



**To:** Development Permit Panel

**Date:** February 20, 2024

**From:** Wayne Craig  
Director, Development

**File:** DP 23-014121

**Re:** Application by 1166225 BC Ltd. for a Development Permit at 8880 Cook Road and 8751 Citation Drive

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### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of two six-storey buildings containing 339 rental units at 8880 Cook Road and 8751 Citation Drive on a site zoned “Low Rise Rental Apartment (ZLR44) – Brighthouse Village (City Centre)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the road setback to projecting balconies above the second floor from 3.0 m to 1.2 m.

Wayne Craig  
Director, Development  
(604-247-4625)

WC:el  
Att. 3

## Staff Report

### Origin

1166225 BC Ltd. (Incorporation number: BC1165225; Directors: Yechuan Wu and Hongda Wu) has applied to the City of Richmond for permission to develop two six-storey buildings containing 339 rental units at 8880 Cook Road and 8751 Citation Drive on a site zoned “Low Rise Rental Apartment (ZLR44) – Brighthouse Village (City Centre)”.

The site is being rezoned from "Low Rise Apartment and Town Housing (ZLR32) – Brighthouse Village (City Centre)" to "Low Rise Rental Apartment (ZLR44) – Brighthouse Village (City Centre)" for this project under Bylaw 10396 (RZ 21-932698) which received third reading on October 17, 2022.

The site currently contains two apartment buildings with a total of 102 units, which will be demolished. The subject property was a strata owner-occupied apartment condo development that completed a “strata windup” process in July 2018 and then sold to the developer for redevelopment.

Key components of the proposal include:

- Approximately 20,107 m<sup>2</sup> (216,430 ft<sup>2</sup>) of purpose-built market rental housing consisting of 271 market rental housing units.
- Approximately 3,755 m<sup>2</sup> (40,427 ft<sup>2</sup>) of purpose-built moderate-income rental housing based on BC Housing’s Housing Income Limits (HILs) consisting of 68 moderate-income rental units.
- A range of unit types from studio to three-bedroom apartment units, as well as two to three-bedroom townhouse units. All moderate-income rental housing units meet the minimum size requirements under the Low End Market Rental Program.
- Six accessible units (including two studios, two one-bedroom units and two two-bedroom units); all accessible units will be designed to meet the accessibility requirements under the BC Building Code.
- 296 Basic Universal Housing (BUH) units. 100 per cent of the apartment units proposed will be designed to meet BUH provisions or the accessibility requirements.
- Indoor amenity space of approximately 698 m<sup>2</sup> (7,508 ft<sup>2</sup>) in area, including a fitness centre, casual seating lounges, piano rooms, shared and private work spaces, meeting rooms, kitchens, washrooms and guest suites.
- Outdoor amenity space of approximately 3,355 m<sup>2</sup> (36,113 ft<sup>2</sup>) in area, including a central courtyard, a children’s play area, outdoor seating areas, open turf area and garden pots throughout the development.
- Retention of a central grove of ten maple trees and oak trees.
- An on-site low carbon energy plant designed to connect to the future off-site City Centre district energy utility (DEU) system. The building design will also meet Energy Step Code - Step 3.

- Five publicly accessible open spaces (mini-pocket parks) at strategic locations along the periphery of the development with a total area of 379.7 m<sup>2</sup> (4,087 ft<sup>2</sup>).

An associated Servicing Agreement (SA 23-021998) was secured through the Rezoning (RZ 21-932698) for the design and construction of the publicly accessible open spaces (mini-pocket parks). An associated Servicing Agreement (SA 22-025603) was also secured at Rezoning for road and engineering improvement works required with respect to the subject development. Works include road widening, traffic signal improvements, frontage improvements along all road frontages and utility upgrades.

### **Development Information**

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

### **Background**

Development surrounding the subject site is as follows:

To the North: Across Cook Road, a number of two-storey townhouses on properties zoned “Low Density Townhouses (RTL1)”.

To the South: Across Citation Drive, a four-storey apartment condo on a property on “Land Use Contract (LUC 025)”, with the underlying “Low Rise Apartment and Town Housing (ZLR32) – Brighthouse Village (City Centre)” zone.

To the East: Across Garden City Road, a 16-storey apartment condo on Cook Road zoned “Residential/Limited Commercial (ZMU3) – North McLennan (City Centre)” zone, and Garden City Park located to the south of Alberta Road.

To the West: Across Pimlico Way, a number of two-storey townhouses on a property on “Land Use Contract (LUC 025)”, with the underlying “Low Rise Apartment and Town Housing (ZLR32) – Brighthouse Village (City Centre)” zone.

### **Rezoning and Public Hearing Results**

The Public Hearing for the rezoning of this site was held on October 17, 2022. At the Public Hearing, concerns regarding the potential impact to neighbouring developments, traffic, parking and tenant relocation support were expressed. Staff have also received similar inputs to the subject Development Permit application from an area resident. Responses to the concerns raised are provided below in *italics*.

#### 1. Potential impact to the adjacent properties including shadowing

*The proposed buildings are a maximum of six-storeys. With its ample building setbacks, the project will have minimal overshadowing impacts to adjacent properties, each of which is separated by a road or drive aisle in addition to the setbacks. The retention of trees and planting of new trees plus the provision of numerous pocket parks will create social gathering spaces and variety in the building massing while contributing to the pedestrian realm.*

## 2. Traffic congestion and pedestrian safety

*A Transportation Impact Assessment report prepared by Bunt & Associates was submitted and reviewed by the Transportation Department at the Rezoning stage. All potential future traffic generated from the project has been taken into account. The results of the future traffic operations analysis confirm that key intersections will remain well within capacity to accommodate the forecast increase in future peak period traffic projected to the Year 2036 without any road capacity improvements on either Garden City Road or Cook Road.*

*In addition, the proposed road and intersection design, including internal and external roads, and pedestrian circulation and movements, have all been designed and accommodated in compliance with the City's technical regulations and design criteria.*

*Furthermore, the developers have committed to upgrading the northbound Pimlico Way approach to the Cook Street intersection, incorporating separate left-turn and right-turn lanes.*

## 3. Parking and delivery

*This new proposed project will provide multiple dedicated parking stalls on site for temporary deliveries and drop off and will provide clear wayfinding and signage for deliveries. This way deliveries will avoid parking off-site when making deliveries to the lobby of the proposed building fronting Cook Road and not use the neighbour's parking stalls, thus making it safer for young families in the neighbouring townhouse complex.*

## 4. Tenant relocation

*The developer will comply with the forms of communication, commitment and assistance provided to their tenants in accordance with the City's required Tenant Relocation Plan secured at the Rezoning stage.*

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "Low Rise Rental Apartment (ZLR44) – Brighthouse Village (City Centre)" zone, except for the zoning variances noted below.

### **Zoning Compliance/Variances (staff comments in bold)**

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the road setback to projecting balconies above the second floor from 3.0 m to 1.2 m.

***Staff supports the proposed variance as the building envelope is limited by the significant road dedications along all fronting streets and retention of the tree grove in the centre of the site. Along the perimeter of the site, road dedications are required for road widening and frontage improvements, and dedications ranging from 5.07 m to 6.34 m. Surrounding the central courtyard, the building footprint must be located outside of the critical root zones of the protected tree grove and therefore pushed to the minimum setbacks from the new exterior property lines after road dedications.***

*The projecting balconies are proposed to meet the private outdoor space requirements under the Development Permit Guidelines and to provide additional visual interest of the buildings. The projecting balconies are proposed on level 3 or above and will not be encroaching into any SRW or common open spaces.)*

### **Advisory Design Panel Comments**

The Advisory Design Panel (ADP) was supportive of the application subject to consideration of the Panel's comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes from December 6, 2023 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

### **Analysis**

#### *Conditions of Adjacency*

- Significant road dedications ranging from 5.07 m to 6.34 m are required for road widening and frontage improvements along all fronting roads of the site. The parking podium and residential buildings are pushed to the minimum road setbacks to allow for a larger central courtyard, to facilitate the preservation of a tree grove of ten trees in the middle of the site.
- Ground-oriented units are proposed along all fronting roads to screen the partially sunken, two-level parkade, and to provide a streetscape and residential character compatible with the adjacent townhouse developments across Cook Road and Pimlico Way.
- The proposed building height is six-storeys. Along the fronting streets, the proposal features four levels of apartment units on top of two levels of ground-oriented townhouse units. The proposal provides a transition between the apartment towers east of Garden City Road and the two-storey townhouse clusters west of Pimlico Way.
- Long frontages are broken into different building forms, and massing is broken into smaller vertical components to reinforce a stronger urban character that is more compatible in scale and form with the adjacent existing low-rise apartments and townhouse developments.
- The massing of the buildings is further broken down along Pimlico Way and Garden City Road to increase neighbourhood porosity through the site.
- The proposed design (including building height, setbacks, frontage treatments and built form, etc.) is consistent with the design guidelines under "Sub-Area B.2 - Mixed Use - Mid-Rise Residential & Limited Commercial" in the City Centre Area Plan, which is intended for medium-density, mid-rise (four-eight storeys) housing.

#### *Urban Design and Site Planning*

- Designing around the minimum road setbacks and critical root zones of the protected trees on site, a concrete podium containing one level of residential spaces oriented towards the fronting roads and two levels of parking surrounding the central courtyard is proposed.
- Two five-storey residential buildings are proposed on top of the podium. The buildings are placed towards the outermost extremes of the podium to allow for the inner courtyard to be maximized.

- The parkade will have direct openings around the courtyard to provide natural ventilation and natural light into the space.
- The use of a metal screen with planted vines will create a green wall and screen between the parkade and the open courtyard.
- Ground-oriented units along all sides of the site are set further away from the street, as compared to the upper levels, and set above the sidewalk elevation with individual unit access, stepped planters, large open patios spaces and gated entries to create more pedestrian-friendly streetscape.
- Two lobby entries, set at sidewalk elevation for a friendly, accessible approach to the building are provided at the northeast side of the site (Cook Road) and the southwest side of the site (Citation Drive) respectively.
- A vehicle access service area will be provided off Pimlico Way. This area is designed to provide parkade access, as well as a central pickup/drop off, garbage/recycling collection and loading area.
- While the introduction of new Provincial legislation under Bill 47 has come into effect, as this application received first reading prior to January 1, 2024, the City's current parking regulations under Richmond Zoning Bylaw No 8500 are still in effect.
- There is a total of 223 parking spaces provided in the parkade, including:
  - 140 stalls for market rental units, including three accessible spaces.
  - 28 stalls for moderate-income rental units, including one accessible space.
  - 55 visitor parking stalls, including two accessible parking spaces and two car share spaces.
- The proposed number of parking spaces is consistent with the parking requirements under the ZLR44 zone subject to the provision of Transportation Demand Measures (TDM) to the satisfaction of the City. The TDM includes:
  - Car Share Vehicles and Designated Parking Spaces - provision of two car share vehicles and designated car share parking spaces.
  - Car Share Membership - provision of a car share membership for each dwelling unit.
  - Subsidized Transit Passes - provision of a Transit Pass Program offering a monthly two-zone pass for each dwelling unit, for one year.
  - Additional Class 1 Bicycle Parking - Provision of Class 1 bicycle parking at a rate of 1.9 spaces per unit (instead of 1.25 spaces per unit) for units that are one-bedroom or larger. The net increase of secured bike storage spaces for the project is 163 spaces. Bike storage rooms will have outlets for bicycle charging.
  - Bicycle Maintenance Facility - provision of a bicycle maintenance room for resident use to include a bike stand, repair tools, bike washing area and opportunities for charging of e-devices.
  - Shared Bike and Micro Mobility Station - provision of a SRW and access to an area for a future shared e-bike and e-scooter parking corral on the site.
  - Implementation of cycling facilities and enhancements along the site's frontage to be secured through the associated site Servicing Agreement for the application.

- Unassigned Parking - registration of a restrictive covenant on Title to ensure that all residential parking spaces are unassigned and assignment is managed by the property manager.
- Delivery vehicle parking - provision of additional delivery vehicle parking for e-commerce vans (Amazon, etc.), food delivery vehicles and registration of a legal agreement on Title to outline the operation of the parkade gate to provide access to the delivery vehicle parking and to encourage the use of visitor parking on-site during daytime hours (i.e., from 8:00 a.m. to 7:00 p.m.).
- There is a total of 588 Class 1 (residential) bicycle parking spaces provided within bike storage rooms in the parkade. In which, 106 spaces are provided for moderate-income housing units and 482 spaces are provided for market rental housing units. The proposed number of Class 1 bicycle parking spaces is consistent with the requirements under the ZLR44 zone.
- There is a total of 68 Class 2 (visitor) bicycle parking spaces provided on-site. In which, 27 spaces are provided in the open area by each of the two residential lobbies, 25 spaces are provided within the parkade and 16 spaces are provided along the perimeter of the site, within the public pocket park areas. The proposed number of Class 2 bicycle parking spaces is consistent with the requirements under the zoning bylaw.
- The CCAP requires that multi-family developments comprising 200 units or more provide indoor amenity space at a standard of 2 m<sup>2</sup> (21.5 ft<sup>2</sup>) per dwelling unit. The subject development exceeds the CCAP minimum and provides for 698 m<sup>2</sup> (7,508 ft<sup>2</sup>) of indoor amenity spaces. Features include two guest suites on P2, a fitness centre on level two, as well as casual seating lounges, piano rooms, shared and private workspaces, meeting rooms, kitchens and washrooms on levels three and four.
- Outdoor amenity spaces proposed in this development also exceed the minimum OCP requirements. Outdoor amenity spaces proposed on-site include:
  - a 1,888 m<sup>2</sup> (20,325 ft<sup>2</sup>) central courtyard on the ground level, featuring open lawn space beneath mature trees, various outdoor seating areas, planting areas and a children's play area;
  - 1,149 m<sup>2</sup> (12,371 ft<sup>2</sup>) of open space on level two, featuring an open artificial turf, plating pods and outdoor walkways; and
  - 317 m<sup>2</sup> (3,416 ft<sup>2</sup>) of outdoor space on level three, between two indoor amenity rooms, connected through exterior stairs to the second-level amenity deck and fourth-level indoor amenity room, featuring outdoor dining and lounging areas.

### ***Architectural Form and Character***

- The overall design intent is to introduce a low-rise building form in a manner that maintains a pedestrian-oriented building massing that, in turn, respects the scale of the immediate neighborhood to the north, west and south.
- The form and configuration of the building were dictated by the retention of trees in the central courtyard. A variety of building heights with breaks in architectural shapes, along with changes in massing, forms and character across the entire site has been implemented.

A wide range of architectural design elements have been incorporated into the design of the project.

- A combination of suspended balconies and inset balconies have been provided to create rhythm and pattern for each elevation; balcony alignment has also been used to differentiate between fronting facades to create visual interest.
- The exterior cladding is a combination of fibre cement panel and brick with metal slats. The choice of materials and colour palettes reflect the residential nature of the project. A unique blend of materials and colours is selected for each mass and building to break up the long façade, provide individual character and help integrating the project into its surrounding context.

### ***Tree Management***

- Tree preservation was reviewed at the rezoning stage and reconfirmed during the Development Permit review process.
- 15 bylaw-sized trees located on site are to be retained and protected:
  - Ten trees (tag# 1887, 1888, 1889, 1890, 1891, 1892, 1893, 1894, 1895 and 1896) located in the central courtyard;
  - Four trees (tag# 1956, 1957, 1958 and 1959) located at the southwest corner of the site; and
  - One tree (tag# 1852) located at the northeast corner of the site.
- A Tree Survival Security in the amount of \$150,000.00 for the 15 trees has been secured at Rezoning stage.
- Significant discussion and effort by City staff and the applicant went into consideration of tree removal on site. The approach taken and supported by the City's Tree Preservation group was to retain the stands of trees in the centre and in key locations.
  - In order to support this form of development and to accommodate the number of rental units proposed on the site; 19 trees that are in good to fair conditions but in conflicts with the building envelope, are identified for removal.
  - Another 112 trees that are in poor condition will also be removed.
- 263 replacement trees are required for the removal of 131 trees on site.
- While the proposed development would occupy a significant amount of the site, the applicant is proposing to plant 135 replacement trees on site, including eight conifers and 127 deciduous trees.
- The applicant has agreed to provide a voluntary contribution of \$98,304.00 (\$768.00/tree) to the City's Tree Compensation Fund, in lieu of planting the remaining 128 replacement trees, prior to DP issuance.

### ***Landscape Design and Open Space Design***

- The overall landscape concept satisfactorily enhances the interface between the proposed development and the public realm.



- Building lobbies and private patios are proposed along the road frontages to animate the public realm.
- Private patios for the ground-oriented units along all of the site's four road frontages feature raised planters with layered shrubs, privacy hedging and individual gated accesses to enhance the residential character of the proposal and to provide a pedestrian-oriented streetscape.
- A series of publicly accessible open spaces (mini-pocket parks) are proposed in strategic locations along the periphery of the development:
  - At the northwest corner: A drinking fountain, two feature benches in a striking blue hue and ten designated bike parking spaces are proposed to engage the intersection of Cook and Pimlico; distinctive paving will also be introduced to clearly define the space.
  - At the northeast corner: One mature tree will be preserved, providing shade and natural beauty amidst a spacious open lawn accessible to the public. Additionally, two distinctive benches in a vibrant yellow hue are planned to enhance public enjoyment and relaxation within the area.
  - At the southeast corner: Two feature benches in dark blue color and eight designated bike parking spaces are proposed to encourage individuals to rest in this area; distinctive paving will be implemented to delineate the space, enhancing its visual appeal and functionality.
  - At the southwest corner: Four existing trees will be preserved, offering both shade and a natural view. An open lawn with two distinctively designed benches, adorned in a vibrant red hue, is envisioned to elevate public enjoyment and relaxation within the area.
  - By the vehicle access to the site: A grove of specimen conifers that meet the minimum size of replacement trees as well as drought tolerant ground covers and shrubs are proposed to screen and soften the view of the service area/parkade entrances while enhancing the public realm. Along the sidewalk frontage, 14 visitor bike parking and three bench seating will be provided.
- The developer worked with the project arborist to retain the existing trees in the middle of the site while enhancing the central courtyard with amenity features for future residents. The space includes:
  - Open lawn space beneath mature trees;
  - An adventurous kid's place space for a range of ages with features such as a see-saw, a climbing net, two springers and a play-hut with a slide; and
  - Wood platform seating, deck seating, and amphitheatre seating areas.
- The developers are providing as much children's play area as possible in one place, based on the ADP comments, given tree retention. On the second level, an artificial turf is proposed at the south end of the podium for active play.
- Elevated planters, trellis screening, shrubs and trees are proposed along the perimeter of the courtyard to screen the parkade walls and exposed concrete of the building base.
- A grand staircase with integrated planters and a hanging ramp system are also proposed in the courtyard to connect the outdoor amenity space on the ground-level and the second-level.

- Five garden pots are proposed at the northwest and southwest wings of the podium, on the second level, to provide urban agricultural opportunities on site.
- An amenity deck is proposed on the third floor between the two indoor amenity rooms. It features outdoor dining and lounging areas with fire pit and barbeque, perimeter planting pockets and raised planters with trees.
- A lighting plan is included in the DP plans, which indicates lighting provided throughout the site:
  - Various types of lighting, including low planter wall lights, bollard lights, pedestrian-scaled pole lights and wall sconce lights, have been proposed for different locations. Each light has been thoughtfully chosen to ensure that they are oriented downward, specifically designed to illuminate ground surfaces, building entrances and stairways effectively.
  - Shielded and downward-facing lights were selected.
  - Low planter wall lights and wall sconce lights were proposed at the parking courtyard to provide a safe walking experience, meanwhile, these lights were selected as non-glared.
  - The lighting fixtures have been chosen to guarantee that the illumination level at the property line does not exceed three foot-candles.
- An irrigation system is proposed to ensure continued maintenance of live landscaping on site.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$ 858,573.29 in association with the Development Permit.

### ***Crime Prevention Through Environmental Design***

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the proposed development.
- Public areas, pedestrian pathways and resident private/semi-private areas are designed to be well-defined by soft landscaping and hard fencing/gates to clearly delineate boundaries of uses.
- Entry lobbies are designed to be visually open from the sidewalk.
- The service area and parkade entry is designed with clear sight lines, clear signage and good lighting for both entry and exit.

### ***Sustainability and Renewable Energy***

- The subject site is within the City Centre District Energy Utility catchment area and connection to the utility will be required for this development. The developer is required to design, construct and transfer ownership to the City of a Low Carbon Energy Plant (LCEP) and related infrastructure on-site to facilitate a future connection to a City Centre District Energy Utility (DEU) system.
- The developer has committed to design the subject development to meet the City's Step Code requirements (i.e., Step 3). Details on how all units are to be built and maintained to this commitment will be reviewed at Building Permit stage.


- The architect advised that the following features will be specified in the development:
  - Air Source Heat Pumps (ASHPs).
  - Heat Recovery Ventilators (HRVs).
  - High efficiency LED.
  - Electrified cooking in suites.

### ***Accessible Housing***

- The proposed development includes 296 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m<sup>2</sup> (20 ft<sup>2</sup>) per unit. The proposed development includes six accessible units that are designed to be fully accessible at the time of construction for a resident in a wheelchair. These units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw and in the BC Building Codes.
  - Four of the accessible units will be designated as moderate-income housing units, and two of the accessible units will be designated as market rental units
  - These accessible units will be secured in perpetuity with the Market Rental Agreement and the Moderate Income Housing Agreement registered on Title.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell hand rails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

### **Conclusions**

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



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EL:js

- Att. 1: Development Application Data Sheet  
2: Excerpt from the Meeting Notes of Advisory Design Panel Meeting  
(December 6, 2023)  
3: Development Permit Considerations



**DP 23-014121**

**Attachment 1**

Address: 8880 Cook Road and 8751 Citation Drive

Applicant: 1166225 BC Ltd.

Owner: 1166225 BC Ltd.

Planning Area(s): Brighthouse Village (City Centre)

Floor Area Gross: 26,351 m<sup>2</sup> (283,640 ft<sup>2</sup>)

Floor Area Net: 23,862 m<sup>2</sup> (256,857 ft<sup>2</sup>)

	Existing	Proposed
<b>Site Area:</b>	13,879 m <sup>2</sup>	11,392 m <sup>2</sup>
<b>Land Uses:</b>	Apartment Residential	No Change
<b>OCP Designation:</b>	Apartment Residential	No Change
<b>Area Plan Designation:</b>	City Centre Area Plan: General Urban T4 – High Density Townhouses	No Change
<b>Zoning:</b>	Low Rise Apartment and Town Housing (ZLR32) – Brighthouse Village (City Centre)	Low Rise Rental Apartment (ZLR44) – Brighthouse Village (City Centre)
<b>Land Use Contracts:</b>	Land Use Contract (LUC 025)	Discharge
<b>Number of Units:</b>	102	339

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	- Max. 1.8 FAR Market Rentals - Min. 0.3 FAR Moderate Income Rentals	- Market Rentals: 1.765 FAR - Moderate Income Rentals: 0.33 FAR	none permitted
Buildable Floor Area (m <sup>2</sup> ):*	- Market Rental: Max. 20,505.6 m <sup>2</sup> (220,720 ft <sup>2</sup> ) - Moderate Income Rental: Min. 3,417.6 m <sup>2</sup> (36,786 ft <sup>2</sup> )	- Market Rental: 20,107.0 m <sup>2</sup> (216,430 ft <sup>2</sup> ) - Moderate Income Rental: 3,755.8 m <sup>2</sup> (40,427 ft <sup>2</sup> )	none permitted
Lot Coverage (% of lot area):	- Building: Max. 60% - Non-porous Surfaces: Max. 80% - Landscaping with Live Plant Material: Min. 20%	- Building: 45.5% - Non-porous Surfaces: 78.3% - Landscaping with Live Plant Material: 22.7%	none
Lot Size:	Min. 11,000 m <sup>2</sup>	11,391 m <sup>2</sup>	none
Setbacks (m):	Road: Min. 3.0 m	Cook Road: 3.0 m Garden City Road: 3.0 m Citation Drive: 3.0 m Pimlico Way: 3.0 m	none
Height (m):	Max. 25.0 m	24.04 m	none

Off-street Parking Spaces – Regular (R):	Total: 164 (R), including: - Market Rental Unit: 271 x 0.5 space/unit with TDM Reduction = 136 (R) - Moderate Income Rental: 68 units x 0.4 space/unit with TDM Reduction = 28 (R)	168	none
Off-street Parking Spaces – Visitor (V):	339 units x 0.16 space/unit with TDM Reduction = 55 (V)	55	none
Small Car Parking Spaces	Max. 50% when 31 or more spaces are provided on-site (225 x Max. 50% = 112)	96	none
Accessible Parking Spaces (Residential):	Min. 2% when 11 or more spaces are required: - Market Rental Unit: 136 x 2% = 3 - Moderate Income Rental: 28 x 2% = 1	5	none
Accessible Parking Spaces (Visitor):	Min. 2% when 11 or more spaces are required (55 x 2% = 2 spaces)	2	none
Bicycle Parking Spaces – Class 1	Total: 588, including: - Studio: 1.25 spaces per unit x 87 = 109 spaces - All other unit types: 1.9 spaces per unit x 252 = 479 spaces	588	none
Bicycle Parking Spaces – Class 2	339 units x 0.2 = 68 spaces	68	none
Amenity Space – Indoor:	Min. 2 m <sup>2</sup> per unit = 339 x 2 m <sup>2</sup> = 678 m <sup>2</sup>	698 m <sup>2</sup>	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> per unit + 10% of the net development site area = 339 units 6 m <sup>2</sup> + 1,139.2 m <sup>2</sup> = 3,173.2 m <sup>2</sup>	3,355 m <sup>2</sup>	none

Excerpt from the Minutes from  
**The Design Panel Meeting**

Wednesday, Wednesday December 6, 2023 – 4:00 p.m.  
Remote (WebEx) Meeting

2. **DP 23-014121 – TWO 6-STOREY RESIDENTIAL BUILDINGS CONTAINING  
339 RENTAL UNITS**

ARCHITECT: GBL Architects Inc.  
LANDSCAPE ARCHITECT: Durante Kreuk Landscape Architects  
PROPERTY LOCATION: 8880 Cook Road and 8751 Citation Drive

**Applicant's Presentation**

Amela Brudar, GBL Architects Inc., introduced the project and Alejandro Martinez, GBL Architects, Inc., and Landscape Architect Alexa Gonzalez, Durante Kreuk Ltd., presented the project and answered queries from the Panel.

**Panel Discussion**

*Comments from Panel members were as follows:*

- appreciate the provision of six fully accessible units among the 296 Basic Universal Housing (BUH) units; also appreciate the variety of sizes of the accessible units which include studio and one-to three-bedroom units;

*Applicant's response: acknowledged.*

- concerned about access to parking for drivers with disabilities as after 10 pm the driver would have to get out of the vehicle to access the parkade and get back to the vehicle prior to proceeding to the parkade; consider other options to access the parkade after 10 pm, especially for drivers with disabilities;

*Applicant's response: No change has been made. After a thorough examination and exhaustive technical analysis in collaboration with our traffic consultant, Bunt & Associates, we have explored various options, incorporating detailed turn radius assessments and Crime Prevention Through Environmental Design (CPTED) considerations. Our comprehensive investigation has led us to the determination that the most viable solution is to position the intercom system outside the entry gate of each building. Upon occupancy, these structures will leverage cutting-edge smart technology to facilitate seamless and secure access to the parkade and building, ensuring the convenience and safety of all residents and visitors, particularly when accessed from within their vehicles. For example, a smart intercom and security system would enable visitors to receive a time-limited barcode on their smartphone, which grants access to specific floors, units, and the parking area of the building.*

- concerned about visitor access after hours; consider moving the parkade gates one car length down into the tunnel and putting the interphone on the left side on the pilaster to better facilitate the visitor parking process after hours;

*Applicant's response: We are complying with CPTED guidelines, creating an alcove in the parkade entryway would regrettably be perceived as a potential area of shelter or refuge for individuals experiencing homelessness.*

- the building design at the Garden City and Cook Road intersection needs more work to provide architectural and visual interest; consider incorporating cedar coloured metal planks at this building corner;

*Applicant's response: Thank you for your insightful comment. We conducted a comprehensive review of the design, placing particular emphasis on the visual hierarchy of the corner. Our primary focus has been on showcasing the prominent tree that has been preserved at the site's corner, adhering to the City's directives for safeguarding its root zone. In our reassessment, we have strategically directed visual interest towards the main gateway entry, specifically the lobby entrance, and highlighted the distinctive suspended balconies featured on only these two building facades. We believe that the existing design effectively emphasizes these key elements, contributing to a compelling street view. Upon careful consideration, we've concluded that introducing additional architectural features may not enhance the overall design. In fact, it could potentially detract from the established visual hierarchy we've worked to achieve. We remain committed to preserving the balance and aesthetic appeal of the project, ensuring that each element contributes harmoniously to the overall composition.*

- appreciate the unique design of the project which has turned its site constraint into the highlight of the project; the building design is straightforward and economical and achieves the intended purpose of the building; also appreciate the design of the central courtyard and the parkade;

*Applicant's response: acknowledged.*

- review the proposed screening of the parkade wall from the central courtyard; in addition to the proposed trellis screen with climbing plants, consider introducing further treatment to the parkade wall, e.g. adding texture and colour to the parkade wall to break up and reduce the apparent height of the parkade wall surrounding the central courtyard;

*Applicant's response: we have extensively investigated and tried to find a proper balance when it comes to the economic feasibility of wall treatments for a rental project. We have introduced additional planters at selected locations, with shrubs and trees to soften the parkade wall.*

- *For the north side of the West Parkade wall, the planter at the northwest corner has been expanded to partially cover the parkade wall. The planter is 3' high and hosts shade-tolerant shrubs and trees, enhancing the aesthetic appeal of the area. Additionally, the incorporation of hanging plants, specifically Cotoneaster, along the edge of the planter, serves to further soften the appearance of the wall.*

*In addition, another planter has been added between the social decking areas, positioned at curb height. This newly added planter also incorporates shrubs and trees, strategically placed to break up the parkade wall.*

- *For the south side of the West Parkade Wall, the planter along the wall has been widened, providing more space for denser planting and tree growth.*
- *For the North and East Parkade walls, we proposed hanging plants such as cotoneaster along the edge of parkade walls to allow green coverage from top to bottom. This complements the green trellises, which feature climbers growing from the bottom up, thereby enhancing the overall greenery and aesthetic appeal of the walls.*

- support the Panel comment regarding further building treatment at the Garden City and Cook Road intersection to make the corner more visually interesting;

*Applicant's response: see response above.*

- consider introducing accent colours to the neutral colours of the buildings, especially around the lower level of the townhouses to make the building features stand out more;

*Applicant's response: we have reviewed the design and have incorporated additional copper spandrel panels.*

- support the concept of pocket parks; however, there are few landscape elements present in the proposed pocket parks in the project; consider adding more landscape elements in the pocket parks to make them more usable and enjoyable to users;

*Applicant's response:*

*Drinking fountains have been added in both northwest and southeast plazas to improve the pedestrian experience by offering a convenient source of refreshment for both people and their companions.*

*The Seating benches have been transformed into distinctive, colorful variations. Each park now has its own unique palette, allowing for easy differentiation and enhancing the overall pedestrian experience.*



- understand the constraints of the site and appreciate the applicant for coming up with an attractive building design;

*Applicant's response: acknowledged.*

- concerned about how the public realm dedications have been allocated in the subject site; the design of the mid-block pocket park along Pimlico Way is problematic as it appears closed off and functions more as a landscaped buffer than a public space; consider reallocating this pocket park to consolidate with smaller pocket parks along the periphery of the site to allow for larger pocket parks that are more publicly accessible with additional public amenities;

*Applicant's response: Pimlico Way pocket park has been revised to have a more welcoming use and improved programming/equipment.*

- not convinced on the proposed variance to the balcony projection setback to fronting roads; investigate opportunities to introduce design changes to the building in order to meet the required balcony projection setback;

*Applicant's response: We are unable to setback the building further due to setback constraints from the central courtyard tree root zone and the reduced site size resulting from road dedications on all four frontages.*

- concerned about the depth of the central courtyard and its relationship with the parkade wall surrounding it; investigate opportunities to better address this concern; as the central courtyard location will be fairly shaded, ensure that the appropriate species of climbing plants on the parkade wall will be selected to ensure their long-term survivability;

*Applicant's response: We have extensively investigated and tried to find a proper balance when it comes to the economic feasibility of wall treatments for a rental project. New Planters and specimens have been added to soften down the wall expression.*

- identified pedestrian routes from the building to the courtyard appear circuitous and challenging to persons with mobility issues and families with children; an accessible path from the elevator lobby at P1 to the courtyard would be a more realistic accessible route; consider making it more attractive and usable, e.g. ensuring it is well lighted and having adequate width to facilitate pedestrian circulation;

*Applicant's response: All design considerations have been implemented and they provide a clear path of travel to anyone with mobility challenges. Path to the courtyard from the elevator lobby has been widened and clearly marked. We have also incorporated weather protection for pedestrians at the door access to the courtyard.*

- consider consolidating the two children's play areas on the ground level and on Level 2 into one larger play area for easier supervision of children;

*Applicant's response: we've successfully merged two play areas into a single space, expanding it slightly while carefully coordinating with existing tree protection measures.*

- investigate opportunities to directly activate the central courtyard and make it more accessible to residents and directly link with the daily life of the residents;

*Applicant's response: We have proposed a variety of programs to enhance daily use, including deck seating, playground, and great open reserved lawn areas covered with large mature trees. There is plenty of space for relaxing, kids playing, gathering, exercising, etc. On Level 2, we proposed urban agriculture to encourage residents to do gardening. As well as a big open artificial turf lawn to provide opportunity for gathering, games, and sports opportunities.*

- proposed form and character of the building is reasonable, attractive, and appropriate for its site context;

*Applicant's response: acknowledged.*

- agree with the Panel comment that the site constraint has been turned into an opportunity to design a building courtyard typology;

*Applicant's response: acknowledged.*

- the building design is modest, well executed, and appropriate for its intended use for affordable and market rental housing;

*Applicant's response: acknowledged.*

- the central courtyard has been successfully designed to create a park-like experience for users;

*Applicant's response: acknowledged.*

- investigate opportunities for incorporating public art at the pocket parks; and

*Applicant's response: The incorporation of public art is not mandated for 100% rental projects within the City, and as such, the proposed project is exempt from the obligation to integrate public art.*

- climbing plants for the proposed trellis on the parkade wall surrounding the central courtyard may take a long time to be established due to the height of the parkade wall; consider alternate treatments to screen the parkade wall; due to its shady location, consider incorporating architectural in lieu of landscape treatment to the parkade wall around the courtyard.

*Applicant's response: we proposed two ways to mitigate the tall trellis. Firstly by raising the planters 3 feet high from the finished grade and adding hanging plants to soften the planter wall. Secondly we added hanging plants from level 2 edge planters.*

*Hanging plants are proposed in locations where planters are located along the parapet edge of level 2 as shown on planting plan sheet L-2.05. The guardrail location has been shifted from the parapet to the pathway side of these planters to allow for these cascading plants to grow uninterrupted. These cascading plants can be expected to cover up to 6' to 8' or more within 3 to 5 growing seasons, typically.*

*The following written comments submitted by Panel member Nicci Theroux were read into the record by the Chair:*

- consider the inclusion of deciduous trees at the central pocket park on Pimlico Way for shade; the large landscape area provides a nice buffer to the road;  
*Applicant's response: Thank you for this comment. Trees were changed to 6 deciduous trees and 3 conifer trees instead of all conifer trees.*
- consider including a pattern in the paving where pedestrians may cross the service area to indicate that this is a potentially a shared pathway;  
*Applicant's response: Thank you for this comment. A different pattern and color have been applied to the service area.*
- the northern half of the play on Level 2 will be in shade at the solstice; consider what might be more appropriate in a shadier spot or combine the play to the south on Level 1 at the same time keeping some separation for age groups;  
*Applicant's response: We have consolidated the level 2 play area to Level 1 to make a larger playground.*
- consider soil cells or structural soil under the sidewalk at Citation Drive as the tree trench does not appear to provide adequate soil volume for street trees; consider the same approach for Garden City Road and Pimlico Way;  
*Applicant's response: Structural soil has been proposed under the sidewalk along Citation Drive. For Garden City Road and Pimlico Road, the planted boulevard is 1.5m wide which allows approximately 15m<sup>3</sup> soil volume per tree.*
- soil volume for *acer griseum* in the courtyard appears inadequate; and  
*Applicant's response: we limited the acer griseum in the courtyard to where it can provide a minimum of 10m<sup>3</sup> soil volume per tree.*
- remainder of the trees are smaller in the courtyard; consider aiming for a minimum of 6 cubic metres of soil volume even for smaller trees.  
*Applicant's response: Thank you for this comment. We have increased soil volume for trees in the courtyard by either increasing the planting area or raising up the planter heights.*

### **Panel Decision**

It was moved and seconded

***That DP 23-014121 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.***

Opposed: Alan Tse

**CARRIED**



**Address:** 8880 Cook Road and 8751 Citation Drive

**File No.:** DP 23-014121

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. **(OCP Amendment)** Final adoption of OCP Amendment Bylaw 10395.
2. **(Zoning Amendment)** Final adoption of the Zoning Amendment Bylaw 10396.
3. **(Tree Compensation)** City acceptance of the developer's offer to voluntarily contribute \$98,304.00 (\$768.00/tree) to the City's Tree Compensation Fund for the planting of replacement trees within the City.
4. **(Landscaping Security)** Receipt of a Letter of Credit for landscaping in the amount of \$858,573.29 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency). A legal agreement is required to accompany the Landscape Security to set the terms for its use and release.
5. **(Accessible Units)** Registration of Market Rental Agreement and Moderate Income Housing Agreement on title securing the developer's offer to voluntarily provide four accessible, moderate income housing units, and two accessible market rental units. Languages should be included in the agreements that these units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw and in the BC Building Codes.

**Prior to Demolition Permit Issuance, the developer must complete the following requirements:**

1. Provide written confirmation and supporting documents to demonstrate that the proposed Tenant Relocation Plan has been implemented.
2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Confirm that "Land Use Contract (LUC 025)" has been discharged from the subject site.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
5. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.  
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

Initial: \_\_\_\_\_

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Date



No. DP DP 23-014121

To the Holder: 1166225 BC Ltd.  
Property Address: 8880 Cook Road and 8751 Citation Drive  
Address: c/o GBL Architects  
224 W 8th Avenue Unit 300,  
Vancouver, British Columbia, V5Y 1N5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the road setback to projecting balconies above the second floor from 3.0 m to 1.2 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #76 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$858,573.29 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

# Development Permit

No. DP DP 23-014121

To the Holder: 1166225 BC Ltd.  
Property Address: 8880 Cook Road and 8751 Citation Drive  
Address: c/o GBL Architects  
224 W 8th Avenue Unit 300,  
Vancouver, British Columbia, V5Y 1N5

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

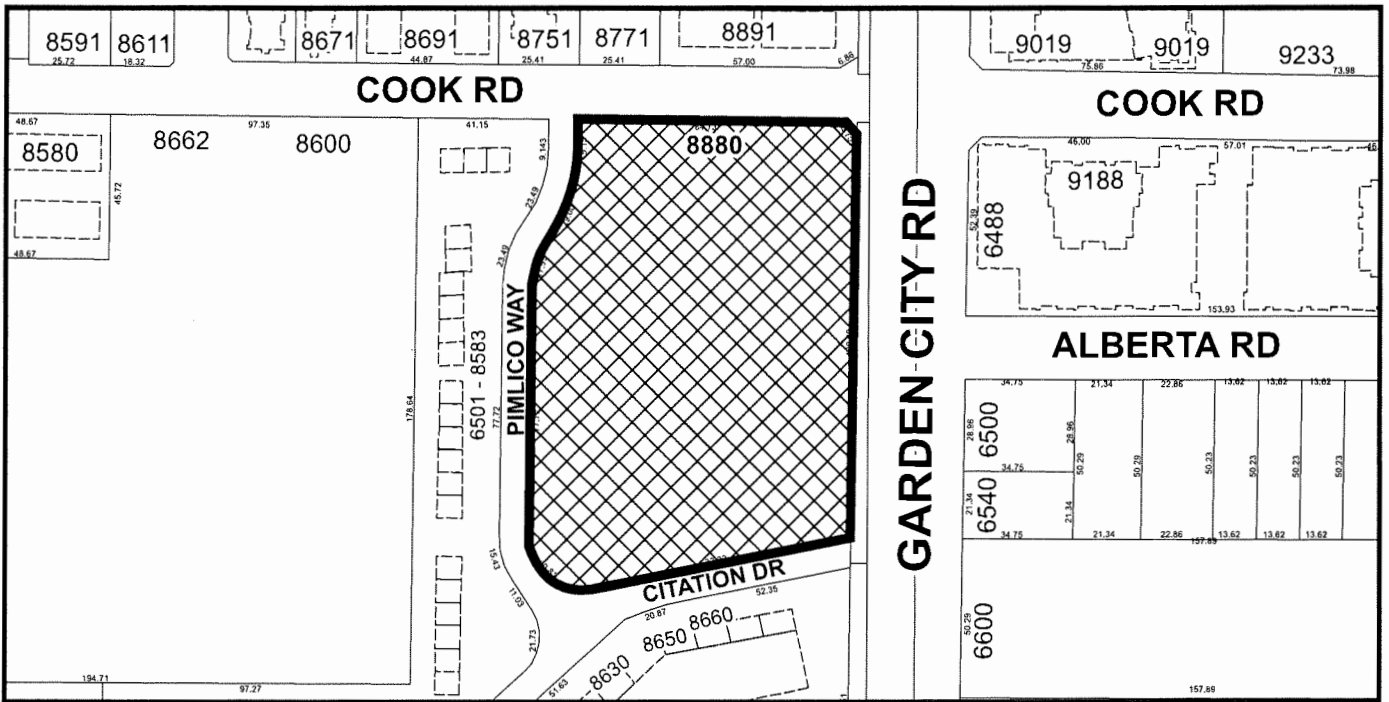
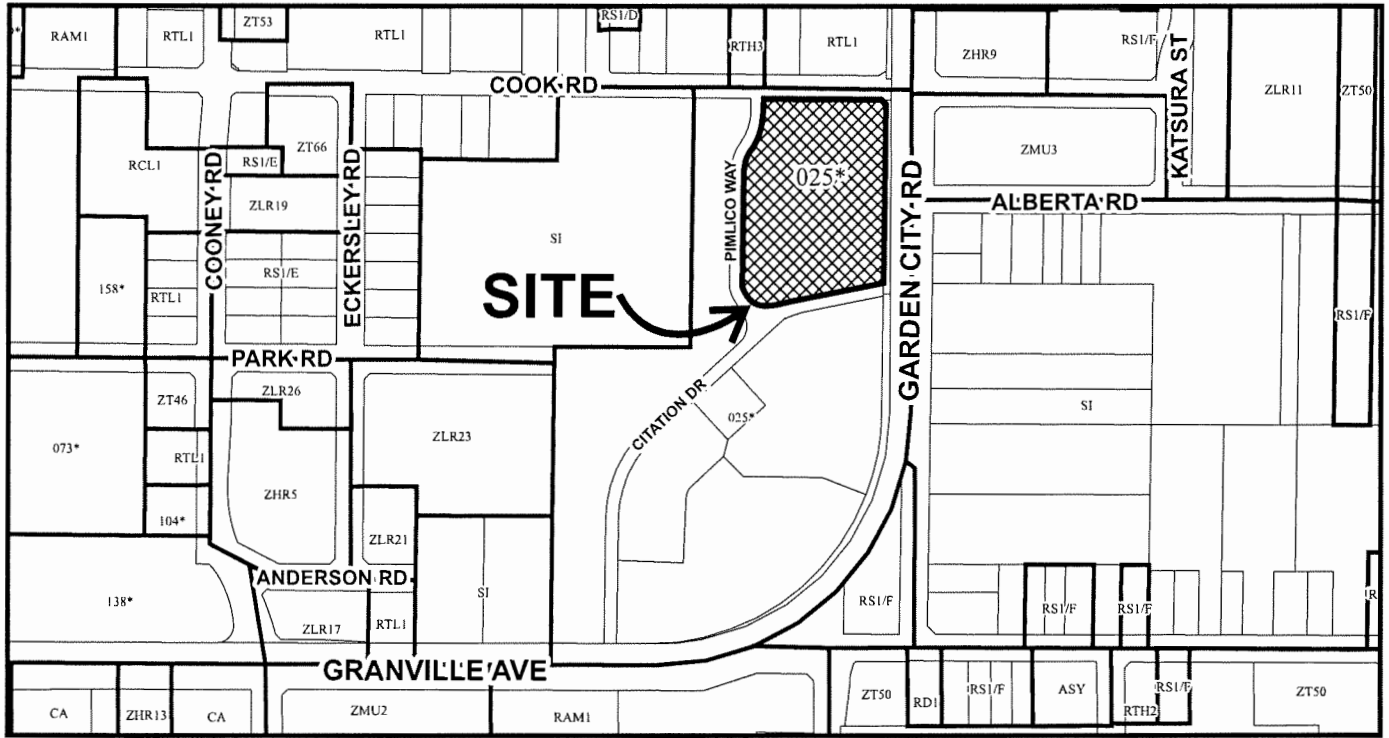
DELIVERED THIS DAY OF , .

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MAYOR



# City of Richmond



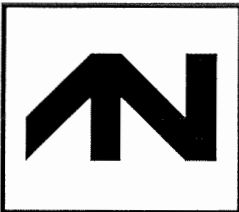
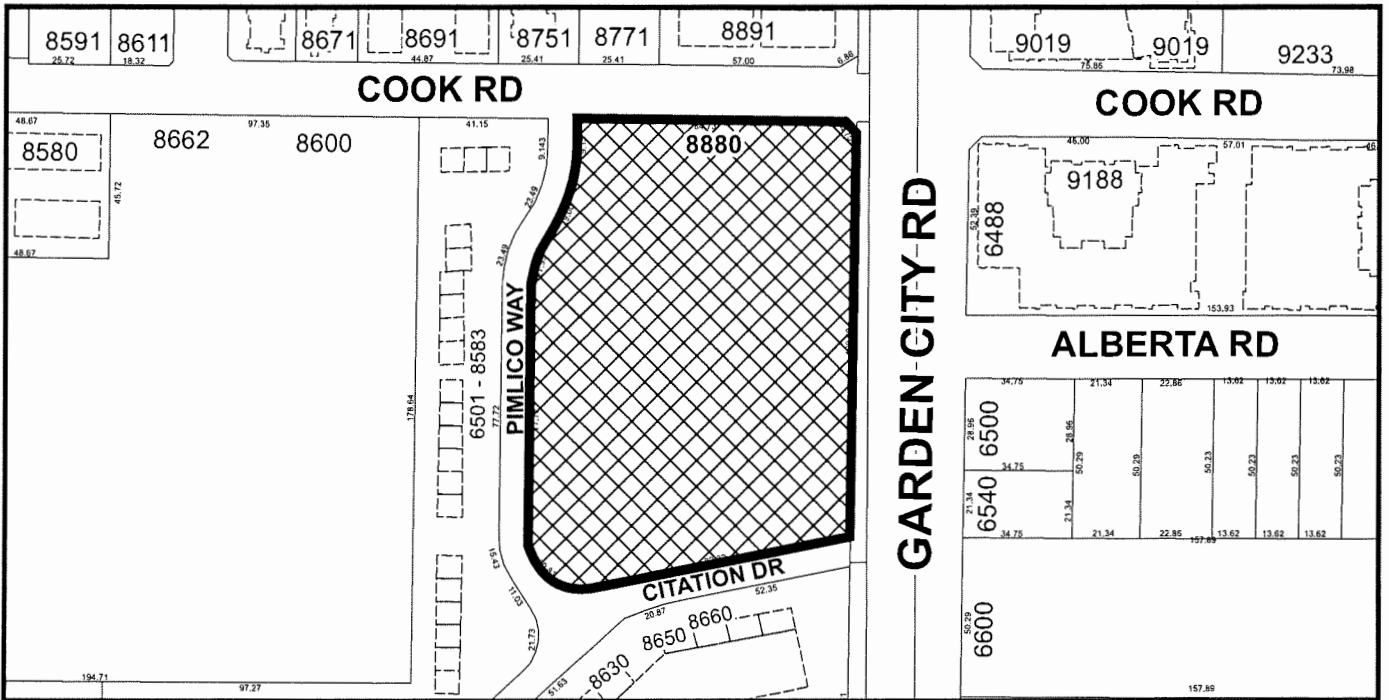
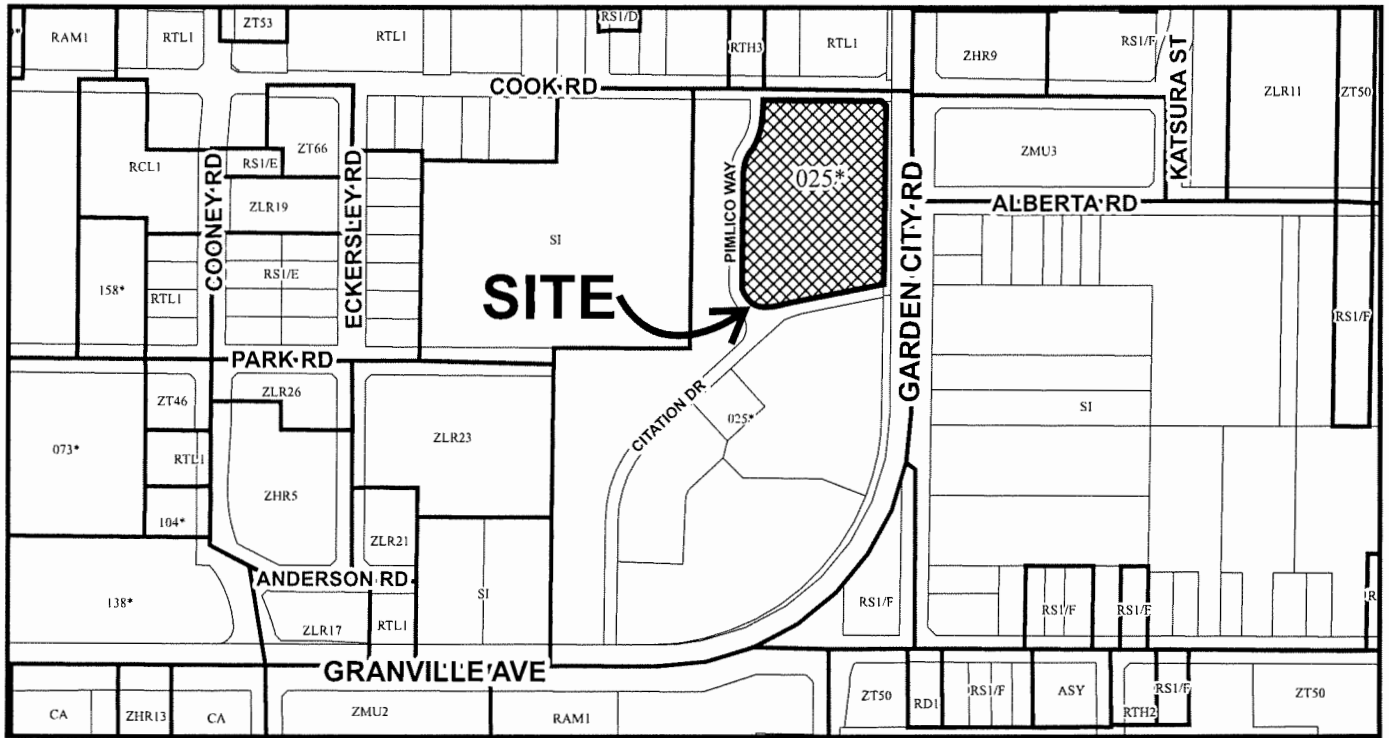
## DP 23-014121 SCHEDULE "A"

Original Date: 03/27/23  
 Revision Date:  
 Note: Dimensions are in METRES





# City of Richmond



DP 23-014121

Original Date: 03/27/23

Revision Date:

Note: Dimensions are in METRES

# 8880 COOK RD. & 8751 CITATION DRIVE

RICHMOND, BC

DEVELOPMENT PERMIT APPLICATION DP 23-014121



## PROJECT TEAM:

### OWNER

EVERBRIGHT PROPERTIES  
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DANNY WU  
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### ARCHITECT

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ALEJANDRO MARTINEZ  
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### CODE

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### STRUCTURAL

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DARRYL BOWERS  
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### LANDSCAPE + ARBORIST

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### ELECTRICAL

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### TRAFFIC + TRANSPORTATION

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### CIVIL

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jeff@mpt.bc.ca

DANIEL WONG  
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### GEOTECHNICAL

HORIZON ENGINEER NO INC.  
JONAH SCHWAB  
PHONE  
EMAIL

### ENVELOPE

CONSULTANT COMPANY  
CONTACT NAME  
PHONE  
EMAIL

EMAIL

### SUSTAINABILITY

KANE CONSULTING  
DANIEL ROBERTS  
604-726-0074  
dan@kane-consulting.ca

### INTERIOR DESIGN

CONSULTANT COMPANY  
CONTACT NAME  
PHONE  
EMAIL

CONTACT NAME  
PHONE  
EMAIL

### DEVELOPMENT STRATEGIST

RESTRATEGIST  
PARHAM HANZOUBI  
PHONE  
parham@restrategist.ca

DP 23-014121

PLAN #1

February 20, 2024

# 8880 COOK RD. & 8751 CITATION DRIVE

RICHMOND, BC



DRAWING LIST	
Number	Name
A-0.01	STATS
A-0.01a	STATS II
A-0.02	SURVEY
A-0.04	CONTEXT PLAN
A-0.05	STREETSCAPE
A-0.06	STREETSCAPE
A-0.08	SHADOW STUDIES
A-0.09	DESIGN RATIONAL/ MASSING
A-0.10	NOTES & LEGENDS I
A-0.11	GENERAL NOTES, SYMBOLS & LEGENDS
A-0.12	MATERIALS I
A-0.13	MATERIALS II
A-0.14	SUSTAINABILITY RATIONALE
A-0.15	WALL ASSEMBLIES
A-0.16	FLOOR ASSEMBLIES
A-0.21	SITE PLAN
A-0.22	SITE AREA PLAN
A-0.23	LOT COVERAGE
A-0.24	SITE POROSITY
A-0.25	SITE S.R.W.
A-0.26	OUTDOOR AMENITY
A-0.27	LDT GRADING
A-0.28	LOT GRADING I
A-1.01	FLOOR PLANS - KEY LEGEND
A-1.02	FLOOR PLANS - PARKING LEGEND
A-1.03	FLOOR PLAN - P1
A-1.04	FLOOR PLAN - P2
A-1.05	FLOOR PLAN - L1
A-1.06	FLOOR PLAN - L2
A-1.07	FLOOR PLAN - L3
A-1.08	FLOOR PLAN - L4
A-1.09	FLOOR PLAN - L5
A-1.10	FLOOR PLAN - L6
A-1.11	FLOOR PLAN - ROOF
A-1.12	ENLARGED FLOOR PLANS
A-1.13	ENLARGED FLOOR PLANS
A-1.14	ENLARGED FLOOR PLANS
A-1.15	ENLARGED FLOOR PLANS
A-2.01	ELEVATIONS
A-2.02	ELEVATIONS
A-2.03	ELEVATIONS
A-2.04	ELEVATIONS
A-2.05	ELEVATIONS

DRAWING LIST	
Number	Name
A-2.06	ELEVATIONS
A-2.07	ELEVATIONS
A-2.08	ENLARGED ELEVATIONS
A-2.09	ENLARGED ELEVATIONS
A-2.10	ENLARGED ELEVATIONS
A-3.01	BUILDING SECTIONS I
A-3.02	BUILDING SECTIONS II
A-3.03	BUILDING SECTIONS III
A-4.00	UNIT NOTES
A-4.01	TYP. ACCESSIBLE UNITS
A-4.02	UNIT PLANS - STUDIO
A-4.03	UNIT PLANS - STUDIO
A-4.04	UNIT PLANS - 1BD
A-4.05	UNIT PLANS - 1BD
A-4.06	UNIT PLANS - 2BD
A-4.07	UNIT PLANS - 2BD
A-4.08	UNIT PLANS - 2BD
A-4.09	UNIT PLANS - 2BD
A-4.10	UNIT PLANS - 3BD
A-4.11	UNIT PLANS - 3BD
A-4.12	UNIT PLANS - TH - 2BD
A-4.13	UNIT PLANS - TH - 2BD
A-4.14	UNIT PLANS - TH - 2BD
A-4.15	UNIT PLANS - TH - 2BD
A-4.16	UNIT PLANS - TH - 2BD
A-4.17	UNIT PLANS - TH - 2BD
A-4.18	UNIT PLANS - TH - 3BD
A-4.19	UNIT PLANS - TH - 3BD
A-4.20	UNIT PLANS - TH - 3BD
A-5.01	FAR - P1
A-5.02	FAR - P2
A-5.03	FAR - L1
A-5.04	FAR - L2
A-5.05	FAR - L3
A-5.06	FAR - L4
A-5.07	FAR - L5
A-5.08	FAR - L6
A-6.01	3D VIEWS
A-6.02	3D VIEWS
A-6.03	3D VIEWS
A-6.04	3D VIEWS
A-6.05	3D VIEWS
A-6.06	3D VIEWS

DRAWING LIST	
Number	Name
A-6.07	3D VIEWS
A-6.08	3D VIEWS
A-7.01	TRAFFIC & TRANSPORTATION
A-7.02	TRAFFIC & TRANSPORTATION
A-8.00	PRIVACY SCREEN DETAILS
A-8.01	METAL PLANKS DETAILS
A-8.02	ROOF SCREENING DETAILS
A-8.03	BALCONY DETAILS
A-8.04	PARKADE AND STAIR SCREEN
A-8.05	TH PRIVACY SCREEN DETAILS
A-9.01	WASTE MANAGEMENT PLAN
A-9.03	WASTE MANAGEMENT ROOMS
A-9.04	WASTE MANAGEMENT ROOMS CALCULATION
A-10.01	CIRCULATION PLAN - P1
A-10.02	CIRCULATION PLAN - P2
A-10.03	CIRCULATION PLAN - L1
A-10.04	CIRCULATION PLAN - L2
A-10.05	CIRCULATION PLAN - L3
A-10.06	CIRCULATION PLAN - L4
A-10.07	CIRCULATION PLAN - L5
A-10.08	CIRCULATION PLAN - L6
A-11.01	SIGNAGE AND WAYFINDING
A-11.02	SIGNAGE AND WAYFINDING
A-11.03	SIGNAGE AND WAYFINDING
A-11.05	SIGNAGE AND WAYFINDING
A-11.08	SIGNAGE AND WAYFINDING
A-11.09	SIGNAGE AND WAYFINDING
A-11.10	SIGNAGE AND WAYFINDING
A-11.11	SIGNAGE AND WAYFINDING
A-11.12	SIGNAGE AND WAYFINDING

# PROJECT STATISTICS GENERAL INFORMATION

NET SITE AREA USED FOR FAR CALCULATIONS	SF	m2
	122,620	11392

BLDG. HEIGHT	VARIABLES	10.36	16.43	22.48	23.39
AVERAGE BLDG. HEIGHT (meters)		18			
SETBACKS		3.00m			

## FAR ALLOWED

DESCRIPTION	NEW SITE AREA ALLOWED	
	NET FAR	AREA [SF]
MARKET RENTAL	1.79	219,489
NON-MARKET RENTAL	0.31	38,171
<b>TOTAL MAX</b>	<b>2.10</b>	<b>257,660</b>

## AREA BREAKDOWN - PROPOSED

DESCRIPTION	GFA (SF)	CIRCULATION (SF)	RENTABLE (SF)	EFFICIENCY	SERVICE	EXCLUSIONS+ BUH	AMENITY	TOTAL EXCLUSIONS	FAR AREA	FAR
<b>TOTAL</b>	<b>283,640</b>	<b>27,890</b>	<b>234,999</b>	<b>82.9%</b>	3,499	15,776	7,508	26,783	<b>256,857</b>	<b>1.09</b>

## PARKING REQUIREMENTS

DESCRIPTION	BYLAW	REQUIRED RATIO (PER UNIT)	TOTAL UNITS PROVIDED	VISITORS STALLS REQUIRED (0.16/UNIT)	RES. STALLS REQUIRED	TOTAL REQUIRED
MARKET RENTAL	Bylaw 10393 and Parking By Law 7.9.3 Table 7.9.3.1 Zone 2	0.5	271	44	136	180
MODERATE INCOME RENTAL	Bylaw 10396 and Parking By Law 7.9.3 Table 7.9.3.1 Zone 2	0.4	68	11	28	39
<b>TOTAL REQUIRED</b>			<b>339</b>	<b>55</b>	<b>164</b>	<b>219</b>
<b>TOTAL PROVIDED</b>			<b>55</b>	<b>168</b>	<b>223</b>	<b>4</b>

ACCESSIBLE PARKING PROVIDED	5
SMALL CARS PROVIDED	96
CLASS A LOADING	2
MEDIUM SIZE LOADING	1

## BICYCLE STALL REQUIREMENTS

REQUIREMENTS/UNIT	1.25	1.90	0.2	PROPORTION	BYLAW MAX	
	CLASS 1 (STUDIOS)	CLASS 1 (ALL OTHER UNITS)	CLASS 2			
UNIT COUNT	339	87	252			
TOTAL REQUIRED	588	109	479	68		
CLASS-1 HOR (STANDARD, OVERSIZED, LOCKERS)	303			68	51.5%	N/A
CLASS-1 HOR STACKED	194				33.0%	33.0%
CLASS-1 VER	91				15.5%	33.0%
<b>TOTAL PROVIDED</b>	<b>588</b>			<b>68</b>		

## AMENITY REQUIREMENTS

INDOOR AMENITY	m2	SF
MINIMUM INDOOR AMENITY REQ'D PER UNIT	2	21,52782
TOTAL UNITS	339	
TOTAL INDOOR AMENITY AREA REQ'D	678	7,298
<b>PROVIDED INDOOR AMENITY AREA</b>	<b>698</b>	<b>7,508</b>
OVER/UNDER AMENITY	20	210

OUTDOOR AMENITY	m2	SF
OUTDOOR SHARED AREA REQ'D PER UNIT	6	64,58346
TOTAL UNITS	339	
<b>MIN. OUTDOOR AREA REQ'D</b>	<b>2034</b>	<b>21,894</b>
10% SITE AREA REQ'D	1139	12262
TOTAL OUTDOOR AREA REQUIRED	3173	34,156
<b>PROVIDED OUTDOOR AMENITY AREA</b>	<b>3355</b>	<b>36,113</b>
OVER/UNDER AMENITY		

## UNIT MIX REQUIREMENTS

RENT TYPE	BY-LAW MIN. FAMILY REQ'D (%)	UNITS PROVIDED	FAMILY UNITS PROVIDED (%)	
			PROVIDED	PROVIDED (%)
MODERATE INCOME RENTAL (MIR)	15%	68	16	24%
MARKET RENTAL (MR)	40%	271	120	44%
<b>TOTAL</b>		<b>339</b>	<b>136</b>	<b>40%</b>

## UNIT TYPE COUNTS

RENT TYPE	STUDIO	1BD	2BD	3BD	TH	TOTAL	BUH BY-LAW (%)	BUH REQUIRED	BUH PROVIDED
MODERATE INCOME RENTAL (MIR)	36	16	7	4	5	68	100%	63	63
MARKET RENTAL (MR)	51	100	75	13	32	271	100%	239	239
<b>TOTAL</b>	<b>87</b>	<b>116</b>	<b>82</b>	<b>17</b>	<b>37</b>	<b>339</b>		<b>302</b>	<b>302</b>
UNIT PERCENTAGE (%)	26%	34%	24%	5%	11%	100%			

MARKET RENTAL (MR)				
UNIT TYPE	NO. OF UNITS	MIN. SIZE (SF)	% FAMILY UNITS	% BUH UNITS
STUDIO	51		N/A	19%
1 BED	100		N/A	37%
2 BED	75		28%	28%
3 BED	13		5%	5%
TOWNHOUSE (2 BED)	26		10%	N/A
TOWNHOUSE (3 BED)	6		2%	N/A
<b>TOTAL</b>	<b>271</b>		<b>44%</b>	<b>88%</b>

Note: Townhouse design will not meet BUH provision. All apartment units will provide BUH requirements.

MODERATE INCOME RENTAL (MIR)				
UNIT TYPE	NO. OF UNITS	MIN. SIZE (SF)	% FAMILY UNITS	% BUH UNITS
STUDIO	36	400	0%	57%
1 BED	16	535	0%	24%
2 BED	7	741	10%	10%
3 BED	4	980	6%	6%
TOWNHOUSE (2 BED)	5	741	7%	0%
TOWNHOUSE (3 BED)	0	980	0%	N/A
<b>TOTAL</b>	<b>68</b>		<b>24%</b>	<b>97%</b>

Note: Townhouse design will not meet BUH provision. All apartment units to meet BUH requirements.



GBL ARCHITECTS INC.  
300-224 WEST 17TH AVENUE  
VANCOUVER, BC CANADA V6J 1N9  
TEL: 604-731-1154  
FAX: 604-731-5271

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## NOTES

## ABBREVIATIONS

MR - MARKET RENTAL  
MIR - MODERATE INCOME RENTAL  
FAR - FLOOR AREA RATIO

## REVISIONS

NO.	DATE	DESCRIPTION
4	MAR 10 2023	ISSUED FOR DP
5	OCT 06 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE-ISSUED FOR DP

8880 COOK RD. &  
8751 CITATION  
DRIVE  
RICHMOND, BC

## STATS

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CHECKED BY	GBL
SCALE	1/2" = 1'-0"
JOB NUMBER	20039

A-0.01

DP 23-014121

PLAN #3

February 20, 2024





SOUTH WEST VIEW

REVISIONS

NO.	DATE	DESCRIPTION
4	MAR 10 2023	ISSUED FOR DP
5	OCT 06 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE-ISSUED FOR DP

1



WHITE FIBRECEMENT PANEL

2



GREY FIBRECEMENT PANEL

3



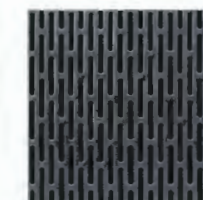
COPPER COLOUR FIBRECEMENT PANEL

4



CEDAR COLOUR FIBRECEMENT PANEL SOFFIT

10



MICROPERFORATED PANEL, PAINTED

5



WHITE BRICK

6



LIGHT GREY BRICK

7



DOUBLE GLAZED PVC - VINYL FRAME WINDOWS WITH LO-E COATING

8

ALUMINUM WEATHER PROTECTION FOR UNPROTECTED DOORS TO BALCONIES

9

TEMPERED GLASS GUARD AND ALUMINUM TOP AND BOTTOM FRAME GUARD RAILS.

8880 COOK RD. &  
8751 CITATION  
DRIVE  
RICHMOND, BC

MATERIALS I

DATE	2/14/2024 4:13:19 PM
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CHECKED BY	GBL
SCALE	
JOB NUMBER	20039

A-0.12

NOTES



NORTH WEST VIEW

REVISIONS

NO.	DATE	DESCRIPTION
5	OCT 06 2023	RE-ISSUED FOR DP
4	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE-ISSUED FOR DP

1



WHITE FIBRECEMENT PANEL

2



GREY FIBRECEMENT PANEL

3



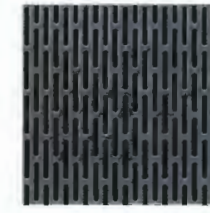
COPPER COLOUR FIBRECEMENT PANEL

4



CEDAR COLOUR FIBRECEMENT PANEL SOFFIT

10



MICROPERFORATED PANEL, PAINTED

5



WHITE BRICK

6



LIGHT GREY BRICK

7



DOUBLE GLAZED PVC - VINYL FRAME WINDOWS WITH LO-E COATING

8

ALUMINUM WEATHER PROTECTION FOR UNPROTECTED DOORS TO BALCONIES

9

TEMPERED GLASS GUARD AND ALUMINUM TOP AND BOTTOM FRAME GUARD RAILS.

8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

MATERIALS II

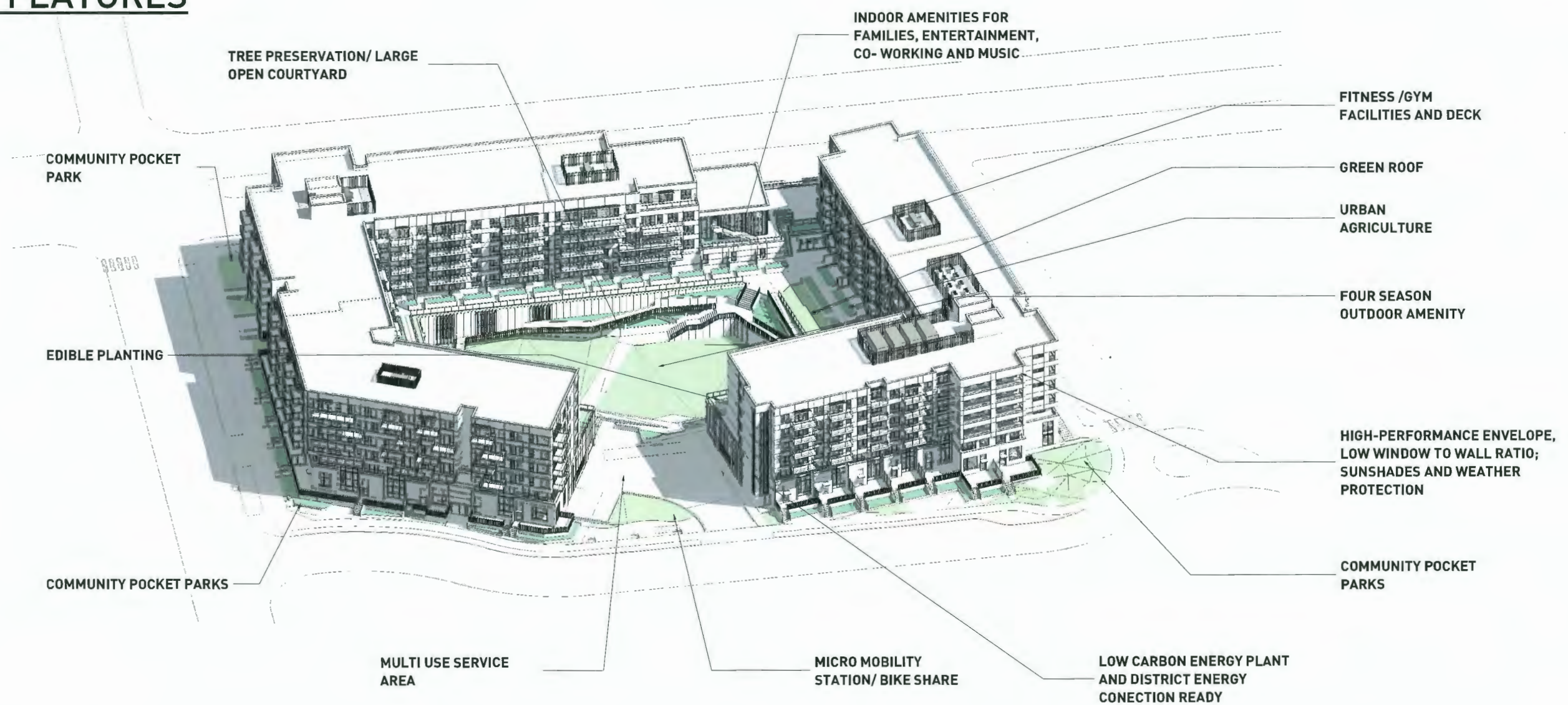
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CHECKED BY	Checker
SCALE	
JOB NUMBER	20039

A-0.13

# KEY FEATURES



gbl ARCHITECTS INC.  
 305-224 WEST 4TH AVENUE TEL: (604) 751-1154  
 VANCOUVER, BC CANADA V5Y 1N5 FAX: (604) 751-5279  
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NOTES

REVISIONS		
NO.	DATE	DESCRIPTION
5	OCT 06 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE-ISSUED FOR DP

**HIGH-PERFORMANCE BUILDING DESIGN**

- Using a measured approach of building envelope, mechanical and electrical efficiency to deliver a low energy consuming and GHG emitting building

**EMISSIONS CONSCIOUS DESIGN**

- Using modeling to establish the amount of embodied carbon and energy associated with its construction and identifying ways to reduce the building's impact through construction

**RESILIENT CONSTRUCTION**

- Considering extreme heat events, power outages, extreme precipitation and resulting local flooding events, poor air quality, as well as earthquakes
- In-suite four-pipe fancoil offering both heating and cooling to maintain comfortable indoor conditions and address the issues of higher future average temperatures, higher extreme temperatures and longer and more frequent heatwaves and droughts
- Description: Building heating and cooling will be provided by hot and chilled water from a central plant utilizing air source heat pumps (ASHPs). Suites, amenities rooms and management office will have four-pipe fan coil units and heat recovery ventilators (HRVs). Domestic hot water will be provided by ASHPs in the central plant.
- High performance envelope design and durable building construction
- Strategic window placement minimizing overheating and heat-loss and enhancing occupant comfort
- Air-source heat pump technology
- Low-carbon system
- Heat recovery technology for suite ventilation
- Dominantly electrified service water heating
- High efficiency LED
- Electrified cooking in suites
- Window to Wall ratio 33%

**RAINWATER MANAGEMENT**

- Transforming the site to a more biodiverse green environment and helping to reduce the flow of peak stormwater volumes to sensitive habitats through vegetated roof and planters
- Alignment with the City of Richmond's rainwater management strategy

**GREEN MOBILITY**

- Providing residents with the best opportunity to live car-free with convenient location for bicycle parking
- Walking distance to many shops, restaurants, services, office etc.
- Access to frequent transit networks along Cook Rd and Garden City corridor.

**LANDSCAPE**

- Preference for native and adaptive plants
- High efficiency irrigation
- Bird-friendly fruit bearing trees
- Edible planting
- Outdoor amenity spaces provide a balance of shaded, covered, and sunlit areas to promote year-round use during various weather conditions
- Providing universal access to diversity of social/gathering spaces for all ages and abilities

**AMENITIES**

- Variety of generous indoor and outdoor amenities shared between all residents
- Family-friendly amenities including play gym, yoga, guest suites, music rooms, co working and private working rooms, entertainment and gathering, edible planting and plenty of common outdoor space.
- Pet-friendly amenities including dog-run and dog-wash
- On-site bike repair rooms
- EV charging for all residents.

8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

SUSTAINABILITY RATIONALE

DATE	2/14/2024 4:13:55 PM
DRAWN BY	Author
CHECKED BY	Checker
SCALE	
JOB NUMBER	20039

A-0.14



**AVERAGE SITE GRADE:**  
 $1.48 + 1.17 + 1.57 + 1.12 + 1.17 + 1.17 + 1.46 + 1.40 = 10.54$   
 $10.54 / 8 = 1.32m$

**AVERAGE BUILDING GRADE:**  
 $1.23 + 1.19 + 0.77 + 0.76 + 0.86 + 1.23 + 1.59 + 1.32 + 1.13 + 0.76 + 0.74 + 1.07 + 0.76 = 13.41$   
 $13.41 / 13 = 1.03m$

**AVERAGE BUILDING SITE GRADE:**  
 $1.32 + 1.03 = 2.35$   
 $2.35 m / 2 = 1.18$

ADDRESS: **8880 COOK RD AND 8751 CITATION DRIVE**  
 PID: 030-506-981  
 LEGAL: SEC 9 BLK 4N RG 6W PL EPP83741 PARCEL A, BLOCK 4N, PLAN EPP83741, SECTION 9, RANGE 6W, NEW WESTMINSTER LAND DISTRICT, & SEC 10



GBL ARCHITECTS INC.  
 210-224 WEST 5TH AVENUE  
 VANCOUVER, BC CANADA V5Y 1H5  
 TEL: 604.721.1154  
 FAX: 604.721.0271

NOTES  
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**SITE PLAN LEGEND**

- PROPERTY LINE ---
- SETBACK LINE ---
- ROAD DEDICATION

BASIC UNIVERSAL HOUSING (BUH) ARE DESIGNED IN ACCORDANCE WITH SECTION 4.16 OF RICHMOND ZONING BY LAW 8500

**REVISIONS**

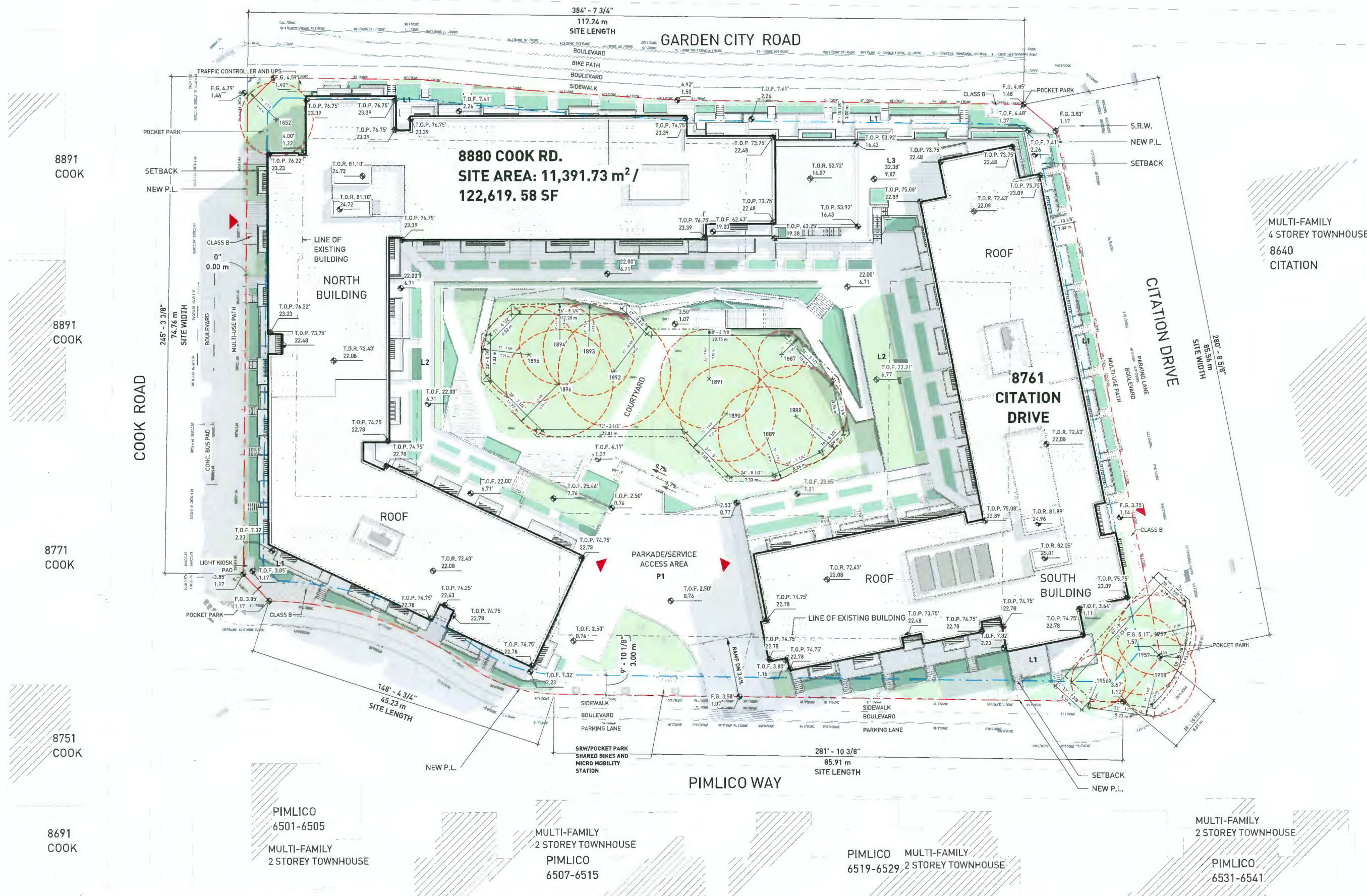
NO.	DATE	DESCRIPTION
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2	JULY 4 2022	RE - ISSUED FOR RZ II
3	AUG 3 2022	RE - ISSUED FOR RZ III
4	MAR 10 2023	ISSUED FOR DP
5	OCT 06 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE - ISSUED FOR DP

**8880 COOK RD. & 8751 CITATION DRIVE**  
 RICHMOND, BC

**SITE PLAN**

DATE	2/14/2024 4:14:57 PM
DRAWN BY	Author
CHECKED BY	Checker
SCALE	As indicated
JOB NUMBER	20039

**A-0.21**



**DP 23-014121**

**PLAN #8**

**February 20, 2024**

REVISIONS

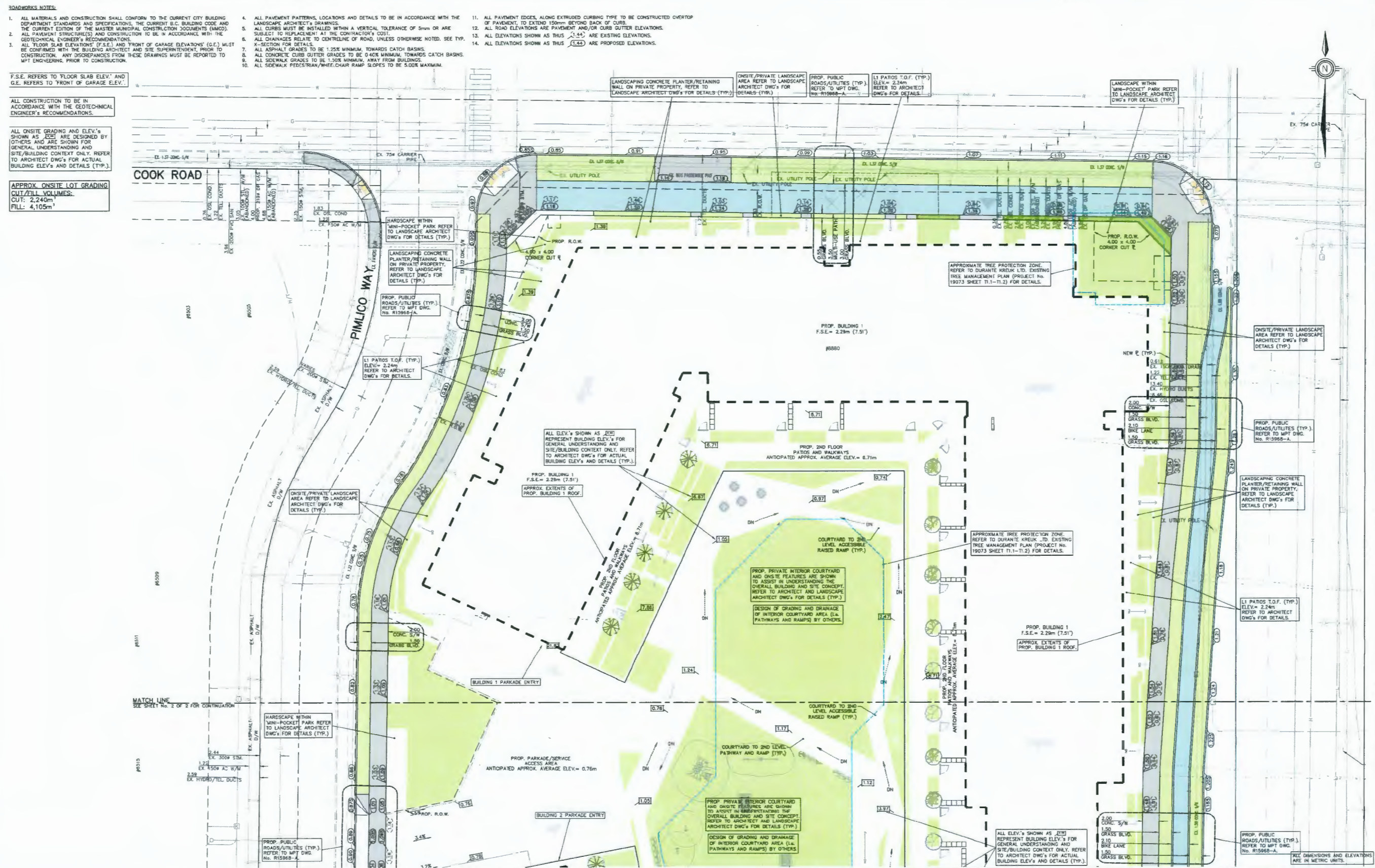
NO.	DATE	DESCRIPTION
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE-ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

## LOT GRADING

DATE: 2/14/2024 4:16:47 PM  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 JOB NUMBER: 20039

A-0.27



- ROADWORKS NOTES:**
1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY BUILDING DEPARTMENT STANDARDS AND SPECIFICATIONS, THE CURRENT B.C. BUILDING CODE AND THE CURRENT EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (M.M.C.D.).
  2. ALL PAVEMENT STRUCTURES AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
  3. ALL FLOOR SLAB ELEVATIONS' (F.S.E.) AND FRONT OF GARAGE ELEVATIONS' (G.E.) MUST BE CONFIRMED WITH THE BUILDING ARCHITECT AND SITE SUPERINTENDENT, PRIOR TO CONSTRUCTION. ANY DISCREPANCIES FROM THESE DRAWINGS MUST BE REPORTED TO MPT ENGINEERING, PRIOR TO CONSTRUCTION.
- F.S.E. REFERS TO 'FLOOR SLAB ELEV.' AND G.E. REFERS TO 'FRONT OF GARAGE ELEV.'
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- ALL ONSITE GRADING AND ELEV.'s SHOWN AS [E] ARE DESIGNED BY OTHERS AND ARE SHOWN FOR GENERAL UNDERSTANDING AND SITE/BUILDING CONTEXT ONLY. REFER TO ARCHITECT DWG'S FOR ACTUAL BUILDING ELEV.'s AND DETAILS (TYP.).
- APPROX. ONSITE LOT GRADING CUT/FILL VOLUMES:  
 CUT: 2,240m³  
 FILL: 4,105m³

- NOTES:**
1. ALL E.L.'s SHOWN ARE DERIVED FROM 11701 RICHMOND HWY M.D. M.E.N. #131 @ #204 (0212453 & 0212452). F.S.E. = 1.50m & 1.52m.
  2. CONTRACTOR TO CONFIRM BENCHMARK WITH MPT ENGINEERING PRIOR TO CONSTRUCTION.
  3. CONTRACTOR TO CONFIRM LOCATIONS OF ALL EXISTING UTILITIES AND REPORT AN ONSITE UTILITIES MAP TO MPT ENGINEERING PRIOR TO CONSTRUCTION.
  4. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (M.M.C.D.) AND THE CURRENT B.C. BUILDING CODE.

**MPT ENGINEERING CO. LTD.**  
 8320-11120 HORSESHOE WAY, RICHMOND, BC V7A 5H7 TEL: 604-270-8331 FAX: 604-270-4137

**EVERBRIGHT PROPERTIES INC.**

REV#	DATE	BY	CH.	DESCRIPTION
2.	22 JAN/24	DW	DW	ISSUE 'A' (R1) - ISSUED FOR DEVELOPMENT PERMIT (REVISED CITATION DRIVE ROADWAY WIDTH)
1.	12 JAN/24	DW	DW	ISSUE 'A' - ISSUED FOR DEVELOPMENT PERMIT (REVISED SHEET SIZE TO MULTIPLE PAGES)
0.	18 AUG/23	DW	DW	ISSUE 'A' - ISSUED FOR DEVELOPMENT PERMIT

TITLE: **LOT GRADING PLAN**  
 8880 COOK ROAD & 8751 CITATION DRIVE

DESIGN: MPT	DRAWING No.: R15968-B
DRAWN: DW	SHEET No.: 1 OF 2
CHECKED: DW	SCALE: 1:200

NOTES

REVISIONS

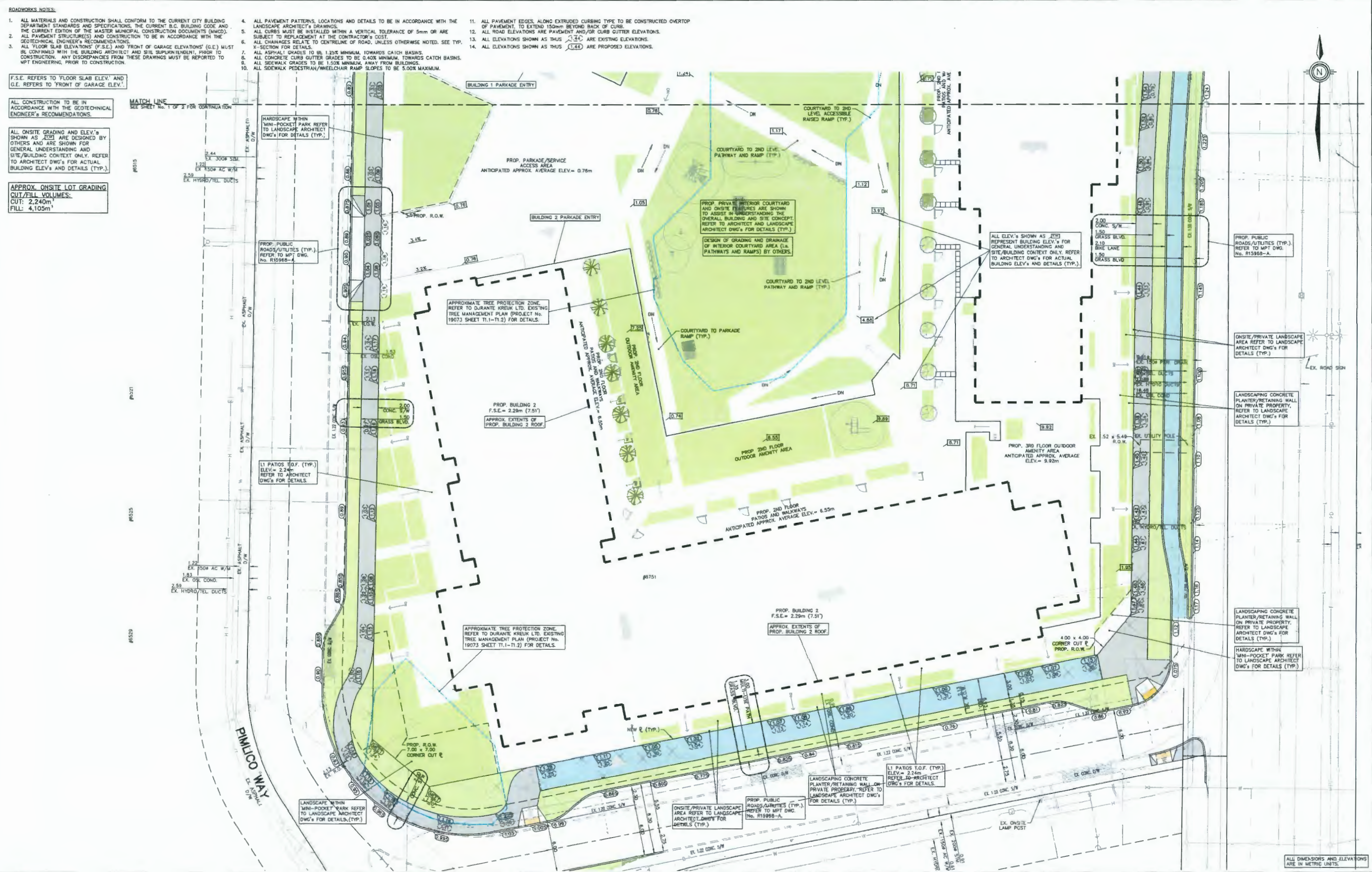
NO.	DATE	DESCRIPTION
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE-ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

LOT GRADING I

DATE	2/16/2024 4:17:05 PM
DRAWN BY	Author
CHECKED BY	Checker
SCALE	
JOB NUMBER	20039

A-0.28



- ROADWORKS NOTES:**
1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY BUILDING DEPARTMENT STANDARDS AND SPECIFICATIONS, THE CURRENT B.C. BUILDING CODE AND THE CURRENT EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD).
  2. ALL PAVEMENT STRUCTURES AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
  3. ALL FLOOR SLAB ELEVATIONS (F.S.E.) AND FRONT OF GARAGE ELEVATIONS (G.E.) MUST BE CONFIRMED WITH THE BUILDING ARCHITECT AND SITE SUPERINTENDENT, PRIOR TO CONSTRUCTION. ANY DISCREPANCIES FROM THESE DRAWINGS MUST BE REPORTED TO MPT ENGINEERING, PRIOR TO CONSTRUCTION.

- F.S.E. REFERS TO 'FLOOR SLAB ELEV.' AND G.E. REFERS TO 'FRONT OF GARAGE ELEV.'
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- ALL ONSITE GRADING AND ELEV.'s SHOWN AS (TYP.) ARE DESIGNED BY OTHERS AND ARE SHOWN FOR GENERAL UNDERSTANDING AND SITE/BUILDING CONTEXT ONLY. REFER TO ARCHITECT DWG'S FOR ACTUAL BUILDING ELEV.'s AND DETAILS (TYP.).
- APPROX. ONSITE LOT GRADING CUT/FILL VOLUMES:  
 CUT: 2,240m<sup>3</sup>  
 FILL: 4,105m<sup>3</sup>

- NOTES:**
1. ALL ELEV.'s ARE DERIVED FROM CITY OF RICHMOND HPN MONUMENT #191 & #204 (0212453 & 0212452) ELEV = 1.661M & 1.599M
  2. CONTRACTOR TO CONFIRM BENCHMARK WITH MPT ENGINEERING PRIOR TO CONSTRUCTION
  3. CONTRACTOR TO CONFIRM LOCATION OF ALL EXISTING UTILITIES AND REPORT AN DISCREPANCIES TO MPT ENGINEERING PRIOR TO CONSTRUCTION
  4. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) AND THE CURRENT EDITION OF THE B.C. BUILDING CODE AND THE CURRENT EDITION OF THE B.C. BUILDING DEPARTMENT STANDARDS AND SPECIFICATIONS.

**MPT ENGINEERING CO. LTD.**  
 #320-11120 HORSESHOE WAY RICHMOND, BC V7A 5H7 TEL: 604-270-8331 FAX: 604-270-4137

EVERBRIGHT PROPERTIES INC.

REV#	DATE	BY	CHK.	DESCRIPTION
2.	22 JAN/24	DW	DW	ISSUE 'A' (R1) - ISSUED FOR DEVELOPMENT PERMIT (REVISED CITATION DRIVE ROADWAY WIDTH)
1.	12 JAN/24	DW	DW	ISSUE 'A' - ISSUED FOR DEVELOPMENT PERMIT (REVISED SHEET SIZE TO MULTIPLE PAGES)
0.	18 AUG/23	DW	DW	ISSUE 'A' - ISSUED FOR DEVELOPMENT PERMIT

TITLE:

**LOT GRADING PLAN**

8880 COOK ROAD & 8751 CITATION DRIVE

DESIGN:	MPT	DRAWING No.:	R15968-B
DRAWN:	DW	SHEET No.:	2 OF 2
CHECKED:	DW	SCALE:	1:200

EGBC PERMIT TO PRACTICE 1015157

NOTES

REVISIONS

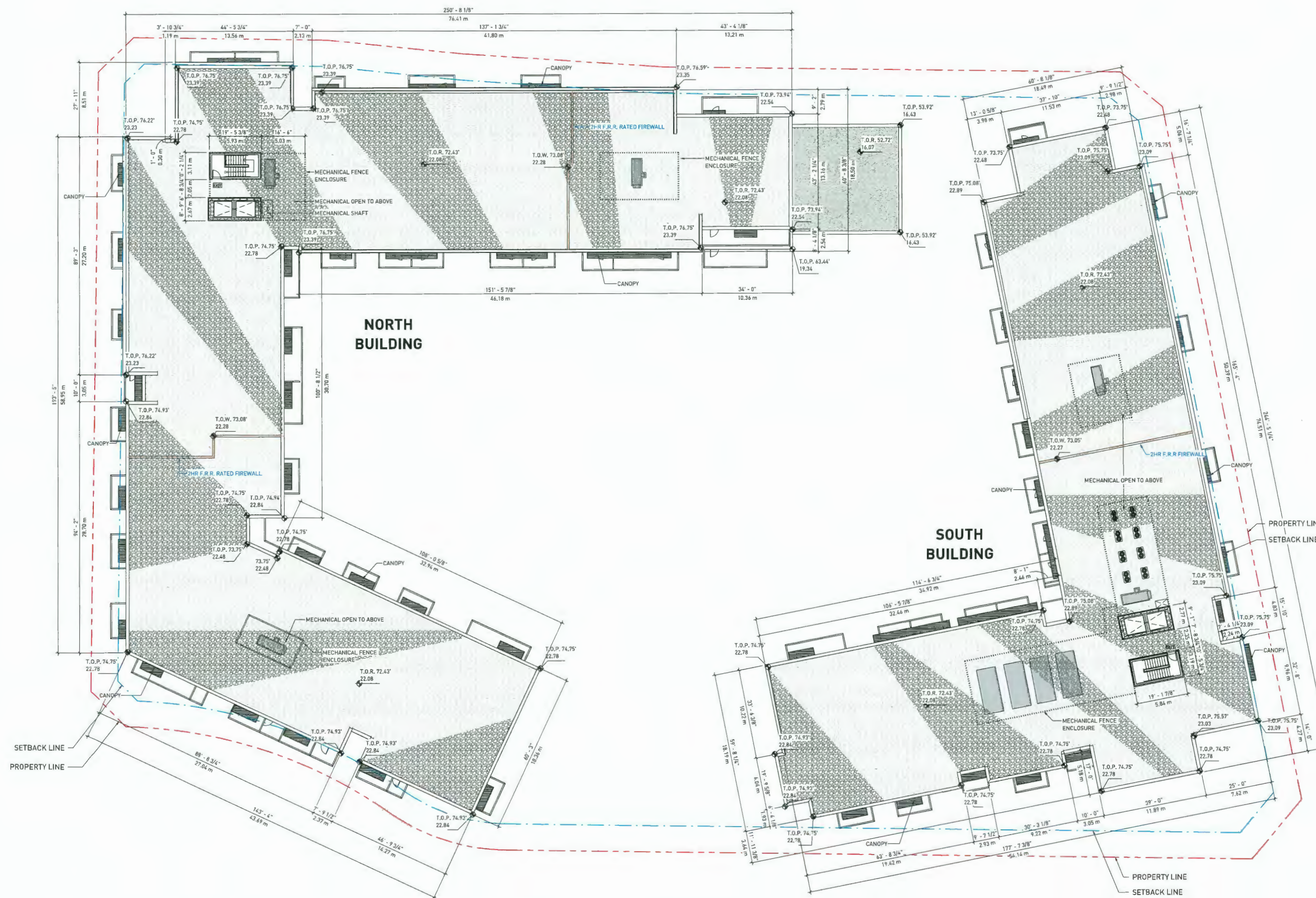
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2	JULY 4 2022	RE - ISSUED FOR RZ II
3	AUG 3 2022	RE - ISSUED FOR RZ III
4	MAR 10 2023	ISSUED FOR DP
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6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE - ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

FLOOR PLAN -  
 ROOF

DATE 2/14/2024 4:19:34 PM  
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 CHECKED BY Checker  
 SCALE 1/16" = 1'-0"  
 JOB NUMBER 20039

A-1.11





NOTES

### EXTERIOR RAMP

- EXTERIOR DESIGN
- CONCRETE OR GRATE SURFACE ON RAMP
  - CONTINUOUS GUARDRAIL AND HANDRAIL FOR ACCESSABILITY
  - LANDSCAPE TO GO UNDER WHERE POSSIBLE
  - CREATES NATURAL WALKWAY TO CHANGE LEVELS
  - MIX OF MICROPERFORATED PANELS AND SOLID PANELS TO SCREEN COURTYARD FROM PARKADE

### OPEN GREEN SEATING AREA

- EXTERIOR DESIGN
- CHANGE IN ELEVATION WITH THE USE OF LANDSCAPED STEPS
  - MIX OF STAIRS, RAMPS AND WALK WAYS
  - PROVISION OF PLANTS AND SHRUBS
  - USE OF NATURAL MATERIALS AND TREATED WOOD IN BENCHES
  - BENCH SEATING TO PROVIDE COMMUNITY INTERACTION AT DIFFERENT LEVELS
  - MIX OF MICROPERFORATED PANELS AND SOLID PANELS TO SCREEN COURTYARD FROM PARKADE

### WALL TREATMENT AND LANDSCAPE PLANTERS

- EXTERIOR LANDSCAPE DESIGN
- CONCRETE STEPS WITH INTEGRATED PLANTERS
  - WIDE STEPS SOFTEN CHANGE OF GRADE AND ELEVATION ONTO VERTICAL WALL
  - SHRUBS AND LOW PLANTING CREATE A CONSISTENT CHANGE OF GRADE USING NATURAL ELEMENTS

### DECK SEATING AREA

- EXTERIOR DECK DESIGN
- WOODEN STEPS TO PROVIDE OUTDOOR SEATING AND PASSIVE INTERACTION BETWEEN NEIGHBOURS
  - WOOD DECK LOOK AND FEEL
  - EXTERIOR LIGHTING FOR EVENING AMBIENCE AND USE
  - CONSISTENT WOOD PANEL UP WALL

### MICROPERFORATED PANEL SCREEN

- PANEL ON STEEL FRAME STRUCTURE
- MICROPERFORATED PANEL SYSTEM
- ALLOWS FOR LIGHT AND VENTILATION TO PARKADE
- CREATES PRIVACY BETWEEN AREAS
- NON-COMBUSTIBLE



REVISIONS

NO.	DATE	DESCRIPTION
4	MAR 10 2023	ISSUED FOR DP
5	OCT 06 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE- ISSUED FOR DP

8880 COOK RD. &  
8751 CITATION  
DRIVE  
RICHMOND, BC

ENLARGED  
FLOOR PLANS

DATE	2/14/2024 4:19:45 PM
DRAWN BY	Author
CHECKED BY	Checker
SCALE	3/32" = 1'-0"
JOB NUMBER	20039

**AVERAGE SITE GRADE:**  
 $1.48 + 1.17 + 1.57 + 1.12 + 1.17 + 1.17 + 1.46 + 1.40 = 10.54$   
 $10.54 / 8 = 1.32m$

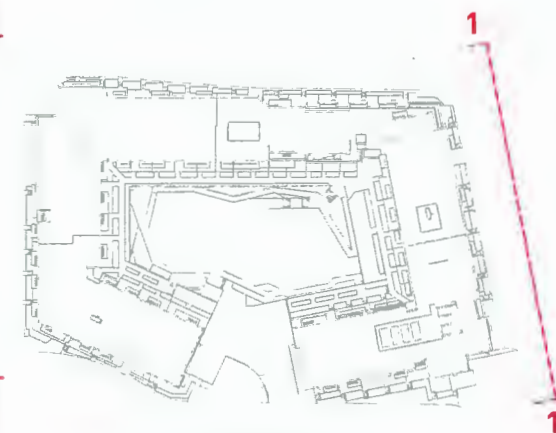
**AVERAGE BUILDING GRADE:**  
 $1.23 + 1.19 + 0.77 + 0.76 + 0.86 + 1.23 + 1.59 + 1.32 + 1.13 + 0.76 + 0.74 + 1.07 + 0.76 = 13.41$   
 $13.41 / 13 = 1.03m$

**AVERAGE BUILDING SITE GRADE:**  
 $1.32 + 1.03 = 2.35$   
 $2.35 m / 2 = 1.18$



gbl ARCHITECTS INC.  
 108-224 WEST 4TH AVENUE  
 VANCOUVER, BC CANADA V6T 1N9  
 TEL: 604-774-1754  
 FAX: 604-731-5279

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KEY PLAN

NOTES

#	DESCRIPTION	COLOR
01	FIBRECEMENT PANEL	WHITE
02	FIBRECEMENT PANEL	GREY
03	FIBRECEMENT PANEL	DARK GREY
04	FIBRECEMENT PANEL	COPPER
05	BRICK - Norman - Running Bond	WHITE
05a	BRICK - Norman - Running Bond	GREY
06	GLASS GUARDRAIL	TRANSPARENT
07	<varies>	<varies>
08	ALUMINUM FINIS	CEDAR
09	GLASS	TRANSPARENT
10	SPANDREL GLASS	CHARCOAL
11	SPANDREL GLASS	COPPER
12	ALUMINUM SUNSHADE	BLACK
13	VINYL MULLION	BLACK
14	FRITZ GUARDRAIL	WHITE
15	ALUMINUM GUARDRAIL	BLACK
16	ALUMINUM FLASHING	WHITE
17	ALUMINUM FLASHING	CHARCOAL
18	ALUMINUM OVERHEAD DOOR	NATURAL ALUMN.
19	ALUMINUM MULLION	BLACK
20	EXTERIOR TREATED WOOD	CEDAR
21	MICROPERFORATED STAINLESS STEEL MESH	WHITE
22	MICROPERFORATED STAINLESS STEEL MESH	BLACK

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 19 2022	RE - ISSUED FOR RZ
2	JULY 4 2022	RE - ISSUED FOR RZ II
3	AUG 3 2022	RE - ISSUED FOR RZ III
4	MAR 10 2023	ISSUED FOR DP
5	OCT 06 2023	RE- ISSUED FOR DP
6	JAN 19 2024	RE- ISSUED FOR DP
7	FEB 15 2024	RE- ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION DRIVE  
 RICHMOND, BC

ELEVATIONS

DATE: 2/14/2024 4:20:42 PM  
 DRAWN BY: AM  
 CHECKED BY: GBL  
 SCALE: As indicated  
 JOB NUMBER: 20039



1 DP - BUILDING ELEVATION - SOUTH  
 3/32" = 1'-0"

CITATION DR.



2 DP - BUILDING ELEVATION - NORTH  
 3/32" = 1'-0"

DP 23-014121

PLAN #13

February 20, 2024

A-2.01

NOTES

MATERIAL LEGEND

#	DESCRIPTION	COLOR
01	FIBRECEMENT PANEL	WHITE
02	FIBRECEMENT PANEL	GREY
03	FIBRECEMENT PANEL	DARK GREY
04	FIBRECEMENT PANEL	COPPER
05	BRICK - Norman - Running Bond	WHITE
05a	BRICK - Norman - Running Bond	GREY
06	GLASS GUARDRAIL	TRANSPARENT
07	<varies>	<varies>
08	ALUMINUM FINS	CEDAR
09	GLASS	TRANSPARENT
10	SPANDREL GLASS	CHARCOAL
11	SPANDREL GLASS	COPPER
12	ALUMINUM SUNSHADE	BLACK
13	VINYL MULLION	BLACK
14	FRITZ GUARDRAIL	WHITE
15	ALUMINUM GUARDRAIL	BLACK
16	ALUMINUM FLASHING	WHITE
17	ALUMINUM FLASHING	CHARCOAL
18	ALUMINUM OVERHEAD DOOR	NATURAL ALUM.
19	ALUMINUM MULLION	BLACK
20	EXTERIOR TREATED WOOD	CEDAR
21	MICROPERFORATED STAINLESS STEEL MESH	WHITE
22	MICROPERFORATED STAINLESS STEEL MESH	BLACK

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 19 2022	RE - ISSUED FOR RZ
2	JULY 4 2022	RE - ISSUED FOR RZ II
3	AUG 3 2022	RE - ISSUED FOR RZ III
4	MAR 10 2023	ISSUED FOR DP
5	OCT 30 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE - ISSUED FOR DP

8880 COOK RD. &  
8751 CITATION  
DRIVE  
RICHMOND, BC

ELEVATIONS

DATE	2/16/2024 4:22:02 PM
DRAWN BY	AM
CHECKED BY	GBL
SCALE	As indicated
JOB NUMBER	20039

A-2.02

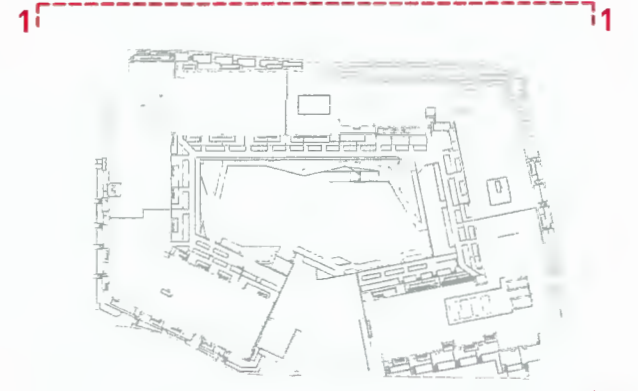


1 DP - BUILDING ELEVATION - EAST  
1/16" = 1'-0"



2 DP - BUILDING ELEVATION - WEST.  
1/16" = 1'-0"

AVERAGE SITE GRADE:	AVERAGE BUILDING GRADE:	AVERAGE BUILDING SITE GRADE:
$1.48 + 1.17 + 1.57 + 1.12 + 1.17 + 1.17 + 1.46 + 1.40 = 10.54$	$1.23 + 1.19 + 0.77 + 0.76 + 0.86 + 1.23 + 1.59 + 1.32 + 1.13 + 0.76 + 0.74 + 1.07 + 0.76 = 13.41$	$1.32 + 1.03 = 2.35$
$10.54 / 8 = 1.32m$	$13.41 / 13 = 1.03m$	$2.35 m / 2 = 1.18$



KEY PLAN

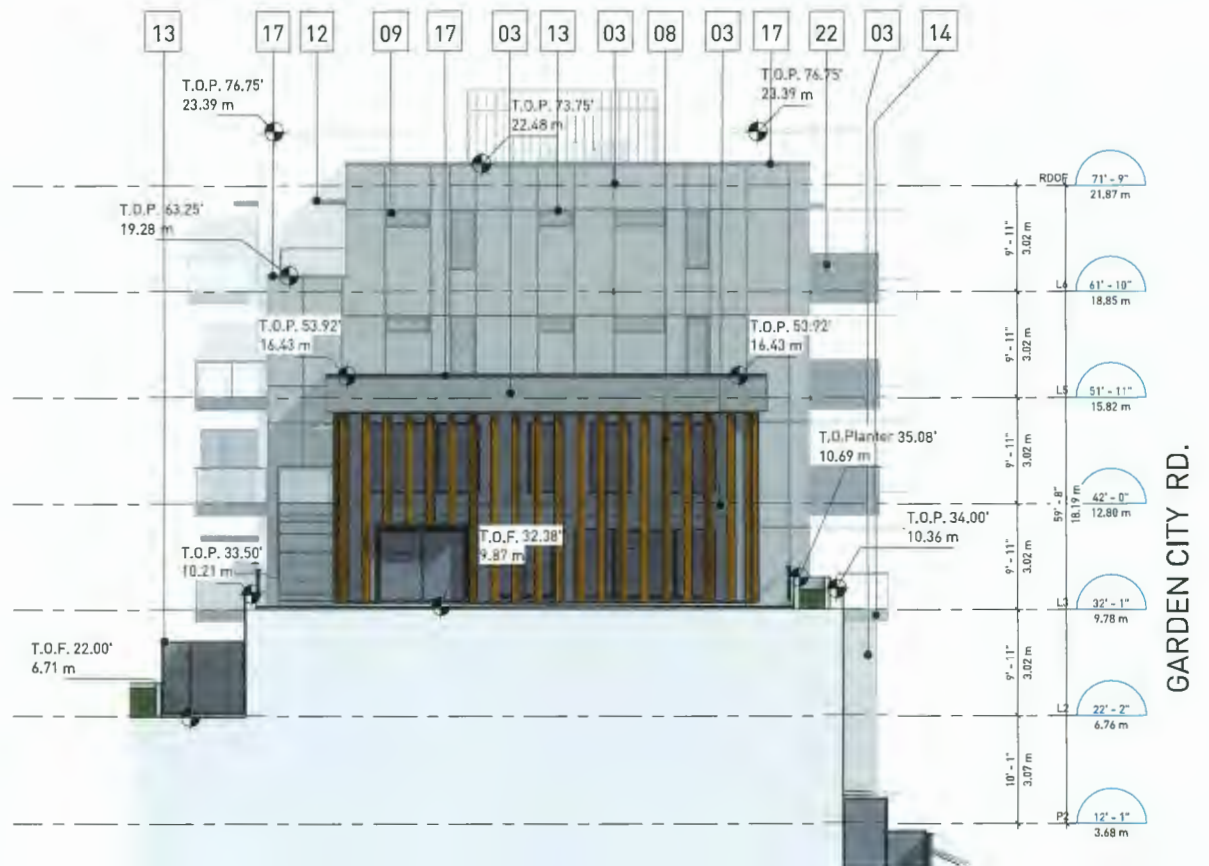
NOTES

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01	FIBRECEMENT PANEL	WHITE
02	FIBRECEMENT PANEL	GREY
03	FIBRECEMENT PANEL	DARK GREY
04	FIBRECEMENT PANEL	COPPER
05	BRICK - Norman - Running Bond	WHITE
05a	BRICK - Norman - Running Bond	GREY
06	GLASS QUARDRAIL	TRANSPARENT
07	<varies>	<varies>
08	ALUMINUM FINIS	CEDAR
09	GLASS	TRANSPARENT
10	SPANDREL GLASS	CHARCOAL
11	SPANDREL GLASS	COPPER
12	ALUMINUM SUNSHADE	BLACK
13	VINYL MULLION	BLACK
14	FRITZ GUARDRAIL	WHITE
15	ALUMINUM GUARDRAIL	BLACK
16	ALUMINUM FLASHING	WHITE
17	ALUMINUM FLASHING	CHARCOAL
18	ALUMINUM OVERHEAD DOOR	NATURAL ALUMN.
19	ALUMINUM MULLION	BLACK
20	EXTERIOR TREATED WOOD	CEDAR
21	MICROPERFORATED STAINLESS STEEL MESH	WHITE
22	MICROPERFORATED STAINLESS STEEL MESH	BLACK



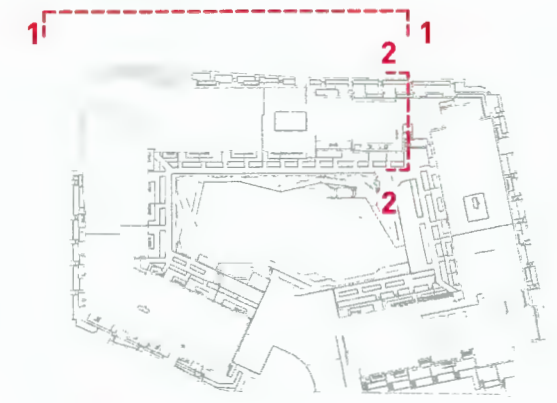
1 DP - BUILDING ELEVATION - EAST.  
3/32" = 1'-0"

GARDEN CITY RD.



2 DP - BUILDING ELEVATION - AMENITY  
3/32" = 1'-0"

<b>AVERAGE SITE GRADE:</b>	<b>AVERAGE BUILDING GRADE:</b>	<b>AVERAGE BUILDING SITE GRADE:</b>
1.48 + 1.17 + 1.57 + 1.12 + 1.17 + 1.17 + 1.46 + 1.40 = 10.54	1.23 + 1.19 + 0.77 + 0.76 + 0.86 + 1.23 + 1.59 + 1.32 + 1.13 + 0.76 + 0.74 + 1.07 + 0.76 = 13.41	1.32 + 1.03 = 2.35
10.54 / 8 = 1.32m	13.41 / 13 = 1.03m	2.35 m / 2 = 1.18



KEY PLAN

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 19 2022	RE - ISSUED FOR RZ
2	JULY 4 2022	RE - ISSUED FOR RZ II
3	AUG 3 2022	RE - ISSUED FOR RZ III
4	MAR 10 2023	ISSUED FOR DP
5	OCT 06 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE - ISSUED FOR DP

8880 COOK RD. &  
8751 CITATION  
DRIVE  
RICHMOND, BC

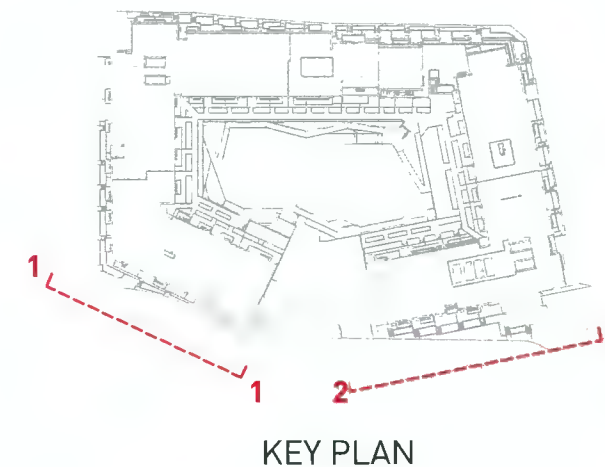
ELEVATIONS

DATE	2/14/2024 4:22:37 PM
DRAWN BY	AM
CHECKED BY	AM
SCALE	As indicated
JOB NUMBER	20039



NOTES

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01	FIBRECEMENT PANEL	WHITE
02	FIBRECEMENT PANEL	GREY
03	FIBRECEMENT PANEL	DARK GREY
04	FIBRECEMENT PANEL	COPPER
05	BRICK - Norman - Running Bond	WHITE
05a	BRICK - Norman - Running Bond	GREY
06	GLASS GUARDRAIL	TRANSPARENT
07	<varies>	<varies>
08	ALUMINUM FINIS	CEDAR
09	GLASS	TRANSPARENT
10	SPANDREL GLASS	CHARCOAL
11	SPANDREL GLASS	COPPER
12	ALUMINUM SUNSHADE	BLACK
13	VINYL MULLION	BLACK
14	FRITZ GUARDRAIL	WHITE
15	ALUMINUM GUARDRAIL	BLACK
16	ALUMINUM FLASHING	WHITE
17	ALUMINUM FLASHING	CHARCOAL
18	ALUMINUM OVERHEAD DOOR	NATURAL ALUMN.
19	ALUMINUM MULLION	BLACK
20	EXTERIOR TREATED WOOD	CEDAR
21	MICROPERFORATED STAINLESS STEEL MESH	WHITE
22	MICROPERFORATED STAINLESS STEEL MESH	BLACK



**AVERAGE SITE GRADE:**  
 $1.48 + 1.17 + 1.57 + 1.12 + 1.17 + 1.17 + 1.46 + 1.40 = 10.54$   
 $10.54 / 8 = 1.32m$

**AVERAGE BUILDING GRADE:**  
 $1.23 + 1.19 + 0.77 + 0.76 + 0.86 + 1.23 + 1.59 + 1.32 + 1.13 + 0.76 + 0.74 + 1.07 + 0.76 = 13.41$   
 $13.41 / 13 = 1.03m$

**AVERAGE BUILDING SITE GRADE:**  
 $1.32 + 1.03 = 2.35$   
 $2.35 m / 2 = 1.18$

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 19 2022	RE - ISSUED FOR RZ
2	JULY 4 2022	RE - ISSUED FOR RZ II
3	AUG 3 2022	RE - ISSUED FOR RZ III
4	MAR 10 2023	ISSUED FOR DP
5	DCT 06 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE- ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION DRIVE  
 RICHMOND, BC

ELEVATIONS

DATE: 2/14/2024 4:23:15 PM  
 DRAWN BY: AM & GT  
 CHECKED BY: GBL  
 SCALE: As indicated  
 JOB NUMBER: 20039

NOTES

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01	FIBRECEMENT PANEL	WHITE
02	FIBRECEMENT PANEL	GREY
03	FIBRECEMENT PANEL	DARK GREY
04	FIBRECEMENT PANEL	COPPER
05	BRICK - Norman - Running Bond	WHITE
05a	BRICK - Norman - Running Bond	GREY
06	GLASS GUARDRAIL	TRANSPARENT
07	<varies>	<varies>
08	ALUMINUM FINNS	CEDAR
09	GLASS	TRANSPARENT
10	SPANDREL GLASS	CHARCOAL
11	SPANDREL GLASS	COPPER
12	ALUMINUM SUNSHADE	BLACK
13	VINYL MULLION	BLACK
14	FRITZ GUARDRAIL	WHITE
15	ALUMINUM GUARDRAIL	BLACK
16	ALUMINUM FLASHING	WHITE
17	ALUMINUM FLASHING	CHARCOAL
18	ALUMINUM OVERHEAD DOOR	NATURAL ALUMN.
19	ALUMINUM MULLION	BLACK
20	EXTERIOR TREATED WOOD	CEDAR
21	MICROPERFORATED STAINLESS STEEL MESH	WHITE
22	MICROPERFORATED STAINLESS STEEL MESH	BLACK

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 19 2022	RE - ISSUED FOR RZ
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3	AUG 3 2022	RE - ISSUED FOR RZ III
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5	OCT 06 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE- ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION DRIVE  
 RICHMOND, BC

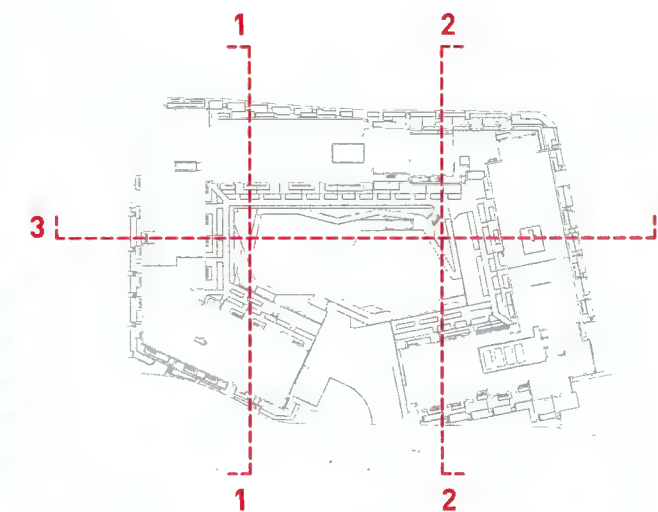
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 CHECKED BY GBL  
 SCALE As Indicated  
 JOB NUMBER 20039

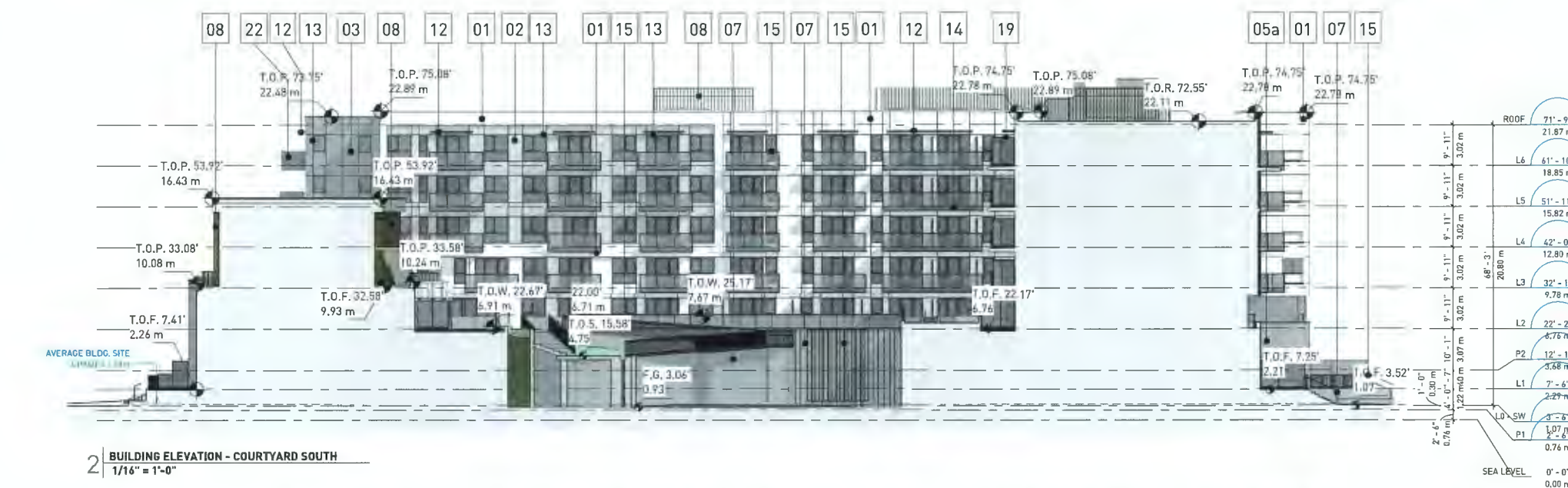
A-2.05



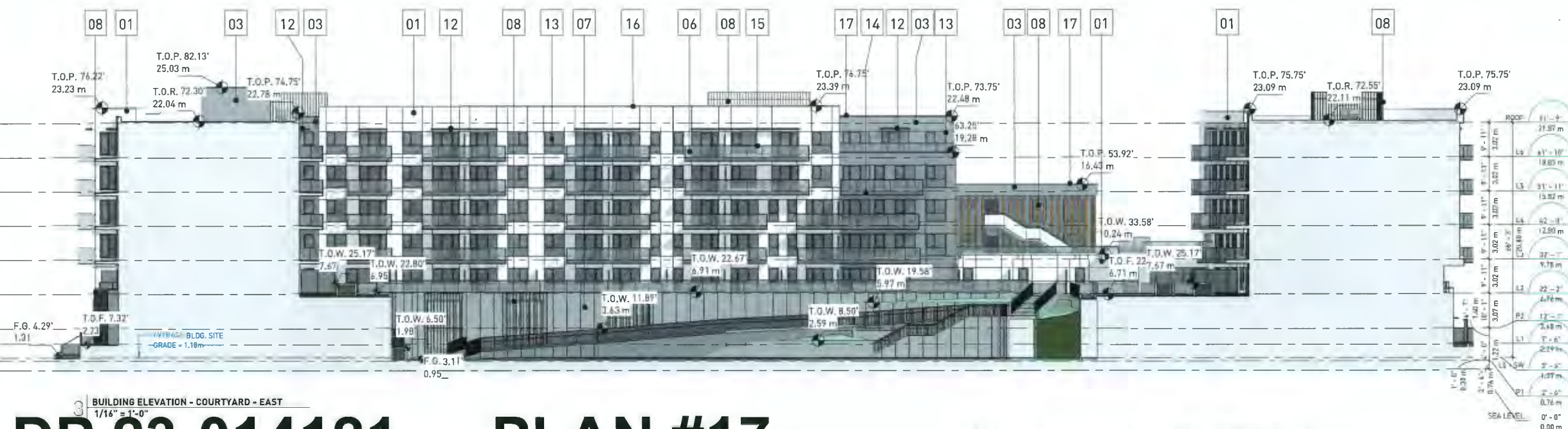
1 ELEVATION - COURTYARD NORTH  
 1/16" = 1'-0"



KEY PLAN



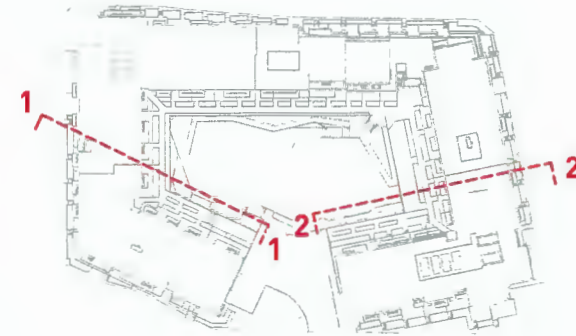
2 BUILDING ELEVATION - COURTYARD SOUTH  
 1/16" = 1'-0"



3 BUILDING ELEVATION - COURTYARD - EAST  
 1/16" = 1'-0"

NOTES

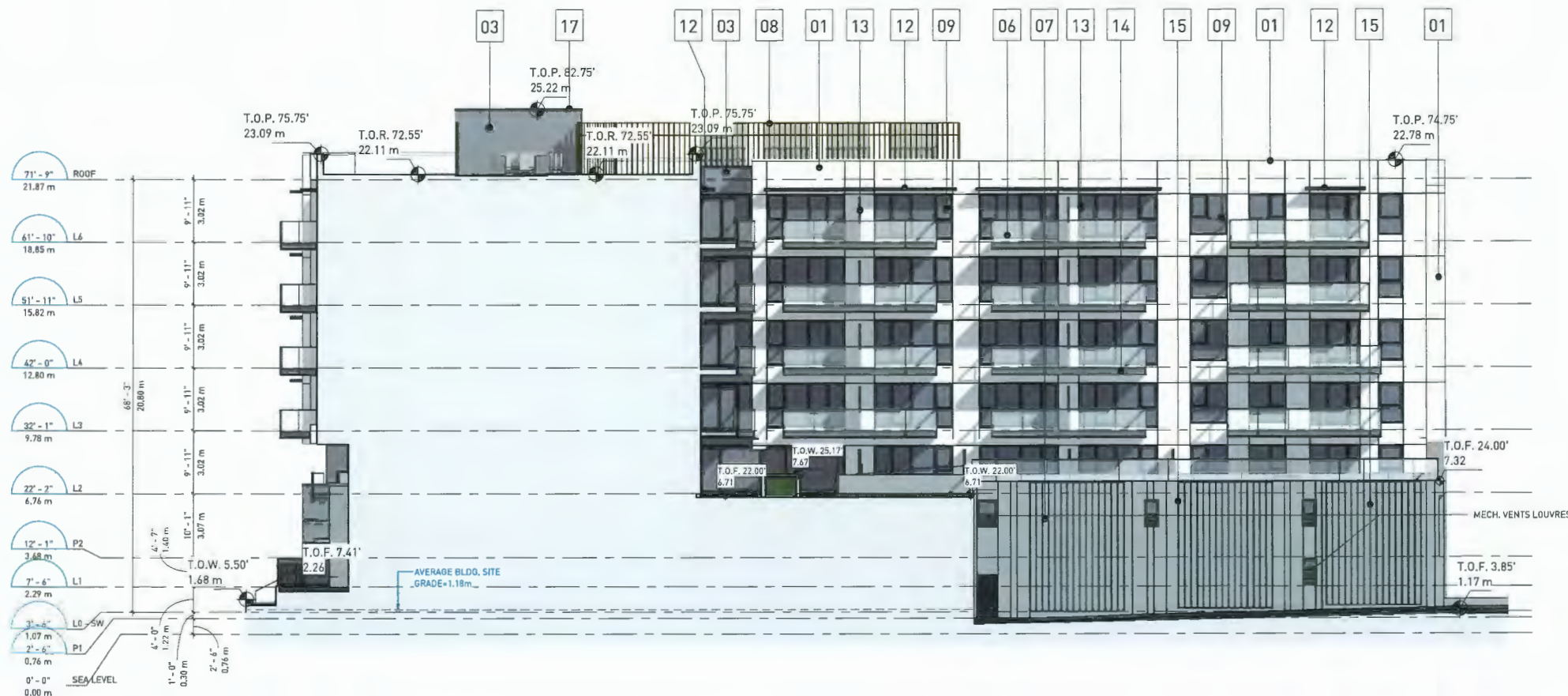
MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01	FIBRECEMENT PANEL	WHITE
02	FIBRECEMENT PANEL	GREY
03	FIBRECEMENT PANEL	DARK GREY
04	FIBRECEMENT PANEL	COPPER
05	BRICK - Norman - Running Bond	WHITE
05a	BRICK - Norman - Running Bond	GREY
06	GLASS GUARDRAIL	TRANSPARENT
07	<varies>	<varies>
08	ALUMINUM FINIS	CEDAR
09	GLASS	TRANSPARENT
10	SPANDREL GLASS	CHARCOAL
11	SPANDREL GLASS	COPPER
12	ALUMINUM SUNSHADE	BLACK
13	VINYL MULLION	BLACK
14	FRITZ GUARDRAIL	WHITE
15	ALUMINUM GUARDRAIL	BLACK
16	ALUMINUM FLASHING	WHITE
17	ALUMINUM FLASHING	CHARCOAL
18	ALUMINUM OVERHEAD DOOR	NATURAL ALUMN.
19	ALUMINUM MULLION	BLACK
20	EXTERIOR TREATED WOOD	CEDAR
21	MICROPERFORATED STAINLESS STEEL MESH	WHITE
22	MICROPERFORATED STAINLESS STEEL MESH	BLACK



KEY PLAN



1 ELEVATION - COURTYARD NORTH WEST  
 3/32" = 1'-0"



2 ELEVATION - COURTYARD WEST  
 3/32" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 19 2022	RE - ISSUED FOR RZ
2	JULY 4 2022	RE - ISSUED FOR RZ II
3	AUG 3 2022	RE - ISSUED FOR RZ III
4	MAR 10 2023	ISSUED FOR DP
5	DCT 06 2023	RE- ISSUED FOR DP
6	JAN 19 2024	RE- ISSUED FOR DP
7	FEB 15 2024	RE- ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

ELEVATIONS

DATE 2/14/2024 4:24:39 PM  
 DRAWN BY AM  
 CHECKED BY AM  
 SCALE As Indicated  
 JOB NUMBER 20039

A-2.06

NOTES

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01	FIBRECEMENT PANEL	WHITE
02	FIBRECEMENT PANEL	GREY
03	FIBRECEMENT PANEL	DARK GREY
04	FIBRECEMENT PANEL	COPPER
05	BRICK - Norman - Running Bond	WHITE
05a	BRICK - Norman - Running Bond	GREY
06	GLASS GUARDRAIL	TRANSPARENT
07	<varies>	<varies>
08	ALUMINUM FINIS	CEDAR
09	GLASS	TRANSPARENT
10	SPANDREL GLASS	CHARCOAL
11	SPANDREL GLASS	COPPER
12	ALUMINUM SUNSHADE	BLACK
13	VINYL MULLION	BLACK
14	FRTZ GUARDRAIL	WHITE
15	ALUMINUM GUARDRAIL	BLACK
16	ALUMINUM FLASHING	WHITE
17	ALUMINUM FLASHING	CHARCOAL
18	ALUMINUM OVERHEAD DOOR	NATURAL ALUMN.
19	ALUMINUM MULLION	BLACK
20	EXTERIOR TREATED WOOD	CEDAR
21	MICROPERFORATED STAINLESS STEEL MESH	WHITE
22	MICROPERFORATED STAINLESS STEEL MESH	BLACK

REVISIONS

NO.	DATE	DESCRIPTION
4	MAR 10 2023	ISSUED FOR DP
5	OCT 04 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE-ISSUED FOR DP

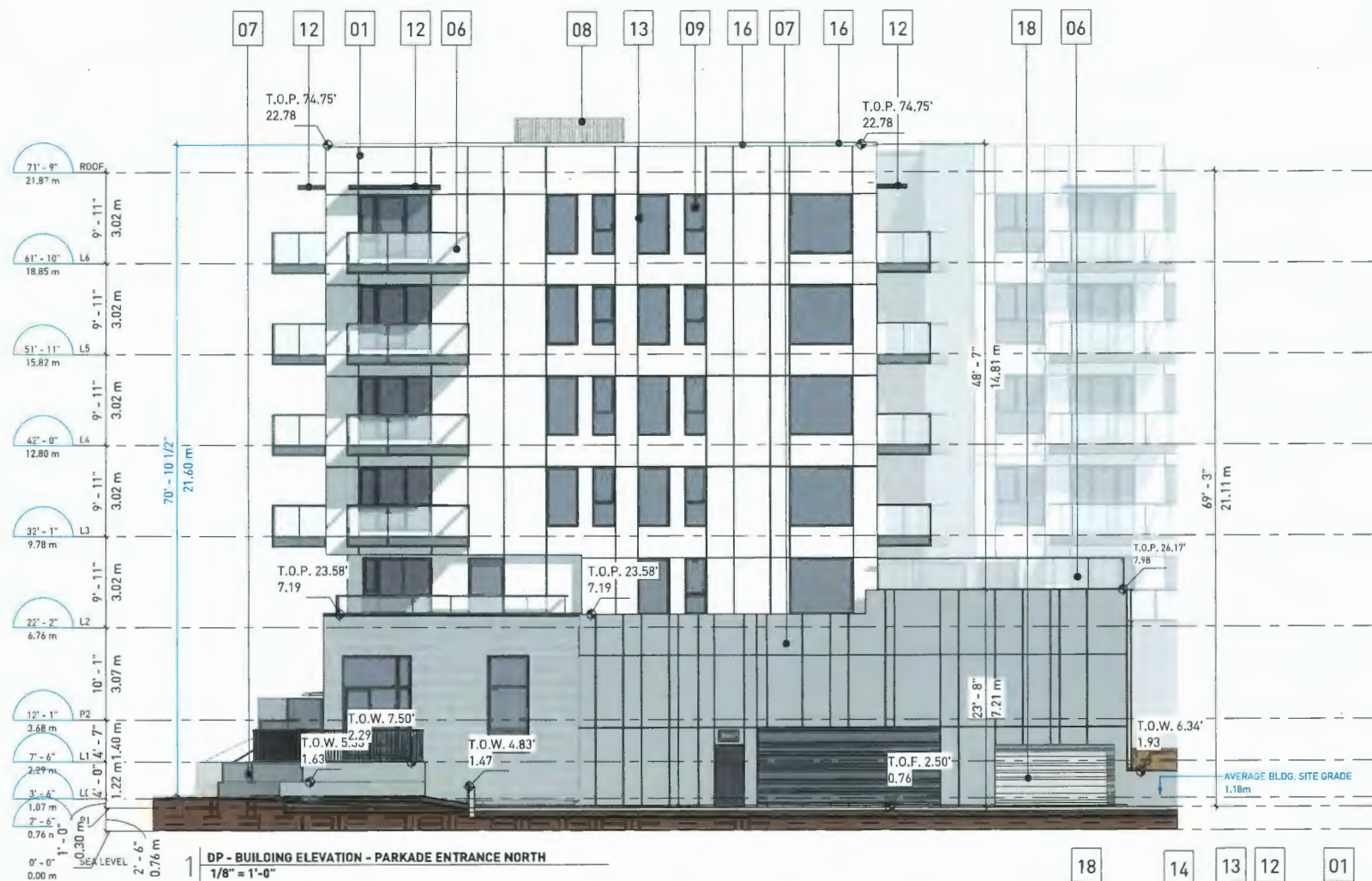
8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

ELEVATIONS

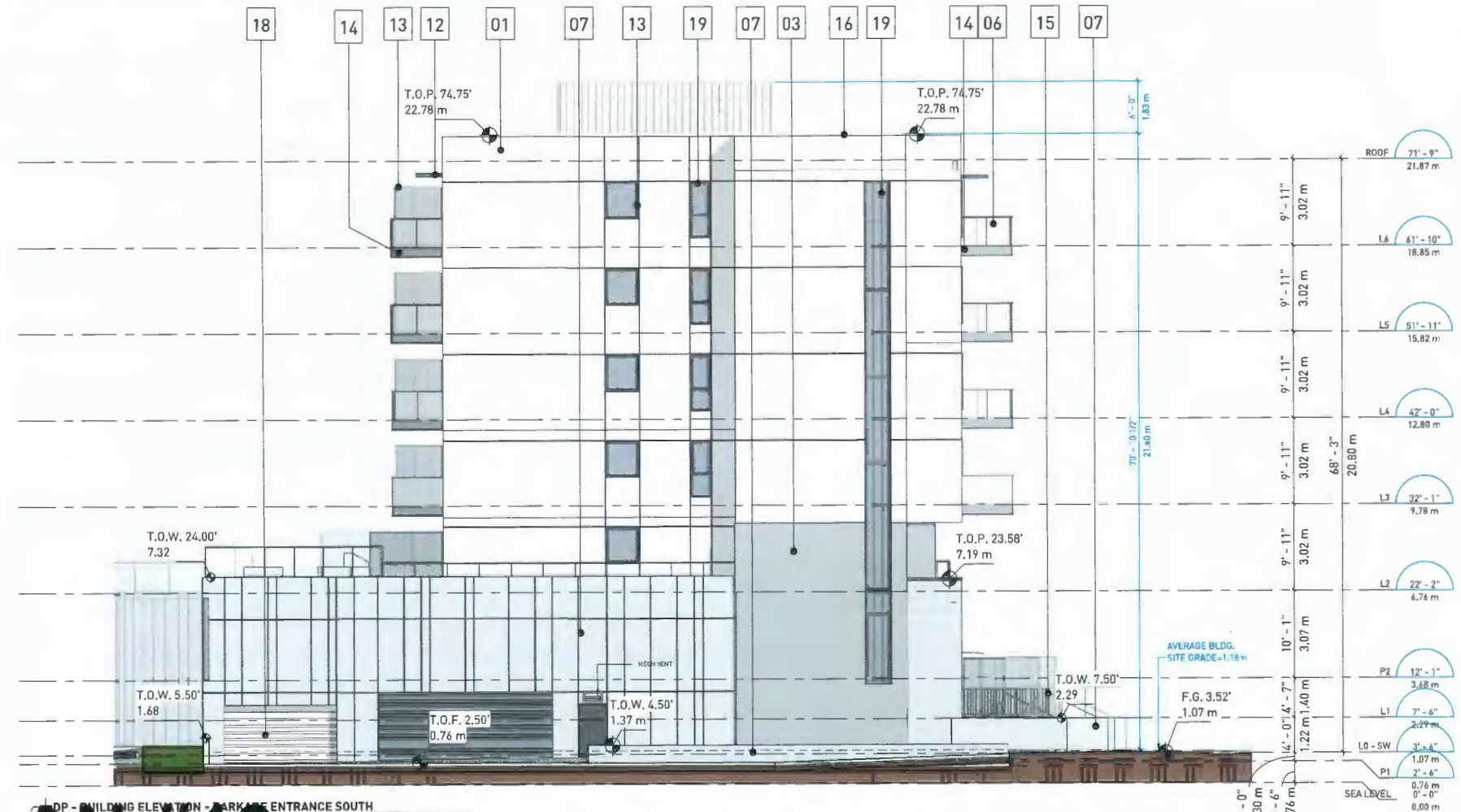
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 CHECKED BY Checker  
 SCALE As indicated

JOB NUMBER 20039

A-2.07



1 DP - BUILDING ELEVATION - PARKADE ENTRANCE NORTH  
 1/8" = 1'-0"



DP - BUILDING ELEVATION - PARKADE ENTRANCE SOUTH  
 1/8" = 1'-0"

NOTES

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01	FIBRECEMENT PANEL	WHITE
02	FIBRECEMENT PANEL	GREY
03	FIBRECEMENT PANEL	DARK GREY
04	FIBRECEMENT PANEL	COPPER
05	BRICK - Norman - Running Bond	WHITE
05a	BRICK - Norman - Running Bond	GREY
06	GLASS GUARDRAIL	TRANSPARENT
07	<varies>	<varies>
08	ALUMINUM FINIS	CEDAR
09	GLASS	TRANSPARENT
10	SPANDREL GLASS	CHARCOAL
11	SPANDREL GLASS	COPPER
12	ALUMINUM SUNSHADE	BLACK
13	VINYL MULLION	BLACK
14	FRITZ GUARDRAIL	WHITE
15	ALUMINUM GUARDRAIL	BLACK
16	ALUMINUM FLASHING	WHITE
17	ALUMINUM FLASHING	CHARCOAL
18	ALUMINUM OVERHEAD DOOR	NATURAL ALUMN.
19	ALUMINUM MULLION	BLACK
20	EXTERIOR TREATED WOOD	CEDAR
21	MICROPERFORATED STAINLESS STEEL MESH	WHITE
22	MICROPERFORATED STAINLESS STEEL MESH	BLACK



1 ELEVATION - COURTYARD - SOUTH  
 1/4" = 1'-0"



KEY PLAN

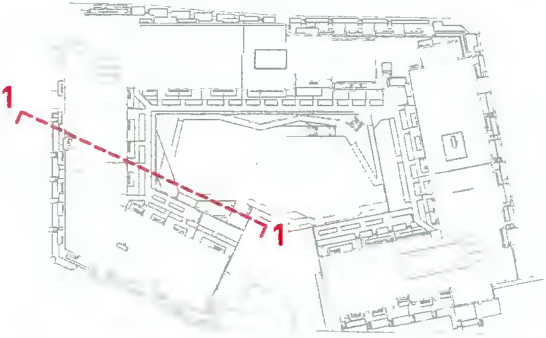
REVISIONS

NO.	DATE	DESCRIPTION
4	MAR 10 2023	ISSUED FOR DP
5	OCT 06 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE- ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

ENLARGED  
 ELEVATIONS

DATE 2/14/2024 4:25:35 PM  
 DRAWN BY Author  
 CHECKED BY Checker  
 SCALE As indicated  
 JOB NUMBER 20039



NOTES

MATERIAL LEGEND

#	DESCRIPTION	COLOR
01	FIBRECEMENT PANEL	WHITE
02	FIBRECEMENT PANEL	GREY
03	FIBRECEMENT PANEL	DARK GREY
04	FIBRECEMENT PANEL	COPPER
05	BRICK - Norman - Running Bond	WHITE
05a	BRICK - Norman - Running Bond	GREY
06	GLASS GUARDRAIL	TRANSPARENT
07	<varies>	<varies>
08	ALUMINUM FINS	CEDAR
09	GLASS	TRANSPARENT
10	SPANDREL GLASS	CHARCOAL
11	SPANDREL GLASS	COPPER
12	ALUMINUM SUNSHADE	BLACK
13	VINYL MULLION	BLACK
14	FRITZ GUARDRAIL	WHITE
15	ALUMINUM GUARDRAIL	BLACK
16	ALUMINUM FLASHING	WHITE
17	ALUMINUM FLASHING	CHARCOAL
18	ALUMINUM OVERHEAD DOOR	NATURAL ALUMN.
19	ALUMINUM MULLION	BLACK
20	EXTERIOR TREATED WOOD	CEDAR
21	MICROPERFORATED STAINLESS STEEL MESH	WHITE
22	MICROPERFORATED STAINLESS STEEL MESH	BLACK

REVISIONS

NO.	DATE	DESCRIPTION
5	OCT 06 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE-ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

ENLARGED  
 ELEVATIONS

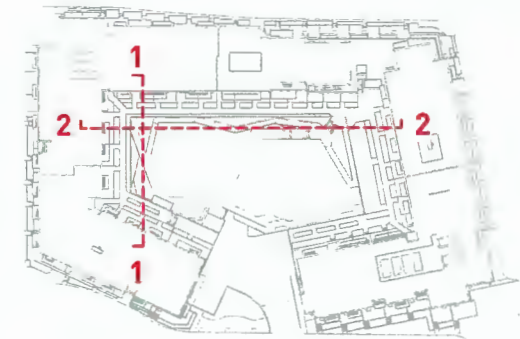
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 DRAWN BY Author  
 CHECKED BY Checker  
 SCALE As indicated  
 JOB NUMBER 20039

A-2.09



1 | ELEVATION - COURTYARD - NORTH WEST  
 1/4" = 1'-0"

NOTES



1 ELEVATION - COURTYARD - EAST I  
 1/4" = 1'-0"



2 ELEVATION - COURTYARD - EAST  
 1/4" = 1'-0"

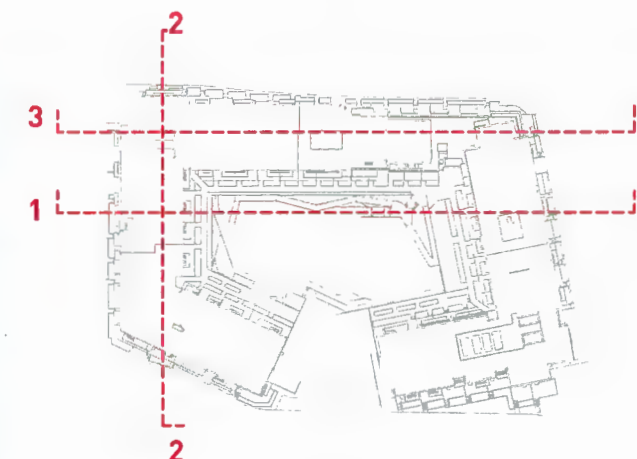
REVISIONS		
NO.	DATE	DESCRIPTION
4	MAR 10 2023	ISSUED FOR DP
5	OCT 06 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE- ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

ENLARGED  
 ELEVATIONS

DATE	2/14/2024 4:26:12 PM
DRAWN BY	Author
CHECKED BY	Checker
SCALE	As indicated
JOB NUMBER	20039

A-2.10



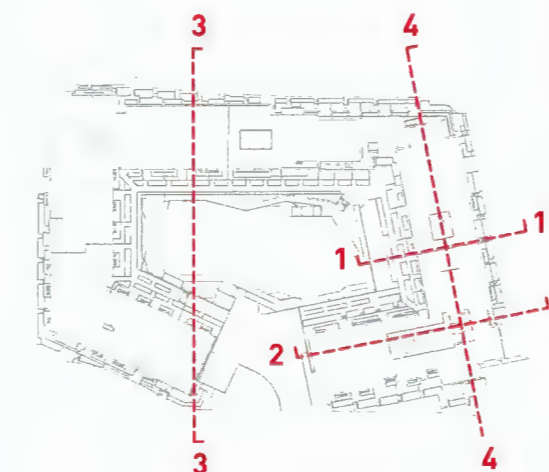
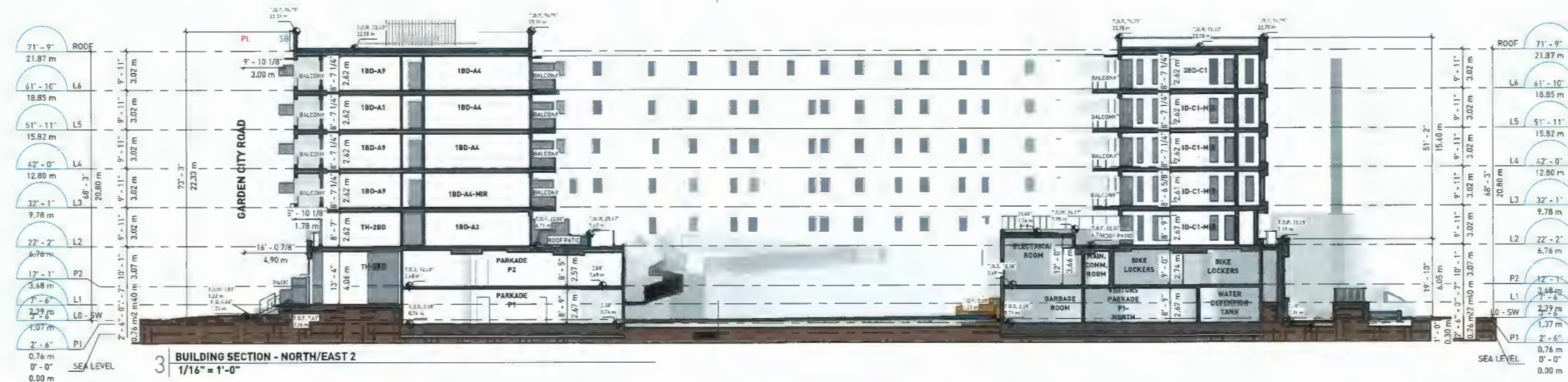
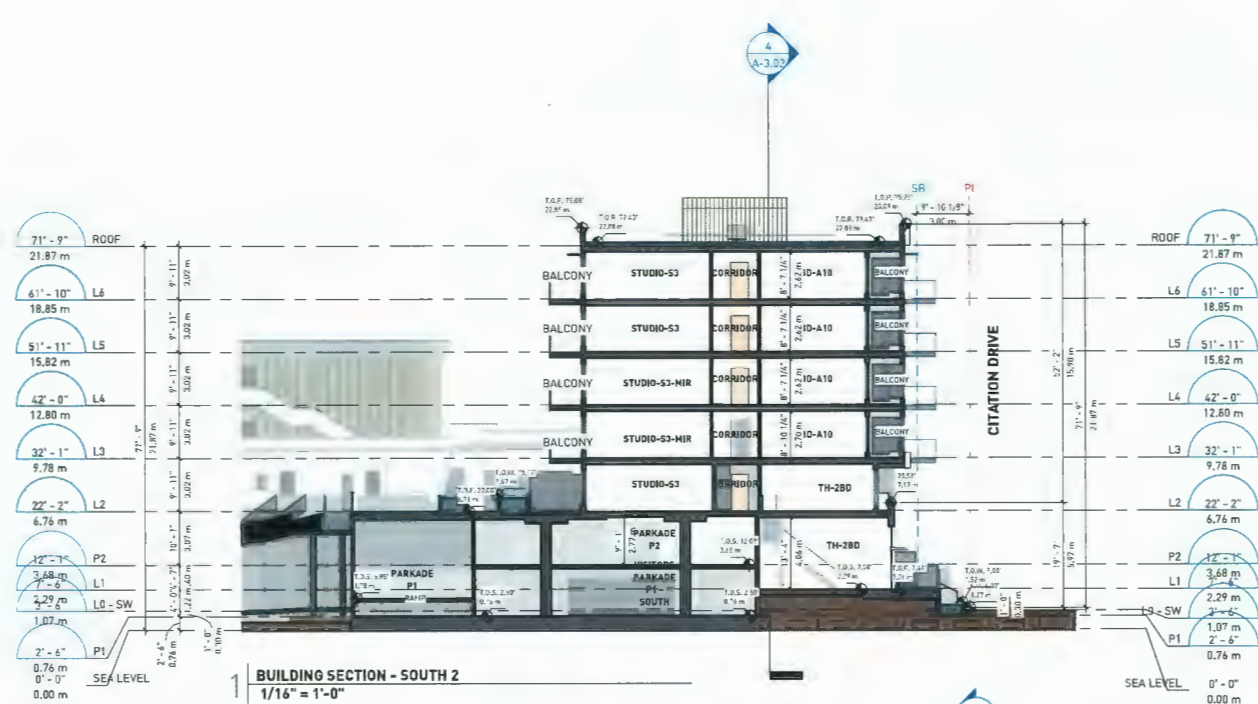
KEY PLAN

REVISIONS

NO.	DATE	DESCRIPTION
4	MAR 10 2023	ISSUED FOR DP
5	OCT 04 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE- ISSUED FOR DP







KEY PLAN

NO.	DATE	DESCRIPTION
4	MAR 10 2023	ISSUED FOR DP
5	OCT 06 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE-ISSUED FOR DP

8880 COOK RD. &  
8751 CITATION  
DRIVE  
RICHMOND, BC

## BUILDING SECTIONS II

DATE 2/14/2024 4:27:30 PM  
DRAWN BY Author  
CHECKED BY Checker  
SCALE As indicated  
JOB NUMBER 20039

A-3.02



REVISIONS

NO.	DATE	DESCRIPTION
4	MAR 10 2023	ISSUED FOR DP
5	OCT 06 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE- ISSUED FOR DP

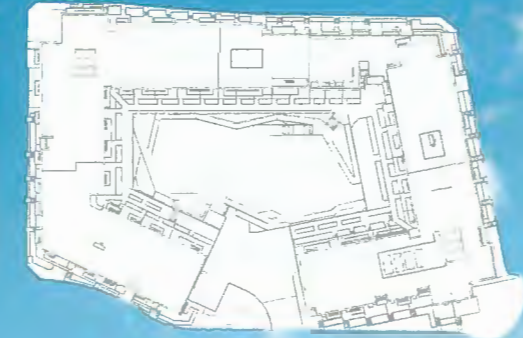
8880 COOK RD. &  
8751 CITATION  
DRIVE  
RICHMOND, BC

BUILDING  
SECTIONS III

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DRAWN BY	Author
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SCALE	1/4" = 1'-0"
JOB NUMBER	20039

NOTES

**DISCLAIMER:**  
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KEY PLAN



REVISIONS

NO.	DATE	DESCRIPTION
4	MAR 10 2023	ISSUED FOR DP
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6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE-ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION DRIVE  
 RICHMOND, BC

3D VIEWS

DATE	2/14/2024 4:49:27 PM
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CHECKED BY	Checker
SCALE	As indicated
JOB NUMBER	20039

1 - NORTH EAST PERSPECTIVE

**NOTES**

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7	FEB 15 2024	RE-ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

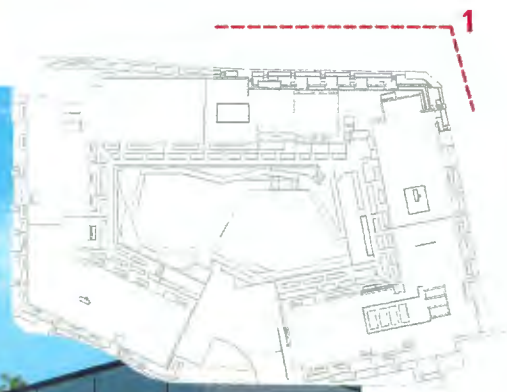
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JOB NUMBER	20039

A-6.02

NOTES

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NO.	DATE	DESCRIPTION
4	MAR 10 2023	ISSUED FOR DP
5	OCT 24 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE-ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

3D VIEWS

DATE	2/14/2024 4:49:43 PM
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SCALE	As indicated
JOB NUMBER	20039

A-6.03

NOTES

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REVISIONS

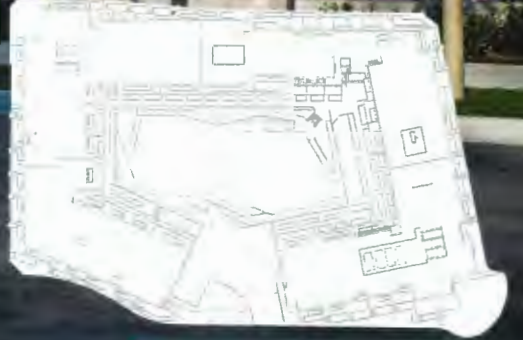
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6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE-ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

3D VIEWS

DATE	2/14/2024 4:49:51 PM
DRAWN BY	Author
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SCALE	As indicated
JOB NUMBER	20039

A-6.04



KEY PLAN

1 - AERIAL PARKADE ENTRY

**DP 23-014121**

**PLAN #29**

**February 20, 2024**



KEY PLAN



NOTES

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7	FEB 15 2024	RE-ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

3D VIEWS

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DRAWN BY	Author
CHECKED BY	Checker
SCALE	As Indicated
JOB NUMBER	20039

A-6.05

NOTES

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8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

3D VIEWS

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CHECKED BY	Checker
SCALE	As indicated
JOB NUMBER	20039

A-6.06



KEY PLAN



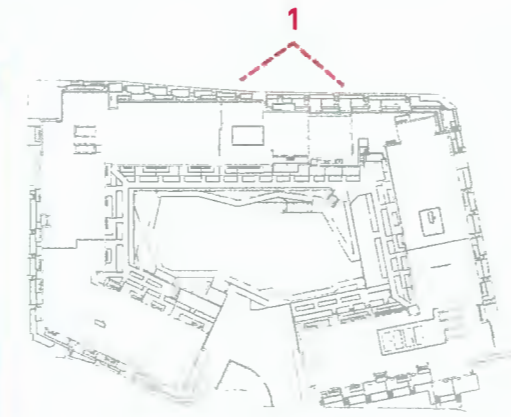
1 - VIEW OF COURTYARD LOOKING SOUTH

**DP 23-014121**

**PLAN #31**

**February 20, 2024**





KEY PLAN

**gbl**

gbl ARCHITECTS INC.  
 208-224 WEST 8TH AVENUE TEL: 604.731.1156  
 VANCOUVER, BC CANADA V5Y 1N9 FAX: 604.731.5279

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8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

3D VIEWS

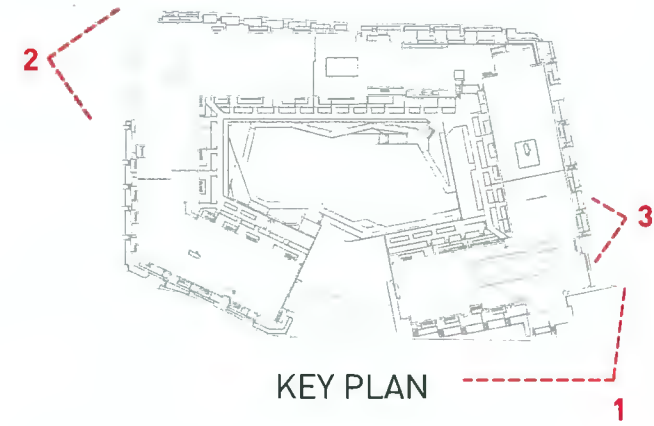
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CHECKED BY	Checker
SCALE	As indicated
JOB NUMBER	20039

1 - AERIAL VIEW  
 LOOKING WEST

A-6.07

NOTES

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 PERMITTING PROCESS.



1 - SOUTH EAST



2 - COOK RD. ENTRY



3 - CITATION DR. ENTRY

REVISIONS

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7	FEB 15 2024	RE-ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

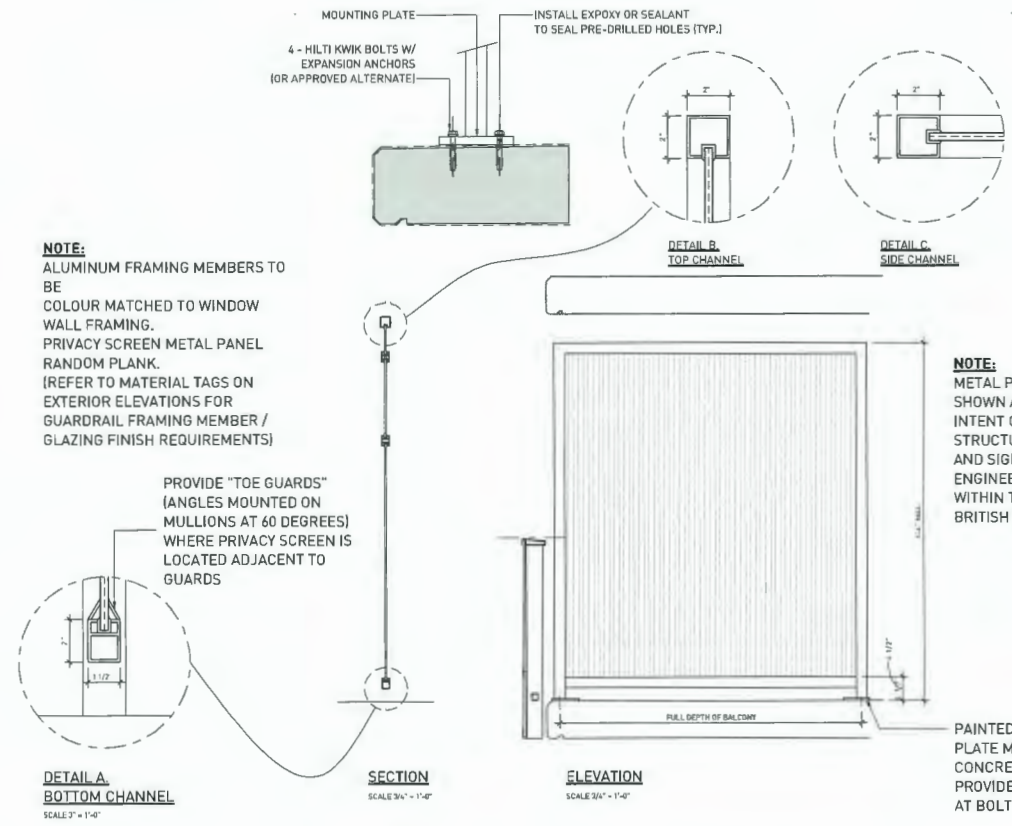
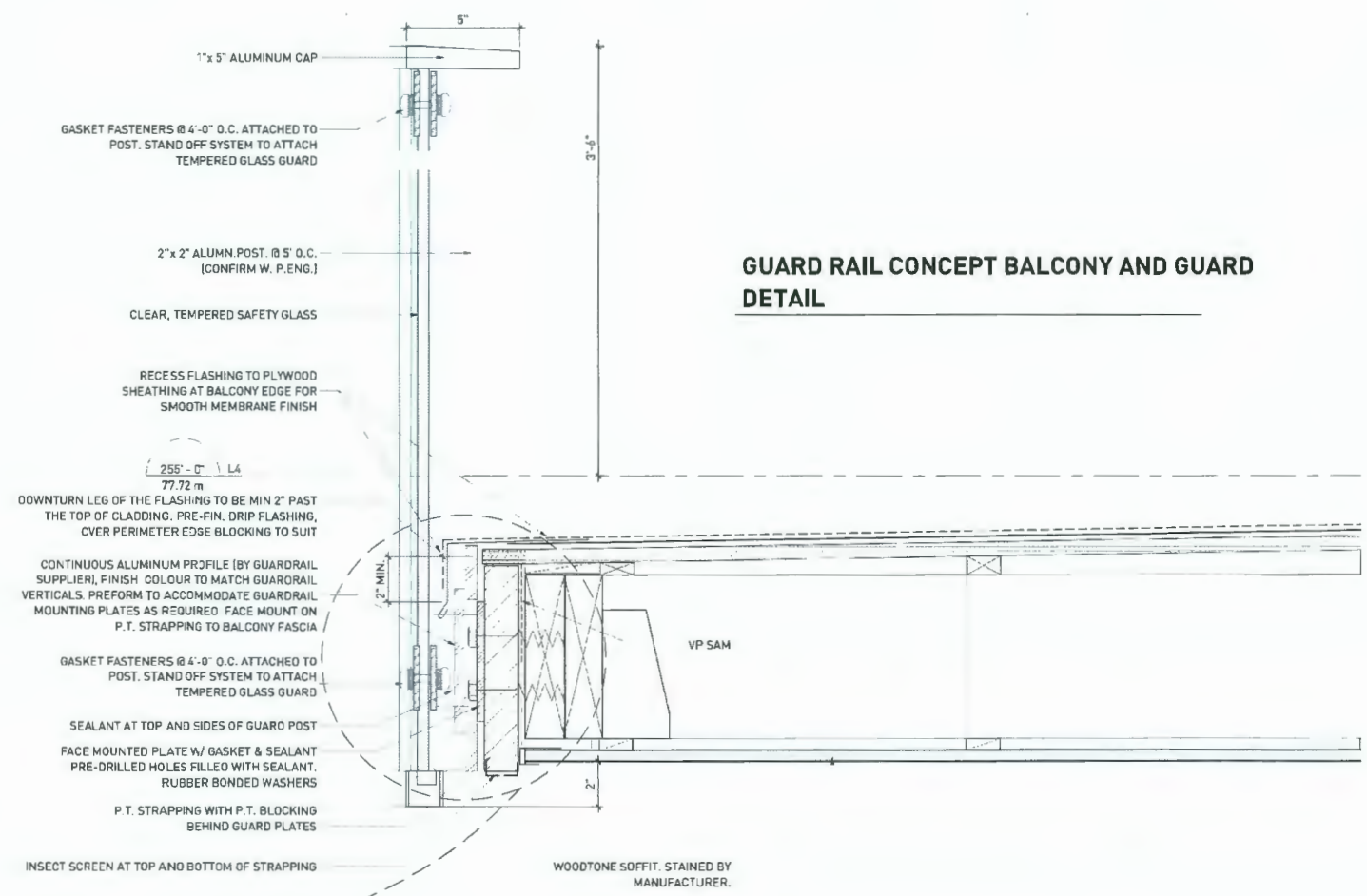
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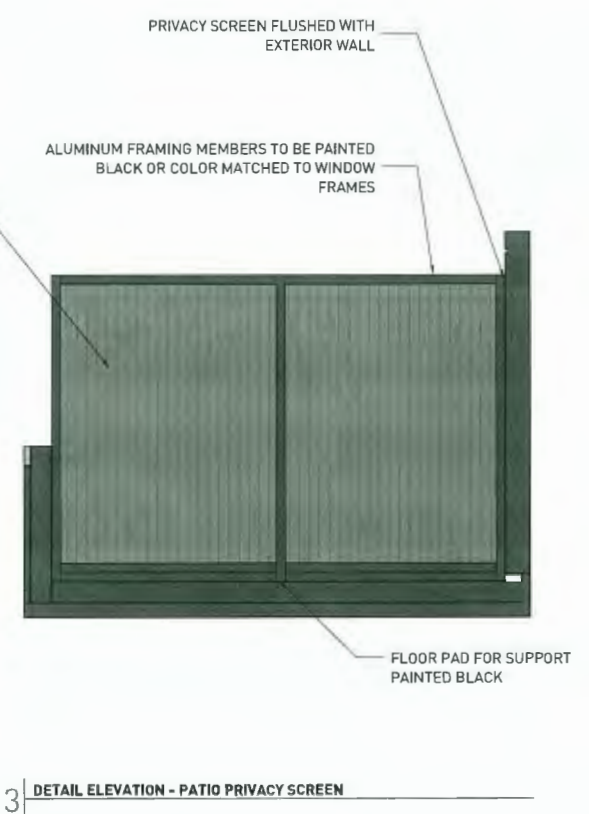
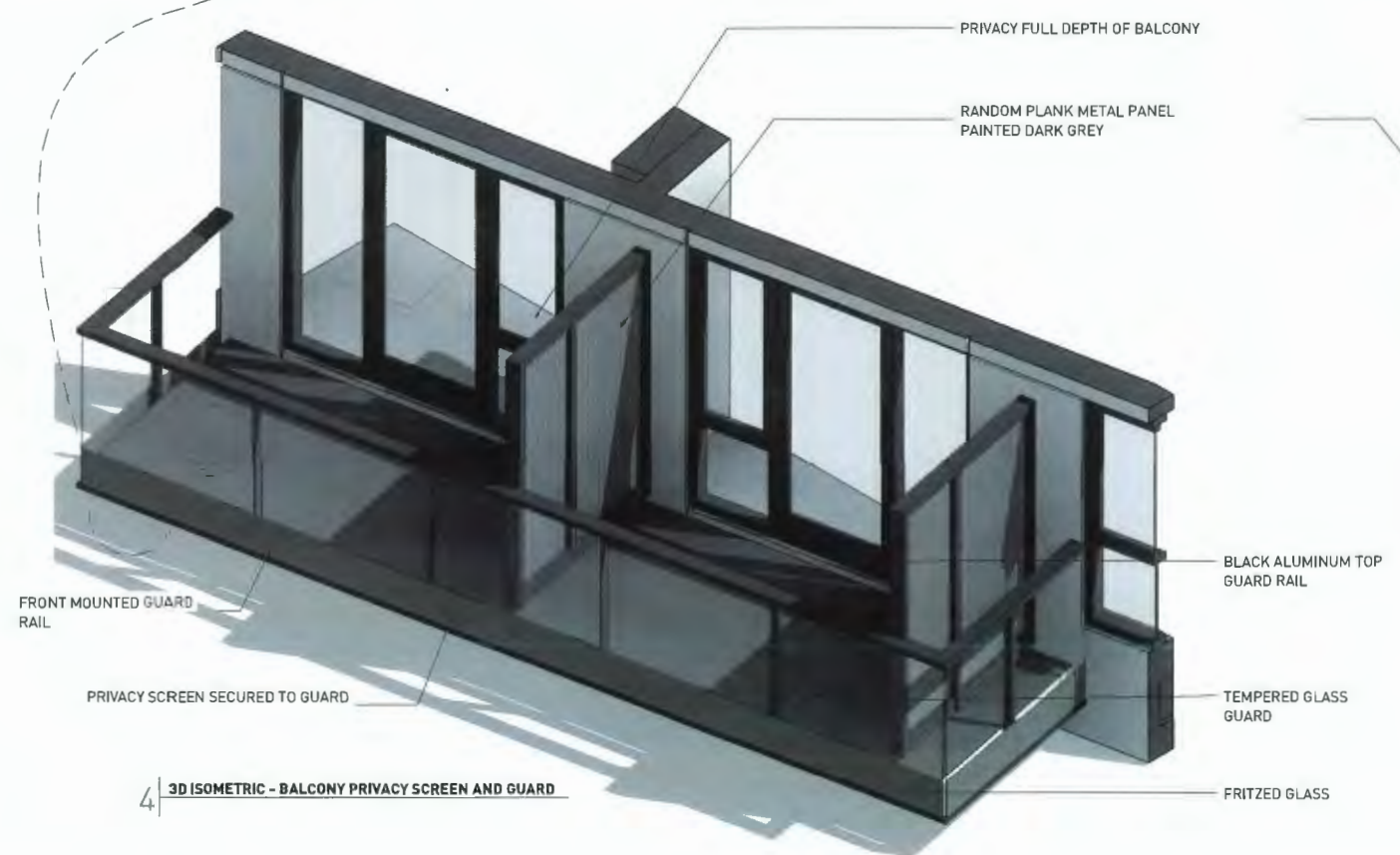
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NOTES

NOTE: METAL PANEL DIMENSIONS SHOWN ARE FOR DESIGN INTENT ONLY. SCREEN STRUCTURE TO BE DESIGNED AND SIGNED & SEALED BY AN ENGINEER REGISTERED WITHIN THE PROVINCE OF BRITISH COLUMBIA



1 | PRIVACY SCREEN DETAILS  
 1 1/2" = 1'-0"



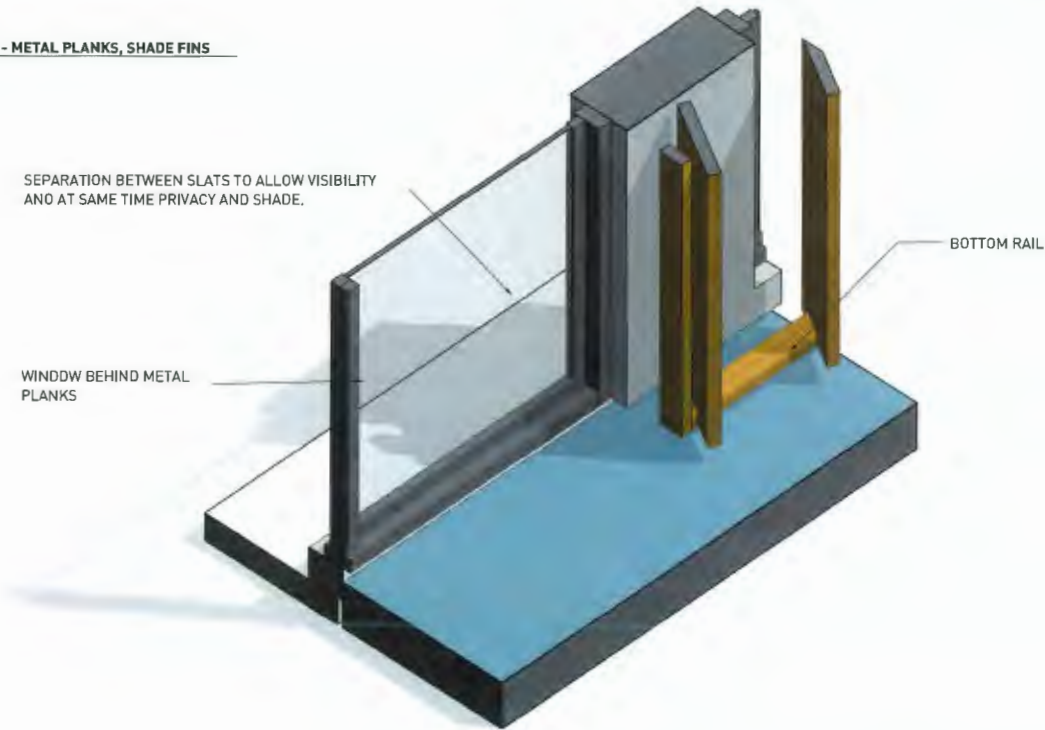
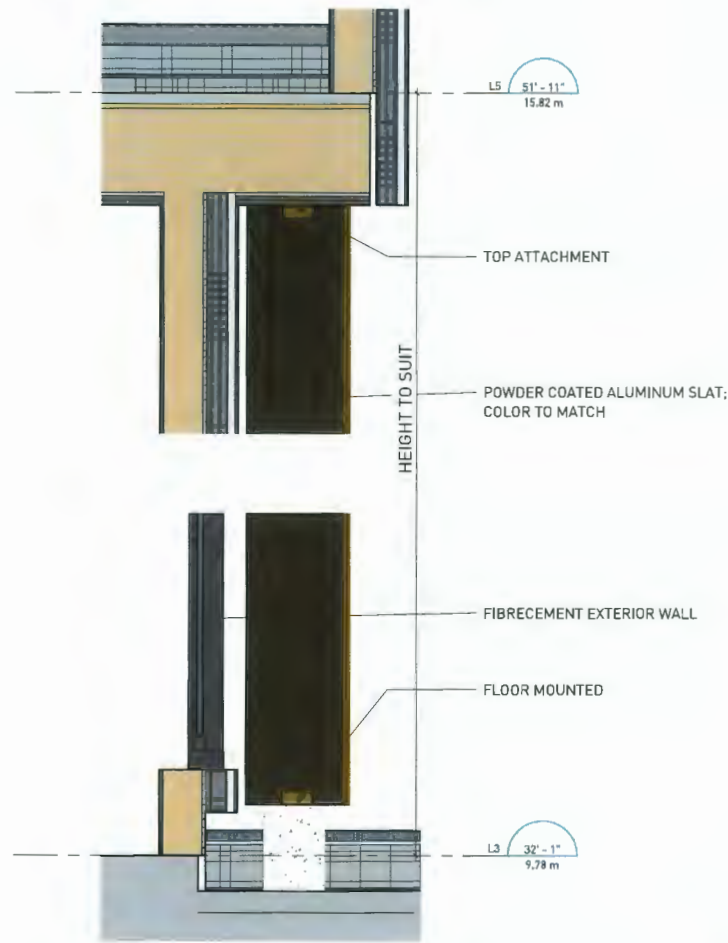
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7	FEB 15 2024	RE-ISSUED FOR DP

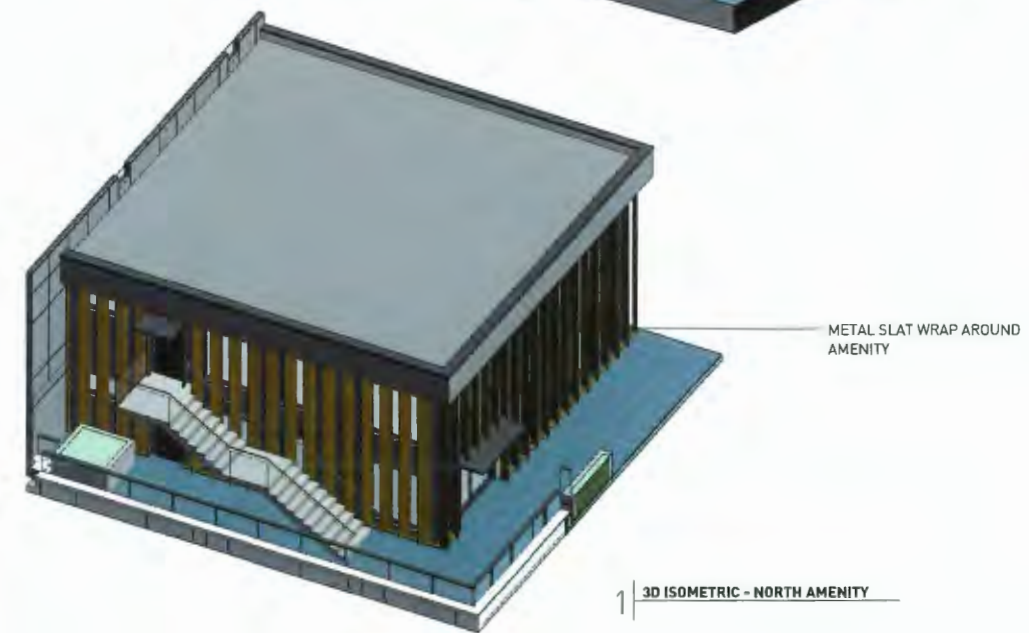
8880 COOK RD. &  
 8751 CITATION DRIVE  
 RICHMOND, BC

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 DRAWN BY: Author  
 CHECKED BY: Checker  
 SCALE: 1 1/2" = 1'-0"  
 JOB NUMBER: 20039



STAINLESS STEEL HANDRAIL AND TEMPERED GLASS GUARD  
 STEEL FRAME STAIRS WITH CONCRETE RUN AND LANDING.



REVISIONS

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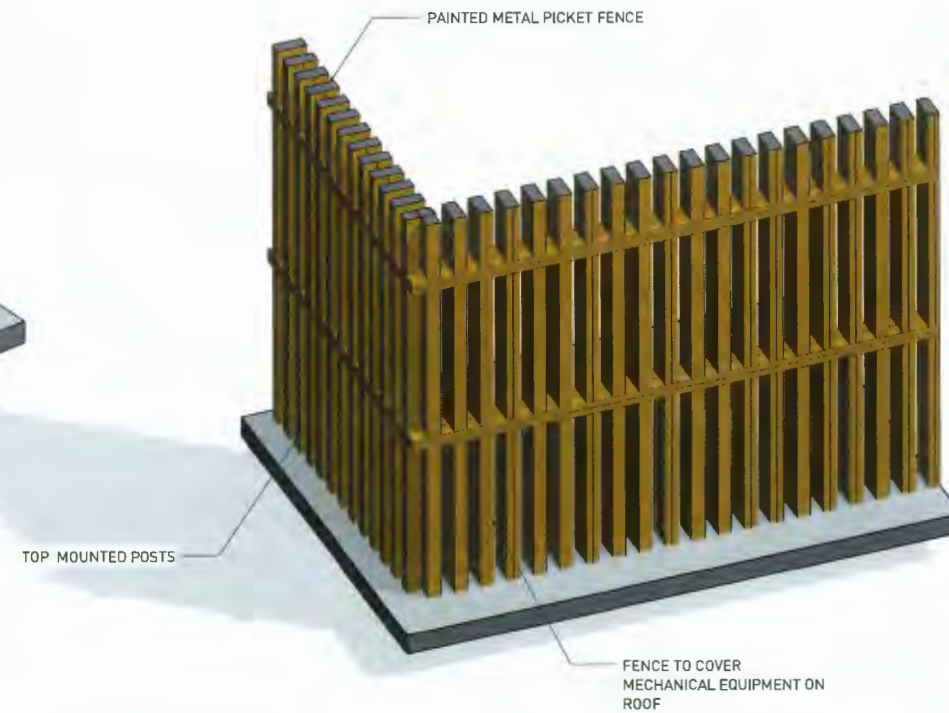
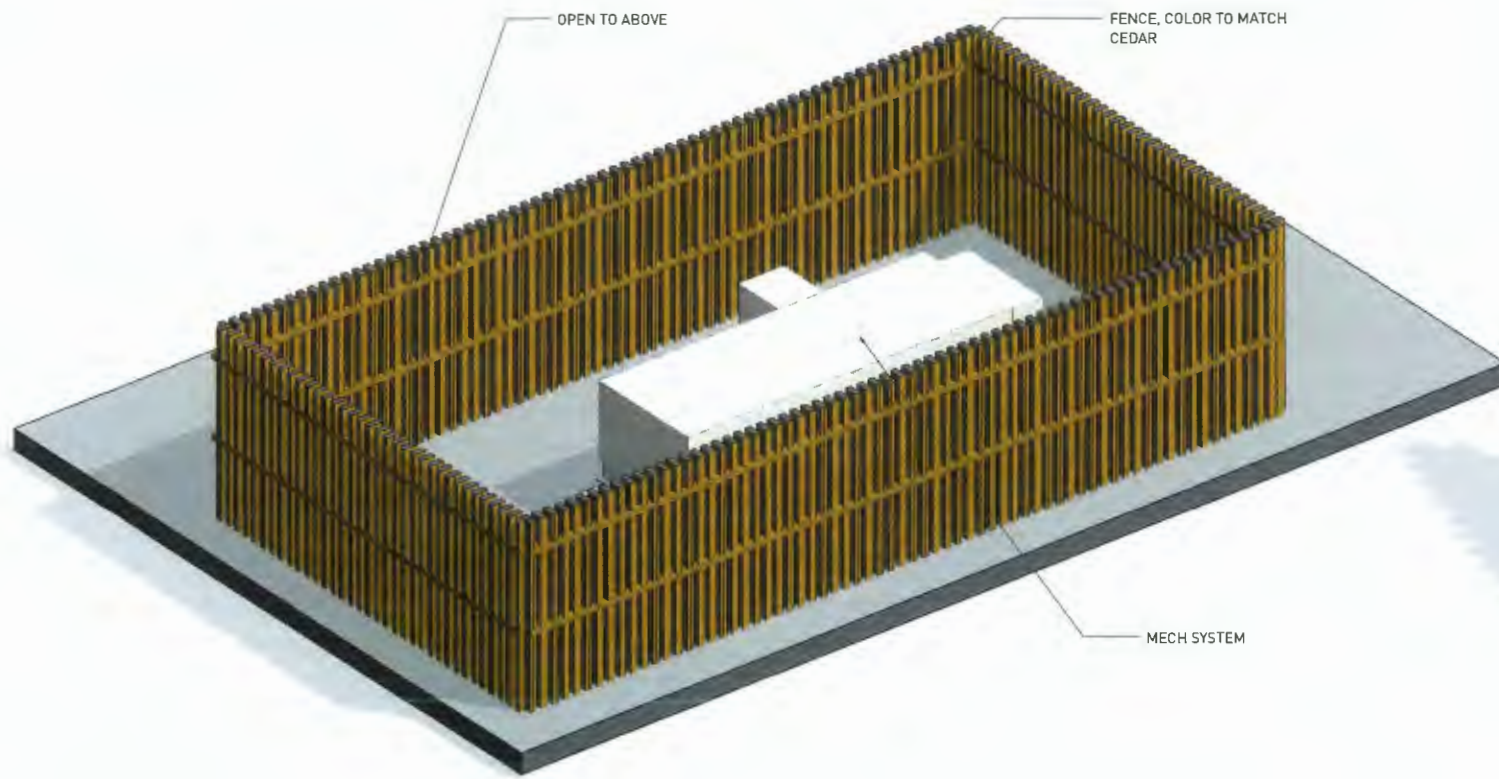
8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

METAL PLANKS  
 DETAILS

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 SCALE 1" = 1'-0"

JOB NUMBER 20039

A-8.01



REVISIONS

NO.	DATE	DESCRIPTION
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6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE-ISSUED FOR DP

8880 COOK RD. &  
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 RICHMOND, BC

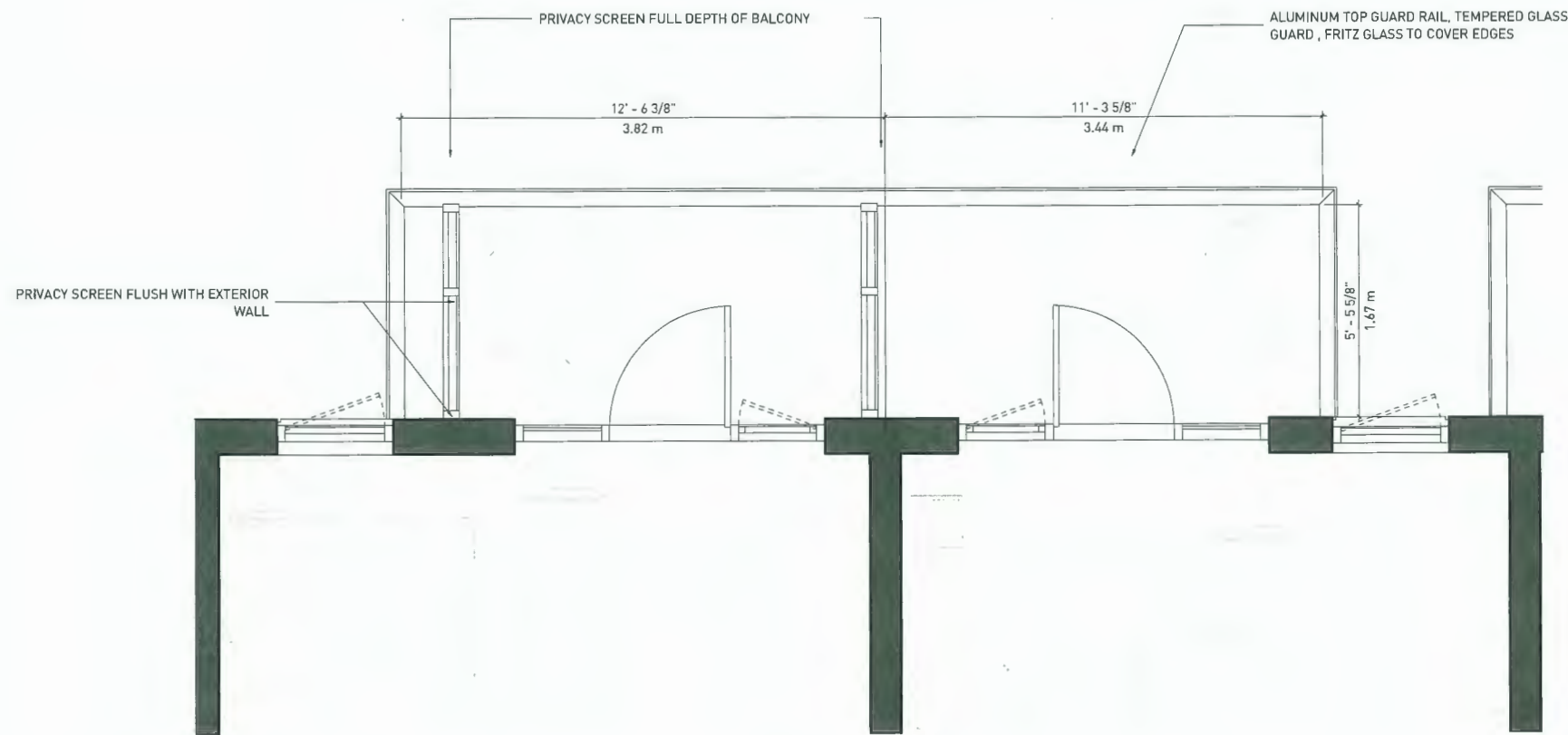
ROOF SCREENING  
 DETAILS

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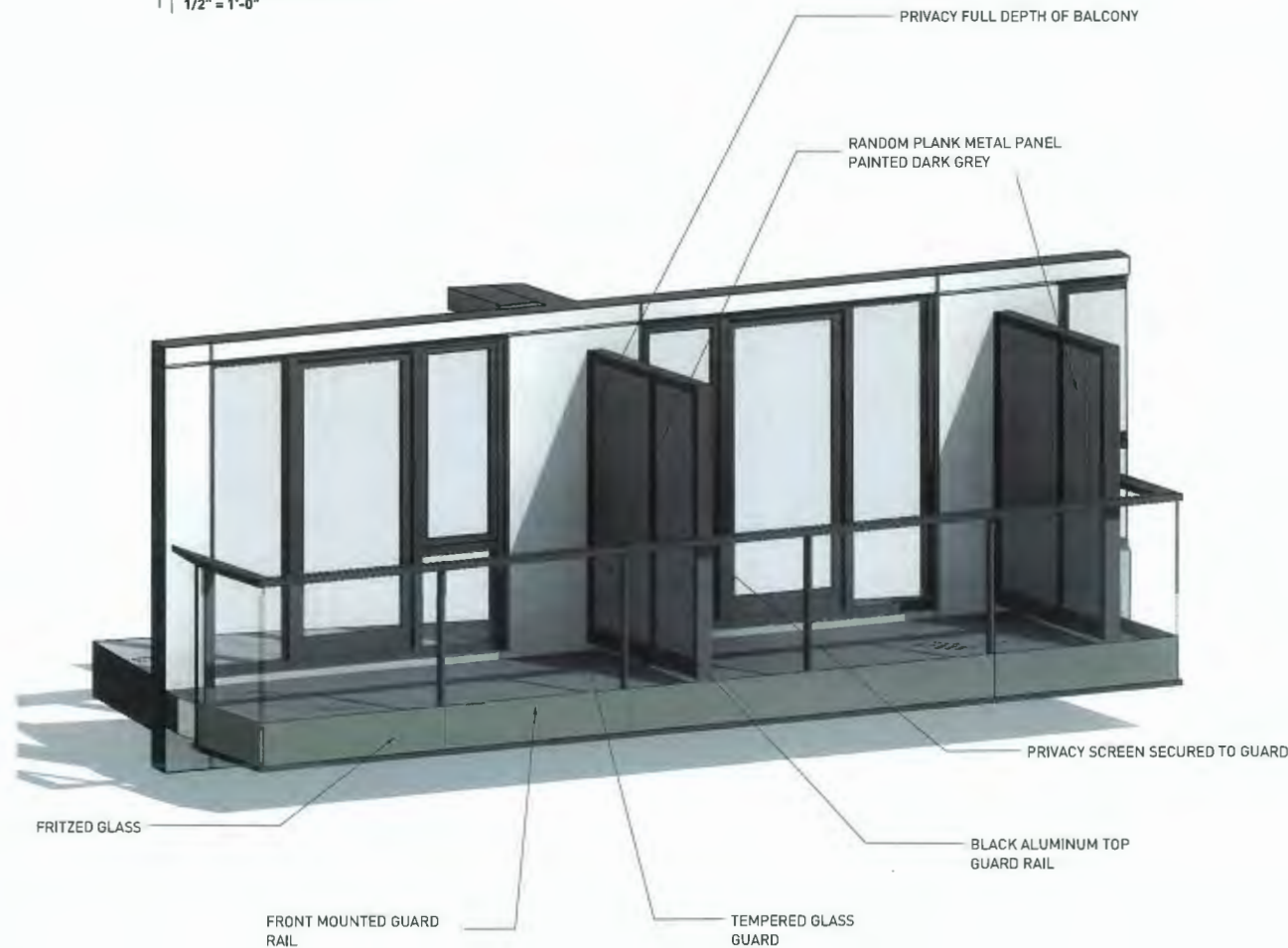
1 | 3D ISOMETRIC - ROOF FENCE II

2 | 3D ISOMETRIC - ROOF FENCE

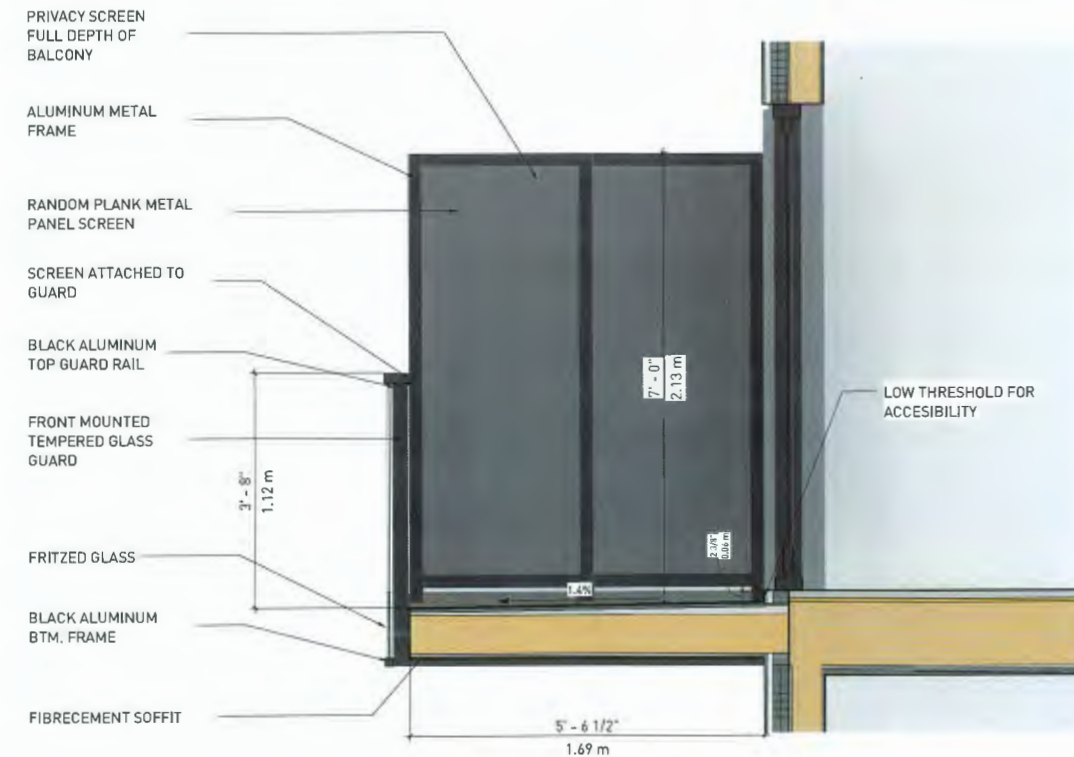
NOTES



1 FLOOR PLAN - BALCONY DETAIL  
1/2" = 1'-0"



2 3D ISOMETRIC - BALCONY



3 SECTION - BALCONY DETAIL  
3/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
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8880 COOK RD. &  
 8751 CITATION  
 DRIVE  
 RICHMOND, BC

BALCONY  
DETAILS

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 CHECKED BY Checker  
 SCALE As Indicated  
 JOB NUMBER 20039

A-8.03

NOTES

REVISIONS

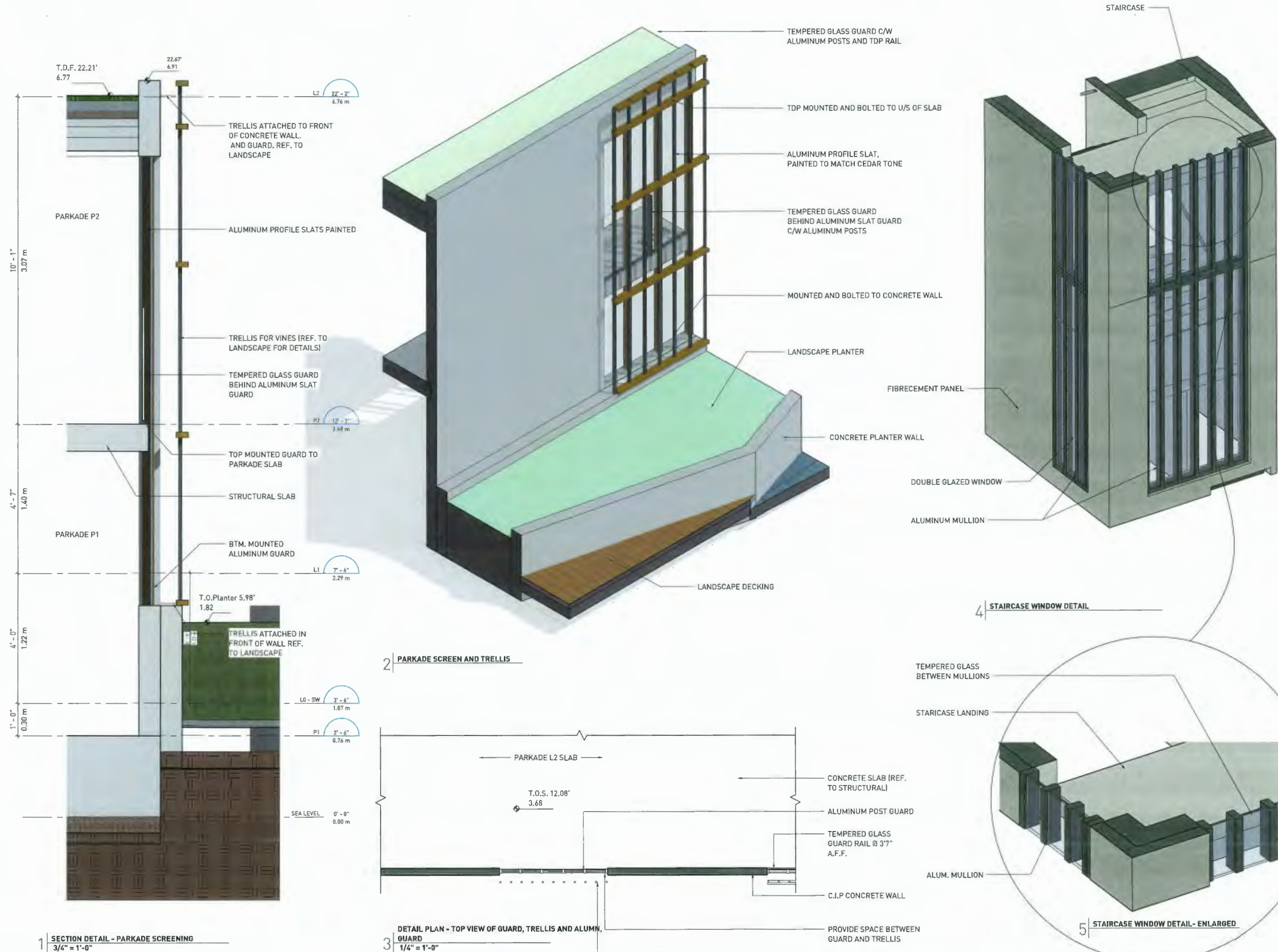
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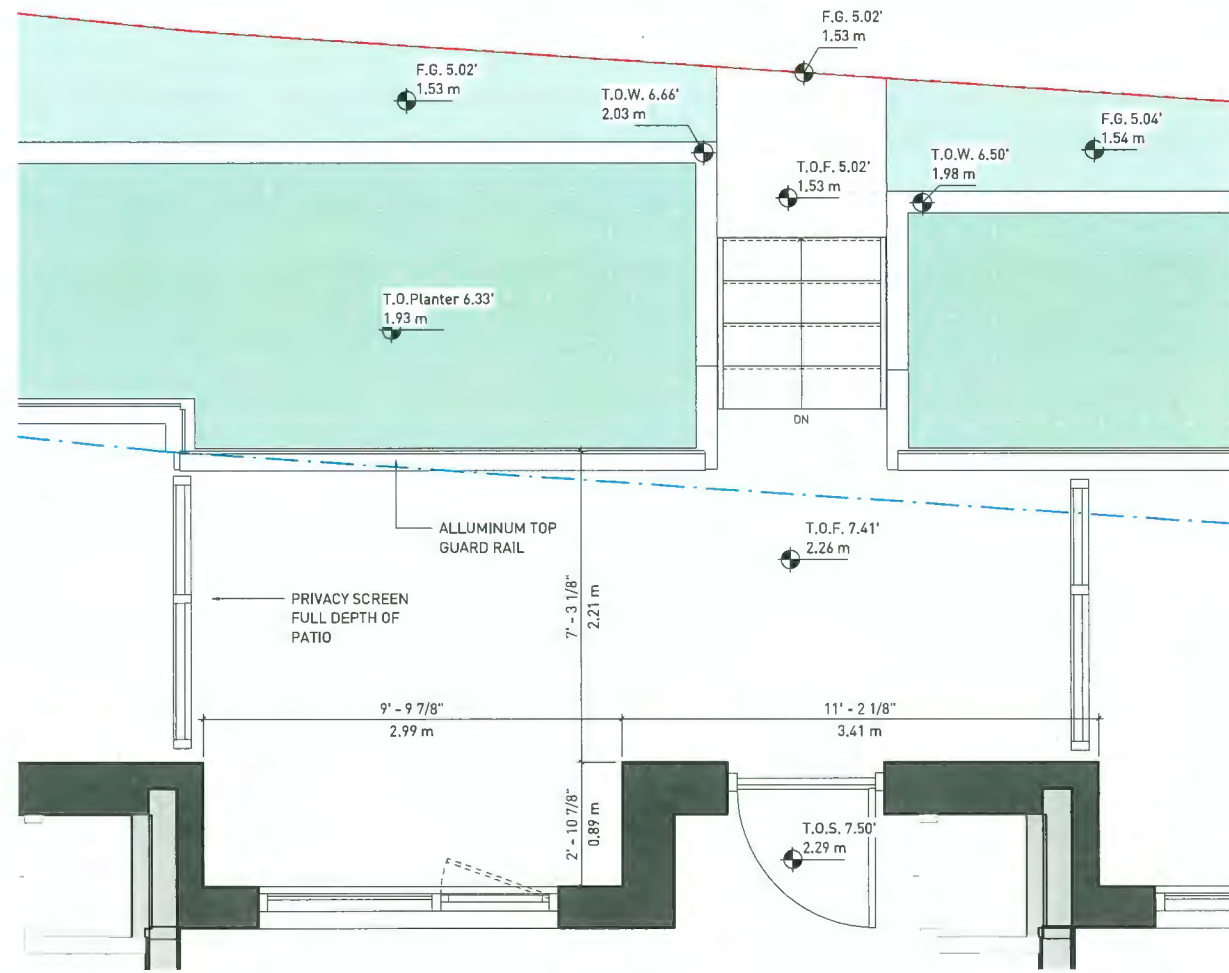
PARKADE AND  
 STAIR SCREEN

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JOB NUMBER	20039

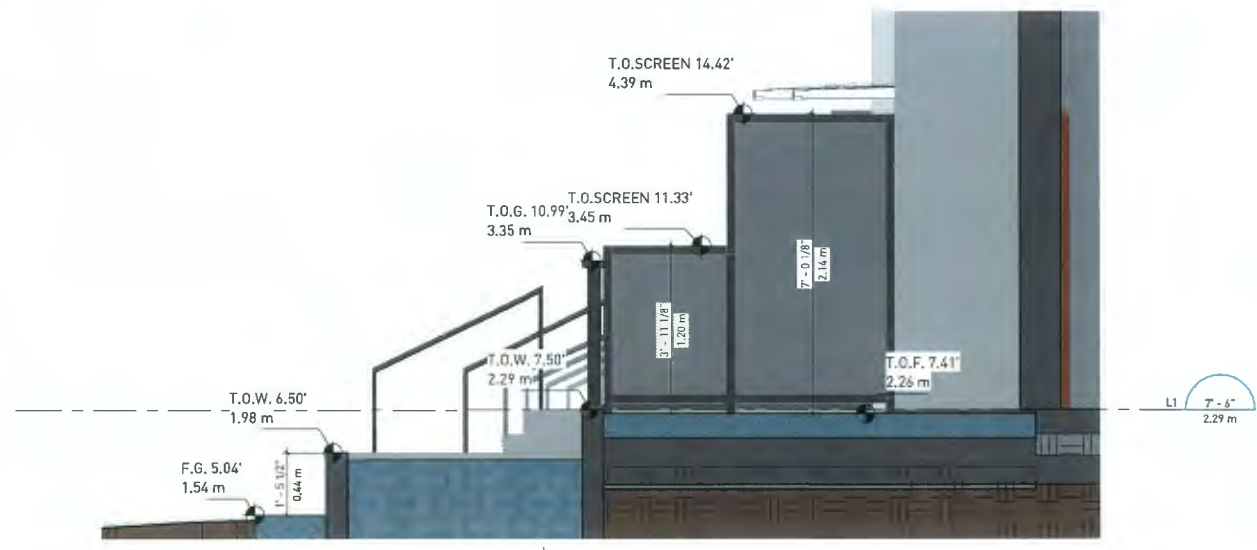
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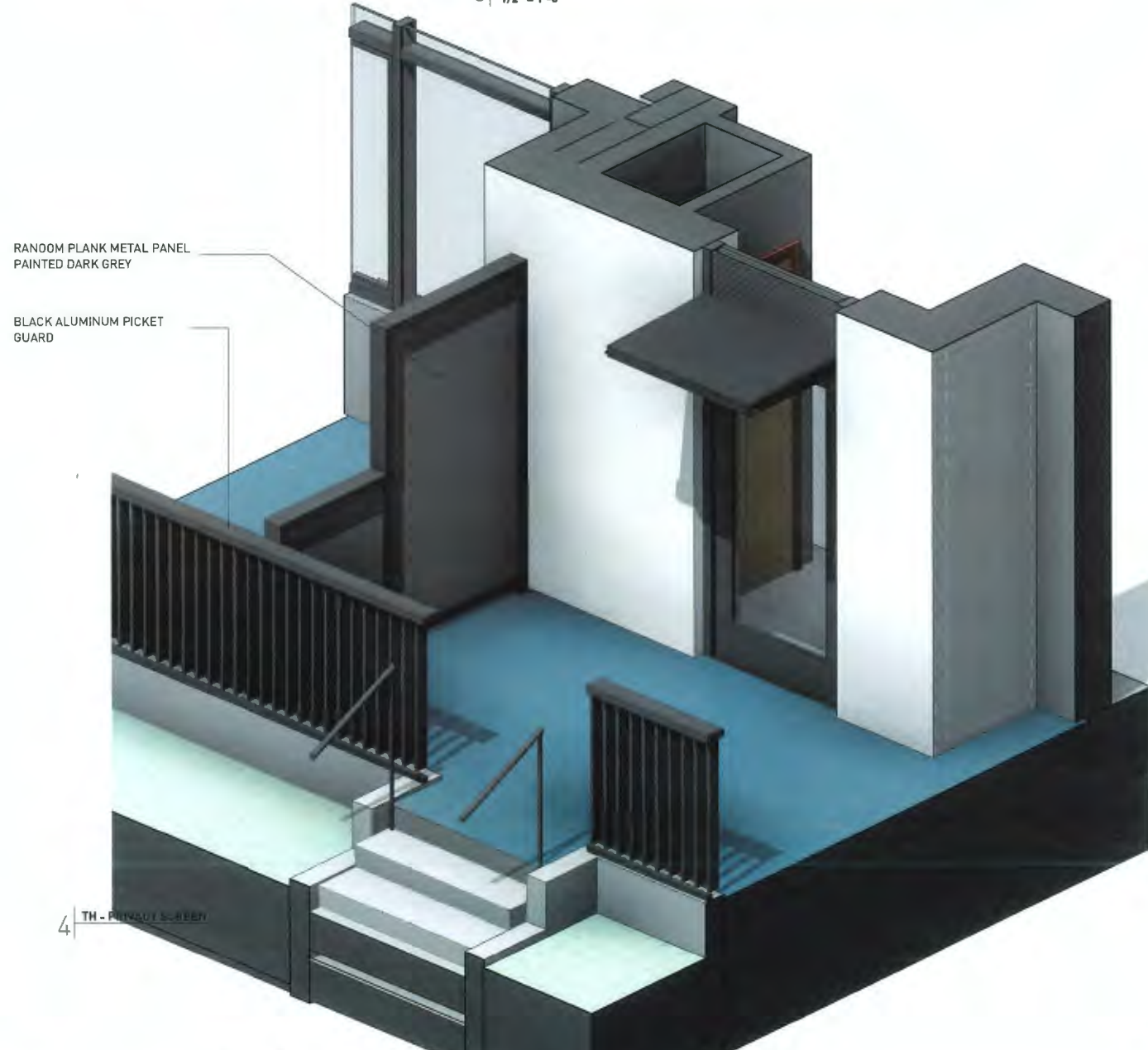
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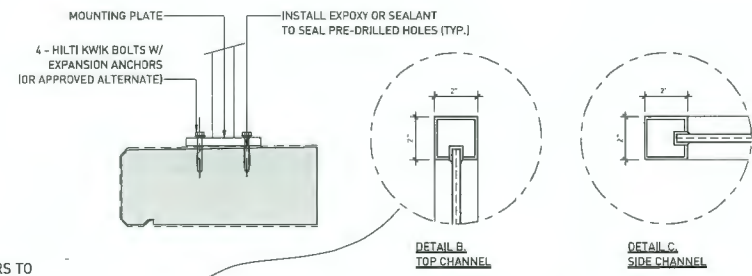
1 FLOOR PLAN - TH PRIVACY SCREEN



3 TH - PRIVACY SCREEN - SECTION  
1/2" = 1'-0"

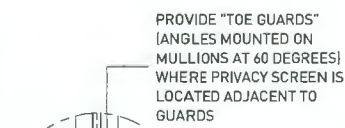


4 TH - PRIVACY SCREEN



**NOTE:**  
 ALUMINUM FRAMING MEMBERS TO BE COLOUR MATCHED TO WINDOW WALL FRAMING.  
 PRIVACY SCREEN METAL PANEL RANDOM PLANK.  
 (REFER TO MATERIAL TABS ON EXTERIOR ELEVATIONS FOR GUARDRAIL FRAMING MEMBER / GLAZING FINISH REQUIREMENTS)

**NOTE:**  
 METAL PANEL DIMENSIONS SHOWN ARE FOR DESIGN INTENT ONLY. SCREEN STRUCTURE TO BE DESIGNED AND SIGNED & SEALED BY AN ENGINEER REGISTERED WITHIN THE PROVINCE OF BRITISH COLUMBIA



DETAIL A  
BOTTOM CHANNEL  
SCALE 3/4" = 1'-0"

SECTION  
SCALE 3/4" = 1'-0"

ELEVATION  
SCALE 3/4" = 1'-0"

PAINTED ENGINEERED BASE PLATE MOUNTED ON CONCRETE SLAB.  
 PROVIDE CAULK SEALANT AT BOLT THREADS (TYP.)

REVISIONS

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7	FEB 15 2024	RE-ISSUED FOR DP

8880 COOK RD. &  
 8751 CITATION DRIVE  
 RICHMOND, BC

TH PRIVACY SCREEN DETAILS

DATE	2/14/2024 4:51:31 PM
DRAWN BY	Author
CHECKED BY	Checker
SCALE	As indicated
JOB NUMBER	20039

A-8.05





Observations and recommendations by Florian Fisch, ISA Certified Arborist PN-7921A.  
 Observations made February 06, 2019.  
 This drawing shall be read in conjunction with Existing Trees Report for this site by Durante Kreuk, dated January 15, 2024.

For Tree Inventory List and Notes refer to sheet T-02

7	JAN 17 - 2024	ISSUED FOR DP RESPONSE
6	NOV 13 - 2023	ISSUED FOR ADP
5	OCT 5 - 2023	ISSUED FOR DP RESPONSE
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR RETZONING
2	MAY 19 - 2022	RE-ISSUED FOR RETZONING
1	APR 9-21	ISSUED FOR RETZONING
no.	date:	item:

Revisions:

**dk** Durante Kreuk Ltd.  
 102 - 1637 West 5th Avenue  
 Vancouver BC V6J 1N5  
 T: 604 684 4611  
 F: 604 684 0577  
 www.dkl.bc.ca

Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: FF  
 Checked by: PK  
 Date: MAR 2020  
 Scale: 1:200  
 Drawing Title:

**EXISTING TREES MANAGEMENT PLAN**

Project No.: **19073**  
 Sheet No.:

T1.1

**Tree Protection Areas Trees #1852 and #1858**  
 - Demolition adjacent to the tree protection area shall be done from building side. No access into the tree protection area shall be granted for demolition purposes.  
 - Demolition of below grade structures and footings adjacent to the tree protection area shall be coordinated with and monitored by the consulting arborist.  
 - Any excavation within 1m of the Tree Protection Area shall be coordinated with and monitored by the consulting arborist.  
 - Any excavation within the tree protection area shall be coordinated with and monitored by the consulting arborist and shall be done by hand or with air-spade or hydro-vac.  
 - Any root pruning required shall be done by a certified arborist or qualified tree worker as directed by the consulting arborist to guidelines outlined in the arboricultural report.  
 - Temporary construction access within the Tree Protection Area may be granted for above grade work on the building and for landscape installation. Any access shall be coordinated with and approved by the consulting arborist.  
 - Any relocation of the Tree Protection Barrier shall be coordinated with and approved by the consulting arborist.  
 - Any landscape and civil works detaching within the Tree Protection Area shall be coordinated with and reviewed by and work coordinated and monitored by the Consulting Arborist.

**Tree Protection Area Trees #1867 through #1894**  
 - Any excavation within 1m of the Tree Protection Area shall be coordinated with and monitored by the consulting arborist.  
 - Any excavation within the tree protection area shall be coordinated with and monitored by the consulting arborist and shall be done by hand or with air-spade or hydro-vac.  
 - Any root pruning required shall be done by a certified arborist or qualified tree worker as directed by the consulting arborist to guidelines outlined in the arboricultural report.  
 - Temporary construction access within the Tree Protection Area may be granted for above grade work on the building and for landscape installation. Any access shall be coordinated with and approved by the consulting arborist.  
 - Any relocation of the Tree Protection Barrier shall be coordinated with and approved by the consulting arborist.  
 - Any landscape detaching within the Tree Protection Area shall be coordinated with and reviewed by and work coordinated and monitored by the Consulting Arborist.  
 - Supplemental watering will be required during dry months as outlined in the arboricultural report.

**Tree Protection Area Trees #1956 through #1969**  
 - Any excavation within 1m of the Tree Protection Area shall be coordinated with and monitored by the consulting arborist.  
 - Any excavation within the tree protection area shall be coordinated with and monitored by the consulting arborist and shall be done by hand or with air-spade or hydro-vac.  
 - Any root pruning required shall be done by a certified arborist or qualified tree worker as directed by the consulting arborist to guidelines outlined in the arboricultural report.  
 - Temporary construction access within the Tree Protection Area may be granted for above grade work on the building and for landscape installation. Any access shall be coordinated with and approved by the consulting arborist.  
 - Any relocation of the Tree Protection Barrier shall be coordinated with and approved by the consulting arborist.  
 - Minor crown reduction pruning for construction clearance may be required. Any pruning shall be done to ISA Industry standards as per on site directions by the consulting arborist.  
 - Any landscape and civil works detaching within the Tree Protection Area shall be coordinated with and reviewed by and work coordinated and monitored by the Consulting Arborist.

**DRAWING KEY**

- Extent of drip line of existing tree recommended for retention (location from survey by BCLS Land Surveyor)
- Extent of drip line of existing tree recommended for removal (location from survey by BCLS Land Surveyor)
- Dead Tree
- Existing site conditions per BCLS Site Survey
- Proposed site conditions per current approved site plan

**DP 23-014121**

**PLAN #40**

February 20, 2024

- Location of Tree Protection Barrier to enclose Tree Protection Area (Refer to Report and Details for additional information).
- Location of Tree Protection Barrier to enclose Tree Protection Area (Refer to Report and Details for additional information).

Installation of new curb and sidewalk shall be coordinated with and monitored by the consulting arborist.



**DRAWING LIST**

L-0.00	LANDSCAPE COVER SHEET
L-1.01	LANDSCAPE OVERALL SITEPLAN
L-1.02	LANDSCAPE PORCKT PARKS PLAN
L-1.03	NON POROUS AND LIVE PLANTING AREAS
L-1.1	MATERIALS & GRADING PLAN
L-1.2	MATERIALS & GRADING PLAN
L-1.3	MATERIALS & GRADING PLAN
L-1.4	MATERIALS & GRADING PLAN
L-1.5	MATERIALS & GRADING PLAN
L-1.6	LEVEL 3 AMENITY DECK
L-2.1	LIGHTING PLAN
L-2.2	LIGHTING PLAN
L-2.3	LIGHTING PLAN
L-2.4	LIGHTING PLAN
L-2.5	LIGHTING PLAN
L-3.1	IRRIGATION COORDINATION PLAN
L-3.2	IRRIGATION COORDINATION PLAN
L-3.3	IRRIGATION COORDINATION PLAN
L-3.4	IRRIGATION COORDINATION PLAN
L-3.5	IRRIGATION COORDINATION PLAN
L-4.1	PLANTING PLAN
L-4.2	PLANTING PLAN
L-4.3	PLANTING PLAN
L-4.4	PLANTING PLAN
L-4.5	PLANTING PLAN
L-4.6	SOIL VOLUME PLAN
L-5.1	LANDSCAPE SECTIONS
L-5.2	LANDSCAPE SECTIONS
L-5.3	LANDSCAPE SECTIONS
L-6.1	LANDSCAPE DETAILS
L-6.2	LANDSCAPE DETAILS
L-6.3	LANDSCAPE DETAILS
L-6.4	LANDSCAPE DETAILS
L-6.5	LANDSCAPE DETAILS
L-6.6	LANDSCAPE DETAILS
L-6.7	LANDSCAPE DETAILS
T1.1	EXISTING TREES MANAGEMENT PLAN
T1.2	EXISTING TREES INVENTORY

**MATERIALS KEY**

SURFACING		SITE FURNISHING	
	CIP CONCRETE PAVING (PEDESTRIAN ONLY) 300MM FINISHED PATHWAYS 100MM THICK, SAWCUT AS PER PLAN		METAL VISITOR BIKE PARKING Model: Bola Supplier: LandscapeForms Installation: Surface Mount
	CIP STAMPED CONCRETE PAVING COLOR: CHARCOAL PATTERN: RUNNING BOND		PRE-FABRICATED BENCH Model: Neoliviana - 118" backed w/ center arms Supplier: LandscapeForms Installation: Surface Mount
	CIP STAMPED CONCRETE PAVING (POCKET PARKS) THICKNESS: 100MM THICK, COLOR: NATURAL PATTERN: DIAGONAL BASKET WEAVE		CUSTOMIZED BENCH
	FEATURE CONCRETE PAVING HOLLAND PAVER SIZE: 4" X 8"; COLOUR: CHARCOAL GREY PATTERN: RUNNING BOND Locations: Building Entries and Exits		FEATURE BENCH Model: Air Collection Color: Five Different Colors 'ar Each Park, Mixed Colors for Central Lawn Area Supplier: LandscapeForms
	HYDRAPRESSED CONCRETE PAVERS SIZE: 24"x24" COLOUR: NATURAL GREY		CLIMBING NET Model: NRO813 Supplier: Kompan
	HYDRAPRESSED CONCRETE PAVERS SIZE: 24"x24" COLOUR: CHARCOAL GREY		SEA-SAW, 2 PEOPLE Model: NRO015 Supplier: Kompan
	COMPOSITE WOOD DECKING		SPRINGER - BEE Model: NRO118 Supplier: Kompan
	FIBAR PLAY SURFACING		SPRINGER - SNAIL Model: NRO115 Supplier: Kompan
	ARTIFICIAL TURF		PLAY HUT w/ SLIDE *KOMPAN PLAY HUT AND SLIDE
	GRAVEL/RIVER ROCK DRAINAGE STRIP		DECK SEATING
	SAND BASED SODDED LAWN		DRINKING FOUNTAIN - Pocket Park
	URBAN AGRICULTURE		
WALLS & FENCES & HARDSCAPE		GRADING	
	CIP CONCRETE RETAINING WALL	TW	TOP OF WALL
	CIP CONCRETE STAIRS	BW	BOTTOM OF WALL
	METAL GATE	+3.21	SPOT ELEVATION (METERS)
	METAL GUARDRAIL *VARYING HEIGHTS	FFE	FINISHED FLOOR ELEVATION
	PRIVACY FENCING *VARYING HEIGHTS		SLOPE DIRECTION
	METAL EDGER (RETAINING) *SHEET PANELS, 12" HT RETAINING		
	LANDSCAPE BOULDERS *SITE SALVAGED WHERE POSSIBLE		
LIGHTING		IRRIGATION & HOSE BIB	
	RECESSED STEP LIGHTING		IRRIGATION STUB-OUT (CONNECTION POINT) REFER TO MECHANICAL AND ELECTRICAL FOR FURTHER DETAIL
	LANDSCAPE BOLLARD LIGHTING		FROST FREE HOSE BIB REFER TO MECHANICAL AND ELECTRICAL FOR FURTHER DETAIL
	PEDESTRIAN SCALE POLE LIGHT		
	WALL SCONCE LIGHT		

**PLANT LIST**

TREES				
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENT
	25	Acer palmatum 'Blood Good'	Boodgood Japanese Maple	6cm cal., B&B
	18	Acer palmatum 'Sangu Kaku'	Coral Bark Japanese Maple	6cm cal., B&B
	28	Acer griseum	Paperbark Maple	6cm cal., B&B
	8	Acer rubrum 'Autumn Spire'	Autumn Spire Maple	8cm cal., B&B
	14	Cornus 'Eddies White Wonder'	White Wonder Flowering Dogwood	6cm cal., B&B
	3	Fraxinus oxycarpa 'Raywood'	Raywood Ash	8cm cal., B&B
	2	Parrotia persica 'Vanessa'	Persian Ironwood	6cm cal., B&B
	8	Picea amarika	Serbian Spruce	4m Ht., B&B
	9	Populus erecta	Columnar Swedish Aspen	8cm cal., B&B
	17	Prunus serotina 'Kwanzan'	Kwanzan Flowering Cherry	8cm cal., B&B
	3	Quercus robur 'Regal Prince'	Regal Prince English Oak	8cm cal., B&B
	34	Street Tree	Species TBD	7cm cal., Min. 1.8m Std., B&B
SHRUBS/FERNS				
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENT
AZ	110	Azalea 'Hino White'	Hino White Azalea	#2 pot, 18" o.c.
AZ	19	Azalea 'Hino Pink'	Hino Pink Azalea	#2 pot, 18" o.c.
Bx	14	Buxus m. Wintergem	Winter Gem Boxwood	#2 pot, 15" o.c.
C1	187	Choisya ternata	Mexican Mock Orange	#3 pot, 24" o.c.
CS	21	Cornus sericea 'Arctic Fire'	Arctic Fire Red-OSier Dogwood	#2 pot, 30" o.c.
De	69	Dryopteris erythrosora	Autumn Fern	#2 pot, 18" o.c.
G	107	Gaultheria Shallon	Salal	#2 pot, 15" o.c.
HS	12	Hydrangea serrata 'Blue Bird'	Blue Bird Hydrangea	#3 pot, 30" o.c.
LP	225	Lonicera pileata	Privet Honeysuckle	#2 pot, 18" o.c.
MA	12	Mahonia aquifolium	Oregon Grape Holly	#3 pot, 24" o.c.
MR	239	Mahonia repens	Creeping Oregon Grape Holly	#1 pot, 18" o.c.
Pm	214	Polystichum munitum	Sword Fern	#2 pot, 18" o.c.
R	47	Rhododendron 'Unique'	Unique Rhododendron	#3 pot, 24" o.c.
Rh	108	Rhododendron 'PJM'	PJM Rhododendron	#3 pot, 24" o.c.
R1	84	Rhododendron 'Anna Krushke'	Anna Krushke Rhododendron	#3 pot, 24" o.c.
Sh	81	Sarcococca nockeriana 'Humilis'	Dwarf Sweet Box	#2 pot, 18" o.c.
SR	87	Sarcococca nuscifolia	Sweet Box	#3 pot, 30" o.c.
Vd	175	Viburnum davidii	David's Viburnum	#2 pot, 24" o.c.
PERENNIALS/GRASSES/CLIMBERS				
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENT
co	288	Carex oshimensis 'Evergold'	Evergold Japanese Sedge	#1 pot, 12" o.c.
ca	66	Clematis armandii	Evergreen Clematis	#2 pot, 18" o.c., min 3 trailers
c	488	Coloneaster dammeri	Bearberry Coloneaster	#1 pot, 15" o.c.
e	149	Erica carnea 'December Red'	Winter Heath	#1 pot, 12" o.c.
f	60	Festuca glauca 'Elijah Blue'	Blue Fescue	#1 pot, 12" o.c.
H	8	Hemerocallis Stella D'oro	Stella D'oro Daylily	#1 pot, 15" o.c.
ha	173	Heuchera 'Amber Waves'	Amber Waves Coral Bells	#1 pot, 12" o.c.
hg	180	Heuchera 'Green Spruce'	Green Spruce Coral Bells	#1 pot, 12" o.c.
hl	260	Heuchera 'Lime Richy'	Lime Coral Bells	#1 pot, 12" o.c.
hp	32	Heuchera 'Shanghai Purple'	Purple Coral Bells	#1 pot, 12" o.c.
la	182	Lavandula angustifolia 'Hidcole Blue'	Hidcole Blue Lavender	#1 pot, 14" o.c.
li	609	Liriope muscari 'Big Blue'	Lily Turf	#1 pot, 12" o.c.
L	153	Lithodora diffusa 'Grace Ward'	Grace Ward Lithodora	#1 pot, 14" o.c.
Ms	46	Miscanthus sinensis 'Maleportus'	Maiden Grass	#2 pot, 18" o.c.
o	384	Ophiopogon japonicus 'Nana'	Dwarf Mondo Grass	9cm pot, 12" o.c.
o	61	Parthenocissus quinquefolia	Virginia Creeper	#2 pot, 18" o.c., min 3 trailers
pt	289	Pachysandra terminalis	Pachysandra	9cm pot, 12" o.c.
P	88	Phlox subulata 'Scarlet Flame'	Scarlet Flame Creeping Phlox	#1 pot, 14" o.c.
r	14	Rudbeckia fulgida 'Goldsturm'	Black-eyed Susan	#2 pot, 15" o.c.
st	50	Stipa tenuissima	Mexican Feather Grass	#1 pot, 12" o.c.

**LANDSCAPE NOTES**

- All work shall meet or exceed the requirements as outlined in the current Edition of the Canadian Landscape Standard.
- Plant sizes and related container classes are specified according to the Canadian Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the BCNTA (ANSI) Standard.
- All trees to be staked in accordance with BCNTA Standards.
- ALL STREET TREES Install 8' x 24" Deep Root Barrier centred on each tree between tree pit and sidewalk (ON BOTH SIDES: CURB AND SIDEWALK).
- For all existing on site services and survey symbols refer to survey drawings.
- All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good conditions.
- All Patios shall be equipped with hose bibs.
- All irrigation valve boxes equipped with quick-couplers.
- Coniferous replacement trees shall be 4m height and deciduous replacement trees shall be 8cm caliper per City of Richmond.

no.	date:	item:
7	Feb 19 - 2024	ISSUED FOR DP RESPONSE
5	Oct 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING



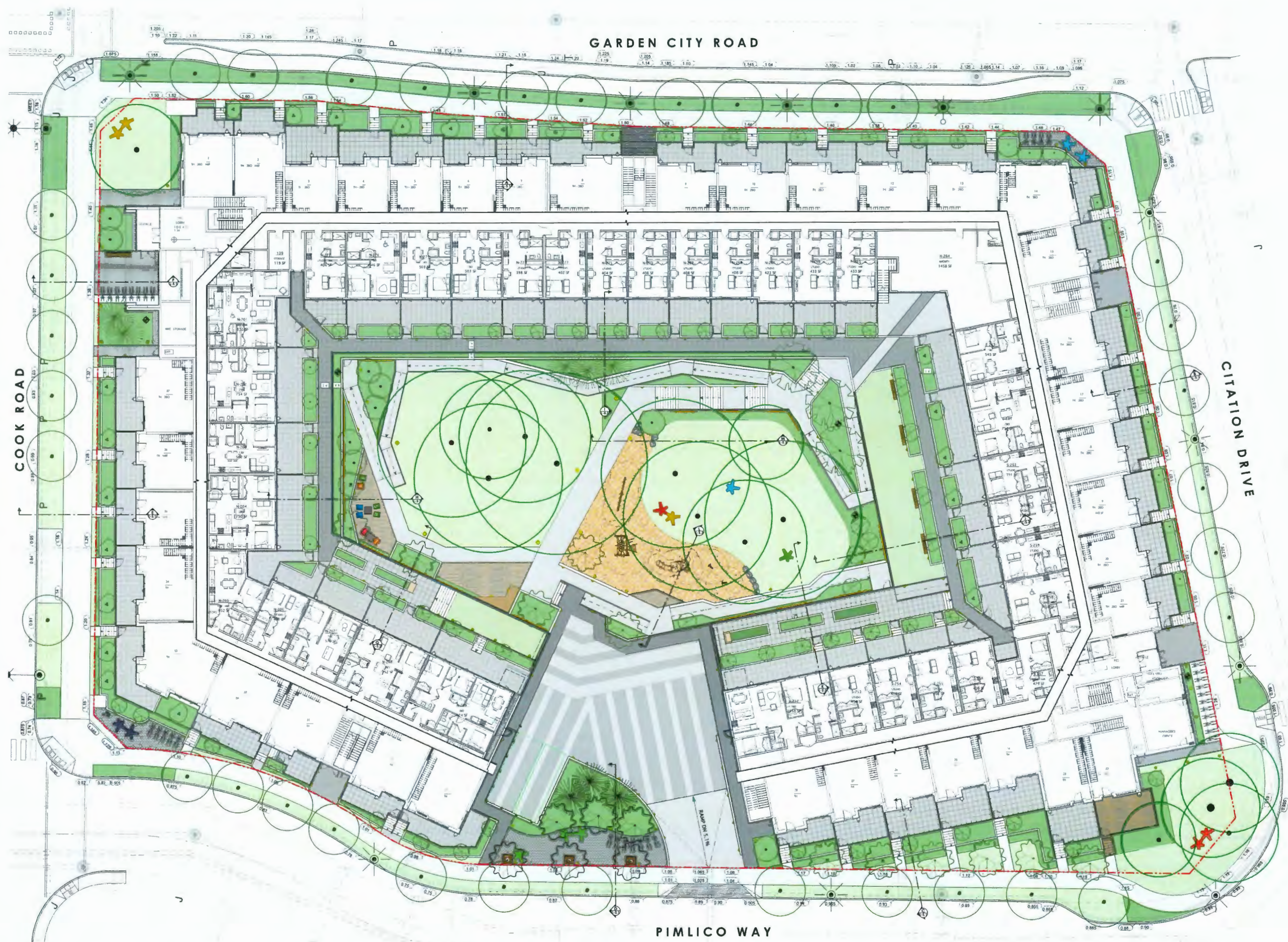
Project: **COOK ROAD**  
RICHMOND, BC

Drawn by: AG  
Checked by: PK  
Date: MAR 2020  
Scale: NTS  
Drawing Title:

**LANDSCAPE COVER SHEET**

Project No.: **19073**  
Sheet No.:

L-0.00



7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
6	NOV 13 - 2023	RE-ISSUED FOR ADP
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	item:

Revisions:

**dk** Durante Kreuk Ltd.  
 102 - 1837 West 5th Avenue  
 Vancouver BC V6J 1N5  
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 f: 604 684 0577  
 www.dkl.bc.ca

Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: PK  
 Date: MAR 2020  
 Scale: 1:200

Drawing Title:  
**LANDSCAPE**  
**OVERALL SITEPLAN**

Project No.:  
**19073**  
 Sheet No.:

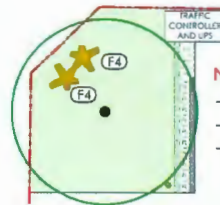
L-1.01

**DP 23-014121**

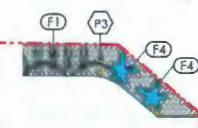
**PLAN #43**

**February 20, 2024**

GARDEN CITY ROAD



**NE Pocket Park - 103 Sq m**  
 - Existing Trees and Lawn to be Retained  
 - 2 Benches (colour: yellow)  
 - Irrigation to be provided and connected from the site



**SE Pocket Park - 20 Sq m**  
 - 4 Bike racks (8 bike parking)  
 - 2 Benches (colour: blue)  
 - Feature Paving

MATERIALS KEY		
	<b>CIP STAMPED CONCRETE PAVING</b> Thickness: 100mm Colour: natural Pattern: diagonal basket weave	
	<b>Existing Lawn.</b> Details and Specifications Per City of Richmond Supplementary Specifications and Detail Drawings.	

FURNISHING KEY		
	<b>Metal Bike Rack</b> Qty: 16 Bike Racks = 32 Bike Parking Model: Bold Bike Racks Supplier: LandscapeForms Installation:	
	<b>Feature Bench</b> Qty: 11 Model: Air Collection Color: Five Different Colours for each Park Supplier: LandscapeForms	
	<b>Drinking Fountain</b> Qty: 1	

LIGHTING KEY		
	<b>Bollard Light</b> Qty: 7	

**GENERAL NOTES:**

- Provide 1000mm deep continuous trench of growing medium for boulevards and median trees, where no utility conflicts exist - while:
  - maintaining 300mm separation from back of curbs & front of sidewalks (i.e. curb & sidewalk granular base material extent); and
  - not encroaching into curb & sidewalk granular base suitable subgrade supporting material (i.e. 1:1v slope from toe of granular base material extent).
- Consultant must field review all construction. Contractor to supply notice of construction to Consultant, a minimum of 72 hours prior to construction.
- Prior to issuance of the certificate of completion, the owner's engineer shall submit a certificate of inspection for the works in a form and content acceptable to the City and prepared and sealed by the owner's engineer certifying to the City that the works have been constructed and completed in accordance with the approved plans and specifications.
- Contractor to supply complete as-constructed survey information to Consultant, upon substantial completion of construction.

POCKET PARK PLANTING LIST:				
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE/COMMENT
<b>TREES</b>				
	3	Picea omorika	Serbian Spruce	4m Ht., B&B
	6	Prunus serotina 'Kwanzan'	Kwanzan Flowering Cherry	8cm cal., B&B
<b>SHRUBS, PERENIALS, GRASSES</b>				
ec	31	Erica carnea 'December Red'	December Red Winter Heath	#2 pot, 18" o.c.
G	92	Gaultheria shallon	Salal	#2 pot, 15" o.c.
Hs	3	Hydrangea serata 'Blue Bird'	Blue Bird Hydrangea	#3 pot, 30" o.c.
I	84	Liriope muscari 'Big Blue'	Lily Turf	#2 pot, 12" o.c.
Mr	63	Mahonia repens	Creeping Oregon Grape Holly	#2 pot, 18" o.c.
PL	10	Prunus lauroceras 'Otto Lyuken'	Laurel Hedge	#3 pot, 30" o.c.
Vd	69	Viburnum davidii	David's Viburnum	#2 pot, #24" o.c.

NEW P.L.

no.	date	item
7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
6	NOV 13 - 2023	RE-ISSUED FOR ADP
5	OCT 3 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING

Revisions:

**dk** Duranle Kreuk Ltd.  
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 F: 604 684 0577  
 www.dk.bc.ca

Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: PK  
 Date: MAR 2020  
 Scale: 1:200  
 Drawing Title:

**LANDSCAPE  
 POCKET PARKS PLAN**

Project No.:  
**19073**  
 Sheet No.:

L-1.02

COOK ROAD

CITATION DRIVE

PIMLICO WAY

**DP 23-014121**

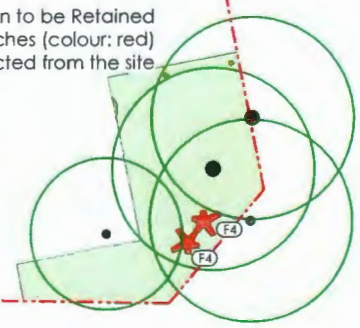
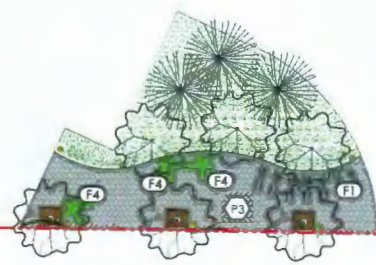
**PLAN #44**

**February 20, 2024**

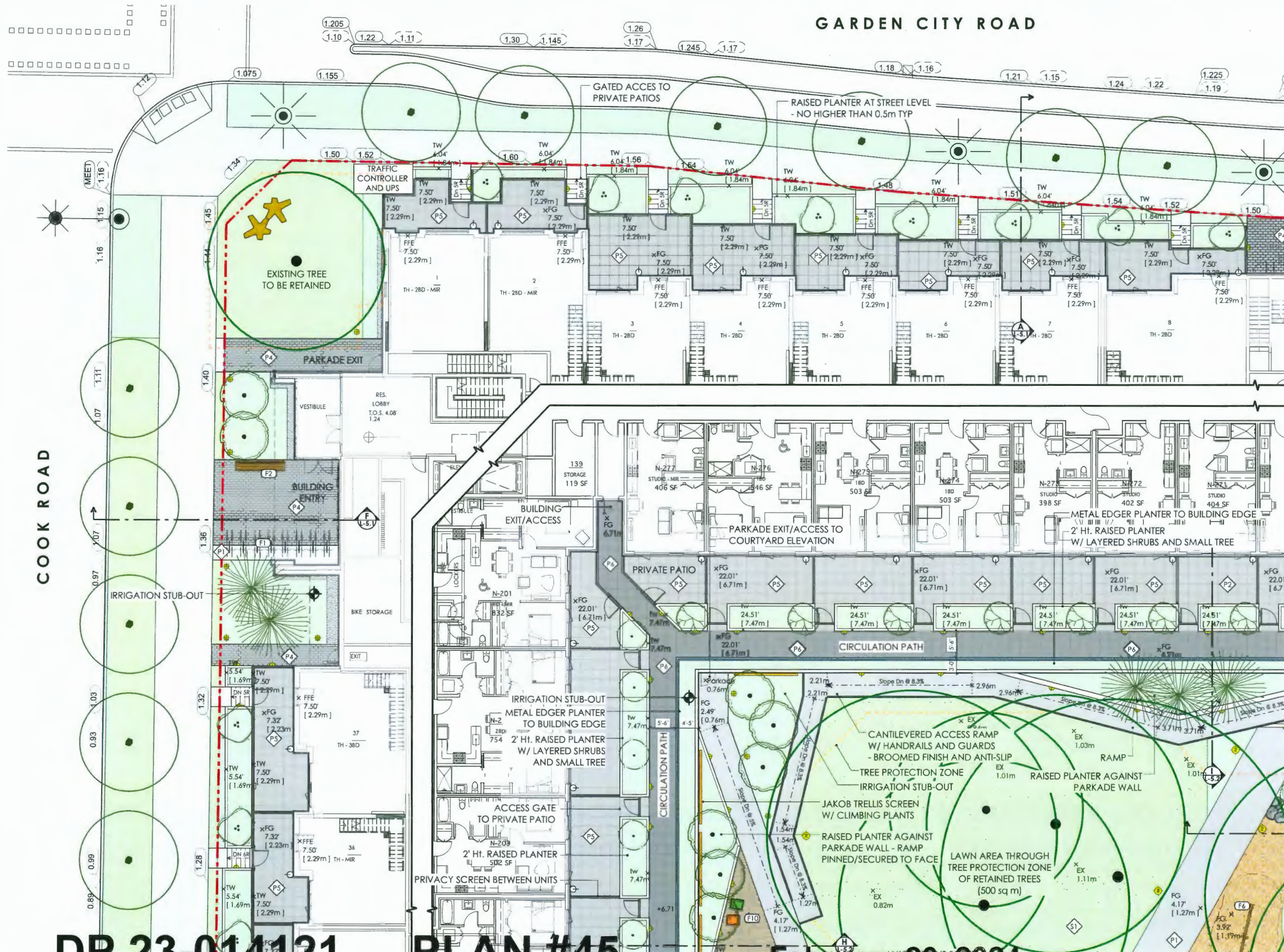
**NW Pocket Park - 30.5 Sq m**  
 - 5 Bike racks (10 bike parking)  
 - 2 Benches (colour: blue)  
 - 1 Drinking fountain  
 - Feature Paving

**SW Pocket Park - 111.6 Sq m**  
 - Existing Trees and Lawn to be Retained  
 - 2 Benches (colour: red)  
 - Irrigation to be provided and connected from the site

**Central Pocket Park - 170 Sq m**  
 - 7 Bike racks (14 bike parking)  
 - 3 Bench (colour: green)  
 - Feature Paving  
 - Mixed Coniferous Trees and Deciduous Trees  
 - Native Plants  
 - Irrigation to be provided and connected from the site



# GARDEN CITY ROAD



no.	date	item
7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR RETZONING
2	MAY 19 - 2022	RE-ISSUED FOR RETZONING
1	APR 9-21	ISSUED FOR RETZONING



Project:  
**COOK ROAD**  
RICHMOND, BC

Drawn by: AG  
Checked by: SV  
Date: MAR 2020  
Scale: 1:100  
Drawing Title:

## MATERIALS & GRADING PLAN

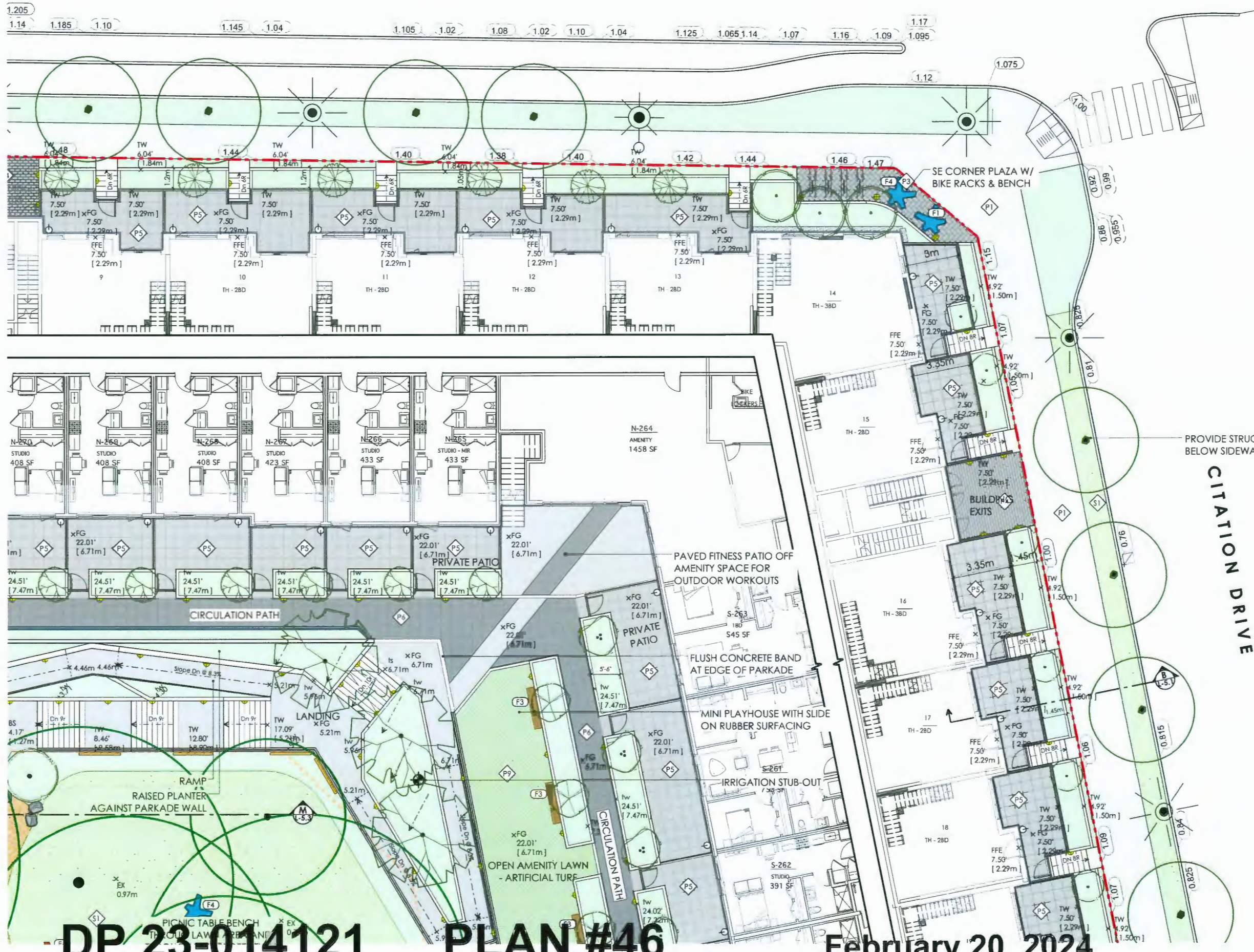
Project No.:  
**19073**  
Sheet No.:  
**L-1.1**

# DP 23-014121

# PLAN #45

# February 20, 2024

GARDEN CITY ROAD



7	Feb 19 - 2024	ISSUED FOR DP RESPONSE
-		
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	item:



Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100

Drawing Title:  
**MATERIALS & GRADING PLAN**

Project No.:  
**19073**  
 Sheet No.:

**L-1.2**

**DP 23-014121**

**PLAN #46**

**February 20, 2024**



no.	date	item
7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING



Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100  
 Drawing Title:

**MATERIALS & GRADING PLAN**

Project No.:  
**19073**  
 Sheet No.:  
**L-13**

**DP 23-014121**

**PLAN #47**

**February 20, 2024**





7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	item:

Revisions:

**dk** Durante Kreuk Ltd.  
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 f: 604 684 0577  
 www.dkl.bc.ca

Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100  
 Drawing Title:

**MATERIALS & GRADING PLAN**

Project No.:  
**19073**  
 Sheet No.:

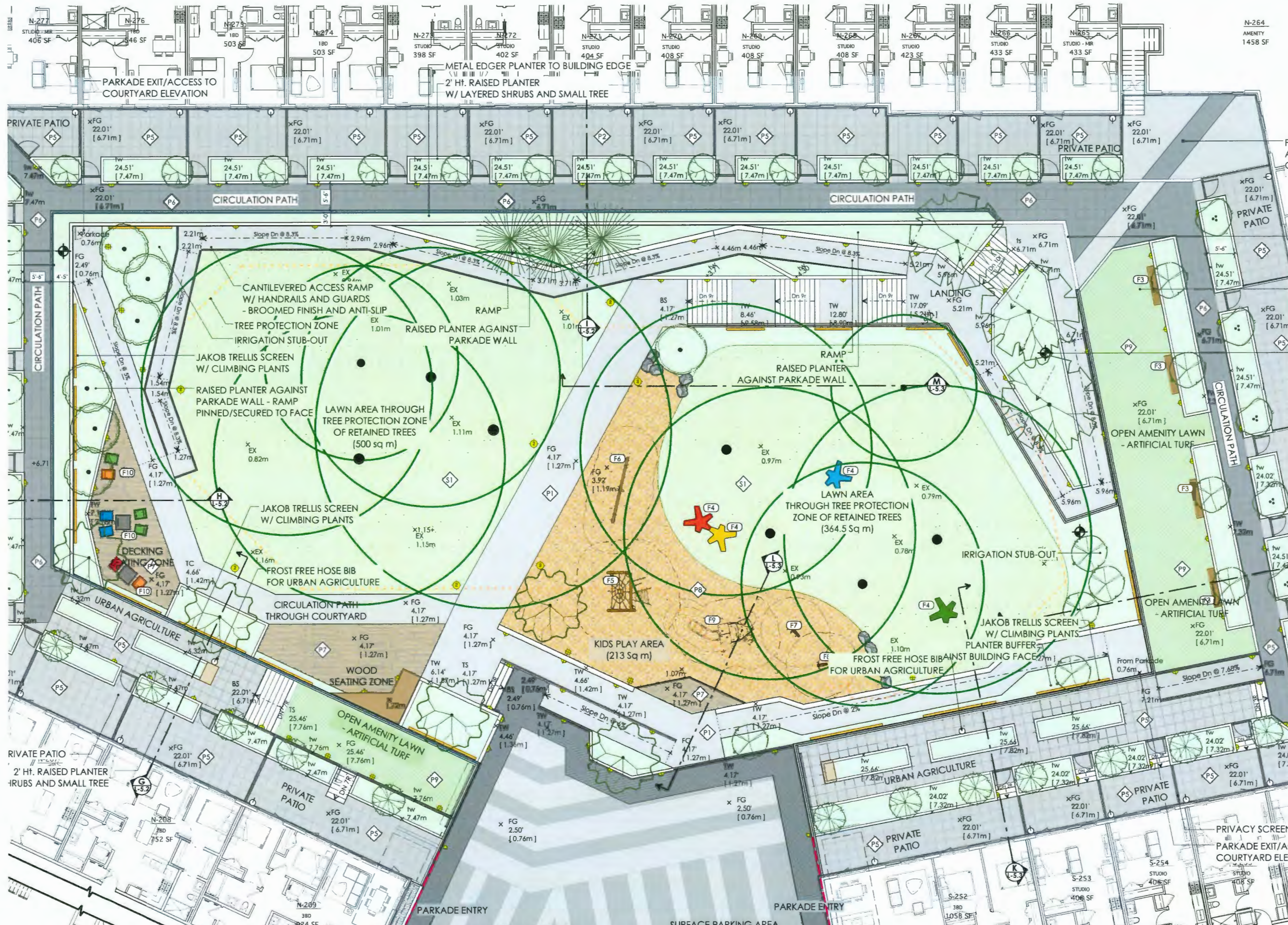
**DP 23-014121**

**PLAN #48**

**PIMLICO WAY**  
**February 20, 2024**

RAISED WOOD DECKING WITH POINT FOOTINGS TO SIT ABOVE AND LIMIT IMPACT ON RETAINED TREES

L-1.4



no.	date	item
7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING



Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100

Drawing Title:  
**MATERIALS & GRADING & LIGHTING PLAN**

Project No.:  
**19073**

Sheet No.:

**L-1.5**

**DP 23-014121**

**PLAN #49**

**February 20, 2024**



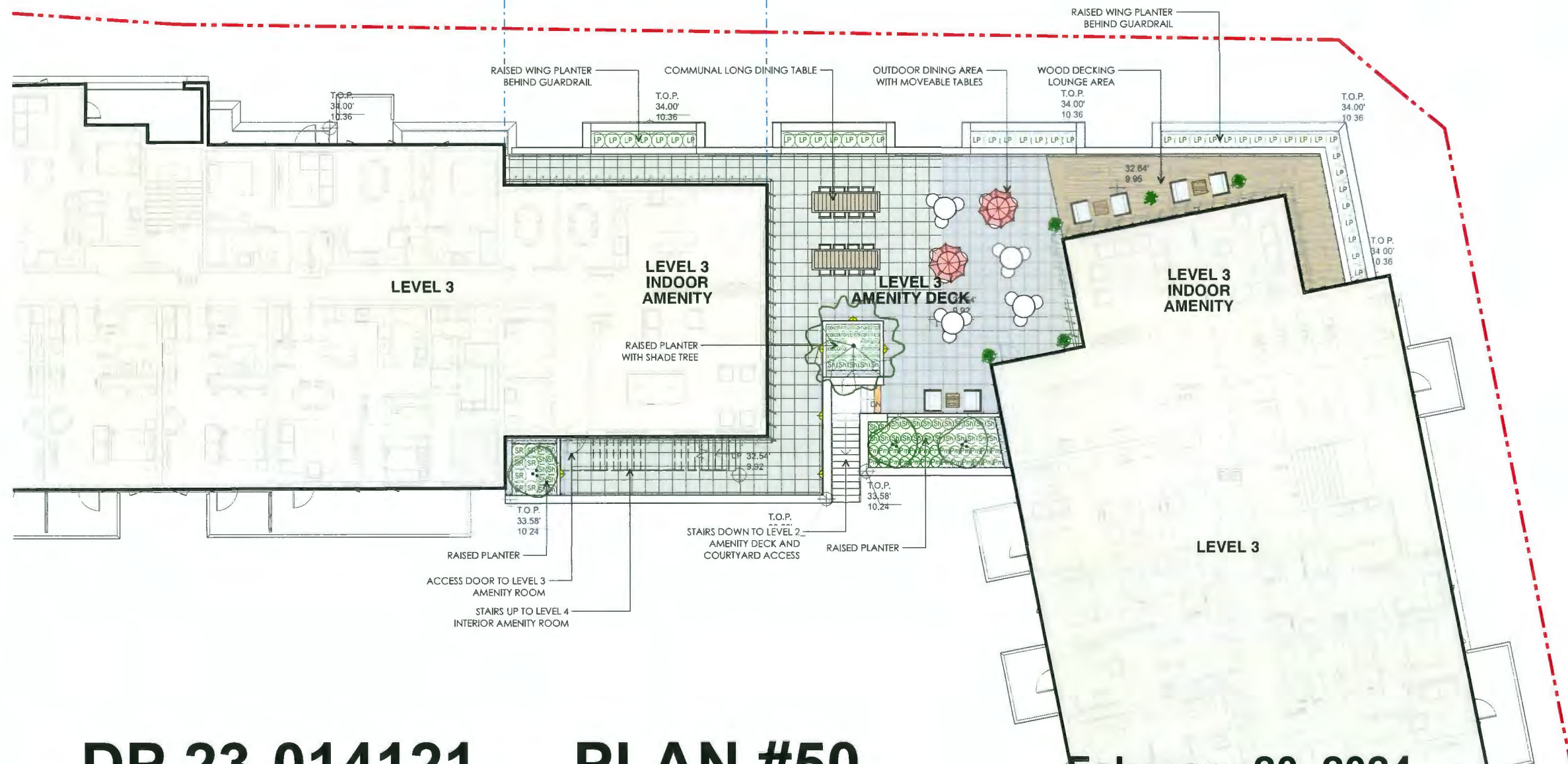
DECORATIVE ROOF BALLAST  
ON LEVEL 6 ROOF



7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
-		
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	item:

Revisions:

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 Vancouver BC V6J 1N5  
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 f: 604 684 0577  
 www.dkl.bc.ca



Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: PK  
 Date: AUG 2023  
 Scale: 1:100

Drawing Title:  
**LANDSCAPE -  
 LEVEL 3 AMENITY DECK**

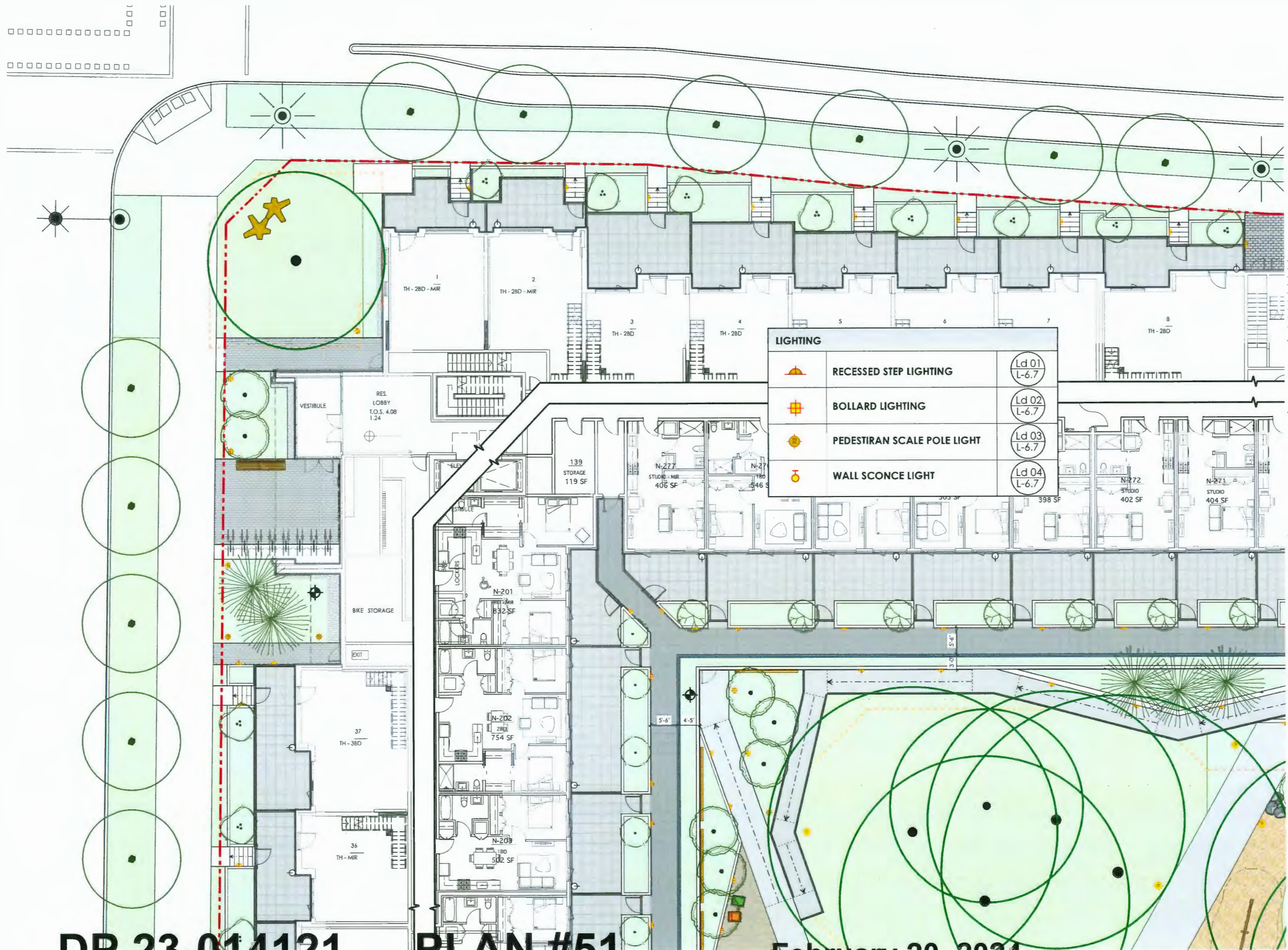
Project No.:  
**19073**  
 Sheet No.:

L-1.6

**DP 23-014121**

**PLAN #50**

**February 20, 2024**



7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	item:

Revisions:



Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100  
 Drawing Title:

**LIGHTING PLAN**

Project No.:  
**19073**  
 Sheet No.:  
**L-2.1**

**DP 23-014121**

**PLAN #51**

**February 20, 2024**



7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
-		
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	item:
Revisions:		

**dk** Duranle Kreuk Ltd.  
 102 - 1637 West 5th Avenue  
 Vancouver BC V6J 1N5  
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 f: 604 684 0577  
 www.dk.bc.ca

Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100  
 Drawing Title:

**LIGHTING PLAN**

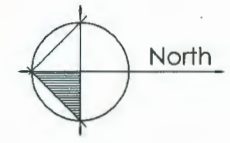
Project No.:  
**19073**  
 Sheet No.:

**L-2.2**

**DP 23-014121**

**PLAN #52**

**February 20, 2024**



7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	Item:

Revisions:

**dk** Durante Kreuk Ltd.  
 102 - 1637 West 5th Avenue  
 Vancouver BC V6J 1N5  
 t: 604 684 4811  
 f: 604 684 0577  
 www.dkl.bc.ca

Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100  
 Drawing Title:  
**LIGHTING PLAN**

Project No.:  
**19073**  
 Sheet No.:

L-2.3

**DP 23-014121**

**PLAN #53**

**February 20, 2024**



7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	item:

Revisions:

**dk** Duranle Kreuk Ltd.  
 102 - 1637 West 5th Avenue  
 Vancouver BC V6J 1N5  
 t: 604 684 4811  
 f: 604 684 0577  
 www.dkl.bc.ca

Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100

Drawing Title:  
**LIGHTING PLAN**

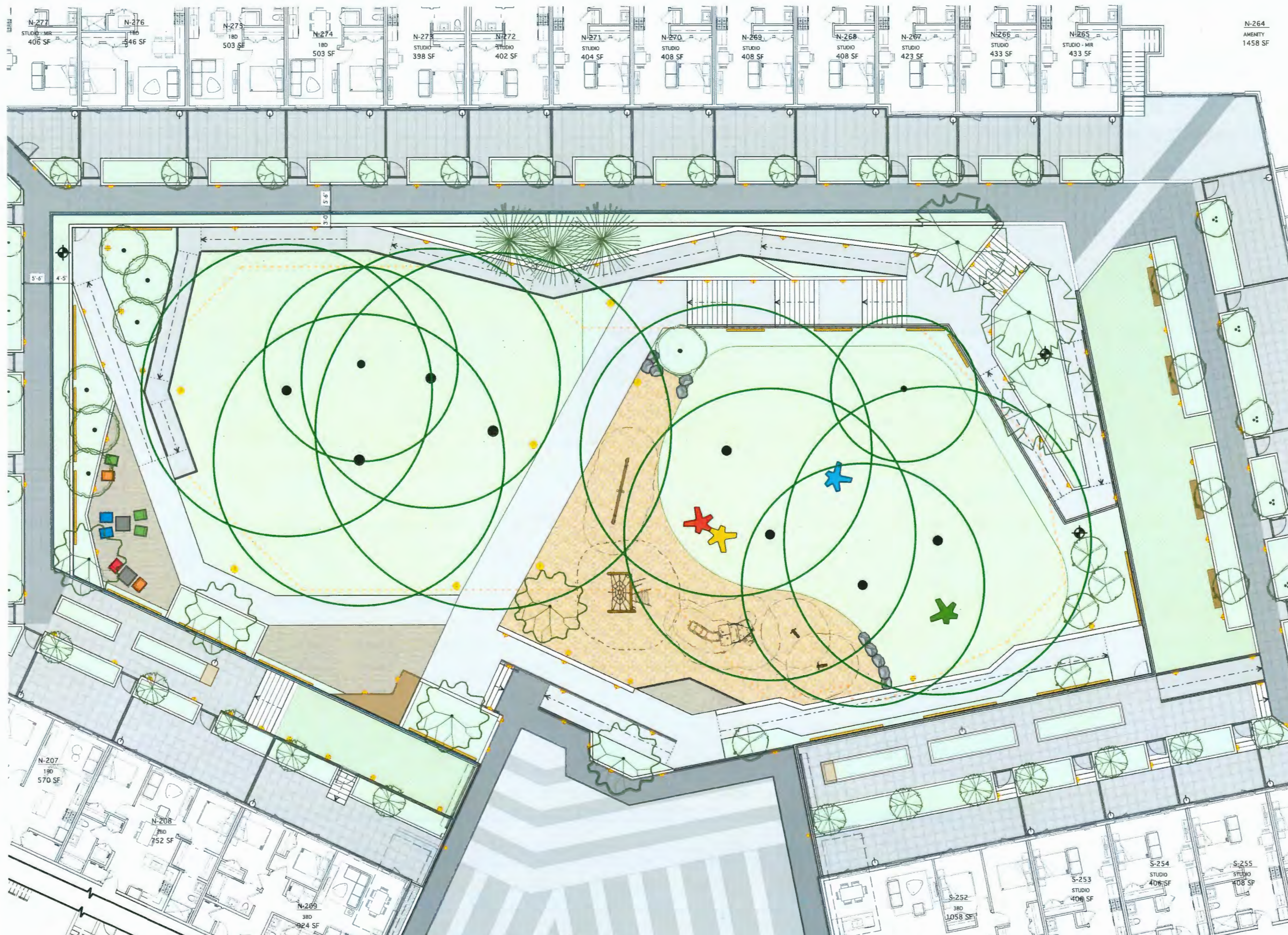
Project No.:  
**19073**  
 Sheet No.:

**L-2.4**

**DP 23-014121**

**PLAN #54**

**February 20, 2024**



no.	date	item
7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING

Revisions:

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 102 - 1637 West 5th Avenue  
 Vancouver BC V6J 1N5  
 T: 604 684 4611  
 F: 604 684 0577  
 www.dkf.bc.ca

Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100

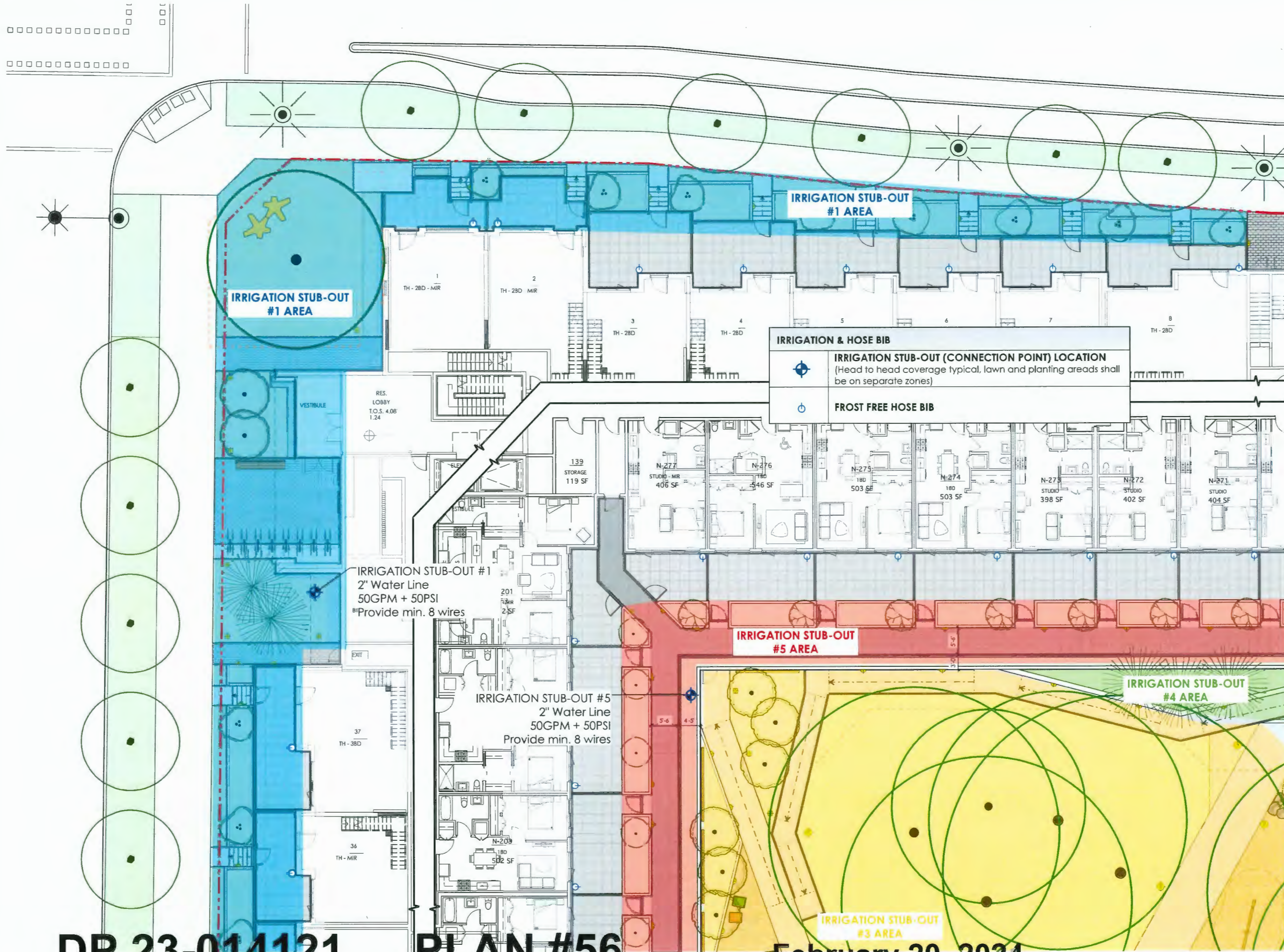
Drawing Title:  
**LIGHTING PLAN**

Project No.:  
**19073**  
 Sheet No.:  
**L-2.5**

**DP 23-014121 PLAN #55**

**February 20, 2024**





7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
-		
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	Item:

Revisions:

**dk** Durante Kreuk Ltd.  
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 Vancouver BC V6J 1N5  
 t: 604 684 4811  
 f: 604 684 0577  
 www.dk.bc.ca

Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100  
 Drawing Title:

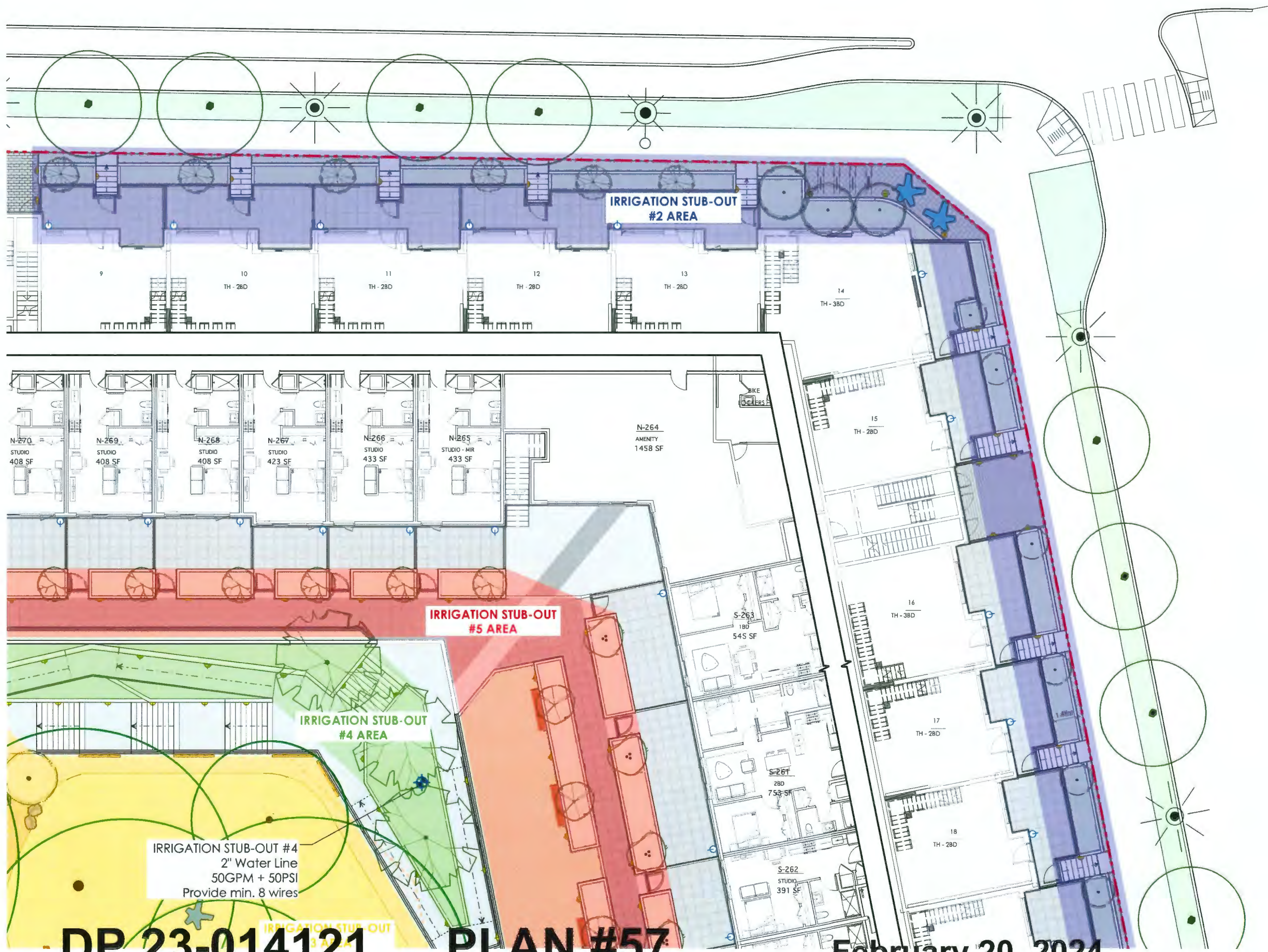
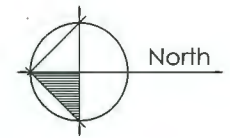
**IRRIGATION COORDINATION PLAN**

Project No.: **19073**  
 Sheet No.:  
**L-3.1**

**DP 23-014121**

**PLAN #56**

**February 20, 2024**



**IRRIGATION STUB-OUT #2 AREA**

**IRRIGATION STUB-OUT #5 AREA**

**IRRIGATION STUB-OUT #4 AREA**

IRRIGATION STUB-OUT #4  
2" Water Line  
50GPM + 50PSI  
Provide min. 8 wires

no.	date:	item:
7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
-		
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING

Revisions:

**dk** Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4811  
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Project:  
**COOK ROAD**  
RICHMOND, BC

Drawn by: AG  
Checked by: SV  
Date: MAR 2020  
Scale: 1:100  
Drawing Title:

**IRRIGATION COORDINATION PLAN**

Project No.:  
**19073**  
Sheet No.:

L-3.2

**DP 23-014121**

**PLAN #57**

**February 20, 2024**



7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
6		
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	item:

Revisions:

**dk** Duranle Kreuk Ltd.  
 102 - 1637 West 5th Avenue  
 Vancouver BC V6J 1N5  
 t: 604 684 4611  
 f: 604 684 0577  
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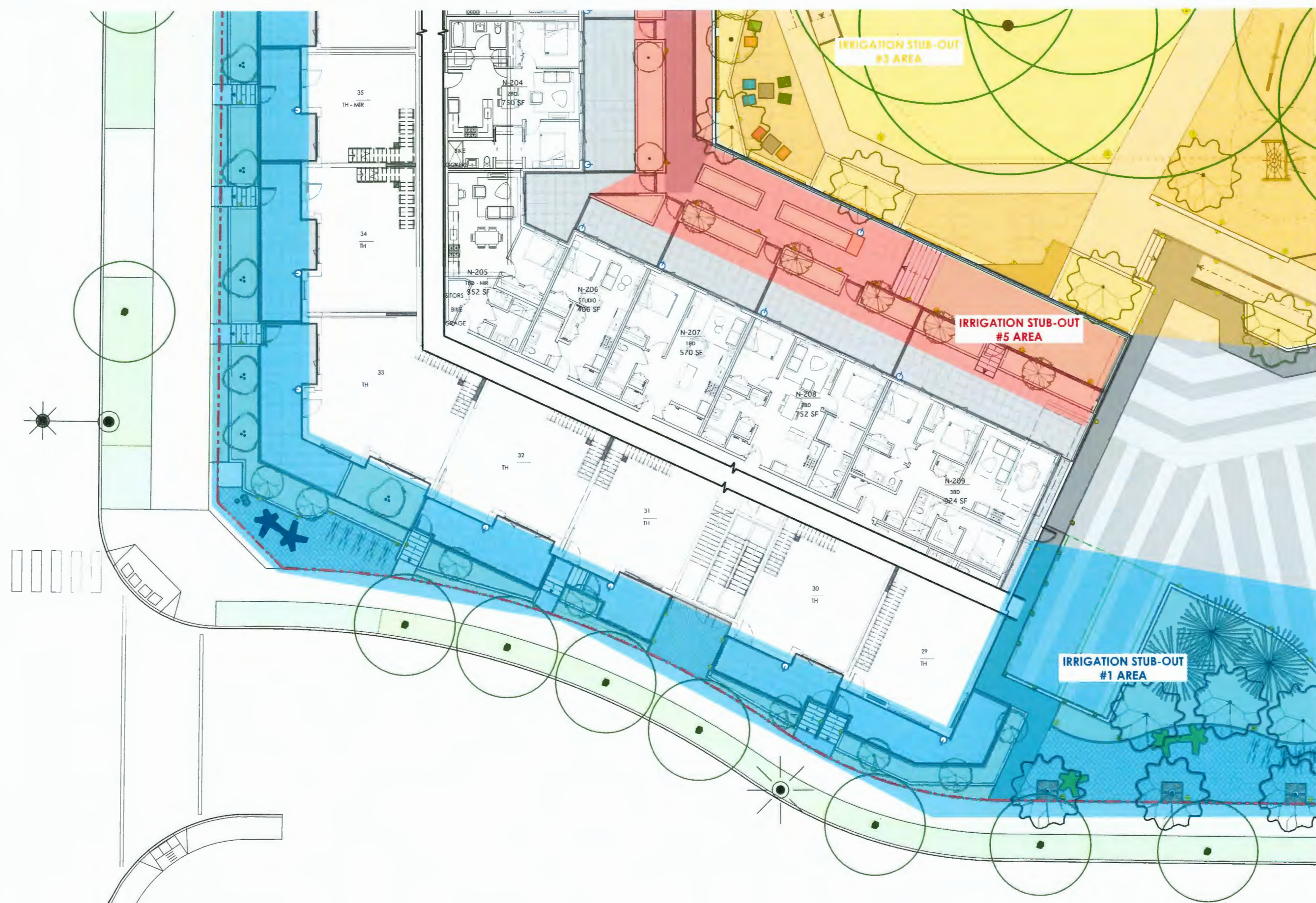
Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100  
 Drawing Title:

**IRRIGATION  
 COORDINATION  
 PLAN**

Project No.:  
**19073**  
 Sheet No.:

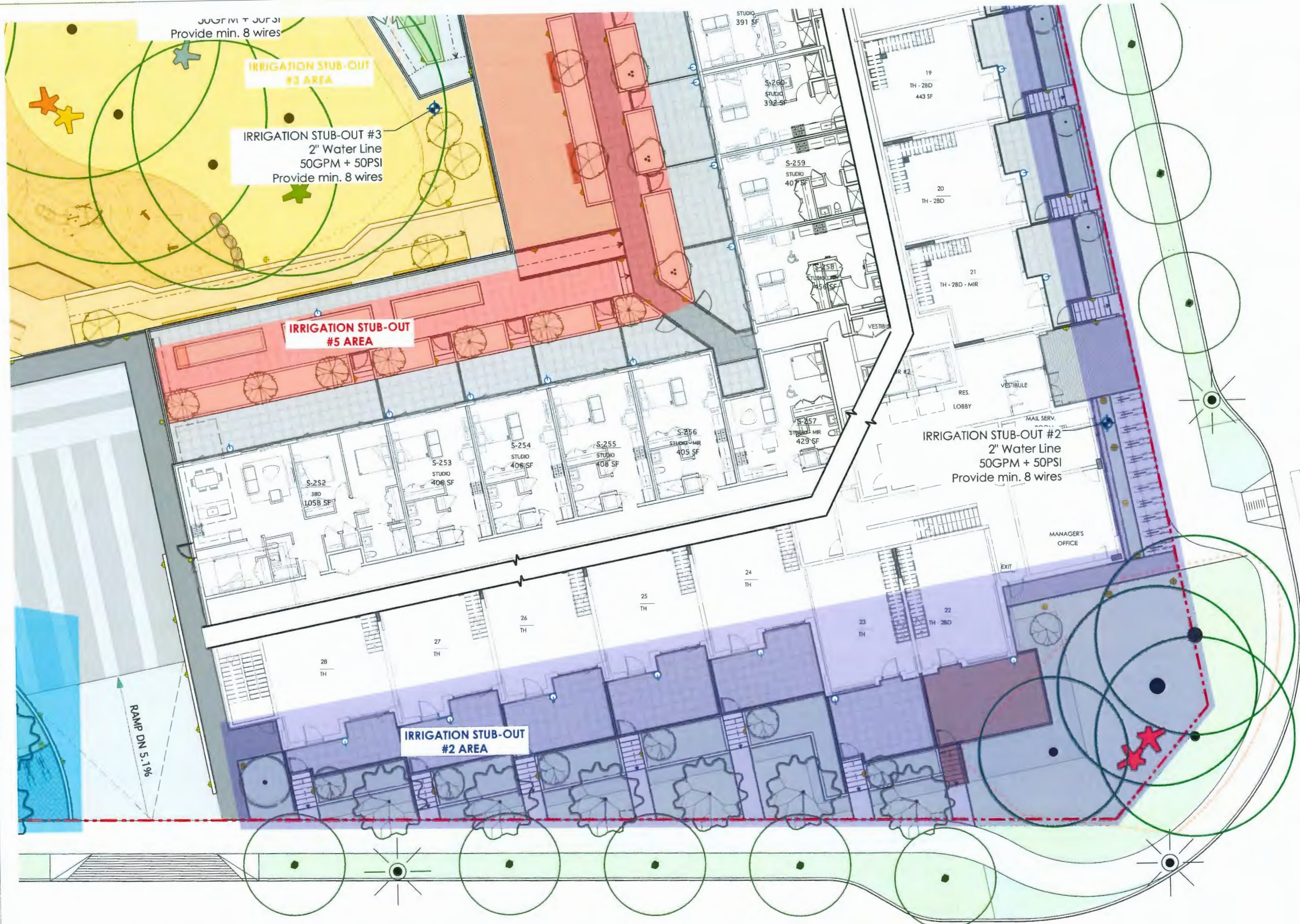
L-3.3



**DP 23-014121**

**PLAN #58**

**February 20, 2024**



7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
-	-	-
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	item:

Revisions:

**dk** Durante Kreuk Ltd.  
 102 - 1837 West 5th Avenue  
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 t: 604 684 4811  
 f: 604 684 0577  
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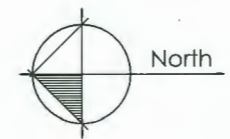
Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100

Drawing Title:  
**IRRIGATION  
 COORDINATION  
 PLAN**

Project No.:  
**19073**  
 Sheet No.:

L-3.4



no.	date	item
7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:		date:
Revisions:		Item:

**dk** Durante Krauk Ltd.  
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 t: 604 684 4811  
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Project:  
**COOK ROAD**  
 RICHMOND, BC

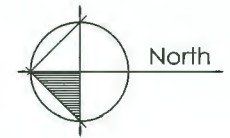
Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100

Drawing Title:  
**IRRIGATION COORDINATION PLAN**

Project No.: **19073**  
 Sheet No.:

L-3.5

100  
100



7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
6		
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	item:

Revisions:

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Vancouver BC V6J 1N5  
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f: 604 684 0577  
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Project:  
**COOK ROAD**  
RICHMOND, BC

Drawn by: AG  
Checked by: SV  
Date: MAR 2020  
Scale: 1:100  
Drawing Title:

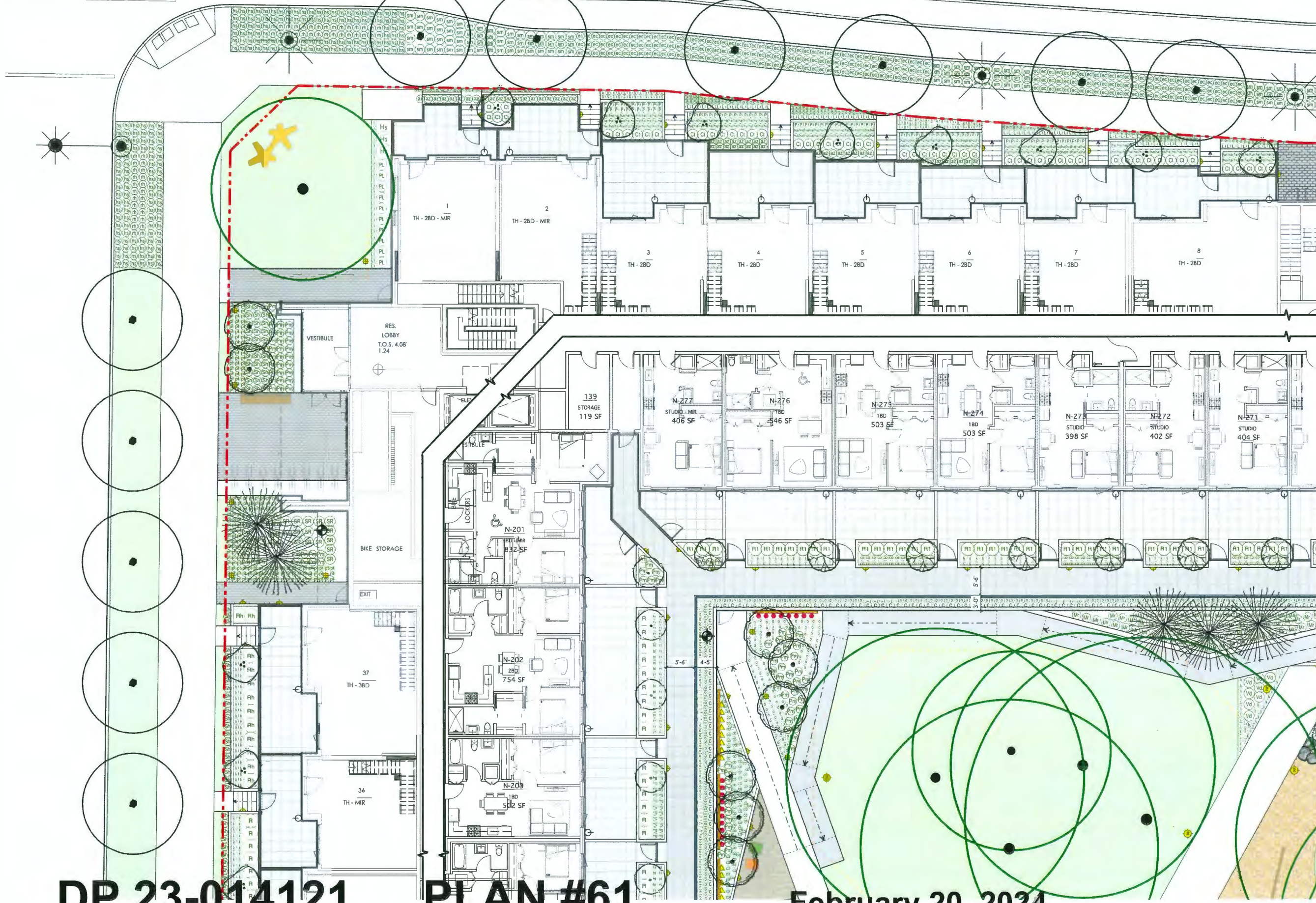
**PLANTING PLAN**

Project No.:  
**19073**  
Sheet No.:  
**L-4.1**

**DP 23-014121**

**PLAN #61**

**February 20, 2024**





no.:	date:	item:
7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
-		
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING

Revisions:



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f: 604 684 0577  
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Project:

**COOK ROAD**  
RICHMOND, BC

Drawn by: AG

Checked by: SV

Date: MAR 2020

Scale: 1:100

Drawing Title:

**PLANTING PLAN**

Project No.:

**19073**

Sheet No.:

**L-4.2**

**DP 23-014121**

**PLAN #62**

**February 20, 2024**



7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
-		
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	item:

Revisions:

Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100

Drawing Title:  
**PLANTING PLAN**

Project No.:  
**19073**  
 Sheet No.:

**L-4.3**



**DP 23-014121**

**PLAN #63**

**February 20, 2024**





7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
-		
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	item:

Revisions:


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 f: 604 684 0577  
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Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
 Checked by: SV  
 Date: MAR 2020  
 Scale: 1:100

Drawing Title:  
**PLANTING PLAN**

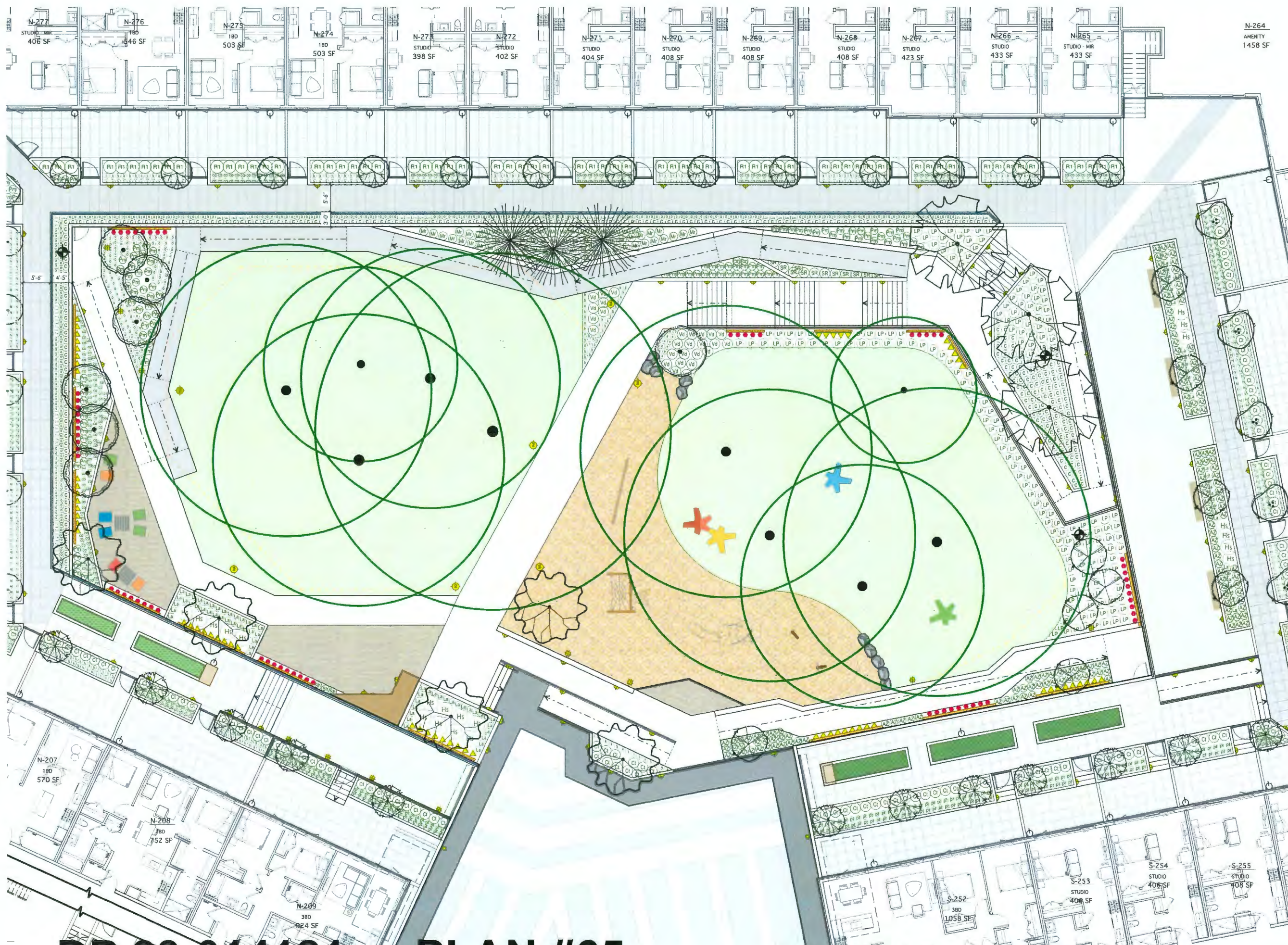
Project No.:  
**19073**  
 Sheet No.:

L-4.4

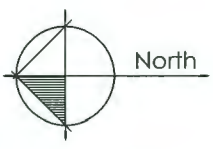
**DP 23-014121**

**PLAN #64**

**February 20, 2024**



N-264  
AMENITY  
1458 SF



no.	date	item
7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING

Revisions:

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Vancouver BC V6J 1N5  
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Project:  
**COOK ROAD**  
RICHMOND, BC

Drawn by: AG  
Checked by: SV  
Date: MAR 2020  
Scale: 1:100

Drawing Title:  
**PLANTING PLAN**

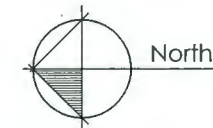
Project No.:  
**19073**  
Sheet No.:  
**L-4.5**

**DP 23-014121**

**PLAN #65**

**February 20, 2024**

GARDEN CITY ROAD



COOK ROAD

CITATION DRIVE

PIMLICO WAY

7	FEB 19 - 2024	ISSUED FOR DP RESPONSE
6	NOV 13 - 2023	RE-ISSUED FOR ADP
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR RETONING
2	MAY 19 - 2022	RE-ISSUED FOR RETONING
1	APR 9-21	ISSUED FOR RETONING
no.:	date:	Item:
Revisions:		

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 www.dkl.bc.ca

Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG

Checked by: SV

Date: MAR 2020

Scale: 1:200

Drawing Title:

**LANDSCAPE  
SOIL VOLUME PLAN**

Project No.:

**19073**

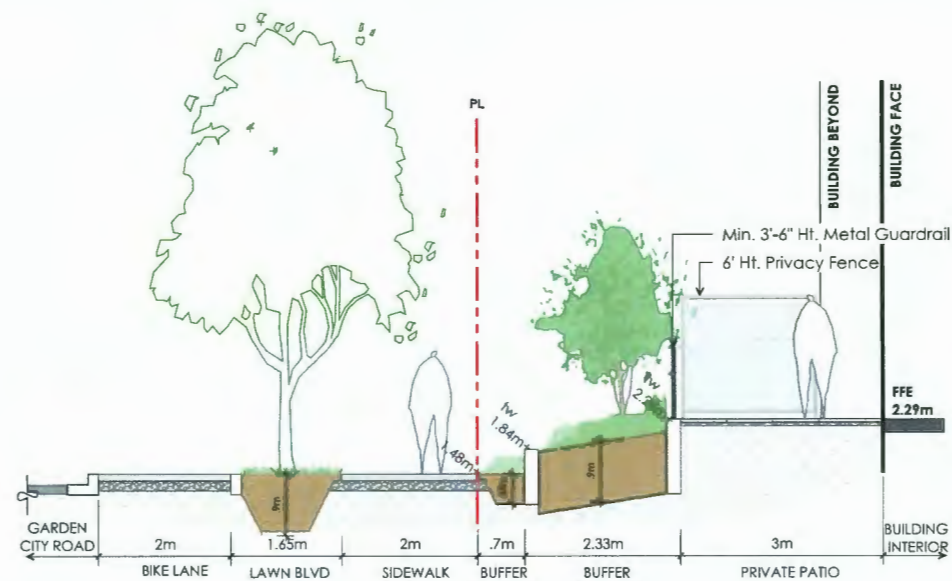
Sheet No.:

L-4.6

**DP 23-014121**

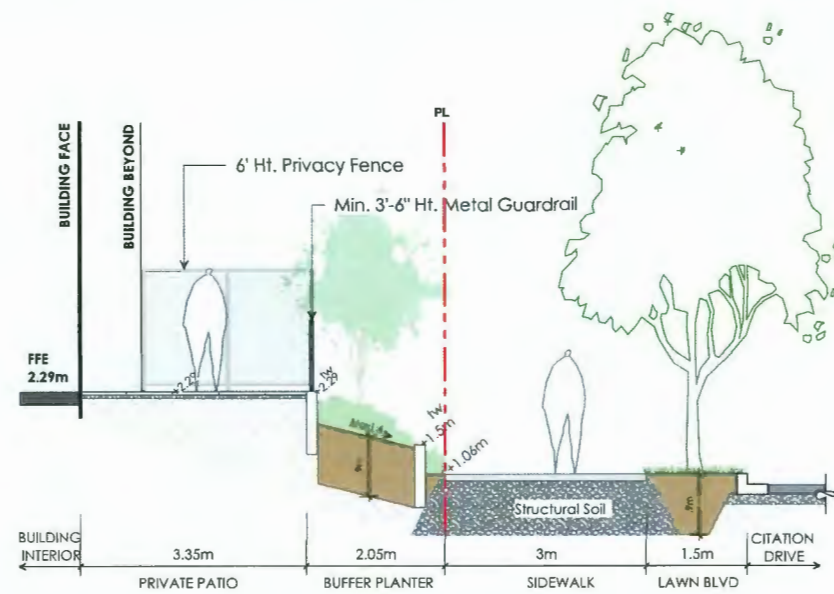
**PLAN #66**

**February 20, 2024**



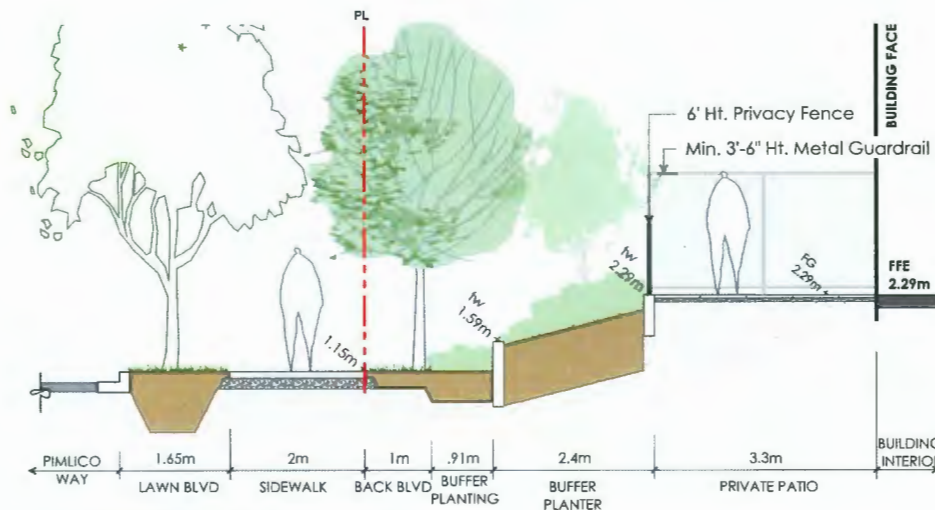
**SECTION A: EAST PATIOS AT GARDEN CITY RD**

SCALE 1:50



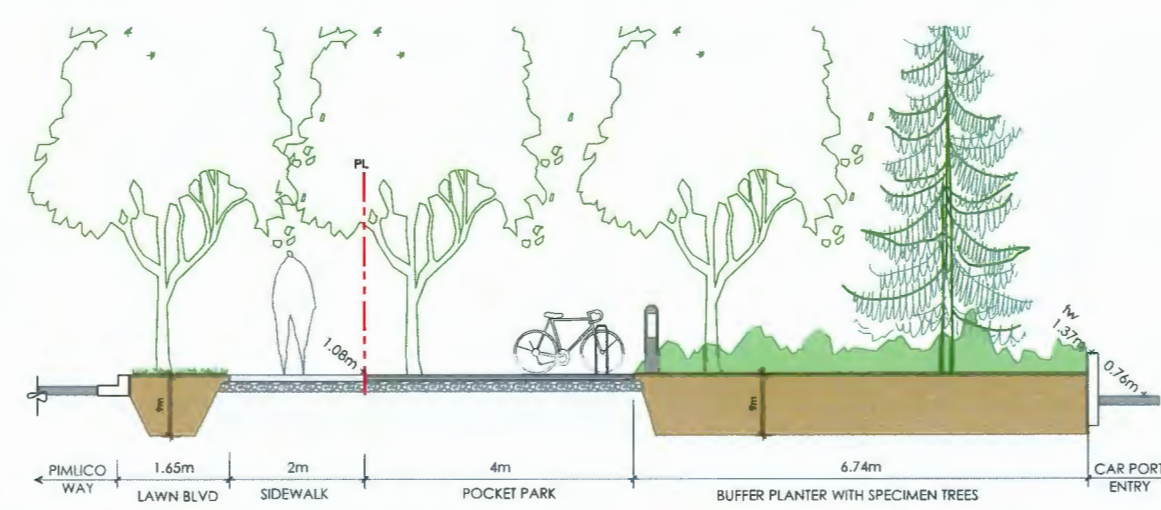
**SECTION B: SOUTH PATIOS AT CITATION DRIVE**

SCALE 1:50



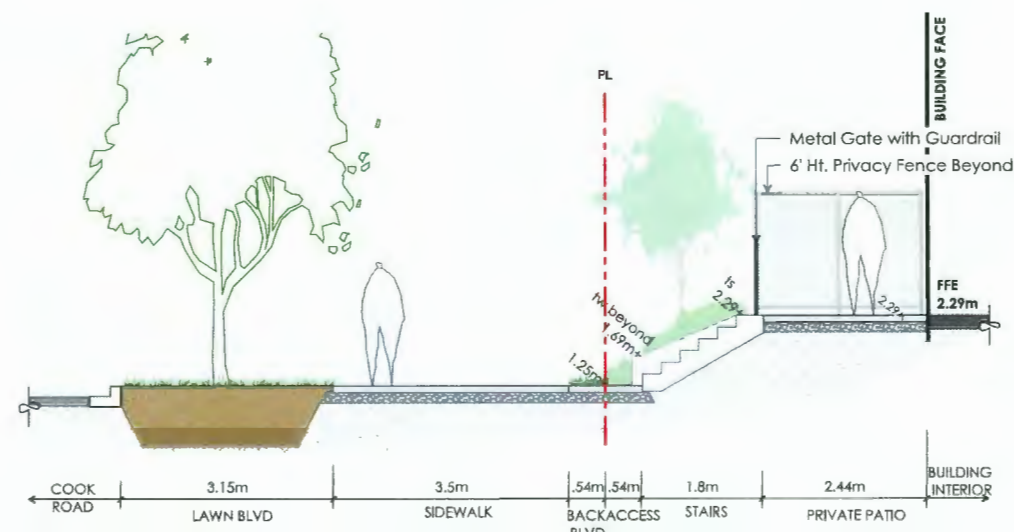
**SECTION C: WEST PATIOS AT PIMLICO WAY**

SCALE 1:50



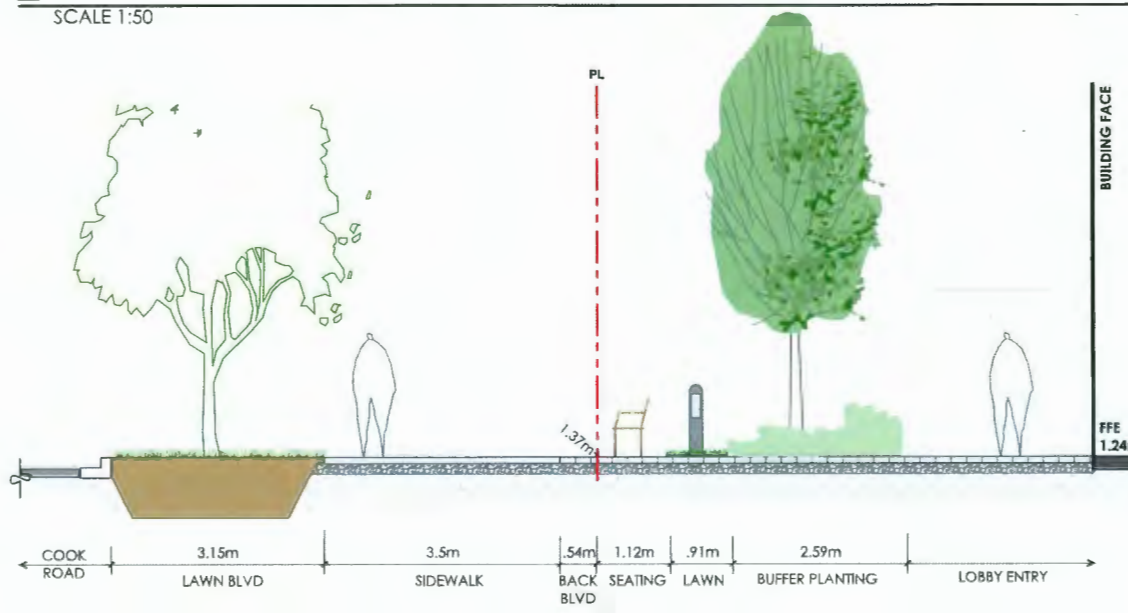
**SECTION D: POCKET PARK AT PIMLICO WAY**

SCALE 1:50



**SECTION E: NORTH PATIOS AT COOK ROAD**

SCALE 1:50



**SECTION F: NORTH BLDG LOBBY ENTRY @ COOK ROAD**

SCALE 1:50

6	Feb 5 - 2024	ISSUED FOR DP RESPONSE
5	Oct 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	item:

Revisions:



Project:

**COOK ROAD**  
RICHMOND, BC

Drawn by: AG/LF

Checked by: PK

Date: JAN 2024

Scale: Ad Shown

Drawing Title:

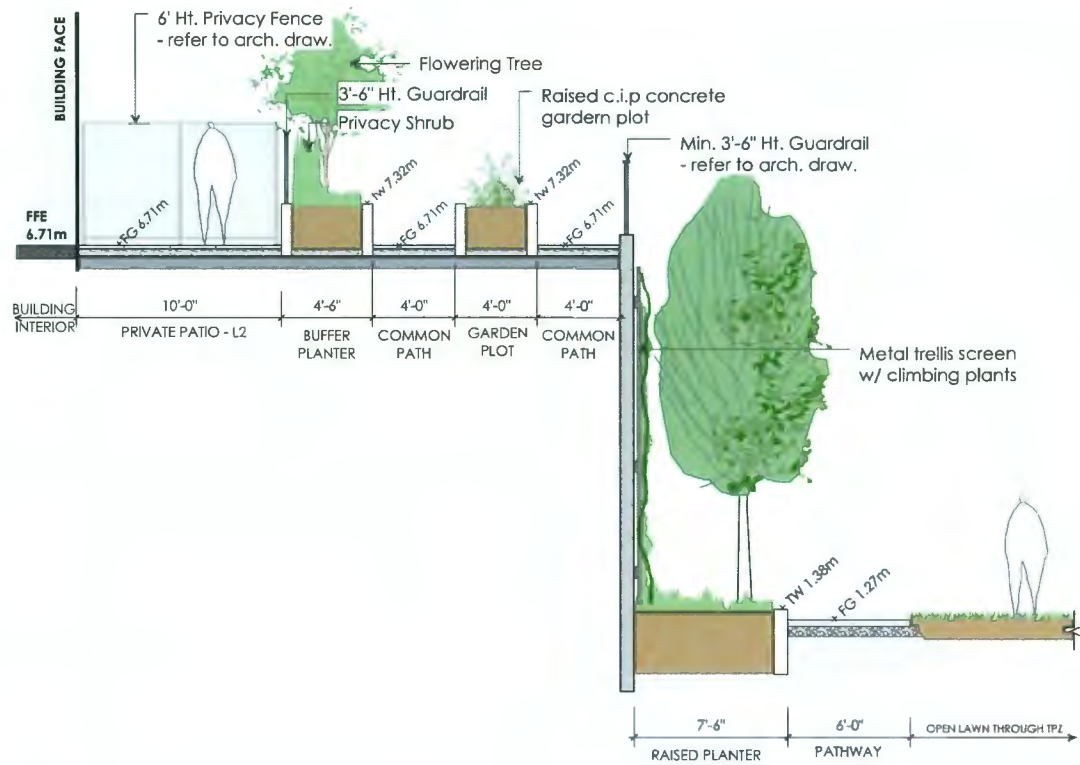
**LANDSCAPE SECTIONS**

Project No.:

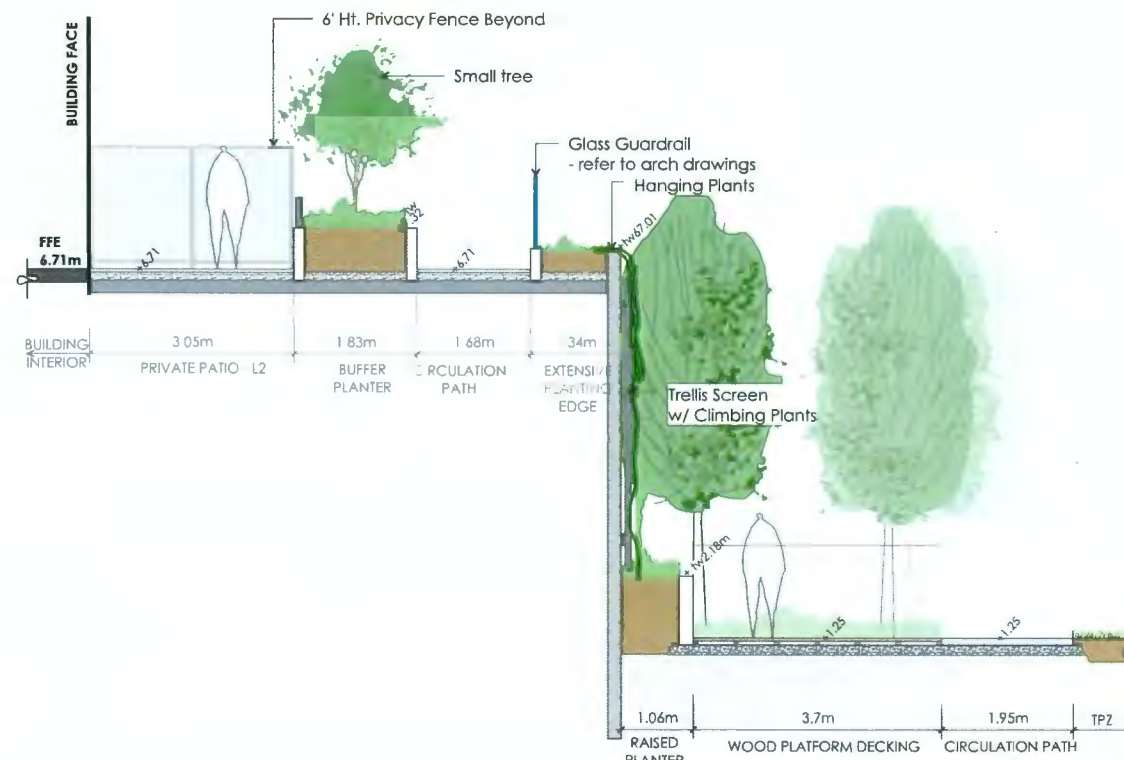
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Sheet No.:

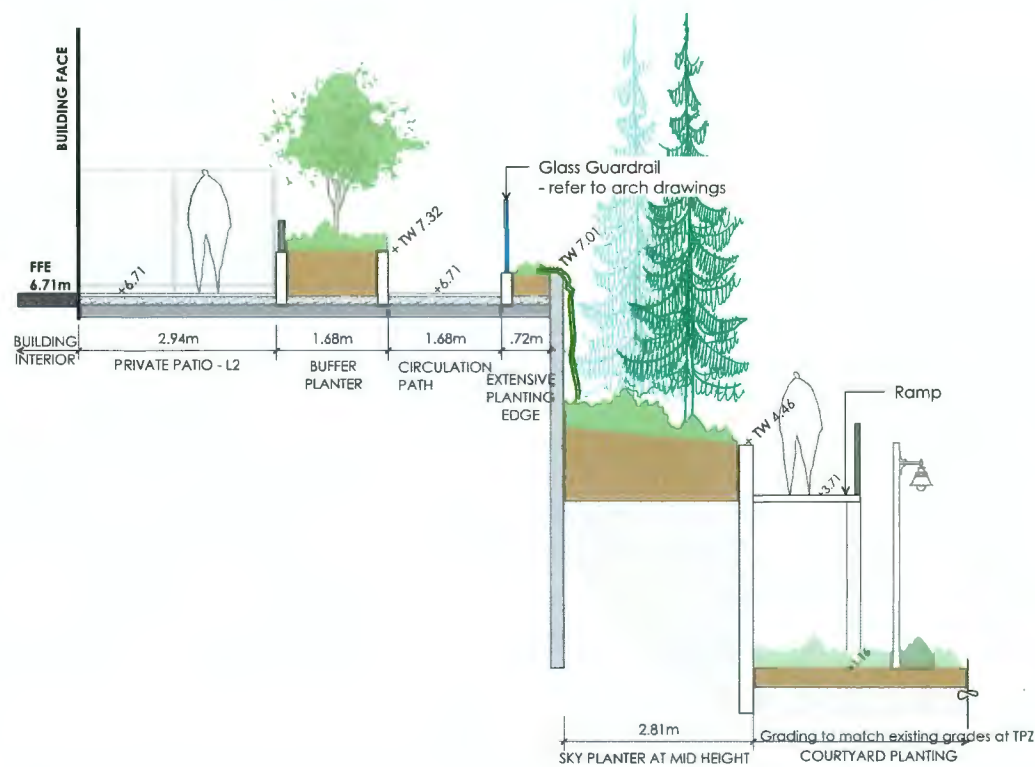
L-5.1



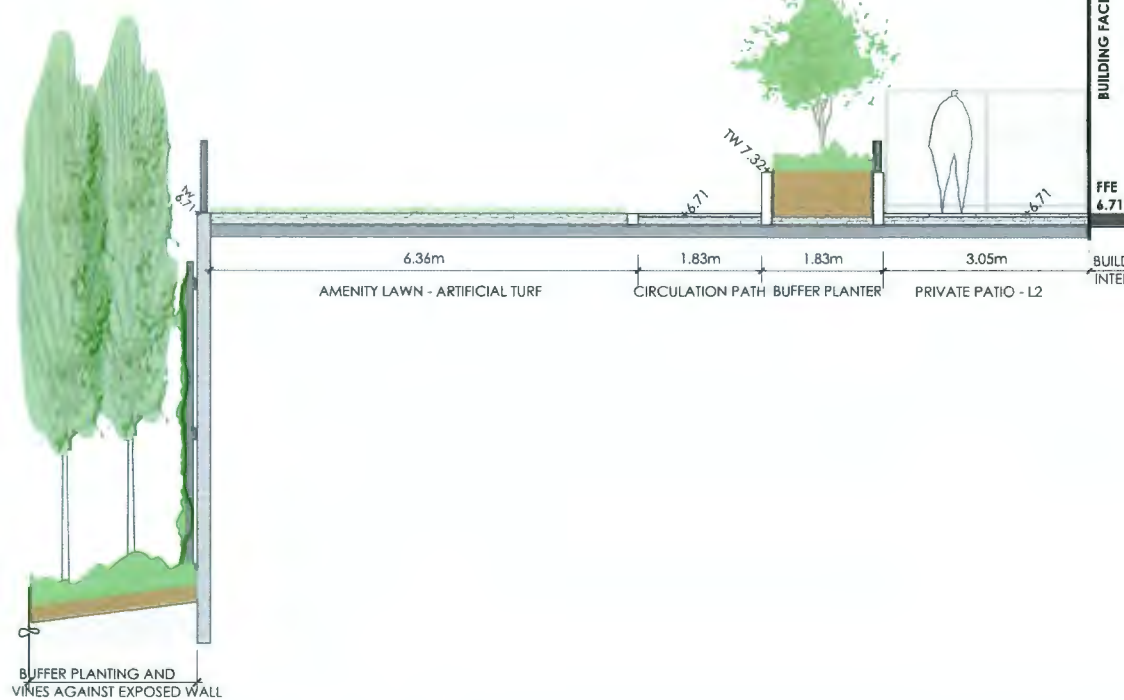
**SECTION G: PATIO-COURTYARD TRANSITION**  
SCALE 1:50



**SECTION H: PATIO-COURTYARD TRANSITION**  
SCALE 1:50



**SECTION I: PATIO-COURTYARD TRANSITION**  
SCALE 1:50



**SECTION J: PATIO-COURTYARD TRANSITION**  
SCALE 1:50

6	Feb 5 - 2024	ISSUED FOR DP RESPONSE
5	Oct 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING
no.:	date:	item:

Revisions:

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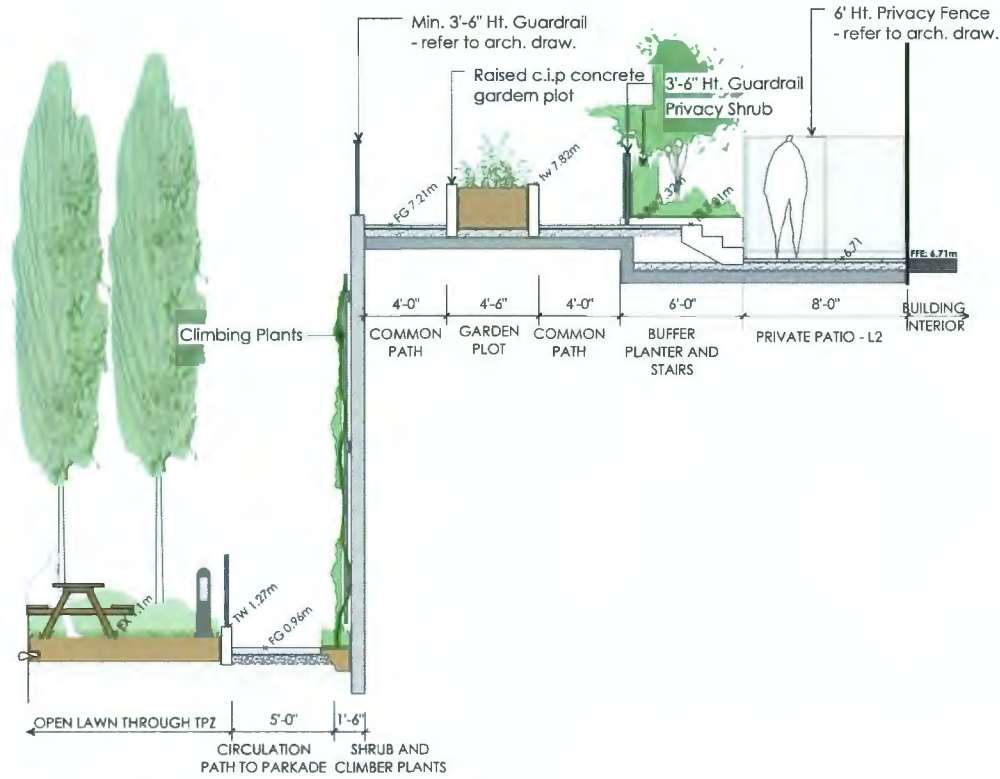
Project:  
**COOK ROAD**  
RICHMOND, BC

Drawn by: AG/LF  
Checked by: PK  
Date: JAN 2024  
Scale: As Shown

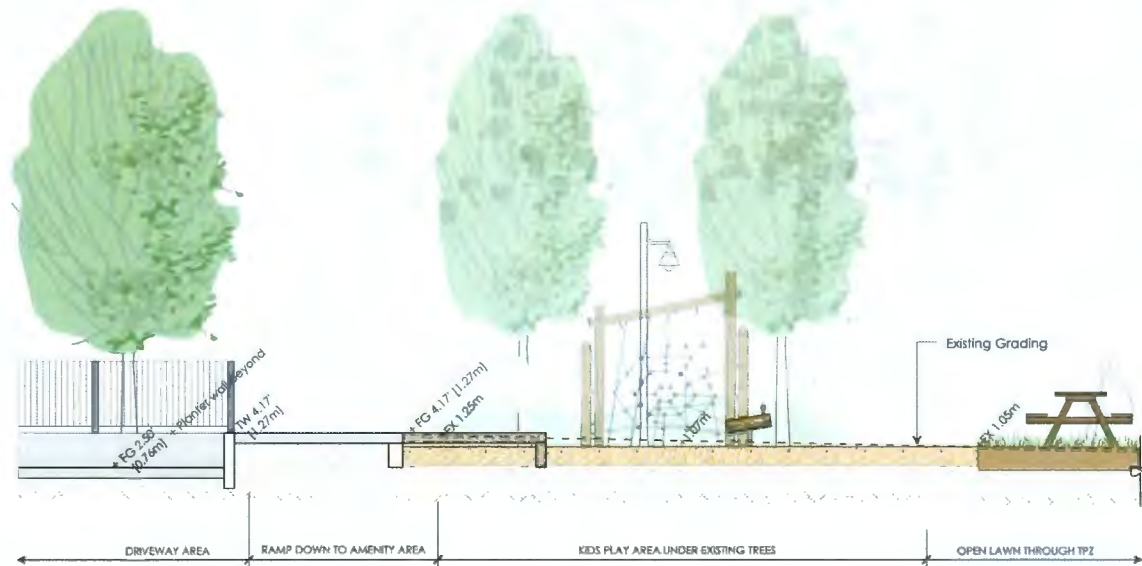
Drawing Title:  
**LANDSCAPE SECTIONS**

Project No.:  
**19073**  
Sheet No.:

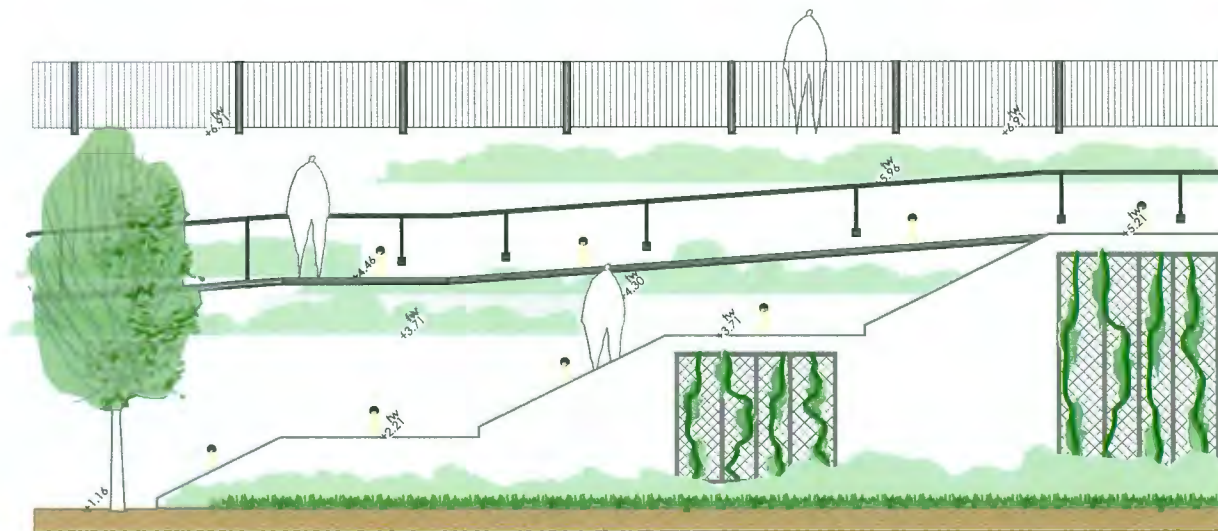
L-5.2



**SECTION K: PATIO-COURTYARD TRANSITION**  
SCALE 1:50



**SECTION L: COURTYARD AMENITY AREA**  
SCALE 1:50



**SECTION M: COURTYARD GRAND ACCESS STAIR**  
SCALE 1:50

no.	date	item
6	Feb 5 - 2024	ISSUED FOR DP RESPONSE
5	Oct 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
3	AUG 2 - 2022	RE-ISSUED FOR REZONING
2	MAY 19 - 2022	RE-ISSUED FOR REZONING
1	APR 9-21	ISSUED FOR REZONING

Revisions:

**dk** Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4611  
f: 604 684 0577  
www.dk1.bc.ca

Project:  
**COOK ROAD**  
RICHMOND, BC

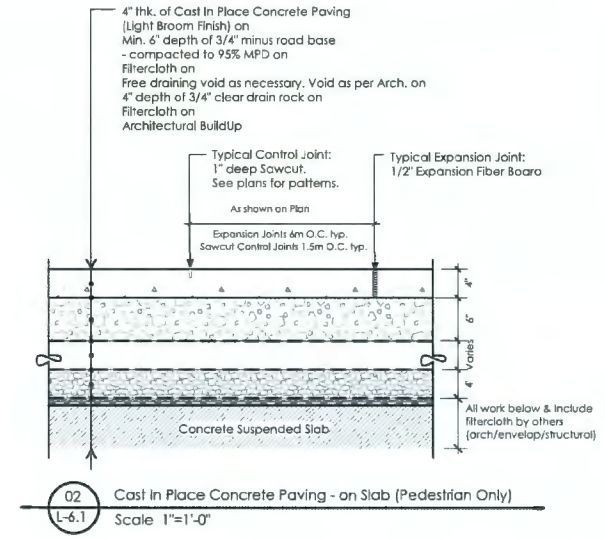
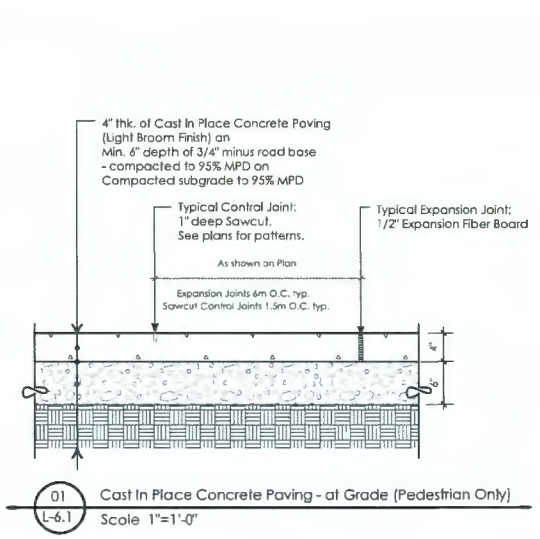
Drawn by: AG/LF  
Checked by: PK  
Date: JAN 2024  
Scale: As Shown

Drawing Title:  
**LANDSCAPE SECTIONS**

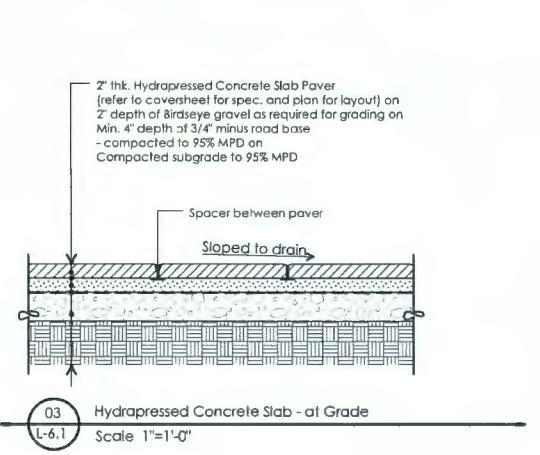
Project No.:  
**19073**

Sheet No.:

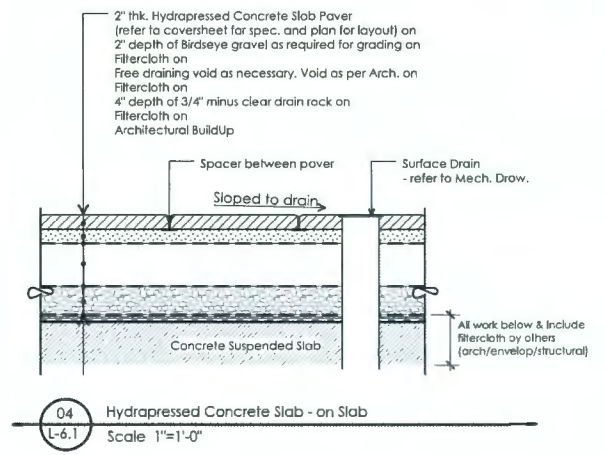
**L-5.3**



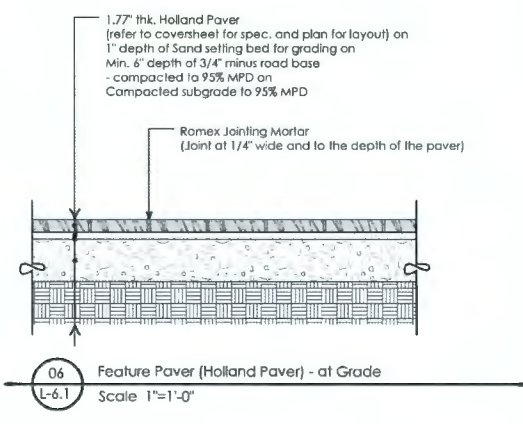
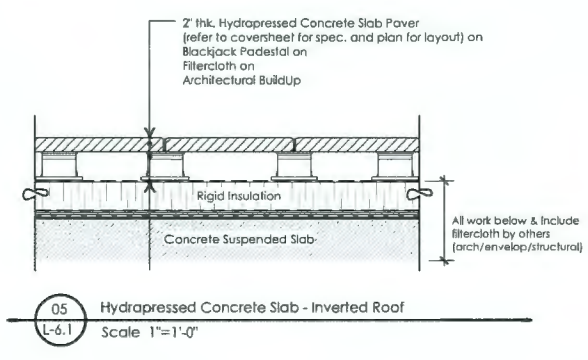
HYDRAPRESSED CONCRETE SLAB PAVER NOTE:  
01. Provide Mock up of paver installation at Lobby Entry, Private patio (select one private patio as representative sample), for review and approval by Landscape Architect.  
02. Cut all Pavers as required to maintain pattern/layout as shown on Layout Plans.  
03. All pavers to be cut with Concrete Stone Saw, no guillotine cuts will be allowed.  
04. Min. paver cut to be no less than 1/3 of original size.  
05. Pavers laid directly on rigid insulation will be rejected.



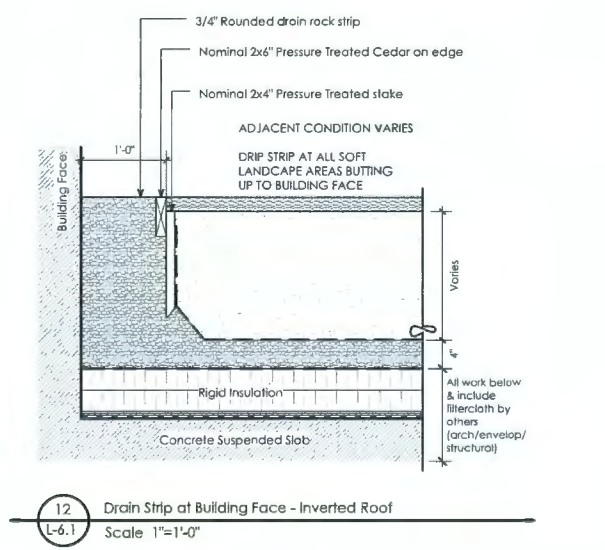
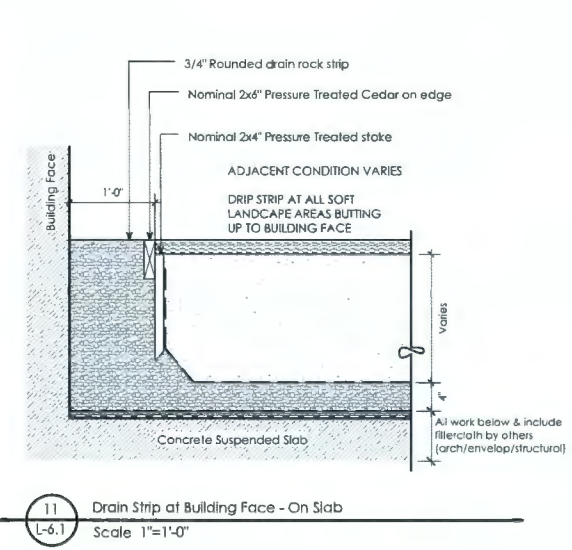
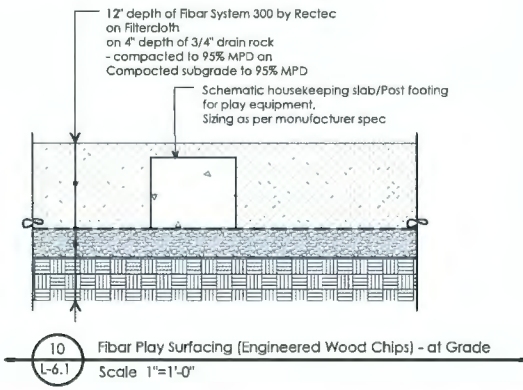
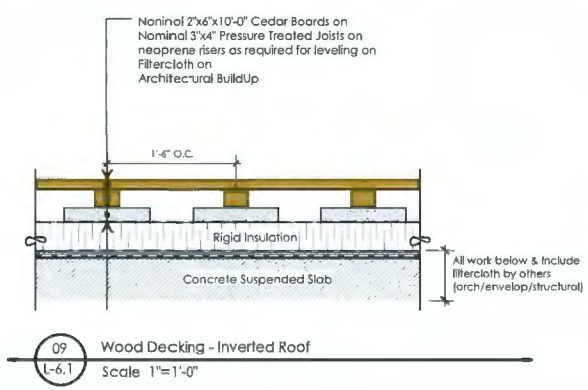
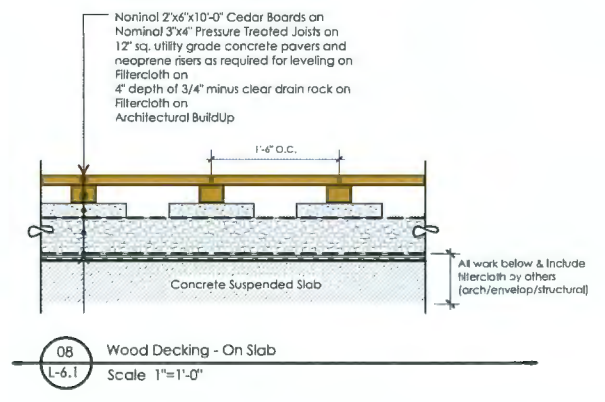
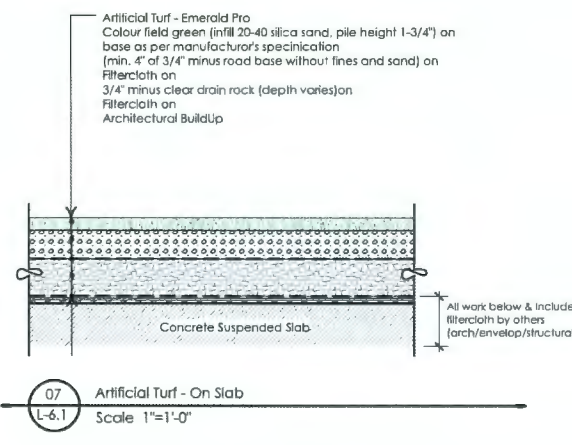
HYDRAPRESSED CONCRETE SLAB PAVER NOTE:  
01. Provide Mock up of paver installation at Lobby Entry, Private patio (select one private patio as representative sample), for review and approval by Landscape Architect.  
02. Cut all Pavers as required to maintain pattern/layout as shown on Layout Plans.  
03. All pavers to be cut with Concrete Stone Saw, no guillotine cuts will be allowed.  
04. Min. paver cut to be no less than 1/3 of original size.  
05. Pavers laid directly on rigid insulation will be rejected.



HYDRAPRESSED CONCRETE SLAB PAVER NOTE:  
01. Provide Mock up of paver installation at Lobby Entry, Private patio (select one private patio as representative sample), for review and approval by Landscape Architect.  
02. Cut all Pavers as required to maintain pattern/layout as shown on Layout Plans.  
03. All pavers to be cut with Concrete Stone Saw, no guillotine cuts will be allowed.  
04. Min. paver cut to be no less than 1/3 of original size.  
05. Pavers laid directly on rigid insulation will be rejected.



NOTE:  
Emerald Pro by Precision Greens, Landley, 604-970-3673 or approved equal



6	Jan 17 - 2024	ISSUED FOR DP RESPONSE
5	OCT 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
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-		
no.:	date:	item:

Revisions:



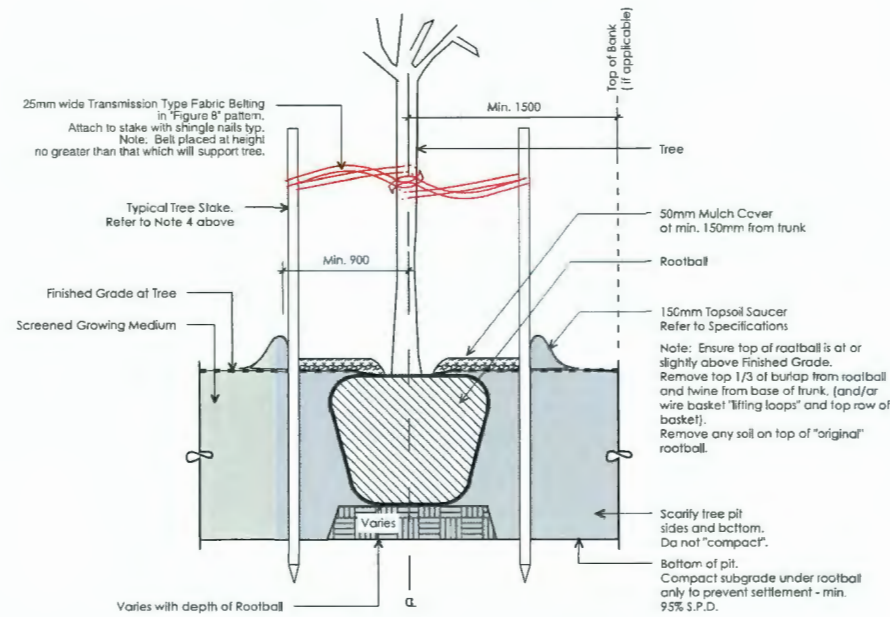
Project:  
**COOK ROAD**  
RICHMOND, BC

Drawn by: AG  
Checked by: PK  
Date: MAR 2020  
Scale: As Indicated

**LANDSCAPE DETAILS**

Project No.:  
**19073**  
Sheet No.:

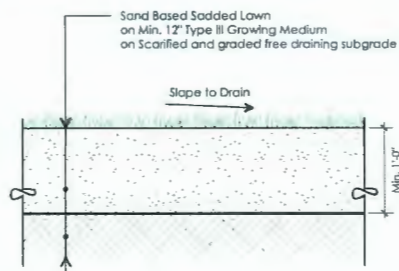
- General Notes:
- Do not cut Tree Leader.
  - Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
  - Ensure tree location does not conflict with Underground Services. "Call before digging".
  - All street trees to be staked with 2 - 100mmØ x 2.5m long. Minimum depth of stake embedment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
  - Provide min. 5 cubic meters of growing medium per tree.
  - Refer to Growing Medium Chart below for surface area depth of Growing Medium.



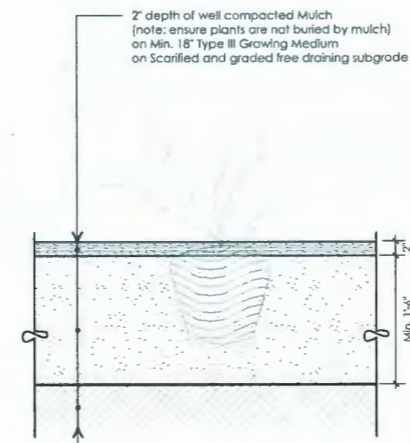
Depth of Growing Medium Total (mm)	Area (M2)	Variation 1 Size of Surface Square	Variation 2 Size of Surface Circle
450	11.11	3.3 M x 3.3 M	3.80 M Ø
600	8.33	2.9 M x 2.9 M	3.25 M Ø
750	6.67	2.6 M x 2.6 M	2.90 M Ø

01 Typical Tree Planting - On Grade  
L-6.2 NTS

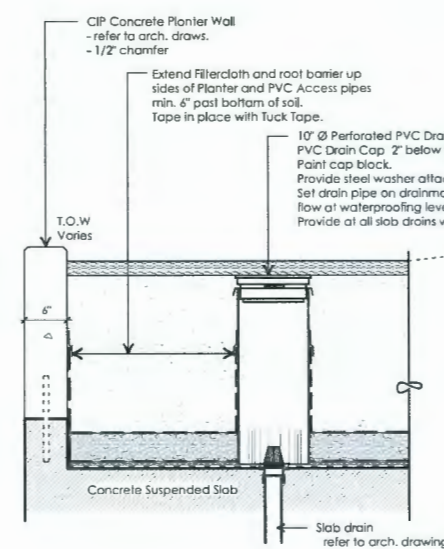
Note:  
Sod other than that with a sand base and/or with mesh will be rejected, and the specified sod re-installed at contractor's expense.



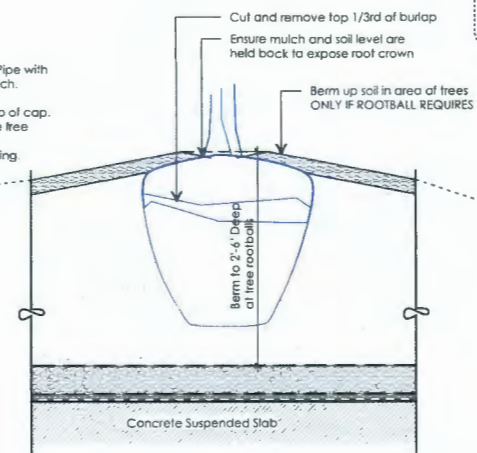
02 Sand Based Sodded Lawn - On Grade  
L-6.2 Scale 1"=1'-0"



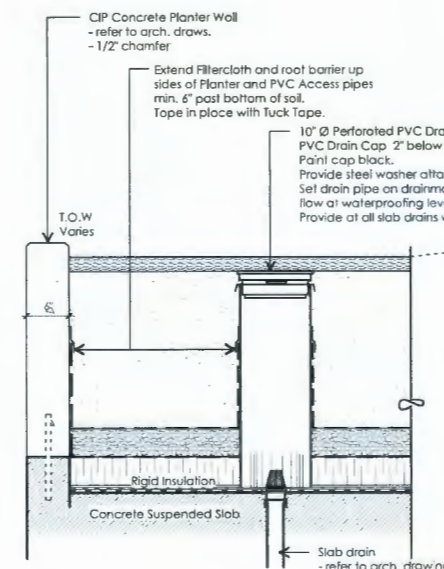
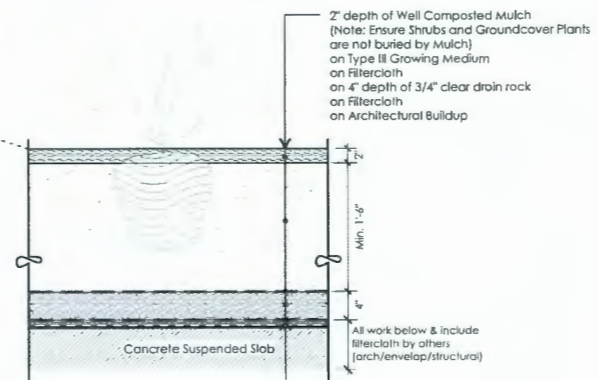
03 Shrub Planting - On Grade  
L-6.2 Scale 1"=1'-0"



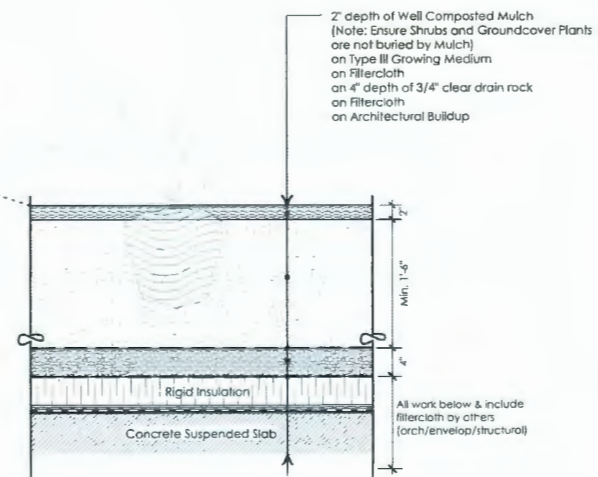
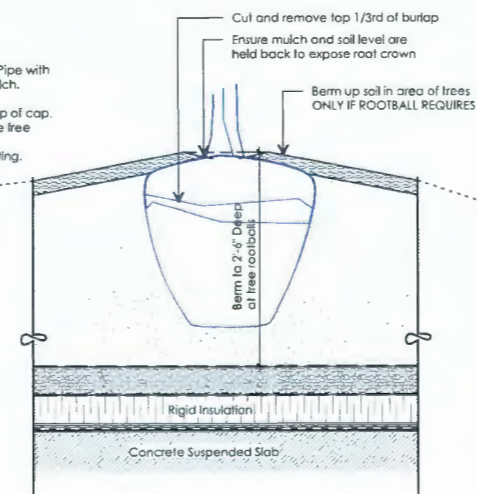
04 Shrub/Tree Planting - On Slab  
L-6.2 SCALE 1"=1'-0"



Attach rootball anchoring ties/straps to clips embedded in concrete parapet wall. Alternative system uses soil to loadlock driven anchors (Platipus System)



05 Shrub/Tree Planting - Inverted Roof  
L-6.2 SCALE 1"=1'-0"



no.	date	item
4	Jan 17 - 2024	ISSUED FOR DP RESPONSE
5	Oct 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
-		
-		
-		

Revisions:

**dk** Durante Krauk Ltd.  
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www.dkl.bc.ca

Project:  
**COOK ROAD**  
RICHMOND, BC

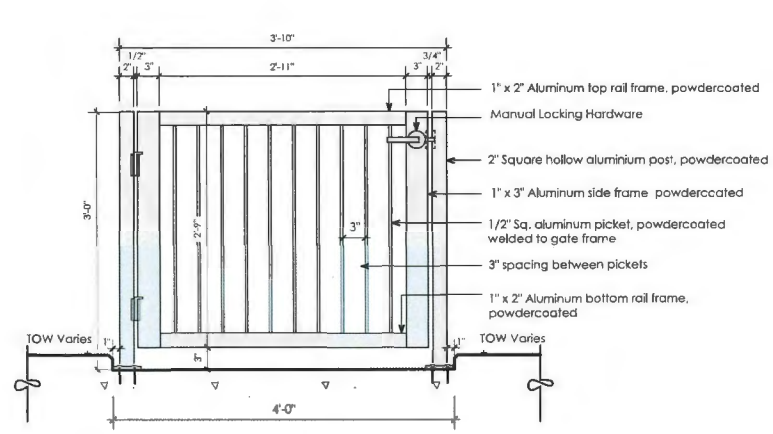
Drawn by: AG  
Checked by: PK  
Date: MAR 2020  
Scale: As Indicated

Drawing Title:  
**LANDSCAPE DETAILS**

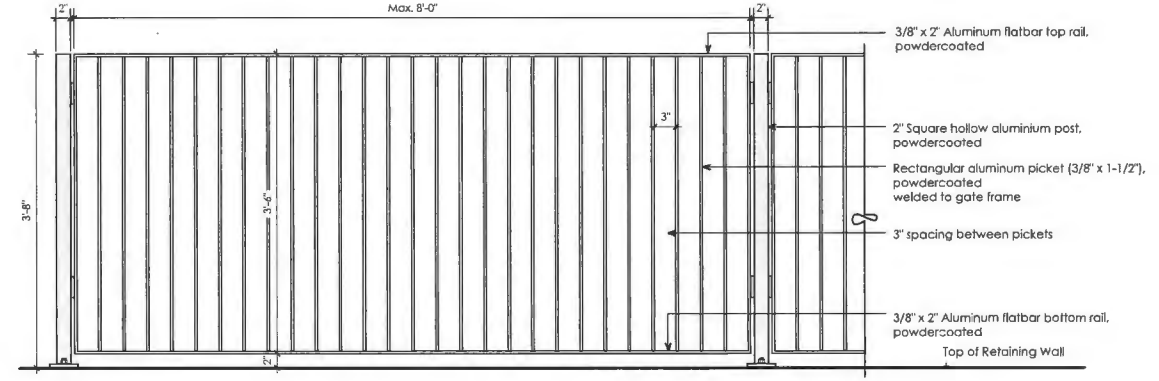
Project No.:  
**19073**  
Sheet No.:

L-6.2





01 3' Ht. Private Metal Decorative Gate  
L-6.3 SCALE 1"=1'-0"



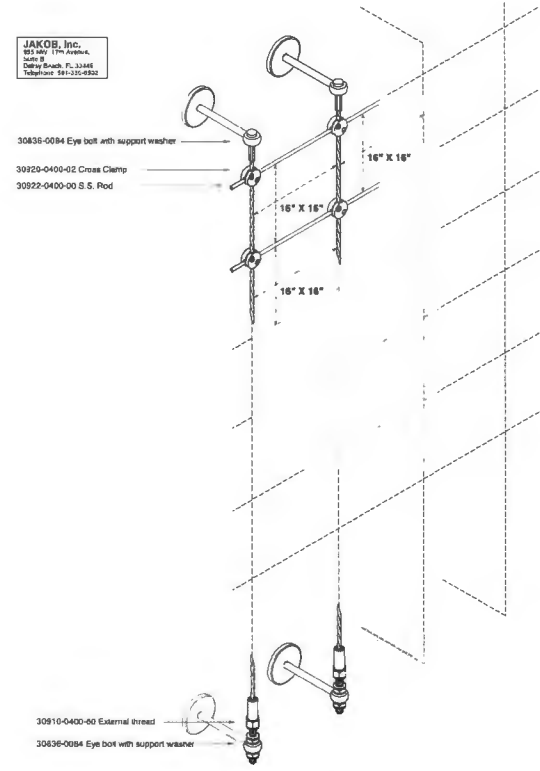
02 3'-6\"/>

- General Metal Work Notes:**
1. Submit Sealed / Engineered shop drawings for review and approval for all metalwork prior to fabrication and in accordance with specification section 05 50 00.
  2. Confirm all dimensions on site. Modify shop drawings as required to maintain design intent.
  3. Consultant to approve all metalwork at fabrication prior to hot dip galvanizing or powdercoating.
  4. All metal components to be cut or drilled, all weld faces ground smooth prior to powdercoating.
  5. Metal work Assemblies to be all-weld construction. All welding to be completed prior to powder coating. Fabrication to allow for mechanical assembly of powder coated components on site.
  6. All metal work other than stainless steel to be powder coated unless noted otherwise.
  7. All fastening hardware to be stainless steel unless otherwise noted.
  8. Consultant to approve all panels at fabrication prior to painted finish being applied.
  9. Smooth cut all edges. Any sharp edges will not be accepted.
  10. RAL colour to be confirmed. Provide paint colours samples for review and approval prior to application.

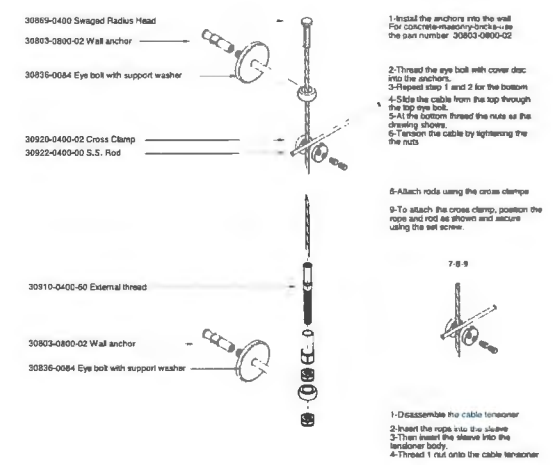
- General Powdercoating Notes:**
1. All metal to be RAL powdercoated to match Building Accents
  2. RAL powdercoat colour: Iron Mountain. Color picked by LEDINGHAM McALLISTER.

#	Date	Description
6	Jan 17 - 2024	ISSUED FOR DP RESPONSE
5	Oct 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
-		
-		
no.:	date:	item:

Revisions:



03 Jackob Trellis System  
L-6.3 SCALE 1"=1'-0"



Project:  
**COOK ROAD**  
RICHMOND, BC

Drawn by: AG  
Checked by: PK  
Date: MAR 2020  
Scale: As Indicated  
Drawing Title:  
**LANDSCAPE DETAILS**

Project No.:  
**19073**  
Sheet No.:

L-6.3

# FGP Collection

Product Data Sheet



landscape forms

FGP is an integrated collection of site furniture and lighting from Milan-based designer Francesco D'Amico. Part of Landscape Forms Global 45 initiative, FGP was designed for residential applications and grown. The FGP Collection includes five elements: a bench, later recast, bike rack and pedestrian and pathway LED lights. The design language is elegant and light. D'Amico has a fluid versatility with subtle curved structural forms that give them a soft appearance. While contemporary in line and spirit, the collection evokes familiar forms, making it both welcoming and very modern. Cast aluminum structural parts are manufactured by Landscape Forms. Seats are available in a range of Landscape Forms materials in North America and regionally sourced wood in international markets. Flat shipping and local assembly for international locations support carbon-reducing sustainability.

## FGP Bench

- Benches available in 2 or 3 seats
- The bench has cast aluminum supports with a wood seating surface
- Supports are available in either an anodized finish or powdercoat
- Benches available in 72" or 120" lengths
- Benches are available as freestanding, surface mount, or embedded
- Supports offer a "hidden" mounting system
- Available in teak and Jarrah wood for exterior use
- FGP bench seats fully assembled

Material	Length	Width	Depth	Weight	Capacity
Aluminum	72"	18"	18"	35"	180 lb
Aluminum	120"	18"	18"	55"	180 lb
Aluminum	72"	22"	18"	35"	180 lb
Aluminum	120"	22"	18"	55"	180 lb

## FGP Bike Rack

- Capacity: 2 bikes
- The bike rack can be powdercoated or come prefinished anodized
- The cover plate has a durable dark grey anodized finish
- Provides bicycle support with capability for attachment of two points to meet APSP (Association of Pedestrian and Bicycle Professionals) guidelines
- Accommodates a variety of commonly used locks including horseshoe style
- Surface mount or embedded to concrete surface
- FGP Bike Rack seats fully assembled
- Refer to installation guide to meet APSP Guidelines for bike rack spacing on site

Material	Length	Width	Depth	Weight	Capacity
Aluminum	18"	18"	18"	21"	2 bikes



Revised April 18, 2022 | Landscape Forms Inc. | 800.521.2546 | F.298.381.3455 | 7800 E. Michigan Ave., Kalama, WA 98621

01 Metal Bike Rack and Prefabricated Bench - or Similar Design/Quality  
L-6.4 NTS

# Air Collection

Product Data Sheet



## Starfish Air

Starfish Air uses its biomorphic, asymmetric, radial design to create flexible seating for grouped or individual use. Seated at adjacent ends or scattered throughout an area, Starfish Air creates a constellation of seating that welcomes groups, pairs and individuals with subtle differences in bench segment length.

Designer: Emble To Go

- Starfish Air uses its biomorphic, asymmetric, radial design to create flexible seating for grouped or individual use.
- Starfish Air is a bench made with solid tubular HDPE polymer/laminate available in a wide variety of colors.
- Optional internal LED strip lighting (5000 Kelvin color temp) can be specified for white models. "Speedlight" lighting comes pre-installed.
- The Air Collector design consists of a threaded injection chamber cover providing access to the interior.
- Starfish Air is available freestanding or anchored. Bench can be anchored using a chain anchor system provided.
- The bench can be anchored to a surface using two optional stainless steel one system: fixed and removable or exposed and detachable
- Optional sand ballast can be specified to increase the weight. Sand not included.

## Material

- High-density polyethylene (HDPE) rotational molding is a plastic manufacturing process that permits the manufacturing of hollow or double-walled parts.
- HDPE is lightweight, colorful, sustainable, durable and easy to maintain.
- HDPE is UV stabilized so the color won't fade.
- It is produced in a multitude of colors, which are 100% recyclable at the end of their lifespan.
- The black color utilizes 100% recycled HDPE.
- HDPE is non-porous and requires little maintenance. It is easy to wash using mild soap and water and a degreasing detergent that contains surfactants.

Material	Length	Width	Depth	Weight	Capacity
HDPE	72"	18"	18"	124 lb	1 person



Note: refer to Plan for color selection for each pocket park.

Revised April 27, 2022 | Landscape Forms Inc. | 800.521.2546 | F.298.381.3455 | 7800 E. Michigan Ave., Kalama, WA 98621

02 Feature Bench of Pocket Parks - or Similar Design/Quality  
L-6.4 NTS

# ELKAY SPECIFICATIONS

Elkay Outdoor Bi-Level Pedestal Fountain with Pet Station Non-Filtered Non-Refrigerated Model LK4420DB

## PRODUCT SPECIFICATIONS

Elkay Outdoor Bi-Level Pedestal Fountain with Pet Station Non-Filtered Non-Refrigerated. Features shall include 316 Stainless, Heavy Duty Vandal Resistant, Pet Fountain. Furnished with Vandal Resistant, bubble, Mechanical Front Bubbler Button activation. Product shall be Floor Mount/Free-standing, for Outdoor applications, serving 2 stations).

Special Features:	316 Stainless, Heavy Duty Vandal Resistant, Pet Fountain
Finish:	Black (BK), Blue (BLU), Evergreen (EVG), Gray (GRY), Powder Coat (1/2 Color Options)
Power:	No Electrical Required
Bubbler Style:	Vandal Resistant
Activation By:	Mechanical Front Bubbler Button
Mounting Style:	Floor Mount/Free-standing
Chilling Capacity:	Non-refrigerated
Dimensions (L x W x H):	31" x 26" x 40-51 1/2"
Approx. Shipping Weight:	78 lbs.
Installation Location:	Outdoor
No. of Stations Served:	2



- Mechanically-activated bubbler continues to supply water in event of service disruptions.
- Base material constructed from marine-grade 316 stainless steel provides the ultimate corrosion protection from even the most corrosive elements.
- Pet Fountain: Features slow drainage for easy drinking.

Included with Product: Outdoor Fountain Ships in one box. A Century of Tradition and Quality. For more than 100 years, Elkay has been helping innovative products and providing exceptional customer care. We take pride in offering quality products that evolve with us, meet your needs and serve the world's water needs.

**PRODUCT COMPLIANCE**  
ADA & ICCA A117.1  
ASME A112.19.3/CSA B45.4  
Buy American Act  
NSF/ANSI 61 & 372 (lead free)

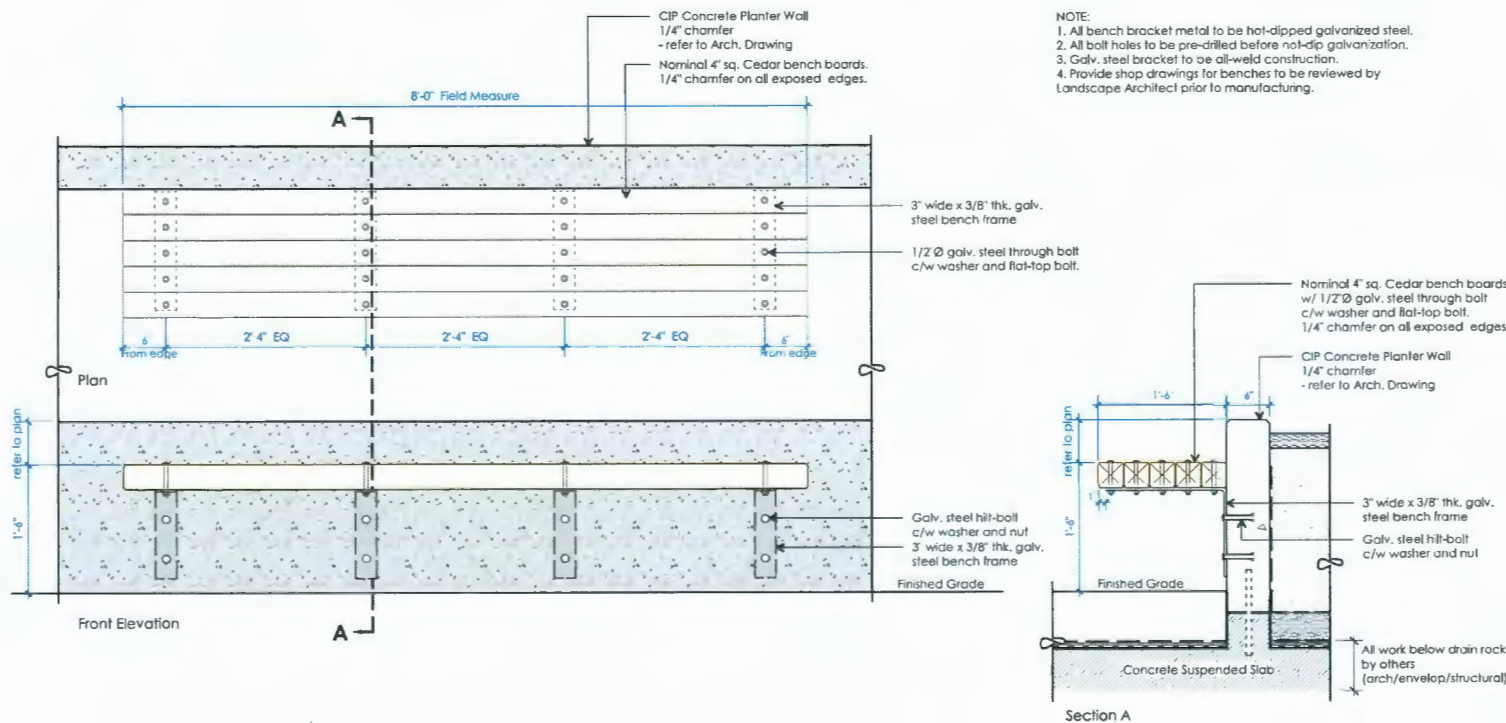
Warranty pertains to drinking water applications only. Non-drinking water applications are not covered under warranty. [Warranty PDF](#)

PAR: \_\_\_\_\_ QTY: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
DATE: \_\_\_\_\_  
NOTES: \_\_\_\_\_  
APPROVAL: \_\_\_\_\_

In keeping with our policy of continuing product improvement, Elkay reserves the right to change product specifications without notice. Please visit [elkay.com](#) for the most current version of Elkay product specification sheets. This specification describes an Elkay product with design, quality, and functional benefits to the user. When making a comparison of other products offerings, be certain these features are not overlooked.

Elkay REV 06/14/2023 1-800-268-6640 | [@LandscapeForms](#) | © 2023 Page 1 LK4420DB\_spec.pdf

03 Drinking Fountain at Pocket Parks - or Similar Design  
L-6.4 NTS



NOTE:  
1. All bench bracket metal to be hot-dipped galvanized steel.  
2. All bolt holes to be pre-drilled before non-dip galvanization.  
3. Galv. steel bracket to be all-weld construction.  
4. Provide shop drawings for benches to be reviewed by Landscape Architect prior to manufacturing.

04 Custom Wooden Bench  
L-6.4 NTS

DP 23-014121 PLAN #73

February 20, 2024

4	Jan 17 - 2024	ISSUED FOR DP RESPONSE
5	Oct 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
-		
-		
no.:	date:	Item:

Revisions:

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Vancouver BC V6J 1N5  
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www.dk.bc.ca

Project:  
**COOK ROAD**  
RICHMOND, BC

Drawn by: AG  
Checked by: PK  
Date: MAR 2020  
Scale: As Indicated  
Drawing Title:

**LANDSCAPE DETAILS**

Project No.:  
**19073**  
Sheet No.:

L-6.4



### Marina table

© design by ferriss

Table: 2 legs  
High table: 4 legs  
Bar: 4 legs  
Floor furniture: 5 legs

Colour: Verdigris



### Captain's Chairs

Design by Malrice

Shilling High table  
Wendy's High table  
Killing

Fluo  
Barrel  
Storage net  
Cushion

Colour: lead Green




### Tiki table

- Transparent Base (used to give bars, restaurants, etc. a tidy, sleek look with a minimal impact).
- Footrest with great freedom of movement.
- Water drainage holes in the standard tabletop.
- Easy to fold and store.
- The perfect combination with Tiki bar stools.
- The perfect combination with Acack shade.




#### Marina table & high table



Dimensions (mm)	L	W	H	# Legs	Dimensions (mm)	L	W	H
Marina table 001	3670	3070	3420	2,5,2	Marina high table	3670	3070	3420
Marina table 002	3670	3070	3420	2,5,2	Marina high table	3670	3070	3420
Marina table 003	3670	3070	3420	2,5,2	Marina high table	3670	3070	3420
Marina table 004	3670	3070	3420	2,5,2	Marina high table	3670	3070	3420


extremis

#### Shilling chair




Shilling chair: 36,00

#### Wendy's chair




Wendy's chair: 36,00

#### High shilling chair



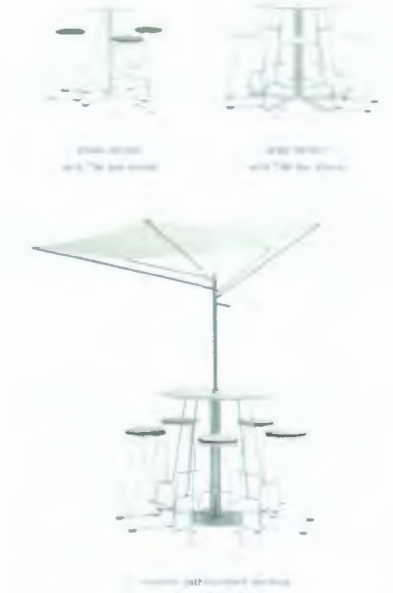
High shilling chair: 44,00

#### High Wendy's chair



High Wendy's chair: 44,00

extremis



6	Jan 17 - 2024	ISSUED FOR EP RESPONSE
5	Oct 5 - 2023	RE-ISSUED FOR DP
4	FEB 17 - 2023	ISSUED FOR DP
-		
-		
no.:	date:	item:

Revisions:



01 Dining Table and Chair or Similar - Level 3 Amenity Deck - or Similar Design/Quality  
L-6.5 NTS

02 Movable Dining Table and Chair or Similar - Level 3 Amenity Deck - or Similar Design/Quality  
L-6.6 NTS

### loll designs

#### nisswa lounge chair



loll designs.com

### loll designs

#### accent side tables



loll designs.com

It's good to be recycled

### loll designs

#### tall lollygagger lounge chair



loll designs.com

### loll designs

#### alfresco square & round table



loll designs.com

Project:  
**COOK ROAD**  
RICHMOND, BC

Drawn by: AG  
Checked by: RA  
Date: MAR 2020  
Scale: As Indicated

Drawing Title:  
**LANDSCAPE DETAILS**

Project No.:  
**19073**  
Sheet No.:



**Recessed wall sconce**  
 A recessed wall sconce is a light fixture that is mounted into a wall. It is often used to provide ambient lighting in a room or to highlight a specific feature of the wall.

The recessed wall sconce is a light fixture that is mounted into a wall. It is often used to provide ambient lighting in a room or to highlight a specific feature of the wall.

The recessed wall sconce is a light fixture that is mounted into a wall. It is often used to provide ambient lighting in a room or to highlight a specific feature of the wall.



**Specifications**

Material	Aluminum
Color	Black
Finish	Matte
Mounting	Recessed
Beam Angle	30°
Power	10W
Voltage	120V
Frequency	60Hz
Life Span	50,000 hrs
Temp. Range	-20°C to 40°C
Humidity	95% RH
IP Rating	IP65
UL Listing	UL Listed
CE Marking	CE Marked
RoHS Compliant	RoHS Compliant
RECYCLED	RECYCLED



01 Wall Recessed Path/Step Light - or Similar Design/Quality  
 L-6.7 NTS



**Metal bollard light**  
 A metal bollard light is a decorative outdoor lighting fixture. It is often used to provide ambient lighting in a garden or to highlight a specific feature of the landscape.

The metal bollard light is a decorative outdoor lighting fixture. It is often used to provide ambient lighting in a garden or to highlight a specific feature of the landscape.

The metal bollard light is a decorative outdoor lighting fixture. It is often used to provide ambient lighting in a garden or to highlight a specific feature of the landscape.



**Specifications**

Material	Aluminum
Color	Black
Finish	Matte
Mounting	Freestanding
Beam Angle	30°
Power	10W
Voltage	120V
Frequency	60Hz
Life Span	50,000 hrs
Temp. Range	-20°C to 40°C
Humidity	95% RH
IP Rating	IP65
UL Listing	UL Listed
CE Marking	CE Marked
RoHS Compliant	RoHS Compliant
RECYCLED	RECYCLED



02 Metal Bollard Light - or Similar Design/Quality  
 L-6.7 NTS



**Pedestrian Scale Pole Light**  
 A pedestrian scale pole light is a decorative outdoor lighting fixture. It is often used to provide ambient lighting in a garden or to highlight a specific feature of the landscape.

The pedestrian scale pole light is a decorative outdoor lighting fixture. It is often used to provide ambient lighting in a garden or to highlight a specific feature of the landscape.

The pedestrian scale pole light is a decorative outdoor lighting fixture. It is often used to provide ambient lighting in a garden or to highlight a specific feature of the landscape.

**Specifications**

Material	Aluminum
Color	Black
Finish	Matte
Mounting	Freestanding
Beam Angle	30°
Power	10W
Voltage	120V
Frequency	60Hz
Life Span	50,000 hrs
Temp. Range	-20°C to 40°C
Humidity	95% RH
IP Rating	IP65
UL Listing	UL Listed
CE Marking	CE Marked
RoHS Compliant	RoHS Compliant
RECYCLED	RECYCLED



03 Pedestrian Scale Pole Light - or Similar Design/Quality  
 L-6.7 NTS



**Wall Sconce Light**  
 A wall sconce light is a decorative outdoor lighting fixture. It is often used to provide ambient lighting in a garden or to highlight a specific feature of the landscape.

The wall sconce light is a decorative outdoor lighting fixture. It is often used to provide ambient lighting in a garden or to highlight a specific feature of the landscape.

The wall sconce light is a decorative outdoor lighting fixture. It is often used to provide ambient lighting in a garden or to highlight a specific feature of the landscape.

**Specifications**

Material	Aluminum
Color	Black
Finish	Matte
Mounting	Wall Mount
Beam Angle	30°
Power	10W
Voltage	120V
Frequency	60Hz
Life Span	50,000 hrs
Temp. Range	-20°C to 40°C
Humidity	95% RH
IP Rating	IP65
UL Listing	UL Listed
CE Marking	CE Marked
RoHS Compliant	RoHS Compliant
RECYCLED	RECYCLED



04 Wall Sconce Light - or Similar Design/Quality  
 L-6.7 NTS

Rev	Date	Description
6	Jan 17 - 2024	ISSUED FOR DP RESPONSE
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**Durante Kreuk Ltd.**  
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 f: 604 684 0577  
 www.dkf.bc.ca

Project:  
**COOK ROAD**  
 RICHMOND, BC

Drawn by: AG  
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**LANDSCAPE DETAILS**

Project No.:  
**19073**  
 Sheet No.:

L-6.7

NOTES  
EV OUTLETS WILL NEED TO BE SUPPLIED WITH ENERGIZED OUTLETS IN ORDER TO SUPPORT EV CHARGING, WITH EACH PARKING SPACE CAPABLE OF RECEIVING "LEVEL 2" CHARGING AT A PERFORMANCE LEVEL OF AT LEAST 12 KWH WITHIN A MAX 8-HOUR PERIOD

**PARKING USE LEGEND**

<span style="color: cyan;">■</span>	RESIDENTIAL USE
<span style="color: yellow;">■</span>	VISITOR USE
<span style="color: blue;">■</span>	LOADING USE
<span style="color: orange;">■</span>	CAR SHARE

**PARKING - P1**

TYPE	COUNT
CAR SHARE	2
CLASS A LOADING STALL	2
GARBAGE TRUCK	1
MEDIUM SIZE LOADING	1
RESIDENTIAL - H/C STALL	3
RESIDENTIAL - H/C VAN STALL	2
RESIDENTIAL - REGULAR STALL	29
RESIDENTIAL - SMALL STALL	24
VISITOR - REGULAR	30
VISITOR - SMALL CAR STALL	23
VISITOR H/C STALL	2
<b>TOTAL</b>	<b>119</b>

**PARKING - BIKES P1**

TYPE	COUNT
BICYCLE - HOR. CLASS 1	57
BICYCLE - HOR. STACKED CLASS 1	56
BICYCLE - VERT. CLASS 1	27
<b>TOTAL</b>	<b>140</b>

**P1 - GROSS AREA SUMMARY**

USE	AREA
BIKE LOCKERS	2924 SF
DOG WASH	321 SF
EXCLUSION	246 SF
GARBAGE	2099 SF
MECHANICAL	594 SF
PARKADE	41143 SF
RESIDENTIAL CIRCULATION	295 SF
<b>TOTAL</b>	<b>47621 SF</b>

**REVISIONS**

NO.	DATE	DESCRIPTION
1	MAY 19 2022	RE - ISSUED FOR RZ
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5	OCT 06 2023	RE-ISSUED FOR DP
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7	FEB 15 2024	RE - ISSUED FOR DP

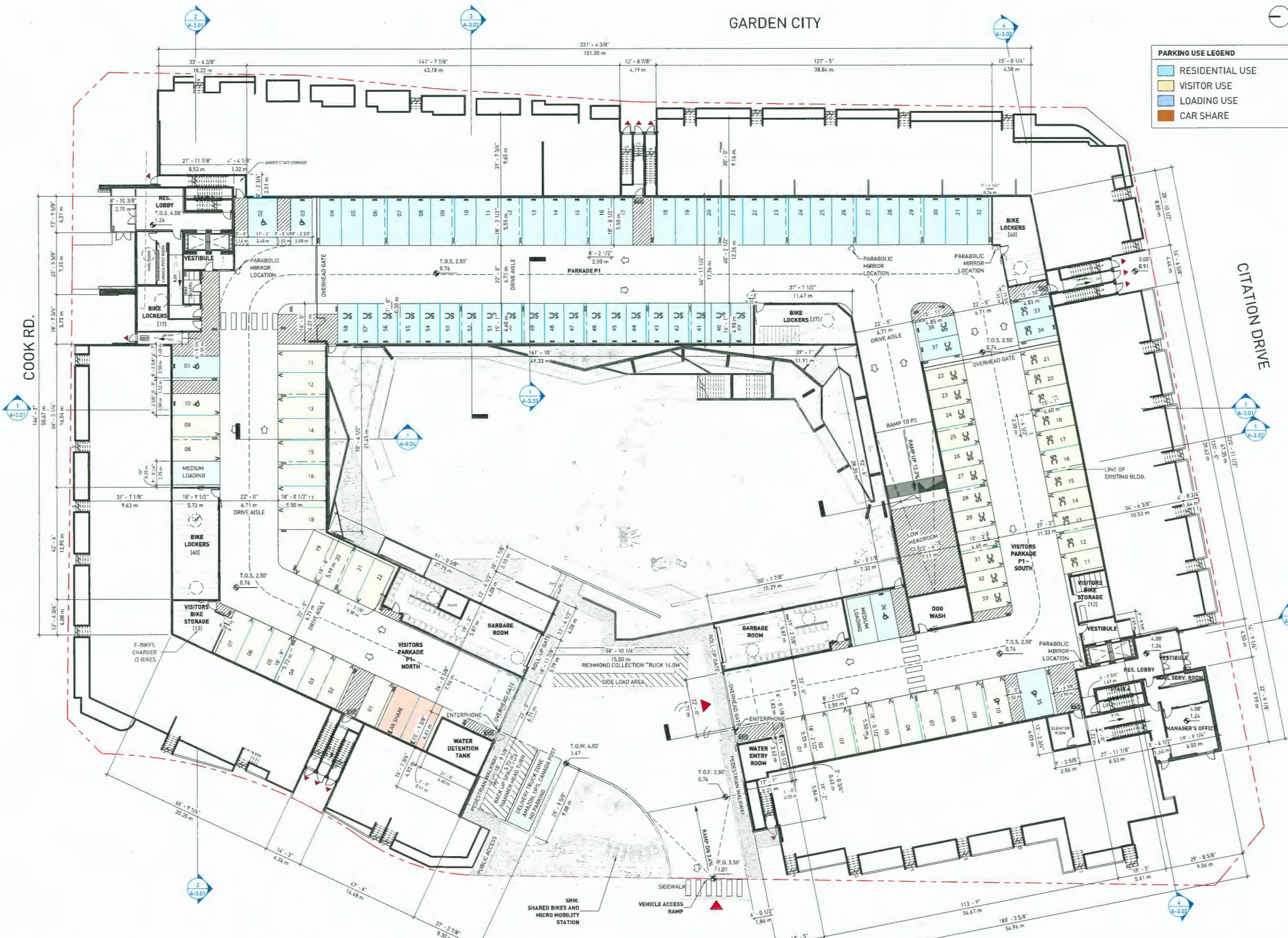
8880 COOK RD. &  
8751 CITATION DRIVE  
RICHMOND, BC

**FLOOR PLAN - P1**

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CHECKED BY	GBL
SCALE	As indicated
JOB NUMBER	20039

A-1.03

GARDEN CITY



**NOTES**  
 EV OUTLETS WILL NEED TO BE SUPPLIED WITH ENERGIZED OUTLETS IN ORDER TO SUPPORT EV CHARGING, WITH EACH PARKING SPACE CAPABLE OF RECEIVING "LEVEL 2" CHARGING AT A PERFORMANCE LEVEL OF AT LEAST 12 KWH WITHIN A MAX 8-HOUR PERIOD

**PARKING USE LEGEND**

<span style="color: cyan;">■</span>	RESIDENTIAL USE
<span style="color: yellow;">■</span>	VISITOR USE
<span style="color: blue;">■</span>	LOADING USE
<span style="color: orange;">■</span>	CAR SHARE

**PARKING - P2**

TYPE	COUNT
RESIDENTIAL - REGULAR	42
STALL	48
RESIDENTIAL - SMALL STALL	48
<b>TOTAL</b>	<b>110</b>

**PARKING - BIKES P2**

TYPE	COUNT
BICYCLE - HOR. CLASS 1	228
BICYCLE - HOR. STACKED CLASS 1	138
BICYCLE - LOCKER	11
BICYCLE - OVERSIZE	6
BICYCLE - VERT. CLASS 1	64
<b>TOTAL</b>	<b>447</b>

**P2 - GROSS AREA SUMMARY**

USE	AREA
AMENITY	1033 SF
BIKE LOCKERS	8218 SF
ELECTRICAL ROOM	1259 SF
EXCLUSION	873 SF
MECHANICAL	1646 SF
PARKADE	35300 SF
RESIDENTIAL CIRCULATION	281 SF
<b>TOTAL</b>	<b>48610 SF</b>

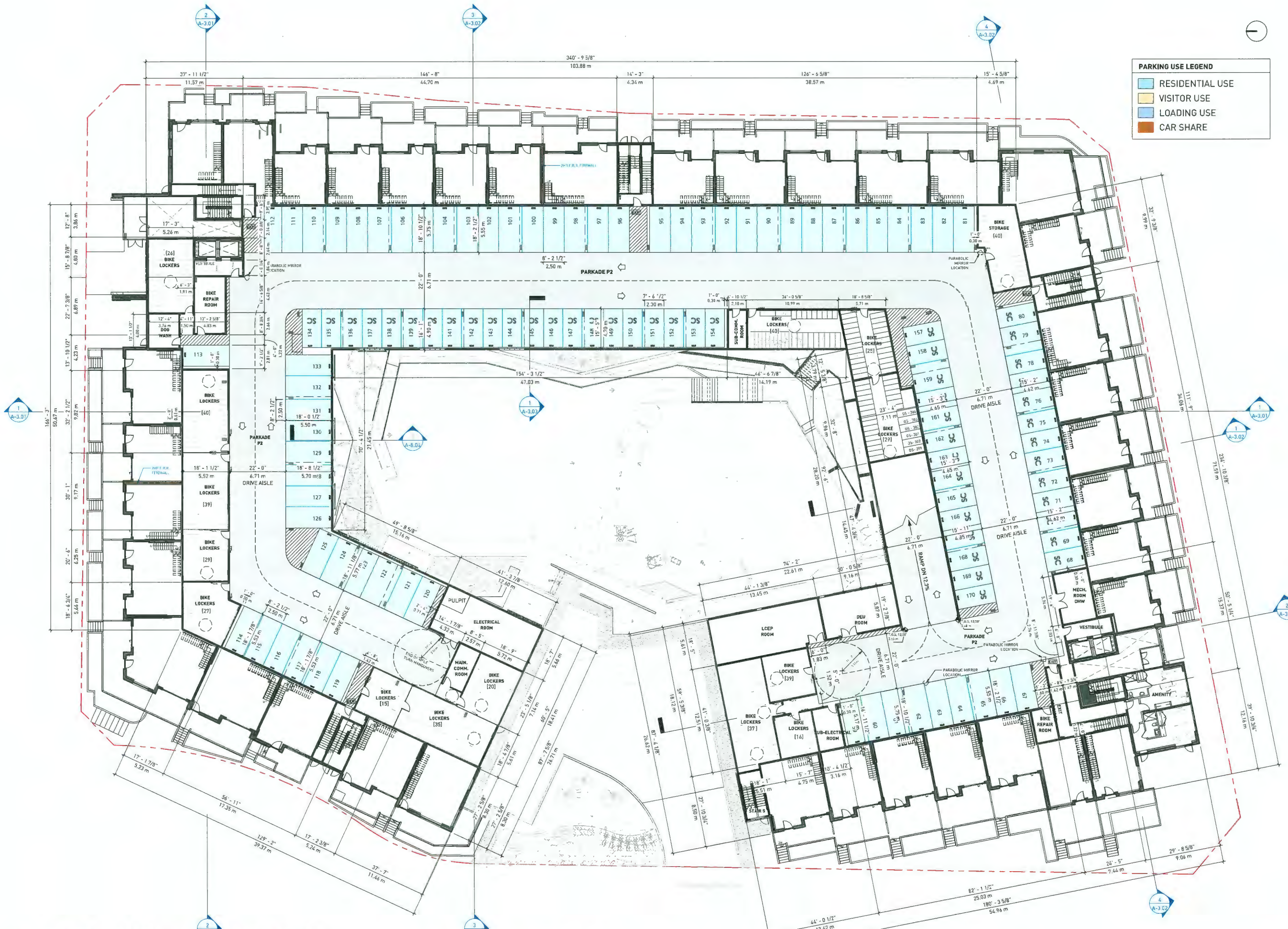
**REVISIONS**

NO.	DATE	DESCRIPTION
4	MAR 10 2023	ISSUED FOR DP
5	OCT 04 2023	RE-ISSUED FOR DP
6	JAN 19 2024	RE-ISSUED FOR DP
7	FEB 15 2024	RE-ISSUED FOR DP

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FLOOR PLAN - P2

DATE: 2/14/2024 4:18:12 PM  
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 CHECKED BY: GBL  
 SCALE: As Indicated  
 JOB NUMBER: 20039



NOTES

L1 - GROSS AREA SUMMARY	
USE	AREA
MANAGEMENT	38" SF
OUTDOOR AMENITY	28325 SF
PATIO	15037 SF
RESIDENTIAL CIRCULATION	3769 SF
TH	28571 SF
TOTAL	60990 SF

ALL UNITS BY LEVEL L1		
LEVEL	NAME	COUNT
NORTH	TH	13
	TH-MIR	4
		17
SOUTH	TH	19
	TH-MIR	1
		20
TOTAL		37

REVISIONS

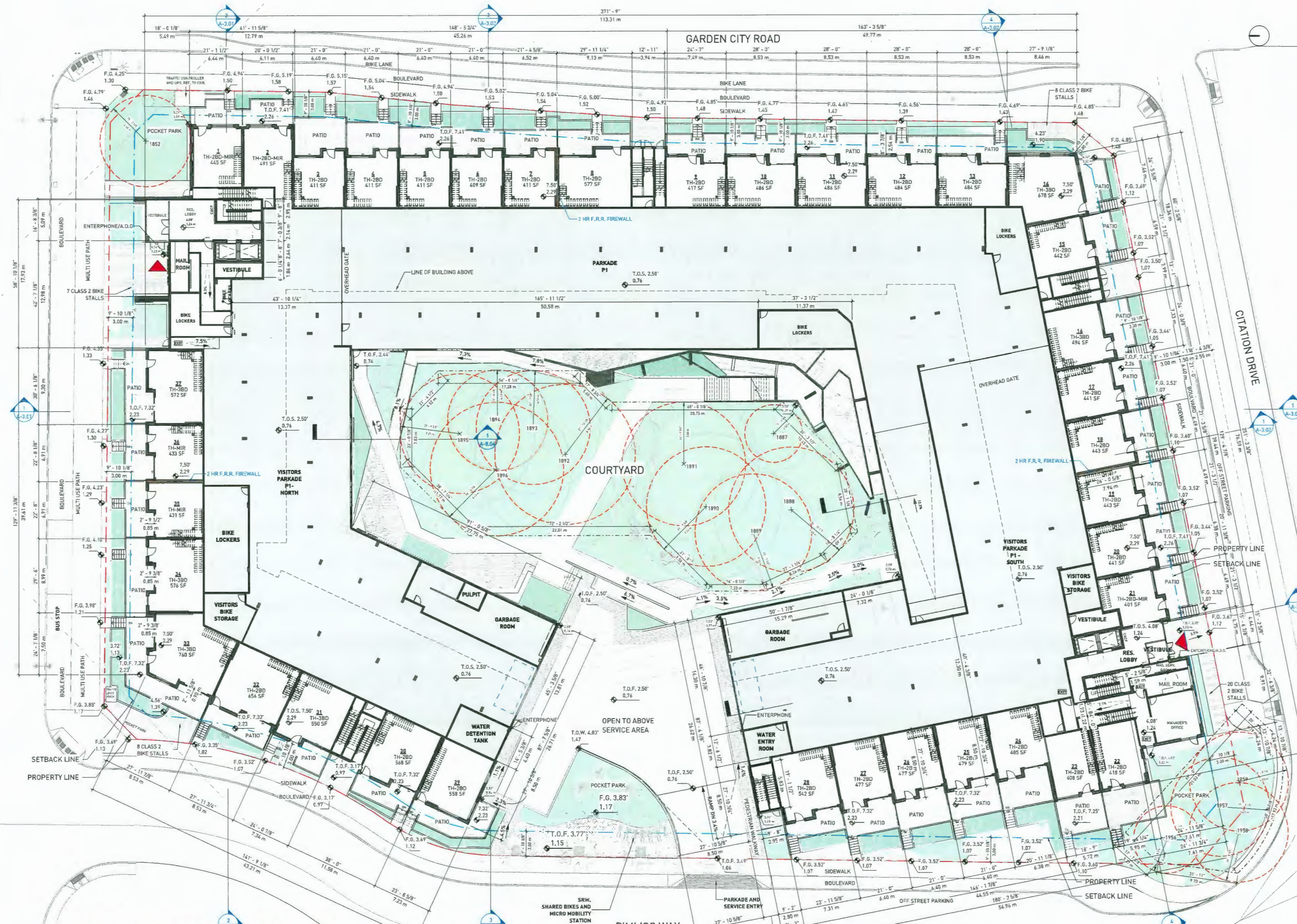
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7	FEB 15 2024	RE-ISSUED FOR DP

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FLOOR PLAN - L1

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SCALE: 1/16" = 1'-0"  
JOB NUMBER: 20039

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DP 23-014121

REFERENCE PLAN

February 20, 2024



NOTES

L2 - GROSS AREA SUMMARY

USE	AREA
AMENITY	1594 SF
BUH	720 SF
RESIDENTIAL CIRCULATION	5449 SF
EXCLUSION	1713 SF
MECH. SHAFT	260 SF
BALCONY	1871 SF
OUTDOOR AMENITY	1830 SF
OUTDOOR AREA	1562 SF
PATIO	6433 SF
1BD	4670 SF
2BD	5033 SF
3BD	2081 SF
STUDIO	9347 SF
TH	70474 SF
TOTAL	711665 SF

ALL UNITS BY LEVEL L2

LEVEL	NAME	COUNT
NORTH		
L2	1BD	5
L2	1BD - MIR	2
L2	2BD	3
L2	2BD - MIR	1
L2	3BD	1
L2	3BD - MIR	1
L2	STUDIO	10
L2	STUDIO - MIR	3
TOTAL: 26		
SOUTH		
L2	1BD	1
L2	2BD	2
L2	STUDIO	5
L2	STUDIO - MIR	3
TOTAL: 37		

REVISIONS

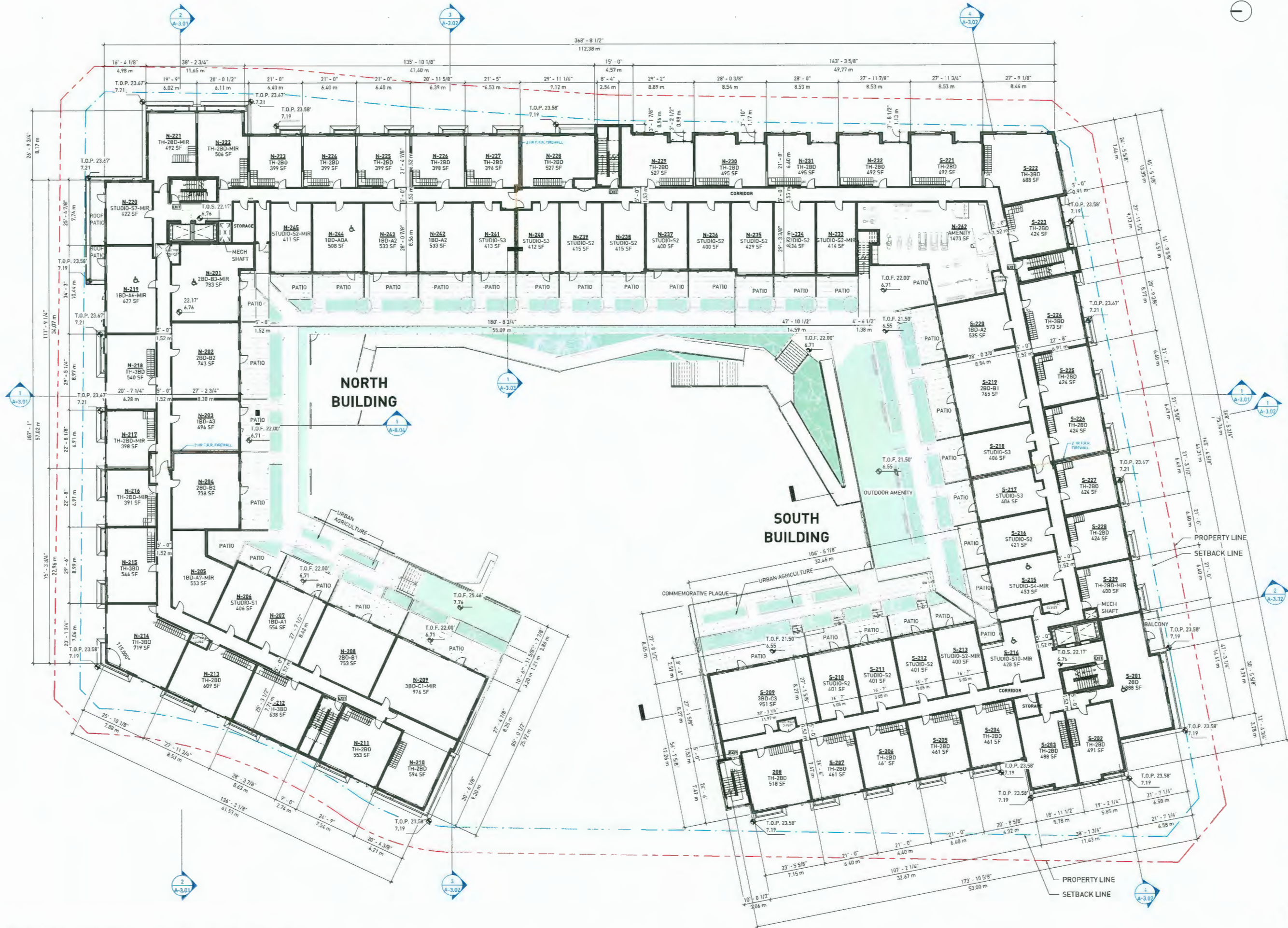
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FLOOR PLAN - L2

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JOB NUMBER 20039

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NOTES

L3 - GROSS AREA SUMMARY

USE	AREA
1BD	15643 SF
2BD	12911 SF
3BD	3414 SF
AMENITY	3269 SF
BALCONY	5558 SF
BUH	320 SF
EXC. USION	521 SF
MECH. SHAFT	256 SF
OUTDOOR AMENITY	3416 SF
RESIDENTIAL CIRCULATION	4433 SF
STUDIO	8392 SF
TOTAL	60133 SF

ALL UNITS BY LEVEL L3

LEVEL	NAME	COUNT
NORTH		
L3	1BD	10
L3	1BD - MIR	8
L3	2BD	10
L3	2BD - MIR	3
L3	3BD	1
L3	3BD - MIR	1
L3	STUDIO	1
L3	STUDIO - MIR	5
SOUTH		
L3	1BD	7
L3	1BD - MIR	2
L3	2BD	3
L3	2BD - MIR	1
L3	3BD	1
L3	STUDIO	1
L3	STUDIO - MIR	12
TOTAL:	66	66

REVISIONS

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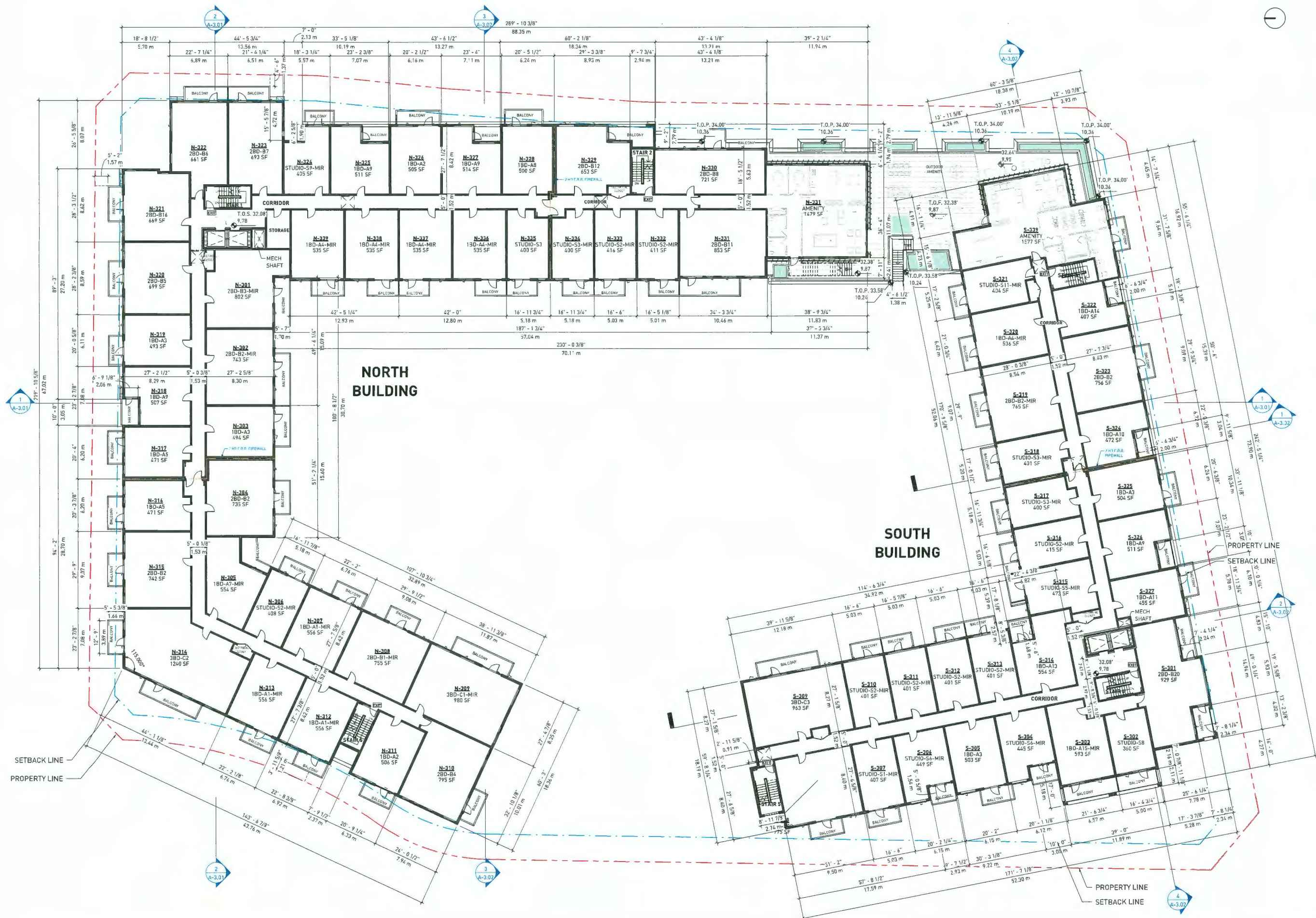
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FLOOR PLAN - L3

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JOB NUMBER 20039

A-1.07



NOTES

L4 - GROSS AREA SUMMARY		
USE	AREA	
1BD	14861 SF	
2BD	15254 SF	
3BD	4455 SF	
AMENITY	1099 SF	
BALCONY	5602 SF	
BUII	1340 SF	
EXC. SHAFT	1525 SF	
MECH. SHAFT	292 SF	
RESIDENTIAL_CIRCULATION	4416 SF	
STUDIO	7573 SF	
TOTAL	56888 SF	

ALL UNITS BY LEVEL L4		
LEVEL	NAME	COUNT
NORTH		
L4	1BD	15
L4	1BD - MIR	3
L4	2BD	12
L4	2BD - MIR	1
L4	3BD	1
L4	3BD - MIR	1
L4	STUDIO	1
L4	STUDIO - MIR	5
SOUTH		
L4	1BD	8
L4	1BD - MIR	1
L4	2BD	5
L4	2BD - MIR	1
L4	3BD	2
L4	STUDIO	3
L4	STUDIO - MIR	8
TOTAL:		67

REVISIONS

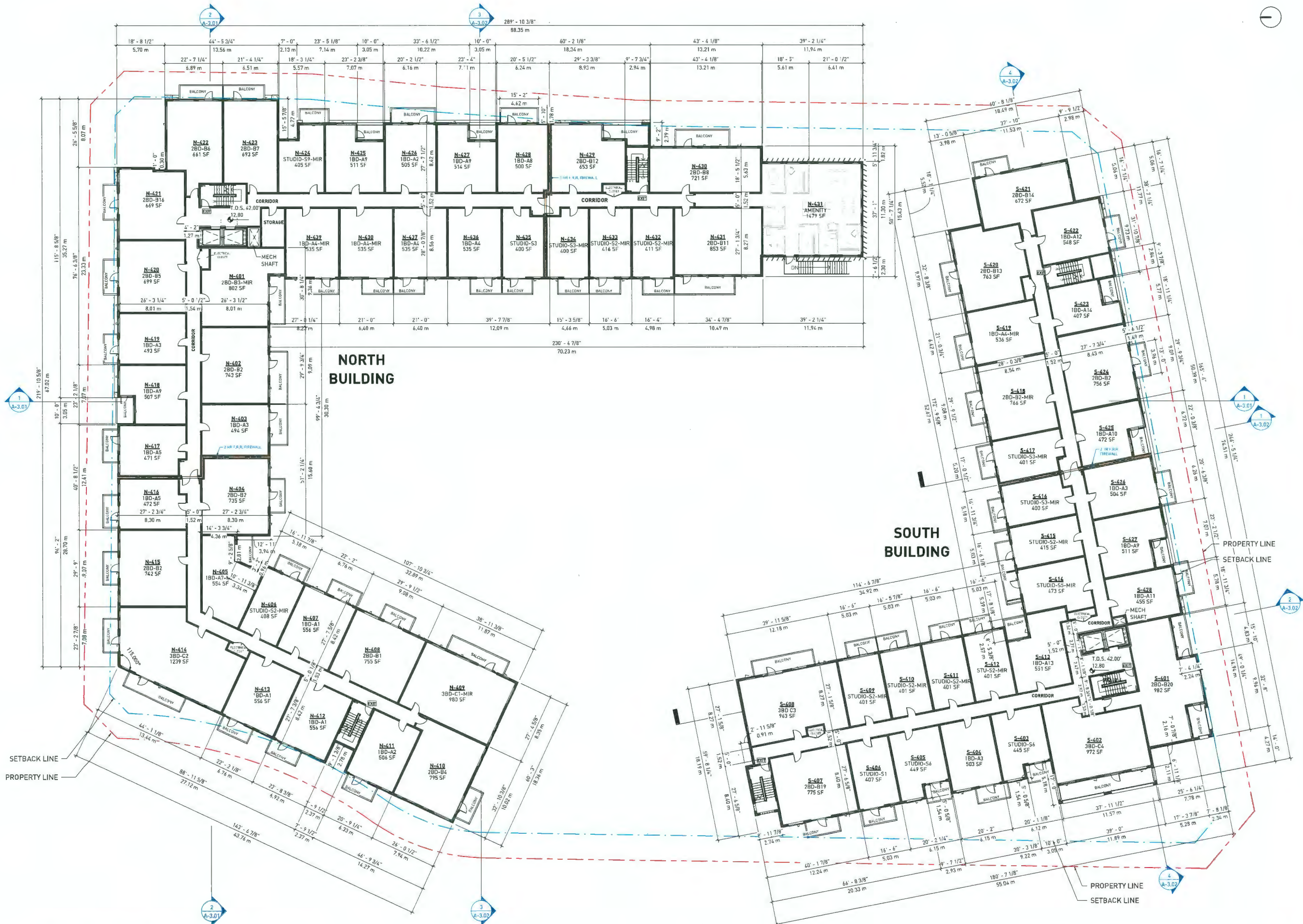
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FLOOR PLAN - L4

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NOTES

L5 - GROSS AREA SUMMARY	
USE	AREA
IBD	148" SF
ZBD	1830" SF
JBD	4454" SF
BALCONY	5587" SF
BUH	1333" SF
EXCLUSION	1527" SF
MECH. SHAFT	248" SF
RESIDENTIAL CIRCULATION	4413" SF
STUDIO	6691" SF
TOTAL	55432" SF

ALL UNITS BY LEVEL L5		
LEVEL	NAME	COUNT
NORTH		
L5	IBD	18
L5	ZBD	14
L5	JBD	1
L5	3BD - MIR	1
L5	STUDIO	4
SOUTH		
L5	IBD	9
L5	ZBD	6
L5	3BD	2
L5	STUDIO	11
TOTAL:		66

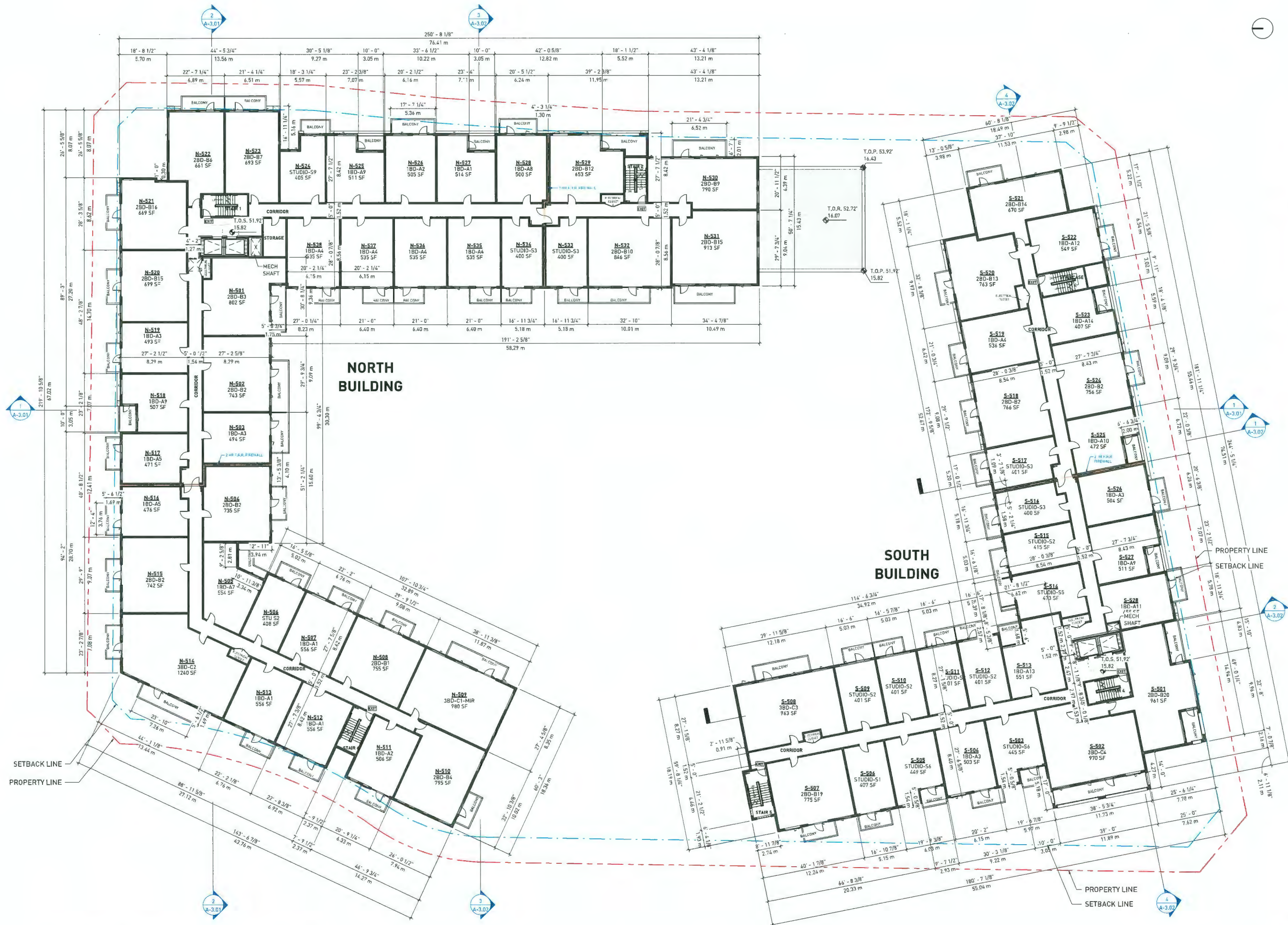
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3	AUG 3 2022 RE - ISSUED FOR RZ III
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FLOOR PLAN - L5

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SCALE 1/16" = 1'-0"  
JOB NUMBER 20039

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NOTES

L6 - GROSS AREA SUMMARY	
USE	AREA
1BD	14859 SF
2BD	16017 SF
3BD	4450 SF
BALCONY	5494 SF
BUH	1320 SF
EXCLUSION	1528 SF
MECH. SHAFT	259 SF
RESIDENTIAL CIRCULATION	4448 SF
ROOF DECK	255 SF
STUDIO	6670 SF
TOTAL	55318 SF

ALL UNITS BY LEVEL L6			
LEVEL	NAME	COUNT	
NORTH			
L6	1BD	18	
L6	2BD	14	
L6	3BD	2	
L6	STUDIO	4	
		38	
SOUTH			
L6	1BD	9	
L6	2BD	6	
L6	3BD	2	
L6	STUDIO	11	
		28	
TOTAL:		66	

REVISIONS		
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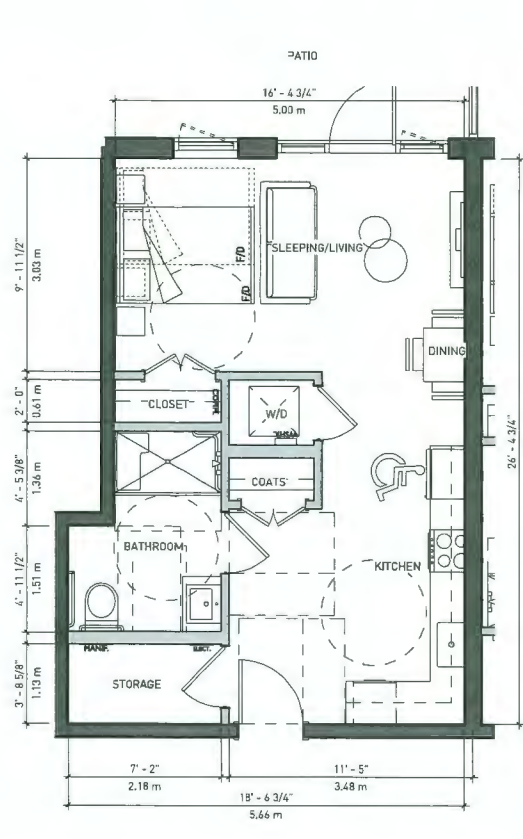
FLOOR PLAN - L6

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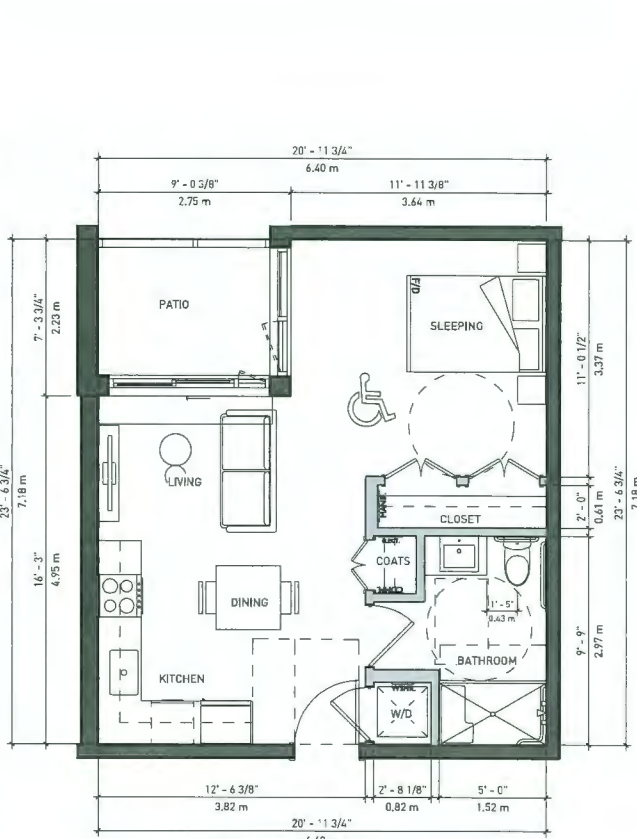


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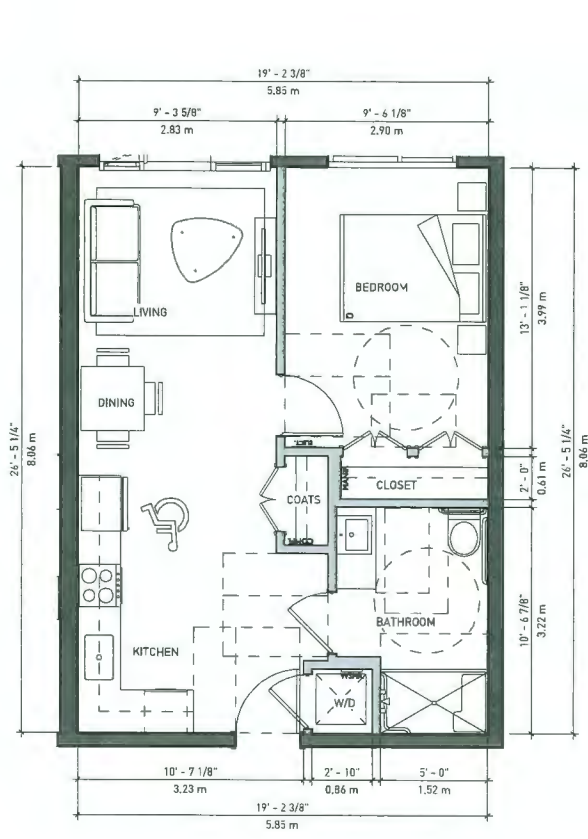
BASIC UNIVERSAL HOUSING (BUH) ARE DESIGNED IN ACCORDANCE WITH SECTION 4.16 OF RICHMOND ZONING BY LAW 8500



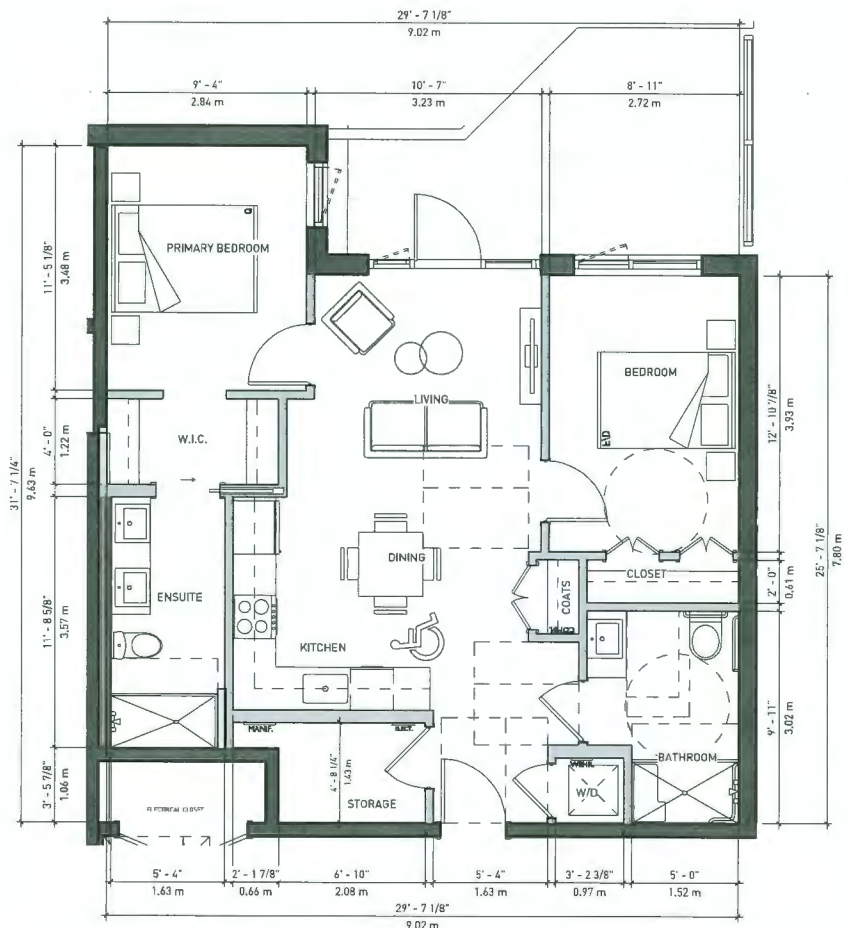
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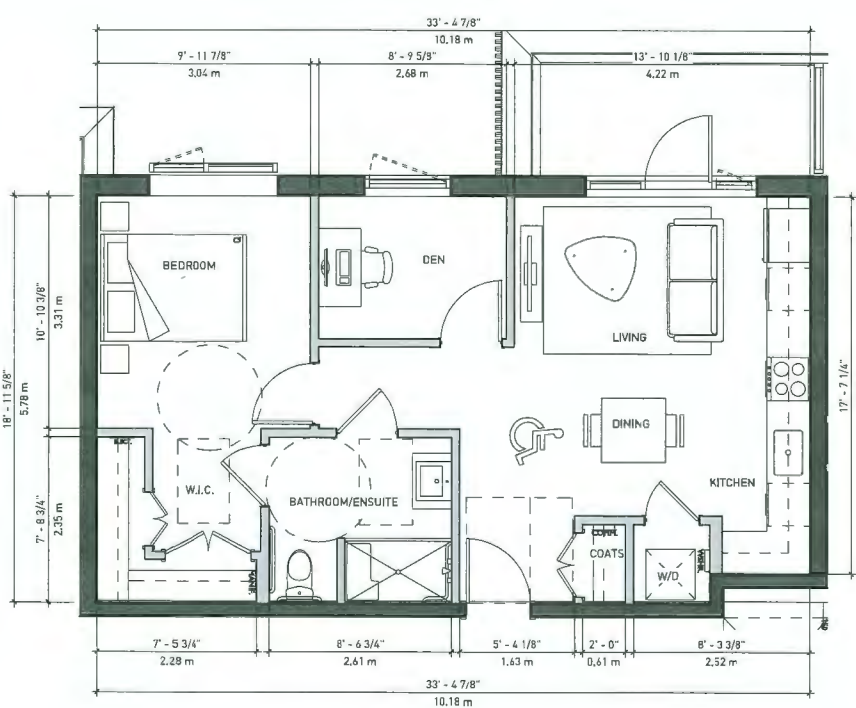
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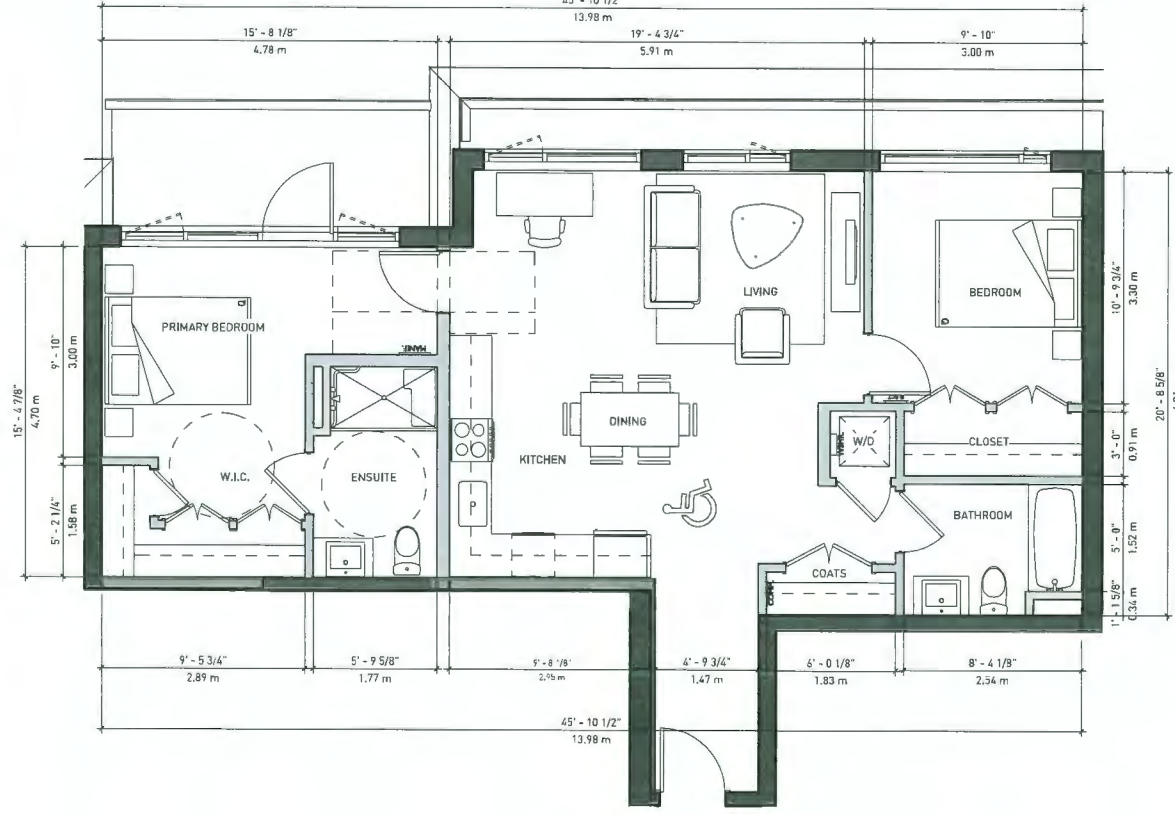
3 1 BED - ACCESSIBLE UNIT - TYPE A16  
 1/4" = 1'-0"



4 2BED - ACCESSIBLE UNIT - TYPE B3  
 1/4" = 1'-0"



5 1 BED - ACCESSIBLE UNIT - TYPE A6  
 1/4" = 1'-0"



6 2BED - ACCESSIBLE UNIT - TYPE B18  
 1/4" = 1'-0"



KEY PLAN

REVISIONS

NO.	DATE	DESCRIPTION
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TYP. ACCESSIBLE  
 UNITS

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