



To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: November 5, 2008
File: DP 08-430877
Re: **Application by Oris Development (Cambie) Corp. for a Development Permit at
9340, 9360 and 9400 Cambie Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a residential development consisting of 251 units distributed among three (3) separate six-storey mid-rise apartment blocks, as well as approximately 176.40 m² (1,888 ft²) of indoor amenity space, together with a daycare space in a two (2) level building of approximately 6,800 ft² (632 m²) at 9340, 9360 and 9400 Cambie Road on "Area A" of a site zoned "Comprehensive Development District (CD/196)"; and
2. Vary the provisions of the Zoning and Development Bylaw No. 5300 to:
 - a) Increase the proportion of allowed small car parking spaces permitted from 70% to 78%; and
 - b) Reduce the side (west) yard setback to 3.0 m for the compactor/recycling room.

Brian J. Jackson, MCIP
Director of Development

FM:blg
Att.

Staff Report

Origin

Oris Development (Cambie) Corp. has applied to the City of Richmond for permission to develop a residential development consisting of 251 units distributed among three (3) separate six-storey mid-rise apartment blocks, as well as approximately 176.40 m² (1,888 ft²) of indoor amenity space, together with a daycare space in a two (2) level building footprint of approximately 6,800 ft² (632 m²) at 9340, 9360 and 9400 Cambie Road on "Area A" of a site zoned Comprehensive Development District (CD/196). "Area A" currently contains various single-family homes and greenhouses on lots presently zoned "Single-Family Housing District, Subdivision Area F (R1/F)".

The proposed development site (Area A) is being rezoned from "Single-Family Housing District, Subdivision Area F (R1/F)" to "Comprehensive Development District (CD/196)" for this project under Bylaw No. 8395 (RZ 07-366342).

A Servicing Agreement for design and construction of frontage upgrades along Cambie Road plus half road construction of McKim Way and full road construction of Stolberg Street, and water, storm and sanitary sewer upgrades, is required as part of this development, which will be secured through the rezoning process.

Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The site is located at the central area of the Alexandra neighbourhood at the gateway into the neighbourhood from Cambie Road. The site is close to public amenities and has easy access to current and future transportation facilities. Development surrounding the subject site is as follows:

- To the north**, across Cambie Road, is an established single-family neighbourhood;
- To the east**, three (3) narrow and deep lots presently used as a parking area for automobile storage. These three (3) lots on the east side of the site, across the proposed extension of Stolberg Street will be developed by the developer in a similar mass and character that is complementary to the subject proposed development;
- To the south**, across the proposed new McKim Road, a series of large, narrow and deep single-family lots; and
- To the west**, single-family houses on large and small lots fronting on Cambie Road that are expected to develop in a similar way as the proposed development in the near future.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved prior to the Development Permit being referred to Development Permit Panel. The applicant's design response and action has been included in "***bold italics***".

- Removal/relocation of parking spaces provided on drive aisles. Drive aisles to be a 6.7 m constant minimum width.
The parking spaces shown on the drive aisles have been removed. Two (2) handicapped stalls replace three (3) car stalls near the elevator core at Block B. Water entry room is now relocated to occupy the space of where the tandem small car behind a handicap stall was near the elevator core of Block C.
- Resolve issue of width of parking spaces between columns, small cars tandem parking and tandem parking spaces behind handicap parking. Proposed arrangement not acceptable.
P2 level has been revised. The tandem parking spaces behind the handicapped stalls have been eliminated. Stalls between two (2) columns near gridline 16 have been widened to more easily accommodate manoeuvring. The structure will change to accommodate.
- Resolve accessibility to garbage containers room from lower and ground level parking levels.
Resident's access to the garbage containers rooms is via the P2 level. A wider stair connecting the garbage room to the P2 level is provided with glazing for visibility into and out from the garbage room to the parking. Exterior service access is directly off McKim Way via both an overhead door as well as a double swing door.
- Need to redesign garbage collection service area toward McKim Way. This area should not be provided toward to or exposed to views from the street. Avoid side-by-side curb letdowns.
Curb let downs adjusted to avoid the side-by-side configuration. The type and size of equipment require grade level access via a 10 ft. door. The level area outside the room provides the staging area for wheeling out the recycling and cardboard bins. Planters incorporated alongside the vehicle ramp and the staging area to help separate uses. Decorative pavers added for area in front of service doors to incorporate it as part of front yard hard landscaping.
- Development of a courtyard character at the entrance to the site from Stolberg Street.
Entrance area has been re-designed as one plane, framed with contrasting paving to create a courtyard.
- Elimination of grass boulevard and displacement of sidewalk toward drop-off bay on Stolberg Street, in front of the Day Care.
Sidewalk displaced toward the drop-off bay.
- Provide a landscaping strip between the toddlers play area and sidewalk.
Planting strip provided.
- Provide detailed design for decorative fence-wall enclosing the Day Care play areas. Fence to be part of the Public Art component of the proposal.
In addition to complying with daycare licensing requirements for enclosure of play areas, development of the Public Art piece(s) will be done in collaboration/coordination with the City's Public Art Coordinator.
- Resolve issue of surface drainage along the west side of the building.
Drainage will be provided to retain on-site at the property line.

- Provide large windows on the east side of the Fitness/Amenity building.
Large windows have been added on the Stolberg Street elevation of the Amenity building. Additional windows will also be considered on the north side, toward the entry courtyard space.
- Improve liveability of one and two bedroom units that include an internalized sleeping room.
Interior glazing provided (from 1.20m above floor level to ceiling) wherever possible; all units have mechanical cooling.
- Identify Accessible Units and demonstrate appropriate dimensions for wheelchair operation.
Accessible unit layouts will be offered as convertible units located on ground and second floor in Block A and Block C, two bedroom and one bedroom units as listed on A202, A203. Specific floor plans provided.
- Introduce strong break at the centre of Block B to be perceived as two (2) separated smaller blocks. Pull back central part of building and articulate height of roof parapets.
Building broken into two with the introduction of a vertical recessed key-way at the centre of the west elevation of residential Block B.
- Reinforce stepping of the buildings ending toward the east and west.
Small cantilevered roof elements have been added to the corners of the building to reinforce the step down to five (5) storeys. This datum is continued at various areas around the building.
- Design development to staircase volumes to reduce its mass impact toward the street.
The stair cores have been further developed through the additional of windows and spandrel treatment and articulated wall planes.
- Provide decks projecting out of the buildings face to add detail to the otherwise flat façades.
Key locations on the north and south facades have cantilevered decks; the west elevation has also provided deck elements to the centre units as part of the development of this elevation.
- Design development to low retaining walls and railings along street frontages and building entrance areas.
The stepping of planter heights has been adjusted to eliminate guardrails, grading and plant selection has been revised to screen all retaining walls.

No concerns were expressed nor written submissions regarding the proposed rezoning were received by staff during the review process.

The Public Hearing for the rezoning of this site was held on July 21, 2008. At the Public Hearing, no concerns about rezoning the site were expressed by the public.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with Comprehensive Development District (CD/196) except for the zoning variances noted below.

Zoning Compliance/Variances (staff comments in *bold italics*)

The applicant requests to vary the provisions of the Zoning and Development Bylaw No. 5300, to:

- 1) Increase the proportion of allowed small cars spaces permitted from 70% to 78%.

(Staff supports the proposed variance as it does not impact on the total number of required parking spaces for the proposed development but it relates to the size of the spaces provided. Staff recognizes that the dimensional non-compliance results from constraints placed on the development of the site that have resulted from the required alignment for the extension of Stolberg Street from Cambie Road to the south, being dedicated as part of the proposed development. Alignment of this required road dedication has impacted the width of the subject site and therefore the efficiency of the parking levels layout)

- 2) Reduce the side (west) yard setback to 3.0 m for the compactor/recycling room.

(Staff supports the proposed slight variance as it has resulted from a request by staff to provide a garbage compactor to serve the proposed development and adjustment to garbage/recycling room to facilitate adequate wheelchair access to garbage disposal by handicap residents).

Advisory Design Panel Comments

The Advisory Design Panel reviewed the development proposal on October 9, 2008. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- Location of the buildings on the site have minimized the potential massing impact over surrounding streets and development being proposed on the east side of Stolberg Street.
- Adjacency issues related to the expression and treatment of the west side of Building B raised at the rezoning stage. Proposed architectural detailing and treatment of this side of the building has been further developed to provide a satisfactory level of articulation that facilitates a softer transition to any future development on the west side of the site, which is expected to develop in a similar form and density to the subject proposal.

Urban Design and Site Planning

- Proposed development helps to define the northern gateway into the Alexandra Neighbourhood on Cambie Road.

- Pedestrian entrance to Buildings A and C, located at the corner of Stolberg Street with McKim Way and Cambie Road respectively, provide pedestrian activity and interest at these intersections
- Site planning and building mass distribution combine to achieve an interesting residential courtyard type of development concept that opens toward Stolberg Street and provides the intended streetscape at the entrance to the neighbourhood.
- Site plan organizes around a central open space to reinforce its neighbourhood residential character, complements and achieves a good space relationship to the development scheme of the proposed development across Stolberg Street, which is being processed under a separate Development Permit (DP 08-431155) .
- Residential blocks at the street edges and the low masses of the Day Care Centre and indoor amenity building minimize the perception of the proposed development density to relate to residential densities expected in the area and toward the south from McKim Way.
- Refinements to the design have achieved the desirable grade transition and streetscape at the interface area between buildings and street. This aspect was raised as a concern at the rezoning phase due to the parkade rising above the sidewalk level along the Cambie Road and McKim Way frontages.
- Access to the proposed underground parking level is provided from the south, from the new McKim Way. Access to the ground floor visitor and Day Care parking in level I is provided from the proposed extension of Stolberg Street from Cambie Road to the new McKim Way.
- The proposal provides a total of 325 parking spaces in two (2) parking levels; underground (Level 2) and at ground floor (Level 1). This total includes six (6) accessible parking spaces for residents in the lower parking and two (2) accessible visitor parking spaces at ground floor level
- The total number of parking spaces provided for the proposal conform to Comprehensive Development District CD/196 requirements and is considered acceptable on the basis that this is an affordable housing type of development and that Transit Oriented Development Measures (TDM) will be provided in association with this project. These measures include:
 - *2-zone transit passes for 25% of the residential and affordable housing units for one year;*
 - *provision of on-site bicycle parking as per City's Development Permit Guidelines;*
 - *provision of one (1) on-site end-of-trip facility, including showers, toilets, grooming stations, and clothing lockers for child care employees;*
 - *3- car co-op vehicles and associated spaces; and*
 - *installation of two (2) fully accessible bus shelters on both sides of Cambie Road at Stolberg Road.*
- Proposal has addressed issues raised in regard to having access ramp to parkade and garbage servicing area located in parallel off McKim Way by separating these two functional areas with a landscaped band and providing decorative pavement for the garbage service area so this area can be perceived as integral part of a (hard) landscaping along the street frontage rather than another driveway off McKim Way.
- Loading and unloading space is provided in the central space/entry area to the site.

Architectural Form and Character

- Building mass transitions to the east and west have been addressed by the buildings stepping down at the ends and the addition of a strong fin at the corners.
- Pedestrian entrance to Buildings A and C located at the corner of Stolberg Street with McKim Way and Cambie Road respectively, provide pedestrian activity and interest at these intersections and, in combination with the end stairs' vertical mass, define strong anchors at these corners.
- While recognizing the affordable housing character of the proposal the simple architectural treatment and articulation of the building facades relate well to the mid and low density residential character of the area and achieved a good degree of compatibility with lower density residential areas expected to the south of McKim Way.
- Design development to the end of the residential blocks which include carving of the buildings and expression of their massing have achieved the proper transition toward the corners of the site and future developments to the west.
- Long, east façade and mass of north-south building (Building B) have achieved a degree of vertical articulation at the central elevator core that successfully defines a break to the long building block and accentuates the perception of a block involving two smaller components.
- Staircase mass at the building ends toward the intersections of Stolberg Street with Cambie Road and McKim Way include a pattern combining textured surfaces, spandrel glass and windows. These vertical masses help to identify the gateway into Alexandra neighbourhood from the north.
- Design development to the articulation and expression of the residential building blocks toward McKim Way and Cambie Road has achieved the desired level of architectural detailing sought through the rezoning process. Some balconies and small projections now extend outward to provide detail.
- Glass lobby/entrance point to Building B and its linkage to the elevator core are highlighted by a skylight over the portion of the visitor parking in level I. This feature improves visual access to the building and pedestrian safety at the parking level.
- Concerns regarding handicap accessibility to garbage collection room have been resolved by modifying the layout of Level 1 in Building A by creating a vestibule at the west end of the internal corridor and adding a chute(s) from this vestibule directly down to collection bins in the compactor/recycling room.
- The proposed development provides barrier-free access from the street to the various buildings and from the apartment units to the various amenity spaces (outdoor and indoor) included in the proposal.
- Affordable units C108 in Level 1 and C209 in Level 2 will be designed and built as accessible units. A total of 14 other units in the building that can be easily converted into accessible units to the request of the buyer, are also proposed.
- All units in the proposed development include features (backing for grab bars in bathrooms, lever style door handles, tactile numbering of suites, and the like) that facilitate "aging in place".
- Concerns regarding liveability of some internalized bedrooms in the one bedroom units raised at the rezoning phase have been addressed by providing a continuous 0.76 m (30 inches) wide glass separation between the top of the dividing wall and ceiling, and at the corner of the bedroom space.

Child Care Facility

- The proposed development includes a 60 space child care facility of approximately 632 m² (6,800 ft²) and approximately 345 m² (3,713 ft²) of associated outdoor play areas to be built in the first construction phase of the development. This facility and ownership will be transferred to the City.
- The Child Care Centre will serve the needs of the neighbourhood. Children drop-off will be facilitated by provision of a drop-off space on Stolberg Street and in the central courtyard/entrance to the site, in front of this community facility.
- Parking for employees and visitors/users of the Day Care Centre is provided in parking Level I, in close proximity to the entrance to this building.
- Decorative fence required around the children's outdoor play area, which faces Stolberg Street will be a Public Art project coordinated and delivered through the City's Public Art Program.

Amenity Space

- Proposed development provides both indoor and outdoor amenity space on-site, in compliance with the Official Community Plan (OCP).
- Indoor amenity space of approximately 176.40 m² (1,888 ft²) is provided on a two-levels building fronting onto the Day Care Centre, across the central courtyard/entrance to the site and the Day Care Centre. Access to the indoor amenity space is from Stolberg Street/central courtyard and from the outdoor amenity space on the second floor.
- The slab over the ground level parkade is developed as a landscaped area that provides opportunities for various outdoor activities. This outdoor amenity area is directly and easily accessible from the residential buildings around it.
- The central landscaped area at ground level also acts as an open lobby to the residential development and closely relates to the central courtyard provided in the development across Stolberg Street.

Landscape Design and Open Space Design

- Continuous straight alignment of the lower stepping planters along McKim Way and Cambie Road are articulated to provide seating, add interest to public realm and soften the presence of a parkade level rising above the level of the sidewalk.
- Site inspection and evaluation of the trees located on the proposed development site(s) was carried out by an arborist who concluded that there are no City trees adjacent to or affected by the proposed development; and that one (1) protected tree on the site will have to be removed to accommodate the extension of Stolberg Street associated with the proposed development.
- The central landscaped area at ground level acts as an open lobby to the residential development and closely relates to the open space provided in the proposed development across Stolberg Street.
- Treatment of the central area/entrance to the site includes textured pavement and colour, planters and other streetscape features define a strong pedestrian ambiance of the central courtyard between the amenity building and the Day Care Centre. This treatment will act as a traffic-calming device and slow down movement of vehicles moving in and out of the visitor parking.

Affordable Housing

- The applicant has elected to provide 22 on-site affordable housing units in the proposed development. These units satisfy the affordable housing requirements for the proposed development and the development across Stolberg Street that is being dealt with under a separate Development Permit. These Low End Market Rental units will be secured in perpetuity via a Housing Agreement.
- The proposed 22 affordable housing units include a variety of unit types and sizes. These include:
 - 7- Studio units of approximately 37.16 m² (400 ft²),
 - 4 – one-bedroom units of approximately 48 m² (514 ft.);
 - 9 – two-bedroom units of approximately 67 m² (724 ft².) minimum; and
 - 2 – three-bedroom units of approximately 83 m² (895 ft²)
- The remaining 229 dwelling units included in proposed development may also be considered affordable housing (Entry Level Ownership market housing) because of their size and level of finishing. It is possible that some of these units might be purchased for rental purposes, therefore contributing to increase the rental supply in the area.

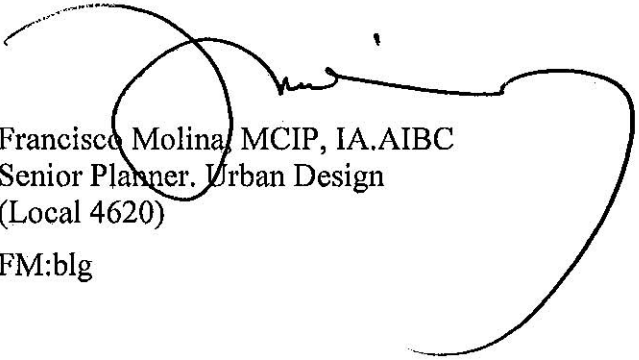
Crime Prevention Through Environmental Design

Proposed development has responded well to previous concerns and implemented basic CPTED principles, including:

- Use of reflective white paint and open parking layout (few solid walls).
- Improved visibility (and access) into elevator lobbies.
- Provision of glazing into elevator lobbies and vision panels in all doors leading to public accessible areas (exit stairs).
- Clear definition of pedestrian circulation areas around elevator core and paths from visitor parking area to elevators.
- Site planning, location of buildings and window of units facilitate passive surveillance over indoor and outdoor amenity spaces and over the street.

Conclusions

The proposed development has properly resolved the site development challenges placed by the dedication and alignment of the extension of Stolberg Street from Cambie Road to the south, and alignment of the new McKim Way. The proposal responds well to planning objectives for the area and its massing and overall site planning concept protects and facilitates the future harmonious development potential of adjacent properties to the east, west and south. This proposed development will contribute to consolidating a gateway and a strong, vibrant and aesthetically pleasing entrance corridor to the Alexandra Neighbourhood from the north.



Francisco Molina MCIP, IA.AIBC
Senior Planner, Urban Design
(Local 4620)

FM:blg

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$471,880.93 (based on cost estimates provided by Vander Zalm + Associates, the Landscape Architect for the project).
- Registration of a legal agreement on title requiring that tandem parking stalls are assigned to a single dwelling unit.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/tp/special.htm>).



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

**Development Application
 Data Sheet**
 Development Applications Division

DP 08-430877

Attachment 1

Address: 9340, 9360 and 9400 Cambie Road

Applicant: Oris Development (Cambie) Corp. Owner: Oris Developments Corp.
 (Cambie 1)

Planning Area(s): West Cambie Area Plan / Alexandra Neighbourhood

Floor Area Gross: 17,495 m² Floor Area Net: 16,202.66 m²

	Existing	Proposed
Site Area:	Gross: 11,990 m ²	Net: 8,265.42 m ²
Land Uses:	Residential	Residential
OCP Designation:	Neighbourhood Residential	Neighbourhood Residential
Area Plan Designation	Residential. Multiple-Family Medium Density. West	Multiple-Family Residential
Zoning:	Single Family Housing District, Subdivision Area F (R1/F)	Comprehensive Development District (CD/196)
Number of Units:	2	251 (229 market units and 22 affordable housing units)

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.56 (up to 1.96 if affordable housing provided)	1.96	Complies
Lot Coverage:	Max. 65%	57%	Complies
Setback – Stolberg Street:	Min. 2.85 m	2.90 m	Complies
Setback – Cambie Road:	Min. 4.5 m	4.5 m	Complies
Setback – McKim Way:	Min. 3.0 m	3.0 m	Complies
Setback – Side Yard: West	Min. 3.2 m	3.0 m	Variance required
Height (m):	Max. 24.0 m	24.0 m	Complies
Off-street Parking Spaces – Standard/Commercial	331	325 (71 regular 254 small car)	Variance if no TDM
Off-street Parking Spaces – Accessible:	6	9	Complies
Total off-street Spaces:	325 if TDM	325 and TDM	Complies with TDM
Tandem Parking Spaces		12 (3.7%)	
Amenity Space – Indoor:	Min. 100 m ²	176.4 m ²	Complies
Amenity Space – Outdoor:	Min. 150.6 m ² Max 600 m ² play area	+/- 1945 m ²	Complies

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, October 9, 2008 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

Time: 4:00 p.m.
Place: Room M.1.003
Richmond City Hall
Present: Mark J. Greatrix, Acting Chair
Gary Fields
Dean Gregory
Tom Parker
Willa Walsh
Also Present: Diana Nikolic, Planner
Rustico Agawin, Committee Clerk
Absent: Dana Westermark
Cst. Derek Cheng
Simon Ho
Thomas Leung

The meeting was called to order at 4:05 p.m.

1. MINUTES

It was moved and seconded

That the minutes of the meeting of the Advisory Design Panel held on Wednesday, September 17, 2008 be adopted.

CARRIED

2. DEVELOPMENT PERMIT 08- 430877 – 251 UNITS IN 3 6-STOREY MID-RISE BUILDINGS AND A DAYCARE

APPLICANT: Patrick Cotter Architect Inc.

PROPERTY LOCATION: 9388 Cambie Road and 4033, 4099, 4133 Stolberg Street

Diana Nikolic, Planner, Patrick Cotter and Greg Andrews of Patrick Cotter Architect Inc., and Rui Chang, Landscape Architect, provided background information related to the subject site.

Panel Discussion

Comments from the Panel were as follows:

- confirm whether the 4-foot vertical drop shown in Drawing L1.06 is indeed acceptable;
- consider choosing more vigorous and large plants like cotoneaster over delicate plants like pachysandra in the wall planting areas would be better to hide the walls;
- instead of a strip of lawn that fronts a blank wall in front of the daycare outdoor activity space, a hedge or other kinds of planting could be put in place to screen the wall;
- the idea of a more formal courtyard is appreciated;
- Cambie Road and McKim Way frontages are still disconnected from the street; there is no opportunity for occupants to exit from their suites to get down to the sidewalk; this will have an impact on the ability of the residents to supervise the street from a CPTED perspective;
- the buildings remain as long blocks; frontages appear long and flushed; remains an issue from an urban design perspective;
- patios on the west property line appear small and do not seem useful;
- exits from level 1 to the side yard may present a personal safety issue as they are deeply recessed from the building;
- second bedroom in the adaptable units deeply embedded into the unit; absence of windows prevents daylight penetration;
- adaptable units could be built as adapted units already as future strata management may not be able to proceed with the conversion; should be dedicated not as accessible but adapted units and useful not only to the disabled but to the elderly as well;
- courtyards have inside corners which remain very tight particularly the northeast corner of Stolberg Street and Cambie Road;
- from a CEPTD perspective, main entry area seems unsupervised; no overlook in the proximity of the entry area; surface paving is an insufficient treatment in the entry area; have to be dealt with architecturally and from a landscape perspective;
- common buildings not sufficiently described; needed data such as elevations, dimensions and heights are lacking;
- stair expression in the entrance of the building looks institutional; more design resolution is needed to counter the institutional and commercial character;
- height of mechanical penthouse at the rooftops could be lowered;
- lobby that accesses the main building seems to be extremely narrow and not accessible to wheelchairs; corridors also seem to be long and narrow;
- elevator lobbies and corridors need more space for people to circulate and pass freely;
- main lobby is disconnected from the common circulation of the building;
- consider adapting one-bedroom units in addition to the adaptable units that are proposed to be made as adapted units already;

- common areas in the day care and fitness facilities can have barrier-free washrooms;
- good project to integrate public art; many opportunities that lend to public art; early integration of public art into the project is encouraged;
- concerned about the massiveness of the Cambie 1 west block; fairly long building component of the site;
- proposed projection of the balcony is an improvement and a step in the right direction; could be taken further;
- consider breaking up the parapets;
- overall planning is satisfactory;
- use more solid masonry for the lower level and introduce frame elements to have a more residential character and lessen the dominance of glass and metal materials; and
- introduction of vertical bands and colours is a positive step.

In response to the Panel's comments, the applicant advised that he appreciated the comments and pointed out the following:

- the landscape comments are helpful and constructive; CPTED issues are valid; concerns on concealed and recessed areas, overlook, animation of the public spaces and lobbies will be looked into;
- the unit plans will be reviewed to determine whether some of the phases could still be clipped; however, as the project progresses, there will be less flexibility to do this compared to the other issues that need to be addressed;
- comments on the exterior design of the building and on the staircase is appreciated; there are budgetary constraints and further development will be considered using simpler alternative materials;
- design of the centre of the west block and the ends facing the street corners is challenging; will work on further development;
- most of the comments of the members of the panel will be looked into; applicant has flexibility to address concerns;
- will discuss further with staff with regard to the concern on the west elevation; and
- recognized the lack of information provided on the buildings located in the middle of the development.

Panel Decision

It was moved and seconded

That DP 08-430877 move forward to the Development Permit Panel, taking into consideration the following comments of the Advisory Design Panel:

1. *consider whether the vertical drops and retaining walls meet safety conditions;*
Retaining walls have been minimized in height wherever possible, all vertical drops exceeding 24" (.610 m) in height will have the code required guardrails.
2. *consider more vigorous wall planting at some of the wall locations to derive better screening;*
More vigorous planting has been incorporated into landscape drawings & plant list.
3. *consider hedge planting instead of lawns in certain areas;*

Hedging in lieu of small portions of lawn area, has been incorporated into landscape drawings & plant list.

4. *consider improving the connection of Cambie Road and McKim Way frontages to the street from both safety and security approaches;*

The deck of the parking structure will be sloped, and a series of stepped planters provide a gradual landscaped transition between street grades and the main floor level, pedestrian access is focussed on the main entry steps leading to building entry Lobbies as the primary address and pedestrian access to the buildings. This provides a degree of screening and privacy for the main floor units facing streets.

5. *consider articulation of building frontages or massing to help break up the length of the buildings;*

The west façade of block B has been revised to incorporate greater articulation through the introduction of a major recessed vertical 'key-way' at the centre of the building effectively subdividing the building into two, as well as the projection of living areas on 4 units on this façade to create relief. The introduction of a projecting roof overhang element at the corner of all buildings at level 5, creates a datum of similar elements that define the building masses and create texture on the previously uniform facades.

6. *consider improving the patios that are located on the interior of the courtyard either through expansion or creation of bigger openings;*

These indented areas have been increased in width through the mirroring of adjacent units B209 and B211 and reduction of the corridors in block B. As a result the private outdoor space for Studio Units A212, C212 have been increased by approximately 1.8m.

7. *consider the security of the stairwell along the west side of the building which are fairly deep;*

The exit corridors have been extended to eliminate the recess. In addition, the design will incorporate motion activated security lighting in these areas and public access to the rear yard will be restricted by way of a gate to the path at the street.

8. *consider the liveability and lighting to the inner bedrooms in the two-bedroom unit;*

Interior glazing, sidelights and/or transoms, and diffused glazed doors will be incorporated for all interior rooms. Mechanical ventilation, heating and cooling is provided by way of a geo- exchange system in all units.

9. *consider making the adaptable units as built out in the initial phase rather than making it a future improvement;*

Units will be adapted at no charge to purchaser as required.

10. *consider the security of the entrance area with improved overall look and surveillance;*

Corner entries to Block A and C have units adjacent and directly above their associated Lobby entrances providing a high degree of overlook and passive surveillance. Low-level planting around these entrances retains direct and clear sightlines from the street to these entry areas. The areas will also be illuminated for enhanced security. The entry to Block B is improved through the enhanced

'courtyard' character of the entry from Stolberg; the relocation of the Mail Room to provide clear sightlines and a direct path from the street to the main Lobby doors; and the addition of an open light well and sky light above the entry providing natural light to this entry. (See also item 15 below).

11. *consider the language of the railings to make it more compatible with the modern vocabulary of the building architecture;*

More contemporary railings are proposed.

12. *consider developing the design of the common buildings;*

These have been further developed as indicated on larger scale elevations.

13. *consider less institutional appearance of the stairs;*

These have been revised through the addition of glazing and spandrel panels, greater articulation of massing, variation in material and colour. The intent was to integrate these elements with the rest of the building.

14. *consider the reduction of the height of the mechanical penthouse;*

The mechanical penthouses will be reduced in height by .3m, and the size will be reduced to the minimum permitted to house the equipment. In addition, consideration will be given to an arched roof similar to that of the daycare and amenity buildings to improved design character and integration with the rest of the building.

15. *consider the accessibility of the parkade lobby and the connection between the lobby and the mail rooms;*

We have redesigned the entry courtyard to reflect a more formal, urban definition with the use of coloured pavers organized in a more geometric pattern; the mail room has been relocated to provide a direct sightline and accessible pedestrian connection from the street to the entry lobby for block B; natural lighting has been introduced over as much of this path as possible, the exit stair from the daycare has been flipped to allow the roof over the parking to be further pulled back to increase daylight to the parking level; the mail room will be a secured room fully accessible along the main entry path with glazed doors; these changes provide improved way-finding and access for pedestrians to the daycare, mail room and entry lobby, and improved character to the entry fore-court.

16. *consider variation of the corridor widths and increasing the elevator lobby widths;*

The corridor widths have been increased at each of the elevator locations on all floor levels to provide definition of these areas, and enhanced access to elevator doors.

17. *consider further design to the elevator core which is the centre of the building mass and which appears unfinished;*

The east façade of the elevator core has been revised with the addition of windows and spandrel elements similar to the revisions made to the stair cores for blocks A and C. These will provide the level of finish requested, and better integrate these elements with the rest of the building.

18. *consider adequate circulation for accessible units; and*

The dimension of doorways, passageways, and layout of millwork have considered

providing the maximum dimension possible given the overall constraints of the building.

19. *consider opportunities for integrating more art works along the public walkways throughout the development.*

Public art will be focussed along sidewalk, street edges and along public walkways.

CARRIED with Gary Fields and Willa Walsh opposed.



No. DP 08-430877

To the Holder: ORIS DEVELOPMENT (CAMBIE) CORP.
Property Address: 9340, 9360 AND 9400 CAMBIE ROAD
Address: C/O DANA WESTERMARK
 12235 NO. 1 ROAD
 RICHMOND, BC V7E-1T6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied to:
 - a) Increase the proportion of allowed small car parking spaces permitted from 70% to 78%; and
 - b) Reduce the side (west) yard setback to 3.0 m for the compactor/recycling room. .
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #31 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$471,880.93 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 08-430877

To the Holder: ORIS DEVELOPMENT (CAMBIE) CORP.
Property Address: 9340, 9360 AND 9400 CAMBIE ROAD
Address: C/O DANA WESTERMARK
12235 NO. 1 ROAD
RICHMOND, BC V7E-1T6

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

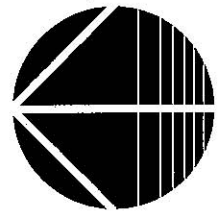
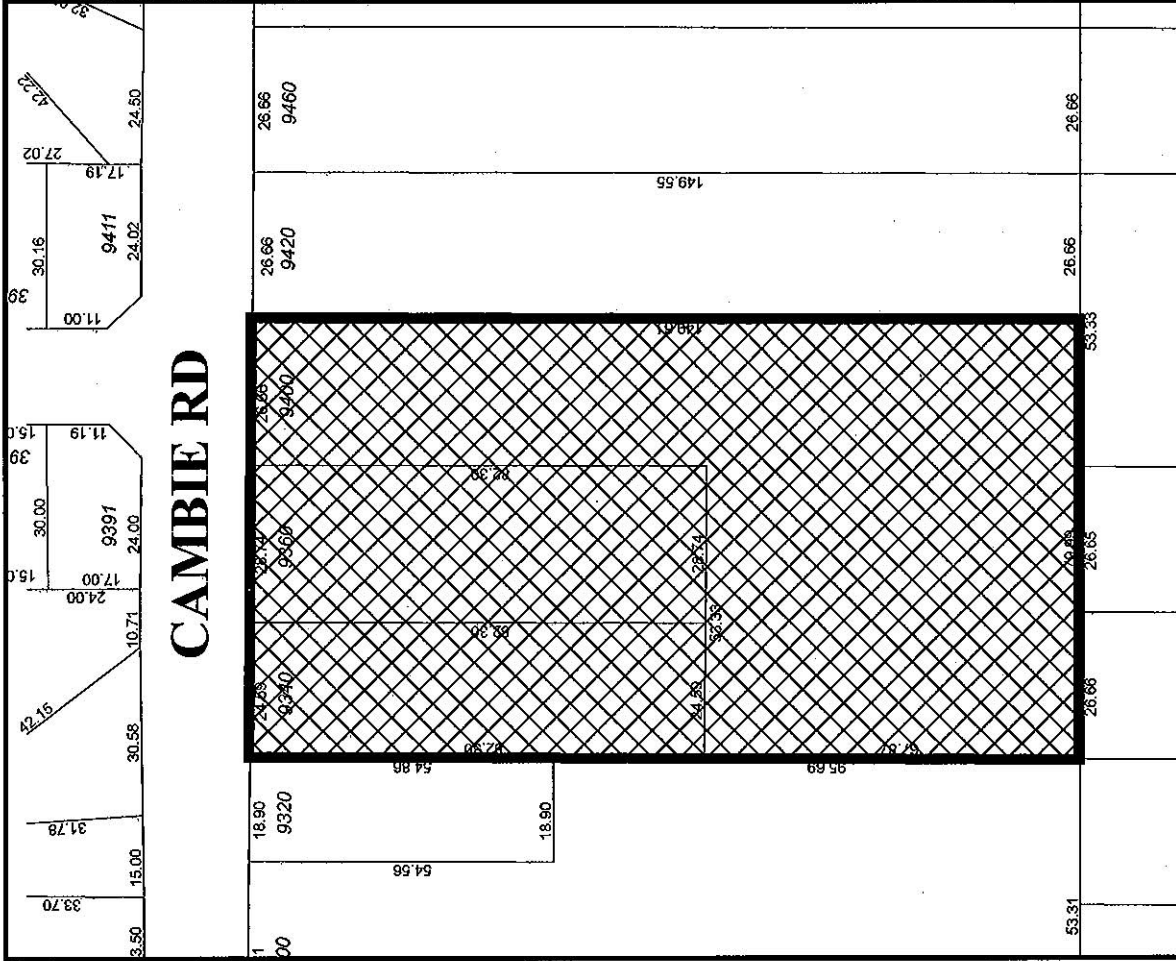
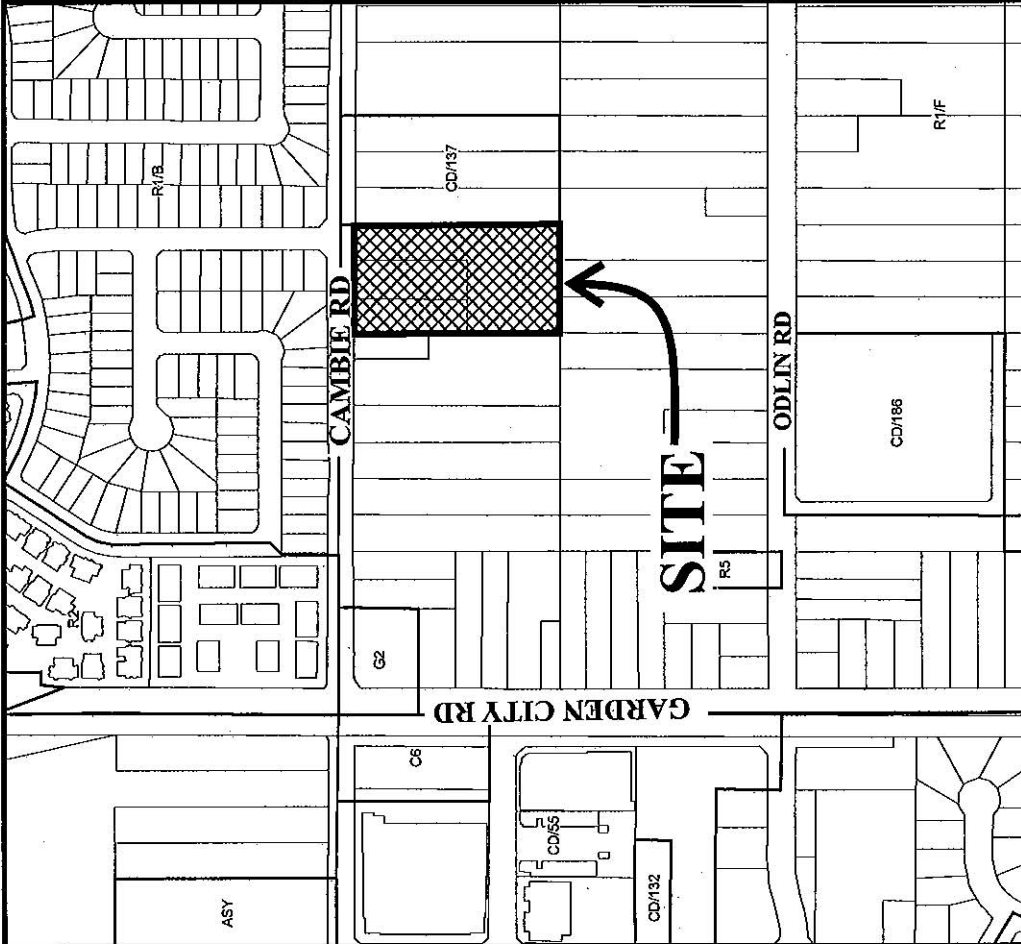
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond

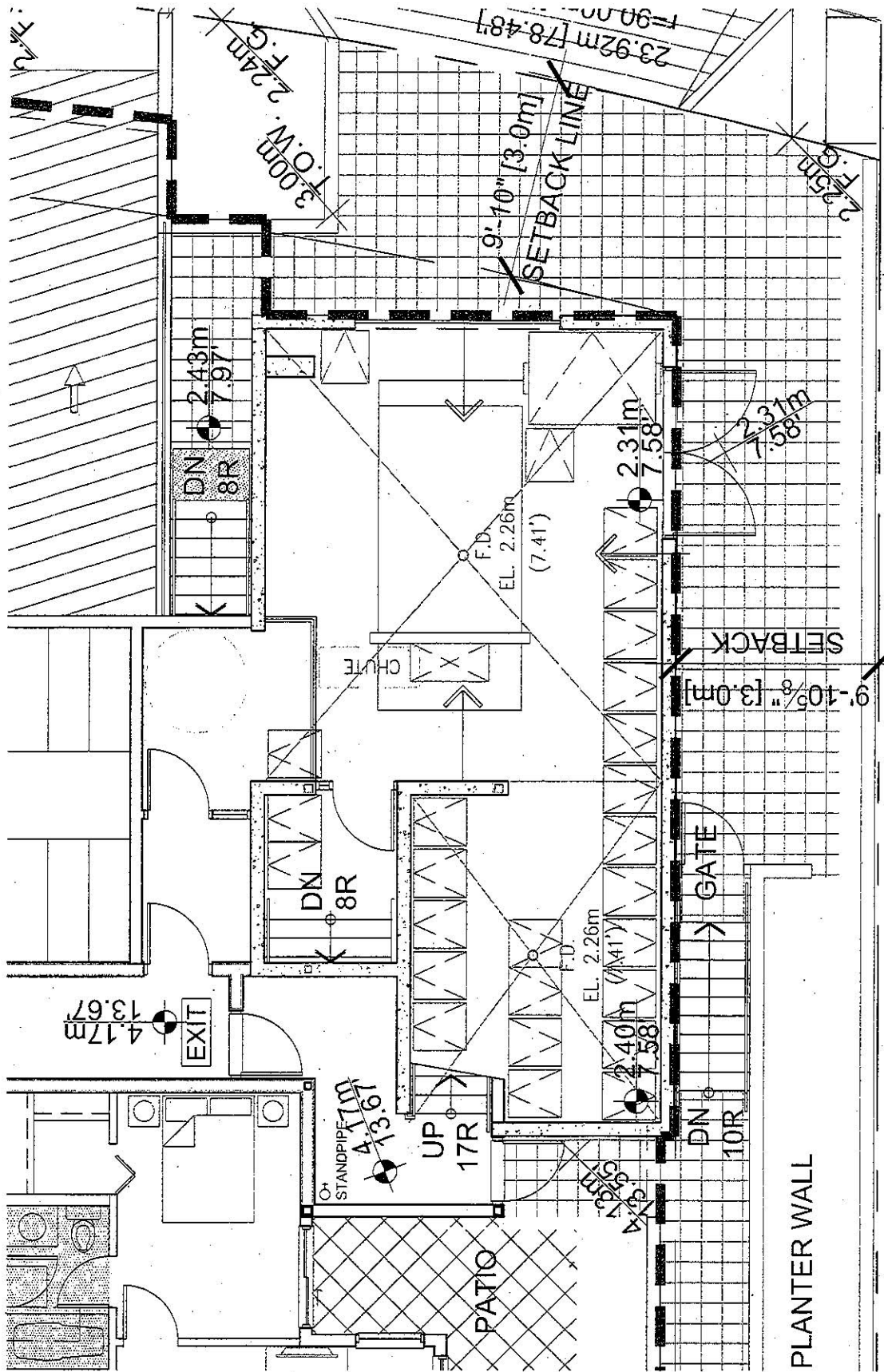


DP 08-430877 SCHEDULE "A"

Original Date: 08/05/08

Revision Date:

Note: Dimensions are in METRES



3a DP - 08430877

NOTES:

N

LEGEND:

ATTORNEYS UNITS

1	RENTAL UNIT
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Patrick

REMY
5338 CAMBIE ROAD (BLOCK G)
4033 STOLBERG ST. (BLOCK A)
4099 STOLBERG ST. (BLOCK B)
4100 STOLBERG ST. (BLOCK C)
RICHMOND B.C. (BLOCK D)
(FORMERLY FINESTOCK (LAMB WESTON))

Client
Ois Developments
(Cambie 1) Corp.

Contract No. 2003-0001
Project No. 2003-0001
Drawing No. 2003-0001-0001
Scale: 1/16"=1'-0"

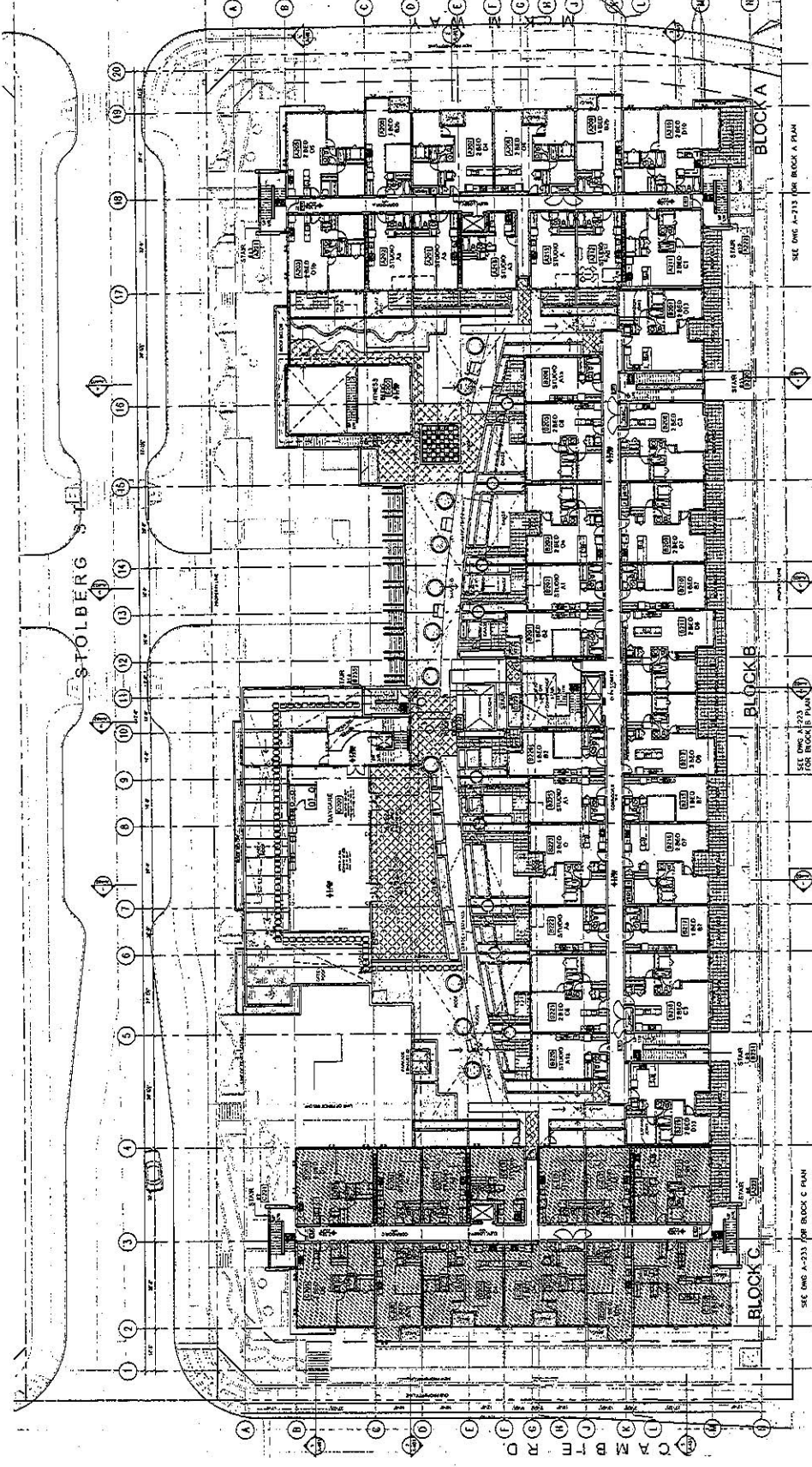
DATE: 01/11/03

BY: [Signature]

CHECKED: [Signature]

DATE: 01/11/03

PROJECT: 2003



ADJACENT PROPERTY

LEVEL 2 PLAN

1 LEVEL L2 PLAN
A203 SCALE: 1/16"=1'-0"

PROJECT NO. A-203
DATE: K

4 DP-08430877

NOTES:

LEGEND:

AFFORDABLE UNITS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	10/15/11
2	ISSUED FOR PERMITS	10/15/11
3	ISSUED FOR PERMITS	10/15/11
4	ISSUED FOR PERMITS	10/15/11
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18	ISSUED FOR PERMITS	10/15/11
19	ISSUED FOR PERMITS	10/15/11
20	ISSUED FOR PERMITS	10/15/11



PROJECT: 9388 CAMBIE ROAD (BLOCK G)
 4038 STOLBERG ST (BLOCKS E)
 4138 STOLBERG ST (BLOCKS F)
 RICHMOND B.C. (BLOCKS J)
 (FORMERLY 5148 BROAD CAMBIE ROAD)

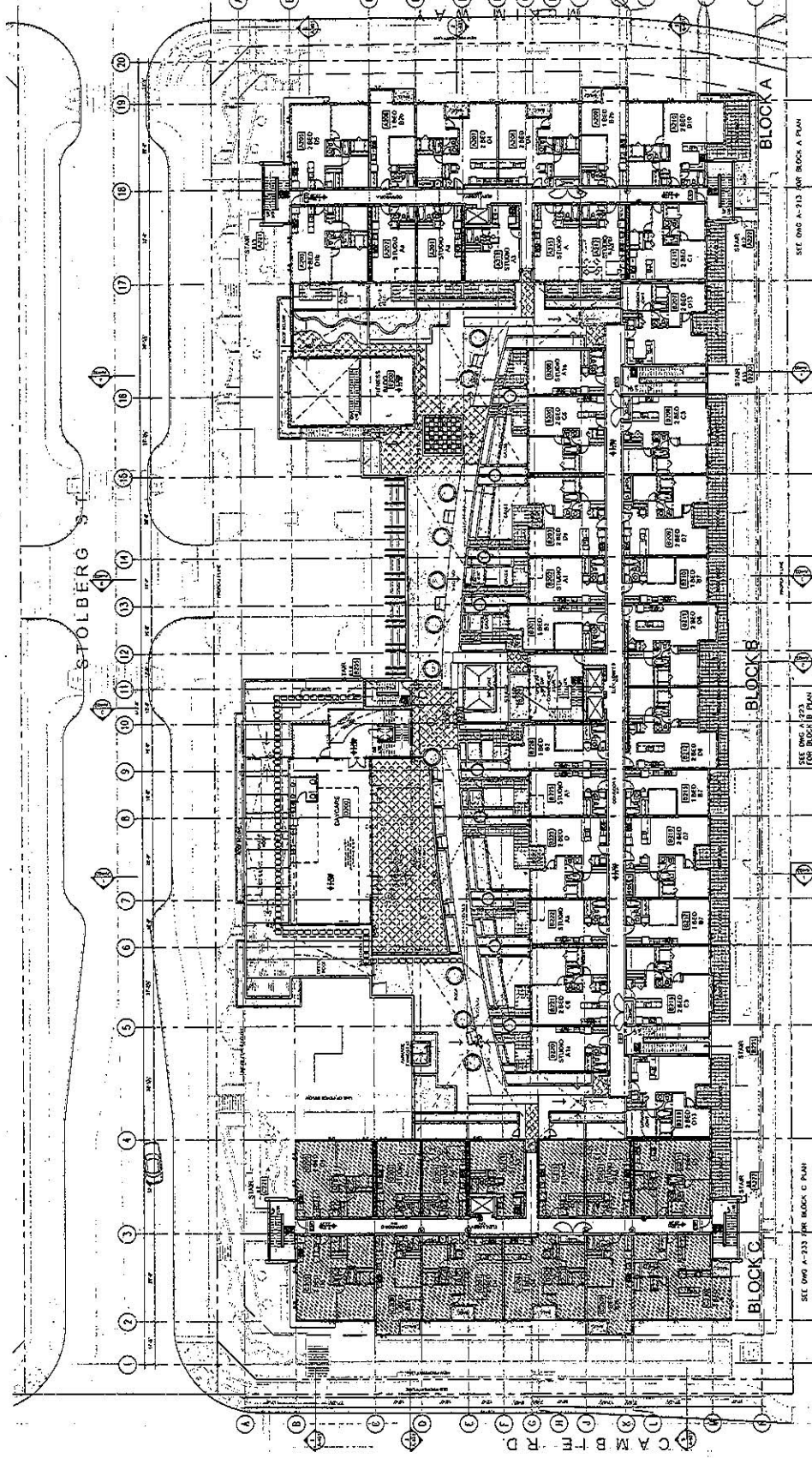
OWNER: Oric Developments
 (Cambie 1) Corp.

DATE: 10/15/11

SCALE: 1/16" = 1'-0"

LEVEL 2 PLAN

A-203 K



5 DP-08430877

1 LEVEL L2 PLAN
 A203 SCALE: 1/16" = 1'-0"

ADJACENT PROPERTY

SEE DWG A-233 FOR BLOCK C PLAN

SEE DWG A-713 FOR BLOCK A PLAN

SEE DWG A-713 FOR BLOCK B PLAN

STOLBERG ST

BLOCK A

BLOCK B

BLOCK C

C A M B I E R D

NOTES



NO.	REVISION	DATE
1	ISSUED FOR PERMITS	10/20/11
2	REVISED PER PERMITS	11/01/11
3	REVISED PER PERMITS	11/01/11
4	REVISED PER PERMITS	11/01/11
5	REVISED PER PERMITS	11/01/11
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20	REVISED PER PERMITS	11/01/11



PROJECT: 0388 CAMBIE ROAD (BLOCKS) 4099 STOLBERG ST. (BLOCKS) 4103 STOLBERG ST. (BLOCKS) 4107 STOLBERG ST. (BLOCKS) (PROJECTS 1103 AND 1104) (CAMBIE ROAD)

OWNER: Ois Developments (Cambie 1) Corp.

DESIGNER: Paltek
1000 WEST 10TH AVENUE
SUITE 100
VANCOUVER, BC V6H 3G9
TEL: 604-271-1111
FAX: 604-271-1112
WWW.PALTEK.COM

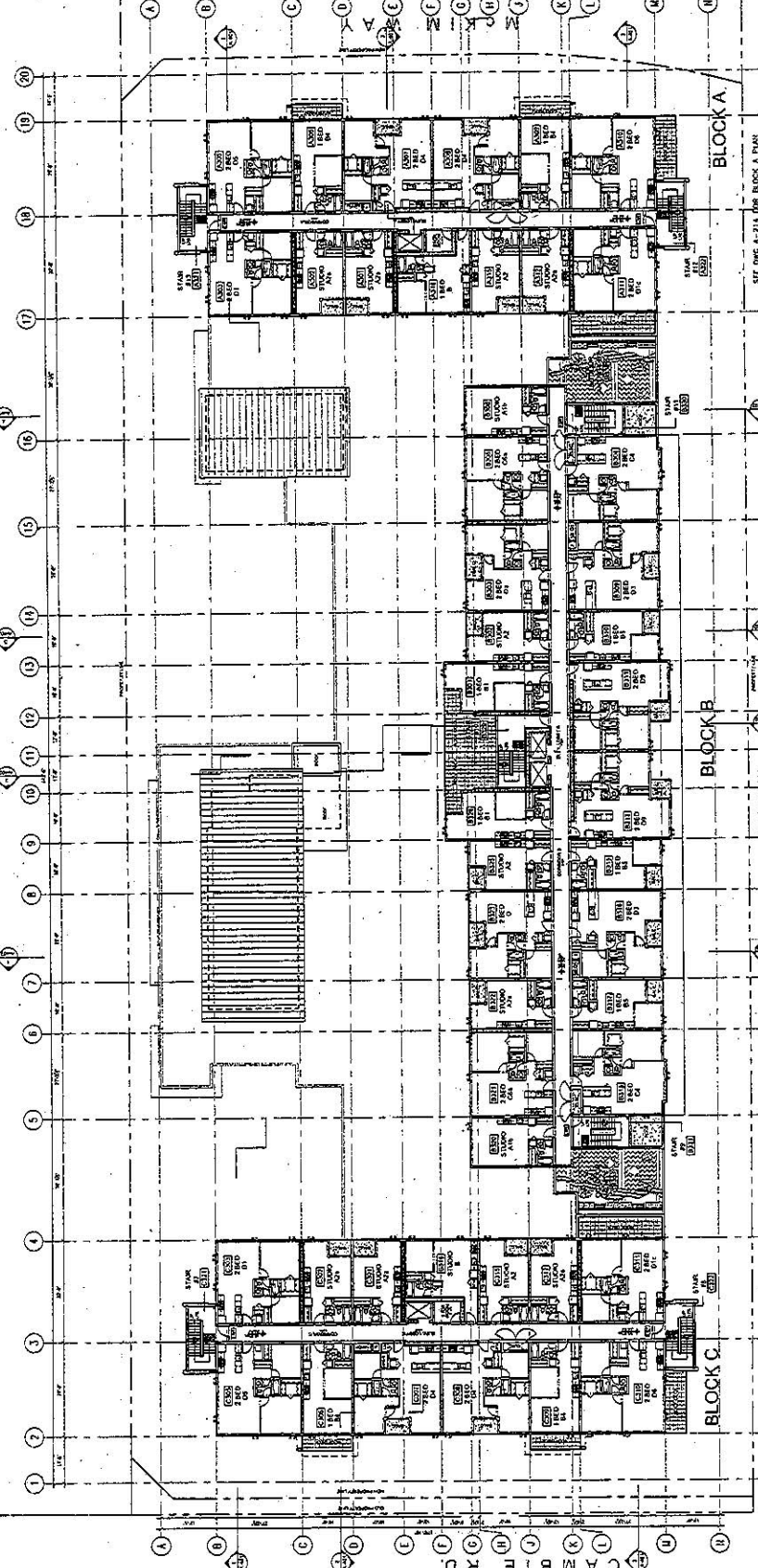
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SCALE: 1/8"=1'-0"

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20	REVISED PER PERMITS	11/01/11

LEVEL 3 PLAN

A-204 K

STOLBERG ST.



6 DP-08430877

1 LEVEL 3 SCALE: 1/16"=1'-0"

ADJACENT PROPERTY

BLOCK C

BLOCK B

BLOCK A

SEE DWG A-231 FOR BLOCK C PLAN

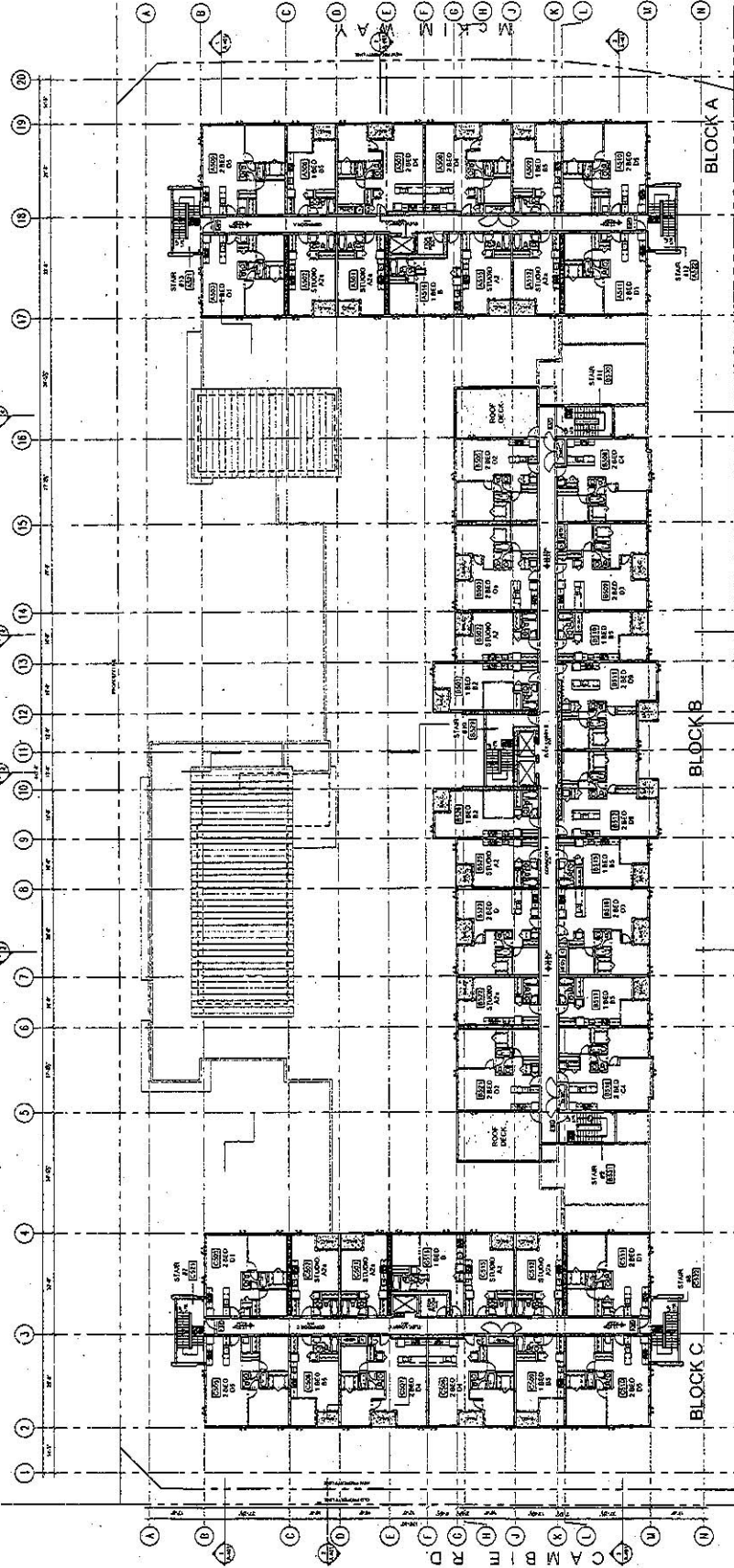
SEE DWG A-224 FOR BLOCK B PLAN

SEE DWG A-214 FOR BLOCK A PLAN

NOTES



STOLBERG ST.



BLOCK C

SEE DWG A-235 FOR BLOCK C PLAN

BLOCK B

SEE DWG A-233 FOR BLOCK B PLAN

ADJACENT PROPERTY

BLOCK A

SEE DWG A-215 FOR BLOCK A PLAN

7 DP-08430877

1 LEVEL 4

A205 SCALE: 1/16"=1'-0"

LEVEL 4 PLAN

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	08/15/11
2	REVISIONS	
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PROJECT
 5588 CAMBIE ROAD PROJECT
 4099 STOLBERG ST. (BLOCK A)
 4100 STOLBERG ST. (BLOCK B)
 4101 STOLBERG ST. (BLOCK C)
 (FORMERLY 5588 CAMBIE ROAD)
 OHS DEVELOPMENTS
 (Cambie 1) Corp.

OWNER
 OHS DEVELOPMENTS
 5588 CAMBIE ROAD, SUITE 100
 VANCOUVER, BC V6N 1A1
 TEL: 604-271-1111
 FAX: 604-271-1112
 EMAIL: info@ohsdevelopments.com
 WWW: www.ohsdevelopments.com

DESIGNER
 OHS DEVELOPMENTS
 5588 CAMBIE ROAD, SUITE 100
 VANCOUVER, BC V6N 1A1
 TEL: 604-271-1111
 FAX: 604-271-1112
 EMAIL: info@ohsdevelopments.com
 WWW: www.ohsdevelopments.com

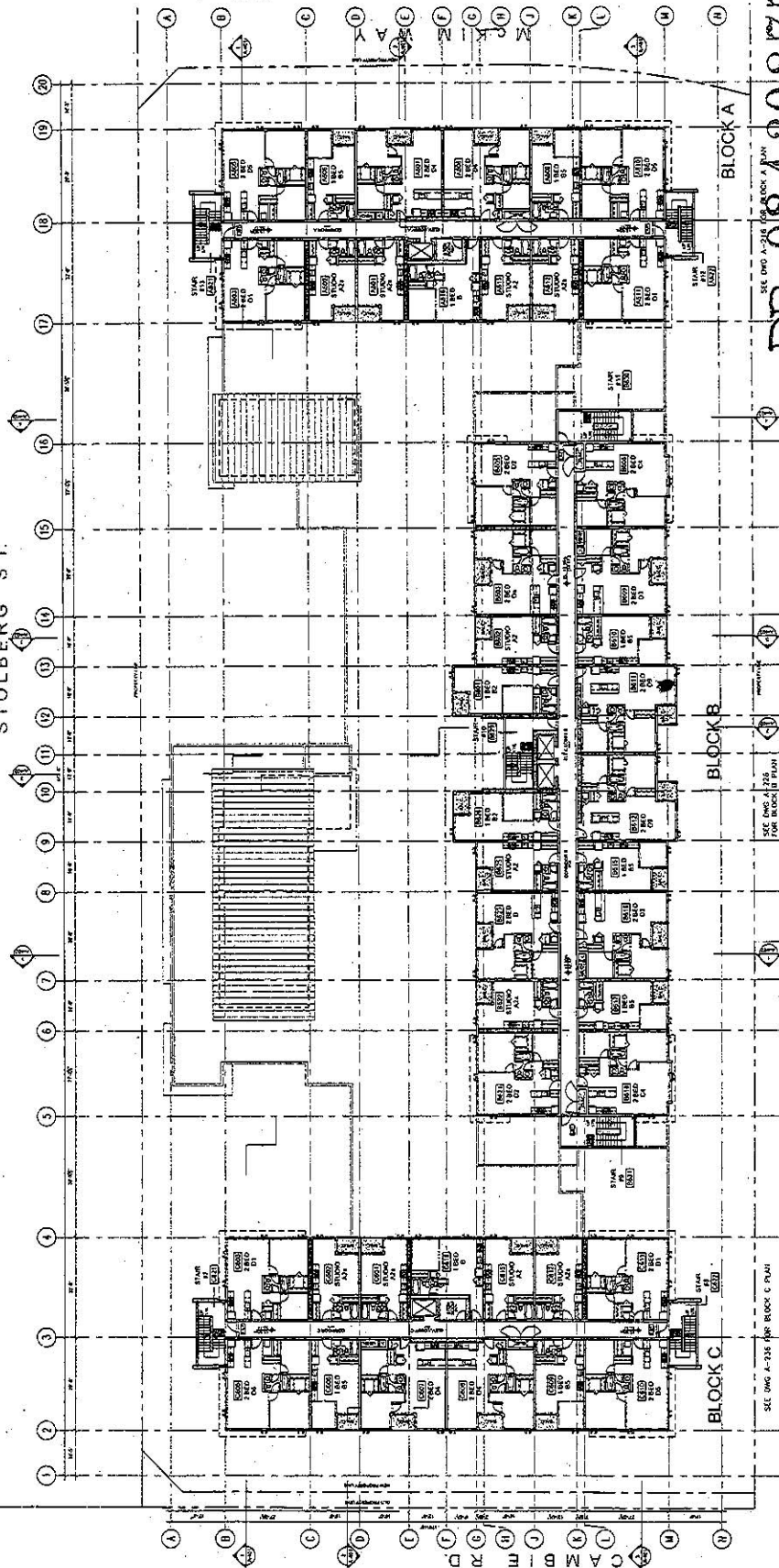
DATE: 08/15/11
 SCALE: 1/16"=1'-0"
 SHEET NO. 1
 OF 1

A-205
 K

NOTES:



STOLBERG ST.



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/15/06
2	REVISIONS FOR PERMITS	08/15/06
3	REVISIONS FOR PERMITS	08/15/06
4	REVISIONS FOR PERMITS	08/15/06
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20	REVISIONS FOR PERMITS	08/15/06

PROJECT:
 4833 CAUBRIE ROAD (BLOCK A)
 4833 STOLBERG ST. (BLOCK B)
 4833 STOLBERG ST. (BLOCK C)
 (CONVERT FROM 100' TO 120' (LARGER DOWN))

DATE: 08/15/06
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
 SHEET NO.: [Number]

ONE Developments
 (Cambria 1) Corp.
 10000 RIVERVIEW BLVD., SUITE 200, RIVERVIEW, CA 94591
 TEL: (925) 895-1111
 FAX: (925) 895-1112
 WWW: www.one-developments.com

SEE DWG A-218 FOR BLOCK A PLAN
 SEE DWG A-219 FOR BLOCK B PLAN
 SEE DWG A-220 FOR BLOCK C PLAN

DP-08430877

1 LEVEL 5
 A206 SCALE: 1/8"=1'-0"

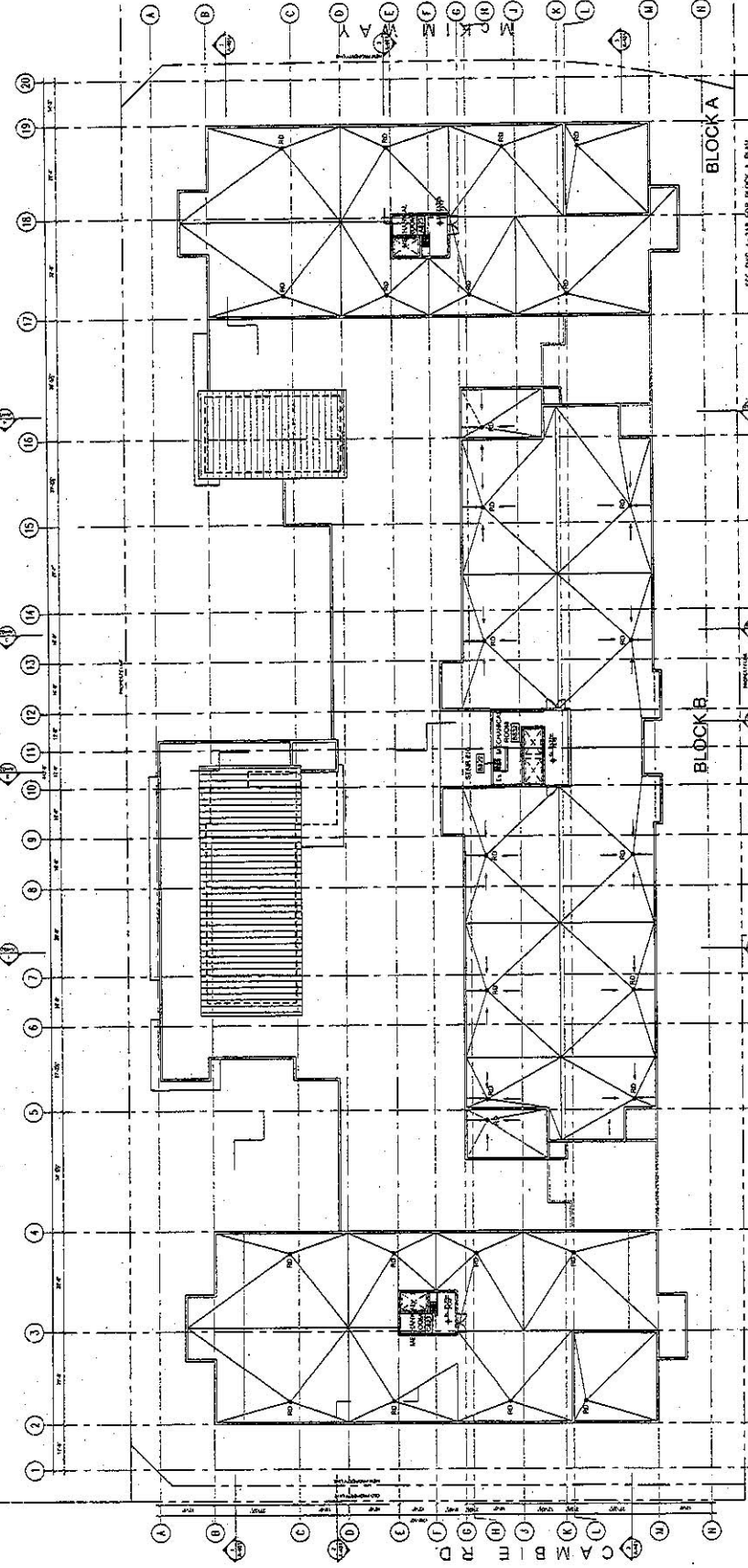
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 CHECKED BY: [Blank]
 PROJECT NO.: [Blank]
 SHEET NO.: [Blank]

A-206 K

NOTES:



STOLBERG ST.



NO.	DESCRIPTION	REVISIONS
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20	REVISIONS	



PROJECT: REMY
 5985 CAMBIE ROAD (BLOCK C)
 4099 STOLBERG ST. (BLOCK D)
 4133 STOLBERG ST. (BLOCK A)
 RICHMOND D.C.
 (GENERAL CONTRACTOR) CAMBIE Remy

OWNER: Otis Developments
 (Cambie 1) Corp.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	07/27/17
2	ISSUED FOR PERMITS	07/27/17
3	ISSUED FOR PERMITS	07/27/17
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20	ISSUED FOR PERMITS	07/27/17

SEE DWG A-238 FOR BLOCK A PLAN
 SEE DWG A-239 FOR BLOCK B PLAN
 SEE DWG A-240 FOR BLOCK C PLAN

10 DP-08430877

1 ROOF MECHANICAL PLAN
 A208 SCALE: 1/16"=1'-0"

ADJACENT PROPERTY

BLOCK B

BLOCK A

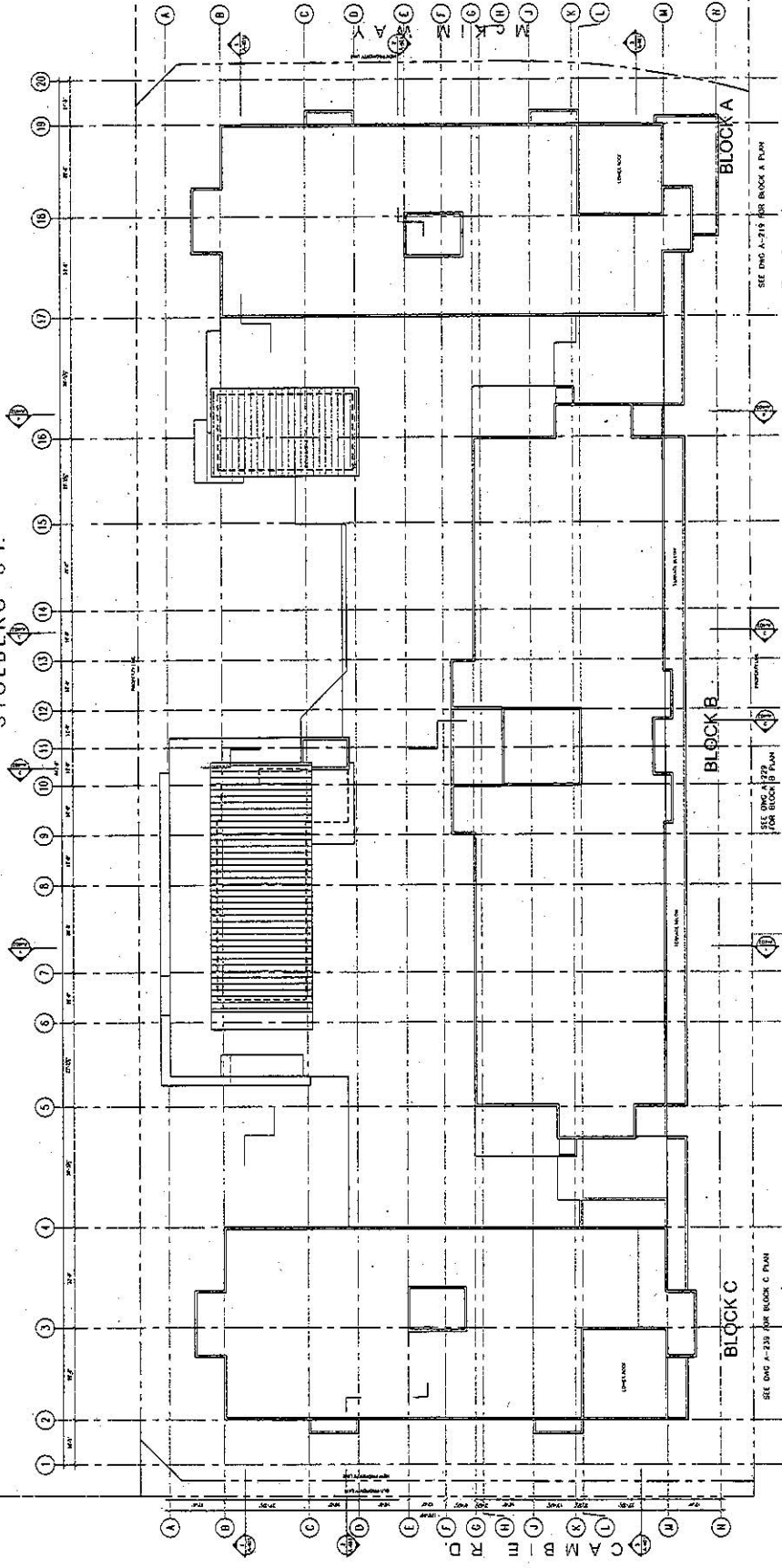
CAMBIE RD

PROJECT NO: A-208
 SHEET NO: K

NOTES:



STOLBERG ST.



BLOCK C

SEE DWG A-238 FOR BLOCK C PLAN

BLOCK B

SEE DWG A-277 FOR BLOCK B PLAN

BLOCK A

SEE DWG A-219 FOR BLOCK A PLAN

ADJACENT PROPERTY

11 DP - 08430877

1 ROOF PLAN

A209 SCALE 1/8"=1'-0"

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMITS	08/14/11
2	REVISED TO REFLECT PERMITS	08/14/11
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19	REVISED TO REFLECT PERMITS	08/14/11
20	REVISED TO REFLECT PERMITS	08/14/11



PROJECT
 9380 CAMBIE ROAD (BLOCK C)
 4835 STOLBERG ST. (BLOCK B)
 4895 STOLBERG ST. (BLOCK A)
 RICHMOND B.C.
 PROPERTY OWNED BY CAMBIE ROAD

ORIS Developments
 (Cambie 1) Corp.

DATE: 08/14/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8"=1'-0"

ROOF PLAN

DWG NO: A-209
 SHEET NO: K

NOTES:

- EXTERIOR FINISH SCHEDULE**
- 1) PAINTWORK FINISHES IN ALL ELEVATIONS
 - 2) EXTERIOR WALLS
 - 3) EXTERIOR WALLS
 - 4) EXTERIOR WALLS
 - 5) EXTERIOR WALLS
 - 6) EXTERIOR WALLS
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 - 17) EXTERIOR WALLS
 - 18) EXTERIOR WALLS
 - 19) EXTERIOR WALLS
 - 20) EXTERIOR WALLS

NO.	DESCRIPTION	UNIT
1	CONCRETE	1
2	BRICK	1
3	GLAZED ALUMINUM WINDOW	1
4	GLAZED ALUMINUM DOOR	1
5	GLAZED ALUMINUM CURTAIN WALL	1
6	GLAZED ALUMINUM SKYLIGHT	1
7	GLAZED ALUMINUM TRANSOM	1
8	GLAZED ALUMINUM TRANSOM	1
9	GLAZED ALUMINUM TRANSOM	1
10	GLAZED ALUMINUM TRANSOM	1
11	GLAZED ALUMINUM TRANSOM	1
12	GLAZED ALUMINUM TRANSOM	1
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18	GLAZED ALUMINUM TRANSOM	1
19	GLAZED ALUMINUM TRANSOM	1
20	GLAZED ALUMINUM TRANSOM	1



PROJECT: 9988 CAMBIE ROAD (BLOCK 4)
4033 STOLBERG ST. (PHASE 1)
4133 STOLBERG ST. (BLOCK 2)
RICHMOND B.C.
FORMERLY THE BURNING BUSH CARE HOME

OWNER: One Developments
(Cambie 7) Corp.

DATE: 1/18/17

SCALE: 1/16" = 1'-0"

DATE: 1/18/17

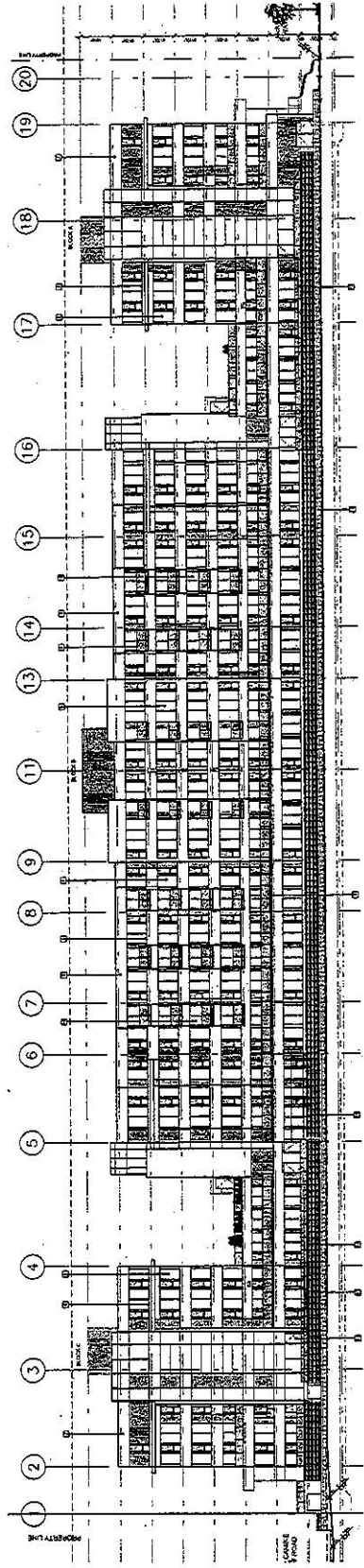
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DATE: 1/18/17

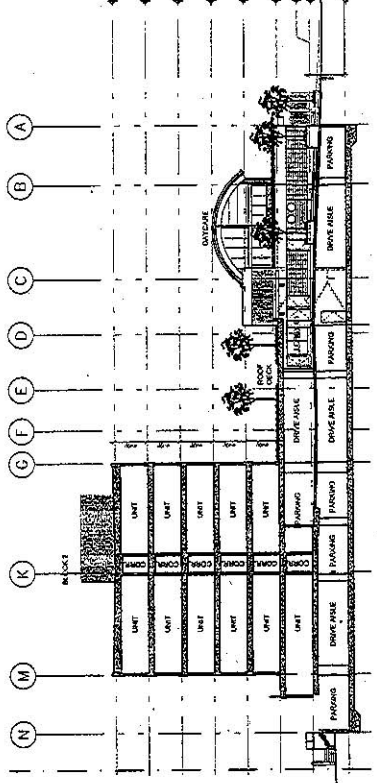
SCALE: 1/16" = 1'-0"

DATE: 1/18/17

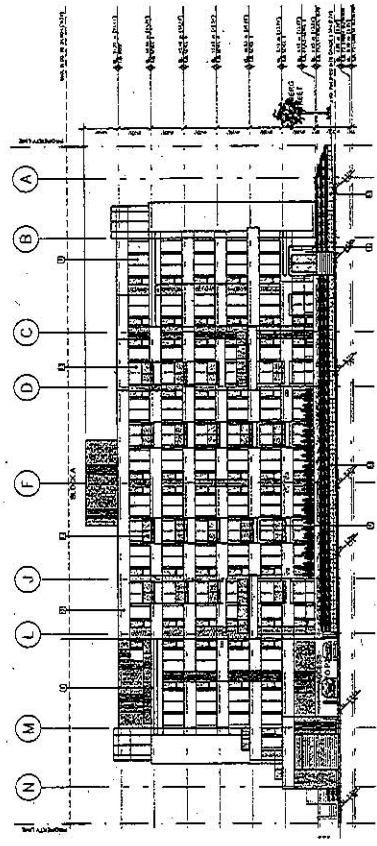
SCALE: 1/16" = 1'-0"



1 WEST ELEVATION
SCALE: 1/16" = 1'-0"
A301



3 SOUTH ELEVATION
OF DAYCARE THROUGH DRIVE ENTRY
SCALE: 1/16" = 1'-0"
A301



2 SOUTH ELEVATION
ALONG McKIM WAY
SCALE: 1/16" = 1'-0"
A301

BUILDING ELEVATIONS

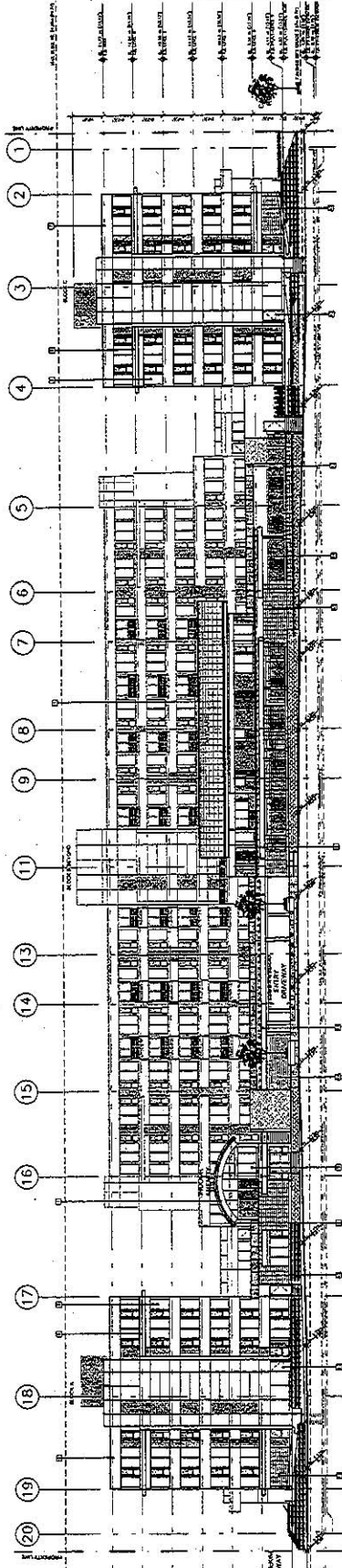
DATE: 1/18/17

15 DP-08430877

A-301 K

NOTES:
EXERCISE CAUTION

- 1) INTERIORS WITH METAL FINISHING
- 2) INTERIORS WITH WALL COVERING
- 3) INTERIORS WITH WALL COVERING
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- 19) INTERIORS WITH WALL COVERING
- 20) INTERIORS WITH WALL COVERING



1
A302
EAST ELEVATIONS
ALONG STOLBERG STREET
SCALE: 1/16"=1'-0"



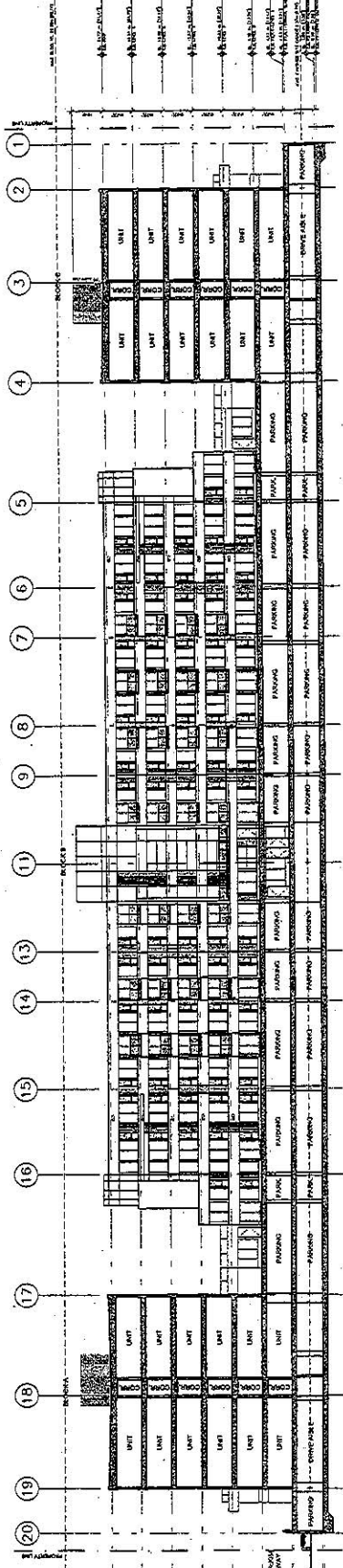
Pallick
ARCHITECTS
10000 W. 10th Ave.
Suite 1000
Denver, CO 80202
Tel: 303.733.1111
Fax: 303.733.1112
www.pallickarchitects.com

PROJECT
558 CAMBIE ROAD (W/200)
4833 STOLBERG ST. (W/200)
4899 STOLBERG ST. (BLOCK)
4133 STOLBERG ST. (BLOCK)
10000 W. 10th Ave. (W/200)
10000 W. 10th Ave. (W/200)
10000 W. 10th Ave. (W/200)
10000 W. 10th Ave. (W/200)

Oris Developments
(Cambria 1) Co., Inc.
10000 W. 10th Ave. (W/200)
10000 W. 10th Ave. (W/200)
10000 W. 10th Ave. (W/200)
10000 W. 10th Ave. (W/200)

NO.	DATE	DESCRIPTION
1	10/1/11	ISSUED FOR PERMITS
2	10/1/11	ISSUED FOR PERMITS
3	10/1/11	ISSUED FOR PERMITS
4	10/1/11	ISSUED FOR PERMITS
5	10/1/11	ISSUED FOR PERMITS
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18	10/1/11	ISSUED FOR PERMITS
19	10/1/11	ISSUED FOR PERMITS
20	10/1/11	ISSUED FOR PERMITS

BUILDING ELEVATIONS



2
A302
EAST ELEVATIONS
THROUGH ROOF DECK
SCALE: 1/16"=1'-0"

16 DP-08430877

- NOTES:**
- EXTERIOR WALLS/SCREENS:**
- 1. FINISH TO MATCH EXISTING WALLS
 - 2. FINISH TO MATCH EXISTING WALLS
 - 3. FINISH TO MATCH EXISTING WALLS
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 - 47. FINISH TO MATCH EXISTING WALLS
 - 48. FINISH TO MATCH EXISTING WALLS
 - 49. FINISH TO MATCH EXISTING WALLS
 - 50. FINISH TO MATCH EXISTING WALLS

NO.	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE	1000	CU YD
2	STEEL	1000	LB
3	BRICK	1000	SQ YD
4	GLASS	1000	SQ FT
5	PAINT	1000	GA
6	ROOFING	1000	SQ FT
7	MECHANICAL	1000	HR
8	ELECTRICAL	1000	HR
9	PLUMBING	1000	HR
10	LANDSCAPE	1000	SQ FT
11	CONCRETE	1000	CU YD
12	STEEL	1000	LB
13	BRICK	1000	SQ YD
14	GLASS	1000	SQ FT
15	PAINT	1000	GA
16	ROOFING	1000	SQ FT
17	MECHANICAL	1000	HR
18	ELECTRICAL	1000	HR
19	PLUMBING	1000	HR
20	LANDSCAPE	1000	SQ FT

Paltek
 10000 100th Ave
 Richmond, BC V6V 1K1
 TEL: (604) 271-1111
 FAX: (604) 271-1112
 WWW.PALTEK.COM

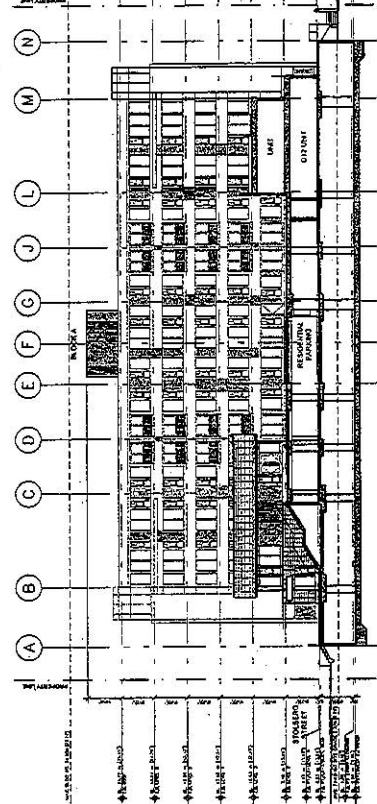
ORIS Developments
 (Cambie 1) Corp.
 9388 CAMBIE ROAD (BLOCK G)
 4033 STOLBERG ST. (BAYVIEW)
 4133 STOLBERG ST. (BLOCK A)
 RICHMOND B.C.
 PROJECT: 15103368 (CAMBIE ROAD)

NO.	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE	1000	CU YD
2	STEEL	1000	LB
3	BRICK	1000	SQ YD
4	GLASS	1000	SQ FT
5	PAINT	1000	GA
6	ROOFING	1000	SQ FT
7	MECHANICAL	1000	HR
8	ELECTRICAL	1000	HR
9	PLUMBING	1000	HR
10	LANDSCAPE	1000	SQ FT

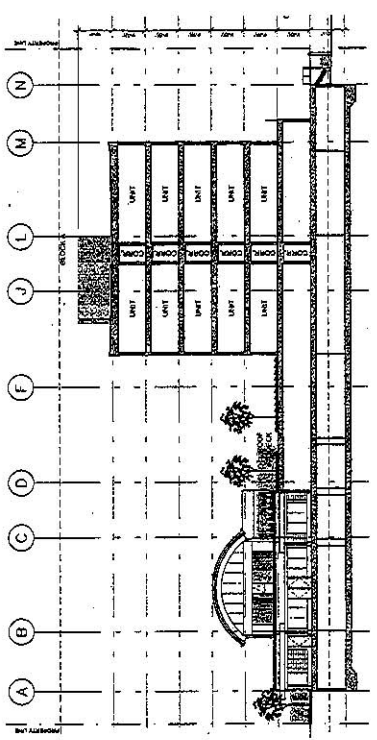
BUILDING ELEVATIONS

SCALE: 1/16"=1'-0"

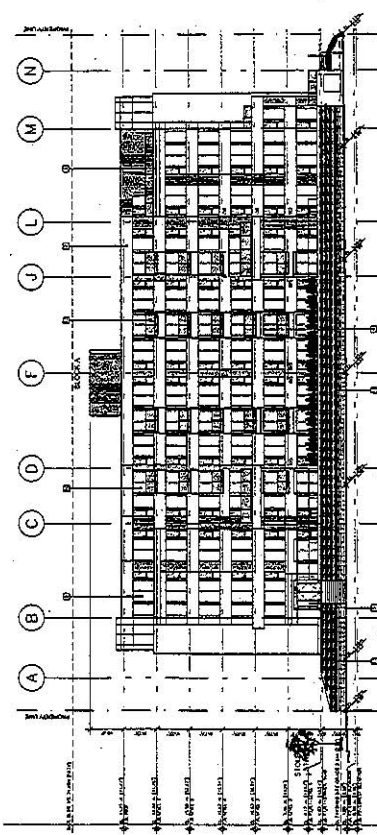
DATE: 10/15/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]



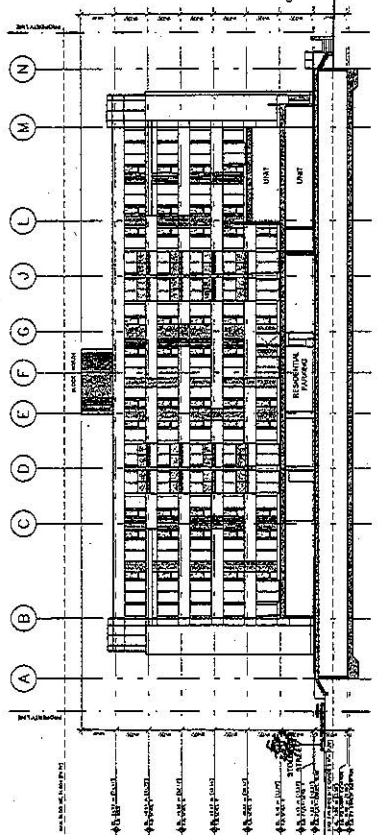
4 SOUTH ELEVATION THROUGH COURTYARD
 SCALE: 1/16"=1'-0"
 A303



3 NORTH ELEVATION OF DAYCARE THROUGH ROOF DECK
 SCALE: 1/16"=1'-0"
 A303



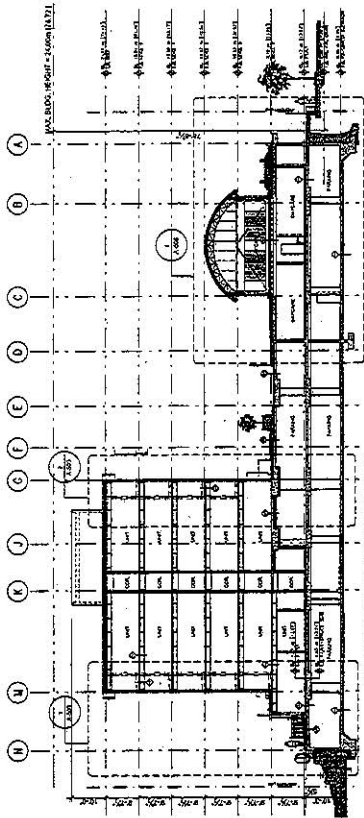
1 NORTH ELEVATION ALONG CAMBIE ROAD
 SCALE: 1/16"=1'-0"
 A303



2 NORTH ELEVATION THROUGH GREEN ROOF DECK
 SCALE: 1/16"=1'-0"
 A303

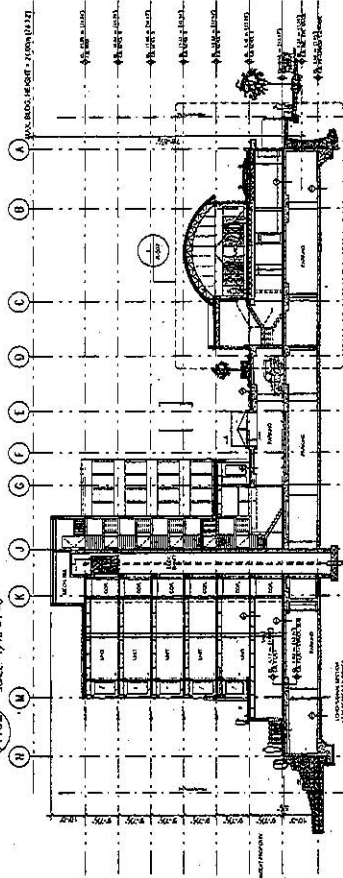
17 DP-08430877

NOTES:



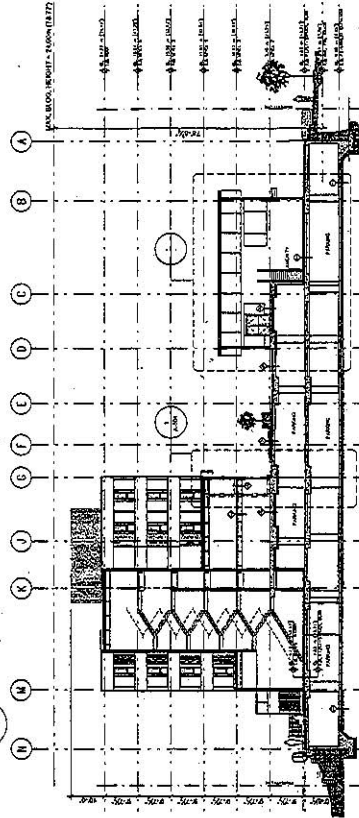
1 CROSS SECTION AT DAY CARE
LOOKING NORTH TOWARD CAMBIE
SCALE: 1/8"=1'-0"

A402



2 CROSS SECTION THRU BALCONIES
LOOKING NORTH TOWARD CAMBIE
SCALE: 1/8"=1'-0"

A402



3 CROSS SECTION AT RAMP TO L1
LOOKING EAST TOWARD CAMBIE ROAD
SCALE: 1/8"=1'-0"

A402

4 CROSS SECTION AT AMENITY
LOOKING NORTH TOWARD CAMBIE
SCALE: 1/8"=1'-0"

A402

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	11/11/17
2	REVISIONS TO PERMITS	11/11/17
3	REVISIONS TO PERMITS	11/11/17
4	REVISIONS TO PERMITS	11/11/17
5	REVISIONS TO PERMITS	11/11/17
6	REVISIONS TO PERMITS	11/11/17
7	REVISIONS TO PERMITS	11/11/17
8	REVISIONS TO PERMITS	11/11/17
9	REVISIONS TO PERMITS	11/11/17
10	REVISIONS TO PERMITS	11/11/17



PROJECT: 9388 CAMBIE ROAD (BLOCK C)
4033 STOLBERG ST. (BLOCK B)
4133 STOLBERG ST. (BLOCK A)
RICHMOND B.C.
OWNER: OIS DEVELOPMENTS (CAMBIE TOWN)
ARCHITECT: OIS DEVELOPMENTS (CAMBIE TOWN)
DATE: 11/11/17
SCALE: 1/8"=1'-0"

PROJECT: 9388 CAMBIE ROAD (BLOCK C)
4033 STOLBERG ST. (BLOCK B)
4133 STOLBERG ST. (BLOCK A)
RICHMOND B.C.
OWNER: OIS DEVELOPMENTS (CAMBIE TOWN)
ARCHITECT: OIS DEVELOPMENTS (CAMBIE TOWN)
DATE: 11/11/17
SCALE: 1/8"=1'-0"

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	11/11/17
2	REVISIONS TO PERMITS	11/11/17
3	REVISIONS TO PERMITS	11/11/17
4	REVISIONS TO PERMITS	11/11/17
5	REVISIONS TO PERMITS	11/11/17
6	REVISIONS TO PERMITS	11/11/17
7	REVISIONS TO PERMITS	11/11/17
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9	REVISIONS TO PERMITS	11/11/17
10	REVISIONS TO PERMITS	11/11/17

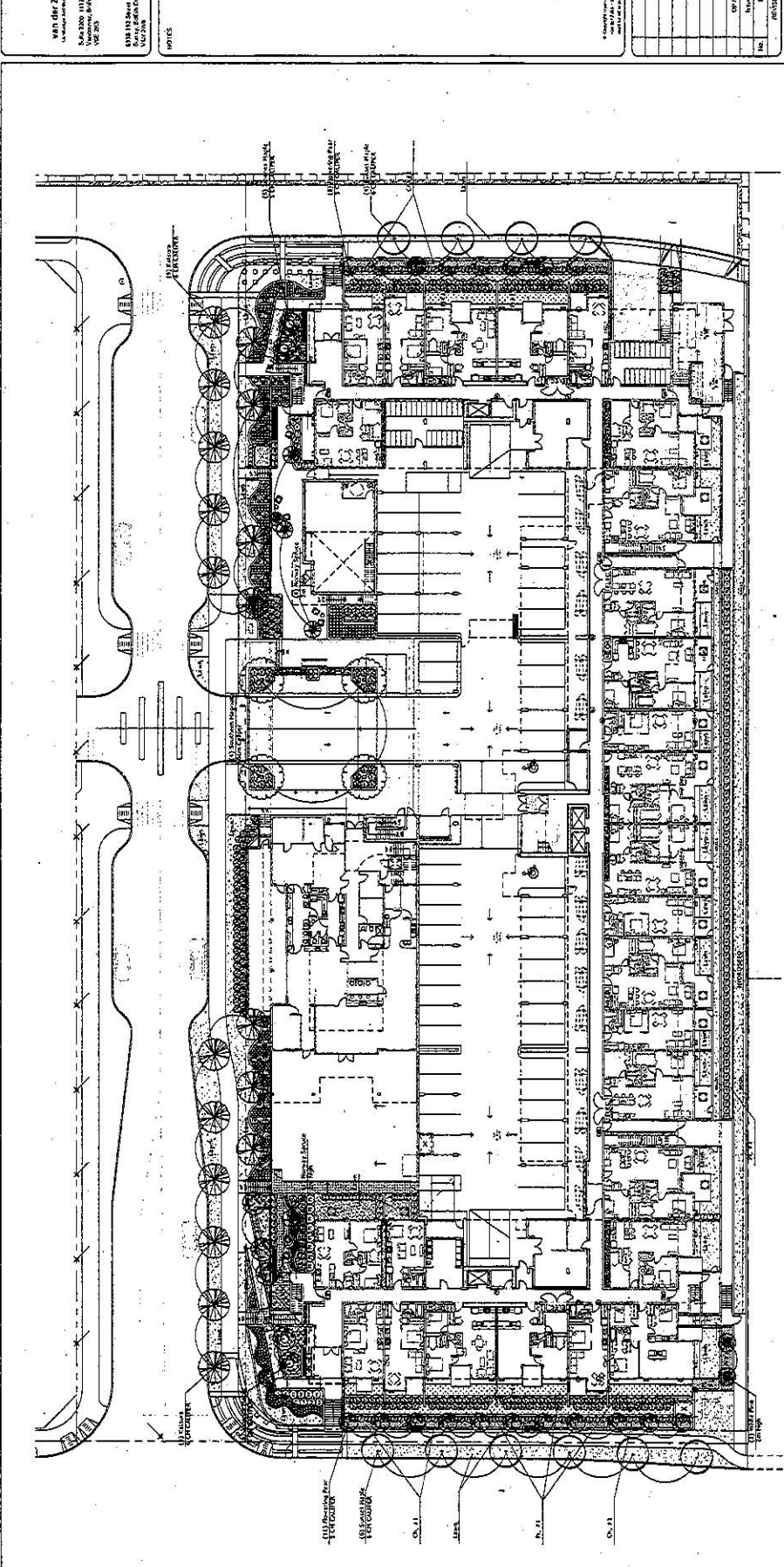
PROJECT: 9388 CAMBIE ROAD (BLOCK C)
4033 STOLBERG ST. (BLOCK B)
4133 STOLBERG ST. (BLOCK A)
RICHMOND B.C.
OWNER: OIS DEVELOPMENTS (CAMBIE TOWN)
ARCHITECT: OIS DEVELOPMENTS (CAMBIE TOWN)
DATE: 11/11/17
SCALE: 1/8"=1'-0"

PROJECT: 9388 CAMBIE ROAD (BLOCK C)
4033 STOLBERG ST. (BLOCK B)
4133 STOLBERG ST. (BLOCK A)
RICHMOND B.C.
OWNER: OIS DEVELOPMENTS (CAMBIE TOWN)
ARCHITECT: OIS DEVELOPMENTS (CAMBIE TOWN)
DATE: 11/11/17
SCALE: 1/8"=1'-0"

BUILDING SECTIONS

A-402 K

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PROPOSED TREE SCHEDULE

SYMBOL	BOTANICAL NAME	QUANTITY	COMMON NAME	SIZE	COMMENT
PAB	Picea abies	5	Norway Spruce	8' high	Canifer
PS	Pinus strobus 'Pendula'	2	Pendula White Pine	6' high	Canifer
QR	Cercidiphyllum japonicum 'Red Fox'	18	Japanese Katsura	5 cm cal	Canopy
QR	Prunus cerasifera 'Redspire'	19	Redspire Pear	4 cm cal	Flowering tree
AT	Acer truncatum 'Warren Red'	10	Pacific Sunset Maple	6 cm cal	Canopy
AP	Acer palmatum dissectum 'Ever Red'	5	Ever red Japanese Maple	5 cm cal	Canopy
MG	Magnolia grandiflora	4	Southern Magnolia	6 cm cal	Canopy

PROPOSED PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	COMMENT	SPACING
Az	Rhododendron japonicum	#3	168	Flower Shrub	
SI	Stipa tenuissima	#2	9	Native grass	12IN O.C.
Ch	Colocheaster horizontalis	#1	1280	Groundcover	12IN O.C.
PI	Pachysandra terminalis	#1	1622	Groundcover	
Hy	Hydrangea macrophylla 'All Summer Beauty'	#3	100	Flower Shrub	
PI	Prunus laurocerasus 'Olio Luyken'	#3	8	Herbifing	
Cv	Erica darleyensis 'Mediterranean Peak'	#1	580	Perennial	
SS	Sedum spectabile	#1	69	Green Roof	
NI	Nandina domestica 'Prun Pasteur'	#2	18	Evergreen Shrub	
TD	Taxus baccata 'Davatone'	#2	219	Evergreen Shrub	
Lawn	Lawn	%	8156sqft	Evergreen Shrub	

*: MIXED SEASON, MEDIUM GROW (Azalea japonica 'Girards Fuchsia'; Azalea japonica 'Girards Purple'; Azalea japonica 'Hino Cinsan')
 ALL PLANTING MUST BE COMPLETED TO BCLNA STANDARDS -- LATEST EDITION 2008

WSP Inc. 2008
 4881 15th Street, Suite 100
 Vancouver, BC V6P 2B5
 P: 604.271.2000
 F: 604.271.2001
 www.wspinc.com

NOTES

27 DP-08430877

NO.	REVISION/ISSUE	DATE
1	Issue for bid	Oct 11, 2008
2	Revised bid	Oct 11, 2008
3	Drawings	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND LOCATIONS OF ALL PLANTING MATERIALS TO BE INSTALLED AT THE COMMENCEMENT OF THE WORK.

PROJECT: Renny Project
 9388 CAMBIE ROAD
 4033, 4099, 4133
 STOLBERG ST
 RICHMOND, B.C.
 FORMERLY 9380, 9360, 9400
 Cambie St., Richmond,
 British Columbia

DRAWING NO. L1.04
 PROJECT NO. DP2008-05
 DATE: OCT 2008
 SCALE: 1"=20'

vander Zalm & associates Inc.
 Landscape Architecture
 3333 151 Street
 Vancouver, BC V6L 2K1
 Tel: 604-271-1111
 Fax: 604-271-1112
 www.vanderzalm.com

DP - 08430877

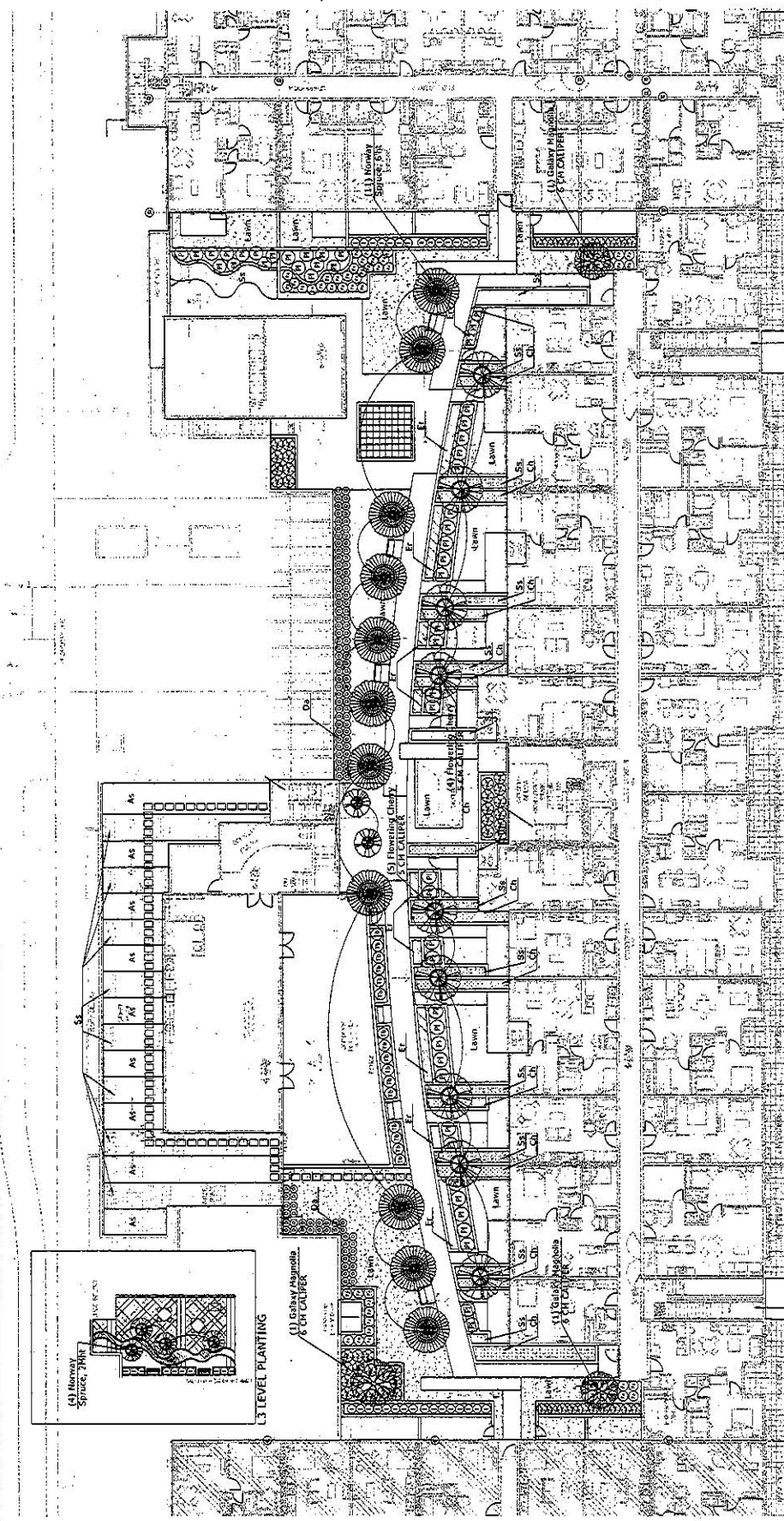


NO.	DATE	DESCRIPTION
1	10/11/2008	ISSUED FOR PERMIT
2	10/11/2008	ISSUED FOR PERMIT

CONTRACTOR SHALL VERIFY ALL DIMENSIONS TO BE LOCATED AT ALL LOCATIONS PRIOR TO CONSTRUCTION. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

PROJECT: Remy Project
 9388 CAMBIE ROAD
 4033, 4099, 4133
 STOLBERG ST.
 RICHMOND, B.C.
 FORMALLY 9340, 9360, 9400
 Cambie St., Richmond,
 British Columbia

DATE	BY
10/11/2008	CV
10/11/2008	RV
10/11/2008	AP
10/11/2008	MD
10/11/2008	SC
10/11/2008	1" = 12'
10/11/2008	OCT 2008



PROPOSED TREE SCHEDULE

SYMBOL	BOTANICAL NAME	QUANTITY	COMMON NAME	SIZE	COMMENT
MG	Magnolia 'Galaxy'	3	Galaxy Magnolia	6 cm cal	Flowering tree
PAB	Picea abies	11	Norway Spruce	2M high	Conifer
PA	Pinus 'Accolade'	9	Accolade Flowering Cherry	5cm cal	Flowering tree

PROPOSED PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	COMMENT	SPACING
Az	Rhododendron japonicum	#2	55	Flower Shrub	
Pa	Pennisetum alopecuroides	#2	56	Native grass	
Ch	Colnaster horizontalis	#1	757	Groundcover	10' O.C.
Ss	Sedum spuriatum	#1	6928	Groundcover	8' O.C.
Er	Equisetum arvense var. japonicum	#1	484	Perennial	8' O.C.
As	Allium schoenoprasum	#1	4820	Green Roof	8' O.C.
Pj	Prunus laurocerasus	#3	53	Hedging	
Oa	Ostrya alata	#1	120	Fern	
Nd	Nandina domestica	#2	33	Evergreen Shrub	
Ic	Ilex crenata 'Sky Pencil'	#2	31	Evergreen Shrub	
Tb	Taxus baccata 'Davesdon'	#2	16	Evergreen Shrub	
Lawn	Lawn		3509sq-ft	Lawn	

* MIXED SEASON, MEDIUM GROW

van der Zande Associates Inc.
 Landscape Architects
 544-200-1171 Vancouver, B.C. V6C 2K8
 544-200-1172 Vancouver, B.C. V6C 2K8
 544-200-1173 Vancouver, B.C. V6C 2K8
 544-200-1174 Vancouver, B.C. V6C 2K8

NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE AND ALL APPLICABLE REGULATIONS.

2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

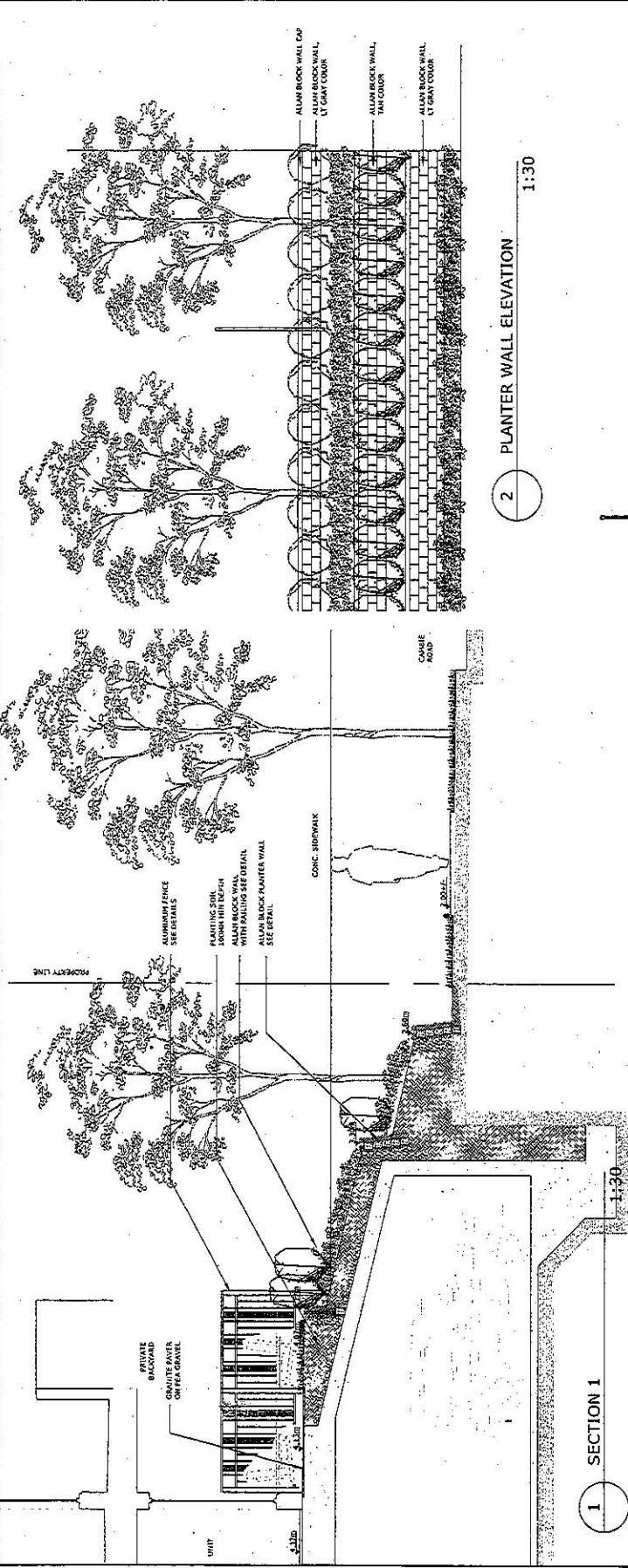
4. ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE ARCHITECT.

DP-08430877 (29)

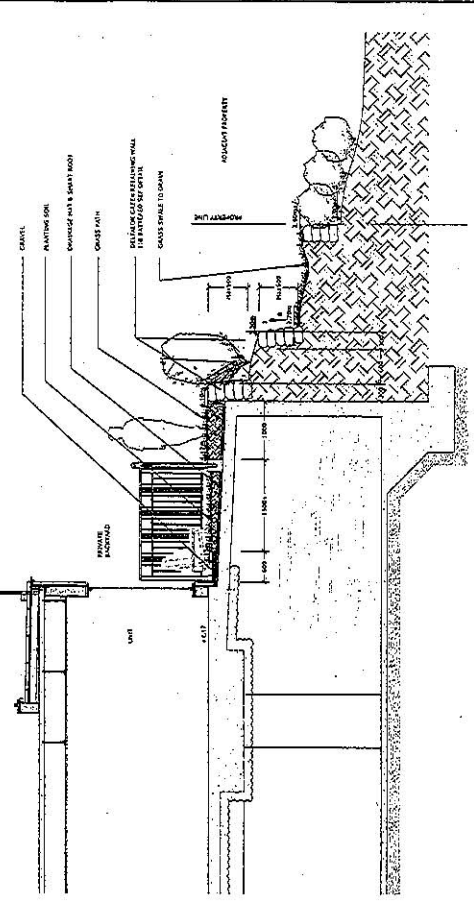
NO.	REVISION/DESCRIPTION	DATE
1	ISSUED FOR PERMITS	OCT. 1, 2008
2	FOR CONSTRUCTION	OCT. 1, 2008

PROJECT:
 Remy Project
 9388 CAMBIE ROAD
 4033, 4099, 4133
 STOLBERG ST.
 RICHMOND, B.C.
 FORMERLY 9340, 9360, 9400
 Cambie St., Richmond,
 British Columbia

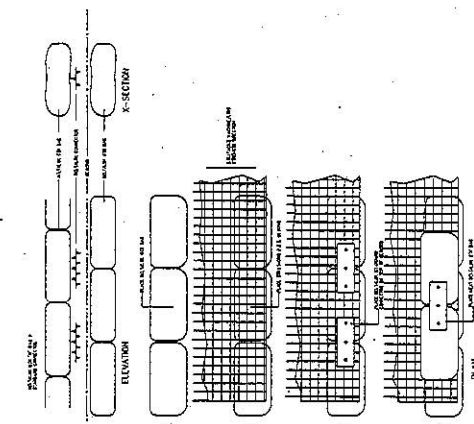
DESIGNED BY	RZ	CHECKED BY	RZ
APPROVED BY	RZ	DATE	OCT 2008



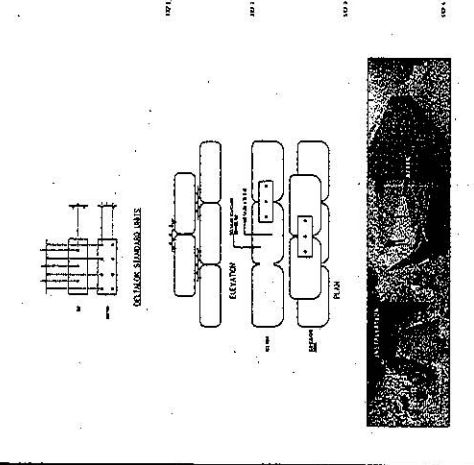
2 PLANTER WALL ELEVATION 1:30



4 SECTION 2 1:40



3 DELTALOK WALL DETAILS NTS



L1.09

PROJECT NO.	DP2008-05
DRAWING NO.	L1.09
DATE	OCT 2008
SCALE	
APPROVED	RV
CHECKED	RZ
DRAWN	RZ

PROJECT:
Remy Project
 9388 CAMBIE ROAD
 4033, 4099, 4133
 STOLBERG ST.
 RICHMOND, B.C.
 FORMALLY 9340, 9360, 9400
 Cambie St., Richmond,
 British Columbia

CONSIDERED SMALL SCALE ALL DIMENSIONS
 TO BE CHECKED ON SITE. DIMENSIONS
 MAY VARY SLIGHTLY FROM THE DRAWING
 DUE TO THE NATURE OF THE WORK.

No.	Description	Date
001	REVISED DRAWING ISSUE	
002	REVISED DRAWING ISSUE	
003	REVISED DRAWING ISSUE	
004	REVISED DRAWING ISSUE	
005	REVISED DRAWING ISSUE	
006	REVISED DRAWING ISSUE	
007	REVISED DRAWING ISSUE	
008	REVISED DRAWING ISSUE	
009	REVISED DRAWING ISSUE	
010	REVISED DRAWING ISSUE	

L1 LEVEL SECTIONS & DETAILS

van der Zalm + associates Inc.
 1000 West Broadway, Suite 100
 Vancouver, BC V6H 1G5
 TEL: 604-681-1111
 FAX: 604-681-1112
 WWW: www.vdzalm.com

NOTES

1. All dimensions are in millimeters unless otherwise specified.

2. All materials to be used shall be of the highest quality available.

3. All work shall be in accordance with the current edition of the British Columbia Building Code.

4. All work shall be in accordance with the current edition of the International Building Code.

5. All work shall be in accordance with the current edition of the International Plumbing Code.

6. All work shall be in accordance with the current edition of the International Fire Code.

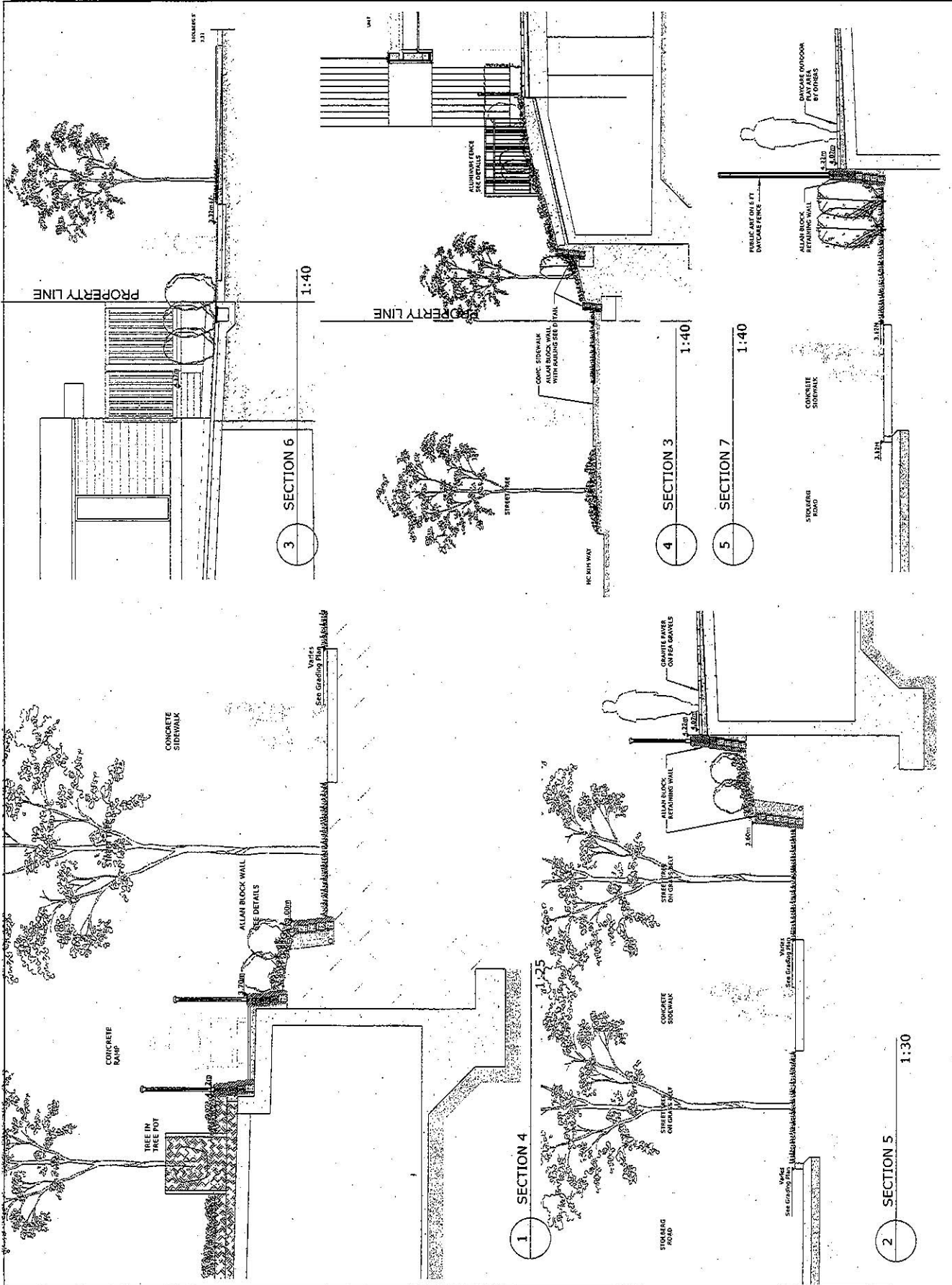
7. All work shall be in accordance with the current edition of the International Electrical Code.

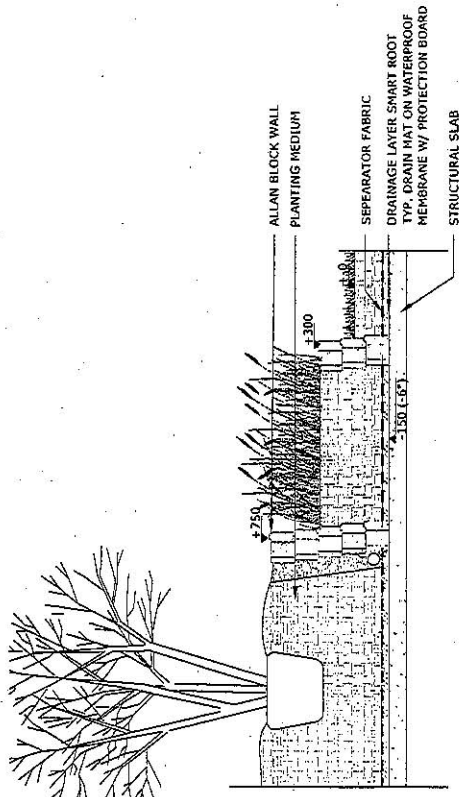
8. All work shall be in accordance with the current edition of the International Mechanical Code.

9. All work shall be in accordance with the current edition of the International Energy Conservation Code.

10. All work shall be in accordance with the current edition of the International Green Building Code.

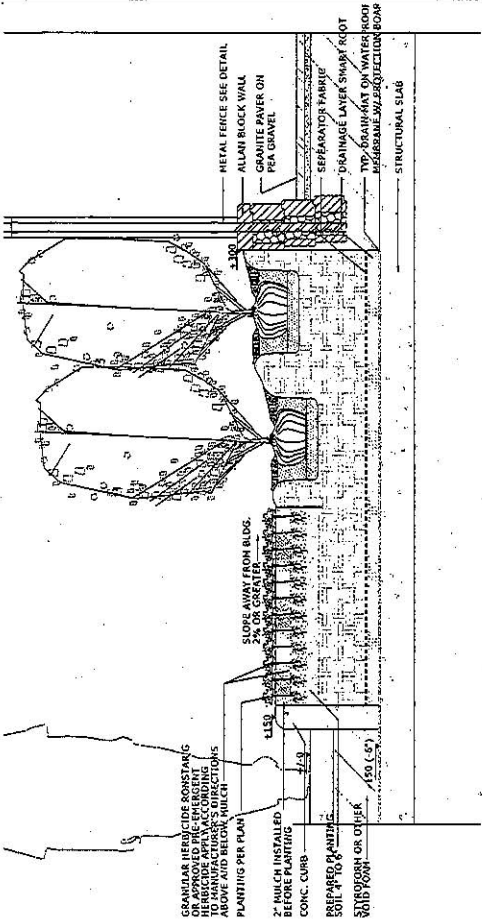
DP-08430877





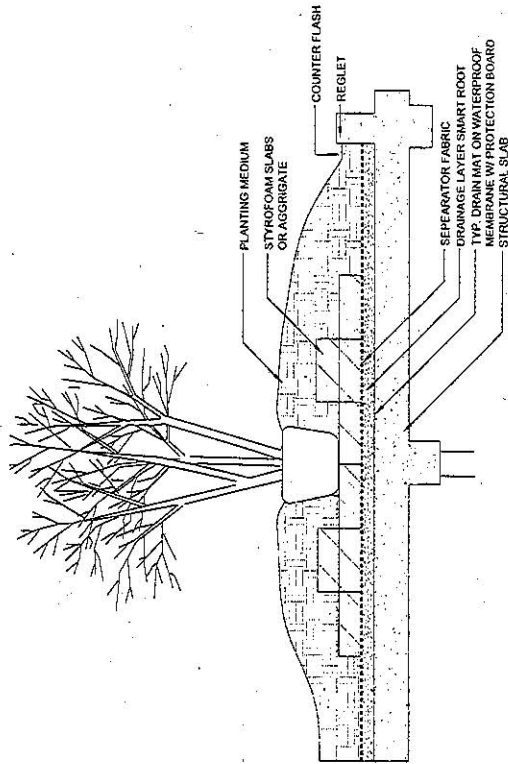
1 SECTION 8

1:20



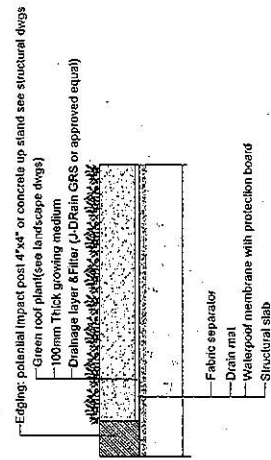
2 SECTION 9

1:10



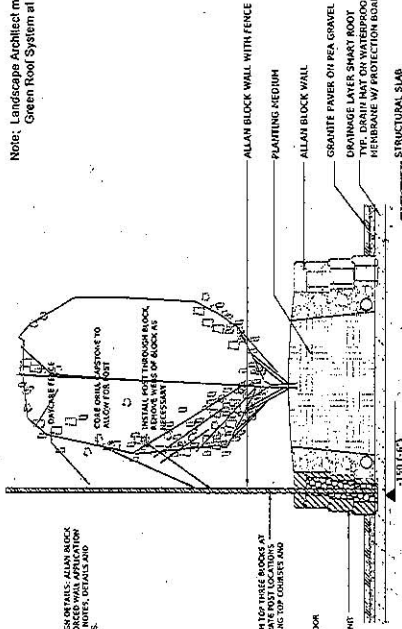
4 TYPICAL TREE PLANTING DETAIL

1:10



3 TYPICAL PLANTING DETAIL

Note: Landscape Architect may approve equivalent Green Roof System at line of construction



5 SECTION 10

1:20

van der Zalm & associates Inc.
 Environmental Architecture
 1000 West Beaver Creek Road
 Richmond, BC V6X 1Y7
 Tel: 604.273.1111
 Fax: 604.273.1112
 Website: www.vdz.com

NOTES

131 LEVEL SECTIONS & DETAILS
 DRAWING TITLE
 PROJECT NO. DP2008-05
 DRAWING NO. 1410

NO.	DESCRIPTION	DATE
1	Issue for RFP	NOV 11, 2008
2	Construction	NOV 11, 2008
3	Revised drawing issue	

CONTRACTOR SHALL CHECK ALL DIMENSIONS TO THE CONTRACT DOCUMENTS TO THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE WORK SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE WORK.

PROJECT:
 Remly Project
 9388 Cambie Road
 4033, 4099, 4133
 Stolberg St.
 Richmond, B.C.
 FORMALLY 9249, 9269, 9400
 Cambie St., Richmond,
 British Columbia

DESIGN	RZ	DATE	OCT 2008
CHECKED	RZ		
APPROVED	INV		
SCALE			

CAMBIE 1 L1 LEVEL LIGHTING PLAN

PROJECT NO. DP2008-05

DRAWING NO. L1.06

van der Zalm + associates Inc.
 1000 West Beaver Creek Road
 Richmond, B.C. V6X 3V9
 Tel: 604.273.8888
 Fax: 604.273.8889
 www.vdz.com

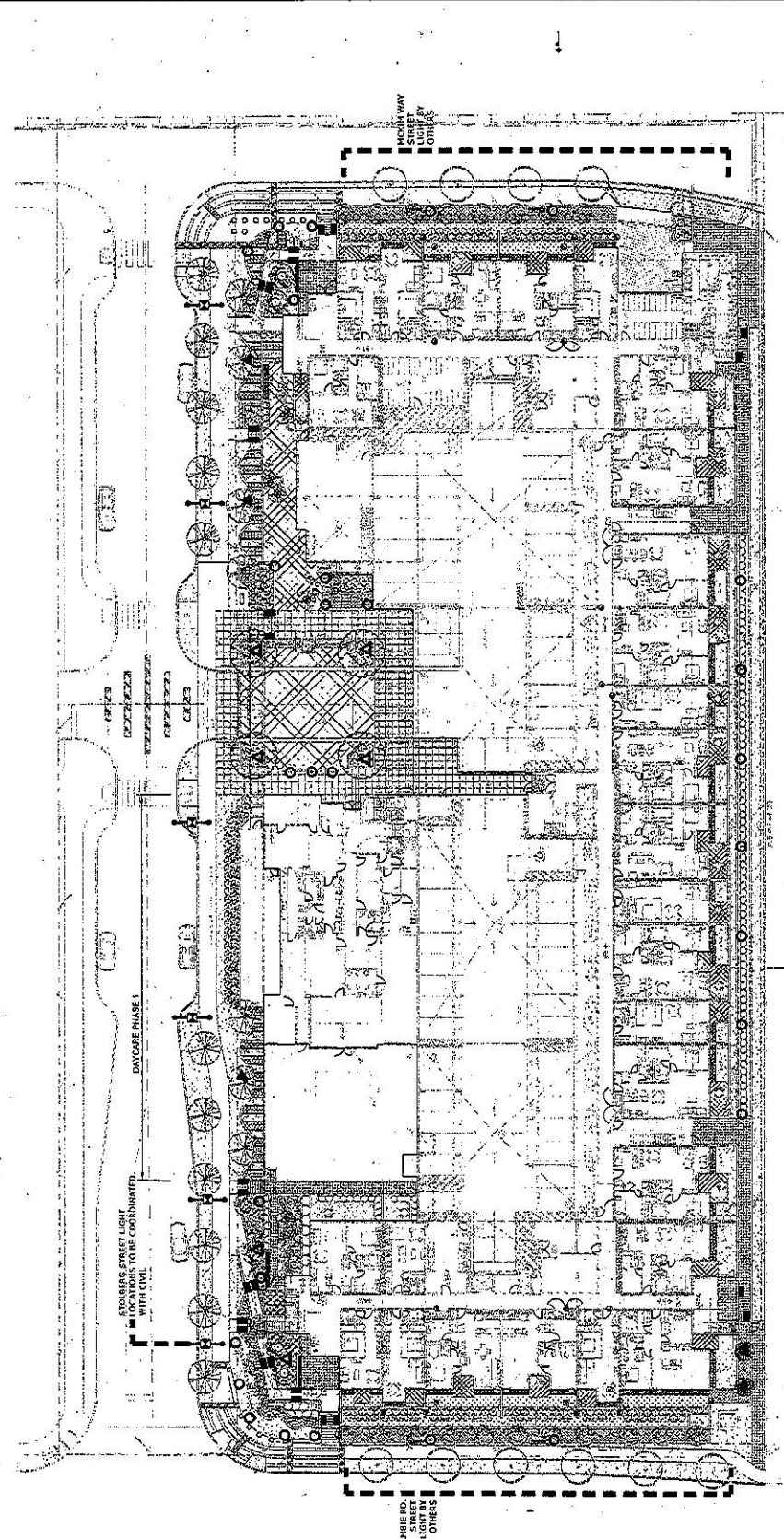
DP-08430877 (REFERENCE)

NO.	DESCRIPTION	DATE

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RICHMOND AND THE PROVINCE OF BRITISH COLUMBIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RICHMOND AND THE PROVINCE OF BRITISH COLUMBIA.

PROJECT: Cambie One Project
 9388 CAMBIE ROAD
 4033, 4099, 4133
 STOLBERG ST.
 RICHMOND, B.C.
 FORMERLY 9340, 9369, 9400
 Cambie St., Richmond,
 British Columbia

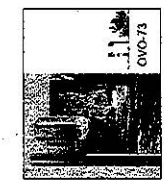
DRAWN	BZ	CHECKED	AV	APPROVED	AV	DATE	SEPT 2008
SCALE	1" = 20'						



WALL RECESSED STEP LIGHT
 Model WZ103
 by ALICO *
 www.alicoindustries.com

* OR APPROVED EQUAL LIGHTS

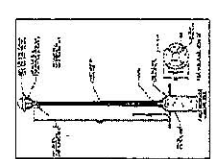
NOTE: All electrical is coordinated by the electrical engineer. VZ only shows fixture choices and location or approved equal.



BOLLARD LIGHT
 OVO73
 by LUMCA *
 www.lumca.com



TREE UPLIGHT
 Gu10 Line Voltage MR16,
 Black CO2, BLP /
 Delta Star MR16
 by B-K Lighting *
 www.bklighting.com



Type 1 Street Light
 for Stolberg Rd. per
 City of Richmond
 Standards
 Locations to be
 coordinated with civil



POLE-PEDESTRIAN LIGHT
 OVO70
 by LUMCA *
 www.lumca.com
 * Used for CAMBIE TWO

van der Zalm + associates Inc.
 1000-1111 Wellington St. Richmond, B.C. V6V 2Y7
 P: 604-273-2222
 F: 604-273-2222
 www.vdz.com

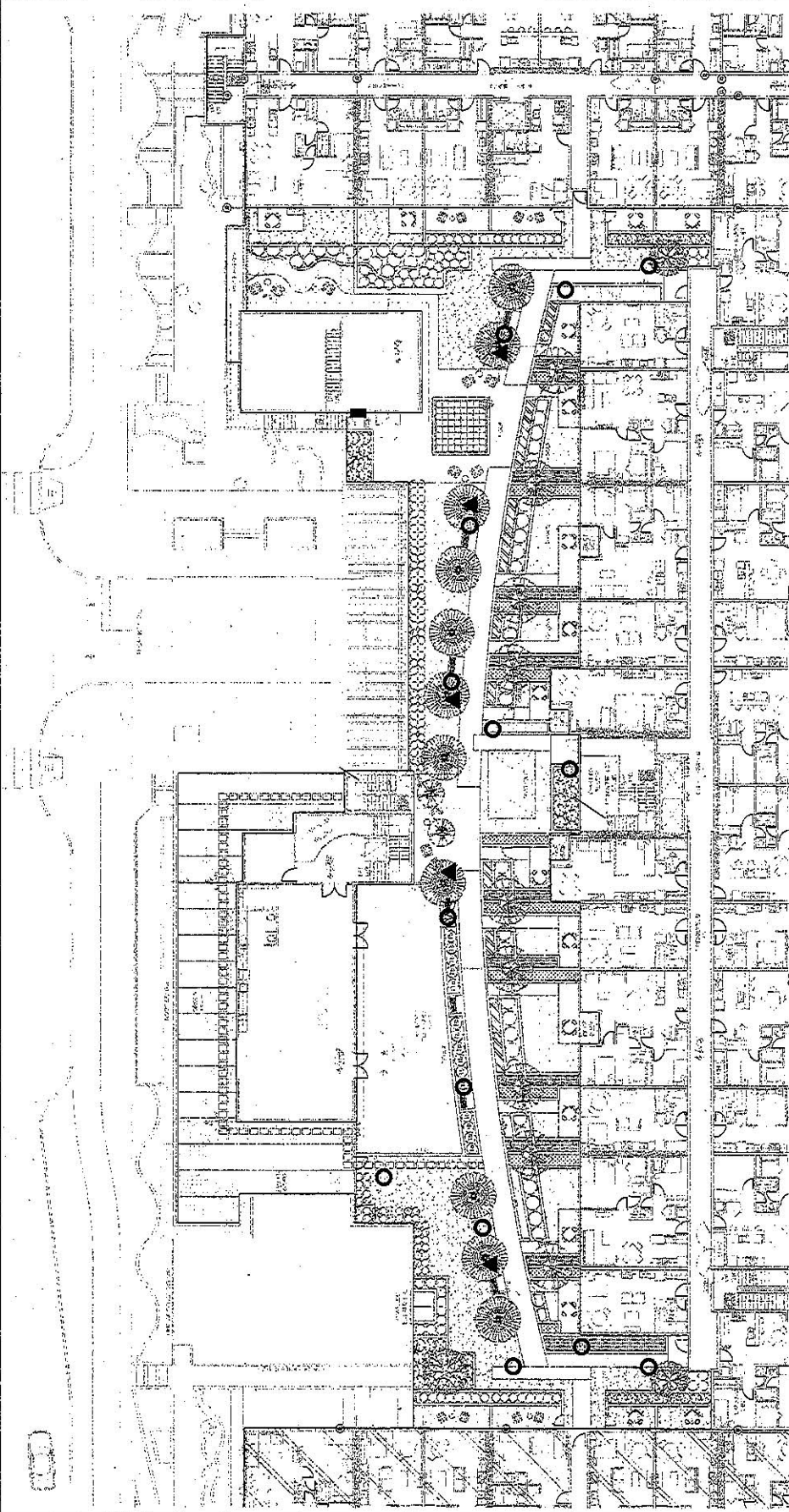
DP-08430877 (REFERENCE)

NO.	REVISION/REVISION ISSUE	DATE

FOR THE WORK SHOWN ON THIS DRAWING, THE ENGINEER ASSUMES RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE LIGHTING SYSTEM. ALL LIGHTING FIXTURES AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE CANADIAN ELECTRICAL CODE (CEC) AND THE NATIONAL ELECTRICAL SAFETY CODE (NESC). THE LIGHTING SYSTEM SHALL BE INSTALLED AT THE COMPLETION OF THE PROJECT.

PROJECT: Cambie One Project
 9388 CAMBIE ROAD
 4033, 4099, 4133
 STOLBERG ST.
 RICHMOND, B.C.
 FORMERLY 9340, 9360, 9400
 Cambie St., Richmond,
 British Columbia

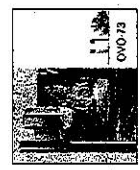
DESIGN	RZ	DATE	SEPT 2008
CHECKED	RZ	DATE	
APPROVED	RV	DATE	
SCALE	1" = 12'	DATE	



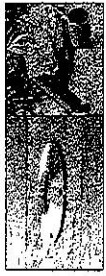
WALL RECESSED STEP LIGHT
 Model WZ103
 by ALICO *
 www.alicoindustries.com

* OR APPROVED EQUAL LIGHTS

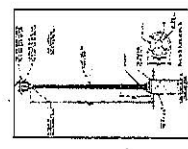
NOTE: All electrical is coordinated by the electrical engineer. VDZ only shows fixture choices and location or approved equal.



BOLLARD LIGHT
 OVO73
 by LUMCA *
 www.lumca.com



TREE UPLIGHT
 GU10 Line Voltage MR16,
 Black CO2, BLP /
 Delta Star MR16
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Type 1 Street Light
 for Stolberg Rd. per
 City of Richmond
 Standards
 Locations to be
 coordinated with civil



POLE PEDESTRIAN LIGHT
 OVO70
 by LUMCA *
 www.lumca.com

* Used for CAMBIE TWO

