

Welcome to the Garden City Lands Open House



CANADA LANDS COMPANY
SOCIÉTÉ IMMOBILIÈRE DU CANADA



**Musqueam
Indian Band**

This open house is part of an ongoing public outreach and consultation process regarding the future of the Garden City Lands – a 55-hectare (136 acres) parcel of land located at the edge of Richmond's city centre.

A Memorandum of Understanding dated March 18, 2005 ("MOU") would see the lands divided between the City of Richmond and a joint venture between the Musqueam Indian Band and Canada Lands Company.

On December 17, 2007, Richmond City Council agreed to sponsor a "Block Application" to the Agricultural Land Commission (ALC) to remove the Garden City Lands from the Agricultural Land Reserve (ALR) on behalf of the three partners. Canada Lands Company is acting as project manager for the application.

In Spring 2008, the partners will be submitting an application to the Agricultural Land Commission, and the feedback gathered here today will be included in this application. This new application will highlight the community need for the Garden City Lands as well as elaborate on the agricultural benefits package that has been created by the three partners.

Today's open house will provide you with background information about the Garden City Lands, including its history, the status of the lands today and the process moving forward. If the land is removed from the ALR there will be many more opportunities to provide feedback on your vision for the land. Initial ideas for the future development of the land are displayed here today to encourage discussion and feedback so we are able to gather a shared community vision for the future of the Garden City Lands.

We want your feedback:

- Share your thoughts with a member of the consultant team. Representatives from Canada Lands Company, City of Richmond and Musqueam Indian Band will be available to answer your questions here today.
- Fill out one of the feedback forms and put it in the box provided.

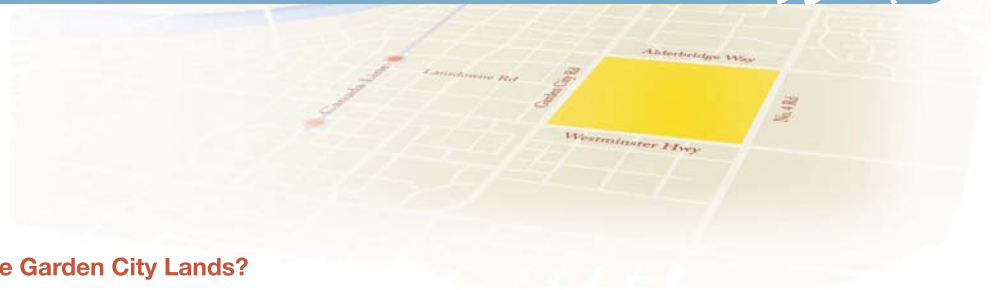
If you would like to take a feedback form away with you, please return it to:

The Garden City Lands Project
Richmond City Hall
6911 No. 3 Rd
Richmond, BC V6Y 2C1

Or send by Fax to (604) 276-4052
Or email to gardencitylands@richmond.ca

Ce document est aussi disponible en français.

Ownership and Jurisdiction of the Garden City Lands



Who owns the Garden City Lands?

- The Garden City Lands are currently owned by Canada Lands Company in trust for itself and the Musqueam equally.
- The Musqueam obtained a court decision preventing Canada Lands Company from dealing with the land unless the Musqueam's interest is adequately accommodated.
- Under the MOU and a subsequent Purchase and Sales Agreement ("Agreement"), the land will be shared by the Musqueam, the City and Canada Lands Company provided that certain conditions are met.
- The removal of the land from the ALR is the first in a number of conditions that must be met in order for the three partners to move forward under the MOU and the Agreement.

What is at stake for the City?

- The City of Richmond does not currently own any part of the Garden City Lands.
- Under the Agreement, the City may own up to 50% of the site subject to successfully removing the ALR designation from the Lands. The Agreement provides for up to 15% of the Lands to be used for a proposed Trade and Exhibition Centre (T&E) within the City's portion of the site. If the T&E does not proceed, this portion of the Lands could be developed jointly by the City, Canada Lands Company and the Musqueam Indian Band; or if an agreement cannot be reached, Canada Lands and Musqueam may elect to purchase 50% of the T&E land and the City would retain the other 50% of the T&E land.
- In addition to its potential 50% portion, the City will receive additional land dedications for neighbourhood parks, roads and other public uses from the Canada Lands Company and Musqueam portion of the lands as part of the requirement for amending the Richmond Official Community Plan and rezoning application to develop the site.
- Without the ALR exclusion, the City:
 - Does not have ownership of any portion of the Lands;
 - May not have jurisdiction over the land use and future development of the site;
 - Will lose the certainty that any portion of the site will be used for public open space or other public amenities.

What is at stake for the Musqueam Indian Band?

- The Lands are part of Musqueam's traditional territory and it was successful in a court action in stopping a previous transfer of the Lands that did not take its Aboriginal rights in the Lands into account.
- To avoid the cost and delay to all parties of further litigation, the Musqueam are taking on a leadership role in Aboriginal rights issues by working through this groundbreaking Agreement involving three levels of government.

The History of the Garden City Lands



1500
BC

The Garden City Lands are located within traditional Musqueam territory whose history in the area goes back over 4,000 years.

There is no record of any farming ever having taken place on the lands.

1903

The lands were acquired by the Federal Government in 1903 and were used by National Defence for a rifle range and subsequently by the Canadian Coast Guard as a site for radio transmitter towers for several decades. The Canadian Coast Guard became part of the Department of Fisheries and Oceans (DFO).

1974

In 1974, during the creation of the provincial Agricultural Land Reserve (ALR), the lands were placed inside its boundaries. The federal government did not object to the ALR designation because, as a higher level of government, it was not subjected to provincial ALR designation.

1987

In 1987, the City commenced attempts to acquire the lands for its Canada Summer Games and the Commonwealth Games bids. The bids were contingent on having a guarantee on the acquisition of the site. The land negotiations and the bid for the Games were unsuccessful but the City continued to identify the lands for public and open space uses.

1989

In 1989, the Agricultural Land Commission conditionally endorsed a December 1989 draft Richmond Official Community Plan (OCP) showing the Lands as "Public and Open Space Use". Within that OCP the plan for the City Centre area showed the subject lands for future Park (defined as "an area of City-owned public open space including, but not limited to, public facilities such as recreation centres and schools"). This OCP is still currently in use by the City.

2001

In 2001, the DFO declared the Lands surplus to its program requirements and proposed to transfer the lands to Canada Lands Company.

2002

In November 2002, the DFO received Treasury Board approval to sell the Lands to Canada Lands Company.

2003

In 2003, when Musqueam became aware of the proposed land transfer, it advised the City, DFO and Canada Lands Company of its Aboriginal rights and title to the Lands and took legal action in Federal Court to successfully challenge the transfer.

2004

In January 2004, Musqueam were granted an "interlocutory injunction" that prevented the Garden City Lands from being transferred to the City of Richmond or Canada Lands Company.

In late 2004 and early 2005, the Musqueam, the City of Richmond, Canada Lands Company and DFO entered into negotiations to resolve the matter out of court.

2005

On March 18, 2005, the Musqueam Indian Band, the City of Richmond and Canada Lands Company reached a groundbreaking equitable agreement in the form of a Memorandum of Understanding (MOU), sharing the Lands between the three parties provided that certain conditions would be met beginning with the removal of the Lands from the ALR.

In accordance with the conditions of the Agreement, in December, 2005, the Canada Lands Company application was received by the Agricultural Land Commission (ALC) for the lands to be excluded from the ALR.

2006

In September 2006, the Commission refused the application as submitted.

2007

In December 2007, Richmond City Council sponsored a 'Block Application' (whereby the City of Richmond leads the application on behalf of the three partners) to ALC for the lands to be removed from the ALR. Canada Lands Company is acting as project manager for the application.

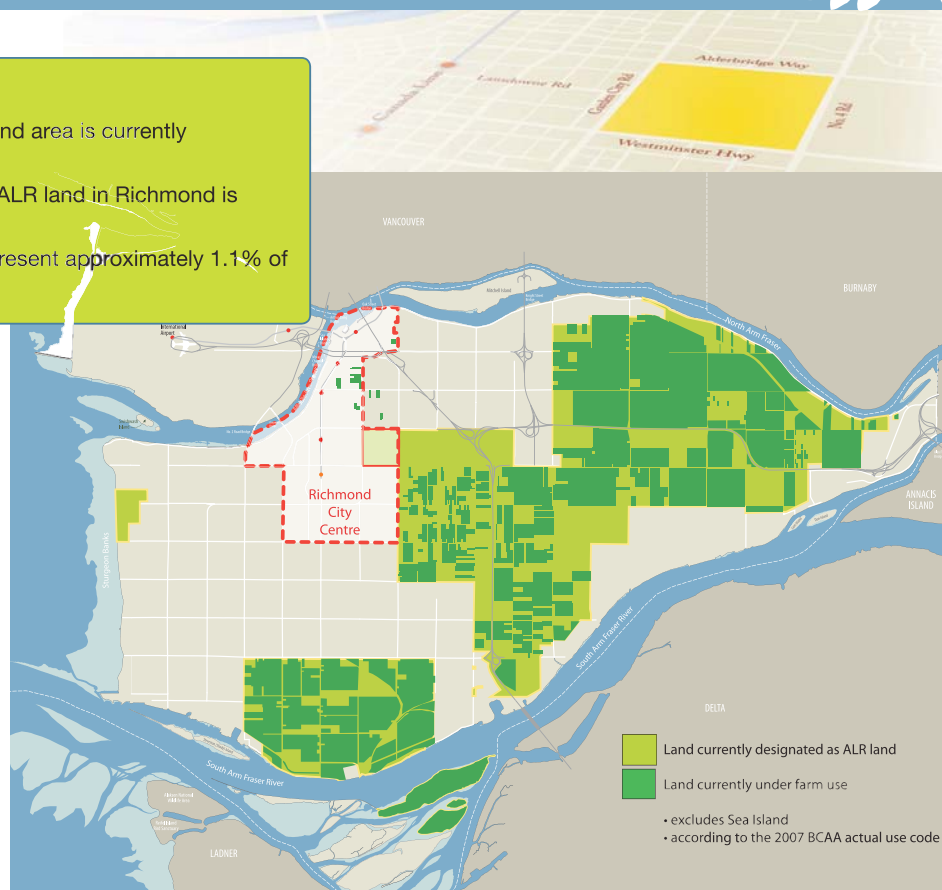
2008

In the Spring of 2008, the Agreement partners plan to re-submit their application to the ALC for the Lands to be excluded from the ALR. The re-submission will address the Agricultural Commission's previous concerns including agricultural capability, viability as well as the community need from the Musqueam and City of Richmond perspectives. In addition, this new application will include a new agricultural benefits proposal.



Did you know?

- 38% of Richmond's total land area is currently designated ALR.
- Approximately 51% of the ALR land in Richmond is actively being farmed.
- The Garden City Lands represent approximately 1.1% of Richmond's ALR land.



The Garden City Lands are located at the eastern periphery of Richmond's City Centre and the western periphery of Richmond's ALR lands (shown in green).

The City Centre Area Plan (CCAP)

- The City of Richmond is currently reviewing the area plan for its city centre. The new City Centre Area Plan (CCAP) concept was endorsed by Richmond Council in February 2007.
- If adopted, the CCAP includes a series of planning objectives to ensure the development of a "Complete Community" to fulfill the City's vision of becoming the "most appealing, livable, and well-managed community in Canada".
- The new CCAP will be consistent with regional growth strategies which recognise that some level of growth is inevitable:
 - Future growth will be directed to occur in concentrated areas, creating pockets of density.
 - Planning growth in designated areas helps to protect the green zone (including farmland) in the surrounding areas, creating sustainable, environmentally friendly communities within easy access of public transit and amenities.
 - Concentrating growth around transit infrastructure and job centres such as city centre will alleviate pressure on outlying green zone and farm land.

Agricultural Land Reserve (ALR) Land in Richmond

Agriculture is a proud part of the City of Richmond's heritage. The Garden City Lands have never been farmed. They were designated ALR in 1974. The federal government did not object to the ALR designation at the time because it was not subject to provincial designations. The ALR reserves the Lands for agricultural use, but it does not oblige the owner to actively farm the land. Generally, the Garden City Lands have agricultural capability, but the location, right next to the city centre and at the center of four arterial roads, reduces their suitability for commercial farming which would require the use of fertilisers, movement of heavy farming equipment and machinery, creating odour, noise and traffic. In addition, recent studies, which will form part of the ALR application, have indicated significant challenges and costs with respect to improving the soil capability and the viability of farming the site.

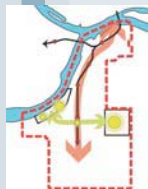
The Garden City Lands and the City Centre Area Plan



If the Lands are removed from the ALR and developed in accordance with the terms of the Agreement, the Garden City Lands has the potential to offer considerable community benefit to the people of Richmond through its close proximity to the city centre. This potential includes:

- Extensive open space and public amenities including green space, parkland, public trails and walkways, community gardens, urban agriculture, playing fields (recreational facilities), playgrounds, community gathering spaces and other public amenities.
- A vibrant, environmentally sustainable, urban village where residents can live, work, shop, learn and play in a pedestrian-friendly environment.
- Great access and linkage to transit systems such as the Canada Line and bus services which will bring Richmond residents closer to city centre - reducing reliance on car travel in the downtown core.
- An inclusive community with a variety of housing types suitable for families, seniors and people of all abilities, stages of life and income range.

As well as the tangible benefits to the City of Richmond and its residents, the development of the Garden City Lands by way of the tripartite Agreement will represent a milestone in the reconciliation of the interests of Aboriginal peoples and the rest of the population within the province as repeatedly urged by the Supreme Court of Canada, which is the key objective of the New Relationship adopted by the Province.

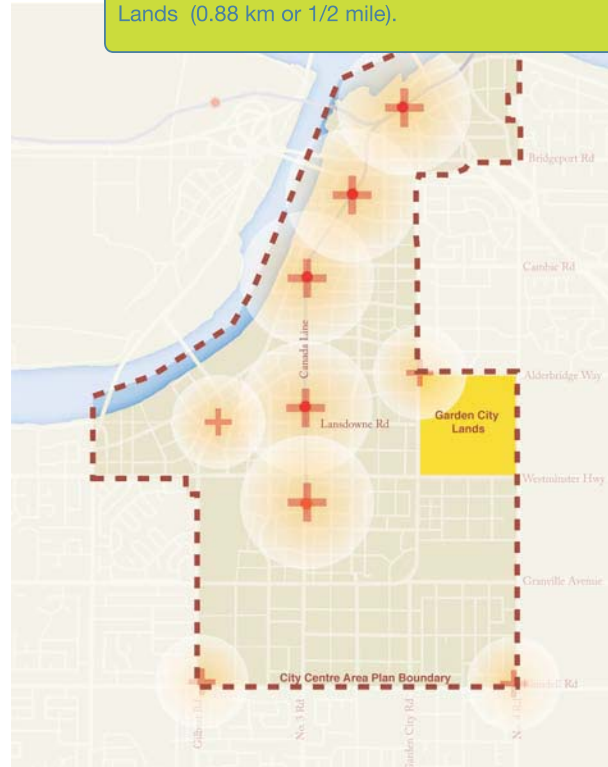


The network of transit villages that follow the Canada Line north - south along No. 3 Rd. will be enhanced by east-west routes with major amenities, such as the Middle Arm Park and the potential green space at Garden City Lands.

The **City Centre Area Plan (CCAP)** is based on a series of goals and objectives that provide a framework for the city to grow in a sustainable way.

Did you know?

The new Canada Line Lansdowne Station will be a 10 minute walk away from the Garden City Lands (0.88 km or 1/2 mile).



The **City Centre Area Plan (CCAP)** provides a framework for growth management in Richmond based on the development of complete communities surrounding major and minor transit villages. The image above identifies the extent of the City Centre Area (dashed red line) and approximate locations of transit village centres.

Overview CCAP CONCEPT

City Centre Area Vision
To be a "world class" urban centre and the centrepiece of Richmond as it emerges to fulfil its vision of becoming the "most appealing, livable, and well-managed community in Canada."

How do we achieve this vision?
Smart Growth Goals
Smart Growth involves urban development approaches that are socially, environmentally and fiscally responsible, and serve to enhance the quality of life in communities, complement ecosystem function, and use tax revenues wisely. The City Centre's proposed Smart Growth goals are:

- 1 Build Community**
An inclusive community designed to support the needs of a diverse and changing urban population.
- 2 Build Green**
A culture that actively supports and celebrates Richmond as an award city to inspire.
- 3 Build Economic Vitality**
A comprehensive, planned investment environment that builds on Richmond's unique combination of economic and lifestyle opportunities.
- 4 Build a Legacy**
A general plan that fosters community and international production that enhances the life of Richmond, residents, businesses, and visitors.

City Centre Area Plan Update Study

Overview CCAP CONCEPT

Objectives
The CCAP CONCEPT is guided by a series of Planning Objectives crafted to ensure the development of a "Complete Community". Collectively they seek the balance required to fulfill the promise of the City of Richmond's Vision, namely its sustainable development infused with social, environmental, and economic considerations.

A Land Use & Density Provide a framework for "mixed-use" communities that support the diverse needs of the city and its residents.	E Ecology & Adaptability Provide a framework for an "eco-integrated urban community" that supports the diverse needs of the city and its residents.
B Jobs & Business Provide a framework for a "thriving urban community" that supports the diverse needs of the city and its residents.	F Social Equity & Community Provide a framework for a "socially equitable urban community" that supports the diverse needs of the city and its residents.
C Mobility & Access Provide a framework for a "well-connected urban community" that supports the diverse needs of the city and its residents.	G Arts & Culture Provide a framework for a "vibrant urban community" that supports the diverse needs of the city and its residents.
D Open Space & Amenity Provide a framework for a "healthy urban community" that supports the diverse needs of the city and its residents.	H Built Form & Urban Design Provide a framework for a "distinctive urban community" that supports the diverse needs of the city and its residents.

Presentation Guide
Each of eight Planning Objectives — A through H — is presented in a consistent format, each consisting of 4 presentation pages:

Framework A brief that outlines the key planning objectives, concepts, and the role of the plan.	Precedent Photos A series of images that illustrate the key concepts and objectives of the plan.	Concept Map A map that shows the location of the plan and its relationship to the surrounding area.	Definition/Glossary A list of key terms and definitions used in the plan.
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City Centre Area Plan Update Study

Possibilities of the Garden City Lands and the Agreement



Removal of the Garden City Lands from the ALR is the first required step before the land can be shared according to the terms of the groundbreaking Agreement negotiated by the three partners¹.



Identified as the "Coast Guard Transmitter Site" in the photo above (taken almost 10 years ago), the Garden City Lands are at the edge of both urban and rural land-uses.



Four roads adjacent to the site have been identified as major arterials.

If the Lands are removed from the ALR:

- The City of Richmond can purchase 50% for parkland, green space and public amenities including a potential Trade and Exhibition Centre. The City would pay \$4.77 million for its 50%.
- Canada Lands Company and Musqueam Indian Band can develop the remaining 50% of the Lands, but any development plans must go through provincial and municipal land use approval processes. It must also integrate with the City of Richmond Official Community Plan and comply with city zoning bylaws.
- Public processes will ensure the public has a say on future development of the land.

If the land remains within the ALR:

- The Agreement becomes invalid.
- The City will not have ownership of any portion of the site.
- The City cannot depend on the lands to provide public amenities, parks and open space.
- The City may not have control over land use or future development of the site.
- The Lands will likely be tied up in further legal actions.

¹ Note: this is a summary of the main terms of the legal documents mentioned in it but it does not modify those terms.

The diagrams at right illustrate park sizes relative to the Garden City Lands.

Minoru Park and Burnaby's athletic park in the west of Burnaby Lake park, represent about 50% of the total area of the Garden City Lands - or roughly the equivalent of what the City of Richmond can purchase under the Agreement.

Terra Nova



approx. 64 acres

Minoru Park, Richmond



approx. 65 acres

Burnaby Lake West



approx. 65 acres

Softball City, Surrey



approx. 80 acres

McLennan South Parks



approx. 45 acres

Benefits to Richmond's Agricultural Heritage



Agriculture is a proud part of the City of Richmond's heritage. The partners are committed to working closely with the Richmond Agricultural Advisory Committee (RAAC) to ensure that there will be significant and demonstrable benefit to agriculture in Richmond from the development of the Garden City Lands. If the ALR exclusion application is successful:

- Canada Lands Company and Musqueam Indian Band will establish an agricultural benefits package including an Agricultural Endowment Fund of approximately \$10 million over a 10-year period.
- Richmond City Council voted to endorse funding the equivalent (approx. \$3.75 million) of full interest on the \$10 million Agricultural Endowment Fund for up to a maximum 10-year period while the endowment is being collected from development of the Canada Lands Company and Musqueam portion of the lands.

On the Public Portion of the Garden City Lands:

The City has clarified its intended uses and preferred amenities on the City's portion of the Garden City Lands by endorsing the following principles:

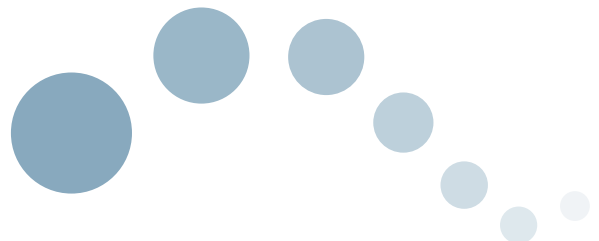
- Community Wellness and Enabling Healthy Lifestyles;
- Urban Agriculture; and
- Showcasing Environmental Sustainability.

Separate from the Garden City Lands Project, the City has been:

- Exploring urban agriculture opportunities include rooftop gardens, green roof technology and edible landscaping.
- Working closely to facilitate community initiatives such as the Terra Nova Schoolyard Project and Fruit Tree Sharing Farm Project to support the local Food Bank.
- Providing over 200 community gardening plots throughout Richmond to date, with this program continually expanding.
- Encouraging community gardens in City Centre developments for use by the area residents.

An example of independent initiatives:

Kwantlen University College through its research/outreach arm, the Institute for Sustainable Horticulture, has been actively pursuing partnership opportunities with Richmond to promote urban agriculture by establishing an Urban Agriculture Research and Education Centre in Richmond. The purpose is to conduct research on demonstration plots throughout the City to promote viable, sustainable food production in the urban and urban-rural interface.



The city and Canada Lands Company/Musqueam will be sharing the Lands. Development can take place in only the Canada Lands Company/Musqueam owned portion of the Lands. The City will develop its portion of the Lands for public open space uses and amenities, including the possibility of the trade and exhibition centre.

50% A vibrant urban village where residents can live, work, shop, learn and play in a pedestrian-friendly environment with great access and linkage to transit systems such as the Canada Line and bus services. An inclusive community with a variety of housing types suitable for families, seniors and people of all abilities, stages of life and income range.

50% Extensive open space and public amenities including green space, parkland, community gardens, urban agriculture, playing fields, recreational facilities, cultural facilities and other public amenities.

Urban Agriculture



Accessibility



Playfields



Green Spaces



Ecological Landscapes



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Housing Choices / Mix of Uses



Transit Links



Public Places



Live, Work, Play





The partners are committed to creating a legacy development that will support the City Centre Area Plan and other community objectives.

On public lands, they will be guided by principles of:

- Community wellness
- Healthy living
- Urban agriculture
- Environmental sustainability

On the developed lands, they will be guided by principles established by the following:

- City Centre Area Plan
- City of Richmond Official Community Plan
- Public Consultation results

CANADA LANDS COMPANY

Canada Lands Company CLC Limited is an independent Crown corporation. Canada Lands Company has a distinguished track record in creating vibrant, attractive, lasting community developments that meet the needs of local residents. In British Columbia, the company has projects in Kelowna, Chilliwack and Burnaby. At Garrison Crossing, one of their developments in Chilliwack, the company has worked tirelessly to listen to and work with the local community to create one of the most desirable new residential communities in B.C. and was recently awarded “Best Master Planned Development” by the prestigious Urban Development Institute.



Garrison Crossing, an award winning project by the Canada Lands Company in Chilliwack



MUSQUEAM INDIAN BAND

The Garden City Lands are located within the traditional territory of the Musqueam Indian Band. The Musqueam people have been present in what is now Greater Vancouver for several thousands of years. Archaeological journals have recorded evidence of Musqueam’s existence in this area, particularly the Marpole midden - located at the mouth of the North Arm of the Fraser River, in excess of 4,000 years and at the Musqueam reserve in excess of 3,500 years.

CITY OF RICHMOND

The City of Richmond is a growing dynamic urban centre. The regional trend is for continued growth from international and national immigration. The City Centre is the right place to grow given the availability of rapid transit and it being a regional job centre. The City Centre Area Plan (CCAP) is a proactive way for the community to manage the anticipated population growth. The City is trying to mitigate pressure to develop in existing suburban neighbourhoods and farmland by encouraging significant growth within City Centre, providing high quality public amenities and green spaces, and offering a variety of housing and job choices.



Existing sports facilities in the City of Richmond



Community farms in the City of Richmond

What are the Next Steps?



This public open house is an early step in the overall planning process for determining the future of the Garden City Lands. The first arrow in the diagram at the left indicates today's event. Should the application to the Agricultural Land Commission be successful, specific site planning exercises will commence and will include additional public consultation.

