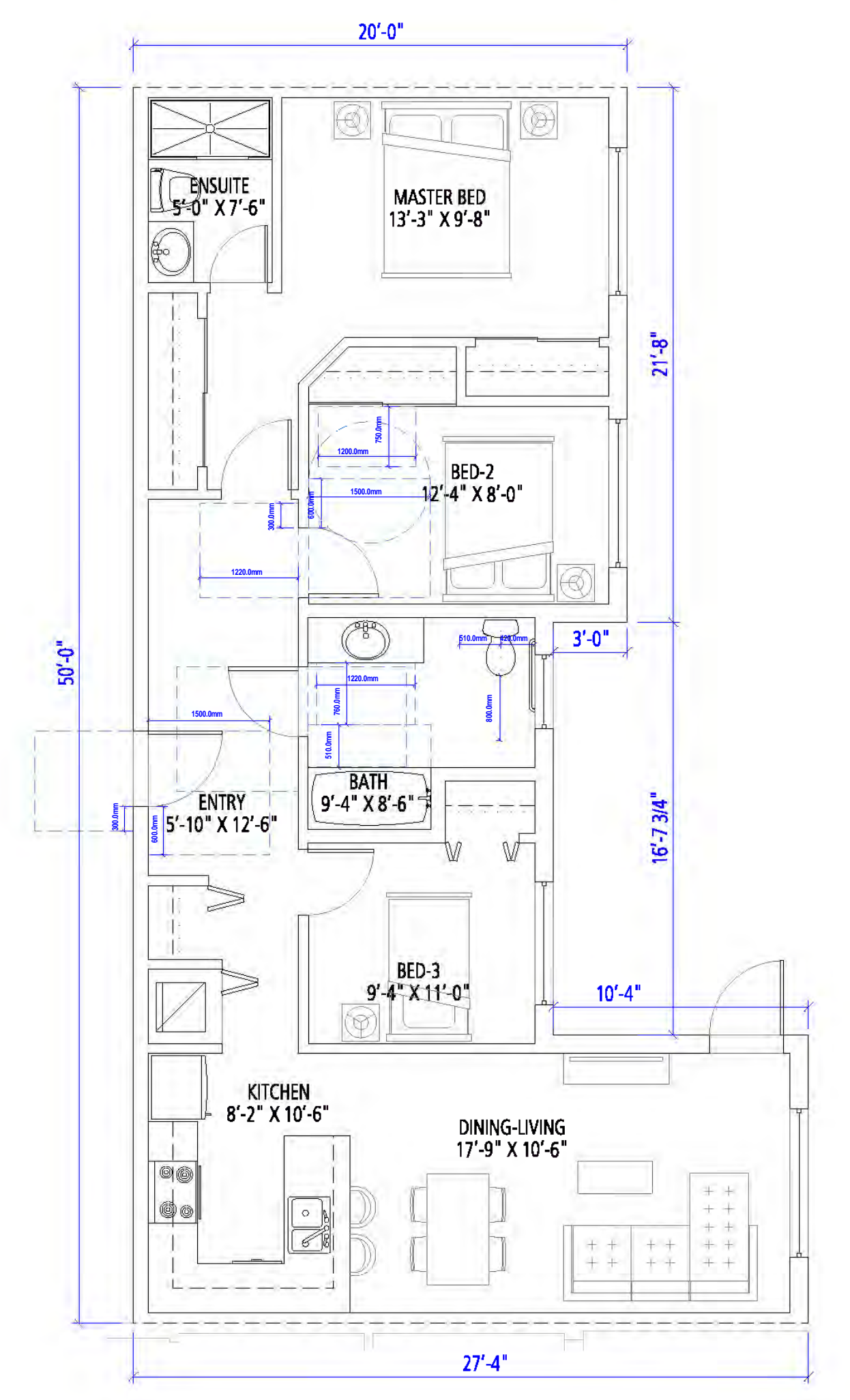
# LOCATION OF HOMES WITH BUH (Basic Universal Housing) FEATURES



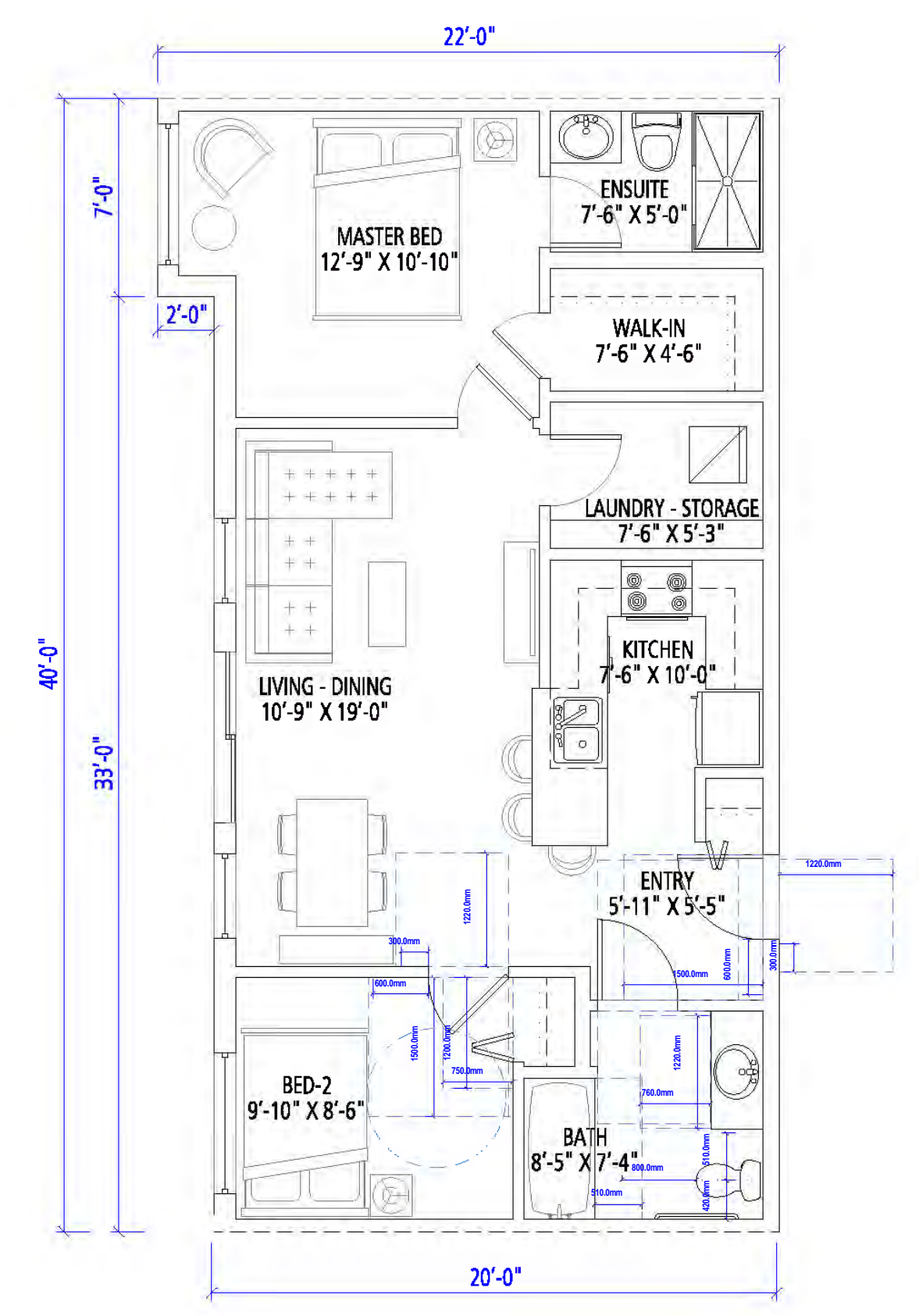
■ BUH UNITS (91 Units)    ■ ELEVATOR LOCATION



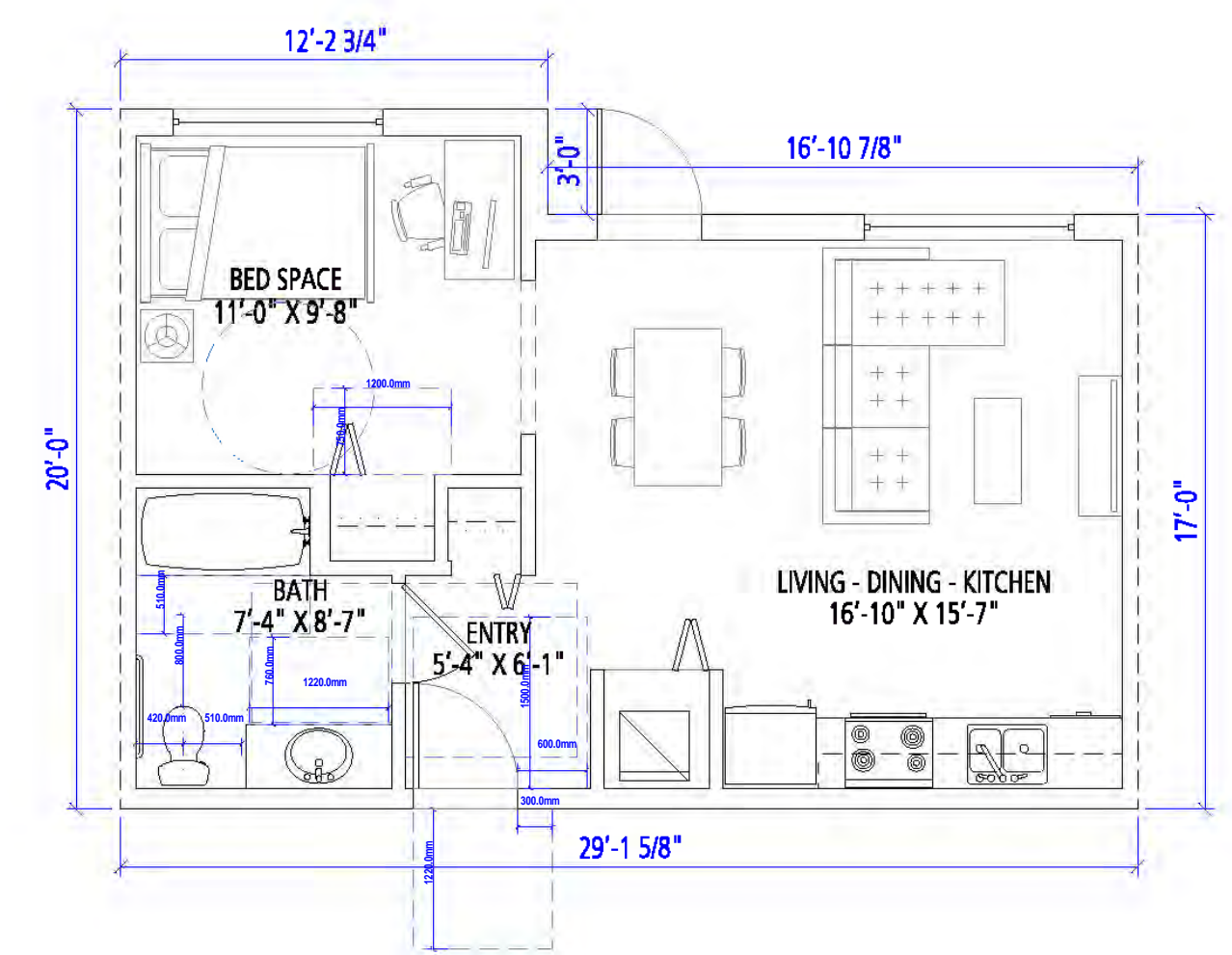
UNIT B1-3BR (BUH)



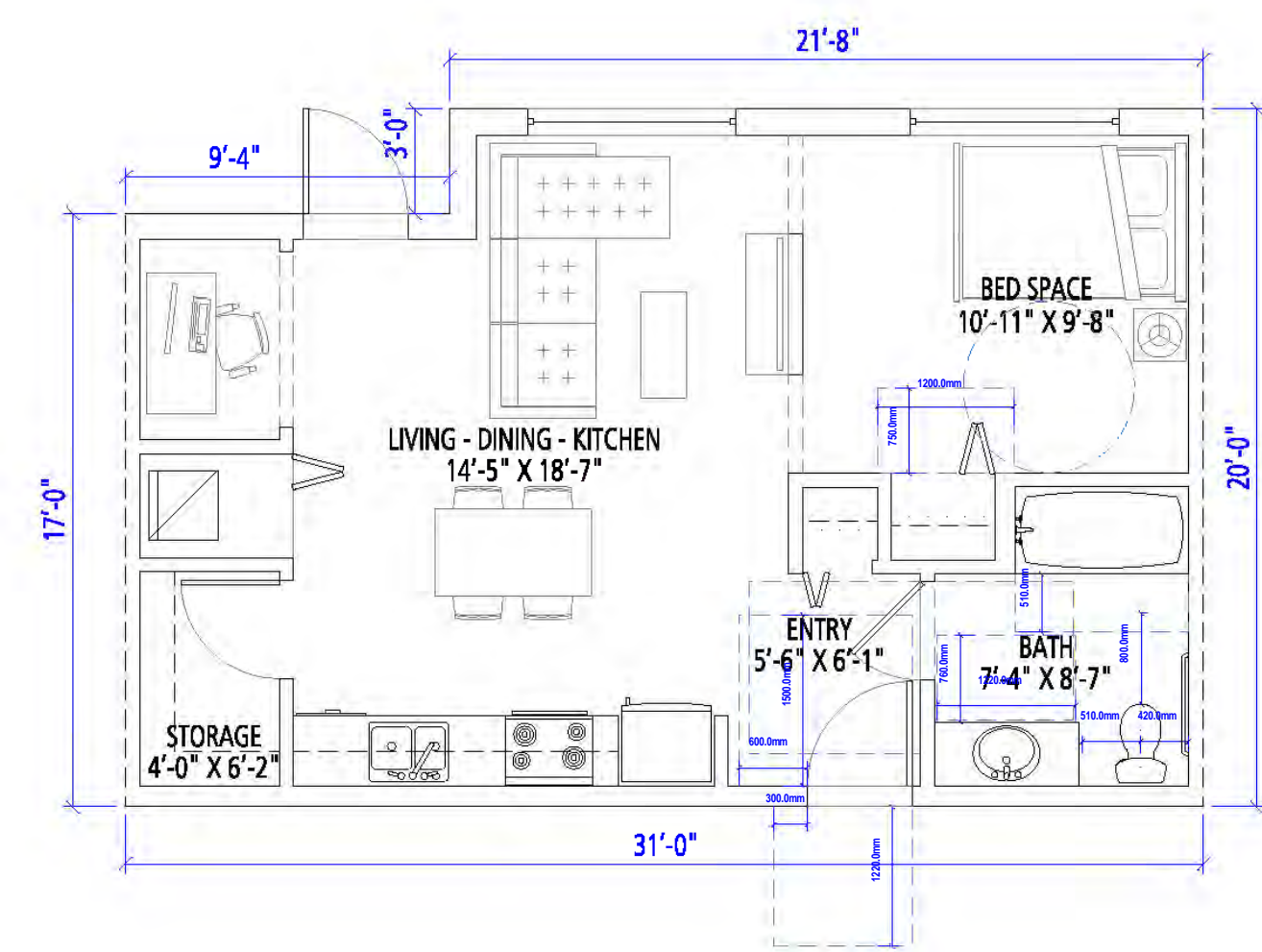
UNIT C1-3BR (BUH)



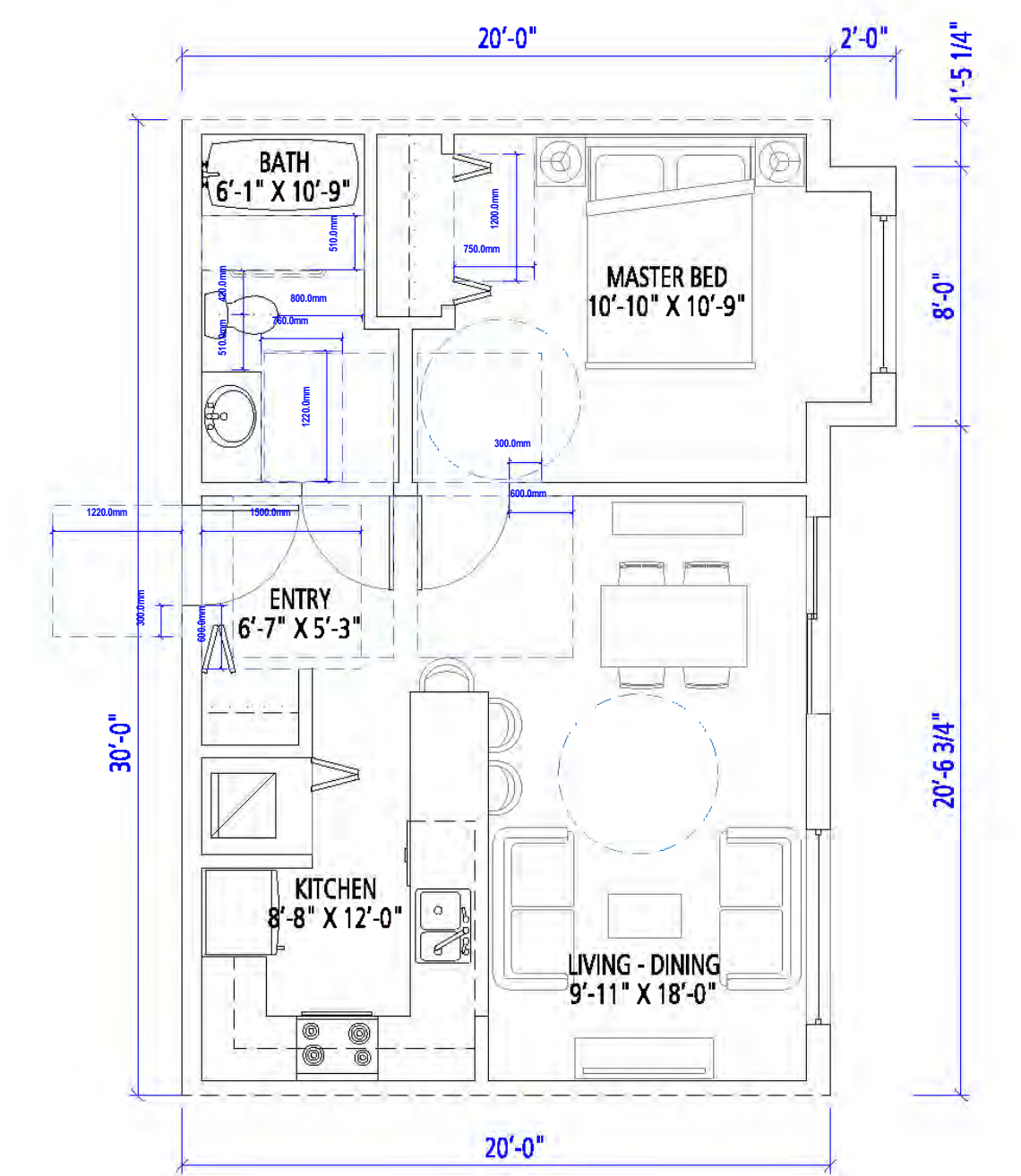
UNIT H-2BR (BUH)



UNIT S-STUDIO (BUH)



UNIT R-STUDIO (BUH)


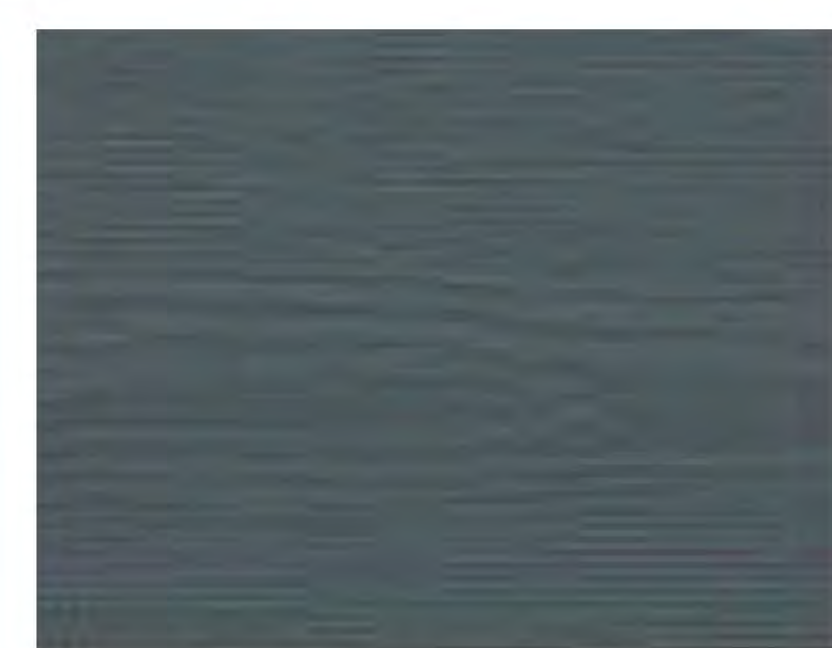




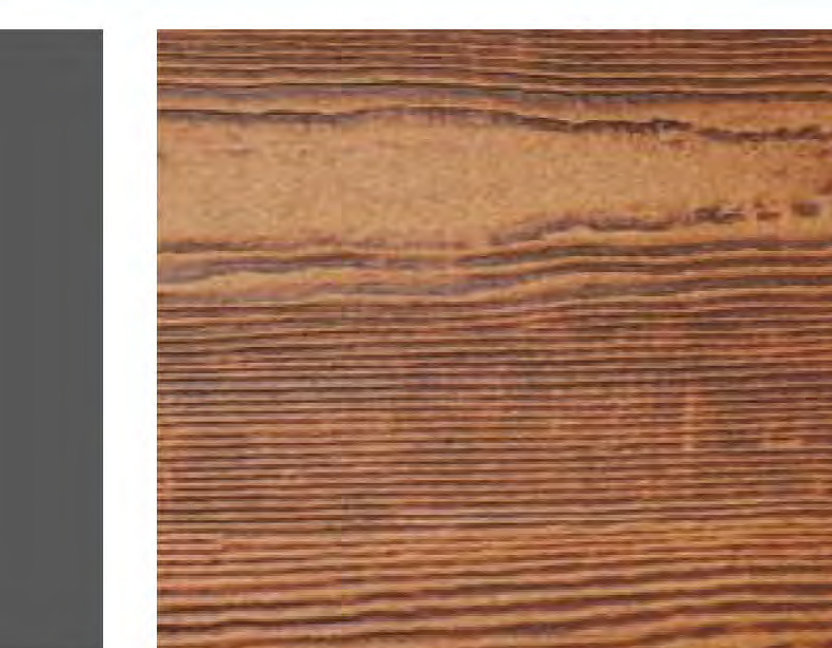
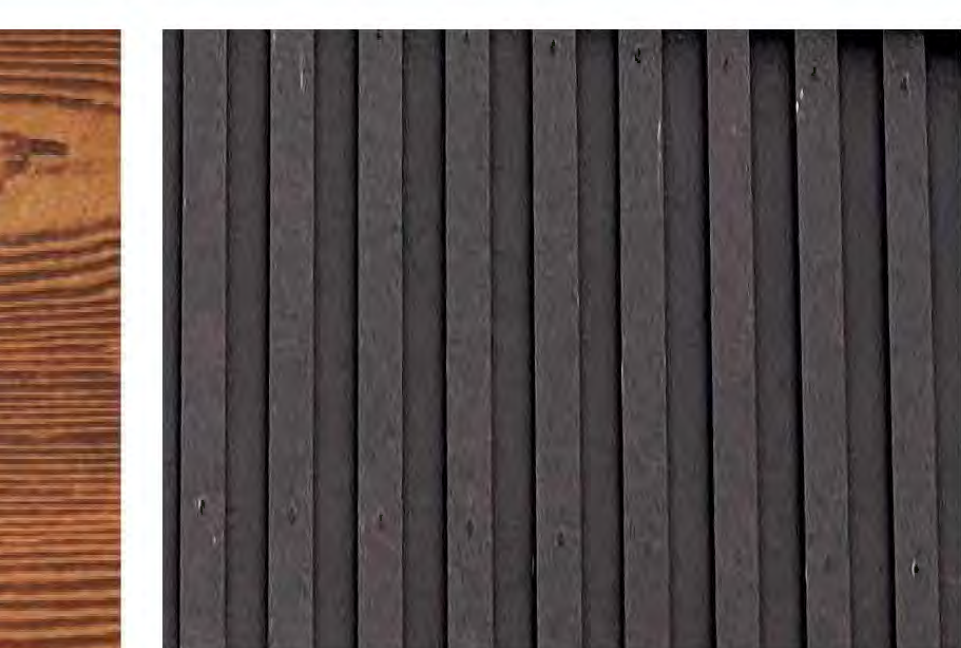


UNIT M-1BR (BUH)



# MATERIAL BOARD



							
SW EXTRA WHITE 7006 HARDIE SIDING AND PANELS	HARDIE EVENING BLUE HARDIE PANELS	SW STARGAZER 9635 HARDIE PANELS	SW PORTSMOUTH 9644 HARDIE PANELS	SW RIVER ROCK 6215 HARDIE SIDING AND PANELS	SW IRON ORE 7069 HARDIE PANELS, FLASHINGS	FISHER COATING CEDERTONE HARDIE SOFFIT	SW IRON ORE 7069 HARDIE BOARD AND BATTEN





VIEW 1



1

2



VIEW 2

# RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024





VIEW 3



VIEW 4

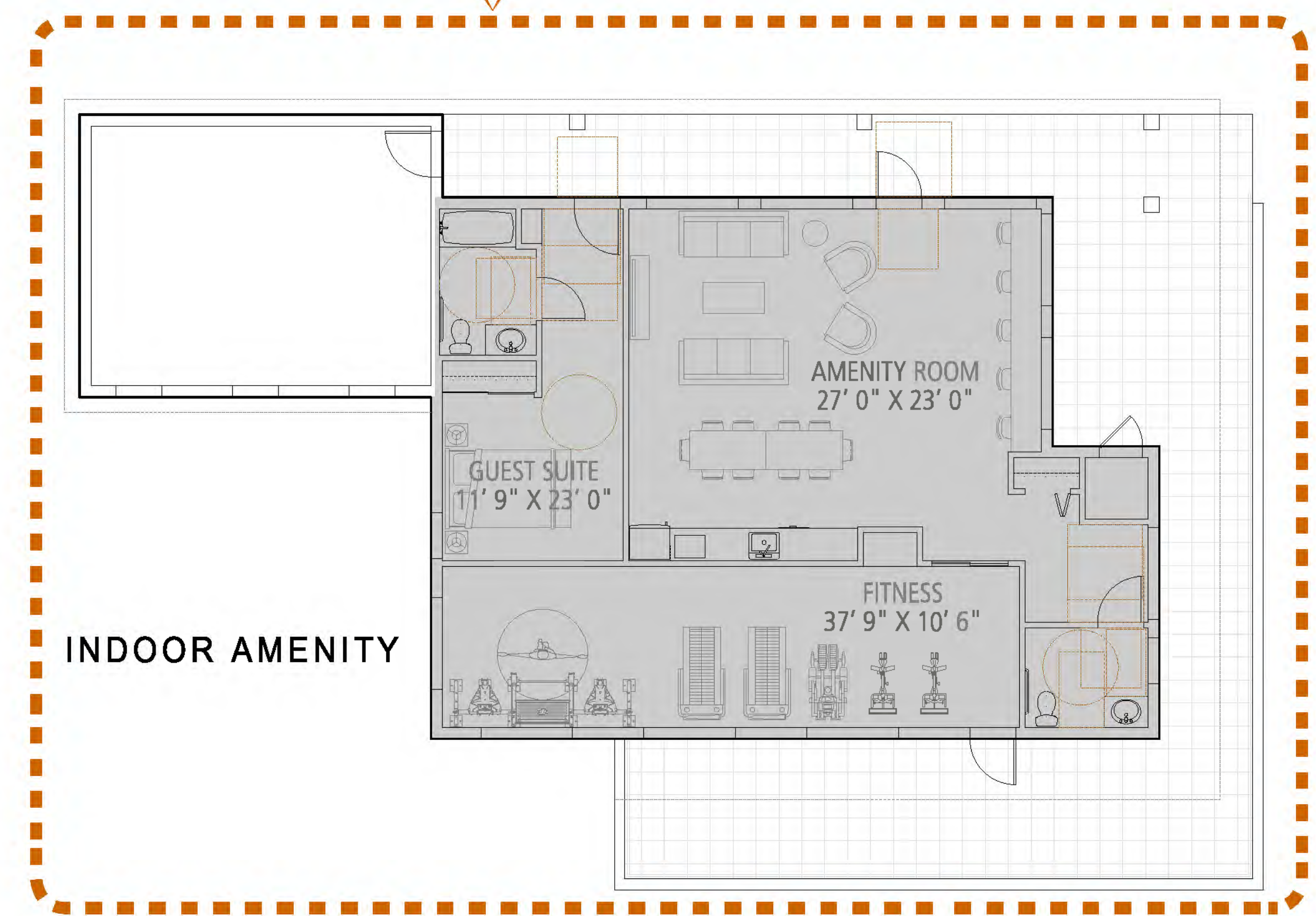
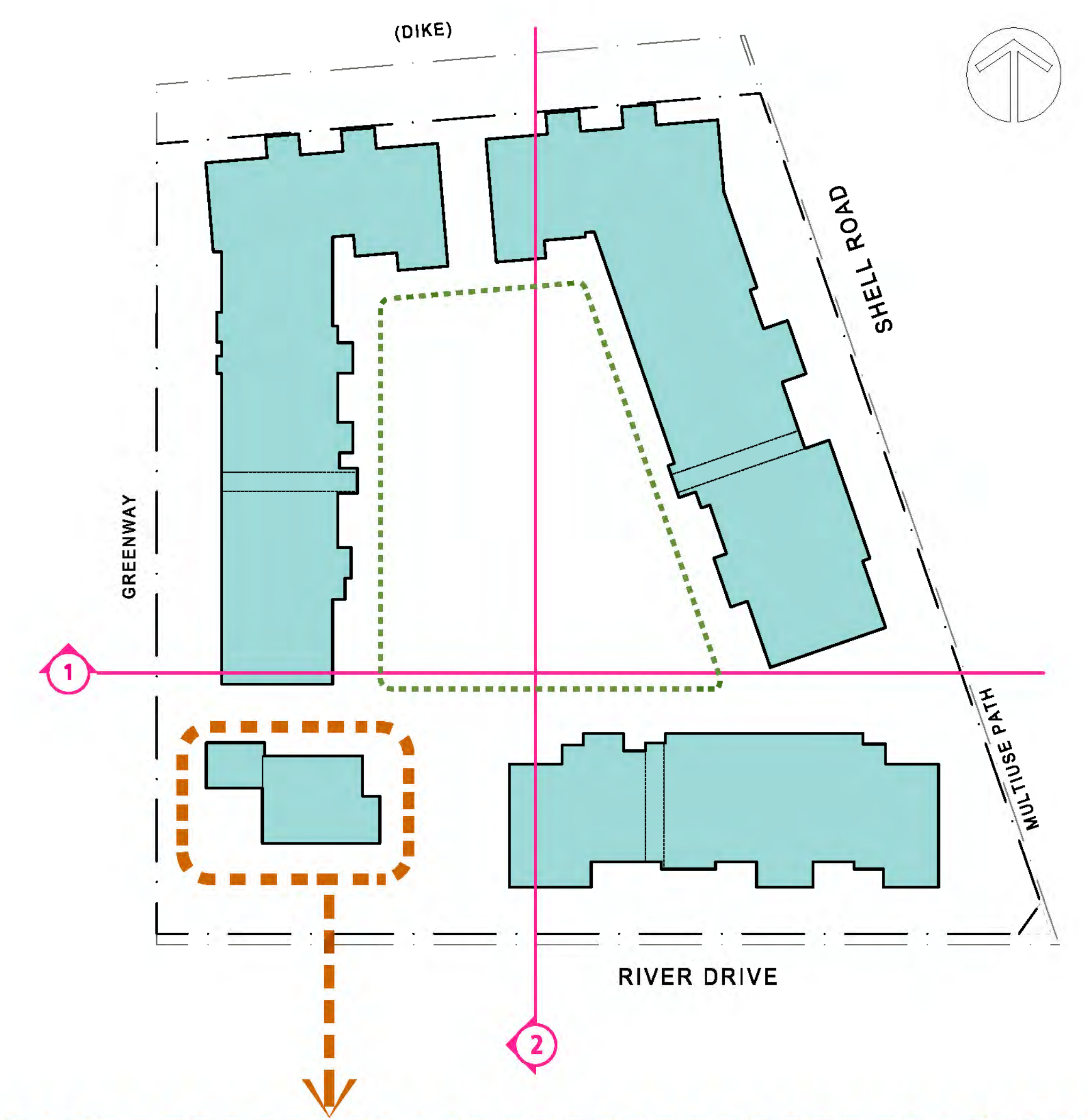


# RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024



# COMMON AMENITY





SEAL:



PLANT SCHEDULE				PMG PROJECT NUMBER: 23-032
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
11	1	ACER CIRCINATUM	VINE MAPLE	2.5M HT; B&B; 3 STEM CLUMP
29	1	ACER GRISEUM	PAPERBARK MAPLE	6CM CAL; 1.8M STD; B&B
18	1	CHAMAECYPARIS OBSTUSA 'GRACILIS'	SLENDER HINOKI FALSE CYPRESS	3M HT; B&B
9	1	CORNUKOUSA X NUTTALLII 'STARLIGHT'	STARLIGHT HYBRID DOGWOOD	6CM CAL; 1.5M STD; B&B
4	1	MAGNOLIA SOULANGIANA 'RUSTICA RUBRA'	RUSTICA RED MAGNOLIA	6CM CAL; 1.5M STD; B&B
18	1	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN AK	8CM CAL; 1.8M STD; B&B
13	1	STYRAX JAPONICUS 'PINK CHIMES'	PINK FLOWERED JAPANESE SNOWBELL	5CM CAL; 1.5M STD; B&B

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: 4 REPLACEMENT TREES REQUIRED. 4 REPLACEMENT TREES PROVIDED.  
NOTE: ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM; INSTALLATION TO I.I.A.B.C STANDARDS, LATEST EDITION.



PAINT GAME ON CONCRETE - MIRROR ME



PAINT GAME ON CONCRETE - TWISTER



PAINT GAME ON CONCRETE - MAZE



PAINT GAME ON CONCRETE - STEPPING PATH



HAUSER LOUNGER SEATING



GREEN THEORY FLIGHT TENNIS TABLE - PEWTER



JAMBETTE CLIMBER



JAMBETTE SPINNER

NO.	DATE	REVISION DESCRIPTION	DR.
8	24.MAR.13	CITY COMMENTS	YR
7	24.MAR.04	ADP COMMENTS	YR/RJ
6	24.FEB.02	DP RESUBMISSION	
5	24.JAN.26	NEW SITE PLAN/CITY COMMENTS	RJ
4	23.SEP.20	CITY RESUBMISSION	
3	23.SEP.1	NEW SITE PLAN	MC
2	23.AUG.16	PLANTING PLANS/ DETAILS ADDED	MM
1	23.MAR.24	NEW SITE PLAN	DO

CLIENT:

PROJECT:

**RIVER POINT  
RESIDENTIAL DEVELOPMENT**

10611 AND 10751 RIVER DRIVE  
RICHMOND, BC

DRAWING TITLE:  
**LANDSCAPE  
PLAN**

DATE: 23.FEB.17 DRAWING NUMBER:  
SCALE: 1:250  
DRAWN: MC/MM  
DESIGN: MC/MM  
CHK'D: MCY

**L1**

OF 14

PMG PROJECT NUMBER: 23-032

23032-9.ZIP





## PROPOSED COMMERCIAL DEVELOPMENT

## ISSUED FOR DEVELOPMENT PERMIT

18399 BLUNDELL ROAD, RICHMOND, B.C.

MARCH 22, 2024



Prospect & Refuge  
LANDSCAPE ARCHITECTS



### ARCHITECTURAL DRAWING LIST

A0.0 COVER SHEET  
A0.1 CONTEXT PLAN  
    SITE SURVEY PLAN  
A1.0 SITE PLAN  
A1.1 FIRE ACCESS PLAN  
A2.0 FLOOR PLAN  
A3.0 BUILDING A ELEVATIONS  
A3.1 BUILDING B ELEVATIONS  
A3.2 BUILDING A RENDERS  
A3.3 BUILDING B RENDERS  
A3.4 COURTYARD VIEWS  
A3.5 STREETSCAPE

### LANDSCAPE DRAWING LIST

L0 LANDSCAPE COVER SHEET  
L1 LANDSCAPE MATERIAL AND LAYOUT PLAN  
L2 LANDSCAPE PLANTING PLAN  
L3 LANDSCAPE DETAIL

### CIVIL DRAWING LIST

LOT GRADING PLAN







VICINITY PLAN

SCALE: NTS



① VIEW LOOKING NORTH FROM BLUNDELL ROAD



② VIEW LOOKING NORTH FROM BLUNDELL ROAD EXISTING BUS STOP



③ VIEW NORTH AT INTERSECTION OF BLUNDELL AND NELSON ROAD



④ VIEW NORTH AT INTERSECTION OF BLUNDELL AND NELSON ROAD

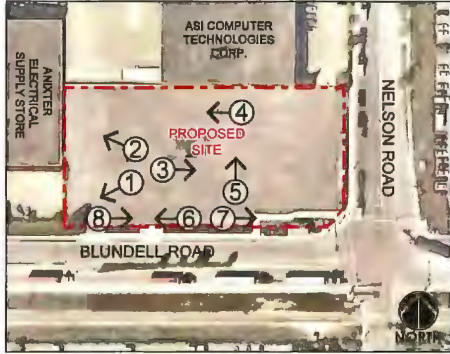


⑤ VIEW LOOKING WEST FROM NELSON ROAD



⑥ VIEW LOOKING SOUTH WEST FROM NELSON ROAD





SITE PLAN

SCALE: NTS



① VIEW FROM THE SITE LOOKING TO SOUTH-WEST SITE CORNER



② VIEW FROM THE SITE LOOKING TO NORTH-WEST SITE CORNER



VICINITY PLAN

SCALE: NTS

LEGEND:

- a) PROPOSED SITE
- b) TUGBOAT ANNIE'S PUB & GRILLE
- c) NANAKSAR GURDWARA GURSIKH TEMPLE

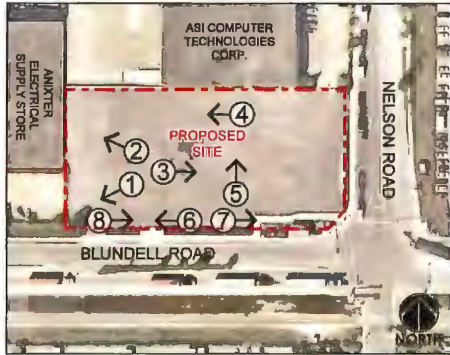


③ VIEW FROM THE SITE LOOKING WEST TO NELSON ROAD



④ VIEW FROM THE SITE LOOKING EAST TO ANIXTER ELECTRICAL BUILDING





SITE PLAN

SCALE: NTS



⑤ VIEW FROM THE SITE LOOKING NORTH TO ASI COMPUTER BUILDING



⑥ VIEW FROM BLUNDELL ROAD LOOKING WEST



VICINITY PLAN

SCALE: NTS

LEGEND:

- a) PROPOSED SITE
- b) TUGBOAT ANNIE'S PUB & GRILLE
- c) NANAKSAR GURDWARA GURSIKH TEMPLE

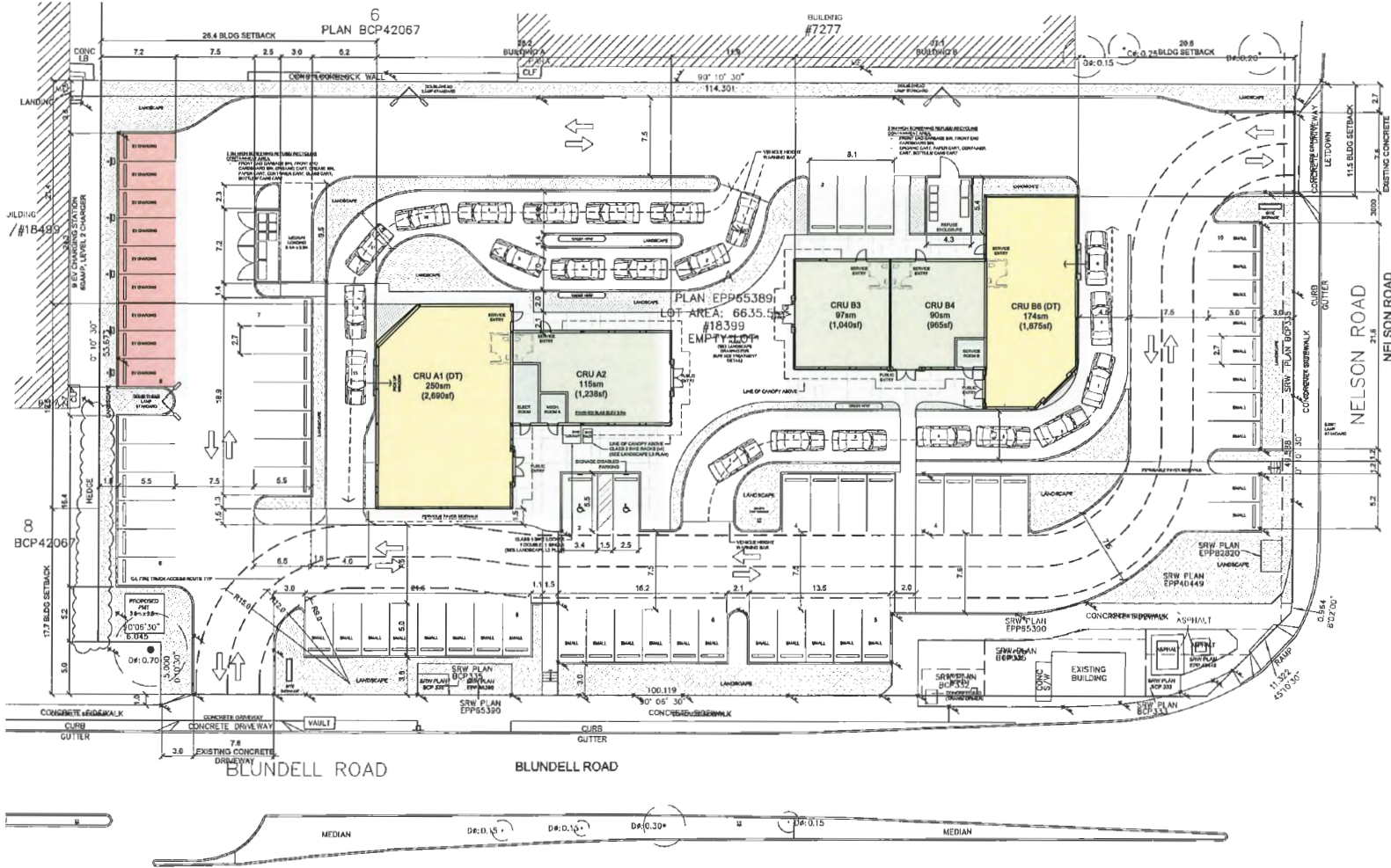


⑦ VIEW FROM BLUNDELL ROAD LOOKING EAST



⑧ VIEW FROM BLUNDELL ROAD LOOKING EAST





PROPOSED COMMERCIAL DEVELOPMENT KINGSWOOD INDUSTRIAL PARK 18399 BLUNDELL ROAD			
ZONING	INDUSTRIAL (I)		
LEGAL DESCRIPTION	LOT 7 SEC18 BLK 4 NORTH RANGE 4 WEST WESTMINSTER DISTRICT PL. BC.P42067		
PERMITTED USE	GENERAL INDUSTRY, DRIVE THROUGH, RESTAURANT		
PROPOSED USE	GENERAL INDUSTRY, DRIVE THROUGH, RESTAURANT		
LOT AREA	8,835.6 m <sup>2</sup> (71,424sf)		
PERMITTED LOT COVERAGE	MAX 75%		
PROPOSED LOT COVERAGE	11.4%		
PROPOSED BUILDING FOOTPRINT	759 m <sup>2</sup> (8,169sf)		
PERMITTED FLOOR AREA RATIO (FAR)	1.0		
PROPOSED FLOOR AREA RATIO (FAR)	0.11		
BUILDING SETBACKS	REQUIRED	PROPOSED	
FRONT YARD (NELSON RD)	3.0m	20.8m	
REAR YARD (WEST)	-	28.4m	
INTERIOR SIDE YARD (NORTH)	-	11.5m	
EXTERIOR SIDE YARD (BLUNDELL RD)	3.0m	17.7m	
HEIGHT	MAX 16.0m	4.7m	
NOTE: ACCENT PANEL HEIGHTS VARY FROM 5.9m TO 7.6m			
PARKING SIZE	STANDARD SEE SITE PLAN FOR STANDARD P-1, BRIDGE PARKING, SMALL	2,65m W x 5.5m L	
	ACCESSIBLE	2.60m W x 5.5m L	
		1.8m WIDE WALKWAY	7.5m
AISLE WIDTH (TWO-WAY)			
PARKING			
REQUIRED PARKING SPACES			
PARKING SIGN USE CATEGORY	PARKING SPACES REQUIRED	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
RESTAURANT	8 SPACES PER 100m <sup>2</sup> UP TO 300m <sup>2</sup> 10 SPACES FOR EACH ADDITIONAL 100m <sup>2</sup>	24	36
DRIVE-THRU	7 SPACES PER 100m <sup>2</sup> UP TO 300m <sup>2</sup> 8 SPACES FOR EACH ADDITIONAL 100m <sup>2</sup> MIN 4 VEHICLE QUEUING AREA IN ADVANCE OF FAV WINDOW	30	32
ACCESSIBLE PARKING	1 PER 100 SPACES 1 ADJL PER NEXT 50 SPACES (OR STANDARD + 28 SMALL)	2	2
		86	64
LOADING			
REQUIRED/ PROVIDED	1 MEDIUM SIZE LOADING		
BICYCLE PARKING REQUIRED/ PROVIDED			
REQUIRED (NOTE: 3 CLASS 1 SPACES 1 CLASS 2 SPACES)	7 SPACES		

LEGEND	
	LANDSCAPE AREA
	PAVEMENT AREA
	PROPOSED EV CHARGING STATION (9 DEDICATED EV STALLS WITH 6 PEDESTALS - 60AMP LEVEL 2 CHARGER)



**GWA** PROPOSED COMMERCIAL DEVELOPMENT  
18399 BLUNDELL ROAD, RICHMOND, BC

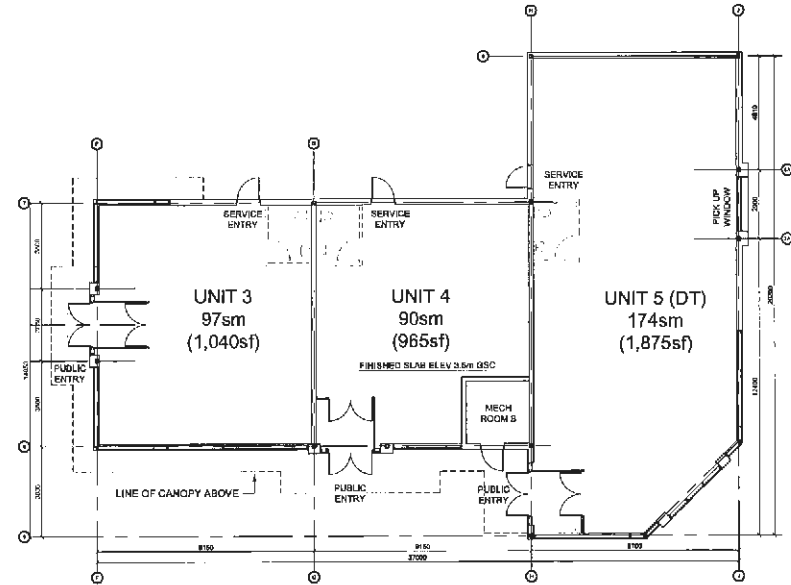
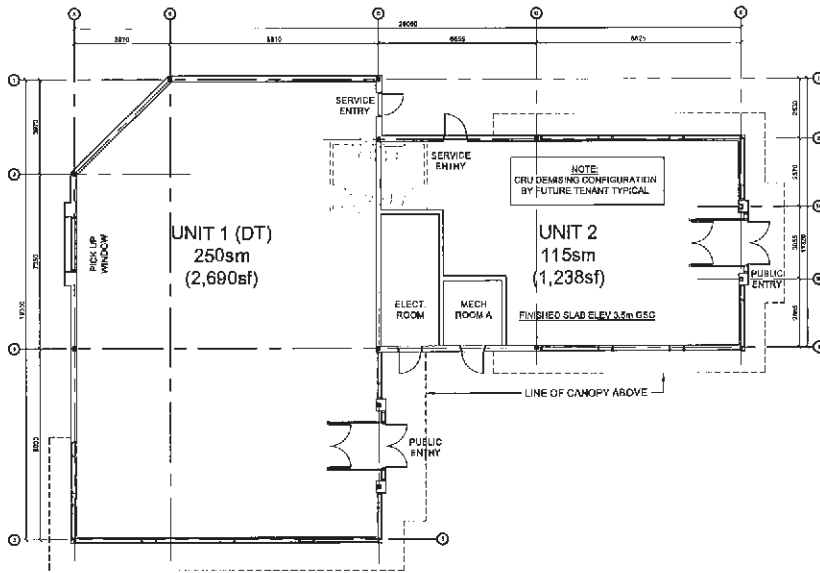


SCALE 1:200

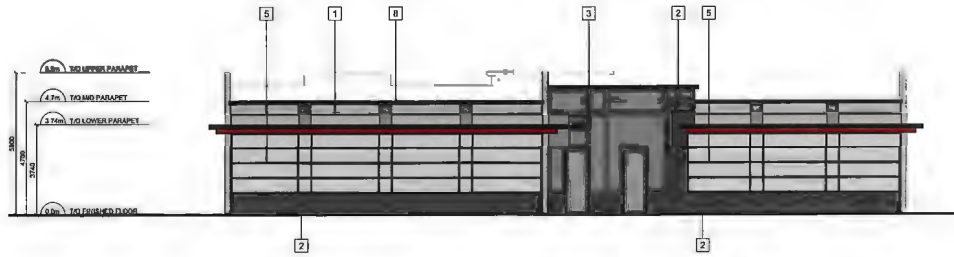
SITE PLAN  
MARCH 22, 2024

**A1.0**

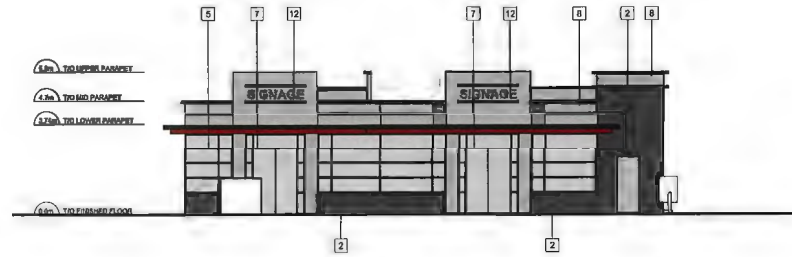




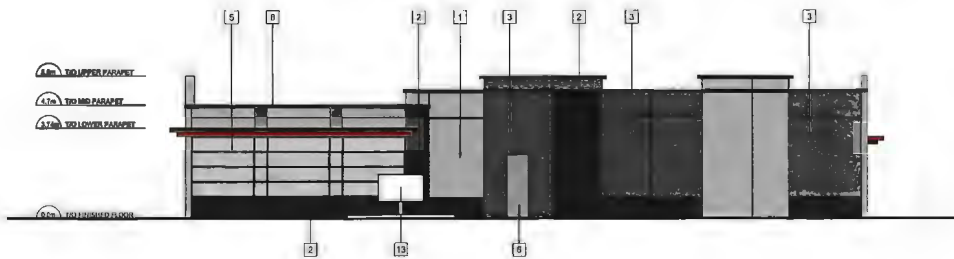




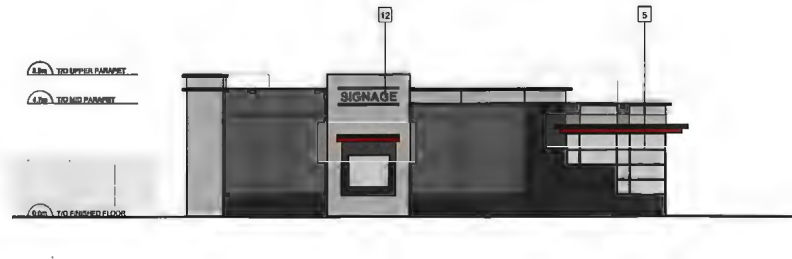
A SOUTH ELEVATION



B EAST ELEVATION



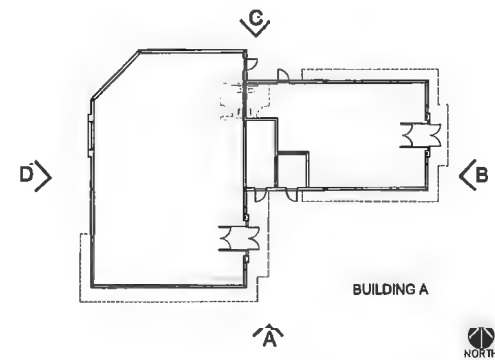
C NORTH ELEVATION



D WEST ELEVATION

MATERIAL LEGEND	
1 INSULATED METAL PANEL, LIGHT GRAY COLOUR SHALE GRAY (OR EQUIVALENT)	8 PREFINISHED METAL FLASHING, COLOUR CHANGING BY VIEWSET
2 INSULATED METAL PANEL, DARK GRAY COLOUR SABLET (OR EQUIVALENT)	9 PREFINISHED METAL CANOPY FLASHING, COLOUR BLACK BRASS BY VIEWSET
3 INSULATED METAL PANEL, MEDIUM GRAY COLOUR WINDWAY (OR EQUIVALENT)	10 PREFINISHED METAL FACIAL FLASHING, COLOUR DARK RED BRASS BY VIEWSET
4 RESERVED	11 GARAGE SCREENING ENCLOSURE
5 GREY INTERIOR SEALED UNIT WITH BLACK ANODIZED ALUMINUM GLAZING HIGHLIGHTS	12 SIGNAGE, SUPPLIED AND INSTALLED BY SOFT CONTRACTOR
6 INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED, COLOUR GREY TBC	13 ORDER MESH SIGNSTAND
7 GREY TINTED STONEFRONT ENTRY DOUBLE DOORS	14 FLUSTRATION REVEAL

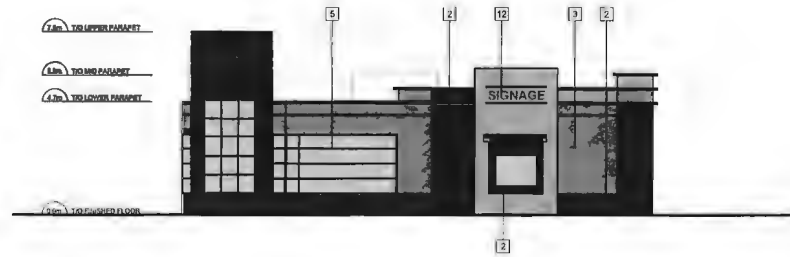
MATERIAL LEGEND	
1	2
3	4
5	6
7	8
9	10
11	12
13	14



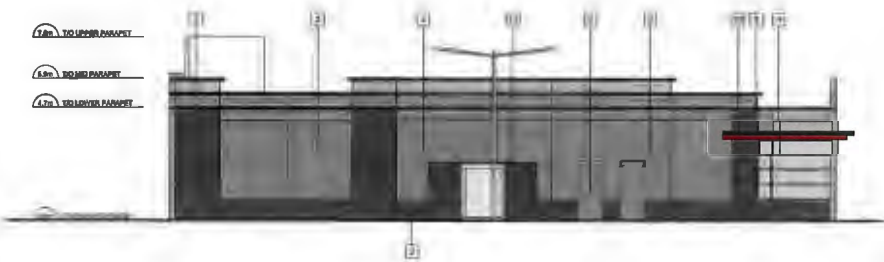




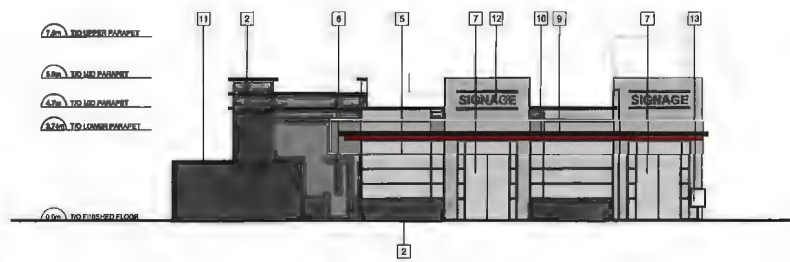
A SOUTH ELEVATION



B EAST ELEVATION

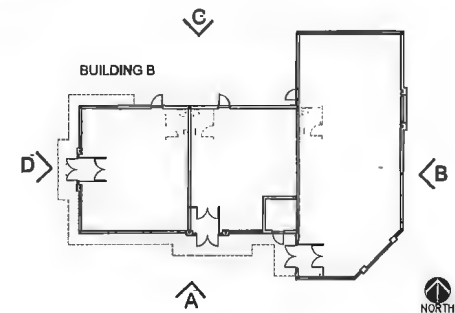


C NORTH ELEVATION



D WEST ELEVATION

MATERIAL LEGEND	
1	INSULATED METAL PANEL, LIGHT GRAY COLOUR: SHALE GREY (OR EQUIVALENT)
2	INSULATED METAL PANEL, DARK GRAY COLOUR: BASALT GRN (OR EQUIVALENT)
3	INSULATED METAL PANEL, MEDIUM GRAY COLOUR: WYSEWAY (OR EQUIVALENT)
4	RESERVED
5	GRAY TINTED SEALED UNIT WITH BLACK WOODED ALUMINUM GLAZING MULLIONS
6	INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED COLOUR: GREY ETC
7	GRAY TINTED STOREFRONT ENTRY DOUBLE DOORS
8	PREFINISHED METAL FLASHING, COLOUR: CHARCOAL BY VICTREX
9	PREFINISHED METAL CANOPY FLASHING, COLOUR: BLACK GRN BY VICTREX
10	PREFINISHED METAL FLASHING, COLOUR: DARK RED BORN BY VICTREX
11	GARAGE SCREENING ENCLOSURE
12	SIGNAGE, SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
13	CROWN MOULD SIGNET AND
14	ABUSICATION REVEAL







SOUTHEAST CORNER



NORTHEAST CORNER



SOUTHWEST CORNER



NORTHWEST CORNER





SOUTHEAST CORNER



NORTHWEST CORNER



SOUTHWEST CORNER



NORTHEAST CORNER





COURTYARD VIEW A



COURTYARD VIEW B





A STREETScape VIEW FROM BLUNDELL ROAD



B STREETScape VIEW FROM NELSON ROAD



# PROJECT NAME: Proposed Commercial Development

PROJECT NO: 2023-26

PROJECT ADDRESS: 18399 Blundell Road, Richmond, BC

DATE: 2024-03-20


ISSUED FOR: Re-issue for DP

TABLE OF CONTENTS	
Sheet Number	Sheet Title
L0	Landscape Cover Sheet
L1	Landscape Materials and Layout Plan
L2	Landscape Planting Plan
L3	Landscape Details

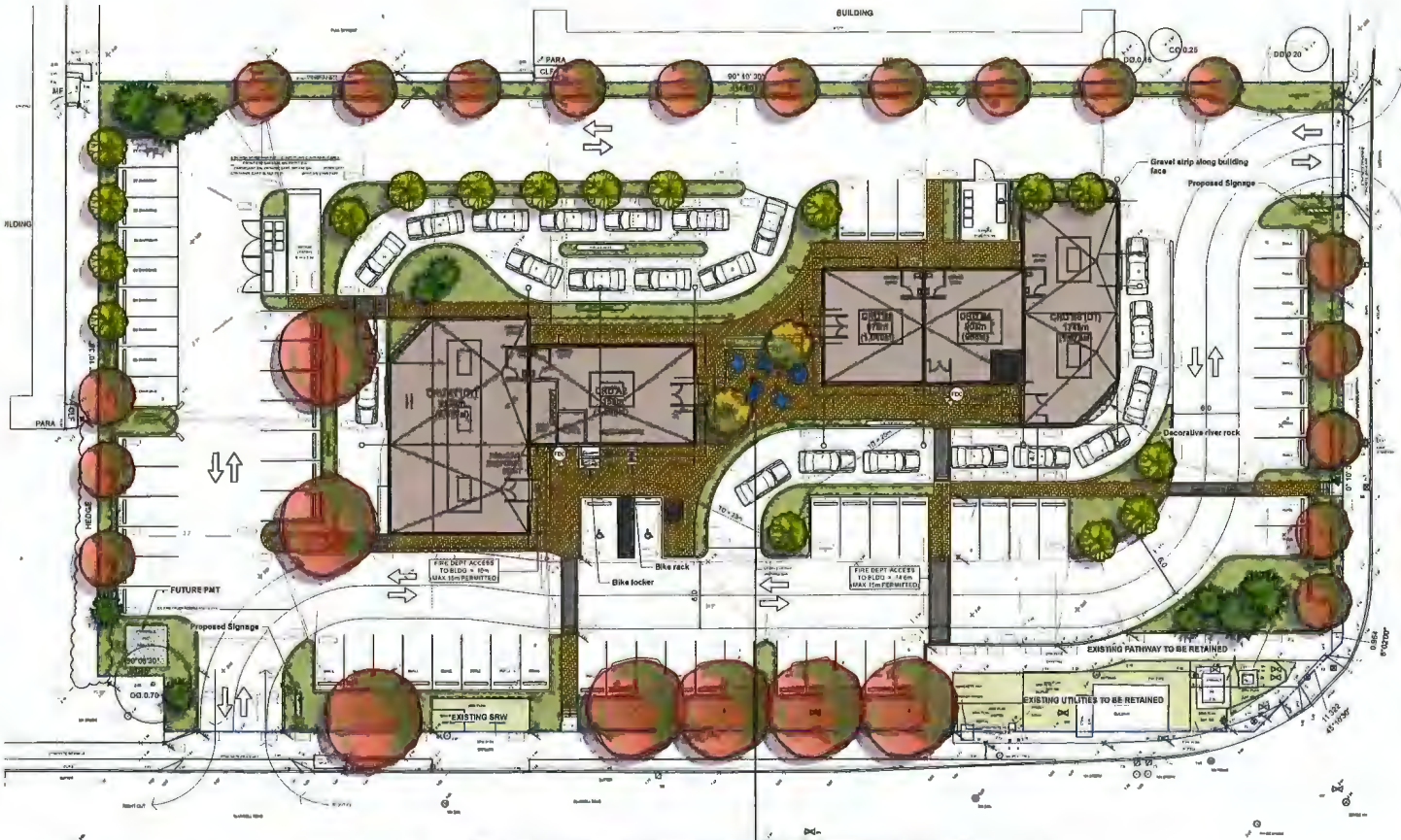
CONSULTANT LIST	
GWA Architects Inc.	
MPT Engineering Co. Ltd.	



PACKAGE IS ONLY TO SCALE WHEN PRINTED ON 24"X36" SHEETS UNLESS OTHERWISE INDICATED

2024-03-20	Re-issue for DP
2023-12-13	Issue for DP
2023-11-14	Issue for DP
2023-11-07	Issue for DP coord
Date	Issue Notes
	
<b>Prospect &amp; Refuge</b> LANDSCAPE ARCHITECTS <small>200-662-8700 (480) 484-7888, BC (604) 273-7413            604-688-1022 info@prospectandrefuge.ca            Building on over 23 years of industry leadership.</small>	
Proposed Commercial Development 18399 Blundell Road, Richmond, BC	
Project Name: Landscape Cover Sheet	
Project No: 2023-26	Sheet: L0
Project Stage: CV	Project No: AS





**LANDSCAPE GENERAL NOTES**

1. All Landscape materials and execution shall conform to the Canadian Landscape Council, all applicable and noted codes, bylaws and specifications, and By-law requirements.
2. Do not construct from these drawings unless specified "Unless Per Construction".
3. The Landscape Contractor shall submit all questions, requests, inquiries and requests pertaining to these drawings or their execution in writing to the Landscape Consultant.
4. Existing conditions shall be verified by survey and actual conditions may vary from those shown. The Landscape Contractor shall conduct a site visit to review existing conditions and submit all discrepancies to the Landscape Consultant prior to construction. The Landscape Contractor shall assume responsibility for actual site conditions (including subsurface).
5. The Landscape Contractor shall conduct a site visit and ensure to determine the extent of work required (including but not limited to demolition, preparation and removal). Landscape Consultant shall report any discrepancies between the required and proposed work, to the Landscape Architect prior to construction.
6. The Landscape Contractor shall verify all scaled and written dimensions in the contract drawings and on site prior to construction. The Landscape Contractor shall report any discrepancies or inconsistencies to the Landscape Consultant.
7. Provide positive grades away from buildings and lower level drives and catch basins. Slope away from building at a minimum of 2%.
8. All landscaping shall have a high efficiency irrigation system to IAPUC standards. Unless otherwise specified, the irrigation system shall be designed by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings to Landscape Consultant approval.
9. All substitutions shall be approved by the Landscape Consultant.
10. The Landscape Contractor shall repair any damage resulting from work on site.
11. The Landscape Contractor shall provide 1 year of CLS level 1 maintenance (excluding water) after the area of substantial completion.
12. All walls 2' or taller, all panels, all concrete footings and all other shall be designed by structural engineer. All walls shall be inspected and approved by geotechnical and structural engineer. Graces positive drainage behind all walls.
13. When working within the City of Vancouver, the Landscape Contractor shall ensure all project activities conform to permits or By-law Requirements.

**LANDSCAPE TREE NOTES**

1. All landscape construction activities have a high potential for causing damage to trees, roots and soil. The Landscape Contractor shall coordinate with the project Architect prior to the start of landscape operations to avoid tree protection non-compliance and by-law issues.
2. Install temporary tree protection fencing as per Arborist report or tree protection plan. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction.
3. Removal of the tree benches requires advance consultation and approval by the project architect.

**LEGEND**

- Property Line
- Tree protection fence

**LANDSCAPE MATERIALS:**

- Aquapave Permeable Paver system from Belgard or approved equivalent. Size: 110mm x 215mm x 40mm, Colour: Harvest
- Aquapave Permeable Paver system from Belgard or approved equivalent. Size: 110mm x 215mm x 40mm, Colour: Harvest
- Cast in Place Concrete (Philadelphia)

**ROFFSCAPE MATERIALS:**

- Planting Bed

**TREE PLANTINGS:**

- Single Stem Cluster planting, without nesting options
- Tree Bank
- Site Landscaping Details and things

**LINE & SYMBOLS**

- Building envelope
- Building roof overhang

2024-03-20	Re-issue for DP
2023-12-13	Issue for DP
2023-11-14	Issue for DP
2023-11-07	Issue for DP coord



**Prospect & Refuge**

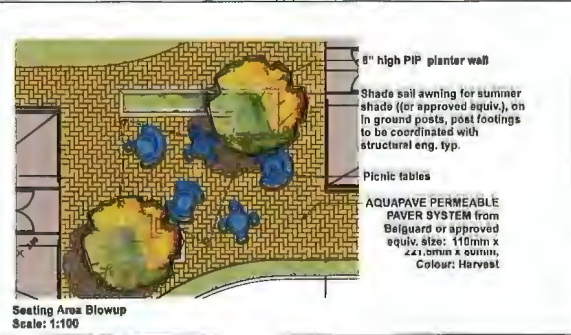
LANDSCAPE ARCHITECTS  
 4818 West 4th Ave Vancouver, BC V6P 2G2  
 604-683-1822 landscape@prospectandrefuge.com  
 Building as per all plans including any Addendum to Plans.

Proposed Commercial Development  
 18399 Blenheim Road, Richmond, BC

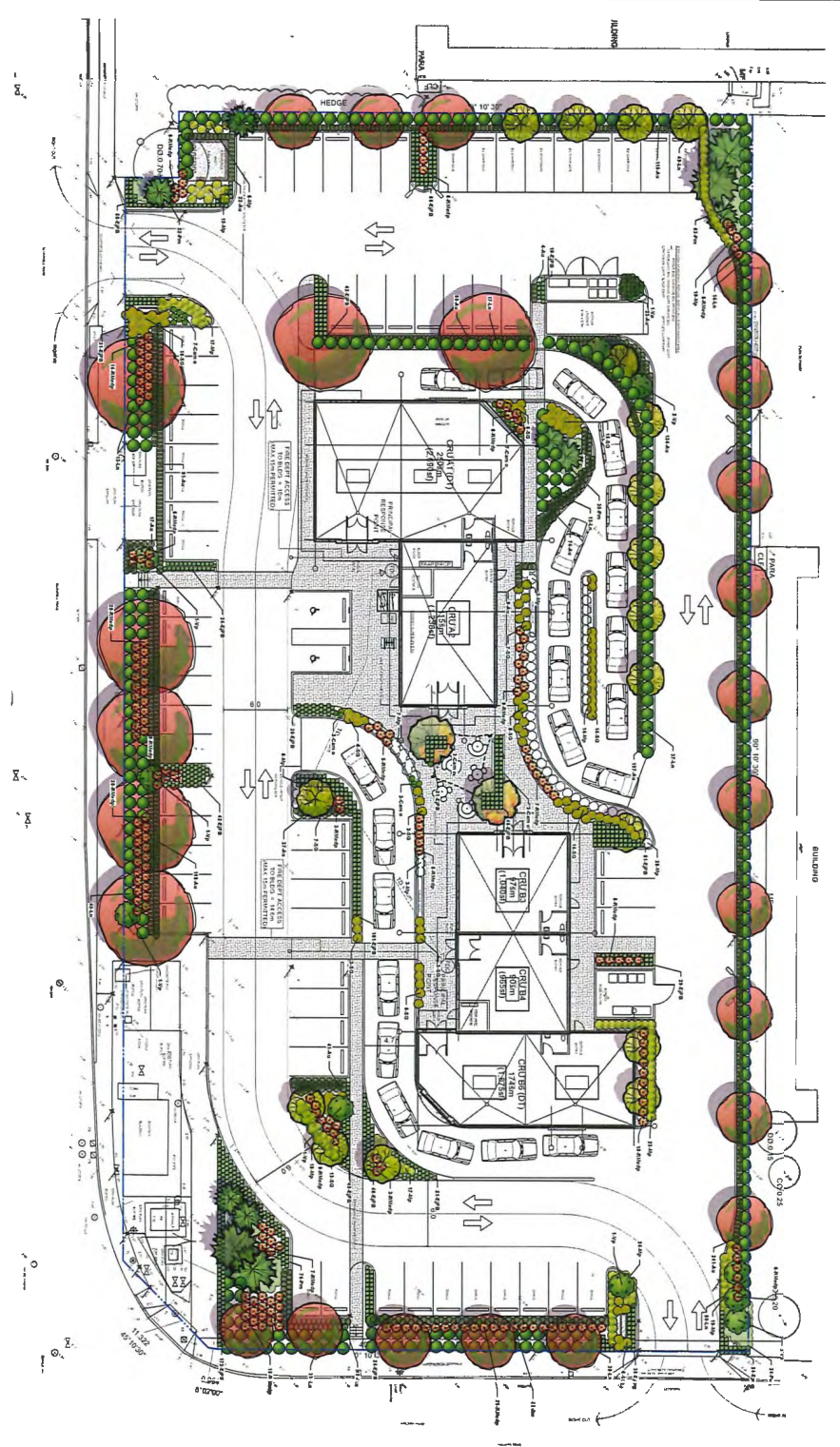
Project No.	2024-26	Scale	1/8" = 1'-0"
Project Designer	CV	Project No.	L1
Project Date	AS		



Shade Sails shade awning (or approved equiv.) to provide summer shade at amenity space  
 Colour TBD to match architecture.







PLANT LIST	PLANT NAME	QUANTITY	PROPOSED SIZE	NOTES
1	Large Tree	12	18" x 18" x 10'	...
2	Medium Tree	24	12" x 12" x 6'	...
3	Small Tree	48	8" x 8" x 4'	...
4	Shrub	96	6" x 6" x 3'	...
5	Planting Bed	1	10' x 10'	...
6	Planting Bed	1	10' x 10'	...
7	Planting Bed	1	10' x 10'	...
8	Planting Bed	1	10' x 10'	...
9	Planting Bed	1	10' x 10'	...
10	Planting Bed	1	10' x 10'	...
11	Planting Bed	1	10' x 10'	...
12	Planting Bed	1	10' x 10'	...
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14	Planting Bed	1	10' x 10'	...
15	Planting Bed	1	10' x 10'	...
16	Planting Bed	1	10' x 10'	...
17	Planting Bed	1	10' x 10'	...
18	Planting Bed	1	10' x 10'	...
19	Planting Bed	1	10' x 10'	...
20	Planting Bed	1	10' x 10'	...
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22	Planting Bed	1	10' x 10'	...
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24	Planting Bed	1	10' x 10'	...
25	Planting Bed	1	10' x 10'	...
26	Planting Bed	1	10' x 10'	...
27	Planting Bed	1	10' x 10'	...
28	Planting Bed	1	10' x 10'	...
29	Planting Bed	1	10' x 10'	...
30	Planting Bed	1	10' x 10'	...

**LANDSCAPE PLANNING NOTES**

1. All planting materials and quantities are subject to the availability of stock and the results of field inspections.
2. The material shall be provided from the same source and shall be of the same quality and quantity as shown on the drawings.
3. The Landscape Contractor shall provide all necessary permits and approvals for the proposed landscape plan.
4. The Landscape Contractor shall provide all necessary labor and materials for the proposed landscape plan.
5. The Landscape Contractor shall provide all necessary equipment and tools for the proposed landscape plan.
6. The Landscape Contractor shall provide all necessary safety measures for the proposed landscape plan.
7. The Landscape Contractor shall provide all necessary site preparation for the proposed landscape plan.
8. The Landscape Contractor shall provide all necessary irrigation systems for the proposed landscape plan.
9. The Landscape Contractor shall provide all necessary maintenance plans for the proposed landscape plan.
10. The Landscape Contractor shall provide all necessary documentation for the proposed landscape plan.

**Prospect & Refuge**

LANDSCAPE ARCHITECTS

1000 10th Street, NW, Atlanta, GA 30309

Phone: 404.525.1234

Email: info@prospectandrefuge.com

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**Proposed Commercial Development**

1000 10th Street, NW, Atlanta, GA

Client: [Name]

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**Landscape Planning Plan**

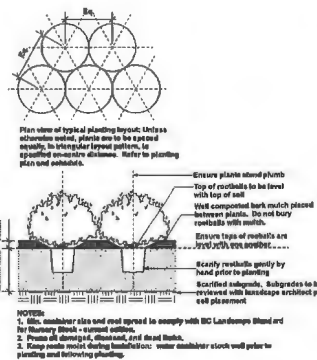
Project No: 2023-28

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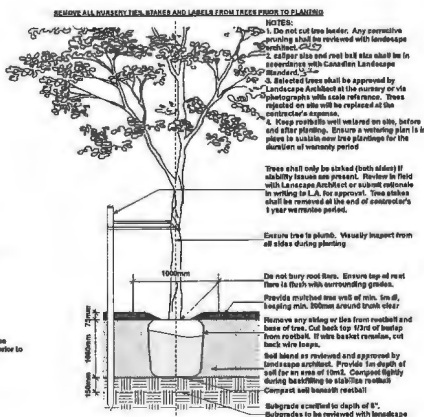
Sheet No: 12

Date: 05/2023

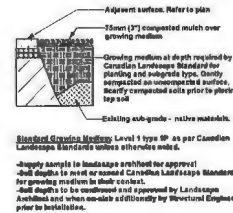




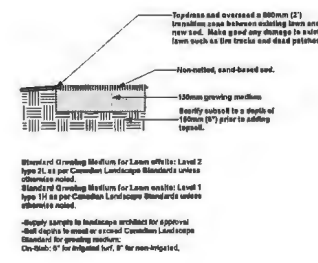
1 **Shrub and Perennial Planting**  
Scale: 1:24



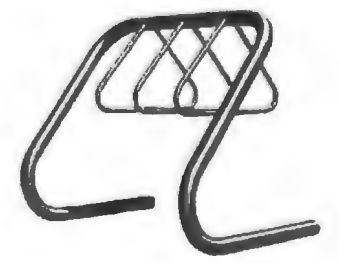
2 **Tree Planting**  
Scale: 1:24



3 **Top Soil**  
Scale: 1:24

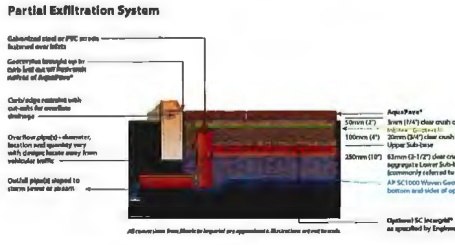


4 **Bodded Lawn**  
Scale: 1:24

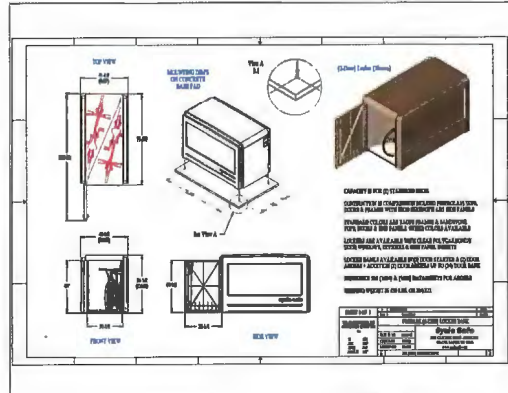


5 **Core Bike Rack WS300**  
Scale: NTS

**AQUAPave®** Permeable On-Site Stormwater Source Control System



6 **Permeable Pavement**  
Scale: Actual Size



7 **Bike Locker**  
Scale: NTS

**Dynamic cluster seating with a twist**

**Fabulously flexible**

- With seating for 4-6, and wheelchair accessible options, each table is very versatile and comfortable to sit at.

**Features:**

- Tubular Support Frame
- 20" Diameter Table Top
- Major of High Density Polyethylene
- Weather-Resistant
- Underfoot Drain

**Available in 4 Colors:** 4000 (Black), 4001 (Grey), 4002 (White), 4003 (Blue)

**Always Ridgerup**

With a twist, the tables support with equal ease and adjust to the terrain. Some offering adjustable seating configurations.

**MAGLIN**

8 **Cluster Seating**  
Scale: NTS

2024-03-30		Revisions for DP
2023-12-13		Issues for DP
2023-11-14		Issues for DP
2023-11-27		Issues for DP correct
Date	Revised Notes	
<p align="center"><b>Prospect &amp; Refuge</b></p> <p align="center"><b>LANDSCAPE ARCHITECTS</b></p> <p align="center">1001 100th Ave. West, Suite 200 West Vancouver, BC V8V 2H2 Tel: 779-1234   Fax: 779-1234   www.prospectandrefuge.ca</p> <p align="center">Established over 30 years of history in British Columbia</p>		
<p>Project Name: <b>Proposed Commercial Development</b> 16300 Blundell Road, Richmond, BC</p>		
<p>Project No: <b>CV</b></p>		
<p>Scale: <b>L3</b></p>		