



City of
Richmond

Report to Development Permit Panel
Planning and Development Department

To: Development Permit Panel

Date: July 18, 2012

From: Brian J. Jackson, MCIP
Director of Development

File: DP 12-599057

Re: **Application by Townline Gardens Inc. for a Development Permit at
10820 No. 5 Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a 5-storey mixed-use commercial and residential building (Building 'D') located at 10820 No. 5 Road, which is in Phase 2 of 'The Gardens' a master planned development on a site zoned Commercial Mixed Use (ZMU18) – The Gardens (Shellmont).

Brian J. Jackson, MCIP
Director of Development

BJJ:bg
Att. 2

Staff Report

Origin

Townline Gardens Inc., has applied to the City of Richmond for permission to develop a 5-storey mixed-use commercial and residential building (Building 'D') located at 10820 No. 5 Road, which is in Phase 2 of 'The Gardens' a master planned development on a site zoned Commercial Mixed Use (ZMU18) – The Gardens (Shellmont). The site is currently vacant.

The Development Permit for Phase 1 (DP 10-544504) consisting of two 4-storey mixed-use buildings that front Steveston Highway has been issued. Phases 1 and 2 are anticipated to be 1 large construction site while Phase 3 (Buildings E1 and E2 on Parcel D) and Phase 4 (Building F on Parcel E) will be temporarily used as a sales centre following the delivery of the child care facility as well as a construction staging area. However Phases 3 and 4 will be securely separated from the remainder of the site by attractive hoarding.

Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- **To the north**, across the internal site access road (Road 'A') is the existing sales centre (future child care facility) designated Assembly (ASY) as well as the proposed 'ALR 'Agricultural-Park'' designated Agriculture and Botanical Show Garden (ZA3) – Fantasy Gardens (Ironwood) and beyond, the area is characterized by large properties designated to permit assembly uses fronting No. 5 Road with farming typically at the rear;
- **To the east**, are future development phases of the overall project designated Commercial Mixed Use (ZMU18) – The Gardens (Shellmont) and beyond Highway 99 runs along the entire east edge of 'The Gardens' development site, separated from the site by a large drainage ditch (within the highway right-of-way) and a tall, evergreen hedge (within the subject site). East of the highway, properties are predominantly agricultural use;
- **To the south**, is the approved Phase 1 of the development site consisting of Buildings 'A and 'B' designated Commercial Mixed Use (ZMU18) – The Gardens (Shellmont) and beyond on the south side of Steveston Highway is the Ironwood Shopping Centre west of No. 5 Road and a mixed commercial/business park area east of No. 5 Road with frontage along Highway 99 and Steveston Highway; and
- **To the west**, across No. 5 Road is an established, single-family residential neighbourhood with lots fronting No. 5 Road designated Single Detached (RS1/E) a small townhouse project designated Low Density Townhouse (RTL4) that front onto No. 5 Road.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning application was held on October 19, 2009. At the Public Hearing, the following concerns regarding the rezoning of the property were expressed, which are followed by the staff comments highlighted in *bold italics*.

While no objections to the proposed development were raised, there was discussion regarding the traffic in this area and concern was expressed regarding:

Rezoning and Public Hearing Results

The Public Hearing for the rezoning application was held on October 19, 2009. At the Public Hearing, the following concerns regarding the rezoning of the property were expressed, which are followed by the staff comments highlighted in *bold italics*.

While no objections to the proposed development were raised, there was discussion regarding the traffic in this area and concern was expressed regarding:

- the creation of a new signalized intersection on No. 5 Road with reference to congested traffic already present in this area and it was suggested that commercial traffic should use Rice Mill Road;
- that Williams Road be developed to go over Highway 99 connecting to No. 6 Road and that a cloverleaf interchange be developed at the existing overpass; and
- that staff avoid planting bulbs or grass on the raised medians, which cause a backup of traffic during maintenance operations for these medians, that evergreen trees should be planted to avoid leaves blocking gutters in the fall and that staff avoid planting trees directly under power lines.

During the discussion that ensued, Council requested that transportation staff provide information on the status of Rice Mill Road access and that Parks staff be requested to consider planting perennials in the medians and perform plant maintenance outside of work hours.

Staff worked with the applicant to address these concerns and comment as follows:

Traffic and Transportation Improvements

The new No. 5 Road / Road 'A' intersection and associated traffic signal will facilitate full movement for access/egress to the 'The Gardens' mixed-use development and the ALR 'Agricultural-Park'. In association with this signalized intersection, the applicant will undertake the following additional road upgrades, as part of the Servicing Agreement associated with the subject development:

- *a new southbound to eastbound left-turn lane at Steveston Highway and No. 5 Road;*
- *a new westbound to southbound left-turn lane at Steveston Highway and No. 5 Road; and*
- *a new westbound to northbound right-turn lane at the Steveston/No. 5 Road intersection.*

These traffic and intersection improvements will provide additional road capacity that will accommodate both commercial and general purpose traffic.

Rice Mill Road Status

Transportation staff has indicated that Rice Mill Road is under the jurisdiction of the BC Ministry of Transportation and Infrastructure (MOTI) and that access from Rice Mill Road to Highway 99 and vice versa is restricted to Ministry vehicles only.

Centre Medians Plantings

Parks staff indicate that centre median landscape maintenance along high traffic routes such as Steveston Highway is generally conducted at off-peak traffic hours during the day but given the traffic volumes along this corridor, all landscape maintenance work on the Steveston Highway centre medians in the Ironwood area will now be performed at night and consideration will be given to lower maintenance, native and more sustainable approach to centre median landscape plantings in the vicinity.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other supplemental staff comments identified as part of the review of this Development Permit application. The applicant has submitted a comprehensive compliance statement that this development application complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in general compliance with the relevant Development Permit design guidelines contained within Schedule 2.8A of OCP Bylaw 7100 - Section 8.4 Area C – The Gardens Guidelines.

Advisory Design Panel Comments

The Advisory Design Panel was in support of this proposed development. A copy of the relevant excerpt from the Advisory Design Panel Minutes from May 24, 2012 is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

This proposal ensures a comfortable urban design fit within the surrounding site context and responds to existing and future anticipated adjacent development in the following ways.

- **To the North:** The top floor (5th storey) of the proposed development has been terraced back along the proposed ALR 'Agricultural-Park' frontage across Road 'A' on the north edge of the site to reduce the apparent height of the building.
- **To the East:** The proposed building is intended to be mirrored by a similar residential building mass (Building E1) on the opposite side of Road 'A' with a similar setback, in a future phase of the overall development site.
- **To the South:** The edge conditions along the south side Phase 2 are similar and consistent with the proposed treatment of the pedestrian scaled, retail/commercial auto-court adjacent to north side of Building 'A' in Phase 1, at the west end of the east-west internal lane.
- **To the West:** The transition in building mass to the smaller scale residential development across No. 5 Road has been achieved by terracing back the top floor of the proposed building, which in combination with the wide greenway and landscape terraces will reduce the apparent height of the proposed mixed-use building along No. 5 Road.

Transportation & Traffic

1. **Parking:** The residential and commercial parking proposed by the applicant complies with the zoning bylaw requirements, which include an 8% reduction in the required number of residential parking stalls for Transportation Demand Management (TDM) measures provided that are to the satisfaction of Transportation staff. All the commercial parking has been provided in Phase 1 (i.e., required is 320 versus 380 stalls proposed). The commercial parking is shared with the residential visitor parking. The commercial parking will not be assigned to any individual CRU. The proposed bike parking exceeds the zoning bylaw requirements (see table below) and the proposed loading stalls meet the bylaw requirement.

Land Use	Required Parking	Parking Reduction (TDM & Overlap)	Proposed Parking Provided	
Residential Market Housing	140	149 - 10% reduction (-15) visitor overlapping (-20)	169 - 35 = 134	134
Residential Affordable Housing	9			
Visitor	20			
Total	169	134		
Small Car Stalls (50% allowed)		67 maximum	56 included underground	
Accessible Parking Stalls	3		3 included	
Shared Commercial & Residential Visitor	Phase 2 = 49 Overall = 295	-	Podium Level = 71 Parkade P1 Level = 295 Total = 366	49
Phase 2 - Total Vehicle Parking	183	-	Phase 2 - Commercial = 49	183
Residential Class 1 Bike Parking	126		137	157
Residential Class 2 Bike Parking	20		20	
Commercial Class 1 Bike Parking	4		4	10
Commercial Class 2 Bike Parking	6		6	
Loading Spaces	3 medium		3 shared medium (SU9)	3

2. TDM Measures include the following components:

- 2 Co-op Parking Stalls located on the parking podium near the east end of Building B,
- 2 Transit Shelters (1 to be installed northbound on No. 5 Road as part of the Servicing Agreement and cash-in-lieu for 1 to be installed southbound at the intersection between Steveston Highway and Highway 99,
- End-of-Trip Bike Facilities provided in Building A (Phase 1) with access provided to all residents and CRU employee use with key fobs, and
- 15% Subsidy for a 2-Zone Transit Pass, with this offer presented to all owners at the time of occupancy but advertised as part of the sales and marketing for the project.

Servicing & Engineering

The applicant has agreed with the engineering and servicing requirements of the City. There are 3 separate Servicing Agreements (SA) associated with the overall development site rezoning. The SA for infrastructure upgrades, frontage improvements and service connections has been issued and works are currently under construction and nearing completion. A separate SA for the storm sewer along the north property line of the development site is currently in circulation for review by City staff. There is also a separate SA for park improvements.

Urban Design & Site Planning

1. The overall development site is located at the gateway to Richmond from Highway 99 and will provide a unique urban living experience while still reflecting the garden and agricultural history of the area.
2. The buildings are organized along both sides of an internal east-west village street with retail uses at-grade on top of the parking podium and residential uses above. This small scale, retail-commercial street incorporates a variety of retail shop fronts, a limited amount of surface parking, wide sidewalks, raised crosswalks, decorative paving, amenities such as pedestrian plazas and water features and a landscape design with abundant plant material and

high quality site furnishings that enhance the pedestrian experience and contributes to a vibrant mixed-use community.

3. Building D in Phase 2 will be located at the west end of the village street on the north side of a small auto court. The site planning closely follows the master plan vision established during the rezoning stage to create a vibrant, mixed-use, urban village with ground floor retail on the south side and residential above. The proposed mixed-use building is surrounded by a high-quality public open space at the street and parking podium level.
4. The scale of Building D relates well to the Building A in Phase 1 (to the south) but with sufficient variation in the architectural design and character to add visual interest and a separate identity.
5. The proposed vehicle access to the site, the public plazas, open space and pedestrian circulation system are consistent with the master plan and well coordinated with Phase 1.
6. In response to the smaller scale residential development on the west side of No. 5 Road, the applicant proposes to step the building massing away from the street on the top floor (5th storey), which reduces the apparent height of the proposed building.
7. The residential uses fronting the south side of Road 'A' create a compatible relationship with the proposed ALR 'Agricultural-Park', particularly the ground-oriented units that have been designed with a horizontal and grade separation between the public realm on the street and the elevated private outdoor patio areas adjacent to the unit entries.
8. The large recess in the central portion on the south side of the proposed building encloses and completes the retail precinct surrounding the auto court at the west end of the village street while also providing a comfortable separation between residential lobby of Building D and the concentration of retail activity around the retail auto-court.

Architectural Form & Character

1. The architectural character of this concrete building deviates from the wood frame construction of buildings in Phase 1, which results in a lighter, more modern design expression.
2. The base of the building includes 2 different design treatments. On the south side, the retail/commercial frontage is typified by storefront glazing, horizontal canopies, vertical trellis structures with the residential units above well set back from the commercial uses at grade, creating an effective separation between these 2 uses. The lower level building design along the residential frontages contain ground-oriented units that are terraced up and set back from the street. The terrace walls are clad with a combination of brick and architectural concrete that unifies the design expression of the building at-grade along the residential frontages.
3. The architectural design of the building mid-levels includes significant façade articulation that adds visual interest to the residential frontages, which are accentuated by the subtle colour contrast of cladding materials.
4. There are strong horizontal lines in the floor slab extensions and the glass-guard railing system at the top of the building that contribute to visual continuity and help to unify the overall architectural expression of the building.
5. The retail/commercial design character of the building extends partially along No. 5 Road, at the base of the building and adds design variety to this façade and no direct access is

provided to any CRU from No. 5 Road. The retail frontage along this building façade is well screened with plant material and the proposed commercial signage is limited in size. The design of the parkade entry incorporates an overhead metal trellis, which identifies the shared residential and commercial vehicle entry from No. 5 Road.

6. Building façade materials include concrete, brick, metal panels and glazing. The amount of brick cladding has been increased along the base of the building on the north elevation to create improved design continuity. The brick treatment is complemented by picket gates and railings.

Landscape Design & Open Space Design

1. As part of the rezoning, the applicant was required to dedicate approximately 12.2 acres as an ALR 'Agricultural-Park' that will include trails, play areas, ponds, community gardens, horticultural and agricultural interpretive facilities in the various garden areas.
2. There are no existing trees within the Phase 2 development site (Parcel C).
3. The Public Right of Passage – Statutory Right of Ways (PROP ROW's) associated with Phase 1 will provide public pedestrian access to all commercial uses and the common amenity facilities provided within Building A through a series of internal streets and walkways to be maintained by the owner. The Servicing Agreement (SA) associated with the rezoning of the overall development will extend the combined pedestrian/bike greenway along the No. 5 Road frontage of Building D.
4. The proposed landscape treatment along Road 'A' in Phase 1 includes 1.5 m wide boulevard planting strips including street trees and grass in combination with 2.0 m wide sidewalks on both sides, which also provide important pedestrian access to the ALR 'Agricultural-Park'. The terraced retaining walls along the north side of Building D have been set back slightly from the sidewalk to create the appearance of a wider public boulevard and a more comfortable transition between the public and private realms.
5. The perimeter landscape around the west, north and east sides of Building D is generally terraced up to the building presenting a lush green pediment that completely screens the parking structure under the building. The perimeter hard landscape treatment on the south side of the building consists of a minimum 2.0 m wide sidewalk with decorative paving along the retail frontages and a wider pedestrian plaza adjacent to the residential lobby. Decorative paving materials consist of concrete unit pavers, wood decking and stone slab paving. The walkway and plaza are flanked by raised planting areas for tree and shrub planting that also provide seating areas.
6. The quality and character of the hard and soft landscape design, materials, detailing, furnishings and appointments established in Phase 1 continues throughout this phase adding continuity to the overall development at-grade level within the public and semi-public realms. All soft landscape areas will include an automatic irrigation system.
7. The freestanding walls and arbours proposed at the northwest and northeast corners of the site have been set back to allow adequate sight line distances. The deck arbours on the south side of the building contribute to overall design integration between the landscape and architectural components.

Unit Location (within building)	Unit Type	No. of Units	Minimum Unit Area
213	2 bedroom	1	889 ft ²
317	2 bedroom	1	817 ft ²
330	2 bedroom	1.	762 ft ²
417	2 bedroom	1	817 ft ²
421	1 bedroom + den	1	683 ft ²
422	1 bedroom + den	1	671 ft ²
428	1 bedroom + den	1	671 ft ²
429	1 bedroom + den	1	683 ft ²
430	2 bedroom	1	762 ft ²
		9	627.56 m ² (6,755 ft ²)

The following is a summary of affordable housing commitments from the owner/developer for Phases 2 and 3.

Phase	Gross Residential Floor Area (no exceptions)	Affordable Housing Commitment (5%)	Affordable House Commitment to be Provided in Phases 2 and 3
Phase 1 Building A Building B Sub-Total	7474 m ² <u>7,051 m²</u> 14,525 m ²	373.7 m ² (7,817 ft ²) <u>352.55 m²</u> 726.25 m ²	(2,345 ft ²) = 217.875 m ² (30% of Phase 1 to be provided in Phase 2 Remaining 70% of Phase 1 to be provided in Phase 3 - Building E
Phase 2 Building B Sub-Total	<u>8,432 m²</u> 8,432 m ²	(4,538 ft ²) <u>421.6 m²</u> 421.6 m ²	(4,410 ft ²) = 409.75 m ² (97% of Phase 2 to be provided in Phase 2 Remaining 3% or (128 ft ²) 11.85 m ² of Phase 2 to be provided in Phase 3 - Building E
Total	22,957 m ²	1,147.85 m ²	(6,755 ft ²) = 627.625 m ² to be provided in Phase 2

The applicant will also be required to register a Housing Covenant on the remaining phases to secure the affordable housing requirements.

Sustainability & Accessibility

- The proposed sustainability and environmental design components of Building D include:
 - meet or exceed LEED Silver equivalency standards,
 - storm water generated from the development site will be channelled into the future park, cleaned and stored for re-use in the community gardens,
 - incorporate low emission materials, and operable windows,
 - use energy star appliances and windows, low flow fixtures and energy efficient lighting,
 - use motion sensor and timers where possible,
 - provide recessed balconies and shading of the building where possible,
 - grind and reuse existing asphalt, concrete and pavers,
 - include fly-ash into the locally produced concrete,

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 - use energy star appliances and windows, low flow fixtures and energy efficient lighting,
 - use motion sensor and timers where possible,
 - provide recessed balconies and shading of the building where possible,
 - grind and reuse existing asphalt, concrete and pavers,
 - include fly-ash into the locally produced concrete,
 - use various recycled materials in the construction process where possible,
 - purchase locally for building materials where possible,
 - follow appropriate recycling practices in the construction process, and
 - drought resistant and native planting.
2. Two (2) accessible units are provided within this development phase that will comply with the basic universal housing features in Section 4.16 of the Zoning Bylaw with the exception of the balcony door thresholds that will be greater than 13mm however, the owner/developer will install an appropriate ramp at the request of any prospective purchaser/tenant.
3. Aging-in-place features incorporated into all units include the following:
- automatic doors at main building entrance,
 - weather protection at the main entrance with highly visible waiting area,
 - level access into the main lobby from the street,
 - main unit entry doors with 3ft (915mm) clear opening,
 - no balcony smaller than 5ft x 5ft (1500mm x 1500mm),
 - one elevator to accommodate a stretcher in a prone position,
 - an electrical box rough-in above the unit entrance to provide wiring for potential future installation of a power door opener,
 - lever handles on all doors,
 - window hardware that is of the lever type,
 - solid blocking in main washroom walls to facilitate the installation of future grab bars,
 - lever type handles for plumbing fixtures,
 - electrical outlets at 18" above the floor,
 - switches and thermostats located 3'-6" above the floor, and
 - light switches to be rocker type.

Public Art

The Public Art Plan was presented to and supported by the Richmond Public Art Advisory Committee on March 15, 2011. This plan calls for a total contribution of approximately \$364,000.00. The Phase 1 contribution was \$125,725.00 (60% of this amount for the Steveston/No. 5 Road pedestrian plaza and 40% for public art along Steveston Highway). The Phase 2 contribution will be approximately \$60,460.00 (i.e., 105,176 ft² - 4,410 ft² for affordable housing = 100,766 ft² net buildable floor area x 0.60/ft²) for benches predominantly made of glass designed by Joel Berman and wayfinding signage that reinforces the public art theme of the overall development.

Crime Prevention Through Environmental Design (CPTED)

The following CPTED features have been addressed in the proposed design:

- The landscape design allows clear views of surrounding pedestrian areas on the podium level including both the retail/commercial plaza and the residential entry lobby through low shrub or groundcover planting and tree selections that permit views under the canopies
- The landscape design allows clear views of surrounding pedestrian areas on the podium level including both the retail/commercial plaza and the residential entry lobby through low shrub or groundcover planting and tree selections that permit views under the canopies
- The proposed development will be well lit at access points, along streets, commercial frontages, in public open spaces and along all publicly accessible walkways.
- The design incorporates vision glass along commercial frontages, significant overlook areas from the residential units above and glazed doors in stairwells and parkade lobbies.
- The parking structure will be well lit and painted white to enhance visibility. The on-site mixed land uses help to ensure more eyes on the street at all times.
- A clear delineation of public, semi-public and private spaces has been incorporated into the design to reinforce the sense of territoriality and perceived ownership of these areas.
- The building interiors will be well lit and the design calls for non-glare, vandal resistant light fixtures that incorporate both motion-sensors and daylight-sensors.

Noise & CMHC Standards

The owner/developer will need to submit and Acoustical Report and a Mechanical Report confirming that the proposed development meets the CMHC and ASHRAE standards and requirements prior to issuance of the Development Permit, which verifies that any special construction measures required are to be included in the Building Permit.

Refuse & Recycling

The owner/developer has confirmed that the design satisfies the following refuse and recycling requirements:

1. Residential Component:
 - 2 x 4 cu yd garbage container with wheels,
 - 1 x 4 cu yd corrugated cardboard recycling container with wheels,
 - 10 recycling carts and 5 food scraps carts.
2. Commercial Component
 - 1 x 4 cu yd garbage container with wheels emptied daily or 3 times a week,
 - 1 x 4 cu yd corrugated cardboard recycling container with wheels,
 - 2 paper products recycling carts plus 2 container recycling carts,
 - 2 food scraps recycling cart, and
 - 1 grease collection container from West Coast Reduction if one of the CRU's is a restaurant or grocery store serving food.
3. The owner/developer also confirms that ample enclosed storage space has been provided to allow for containers to be brought in and out during pick up so as to not negatively impact the commercial sidewalk or residential drive aisles.
4. Litter/recycling containers for the any public spaces will as required by Environmental Programs staff.

Conclusions

Phase 2 of the overall development (Building D on Parcel C) will continue the high quality mixed-use development from Phase 1 (Buildings A and B). There are many public benefits associated with this overall development including the provision of a 12.2-acre ALR ‘Agricultural Park’, a 37-space child care facility, the provision of affordable housing, road and other infrastructure up-grades as well as publicly accessible walkways and plaza areas within the development. Staff supports Phase 2 of ‘The Gardens’ (Building D on Parcel C).



Brian Guzzi, MCIP, MCSLA
Senior Planner - Urban Design

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Prior to approval of the Development Permit, the developer is required to complete the following:

1. Registration of the City’s standard Housing Agreement to secure 9 affordable housing units, the combined habitable floor area of which shall comprise at least 5% of the subject development’s gross residential building area for phase 2 (Building D) plus 30% of the phase 1 (Buildings A and B) 5% requirement. Occupants of the affordable housing units subject to the Housing Agreement shall enjoy full and unlimited access to and use of all on-site indoor and outdoor amenity spaces. The terms of the Housing Agreements shall indicate that they apply in perpetuity and provide for the following:

Unit Location within building	Unit Type	No. of Units	Minimum Unit Area	Maximum Monthly Unit Rent**	Total Maximum Household Income**
213	2 bedroom	1	889 ft ²	\$1,137.00	\$45,500 or less
317	2 bedroom	1	817 ft ²	\$1,137.00	\$45,500 or less
330	2 bedroom	1	762 ft ²	\$1,137.00	\$45,500 or less
417	2 bedroom	1	817 ft ²	\$1,137.00	\$45,500 or less
421	1 bedroom + den	1	683 ft ²	\$925.00	\$37,000 or less
422	1 bedroom + den	1	671 ft ²	\$925.00	\$37,000 or less
428	1 bedroom + den	1	671 ft ²	\$925.00	\$37,000 or less
429	1 bedroom + den	1	683 ft ²	\$925.00	\$37,000 or less
430	2 bedroom	1	762 ft ²	\$1,137.00	\$45,500 or less
		9	627.56 m ² (6,755 ft ²)		

** May be adjusted periodically as provided for under adopted City policy.

2. Discharge of the existing No Development Covenant (NDC) for social housing (Charge Number CA2088657) on Parcel C as well as Parcels D and E in the New Westminster Land Title Office subject to the simultaneous registration of a new NDC for social housing on Parcels D and E as indicated below.
 - a) Registration of a new No Development Covenant (NDC) related to affordable housing on Parcel D & E stating that:
 - Each parcel must provide 5% of the residential gross floor area (no exceptions) as affordable housing; and
 - 70% of the deferred affordable house commitment from Phase 1 (Buildings A and B on Lot 1) or 508.375 m² (726.25 m² x 70%) will be provided on the first parcel to proceed;
 - the residual or remaining portion of the Phase 2 (Building D on Parcel C) affordable housing commitment, which is equivalent to 11.85 m² (421.6 m² - 409.75) will be provided on the first parcel to proceed; and
 - The unit mix and allocation to be provided to the satisfaction of the City.
3. Discharge of the No Development Covenant (NDC) related to the provision of a child care facility on Parcel C (Charge Numbers CA2088652) as the requirement for the owner/developer to deliver of the child care facility has not been reaching in Phase 2 (Building D) on Parcel C.
4. Provision of a letter of credit (LOC) by the owner/developer for public art in the amount of approximately \$60,460.00 (i.e., 105,176 ft² - 4,410 ft² for affordable housing = 100,766 ft² net buildable floor area x 0.60/ft²) for benches predominantly made of glass designed by Joel Berman and wayfinding signage that reinforces the public art theme of the overall development that will be returned to the owner/developer after installation of the public art to the satisfaction of the Director of Development. Discharge of the No Development Covenant (NDC) on Parcel C (Charge Number CA2088662) regarding public art subject to confirmation that the owner/developer has submitted the required LOC for public art in the amount of \$60,460.00.
5. A legal agreement stating that commercial and visitor parking provided on Lot 1 and Parcel C can not be assigned for exclusive use.
6. Confirmation that all the underground parking on Parcel C is solely for the benefit of Parcel C or registration of appropriate easement agreements for lots and/or parcels to be provided for access to these parking stalls.
7. Provision of acoustical and mechanical report(s) to confirm the CMHC and ASHRAE standards have been met.
8. Provision of a letter of credit by the owner/developer for supply and installation of landscape site improvements in the amount of \$128,643.00 (based on the landscape cost estimated prepared by a registered landscape architect).

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
- All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
- The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

ON FILE

Signed _____

Date _____



DP 12-599057

Attachment 1

Address: 10820 No. 5 Road

Applicant: Townline Gardens Inc.

Owner: Townline Gardens Inc.

Planning Area(s): Shellmont Planning Area – Area C – The Gardens

Floor Area Gross: 9,771 m² (105,176 ft²)

Floor Area Net: 9,399 m² (101,167 ft²)

Criteria	Existing	Proposed
Site Area (no dedications in Phase 2)	6,040 m ² (65,014 ft ²)	No Change
Land Uses	Vacant	Mixed Use - Commercial / Residential
OCP Designation - Generalized Land Use	Mixed Use	No Change
OCP Designation - Specific Land Use	Limited Mixed Use	No Change
Zoning	Commercial Mixed Use (ZMU18) – The Gardens (Shellmont)	No Change
Number of Units	Nil	101 units including 9 affordable units

Criteria	Bylaw Requirement	Proposed	Variance
Gross Floor Area	-	9,771 m ² (102,461 ft ²)	-
Net Floor Area (minus FAR exclusions)	-	9,399 m ² (101,167 ft ²)	-
Lot Size	no minimum	6,040 m ² (65,014 ft ²)	-
Floor Area Ratio	1.43 FAR (on overall site)	1.5 FAR (Phase 2)	-
Gross Floor Area (commercial / residential)	-	1,323m ² com. + 8,196 m ² res.	-
Lot Coverage	50%	43%	-
Setback - No. 5 Road	6.0 m	6.0 m	-
Setback - Road 'A' (north side)	3.0 m	4.44 m	-
Setback - Road 'A' (east side)	3.0 m	4.15 m	-
Setback - Internal Lane (south side)	3.0 m	4.33 m	-
Height	20.0 m	17.11 m	-
Parking - Residential	134 residential stalls (including 10% TDM reduction & shared visitor / commercial	134 residential stalls	-
Parking – Commercial (Phase 2)	49 stalls	49 stalls	-
Total Parking	183	183	-
Parking – Commercial (overall estimated)	295 stalls	366 stalls	-
Parking Stalls - small / regular / accessible	maximum 50% small stalls	56 small / 74 reg. / 3 accessible	-
Loading Stalls	3 loading stalls	3 loading stalls	-
Bicycle Parking (Class 1 & Class 2)	Commercial - 4 CI-1 + 6 CI-2 Residential - 123 CI-1 + 20 CI-2	Commercial - 4 CI-1 + 6 CI-2 Residential - 137 CI-1 + 20 CI-2	- -
Amenity Space (Indoor & Outdoor)	70 m ² minimum indoor	both provided in Phase 1	-

Excerpt from the Minutes from
The Design Panel Meeting

Thursday, May 24, 2012 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

3. **DP 12-599057 – 5-STOREY MIXED-USE BUILDING WITH 98 APARTMENTS & 1,329M² COMMERCIAL SPACE**

APPLICANT: Townline Gardens Ltd.

PROPERTY LOCATION: 10820 No. 5 Road

Applicant's Presentation

Tiffany Duzita, Townline Group of Companies, Architect Al Johnson, DA Architects + Planners, and Landscape Architect Daryl Tyacke, Eckford Tyacke + Associates, presented the project on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- like the design and articulation of the building;
- recognize the change in the earlier master plan; internal commercial street court was very rational and clear in the earlier master plan, however; proposed diagonal “pedestrian connection” is distracting to the actual pedestrian movement; diagonal “pedestrian connection” may look dynamic in the plan but would lead pedestrians into the parking area; circulation of the public within the commercial court needs to maintain the clarity it had in the earlier master plan where there was a clear paving treatment that leads pedestrians to the commercial court;

The diagonal “pedestrian connection” shown is a continuation of what was shown on the master plan and the approved Phase 1. Refer to the attached pages from Phase 1 (SK-0.06 and L0.0) that explains the intent of this connection within the Urban Village.

The connection is to draw pedestrians from No. 5 Road into the commercial court, which terminates at the Christmas Tree Plaza. In addition, the paving treatment used is to break up the asphalt for the parking lot to provide visual articulation for the residents in the surrounding buildings whose homes are orientated toward the commercial court. Townline recognizes the concern over the diagonal connection and that it can lead pedestrians into the parking field. Townline will use a lighter material for this connection, so it still maintains a visual aesthetic but will not be so prominent to draw pedestrians into the parking area.

- like the design for the residential landscape and architecture; responds well to the context;
- would be nice to see something that ties the whole development together but recognize that it is not within the control of the developer;

Townline has presented a Public Art Plan the City, which has been approved. One of the concepts that are being developed is a bench, predominantly made of glass and being designed by Joel Berman that will be placed in various public gathering places throughout the development. Wayfinding signage is also being provided through the development to connect residents, shoppers and visitors to the various components of the development and the City Park to the north.

- articulation is very successful; building is broken up successfully; building is not very Richmond-like but very urban and modern; suggest using stronger contrast of materials which are typical of Richmond buildings; northern facade with vertical articulation needs to have a stronger contrast to mitigate the flatness of the facade and so that this feature will stand out;

We are proposing that a darker brick be used to create greater depth and contrast for the project. This will further strengthen the highly articulated and varied facades, and in particular emphasize the townhouse-like expression along parts of the north elevation.

- very interesting and appealing project;
- confirm if there is canopy above from the lobby into the CRU entryway to provide rain protection for residents going into the commercial areas;

There is a large roof overhang that protects the main residential entry as well as a variety of individual canopies and awnings at the commercial storefronts. There is a relatively short but deliberate break between the residential roof and the adjacent commercial canopy to clearly define the residential lobby while providing for plants to successfully grow adjacent to the south building façade.

- good unit layouts; pleased to see good accessibility in the accessible unit and the use of sliding doors to access the ensuite washroom; applicant is encouraged to look at this potential in each of the units; will not affect the floor space;

This will be considered.

- aging in place features are welcome; other units could be marketed as accessible units if they are provided with sliding doors;

This will be considered.

- variety in the architectural character of each building almost mimics original Fantasy buildings on this site but in a modern style;
- wall and window systems as shown may not meet energy requirements of new B.C. Building Code; may not affect this project if it goes into the development permit stage before the end of 2012 but will affect future buildings on this site; there is a concern that the wall materials as presented may have to change (in type and proportion) due to prescriptive energy requirements in the new B.C. Building Code;

This will be considered through the design development of the project.

- residential units need to be set back and screened to provide privacy from a noisy, high-traffic and congested intersection; on the other hand, CRU's need clear access and identity; hope that proposal to address these challenges will work when the project is developed;

This has been taken into consideration in the current design.

- a handsome project; not Richmond-like but may be a good thing for the project because the area needs something different;
- colour palette is very safe; brick almost disappears when compared to the rest of the palette; use of brick needs to be more refined; consider richer use of different coloured brick;

A darker brick is being proposed to add contrast. In addition the brick pattern being proposed is in a 'stacked bond' pattern that is different from the 'staggered bond' pattern of the first two buildings.

- picket railings require the use of brick on the base of the building to minimize the exposure of pickets; on the other hand, if the applicant chooses to use exposed architectural concrete, using a glaze-guard railing system would be more appropriate;

Pickets will provide a fine grain detail to the pedestrian realm. Further design development will occur to enhance these elements.

- add more brick on the base of the building as much as possible to better define the base of the building; building should have a base, middle and top, however, it should not destroy the modernity of the building;

Brick has been added to the feature 'fin walls' situated immediately next to the residential gates and the raised terraces. This will add a rhythm and detail to the pedestrian experience. Abundant planting will screen the remaining stepped retaining walls.

- hardie panel in the middle or torso of the building is fine but use glass or spandrel panel for the top of the building; and

A darker colour fibre-cement panel is currently being suggested to help the 5th floor visually recede from the lower floors.

- nice roof deck at the penthouse level; consider programming to make it more useful for residents.

Roof terraces at the 5th floor are for the benefit of the individual penthouse residents.

Panel Decision

It was moved and seconded

That DP 12-599057 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED



City of Richmond

Development Permit

No. DP 12-599057

To the Holder: TOWNLINE GARDENS INC.
Property Address: 10820 NO. 5 ROAD
Address: 120 - 13575 COMMERCE PARKWAY, RICHMOND, BC V6V 2L1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #25 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$128,643.00. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 12-599057

To the Holder: TOWNLINE GARDENS INC.

Property Address: 10820 NO. 5 ROAD

Address: 120 - 13575 COMMERCE PARKWAY, RICHMOND, BC V6V 2L1

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit, which shall form a part hereof.

This Permit is not a Building Permit.

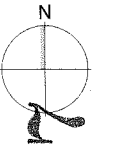
AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR

#1



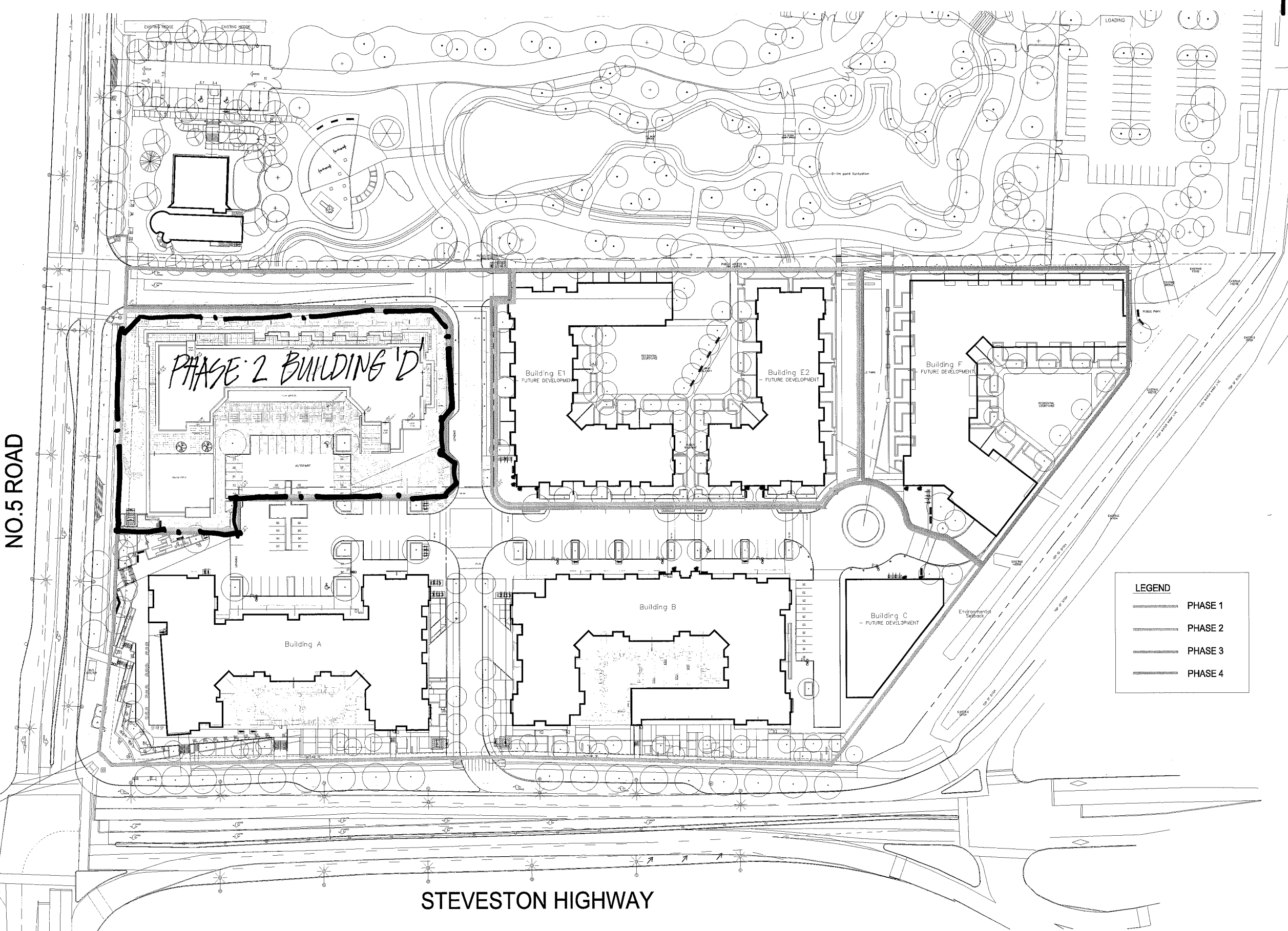
DP12 599057

JUN 29 2012

No.	Description	Date	Dr.
4	RE-ISSUED FOR DEVELOP PERMIT	June 13 2012	
3	RE-ISSUED FOR DEVELOP PERMIT	May 04 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 06 2012	

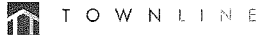
Revisions: Read Up

NO.5 ROAD



LEGEND

	PHASE 1
	PHASE 2
	PHASE 3
	PHASE 4



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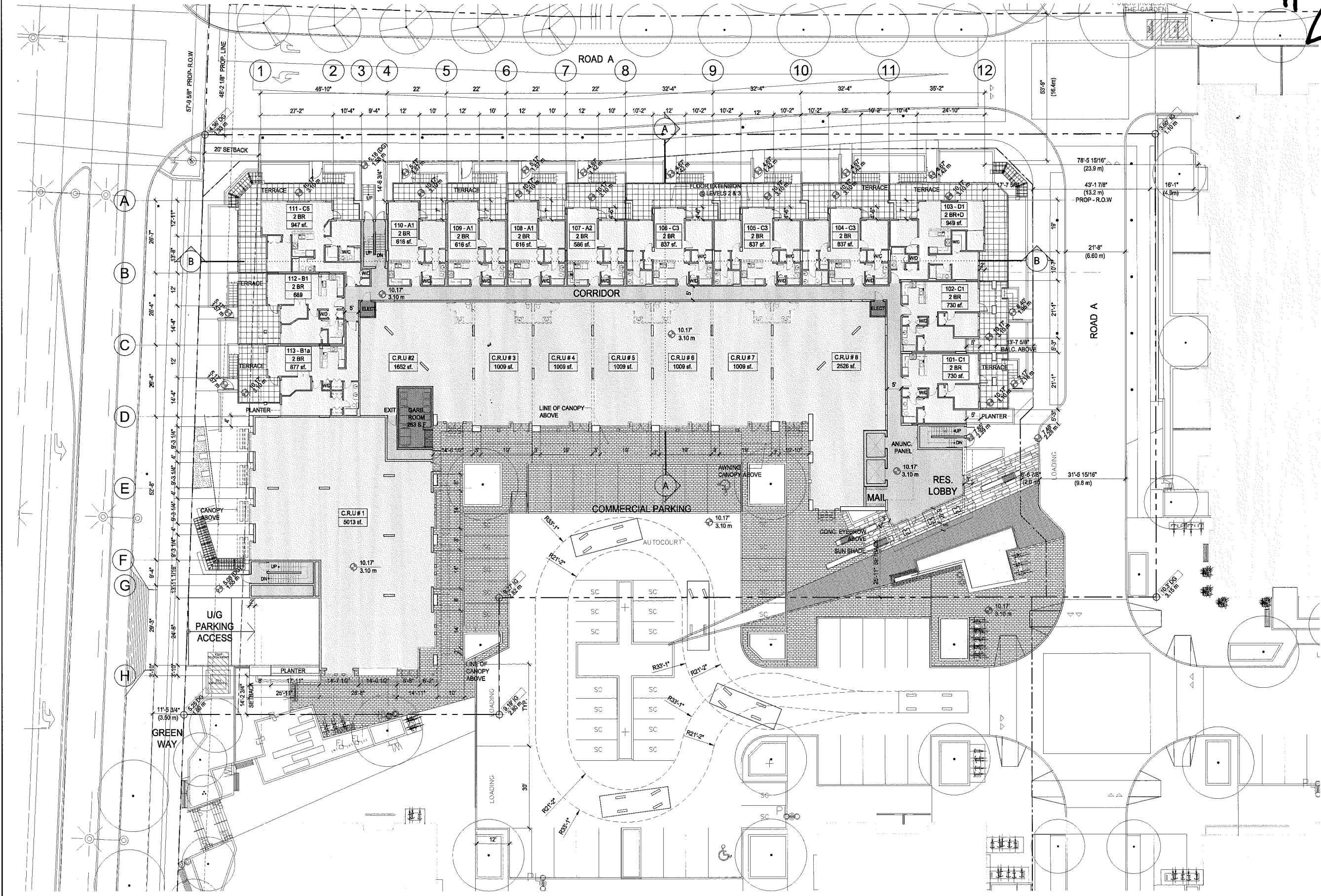
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Sheet Title
SITE PLAN / PHASING PLAN

Job No.	1115-000	Sheet No.	
Scale	-		
Drawn	FU / MC		
Checked	AJ		A1.01
Approved	RK		
Date	2012.01.25	Revision	-

STEVESTON HIGHWAY

#2A

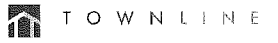


JUN 29 2012

DP 12599057

No.	Description	Date	Dr.
4	RE-ISSUED FOR DEVELOP PERMIT	June 15 2012	
3	RE-ISSUED FOR DEVELOP PERMIT	May 04 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 05 2012	

Revisions: Read Up



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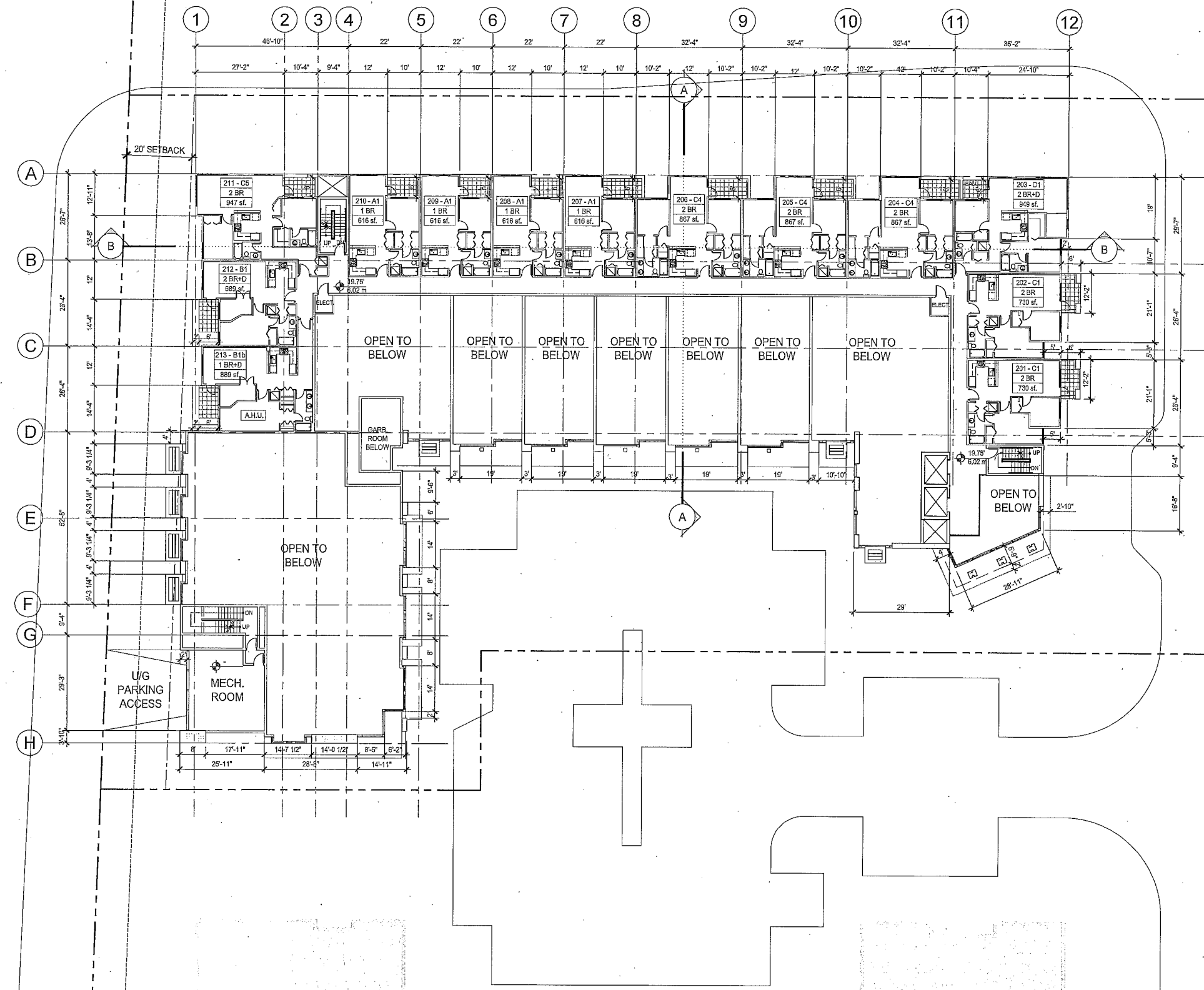
Sheet Title
**FLOOR PLAN
 LEVEL 1**

Job No.	1115-000	Sheet No.
Scale	1/16" = 1'-0"	A2.02
Drawn	FU	
Checked	AJ	
Approved	RK	
Date	2012.01.25	
		Revision

#7 KEY PLAN
 ZB

12601582

DP



No.	Description	Date	Dr.
5	RE-ISSUED FOR DEVELOP PERMIT	July 18 2012	
4	RE-ISSUED FOR DEVELOP PERMIT	June 15 2012	
3	RE-ISSUED FOR DEVELOP PERMIT	May 04 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 06 2012	

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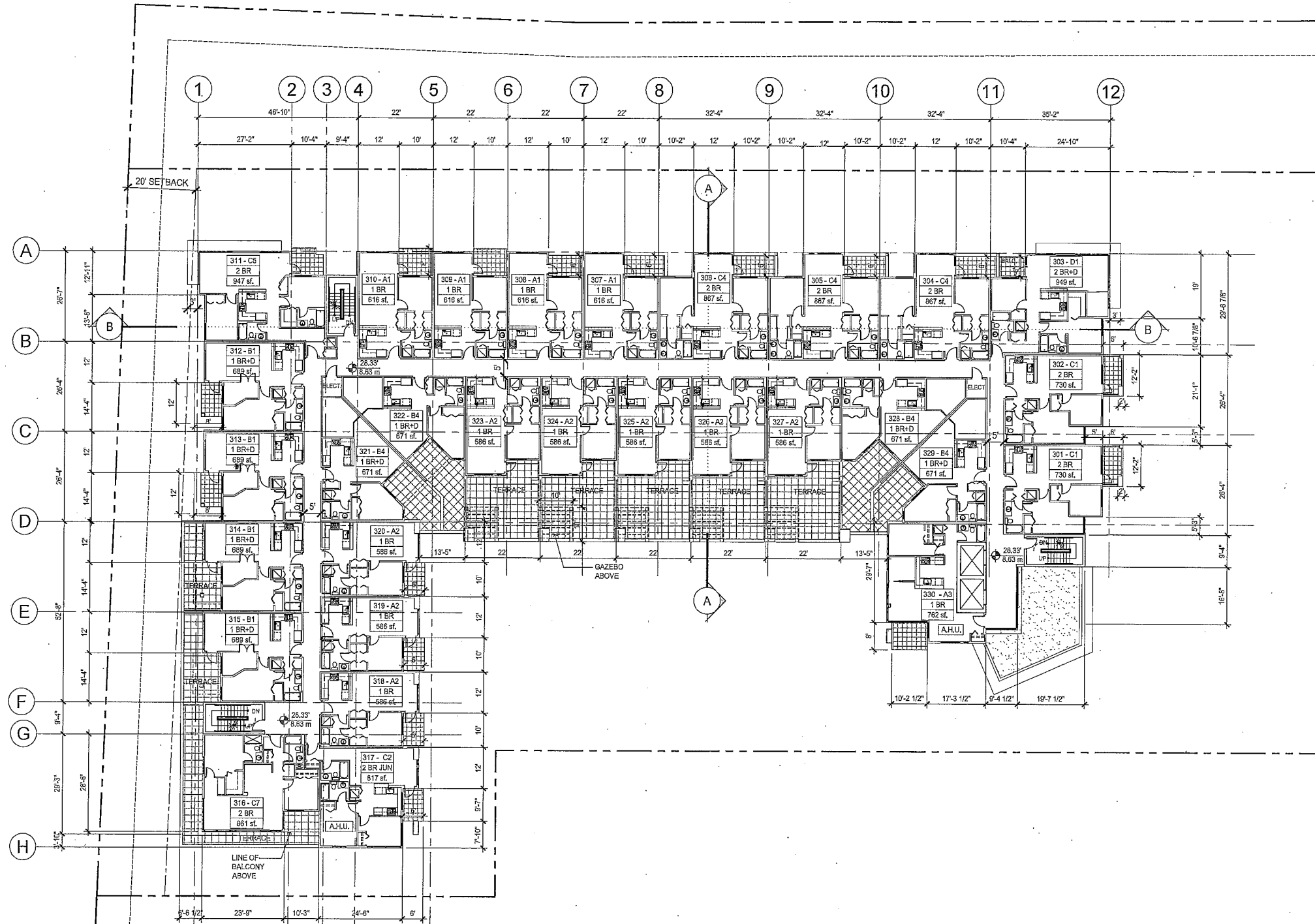
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Sheet Title
 FLOOR PLAN
 LEVEL 2

Job No.	1115-000	Sheet No.	A2.03
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Drawn	FU		
Checked	AJ		
Approved	RK		
Date	2012.01.25	Revision	5

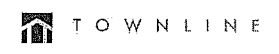
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12601582



No.	Description	Date	Dr.
5	RE-ISSUED FOR DEVELOP PERMIT	July 18, 2012	
4	RE-ISSUED FOR DEVELOP PERMIT	June 15, 2012	
3	RE-ISSUED FOR DEVELOP PERMIT	May 04, 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25, 2012	
1	PRE-APPLICATION SET	Jan 05, 2012	

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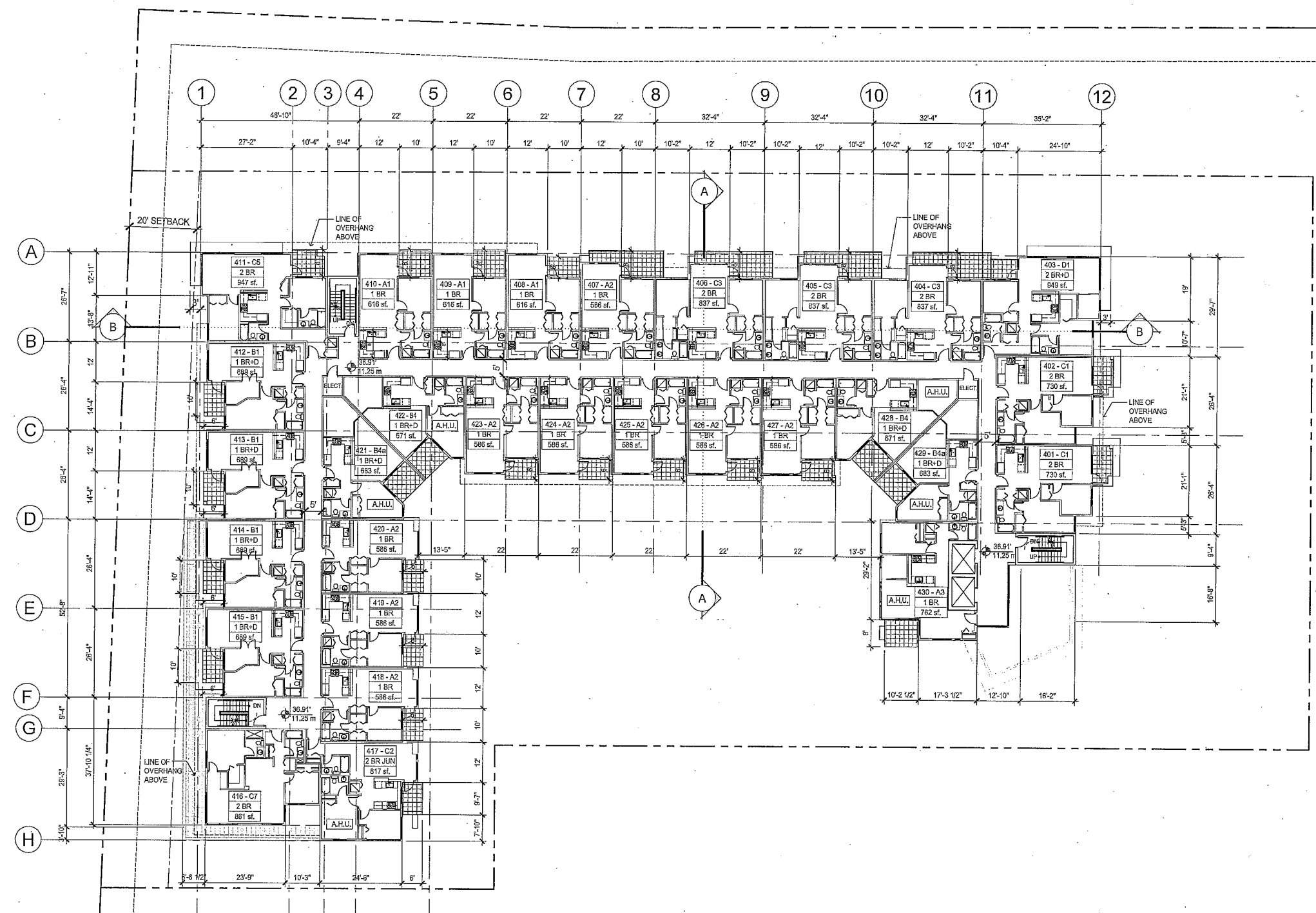
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Sheet Title
**FLOOR PLAN
 LEVEL 3**

Job No.	1115-000	Sheet No.	
Scale	1/16" = 1'-0"		
Drawn	FU		A2.04
Checked	AJ		
Approved	RK		
Date	2012.01.25	Revision	5

#2D KEY PLAN

12601582



No.	Description	Date	Dr.
5	RE-ISSUED FOR DEVELOP PERMIT	July 18 2012	
4	RE-ISSUED FOR DEVELOP PERMIT	June 12 2012	
3	RE-ISSUED FOR DEVELOP PERMIT	May 04 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 08 2012	

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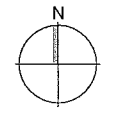
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Street Title
FLOOR PLAN
LEVEL 4

Job No.	1115-000	Sheet No.	
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Drawn	FU		
Checked	AJ		A2.05
Approved	RK		
Date	2012.01.25	Revision	5

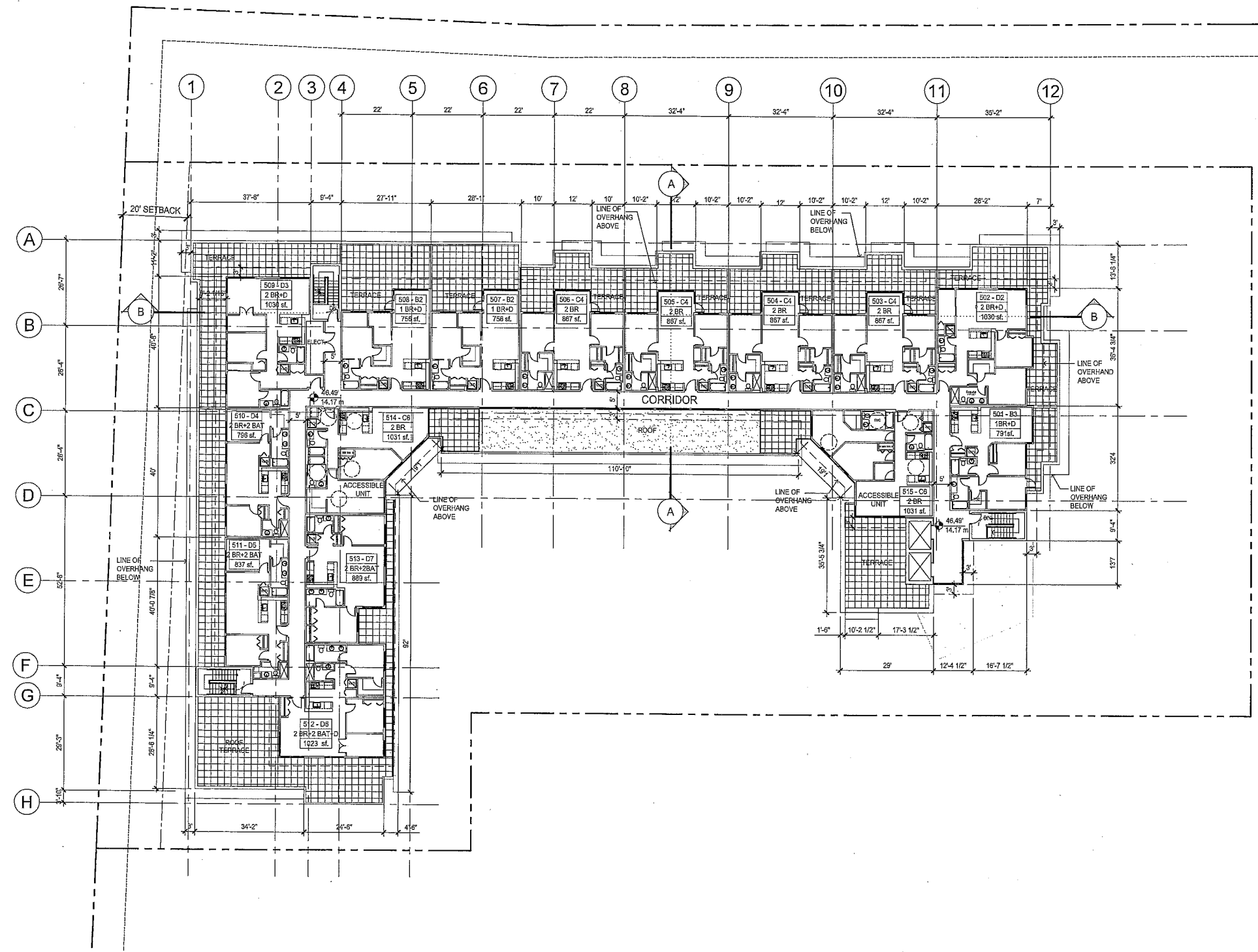
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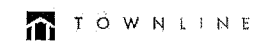
JUN 29 2012

DP 12599057



No.	Description	Date	Dr.
6	RE-ISSUED FOR DEVELOP PERMIT	Aug 08 2012	
5	RE-ISSUED FOR DEVELOP PERMIT	Aug 15 2012	
4	RE-ISSUED FOR DEVELOP PERMIT	May 15 2012	
3	RE-ISSUED FOR DEVELOP PERMIT	May 04 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 05 2012	

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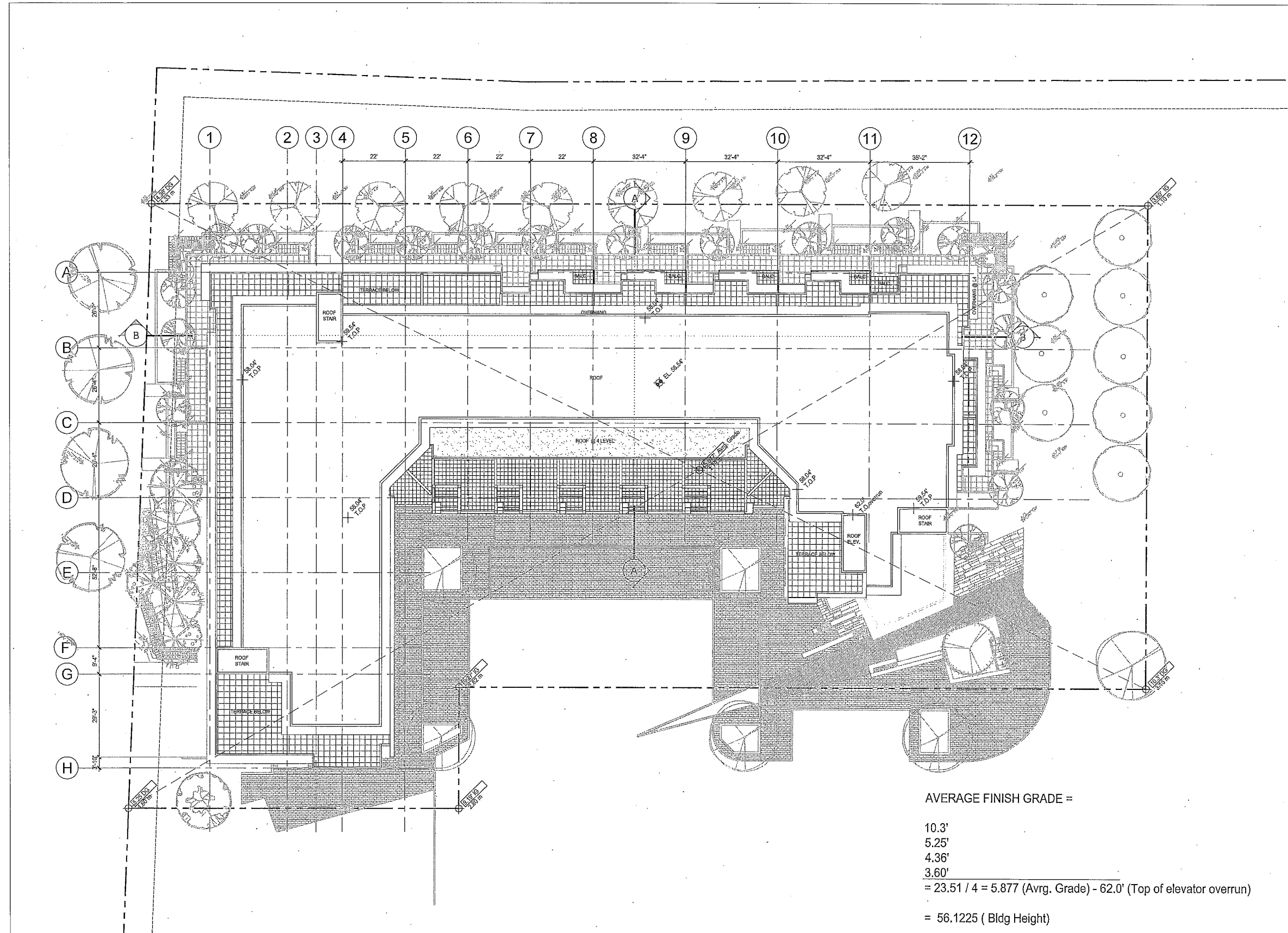
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Sheet Title	
FLOOR PLAN LEVEL 5	
Job No. 1115-000	Sheet No.
Scale 1/16" = 1'-0"	
Drawn FU	A2.06
Checked AJ	
Approved RK	
Date 2012.01.25	Revision 5

#2F KEY PLAN

12601582



AVERAGE FINISH GRADE =
 10.3'
 5.25'
 4.36'
 3.60'
 = 23.51 / 4 = 5.877 (Avg. Grade) - 62.0' (Top of elevator overrun)
 = 56.1225 (Bldg Height)

No.	Description	Date	Dr.
5	RE-ISSUED FOR DEVELOP PERM	July 18 2012	
4	RE-ISSUED FOR DEVELOP PERM	June 16 2012	
3	RE-ISSUED FOR DEVELOP PERM	May 04 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 06 2012	

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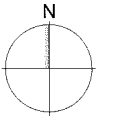
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Sheet Title
 ROOF PLAN

Job No.	1115-000	Sheet No.
Scale	1/16"=1'-0"	
Drawn	FU	
Checked	AJ	A2.07
Approved	RK	
Date	2012.01.25	Revision
		5

#3



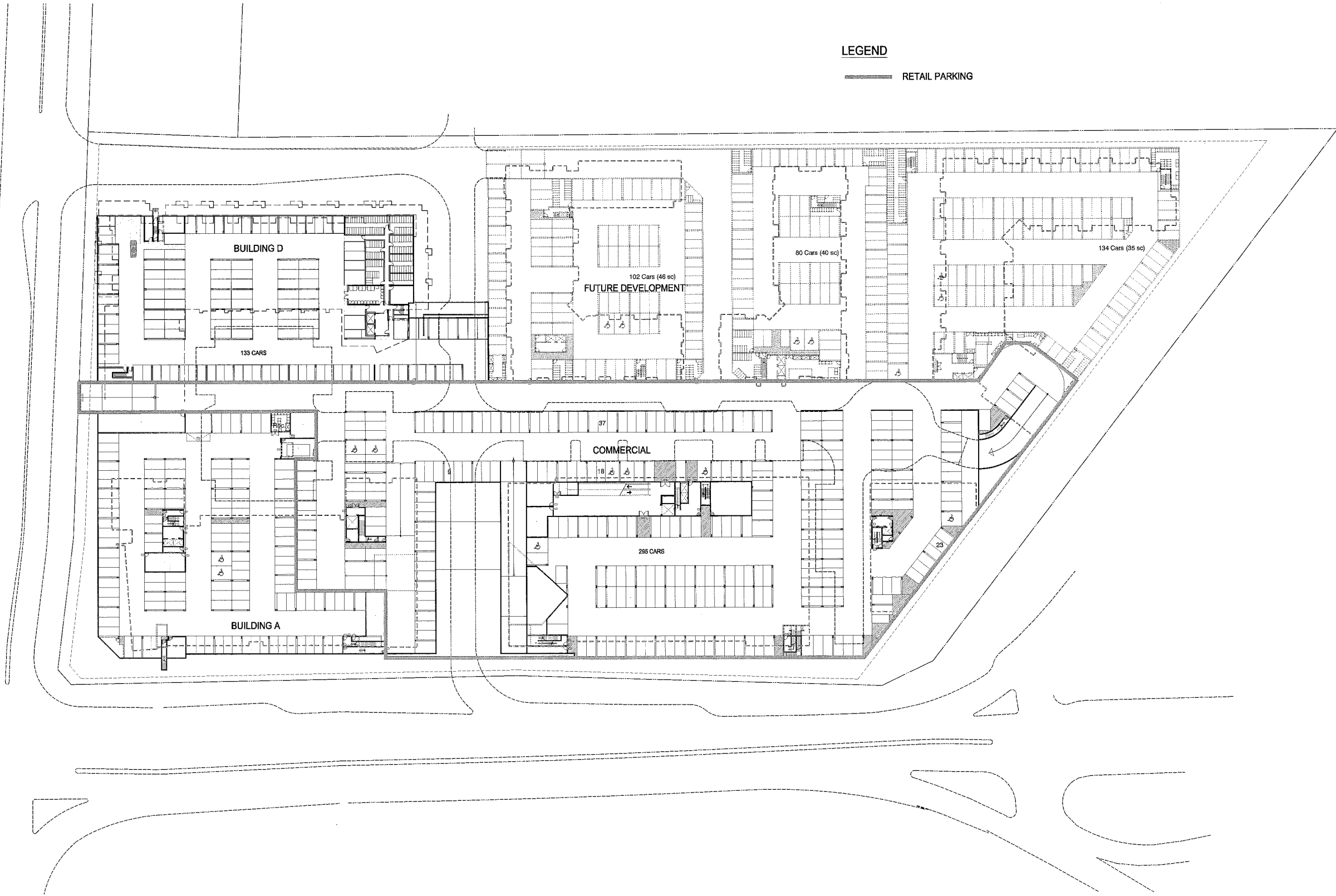
12599057

JUN 29 2012

DP

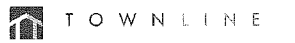
LEGEND

RETAIL PARKING



No.	Description	Date	Dr.
4	RE-ISSUED FOR DEVELOPMENT PERMIT	June 16 2012	
3	RE-ISSUED FOR DEVELOPMENT PERMIT	May 04 2012	
2	ISSUED FOR DEVELOPMENT PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 05 2012	

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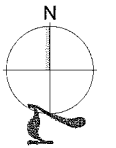
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PHASE 1 PARKING PLAN

Job No.	1115-000	Sheet No.	
Scale	-		
Drawn	FU		A1.02
Checked	AJ		
Approved	RK		
Date	2012.01.25	Revision	-

#4

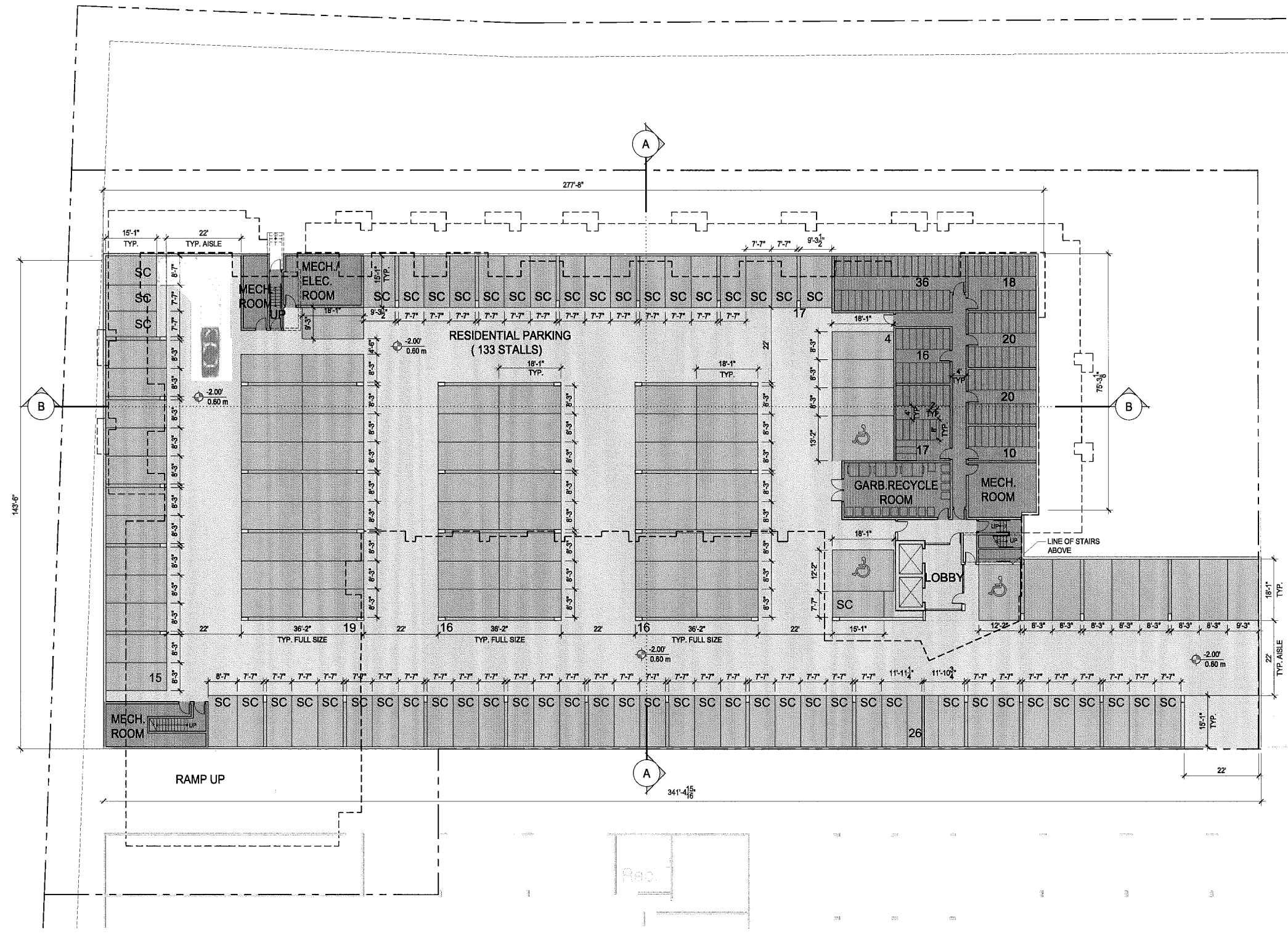


DP 12599057

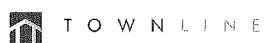
JUN 29 2012

No.	Description	Date	Dr.
4	RE-ISSUED FOR DEVELOP PERMIT	June 16 2012	
3	RE-ISSUED FOR DEVELOP PERMIT	May 04 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 08 2012	

Revisions: Read Up



RESIDENTIAL		STALL %	CLASS I - BICYCLE RACKS	
STANDARD CAR	SMALL CARS		VERTICAL	HORIZONTAL
77	56	58%		
133				137
133				137



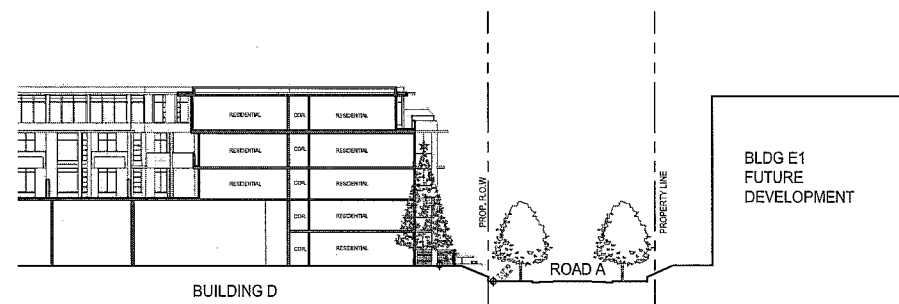
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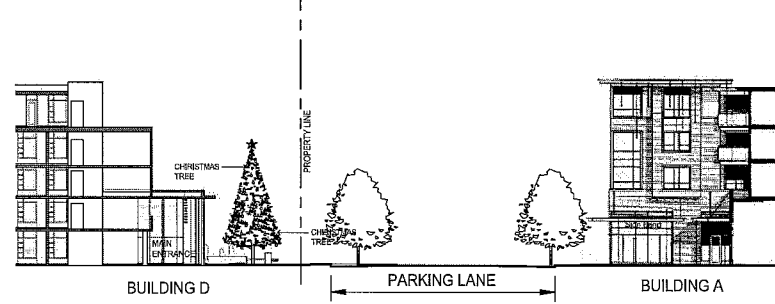
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Sheet Title
 PARKING LEVEL
 FLOOR PLAN

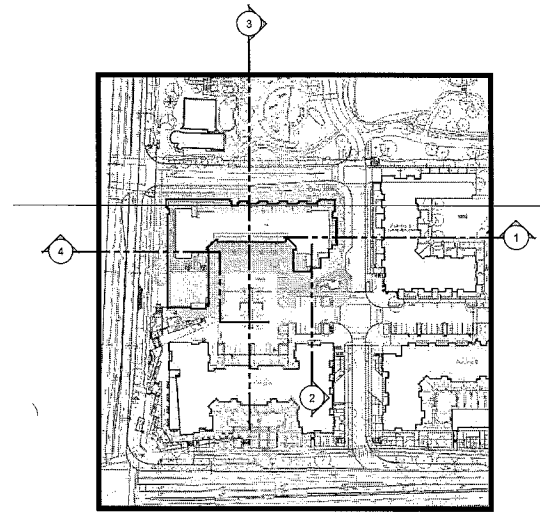
Job No.	Scale	Sheet No.
	1/16" = 1'-0"	A2.01
Drawn	FU / MC	
Checked	RK	
Approved	RK	
Date	2012.01.25	Revision



1 SECTIONAL ELEVATION ACROSS ROAD A
3/8" = 1'-0"

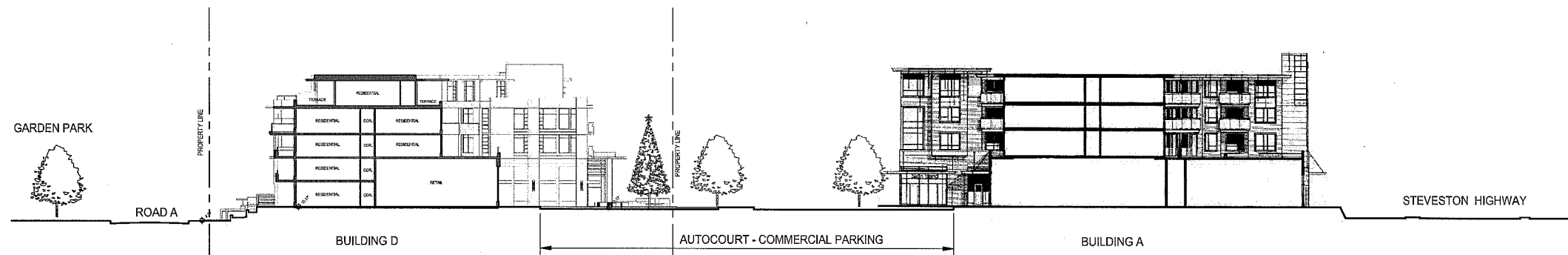


2 SECTIONAL ELEVATION THRU LANE
3/8" = 1'-0"

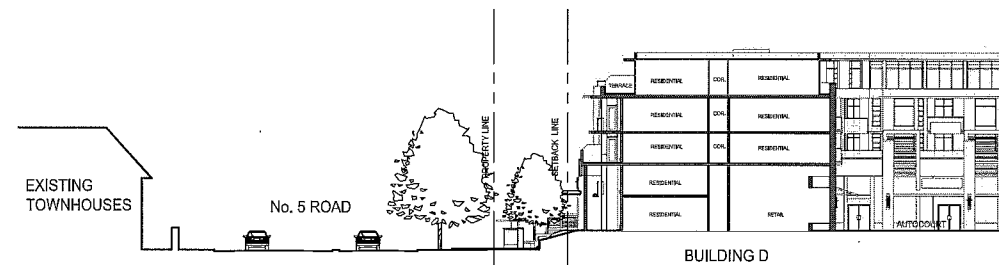


KEY PLAN

#6



3 SECTIONAL ELEVATION ACROSS AUTOCOURT
3/8" = 1'-0"



4 SECTIONAL ELEVATION THRU No. 5 ROAD
3/8" = 1'-0"

No.	Description	Date	Dr.
5	RE-ISSUED FOR DEVELOP PERMIT	Aug 03 2012	
4	RE-ISSUED FOR DEVELOP PERMIT	June 14 2012	
3	RE-ISSUED FOR DEVELOP PERMIT	May 04 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 06 2012	

Revisions: Road Up

TOWNLINE

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BUILDING D

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Sheet Title
CONTEXT SECTIONAL ELEVATIONS

Job No.	1115-000	Sheet No.	
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Drawn	MC		
Checked	AJ		A4.01a
Approved	RK		
Date	2012.01.25	Revision	

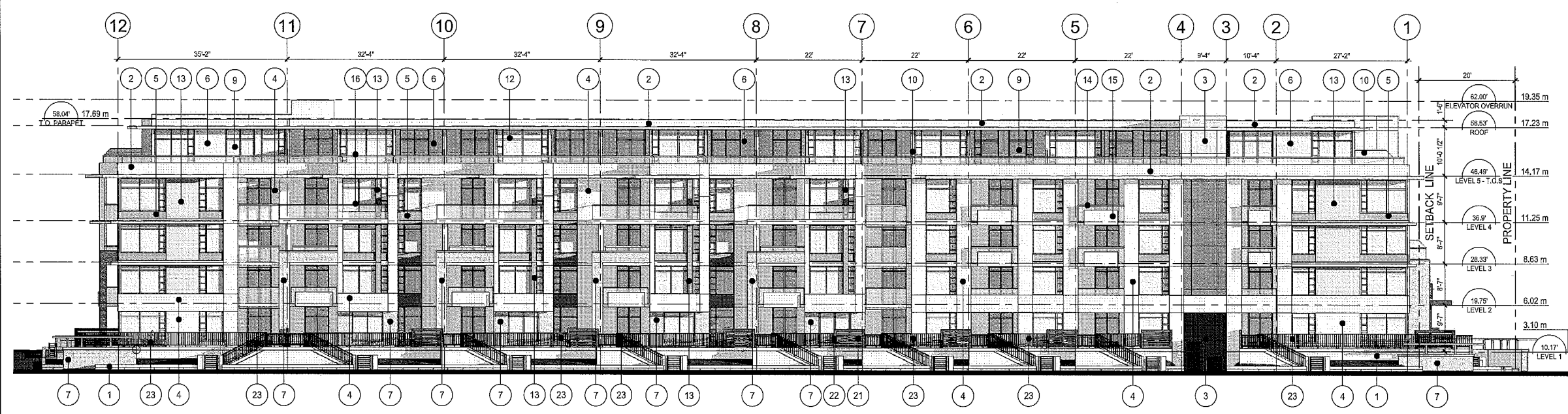
DP 12599057

JUN 29 2012

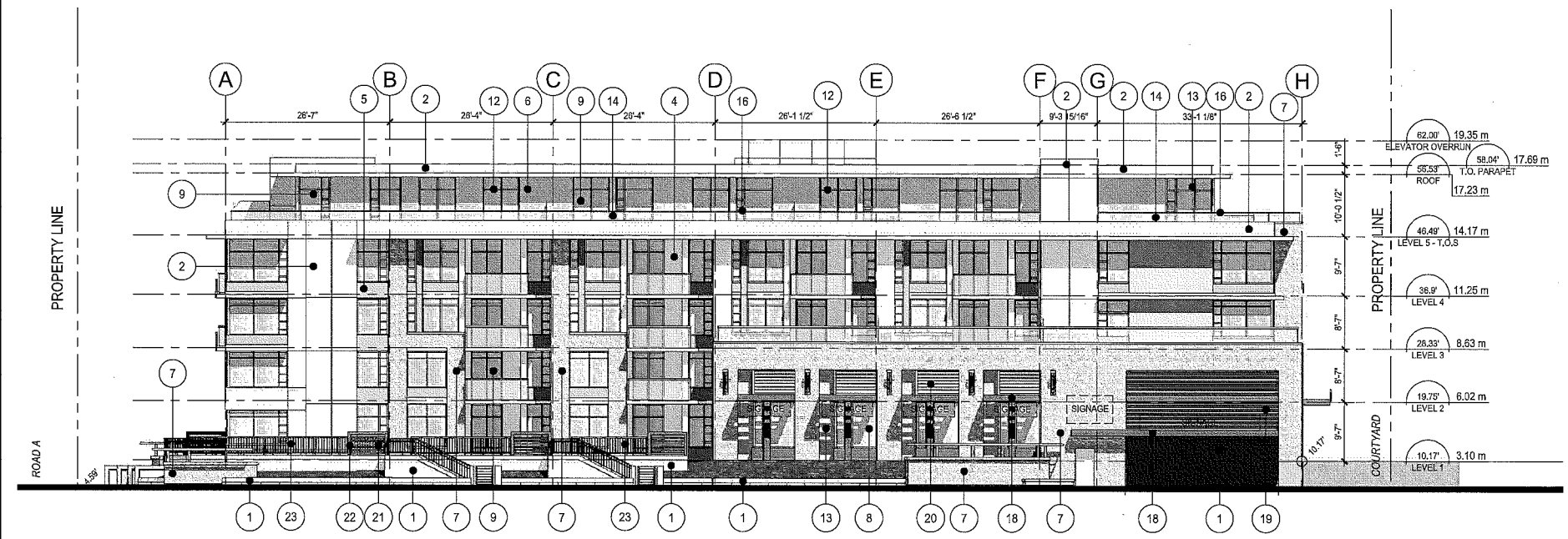
DP 12 599057
 JUN 29 2012

KEY PLAN

#7



1 NORTH ELEVATION
3/32" = 1'-0"



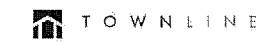
2 WEST ELEVATION
3/32" = 1'-0"

MATERIALS LEGEND

- 1 ARCHITECTURAL CONCRETE EXPOSED
- 2 ARCHITECTURAL CONCRETE PAINTED: COLOR A
- 3 ARCHITECTURAL CONCRETE PAINTED: COLOR B
- 4 FIBER CEMENT SIDING: COLOR A
- 5 FIBER CEMENT SIDING: COLOR B
- 6 FIBER CEMENT SIDING: COLOR C
- 7 BRICK GLAZING
- 8 COMMERCIAL GLAZING CLEAR LOW-E
- 9 RESIDENTIAL GLAZING CLEAR LOW-E
- 10 TRANSLUCENT GLASS SCREEN
- 11 ALUMINUM WINDOW FRAMES COLOUR A
- 12 VINYL WINDOW FRAMES COLOUR: B (CLEAR ANODIZED)
- 13 METAL PANEL
- 14 GUARDRAIL GLASS - CLEAR
- 15 GUARDRAIL GLASS ACCENT PANEL (WHITE)
- 16 ALUMINUM GUARDRAIL - PAINT FINISH
- 17 COMMERCIAL AWNINGS FABRIC AWNINGS ON METAL FRAMES (FABRIC COLOR VARIES)
- 18 COMMERCIAL CANOPY PAINTED STEEL W/ GLASS PANELS
- 19 MECHANICAL LOUVERS
- 20 SUNSHADE LOUVERS COLOR: ANODIZED ALUMINUM
- 21 GAZEBO WOOD LOUVERS
- 22 PAINTED STEEL
- 23 PAINTED ALUMINUM HANDRAIL

No.	Description	Date	Dr.
5	RE-ISSUED FOR DEVELOP PERMIT	Aug 08 2012	
4	RE-ISSUED FOR DEVELOP PERMIT	June 18 2012	
3	RE-ISSUED FOR DEVELOP PERMIT	May 04 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 06 2012	

Revisions: Read Up



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Sheet Title
 ELEVATIONS

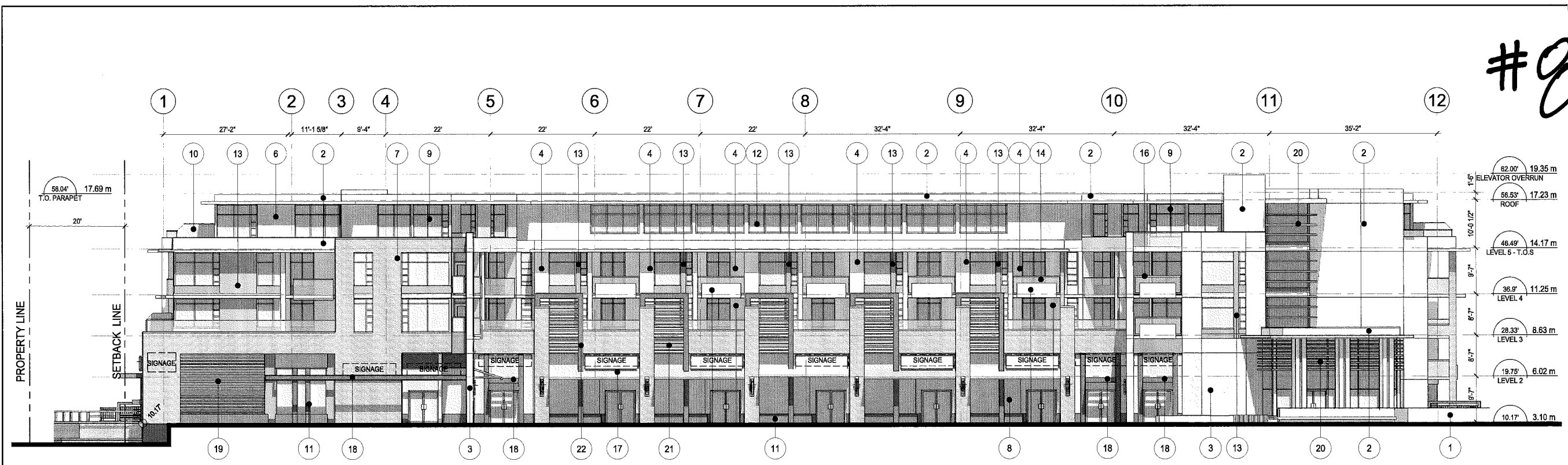
Job No.	1115-000	Sheet No.	
Scale	3/32" = 1'-0"		
Drawn	MC		
Checked	AJ		A4.02
Approved	RK		
Date	2012.01.25	Revision	

#8

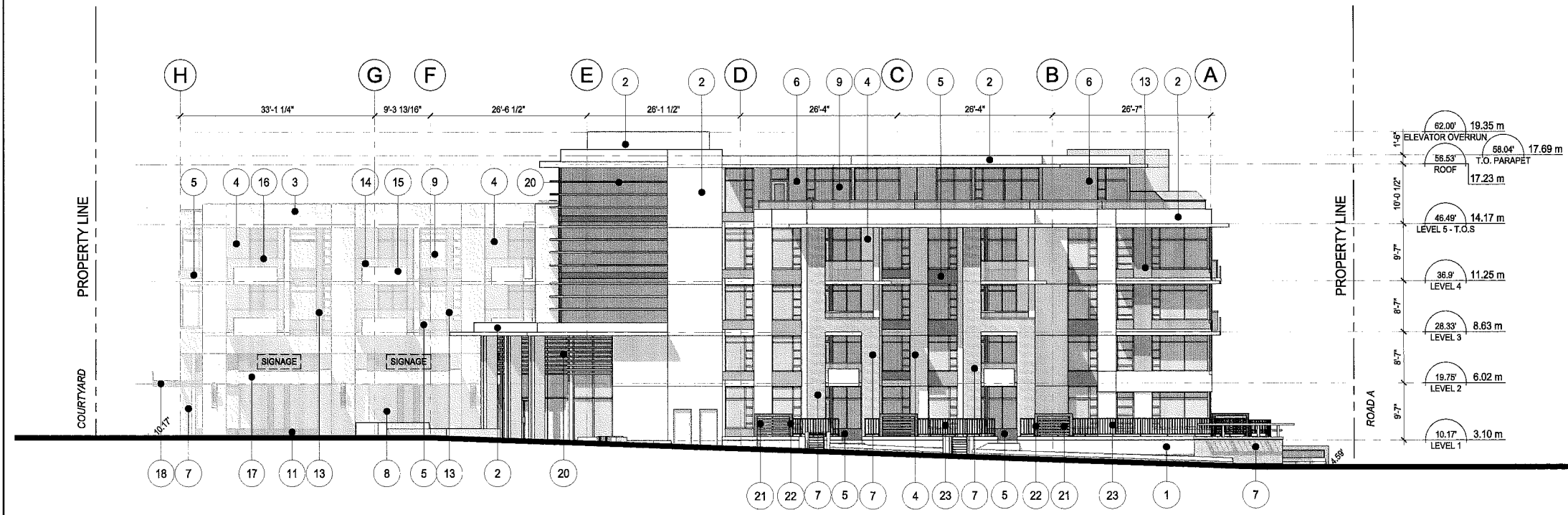
12599057

JUN 29 2012

DP



1 SOUTH ELEVATION
A-403 3/32" = 1'-0"



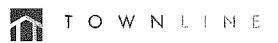
2 EAST ELEVATION
A-403 3/32" = 1'-0"

MATERIALS LEGEND

- 1 ARCHITECTURAL CONCRETE EXPOSED
- 2 ARCHITECTURAL CONCRETE PAINTED: COLOR A
- 3 ARCHITECTURAL CONCRETE PAINTED: COLOR B
- 4 FIBER CEMENT SIDING: COLOR A
- 5 FIBER CEMENT SIDING: COLOR B
- 6 FIBER CEMENT SIDING: COLOR C
- 7 BRICK CLADDING
- 8 COMMERCIAL GLAZING CLEAR LOW-E
- 9 RESIDENTIAL GLAZING CLEAR LOW-E
- 10 TRANSLUCENT GLASS SCREEN
- 11 ALUMINUM WINDOW FRAMES COLOUR A:
- 12 VINYL WINDOW FRAMES COLOUR: B (CLEAR ANODIZED)
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- 19 MECHANICAL LOUVERS
- 20 SUNSHADE LOUVERS COLOR: ANODIZED ALUMINUM
- 21 GAZEBO WOOD LOUVERS
- 22 PAINTED STEEL
- 23 PAINTED ALUMINUM HANDRAIL

No.	Description	Date	Dr.
4	RE-ISSUED FOR DEVELOP PERMIT	June 14 2012	
3	RE-ISSUED FOR DEVELOP PERMIT	May 04 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 06 2012	

Revisions: Read Up



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Sheet Title
SOUTH ELEVATION

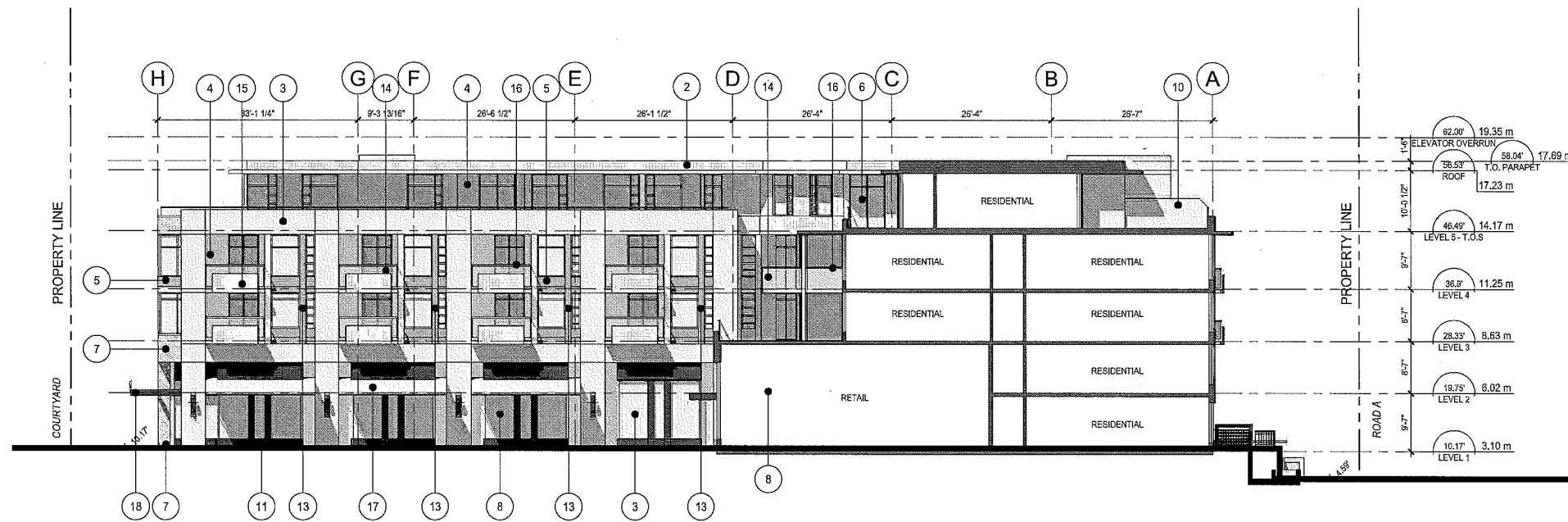
Job No.	1115-000	Sheet No.	
Scale	3/32" = 1'-0"		
Drawn	MC/FU		
Checked	AJ		A4.03
Approved	RK		
Date	2012.06.07	Revision	

KEY PLAN

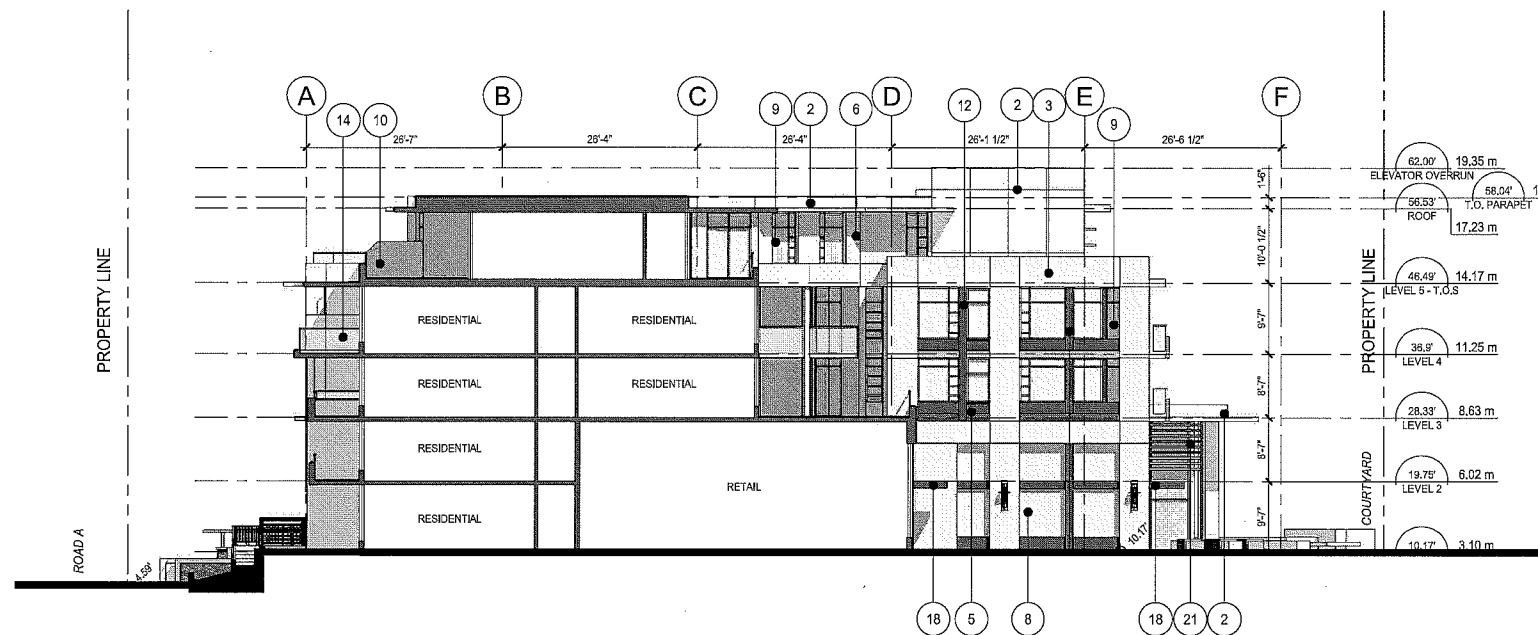
#9

DP 12599057

JUN 29 2012



1 EAST ELEVATION - COURTYARD
A-404 3/32" = 1'-0"



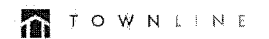
2 WEST ELEVATION - COURTYARD
A-404 3/32" = 1'-0"

MATERIALS LEGEND

- 1 ARCHITECTURAL CONCRETE EXPOSED
- 2 ARCHITECTURAL CONCRETE PAINTED: COLOR A
- 3 ARCHITECTURAL CONCRETE PAINTED: COLOR B
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- 22 PAINTED STEEL
- 23 PAINTED ALUMINUM HANDRAIL

No.	Description	Date	Dr.
5	RE-ISSUED FOR DEVELOP PERMIT	Aug 03 2012	
4	RE-ISSUED FOR DEVELOP PERMIT	June 14 2012	
3	RE-ISSUED FOR DEVELOP PERMIT	May 04 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 08 2012	

Revisions: Read Up



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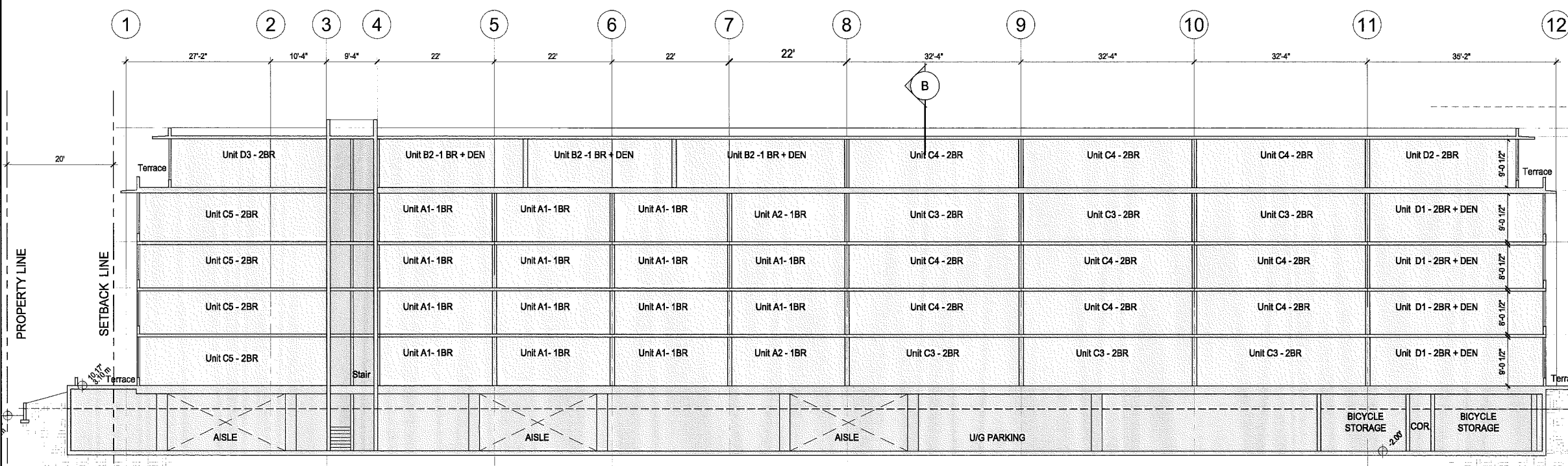
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Sheet Title
ELEVATIONS

Job No.	1115-000	Sheet No.
Scale	3/32" = 1'-0"	
Drawn	MC	
Checked	AJ	A4.04
Approved	RK	
Date	2012.01.25	Revision

#10

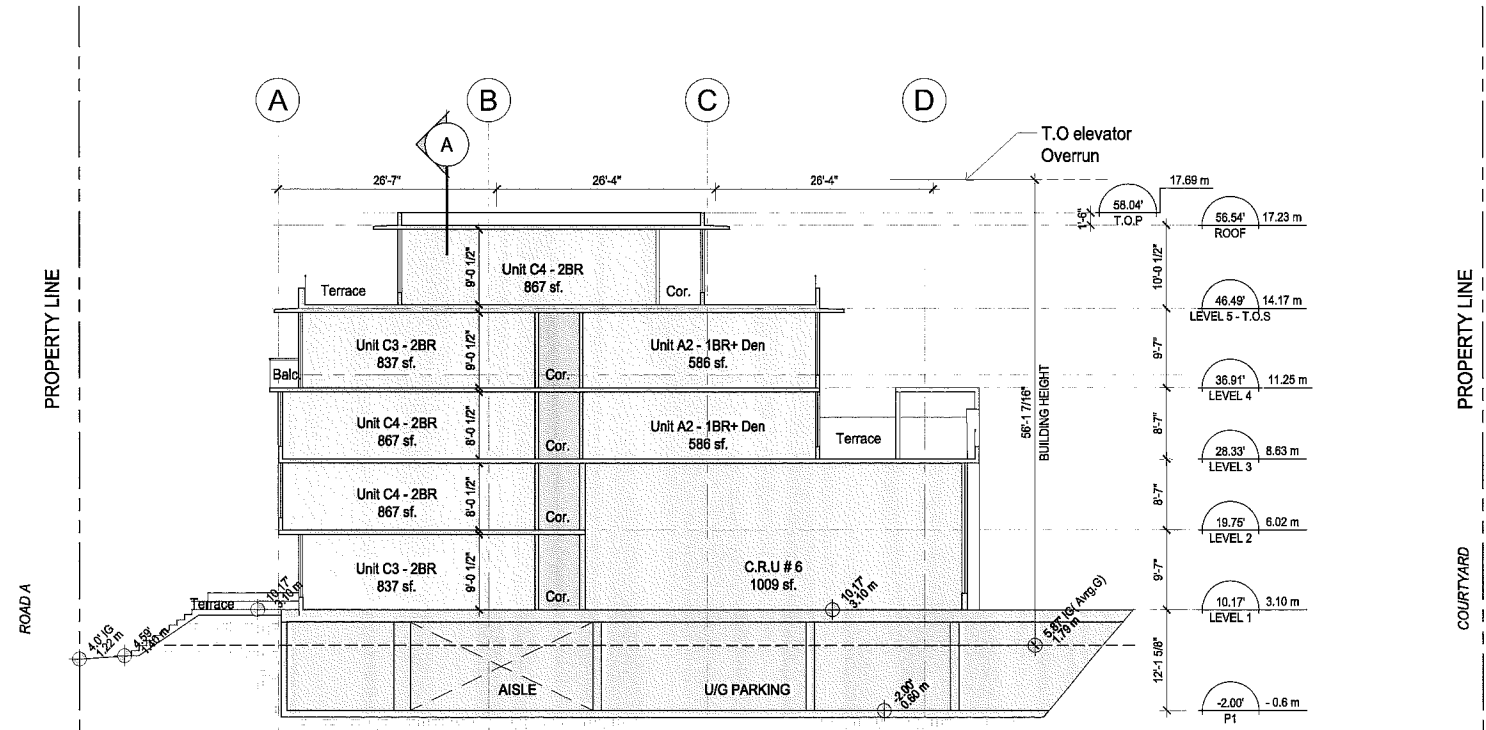
JUN 29 2012
12599057
DP



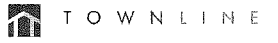
1 BUILDING SECTION A
A-501 3/32" = 1'-0"

No.	Description	Date	Dr.
4	RE-ISSUED FOR DEVELOP PERMIT	June 15 2012	
3	RE-ISSUED FOR DEVELOP PERMIT	May 04 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 05 2012	

Revisions: Read Up



2 BUILDING SECTION B
A-501 3/32" = 1'-0"



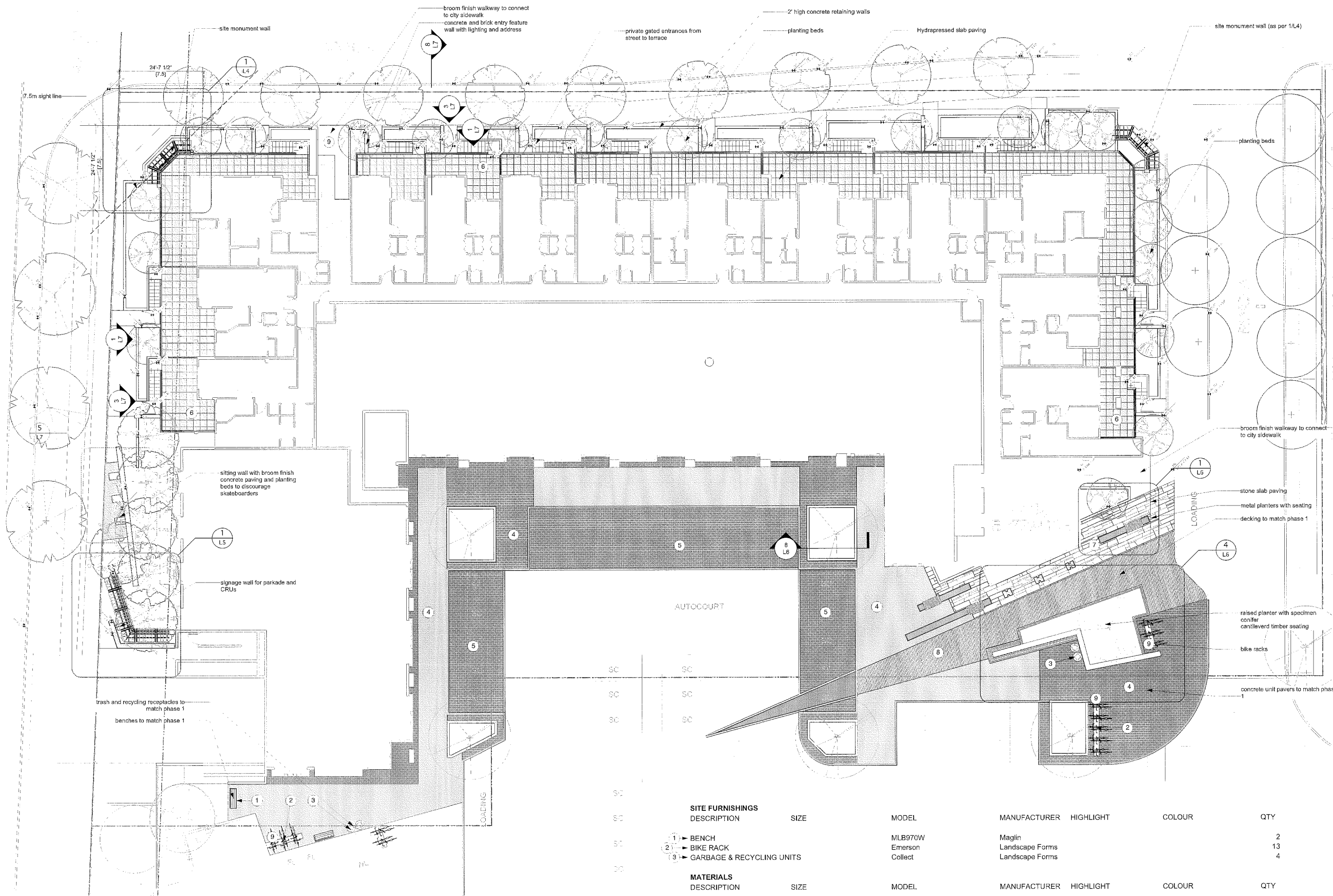
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SECTIONS

Job No.	1115-000	Sheet No.	
Scale	3/32" = 1'-0"		
Drawn	FU		A5.01
Checked	AJ		
Approved	RK		
Date	2012.01.25	Revision	



Revision No.	Date	Revision Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review

JUN 29 2012

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Project
The Gardens Building D
 #5 Rd Richmond, BC

Drawing Title
Hard Landscape

Legal

Project Manager	Project ID
dt	21132
Drawn By	Scale
dt	1:150
Reviewed By	Checked By
dt	
Date	
Dec 14, 11	

Plot Date:
 6/8/12
 Gardens-reDP-June 8, 12.vwx

Plan- Hard Landscape @ Grade
 Scale: 1:150

SITE FURNISHINGS		SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
1	BENCH		MLB970W	Maglin			2
2	BIKE RACK		Emerson	Landscape Forms			13
3	GARBAGE & RECYCLING UNITS		Collect	Landscape Forms			4

MATERIALS		SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
4	PEDESTRIAN UNIT PAVERS	225 x 112.5 x 60mm thick	standard - regular finish	Abbotsford Concrete	running bond & banding	natural (charcoal for banding)	
5	VEHICULAR UNIT PAVERS	225 x 112.5 x 80mm thick	standard - regular finish	Abbotsford Concrete	herringbone	natural	
6	PATIO	600 x 600 x 50mm	hydrapressed slab - texada finish	Abbotsford Concrete	stack bond	natural	
7	BASALT STONE SLABS	varies					
8	WOOD DECKING	as per phase 1	as per phase 1			as per phase 1	
9	BROOM FINISH CONCRETE				saw cut joints		

Revision No.	Date	Revision Notes
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#14

Issue No.	Date	Issue Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	5/8/12	Issued for review

JUN 29 2012

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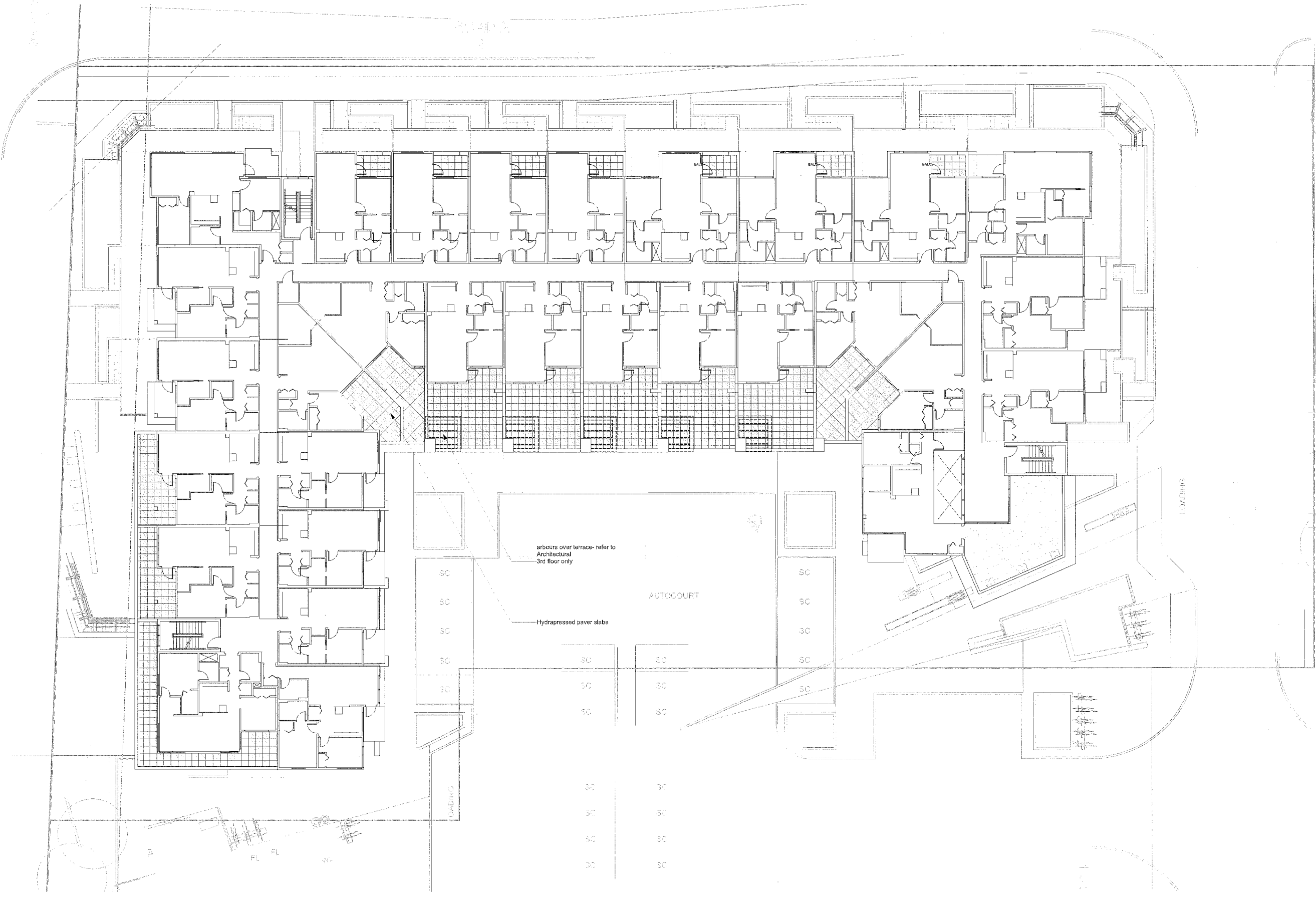
Project
**The Gardens
 Building D**
 #5 Rd Richmond, BC

Drawing Title
**Hard Landscape
 3rd Level**

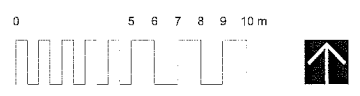
Legal

Project Manager	dt	Project ID	21132
Drawn By	dt	Scale	1:150
Reviewed By	dt	Drawing No.	DP L2.1
Date	Dec 14, 11		

Plot Date:
 6/9/12
 Gardens-ndDP June 8, 12.vwx



Plan- Hard Landscape Above Grade
 Scale: 1:150



Revision No.	Date	Revision Notes
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#15

Issue No.	Date	Issue Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	5/8/12	Issued for review

JUN 29 2012

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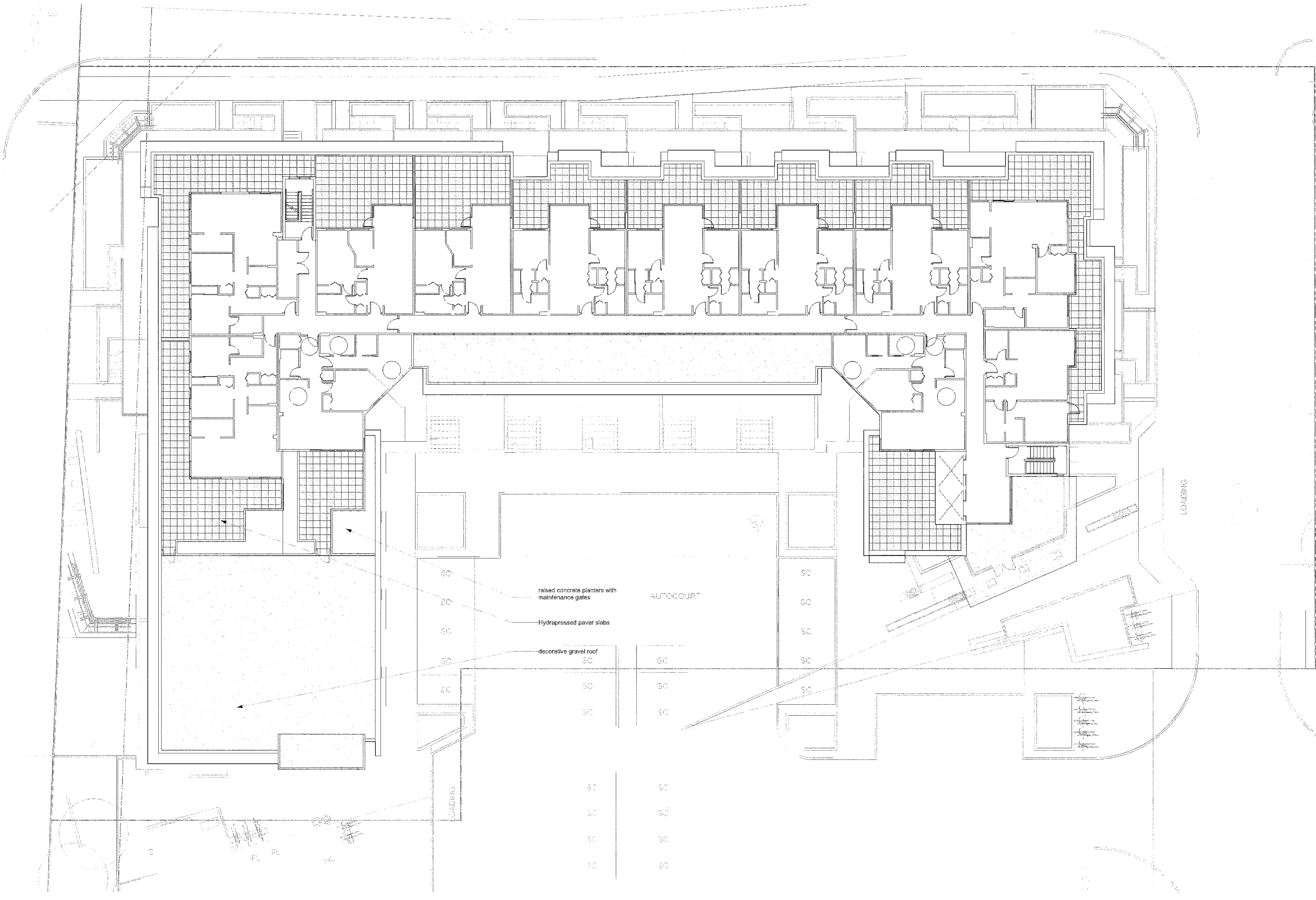
Project
**The Gardens
Building D**
#5 Rd Richmond, BC

Drawing Title
**Hard Landscape
5th Level**

Legal

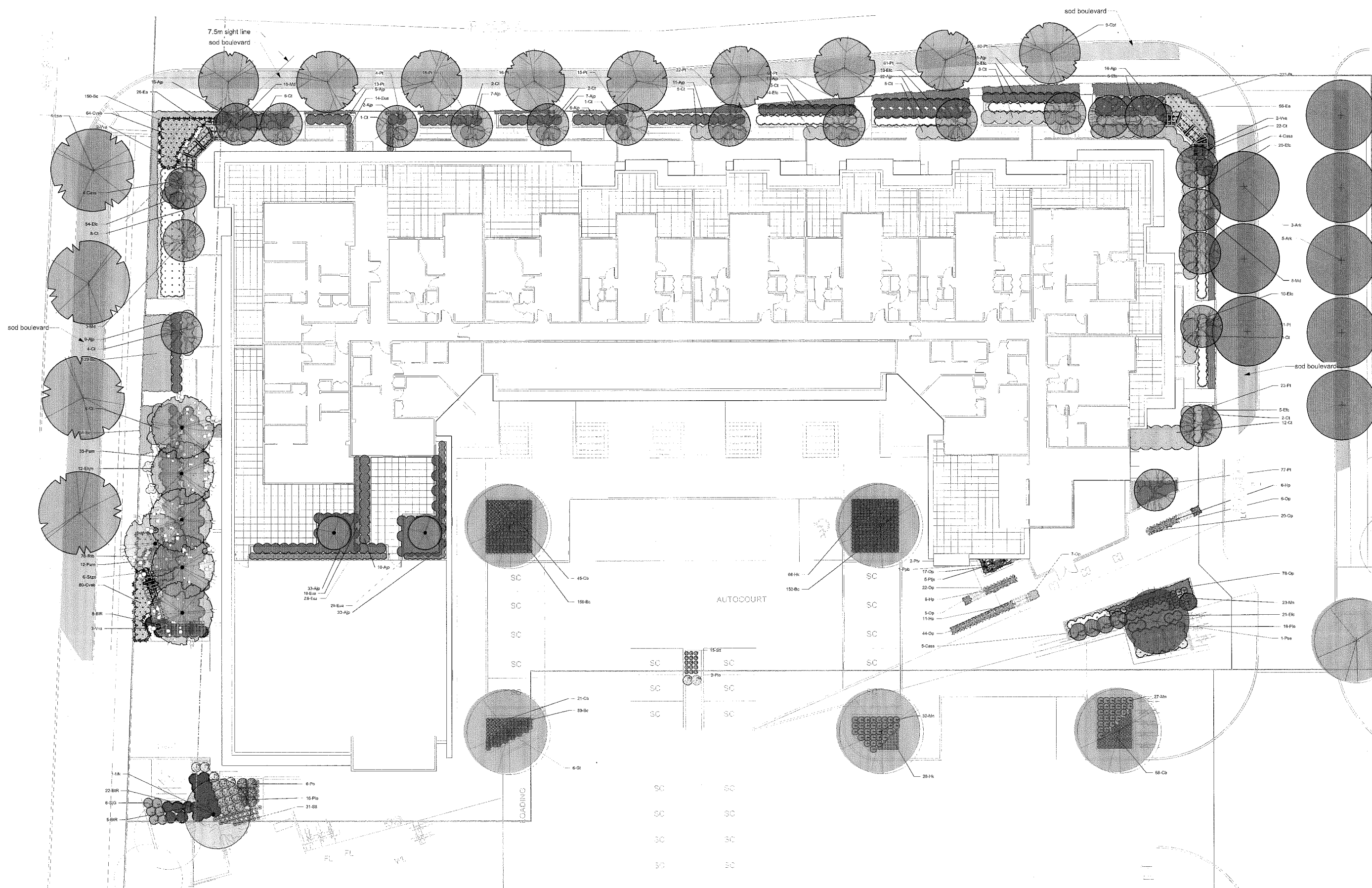
Project Manager	dt	Project ID	21132
Drawn By	dt	Scale	1:150
Reviewed By		Drawing No.	DP L2.2
Date	Dec 14, 11		

Plot Date:
6/8/12
Gardens-eOP-June 8, 12.vwx



Plan- Hard Landscape Above Grade
Scale: 1:150





Revision No.	Date	Revision Notes
A	1/6/12	Issued for Discussion
B	1/19/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review

#16

Issue No.	Date	Issue Notes
A	1/6/12	Issued for Discussion
B	1/19/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review

JUN 9 2012

12 59905 7

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Project
**The Gardens
Building D**
#5 Rd Richmond, BC

Drawing Title
Planting Plan

Legal

Project Manager dt	Project ID 21132
Drawn By dt	Scale 1:150
Reviewed By	Drawing No DP L3
Date Dec 14, 11	

ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM
TO BCSLA/BCLNA STANDARDS (2008 ED).

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE.
CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO
ASSEMBLED IN ONE LOCATION FOR REVIEW.

IMPORTED SOIL SHALL BE A SANDY LOAM OR LOAMY
SAND TEXTURE (NO LESS THAN 60% SAND BY WEIGHT)
CONTAINING 4 AND 15% ORGANIC MATTER (DRY WEIGHT
BASIS). SOIL SHALL VIRTUALLY FREE FROM SUBSOIL,
WOOD, INCLUDING WOODY PLANT PARTS, WEEDS, TOXIC
MATERIALS, STONES OVER 30MM, AND FOREIGN OBJECTS.
SOIL SHALL BE FREE FROM COUCHGRASS, EQUISETUM, CONVULVULUS AND
OTHER NOXIOUS WEEDS OR SEEDS OR PARTS THEREOF.

IMPORTED TOPSOIL SHALL CONFORM TO
AND BE TREATED AS PER SECTION 6.2.3 TO
6.2.7 INCLUSIVE OF THE 2008 BCLNA STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1
LOW TRAFFIC LAWN AREAS, TREES AND LARGE
SHRUBS (2L IN TABLE 6-3 OF THE 2008 BCLNA
STANDARDS).
IT SHALL POSSESS THE FOLLOWING QUALITIES:

TEXTURE-

- *COARSE GRAVEL (LARGER THAN 25MM): 0-1%
- *ALL GRAVEL (LARGER THAN 2MM): 0-5%
- *SAND (LARGER THAN .05MM AND SMALLER
THAN 2MM): 50-70%
- *SILT (LARGER THAN .002MM AND SMALLER
THAN .05MM): 10-25%
- *CLAY (SMALLER THAN .002MM): 0-20%
- *CLAY AND SILT COMBINED: MAXIMUM 25%

ORGANIC CONTENT: 3-10%

Acidity: 6.0-7.0

DRAINAGE: PERCOLATION SHALL BE SUCH THAT
NO STANDING WATER IS VISIBLE 60 MINUTES
AFTER AT LEAST 10 MINUTES OF MODERATE TO
HEAVY RAIN OR IRRIGATION.

MINIMUM SOIL DEPTH TO BE AS PER
TABLE 6-5 OF THE 2008 BCLNA STANDARDS:

Over prepared subgrade	Over structure
TREES (10m2 PER TREE)	
24"	30"

SHRUBS	
18"	24"

GROUNDCOVERS	
6"	9"

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION
REVIEW

PLANT LIST

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES
TREES						
Ag	2	Acer griseum	Paperbark Maple	as shown	15' full height	full, bushy plants
Ark	8	Acer rubrum Karpick	Red Maple	as shown	7cm cal	2 m standard
Cbf	9	Carpinus betulus fastigiata	Fastigate European Hornbeam	as shown	6cm cal/ B&B	full crown
Gt	6	Gleditsia triacanthos Skyline	Skyline Honey Locust	as shown	7cm/b&b	full, bushy plants
Lsw	4	Liquidambar styraciflua Worpelston	Sweetgum	as shown	6cm cal/ B&B	2m standard
Md	21	Magnolia denudata	Yulan Magnolia	as shown	7cm cal/ B&B	2m standard/ full crown/ matched
Mk	1	Magnolia kobus	Kobus Magnolia	as shown	6cm cal	2m standard
Pse	1	Pseudotsuga menziesii	Douglas Fir	as shown	3.5m ht/ B&B	full/ bushy canopies
Stps	6	Stewartia pseudocamellia	Japanese Stewartia	as shown	4m ht/ B&B	multistemmed

PLANT LIST

ID	QTY	LATIN NAME	COMMON NAME	SCHEDULED SIZE	NOTES
SHRUBS					
Ajp	198	Azalea japonica 'purple splendor'	Evergreen Azalea	#2 cont.	full/ bushy plants
Bc	672	Bergenia cordifolia Bressingham White	Heartleaf Bergenia	#1 cont.	full/ bushy plants/ heavy
BtR	35	Berberis thunbergii 'Rose Glow'	Rose Glow Japanese barberry	#3 cont.	Full, bushy plants
Cass	13	Camellia sasanqua 'setsugekka'	White Camellia	#15 cont.	specimen quality
Cb	134	Carex buchanii	Leather leaf sedge	#1 cont.	full/ bushy plants
Ct	95	Choisya ternata	Mexican Mock Orange	#3 cont.	full/ bushy plants
Cyeb	144	Calluna vulgaris 'Eden's Beauty'	Eden's Beauty Scotch Heather		
Ea	82	Euphorbia var 'Robbiae'	Spurge	#2 cont.	full, bushy plants
Efc	155	Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	#2 cont.	full/ bushy plants
Ehm	12	Echinacea 'Harvest Moon'	Harvest Moon Coneflower	#2 cont.	full/ bushy plants
Eua	87	Euonymus alatus	Winged Burning Bush	#7 cont.	bushy plants
Hk	94	Hakonechloa aureola	Japanese Forest grass	#1 cont.	full/ bushy plants
Hp	23	Hesperaloe parviflora	Red Yucca	#2 cont.	full, bushy plants
ID	0	Latin Name	Common Name	Scheduled Size	Notes
Mn	82	Mahonia nervosa	Longleaf mahonia	#2 cont.	full/ bushy plants
Op	199	Ophiopogon planiscapus 'Nigrescens'	Black Mondo Grass	#1 cont.	full/ bushy plants
Pam	47	Pennisetum alopecuroides 'Moudry'	Black Fountain Grass	#2 cont.	full/ bushy plants
Plo	36	Prunus laurocerasus 'Otto Luyken'	Otto Luyken English Laurel	#3 cont.	full/ bushy plants
Po	6	Physocarpus opulifolius	Ninebark	#5 cont.	full/bushy
Ppb	1	Phormium 'Platt's Black'	Platt's Black New Zealand Flax	#7 cont.	full, bushy plants
Pt	633	Pachysandra terminalis 'Green Sheen'	Green Sheen Japanese Spurge	#1 cont.	full/ bushy plants/ heavy
Ptjs	5	Phormium tenax 'Jack Spratt'	Jack Spratt New Zealand Flax	#1 cont.	full/ bushy plants
Ptv	2	Parthenocissus tricuspidata vietchii	Boston Ivy	#2 cont.	staked
Rtb	76	Rhododendron Teddy Bear	Teddy Bear Rhododendron	#7 cont.	full/ bushy plants
SJG	6	Spiraea japonica 'Goldmound'	Goldmound Spirea	#3 cont.	full/ bushy plants
Stt	46	Stipa tenuissima	Mexican feather grass	#1 cont.	full/ bushy plants
Vva	7	Vitis vinifera atropurpurea	Purple Leaf Grape	#2 cont/ staked	full/ bushy plants

BEDS TO HAVE 2" MULCH LAYER CONSISTING OF
ORGANIC COMPOSTED BARK APPLIED.

PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY
IRRIGATION SYSTEM

CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 45
DAYS FOLLOWING SUBSTANTIAL COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON
PLANT MATERIAL

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE
CONSULTANT 3 WEEKS PRIOR TO DELIVERY ON-SITE. TEST TO
BE PERFORMED BY AN INDEPENDANT LAB AND IS TO INCLUDE
RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.
CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS
DOES NOT PRECLUDE THE CONSULTANT FROM PERFORMING AN
INDEPENDANT SOIL ANALYSIS
AT TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE
RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF SOIL THAT
DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO CLIENT.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL
SPECIFICATIONS.
AN INDEPENDANT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO
END OF 1 YEAR WARRANTY PERIOD
CONTRACTOR TO PROVIDE SOIL AMMENDMENTS TO BRING SOIL
UP TO QUALITY RECOMMENDED IN
SOILS REPORT.

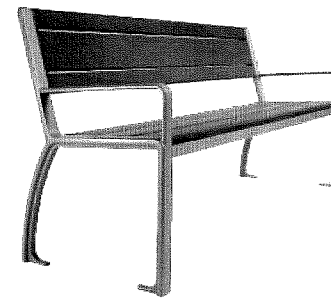
SITE INSPECTION
EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY
ACCEPTANCE IN WRITING TO THE CONSULTANT.

ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING
SERVICES AND SUBGRADES PRIOR TO THE WORK.

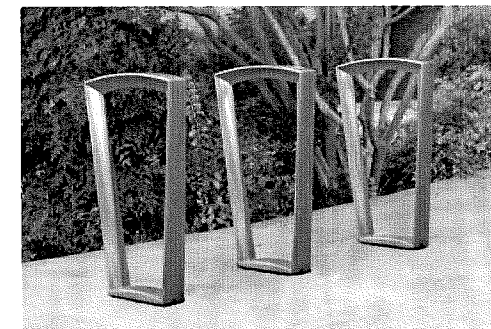
IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO
EXERCISE SUCH PRECAUTIONS AT NO COST TO THE OWNER.

ALL PRUNING TO BE IN ACCORDANCE WITH THE BCLNA/BCSLA
STANDARDS 2008 EDITION.

PLANT COUNTS
IN THE CASE OF ANY DISCREPENCY BETWEEN PLANT COUNTS ON
PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS
TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT
COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPENCY.



benches
Maglin 'MLB970W'



bike racks
Landscape Forms 'Emerson'

SITE FURNISHINGS		SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
DESCRIPTION							
1 - BENCH			MLB970W	Maglin			2
2 - BIKE RACK			Emerson	Landscape Forms			13
3 - GARBAGE & RECYCLING UNITS			Collect	Landscape Forms			4
MATERIALS		SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
DESCRIPTION							
4 - PEDESTRIAN UNIT PAVERS		225 x 112.5 x 60mm thick	standard - regular finish	Abbotsford Concrete	running bond & banding	natural (charcoal for banding)	
5 - VEHICULAR UNIT PAVERS		225 x 112.5 x 80mm thick	standard - regular finish	Abbotsford Concrete	herringbone	natural	
6 - PATIO		600 x 600 x 50mm	hydrapressed slab - texada finish	Abbotsford Concrete	stack bond	natural	
7 - BASALT STONE SLABS		varies					
8 - WOOD DECKING		as per phase 1	as per phase 1			as per phase 1	
9 - BROOM FINISH CONCRETE					saw cut joints		

Revision
No. Date Revision Notes

#17

Issue No.	Date	Issue Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review

JUN 9 2012

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Project
**The Gardens
Building D**
#5 Rd Richmond, BC

Drawing Title

Plant list

Notes

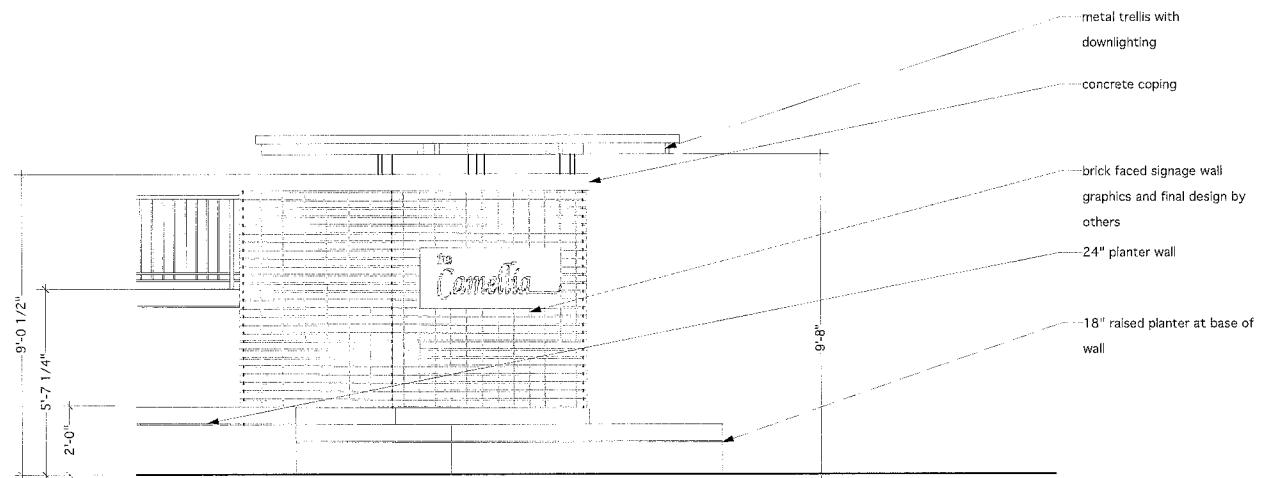
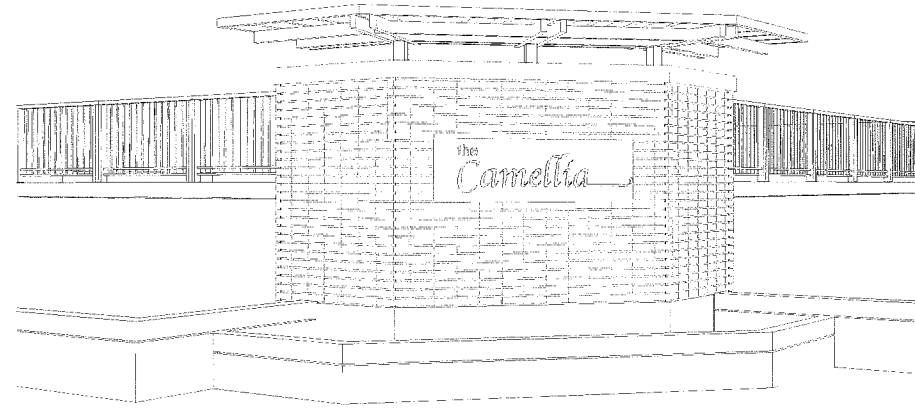
Legal

Project Manager dt	Project ID 21132
Drawn By dt	Scale 1:150
Reviewed By Date Dec 14, 11	Drawing No. DP L3.1

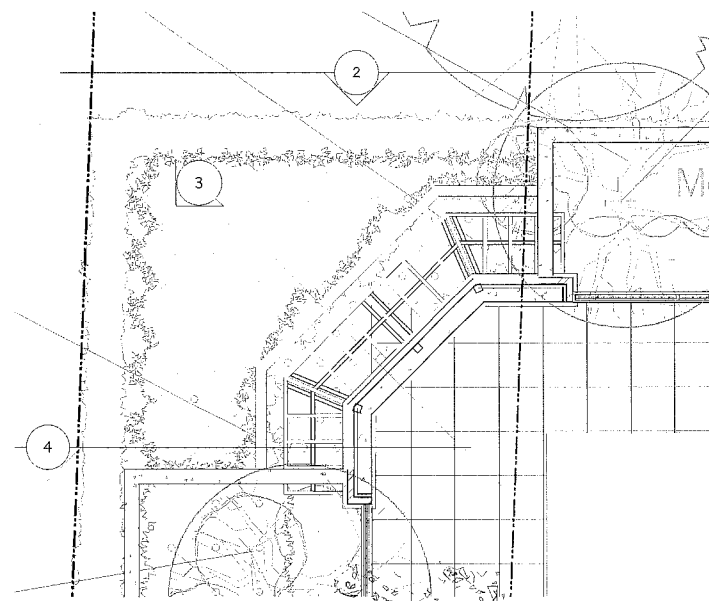
Plot Date:
6/9/12
Gardens-eDP June 8, 12.rvt

125990517

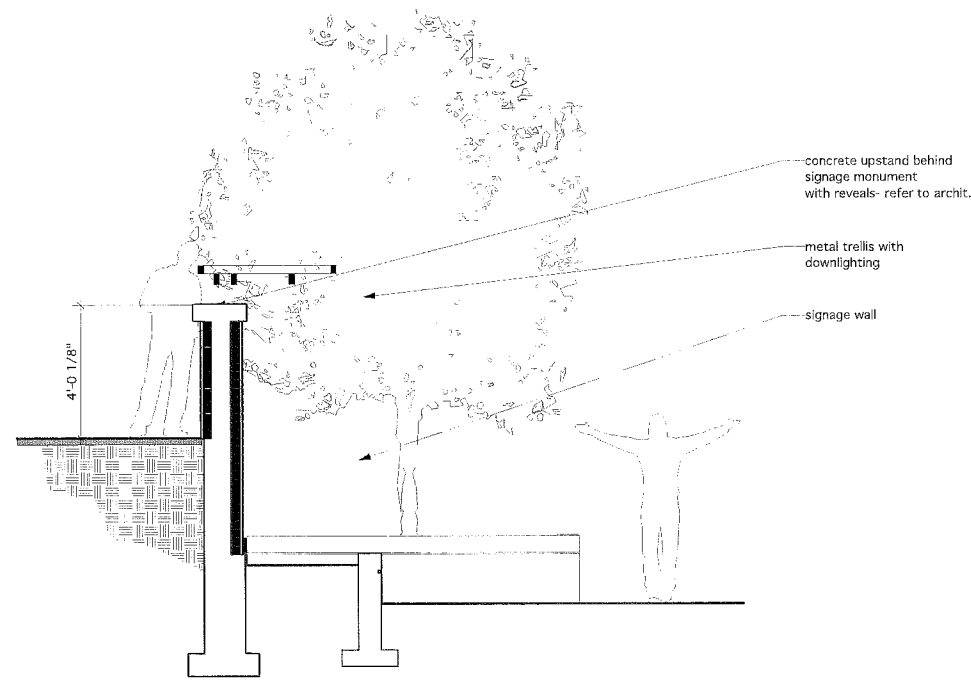
eta DP



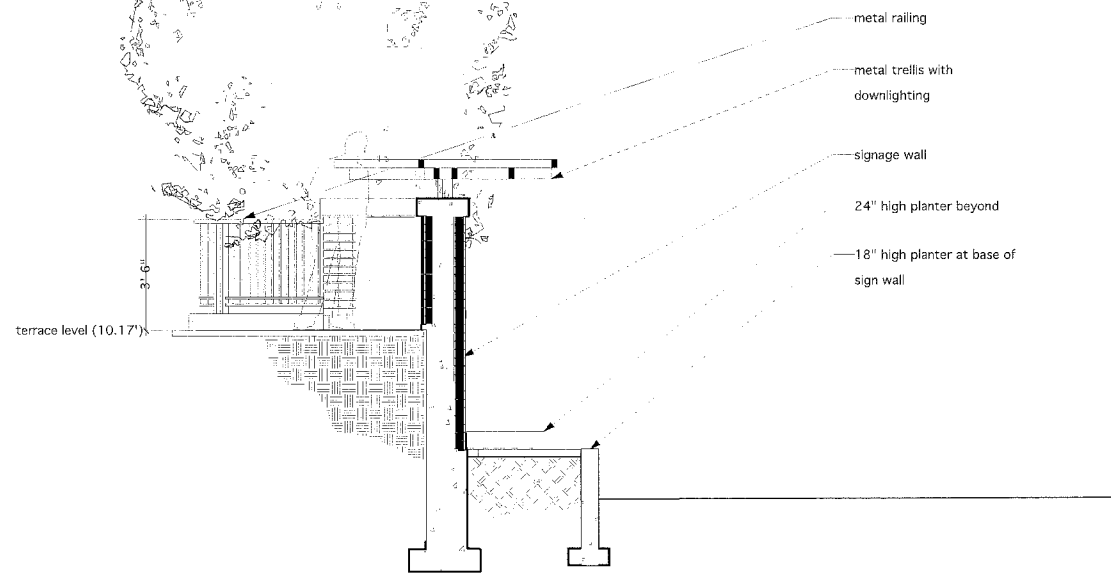
2 Elevation- signage monument
L4 3/8" = 1'-0"



1 Plan- signage monument
Scale: 1/4" = 1'-0"



4 Section- corner monument/ terrace
Scale: 3/8" = 1'-0"



3 Section- corner monument
Scale: 3/8" = 1'-0"

Revision No. Date Revision Notes

#18

Issue No.	Date	Issue Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	8/8/12	Issued for review

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DP 12 599057

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Project
**The Gardens
Building D**
#5 Rd Richmond, BC

Drawing Title

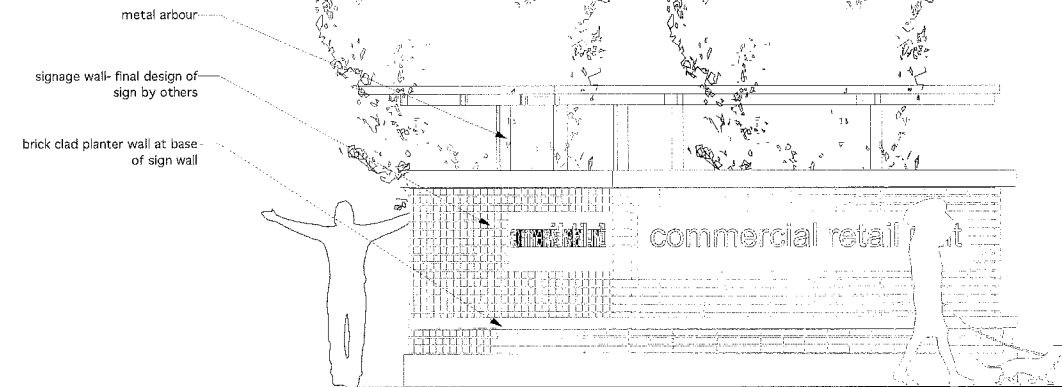
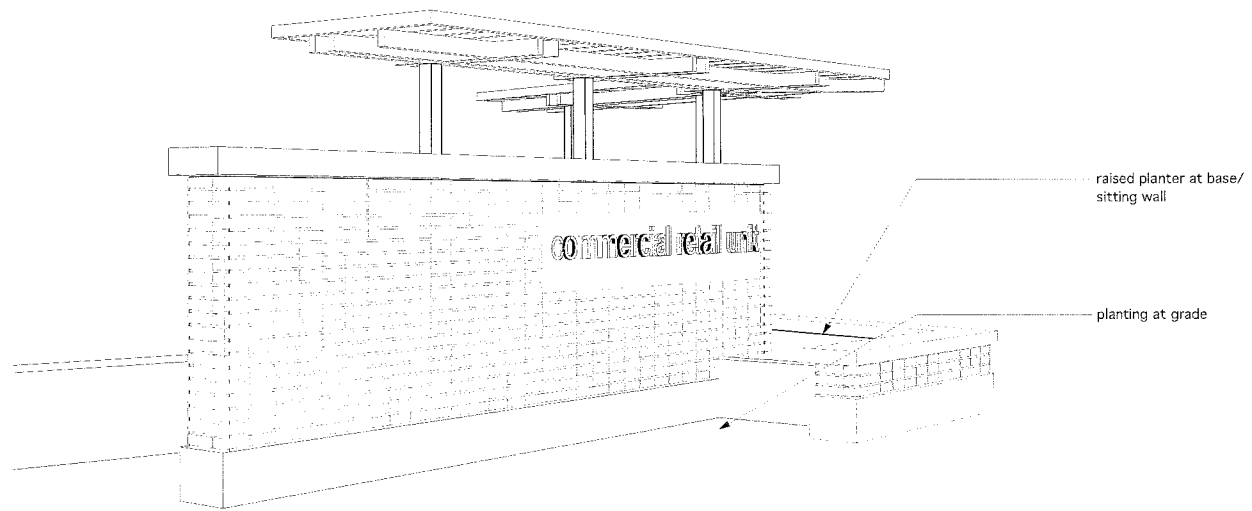
Corner Monuments

Legal

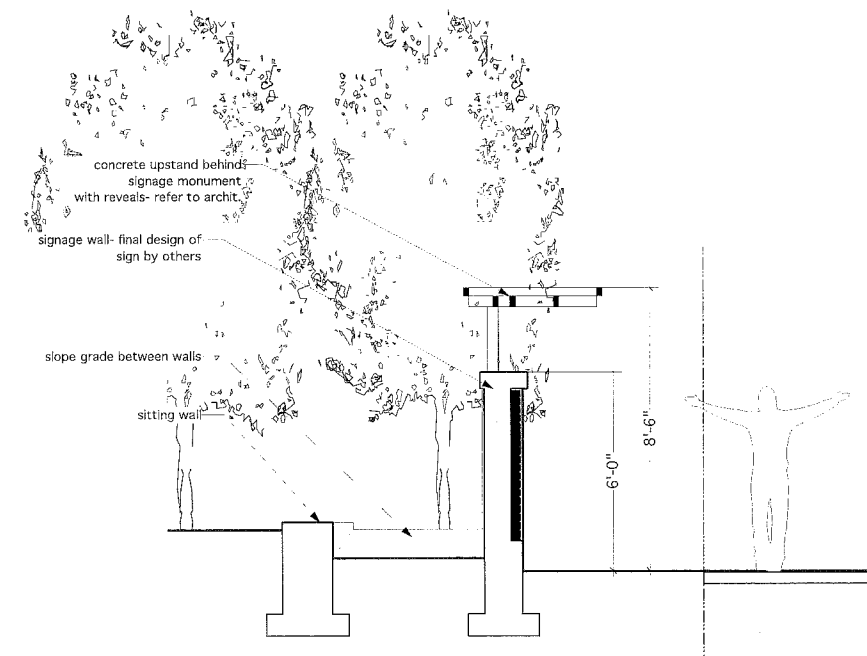
Project Manager: dt
Drawn By: dt
Reviewed By: dt
Date: Dec 14, 11

Project ID: 21132
Scale: as noted
Drawing No: DP L4

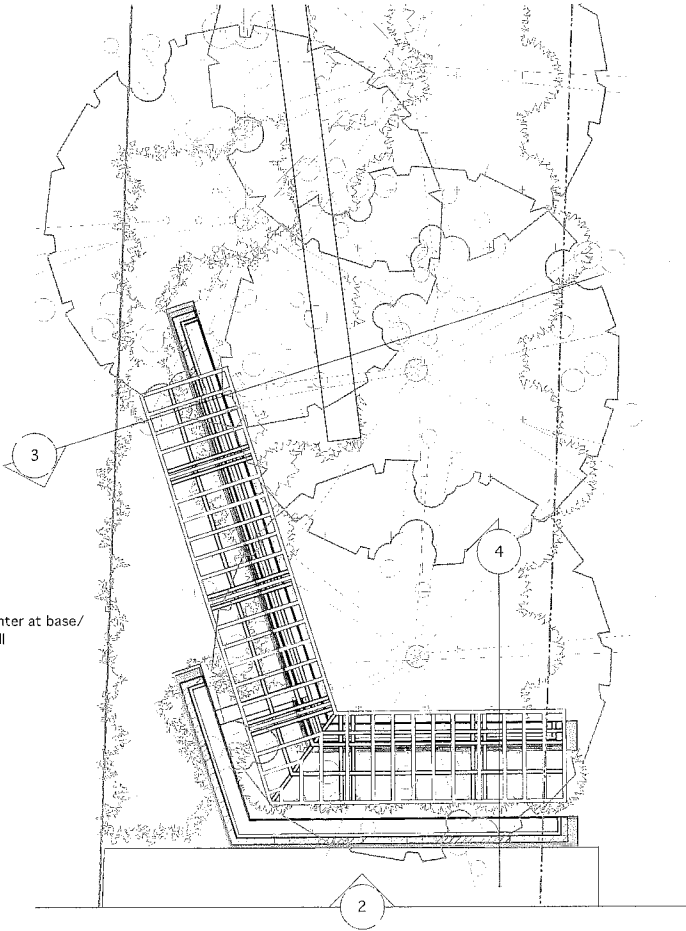
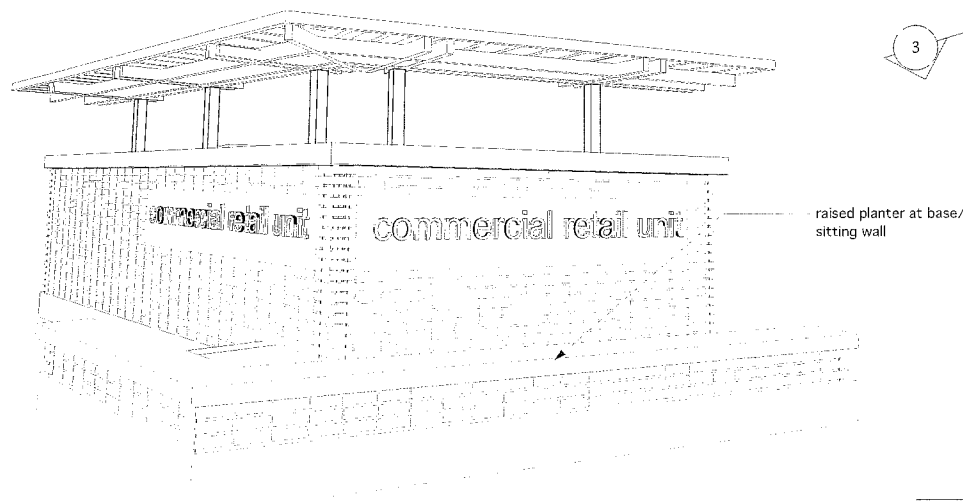
Plot Date: 6/8/12
Gardens-rsDP June 8, 12.vwx



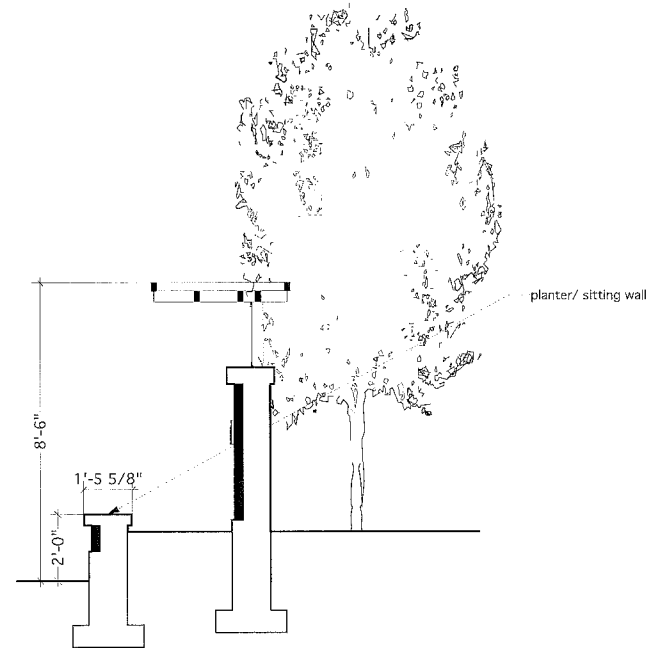
2 Elevation- CRU parkade entrance sign wall
Scale: 3/8" = 1'-0"



3 Section- CRU sign wall
Scale: 3/8" = 1'-0"



1 Plan- CRU parkade entrance sign wall
Scale: 1/4" = 1'-0"



4 Section- CRU sign wall
Scale: 3/8" = 1'-0"

Revision No.	Date	Revision Notes
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Issue No.	Date	Issue Notes
A	1/6/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/6/12	Issued for review

#19
JUN 29 2012
12 59905

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Project
The Gardens
Building D
#5 Rd Richmond, BC

Drawing Title
Commercial Parkade
Signage Wall

Legal

Project Manager dt	Project ID 21132
Drawn By dt	Scale NTS
Reviewed By dt	Quantity No.
Date Dec 14, 11	DP L5

Revision No.	Date	Revision Notes
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#20

Issue No.	Date	Issue Notes
A	1/6/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review

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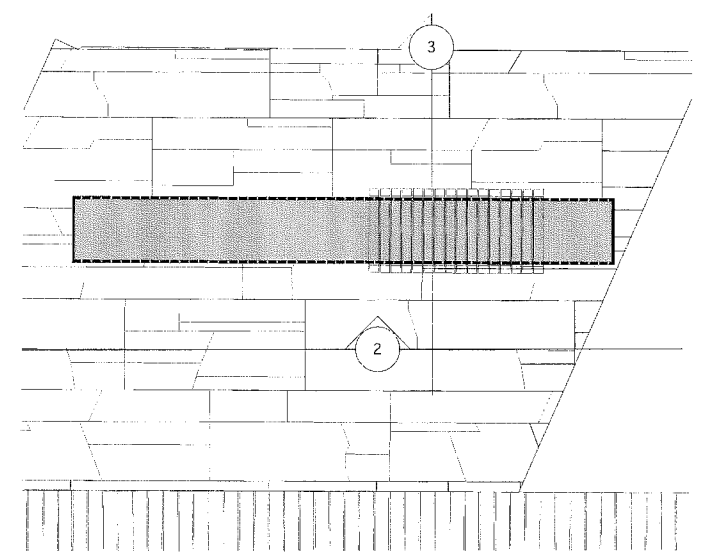
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Project
**The Gardens
Building D**
#5 Rd Richmond, BC

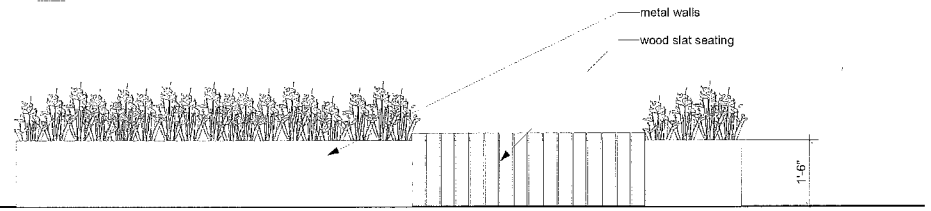
Drawing Title
**Metal Planters &
Christmas Tree Planter**

Legal

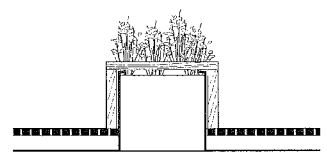
Project Manager dt	Project ID 21132
Drawn By dt	Scale NTS
Reviewed By Date Dec 14, 11	Drawing No. DP L6
Plot Date: 6/9/12 Gardens-reDP June 8, 12.vwx	12



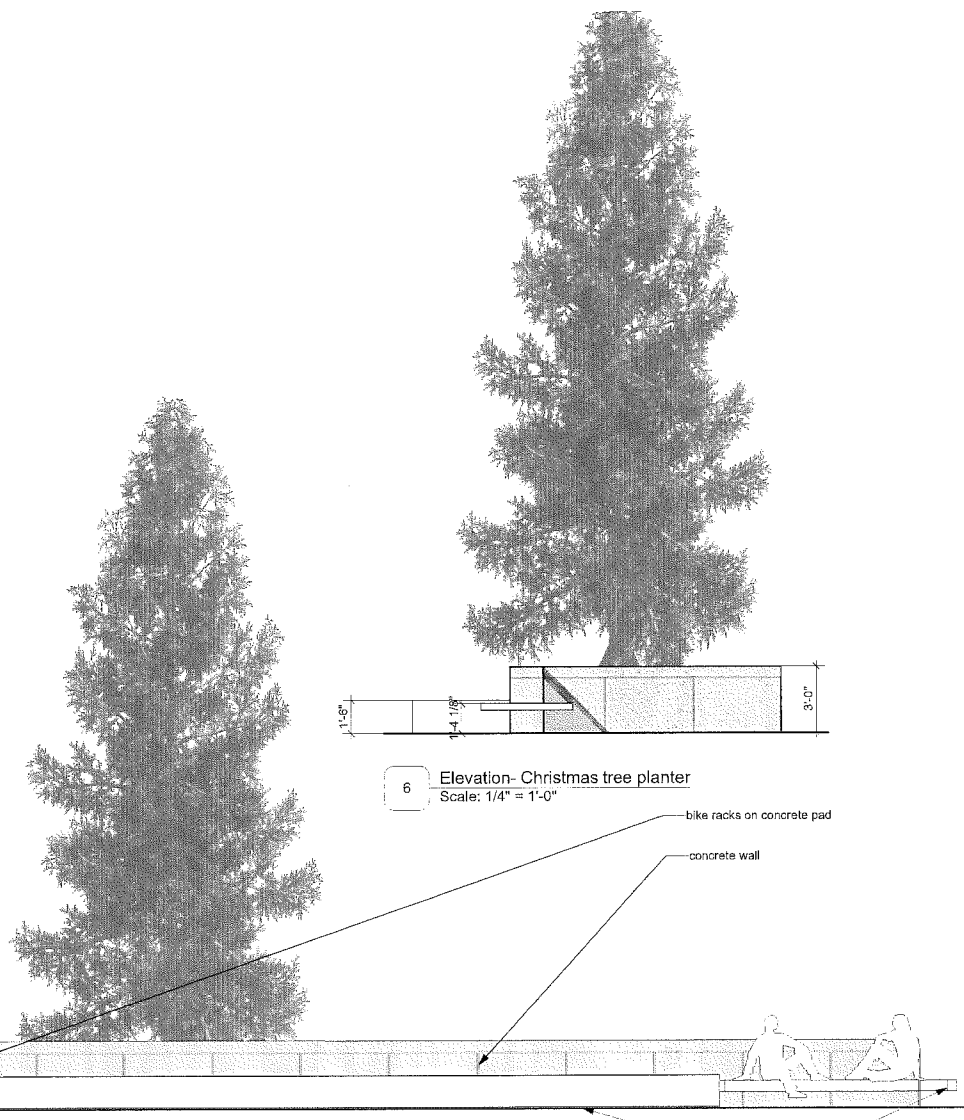
1 Plan- typical metal planter at residential entry
Scale: 3/8" = 1'-0"



2 Elevation- metal planter
Scale: 1/2" = 1'-0"



3 Section- Metal planters/ slat seating
Scale: 1/2" = 1'-0"

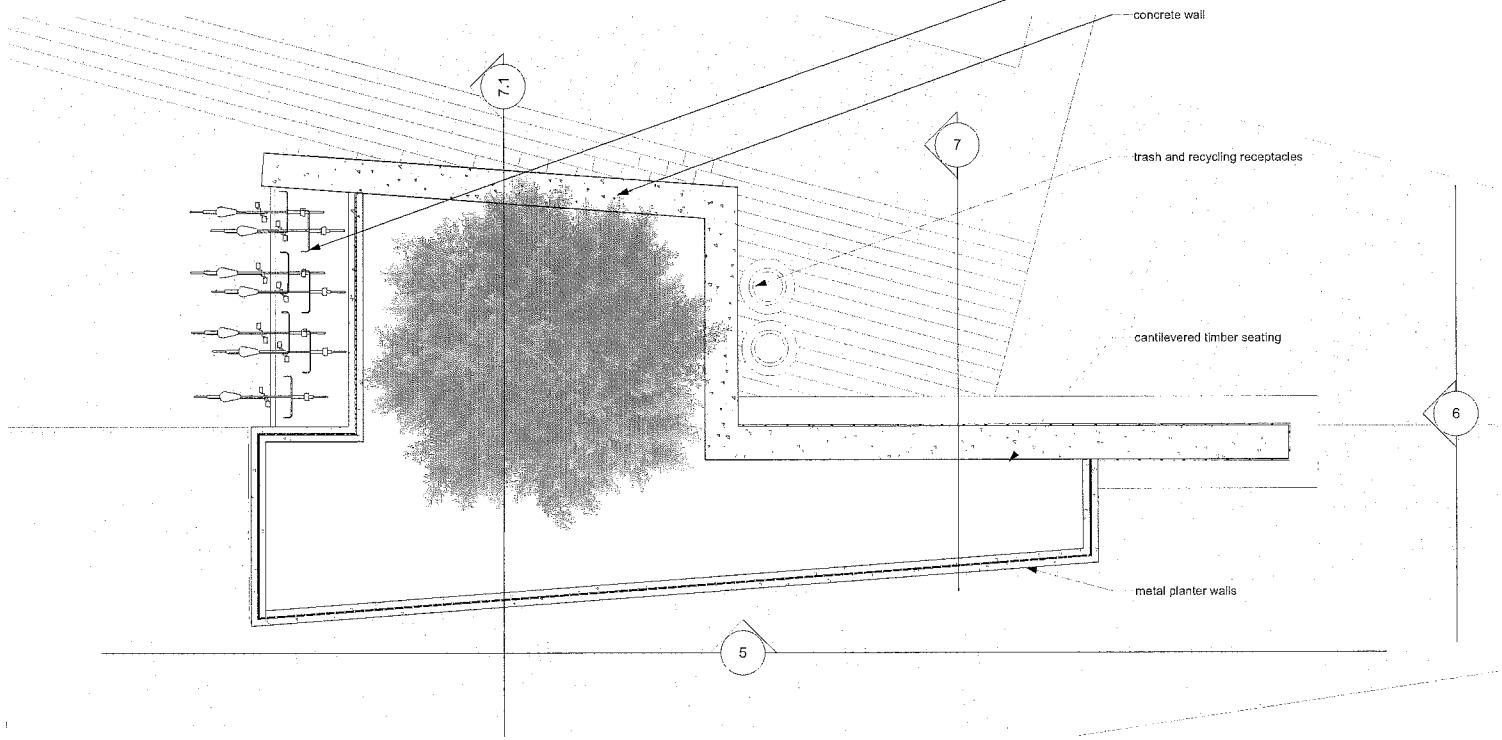


6 Elevation- Christmas tree planter
Scale: 1/4" = 1'-0"

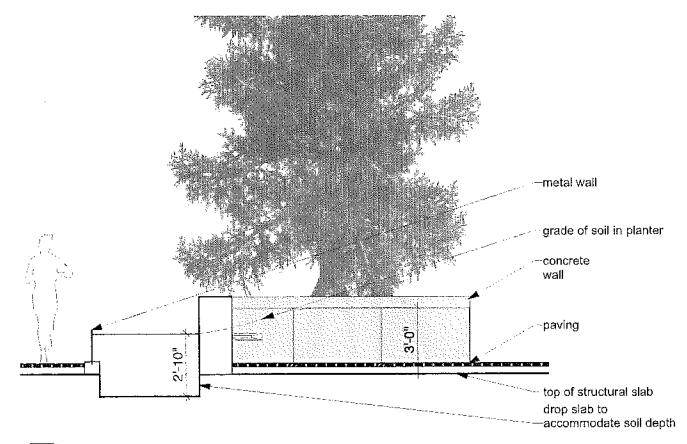
5 Elevation- Christmas tree planter
Scale: 1/4" = 1'-0"



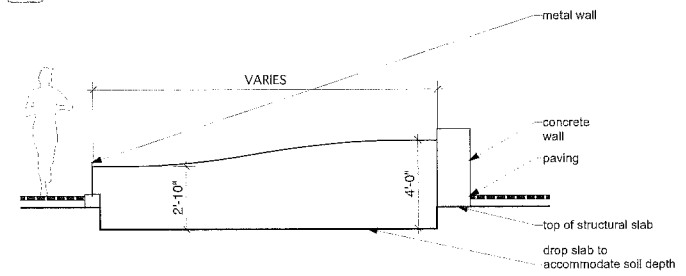
8 Section- Planter in Parking Area
Scale: 1/4" = 1'-0"



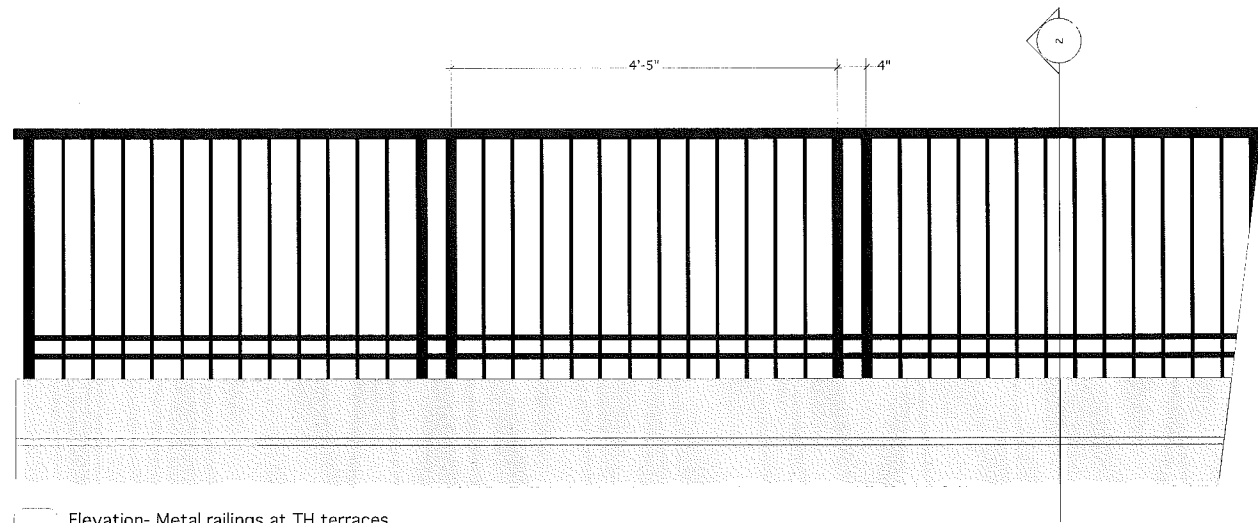
4 Plan: Christmas tree planter
Scale: 1/4" = 1'-0"



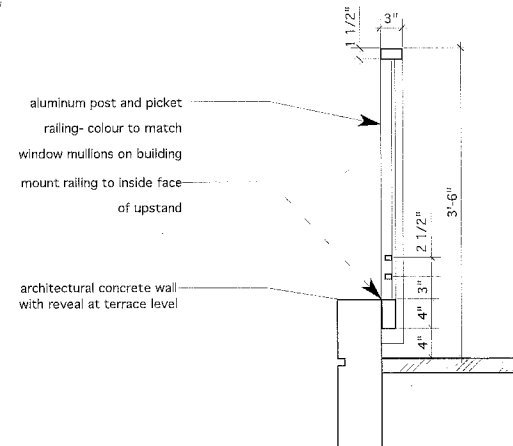
7 Section- Christmas tree planter
Scale: 1/4" = 1'-0"



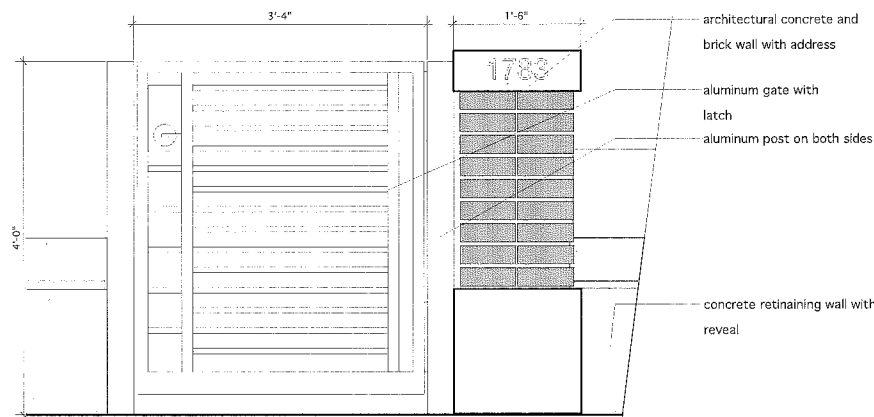
7.1 Section- Christmas tree planter
Scale: 1/4" = 1'-0"



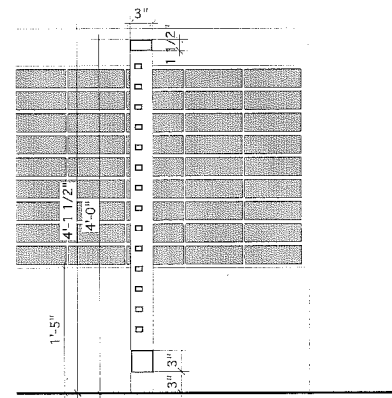
1 Elevation- Metal railings at TH terraces
Scale: 1" = 1'-0"



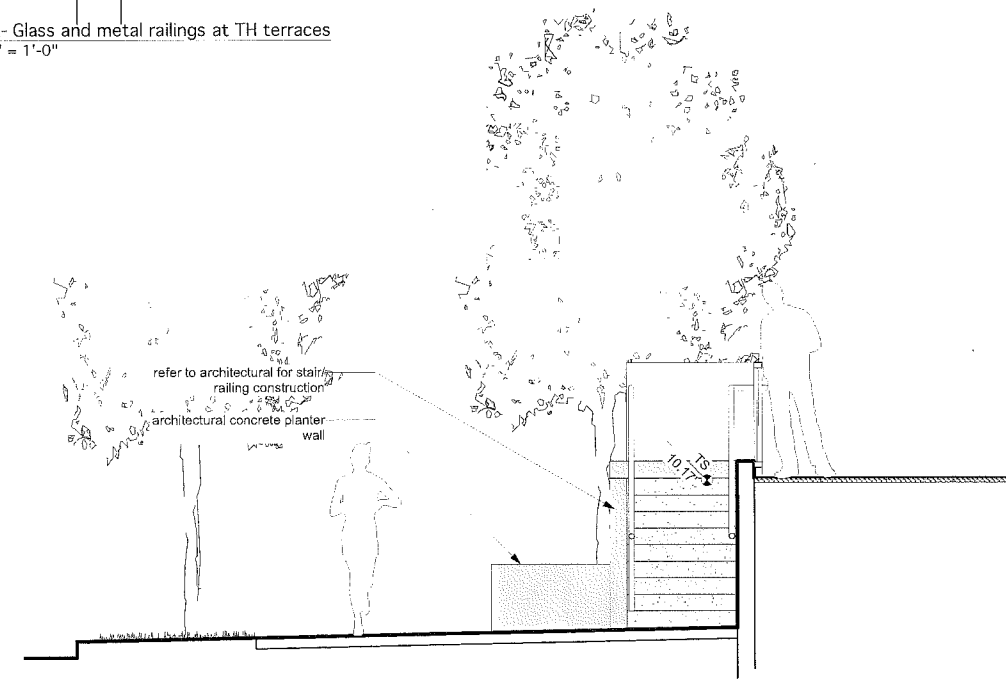
2 Section- Glass and metal railings at TH terraces
Scale: 1" = 1'-0"



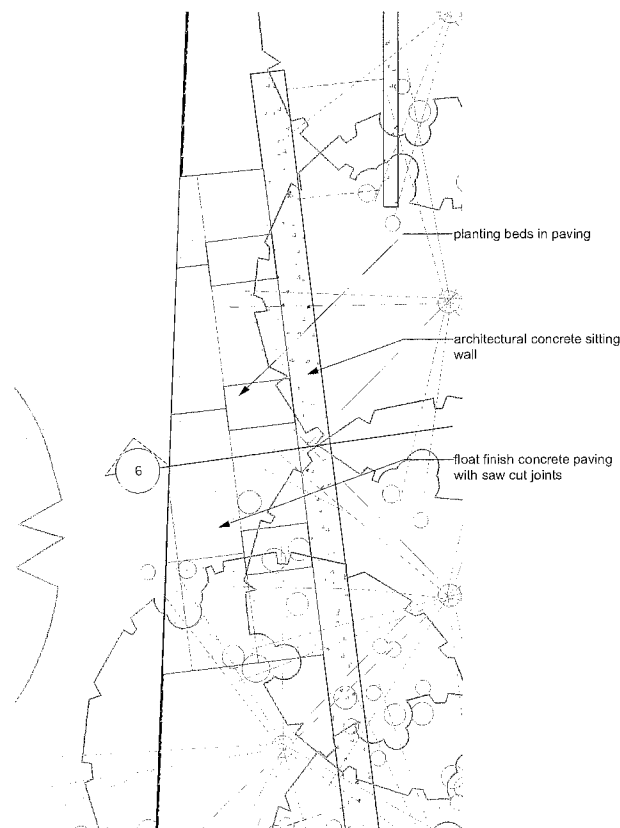
3 Elevation- TH gates to street
Scale: 1" = 1'-0"



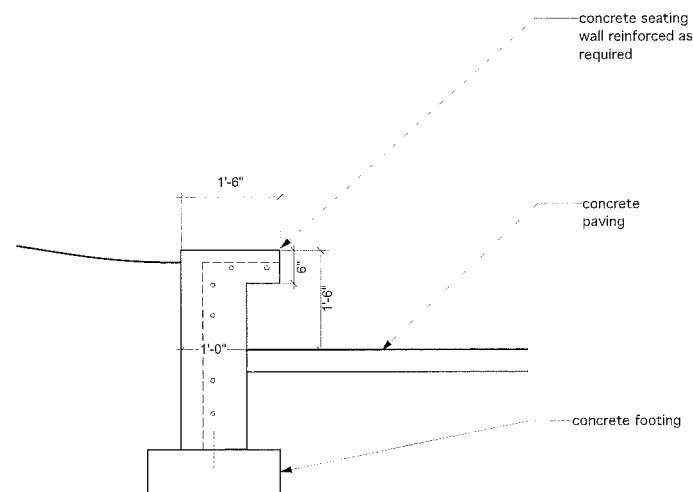
4 Section- TH gates to street
Scale: 1" = 1'-0"



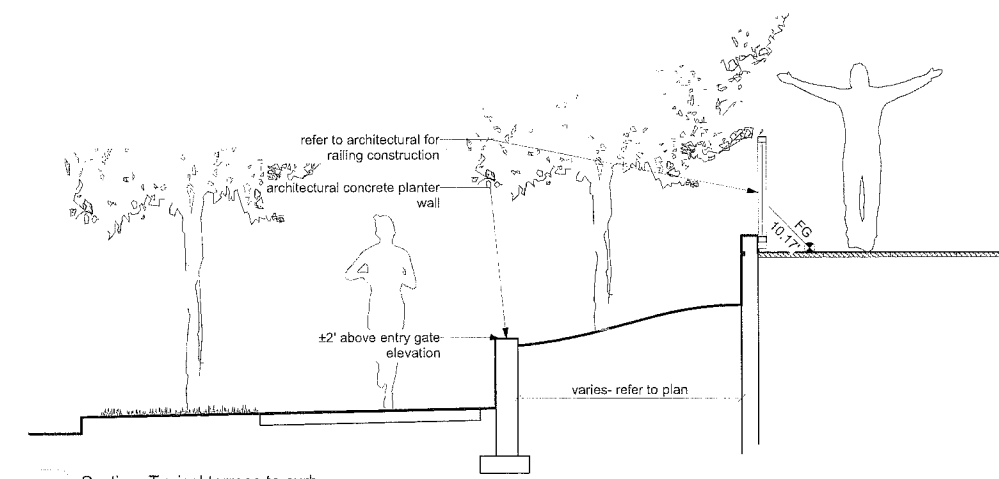
7 Section- Typical pedestrian terrace access from street
Scale: 3/8" = 1'-0"



5 Plan- Sitting area on #5 Rd
Scale: 1/4" = 1'-0"



6 Detail: Seat Wall along No.5 Rd.
Scale: 3/4" = 1'-0"



8 Section- Typical terrace to curb
Scale: 3/8" = 1'-0"

Revision No.	Date	Revision Notes
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Issue No.	Date	Issue Notes
A	1/6/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	8/8/12	Issued for review

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Project
**The Gardens
Building D**
#5 Rd Richmond, BC

Drawing Title
**TH Railings, Gates
Sitting Wall
TH Terrace Sections**

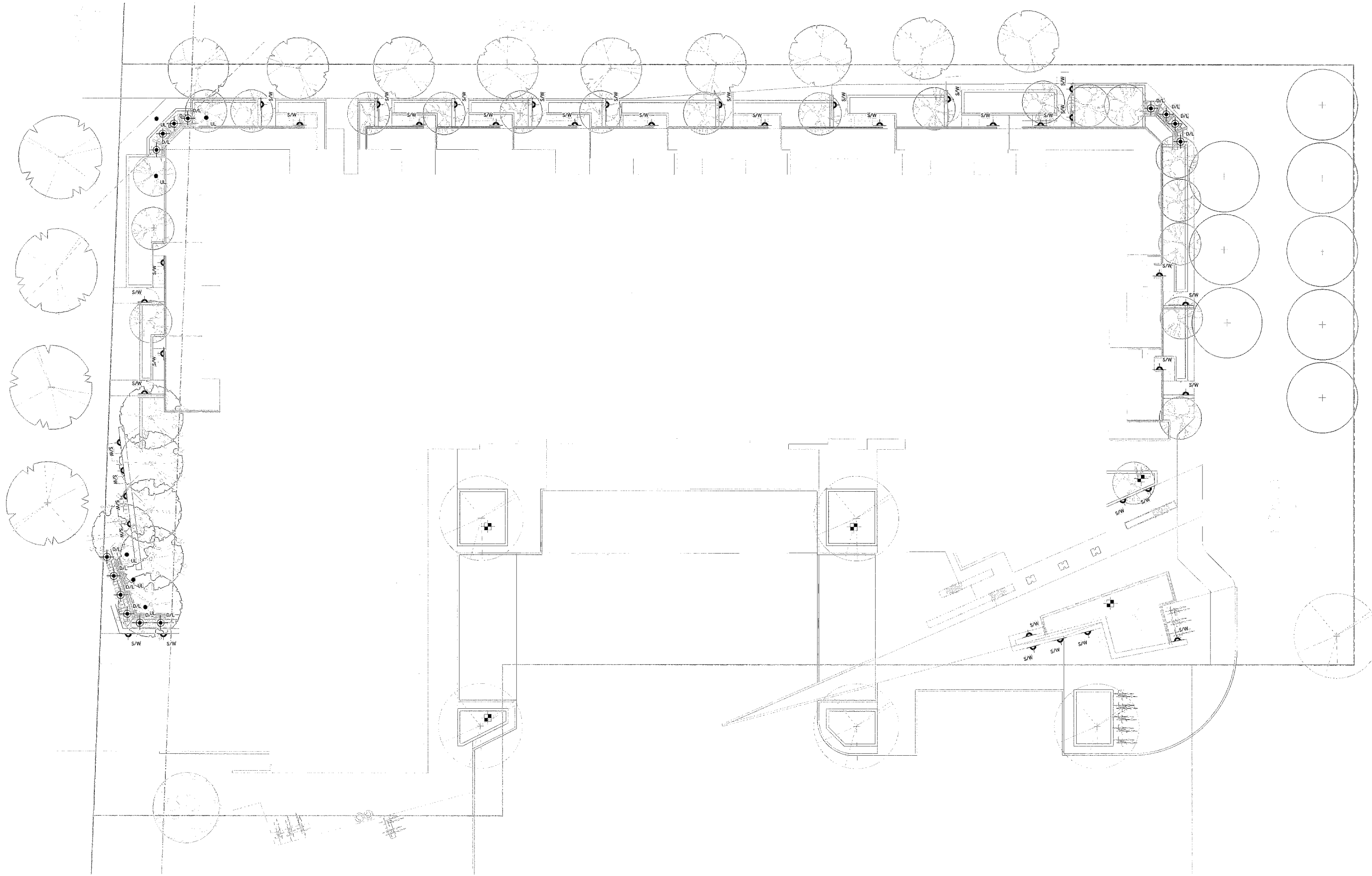
Legal

Project Manager dt	Project ID 21132
Drawn By dt	Scale NTS
Reviewed By dt	Drawing No DP L7
Date Dec 14, 11	

Plot Date:
6/8/12
Gardens-reDP June 8, 12.rvt

#21

12 599057



Revision No.	Date	Revision Notes
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#22

Issue No.	Date	Issue Notes
A	1/5/12	Issued for Discussion
B	1/16/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review

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


Project
**The Gardens
 Building D**
 #5 Rd Richmond, BC

Drawing Title
Lighting

Legal

Project Manager	dt	Project ID	21132
Drawn By	dt	Scale	1:150
Reviewed By	dt	Client	Greening Inc
Date	Dec 14, 11	Sheet	DP L8
			12

Lighting Legend

-  D/L
Down Lighting in Arbours
-  S/W
Step/wall lights
-  Outlet boxes for tree lighting

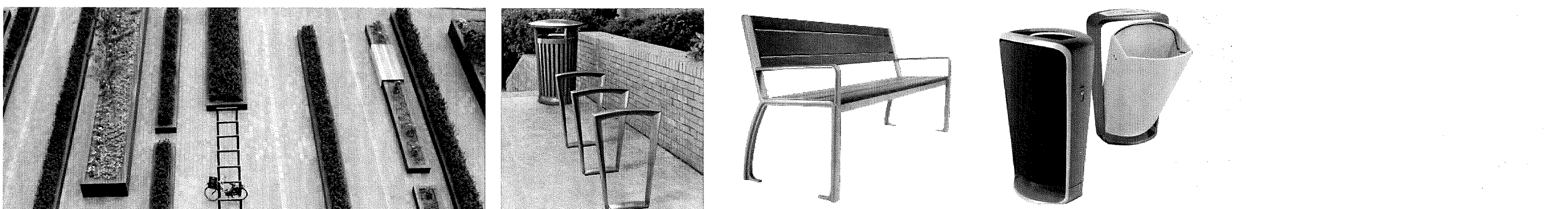
TREES



SHRUBS AND GROUNDCOVERS



SITE FURNISHINGS



Revision No.	Date	Revision Notes
#23		
A	1/6/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review

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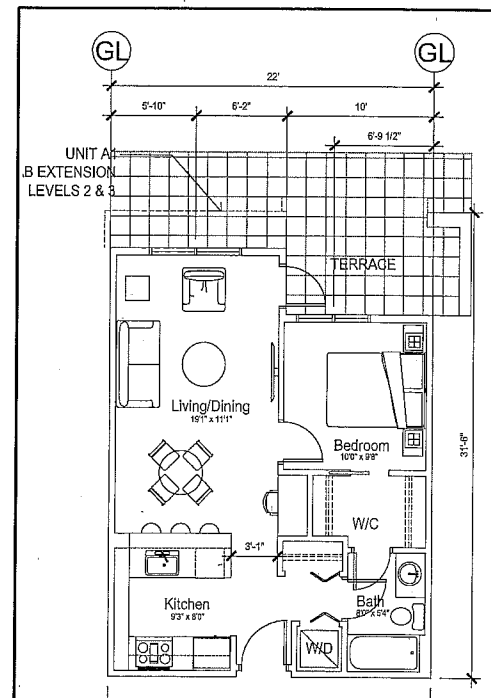
Project
**The Gardens
Building D**
#5 Rd Richmond, BC

Drawing Title

Images

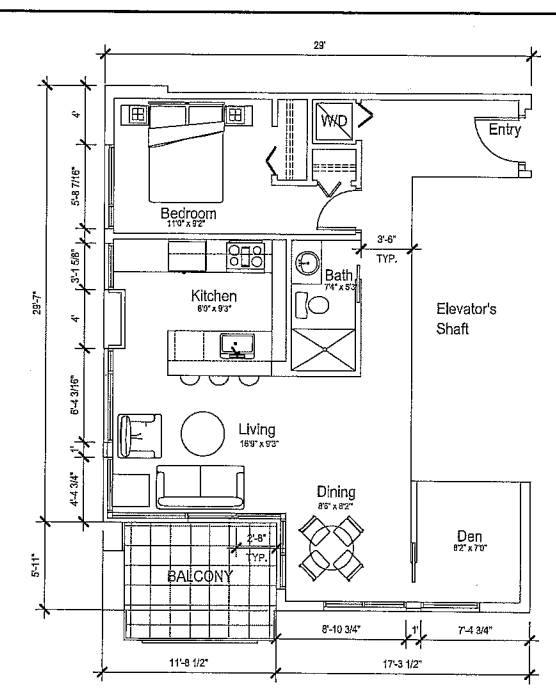
Legal

Project Manager dt	Project ID 21132
Drawn By dt	Scale
Reviewed By	Drawing No. DP L8
Date Dec 14, 11	of
	12
Plot Date: 6/8/12 Gardens-mCP June 8, 12.vwx	

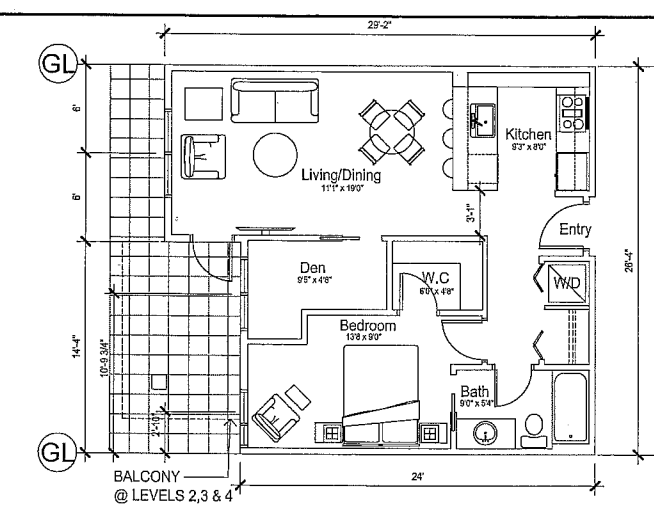


Unit A1
1BR (Levels 2 & 3)
Area = 616 sf.

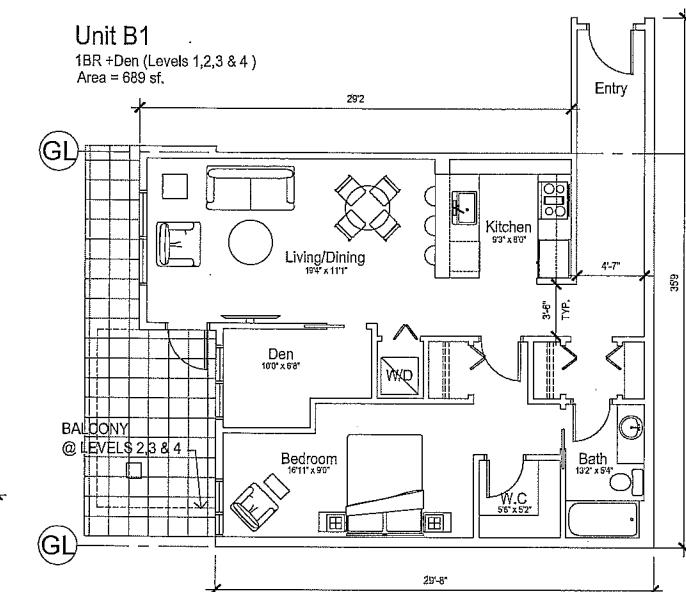
Unit A2
1BR (Levels 1 & 4)
Area = 586 sf.



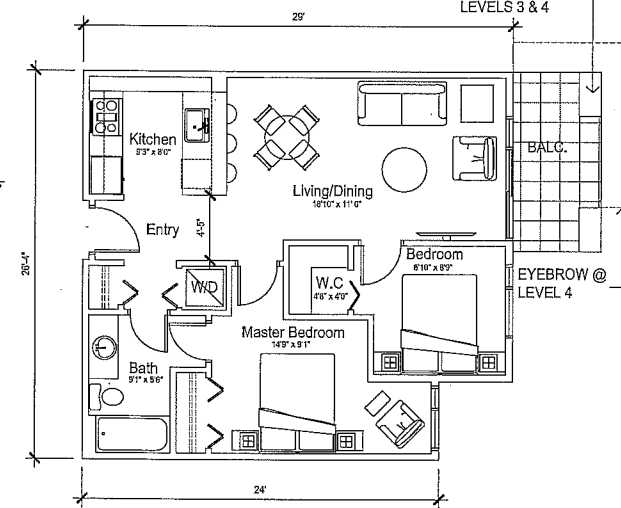
Unit A3 (Affordable Unit)
1BR+DEN (Levels 3 & 4)
Area = 762 sf.
Units 330 & 430



Unit B1
1BR +Den (Levels 1,2,3 & 4)
Area = 689 sf.



Unit B1a
1BR +Den (Levels 1)
Area = 877 sf.



Unit C1
2BR Junior (Levels 1,2,3 & 4)
Area = 730 sf.

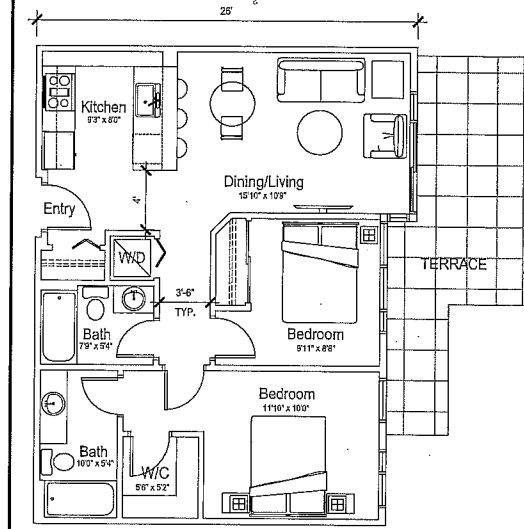
- GENERAL NOTES:**
- AGING IN PLACE ITEMS**
1. WEATHER PROTECTION AT THE MAIN ENTRANCE WITH HIGHLY VISIBLE WAITING AREA
 2. LEVEL ACCESS INTO THE MAIN LOBBY FROM THE STREET
 3. MAIN ENTRY DOORS WITH 3FT (915MM) CLEAR OPENING
 4. NO BALCONY SMALLER THAN 5FT X 5FT (1500MM X 1500MM)
 5. ONE ELEVATOR TO ACCOMMODATE A STRETCHER IN A PRONE POSITION
 6. AN ELECTRICAL BOX ROUGH - IN ABOVE THE UNIT ENTRANCE TO PROVIDE WIRING FOR POTENTIAL FUTURE INSTALLATION OF A POWER DOOR OPENER
 7. LEVER HANDLES ON ALL DOORS
 8. WINDOW HARDWARE THAT IS OF THE LEVER TYPE
 9. SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE THE INSTALLATION OF FUTURE GRAB BARS
 10. LEVER TYPE HANDLES FOR PLUMBING FIXTURES
 11. ELECTRICAL OUTLETS AT 18" ABOVE THE FLOOR
 12. SWITCHES AND THERMOSTATS LOCATED 3'-6" ABOVE THE FLOOR
 13. LIGHT SWITCHES TO BE ROCKER TYPE

KEY PLAN

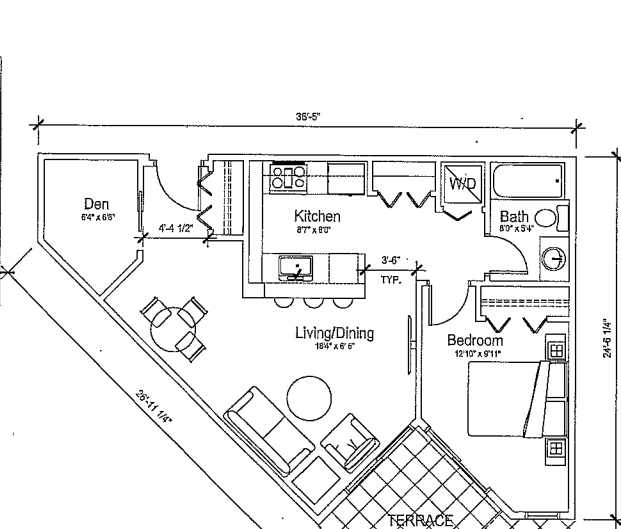
#24

No.	Description	Date	Dr.
5	RE-ISSUED FOR DEVELOP PERMIT	Aug 03 2012	
4	RE-ISSUED FOR DEVELOP PERMIT	June 18 2012	
3	RE-ISSUED FOR DEVELOP PERMIT	May 04 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 06 2012	

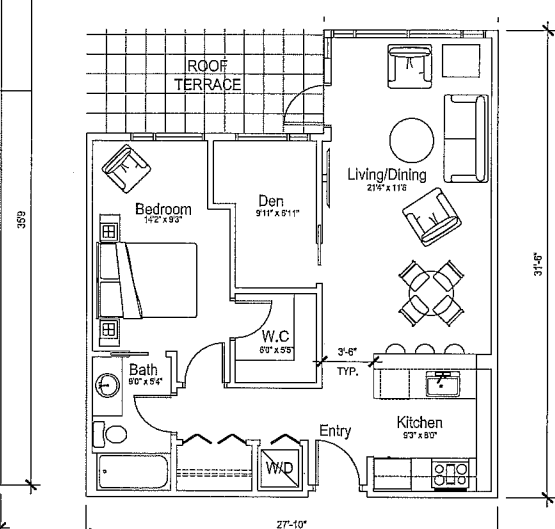
Revisions: Read Up



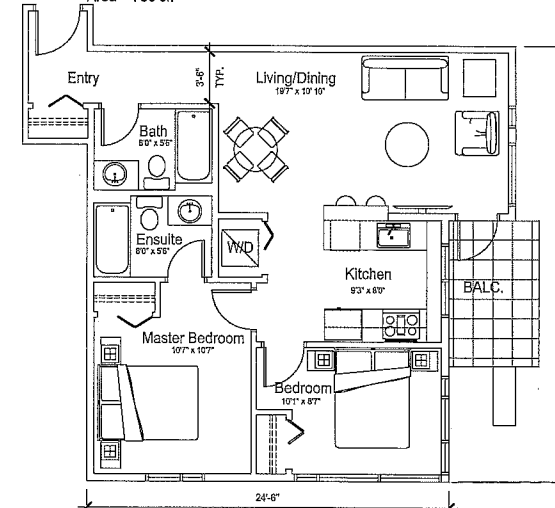
Unit B3
2BR (Level 5)
Area = 791 sf.



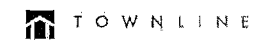
Unit B4
1BR +Den (Levels 3 & 4)
Area = 671 sf.



Unit B2
1BR +Den (Level 5)
Area = 756 sf.



Unit C2 (Affordable Unit)
2BR Junior (Levels 3 & 4)
Area = 817 sf.
Units 317 & 417



DA
DA Architects + Planners
200 - 1014 Homer Street, Vancouver
British Columbia, Canada V6B 2W9
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604 685 0988
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THE GARDENS
BUILDING D

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Sheet Title
UNIT PLANS

Job No.	1115-000	Sheet No.	
Scale	3/16" = 1'-0"		
Drawn	FU		
Checked	AJ		A2.11
Approved	RK		
Date	2012.01.25	Revision	

JUN 29 2012
 DP 12599057

GENERAL NOTES:

AGING IN PLACE ITEMS

1. WEATHER PROTECTION AT THE MAIN ENTRANCE WITH HIGHLY VISIBLE WAITING AREA
2. LEVEL ACCESS INTO THE MAIN LOBBY FROM THE STREET
3. MAIN ENTRY DOORS WITH 3FT (915MM) CLEAR OPENING
4. NO BALCONY SMALLER THAN 5FT X 5FT (1500MM X 1500MM)
5. ONE ELEVATOR TO ACCOMMODATE A STRETCHER IN A PRONE POSITION
6. AN ELECTRICAL BOX ROUGH - IN ABOVE THE UNIT ENTRANCE TO PROVIDE WIRING FOR POTENTIAL FUTURE INSTALLATION OF A POWER DOOR OPENER
7. LEVER HANDLES ON ALL DOORS
8. WINDOW HARDWARE THAT IS OF THE LEVER TYPE
9. SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE THE INSTALLATION OF FUTURE GRAB BARS
10. LEVER TYPE HANDLES FOR PLUMBING FIXTURES
11. ELECTRICAL OUTLETS AT 18" ABOVE THE FLOOR
12. SWITCHES AND THERMOSTATS LOCATED 3'-6" ABOVE THE FLOOR
13. LIGHT SWITCHES TO BE ROCKER TYPE

IN ADDITION TO THE AGING IN PLACE ITEMS SPECIFIED AS PART OF THE GENERAL NOTES, THE C6 ACCESSIBLE UNITS OFFER THE FOLLOWING FEATURES;

- WIDER (2'-8" CLEAR) DOORS AT THE MASTER BEDROOM AND ENSUITE.
- ADDITIONAL CLEAR FLOOR AREA IN THE ENSUITE, BEDROOM AND KITCHEN TO ACCOMMODATE WHEELCHAIR BOUND PERSONS.
- ACCESSIBLE ENSUITE SHOWER COMPLETE WITH TELEPHONE STYLE SHOWER HEAD, GRAB BARS, AND FOLDING MODULAR SEAT.
- WALL MOUNTED GRAB BARS BEHIND TOILET AND WALL MOUNTED ACCESSIBLE BATHROOM SINK.
- ACCESSIBLE KITCHEN DESIGN, INCLUDING AREAS OF LOWER COUNTER HEIGHT, EASY GRASP CABINET HARDWARE, AND PROVISION FOR UNDER SINK KNEE SPACE.

KEY PLAN

#25

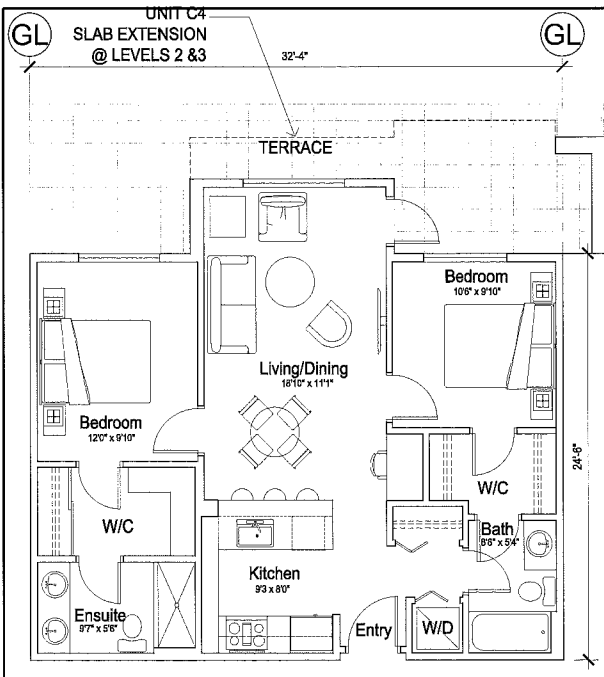
JUN 29 2012

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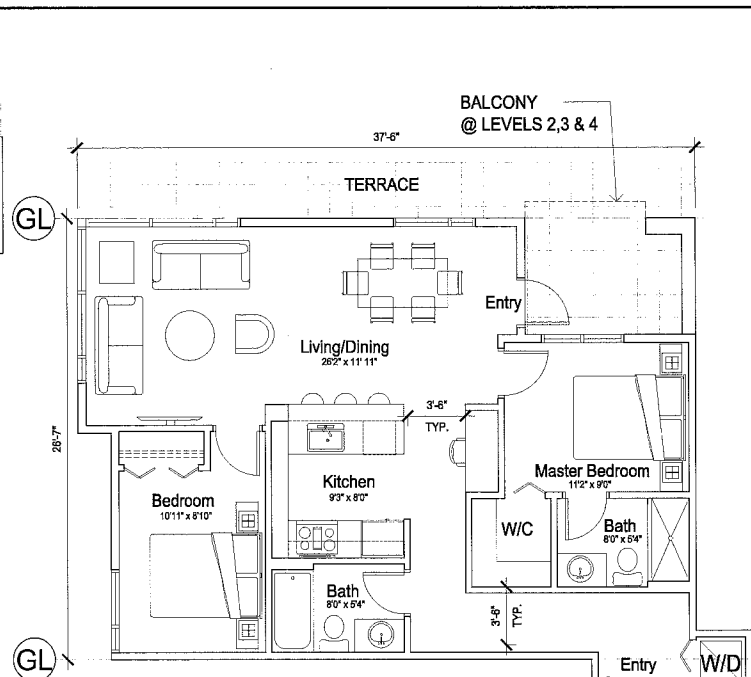
No.	Description	Date	Dr.
4	RE-ISSUED FOR DEVELOP PERMIT	June 15 2012	
3	RE-ISSUED FOR DEVELOP PERMIT	May 04 2012	
2	ISSUED FOR DEVELOP PERMIT	Jan 25 2012	
1	PRE-APPLICATION SET	Jan 06 2012	

Revisions: Read Up

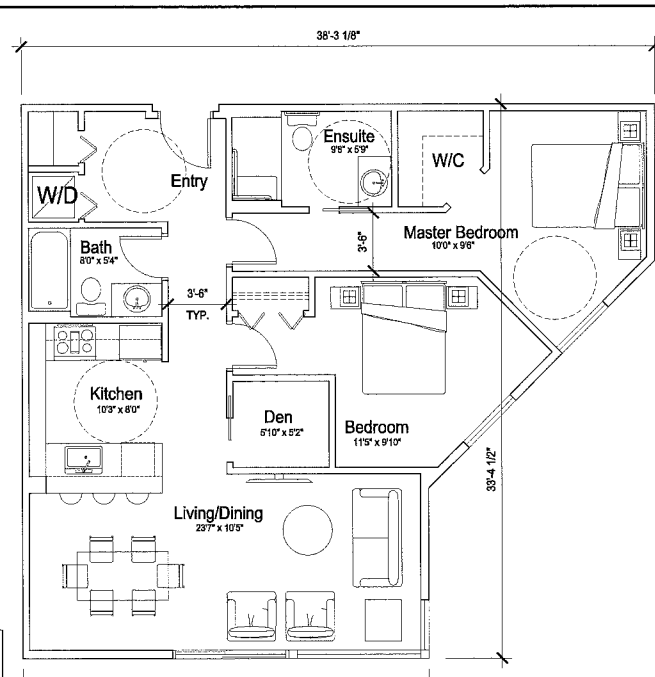


Unit C3
2BR (Levels 1 & 4)
Area = 837 sf.

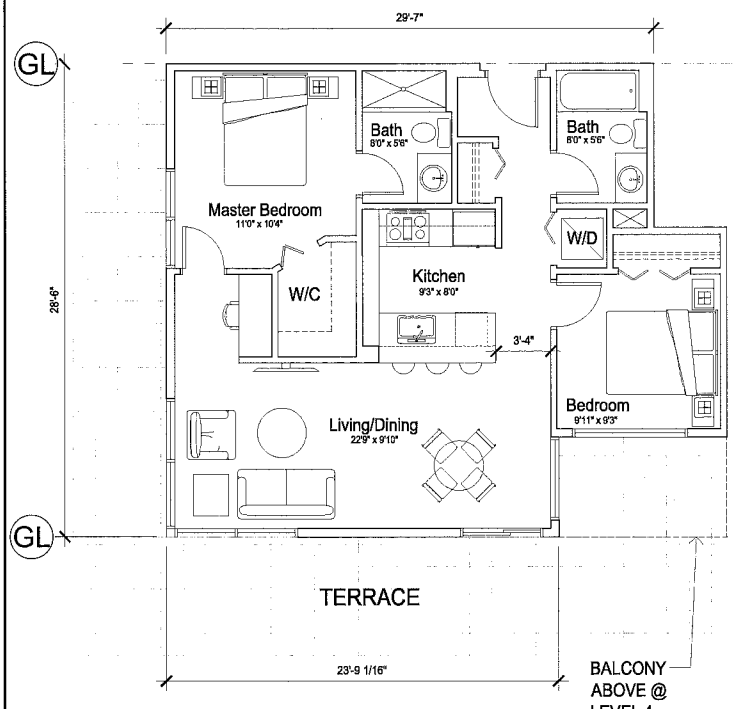
Unit C4
2BR (Levels 2 & 3)
Area = 867 sf.



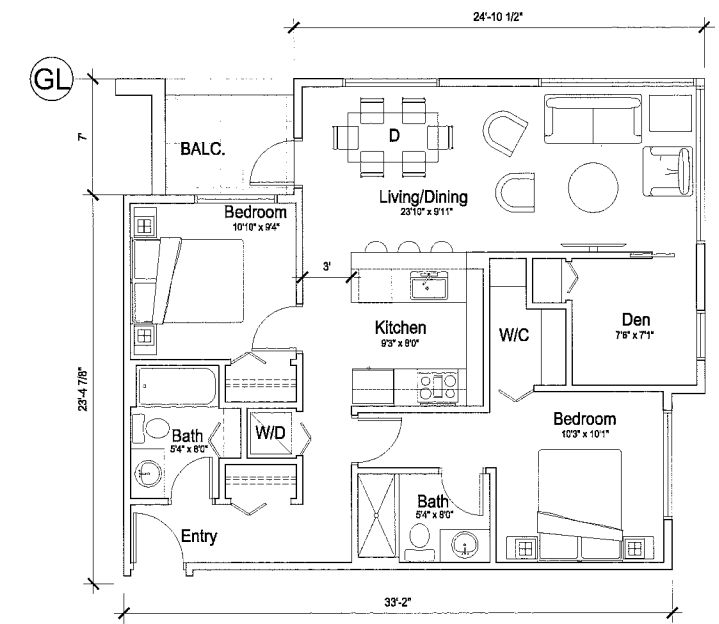
Unit C5
2BR (Levels 1,2,3 & 4)
Area = 947 sf.



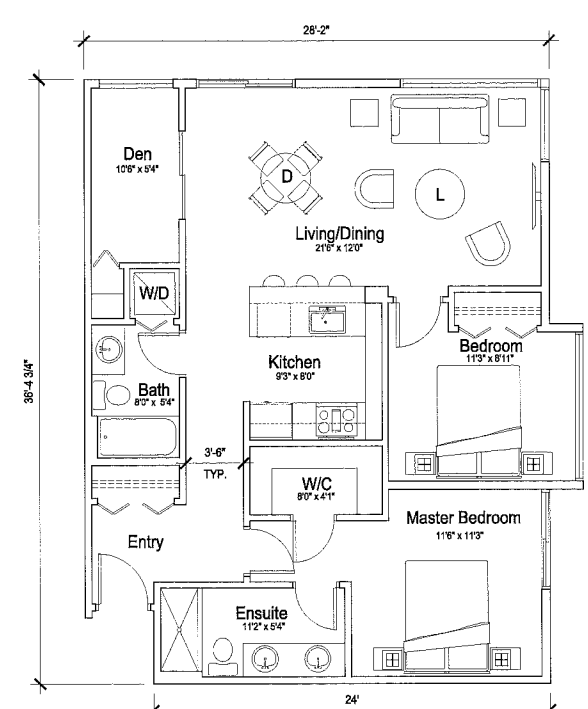
Unit C6 (Accessible Unit)
2BR (Levels 5)
Area = 1031 sf.



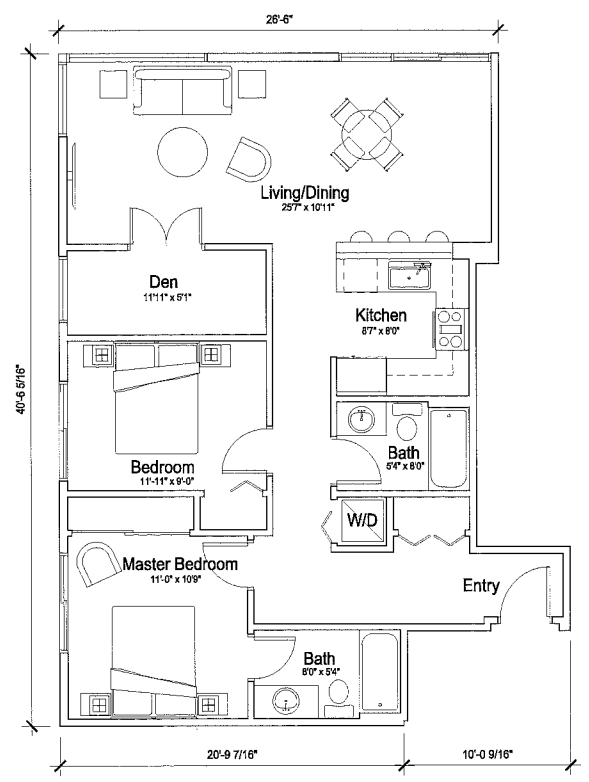
Unit C7
2BR (Levels 3 & 4)
Area = 861 sf.



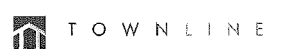
Unit D1
2BR + Den (Levels 1,2,3 & 4)
Area = 949 sf.



Unit D2
2BR + Den (Level 5)
Area = 1030 sf.



Unit D3
2BR + Den (Level 5)
Area = 1030 sf.



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THE GARDENS
BUILDING D

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Sheet Title
UNIT PLANS

Job No.	1115-000	Sheet No.	
Scale	3/16" = 1'-0"		
Drawn	FU		
Checked	AJ		A2.12
Approved	RK		
Date	2012.01.25	Revision	