



**City of Richmond**  
Planning and Development Department

## Report to Development Permit Panel

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**To:** Development Permit Panel  
**From:** Brian J. Jackson, MCIP  
Director of Development  
**Date:** August 25, 2009  
**File:** DP 08-431155  
**Re:** **Application by Oris Development (Cambie) Corp. for a Development Permit at 9420, 9460 and 9480 Cambie Road**

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### Staff Recommendation

That a Development Permit be issued which would permit the construction of a mixed-use development including approximately 193 dwelling units in three (3) four storey buildings, as well as approximately 166 m<sup>2</sup> (1,788.1 ft<sup>2</sup>) of commercial space and 175.3 m<sup>2</sup> (1,886 ft<sup>2</sup>) of indoor amenity space at 9420, 9460 and 9480 Cambie Road on a site zoned Comprehensive Development District (CD/196).

Brian J. Jackson, MCIP  
Director of Development

FM:blg  
Att.

## Staff Report

### Origin

Oris Development (Cambie) Corp. has applied to the City of Richmond for permission to develop a mixed-use development including approximately 193 dwelling units distributed among three (3) four-storey buildings organized around a central courtyard and approximately 166 m<sup>2</sup> (1,788.1 ft<sup>2</sup>) of commercial space, as well as an indoor amenity building of approximately 175.3 (1,886.5 ft<sup>2</sup>) at 9420, 9460 and 9480 Cambie Road on "Area B" of a site zoned Comprehensive Development District (CD/196).

The proposed development site ("Area B") is being rezoned from "Comprehensive Development District (CD/137)" to "Comprehensive Development District (CD/196)" under Bylaw No. 8395 (RZ 07-380189).

A Servicing Agreement for design and construction of frontage upgrades along Cambie Road plus full road construction of Stolberg Street, half road construction of McKim Way and water, storm and sanitary sewer upgrades, is required as part of this development, which is being secured through the rezoning process.

### Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

The site is located at the central area of the Alexandra neighbourhood at the gateway into the neighbourhood from Cambie Road. The site is close to public amenities and has easy access to current and future transportation facilities. The proposed development is complementary to the proposed development to the west, across Stolberg Street (Cambie I) by the same developer. Urban context around the subject site includes:

- **to the north**, across Cambie Road is an established single-family neighbourhood;
- **to the south**, across the proposed new McKim Way, a series of large, narrow and deep single-family lots;
- **to the west**, across the proposed new Stolberg Street will be the proposed Cambie I development by the same applicant that includes three (3) six-storey residential buildings containing 251 residential units, including 22 Affordable Housing units and a two level Day Care Centre; and
- **to the east**, a single-family house on a large and deep site fronting on Cambie Road that is expected to develop in a similar way as the proposed development in the near future.

### Applicable Development Permit Guidelines

OCP Schedule 1: 9.2 General Development Permit Area Guidelines, and Schedule 2.11A, West Cambie Area Plan (Section 8.0) Alexandra Development Permit Guidelines.

The development proposal meets the West Cambie Area Plan, Alexandra Neighbourhood land use overall objectives and design guidelines.

## Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on July 21, 2008. At the Public Hearing, no concerns about rezoning the property were expressed by the public.

Concerns expressed after the Public Hearing by the owner of the property at 9500 Cambie Road, immediately to the east of the development proposal subject of this report, were properly addressed by staff via telephone and mail (**Attachment 2**). In addition to the statutory notices of Public Hearing for rezoning applications, this property owner in particular, was also notified of every meeting of the Development Permit Panel that would consider a development proposal in the vicinity of 9500 Cambie Road. During the recent Public Hearing for the proposed Richmond Ismaili Muslim Jamatkhana (RZ 04-270168) on the site immediately east of 9500 Cambie Road, the same property owner raised questions associated with the development subject of this report. The issues raised at that Public Hearing were addressed by staff in a letter dated May 7, 2009 (**Attachment 3**)

During the rezoning and Development Permit review process staff identified several design issues that required resolution to properly reflect the human scale of the proposed courtyard development concept, while also achieving the proper relationship to the future expected urban context. The areas of concern to staff and the applicant's design response and action regarding these concerns, shown in "*italics*", are as follows:

1. Architecturally expressing building along McKim Way as three (3) masses/volumes.

*Key-ways in the McKim Way building frontage, and also along the east property line, have been recessed to the fullest extent possible to achieve an architecturally detailed and articulated central portion of the block contained between bookends. Units adjacent to the key-ways have been pulled out to amplify the recess and have a drop and/or change in roof and parapet height to amplify the break. In addition, architectural treatment and materials used in these portions of the building contribute to achieving the desired objective of reducing the perceived building mass along McKim Way.*

2. Providing an architectural feature as an urban landmark at the intersection of Stolberg Street with Cambie Road (the gateway into the neighbourhood).

*The developer will work cooperatively with the City Public Art Coordinator to focus provision of public art at the entrance to the Alexandra Neighbourhood, at Cambie Road and Stolberg Street. The treatment of street level and building façades of the proposed development at this location are also intended to become an integral part of the approach to Public Art in the area.*

3. Further design development to central courtyard. Reinforcement of its pedestrian character should not negate the need for loading and unloading activities.

*Pedestrian character and improved accessibility to the central courtyard has been achieved by adequate use of materials and coloured pavers that define pedestrian circulation around its perimeter. Treatment of the hard surface portion of the courtyard reinforces the multi-use character of this space that, on special occasions, could be closed to vehicular traffic and used for resident's functions. Concrete slabs and width at the entrance from Stolberg Street has been refined to reinforce the message of pedestrian priority over vehicles.*

4. Maintaining continuity and quality of courtyard perimeter pedestrian circulation. Pavement and width should remain constant, unobstructed and extend across the vehicular realm (loading space is an obstruction).

*Refinement of dimensions, proportions and appropriate use of materials for perimeter pedestrian circulation within the courtyard space and adequate relationship between hard and soft surface areas have achieved this objective. The 2.5 m (8 ft.) wide perimeter pedestrian path provides access to the front door of Level 1 townhouse units surrounding the courtyard. Hard surface portion of the courtyard is treated as a multi-use type of space, therefore playing down its use by vehicles.*

5. Improving accessibility from dwelling units in Level 1 to parking garage (this is critical in the case of units that do not front onto the central courtyard).

*Accessibility to elevators/stairs to parking garage from Level 1 townhouse units facing east, along the east property line, greatly improved by the deletion of two (2) units and the creation of two (2) breezeways; which also facilitate access from these units to the central courtyard.*

6. Details re. programming of activities in the courtyard (children play areas, seating, etc.).

*Design of the central courtyard provides areas for passive and active recreation, children play area, outdoor expansion of indoor amenity space and a parking/multi-purpose hard surface area with adequate programming flexibility.*

7. Identification of universally accessible units and aging in place features need definition.

*Revised design includes two (2) fully "accessible" units. The two (2) accessible units (1 Studio unit and 1 2-bedroom unit) are located on the third floor at the southeast and southwest corners of the central courtyard. To facilitate "aging in place", the design provides blocking in one (1) of the bathrooms of every unit in the proposal for future installation of grab bars and "lever" action latches in all doors.*

8. Resolving handicapped (wheelchair) access to commercial uses and courtyard from street.

*Proposed slope, width and surface material of the path on the south side of the entrance driveway on Stolberg Street is appropriate for pedestrians and wheelchair access from the City sidewalk to the courtyard, commercial use building and central amenity building.*

9. Addressing operational aspects related to garbage collection and service vehicles movement.

*Proposal now includes a low-bed compactor for garbage (pick up truck can access it from the parkade) integrated with recycling containers in one (1) room. The number of bins and containers meet the City requirements and a holding area for collection is provided at grade, at the southeast corner of the site.*

10. Although not necessarily an issue related to "Form and Character", improving liveability of units with internalized bedrooms is desirable.

*Liveability of the interior bedrooms/dens is enhanced by:  
Mechanical ventilation and the introduction of translucent, glazed panels into the walls and doors framing the stairs. Units at inside or outside corners of the building(s) have windows introduced at interior bedrooms, on sidewalls. Top floor units have clerestory windows introduced to bring light into interior bedrooms.*

## **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and complies with Comprehensive Development District (CD/196).

## **Advisory Design Panel Comments**

The Advisory Design Panel reviewed the development proposal on October 22, 2008 and January 7, 2009. A copy of the relevant excerpt from the Advisory Design Panel Minutes of January 7, 2009 is attached for reference (**Attachment 4**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

## **Analysis**

### ***Conditions of Adjacency***

- Location of the buildings on the site have minimized the potential massing impact over surrounding streets, the development being proposed on the west side of Stolberg Street (Cambie I) and any future development to take place in the future on the site immediately to the east.
- Building massing has well addressed the transition and provided the scale and separation conditions that will facilitate the building relationship to any future development to the east by providing a 12.0 m setback for the central north-south building extending along the east property line and a 6.8 m setback at the ending of the two (2) east-west building blocks along Cambie Road and McKim Way.
- Strong mass articulation, east facade treatment of the north-south central building and increased setback along the east property line will ensure compatibility, protect and facilitate full development potential of the adjacent parcel. At the City's request, the applicant has submitted a conceptual site development plan for the adjacent parcel that demonstrates that its full development potential, as envisioned in the Alexandra Area Plan can be realized based on the same density and building form of the proposed development.
- Relationship and scale transition conditions to street level and potential future developments to the south are also well achieved by the increased setback to the street, building mass and stepping of the top of the building and planters along McKim Way.

### ***Urban Design and Site Planning***

- Changes introduced to the proposal after review by the Advisory Design Panel are considered acceptable from an Urban Design stand point of view in that they address the contextual and massing objectives for the subject development site, as discussed at the Panel and at various subsequent meetings with planning staff.
- Proposed development, in combination with the proposed Cambie I development across the street, will define the northern gateway of the Alexandra Neighbourhood on Cambie Road.
- Disposition of buildings on the site achieve an interesting residential courtyard type of development concept that relates well and reinforces the similar development scheme of Cambie I to the west, across Stolberg Street.

- Residential courtyard type of development concept offers good opportunities for outdoor recreation activities, facilitates social interaction and allows casual surveillance over common spaces.
- Stepping mass of the upper central portion of the east-west residential block along McKim Way facilitates a soft interface/transition to any future development to the south.
- Low masses of the commercial building and indoor amenity building minimize the perception of density, reinforce a pedestrian scale at the courtyard and relate well to the central lower mass of the Child Care Centre across Stolberg Street.
- Pedestrian entrances to Blocks A and C buildings, located at the corner of Stolberg Street with McKim Way and Cambie Road respectively, provides pedestrian activity and interest at these intersections.
- Pedestrian/street activity in the area is also reinforced by the location of the small commercial building (including a western facing outdoor deck) at the entrance to the courtyard from Stolberg Street, at mid-point between Cambie Road and McKim Way.
- Increased setbacks and stepped planters along street frontages have achieved the desirable grade transition and public realm treatment of the interface area between buildings and sidewalk. This aspect was raised as a concern at the rezoning phase due to the parkade rising above the sidewalk level along the Cambie Road and McKim Way frontages.
- Access to the proposed underground parking level is provided from the south, from the new McKim Way, at the southeast corner of the site. Access to surface commercial parking and loading and unloading bay is provided from Stolberg Street.
- The proposed development includes a total of 334 parking spaces with six (6) short-term parking spaces (including one (1) handicap space) provided at grade, in the central courtyard.
- The total number of parking spaces provided includes 294 parking spaces for residents and 40 parking spaces for commercial/visitors uses. Visitor parking in Parking Level is separated from residents parking by overhead security gates.
- The total number of parking spaces provided includes four (4) resident handicap spaces and three (3) visitor/commercial handicap spaces; one (1) of these spaces is provided at grade, in the central courtyard.
- The total number of parking spaces provided for the proposal conform to Comprehensive Development District (CD/196) requirements.
- Garbage storage and compactor room is provided at the end of the access ramp to the parking level from McKim Way; adequate vehicle manoeuvring area has been provided in front to service the compactor room.
- A hard surface textured surface holding area for recycling bins is provided at street level on McKim Way at the southeast corner of the site; the textured pavement on this area, combined with stepping planters and landscaping, integrate this service area to the proposed landscaping treatment along the street frontage.

### ***Architectural Form and Character***

- Form and character of buildings along Stolberg Street relate well to the buildings in Cambie I across the street.
- The central courtyard, in addition to being the organizing space of the proposed development also acts as an open vestibule that provides access to the front door of the lower level townhouses around it that, in addition, contributes to provide casual surveillance over this common space. The character of the courtyard achieves the intended pedestrian and human at the interior of the development complex.

- The architectural treatment and articulation of the building facades relate well to the intended residential character of this entrance area to the neighbourhood and are compatible with lower density residential areas expected to the south of McKim Way.
- Treatment and materials at the entrances to Buildings A and C, located at the corner of Stolberg Street with McKim Way and Cambie Road offer respectively, provide pedestrian activity and interest at these intersections and, in combination with the end stairs' vertical mass, define strong anchors at these corners.
- Strong wood screen façade components at the building ends toward the corners of Stolberg Street with Cambie Road and McKim Way help to identify the entrance point to the buildings and the gateway character of these intersections.
- The design of the western end of the north-south building block along Cambie Road (at the entrance to the Alexandra Neighbourhood from Cambie Road) will be further refined in close coordination with the expected Public Art process that will contribute to highlight and reinforce the character of the Stolberg Street and Cambie Road intersection area as the north gateway to the Alexandra Neighbourhood.
- East façade and mass of north-south building (Building B along the east property line) and the east-west building (Building A along McKim Way) provide good vertical articulation and achieve the desired bookend type of mass configuration that accentuates the perception of these buildings as three (3) separate smaller buildings.
- Architectural detailing, articulation and expression of the residential building blocks toward McKim Way and Cambie Road has achieved the desired level of architectural detailing sought through discussions with staff and identified during the rezoning process.
- Low scale, street-oriented character of the commercial building and provision of an outdoor deck toward the street will contribute to the desired street level activity along Stolberg Street and relate well to the immediate expected building context (i.e. Child Care Centre building across the street).
- The proposed development provides barrier-free access from the street to the various buildings and from the apartment units to the various amenity spaces (outdoor and indoor) included in the proposal.
- The proposal includes two (2) fully "accessible" units (1 Studio unit and 1 2-bedroom unit). These units are provided on the third level at the southeast and southwest interior corners of the central courtyard.
- All units in the building will be provided with blocking in the walls of one (1) of the bathrooms of every unit in the proposed development, for future installation of grab bars and "lever" action latches in all doors to facilitate "aging in place". Any of the units in the proposed development have the potential to be converted into accessible units, as per proposed "universally accessible unit plans", to the request of the buyer.
- Concerns regarding liveability of some internalized bedrooms in the 1-bedroom units raised at the rezoning phase have been addressed where possible, by introducing translucent, glazed panels into the walls and doors framing the stairs. In addition, where possible, units at inside or outside corners of the building(s) now include windows on sidewalls of previously interior bedrooms. Top floor units have clerestory windows to bring light into interior bedrooms

- Indoor amenity space of approximately 175.3 m<sup>2</sup> (1,886 ft<sup>2</sup>) is provided on a one-level building located in the centre of the central courtyard, dividing the large central open space into two (2) smaller areas with different character and functions. Access to the indoor amenity building is from Stolberg Street, at the end of a wide sidewalk, that links residential developments on both sides of this street.
- The central courtyard acts as an open lobby to the townhouses around it; these units have their front door facing the courtyard. This outdoor amenity area closely relates to the smaller courtyard provided in the development across Stolberg Street.
- The soft and hard landscaped areas over the parkade slab provide opportunities for various uses; passive and quiet to the north, and more structured and formal resident's activities on special occasions on the hard surface area of the courtyard (parking area) that is planned as a multiple use area.
- The children play and a soft landscaping area provided on the north side of the amenity building, is the natural outdoor extension of the indoor amenity space.
- The central outdoor amenity area and indoor amenity building are directly and easily accessible from the townhouse units around the central courtyard and building staircase/elevator core of all buildings via the courtyard perimeter wide pedestrian path.

#### ***Landscape Design and Open Space Design***

- Lower level of the stepping planters along Cambie Road will be articulated to provide seating, add interest to public realm and soften the presence of a parkade level podium rising above the level of the sidewalk. Articulation and treatment of the stepping planters will be consistent with and extend the Cambie Road street frontage treatment of the Cambie I development proposed on the west site of the subject proposal.
- The central landscaped and hard surface area of the central courtyard acts as an open lobby to the proposed development and closely relates to the open space provided in Cambie I to the west, across Stolberg Street.
- Treatment of landscaping and hard surfaces in the central courtyard and entrance area from Stolberg Street facilitate different types of activities. The landscaped and play area on the north side allows for more quiet and enclosed environment, while the textured hard surface area of the parking area on the south side will allow for more formal activities on special occasions.
- Slightly raised private patios of townhouse units around the courtyard are separated from the more public pedestrian path by planters and landscaping. Pedestrian level lighting, textured pavement, colour and other landscaping features contribute to a strong pedestrian ambiance of the central courtyard.
- A wide landscaped area has been provided along the central portion of the site's east property line, in front of the main entrance to the townhouse units that face eastward. This landscaped area acts an extension of the front yard of these units, provides for additional outdoor amenity areas for all residents and contributes to a soft buffer/transition to any development to take place on the abutting site to the east in the future.
- Plant material for the proposed development includes a total of 143 trees to be planted within the boundaries of the site; this number includes 13 coniferous trees. In addition, the landscaping plan indicates approximately 4,500 shrubs to be planted on the site and a similar number of ground covers.



### ***Affordable Housing***

- The proposed development has satisfied the City's affordable housing requirements by contributing to the construction of a total of 22 affordable housing units (Low End Market Rental units) in the Cambie I development site, across from Stolberg Street. Construction of these affordable housing units is being dealt with as a Rezoning Consideration under a separate Development Permit (DP 08-430877). The Low End Market Rental units will be secured in perpetuity via a Housing Agreement.

### ***Sustainable Aspects of the Proposal***

- Landscaping includes drought tolerant planting that requires less water
- Landscaping over the parkade slab and light coloured roofing over commercial space will reduce heat island effect
- Locally sourced materials
- Proposed geothermal ground source heat pump system that provides energy for heating and cooling
- Proposed development is a potential candidate for connecting to a District Neighbourhood Energy Utility project. Ongoing discussions with the City on this matter are undergoing
- Low-flow toilets and showerheads. Low-Flow faucet Aerators
- Energy Star rated windows with low E-glazing
- Energy and water efficient front loading washers and dryers
- Low VOC paints and environmentally friendly bamboo flooring from renewable resources

### ***Crime Prevention Through Environmental Design***

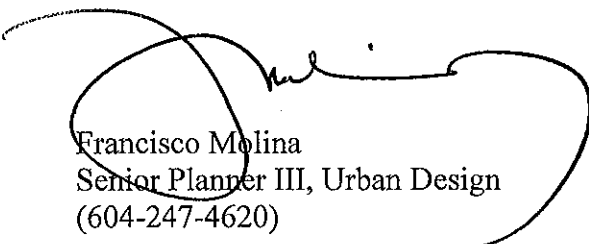
Proposed development has responded to previous concerns and implemented basic CPTED principles, including:

- Use of reflective white paint and open central parking area layout
- Improved visibility (and access) into elevator lobbies
- Provision of glazing into elevator lobbies and vision panels in all doors leading to public accessible areas (exit stairs)
- Clear definition of pedestrian circulation areas to access stairs and elevator core areas and path from visitor parking area to elevator core
- Site planning, location of buildings and window of units facilitate passive surveillance over indoor and outdoor amenity spaces and over the street
- A total of approximately 135 light fixtures distributed throughout the site; especially along the pedestrian paths around the courtyard, the landscaped area along the east property line and at other strategic locations on the site to ensure these areas remain safely lit. This number includes a combination of bollard lighting, step lights, pole-mounted lights and tree uprights.

## Conclusions

The proposed development has properly resolved the site development challenges placed by the dedication and alignment of the new McKim Way and extension of Stolberg Street to the south from Cambie Road. The proposal responds well to planning objectives for the area and this specific site. The massing and overall site planning courtyard concept relates and integrates well to the proposed development across Stolberg Street while also protecting the future development of adjacent properties to the east and to the south. The proposed development will contribute to consolidating a strong and pleasant gateway and entrance corridor to the Alexandra Neighbourhood from the north.

Staff recommends approval of the subject development permit application.



Francisco Molina  
Senior Planner III, Urban Design  
(604-247-4620)

FM:blg

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$927,055.12 (based on cost estimates provided by the project's landscape architect: VanderZalm & Associates).

Prior to future **Building Permit** issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/tp/special.htm>).



**City of Richmond**

6911 No. 3 Road  
 Richmond, BC V6Y 2C1  
 www.richmond.ca  
 604-276-4000

**Development Application  
 Data Sheet  
 Development Applications Division**

**DP 08-431155** **Attachment 1**

Address: 9420, 9460 and 9480 Cambie Road

Applicant: ORIS DEVELOPMENT (CAMBIE) CORP. : Oris Developments (Cambie 2) Corp Owner

Planning Area(s): West Cambie Area Plan - Alexandra Neighbourhood

Floor Area Gross: 18,058 m<sup>2</sup> Floor Area  
Net: 16,751.8 m<sup>2</sup>

	Existing	Proposed
<b>Site Area:</b>	11,950 m <sup>2</sup>	11,021.9 m <sup>2</sup>
<b>Land Uses:</b>	Parking Lot	Residential
<b>OCP Designation:</b>	Neighbourhood Residential	Neighbourhood Residential
<b>Alexandra Neighbourhood in West Cambie Area Plan:</b>	Residential Area 1. 1.5 base FAR (Max. 1.7 FAR with density bonus for affordable housing). Townhouse, Low-rise Apartments (4-storey typical)	"Residential Area 1A 1.5 base FAR (Max. 1.75 FAR with density bonus for affordable housing). Townhouse, low-rise Apartments (6-storey maximum)"
<b>Zoning:</b>	Comprehensive Development District (CD/137)	Comprehensive Development District (CD/196)
<b>Number of Units:</b>	0	193 dwelling units

	Bylaw Requirement	Proposed	Variance
<b>Floor Area Ratio:</b>	1.52	1.52	none permitted
<b>Lot Coverage:</b>	Max. 65%	45.4%	Complies
<b>Setback – Stolberg Street:</b>	Min. 2.85 m	4.1 m	Complies
<b>Setback – Cambie Road:</b>	Min. 4.5m	6.5 m	Complies
<b>Setback – McKim Way:</b>	Min. 3.0 m	6.3 m	Complies

Setback – East PL:	Min. 3.2 m	6.8m	Complies
Height (m):	Max. 24.0 m	18.0 m	Complies
Lot Size:		11,021.9 m <sup>2</sup>	Complies
Off-street Parking Spaces – Residents Visitor/Commercial:	290 (Residents) 39 (Visitor/Commercial)	294 (Residents) 40(Visitor/Commercial)	Complies
Off-street Parking Spaces – Accessible:	7 (2%)	7	Complies
Off-street Parking Spaces-Small Cars	230 (70%)	85 (26%)	Complies
Total off-street Spaces:	329	334	Complies
Tandem Parking Spaces	OK if the two spaces assigned to same unit	148 tandem spaces (assigned to 74 units)	Complies
Amenity Space – Indoor:	100 m <sup>2</sup>	175.3 m <sup>2</sup>	Complies
Amenity Space – Outdoor:	Min. 1,164 (Max. 600 m <sup>2</sup> Play area)	approx. 1,605 m <sup>2</sup> (93 m <sup>2</sup> Play area)	Complies

Note. There are no trees on the site as it is currently used as a parking area



**City of Richmond**

6911 No.3 Road, Richmond, BC V6Y 2C1  
Telephone (604) 276-4000  
www.city.richmond.bc.ca

August 19, 2008  
File: 08-4105-20-AMANDA #/2008-Vol 01

Planning and Development Department  
Fax: 604-276-4052

Ann Gosen  
2700 184th Street, RR3  
Surrey BC V3S 9V2

Dear Mrs. Gosen:

**Re: Proposed Development Adjacent to 9500 Cambie Road**

Thank you for expressing your concerns about proposed development adjacent to your property at 9500 Cambie Road. As discussed by phone on August 18<sup>th</sup>, 2008, I offered to mail you relevant information on the proposed development at:

- 9340/9360/9400 Cambie Road (Cambie I), and,
- 9420/9460/9480 Cambie Road (Cambie II).

Enclosed is information about the proposed development, presented at the Public Hearing held July 21<sup>st</sup>, 2008, that I thought would be of interest to you:

- an excerpt from the Minutes to the Public Hearing;
- a copy of the staff report on the proposed development application and excerpts from attachments to the report; and,
- various plans and renderings submitted by the developer as part of this application, including a site plan and conceptual plans showing future development potential of your property at 9500 Cambie Road.

The development application has received 1<sup>st</sup>, 2<sup>nd</sup>, and 3<sup>rd</sup> reading by Richmond City Council, and there are several rezoning conditions that must be dealt with before the development application is able to receive final Council approval (also enclosed).

If you have any questions, please contact me directly at 604-276-4108.

Sincerely,

Cynthia Lussier  
*Planning Assistant*

CL:cl  
Encls.



City of Richmond

6911 No.3 Road, Richmond, BC V6Y 2C1  
Telephone (604) 276-4000  
www.city.richmond.bc.ca

May 7, 2009  
File: 08-4100-02-01/2009-Vol 01

Planning and Development Department  
Fax: 604-276-4052

Ann Gosen  
2700 184th Street, RR3  
Surrey BC V3S 9V2

Dear Ms. Gosen:

**Re: Development Permit Applications – Cambie Road, Richmond**  
9340/9360/9400 Cambie Road (“Cambie I”)  
9420/9460/9480 Cambie Road (“Cambie II”)

The purpose of this letter is to respond to concerns you expressed by phone to City staff on May 4, 2009, regarding the proposed development adjacent to your property at 9500 Cambie Road.

Further to the information package sent to you by City staff in response to your request in August 2008, we understand that you continue to have concerns about the proposed Rezoning and Development Permit Applications at 9340/9360/9400 Cambie Road (“Cambie I”) and 9420/9460/9480 Cambie Road (“Cambie II”). Specifically, you have expressed the following recent concerns:

1. that you were not informed in writing of the Development Permit Panel meeting at which the proposed Development Application for 9340, 9360 and 9400 Cambie Road was presented;
2. that you would like clarification on why the developer has the right to design a building on your property;
3. that you oppose the height of the proposed adjacent development, which you feel will cause a shadow on your property; and,
4. that you would like clarification on why the configuration of the proposed new road has changed from straight to winding.

In response to your concerns, I provide the following comments:

Public Notification

The City Clerks’ Office has confirmed that written notification of the Public Hearing held July 21, 2008, to consider the Rezoning for “Cambie I” and “II” was mailed to your Richmond and Surrey addresses on July 10, 2008. This notification also invited you to make a presentation or submit written comments at the Public Hearing if you believed that you were affected by the proposed rezoning bylaw. Four months after the Public Hearing involving the proposed developments, written notification of the Development Permit Panel meeting held November 26, 2008, to consider the Development Permit Application for “Cambie I” was mailed to your Richmond and Surrey addresses on November 13, 2008.

Notification of the Development Permit Panel meeting to consider "Cambie II" (the proposed development immediately adjacent to your property), will be sent by mail to your Richmond and Surrey addresses providing you the opportunity to provide further input into the proposed development.

Conceptual Site Planning for your Property

The developer was requested to provide a conceptual site plan for potential future development on your property at 9500 Cambie Road in order to ensure that your property could be developed to its full potential under the same density and quality as the proposed development being considered in the subject development application at 9420/9460/9480 Cambie Road.

Height-Related Issues

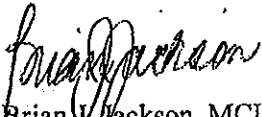
It is understood that you oppose the height of the proposed adjacent development on the basis of the shadow impact on your property. The proposed height is within the height range permitted under the Alexandra Neighbourhood Area Plan, and your property has the potential and is expected to develop to the same height as the proposed development under consideration at the adjacent property. Although there will be shadow cast on your property, the perceived impact of shadowing will be less if your property redevelops in the future. In addition, the central building that is proposed parallel to your west property line is located more than 12 m away from your property and substantial landscaping is provided to ensure both adequate sun penetration and a landscaped open space interface between the two properties. This setback, which exceeds the minimum zoning requirements, is expected to address shadow and future mass interface issues.

Road Alignment

Staff are not aware of any changes to the alignment of the proposed new road from straight to winding that you have raised as a concern. The proposed road alignment is consistent with the Alexandra Neighbourhood Area Plan as approved by City Council. Only minor refinements of road alignments portrayed in the Area Plan conceptual map are implemented at time of development, when detailed engineering design is completed, to satisfy vehicular operational requirements.

If you have any further concerns about the planning process and available opportunities for providing further input on these development applications, please contact me directly at 604-276-4138.

Yours truly,



Brian V. Jackson, MCIP  
Director of Development

BJ:cl

pc: Mayor's Office  
Corporate Admin

**Excerpt from the Minutes from  
The Design Panel Meeting**

**Wednesday, January 07, 2009 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall**

**Development Permit 08-31155 – MIXED USE DEVELOPMENT INCLUDING APPROXIMATELY 194 DWELLING UNITS IN THREE 4-STOREY BUILDINGS AND APPROXIMATELY 160 SQUARE METERS (1,725 SQ.FT.) OF COMMERCIAL SPACE (FORMAL)**

APPLICANT: Patrick Cotter Architects, Inc.

PROPERTY LOCATION: 9420-9480 Cambie Road

Francisco Molina, Planner, provided background information related to the subject site. Patrick Cotter, Dana Westermarck and Mark van der Zalm, Landscape Architect, presented the changes made to the project since its earlier presentation to the Panel with a PowerPoint presentation and with the aid of artist renderings.

**Panel Discussion**

*Comments from the Panel were as follows:*

- very elegant treatment of the courtyard; visitor parking not so conspicuous; ensure inclusion of some signage and identification of parking spaces;
- nice to see strong colour palettes; serves to break up the massing of buildings;
- good job in breaking up what could have been a big U-shaped block of buildings; looks good from different corners and angles;
- a much more improved project since its previous presentation to the Panel; substantial changes made in response to the previous comments of the Panel;
- flow of visitor traffic through the buildings made clearer;
- would appreciate inclusion of a larger percentage of accessible units;
- project has merit; breaking out of the amenity and commercial buildings are appreciated; gives them more identity and differentiation from the residential units;
- concerns related to the middle block, consider shifting the block further east;
- blank tunnel walls are a concern, further development of the character and resulting environment of the tunnel spaces should be undertaken;
- courtyard treated nicely; however, further development is required on the small space in the northeast;
- understands the temporary use of the pedestrian path for loading but the feasibility of an alternate location should be investigated to avoid obstruction/discontinuity of the path; courtyard is well designed, consider reducing the size of the concrete slabs entering the courtyard to reduce the impact of the width of the hard surface; unfortunate that vehicles enter the courtyard;
- use of materials and colour choices are very good;



- concern related to the accessibility of some ground oriented units to parking level; look at the floor plan for possible interior connections;
- liveability of internal bedrooms/dens is a challenge to be addressed; ventilation and illumination of bedrooms are important considerations;
- character of the project and quality of presentation is appreciated;
- percentage of concrete on the driveway vis-à-vis the total open space in the courtyard is too large; consider reducing it to have more green space for the residents;
- consider increasing the size of the play area for children because the development is a family oriented housing with more than 190 units;
- not convinced with the rationale for the dens in the townhouse; liveability of second bedrooms is greatly compromised;
- appreciates the gesture to create a more discreet access to cars entering the site but extent of paving, particularly at the access to the courtyard, should be reduced;
- consider alignment of parking space wheel stops to avoid the impression of a haphazard parking;
- consider reducing the extent of hard surface treatment to provide opportunity to enhance the continuity of the lawn areas; planting can be brought up right to the face of the concrete;
- further extend the cluster of five trees located east of the amenity building to minimize the impact of vehicle headlights on the eastern apartment building;
- consider reducing the geometric impact of the “V” ramp on the southwest corner to enhance the appearance of the corner;
- reconsider use of expansive hard surface panels in the north east corner of the courtyard and between the north side of the commercial building and the adjacent residential apartment;
- the choice of pole lights is good; ensure that no beacons of light shine into residents’ windows;
- with regard to the narrow strip of lawn between the property line and the sidewalk, consider moving the sidewalk to the property line or planting ground cover or other shrubs to the base of the sidewalk;
- applicant has responded nicely to many issues; same comments on the materiality and scale of the paving slabs; scale seems out of proportion considering its pedestrian use;
- impact of the width of concrete slabs at the courtyard entrance has significant importance because of its scale in comparison with landscape surface treatment; consider a smaller module to enhance and reinforce the pedestrian character;
- for the interior pathway edges, consider use of more sophisticated materials like wood/timbers as low retaining walls on top of the slab to establish a warmer treatment;
- give more emphasis on canopy treatment; U-shaped canopy creates a more intimate condition; mitigates the harshness of the surface; and
- understands the harshness of the Cambie Road environment; however, consider extending treatment similar to that proposed along McKim Way and Stolberg Street along the Cambie Road frontage; create as much visual friction as possible to slow down traffic and improve pedestrian environment.

**Panel Decision** (Note. Applicant responses shown in **bold italics**)

It was moved and seconded

That DP 08-431155 move forward to the Development Permit Panel taking into consideration the following comments of the Advisory Design Panel:

1. *further development of the liveability of the interior bedrooms in all ground oriented units, which includes addressing light and ventilation issues to improve the conditions of the bedrooms;*

*Liveability of the interior bedrooms is enhanced by:*

- *Mechanical ventilation*
- *The introduction of translucent, glazed panels into the walls and doors framing the stairs*
- *Units with side walls exposure have windows introduced at interior bedroom locations*
- *Top floor units have clerestory windows introduced to bring light into interior bedrooms*

2. *undertake improvements to hard surface treatment within the courtyard, including reducing the width of concrete slab treatment at the courtyard entrance, development of materiality, adjusting the scale of the concrete slabs throughout the courtyard, and extension of landscaping along edges;*

*Improvements to hard surface treatment within the courtyard include:*

- *Refinement of concrete slab motif at entrance with minimal width to allow for vehicular access and dedicated pedestrian path*
- *Refinement of materials and colours of all hard surfaces*
- *A scaling down of the slab motif along all pathways*
- *An extension of landscaping along the north, south and east edges of the inner courtyard*

3. *consider signage and identification of parking areas;*

*Parking stall signage and demarcation will be achieved by:*

- *Material banding through the slab motif*
- *Aligned wheel stops (timber, granite or concrete)*
- *Posted signage for handicap and loading stalls*

4. *consider the location and orientation of the visitor parking stalls and the overall scale of the courtyard parking area;*

*Courtyard stalls are assigned as commercial parking and will have wheel stops in line so as to eliminate staggered parking*

*Scale of courtyard parking area is suitable for parking, loading and manoeuvring.*

*Minimal extra hard surface incorporated for staggered slab motif*

*This area is also intended as small "urban square" for special events*

5. *consider improving sunlight penetration to the spaces in the northeast and southeast corners of the courtyard;*

*These areas have already been opened up from the previous design increasing the distance between building faces from approximately 25 ft. to over 50 ft.*

6. *consider further design development and location of loading area to avoid any conflict with the pathway around the central courtyard;*

*Loading area has been relocated to avoid conflict with pathway.  
Refer to site plan*

7. *consider further design development of the tunnel areas to address concerns associated with proposed blank walls and isolation of the space;*

*Appropriate sections and elevations have been generated to illustrate the design and character of the "tunnel" breezeway area. This character will be developed through the use of landscaping, lighting, screening elements and an articulated soffit motif.*

8. *consider opportunities to further develop connectivity between ground oriented units in the east building with the parking;*

*Only 16 of 94 ground floor units do not have internal access to parking. These units can access stair and elevator lobbies via a short walk along the courtyard pathways.*

9. *consider increasing the size of the play area;*

*A small play area structure(s) has been located near more open area of the central courtyard, providing more informal and flexible space for play.*

10. *consider proportion of shrub planting to lawn areas and relationship along property lines and pathways;*

*A more balanced proportion of shrub planting to lawn areas has been explored along property lines and pathways. refer to landscaping plans.*

11. *consider more tree and shrub planting at the corners of the property, at ramp areas, and at building entrances;*

*Landscaping will be refined and enhanced at the corners of the property, ramp areas, and building entrances. refer to landscaping drawings.*

12. *consider light fixtures within the courtyard that minimize impact on adjacent dwelling units; and*

*The courtyard will be illuminated with low level lighting such as bollard fixtures and recessed planter wall down lights along pathways.*

13. *consider the architectural treatment of the edges and soffit on the tunnel and use of materials.*

*See response to #7, above*

**CARRIED**



**No. DP 08-431155**

---

To the Holder:                   ORIS DEVELOPMENT (CAMBIE) CORP.

Property Address:               9420, 9460 AND 9480 CAMBIE ROAD

Address:                         C/O DANA WESTERMARK  
                                      12235 NO. 1 ROAD  
                                      RICHMOND, BC V7E 1T6

---

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #24 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$927,055.12 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

# Development Permit

No. DP 08-431155

To the Holder: ORIS DEVELOPMENT (CAMBIE) CORP.  
Property Address: 9420, 9460 AND 9480 CAMBIE ROAD  
Address: C/O DANA WESTERMARK  
12235 NO. 1 ROAD  
RICHMOND, BC V7E 1T6

---

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF

ISSUED BY THE COUNCIL THE

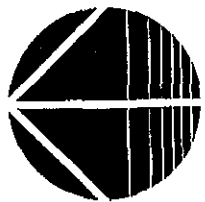
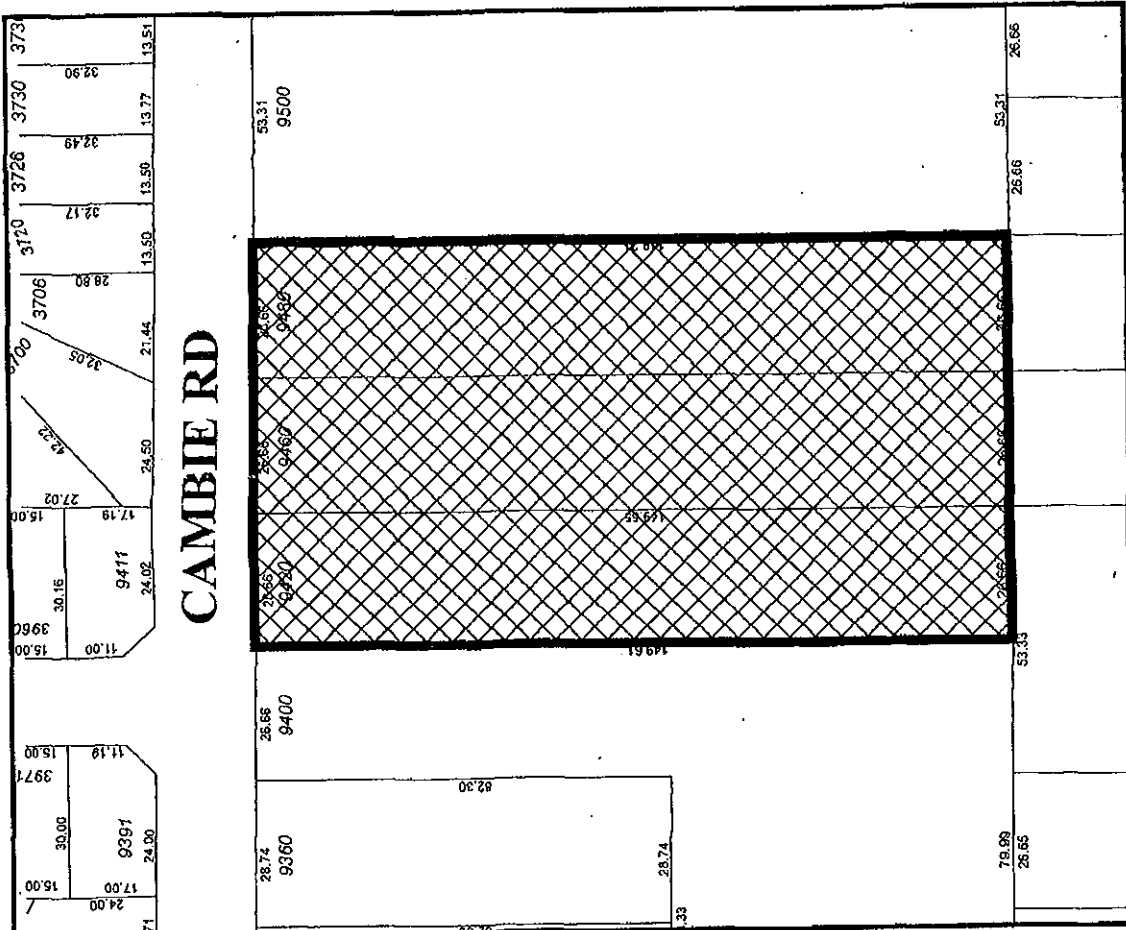
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MAYOR



# City of Richmond



## DP 08-431155 SCHEDULE "A"

Original Date: 08/07/08

Revision Date:

Note: Dimensions are in METRES

# 2008 4068 4088 STOLBERG ST MULTIFAMILY RESIDENTIAL DEVELOPMENT, RICHMOND, B.C.

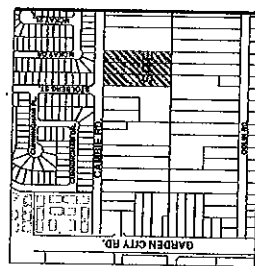
### PROJECT DATA:

CITY ADDRESS: 4068, 4088, 4088 ST. CUNBERG ST.  
RICHMOND, BRITISH COLUMBIA  
LEGAL ADDRESS: SEC 24 BUSHY CREEK FZ, 12741 LOT 6157, SHERWOOD BLOCK A  
SEC 24 BUSHY CREEK FZ, 12281 LOT 6124, SHERWOOD BLOCK A  
SEC 24 BUSHY CREEK FZ, 12281 LOT 6124, SHERWOOD BLOCK A  
PARCEL ID: 014-054-478  
014-054-481  
014-054-489  
APPLICANT: PATRICK COTTER ARCHITECT INC.  
ZONING: EXISTING: CO-17  
PROPOSED: CO-COMPREHENSIVE  
DEVELOPMENT

### DRAWING LIST:

A-001 COVER/DEVELOPMENT DATA  
A-101 CONCEPT SITE PLAN  
A-102 STREETScape ELEVATIONS  
A-201 PARKING LEVEL PLAN  
A-202 LEVEL L1 PLAN  
A-203 LEVEL L2 PLAN  
A-204 LEVEL L3 PLAN  
A-205 LEVEL L4 PLAN  
A-206 ROOF PLAN  
A-208 ACCESSIBLE UNIT PLANS  
A-301 BUILDING SECTIONS  
A-302 BUILDING ELEVATIONS  
A-401 BUILDING SECTIONS  
A-402 EDGE CONDITIONS  
A-403 SCENERY CONDITIONS  
A-404 EDGE CONDITIONS  
A-501 MECHANICAL PLANS & ELEVATIONS  
A-502 CABINETS, ISLANDS & ELEVATIONS

### LOCATION PLAN:



### DEVELOPMENT DATA:

BLK	LG	Area	Height	Floor Area Ratio (F.A.R.)
L1	1164230	11227.40	2.72	1.10
L2	1214250	18260.28	1.53	1.10
L3	1214250	18260.28	1.53	1.10
L4	1214250	18260.28	1.53	1.10
ROOF	0000000	0.00	0.00	0.00
TOTAL AREA		66403.96		
Net Site Area	1164230	11227.40		
Net Floor Area		55037.56		
Total Floor Area		66403.96		
Net F.A.R.		0.48		
Max. F.A.R.		2.72		
Site Coverage		6.7%		
Min. Plot Area	7085	15385.45		
Min. Plot Frontage	175.1			

### AREA SUMMARY:

BLK	A	B	C	D	E	Area	Units
L1	27825.85	17255.25	12523.50	13862.5	2280.9	54067.0	162
L2	30825.85	19255.25	13523.50	15362.5	2580.9	60607.0	186
L3	30825.85	19255.25	13523.50	15362.5	2580.9	60607.0	186
L4	30825.85	19255.25	13523.50	15362.5	2580.9	60607.0	186
ROOF	0.00	0.00	0.00	0.00	0.00	0.00	0
TOTAL AREA	120307.40	75820.80	53420.00	59510.00	10502.70	175806.90	534
TOTAL UNITS	534	534	534	534	0	534	534

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Patrick Cotter  
4068, 4088, 4088 STOLBERG ST  
(PREVIOUSLY  
4068, 4088, 4088 STOLBERG ROAD)  
RICHMOND, BRITISH COLUMBIA  
V6X 4C8  
City of Richmond  
V6X 4C8

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COVER PAGE

A-001 C

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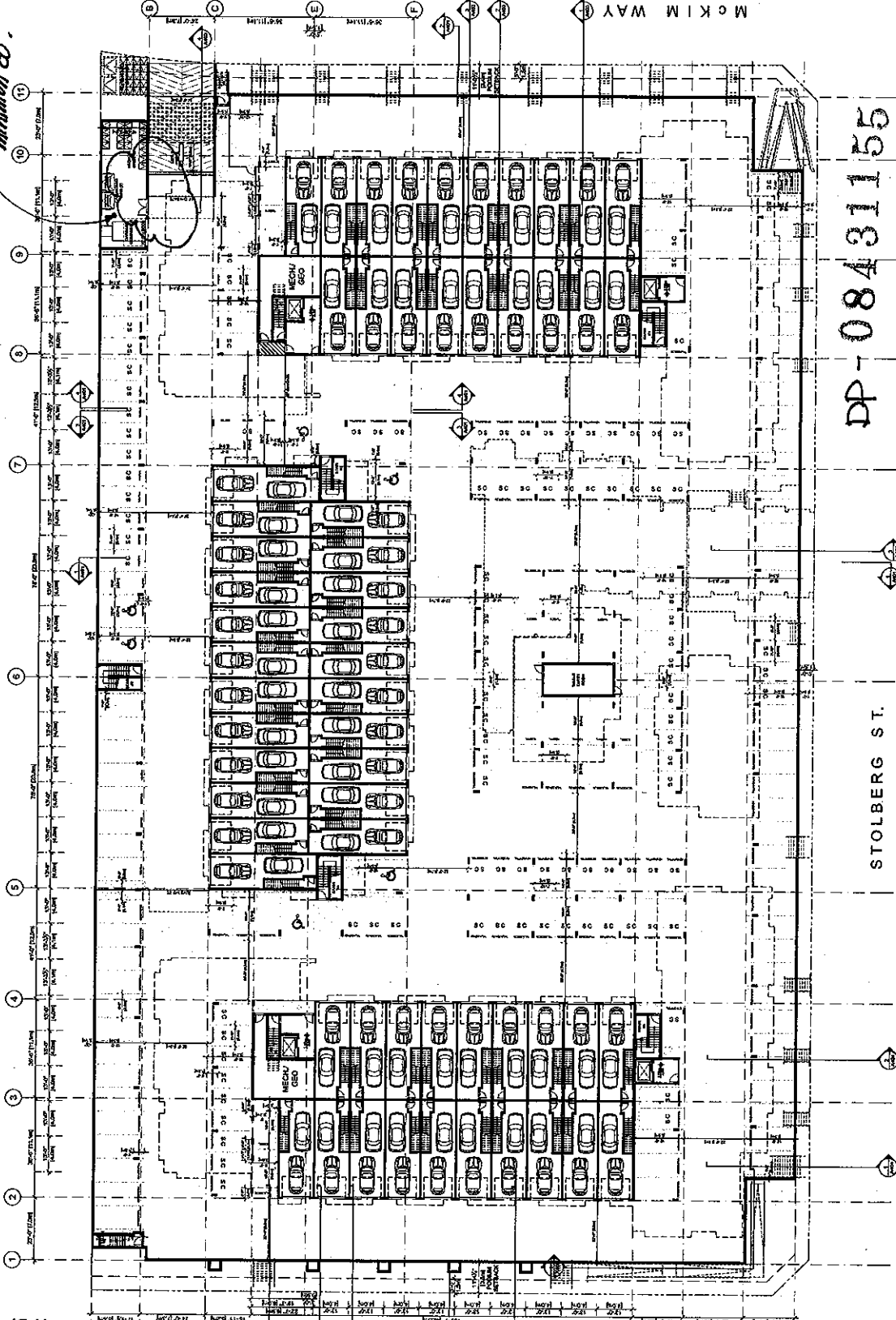
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*door opening  
minimum 80"*

CAMBIE R.D. 1 2 3 4 5 6 7 8 9 10 11



NOTES:

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PERMITTING REQUIREMENTS:

- 1. All work shall be in accordance with the City of Vancouver Building Code.
- 2. All work shall be in accordance with the City of Vancouver Fire Code.
- 3. All work shall be in accordance with the City of Vancouver Electrical Code.
- 4. All work shall be in accordance with the City of Vancouver Gas Code.
- 5. All work shall be in accordance with the City of Vancouver Mechanical Code.
- 6. All work shall be in accordance with the City of Vancouver Plumbing Code.
- 7. All work shall be in accordance with the City of Vancouver Fire Department's requirements.
- 8. All work shall be in accordance with the City of Vancouver's requirements for accessibility.
- 9. All work shall be in accordance with the City of Vancouver's requirements for energy efficiency.
- 10. All work shall be in accordance with the City of Vancouver's requirements for environmental sustainability.
- 11. All work shall be in accordance with the City of Vancouver's requirements for safety.

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Pratt & Cramer  
 4082, 4088, 4098 STOLBERG ST  
 8400, 8402, 8404 CAMBIE ROAD  
 RICHMOND, BRITISH COLUMBIA  
 VAN  
 Onis Developments  
 (Cambie 2) Corp.

2

PT PLAN

DATE: 11/11/11  
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 CHECKED: [Name]  
 SCALE: 1/8" = 1'-0"

STOLBERG ST.

DP-08431155

A-201 C

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1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

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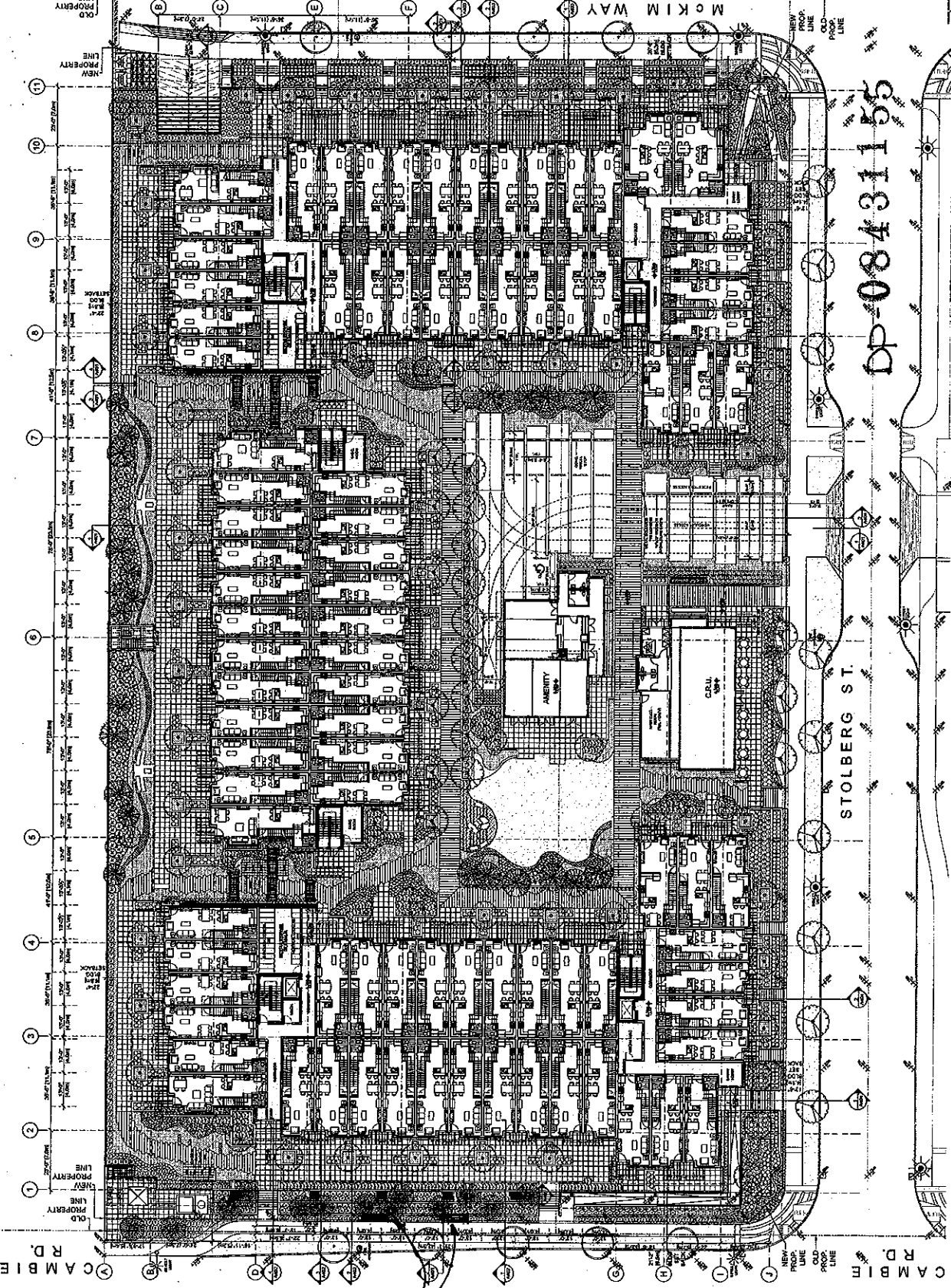
NO.	DESCRIPTION	DATE
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6	REVISED PLAN	03/15/12
7	REVISED PLAN	04/15/12
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17	REVISED PLAN	02/15/13
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19	REVISED PLAN	04/15/13
20	REVISED PLAN	05/15/13

USDA, U.S. DEPARTMENT OF AGRICULTURE  
 NATIONAL AERONAUTICS AND SPACE ADMINISTRATION  
 FEDERAL BUREAU OF SURVEY  
 NATIONAL CENTER FOR GEOGRAPHIC INFORMATION  
 NATIONAL MAPS AND INFORMATION CENTER  
 NATIONAL CENTER FOR EARTH AND SPACE INFORMATION

Project: Cottier  
 4005, 4008, 4018 STOLBERG ST  
 (ON PORTUGAL CANNON ROAD)  
 RICHMOND, BRITISH COLUMBIA  
 CHS Developments  
 (Cambie 2) Corp.

NO.	DESCRIPTION	DATE
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20	REVISED PLAN	05/15/13

L1 PLAN  
 A-202  
 C



DP-08431155

*benckus*





NOTES

1. SEE GENERAL REQUIREMENTS.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND THE NATIONAL FIRE ALARM AND SIGNALING CODE (NFASC).

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE (CNEC) AND THE CANADIAN NATIONAL PLUMBING AND MECHANICAL CODES (CNPM/CNMC).

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL MECHANICAL AND PLUMBING CODES (CNM/CNP).

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL FIRE ALARM AND SIGNALING CODE (NFASC).

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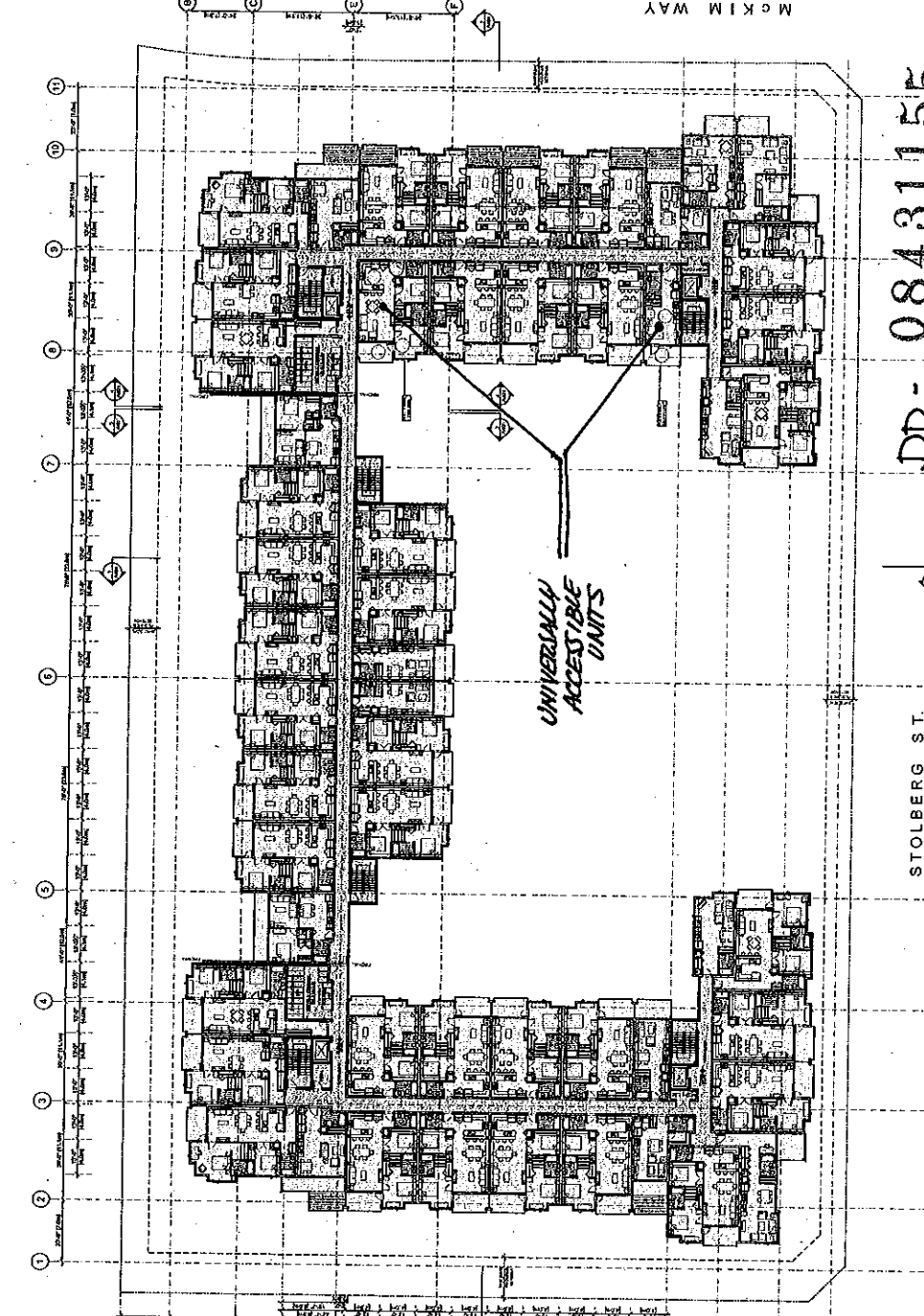
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20	ISSUED FOR PERMITTING	10/15/00

Project: Centre  
 4008, 4088, 4088 STOLBERG ST  
 (PREVIOUSLY  
 8402, 8402, 8402 CAMBIE ROAD)  
 VANCOUVER, BRITISH COLUMBIA  
 DTS Developments  
 (Canada) Corp.

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7	ISSUED FOR PERMITTING	10/15/00
8	ISSUED FOR PERMITTING	10/15/00
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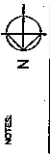
L3 PLAN  
 A-204 C



DP - 08431155

6

CAMBIE R.D.  
 STOLBERG ST.



NOTES:

- 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SHOWN.
- 2. ALL FINISHES TO BE AS SHOWN ON THE FINISH SCHEDULE.
- 3. ALL ROOMS TO BE FLOOR FINISHED TO THE FINISH SCHEDULE.
- 4. ALL WALLS TO BE CONCRETE TO THE FINISH SCHEDULE.
- 5. ALL CEILING TO BE CONCRETE TO THE FINISH SCHEDULE.
- 6. ALL FLOORS TO BE CONCRETE TO THE FINISH SCHEDULE.
- 7. ALL ROOF TO BE CONCRETE TO THE FINISH SCHEDULE.
- 8. ALL EXTERIOR WALLS TO BE CONCRETE TO THE FINISH SCHEDULE.
- 9. ALL EXTERIOR ROOF TO BE CONCRETE TO THE FINISH SCHEDULE.
- 10. ALL EXTERIOR FINISHES TO BE AS SHOWN ON THE FINISH SCHEDULE.
- 11. ALL INTERIOR FINISHES TO BE AS SHOWN ON THE FINISH SCHEDULE.
- 12. ALL EXTERIOR LIGHTS TO BE AS SHOWN ON THE LIGHTING SCHEDULE.
- 13. ALL INTERIOR LIGHTS TO BE AS SHOWN ON THE LIGHTING SCHEDULE.
- 14. ALL EXTERIOR VENTILATION TO BE AS SHOWN ON THE MECHANICAL SCHEDULE.
- 15. ALL INTERIOR VENTILATION TO BE AS SHOWN ON THE MECHANICAL SCHEDULE.
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- 19. ALL INTERIOR VENTILATION TO BE AS SHOWN ON THE MECHANICAL SCHEDULE.
- 20. ALL EXTERIOR VENTILATION TO BE AS SHOWN ON THE MECHANICAL SCHEDULE.

NO.	DESCRIPTION	UNIT	QTY
1	CONCRETE	sq. ft.	
2	CEMENT	bags	
3	IRON BARS	lbs.	
4	BRICKS	units	
5	ROOFING	sq. ft.	
6	GLASS	sq. ft.	
7	PAINT	gals.	
8	WATER	cu. ft.	
9	ELECTRICITY	kw. hrs.	
10	HEATING	kw. hrs.	
11	Cooling	kw. hrs.	
12	PLUMBING	sq. ft.	
13	MECHANICAL	sq. ft.	
14	FOUNDATION	sq. ft.	
15	EXTERIOR WALLS	sq. ft.	
16	INTERIOR WALLS	sq. ft.	
17	FLOORS	sq. ft.	
18	CEILING	sq. ft.	
19	ROOF	sq. ft.	
20	EXTERIOR ROOF	sq. ft.	

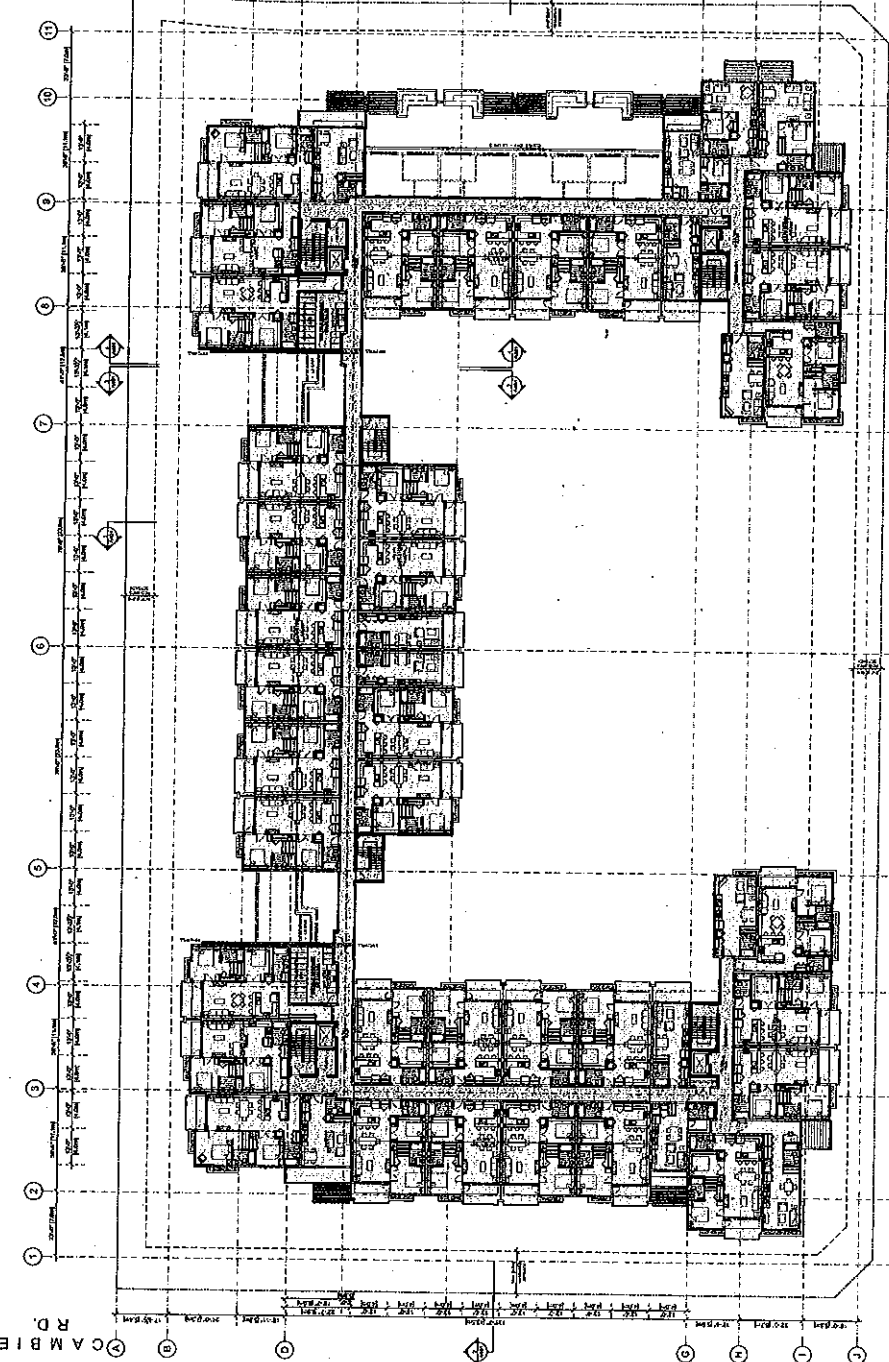
**Project Center**  
4828, 4828 STOLBERG ST.  
(PREVIOUSLY  
5403, 5403, 5403 CAMBIE ROAD)  
RICHMOND, BRITISH COLUMBIA  
Cris Developments  
(Cambie 2) Corp.

NO.	DESCRIPTION	UNIT	QTY
1	CONCRETE	sq. ft.	
2	CEMENT	bags	
3	IRON BARS	lbs.	
4	BRICKS	units	
5	ROOFING	sq. ft.	
6	GLASS	sq. ft.	
7	PAINT	gals.	
8	WATER	cu. ft.	
9	ELECTRICITY	kw. hrs.	
10	HEATING	kw. hrs.	
11	Cooling	kw. hrs.	
12	PLUMBING	sq. ft.	
13	MECHANICAL	sq. ft.	
14	FOUNDATION	sq. ft.	
15	EXTERIOR WALLS	sq. ft.	
16	INTERIOR WALLS	sq. ft.	
17	FLOORS	sq. ft.	
18	CEILING	sq. ft.	
19	ROOF	sq. ft.	
20	EXTERIOR ROOF	sq. ft.	



L4 PLAN

A-205 C



DP-08431155

STOLBERG ST.

CAMBIE RD.

MCKIM WAY

NOTES:

1. SEE EXISTING CONDITIONS.

2. ALL DIMENSIONS ARE IN FEET AND INCHES.

3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

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Public Center

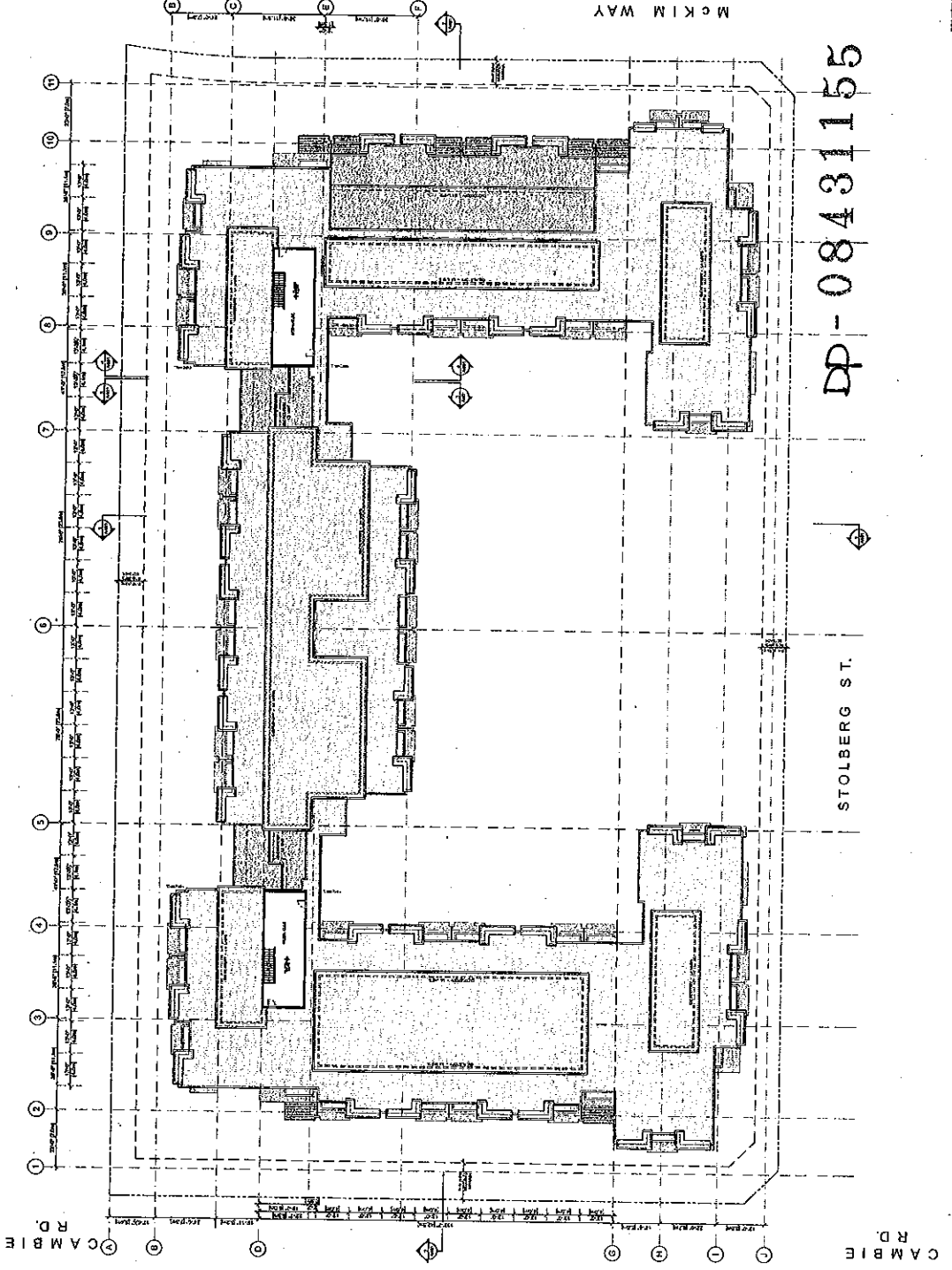
4000 48th St. Stolberg St.  
 PREVIOUSLY  
 5420 48th St. Cambie Rd.  
 RICHMOND, BRITISH COLUMBIA  
 City Developments  
 (Cambie 2) Corp.

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ROOF PLAN

A-206 C



DP-08431155

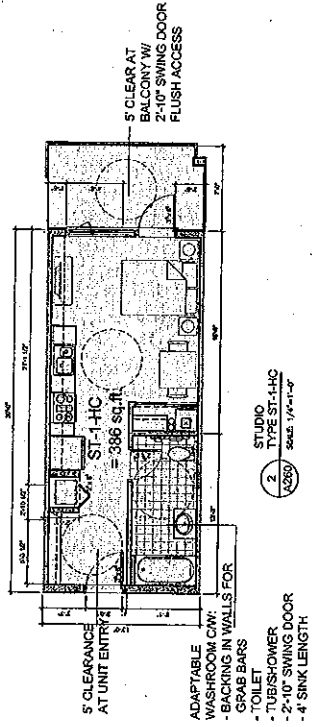
STOLBERG ST.

CAMBIE RD.

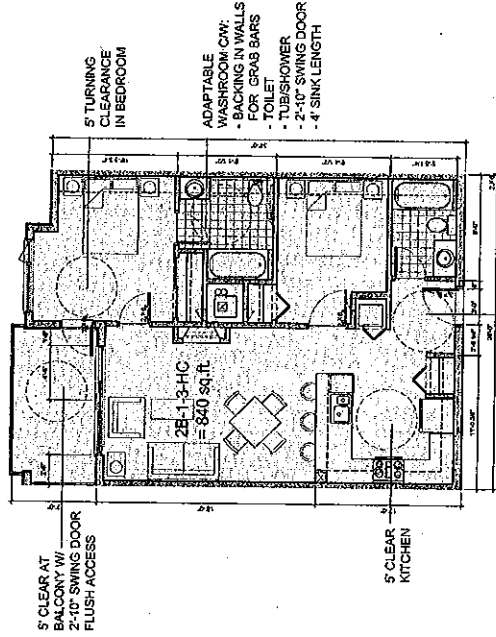
CAMBIE RD.

MCKIM WAY

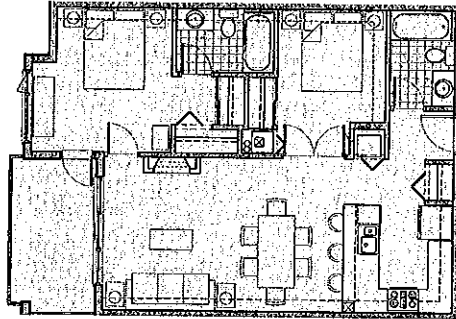
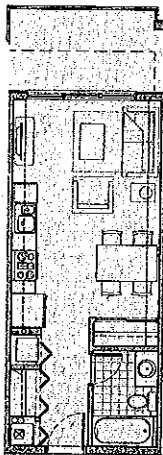
NOTES:



### UNIVERSALLY ACCESSIBLE UNIT PLANS



### TYPICAL UNIT PLANS



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Patrick Collier  
 4088, 4088, 4088 STOLBERG ST  
 PREVIOUSLY KNOWN AS (CAUSE ROAD)  
 ROCKMOUNT, BRITISH COLUMBIA  
 One Developments  
 (Canada 7) Corp.

9

ACCESSIBLE UNITS  
 UNIT PLANS

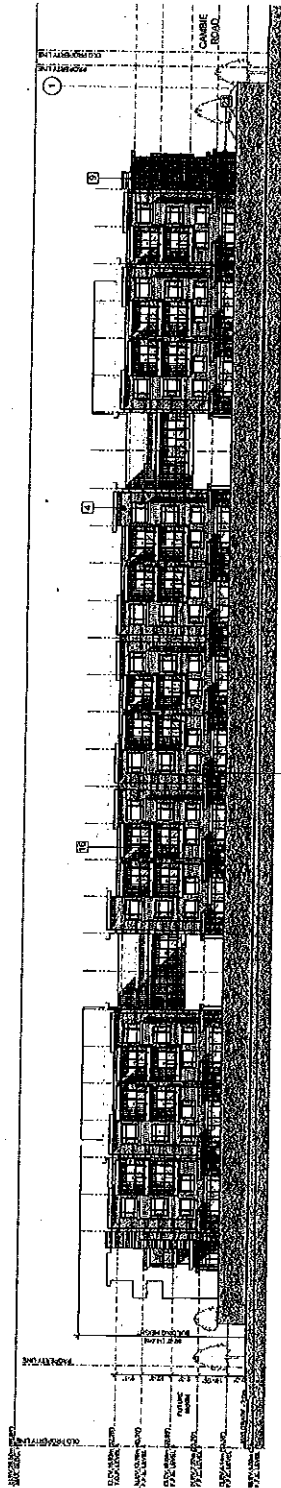
A-260B C

AP-08431155





NOTES



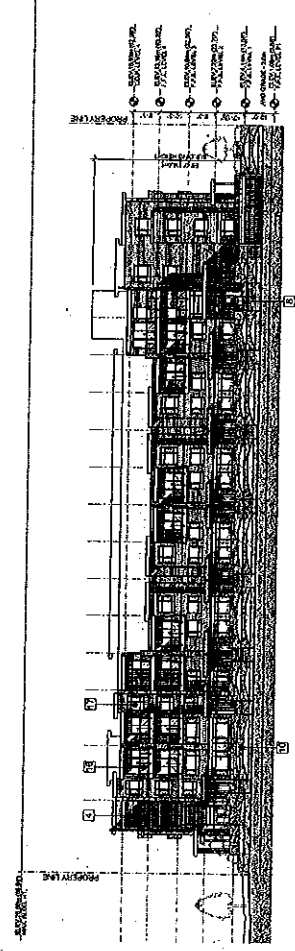
1 EAST ELEVATION ALONG ADJACENT PROPERTY  
SCALE: 1/8" = 1'-0"

NO.	REVISIONS	DATE	BY	CHKD.	APP.

PAULICK CORBY  
 4088 4088 STOLBERG ST  
 (PREVIOUSLY  
 PREVIOUSLY 1800 CHARGE ROAD)  
 ROCKY HOLLOW BRITISH COLUMBIA  
 VANCOUVER, B.C.  
 OHS Developments  
 (See Site 2) Corp.

11  
 BUILDING ELEVATIONS

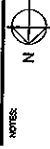
PROJECT NO.	A-302
REV.	C



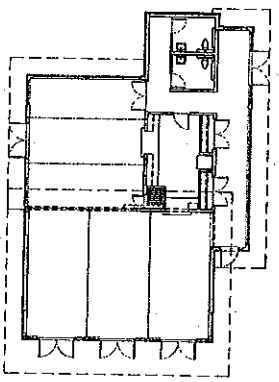
2 EAST ELEVATION ALONG MACKIN WAY  
SCALE: 1/8" = 1'-0"

DP-08431155

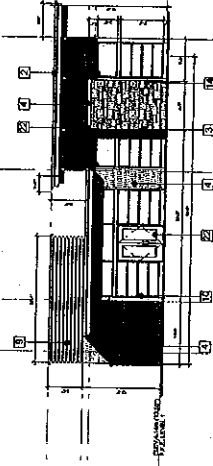
1	PREPARED METAL WALLS
2	PREPARED METAL WALLS AND WOOD SUBSTRATE
3	PREPARED METAL WALLS AND WOOD SUBSTRATE WITH STAIN
4	PREPARED METAL WALLS AND WOOD SUBSTRATE WITH PAINT
5	PREPARED METAL WALLS AND WOOD SUBSTRATE WITH PAINT AND STAIN
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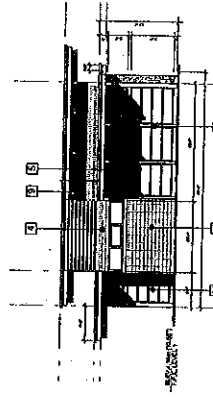
NOTES:



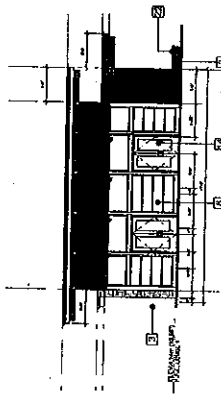
5 AMENITY BUILDING: GROUND FLOOR PLAN  
SCALE: 1/8"=1'-0"



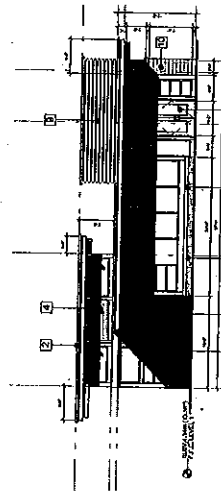
3 AMENITY BUILDING: EAST ELEVATION  
SCALE: 1/8"=1'-0"



4 AMENITY BUILDING: SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



2 AMENITY BUILDING: NORTH ELEVATION  
SCALE: 1/8"=1'-0"



1 AMENITY BUILDING: WEST ELEVATION  
SCALE: 1/8"=1'-0"

**EXTERIOR FINISHES SCHEDULE**

1	PAINTED METAL, EXTERIOR WALL FINISH	11	PAINTED METAL, INTERIOR WALL FINISH
2	PAINTED METAL, INTERIOR WALL FINISH	12	PAINTED METAL, INTERIOR WALL FINISH
3	PAINTED METAL, INTERIOR WALL FINISH	13	PAINTED METAL, INTERIOR WALL FINISH
4	PAINTED METAL, INTERIOR WALL FINISH	14	PAINTED METAL, INTERIOR WALL FINISH
5	PAINTED METAL, INTERIOR WALL FINISH	15	PAINTED METAL, INTERIOR WALL FINISH
6	PAINTED METAL, INTERIOR WALL FINISH	16	PAINTED METAL, INTERIOR WALL FINISH
7	PAINTED METAL, INTERIOR WALL FINISH	17	PAINTED METAL, INTERIOR WALL FINISH
8	PAINTED METAL, INTERIOR WALL FINISH	18	PAINTED METAL, INTERIOR WALL FINISH
9	PAINTED METAL, INTERIOR WALL FINISH	19	PAINTED METAL, INTERIOR WALL FINISH
10	PAINTED METAL, INTERIOR WALL FINISH	20	PAINTED METAL, INTERIOR WALL FINISH

1	PAINTED METAL, INTERIOR WALL FINISH
2	PAINTED METAL, INTERIOR WALL FINISH
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10	PAINTED METAL, INTERIOR WALL FINISH

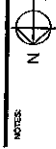
Project: Center  
 4088, 4088 STOLBERG ST  
 PREVIOUSLY  
 9420, 9420, 9480 CAMBIE ROAD  
 RICHMOND, BRITISH COLUMBIA  
 City Developments  
 (Certificate 2) Corp.



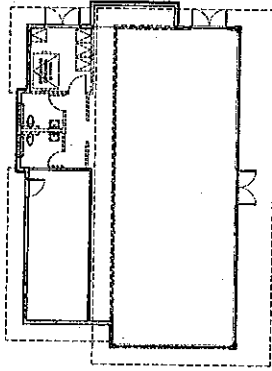
AMENITY BUILDING:  
 EAST AND  
 WEST ELEVATIONS

A-501 C

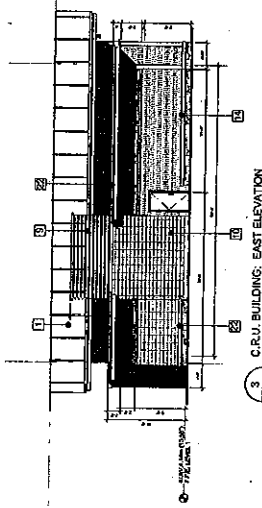
DP-08431155



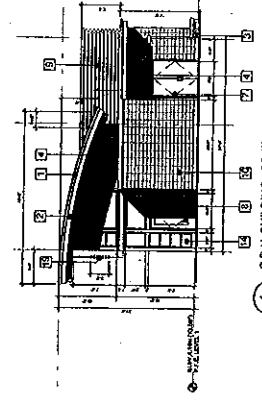
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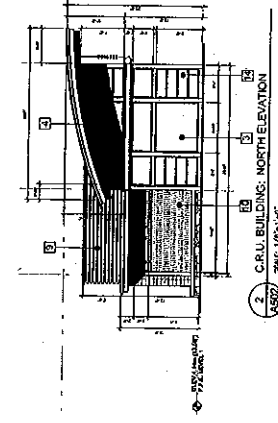
5 C.R.U. BUILDING: GROUND FLOOR PLAN  
SCALE 1/8" = 1'-0"



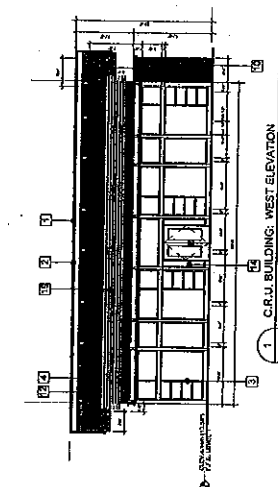
3 C.R.U. BUILDING: EAST ELEVATION  
SCALE 1/8" = 1'-0"



4 C.R.U. BUILDING: SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



2 C.R.U. BUILDING: NORTH ELEVATION  
SCALE 1/8" = 1'-0"



1 C.R.U. BUILDING: WEST ELEVATION  
SCALE 1/8" = 1'-0"

**EXTERIOR FINISHES SCHEDULE**

1	INTERIOR ALUMINUM
2	INTERIOR METAL CLADDING
3	NATURAL STONE MASONRY
4	PRECAST CONCRETE
5	PRECAST INSULATED CONCRETE
6	PRECAST METAL PANELS
7	PAINTED METAL PANELS
8	PAINTED METAL PANELS
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100	PAINTED METAL PANELS

Table with multiple columns and rows, likely a schedule or list of materials.

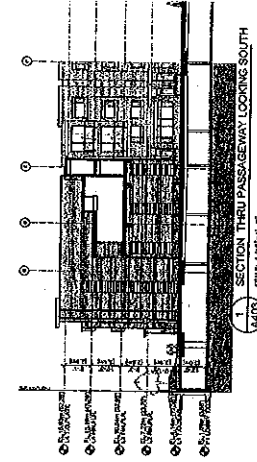
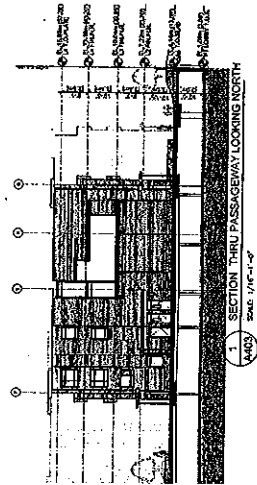
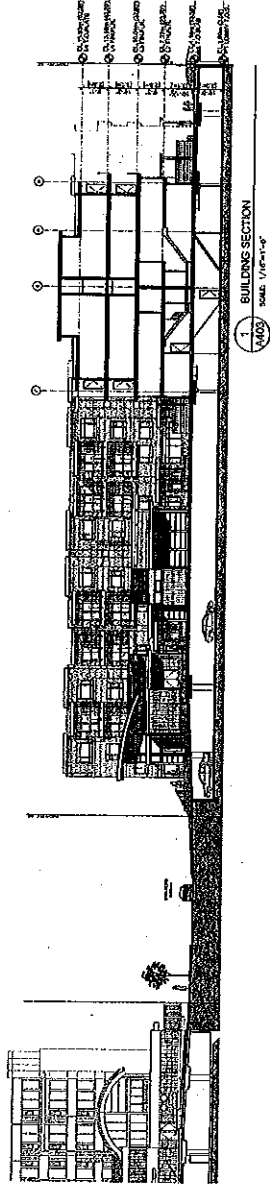
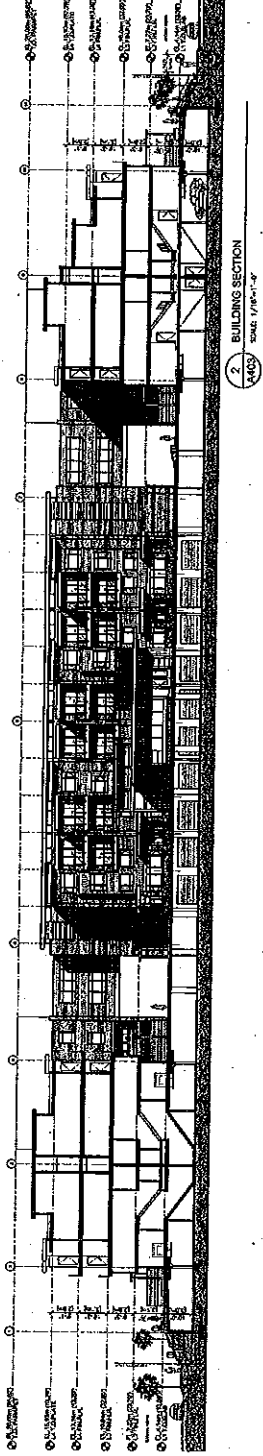
Patrice Conner  
4088, 4088, 4088 STOLBERG ST  
PREVIOUSLY CALLED PACO  
ROCKAWOOD, BRITISH COLUMBIA  
CIBC Developments  
Canada 21 Corp.

13  
C.R.U. BUILDING:  
PLANS AND  
ELEVATIONS

A-502  
C

DP-08431155

NOTES:



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**Plan: Center**

Architectural Office  
4050, 4080, 4090 STOLBERG ST  
(PREVIOUSLY  
8402, 8460, 8490 CHARBIE ROAD)  
RICHMOND, BRITISH COLUMBIA  
On: Developments  
(Canada 2 Corp.)

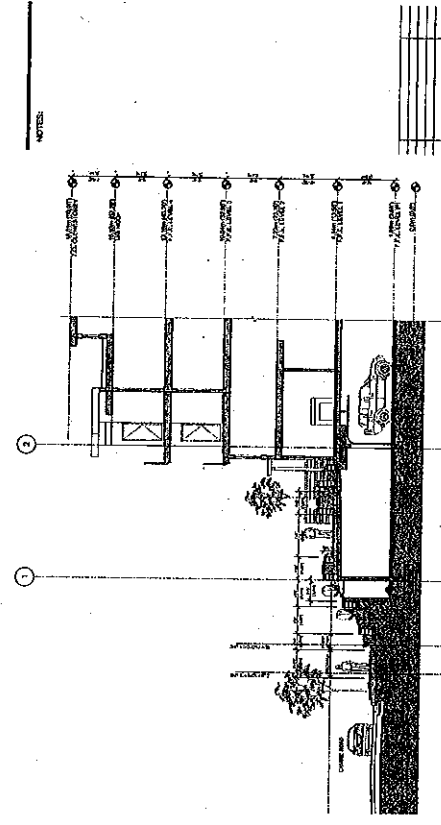
14

BUILDING SECTIONS

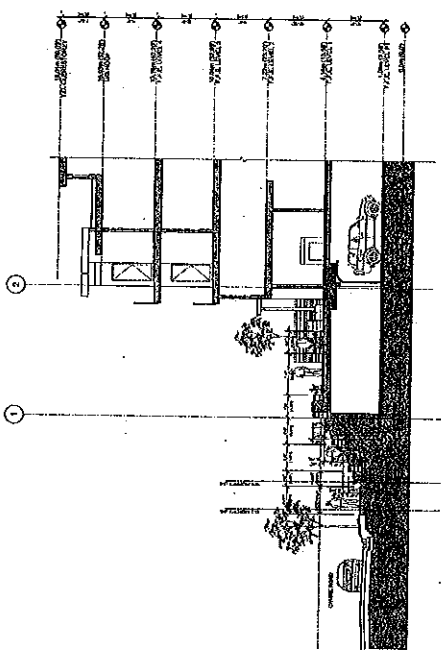
DATE	NO.	REV.	BY	APP.	CHECK	SCALE	SHEET	TOTAL SHEETS
							A-401	B

DP-08431155

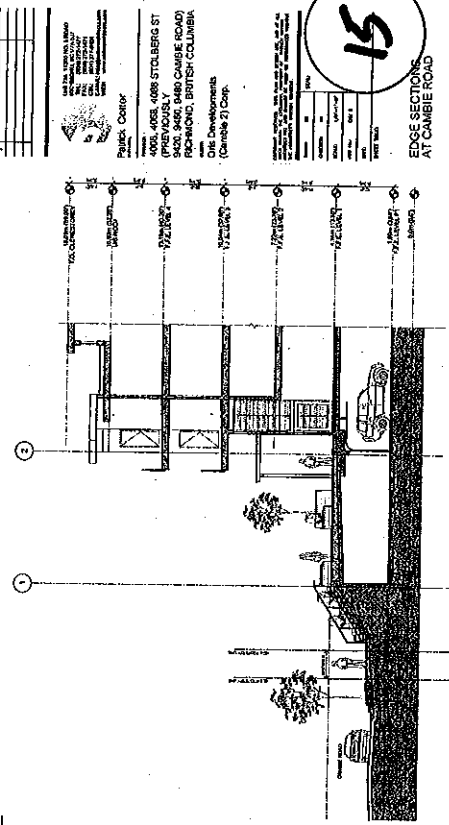
NOTES:



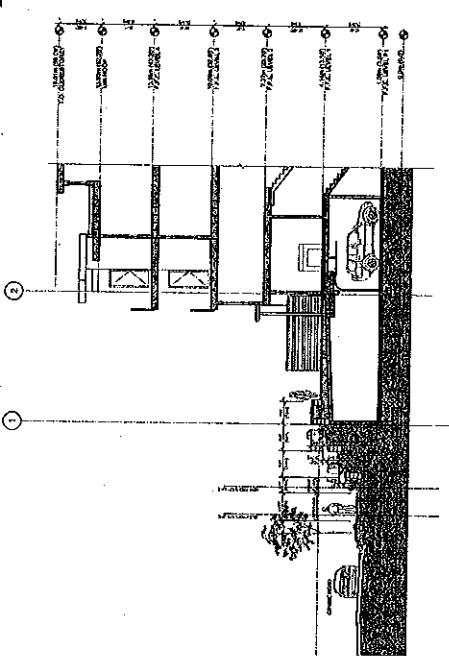
2 SECTION - THRU EXHAUST VENT  
SCALE: 1/4" = 1'-0"



1 SECTION - TYPICAL NORTH EDGE CONDITION  
SCALE: 1/4" = 1'-0"



4 SECTION - STAIR & NORTH EAST LOBBY  
SCALE: 1/4" = 1'-0"



3 SECTION - TYPICAL PATIO  
SCALE: 1/4" = 1'-0"

Table with multiple rows and columns, likely a schedule or list of materials.

Project: Control  
4005 40th St, St. Louis, MO  
Richmond, Brinsford, Richmond, Brinsford, Richmond, Brinsford

EDGE SECTIONS AT CAMBIE ROAD

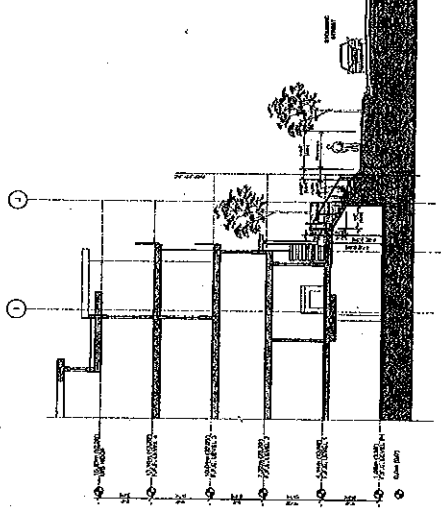


A-402 C

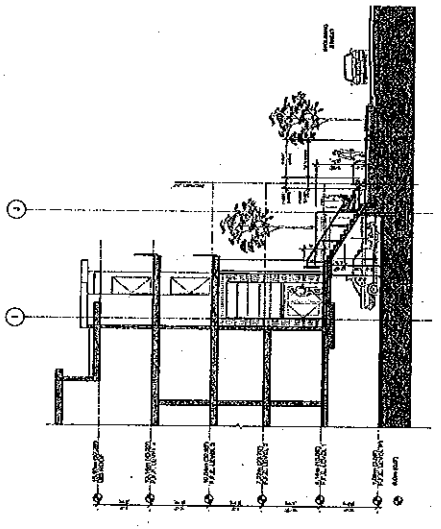
DP-08431155



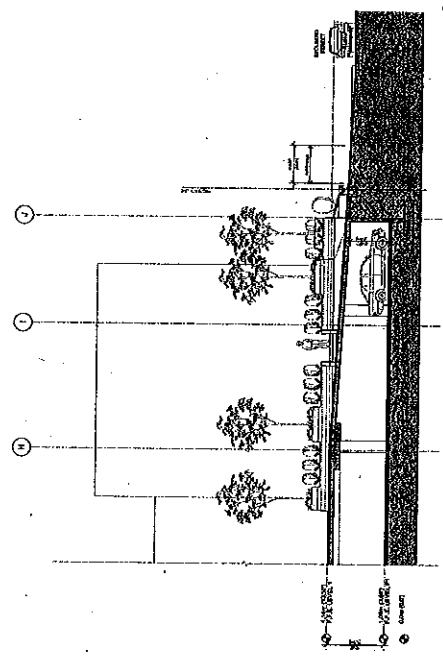
NOTES:



2 SECTION - WEST STAIR  
SCALE: 1/4" = 1'-0"



1 SECTION - STAIR AT NORTH WEST LOBBY  
SCALE: 1/4" = 1'-0"



3 SECTION - RAMP ACCESS TO COURTYARD  
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	QTY.
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**PAUL G. COOPER ARCHITECTS**  
 4035, 4038, 4039 STOLBERG ST  
 RICHMOND, BRITISH COLUMBIA  
 V6X 3A8 CANADA  
 TEL: (604) 273-1155  
 FAX: (604) 273-1156  
 E: paul@paulgcooper.com  
 WWW: www.paulgcooper.com

**PAUL G. COOPER ARCHITECTS**  
 4035, 4038, 4039 STOLBERG ST  
 RICHMOND, BRITISH COLUMBIA  
 V6X 3A8 CANADA  
 TEL: (604) 273-1155  
 FAX: (604) 273-1156  
 E: paul@paulgcooper.com  
 WWW: www.paulgcooper.com



A-404  
C

DP-08431155



# ALEXANDRA GATE PROJECT (FORMALLY CAMBIE TWO PROJECT)

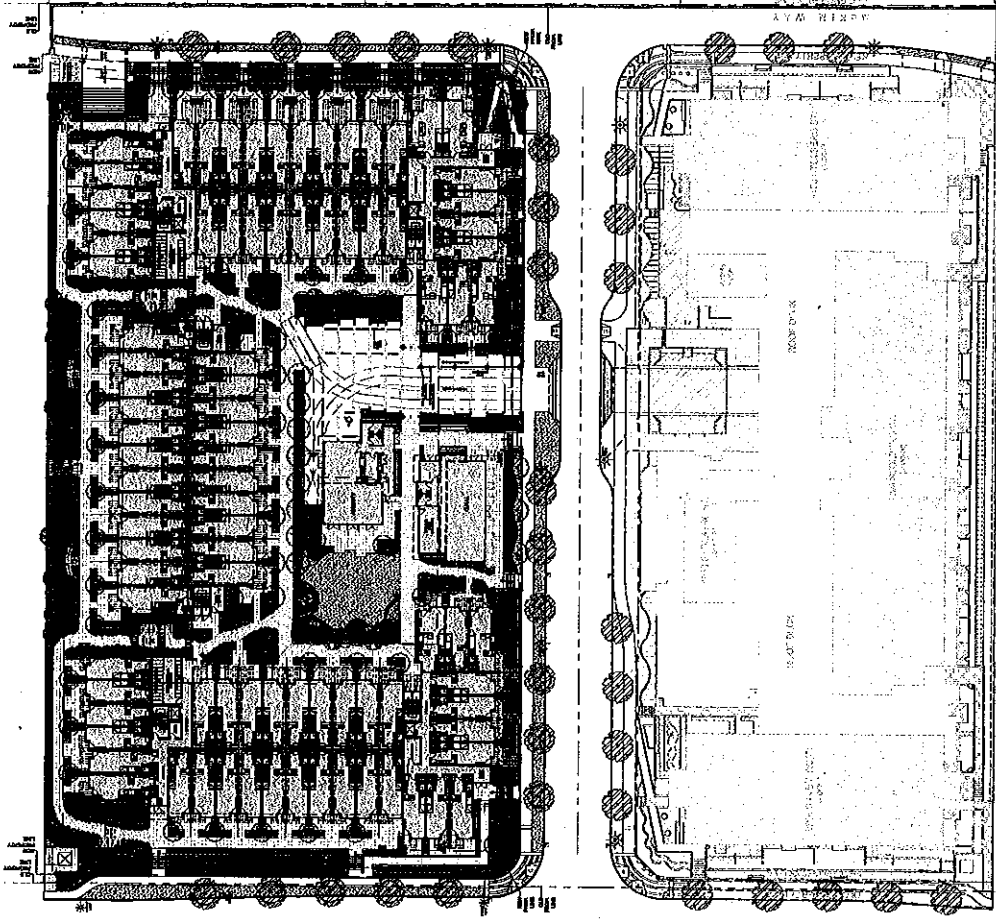
**Civic Address:**  
 4008 STOLBERG ST.  
 RICHMOND, BC  
 V6X 4A7

**Architect:**  
 PARKY COOPER ARCHITECT INC.  
 3600 15TH AVENUE  
 VANCOUVER, BC  
 V6P 4R7  
 TEL: (604) 273-4721  
 CONTACT: PARKY COOPER  
 PROJECT NUMBER: 08431155

**Landscape Architect:**  
 VAN DER ZALM + ASSOCIATES INC.  
 4838 12TH AVENUE  
 VANCOUVER, BC  
 V6P 4R7  
 TEL: (604) 273-4721  
 CONTACT: VAN DER ZALM  
 PROJECT NUMBER: 08431155

## DRAWING LIST

- L1.01 Cover & Composite Plan
- L1.02 Landscape Site Plan
- L1.03 Planting Plan Overstory
- L1.04 Planting Plan Understory
- L1.05 Hardscape Plan
- L1.06 Grading Plan
- L1.07 Lighting Plan
- L1.08 Landscape Site Sections
- L1.09 Landscape Details



18

DP-08431155

<p>Van der Zalm + Associates Inc.          Landscape Architecture • Planning • Urban Design          4838 12TH AVENUE, VANCOUVER, BC V6P 4R7          TEL: (604) 273-4721          FAX: (604) 273-4722          WWW.VAN-DER-ZALM.COM</p>	<p>PROJECT NO. DP2008-05</p> <p>PROJECT: Alexandra Gate Project          4008/4088 Stolberg St.          Richmond,          British Columbia          (Formerly          9420, 9460, 9480          Cambie St., Richmond)</p>	<p>DRAWING NO. L1.01</p> <p>DRAWN BY: [ ]          CHECKED BY: [ ]          APPROVED BY: [ ]          SCALE: 1/8" = 1'-0"          DATE: APRIL 2008</p>	<p>DRAWING TITLE</p> <p style="font-size: 24pt; font-weight: bold;">CAMBIE PROJECT COMPOSIT PLAN</p>	
--	--	---	--	--

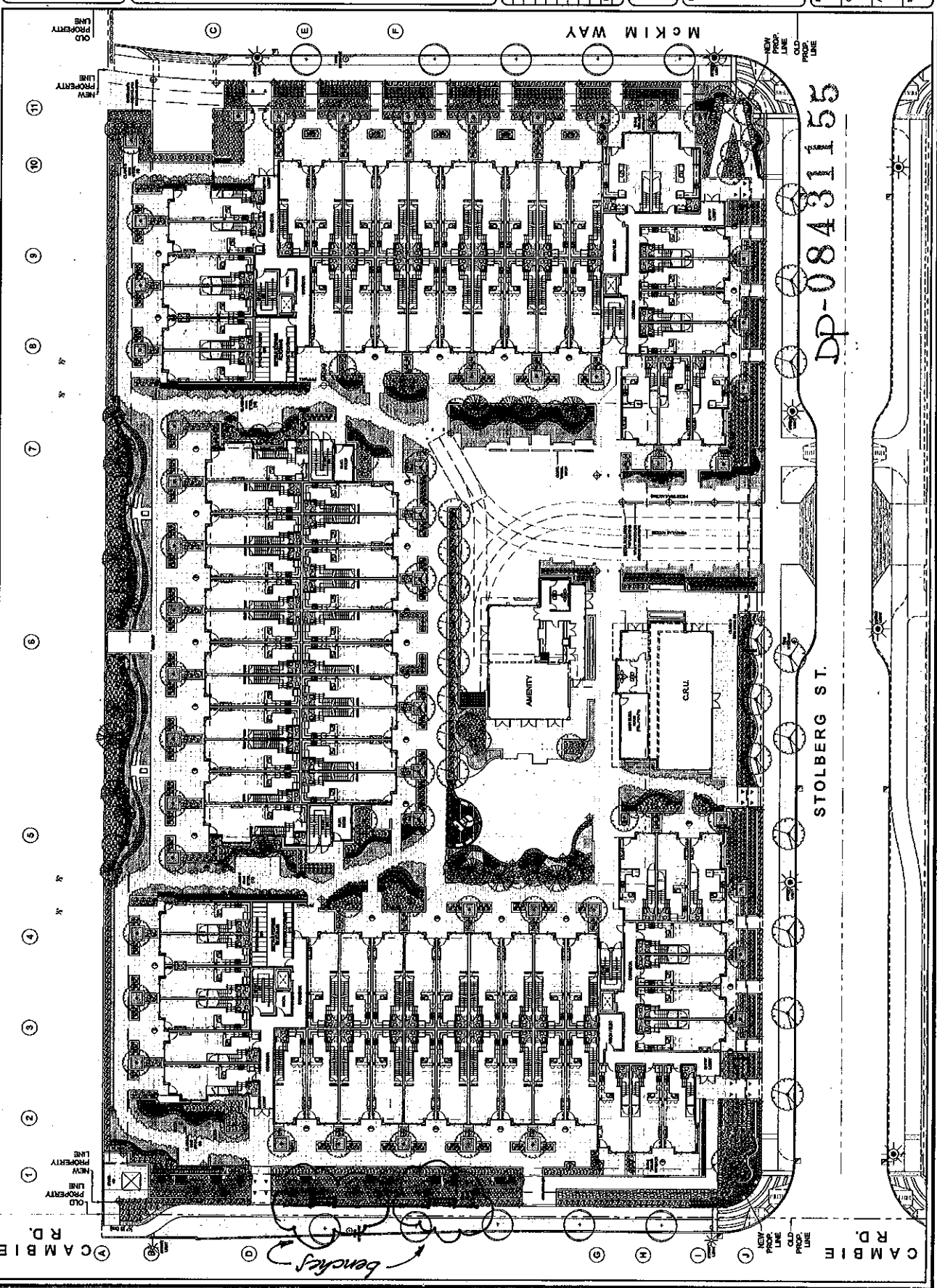
**Van der Zande Associates Inc.**  
 Landscape Architecture & Planning  
 1177 West 10th Avenue  
 Vancouver, BC V6H 1T5  
 Tel: 604-681-1111  
 Fax: 604-681-1112  
 www.vdz.com

NO.	DATE	DESCRIPTION

PROJECT NO. DP2008-05  
 PROJECT: Alexandra Gate Project  
 4008/4088 Stolberg St.  
 Richmond, British Columbia  
 (Formerly 9420, 9460, 9480 Cambie St., Richmond)

DRAWN: [ ]  
 CHECKED: [ ]  
 IN CHARGE: [ ]  
 DATE: APR. 2008

DRAWING NO. L1.02  
 PROJECT NO. DP2008-05



DP-08431155

# CAMBIE 2 PLANTING PLAN OVERSTORY

PROJECT NO. DP2008-05

L1.03

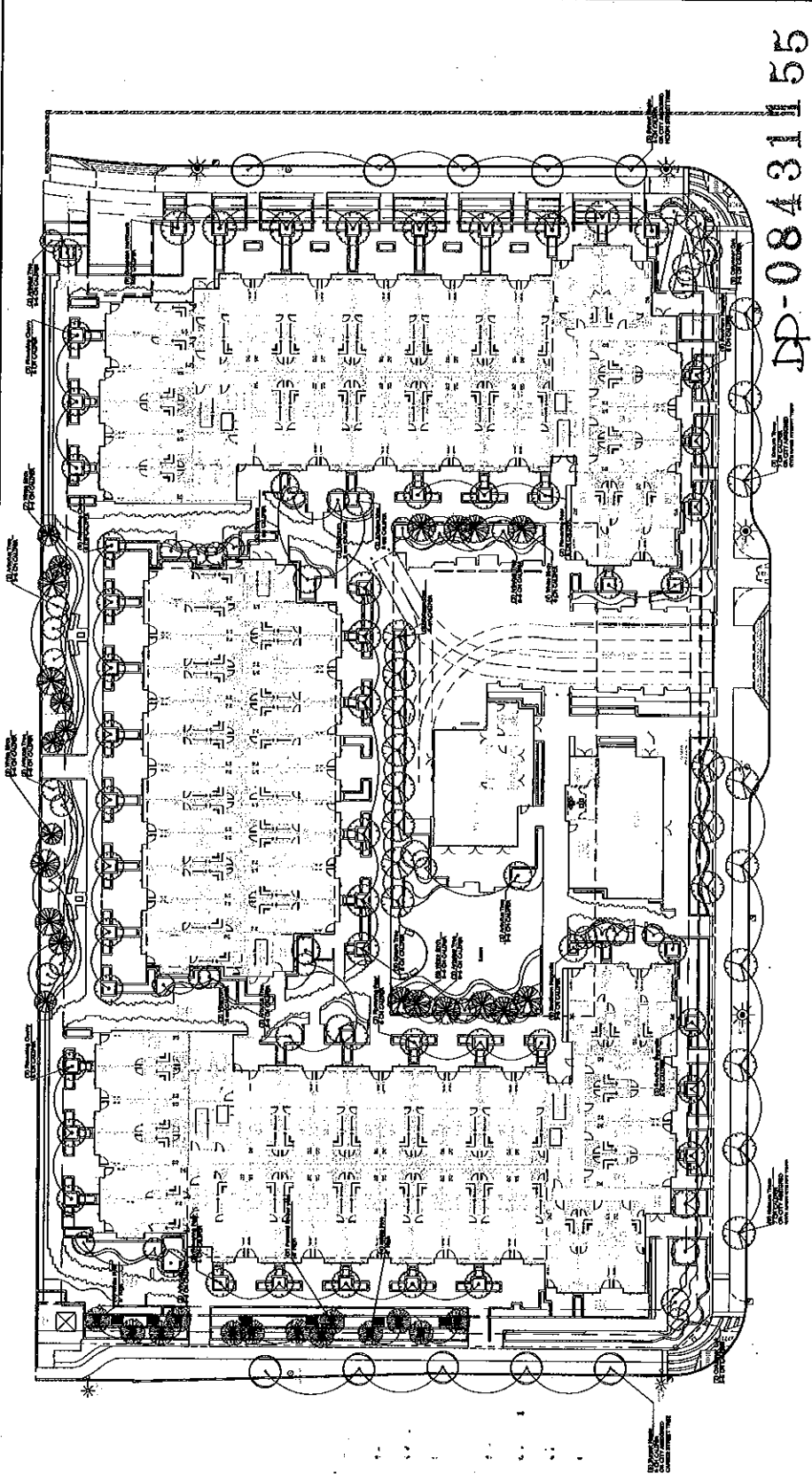
Van der Zant & Macdonald Inc.  
 Landscape Architecture  
 1000 West Broadway, Suite 100  
 Vancouver, BC V6H 1T1  
 TEL: 604-681-1111  
 FAX: 604-681-1112  
 WWW: VANDEZANT.COM

NO.	REVISION	DATE

PROJECT:  
 Alexandra Gate Project  
 4008/4088 Stoberg St.  
 Richmond,  
 British Columbia  
 (Formerly  
 9429, 9460, 9480  
 Cambie St., Richmond)

DATE: 11-20-08  
 DRAWN BY: RZ  
 CHECKED BY: RZ  
 APPROVED BY: RZ  
 SCALE: 1/8"=1'-0"

PROJECT NO. DP2008-05  
 DRAWING NO. L1.03  
 SHEET NO. 20



PROPOSED PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	COMMENT	SPACING	AREA
RZ	Rhododendron japonicum	Japanese Azalea *	80	316	Flower Shrub		
R1	Hydrangea macrophylla 'Summer Beauty'	Hydrangea	20	20	Flower Shrub		
R2	Thuj occidentalis 'Smyrna'	Smyrna Green Cedar	80	48	Hedge		
R3	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	280	Hedge		
R4	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	33	Hedge		
R5	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	274	Hedge		
R6	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	25	Hedge		
R7	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	58	Hedge		
R8	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	83	Hedge		
R9	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	83	Hedge		
R10	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	32	Hedge		
R11	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	1182	Hedge		
R12	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	520	Shade-tolerant Perennial		
R13	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	1170	Groundcover	120x120	1170sqft
R14	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	380	Groundcover	120x120	380sqft
R15	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	3252	Groundcover	120x120	3252sqft
R16	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	640	Groundcover	120x120	640sqft
R17	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	13	View		
R18	Thuja occidentalis 'Smyrna'	Smyrna Green Cedar	80	37	Shade-tolerant Vine		

PROPOSED TREE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	COMMENT
OR	Quercus robur 'Fastigiata'	Columar oak	7	5-6 cm cal	Specimen
CI	Cercidiphyllum japonicum	Japanese laburnum	28	6-7 cm cal	Canopy
PA	Prunus 'Accolada'	Accolada Flowering Cherry	14	8cm cal	Flowering tree
PS	Prunus 'arbutus 'Pendula'	Pendula White Pine	6	6" high	Canopy
PO	Prunus 'Prunella 'varianawolf'	Varianawolf's Pyramid Amber pine	5	6" high	Canopy
CR	Pyrus calleryana	Flowering Pear	11	6 cm cal	Flowering tree
AT	Acer truncatum 'Norman Red'	Pacific Spruce Maple	10	7 cm cal	Canopy
CB	Carpinus betulus	European Hornbeam	9	6 cm cal	Canopy
MG	Magnolia grandiflora	Southern Magnolia	18	6 cm cal	Canopy
BP	Betula papyrifera	White Birch	22	6-7 cm cal	Canopy
AM	Abies menziesii	Alpen Pine	7	6-8 cm cal	Canopy
VL	Viburnum lentago	Hairy Viburnum	7	8 cm cal	Shade Tolerant

\* MOST SEASONAL MEANS M CROWN (Lateral branches 'Giant's Pupils', 'Giant's Pupils', 'Giant's Pupils' (The Crown)\*)  
 ALL PLANTING MUST BE CONSIDERED TO COMPLY WITH THE LATEST EDITION 2008  
 ALL LANDSCAPE AREA SHALL BE REGRATED. IRRIGATION PLAN WILL BE PROVIDED BY CONTRACTOR DESIGN - B.G.L.D.

DP-08431155



**PROJECT:** Alexandra Gate Project  
 4008/4088 Stolberg St.  
 Richmond,  
 British Columbia  
 (Formerly  
 5420, 5460, 5480  
 Cambie St., Richmond).

**DRAWN:** RZ  
**CHECKED:** RZ  
**APPROVED:** RZ  
**BY:** RZ  
**SCALE:** 1" = 20'  
**DATE:** APR 2008

NO.	DESCRIPTION	DATE

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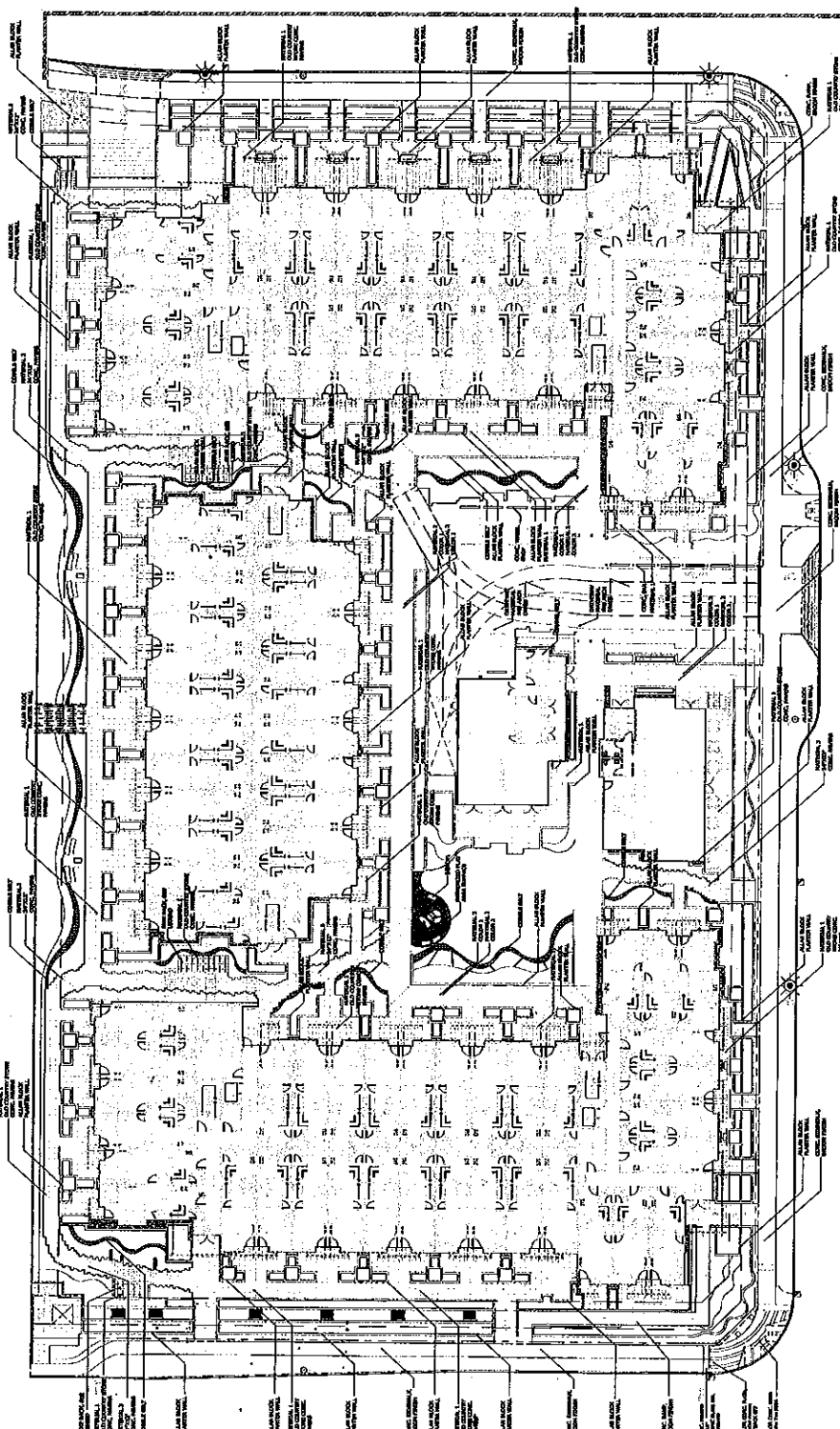
FOR INFORMATION ONLY: THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

FOR INFORMATION ONLY: THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

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DP-08431155



PAVING MATERIAL 1 Old Quarry Stone Slabs Type 1.2 B 2 Random	60% 20% 20%	Reference: <a href="http://www.pavingstones.com/abbocourt1.htm">http://www.pavingstones.com/abbocourt1.htm</a>
PAVING MATERIAL 2 Masonry Concrete Pavers	Yellow 12" x 12" x 4" / Random	Reference: <a href="http://www.pavingstones.com/Creative-Products/Concrete-Pavers/Yellow/12x12x4-CP.htm">http://www.pavingstones.com/Creative-Products/Concrete-Pavers/Yellow/12x12x4-CP.htm</a>
PAVING MATERIAL 3 Masonry Concrete Pavers	Red 12" x 12" x 4" / Random	Reference: <a href="http://www.pavingstones.com/Creative-Products/Concrete-Pavers/Red/12x12x4-CP.htm">http://www.pavingstones.com/Creative-Products/Concrete-Pavers/Red/12x12x4-CP.htm</a>
PAVING MATERIAL 4 Grass Seed Series, Tin	Galvanized Steel	Reference: <a href="http://www.pavingstones.com/Grass-Seed-Series-Tin.htm">http://www.pavingstones.com/Grass-Seed-Series-Tin.htm</a>
Color Concrete	Four-On-Six	Reference: <a href="http://www.pavingstones.com/empirecity.htm">http://www.pavingstones.com/empirecity.htm</a>

**LANDSCAPE LIGHTING PLAN**

PROJECT NO. DP2008-05

DRAWING NO. L1.07

VDT Inc. Lighting & Electrical Inc.  
100-1117 177th Street  
Richmond, BC V6V 2G5  
Tel: 604-273-1117  
Fax: 604-273-1118  
www.vdt.ca

NO.	DESCRIPTION	DATE

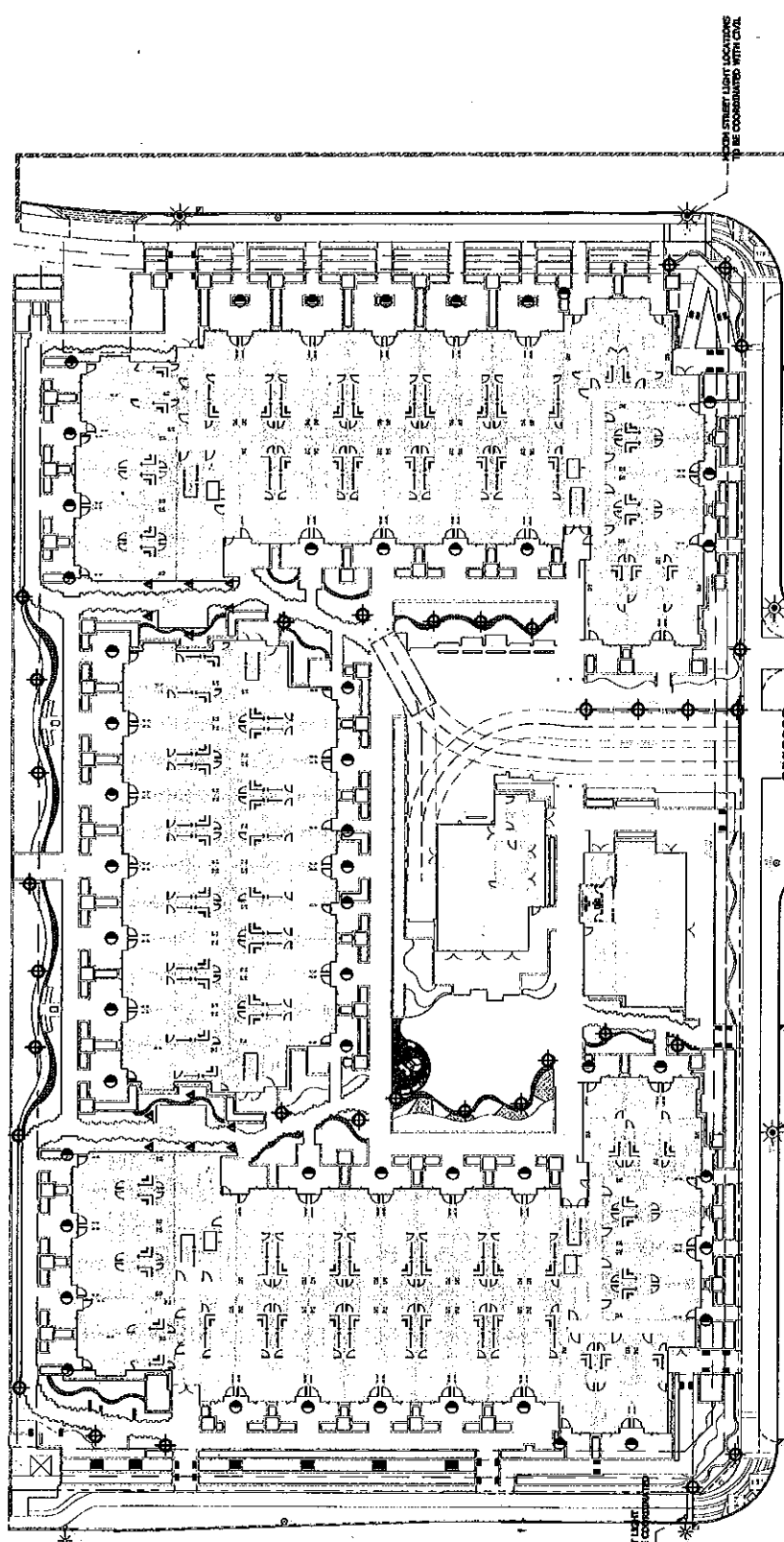
REVISIONS  
NO. DESCRIPTION DATE

DATE: APR. 2008  
SCALE: 1"=20'

PROJECT: Alexandra Gate Project  
4008/4088 Stobberg St.  
Richmond,  
British Columbia  
(Formerly  
9420, 9460, 9490  
Cambie St., Richmond)

23

APPROVED	DATE
	APR. 2008



DP-08431155



WALL RECESSED STEP LIGHT  
by ALICO  
www.alicoindustries.com  
Total: 36

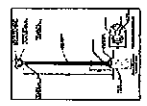
POLE-MOUNT LIGHT  
Specify by Archibac  
Total: 52



BOLLARD LIGHT  
US Architectural BRCS  
C/S/J  
www.uslighting.com  
Total: 15



UPLIGHT  
www.uslighting.com  
www.blighting.com  
Total: 12



STREET LIGHTS  
Luminaire Pole (RMD L12.1)  
Total: 2

MCCAIN St & Stobberg St  
Luminaire Pole (RMD L12.5)  
Total: 4

NOTE: All electrical is coordinated by the electrical engineer. VDX only shows fixture choices and locations or approved equal.

Van der Valk + associates Inc.  
Landscape Architecture  
3000 117th Avenue SW  
Suite 100  
Edmonton, Alberta T6C 3A7  
Canada  
Tel: 780-442-1177  
Fax: 780-442-1178  
www.van-der-valk.com

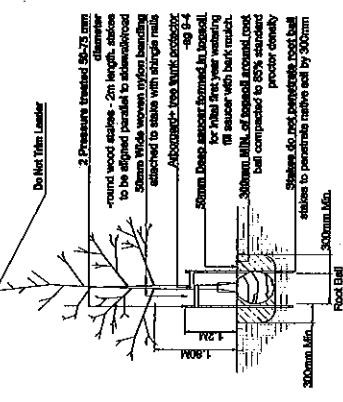
# LANDSCAPE DETAILS

DRAWING NO. L1.09

PROJECT NO. DP2008-05

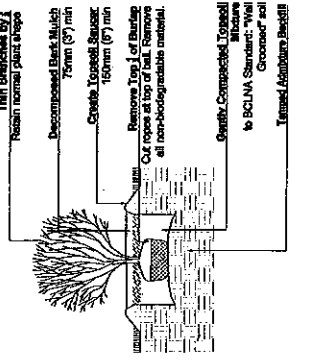
PROJECT:  
Alexandra Gate Project  
4008/4088 Stalberg St.  
Richmond,  
British Columbia  
(formerly  
9420, 9460, 9480  
Cambie St., Richmond)

SCALE	DATE
RZ	APR 2008
REV	RZ
REV	RZ
REV	RZ
REV	RZ



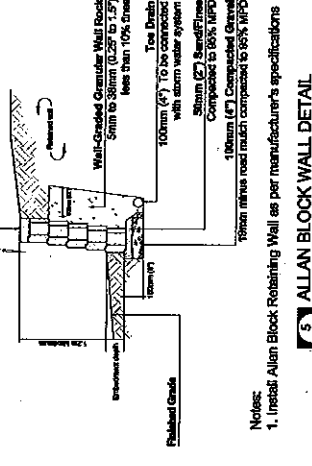
126 TREE PLANTING DETAIL SCALE

- 1) Stake/string to be loosened and dropped to the bottom of the hole.
- 2) All wire because soil less than top 1/3 of the hole removed prior to planting.
- 3) All trees shall be single stem



125 SHRUB PLANTING DETAIL SCALE

Allan Block Retaining Wall  
Collectors Ashlar  
Rock Type: A1  
Contact: BC Block Supply Ltd  
T: 604-270-9847  
F: 604-270-9005

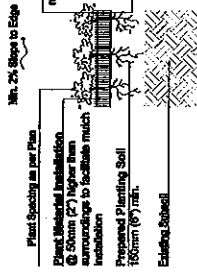


125 ALLAN BLOCK WALL DETAIL SCALE

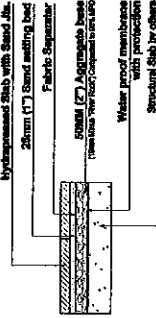
- Notes:  
1. Install Allan Block Retaining Wall as per manufacturer's specifications



10 BENCH IMAGE HTS  
125  
DulMor Site Furnishings  
Model:35C



110 GROUND COVER PLANTING DETAIL SCALE

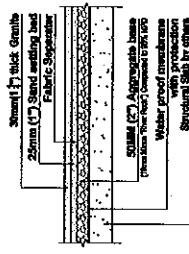


Hydrogranulated Slab Details:

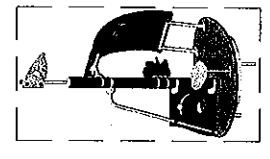
Product:	Hydrogran 1000
Color:	Grey
Size:	25 x 25 x 25
Manufacturer:	Absorption Concrete Products
TEL:	1-800-654-4081
FAX:	

127 PAVES ON SLAB DETAIL SCALE

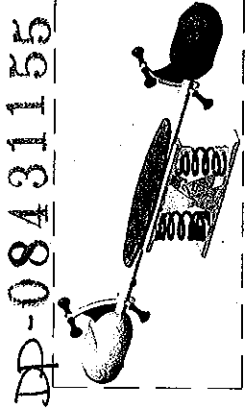
128 CONCRETE SIDEWALK DETAIL SCALE



110 GRANITE ON SLAB DETAIL SCALE



110 PLAY EQUIPMENT IMAGE 1 HTS  
SCALE  
RECTEC INDUSTRIES PRODUCT  
Model:Navigator.ELE.400007 RE



110 PLAY EQUIPMENT IMAGE 2 HTS  
SCALE  
RECTEC INDUSTRIES PRODUCT  
Model:Navigator.ELE.400022

126 SECTION DETAIL SCALE