



To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: March 19, 2012
File: DP 11-589490
Re: **Application by Triple A Planning Consultants for a Development Permit at
6780 No. 4 Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 10 bed congregate housing and 37 space child care facility with an accessory residential caretaker dwelling unit at 6780 No. 4 Road on a site zoned "Congregate Housing and Child Care – McLennan (ZR8)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum road setback from 3m to 2.75m for the corner portion of the building located at the No. 4 Road and Granville Avenue intersection.
 - b) Allow a screened garbage/recycling enclosure to be located along the north property line and encroach 2.9m into the setback for the east property line at the north east corner of the site.

Brian J. Jackson, MCIP
Director of Development

BJJ:ke
Att.

Staff Report

Origin

Triple A Planning Consultants has applied to the City of Richmond for permission to develop a 10 bed congregate housing and 37 space child care facility (25 spaces toddler to school age; 12 spaces infant/toddler) with an accessory residential caretaker dwelling unit at 6780 No.4 Road on a site zoned "Congregate Housing and Child Care – McLennan (ZR8)". The site is currently vacant.

The site is being rezoned from "Local Commercial (CL)" to "Congregate Housing and Child Care – McLennan (ZR8)" under Bylaw 8792 (RZ 10-552527).

A Servicing Agreement is required to be completed and approved prior to issuance of the Building Permit for the design and construction of public road frontage upgrades along No. 4 Road and Granville Avenue and road works along Granville Avenue.

The subject site is located outside of the City's sanitary sewer boundary and is not serviced by a City sanitary sewer system. As a result, an on-site septic disposal system is required to be designed to adequately service the development and approved by Vancouver Coastal Health. As part of the rezoning, a legal agreement registered on title of the subject site is required to identify that the property is outside of a City sanitary sewer boundary and that no connection to a City sanitary sewer system will be permitted. This legal agreement also requires the on-site sewage disposal system to be regularly maintained by the owner of the site to ensure that the system operates as designed based on the recommendations of the consulting engineer and manufacturer of the system.

Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north: Agricultural zoned (AG1) properties in the ALR containing single-family dwellings on lots fronting No. 4 Road;

To the east: AG1 zoned properties in the ALR containing single-family dwellings on lots fronting Granville Avenue;

To the south: AG1 zoned properties in the ALR containing single-family dwelling on lots fronting Granville Avenue; and

To the west: A variety of residential land uses (single-family, duplex and low-density townhouse) on lots fronting the west side of No. 4 Road, which is outside of the ALR.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Addressing adjacencies to existing single-family residential dwellings on neighbouring AG1 zoned properties.
- Ensure that form, character and massing is consistent with single-family housing and low-density townhouses in the surrounding area.
- Design of an appropriate streetscape and interface along No. 4 Road and Granville Avenue.
- Review a minor requested variance for the corner portion of the building situated at the No. 4 Road and Granville Avenue intersections.
- Development of an appropriate landscape and open space plan for this site.
- Confirm provisions for universal accessibility design measures and features of this development.

Staff are satisfied that all issues identified at rezoning have been addressed. The development is sited close to the corner and away from neighbouring single-family dwellings to reduce direct impacts on existing houses. Massing is kept at 2 storeys for the congregate housing component of the project and implements residential roof forms (gables and dormers) and cladding consistent with surrounding residential development. Street fronting presence is maximized with the building situated close to the corner and landscaping/open space is focussed along the public road frontages of the site to take advantage of sun exposure along the southern adjacency. The Development Permit drawings also confirm inclusion of the universal accessibility design measures to be implemented in the congregate housing portion of the project. Justification of requested variances for the tower design feature at the corner of No. 4 Road and Granville Avenue as well for an enclosed garbage/recycling enclosure at the north east corner of the site is contained in a forthcoming section of this staff report.

The Public Hearing for the rezoning of this site was held on September 7, 2011. At the Public Hearing, no concerns or public comments were received that require specific response or follow-up through the Development Permit application.

Subject Site Background and History of Development Permit Applications.

The subject site is located in the Agricultural Land Reserve (ALR) and has existing Local Commercial (CL) zoning on the subject site that permits development of a convenience store in conjunction with a residential dwelling unit.

Although the subject site is located in the ALR, it is exempted from Agricultural Land Commission (ALC) regulations because the property was on separate certificate of title and less than 2 acres in size as of December 21, 1972. As the property is exempted from ALR land use regulations, no application or approval from the ALC is required.

Based on the subject site's existing Local Commercial zoning, two separate Development Permit applications were previously submitted for a convenience store with an accessory residential unit. One proposal (DP 04-280263) was approved in 2005 but never constructed. The second

proposal involving similar uses with significant changes to the site plan and layout was not supported by the Development Permit Panel and was denied by Council in 2006.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and complies with the General OCP Development Permit Guidelines and proposed “Congregate Housing and Child Care – McLennan (ZR8)” zoning for the site except for the variances noted below.

Zoning Compliance/Variations (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

1. Reduce the minimum road setback from 3m (9.8 ft.) to 2.75m (9 ft.) for the corner portion of the building located at the No. 4 Road and Granville Avenue intersection.
(Staff supports the proposed variance as it is a minor 0.25m (0.8 ft.) encroachment for the corner portion of the building where staff worked with the applicant to create a strong presence of the development at the intersection. The variance also takes into account the existing corner cut road dedication that has already been secured for this site through previous development applications.)
2. Allow a screened garbage/recycling enclosure to be located along the north property line and encroach 2.9m into the setback for the east property line at the north east corner of the site.
(Staff supports the proposed variance as the structure creates a screened and secured enclosure for required garbage/recycling bins that is 2.6m (8.5 ft.) in height, which is situated to provide adequate separation space to neighbouring single-family dwellings. Exterior cladding for the enclosure is consistent with wood panelling and horizontal timber slats proposed on the building.

Advisory Design Panel Comments

The Advisory Design Panel was February 8, 2012. A copy of the relevant excerpt from the Advisory Design Panel (ADP) Minutes from February 8, 2012 is attached for reference (**Attachment 2**) with the design response from the applicant included immediately following the excerpt of ADP minutes.

Staff and the applicant worked to revise the project to:

- Improve the corner tower element of the building to create a strong presence and design feature of the site.
- Improved design detailing to differentiate spaces and entrances associated with the proposed congregate housing and child care facility.
- Work with exterior cladding/material treatment and roof materials and colour to be consistent with surrounding single-family and low density residential land uses.

Analysis

Conditions of Adjacency

- Building massing of the overall facility is focussed on the street frontages (No. 4 Road and Granville Avenue). Massing generally steps down moving west to east along Granville Avenue, transitioning from a 2 storey congregate housing and residential caretaker dwelling unit to 1 storey child care facility. Rooflines also transition and reduce in height moving west to east with highest portions of the roof line associated with the corner tower design feature, stepping down to a standard 2 storey roofline for the portion associated with the caretaker dwelling unit and then stepping down again to 1 storey massing for the child care facility.
- Direct building adjacencies to neighbouring single-family dwellings to the north and east are minimized with parking and drive-aisles generally situated along the north and east boundaries of the site. In addition, a minimum 1 m (3 ft.) wide landscape buffer strip and 1.85m (6 ft.) wooden fence is located along the north and east property lines for additional screening.
- Grading on the site and adjacent to the street frontage will be to match or be slightly higher than the grade of the new or existing sidewalk, which will provide ease of access and comply with universal accessibility.
- The garbage and recycling area is located at the northeast corner of the site. It is fully enclosed in a structure that will provide adequate screening, has minimal massing and has external cladding that is consistent with materials implemented around the site.

Urban Design and Site Planning

- Efforts have been made to position the building as close to the No. 4 Road and Granville Avenue intersection to facilitate a street-fronting development. This site plan also enables a majority of the supporting parking, access, garbage/recycling enclosure and on-site sanitary treatment system to be situated in behind the proposed development.
- The on-site sanitary system has been designed to accommodate the proposed development and uses and the system takes into account existing portions of the property to be occupied by building, parking areas and drive-aisles. The septic sewer disposal system located in a series of enclosed compartments underneath the parking and drive-aisle area and the applicant's consulting engineer has confirmed in can adequately provide on-site sanitary waste disposal on the property. To ensure that this site, upon redevelopment, is only serviced by an on-site sanitary septic disposal system, a legal agreement is being secured through the rezoning that confirms the following:
 - The site is outside a City sanitary sewer area boundary and that no connection to a City sanitary sewer system will be permitted; and
 - That the on-site sewage system be regularly maintained as per the recommendations from the consulting engineer and manufacturer specifications to ensure the system operates properly.
- To help distinguish and differentiate the three uses (congregate housing, child care and caretaker dwelling unit) within the development, the proposal primarily uses building massing, transitioning and different roof forms and external cladding/material treatment. A main objective of this approach is to differentiate between the congregate housing (kept at two storey massing throughout) and child care facility (implements a different flat roof form and kept at 1 storey).

- The primary vehicle access/egress is through Granville Avenue. A one-way drive-aisle and exit (right turn only) is proposed to No. 4 Road for improved vehicle circulation. Through the rezoning, a legal agreement is required to be registered to identify that the vehicle exit located on No. 4 Road is for exit, right-hand turn vehicle movements only.
- On-site parking requirements are in compliance with zoning bylaw regulations for each use (congregate housing – 7 stalls; child care facility – 8 stalls; residential caretaker dwelling unit – 2 stalls). The site also provides a loading bay space, which also will function as a parking stall for Handydart service for the congregate housing.
- Accessible parking stalls and space for Handydart loading/unloading is located close to entrances of the congregate housing and child care development for ease of access.
- Universal accessibility provisions have been integrated in the congregate housing facility component of the development including, an elevator lift and manoeuvring space for wheelchairs in all areas of the congregate housing proposal. Resident units also incorporate universal design features (grab bars in bathing areas, manoeuvring space for wheelchairs, clearance under counters/tabletops).
- Site planning and location of outdoor spaces is focussed on maximizing space and exposure along the southern adjacency (along Granville Avenue) with common areas for the congregate care and child care facility located in this area to take advantage of sun exposure and integrating with the Granville Avenue streetscape.
- A pedestrian pathway and accompanying landscaping is proposed to complement the building's remaining adjacency along the No. 4 Road and Granville Avenue frontages.

Architectural Form and Character

- For the congregate housing portion of the building containing the residential caretaker dwelling unit, building recesses and projections are implemented along the street fronts to improve articulation.
- Gable roof ends are implemented in conjunction with the building projections and corner tower feature to reflect the surrounding residential adjacencies.
- Based on the high-visibility of the development at the intersection, a corner tower feature is implemented to reinforce the development's street front presence and provide a central design element for the site. Based on this, the tower features a roof line that is slightly higher than the remaining portions of the building, includes gable roof forms on all sides of the development and cladding consists of stone cladding on a majority of the tower with gable roof ends with wooden slats and decorative vents.
- Within the building projections along the street frontage, cultured stone is implemented on the ground floor with hardi-plank siding and wooden slat detailing located on the second storey and gable roof ends. Building recesses consist of stucco on the ground floor with hardi-plank board and batten on the second floor.
- For north and east interior elevations of the building, stucco is proposed on the ground floor with hardi-plank board and batten on the second storey.
- Throughout the development, horizontal wooden banding is implemented to distinguish changes in exterior cladding.
- The child care component of the development is designed primarily with 1 storey massing throughout and with a flat roof to distinguish uses in this portion of the building from the congregate housing component.
- Colour and exterior cladding of the child care portion of the development also differs from the congregate housing building area by implementing a darker coloured stucco treatment

that is overlapped with horizontal semi-transparent wooden slats. This provides an additional level of material finishing and texture to the child care portion of the building.

- Use of the transparent, horizontal wooden slats for the garbage/recycling enclosure, bike storage area, second-deck railing, gable roof ends and child care portions of the development provides a consistent and cohesive design element throughout the project.

Landscape Design and Open Space Design

- Approach to landscaping design along the Granville Avenue and No. 4 Road frontages is to provide a layered scheme to take into account the limited area available within the setbacks. A combination of shrubs and groundcovers is located on both sides of a 1.2m (4 ft.) tall fence (stone pillar and metal picket) and adjacent to the building with a pedestrian path centred in the yard with deciduous trees lining the public roads.
- On-site landscaping will transition to required frontage upgrades along Granville Avenue and No. 4 Road that will consist of a new concrete sidewalk at the property line in conjunction with a grass and treed boulevard between the sidewalk and edge of the curb. Road works are also proposed along Granville Avenue for the purposes of increasing the queue length for the existing left hand turn bay and accommodating an appropriate curb lane to allow for thru traffic and vehicles turning right at No. 4 Road.
- To take advantage of southern sun exposure and natural light, a common area for the congregate housing residents is proposed along the Granville Avenue frontage, which is also directly adjacent to the indoor common areas (dining; activity areas; indoor communal space). The building setback along Granville Avenue is increased slightly to allow for sufficient space for outdoor seating and small patio area. A wooden trellis that extends from the building and into the common area helps enhance this outdoor space.
- A similar approach is taken to locate the outdoor play area for the child care development to take advantage of southern sun exposure and available natural light into the indoor child care spaces. Landscaping in the child care outdoor play area is limited to a layering of ground covers and shrubs around the 1.2m (4 ft.) stone pillar and wood panel fence that encloses the child care outdoor space. This enables maximum area for programming of the outdoor space by the service provider and Vancouver Coastal Health licensing requirements.
- The common outdoor area associated with the congregate housing and outdoor play area for the child care facility is physically separated by a 1.8m (6 ft.) fence and landscape hedging.
- A 1m (3 ft.) wide landscape buffer that contains evergreen hedging and a 1.8 m (6 ft.) tall wood panel perimeter fence is located along the north and east perimeter of the site.
- Interlocking pavers are implemented on the north side of the building associated with the off-street parking stalls and entrances to the congregate housing, child care facility and caretaker dwelling unit.

Crime Prevention Through Environmental Design

- Outdoor spaces for the congregate housing and child care facility have good visibility from the street and building. Direct access from the street to outdoor areas is limited through a combination of fencing and landscaping.
- Provisions for security and access to and from the congregate housing component of the project is subject to review and approval by Vancouver Coastal Health through the licensing process. Depending on licensing requirements and review by VCH staff, security measures to control access to and from the congregate housing portions of the development may be required.

- Perimeter fencing and landscaping is implemented around the street fronting open space and common outdoor and play areas to restrict public access.

Aircraft Noise Sensitive Development Policy – Response

- An Aircraft Noise Sensitive Use Covenant is being secured as a rezoning consideration.
- The proposed congregate housing and child care use is an aircraft noise sensitive land use.
- In addition to the Aircraft Noise Sensitive Use Covenant secured through the rezoning, submission of a report from the appropriate professionals is required to ensure that the design and project construction adheres to the noise levels and requirements contained in the City's Official Community Plan Aircraft Noise Sensitive Development policy outlined as follows:
 - Bedrooms – 35 decibels.
 - Living, dining, and recreation rooms – 40 decibels.
 - Kitchen, bath, hallways and utility rooms – 45 decibels.
 - The standard required for air conditioning systems and their alternatives (e.g. ground source heat pumps, heat exchangers and acoustical ducting) is the ASHRAE – 55-2004 “Thermal Environmental Conditions for Human Occupancy” standard and subsequent updates as they may occur.
 - Submission and approval of the professional report to confirm that the design complies with the above criteria is required prior to forwarding the Development Permit to Council for issuance.

Vancouver Coastal Health – Congregate Housing

- Submission and approval of a license from VCH is a required component of the congregate housing facility based on the proposed residents and level of care provided.
- VCH staff have reviewed the Development Permit drawings and provided preliminary feedback, which has been incorporated into the proposal.
- Additional changes to the interior layout may be undertaken through the license application to be reviewed and approved by VCH.

Vancouver Coastal Health – Child Care Facility

- Submission and approval of a license from VCH is a required component of the 37 space child care facility, which intends to provide 25 spaces for toddler to school age children and 12 infant/toddler spaces.
- VCH staff have reviewed the Development Permit drawings and provided preliminary feedback, which has been incorporated into the child care component of the development.
- The applicant is currently liaising and coordinating review with VCH staff for the outdoor play areas to enable the different groups of children in care to utilize the outdoor play space at different times. The applicant has confirmed that VCH is able to consider a shared arrangement for outdoor play areas so long as programming and design of outdoor play areas meets VCH licensing regulations and comments (architect is currently working to finalize programming of the outdoor play area).

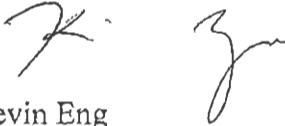
Sustainability

- Landscaping is focussed in areas along the street frontage and perimeter of the subject site. The requirement for an on-site septic disposal system to be fully contained and operated on the subject site creates challenges for implementing permeable paving materials in the parking lot areas on the north side of the building.

- Outdoor space and open areas maximizes the southern and western exposures of the site for natural light and sunlight exposure. Extensive glazing is also proposed along the south and west building elevations to maximize natural lighting available to the interior spaces of the child care operation and congregate housing.
- Trellis structures and building mounted canopies in conjunction with deciduous trees along the south and west portions of the site will assist in providing natural shade and cooling during the summer months.

Conclusions

The Development Permit application has addressed all issues and comments related to the site's existing conditions of adjacency, urban design and site planning, architectural form/character and landscaping design. Staff recommend support of the Development Permit application to permit a 10 bed congregate housing project, 37 space child care facility and accessory caretaker dwelling unit on the subject site.



Kevin Eng
Planner 1

KE:cas

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$32,250 (based on total gross floor area of 16,108 sq.ft.).
- Submission and approval of a report(s) by the appropriate professional to confirm that the design complies with the interior noise levels and thermal conditions contained in the City's Official Community Plan Aircraft Noise Sensitive Development Policy and Aircraft Noise Sensitive Use Covenant secured through the rezoning.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Completion and approval of a Servicing Agreement for public road frontage works. Works to include but may not be limited to the following and are at the developers sole cost:
 - Along the subject site's No. 4 Road frontage, design and construction of a new 1.5m concrete sidewalk along the existing property line with new concrete curb and gutter and grass and treed boulevard between the edge of the pavement and new sidewalk.
 - The vehicle exit on No. 4 Road at the north edge of the site is required to be designed to be a "right-out" only exit with a minimum of 1m separation between the proposed new right-out exit driveway letdown and existing driveway letdown servicing the neighbouring lot to the north.
 - Along the subject site's Granville Avenue frontage, design and construction of a new 1.5m concrete sidewalk along the existing property line with new concrete curb and gutter and grass and treed boulevard between the edge of the pavement and new sidewalk and widen pavement to accommodate a 3.3m wide left hand turn lane with 30m of vehicle storage and a 4.3m wide curb lane to accommodate a shared vehicle/bike lane.
- Submission and approval of a construction parking and traffic management plan to be provided to the Transportation Division that includes the location of parking services, deliveries, loading, application for requests for any lane closures (including dates, times and duration), and proper traffic controls as per Traffic Control Manual for Works on Roadways (Ministry of Transportation and Infrastructure).
- Implementation of universal accessibility design features as shown in Development Permit drawings.



DP DP 11-589490

Attachment 1

Address: 6780 No. 4 Road

Applicant: Triple A Planning Consultants

Owner: Haraka Enterprises Inc.

Planning Area(s): East Richmond (McLennan Area)

Floor Area Gross: 1,544 m²

Floor Area Net: 1,450 m²

| | Existing | Proposed |
|--|--------------------------------------|--|
| Site Area: | 2,448 m ² | 2,448 m ² |
| Land Uses: | Vacant Lot | Congregate housing (10 beds); 37 space child care facility; residential caretaker unit. |
| OCP Designation (General) | Agriculture | No change |
| OCP Designation (East Richmond McLennan Sub Area) | Agriculture | OCP amendment to "Agriculture, Institutional and Public" |
| Zoning: | Local Commercial (CL) | <ul style="list-style-type: none"> Congregate Housing and Child Care – McLennan (ZR8). New zoning district. |
| Other Designations | Subject site is contained in the ALR | <ul style="list-style-type: none"> Subject site is exempted from ALR provisions. Subject site is to remain in the ALR. |

| | Bylaw Requirement | Proposed | Variance |
|--|----------------------|--|--|
| Floor Area Ratio: | Max 0.6 FAR | 0.59 FAR | none permitted |
| Lot Coverage: | Max. 40% | 36% | none |
| Setback – Public Road: | Min. 3 m | 3.5 m (Granville Ave) 4.1 m (No. 4 Road) 2.75 m (at intersection corner cut) | Variance to permit 0.25 m encroachment of building |
| Setback – North Lot Line: | Min. 5 m | 5.9 m | none (variance for garbage enclosure) |
| Setback – East Lot Line: | Min. 9 m | 9.5 m | none (variance for garbage enclosure) |
| Height (m): | Max. 12.5 m | 11.1 m | none |
| Lot Size: | 2,400 m ² | 2,448 m ² | none |
| Off-street Parking Spaces – Congregate Housing | 7 | 7 | none |

| | | | |
|--|--------------------------------|---------------------------------|------|
| Off-street Parking Spaces – Child care | 8 | 8 | none |
| Off-street Parking Spaces – Caretaker dwelling unit | 2 | 2 | none |
| Total off-street Spaces: | 17 | 17 | none |
| Off-street Parking Spaces – Accessible: | 1 accessible stall required | 2 accessible stalls provided | none |
| Tandem Parking Spaces | not permitted | none proposed | N/A |

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, February 8, 2012 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

**DP 11-589490 – 10 BED CONGREGATE HOUSING FACILITY; CARETAKER
UNIT; 37 SPACE CHILDCARE**

APPLICANT: Triple A Planning Consultants

PROPERTY LOCATION: 6780 No. 4 Road

Applicant's Presentation

Joe Minten, JM Architecture Inc., and Clark Kavolinas, C. Kavolinas and Associates, Inc., presented the project on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- interesting use of a corner; efficient site planning and landscaping;
- hope that outdoor play area will evolve and meet the requirements of the licensing agency; applicant needs to be creative in addressing the noise issue along Granville Avenue;
- would like to see tree planting as part of the concept of boulevard treatment along Granville Avenue and No. 4 Road;
- consider adding hedge-like planting material in front of and behind the fence to provide a layering effect; height of planting material should not be too high;
- difficult project to work on in a very tight site; applicant has done everything to make two different facilities work on a tight site;
- concern on the inadequate separation of the two facilities; considering that the congregate care facility also serves residents with mental health issues, its entrance should be farther from the child care facility entrance, which will be busier, to ensure the comfort of the residents and the safety of children;
- consider having a central green area rather than concentrating all the green and the children's play area along Granville Avenue which is a noisy and dusty street;
- tower element at the corner does not achieve its intended purpose to anchor the site; seems out of place and does not relate to the single-family neighbourhood; looks institutional, closed and not street-friendly; needs to be restudied;
- usability of congregate rooms looks good; overhead tracks in washrooms and bedrooms to assist staffing and to avoid physical injuries should be considered;

- consider having a couple of residential rooms in the facility include wheel-in showers to facilitate resident care;
- like the separation of the entrance and exit from the intersection of Granville Avenue and No. 4 Road; will enhance traffic safety;
- building siting is appropriate for the neighbourhood;
- corner tower element needs additional push; needs more height and differentiation in terms of colour and materiality from the rest of the building to set it apart;
- model is doing more justice to the design than the drawings presented to the Panel; like the light-coloured roof shown in the model, not the dark-coloured roof shown in the drawings which is grounding the building; lighter roofing palette is preferable;
- gateway element is needed to introduce people to the site entry along Granville Avenue; would give the building a nice address;
- having a light-coloured roof helps the overall design;
- one of the challenges of a building on a corner site is how to turn the corner; tower element anchors the corner well but does not turn the corner well enough; needs revision;
- architectural challenge of the building is that it is in a residential area and is grouping three separate programs in one building using limited palette; needs architectural treatment to differentiate these programs;
- building is not out of place in its context;
- desert and southwestern palette stand out in an overwhelmingly residential area; agree with comments that applicant has done a nice job in separating the two forms while still complementing each other in terms of materials and architectural elements;
- what is the purpose of the 5-foot wide walkway that goes around outside the congregate care facility? consider opportunity to open up onto patios on the outside; would be more useful to residents;
- entrances of the congregate care and child care facilities are quite close to each other; consider screening or knee wall to separate the two entrances as the congregate care facility needs a quieter place compared to the busy child care facility;
- not enough separation/delineation between pedestrian and vehicular traffic at the day care entrance; consider paving treatment or adding bollards to ensure pedestrian safety;
- consider pedestrian path or loop where residents can walk; site is tight but would like to see this feature in future projects;
- building fits well into the neighbourhood; current design does a good job of integrating two different uses of the building; no need to separate the uses into separate buildings as it is already achieved internally in terms of function;
- design of the project is very car-friendly but no clear entry points for pedestrians; and

- maximize the amount of covered space in the children's outdoor play area; would be useful throughout the year and appropriate for Richmond's rainy climate.

Panel Decision

It was moved and seconded

That DP 11-589490 move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED

Opposed: Sherri Han

20 March, 2012-03-20

Hello Kevin,

Our replies to the Advisory Design Panel comments are listed below each item in blue type.

**2. DP 11-589490 – 10 BED CONGREGATE HOUSING FACILITY;
CARETAKER UNIT; 37 SPACE CHILDCARE**

ARCHITECT: Joe Minten Architect (JM Architecture Inc.)

PROPERTY LOCATION: 6780 No. 4 Road

Applicant's Presentation

Joe Minten, JM Architecture Inc., and Clark Kavolinas, C. Kavolinas and Associates, Inc., presented the project on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- interesting use of a corner; efficient site planning and landscaping;
JMA – no comment required
- hope that outdoor play area will evolve and meet the requirements of the licensing agency; applicant needs to be creative in addressing the noise issue along Granville Avenue;
JMA and Owner are working closely with the Vancouver Health department to plan the outdoor area
- would like to see tree planting as part of the concept of boulevard treatment along Granville Avenue and No. 4 Road;
JMA – this was determined to be a city requirement so landscape was removed from the area
- consider adding hedge-like planting material in front of and behind the fence to provide a layering effect; height of planting material should not be too high;
JMA – done
- difficult project to work on in a very tight site; applicant has done everything to make two different facilities work on a tight site;

- concern on the inadequate separation of the two facilities; considering that the congregate care facility also serves residents with mental health issues, its entrance should be farther from the child care facility entrance, which will be busier, to ensure the comfort of the residents and the safety of children;

JMA – Separations have been enhanced by using landscape plantings

- consider having a central green area rather than concentrating all the green and the children's play area along Granville Avenue which is a noisy and dusty street;

JMA – the current design is product of collaborative design efforts with the city planning department

- tower element at the corner does not achieve its intended purpose to anchor the site; seems out of place and does not relate to the single-family neighbourhood; looks institutional, closed and not street-friendly; needs to be restudied;

JMA – the tower design has been revisited and redesigned with input from the planning department

- usability of congregate rooms looks good; overhead tracks in washrooms and bedrooms to assist staffing and to avoid physical injuries should be considered;

JMA – done

- consider having a couple of residential rooms in the facility include wheel-in showers to facilitate resident care;

JMA – No change to facility program from owner at this time

- like the separation of the entrance and exit from the intersection of Granville Avenue and No. 4 Road; will enhance traffic safety;

JMA – no comment necessary

- building siting is appropriate for the neighbourhood;

JMA – no comment necessary

- corner tower element needs additional push; needs more height and differentiation in terms of colour and materiality from the rest of the building to set it apart;

JMA – the tower design has been revisited and redesigned with input from the planning department

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Member of the Architectural Institute of British Columbia
Member of the Alberta Association of Architects

Joe M. Minten, architect

malbc, aaa, mraic

- model is doing more justice to the design than the drawings presented to the Panel; like the light-coloured roof shown in the model, not the dark-coloured roof shown in the drawings which is grounding the building; lighter roofing palette is preferable;

JMA – done

- gateway element is needed to introduce people to the site entry along Granville Avenue; would give the building a nice address;

JMA – not considered

- having a light-coloured roof helps the overall design;

JMA – done

- one of the challenges of a building on a corner site is how to turn the corner; tower element anchors the corner well but does not turn the corner well enough; needs revision;

JMA – the tower design has been revisited and redesigned with input from the planning department

- architectural challenge of the building is that it is in a residential area and is grouping three separate programs in one building using limited palette; needs architectural treatment to differentiate these programs;

JMA – the overall design has been revisited and redesigned with input from the planning department

- building is not out of place in its context;

JMA – no comment necessary

- desert and southwestern palette stand out in an overwhelmingly residential area; agree with comments that applicant has done a nice job in separating the two forms while still complementing each other in terms of materials and architectural elements;

JMA – no comment necessary

- what is the purpose of the 5-foot wide walkway that goes around outside the congregate care facility? consider opportunity to open up onto patios on the outside; would be more useful to residents;

JMA – this is a walking path for the residents, a large patio is designed for outside the common room on the south side

Suite 204-10190 152A St.
Surrey, B.C. V3R 1J7
604 583-2003 -T
604 580-1004 - F
jmarsh@shaw.ca - E

- entrances of the congregate care and child care facilities are quite close to each other; consider screening or knee wall to separate the two entrances as the congregate care facility needs a quieter place compared to the busy child care facility;

JMA – done

- not enough separation/delineation between pedestrian and vehicular traffic at the day care entrance; consider paving treatment or adding bollards to ensure pedestrian safety;

JMA – the surface treatment is small scale paving and a planter box has been added to separate the uses

- consider pedestrian path or loop where residents can walk; site is tight but would like to see this feature in future projects;

JMA – not considered

- building fits well into the neighbourhood; current design does a good job of integrating two different uses of the building; no need to separate the uses into separate buildings as it is already achieved internally in terms of function;

JMA – no comment necessary

- design of the project is very car-friendly but no clear entry points for pedestrians; and

JMA – looked into this but felt there really was no requirement and difficult to fit into the site planning at any rate

- maximize the amount of covered space in the children's outdoor play area; would be useful throughout the year and appropriate for Richmond's rainy climate.

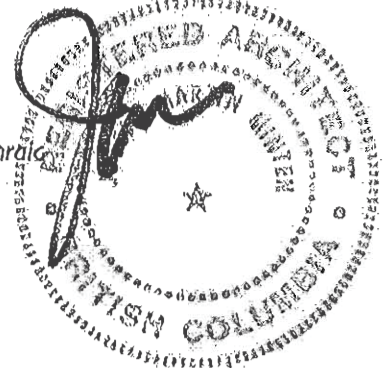
JMA – there is a glass covered trellis on the south side to serve this purpose

End of document

JMA comments provided by:

Joe Minten, architect

malbc, aaa, mralc



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jmarch@shaw.ca - E



No. DP 11-589490

To the Holder: TRIPLE A - PLANNING CONSULTANTS

Property Address: 6780 NO. 4 ROAD

Address: C/O AMIN ALIDINA
5340 GRANVILLE AVENUE
RICHMOND, BC V1C 1E7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the minimum road setback from 3m to 2.75m for the corner portion of the building located at the No. 4 Road and Granville Avenue intersection.
 - b) Allow a screened garbage/recycling enclosure to be located along the north property line and encroach 2.9m into the setback for the east property line at the north east corner of the site.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #9 attached hereto.
5. On-site sanitary sewer septic disposal system, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$32,250 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 11-589490

To the Holder: TRIPLE A - PLANNING CONSULTANTS

Property Address: 6780 NO. 4 ROAD

Address: C/O AMIN ALIDINA
5340 GRANVILLE AVENUE
RICHMOND, BC V1C 1E7

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

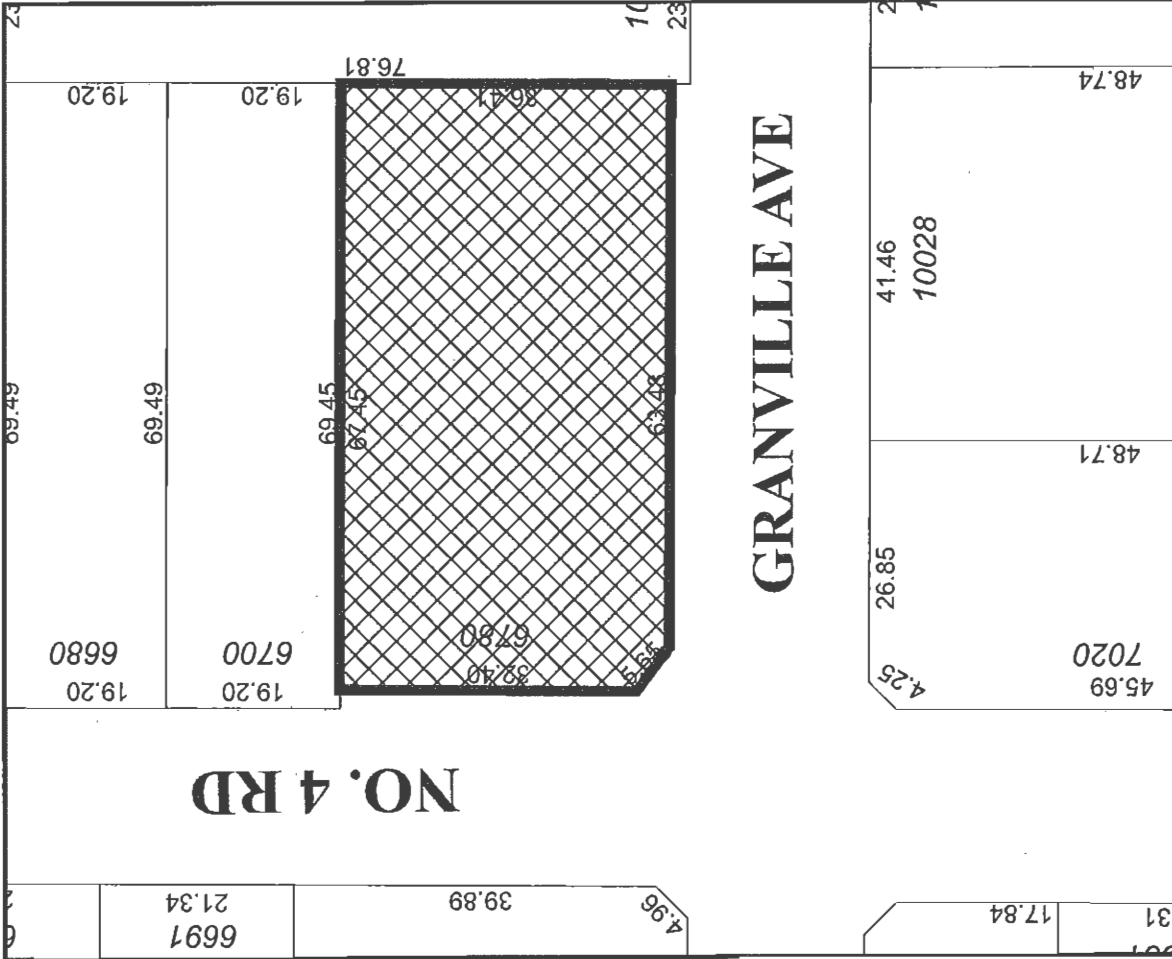
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City of Richmond



DP 11-589490

SCHEDULE "A"

Original Date: 10/11/11

Revision Date:

Note: Dimensions are in METRES

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1000 N. W. 10th St.
Fort Lauderdale, FL 33304
Tel: (954) 561-1111
Fax: (954) 561-1112

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1-589491

Reference Plan

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| DRAWN BY: | JAC |
| CHECKED BY: | JAC |
| SCALE: | AS SHOWN |
| DATE: | 07/2007 |
| PROJECT NAME: | ALBERTA RD |

Project Name: **CASA DEL SOL**
 10000 N. W. 10th St.
 Fort Lauderdale, FL 33304

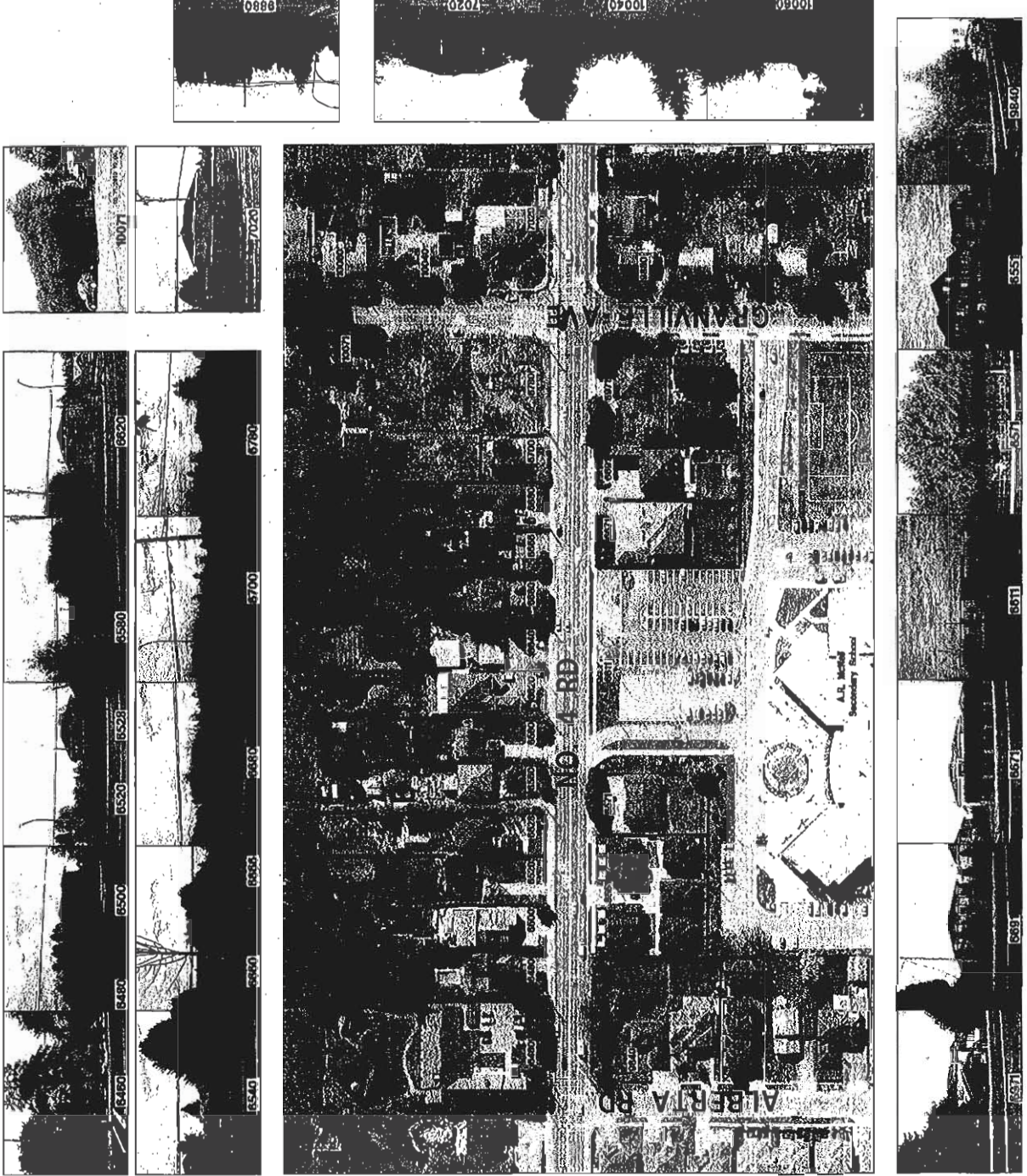
Project No.: **10000**

Scale: **AS SHOWN**

Project Name: **STREET SCAPE CONTEXT MAP**

Project No.: **10000**

Project Name: **A-1002**



6780 No. 4 ROAD

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Fort Lauderdale, FL 33304
Phone: (954) 561-1111
Fax: (954) 561-1112
www.jmsarchitect.com

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2. ALL FINISHES ARE TO BE AS SHOWN ON THE DRAWING.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND VARIANCES FROM THE APPLICABLE AGENCIES.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
7. THE CONTRACTOR SHALL MAINTAIN THE PROPOSED DRIVEWAY.

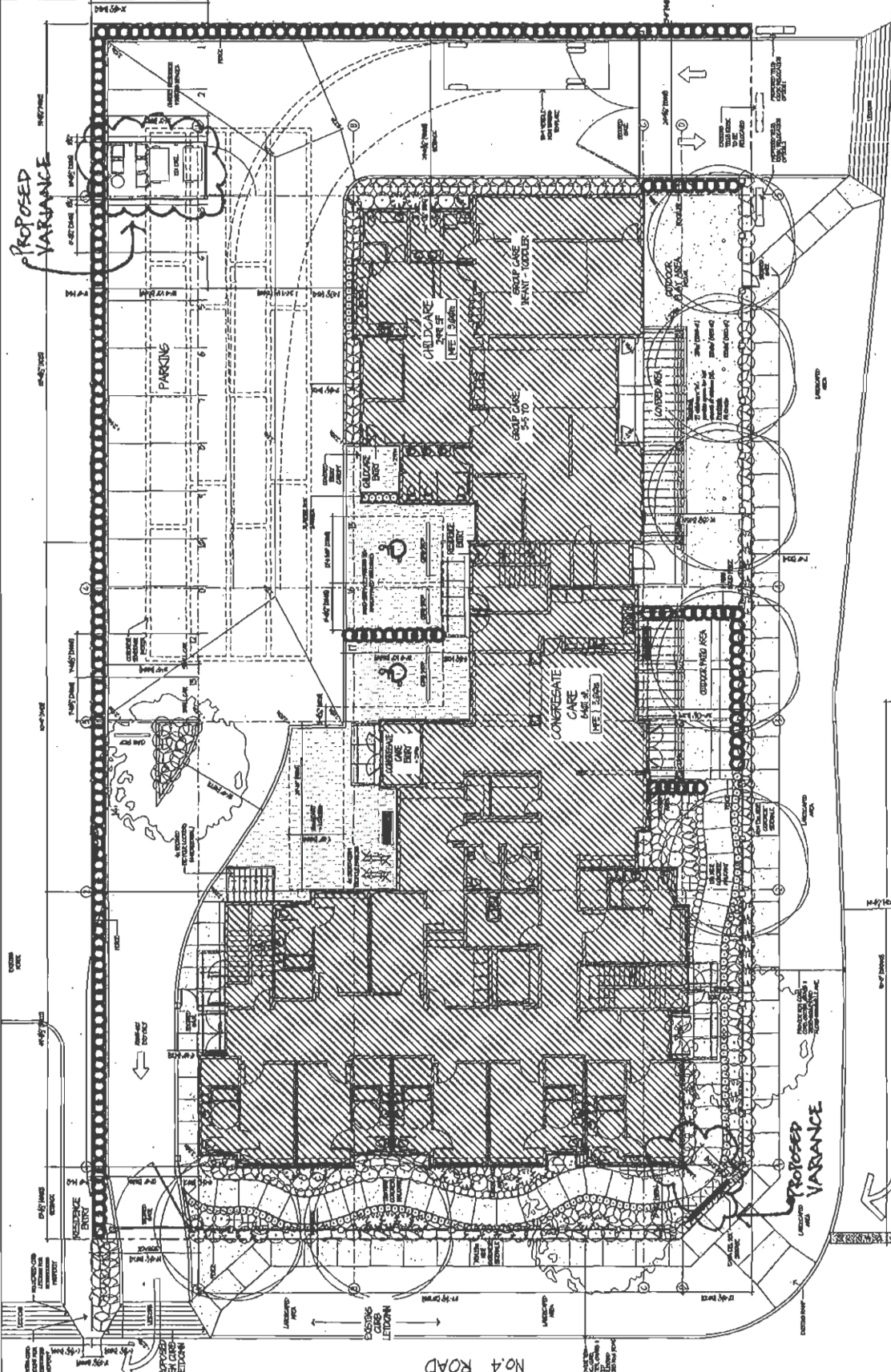
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| PROJECT NO. | 2012-001 |
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| TOTAL SHEETS | 1 |
| DATE PLOTTED | 03/19/2012 |
| PLotted BY | JMS |

Project Name: **CASA DEL SOL**
1000 N. W. 10th Ave., Suite 100
Fort Lauderdale, FL 33304
Phone: (954) 561-1111
Fax: (954) 561-1112
www.jmsarchitect.com

SITE PLAN
Scale: 1/8" = 1'-0"
Date: 03/19/2012
Sheet: 1 OF 1

LEGAL DESCRIPTION
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MAR 19 2012 GRANVILLE AVENUE
PLAN #2
 DP 11589490



SITE PLAN
DATE: 03/19/2012

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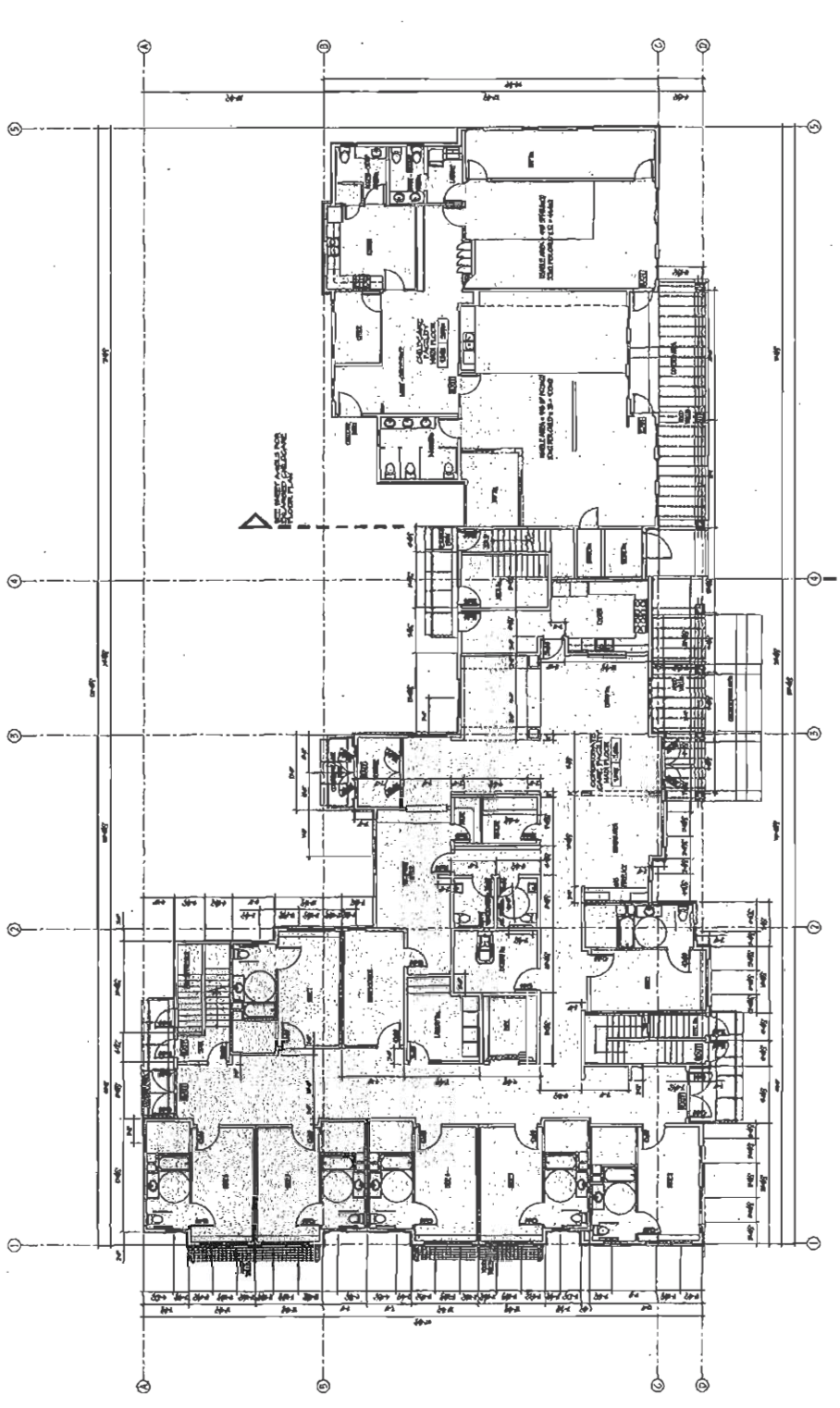
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ANN ARBOR, MI 48106
734.769.1100
WWW.JMARCHITECTS.COM

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| | GLASS PARTITION |
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| | GLASS WINDOW |
| | GLASS SKYLIGHT |
| | GLASS STAIRCASE |
| | GLASS BALUSTRADE |
| | GLASS RAILING |
| | GLASS SCREEN |
| | GLASS PARTITION WITH DOOR |
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| | GLASS PARTITION WITH SCREEN |

- NOTES
- ENTRANCES TO BUILDING WILL MEET DICK 3.0.
 - EXTERIOR ACCESS DOORS WILL BE EQUIPPED WITH AUTOMATIC DOOR OPENERS.
 - LOBBY/STAIRWAYS WILL HAVE DIRECT ACCESS TO PARKING.
 - CONCRETE FINISHES WILL BE SELECTED TO ACCOMMODATE ACCESSIBLE WALKWAYS.
 - CORNER RAILINGS WILL BE SET 2'-0" ABOVE FLOOR.
 - WASHER & DRYER WILL BE TO ACCESSIBLE REAR PORCHES (FRONT LOADING).
 - VERTICAL SEPARATION IS PROVIDED BY MEANS OF ACCESSIBLE ELEVATOR.



MAR 19 2012
 PLAN #3
 DP 11589490



MAIN FLOOR PLAN

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| 16 | GLASS PARTITION WITH SCREEN |

Project Name: CASA DEL SOL
 Project No.: 11589490
 Date: 03/19/12
 Scale: AS SHOWN
 Drawing No.: 11589490-01
 Project Location: ANN ARBOR, MI

Project Architect: J.M. ARCHITECTS/ENGINEERS, INC.
 Project Engineer: J.M. ARCHITECTS/ENGINEERS, INC.

Project Name: CASA DEL SOL
 Project No.: 11589490
 Date: 03/19/12
 Scale: AS SHOWN
 Drawing No.: 11589490-01
 Project Location: ANN ARBOR, MI

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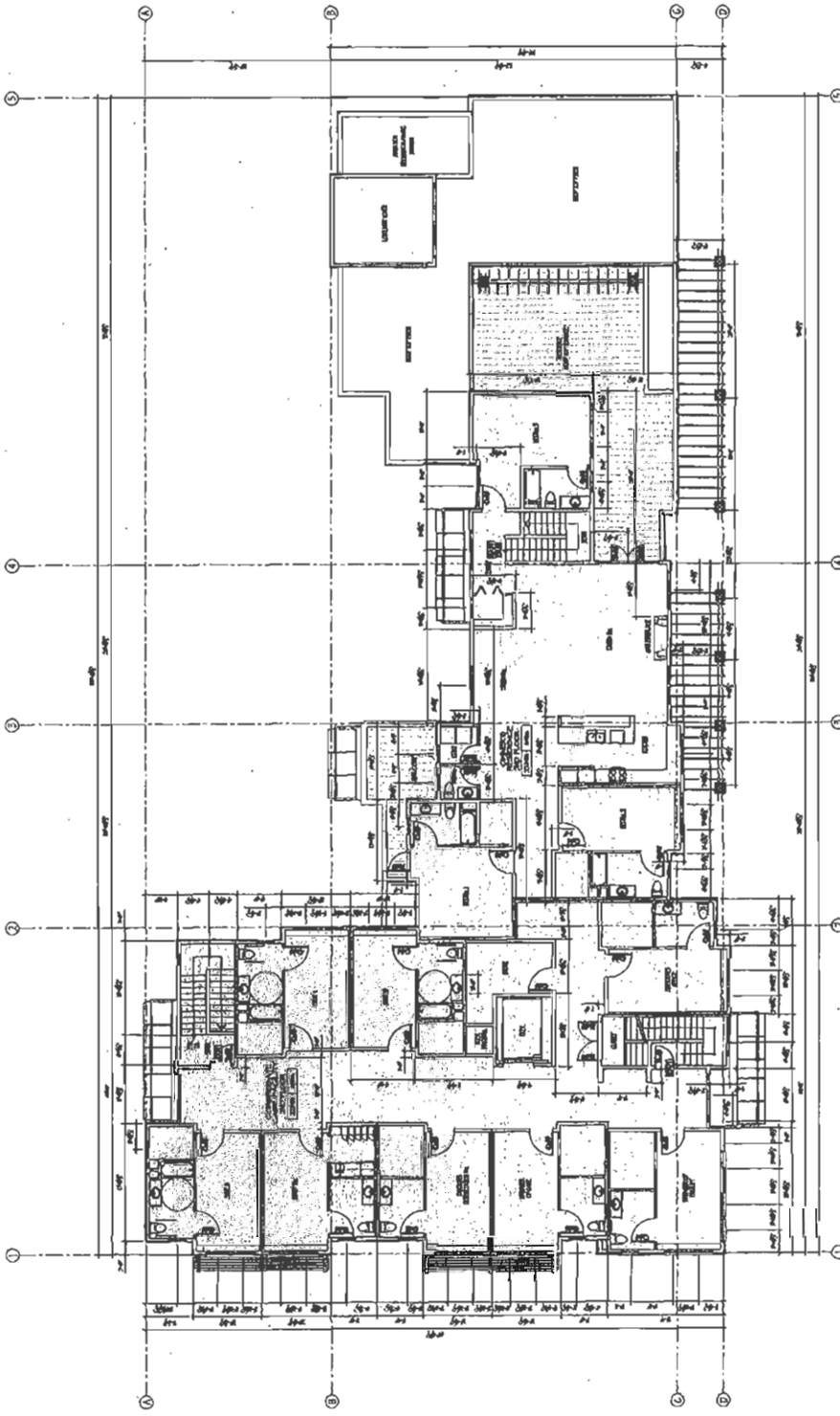
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| 99 | 03/15/2012 | REVISED |
| 100 | 03/15/2012 | REVISED |

Project Name: **CASA DEL SOL**
 Project No: **1589490**
 Project Address: **1000 W. 10th Street, Suite 100, Tulsa, Oklahoma 74103**
 2ND FLOOR PLAN
 Scale: **1/8" = 1'-0"**
 Date: **03/15/2012**
 Drawing No: **A-1012**

- NOTES**
1. BRACKETS TO BUILDING SHALL MEET CODE 51A. EXTERIOR ACCESS DOORS SHALL BE EQUIPPED WITH AUTOMATIC DOOR OPERATORS.
 2. LANDED AREAS SHALL HAVE DIRECT ACCESS TO PARKING.
 3. CONSIDERING FOOTING SHALL BE SELECTED TO ACCESSIBLE DESIGN MEASUREMENTS SHALL BE SET 2'-48" ABOVE FLOOR.
 4. (1) WALKER (1) CRUR WILL BE TO ACCESSIBLE REQUIREMENTS (FRONT LANDED).
 5. VERTICAL SEPARATION IS PROVIDED BY MEANS OF ACCESSIBLE ELEVATOR.



MAR 19 2012
 Plan #4
 DP 11589490



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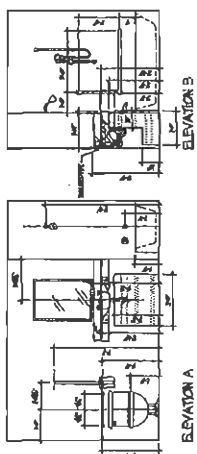
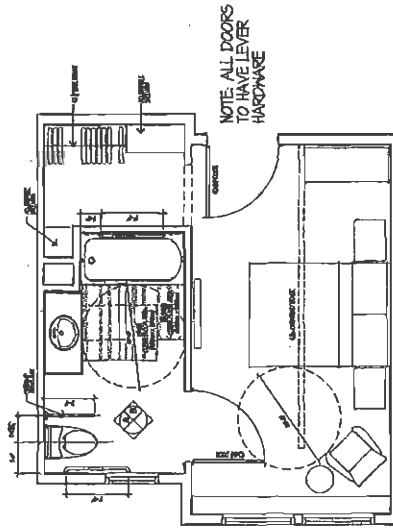
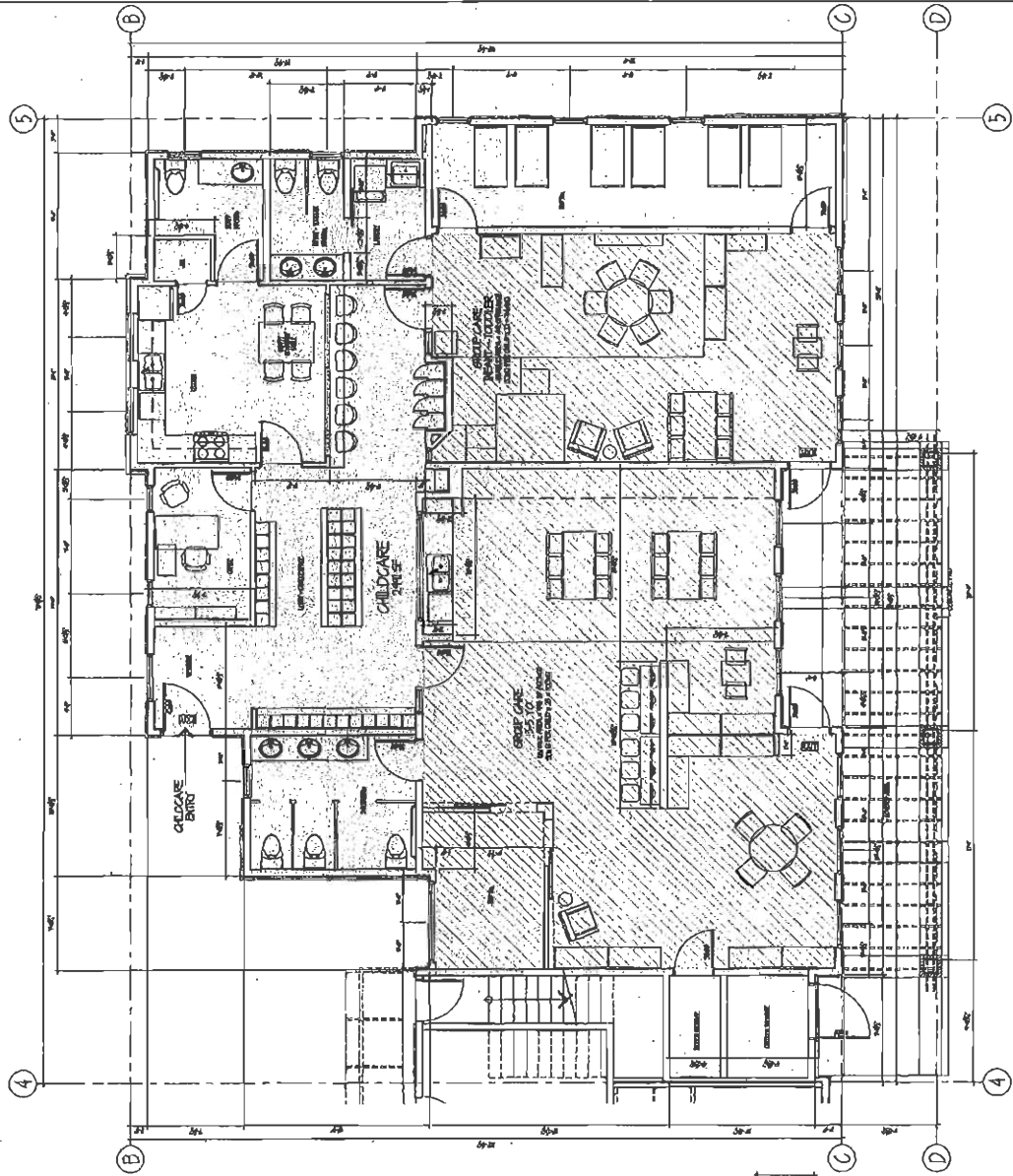
DO NOT SCALE DRAWING

- LEGEND:**
- GENERAL CARE
 - GROUP CARE
 - CHILD CARE

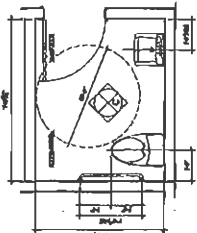
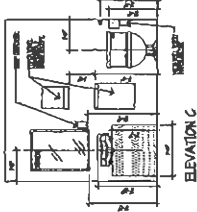
NOTE: SHADED AREA DENOTES THE USABLE AREA CALCULATED FOR THE 3.7M² PER CHILD

| | | |
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| REV | DATE | DESCRIPTION |
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| 2 | 03/19/12 | REVISED PER COMMENTS |
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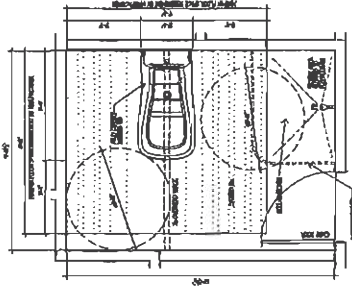
Project Name: **CASA DEL SOL**
 1000 N. 10th St.
 Phoenix, AZ 85006
 Project No.: **11589490**
 Date: **MAR 19 2012**
 Scale: **1/8" = 1'-0"**
 Drawing No.: **11589490-01**
 Title: **CHILD CARE FLOOR PLAN**
 Author: **PAUL J. HARRIS**
 Checker: **PAUL J. HARRIS**
 Date: **03/19/12**
 Scale: **1/8" = 1'-0"**
 Drawing No.: **11589490-01**
 Title: **CHILD CARE FLOOR PLAN**



ELEVATION A
 ENLARGED TYPICAL INT. PLAN & DETAILS
 SCALE: 1/4" = 1'-0"



ELEVATION C
 ENLARGED ACC. HARDWARE
 SCALE: 1/4" = 1'-0"



ENLARGED BATHING R/O.
 SCALE: 1/4" = 1'-0"

MAR 19 2012
 PLAN #5
 DP 11589490

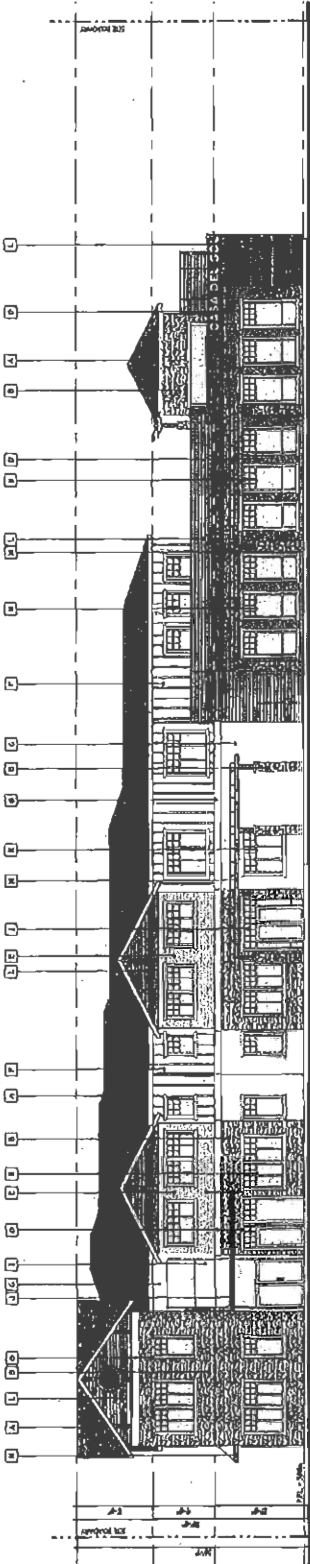
CHILD CARE FLOOR PLAN
 SCALE: 1/8" = 1'-0"

A-1013

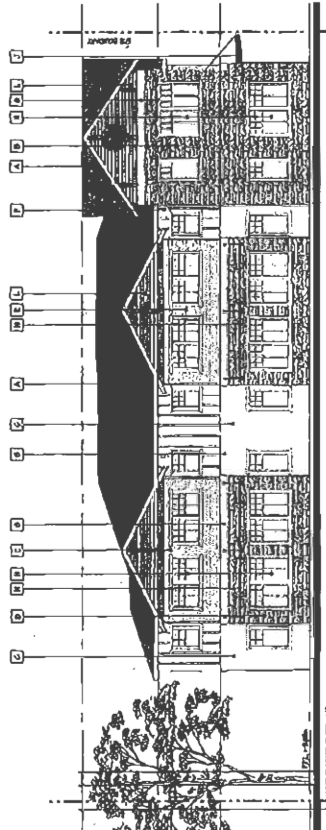
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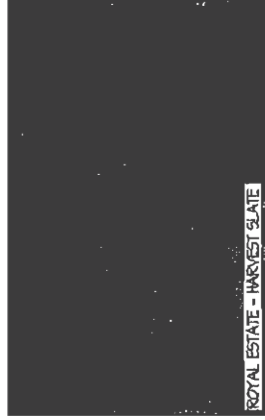
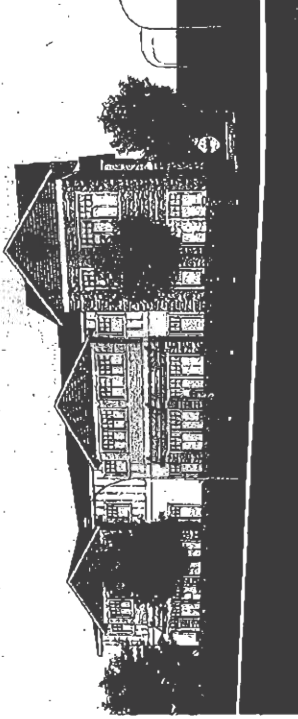
DO NOT SCALE DRAWING



SOUTH ELEVATION (GRANVILLE AVENUE)
 SCALE: 1/8" = 1'-0"



WEST ELEVATION (N.G.A. ROAD) - COMPLEX CARE FACILITY
 SCALE: 1/8" = 1'-0"



MAR 13 2012
 PLAN #6
 DP 1-589490

| BUILDING MATERIALS | | MATERIAL COLOR SELECTION | | FINISH | | COLOR | | SUPPLIER | |
|--------------------|----------|--------------------------|------------------------------|--------|-------|-------|-------|----------|-------|
| 1 | BRICK | 1 | ROYAL ESTATE - HARVEST SLATE | 1 | PAINT | 1 | PAINT | 1 | PAINT |
| 2 | CEILING | 2 | ROYAL ESTATE - HARVEST SLATE | 2 | PAINT | 2 | PAINT | 2 | PAINT |
| 3 | CONCRETE | 3 | ROYAL ESTATE - HARVEST SLATE | 3 | PAINT | 3 | PAINT | 3 | PAINT |
| 4 | GLASS | 4 | ROYAL ESTATE - HARVEST SLATE | 4 | PAINT | 4 | PAINT | 4 | PAINT |
| 5 | ROOFING | 5 | ROYAL ESTATE - HARVEST SLATE | 5 | PAINT | 5 | PAINT | 5 | PAINT |
| 6 | ROOFING | 6 | ROYAL ESTATE - HARVEST SLATE | 6 | PAINT | 6 | PAINT | 6 | PAINT |
| 7 | ROOFING | 7 | ROYAL ESTATE - HARVEST SLATE | 7 | PAINT | 7 | PAINT | 7 | PAINT |
| 8 | ROOFING | 8 | ROYAL ESTATE - HARVEST SLATE | 8 | PAINT | 8 | PAINT | 8 | PAINT |
| 9 | ROOFING | 9 | ROYAL ESTATE - HARVEST SLATE | 9 | PAINT | 9 | PAINT | 9 | PAINT |
| 10 | ROOFING | 10 | ROYAL ESTATE - HARVEST SLATE | 10 | PAINT | 10 | PAINT | 10 | PAINT |
| 11 | ROOFING | 11 | ROYAL ESTATE - HARVEST SLATE | 11 | PAINT | 11 | PAINT | 11 | PAINT |
| 12 | ROOFING | 12 | ROYAL ESTATE - HARVEST SLATE | 12 | PAINT | 12 | PAINT | 12 | PAINT |
| 13 | ROOFING | 13 | ROYAL ESTATE - HARVEST SLATE | 13 | PAINT | 13 | PAINT | 13 | PAINT |
| 14 | ROOFING | 14 | ROYAL ESTATE - HARVEST SLATE | 14 | PAINT | 14 | PAINT | 14 | PAINT |
| 15 | ROOFING | 15 | ROYAL ESTATE - HARVEST SLATE | 15 | PAINT | 15 | PAINT | 15 | PAINT |
| 16 | ROOFING | 16 | ROYAL ESTATE - HARVEST SLATE | 16 | PAINT | 16 | PAINT | 16 | PAINT |
| 17 | ROOFING | 17 | ROYAL ESTATE - HARVEST SLATE | 17 | PAINT | 17 | PAINT | 17 | PAINT |
| 18 | ROOFING | 18 | ROYAL ESTATE - HARVEST SLATE | 18 | PAINT | 18 | PAINT | 18 | PAINT |
| 19 | ROOFING | 19 | ROYAL ESTATE - HARVEST SLATE | 19 | PAINT | 19 | PAINT | 19 | PAINT |
| 20 | ROOFING | 20 | ROYAL ESTATE - HARVEST SLATE | 20 | PAINT | 20 | PAINT | 20 | PAINT |

PROJECT NAME: CASA DEL SOL
 PROJECT NO.: 1589490
 DATE: 03/13/12
 SCALE: AS SHOWN
 ARCHITECT: J.A. ARCHITECTS INC.
 1100 N. W. 11th Ave., Suite 100
 Ft. Lauderdale, FL 33304
 PHONE: 954-561-1100
 FAX: 954-561-1101
 ELEVATIONS
 1 of 10 Pages A-1051

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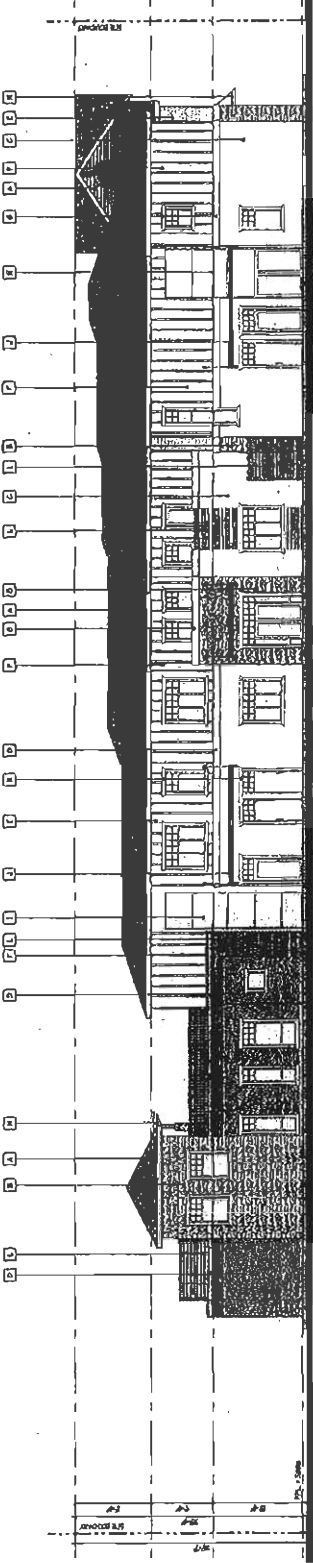


DO NOT SCALE DRAWING

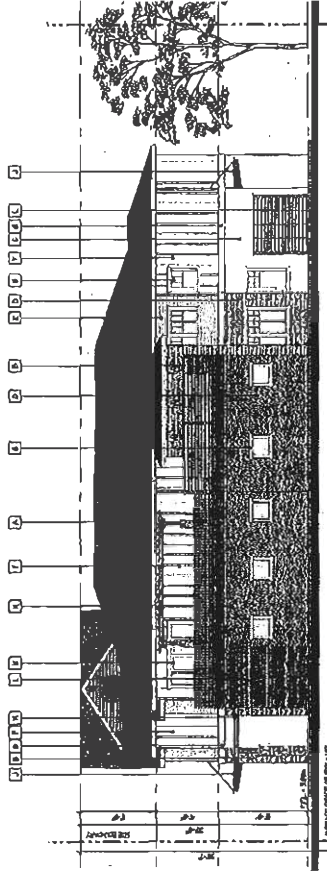
MAR 19 2012

Plan#7

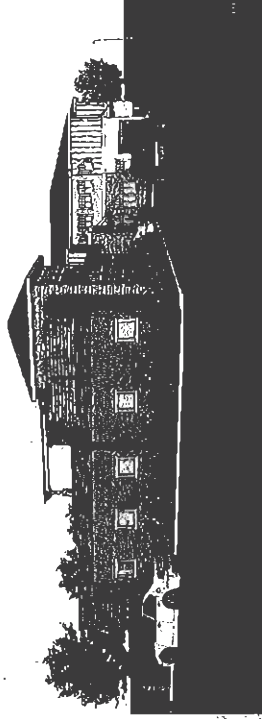
DP 11-589490



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION - CHILD CARE CENTRE
SCALE: 1/8" = 1'-0"



| BUILDING MATERIALS | FINISH | COLOR | SEPT. LTR. |
|----------------------|-----------------|-----------------|------------|
| 1. BRICK | BRICK | BRICK | NO |
| 2. STUCCO | STUCCO | STUCCO | NO |
| 3. CONCRETE | CONCRETE | CONCRETE | NO |
| 4. METAL ROOFING | METAL ROOFING | METAL ROOFING | NO |
| 5. ASPHALT ROOFING | ASPHALT ROOFING | ASPHALT ROOFING | NO |
| 6. SHINGLES | SHINGLES | SHINGLES | NO |
| 7. VINYL SIDING | VINYL SIDING | VINYL SIDING | NO |
| 8. ALUMINUM SIDING | ALUMINUM SIDING | ALUMINUM SIDING | NO |
| 9. BRICK | BRICK | BRICK | NO |
| 10. STUCCO | STUCCO | STUCCO | NO |
| 11. CONCRETE | CONCRETE | CONCRETE | NO |
| 12. METAL ROOFING | METAL ROOFING | METAL ROOFING | NO |
| 13. ASPHALT ROOFING | ASPHALT ROOFING | ASPHALT ROOFING | NO |
| 14. SHINGLES | SHINGLES | SHINGLES | NO |
| 15. VINYL SIDING | VINYL SIDING | VINYL SIDING | NO |
| 16. ALUMINUM SIDING | ALUMINUM SIDING | ALUMINUM SIDING | NO |
| 17. BRICK | BRICK | BRICK | NO |
| 18. STUCCO | STUCCO | STUCCO | NO |
| 19. CONCRETE | CONCRETE | CONCRETE | NO |
| 20. METAL ROOFING | METAL ROOFING | METAL ROOFING | NO |
| 21. ASPHALT ROOFING | ASPHALT ROOFING | ASPHALT ROOFING | NO |
| 22. SHINGLES | SHINGLES | SHINGLES | NO |
| 23. VINYL SIDING | VINYL SIDING | VINYL SIDING | NO |
| 24. ALUMINUM SIDING | ALUMINUM SIDING | ALUMINUM SIDING | NO |
| 25. BRICK | BRICK | BRICK | NO |
| 26. STUCCO | STUCCO | STUCCO | NO |
| 27. CONCRETE | CONCRETE | CONCRETE | NO |
| 28. METAL ROOFING | METAL ROOFING | METAL ROOFING | NO |
| 29. ASPHALT ROOFING | ASPHALT ROOFING | ASPHALT ROOFING | NO |
| 30. SHINGLES | SHINGLES | SHINGLES | NO |
| 31. VINYL SIDING | VINYL SIDING | VINYL SIDING | NO |
| 32. ALUMINUM SIDING | ALUMINUM SIDING | ALUMINUM SIDING | NO |
| 33. BRICK | BRICK | BRICK | NO |
| 34. STUCCO | STUCCO | STUCCO | NO |
| 35. CONCRETE | CONCRETE | CONCRETE | NO |
| 36. METAL ROOFING | METAL ROOFING | METAL ROOFING | NO |
| 37. ASPHALT ROOFING | ASPHALT ROOFING | ASPHALT ROOFING | NO |
| 38. SHINGLES | SHINGLES | SHINGLES | NO |
| 39. VINYL SIDING | VINYL SIDING | VINYL SIDING | NO |
| 40. ALUMINUM SIDING | ALUMINUM SIDING | ALUMINUM SIDING | NO |
| 41. BRICK | BRICK | BRICK | NO |
| 42. STUCCO | STUCCO | STUCCO | NO |
| 43. CONCRETE | CONCRETE | CONCRETE | NO |
| 44. METAL ROOFING | METAL ROOFING | METAL ROOFING | NO |
| 45. ASPHALT ROOFING | ASPHALT ROOFING | ASPHALT ROOFING | NO |
| 46. SHINGLES | SHINGLES | SHINGLES | NO |
| 47. VINYL SIDING | VINYL SIDING | VINYL SIDING | NO |
| 48. ALUMINUM SIDING | ALUMINUM SIDING | ALUMINUM SIDING | NO |
| 49. BRICK | BRICK | BRICK | NO |
| 50. STUCCO | STUCCO | STUCCO | NO |
| 51. CONCRETE | CONCRETE | CONCRETE | NO |
| 52. METAL ROOFING | METAL ROOFING | METAL ROOFING | NO |
| 53. ASPHALT ROOFING | ASPHALT ROOFING | ASPHALT ROOFING | NO |
| 54. SHINGLES | SHINGLES | SHINGLES | NO |
| 55. VINYL SIDING | VINYL SIDING | VINYL SIDING | NO |
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| 57. BRICK | BRICK | BRICK | NO |
| 58. STUCCO | STUCCO | STUCCO | NO |
| 59. CONCRETE | CONCRETE | CONCRETE | NO |
| 60. METAL ROOFING | METAL ROOFING | METAL ROOFING | NO |
| 61. ASPHALT ROOFING | ASPHALT ROOFING | ASPHALT ROOFING | NO |
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| 65. BRICK | BRICK | BRICK | NO |
| 66. STUCCO | STUCCO | STUCCO | NO |
| 67. CONCRETE | CONCRETE | CONCRETE | NO |
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| 69. ASPHALT ROOFING | ASPHALT ROOFING | ASPHALT ROOFING | NO |
| 70. SHINGLES | SHINGLES | SHINGLES | NO |
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| 74. STUCCO | STUCCO | STUCCO | NO |
| 75. CONCRETE | CONCRETE | CONCRETE | NO |
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| 83. CONCRETE | CONCRETE | CONCRETE | NO |
| 84. METAL ROOFING | METAL ROOFING | METAL ROOFING | NO |
| 85. ASPHALT ROOFING | ASPHALT ROOFING | ASPHALT ROOFING | NO |
| 86. SHINGLES | SHINGLES | SHINGLES | NO |
| 87. VINYL SIDING | VINYL SIDING | VINYL SIDING | NO |
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| 91. CONCRETE | CONCRETE | CONCRETE | NO |
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| 93. ASPHALT ROOFING | ASPHALT ROOFING | ASPHALT ROOFING | NO |
| 94. SHINGLES | SHINGLES | SHINGLES | NO |
| 95. VINYL SIDING | VINYL SIDING | VINYL SIDING | NO |
| 96. ALUMINUM SIDING | ALUMINUM SIDING | ALUMINUM SIDING | NO |
| 97. BRICK | BRICK | BRICK | NO |
| 98. STUCCO | STUCCO | STUCCO | NO |
| 99. CONCRETE | CONCRETE | CONCRETE | NO |
| 100. METAL ROOFING | METAL ROOFING | METAL ROOFING | NO |
| 101. ASPHALT ROOFING | ASPHALT ROOFING | ASPHALT ROOFING | NO |
| 102. SHINGLES | SHINGLES | SHINGLES | NO |
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| 106. STUCCO | STUCCO | STUCCO | NO |
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| 133. ASPHALT ROOFING | ASPHALT ROOFING | ASPHALT ROOFING | NO |
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| 200. ALUMINUM SIDING | ALUMINUM SIDING | ALUMINUM SIDING | NO |

Project Name
CASA DEL SOL

Client Name
CASA DEL SOL

Address
11111 11th Street, Silverdale, WA 98158

ELEVATIONS

Sheet No. **00** of **00**
A-1022

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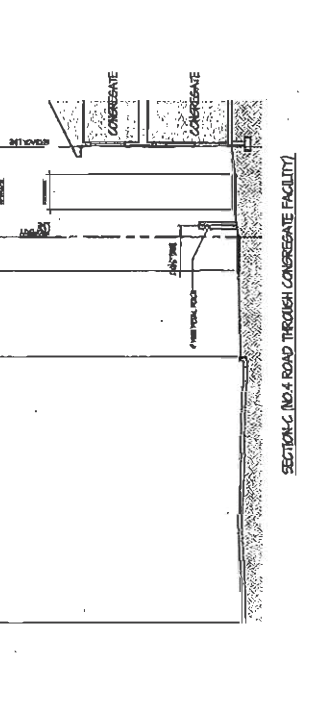
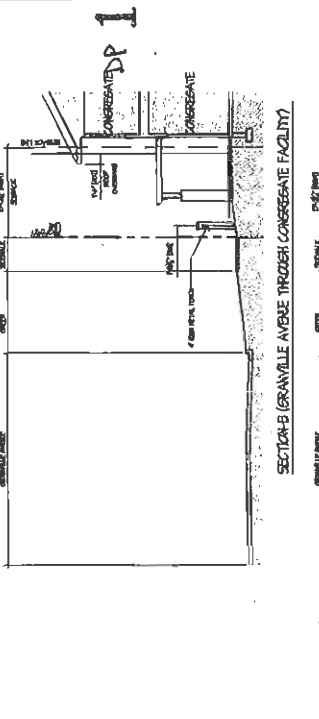
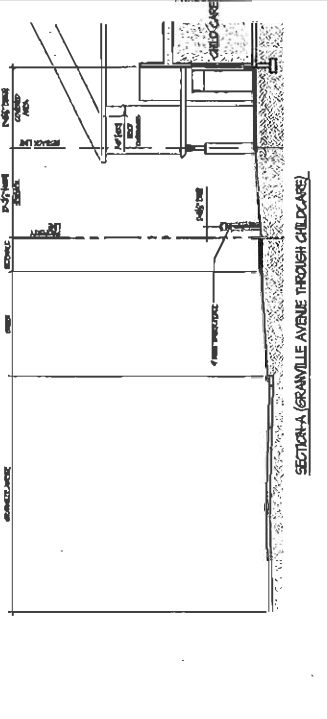
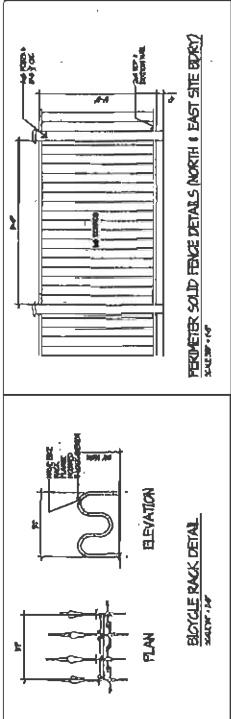
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1. EXISTING CONDITIONS SHOWN AS DASHED LINES.
2. THE DRAWING IS NOT TO BE USED FOR CONSTRUCTION OF ANY STRUCTURE OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.
3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHER SOURCES.
4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHER SOURCES.

MAR 19 2012
PLAN #9
1-58949C

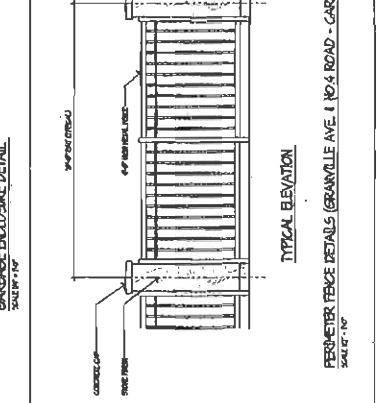
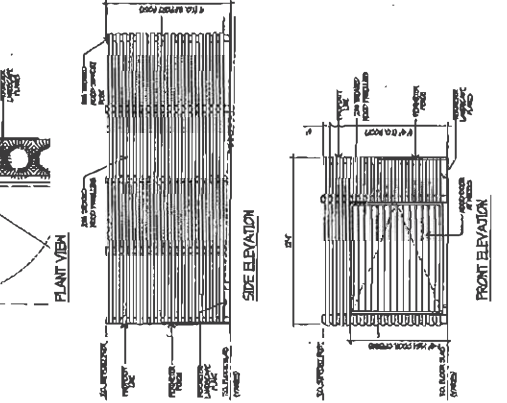
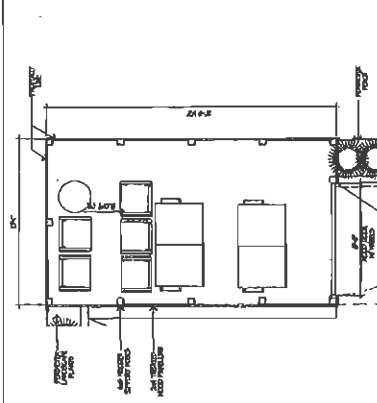
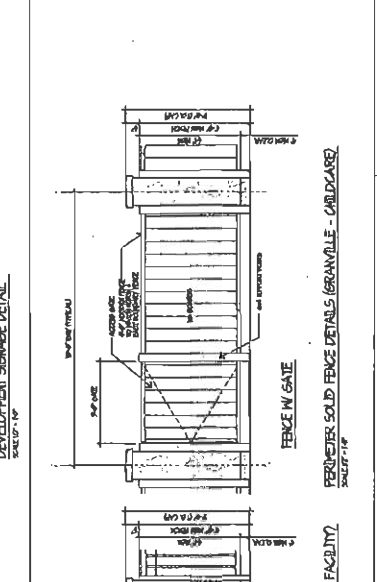
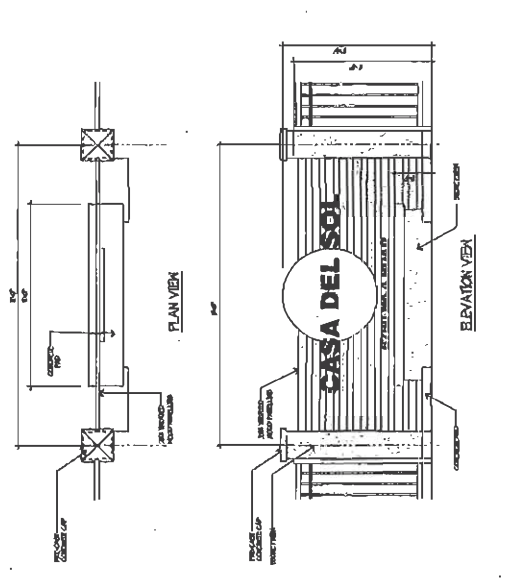
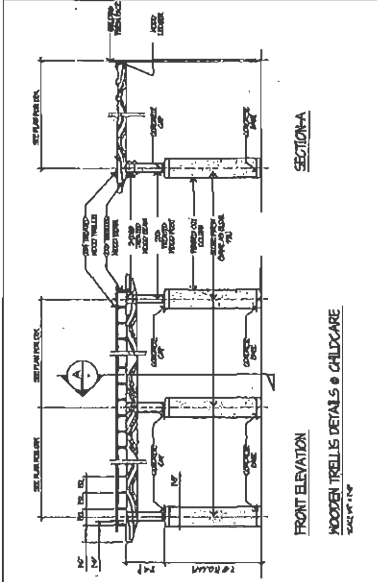
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| ARCHITECT | J&P ARCHITECTURE INC. |
| DATE | 03/19/12 |
| SCALE | AS SHOWN |
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| SCALE | AS SHOWN |
| DATE | 03/19/12 |
| SCALE | AS SHOWN |

Project Name
CASA DEL SOL
1000 N. 10th Street
Suite 100
Phoenix, AZ 85006

PARTIAL SITE SECTION
& DETAILS
SCALE: 1/8" = 1'-0"



PARTIAL SITE SECTION (GRANVILLE AVE & NO.4 ROAD)
SCALE: 1/8" = 1'-0"



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1-589-491

Reference Plan

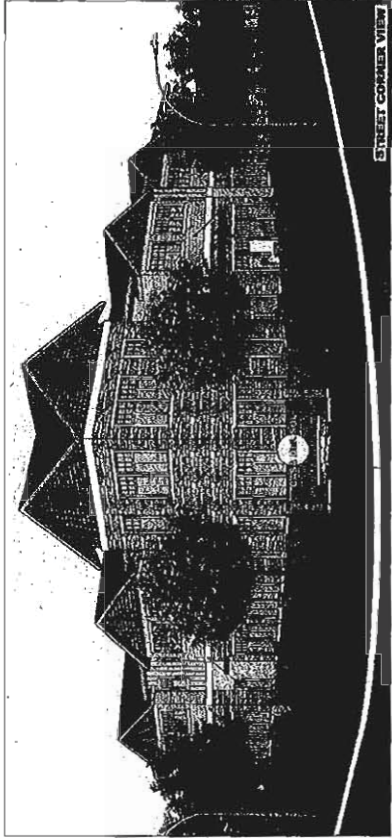
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| 100 | 04/01/09 | REVISED |

CASA DEL SOL
 1000 N. ...
 Charlotte, NC

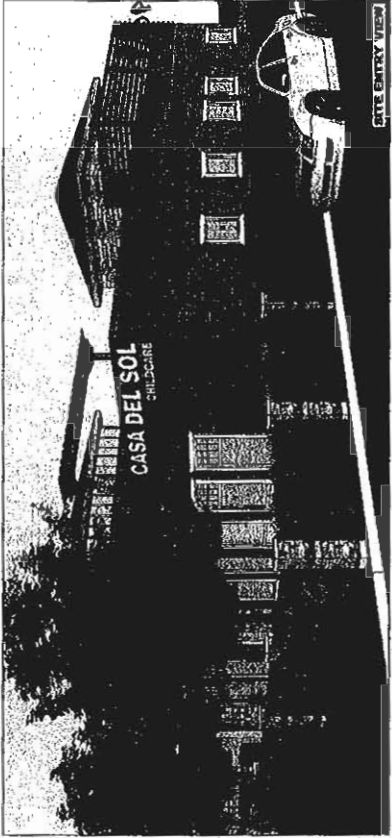
PERSPECTIVES

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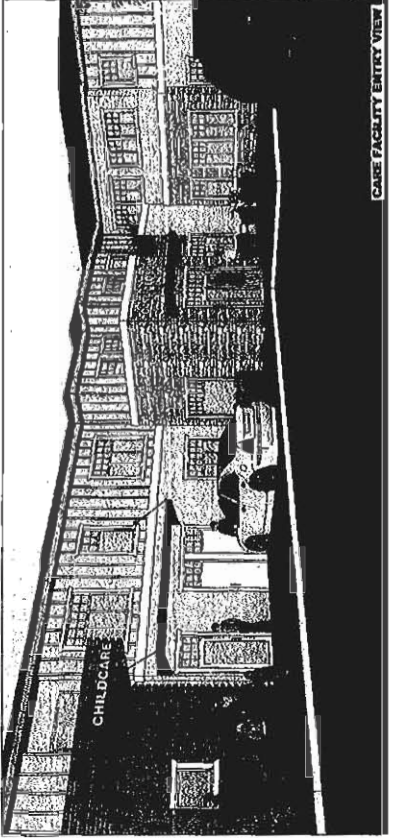
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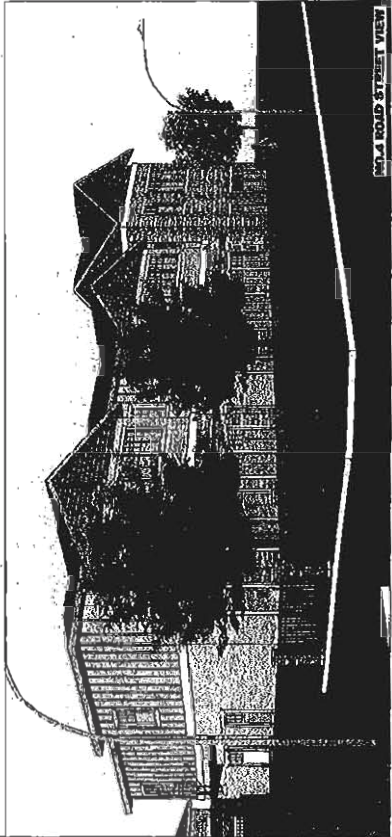
STREET CORNER VIEW



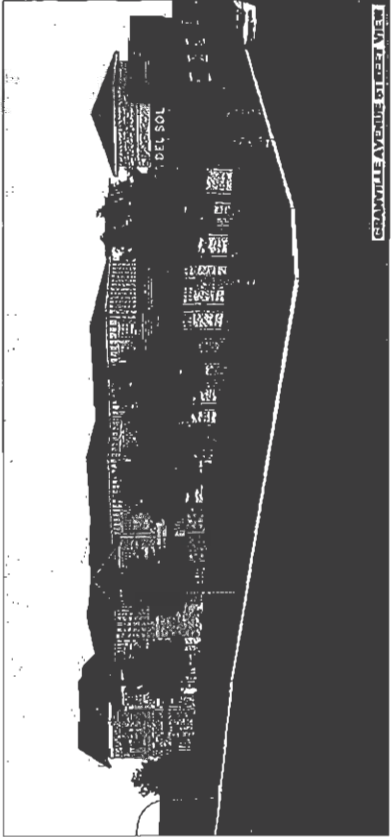
SITE ENTRY VIEW



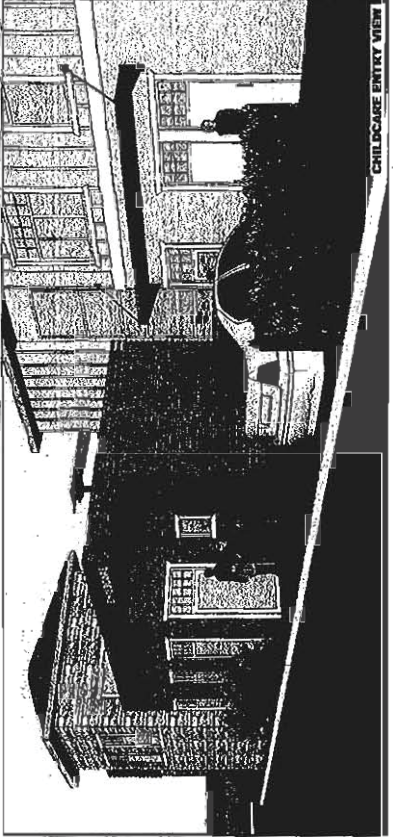
CHILD CARE FACILITY ENTRY VIEW



N.W. 4th ROAD STREET VIEW



GRAMVILLE AVENUE STREET VIEW



CHILD CARE ENTRY VIEW

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 1000 West 10th Street
 Suite 100
 Vancouver, BC V6H 2G6
 Tel: 604-681-1111
 Fax: 604-681-1112
 www.jmcarchitect.com

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LEGEND:

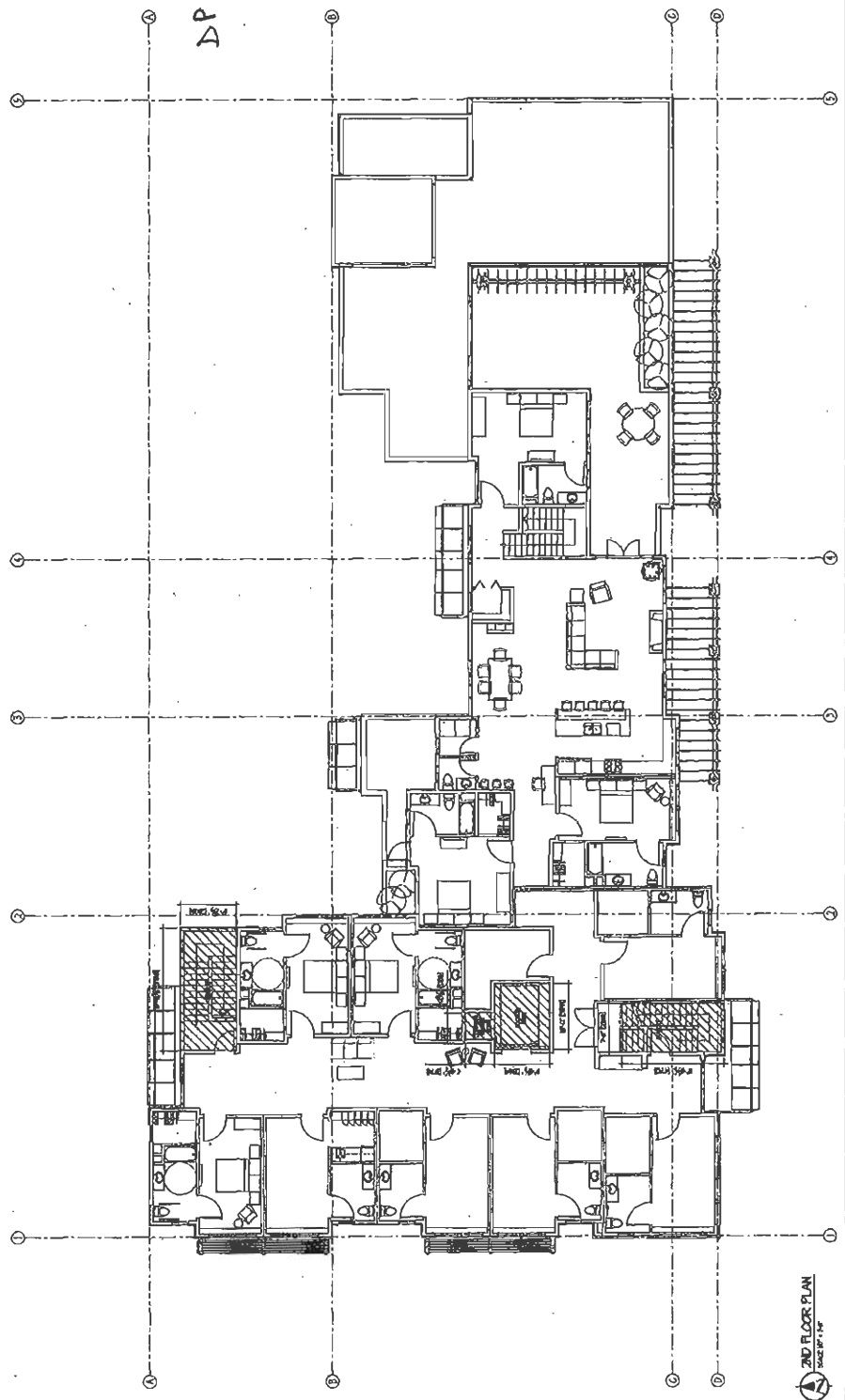


TYPICAL FINISH

| FAR CALCULATIONS | |
|----------------------------|-------------------------------|
| LOT AREA | 1,600m ² 17,321 SF |
| PERMITTED GROSS FLOOR AREA | 2,400m ² 25,781 SF |
| PERMITTED GROSS FLOOR AREA | 2,700m ² 29,071 SF |
| COMMERCIAL CODE AREA | 3,000m ² 32,429 SF |
| MECHANICAL ROOM | 117m ² 1,261 SF |
| SECOND FLOOR AREA | 4,200m ² 45,168 SF |
| ELEVATOR SHAFT | 100m ² 1,076 SF |
| ELEVATOR MACHINE ROOM | 100m ² 1,076 SF |
| STAIR | 100m ² 1,076 SF |
| BASE FLOOR AREA | 2,700m ² 29,071 SF |
| SECOND FLOOR AREA | 2,700m ² 29,071 SF |
| TOTAL FLOOR AREA | 5,400m ² 58,142 SF |
| FLOOR AREA RATIO (FAR) | 1.500 |
| TOTAL FLOOR AREA | 5,400m ² 58,142 SF |
| NET SITE AREA | 2,400m ² 25,781 SF |
| FAR = | 0.24 |

DPI 1589490

Reference Plan



| NO. | REVISION | DATE | BY |
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| 7 | ISSUE FOR PERMIT | 01/10/04 | JMC |
| 8 | ISSUE FOR PERMIT | 01/10/04 | JMC |

Project Name: **CASA DEL SOL**
 1000 West 10th Street
 Vancouver, BC V6H 2G6
 Project No.: 1589490
 Scale: AS SHOWN
 Date: 01/10/04
 Drawn by: JMC
 Checked by: JMC
 Project Manager: JMC

2ND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

FAR OVERLAY SHEET
 2ND FLOOR PLAN
 1/10/04
 V2

