



City of Richmond

Report to Development Permit Panel Planning and Development Department

To: Development Permit Panel

Date: July 12, 2012

From: Brian J. Jackson, MCIP
Director of Development

File: DP 11-588094

Re: **Application by Centro Terrawest Development Ltd. for a Development Permit at 6011 and 6031 No. 1 Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of a four-storey mixed-use building consisting of approximately 704 m² of commercial space and 36 dwelling units at 6011 and 6031 No. 1 Road on a site zoned Commercial Mixed-Use (ZMU21) – Terra Nova.

Brian J. Jackson, MCIP
Director of Development

SB:blg

Staff Report

Origin

Centro Terrawest Development Ltd. has applied to the City of Richmond for permission to develop a four-storey mixed-use building consisting of approximately 704 m² of commercial space at grade, approximately 36 apartment housing dwelling units on upper floors, and an associated two-level parking structure at 6011 and 6031 No. 1 Road on a site zoned Commercial Mixed-Use (ZMU21) – Terra Nova.

The site is being rezoned from "Local Commercial (CL)" and "Single Detached (RS1/F)" to "Commercial Mixed-Use (ZMU21) – Terra Nova" for this project under Bylaw 8875 (RZ 11-586705). Official Community Plan (OCP) Amendment Bylaw 8874 is associated with the redevelopment proposal to redesignate 6011 and 6031 No. 1 Road from "Residential (Single-Family)" to "Mixed-Use" in Schedule 2.2B of Official Community Plan Bylaw No. 7100 (Terra Nova Sub-Area Plan).

The site currently contains a two-storey commercial building on the corner lot and an existing non-conforming duplex on the adjacent lot.

The developer is required to enter into a Servicing Agreement as a requirement of rezoning for the design and construction of works including, but not limited to: frontage improvements along No. 1 Road and Westminster Highway; intersection improvements at the west leg of the intersection to reduce walking distance, enhance pedestrian movement, and introduce a median; No. 1 Road bus stop improvement; and infrastructure works to remove surplus sanitary sewer.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The existing development surrounding the subject consolidated site is described as follows:

- To the north, across Westminster Highway, is the Terra Nova Shopping Centre, zoned Community Commercial (ZC13) – Terra Nova. This shopping centre is also the Official Community Plan (OCP) designated neighbourhood service centre;
- To the east, across No. 1 Road and outside of the Terra Nova Sub-Area boundary, are existing single detached houses, zoned Single Detached (RS1/E);
- To the south, is a 69-unit three-storey townhouse development, zoned Town Housing (ZT19) – No. 1 Road (Terra Nova); and
- To the west, is a 201-unit three-storey townhouse development, zoned Low Density Townhouses (RTL1).

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on April 16, 2012. Public correspondence in support of (14) and opposed to (7) rezoning the property was submitted to the Public Hearing. Support for the proposal was also expressed at the Public Hearing. In addition, after a brief discussion between the owner and Council, staff was directed to explore with the applicant the possibility of creating an on-site indoor amenity space in lieu of a financial contribution.

In response to Council discussion at the Public Hearing, the applicant has revised the proposal to include an indoor amenity room on the second floor, adjacent to the outdoor amenity space.

The following public input was received at the Public Hearing (response in *'bold italics'*):

- Support and concerns regarding land use and density.
- Support for the introduction of one-level housing in the neighbourhood.
- Support for the transition, including setback and landscape, to the neighbouring townhouse complexes.
- Concern regarding the setback to the neighbouring townhouse complex – *a mix of support and concern was expressed regarding the setback. The proposal has been pulled towards the corner to pull away and provide an appropriate stepped down interface to the adjacent townhouse developments.*
- Concern regarding four-storey building height – *As noted in the rezoning Staff Report, the corner site is surrounded on both sides by existing three-storey townhouse development with walkways out to No. 1 Road and Westminster Highway. The proposed building design includes a higher four-storey building height at the corner and a lower one-storey to two-storey building height along shared interior property lines. The taller building height at the corner provides a landmark gateway into the Terra Nova neighbourhood and the lower one-storey to two-storey building height provides a sensitive transition to the adjacent walkways and three-storey townhouse developments to the west and south.*
- Concern regarding traffic congestion – *As noted in the rezoning staff report, the developer's transportation consultant and City Transportation staff have carefully reviewed and are satisfied with the proposal. The proposal includes two (2) separate parking areas, with driveways located as far away from the No. 1 Road and Westminster Highway intersection as possible. The driveway access to No. 1 Road is for the lower resident parking level and the second driveway access to Westminster Highway is for the upper level for residential, commercial and visitor parking. The proposal also includes frontage improvements along No. 1 Road and Westminster Highway as well as improvements to the west leg of the intersection.*
- Concern regarding pedestrian safety – *The applicant is required to design and construct intersection and frontage improvements. Transportation staff have reviewed the proposal and are satisfied that the works will improve pedestrian safety.*
- Concern regarding noise – *The noise concern is addressed by the building location, placed towards the corner and away from the neighbouring townhouse developments. The commercial uses face onto Westminster Highway and No. 1 Road, and a residential interface is provided on the west and south sides of the building.*

- Concern regarding crowding in the neighbourhood schools – *School District staff advised that the two (2) neighbourhood schools, Spul'u'kwuks Elementary and Thompson Elementary, are not over crowded. This is supported by the Long Range Facilities Report 2012, which is available on the School District website (www.sd38.bc.ca).*

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the Commercial Mixed-Use (ZMU21) – Terra Nova site specific zone.

Advisory Design Panel Comments

The Advisory Design Panel supported the proposal subject to the applicant giving consideration to comments provided by the Panel. An annotated copy of the relevant excerpt from the Advisory Design Panel Minutes from May 9, 2012 is attached for reference (**Attachment 2**). The design response has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The development provides an appropriate interface to No. 1 Road and Westminster Highway, consisting of street fronting commercial storefront glazing, a residential entry lobby, and access to parking. The parking is located behind the street level uses, screened from view.
- The development provides a sensitive interface to the adjacent townhouse developments to the south and west. As noted above, the four-storey building massing is pulled to the corner and a lower one-storey to two-storey parking structure provides an appropriate stepped down interface to the adjacent walkways and three-storey townhouse developments to the west and south. On both the south and west edges of the subject corner site, the adjacent townhouse developments include semi-private walkways that provide a buffer between the townhouse yards and the subject site. The development is set back approximately 3 m from the shared property lines and presents tiered landscaping as a sensitive buffer, including tiered landscaping beds, shrubs, trees and climbing vines. The upper parking level is screened with a solid parapet, lumber trellis, and wire mesh with climbing vines.

Urban Design and Site Planning

- The subject corner site is a gateway into the Terra Nova neighbourhood with significant visibility. The project has been design as a landmark building, establishing an active commercial character anchored at the corner, complementing the existing Neighbourhood Service Centre, and completing the gateway into the Terra Nova neighbourhood. The design provides an architectural contrast to the residential character of the adjacent three-storey townhouse projects.

- The building massing includes an L-shaped four-storey low-rise building anchored at the corner and filled in with an associated parking podium. The podium structure is pushed down into the site to provide one-level of enclosed parking that is 0.9 m lower than the ground floor commercial space, and a level of surface parking that is 1.8 m higher than the ground floor commercial space. The second floor landscaped outdoor amenity area covers a portion of the upper parking level. The south and west edges of the podium present a concrete wall that is 2.8 m to 3.5 m higher than the semi-private pathways on the adjacent townhouse development sites. The ground level views toward the parking podium are mitigated with tiered landscaping beds, leaving an exposed wall height of approximately 1.5 m, which is softened with planting. The views down onto the exposed parking level are mitigated with a perimeter trellis structure with wire mesh and Evergreen climbing vines.
- An indoor amenity space is provided at the second floor level, connected to the outdoor amenity space. The 70 square metre indoor area meets the OCP requirement.
- An outdoor amenity area is also provided at the second floor level, partially covering the upper parking level. The 216 square meter area meets the OCP requirement. The outdoor amenity area includes planting beds, a barbeque and social gathering area, and a children's play area with play house, sandbox, stepping stones and tall grass hide and seek area.
- The development accommodates wheelchair access to all commercial and common areas.
- Two (2) adaptable units are provided at the second floor level. These units are designed to the BC Building Code adaptable unit criteria to accommodate future potential renovations for a resident in a wheelchair, with wider doors and larger areas in the bathroom, kitchen and hall. Conversion would involve only minor interior works.
- Aging in place features will be provided in all units (e.g. solid blocking in all washroom walls to accommodate future potential grab bar installation, and lever-type handles for faucets and doors).
- Garbage and recycling needs have been accommodated onsite. Residential recycling is stored at the lower parking level, and is required to be moved up to the truck loading bay on the upper parking level for weekly collection. Garbage and commercial recycling is stored and collected at the upper parking level.

Architectural Form and Character

- As noted above, the project has been designed as a landmark building and gateway to the Terra Nova neighbourhood. The development provides a visual contrast to the existing neighbouring townhouse developments with a contemporary architectural style, commercial storefronts at grade, additional building height and simpler massing.
- The appearance of the parking structure is mitigated through architectural and landscaping treatments as described above.
- The contemporary design includes streetscape storefront glazing, a brick commercial podium with lower grey canvas canopies and taller accent heavy timber trellises with glass canopies. The upper levels feature horizontal Hardie-siding, Hardie wall panels, heavy timber trellises, and wood screen and soffit accents.
- The project features a taupe and brown colour palette with dark brown to black accents and white-framed vinyl windows.
- Outdoor balconies are provided for 34 of the 36 apartment units. The upper level balconies are partially inset and provided in a paired arrangement that provides a massing articulation to the building facades. The paired balconies include a detailed horizontal slatted wood privacy screen between adjacent units.

Landscape Design and Open Space Design

- The landscape treatment has been designed to provide an attractive outdoor amenity space for the residents, an engaging streetscape experience for pedestrians and shoppers, and a respectful transition to the neighbouring townhouse developments.
- The landscape design includes landscape treatment at the second floor residential level and also at the ground level on all edges of the site. The palette includes: ground covers, ornamental grass, shrubs, climbing vines, trees, sand, gravel, stepping stones, benches, garbage cans, granite, concrete pavers, and allan block landscape wall.
- The No. 1 Road and Westminster Highway frontages will be improved through the required Servicing Agreement (SA 12-610538) with new sidewalk, grass boulevard, street trees, bicycle racks, and special treatment at the corner and crosswalk.
- An attractive outdoor amenity space is provided at the second floor level, featuring: a treated and raised Cedar plank open deck, barbeque, seating, children's play areas for use by residents. The outdoor amenity is connected to the indoor amenity space and is surrounded by landscaping beds and a trellis structure with open mesh that supports deciduous climbing vines. The landscaping beds include a mix of planting, including four (4) small ornamental trees. Apartment units facing onto the outdoor amenity area have semi-private decks that are separated from the common area with soft landscaping and yew hedging.
- The children's play area offers a variety of play opportunities in a compact area: a log playhouse, a sand pit with log edge, and a hide and seek area with a tunnel structure, stepping stones and tall grass. The play area edge is defined with double-sided benches that accommodate both supervision of the play area and seating for the open deck area.
- No. 1 Road and Westminster Highway are treated with hardscape materials that are appropriate for the commercial character and higher pedestrian traffic volumes associated with the neighbourhood gateway, Neighbourhood Service Centre, and bus stops. The setback area between the building facades and the new sidewalk is largely treated with concrete unit pavers and a defining edge of granite pavers. Limited ramping with glass guardrails and concrete stairs is also needed along the Westminster Highway façade to address the grade transition from the lower neighbouring properties and the higher flood plain construction level required for the commercial units.
- The landscape design for the south and west edges of the site are a soft transition to the neighbouring townhouse development sites. The setback between the parking structure and the neighbouring pedestrian pathways is terraced with an allan block wall and landscaped with: groundcover, shrubs, climbing vines, and 13 new trees. Azaleas and Rhododendrons are particularly featured in this area.

Tree Management

	Existing	To be Retained	Compensation
On-site trees	4	0	21 new trees, exceeding the OCP 2:1 replacement ratio
Off-site trees in neighbouring properties	10	10	To be protected

- As noted in the rezoning staff report, a tree preservation report was submitted and accepted by Tree preservation staff. The table above summarizes the findings of the arborist report and compensation proposed by the applicant.
- All four (4) of the existing trees on the site are being removed due to structural defects.

- The landscape design includes 21 new trees, which significantly exceeds the 2:1 replacement ratio identified in the OCP.
- The applicant will also be planting new street trees along the Westminster Highway and No. 1 Road frontages through the required Servicing Agreement (SA 12-610538).
- The applicant is required to protect the 10 existing trees located on neighbouring properties to the west and south. The neighbouring trees should not be impacted by the proposed development as the trees are all located behind a retaining wall at a higher elevation (1-2 m above the existing grade of the proposed development site). As a result of these trees being located at a higher grade, tree protection fencing is not required. The proposed development site can meet neighbouring grades with little impact to neighbouring trees.

Crime Prevention Through Environmental Design (CPTED)

- The project has been designed to accommodate CPTED principles.
- Natural surveillance is provided throughout the project.
- Clear vision glazing is included in exit stairwell doors and vestibules.
- The lower parking level is secured, has appropriate lighting levels and light coloured paint.
- Boundaries between public, semi-public and private spaces have been clearly defined.

Transportation

- Pedestrian routes along No. 1 Road and Westminster Highway are enhanced with projecting canopy weather protection and seating opportunities.
- Vehicular access will be from No. 1 Road and Westminster Highway, located as far away from the intersection as possible, to a two-level parking structure. The No. 1 Road driveway is for the lower residential parking level and the Westminster Highway driveway is for the upper parking level, which includes residential, commercial and visitor parking.
- The applicant will design and construct frontage transportation infrastructure improvements through a Servicing Agreement secured through rezoning, including: improvements along No. 1 Road and Westminster Highway; improvements to the west leg of the intersection to enhance pedestrian movement, and to introduce a median; and bus stop improvement.
- A contribution of \$15,300 was secured through the rezoning for audible pedestrian signal (APS) upgrade at the No.1 Road and Westminster Highway intersection.
- The parking strategy for the development was identified through the rezoning application process and complies with Zoning Bylaw 8500. The following transportation demand management (TDM) measures were secured through the rezoning:
 - Contribution of \$22,000 for a bus shelter for the nearby bus stop on No.1 Road. Off site works will include pouring a concrete bus pad to support the shelter.
 - Improvements to the west leg of the No.1 Road and Westminster Highway intersection, including: geometric improvements to the corners to reduce pedestrian walking distance, wider 4.5 m crosswalk with special surface treatment and design, and construction of a centre median up to the site access, including decorative illuminated bollards.
 - Provision of two (2) benches along the site frontages. The benches are to be provided against the building face within the setback area and may be integrated with the building.
 - Provision of at least one end of trip facilities for the commercial component.
 - Provision of electrical vehicle plug-ins (240 volts) for 20% of the residential parking spaces (10 spaces).
- Registration of a legal agreement on Title, prohibiting conversion of bicycle storage area into habitable area (storage space) was secured through rezoning.
- Truck loading is accommodated onsite in the upper parking level.

Servicing Capacity

- Servicing capacity was addressed through the rezoning. There are no identified concerns with storm sewer, sanitary sewer, or water service capacity.
- An existing sanitary sewer in a 3 m wide statutory right-of-way (SRW) that runs along the rear of the site will be shorted and the SRW area reduced through the required Servicing Agreement, which was secured through the rezoning.

Noise Sensitive Development

- As noted in the rezoning Staff Report, the subject site is impacted by the OCP Aircraft Noise Sensitive Development (ANSD) Policy. The site is located within Area 4 of the ANSD map, which allows for new residential uses and requires registration of a restrictive covenant on title to address aircraft noise mitigation and public awareness. Registration of an aircraft noise sensitive use restrictive covenant was secured through the rezoning.
- This legal agreement requires development to be designed and constructed in a manner that mitigates potential aircraft noise within the proposed dwelling units. Dwelling units must be designed and constructed to achieve:
 - a) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Unit	Maximum Noise Levels (decibels)
Bedrooms	35 dB
Living, dining, recreation rooms	40 dB
Kitchen, bath, hallways, and utility rooms	45 dB

- b) The ASHRAE 55-2004 “Thermal Environmental Conditions for Human Occupancy” standard for interior living spaces.
- Detailed acoustic evaluation information has been provided by BKL Consultants Ltd. in a report dated May 30, 2012 and sealed by Ping Chen, P. Eng. The report has been placed in the Development Permit application file and further documentation will be required at the Building Permit stage. The approach to provide the required indoor sound levels with windows closed is to incorporate:
 - A flat roof assembly, including at minimum, membrane, fibreboard, R28 rigid insulation, 5/8 in. plywood, engineered wood joists and 5/8 in. gypsum wall board.
 - Exterior wall assemblies, including at minimum, Hardi panel or siding, ½ in. plywood, wood studs, batt sulation and 5/8 in. gypsum wall board.
 - Double glazed CSA approved exterior windows (OITC24) and patio doors (OITC26).
 - In addition, acoustic attenuation will be provided through the exterior wall assemblies, exterior doors and air tightness required by the BC Building Code.
 - Detailed information regarding the mechanical ventilation system and compliance with ASHRAE 55 – 2004 has been provided by Jade West Engineering Co. Ltd. in a letter dated May 30, 2012 and sealed by John Makepeace, P. Eng. The letter has been placed in the Development Permit application file and further documentation is required at the Building Permit stage. The approach to provide the required thermal comfort inside all of the apartments with windows closed throughout the year is to incorporate a split system air-to-air heat pump units complete with electric backup heat. Individual residential and commercial units will be provided with their own systems. The mechanical equipment will be installed in a covered area in the upper parking level and in a screened area in the middle of the building roof.
 - BKL Consultants Ltd. has also provided a noise bylaw conformance study that confirms that the mechanical units will comply with the City of Richmond’s Noise Regulation Bylaw.

Sustainability

- The addition of a mixed-use development is provided in close proximity to the neighbourhood service centre and recreation amenities. This project will introduce apartment housing as a new housing form in the established Terra Nova neighbourhood.
- The project supports alternative forms of transportation with a location adjacent to transit service, on-site bicycle storage, pedestrian friendly design, and the provision of a comprehensive transportation demand management measures package that includes 10 electric vehicle plug-in stations for residents.
- Secure common areas are proposed for recycling, organics, and garbage storage.
- Reusable wood-frame construction materials are used for the top three levels.
- Energy efficient mechanical design.

Affordable Housing

- Participation in the City's Affordable Housing Strategy was secured through the rezoning. The applicant will be providing a cash contribution towards the City's Affordable Housing Strategy in the amount of \$4.00 per buildable square foot of residential land use (e.g. \$125,672).

Public Art

- Participation in the City's Public Art Program was secured through the rezoning. The applicant will be installing Public Art with a value of at least \$0.75 per buildable square foot of residential space and \$0.40 per buildable square foot of commercial space (e.g. \$26,705). The applicant is currently working with the City's Public Art Coordinator and the City's Public Art Program.

Flood Plain Management

- As noted in the rezoning Staff Report, the proposal includes a 2.25 m GSC ground floor elevation for the ground level commercial space, which is 0.3 m above the highest adjacent crown of road. This elevation accommodates the direct, level access from the city sidewalk needed for active retail uses at grade.
- As noted in the rezoning Staff Report, the proposed ground floor elevation is lower than the 2.6 m GSC requirement specified in the City's Flood Plain Designation and Protection Bylaw No. 8204 and a site specific exemption to lower the minimum flood construction level from 2.6 m GSC to 2.25 m GSC (0.3 m above the highest adjacent crown of road) is acceptable to the Director of Engineering for this relatively small orphan development site. Accordingly, registration of a flood plain covenant on title was secured through rezoning. The covenant requires:
 - A minimum habitable elevation of 2.25 m GSC for non-residential uses for the lifetime of the building; and
 - All building construction below 2.6 m GSC is to be constructed in a manner that is not subject to damage by flood water (e.g. concrete construction below this datum and mechanical equipment/electrical outlets all raised above 2.6 m GSC).
- In addition, the proposed site specific zone requires the residential apartment housing units to be limited to the upper floors.

Conclusions

The proposal will be a landmark building at the gateway to the Terra Nova neighbourhood. The proposal will complement the existing Neighbourhood Service Centre with new retail space in an attractive contemporary low-rise project. The proposal will also introduce one-level housing into the neighbourhood in a location that is close to transit and services. The applicant has addressed staff and the Advisory Design Panel's comments regarding adjacency, site planning and urban design, architectural form and character, and landscape. Staff recommends that the Development Permit be issued.

Sara Badyal.

Sara Badyal, M. Arch, RPP
Planner 2

SB:blg

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$180,497.78

Prior to future Building Permit issuance, the developer is required to complete the following:

- Incorporation of measures in Building Permit (BP) plans as determined via the Rezoning and Development Permit processes, including:
 - a) Acoustic and mechanical features to mitigate the impact of potential aircraft noise;
 - b) Transportation Demand Management features;
 - c) Accessibility features; and
 - d) Sustainability features.
- Submission of sealed engineering reports regarding Acoustic and mechanical features to mitigate the impact of potential aircraft noise.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/tp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.



DP 11-588094

Attachment 1

Address: 6011 and 6031 No. 1 Road

Applicant: Centro Terrawest Development Ltd. Owner: Centro Terrawest Development Ltd.

Planning Area(s): Terra Nova Sub-Area (Thompson)

	Existing	Proposed
Site Area:	2,815 m ²	2,606 m ²
Land Uses:	Commercial / Residential	Mixed-Use
OCP Designation:	Neighbourhood Residential	Complies
Zoning:	Local Commercial (CL) & Single Detached (RS1/F)	Commercial Mixed-Use (ZMU21) – Terra Nova
Number of Units:	2-storey commercial building & 1 duplex	36 apartments & up to 9 CRU

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 1.4	1.4	None permitted
Lot Coverage:	Max. 75%	70%	None
Setback: No. 1 Rd	Min. 1.5 m	1.5 m	None
Westminster Hwy	Min. 1.5 m	1.5 m	
Side yard (west)	Min. 3 m	3 m	
Rear yard (south)	Min. 3 m	3 m	
Height (m):	Max. 16 m	16 m & 4 storey	None
Lot Size:	Min. 2,400 m ²	2,606 m ²	None
Off-street Parking Spaces:	With TDMs:	With TDMs:	None
Commercial/Visitor	22	22	
Resident	51	51	
Accessible	(2)	(2)	
Total	73	73	
Small Car Spaces:	Max 50%	45% (33 spaces)	None
Tandem Parking Spaces:	Permitted for residents	None	None
Bicycle Storage:			None
Class 1 (secured)	47	54	
Class 2 (racks)	10	10	
Amenity Space – Indoor:	Min. 70 m ²	70 m ²	None
Amenity Space – Outdoor:	Min. 216 m ²	216 m ²	None

Annotated Excerpt from the Minutes from Advisory Design Panel Meeting

Wednesday, May 9, 2012

APPLICATION: DP 11- 588094
APPLICANT: Centro Terrawest Development Ltd.
LOCATION: 6011/6031 No 1 Road

Applicant's Presentation

Architect Rob Whetter, Cotter Architects, and Landscape Architect Mark Synan, van der Zalm + Associates Inc., presented the project on behalf of the applicant.

Panel Discussion

Comments from the Panel included the following topics:

- good to see inventive use of levels to gain parking;
- strength of podium/plynth base is diminished by extruding masonry plane up as parapet; keep it low and make it heavy, weighted and integral as a podium; suggest to incorporate another lighter glass element as guard rail – *The podium base has been maintained in brick to provide a heavy commercial base in contrast to the lighter residential structure above. Articulation has been added with inset areas of lower height and lighter brick colour.*
- amenity space is still evolving; appears exposed to the sun; treatment of espaliered trees along trellis structures will take a significant amount of maintenance time and expertise; explore other options to green up the trellises; incorporate trees up on outdoor amenity space to provide immediate shade to the play area – *Three ornamental shade trees incorporated:*
- private patios and play area needs separation to provide privacy; consider planting between these spaces – *Privacy improved with added yew hedge;*
- when driving up along Westminster Highway, not sure if corner unit will interfere with the sightline of traffic – *The building is set back behind road dedication and a corner cut to provide appropriate sightlines at the corner.*
- when coming out of the building on No. 1 Road from the residential parking, motorists should not be allowed to make a left turn as it is quite close to the intersection – *Vehicle access was carefully reviewed by the developer's consultant Bunt & Associates in a Transportation Study and is acceptable to Transportation staff.*
- reduce roof overhang at the corner (the rest show 5-foot overhangs); will overshadow Westminster Highway during winter – *Overhang improved;*
- drawings show what appears to be cantilevered decks; recommend not to use them as they may fail in the long run; suggest using post and beam for support – *Appropriate structural engineered design will be provided, including the balconies.*
- project is a nice addition to the urban form of the neighbourhood; will add vitality to the corner of No. 1 Road and Westminster Highway; nice departure from the hybrid suburban model across the street; will provide more variety to retail opportunities;

- with regard to facade types, consider variation in entrance types, i.e. glazed doors and roll-up doors, as well as puncturing or recessing entrances to create more variety and depth in the facade – The commercial streetscape façade articulation has been improved with areas inset 0.2 m, variations in podium height, weather protection, and brick colour. As tenants become identified, there will be opportunities for adding variety to storefront detailing.
- eliminate corner planting to improve connection at corner CRU – ***Considered, but providing corner connection to CRU would significantly impact usable commercial floor space. The CRU floor level is higher than the sidewalk to meet flood plain elevation requirements, and the corner planter mitigates the grade difference.***
- public art can be more integrated into the building or the gibeon wall – ***Noted. Public art opportunities are being explored through the City’s public art process;***
- eliminate grade transitions to provide full accessibility from indoor amenity space to the outdoor amenity area – ***Wheelchair access to outdoor amenity provided with added ramp;***
- with regard to urban agriculture, provide dedicated separate planting, i.e. tubs, steel planters, etc., as opposed to putting in raised perimeter planting – ***As requested, landscaping provided in raised perimeter planters, privacy buffers provided to adjacent patios and children’s play area expanded. Agricultural gardening areas removed due to space restrictions;***
- consider a distinct kind of sand play as opposed to spring toys to provide more useful play – ***Children’s play area expanded with imaginative play opportunities, playhouse, tunnel, stepping stone, grass and sandbox areas;***
- gibeon stone is a curious choice for wall material and form; consider simpler, more restrained, inspired or relevant choice of form and materials – ***Gibeon wall replaced with Allan block retaining wall;***
- appreciate the sophistication of proposed streetscape paving materials; will help enrich the streetscape; hoping for positive response from Transportation;
- pleased to see the adaptable unit; consider making other units with walk-through closets adaptable by considering alternate location for the refrigerator in the U-shaped kitchen; will make these units more desirable to seniors and enhance their marketability – ***Considered.***
- pleased to know that upper residential parking is covered and has accessible stall;
- project is well suited to its corner location and is much better than what exists presently; great project from an urban design standpoint; appreciate the idea of having a median to create an entrance to the Terra Nova community;
- avoid stuck-on appearance of wood element, i.e. corbel on drawing No. 4 in A-901; need to mitigate visually – ***Design of corbel improved to achieve a more integrated appearance.***

Panel Decision

It was moved and seconded that DP 11-588094 be supported to move forward to the Development Permit Panel subject to the applicant (1) addressing accessibility access to the outdoor amenity space; and (2) giving consideration to the comments of the Panel.

CARRIED



City of Richmond

Development Permit

No. DP 11-588094

To the Holder: CENTRO TERRAWEST DEVELOPMENT LTD.

Property Address: 6011 AND 6031 NO. 1 ROAD

Address: C/O KUSH PANATCH
200 – 6791 ELMBRIDGE WAY
RICHMOND, BC V7C 4N1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #13 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$180,497.78. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 11-588094

To the Holder: CENTRO TERRAWEST DEVELOPMENT LTD.
Property Address: 6011 AND 6031 NO. 1 ROAD
Address: C/O KUSH PANATCH
 200 – 6791 ELMBRIDGE WAY
 RICHMOND, BC V7C 4N1

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

ISSUED BY THE COUNCIL THE

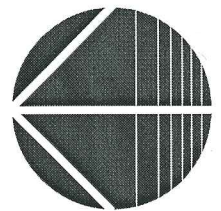
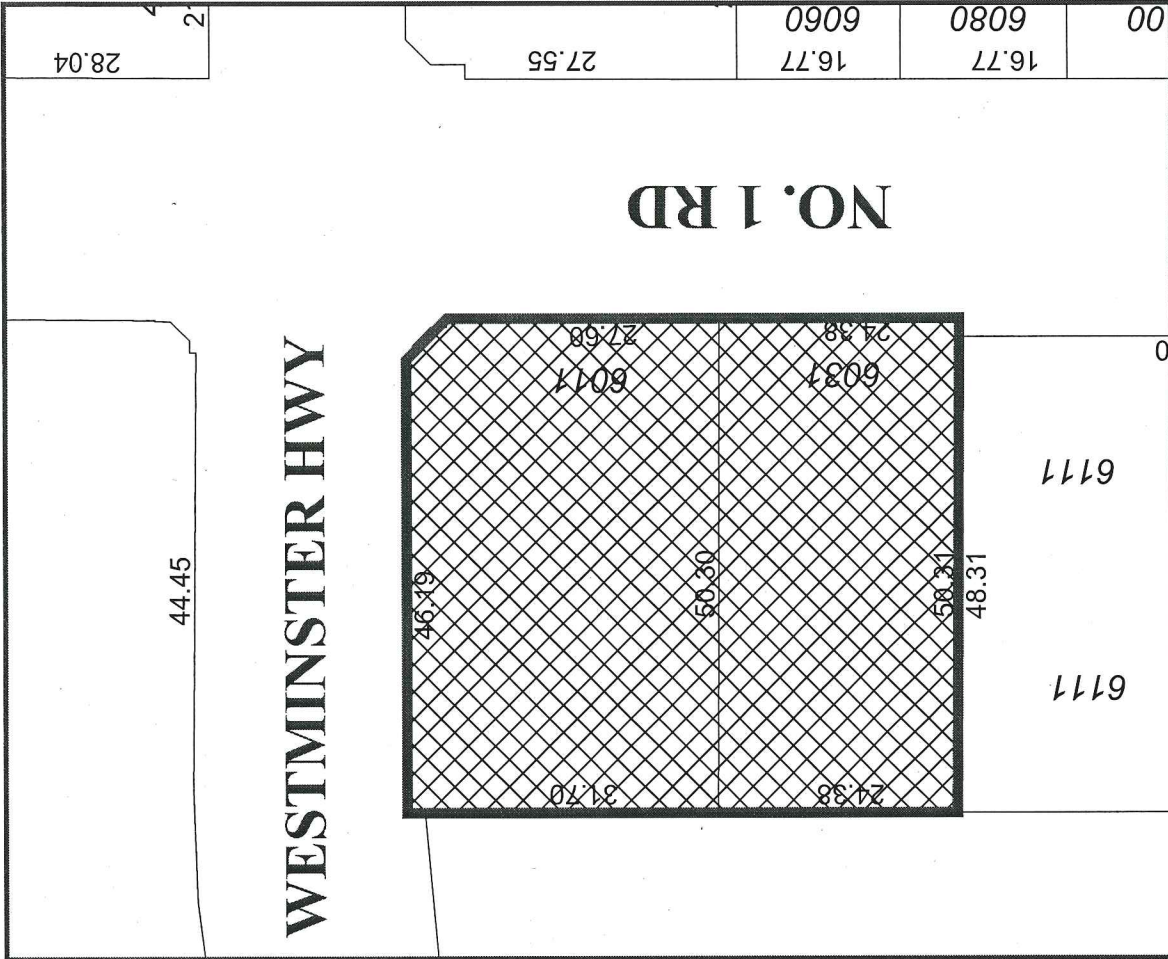
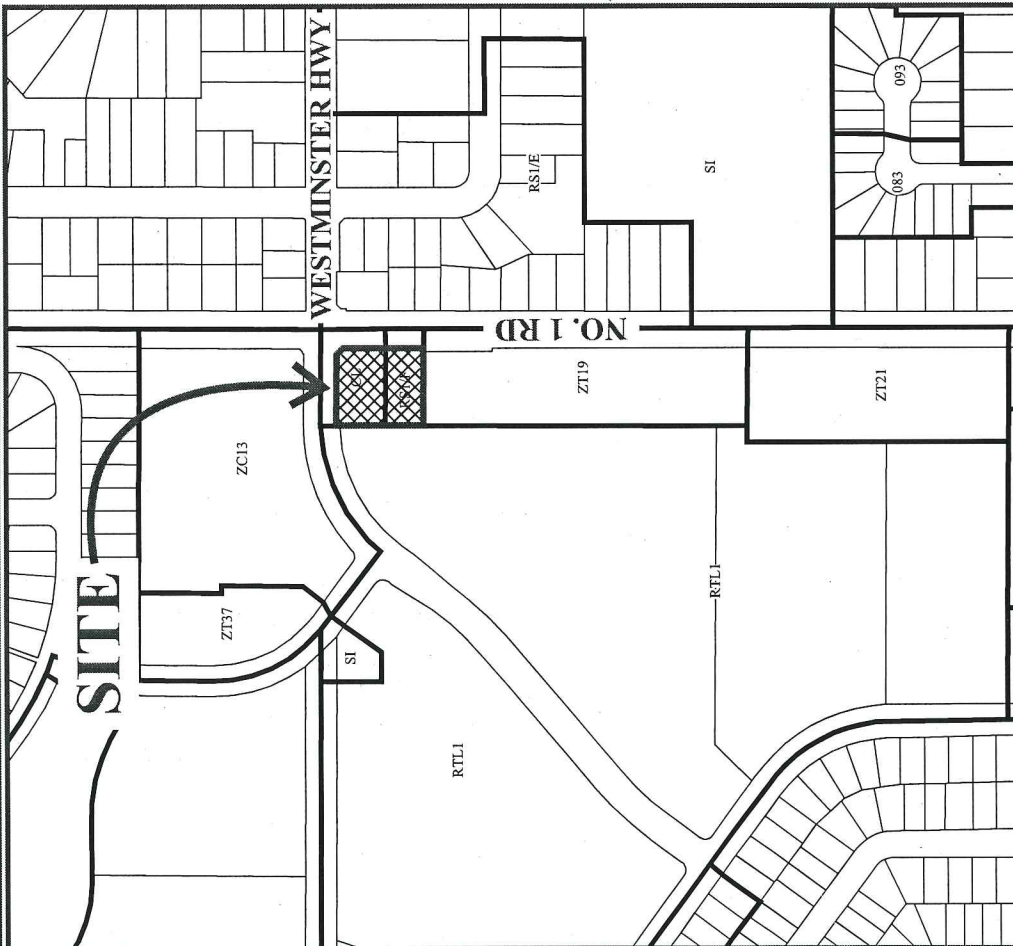
DELIVERED THIS DAY OF , .

MAYOR



City of Richmond

SITE



DP 11-588094

SCHEDULE "A"

Original Date: 09/14/11

Revision Date:

Note: Dimensions are in METRES

PROJECT INFORMATION

CIVIC ADDRESS:

6011, 6033 No.1 Road, Richmond, BC

LEGAL DESCRIPTION:

6011 No. 1 Road : P.I.D. 000-449-067
Plan 37490, Lot 19 Block 4 North, Land District 36, Section 10, Range 7

6031 No. 1 Road : P.I.D. 008-406-715

Plan 37490 Lot 20 Block 4 North, Land District 36, Section 10, Range 7

APPLICANT:

Centro Terrawest Development Ltd.
#200- 6791 Elmbridge Way
Richmond, BC V7C 4N1
T(604) 241-1422, F(604) 241-1482

DRAWING LIST

ARCHITECTURAL

A-001 Cover sheet/ Project info.
A-002 Development Data

A-101 Copy of Survey Plan
A-102 Site Plan
A-103 Area Overlay Plan
A-104 Context Plan

A-111 Lower Parking & Level 1
A-112 Upper Parking
A-113 Level 2
A-114 Level 3 & 4 (Typical)
A-115 Roof Plan

A-201 Building Elevations
A-202 Building Elevations
A-211 Streetscape Elevations

A-301 Building Sections

A-501 Details

A-901 Character Sketches
A-902 Perspectives
A-903 Perspectives

LANDSCAPING

L1 Cover Sheet
L2 Landscape Masterplan
L3 Tree Protection Plan
L4 Planting Plan
L5 Amenity Terrace
L6 Landscape Details

PROJECT DIRECTORY

OWNER:

Centro Terrawest Development Ltd.
200 - 6791 Elmbridge Way
Richmond, BC V7C 4N1
T(604) 241-1422, F(604) 241-1482

ARCHITECTURAL:

Cotter Architects Inc.
Suite #235 11300 No. 5 Road
Richmond, BC V7A 5J7
T(604) 272-1477; F(604) 272-1471

LANDSCAPE:

Van Der Zalm + Associates Inc.
Suite 1 - 8938 192nd Street
Surrey, BC V4N 3W8
T(604) 882-0024 ext 22; F(604) 882-0042

CIVIL ENGINEER:

Core Concept Consulting Ltd.
#220 - 2639 Viking Way
Richmond, BC V6V 3B7
T(604) 249-5040; F(604) 249-5041

GEOTECHNICAL ENGINEER:

Geopacific Consultants Ltd.
215 - 1200 73rd Avenue
Vancouver, BC V6P 6G5
T(604) 439-0922 Ext 226; F(604) 439-9189

SURVEYOR:

J.C. Tam & Associates
#115 - 8833 Odlin Crescent
Richmond, BC V6X 3Z7
T(604) 214-8928, F(604) 214-8929

ARBORIST:

Froggers Creek Tree Consultants Ltd.
7763 McGregor Avenue
Burnaby, BC V5J 4H4
T(604) 721-6002; F(604) 437-0970

TRAFFIC ASSESSMENT:

Bundt & Associates Engineering B.C. Ltd.
Suite 1812, 1177 West Hastings St.
Vancouver, BC V6E 2K3
T(604) 685-6427 ext.227; F(604) 685-6579

STRUCTURAL:

Bevan-Pritchard Man Associates Ltd.
210-195 West 2nd Avenue
Vancouver, BC V5Y 1B8
T(604)688-3244; F(604)684-9964

MECHANICAL:

JadeWest Engineering Co. Ltd.
#201 - 15585 24th Avenue
Surrey, BC V4A 2J4
T(604) 538-0764

ELECTRICAL:

SML Consultants Group Ltd.
109-7225 Brown Street
Delta, BC V4G 1G5
T(604) 946-7680; F(604) 946-7682

LOCATION MAP



TerraWest

6011 & 6031 No.1 Road, Richmond, BC

Notes:

- Building construction is required to comply with Noise Sensitive Use Restrictive Covenant registered on Title; including acoustic attenuation to mitigate potential aircraft noise; and mechanical systems to provide thermal comfort throughout the year. Future Building Permit is required to include sealed acoustic and mechanical engineering reports.
- Off-site works secured via SA 12-610538
- 10 off-site existing trees to be retained and protected. Contract with registered arborist is required throughout construction period.
- 2 adaptable units provided
- Aging in place features provided in all units: washroom wall solid blocking for future grab bar installation, and lever type handles for faucets and doors
- Sustainability features:
 - Water efficient - indigenous plants; low flow fixtures; and dual flush toilets in residential units
 - Energy efficient - automated parking lighting sensors; LED corridor lighting; Energy Star appliances; programmable thermostats; and high efficiency heating, ventilation and air conditioning systems.
 - Passive Solar Design - intensive green roof; partial shading of podium; upper roof high albedo roofing membrane; and low-E argon filled double glazed windows.
 - Air quality - low VOC (volatile organic compound) paints, carpeting, and adhesives.
 - Alternative Transportation - 2 benches for pedestrians; end of trip facilities for cyclists (1 shower in CRU); and 10 plug in stations for electric vehicles.



Plan 1 Jul 12 2012
DP 11-688094

UNIT AREA BREAKDOWN:

LOWER PARKING LEVEL:

CRU UNIT	s.f.
1	943
2	586
3	858
4	942
5	781
6	712
7	823
8	850
9	1083
TOTAL (s.f.)	7578

2/F:

SUITE	TYPE	Interior	Exterior	Total (s.f.)
101	2BR & DEN	988	526	1514
102	1BR & DEN	730	175	905
103	3BR	1136	220	1356
104	2BR & DEN	1082	285	1367
105	1BR	563	110	673
106	1 BR	570	109	679
107	1 BR	566	116	682
108	1 BR & DEN	638	272	910
109	1BR	549	109	658
110	1BR & DEN	630	108	738
111	1BR & DEN	630	109	739
112	2 BR	956	778	1734
TOTAL (s.f.)		9038	2917	11955

TYPICAL 3/F & 4/F:

SUITE	TYPE	Interior	Exterior	Total (s.f.)
201 / 301	3BR	1171	121	1292
202 / 302	3BD	1127	55	1182
203 / 303	3BR	1136	55	1191
204 / 304	2BD & DEN	961	138	1099
205 / 305	1BR & DEN	683	50	733
206 / 306	1BR	570	50	620
207 / 307	1BR	566	0	566
208 / 308	1BR & DEN	638	125	763
209 / 309	1BD	549	50	599
210 / 310	1BD & DEN	630	50	680
211 / 311	2BR	845	50	895
212 / 312	2BD	949	196	1145
TOTAL (s.f.)		9825	940	10765

AREA SUMMARY:

EXISTING SITE AREA:	30,300 s.f. / 2,815 s.m.
ROAD DEDICATIONS:	2,249 s.f. / 208.90 s.m.
NET SITE AREA:	28,051 s.f. / 2,606.10 s.m.

BUILDING FOOTPRINT:	23,252 s.f. / 2,160 s.m.
LOT COVERAGE:	70%
PROPOSED COMM. GFA:	7,578 s.f. / 704 s.m.
PROPOSED RES. GFA:	32,922 s.f. / 3,058.55 s.m.
TOTAL GFA:	40,500 s.f. / 3,693 s.m.
PROPOSED FAR:	FAR 1.41 (39,748 / 28,051)

UNIT COUNT SUMMARY:

	540-580 s.f.	630-740 s.f.	840-950 s.f.	960-1090 s.f.	1100-1180 s.f.	Total
L4	3	3	2	1	3	12
L3	3	3	2	1	3	12
L2	4	4	1	2	1	12
Total	10	10	5	4	7	36

Total Commercial: 9 units; Total Residential: 36 units

RESIDENTIAL UNIT AREAS:



PARKING SUMMARY:

Parking Spaces:	By-Law Requirement	Proposed
Resident	49	49
Visitor	(8)	Use Commercial
Commercial	23	23
Accessible	(2)	(2)
Total:	72 spaces	73 + 2 loading bays

Notes:
 -Parking is within 10% of by-law requirement
 -33 Small Car spaces provided (max 50%)
 -2 H.C. spaces provided (2 required)
 -2 loading bays provided (2 required)
 -10 electric vehicle charging stalls provided

ON-SITE BICYCLE PARKING SUMMARY:

Bike stalls Required:	Class 1	Class 2
Commercial	n/a	n/a
Residential	1.25/dwelling unit	0.20/dwelling unit
Total	45	7

Total Bicycle spaces required: 52

Bike stalls Provided:	Class 1	Class 2
Commercial	n/a	n/a
Residential	54	8
Total bicycle spaces provided: 62		

NOTES:
Refer to sheet A-003, General notes and Code Compliance sheet.

NOT FOR CONSTRUCTION

31/07/12	ISSUED FOR BUILDING PERMIT APPLICATION	
23/05/12	ISSUED FOR STAFF REVIEW	
ADP 08/05/12	ADP SUBMISSION	
DP 05/12/11	DEVELOPMENT SUBMISSION	
DP 25/08/11	DEVELOPMENT APPLICATION	
MARK	COMMY	DESCRIPTION
ISSUE:		

cotter ARCHITECTS
 #235 - 11300 NO. 5 ROAD, RICHMOND, BC V7A 5J7
 TEL: 604-272-1477 FAX: 604-272-1471 EMAIL: info@cotterarchitects.com
 WEB: www.cotterarchitects.com

PROJECT
 Proposed Mixed-use Development
 6011, 6031 No. 1 Road
 Richmond, BC

CLIENT
 Centro TerraWest Development Ltd.

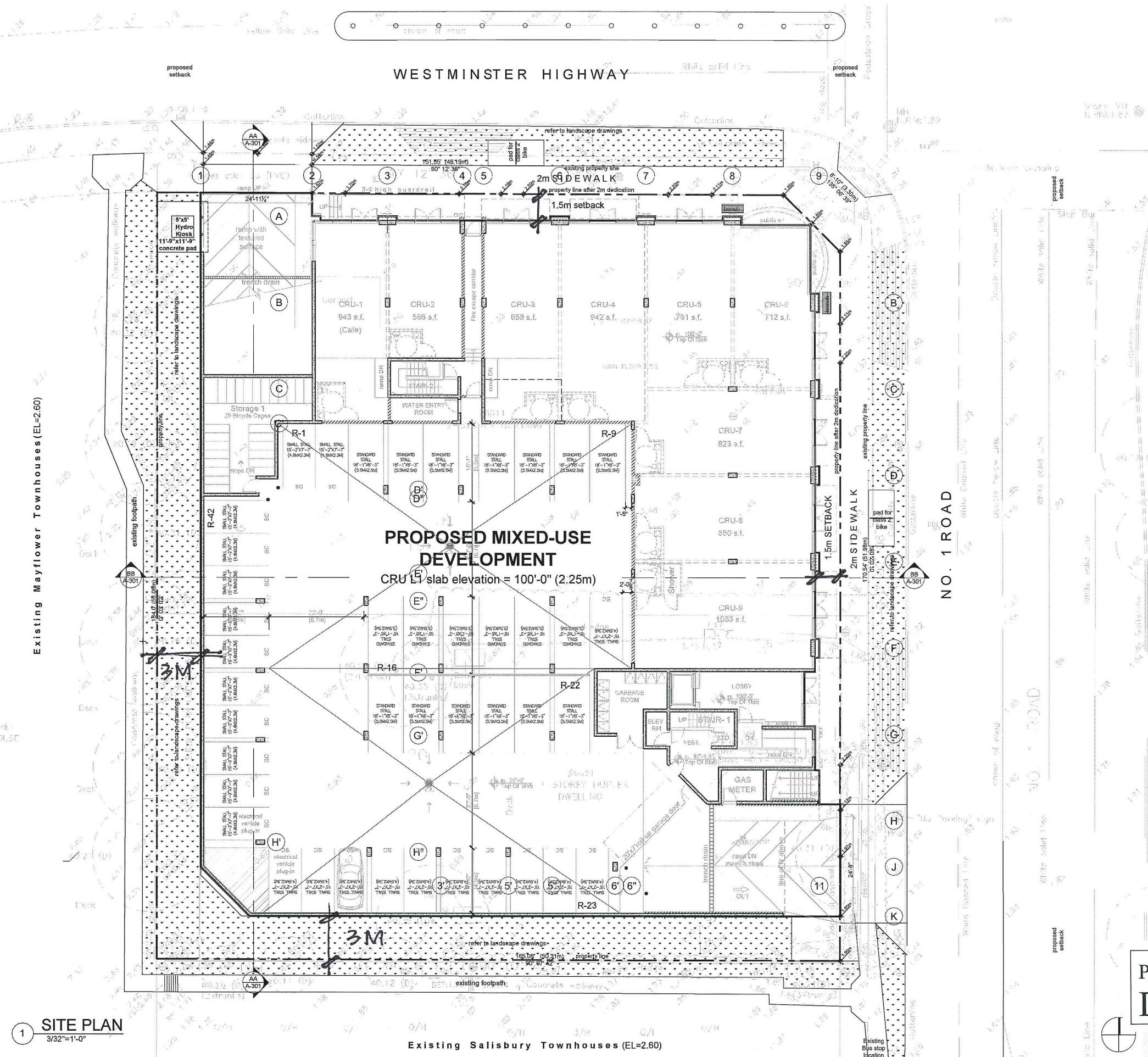
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DRAWN :	JB	SEAL
CHECKED :	PG	
SCALE :	AS SHOWN	
JOB NO. :	CBH	
DATE :	MAY 2012	
SHEET TITLE	DEVELOPMENT DATA	

Plan 2 Jul 12 2012
DP 11-688094
A-002

NOTES:
Refer to sheet A-003, General notes and Code Compliance sheet.

- CPTEC Notes:**
1. Light colored painted finish to parking walls and columns.
 2. Avoid hidden corners and install convex mirrors as needed.
 3. Provide vision panels in doors, leading to publicly accessible areas.
 4. Ensure adequate lighting throughout underground parking area.
 5. Install hard wired video surveillance equipment to parking areas.
 6. Provide rough surface finish to ramps to deter skateboarders.



NOT FOR CONSTRUCTION

31/07/12	ISSUED FOR BUILDING PERMIT APPLICATION
23/05/12	ISSUED FOR STAFF REVIEW
ADP 06/05/12	ADP SUBMISSION
DP 06/12/11	DEVELOPMENT SUBMISSION
DP 25/02/11	DEVELOPMENT APPLICATION
MARK	DOMINAY
ISSUE:	DESCRIPTION:

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ARCHITECTS
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WEB: www.cotterarchitects.com

PROJECT
Proposed Mixed-use Development
6011, 6031 No. 1 Road
Richmond, BC

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TerraWest
Development Ltd.

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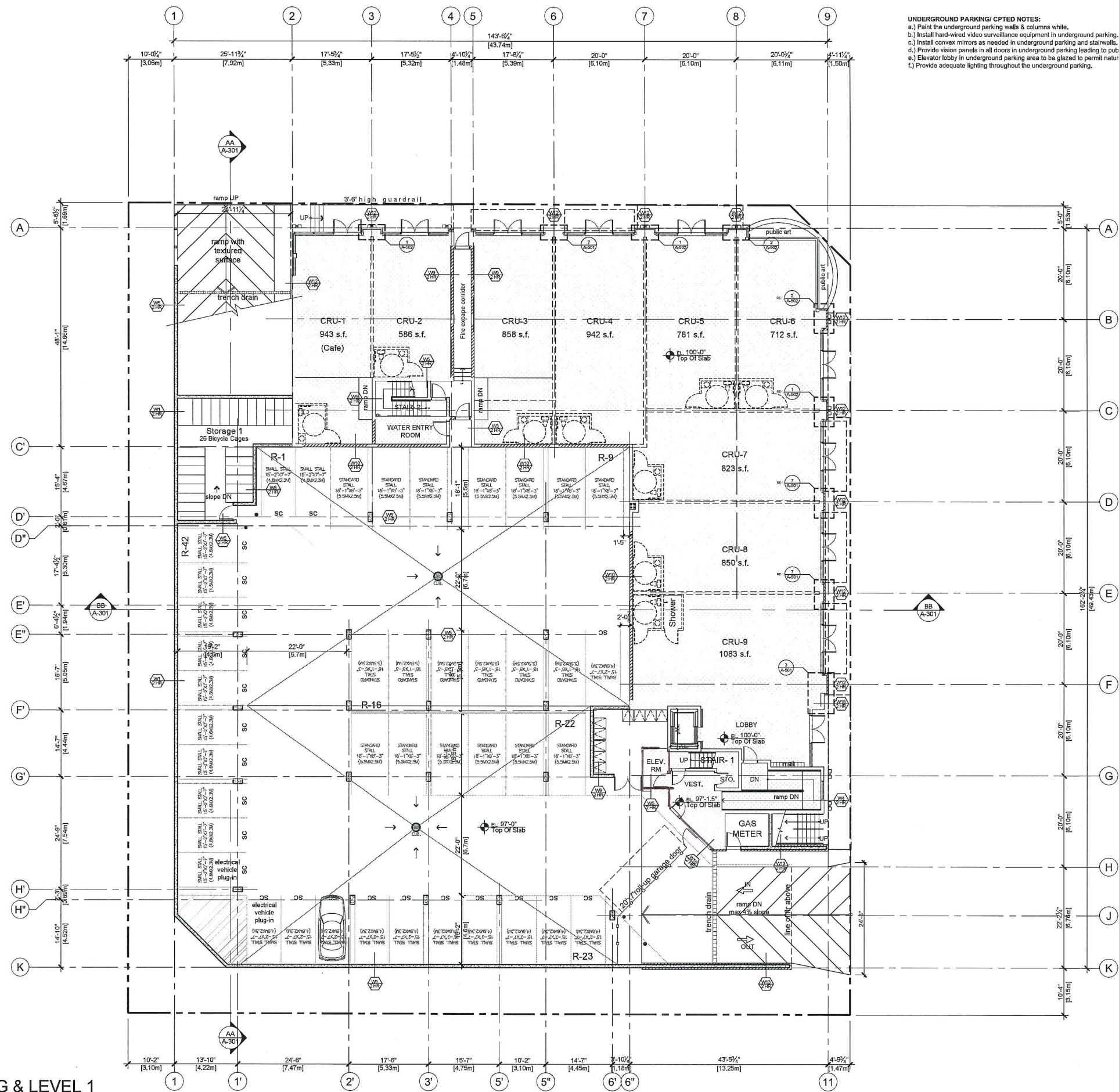
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CHECKED : PC
SCALE : AS SHOWN
JOB NO. : CEN
DATE : MAY 2012
SHEET TITLE
SITE PLAN

Plan 3 Jul 12 2012
DP 11-688094

A-102

1 SITE PLAN
3/32"=1'-0"

Existing Salisbury Townhouses (EL=2.60)



UNDERGROUND PARKING/ CPTED NOTES:
 a.) Paint the underground parking walls & columns white.
 b.) Install hard-wired video surveillance equipment in underground parking.
 c.) Install convex mirrors as needed in underground parking and stairwells.
 d.) Provide vision panels in all doors in underground parking leading to publicly accessible areas.
 e.) Elevator lobby in underground parking area to be glazed to permit natural surveillance.
 f.) Provide adequate lighting throughout the underground parking.

NOTES:
 Refer to sheet A-003, General notes and Code Compliance sheet.
DIMENSION NOTES:
 1. Setting out: Walls and columns located on center or face of grid will not be specifically dimensioned.
 2. Walls and columns with an offset to grid will be provided with dimensions.
 3. Exterior stud walls are dimensioned to exterior face of sheathing.
 4. Any items that appear to be off grid but do not have setting out information should be clarified with the architects before any work progresses on site.

FLOOR NOTES:
 1. All concrete slopes should be feathered up at exit doorways to provide a smooth and level transition threshold.
 2. Paint all curbs, parking lines, stall designations, directional arrows & warning chevrons to specifications for pavement marking paint.

FIRE RATING REQUIREMENTS:

Walls/ Floors:	Rating
Corridor to Suite	1 HR
Suite to Suite	1 HR
Parking to Residential	2 HR
Parking to any other use (sto., mech., Elec. etc.)	1.5 HR
Residential bike storage to Parking	2HR
Exit stairs in Parkade	2HR
Exit stairs serving rest floors only	1HR
Firewall	2HR

Doors:

Unit Entry Doors from Corridor (per 3.1.8.10)	20Min
Double doors in corridor (fire alarm zoning equivalency w/ magnetic hold open devices, per 3.1.8.12)	1HR

*All fire rated doors to have a self-closing device

THERMAL INSULATION NOTES:
 Unless otherwise noted, insulation shall have the following construction r-values as per ASHRAE 90.11-2001.

Walls	R20
Roof	R20
Floor	R12
Parkade slab under living space (carry insulation min 2'-0" past exterior face of units above slab)	R10
Windows - U value of 0.3 and a shading coefficient of 0.72	

NOT FOR CONSTRUCTION

DATE	ISSUE	DESCRIPTION
31/07/12	ISSUED FOR BUILDING PERMIT APPLICATION	
23/05/12	ISSUED FOR STAFF REVIEW	
ADP 09/05/12	ADP SUBMISSION	
DP 09/12/11	DEVELOPMENT SUBMISSION	
DP 25/08/11	DEVELOPMENT APPLICATION	
MARK	COMMMY	DESCRIPTION

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 TEL: 604-272-3477 FAX: 604-272-1471 EMAIL: info@cotterarchitects.com
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Proposed Mixed-use Development
 6011, 6031 No. 1 Road
 Richmond, BC

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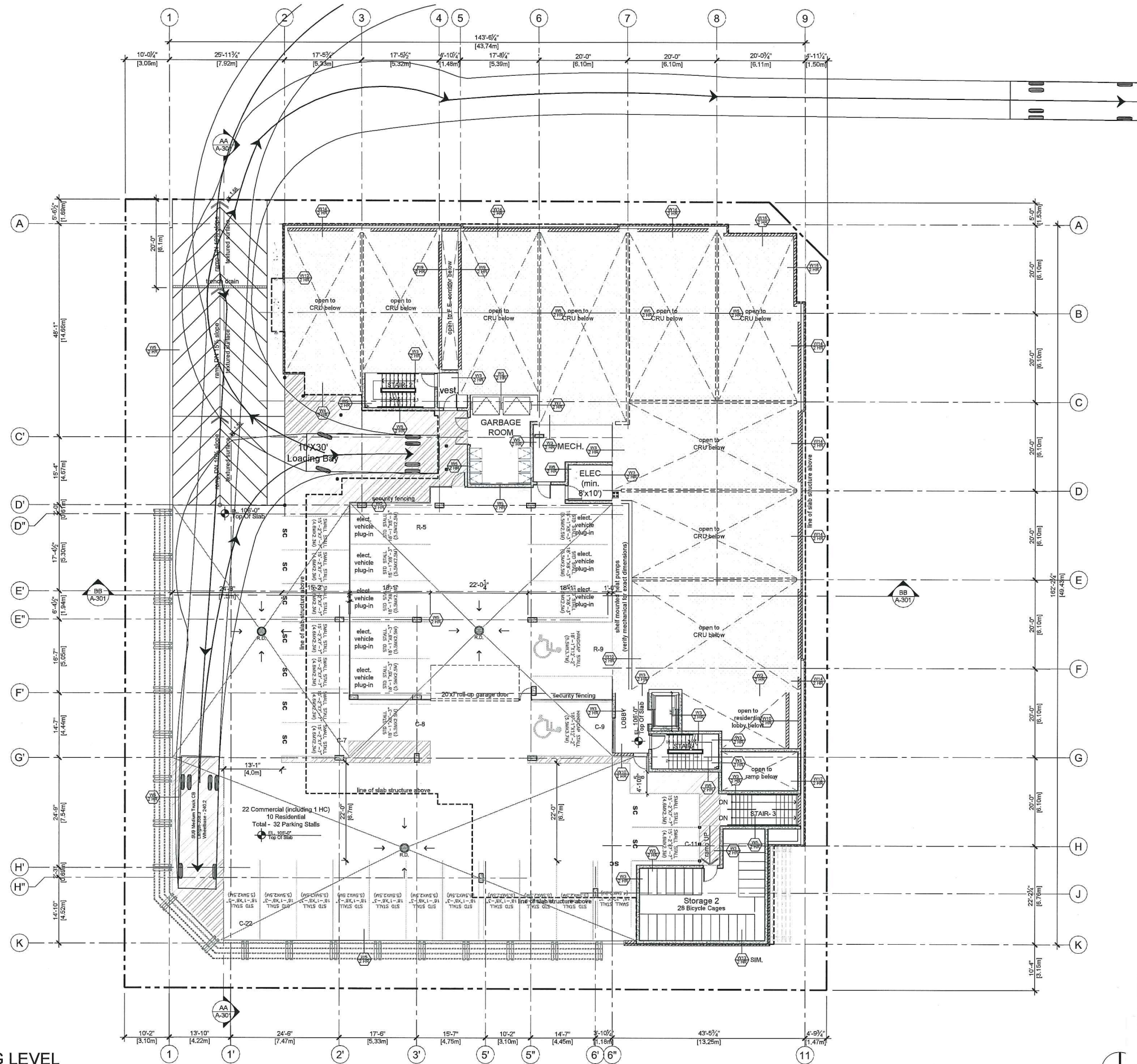
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 CHECKED : PD
 SCALE : AS SHOWN
 JOB NO. : CEN
 DATE : MAY 2012
 SHEET TITLE
FLOOR PLAN

1 LOWER PARKING & LEVEL 1
 3/32"=1'-0"

Plan 4 Jul 12 2012
DP 11-688094

A-111

NOTES:
Refer to sheet A-003, General notes and Code Compliance sheet.



1 UPPER PARKING LEVEL
3/32"=1'-0"

NOT FOR CONSTRUCTION

31/07/12	ISSUED FOR BUILDING PERMIT APPLICATION
23/05/12	ISSUED FOR STAFF REVIEW
ADP 09/05/12	ADP SUBMISSION
DP 09/12/11	DEVELOPMENT SUBMISSION
DP 25/08/11	DEVELOPMENT APPLICATION
MARV	DDMMYYYY DESCRIPTION
ISSUE	

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TEL: 604-272-1477 FAX: 604-272-1471 EMAIL: info@cotterarchitects.com
WEB: www.cotterarchitects.com

PROJECT
Proposed Mixed-use Development
6011, 6051 No. 1 Road
Richmond, BC

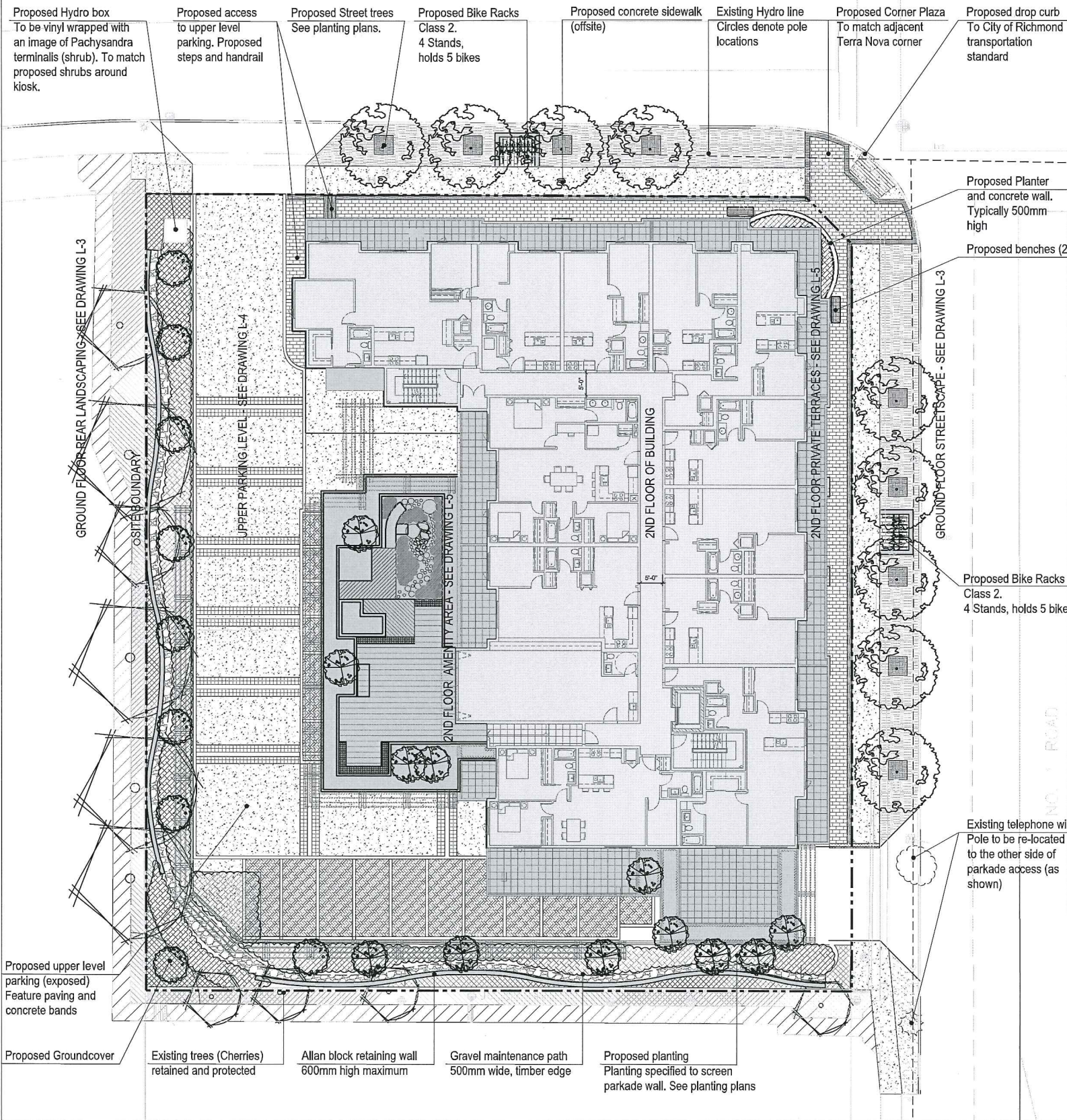
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DRAWN :	JB	SEAL
CHECKED :	PO	
SCALE :	AS SHOWN	
JOB NO. :	CDH	
DATE :	MAY 2012	
SHEET TITLE	FLOOR PLAN	

Plan 5 Jul 12 2012
DP 11-688094

A-112



LEGEND

	PROPOSED UNIT PAVING Old country stone, tumbled setts (concrete unit pavers). All mortared in place		EXISTING TREES RETAINED		1 LP-01
	PROPOSED CONCRETE SIDEWALK To City of Richmond Standards		PROPOSED TREE PLANTING Gleditsia 'Skyline'. Tree species selected by the City of Richmond. City Green 1m deep root barrier installed along all underground utilities		Schedule LPP-1
	PROPOSED GRASS BOULEVARD To City of Richmond Standards		PROPOSED TREE PLANTING Acer Circulatum		Schedule LPP-1
	PROPOSED GRANITE SETTS 100x100x100 setts, mortar joints and mortar bed. Flamed finish, flush with adjacent surface.		PROPOSED TREE PLANTING Acer Palmatum Sango Kaku		Schedule LPP-1
	PROPOSED DROP CURB To City of Richmond Standards		PROPOSED SHRUB PLANTING		Schedule LPP-1
	PROPOSED CONCRETE WALL 500mm max. Example detail on LP-5		PROPOSED GROUNDCOVER PLANTING		Schedule LPP-1
	PROPOSED ALLAN BLOCK AB Jumbo Junior - Harvest brown Black/Charcoal Capping Stones		PROPOSED GROUNDCOVER PLANTING (OFFSITE - SUBJECT TO LANDOWNERS APPROVAL) Proposed to provide continuity between properties and avoid a small section of grass that is difficult to maintain.		Schedule LPP-1
	PROPOSED BIKE RACKS (Class 2) Manufacturer - Landscape forms 4 Boss bike racks, Black powder coated (Able to hold 5 bikes)		EXISTING UTILITIES (HYDRO AND/OR TELEPHONE) Round symbol represents existing poles/poles to be re-positioned		No further detail
	EXISTING CONCRETE SIDEWALK (OFFSITE) To be protected during works		PROPOSED STEPS AND GLASS RAIL 3 risers, 3 treads, Granite setts 100x100mm on each tread, concrete riser.		2 LD-02
	PROPOSED TREE PITS City Green 1m deep root barrier installed along all underground utilities		PROPOSED BENCHES Manufacturer - Landscape forms Neolivano bench		6 LD-01
	PROPOSED BENCHES Manufacturer - Landscape forms Neolivano bench		PROPOSED GRAVEL MAINTENANCE PATH AND TIMBER EDGE Weed fabric to be installed.		5 LD-01
	PROPOSED GRAVEL MAINTENANCE PATH AND TIMBER EDGE Weed fabric to be installed.				

OFF SITE FRONTAGE IMPROVEMENTS TO BE DESIGNED AND CONSTRUCTED VIA SEPARATE SERVICING AGREEMENT

GENERAL NOTES

- These drawings are for Development Permit only. Therefore, these drawings are for the purpose of fulfilling Development Permit requirements only and are not to be used as either Building Permit, Tender or Construction Drawings under any circumstances unless permission has been granted by van der Zalm Associates.
- Work shall conform to BC Landscape Standard (7th Edition) & Richmond codes/bylaws, unless specified otherwise within the DP documents. Please refer to the labels on the drawing for additional information. If no information is provided, the following standards are to be followed:
 - Topsoil**
 - Tree pits (off slab) - 1000x1000x600mm depth (BC Landscape Standard 7th Edition - Clause 11.2.1 Table 6-5)
 - Turf areas (off slab) - 150mm depth (BC Landscape Standard 7th Edition - Clause 11.2.1 Table 6-5)
 - Shrub areas (off slab) - 450mm depth (BC Landscape Standard 7th Edition - Clause 11.2.1 Table 6-5)
 - Tree/Shrub areas (on slab) - 500mm depth
 - Mulch**
All planted areas to be supplied with 75mm consolidated layer of bark mulch. Mulch to be 2.5cm (1in) minus douglas fir or hemlock bark chips and fines, or a combination of the two, free of chunk, sticks and roots, stones, invasive and noxious material and all other extraneous matter. (BC Landscape standard 7th Edition - Clause 10.2.2)
 - Turf**
All grass areas to be turfed with nursery turf grass No.2 Standard Grade turfgrass (BC Landscape Standard 7th Edition Clause 8.2.2)
- Contractor shall identify any underground existing utility lines. The contractor shall protect any existing utilities, unless stated otherwise in the Tender documents, in accordance with the utility authorities/Richmond guideline/codes. The contractor shall avoid all existing utilities underground and overhead where applicable, and follow utility authority guidelines. Where underground utilities exist, field adjustments must be approved by the Landscape Architect prior to installation.
- All plant areas to be irrigated. Detail to be developed at BP stage.

van der Zalm + associates inc.
Landscape Architecture • Urban Design • Parks & Recreation
Unit 1 20177 97th Avenue
Langley, British Columbia
V1M 4B9
P 804.882.0024
F 804.882.0042
Info@www.vdz.ca

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TEL: 604-273-5777 FAX: 604-273-5471 EMAIL: info@cotterarchitects.com
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No.	Description	Date
7	Development Permit Revisions	2012-07-05
6	Development Permit Revisions	2012-05-22
5	Development Permit	2012-06-01
4	Rezoning Application Revisions	2012-04-25
3	Rezoning Application Revisions	2011-12-07
2	Rezoning Application	2011-05-24
1	Rezoning Application	2011-09-02

REVISIONS-DRAWING ISSUE

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

PROJECT:
TerraWest

Plan 6a Jul 12 2012
DP 11-688094

DRAWN	MS	CAD FILE	L2 LANDSCAPE MASTERPLANNING
CHECKED	SS/MS	DATE	JUNE 2012
APPROVED	MV		
SCALE	1:150@24X36		

LANDSCAPE MASTERPLAN

DRAWING TITLE

17

L-2

WESTMINSTER HIGHWAY

Proposed steps and glass handrail

Proposed hydro kiosk and vinyl wrapping

Proposed ground cover
Typically reach 250mm high

Proposed Tree and shrub Planting
Typically reach 2-3m in height

Proposed Planting and Berm
See planting plans, cross sections and LD-1

Proposed gravel maintenance path
500mm wide, timber edge
See LD-1

Proposed Allan block wall
3 courses above finished grade
Typically 600mm high
Drops to 2 courses, then 1 course 4 metres from the end.
See details page

Existing hydro lines and poles. Hydro is situated along Westminster hwy

Proposed Concrete retaining wall and planter

Proposed boulevard
Trees and SOD
See planting plans

Proposed bike racks (class 2)
4 racks, Allan block wall, unit pavers
See legend for additional info

Proposed Concrete Sidewalk
Broom finish, 2m wide
See legend for additional info






















Proposed Unit Pavers
Width varies - typically 1.5m
See legend for additional info

Proposed Granite setts
3 courses.
See legend for additional information

Existing telephone lines and poles
Hydro lines on Westminster Hwy only

Proposed concrete sidewalk
Adjusted to tie in with existing sidewalk

Existing concrete sidewalk
To be protected during works

-  PROPOSED UNIT PAVING
Old country stone, tumbled setts (concrete unit pavers). All mortared in place A
LD-02
-  PROPOSED CONCRETE SIDEWALK
To City of Richmond Standards C
LD-02
-  PROPOSED GRASS BOULEVARD
To City of Richmond Standards No further detail
-  PROPOSED GRANITE SETTS
100x100x100 setts, mortar joints and mortar bed. Flamed finish, flush with adjacent surface. D
LD-02
-  PROPOSED DROP CURB
To City of Richmond Standards No further detail
-  PROPOSED CONCRETE WALL
500mm max. Example detail on LP-5 3
LP-05
-  PROPOSED ALLAN BLOCK
AB Jumbo Junior - Harvest brown
Black/Charcoal Capping Stones 5
LD-01
-  PROPOSED BIKE RACKS (Class 2)
Manufacturer - Landscape forms
4 Bosa bike racks, Black powder coated (Able to hold 5 bikes) 8
LD-01
-  EXISTING CONCRETE SIDEWALK (OFFSITE)
To be protected during works No further detail
-  PROPOSED TREE PITS 3
LD-01
-  PROPOSED BENCHES
Manufacturer - Landscape forms
Neoliviano bench 6
LD-01
-  PROPOSED GRAVEL MAINTENANCE PATH AND TIMBER EDGE
Weed fabric to be installed, 5
LD-01
-  EXISTING TREES RETAINED 1
LP-01
-  PROPOSED TREE PLANTING
Gleditsia 'Skyline'. Tree species selected by the City of Richmond. City Green 1m deep root barrier installed along all underground utilities Schedule
LPP-1
-  PROPOSED TREE PLANTING
Acer Circinatum Schedule
LPP-1
-  PROPOSED TREE PLANTING
Acer Palmatum Sango Kaku Schedule
LPP-1
-  PROPOSED SHRUB PLANTING Schedule
LPP-1
-  PROPOSED GROUNDCOVER PLANTING Schedule
LPP-1
-  PROPOSED GROUNDCOVER PLANTING (OFFSITE - SUBJECT TO LANDOWNERS APPROVAL)
Proposed to provide continuity between properties and avoid a small section of grass that is difficult to maintain. Schedule
LPP-1
-  EXISTING UTILITIES (HYDRO AND/OR TELEPHONE)
Round symbol represents existing poles/poles to be re-positioned No further detail
-  PROPOSED STEPS AND GLASS RAIL
3 risers, 3 treads, Granite setts 100x100mm on each tread, concrete riser. 2
LD-02



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No.	Description	Date
7	Development Permit Revisions	2012-07-05
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5	Development Permit	2012-06-01
4	Rezoning Application Revisions	2012-04-25
3	Rezoning Application Revisions	2011-12-07
2	Rezoning Application	2011-08-24
1	Rezoning Application	2011-08-02

REVISIONS-DRAWING ISSUE

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PROJECT:
TerraWest

Plan 6b Jul 12 2012
DP 11-688094

DRAWN	MS	CAD FILE L3\LANDSCAPE-GROUND FLOORING
CHECKED	SS/MS	
APPROVED	MV	DATE JUNE 2012
SCALE	AS SHOWN	

1 GROUND FLOOR
1:150 @ 24X26IN

LANDSCAPE GROUND FLOOR

DRAWING TITLE

DRAWING NO. **L-3**



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PROJECT:
 TerraWest
 2011-2012 No. 1 Permit

Plan 6c Jul 12 2012
 DP 11-688094

DRAWN	MS	CAD FILE	
CHECKED	SS/MS	LANDSCAPE-UPPERPARKING.DWG	
APPROVED	MV	DATE	
SCALE	AS SHOWN	DATE	JUNE 2012






LANDSCAPE UPPER PARKING

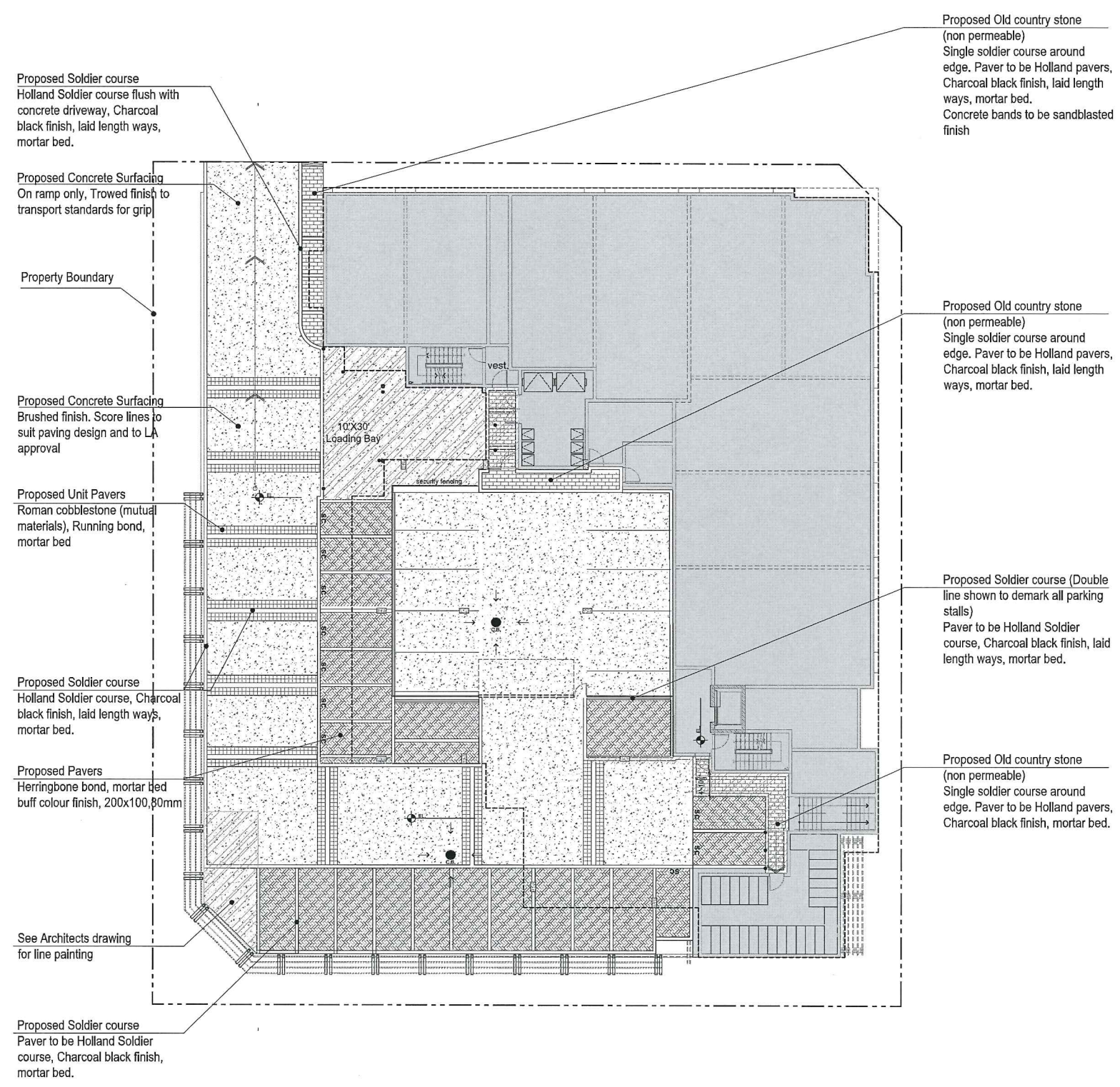
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17

DRAWING NO. L-4

LEGEND

-  PROPOSED UNIT PAVING
Old country stone, tumbled setts (concrete unit pavers). All mortared in place (A) LD-02
-  PROPOSED CONCRETE SIDEWALK
To City of Richmond Standards (C) LD-02
-  PROPOSED ROMAN COBBLESTONE
(non permeable) Mortar bed. (F) LD-02
-  PROPOSED ROMAN COBBLESTONE
Running bond. Sandblasted concrete band within centre (D+F) LD-02
-  PROPOSED SOLDIER COURSE
Charcoa/black finish, mortar bed. (all double lines shown between parking stalls, around edge of concrete, and around pedestrian areas are to be soldier courses) (E) LD-02



Proposed Hydropressed slabs
All second floor terraces to be terracotta hydropressed slabs on pedestals

Proposed Concrete Planter
500mm high. 150mm thick walls

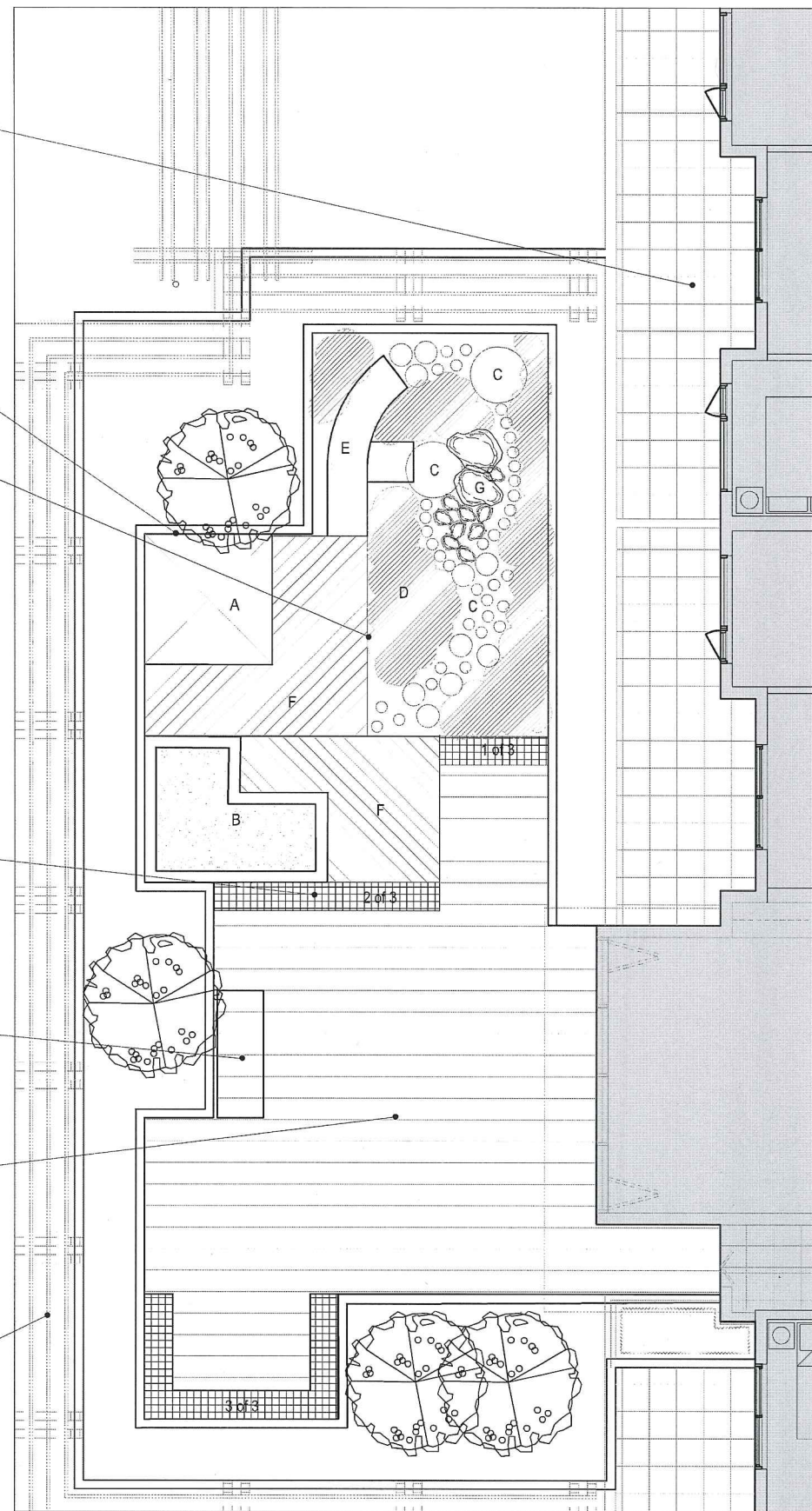
Proposed Playarea
Designed to encourage "Natural play". Provides hiding, exercise, hide and seek.
The play area contains the following features:
A - Roofed wooden den
B - Sand pit with log edge
C - Stepping stones - Cast in place concrete
D - Feather Grass Planting for hiding games
E - Plastic crawling tube
F - 2x6 deck for open play
G - Small round rocks, 400mm high for hiding/climbing.

Proposed Benches (3)
Legless benches mounted onto 450mm high concrete. Manufacturer: Maglin. Colour and finish to match wood on building

Proposed BBQ location
Moveable bbq.

Proposed Deck
Resysta boards, mounted on a pedestal system. Finish to match bench detail and architecture. Drainage mat and structural slab drain underneath deck.

Proposed trellis
See Architects drawings.

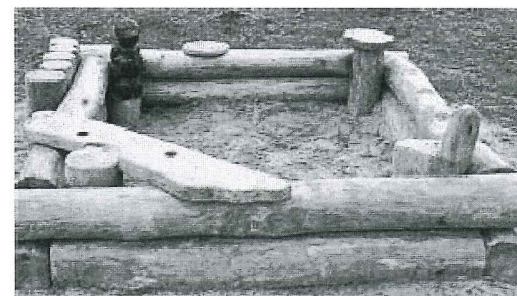


1 AMENITY AREA
1:50 @ 24X26IN

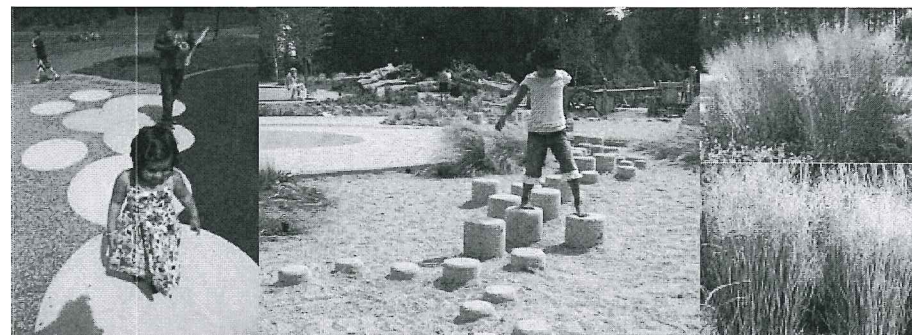
LEGEND



A - Log Den. Custom log den to be built to suit site design. Manufacturer: Landscape Structures 'Custom and themes'



B - Sand pit with log edge

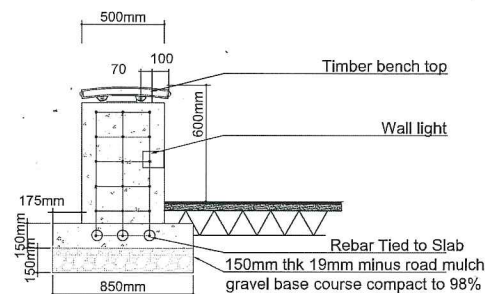


C - Cast in place concrete stepping stones
(Top Left van der Zalm Associates Holland Park)
(Top Right - City of Richmond, Garden City Play Area)

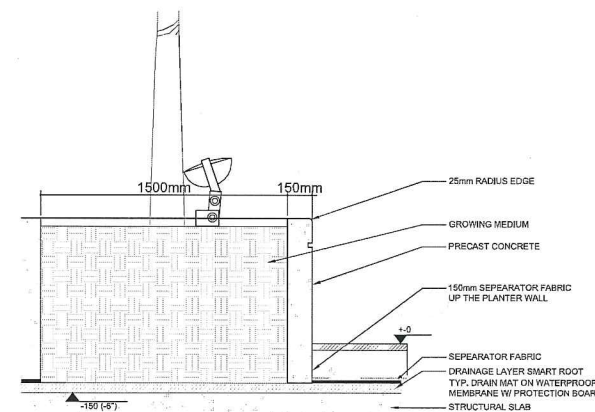
D - Feather Grass, for hide and seek



E - Landscape Structures #116568A - Tube crawl



2 AMENITY AREA CONCRETE SEATING
1:20 @ 24X26IN



3 AMENITY AREA CONCRETE WALLS
1:20 @ 24X26IN

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No.	Description	Date
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Plan 6d Jul 12 2012
DP 11-688094

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APPROVED	MV	SCALE	AS SHOWN

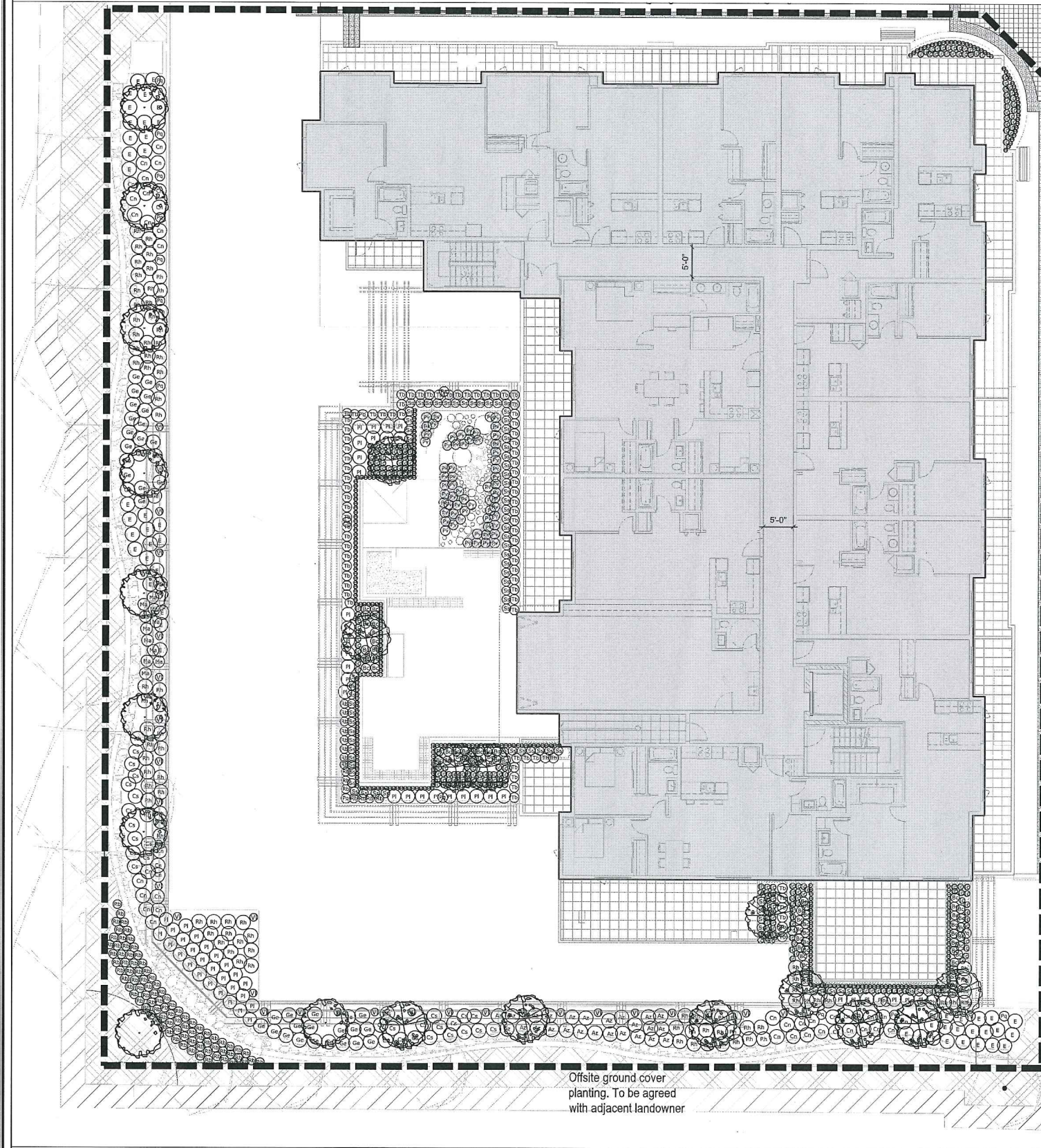
AMENITY AREA

DRAWING TITLE

17

DRAWING NO.
L-5

Please refer to the Servicing agreement for all offsite planting along Westminster Hwy.



Please refer to the Servicing agreement for all offsite planting along No.1 road

Offsite ground cover planting. To be agreed with adjacent landowner

TREES SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ADDITIONAL INFORMATION
	Acer glabrum	Vine Maple	8	5 cm cal. 1.5m high	Deciduous Tree. Native. Crown spread 1.5m (H) planted. Will likely reach a height of 20m. *subject to climatic conditions
	Acer palmatum Sango Kaku	Japanese Maple 'Sango Kaku'	11	8 cm cal. 1.5m high	Deciduous Tree. Crown spread 1.5m (H) planted. Will likely reach a height of 3-5 meters at maturity.

Property line

Existing trees

PLANTING SCHEDULE*

SERIALS	GROUND COVER	COMMON NAME	QUANTITY	SIZE	SPACINGS	ADDITIONAL INFORMATION
AZ	Azalea	Azalea - yellow	28	# 2 Pot	750mm O.C	Evergreen shrub. Yellow flowers. 0.5m (H) x 0.5m (W) planted. 1.5m (H) x 0.5m (W) mature size
Rh	Rhododendron	Rhododendron	83	# 2 Pot	750mm O.C	Evergreen shrub. Red flowers. 0.5m (H) x 0.5m (W) planted. 1.5m (H) x 0.5m (W) mature size
Ma	Manisuris	Manisuris	52	# 2 Pot	500mm O.C	Evergreen shrub. 0.5m (H) x 0.5m (W) planted. 1.5m (H) x 0.5m (W) mature size
E	Euonymus	Euonymus	55	# 2 Pot	750mm O.C	Deciduous shrub. Red foliage. 0.5m (H) x 0.5m (W) planted. 1.5m (H) x 0.5m (W) mature size
Co	Cornus	Cornus	42	# 2 Pot	750mm O.C	Deciduous shrub. White foliage. 0.5m (H) x 0.5m (W) planted. 1.5m (H) x 0.5m (W) mature size
Pa	Parthenocissus	Parthenocissus	19	# 2 Pot	as shown	Deciduous vine. 0.5m (H) x 0.5m (W) planted. 2.5m (H) x 0.5m (W) mature size
Re	Red Baron	Red Baron	193	# 2 Pot	500mm O.C	Ornamental grass
Tr	Trisetum	Trisetum	23	# 2 Pot	500mm O.C	Ornamental grass
Pa	Panicum	Panicum	703	# 1 Pot	5 per m ²	Evergreen grass/cover
St	Stachys	Stachys	53	# 2 Pot	500mm O.C	Ornamental grass
Rh	Rhododendron	Rhododendron	102	# 1 Pot	500mm O.C	Evergreen shrub
St	Stachys	Stachys	44	# 2 Pot	600mm O.C	Ornamental grass
St	Stachys	Stachys	284	# 2 Pot	15 per row metre	Ornamental grass
Cl	Clematis	Clematis	31	# 2 Pot	as shown	Evergreen vine

*Plant counts are for all trees - streetview, second floor, balconies, and amenity terraces.

1 PLANTING PLAN
Not to scale

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Plan 6e Jul 12 2012
DP 11-688094

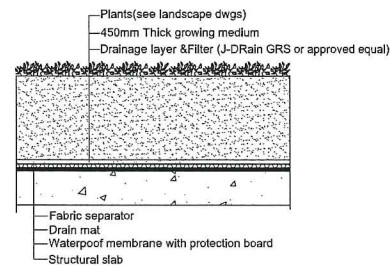
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APPROVED MV	DATE
SCALE NOT TO SCALE	JUNE 2012

PLANTING PLAN

DRAWING TITLE

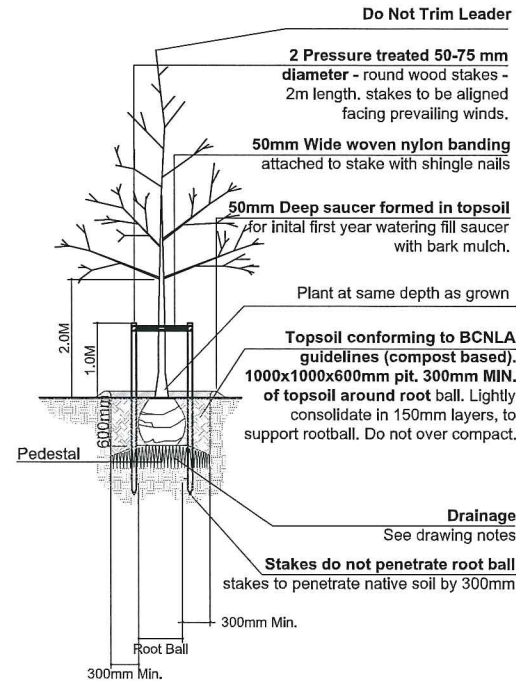
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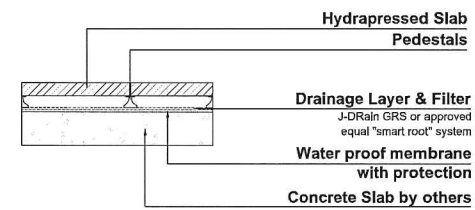


Note:
 1. Landscape Architect may approve equivalent System at time of construction.
 2. Structural slab, Waterproof, Drain mat, Fabric separator's details specification by architect.

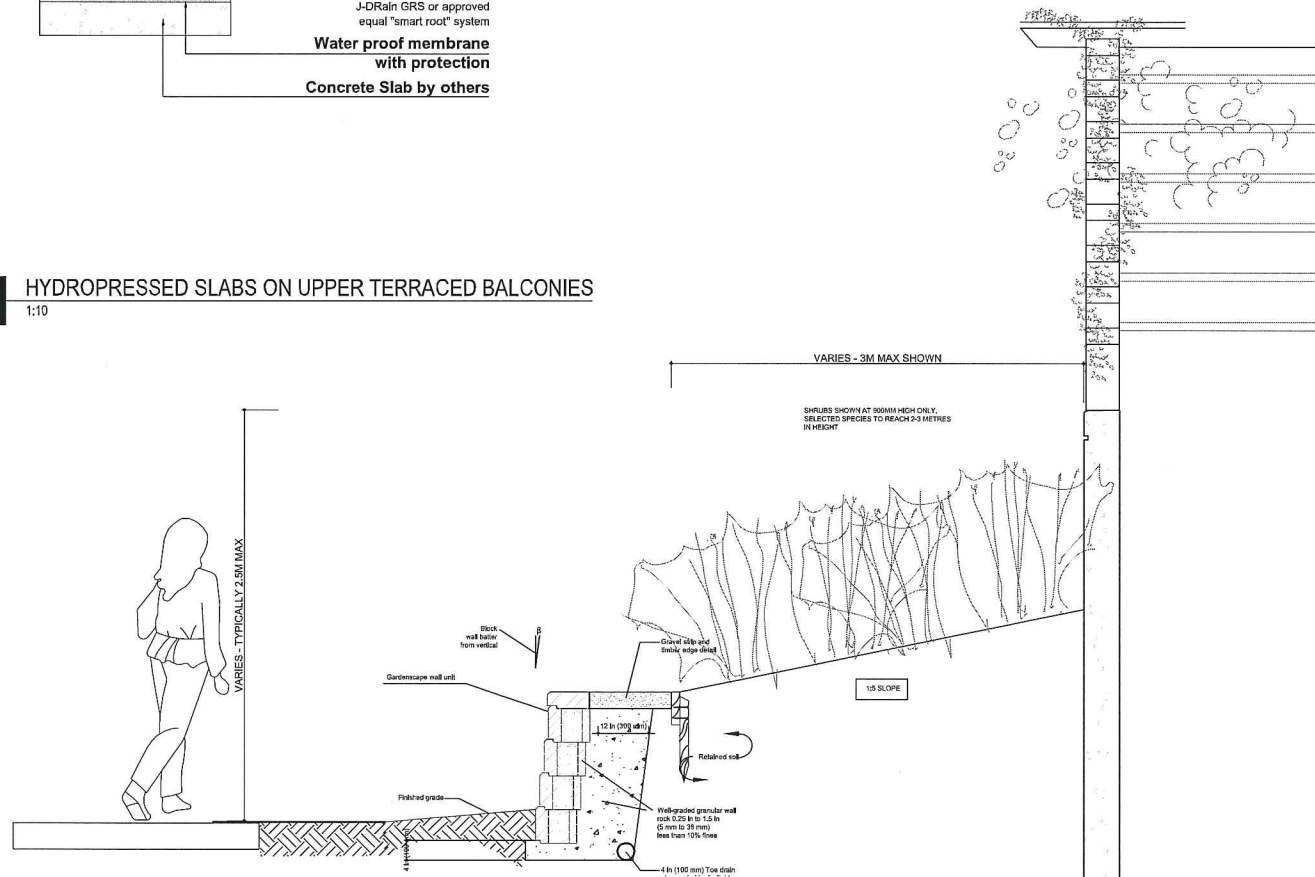
1 SHRUB PLANTING ON SLAB
1:10



3 TREE PIT DETAIL
1:50



2 HYDRAPRESSED SLABS ON UPPER TERRACED BALCONIES
1:10



4 & 5 ALLAN BLOCK WALL, GRAVEL MAINTENANCE PATH & TIMBER EDGE
1:20



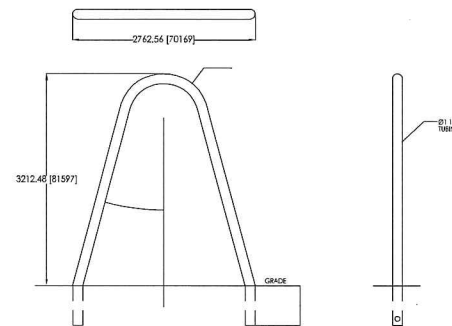
6 BENCH - NEOLIVIANO
LANDSCAPEFORMS
2 Positioned On No.1 Road Only, Benches fixed to concrete footing below bench



7 GARBAGE CAN
LANDSCAPEFORMS
1 bin along Westminster Hwy
1 bin along No.1



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8 BIKE STAND (CLASS 2 CYCLE STANDS)
NTS

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DP 11-688094

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LANDSCAPE DETAILS

DRAWING TITLE

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LD-1



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1	Rezoning Application	2011-08-02

REVISIONS-DRAWING ISSUE

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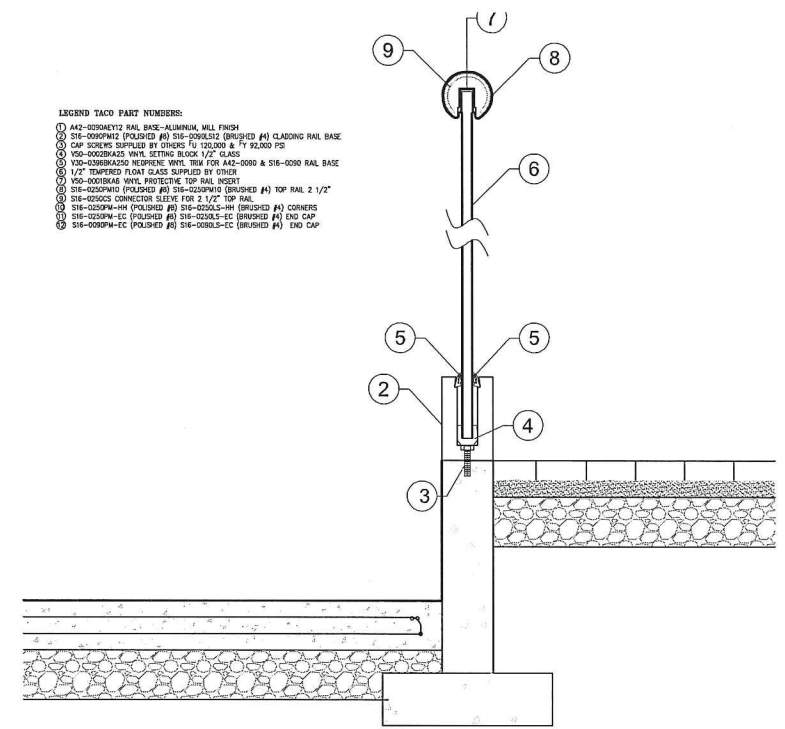
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APPROVED	MV	DATE	
SCALE	AS SHOWN	JUNE 2012	

LANDSCAPE DETAILS

DRAWING TITLE

17

DRAWING NO.
LD-2



- LEGEND TACO PART NUMBERS:
- ① 442-2004E12 RAIL BASE-ALUMINUM, WELL FINISH
 - ② 516-2004W2 POLISHED #8 516-2004S2 BRUSHED #8 CLADDING RAIL BASE
 - ③ CAP SPOKER SUPPLIED BY OTHER, 1/2" O.D. & 1/2" R2.000 R10
 - ④ 500-0002A25 VINYL SETTING BLOCK 1/2" GLASS
 - ⑤ 500-0002A25 REFLECTIVE VINYL TINT FOR 442-2000 & 516-0200 RAIL BASE
 - ⑥ 1/2" TEMPERED FLOAT GLASS SUPPLIED BY OTHER
 - ⑦ 516-0004H4 VINYL PROTECTIVE TOP RAIL RISER
 - ⑧ 516-0004W2 POLISHED #8 516-0004S2 BRUSHED #8 TOP RAIL 2 1/2"
 - ⑨ 516-0004W4 POLISHED #8 516-0004S4 BRUSHED #8 CORNERS
 - ⑩ 516-0004W-CC POLISHED #8 516-0004S-CC BRUSHED #8 END CAP
 - ⑪ 516-0004W-CC POLISHED #8 516-0004S-CC BRUSHED #8 END CAP

Roman Cobblestone

Designed to meet the needs of the landscape architect for a Roman Cobblestone product that is durable, long-lasting, and easy to install.

Product Data:

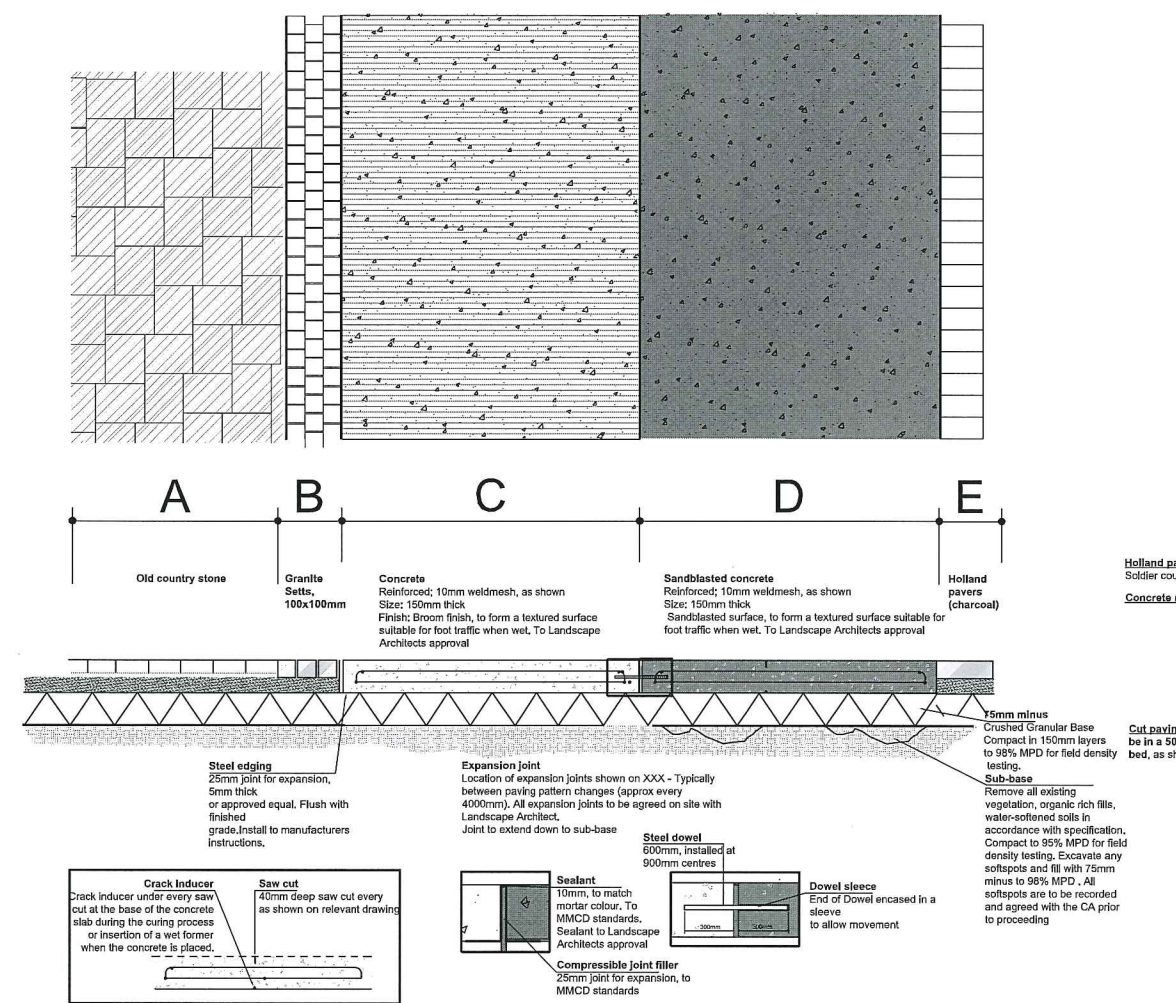
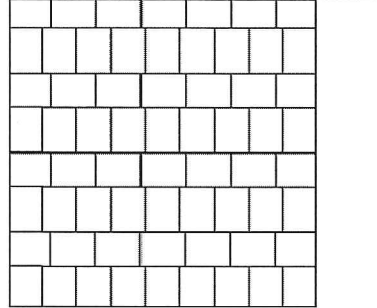
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1.21	sq. ft. (0.91 sq. m)	105	0.012	1.21

Standard Specification:

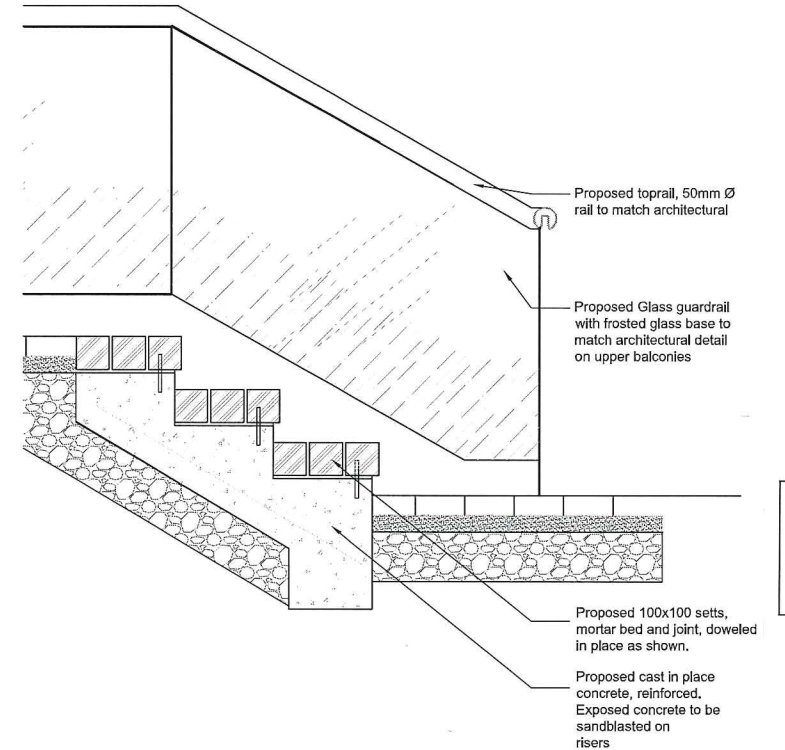
Available Colors:

Installation Patterns:

Quantity	Unit	Weight	Volume	Area
1.21	sq. ft. (0.91 sq. m)	105	0.012	1.21



1 PAVING ALONG STREETFRONT AND UPPER PARKING LEVEL
1:15



2 STEP AND GUARDRAIL DETAIL
1:15



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 WEB: www.cotterarchitects.com

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No.	Description	Date
6	Development Permit Revisions	2012-06-22
5	Development Permit	2012-06-01
4	Rezoning Application Revisions	2012-04-25
3	Rezoning Application Revisions	2011-12-07
2	Rezoning Application	2011-08-24
1	Rezoning Application	2011-08-02

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PROJECT:
 TerraWest

Plan 6h Jul 12 2012
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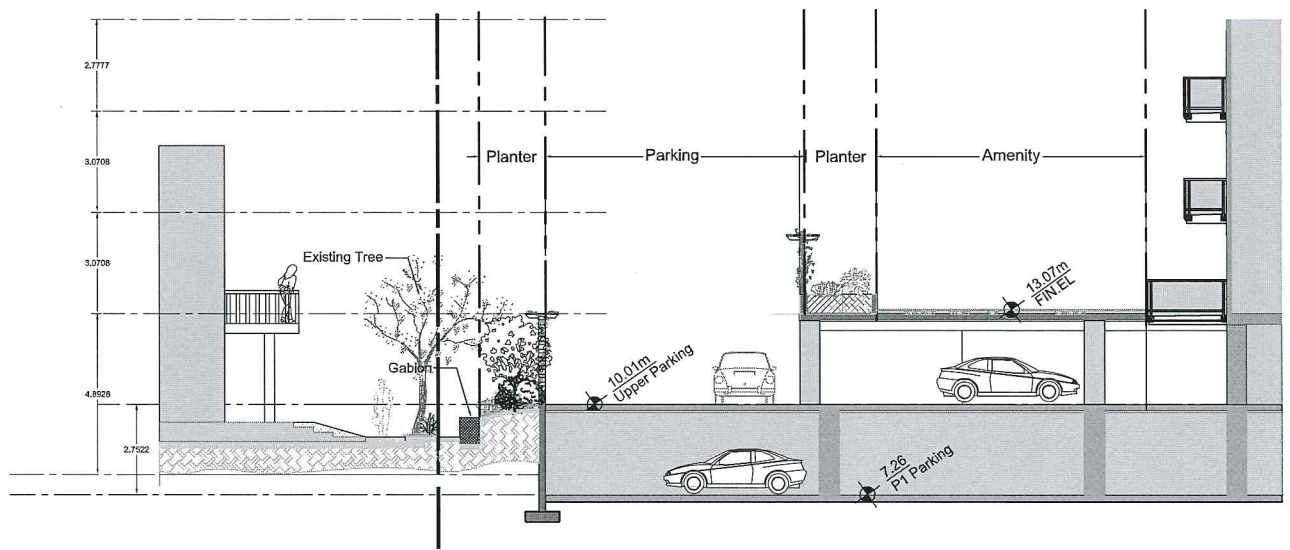
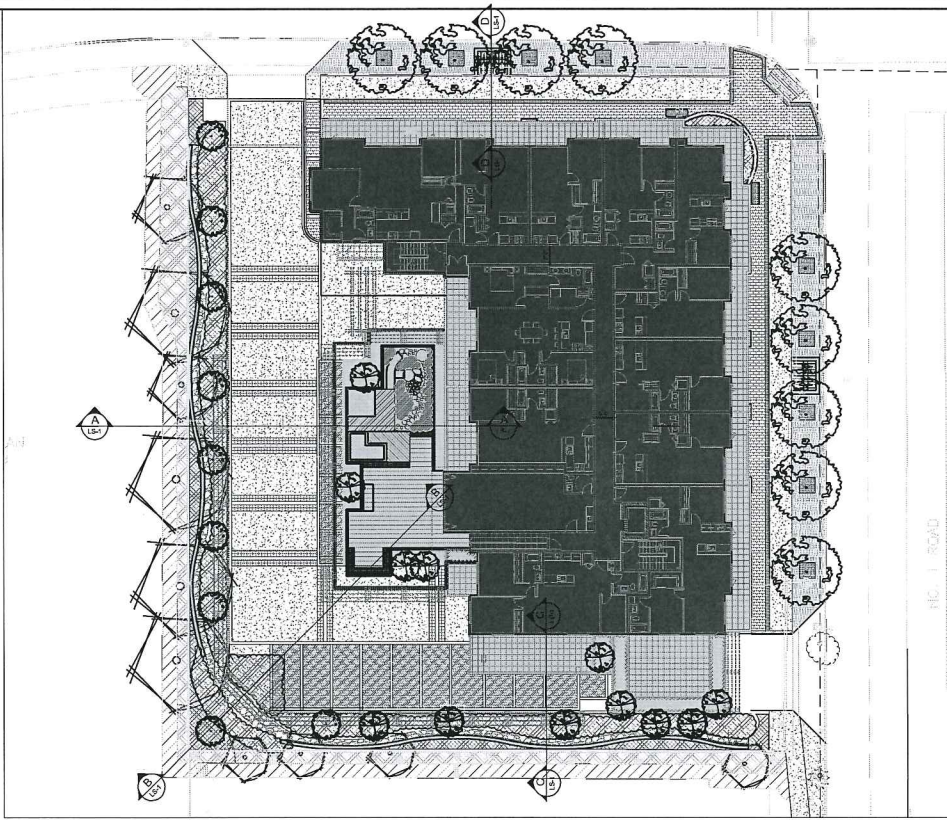
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CHECKED	MS	LS-1 CROSS SECTIONS.DWG
APPROVED	MV	DATE
AS SHOWN		MAY 2012

DRAWING TITLE
CROSS SECTION

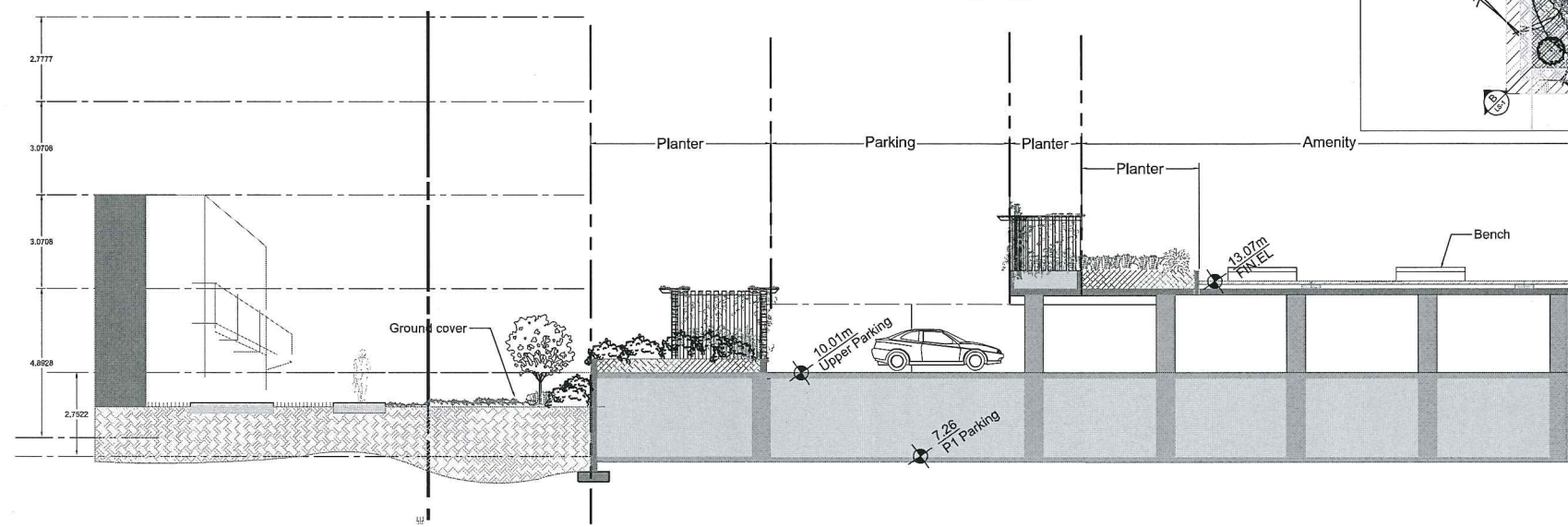
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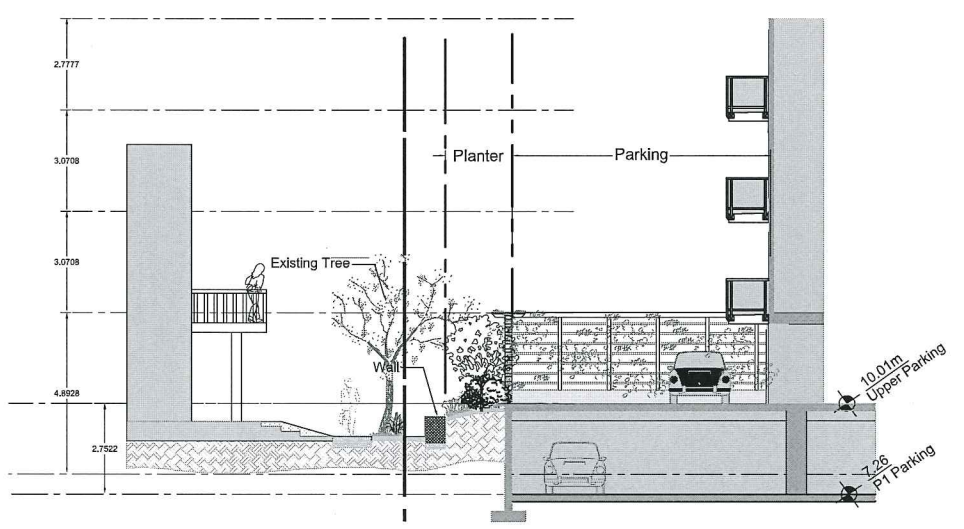
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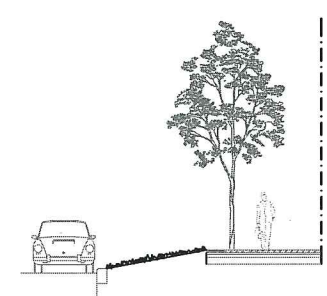
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2 SECTION B-B
 1:100@24X36



3 SECTION C-C
 1:100@24X36



4 SECTION D-D
 1:100@24X36



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No.	Description	Date
5	Development Permit	2012-06-01
4	Rezoning Application Revisions	2012-04-25
3	Rezoning Application Revisions	2011-12-07
2	Rezoning Application	2011-08-24
1	Rezoning Application	2011-08-02

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Plan 6i Jul 12 2012
DP 11-688094

DRAWN	MS	CAD FILE	L1 TREE PROTECTION PLAN.DWG
CHECKED	SM/MS	DATE	JUNE 2012
APPROVED	MV	SCALE	1:200@24X36

TREE PROTECTION PLAN

DRAWING TITLE

17

DRAWING NO. L-1

LEGEND:



GENERAL NOTES

- Please refer to Froggers Creek Tree Consultants Arborist's report for full details and tree removal.
- Contractor shall identify any underground existing utility lines (e.g. BC one). The contractor shall protect any existing utilities, unless stated otherwise in the IFC documents, in accordance with the utility authorities/City of Richmond guidelines. The contractor shall avoid all existing utilities underground and overhead where applicable, and follow utility authority guidelines. Where underground utilities exist, field adjustments must be approved by the Landscape Architect prior to installation.
- Tree removal**
Landscape Architect to approve all trees on site for removal prior to felling. Do not fell, prune, uproot, lop, top, willfully damage, willfully distract, or any trees shown on this plan until permission has been provided by the landowner (s) and/or City of Richmond. Cut trees indicated for removal to ground, and remove all arisings from site. Contractor shall assess for underground utilities before proceeding. No storage of arisings permitted on site unless approved by the Landscape Architect.
- Herbicide and pesticides**
Any use of herbicide/pesticide is to be agreed by the Contract administrator. The use of herbicides or pesticides is to be undertaken in strict accordance with manufacturers recommendations, herbicide/pesticide regulations, and local authority regulations. The approved herbicide is only permitted directly on target vegetation only as per the manufacturers recommendations. Damages to non-target vegetation through direct or indirect methods is the responsibility of the contractor. Do not spray within root zones, on leaves, or on woody elements of retained vegetation. Avoid indirect contact, such as airborne spraying, connected root systems, or leaching through soil. Avoid spraying within or near watercourses.
- Tree pruning (Arborist to inspect and approve any tree pruning)**
All tree pruning is to be approved by the Arborist unless specified otherwise in the contract drawings. All tree pruning is to be undertaken in accordance with Best Management Practices used by the International Society of Arboriculture (ISA): ANSI-300, Part 1-2001 and BMP - Tree Pruning-2002.

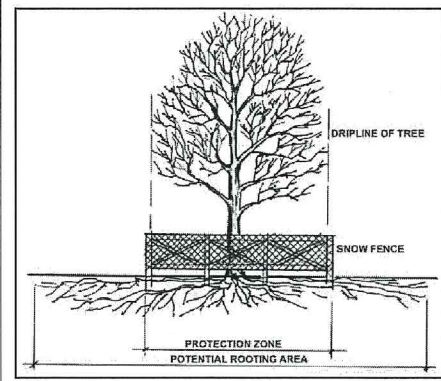


Fig. 1a - Example of a drip line on a tree

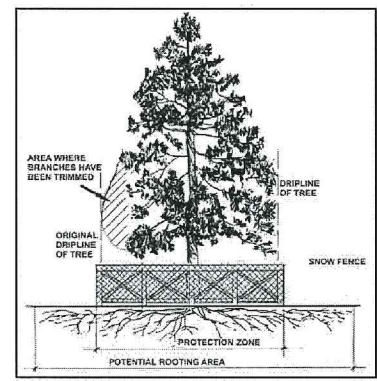
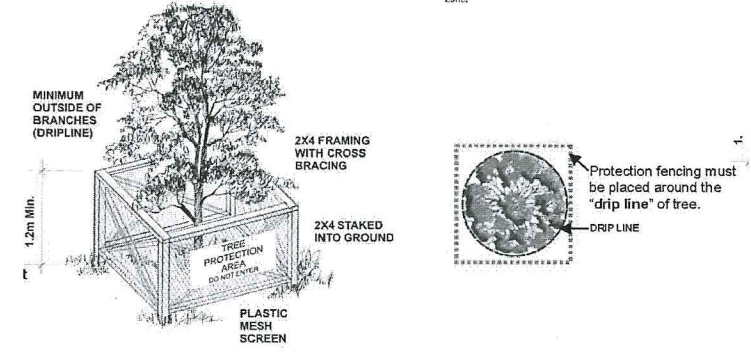
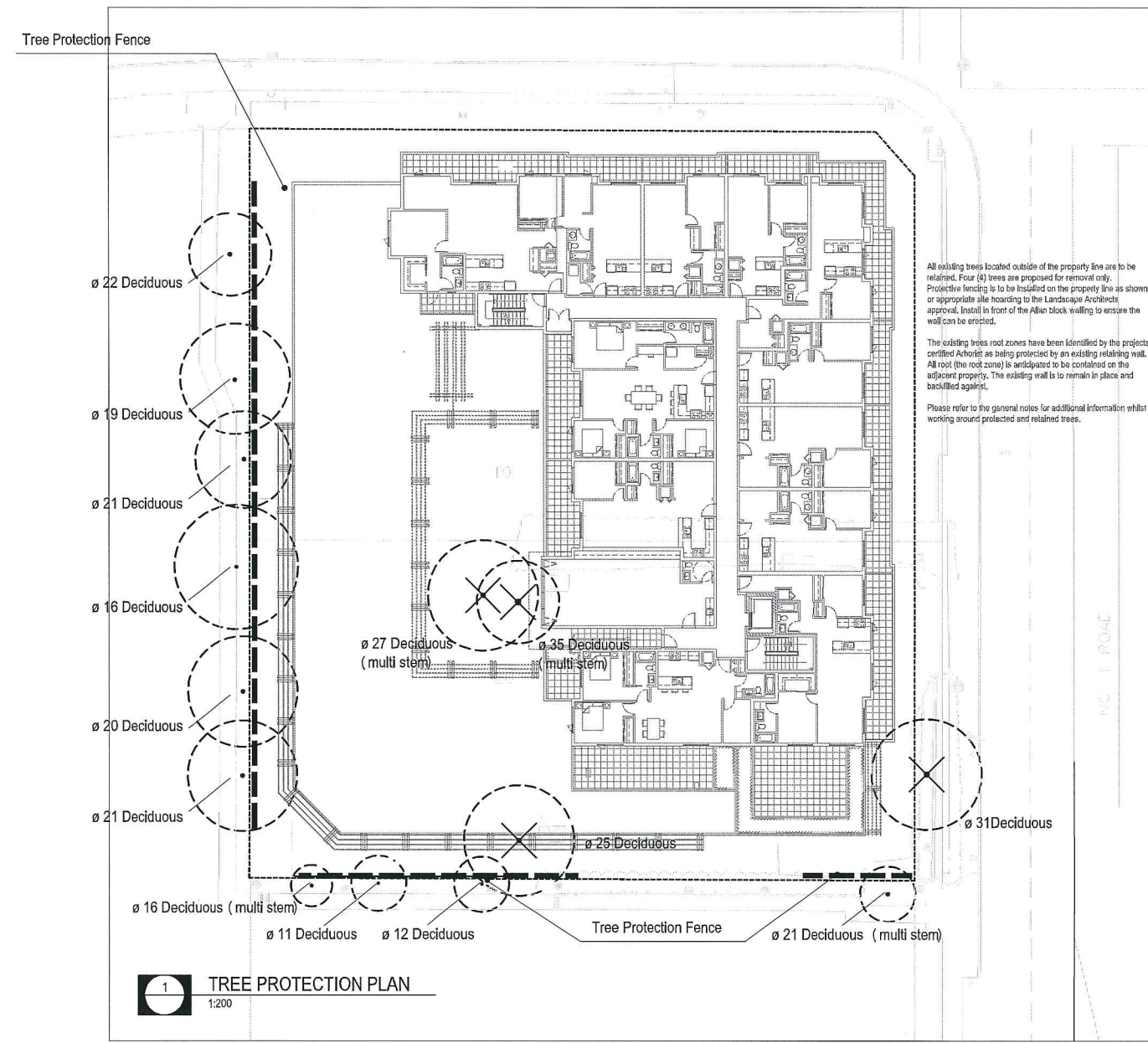


Fig. 1b - Example of a drip line on a tree with one side pruned

Please use these notes as a guide to protecting the trees root protection zone.



2 CITY OF RICHMOND - TREE PROTECTION NTS



All existing trees located outside of the property line are to be retained. Four (4) trees are proposed for removal only. Protective fencing is to be installed on the property line as shown or appropriate site according to the Landscape Architect's approval. Install in front of the Allen block walling to ensure the wall can be erected.

The existing trees root zones have been identified by the projects certified Arborist as being protected by an existing retaining wall. All root (the root zone) is anticipated to be contained on the adjacent property. The existing wall is to remain in place and backfilled against.

Please refer to the general notes for additional information whilst working around protected and retained trees.

1 TREE PROTECTION PLAN 1:200



3 EXISTING TREES ALONG WEST PROPERTY LINE



NOTES:
Refer to sheet A-003, General notes and Code Compliance sheet.

EXTERIOR FINISH SCHEDULE

- 1 BRICK CLADDING
Everest Graintex ; IXL
- 1A BRICK CLADDING
#293 Slate Gray Graintex ; IXL
- 2 WALL PANEL
Cobble Stone JH40-10 ; James Hardie
- 3 SIDING
Monterey Taupe JH40-20 ; James Hardie
- 4 SIDING
Timber Bark JH40-30 ; James Hardie
- 5 WALL PANEL
to match: Iron Gray JH90-30 ; James Hardie
- 6 HEAVY TIMBER Stained to match: Benj. Moore Appalachian Brown 2115-10
- 7 WOOD SCREEN/ TRELLIS/ FACIA/ SOFFIT
Stained to match: Benj. Moore Kona AF-165
- 8 STEEL FLASHING
painted to match: Iron Gray JH90-30
- 9 VISION PANELS / WINDOW FRAME
Clear glass / Vinyl white
- 10 WOOD TRIM
Painted White
- 11 BALCONY GUARDS / RAILING
Clear Glass-top & frosted glass-bottom/ Steel
- 12 SANDBLASTED CONCRETE
- 13 CANVASS CANOPY
Color to match Iron Gray JH90-30
- 14 INSULATED METAL PANEL
RAL 7021 Schwarzgrau; www.al13.ca

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DATE	ISSUE	DESCRIPTION
31/07/12	ISSUED FOR BUILDING PERMIT APPLICATION	
23/05/12	ISSUED FOR STAFF REVIEW	
ADP	09/05/12	ADP SUBMISSION
DP	09/12/11	DEVELOPMENT SUBMISSION
DP	25/09/11	DEVELOPMENT APPLICATION
MARK	03/08/11	DEVELOPMENT APPLICATION
MARK	03/08/11	DEVELOPMENT APPLICATION
MARK	03/08/11	DEVELOPMENT APPLICATION
MARK	03/08/11	DEVELOPMENT APPLICATION
MARK	03/08/11	DEVELOPMENT APPLICATION

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CHECKED :	PD	
SCALE :	AS SHOWN	
JOB NO. :	CEN	
DATE :	MAY 2012	
SHEET TITLE	ELEVATIONS	



1 NORTH ELEVATION
1/8"=1'-0"



2 EAST ELEVATION
1/8"=1'-0"

Plan 7 Jul 12 2012
DP 11-688094

A-201

NOTES:

EXTERIOR FINISH SCHEDULE

- 1 BRICK CLADDING
Everest Graintex ; IXL
- 1A BRICK CLADDING
#293 Slate Gray Graintex ; IXL
- 2 WALL PANEL
Cobble Stone JH40-10 ; James Hardie
- 3 SIDING
Monterey Taupe JH40-20 ; James Hardie
- 4 SIDING
Timber Bark JH40-30 ; James Hardie
- 5 WALL PANEL
to match: Iron Gray JH90-30 ; James Hardie
- 6 HEAVY TIMBER Stained to match: Benj Moore Appalachian Brown 2115-10
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- 11 BALCONY GUARDS / RAILING
Clear Glass-top & frosted glass-bottom/ Steel
- 12 SANDBLASTED CONCRETE
- 13 CANVASS CANOPY
Color to match Iron Gray JH90-30
- 14 INSULATED METAL PANEL
RAL 7021 Schwarzgrau; www.al13.ca

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DP 09/12/11	DEVELOPMENT SUBMISSION
DP 25/08/11	DEVELOPMENT APPLICATION
MARK	DDMMYY
ISSUE	DESCRIPTION



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SCALE	AS SHOWN	
JOB NO.	CEN	
DATE	MAY 2012	
SHEET TITLE	ELEVATIONS	

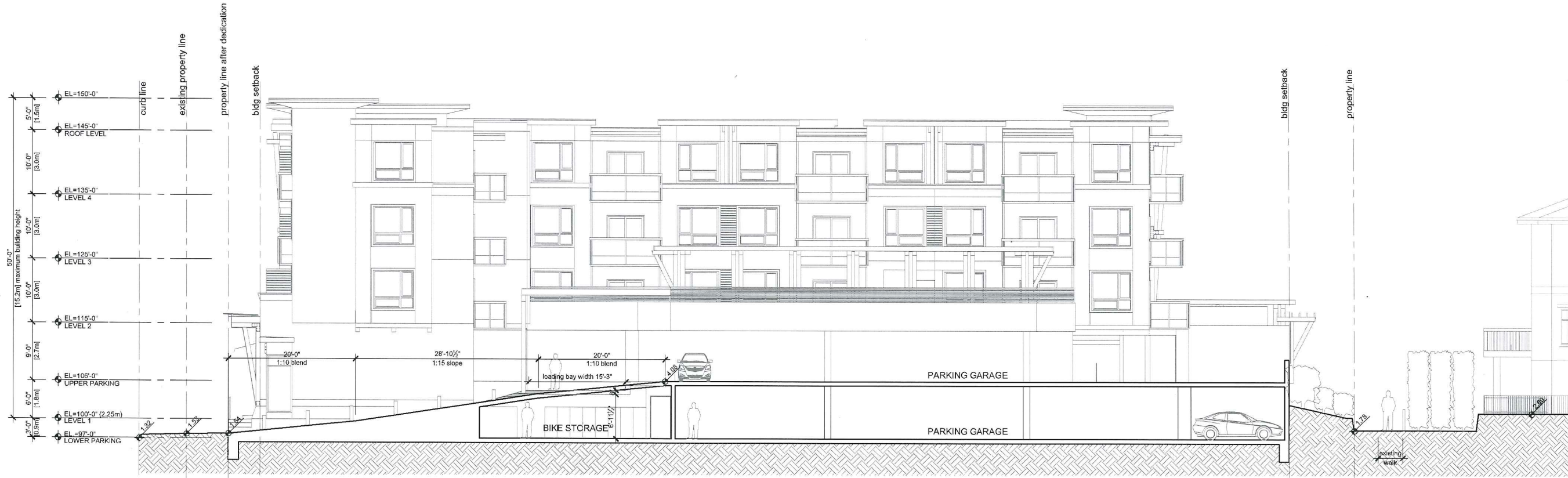


1 SOUTH ELEVATION
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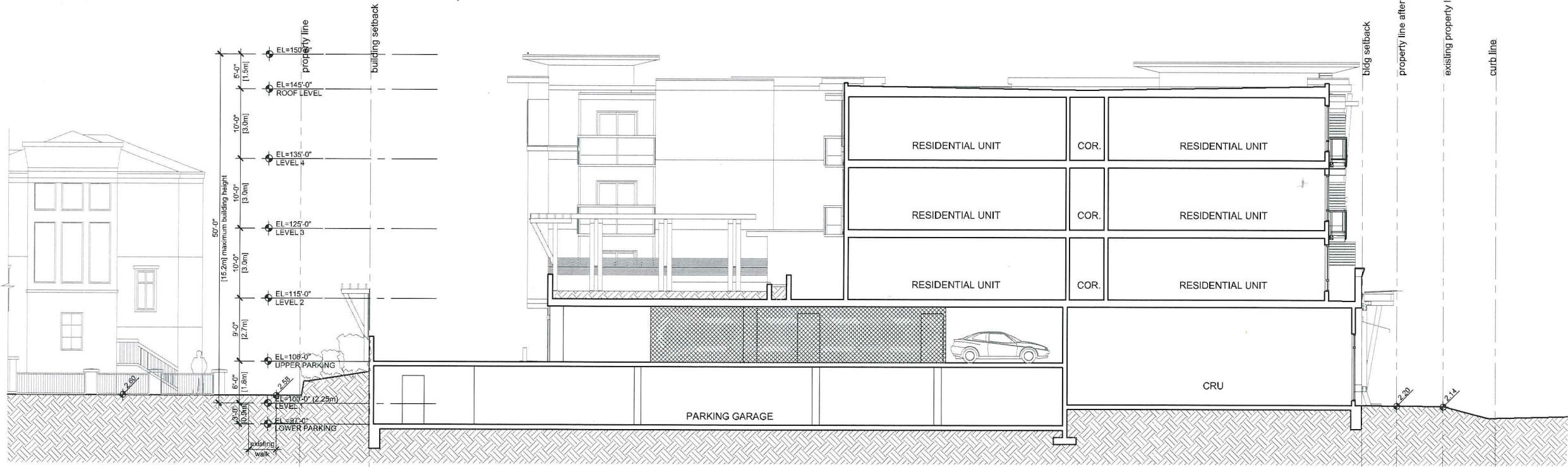


2 WEST ELEVATION
1/8"=1'-0"

Plan 8 Jul 12 2012
DP 11-688094



1 SECTION THRU 'AA'
1/8"=1'-0"



1 SECTION THRU 'BB'
1/8"=1'-0"

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ISSUE	DESCRIPTION

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JOB NO.	0611	
DATE	MAY 2012	
SHEET TITLE	BUILDING SECTIONS	

Plan 9 Jul 12 2012
DP 11-688094

A-301

NOTES:
Refer to sheet A-003, General notes and Code Compliance sheet.

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23/05/12	ISSUED FOR STAFF REVIEW
ADP 09/05/12	ADP SUBMISSION
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DP 25/08/11	DEVELOPMENT APPLICATION
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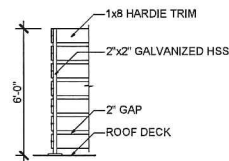
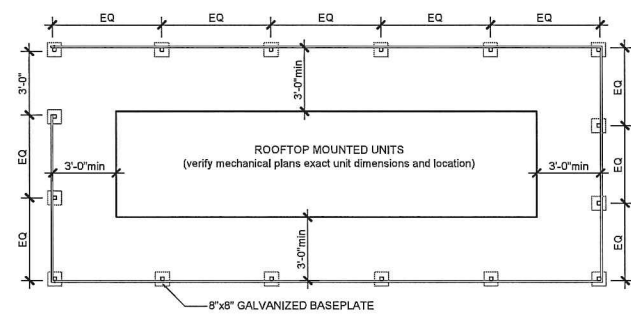
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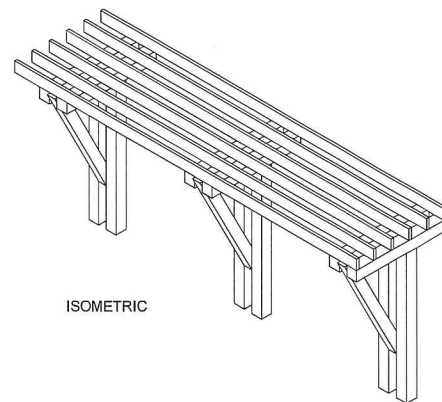
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DATE : MAY 2012
SHEET TITLE
DETAILS

Plan 10 Jul 12 2012
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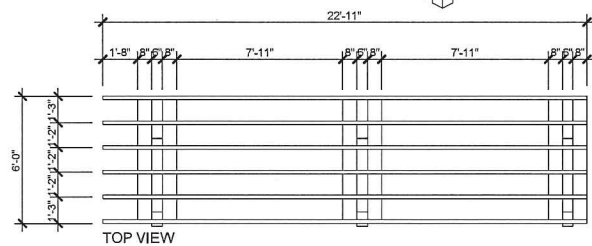
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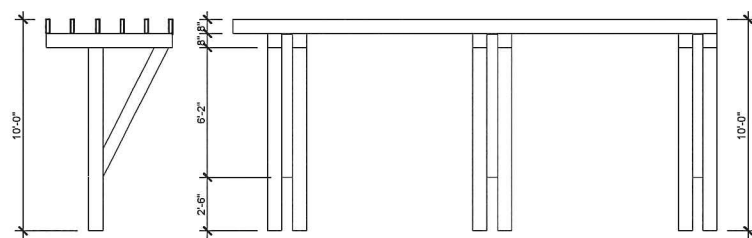
4 ROOFTOP SCREEN DETAILS
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ISOMETRIC



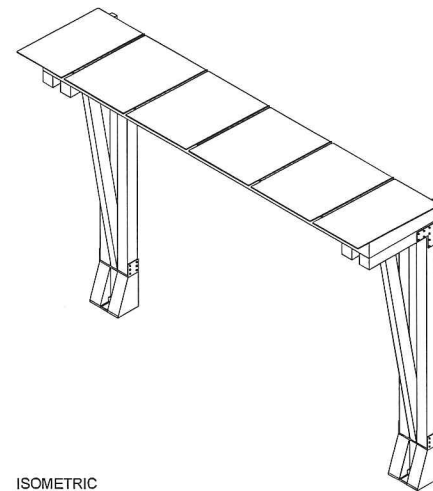
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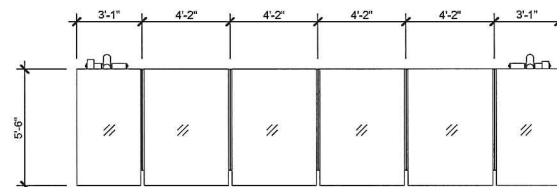
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FRONT VIEW

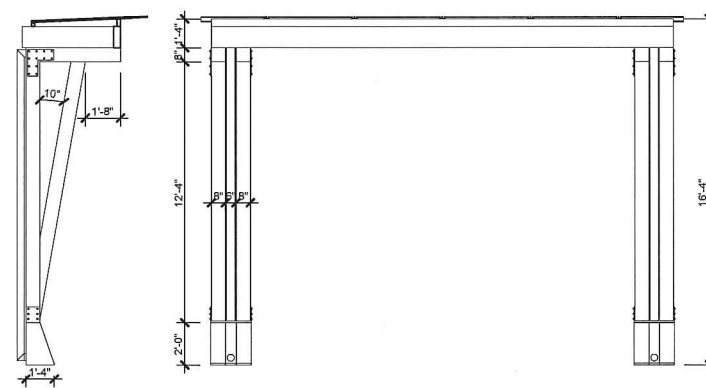
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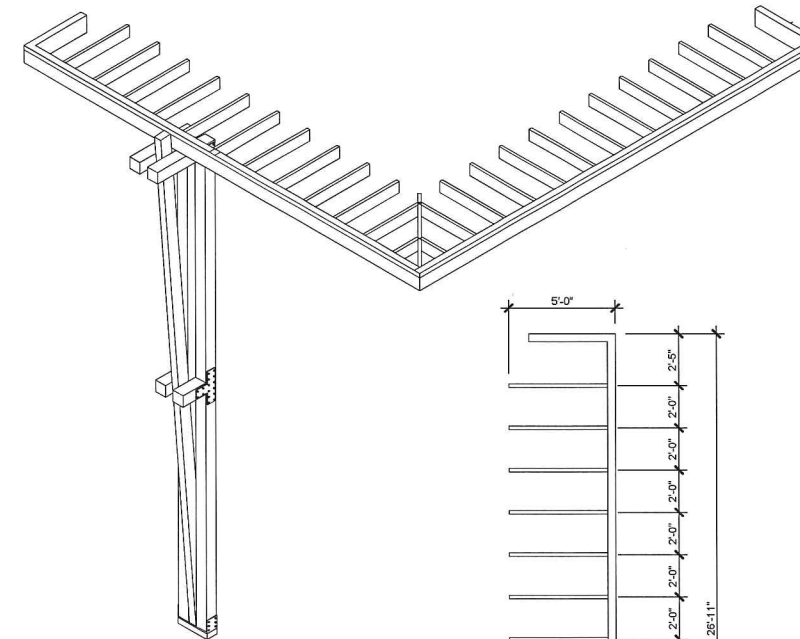
TOP VIEW



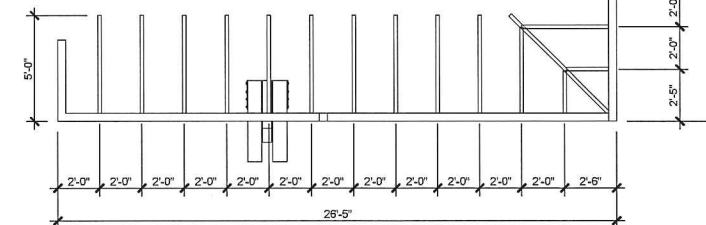
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FRONT VIEW

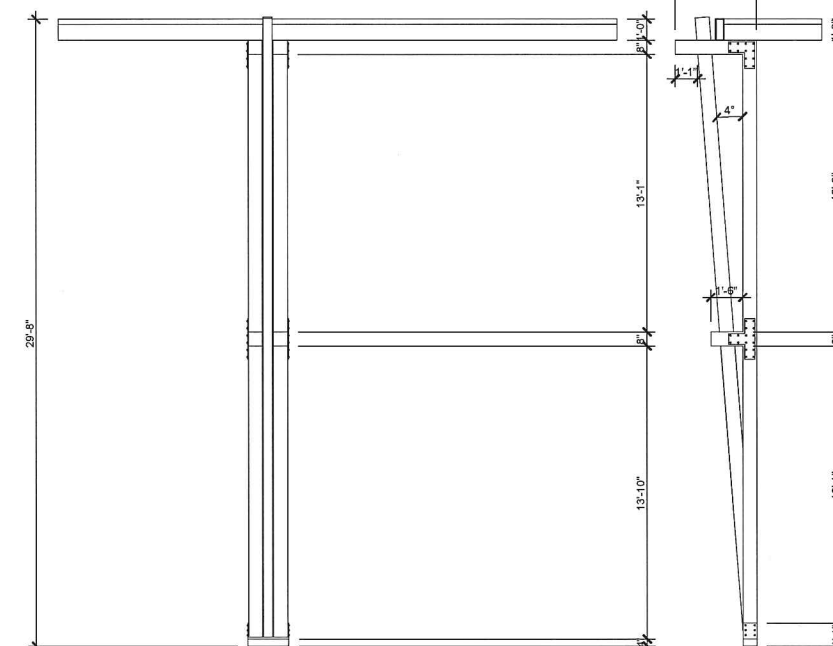
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1/4"=1'-0"



ISOMETRIC



TOP VIEW

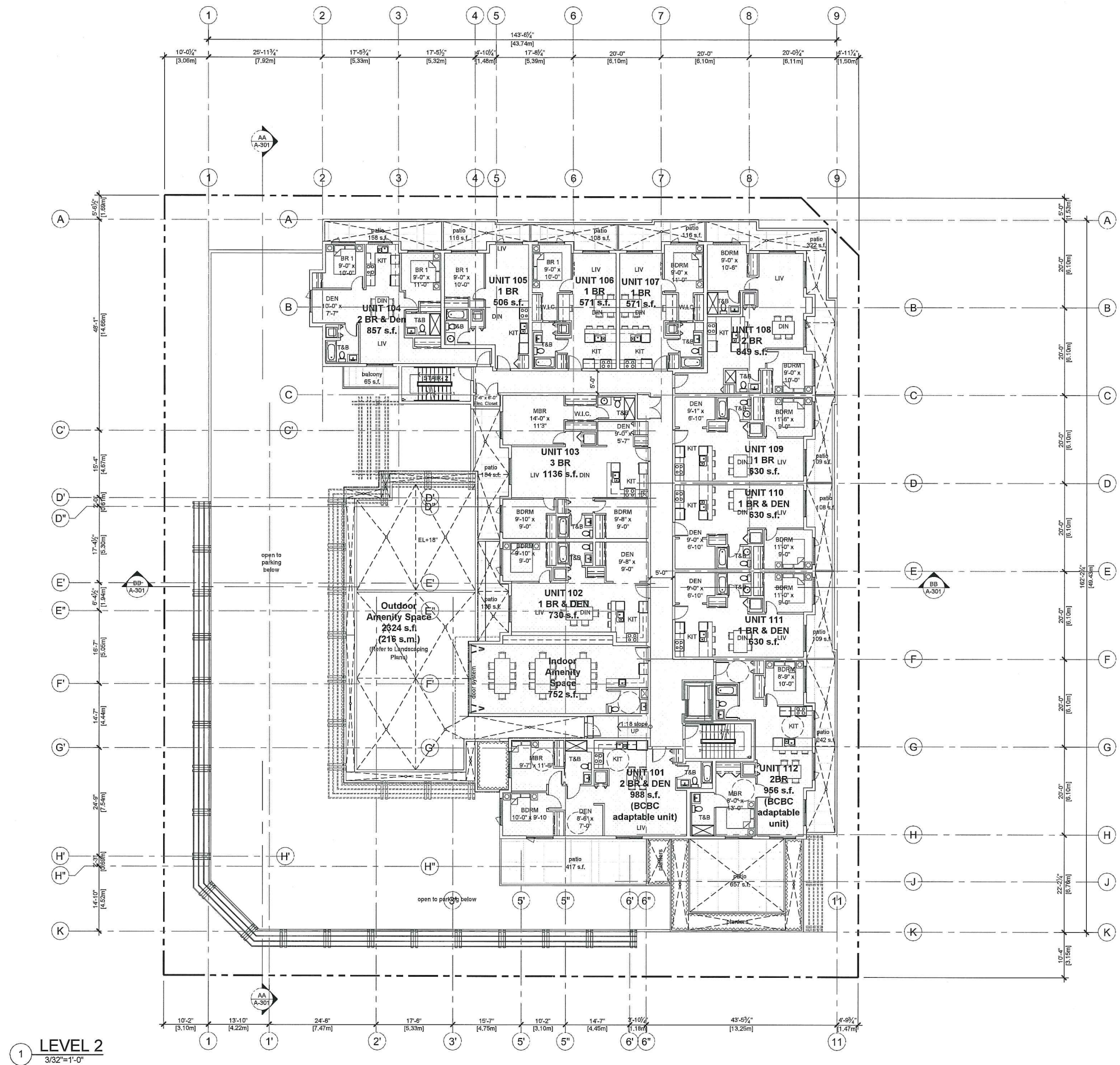


FRONT VIEW

SECTION

3 TYPE 3 TRELLIS DETAILS
1/4"=1'-0"

NOTES:
Refer to sheet A-003, General notes and Code Compliance sheet.



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DATE	DESCRIPTION
31/07/12	ISSUED FOR BUILDING PERMIT APPLICATION
23/05/12	ISSUED FOR STAFF REVIEW
09/05/12	APP. SUBMISSION
09/12/11	DEVELOPMENT SUBMISSION
25/08/11	DEVELOPMENT APPLICATION
	MARK COMMENTS DESCRIPTION

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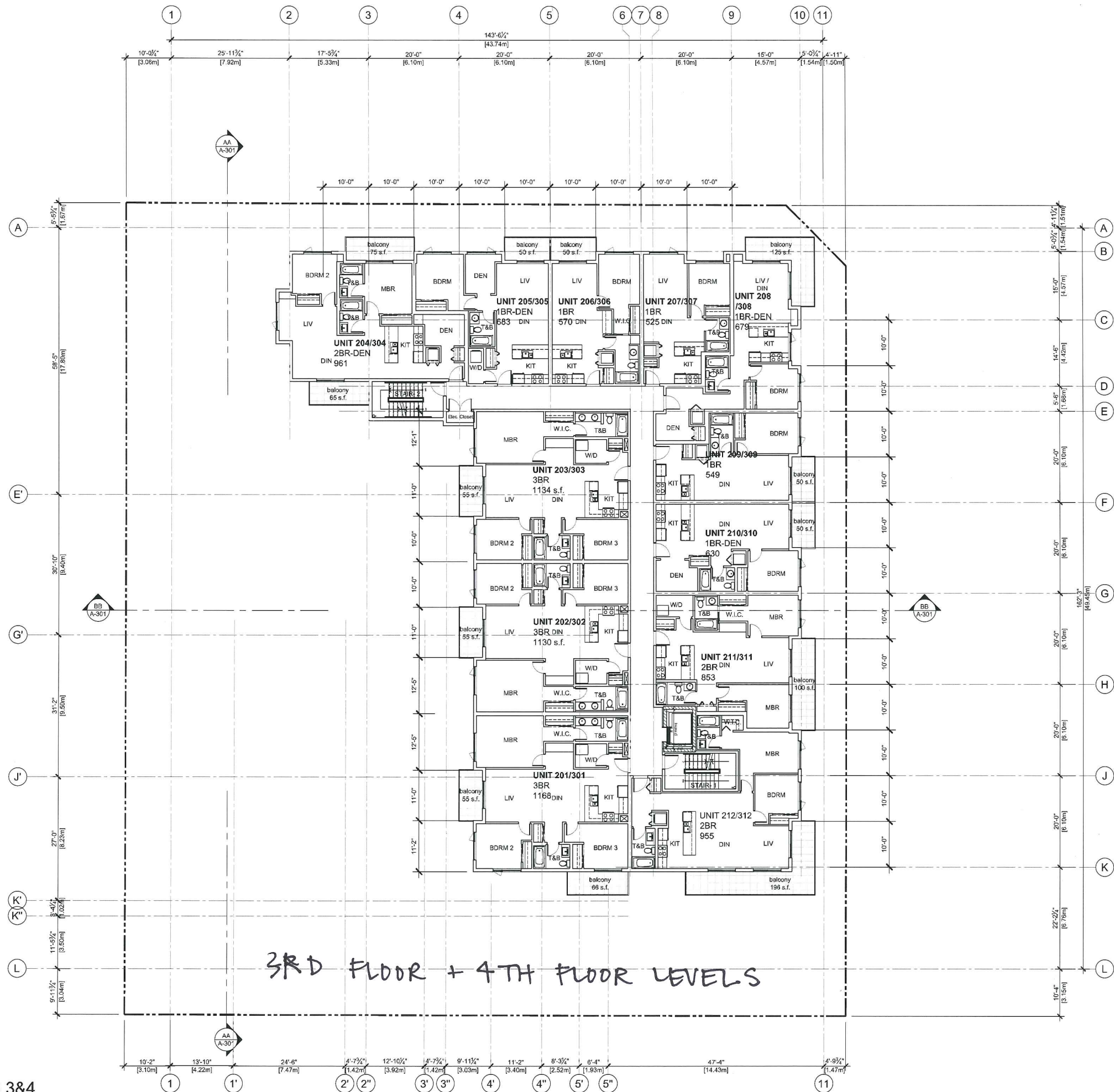
DRAWN: JB
CHECKED: PO
SCALE: AS SHOWN
JOB NO.: CEN
DATE: MAY 2012
SHEET TITLE: FLOOR PLAN

Plan 11 Jul 12 2012
DP 11-688094

1 LEVEL 2
3/32"=1'-0"



A-113



1 TYPICAL LEVELS 3&4
3/32"=1'-0"

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23/05/12	ISSUED FOR STAFF REVIEW
ADP 09/05/12	ADP SUBMISSION
DP 09/12/11	DEVELOPMENT SUBMISSION
DP 25/08/11	DEVELOPMENT APPLICATION
MARK	DESCRIPTION
REV	DESCRIPTION

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Richmond, BC

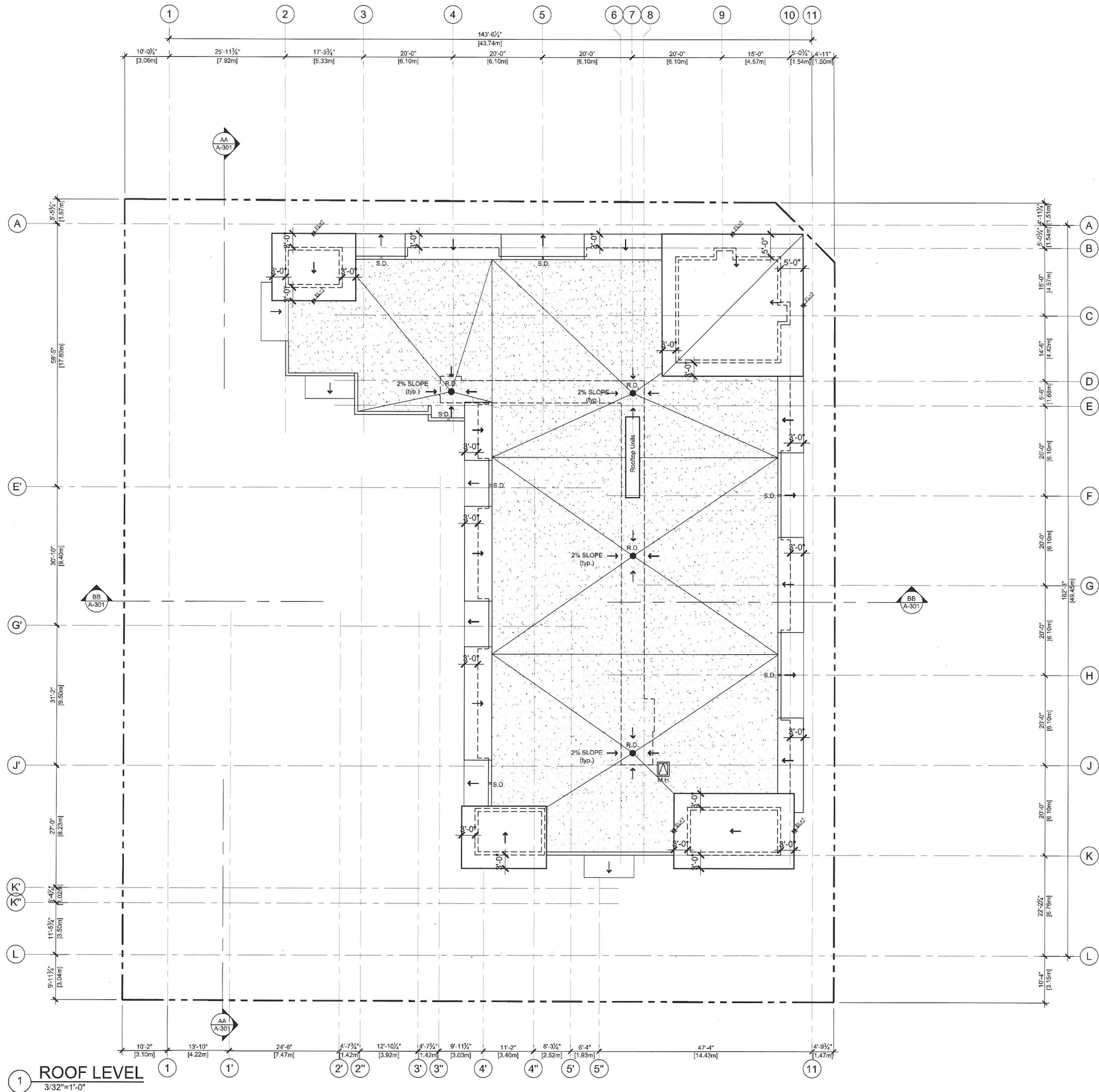
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CHECKED	PC	
SCALE	AS SHOWN	
DATE	MAY 2012	
SHEET TITLE	FLOOR PLAN	

Plan 12 Jul 12 2012
DP 11-688094

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A-114



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ADP 09/05/12	ADP SUBMISSION
DP 09/12/11	DEVELOPMENT SUBMISSION
DP 25/08/11	DEVELOPMENT APPLICATION
VAR#	CDM/MYTY DESCRIPTION
RES#E	

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SHEET TITLE	ROOF PLAN	

Plan 13 Jul 12 2012
DP 11-688094

NOTES:



1 STREETScape ELEVATION ALONG NO.1 ROAD
1/16"=1'-0"



2 STREETScape ELEVATION ALONG WESTMINSTER HIGHWAY
1/16"=1'-0"

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MARK	CD/ISSUE	DESCRIPTION
ADP	09/05/12	ADP SUBMISSION (ADVANCED COPY)
DP	09/12/11	DEVELOPMENT SUBMISSION
DP	25/08/11	DEVELOPMENT APPLICATION
MARK	CD/ISSUE	DESCRIPTION
ISSUE		

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SCALE	AS SHOWN	
JOB NO.	CDN	
DATE	MAY 2012	
SHEET TITLE	ELEVATIONS	

Reference Plan Jul 12 2012
DP 11-688094

A-211



1 CANOPY SUPPORT
NTS



2 TRELLIS SUPPORT
NTS



3 NW CORNER DETAIL
NTS



4 CORBEL
NTS



5 PRIVACY SCREEN
NTS



6 SE CORNER DETAIL
NTS

NOTES:

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DATE	ISSUE	DESCRIPTION
23/05/12	ISSUED FOR STAFF REVIEW	
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09/12/11	DEVELOPMENT SUBMISSION	
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SHEET TITLE
CHARACTER SKETCHES

Reference Plan Jul 12 2012
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A-901



1 NW VIEW
NTS



2 SW VIEW
NTS



3 SE VIEW
NTS



4 NE VIEW
NTS

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SCALE : AS SHOWN
JOB NO : C64
DATE : MAY 2012
SHEET TITLE
PERSPECTIVES

Reference Plan Jul 12 2012
DP 11-688094

A-902

NOTES:

1 VIEW FROM WESTMINSTER HWY
NTS



2 VIEW FACING NORTHEAST
NTS



3 VIEW FACING SOUTHWEST
NTS



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DP	09/12/11	DEVELOPMENT SUBMISSION
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CHECKED : FC
SCALE : AS SHOWN
JOB NO. : CEN
DATE : MAY 2012

SHEET TITLE
PERSPECTIVES

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