



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: November 17, 2025

From: Joshua Reis
Director, Development

File: DP 25-010558

Re: **Application by Fougere Architecture Inc. for a Development Permit at 8620, 8640 and 8660 Spires Road**

Staff Recommendation

That a Development Permit (DP) be issued which would permit the construction of one six-storey residential apartment building containing 90 rental units at 8620, 8640 and 8660 Spires Road on a site zoned "Low to Mid Rise Rental Apartment (ZLR49) – Spires Road (Brighthouse Village of City Centre)".

Joshua Reis
Director, Development
(604-247-4625)

JR:el
Att. 3

Staff Report

Origin

Fougere Architecture Inc., on the behalf of Lansdowne Manor Ltd. (Incorporation number: BC1270582; Director: Ravjot Singh Bains), has applied to the City of Richmond for permission to develop one six-storey residential apartment building containing 90 rental units at 8620, 8640 and 8660 Spires Road (Attachment 1) on a site zoned "Low to Mid Rise Rental Apartment (ZLR49) – Spires Road (Brighthouse Village of City Centre)"

The subject site is being rezoned from "Single Detached (RS1/E)" to "Low to Mid Rise Rental Apartment (ZLR49) – Spires Road (Brighthouse Village of City Centre)" under Bylaw 10635 (RZ 22-023633), which received third reading on February 10, 2025.

Key components of the proposal include:

- Approximately 4,586 m² (49,364 ft²) of purpose-built market rental housing consisting of 68 market rental housing units.
- Approximately 1,785 m² (19,219 ft²) of purpose-built low-end market rental housing consisting of 22 affordable housing rental units.
- A range of unit types from studio to three-bedroom apartment units. All low-end market rental housing units meet the minimum size requirements under the Low-End Market Rental Program.
- All units are designed to meet the Basic Universal Housing (BUH) provisions under the Richmond Zoning Bylaw 8500.
- Indoor amenity space of approximately 159 m² (1,716 ft²) in area, including a fitness centre, casual seating lounges, a guest suite, a shared workspace and a conference room.
- Outdoor amenity space of approximately 863 m² (9,294 ft²) in area, including a central courtyard, rooftop lounge seating area and children's play areas.

An associated Servicing Agreement (SA 25-008034) was secured through the Rezoning (RZ 22-023633) for the design and construction of road and engineering improvement works required with respect to the subject development. Works include frontage road works (such as ditch infill, road widening, City Centre standard new concrete sidewalk and landscaped boulevard), fire hydrant relocation, upgrades to watermain, storm sewer and sanitary sewer, as well as service connections.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north: Across Spires Road, two single-family homes on lots zoned "Single Detached (RS1/E)" and a recently completed 22-unit high-density townhouse development

(RZ 17-790301 & DP 19-875398) on a lot zoned “Parking Structure Townhouses (RTP4)”.

To the south: Existing two to three-storey townhouse developments fronting on Cook Road, on lots zoned “Low Density Townhouses (RTL1)” and “High Density Townhouses (RTH3)”.

To the east/west: Existing single-family homes on lots zoned “Single Detached (RS1/E)”.

Rezoning and Public Hearing Results

The associated rezoning application was granted first, second and third reading by Council at its meeting of February 10, 2025. No concerns regarding the rezoning application were expressed by the public during the Council meeting.

In response to comments at the Council meeting regarding opportunities for additional on-site tree replacements, staff have worked with the applicant and their landscape architect as part of this DP application to enhance the landscape plan, which proposes to incorporate an additional two replacement trees on site, increasing the total number of replacement trees from 20 to 22.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject DP application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Low to Mid Rise Rental Apartment (ZLR49) – Spires Road (Brighthouse Village of City Centre)” zone.

Advisory Design Panel Comments

The Advisory Design Panel (ADP) was supportive of the application, subject to consideration of the Panel’s comments. A copy of the relevant excerpt from the ADP Minutes from August 21, 2025, is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘***bold italics***’.

Analysis

Conditions of Adjacency

- The existing site grade along the east, west and south property lines will be maintained to provide an appropriate transition to existing adjacent residential developments and to facilitate tree retention.
- Perimeter drainage will be required as part of the Building Permit (BP) to ensure stormwater is managed and addressed through the development and will not impact the neighbouring properties.
- A 3.0 m wide public walkway is proposed at grade along the south property line. An interim 1.8 m high solid wood fence will be installed along the south property line but will be removed when the neighbouring sites to the south along Cook Road redevelop and provide a new east-west laneway between Cook Gate and Garden City, consistent with the City Centre Area Plan.

The subject site's future strata will be responsible for the maintenance of the Statutory Right-of-Way (SRW) areas. These arrangements have been secured through the rezoning process.

- A landscape buffer is proposed along the east and west property lines. This buffer will provide privacy for both adjacent properties, acting as a natural screen.
- Location and orientation of windows are carefully considered to minimize overlook onto existing adjacent developments. The proposed building design features smaller windows on the east and west façades from the second to fourth floors. Units on the fifth and sixth floors are stepped further back from the side property lines. In addition, there are no units completely facing the side yard, with the main living space for corner units oriented to the north or south.

Urban Design and Site Planning

- The proposed design (including building height, setbacks, frontage treatments and built form, etc.) is consistent with the design guidelines under “Sub-Area B.2 - Mixed Use - Mid-Rise Residential & Limited Commercial” in the City Centre Area Plan, which is intended for medium-density, mid-rise (four-eight storeys) housing.
- The proposed six-storey development features a five-storey wood frame building on top of a concrete ground-level parking structure. A 3.0 m setback to the parking structure and building is proposed along all property lines. This 3.0 m setback provides a sufficient tree protection zone to retain the existing trees along the east and south property lines.
- To improve the relationship with future neighbouring buildings, the top two storeys are tapered, providing a larger setback of 4.8 m from the side property lines.
- The lobby is proposed along the subject site's Spires Road frontage and is set at sidewalk elevation to support an accessible approach to the building.
- Vehicle access to the development will be from a new entry driveway off Spires Road at the east end of the subject site, adjacent to the proposed loading area.
- This development is located within a Transit-Oriented Area (TOA) as defined in the City of Richmond's Transit-Oriented Areas Designation Bylaw. Mandatory Transportation Demand Management (TDM) measures are required as per section 7.9A of City of Richmond Zoning Bylaw No. 8500. The following have been secured as part of the subject site's associated rezoning (RZ 22-023633):
 - Transit pass program, including a minimum of one 2-zone transit pass per dwelling unit for one year, or an equivalent contribution to the TDM Reserve Fund.
 - One car-share parking stall.
 - Two accessible parking stalls, a small-sized loading space (in addition to the required medium-sized loading space), 140 Class 1 (residential) bicycle parking spaces, and four bike maintenance workspaces are proposed as per the TDM requirements.
- In addition to the TDM measures, a total of 24 resident parking spaces (including three visitor parking spaces) will be provided on site, and a total of 18 Class 2 (visitor) bike parking spaces (which meet the minimum bylaw requirement) are proposed adjacent to the building entrance.

- The proposed indoor amenity includes a fitness room on level 1, a multipurpose space and a guest suite on level 2, a shared workspace and a conference room on level 6. The overall size of the proposed indoor amenity spaces (159 m²) exceeds the OCP requirements.
- A legal agreement has been secured at Rezoning to ensure the proposed guest suite is available for shared common use for temporary sleeping accommodation and not as a dwelling or other residential use.
- The overall size of the proposed outdoor amenity spaces exceeds the OCP and City Centre Area Plan (CCAP) requirements.
- Programmed outdoor amenity spaces are proposed at the podium level and roof level. The locations and sizes of the outdoor amenity spaces are appropriate for providing open landscape and amenity spaces convenient to all units.
- The east and west side yard walkways will provide access to the bike rooms, service rooms, and serve as the exit pathway for staircases #1 and #2. These walkways are 1.6 m wide and have a maximum slope of five per cent. Bollard lights will be provided along the walkways.
- A 3.0 m SRW along the south property line has been secured at Rezoning to facilitate construction of a 1.5 m wide walkway and future construction of a sidewalk and lighting strip along the future rear lane to be provided by others as development proceeds.

Architectural Form and Character

- The overall design intent is to introduce a mid-rise residential building form in a manner that maintains a pedestrian-oriented building massing that, in turn, respects the scale of the immediate neighbourhood.
- The parkade and service rooms are screened by a centrally located entrance lobby, indoor amenity space and four ground-oriented units along the site's Spires Road frontage.
- The building massing above the one storey parkade has an inverted U shape that is oriented to maximize sunlight penetration for homes facing the podium courtyard.
- To improve the relationship with future neighbouring buildings, the top two-storeys are tapered by providing larger setbacks (i.e., 4.8 m instead of 3.0 m).
- The building design features a strong horizontal expression with materials and colours reinforcing the building shape. A strong street wall datum is provided on the fourth level to align with the townhouse developments within the neighbourhood.
- To achieve a minimal contemporary architectural expression, colour highlights of dark grey and brown are applied. Upper storeys are treated in a light colour (white) to reinforce the street wall design.
- The building's ground floor level has larger ceiling heights and is treated with different materials and finishes to enhance the streetscape and to create interest at a pedestrian scale.
- The central amenity area at the ground level has full-height glazing that differentiates it from the brick clad homes on either side.
- The framed entrance in contrasting colour and window wall system helps to create a variety to the façade and defines the building entrance.

- The project acoustical engineer confirmed conventional exterior construction including windows and doors with standard thermal glazing (minimum 3-13-3) for this development satisfies the OCP interior noise level design criteria within the aircraft noise area.

Tree Management

- Tree retention and replacement was reviewed at the rezoning stage and revisited at DP stage.
- Since the time of the rezoning the applicant has proposed a revision to the tree preservation scheme to include the removal of a hedgerow (Hedge #101) located on the neighbouring property to the west at 8680 Spires Road due to its proximity to the proposed building and required fire access route. The applicant has acquired authorization from the neighbouring property owners for the removal. New landscaping with trees will be planted along the common property line to soften the interface with the neighbouring property.
- The applicant has committed to retain and protect 13 trees on-site and three trees on the neighbouring properties to the south. A Tree Survival Security in the amount of \$110,000.00 for the 13 bylaw-sized trees (specifically tag# 103, 807-817, 827) has been secured at Rezoning stage.
- A total of 70 replacement trees is required for the removal of 32 bylaw-sized and two significant trees on site. The applicant is proposing to plant 22 replacement trees on site, including four conifers and 18 deciduous trees.
- The applicant has agreed to provide a voluntary contribution of \$36,000.00 (\$750.00/tree) to the City's Tree Compensation Fund, in lieu of planting the remaining 48 replacement trees, prior to DP issuance.

Landscape Design and Open Space Design

- The overall landscape concept satisfactorily enhances the interface between the proposed development and the public realm.
- At the main building entrance, functional and user-friendly features such as a convenient bike parking area and a seating area are incorporated into the landscape design, offering a resting spot for pedestrians, residents, and visitors, as well as encouraging social interaction.
- Street-front units feature landscaped front yards with canopy trees and multi-layered plantings of both evergreen hedges and ornamental grasses to define public and private spaces.
- Landscape buffers are provided along both side property lines to offer privacy, soften the building edges and create a transition between adjacent properties.
- At the rear of the building (south), a walkway is integrated to connect the side walkways, forming a continuous pedestrian circulation loop around the building.
- Within the 3.0 m SRW at the rear, sod lawns have been included to enhance the green space and provide a soft, open area that complements the walkway.
- The level 2 amenity space is in the central courtyard of the building. It is primarily designed for adults and includes an open lawn, lounge seating, a picnic table and chess tables.

- Units surrounding the amenity space on the podium level are separated by 3 ft. raised planters. These planters feature shade trees and layers of shrubs, which enhance privacy and create a pleasant green edge to the space.
- The rooftop amenity space is primarily designed for children but also includes amenities such as a lounge seating area for adults. The space is thoughtfully divided to accommodate different age groups, allowing for age-appropriate play while making it easier for parents to supervise their children.
- In the play area designed for children aged 5–12, a musical playground with goblet drum and Cascata Bells, as well as cozy domes and pixel seating blocks with sunshade, are proposed. These play and seating furniture provide seating, shelter and climbing play opportunities.
- For younger children, a separate play area with a play panel, forklift play equipment and rubber half balls are proposed. These features encourage pretend play, balance and other early developmental skills.
- Planters and small ornamental trees are also proposed on the rooftop amenity area to enhance its aesthetic appeal and add greenery to the space, creating a visually pleasing environment.
- An irrigation system is proposed to ensure continued maintenance of live landscaping on site.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$374,398.26 prior to DP issuance.

Crime Prevention Through Environmental Design

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the proposed development.
- There are clear sight lines to ensure unobstructed views to entrances of the building and homes at grade.
- A comprehensive lighting strategy has been proposed to ensure safety, visibility and user comfort throughout the site. Lighting is provided at all major building entrances, within the outdoor amenity areas, along pedestrian pathways, at the bike parking areas and near any steps or grade changes.
- All fixtures are downward facing, minimizing light spill and glare and helping to reduce light pollution.

Sustainability and Renewable Energy


- The subject site is located within the City Centre District Energy Utility (CCDEU) service area. The development's mechanical system will be designed to provide its own heating and cooling systems for operation at occupancy and designed to be fully compatible with the City Centre District Energy Utility for heating and cooling when offsite systems are developed in the future.
- Consistent with Provincial Energy Step Code and Zero Carbon Step Code requirements, this project is expected to be designed to achieve Step 3 with Emission Level 2. A confirmation letter has been received from a coordinating registered professional. Details on how all units are to be built and maintained to this commitment will be reviewed at BP stage.

Accessible Housing

- The proposed development includes 90 BUH units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all the accessibility provisions listed in the BUH Features section of the City's Zoning Bylaw and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell handrails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and DP Guidelines, staff recommend that the DP be endorsed, and issuance by Council be recommended.



Edwin Lee
Planner 2
(604-276-4121)

EL:js

- Att.
- 1: Location Map
 - 2: Development Application Data Sheet
 - 3: Advisory Design Panel Minutes

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$374,398.26 (based on the cost estimate provided by a CSLA registered landscape Architect including 10% contingency). A legal agreement is required to accompany the Landscape Security to set the terms for its use and release.
- City acceptance of the developer's offer to voluntarily contribute \$36,000.00 to the City's Tree Compensation Fund for the planting of 48 replacement trees within the City.
- Payment of all fees in full for the cost associated with the Development Permit Panel Meeting Notices, consistent with the City's Consolidated Fees Bylaw No 8636, as amended.

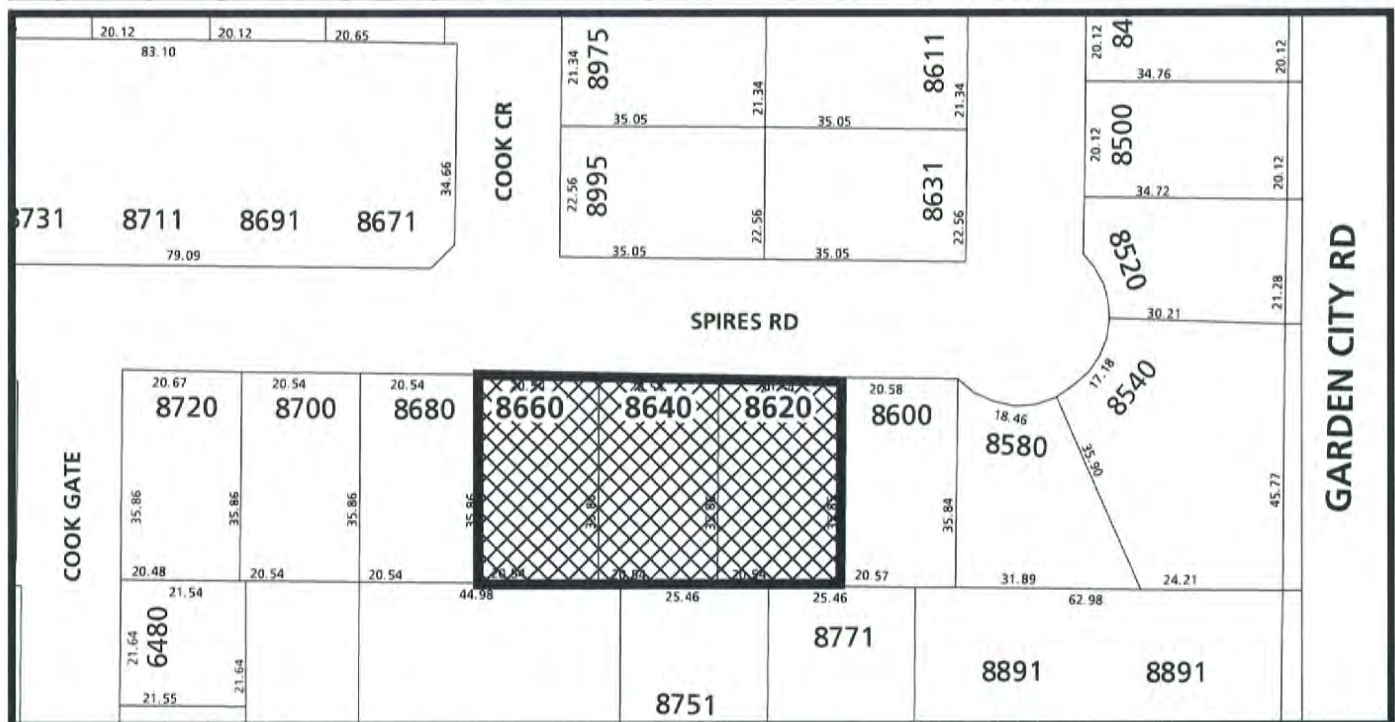
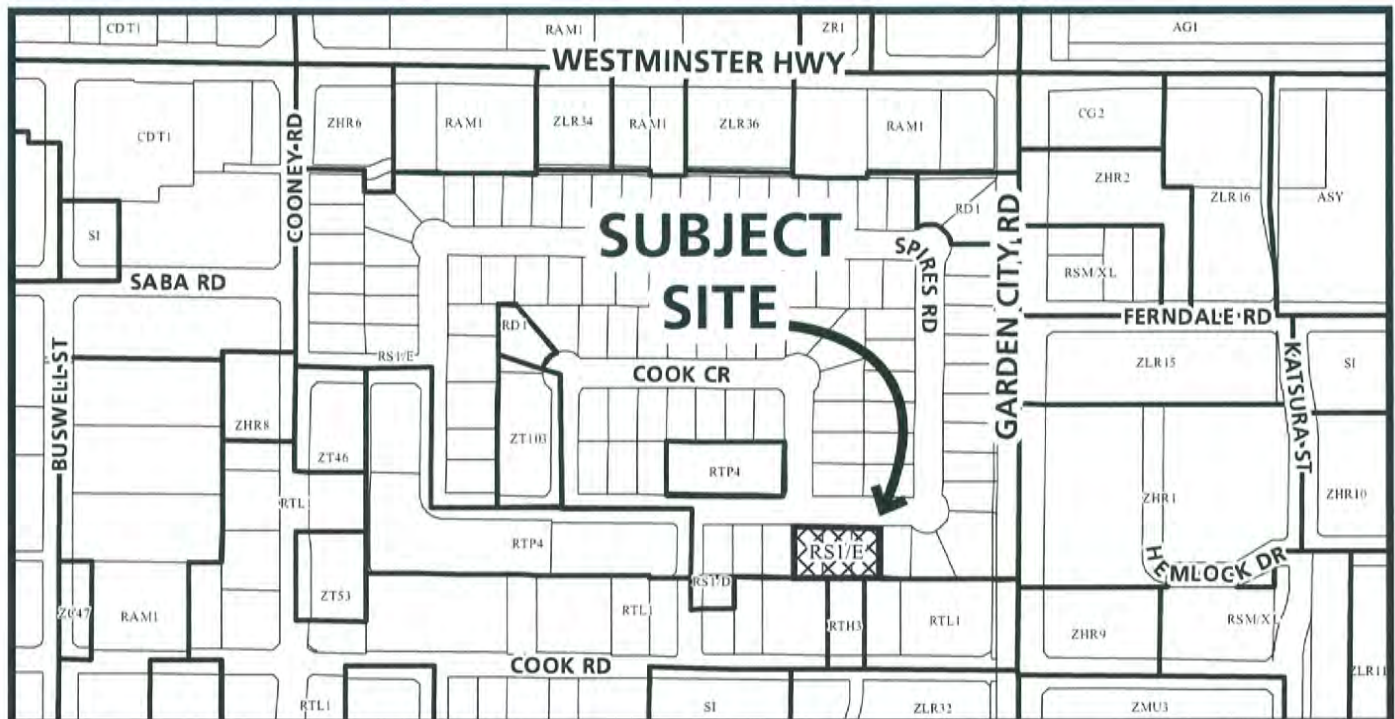
Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).
- If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



City of
Richmond

ATTACHMENT 1



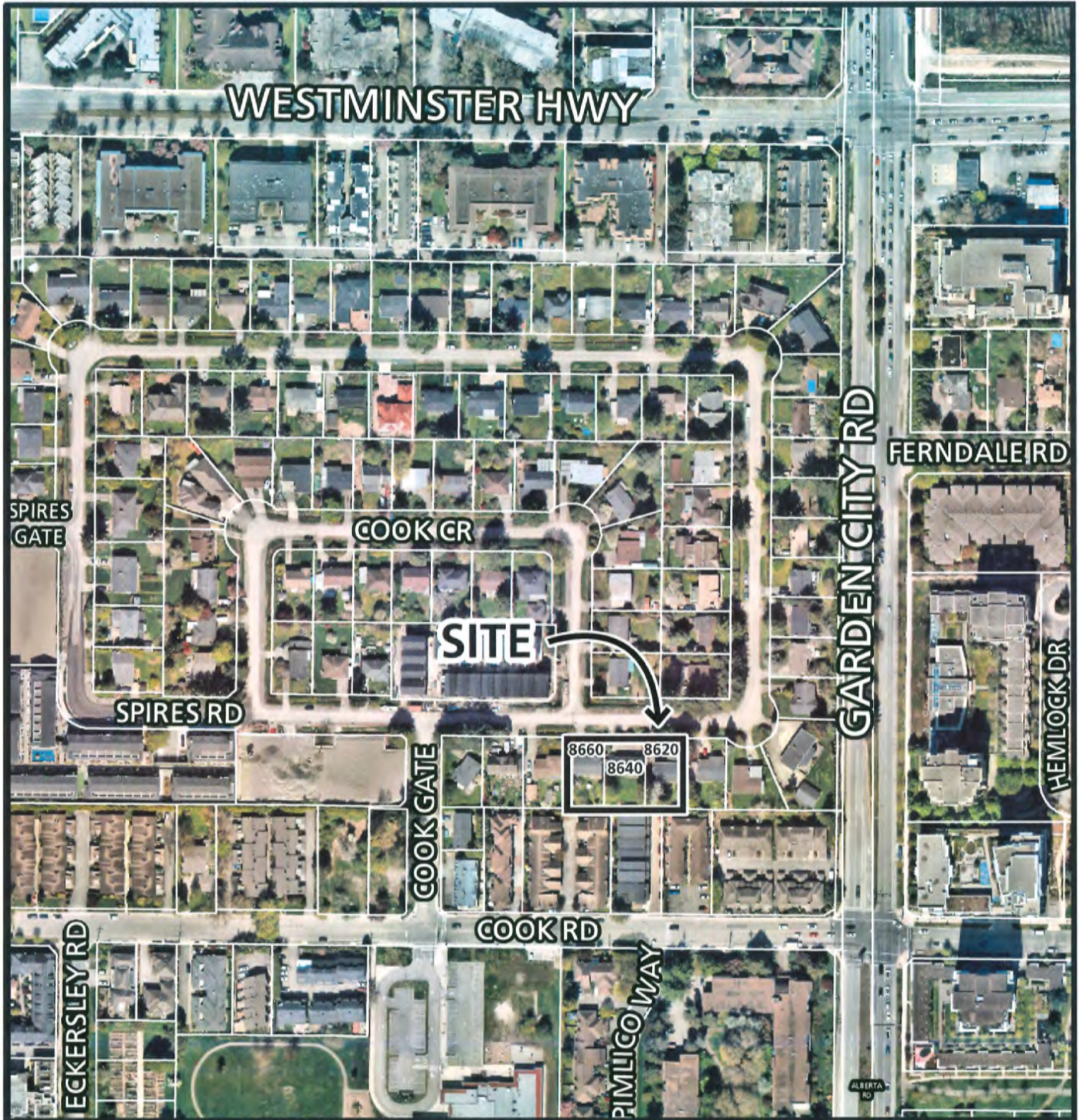
DP 25-010558

Original Date: 04/24/25
Revision Date:

Note: Dimensions are in METRES



City of
Richmond



DP 25-010558

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DP 25-010558

Attachment 2

Address: 8620, 8640, and 8660 Spires Road

Applicant: Fougere Architecture Inc.

Owner: Lansdowne Manor Ltd.

Planning Area(s): City Centre

Floor Area Gross: 7,277 m²

Floor Area Net: 6,371 m²

	Existing	Proposed
Site Area:	2,334 m ² (25,123 ft ²)	No Change
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Area Plan Designation:	Specific Land Use – Brighthouse Village: General Urban T5 Sub-Area B.2: Mixed Use – Mid-Rise Residential & Limited Commercial	No Change
Zoning:	Single-Family Residential	Multiple-Family Residential
Number of Units:	Neighbourhood Residential	No Change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 2.83 in which: Max. 1.965 Market Rental Max. 0.765 Affordable Housing Max. 0.1 Indoor Amenity	1.965 Market Rental 0.765 Affordable Housing 0.068 Indoor Amenity	none permitted
Lot Coverage – Building:	Max. 66%	65.4%	none
Lot Coverage – Non-porous Surfaces:	Max. 80%	79.6%	none
Lot Coverage – Landscaping:	Min. 20%	20%	none
Setback – Front Yard/ Spires Road (m):	Min. 3.0 m	3.0 m Min.	none
Setback – Interior Side Yard (m):	Min. 4.8 m & 3.0 m min. for portion of building less than 16 m in height	4.8 m / 3.0 m for portion of building less than 16 m in height	none
Setback – Rear/South (m):	Min. 3.0 m	3.0 m	none
Height (m):	Max. 27.0 m (6 storeys)	26.7 m	none
Development Site Area:	Min. 2,334 m ²	2,334 m ²	none
Off-street Parking Spaces – Regular (R):	n/a	22 spaces	none

Off-street Parking Spaces – Visitor (V):	n/a	3 spaces	
Accessible Parking Spaces:	Min. 0.02 spaces per unit (90 x 0.02 = 2 spaces)	2 spaces	none
Loading Spaces:	1 medium + 1 small (TDM)	1 medium + 1 small	none
Bicycle Parking Spaces (Class 1):	1/bedroom = 140 spaces (TDM) including a min. of 5% oversized spaces (i.e., Min. 7)	140 spaces including 7 oversized spaces	none
Bicycle Parking Spaces (Class 2):	Min. 0.2 spaces per unit (90 x 0.2 = 18 spaces)	18 spaces	none
Amenity Space – Indoor:	Min. 100 m ² or Cash-in-lieu	159 m ²	none

Excerpt from the Minutes from
The Design Panel Meeting

Thursday, August 21, 2025 – 4:00 p.m.
Virtual, Microsoft Teams

1. **DP 25-010558 - SIX-STOREY, 100% RENTAL RESIDENTIAL BUILDING**

ARCHITECT: Wayne Fougere Architecture

LANDSCAPE ARCHITECT: PMG Landscape Architects

PROPERTY LOCATION: 8620-8660 Spires Road

Applicant's Presentation

Architect Wayne Fougere, Wayne Fougere Architecture, and Landscape Architect Yiwen Ruan, PMG Landscape Architects, presented the project and answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- appreciate the retention of as many trees as possible on the subject site;
Noted.
- consider introducing some fenestrations on the podium wall along the south elevation of the building to mitigate a potential dark walkway/future laneway along the south property line;

Wherever possible, 9'x9' openings are provided on the south parkade wall. Openings are intentionally omitted beside the exit path to comply with BCBC exit exposure requirements.

- the proposed children's play area for young children on the rooftop common amenity area is successful given the constraints of a wood frame building; however, the checkerboard play surface for older children is not a good fit as it might end up being underutilized; consider instead installing a small court play area that does not involve the use of balls to provide more activity for older children;

The checkerboard play surface is replaced with poured in place rubber play surface to accommodate other play equipment and furniture. The landscape structures cozy domes offer shade and a quiet space for overstimulated kid and/or a space to socialize. It's outer surface also offers some climbing experience. Maglin pixel seating are clustered together under a sunshade so older kids can gather, hang out or socialize, and even play board games.

- consider installing a non-permanent shade structure, e.g. a shade cell on the rooftop common amenity area to provide shade for users;

Considered. Non permanent shade structures with seating are provided.

- consider increasing the soil volume for the proposed planting along the west and north property lines to provide adequate soil volume; also ensure access to the structural soil underneath the sidewalk to the north;

Soil and structural soil volumes have been increased on the ground level, so that each tree has a minimum of 10m³ growing medium.

- consider installing additional sound barrier between the bicycle rooms and living spaces on the ground floor which are being separated only by a wall; *8" concrete wall, 1" air space, 2 1/2" steel stud @ 16" oc, 2 1/2" of 2 insulation is proposed. The wall assembly will be reviewed during construction phase to ensure applicable STC ratings.*
- consider improving the design of the lobby space to create a sense of arrival to the building;

We tried to enlarge the lobby area by moving walls to north and south direction. However, this was not successful due to the proposed grading, and we would like to keep the main entrance and the parkade entrance as accessible path of travel for people using wheelchair, strollers etc. The lobby area is improved by adding double swing doors, and by shifting the electrical closet to east of the elevator. The entrance lobby is 9'4" wide and 18'3" deep.

- the proposed space allocated for mail and parcel deliveries is not adequate; consider providing a larger space to accommodate parcel deliveries given the large number of rental units proposed;

Mail and parcel delivery requirements were reviewed per Canada post guidelines and changes were made. Additional parcel lockers are also provided near the mail area.

- consider introducing more elements on the façade of the proposed street-fronting ground-oriented units to make them stand out better and provide a town home character to these units given that the proposed development is surrounded by existing townhouse developments;

Elevations of these homes were revised. To define the individuality of a townhome character, separate canopy elements are introduced to each unit. To make the entrance more prominent, coloured entry doors are proposed. Additionally, fencing is provided around the patio to define the private space for each home and add visual privacy from the surroundings.

- in general, appreciate the articulation of the exterior of the building on the upper levels and support the ground and upper-level setbacks;

Noted.

- ensure an efficient access/circulation into the building for residents moving in either from the street or from the parkade;

To ensure easy movement while carrying large furniture from the street to the elevator area, double swing doors are provided on the travel path. Elevator access from the small loading area will be through the gated residential parking area.

- appreciate the project providing a large number of rental housing units;

Noted.

- does not support the proposed ground floor exterior treatment as it appears oversimplified and does not provide sufficient articulation to the streetwall level; consider raising the ground-oriented street-fronting units and provide articulation to the front of these units such as creating a porch while ensuring accessibility;

Raising the units will impact the accessibility and visit-ability features provided for these homes. Building elevations have been revised to consider this and other ADP comments.

- agree with the Panel comment regarding concerns on the choice of white EIFS due to durability and long-term maintenance issues; consider instead using a fiber cementitious exterior cladding material which is affordable;

EIFS is replaced with Hardie panels.

- investigate opportunities to provide shading on the rooftop common amenity area;

Non permanent shade structures with seating are provided.

- investigate ways to provide privacy to balconies in close proximity to each other, e.g. balconies of Units 208-210 on the second floor, without impacting their access to sunlight;

Reviewed. Obscure glass panels are introduced where there is an overlook concern.

- the applicant has done enough to address future east and west adjacencies through installation of smaller windows on the side elevations; however, the south façade of the building is not well articulated; consider introducing lighting on the ground level of the south façade and bring out the south walkway to the property line to install plantings adjacent to the building that go up the wall to provide articulation to the south facade and soften the edge;

Since the south setback is a ROW for future lane, large/tall plantings are not explored. Hanging greenery from the level 2 podium is proposed to soften the south ground floor concrete wall. Grill openings on the south façade and well-lit parkade will provide surveillance for the south walkway.

- appreciate the applicant's presentation and the project providing the needed rental housing units in the City;

Noted.

- agree with the Panel comment that the design of the street-fronting ground floor units should align with the character of the neighbourhood which includes recent townhouse developments;

Building elevations have been revised to consider this and other ADP comments.

- appreciate the distribution of affordable housing units throughout the apartment building;

Noted.

- agree with the Panel comment that the applicant's design team should provide more attention to the proposed play structures on the rooftop for children 5-12 years old as the proposed ping-pong table and checkerboard play surface are not appropriate for this age group; consider instead installing more age-appropriate play structures that would provide more suitable play opportunities and activities for this age group;

The space is thoughtfully divided to accommodate different age groups, allowing for age-appropriate play while making it easier for parents to supervise their children.

In the play area designed for children aged 5–12, we've proposed musical play equipment (goblet drum and cascata bells), cozy domes and pixel seating blocks with sunshade. These play and seating furniture provide seating, shelter and even some climbing play opportunities. These features are intended to encourage active play, rest and support the development of social interaction, coordination and balance.

For younger children, there's a separate play area with a play panel, forklift play equipment, and rubber balls. These encourage pretend play, balance, and other early developmental skills.

- appreciate the provision of Basic Universal Housing (BUH) features for all rental units; consider providing some fully accessible units;

Even if there are a few accessible units in a building, there is no guarantee that they will be available for someone who needs them. With 100% BUH units, tenants will have the ability to live in a home that can accommodate most needs, and additional features can be added as needed.

- the proposed development will provide the much-needed rental housing in the City;

Noted.

- agree with Panel comments regarding the need for further articulation of the ground plane façade to better align with the project's neighbourhood context and reflect the typical design of townhouses in the City which includes porches and individually expressed residential entries;

Building elevations have been revised to consider this and other ADP comments.

- investigate ways to provide privacy to the balconies as they are the only private outdoor space for the units;

Reviewed. Obscure glass panels are introduced where there is an overlook concern.

- consider a bit of playfulness but not too many colours and materials for the building exterior as changes in vertical treatment will already add interest to and improve the ground plane façade;

Building elevations have been revised to consider this and other ADP comments.

- there are good elements in the project; however, the design team's intention to articulate the lower level building façade to provide a town home character is not translated into the proposed design of the ground floor units as the subdivision of these units does not stand out; the proposed design uses a uniform material for the ground floor units resulting in a static lower level building façade; consider undulation and change of materials on the lower level façade to provide articulation and a town home character for the ground floor units; this approach would provide a good precedent for future similar developments in the neighbourhood;

Considered. Building elevations have been revised to consider this and other ADP comments.

- the common rooftop amenity area is large; consider installing shading, e.g. awnings, umbrellas or a pergola (if allowed by the Building Code) and programmatic articulation of planters to provide separation of spaces for different uses; and

Non permanent shade structures with seating are provided.

- the proposed trees on the Level 2 common outdoor amenity space are suitable in terms of their size and character and will provide shade; the proposed trees on the rooftop common outdoor amenity space appears token but could provide seasonal interest; consider further articulation to the landscaping on the rooftop common amenity space taking into consideration cost and structural issues. ***Sunshades offer additional shade on the rooftop level, since additional trees would require more soil volumes which is not feasible due to structural concerns on a wood frame building.***

The following written comments submitted by Panel member Alan Tse were read into the record by Sara Badyal, Acting Staff Liaison for the Panel:

- the proposal represents a substantial departure from the surrounding built form, including recent townhouse developments in the Spires Neighbourhood, in terms of massing, scale, and typology; as adjacent lots are expected to be developed similarly, this project should set a strong precedent for the area's future character;

Noted.

- overall, the project appears inconsistent with the character of the neighbourhood, particularly with newer townhouse forms; the City Centre Area Plan (CCAP) calls for low-rise streetwall buildings (9–12m) with upper storeys treated in a lighter, glassier architectural style and set back from the streetwall;

The street wall concept that was expressed on the east, west and south elevations, has now been included on the north elevation.

The street wall design includes a high level of articulation on upper levels juxtaposing protruding rooms and recessed balconies. Additional upper storey setback would result in lower density and a smaller number of rental homes, so this was not considered. Upper storeys are treated in lighter colour to reinforce the street wall design.

- the five-storey high vertical expanse of white EIFS along Spires Road accentuates the building's height and bulk; breaking this with a more consistent streetwall would help to reintroduce a pedestrian scale at street level;

See above reply to the comment above.

- a townhouse-scaled design response up to streetwall level is encouraged to better align with the neighbourhood context; the OCP emphasizes breaking up massing into smaller vertical elements to reflect the rhythm of rowhouses, further supported by CCAP's direction for stoops, porches, and individually expressed residential entries;

Building elevations have been revised to consider this and other ADP comments.

- Based on OCP and CCAP guidance, consider the following:

- introduce a stronger streetwall datum at the 3rd or 4th storey to align with nearby townhouse rooflines and ensure consistent material treatment up to that level;

Considered. The front elevation was revised accordingly. A datum at the 4th storey is created by extending the application of brown Hardie panels.

- support a more consistent upper-storey setback along Spires Road with a lighter, glassier architectural expression;

Light coloured materials are used for upper stories.

- strengthen articulation of ground-oriented units through vertical rhythm, clearly defined entries, and features such as stoops and porches (See CCAP sections 3.1.5.F.d and 3.1.8.A);

Building elevations have been revised to consider this and other ADP comments.

- a consistent 3- to 4-storey streetwall could help visually integrate larger elements such as the entry lobby and parking access by reducing their prominence;

Considered. The front elevation was revised accordingly.

- differentiation between the streetwall and upper storeys is supported; the proposed lighter colour and horizontal expression at the upper levels appear appropriate and consistent with OCP/CCAP intent;

Noted

- the proposed 3m side yard setbacks are generally acceptable up to four storeys; however, bay window projections reduce the effective building separation, undermining the required 6m minimum (3m from each property line);

Considered. Bay window projections are removed and 3m minimum setback is maintained from the building face.

- if adjacent developments adopt similar side yard pathways, it is recommended that walkways be relocated to the property line, with planting adjacent to the building to soften the edge and deter graffiti; this would also enable a unified pedestrian route along both sides of the property line; ***Shifting the walkway to provide planting areas adjacent to the building will result in the loss of the five proposed trees. Since the proposed landscape design is only able to provide 22 out of the 78 required replacement trees, we would like to provide as many trees as possible.***
- yards intended for future public connections should be secured via easements to guarantee access; site lighting should reinforce public use and support CPTED principles, including lighting at facial recognition height;

Noted.

- the extensive use of EIFS results in large, flat facades that emphasize the building's mass and diverge from the finer-grained material character of nearby townhouses reference to local precedents—using fibre-cement siding, brick, or similar—could improve contextual fit while retaining a contemporary aesthetic; and

EIFS is replaced with hardie panels.

- white EIFS in particular is prone to weathering, mildew, and staining in wet climates, which may affect the building's long-term appearance; alternative materials with better durability and weather resistance are preferred.

EIFS is replaced with hardie panels.

Panel Decision

It was moved and seconded

That DP 25-010558 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED

Opposed: Vikas Tanwar, Winston Chong, and Judy Liu



No. DP 25-010558

To the Holder: Fougere Architecture Inc.
Property Address: 8620, 8640, and 8660 Spires Road
Address: 2425 Quebec Street, Suite 202
Vancouver, BC V5T 4L6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #34 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$374,398.26 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 25-010558

To the Holder: Fougere Architecture Inc.
Property Address: 8620, 8640, and 8660 Spires Road
Address: 2425 Quebec Street, Suite 202
Vancouver, BC V5T 4L6

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



LANDSOWNE MANOR

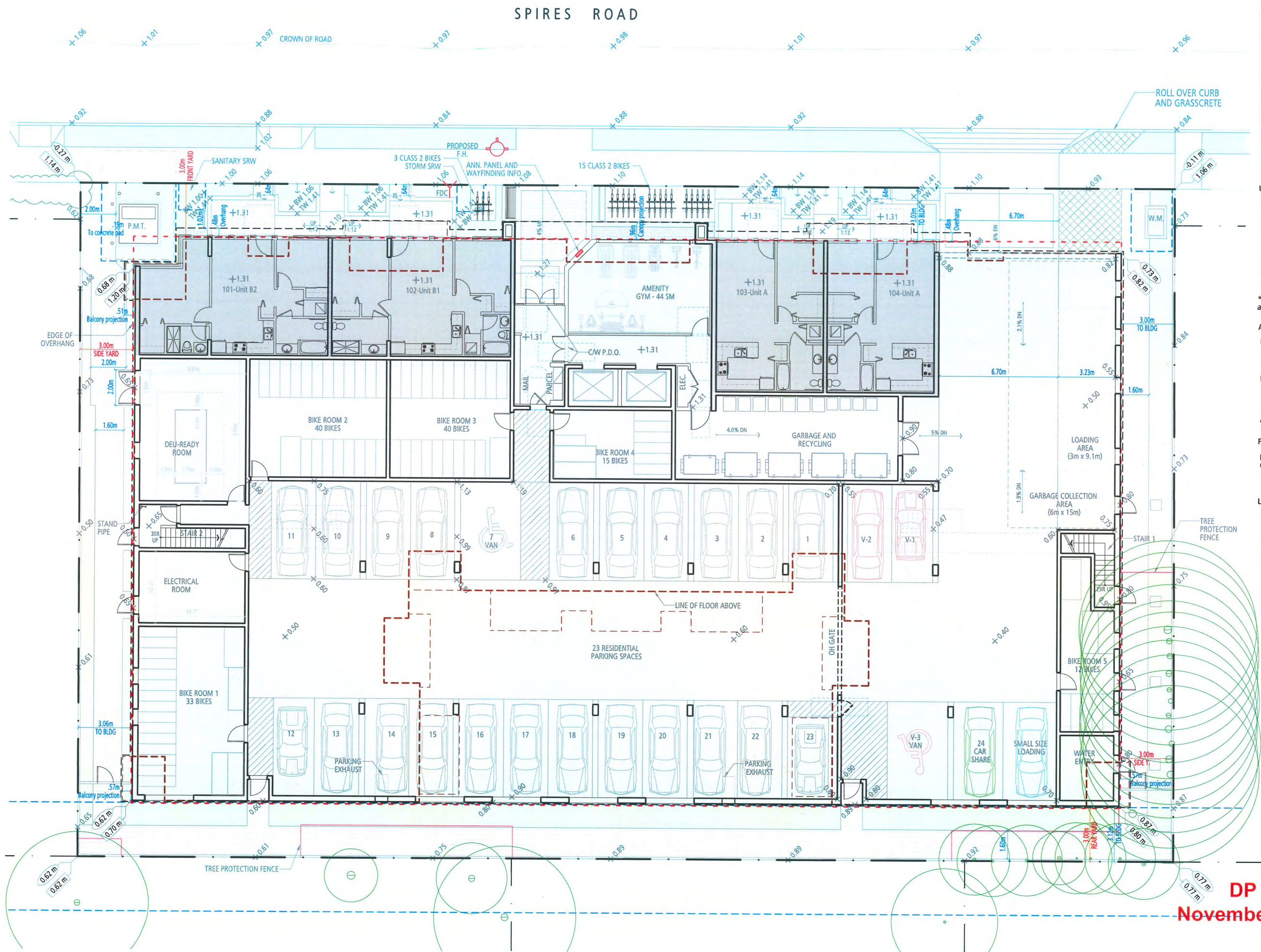
Residential rental development at 8620, 8640, 8660 Spires Road
for Bains Properties Inc. by Fougere Architecture Inc.

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PROJECT TEAM

CLIENT	ARCHITECT	CIVIL	TRANSPORTATION	LANDSCAPE ARCHITECT	ARBORIST	GEOTECHNICAL ENGINEER	SURVEYOR	ENVELOPE AND ENERGY	BUILDING CODE
BAINS PROPERTIES INC. 110 - 6086 Russ Baker Way Richmond, BC V7B 1B4	FOUGERE ARCHITECTURE INC. 202 - 2425 Quebec Street Vancouver, BC V5T 4L6	TERRA NOBIS CONSULTING INC. #203 - 15585 24th Avenue, Surrey, BC, V4A 2J4	ISL ENGINEERING 3999 Henning Dr #201 Burnaby, BC V5C 6P9	PMG LANDSCAPE ARCHITECTS C100 4185 Still Creek Dr. Burnaby BC V5C6G9	QBC TREE CONSULTING AND SERVICES LTD. 207-7471 Blundell Rd Richmond, BC V6Y 1J6	GEOCAPIC CONSULTANTS LTD. 1779 West 75th Avenue Vancouver, BC V6P 6P2	J.C. TAM & ASSOCIATES #115 - 8833 Odlin Crescent Richmond, B.C. V6X 3Z7	AQUA-COAST ENGINEERING LTD. 201-5155 Ladner Trunk Rd Delta, BC V4K 1W4	RATIO CODE CONSULTANTS LTD 2930 Argo Place Burnaby, BC V3J 7G3
Contact: Rav Bains rav@bainsproperties.ca	Contact: Wayne Fougere wayne@fougerearchitecture.ca	Contact: Jimmy Lee jlee@terranobis.com	Contact: Borg Chan bchan@islengineering.com	Contact: Yiwen Ruan yiwen@pmglandscape.com	Contact: Matthew Wong qbctree@gmail.com	Contact: Roberto Avendano avendano@geopacific.ca	Contact: Johnson Tam office@jctam.com	Contact: Aaron MacLellan amaclellan@aqua-coast.ca	Contact: Joe Krevs jk@ratiocode.ca

DP 25-010558
November 17, 2025
PLAN # 1



SITE DATA	
SITE AREA	25,123 sf (2,334 sm) (0.577 ACRES) 0.23 HECTARES
UNIT COUNT	90
DENSITY	167 UPA
ZONE	SITE SPECIFIC ZONE
TOTAL NET FLOOR AREA	6,372 sm
FAR	2.730
LOT COVERAGE AREA	1,527 sm
COVERAGE %	65.4%
MAXIMUM BUILDING HEIGHT	87'-7" (26.70 m)
SETBACK	
MINIMUM FRONT YARD (Spires Road)	3.03 m
MINIMUM REAR YARD (S.R.W./Future Lane)	3.12 m
MINIMUM INTERIOR SIDE YARD (East)	3.00 m
MINIMUM INTERIOR SIDE YARD (West)	3.06 m

UNIT MIX					
UNIT TYPE	MARKET RENTAL		AFFORDABLE	TOTAL HOMES	
STUDIO	6	9%	1	5%	7 8%
1 BEDROOM	45	66%	1	5%	46 51%
2 BEDROOM	17	17%	7	32%	24 27%
3 BEDROOM	0	0%	13	59%	13 14%
TOTAL	68		22		90

* All homes have Basic Universal Housing features and are designed in accordance with section 4.16 of Richmond zoning bylaw 8500.

AVERAGE FINISHED GRADE CALCULATION	
FINISHED GRADES @ PL	1.06 m
	0.77 m
	0.62 m
	1.14 m
FINISHED GRADES @ BLDG	0.82 m
	0.80 m
	0.70 m
	1.20 m
AVERAGE FINISHED GRADE	0.89 m
FLOOD CONSTRUCTION LEVEL	
HIGHEST ELEVATION OF THE CROWN OF SPIRES ROAD	1.01 m + 0.30 m
	1.31 m

LEGEND

- TREES RETAINED
- TREES REMOVED
- RIGHT OF WAY
- TREE PROTECTION FENCE

SCALE 1" = 200"

0 5' 10' 20'

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LANDSDOWNE MANOR
8620, 8640, 8660 SPIRES ROAD

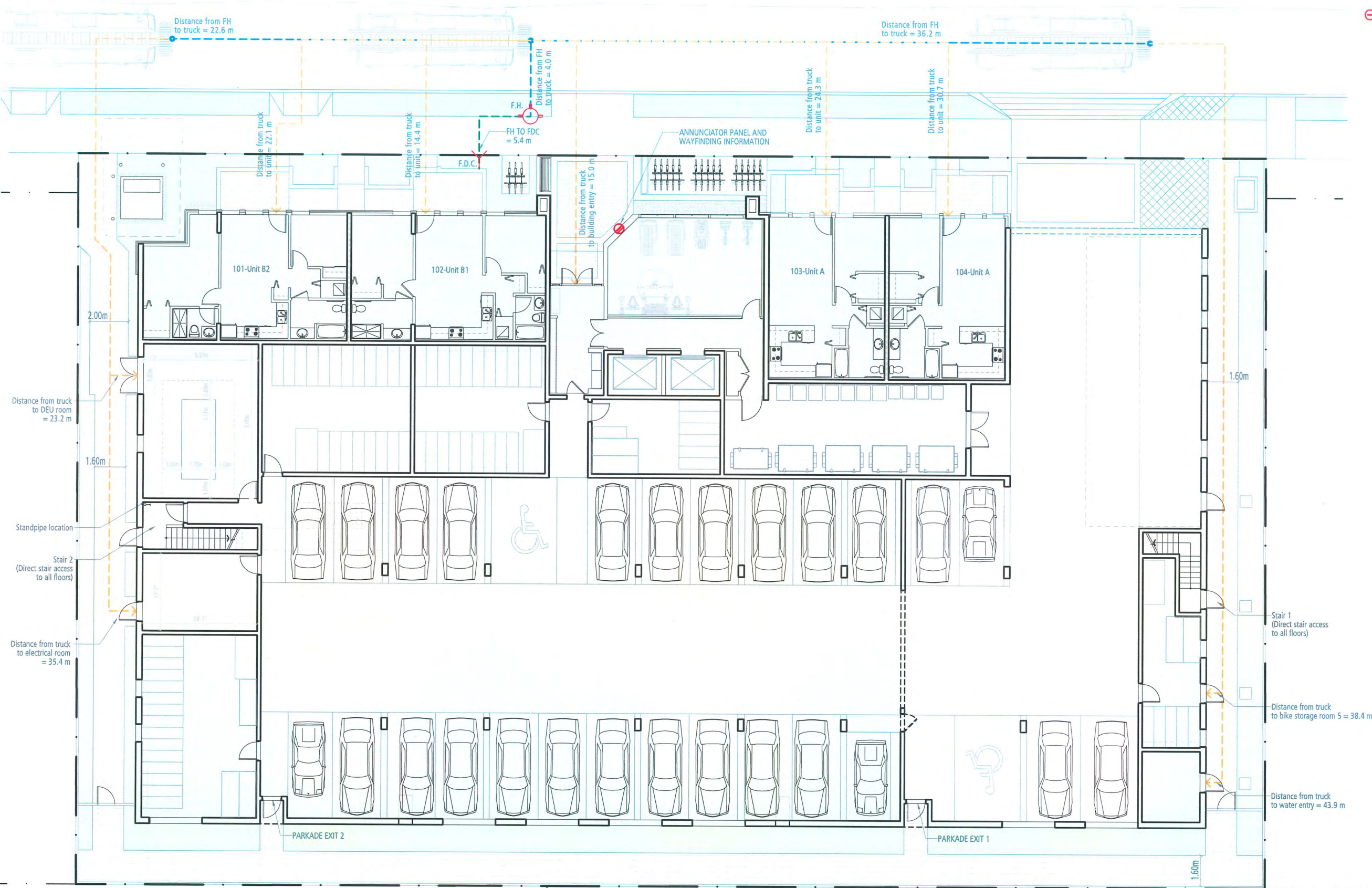
DP 25-010558
November 17, 2025
PLAN # 2

DP 25-010558
NOVEMBER 06, 2025

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202 - 2425 Quebec Street 604.873.2907
Vancouver, BC V5T 4L6 fougerearchitecture.ca

LEGEND

-  FIRE HYDRANT
-  FIRE DEPARTMENT CONNECTION
-  ANNUNCIATOR PANEL



DP 25-010558
November 17, 2025
PLAN # 3



FIRE ACCESS PLAN

SCALE 1" = 200"

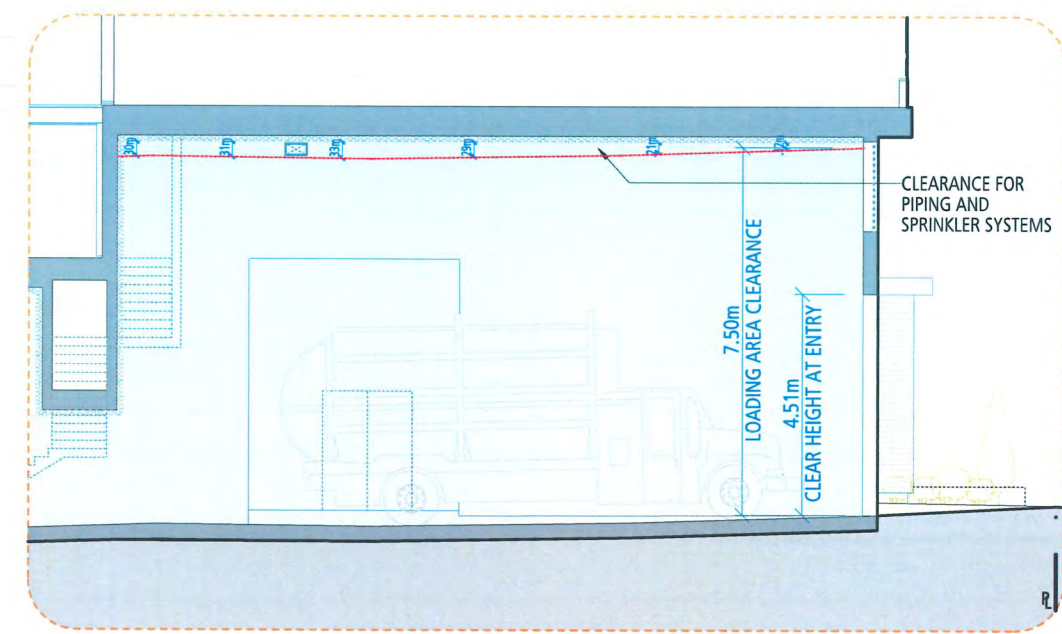


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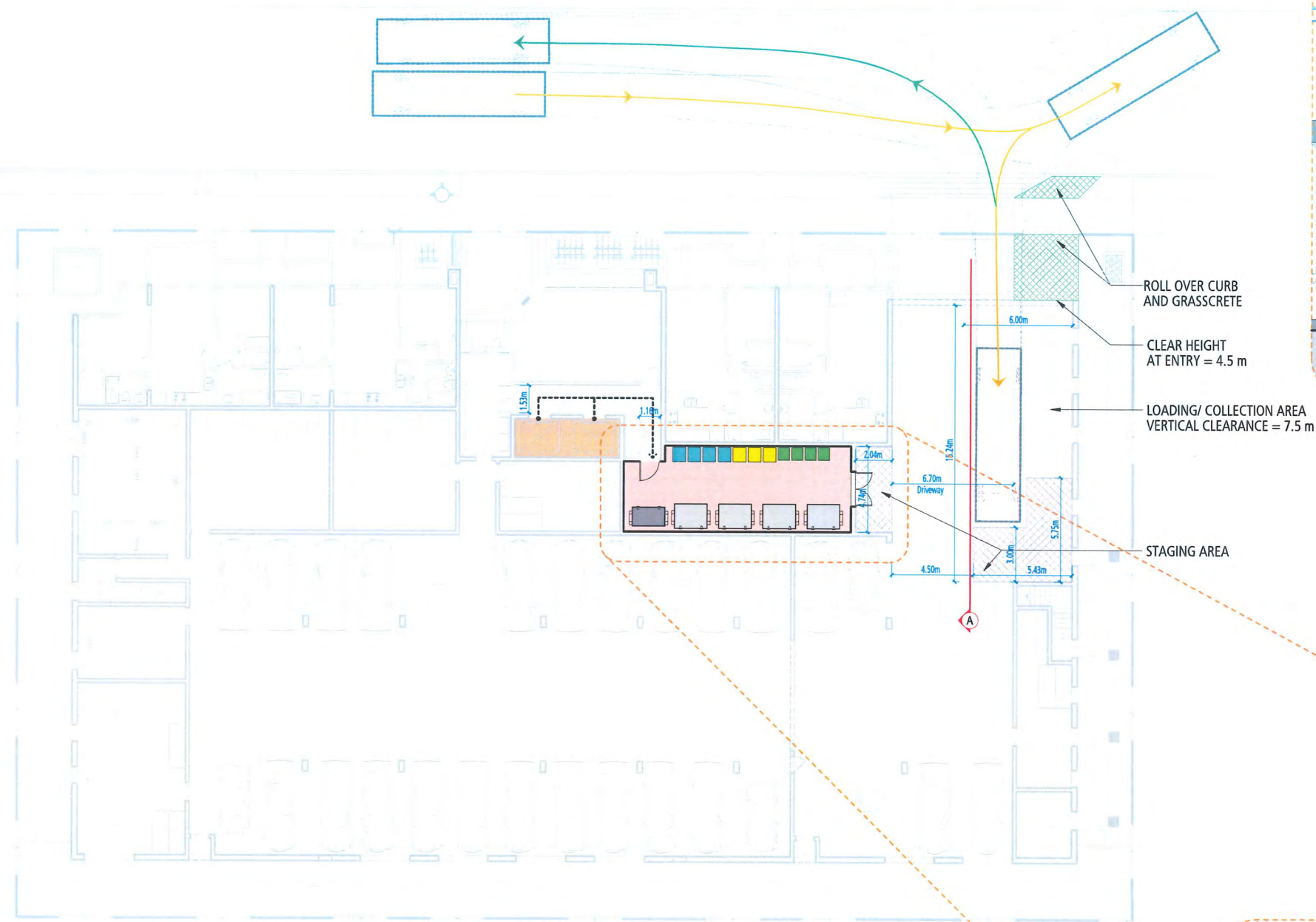


LANDSOWNE MANOR
8620, 8640, 8660 SPIRES ROAD

DP 25-010558
NOVEMBER 06, 2025

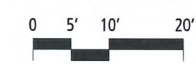


PARTIAL SECTION A
(ENLARGED)



WASTE MANAGEMENT

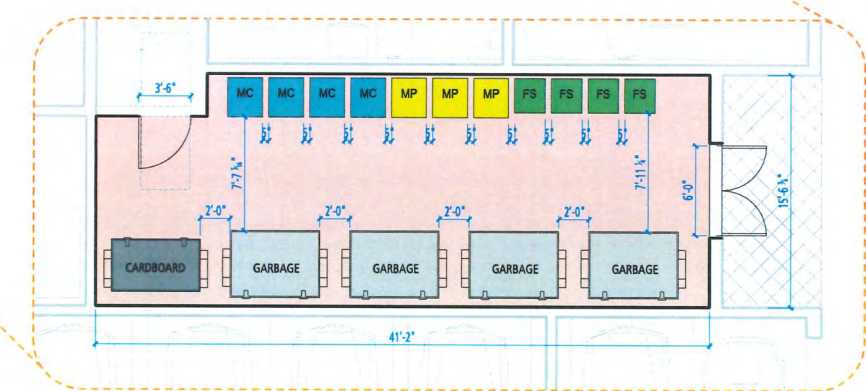
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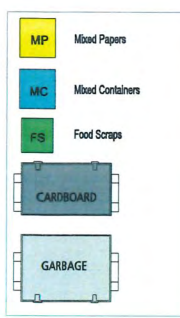


LANDSDOWNE MANOR
8620, 8640, 8660 SPIRES ROAD

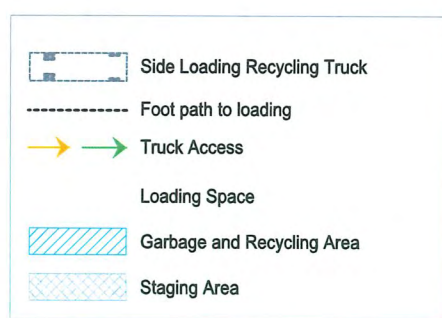


GARBAGE AND RECYCLING STORAGE PLAN
(ENLARGED)

DP 25-010558
November 17, 2025
PLAN # 4



Size		619 sq.ft (57.52 m ²)				
Location		Ground Level				
Access Information		Open to residents 24/7				
Number of Units		90				
	Bin Type	Number of Bins	Footprint of Bins	Manoeuvring Factor	Total Area required	
Mixed Containers	360 L	4	0.57 m ²	2.25	5.13 m ²	
Mixed Paper	360 L	3	0.57 m ²	2.25	3.85 m ²	
Food Scraps	240 L	4	0.43 m ²	2.25	3.87 m ²	
Cardboard	3 yd3	1	1.96 m ²	2.25	4.41 m ²	
Garbage	4 yd3	4	2.51 m ²	2.25	22.59 m ²	
Total area required:					39.85 m ²	



SPIRES ROAD

CROWN OF ROAD

	REQUIRED PER 7.9A (TOA)	PROVIDED			
		REGULAR	SMALL	ACCESSIBLE (VAN)	TOTAL
RESIDENTIAL (90 HOMES)		20	2	1	23
CAR SHARE		1	1	1	3
VISITOR					
TOTAL	2 (ACCESSIBLE)	22	3	2	27

Note : All resident parking spaces will be provided with Level 2 EV charging.
Car share space will be equipped with Level 2 EV charging.
Two visitor parking spaces will have Level 2 EV charging and one visitor parking will be provided with opportunity charging.

	UNIT COUNT	RATIO	REQUIRED	PROVIDED			
				HORIZONTAL	VERTICAL	OVERSIZED	TOTAL
CLASS 1	7 - Studios 46 - 1BRs 24 - 2BRs 13 - 3BRs	1 per unit 1 per unit 2 per unit 3 per unit	7 46 48 39	140	1	0	141
CLASS 2		0.2	18				18
TOTAL							158

LOADING AREA		REQUIRED	PROVIDED
90 HOMES			
SMALL SIZE		1	1
MEDIUM SIZE		1	1
LARGE SIZE		N/A	N/A

MIN. CAR STALL SIZES

REGULAR SIZE
2.5 m x 5.5 m

SMALL SIZE
2.3 m x 4.6 m

ACCESSIBLE STALLS

MIN. BIKE STALL SIZES

HORIZONTAL

OVERSIZED

2 TIER STACKABLE BIKE STORAGE

LOADING AREA

MEDIUM SIZE
LOADING SPACE
9.1 m x 3.0 m

SMALL SIZE
LOADING SPACE
5.5 m x 2.7 m

EV CHARGING PROVISIONS

LEVEL 2 CHARGING

OPPORTUNITY CHARGING

PARKING PLAN

SCALE 1" = 200"

0 5' 10' 20'

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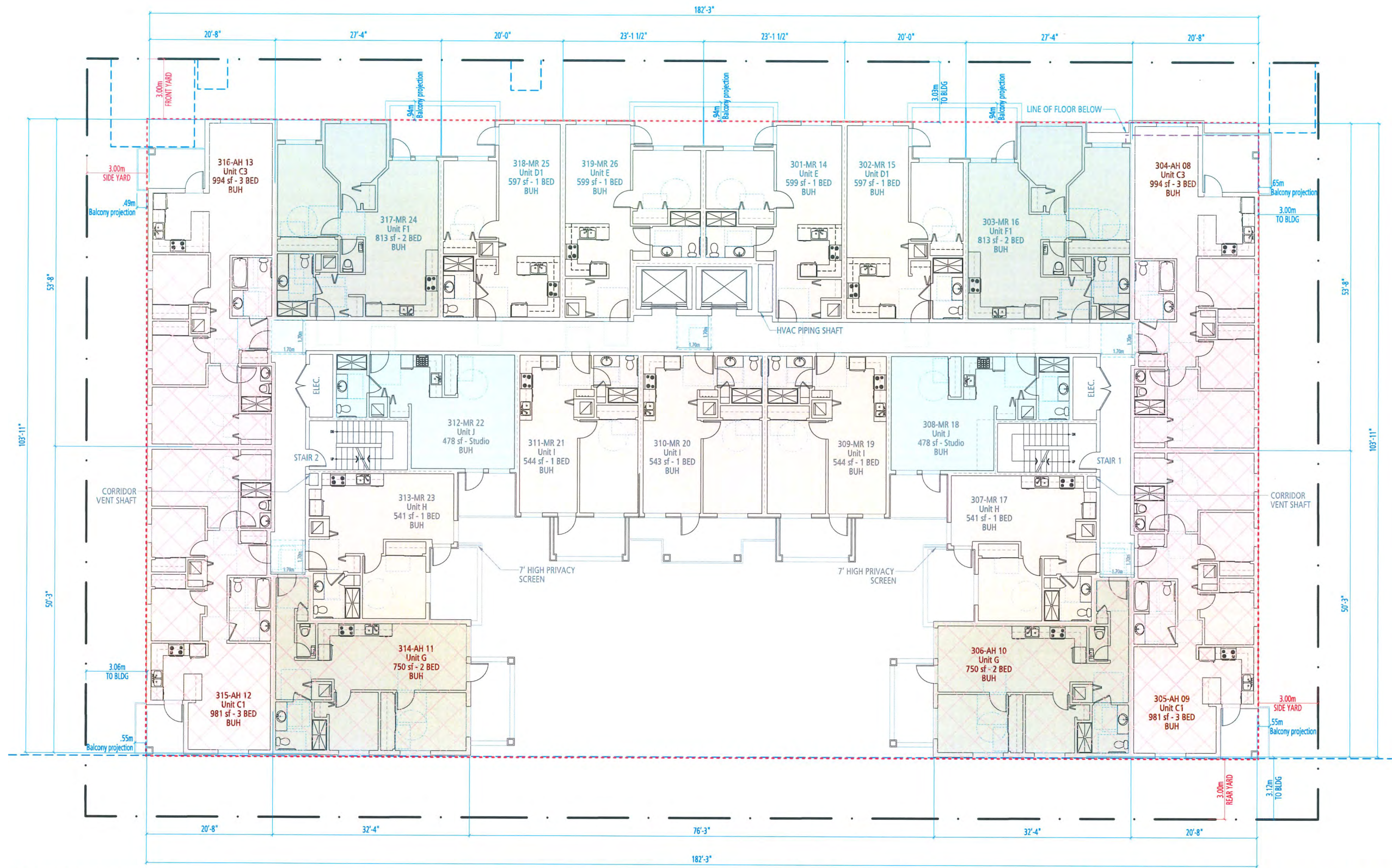


LANDSDOWNE
MANOR
8620, 8640, 8660 SPIRES ROAD

DP 25-010558
NOVEMBER 06, 2025

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DP 25-010558
November 17, 2025
PLAN # 5



LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- AH/LEMR

All homes have Basic Universal Housing features and are designed in accordance with section 4.16 of Richmond zoning bylaw 8500.



FLOOR PLAN
LEVEL-3

SCALE 1" = 200"



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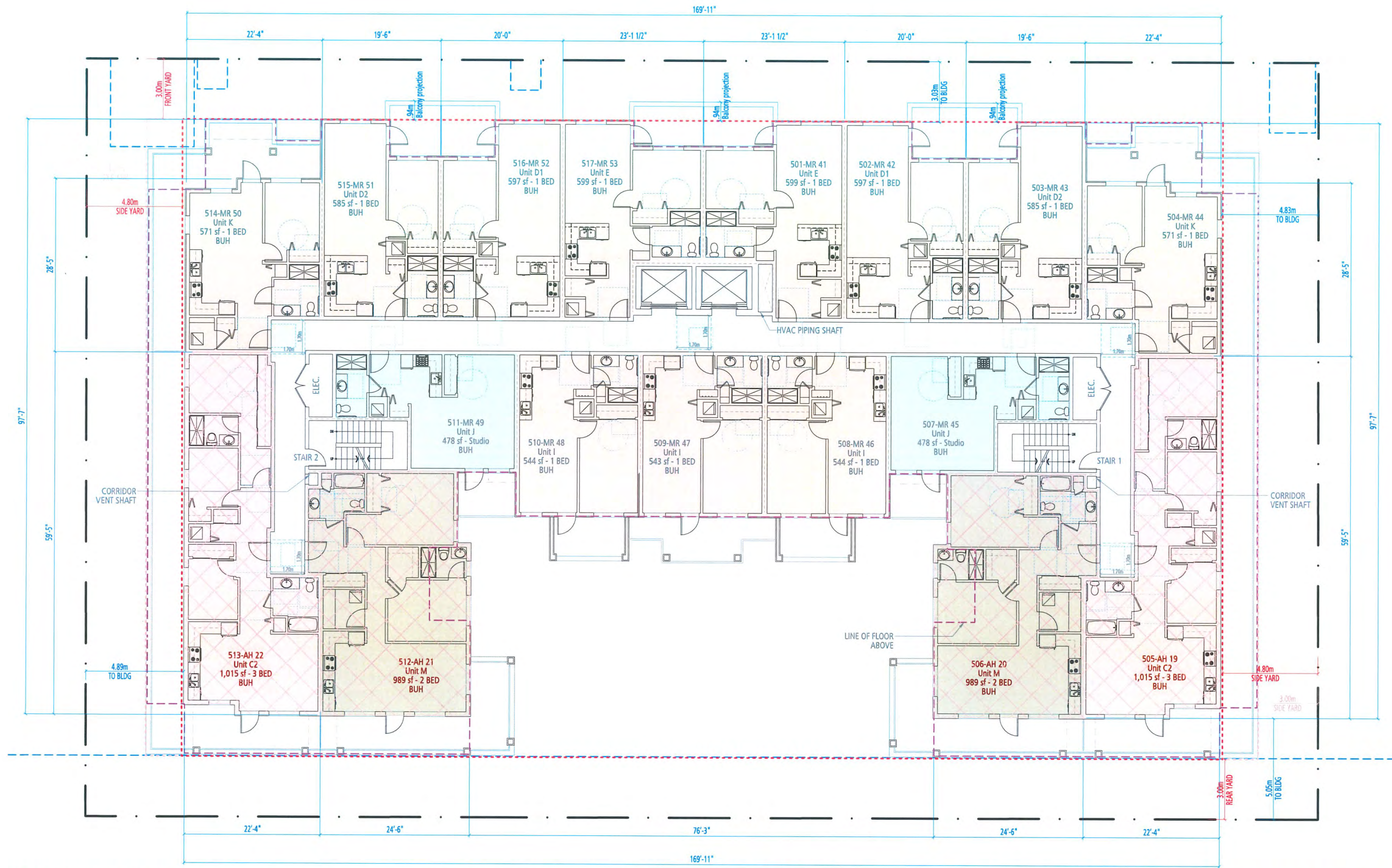


**LANDSDOWNE
MANOR**
8620, 8640, 8660 SPIRES ROAD

DP 25-010558
November 17, 2025
PLAN # 8

DP 25-010558
NOVEMBER 06, 2025

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LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- AH/LEMR

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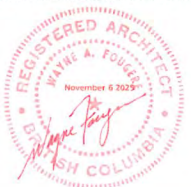


FLOOR PLAN LEVEL-5

SCALE 1" = 200"



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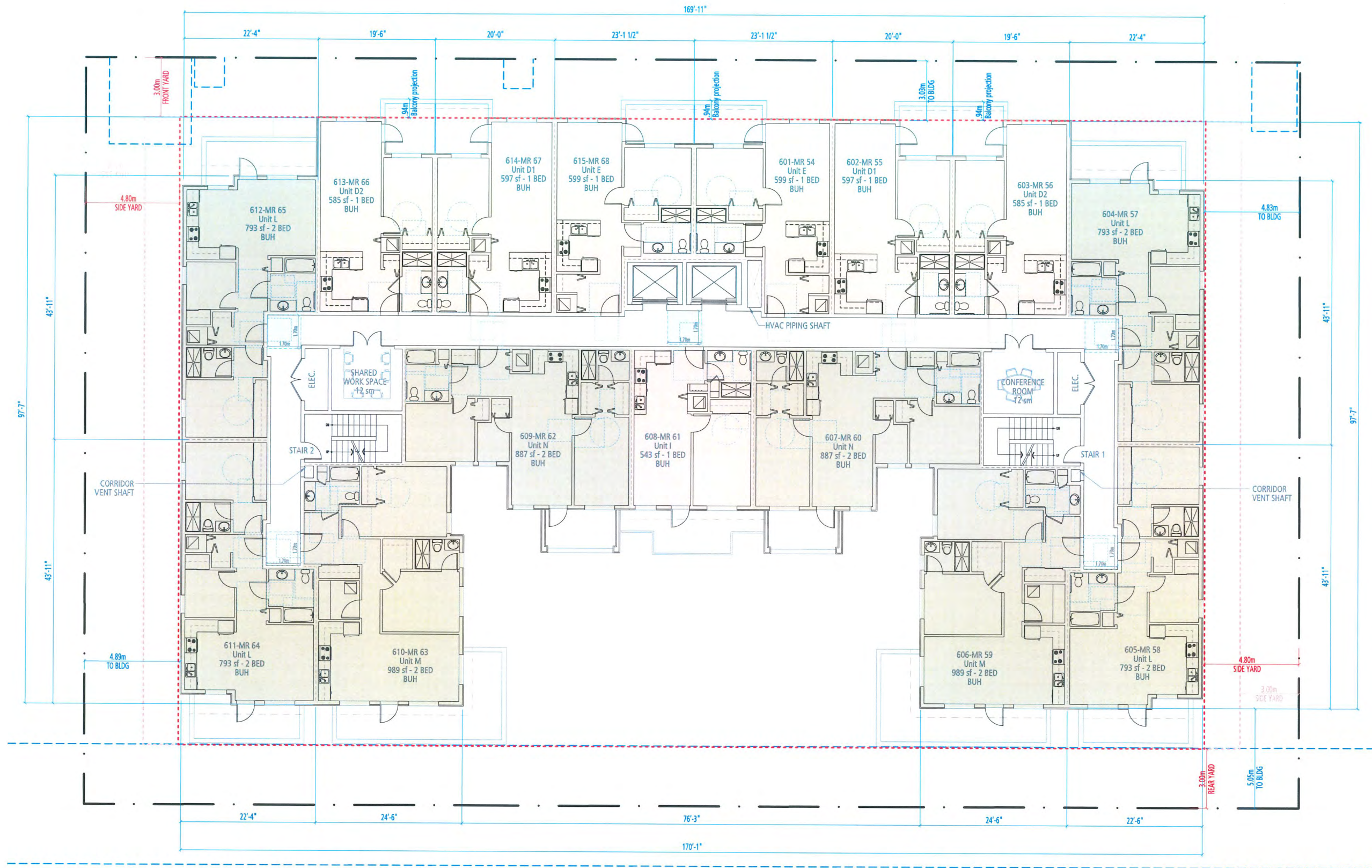
8620, 8640, 8660 SPIRES ROAD

DP 25-010558
November 17, 2025
PLAN # 10

DP 25-010558
NOVEMBER 06, 2025

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Vancouver, BC V5T 4L6 fougerearchitecture.ca



LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- AH/LEMR

All homes have Basic Universal Housing features and are designed in accordance with section 4.16 of Richmond zoning bylaw 8500.



FLOOR PLAN
LEVEL-6

SCALE 1" = 200"



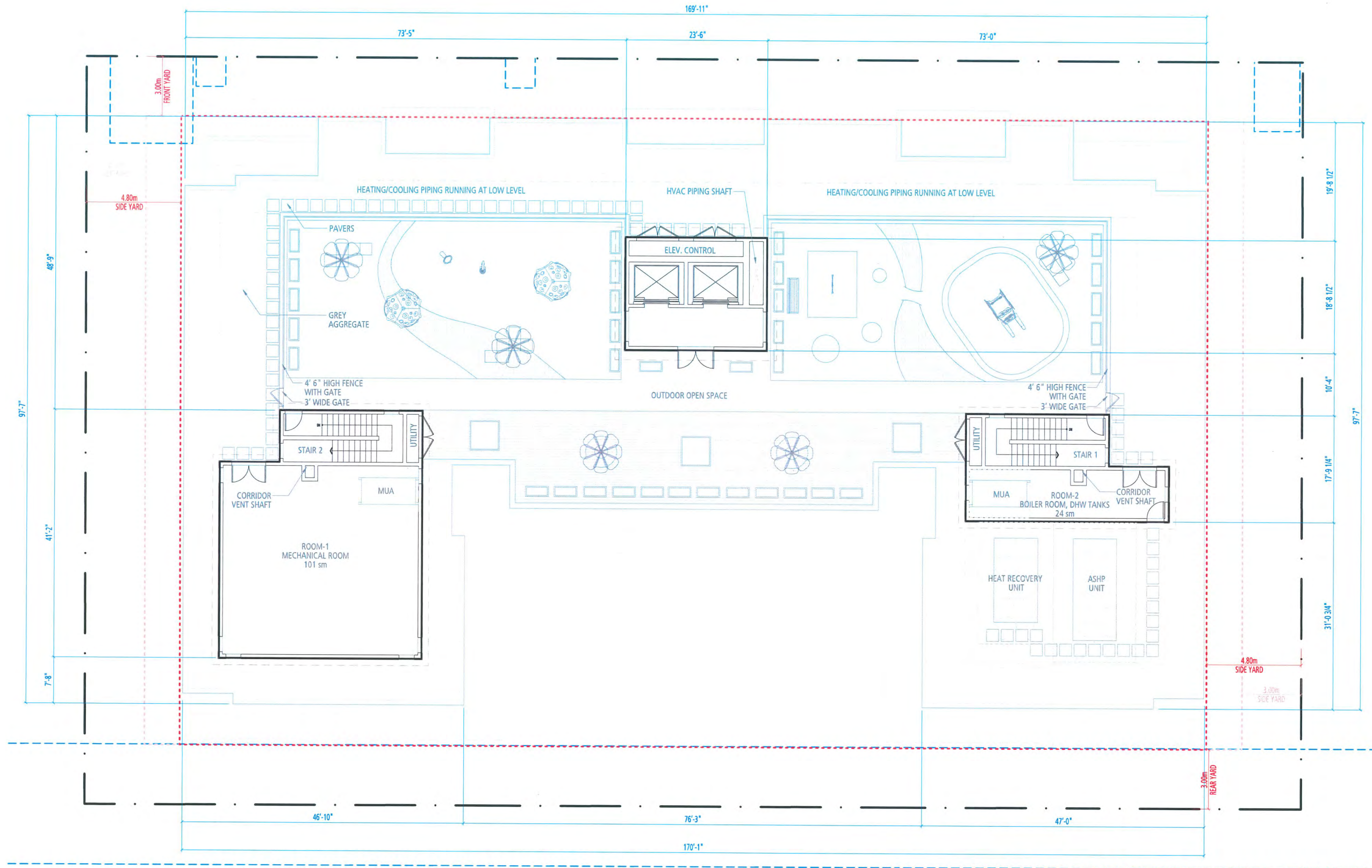
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MANOR**
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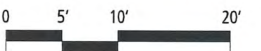
DP 25-010558
November 17, 2025
PLAN # 11

DP 25-010558
NOVEMBER 06, 2025
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ROOF PLAN

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LANDSDOWNE MANOR

8620, 8640, 8660 SPIRES ROAD

DP 25-010558
November 17, 2025
PLAN # 12

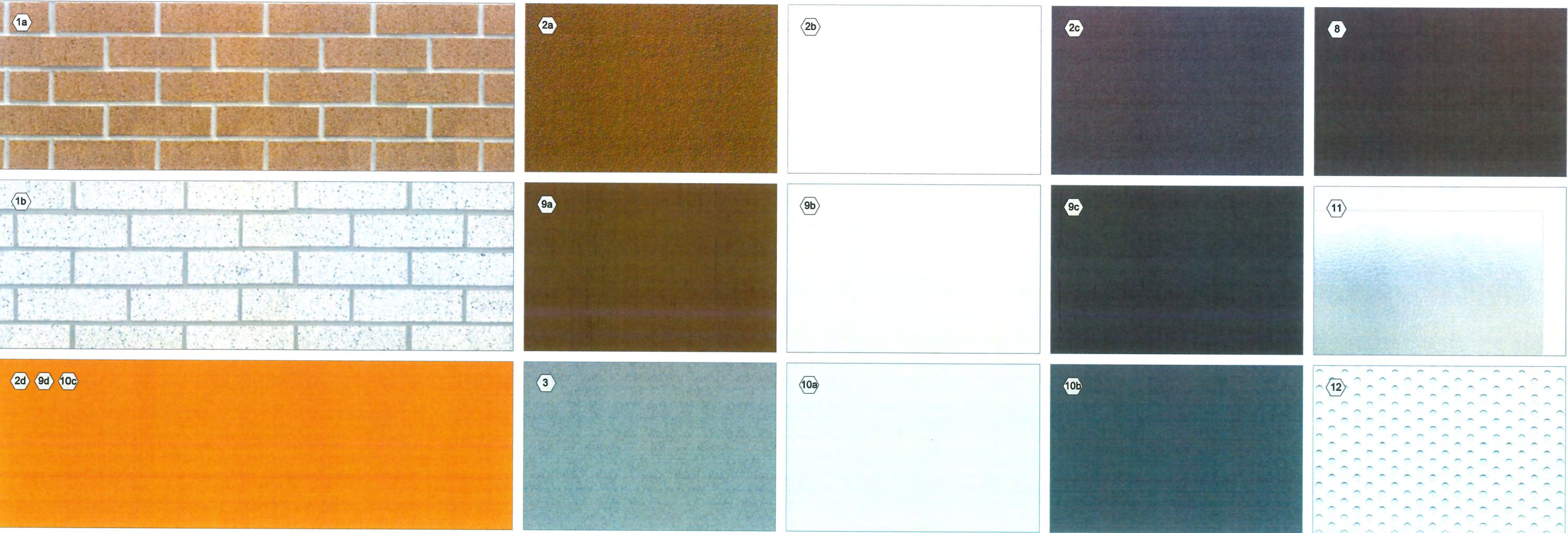


EXTERIOR FINISHES SCHEME

1a	HEBRON BRICK TOASTED GRAY
1b	GLEN GERY ASPEN WHITE
2a	HARDIE PANELS BROWN - COLOUR TO MATCH SW 6146
2b	UMBER WHITE - COLOUR TO MATCH SW 7009
2c	PEARLY WHITE GRAY - COLOUR TO MATCH SW 7048
2d	URBAN BRONZE BURNT ORANGE -COLOUR TO MATCH SW 6349
3	PENNYWISE
4	CONCRETE FINISH - SMOOTH
5	ALUMINUM WINDOW WALL
6	VINYL DOORS / WINDOWS WHITE
7	GLASS & ALUMINUM RAILING WHITE
8	METAL WINDOW GRILLS WHITE
9a	METAL FLASHING BROWN - COLOUR TO MATCH SW 6146
9b	UMBER WHITE - COLOUR TO MATCH SW 7009
9c	PEARLY WHITE GRAY - COLOUR TO MATCH SW 7048
9d	URBAN BRONZE BURNT ORANGE -COLOUR TO MATCH SW 6349
10a	PENNYWISE
10b	HARDIE SOFFIT PANELS WHITE SOFFIT - ARTIC WHITE
10c	GRAY SOFFIT - NIGHT GRAY BURNT ORANGE -COLOUR TO MATCH SW 6349
11	PENNYWISE
12	PRIVACY SCREEN ALUMINUM AND FROSTED GLASS PERFORATED METAL MESH SCREEN
13	FIBERGLASS DOOR - COLOUR TO MATCH SW 9099 SADDLE UP

DP 25-010558
November 17, 2025
PLAN # 13

MATERIAL BOARD



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MANOR
8620, 8640, 8660 SPIRES ROAD



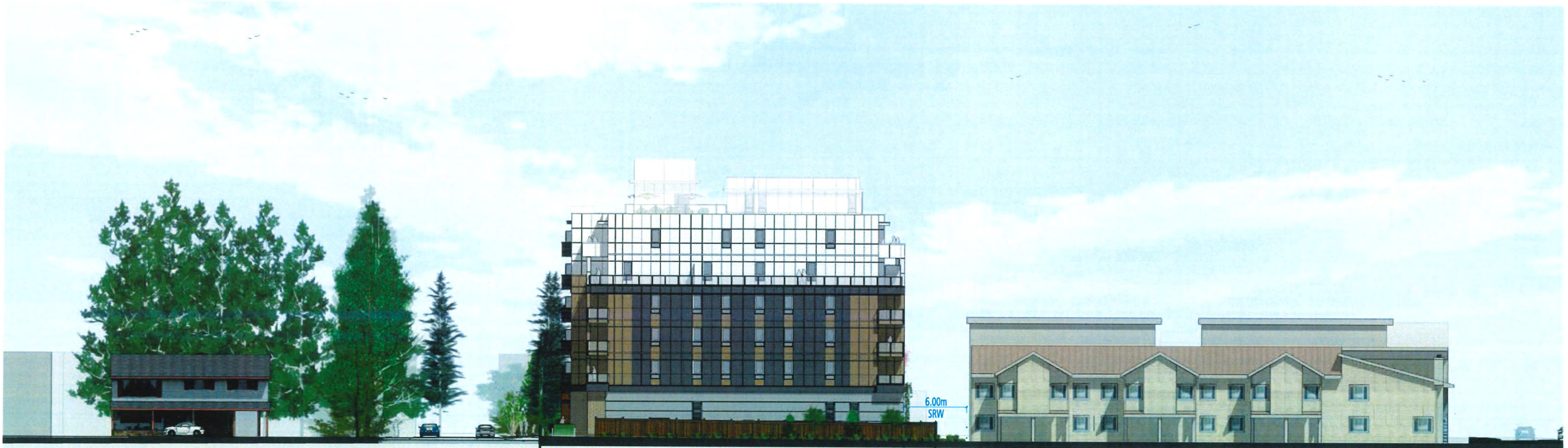
SUBJECT SITE
8620, 8640, 8660 SPIRES ROAD



STREETSCAPE - NORTH

DP 25-010558
November 17, 2025
PLAN # 14

STREETSCAPE



SUBJECT SITE
8620, 8640, 8660 SPIRES ROAD



CONTEXTUAL ELEVATION - WEST

SCALE 1" = 400'



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RL

SUBJECT SITE
8620, 8640, 8660 SPIRES ROAD

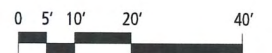
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CONTEXTUAL ELEVATION - SOUTH

DP 25-010558
November 17, 2025
PLAN # 15

STREETSCAPE

SCALE 1" = 400"



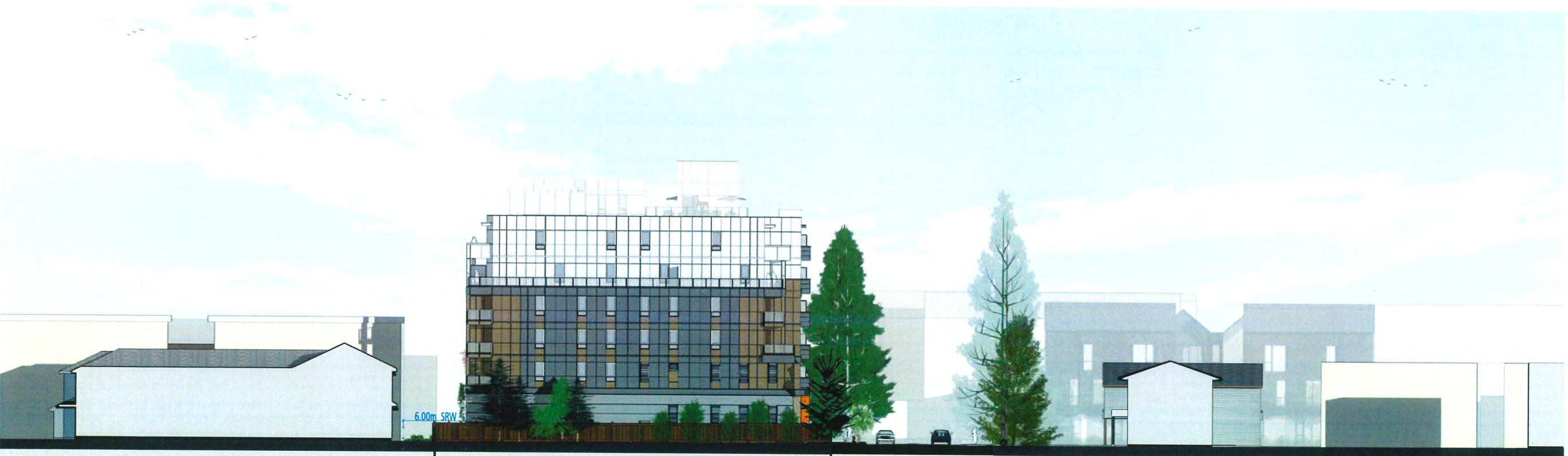
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SUBJECT SITE
8620, 8640, 8660 SPIRES ROAD

RL

SPIRES ROAD

CONTEXTUAL ELEVATION - EAST



NORTH ELEVATION



EAST ELEVATION

EXTERIOR FINISHES SCHEME

1a	HEBRON BRICK
1b	TOASTED GRAY
1c	GLEN GERY
1d	ASPEN WHITE
2a	HARDIE PANELS
2b	BROWN - COLOUR TO MATCH SW 6146
2c	UMBER
2d	WHITE - COLOUR TO MATCH SW 7009
2e	PEARLY WHITE
2f	GRAY - COLOUR TO MATCH SW 7048
2g	URBAN BRONZE
2h	BURNT ORANGE - COLOUR TO MATCH SW 6349
2i	PENNYWISE
3	CONCRETE FINISH - SMOOTH
4	ALUMINUM WINDOW WALL
5	VINYL DOORS / WINDOWS
5a	WHITE
6	GLASS & ALUMINUM RAILING
6a	WHITE
7	METAL WINDOW GRILLS
7a	WHITE
8	METAL DOORS - GREY
8a	COLOUR TO MATCH SW 7048
8b	URBANE BRONZE
9a	METAL FLASHING
9b	BROWN - COLOUR TO MATCH SW 6146
9c	UMBER
9d	WHITE - COLOUR TO MATCH SW 7009
9e	PEARLY WHITE
9f	GRAY - COLOUR TO MATCH SW 7048
9g	URBAN BRONZE
9h	BURNT ORANGE - COLOUR TO MATCH SW 6349
9i	PENNYWISE
10a	HARDIE SOFFIT PANELS
10b	WHITE SOFFIT - ARTIC WHITE
10c	GRAY SOFFIT - NIGHT GRAY
10d	BURNT ORANGE - COLOUR TO MATCH SW 6349
10e	PENNYWISE
11	PRIVACY SCREEN
11a	ALUMINUM AND FROSTED GLASS
11b	PERFORATED METAL MESH SCREEN
12	FIBERGLASS DOOR - COLOUR TO MATCH SW 9099
12a	SADDLE UP

DP 25-010558
November 17, 2025
PLAN # 16

ELEVATIONS
NORTH AND EAST

SCALE 1" = 200"



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SOUTH ELEVATION

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November 17, 2025
PLAN # 17

ELEVATIONS
SOUTH AND WEST

SCALE 1" = 200"

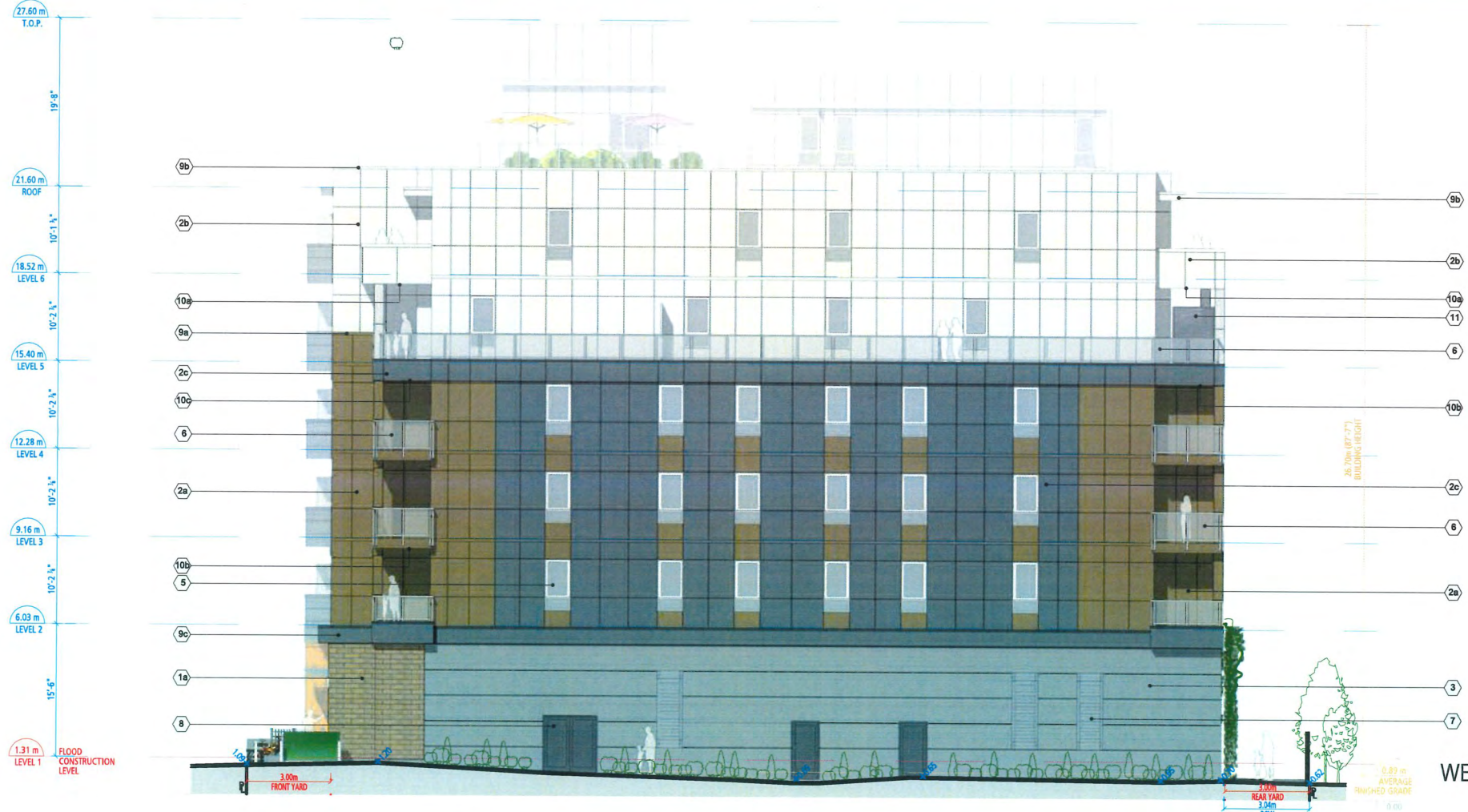


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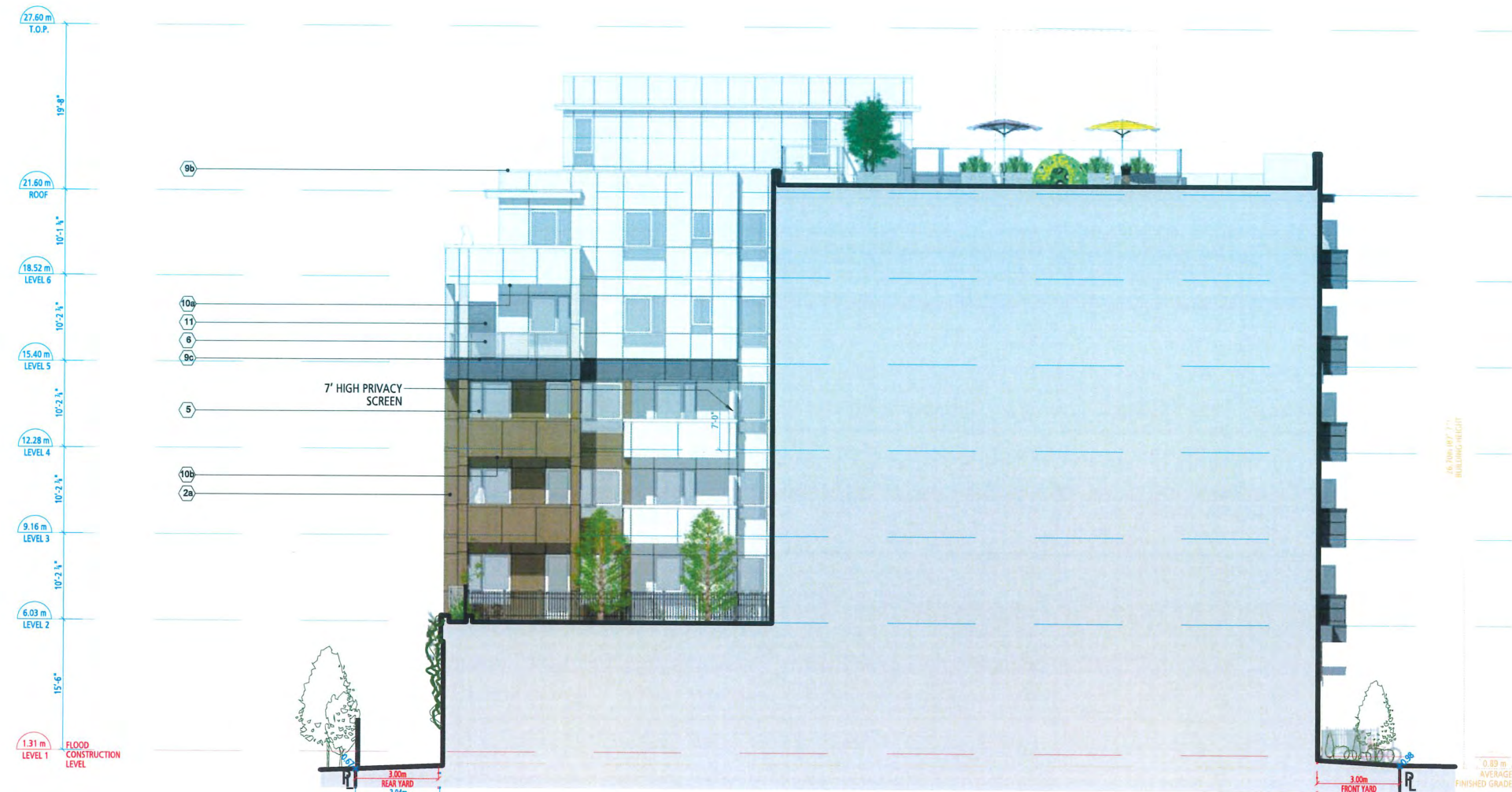
DP 25-010558
 NOVEMBER 06, 2025



WEST ELEVATION

EXTERIOR FINISHES SCHEME

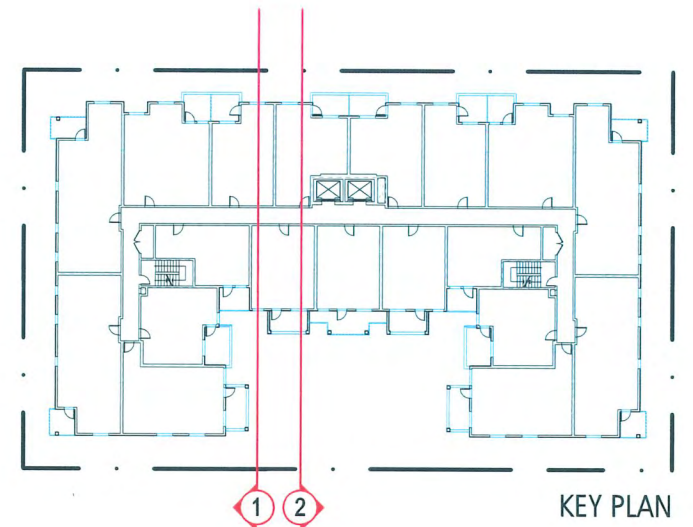
1a	HEBRON BRICK
1b	TOASTED GRAY GLEN GERY ASPEN WHITE
2a	HARDIE PANELS BROWN - COLOUR TO MATCH SW 6146
2b	UMBER WHITE - COLOUR TO MATCH SW 7009
2c	PEARLY WHITE GRAY - COLOUR TO MATCH SW 7048
2d	URBAN BRONZE BURNT ORANGE - COLOUR TO MATCH SW 6349
3	PENNYWISE
3	CONCRETE FINISH - SMOOTH
4	ALUMINUM WINDOW WALL
5	VINYL DOORS / WINDOWS WHITE
6	GLASS & ALUMINUM RAILING WHITE
7	METAL WINDOW GRILLS WHITE
8	METAL DOORS - GREY COLOUR TO MATCH SW 7048 URBANE BRONZE
9a	METAL FLASHING BROWN - COLOUR TO MATCH SW 6146
9b	UMBER WHITE - COLOUR TO MATCH SW 7009
9c	PEARLY WHITE GRAY - COLOUR TO MATCH SW 7048
9d	URBAN BRONZE BURNT ORANGE - COLOUR TO MATCH SW 6349
9d	PENNYWISE
10a	HARDIE SOFFIT PANELS WHITE SOFFIT - ARTIC WHITE
10b	GREY SOFFIT - NIGHT GRAY
10c	BURNT ORANGE - COLOUR TO MATCH SW 6349
10c	PENNYWISE
11	PRIVACY SCREEN ALUMINUM AND FROSTED GLASS
12	PERFORATED METAL MESH SCREEN
13	FIBERGLASS DOOR - COLOUR TO MATCH SW 9099 SADDLE UP



1 INTERNAL ELEVATION - EAST



2 INTERNAL ELEVATION - WEST



DP 25-010558
November 17, 2025
PLAN # 18

ELEVATIONS INTERNAL ELEVATIONS

SCALE 1" = 200"



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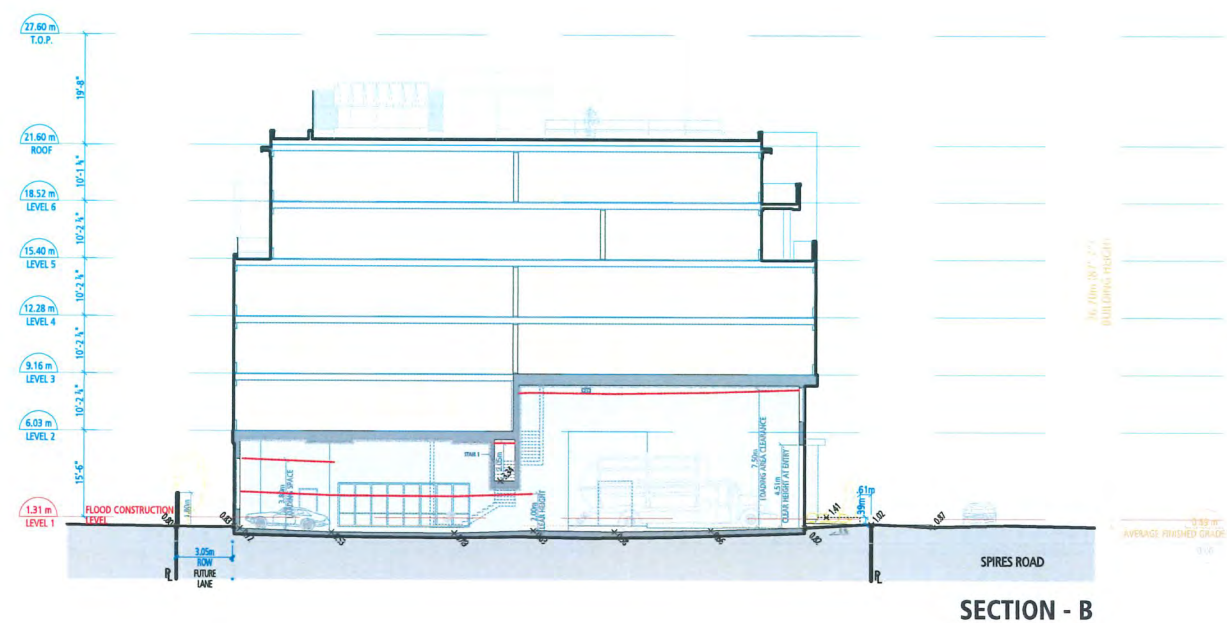
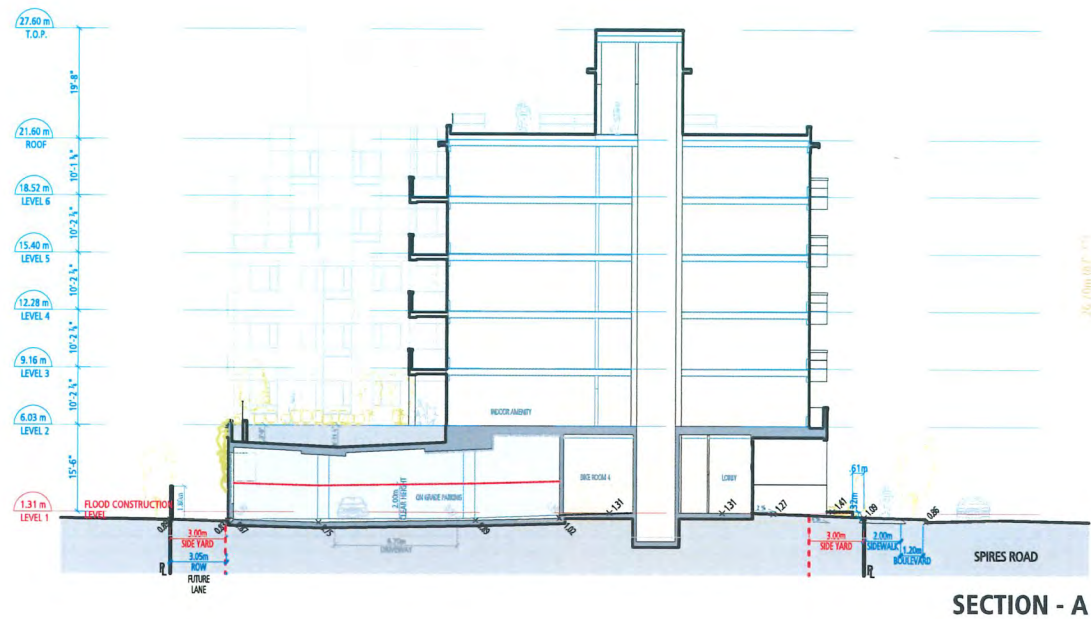
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NOVEMBER 06, 2025

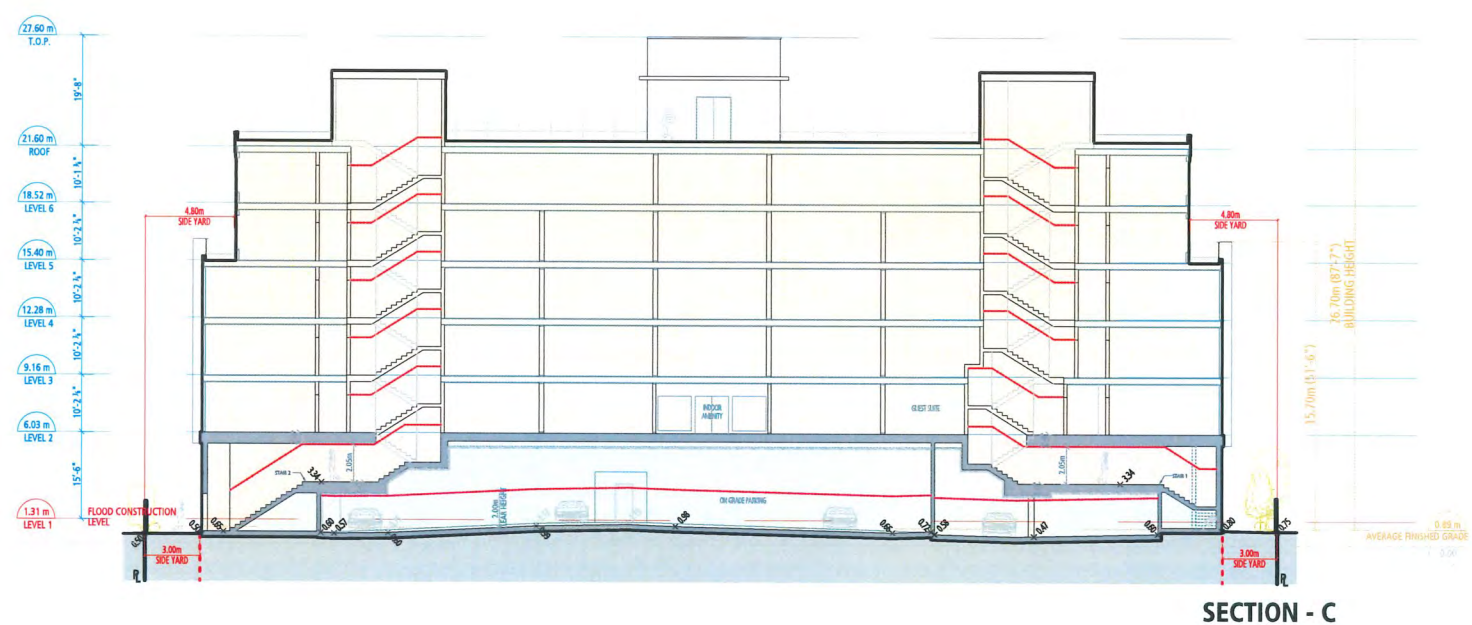
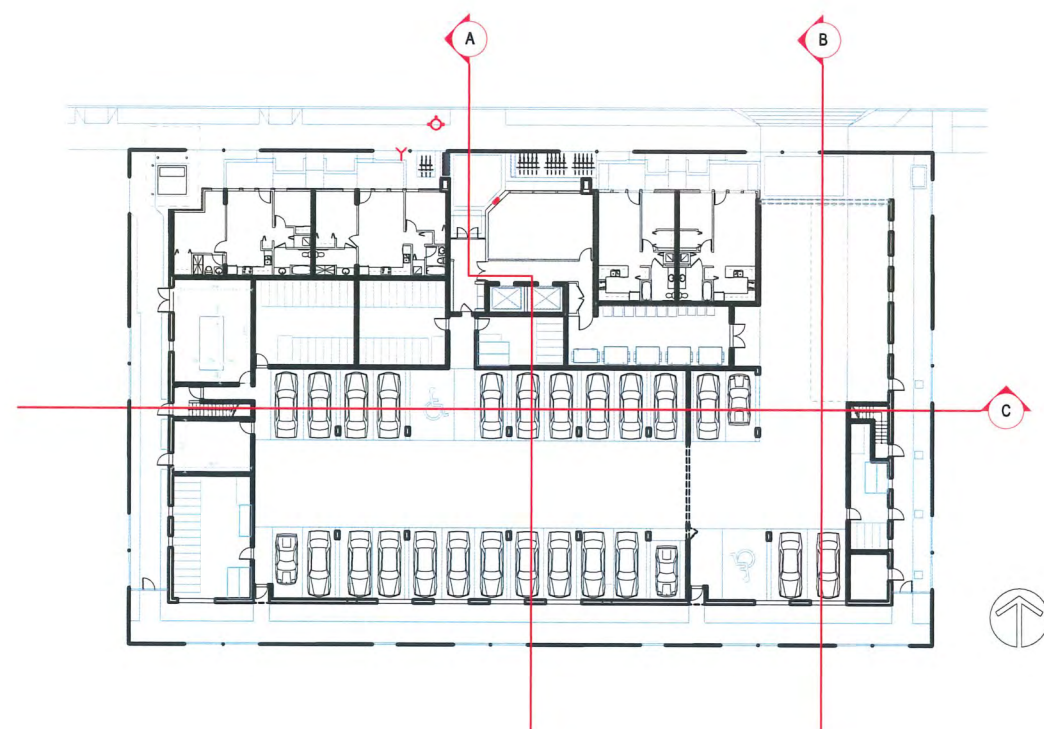
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EXTERIOR FINISHES SCHEME

1a	HEBRON BRICK
1b	TOASTED GRAY
	GLEN GERY
	ASPEN WHITE
2a	HARDIE PANELS
2b	BROWN - COLOUR TO MATCH SW 6146
2c	UMBER
2d	WHITE - COLOUR TO MATCH SW 7009
3	GRAY - COLOUR TO MATCH SW 7048
4	URBAN BRONZE
5	BURNT ORANGE - COLOUR TO MATCH SW 6349
6	PENNYWISE
7	CONCRETE FINISH - SMOOTH
8	ALUMINUM WINDOW WALL
9	VINYL DOORS / WINDOWS
10	WHITE
11	GLASS & ALUMINUM RAILING
12	WHITE
13	METAL WINDOW GRILLS
14	WHITE
15	METAL DOORS - GREY
16	COLOUR TO MATCH SW 7048
17	URBANE BRONZE
18	METAL FLASHING
19	BROWN - COLOUR TO MATCH SW 6146
20	UMBER
21	WHITE - COLOUR TO MATCH SW 7009
22	PEARLY WHITE
23	GRAY - COLOUR TO MATCH SW 7048
24	URBAN BRONZE
25	BURNT ORANGE - COLOUR TO MATCH SW 6349
26	PENNYWISE
27	HARDIE SOFFIT PANELS
28	WHITE SOFFIT - ARTIC WHITE
29	GREY SOFFIT - NIGHT GRAY
30	BURNT ORANGE - COLOUR TO MATCH SW 6349
31	PENNYWISE
32	PRIVACY SCREEN
33	ALUMINUM AND FROSTED GLASS
34	PERFORATED METAL MESH SCREEN
35	FIBERGLASS DOOR - COLOUR TO MATCH SW 9099
36	SADDLE UP



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November 17, 2025
PLAN # 19



SITE SECTIONS

SCALE 1" = 400"



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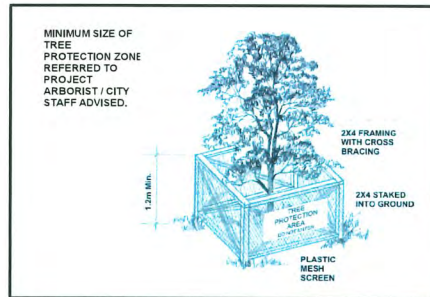
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Project Arborist onsite supervision is required for all work/access within and in 1m of tree protection zone.

It is the builder/homeowner responsibility to ensure that the development does not adversely affect any neighboring plantings. Please ensure all neighbors' vegetation is respected throughout the project phases and that if any proposed vegetation removal that may be shared with neighbors' is discussed and coordinated with the adjacent property owner(s) to avoid a civil matter.

Tree protection barriers is recommended on neighbor's hedges (if any) for due diligence.



Project Arborist:
Tel:
Email:

Matthew Wong
(778) 833-0348
QBCtree@gmail.com

Project Address:
8620, 8640 & 8660 Spires Road Richmond BC

Reference Number:	Date of Issue
VAN20250	September 25, 2022
VAN20250-1	July 18, 2023
VAN20250-2	May 19, 2024
VAN20250-3	October 16, 2024
VAN20250-4	March 18, 2025
VAN20250-5	June 29, 2025
VAN20250-6	November 18, 2025

Part B - Tree Management Drawing (1 of 2)

- Tree Protection Barrier
- Tree To Be Removed

Note to Owner / Constructor:

- The tree protection barrier's dimensions are in feet.
- All the dimensions are measured from the tree trunk and should refer to the figure mentioned.
- The tree protection barriers must be built and inspected prior any construction activities.
- All tree protection on street trees to be set back 0.3m from the edge of sidewalk to allow clear circulation, and 0.6m from the back of curb to allow door opening.
- The protection barrier or temporary fencing must be at least 1.2m in height and constructed of 2"x4" wood frame with cross brace construction with snow-fence and staked into the ground. The tree protection fence shall be clearly signed "Tree Protection Zone - Do Not Enter" and remain intact for any construction or demolition site throughout the entire period of demolition and/or construction. Maintain such protection barrier, repair any damage to it, and not alter or remove it until construction is completed.
- Certified Arborist on-site supervision is required for any construction activities within and 1m of the TPZ.
- Absolutely no further grade changes (increase or decrease in grade) can occur within any TPZ. All pre-loading, retaining walls, perimeter drainage and silt fencing must be installed outside of these zones, unless approved and supervised by City arborist / Project arborist.
- No storage, dumping of materials, parking, underground utilities or fires within TPZs or tree drip lines.
- Proper pruning of the trees to be retained following ANSI A300 pruning standards, completed by a qualified tree care professionals, trees will also require mulching and watering for successful retention.

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PLAN # 20

On-site supervision by Project Arborist is required for the activity within or 1m of TPZ:
(1) Crown pruning
(2) Foundation excavation for proposed main building
(3) Installation of proposed walkway
(4) Replacement of fence
(5) Final landscaping activities (e.g. lawn) within TPZ

No heavy machine. Use low impact method for excavation (e.g. hand digging and/or AirSpade).

Proper root pruning when necessary and perform by Project Arborist.

Re-use the existing fence post holes as possible.

The new fences will not employ any continuous footings and any required new footings will be use low impact method hand dig and as small foot print as possible.

Proposed walkway must be installed at or near existing grade.

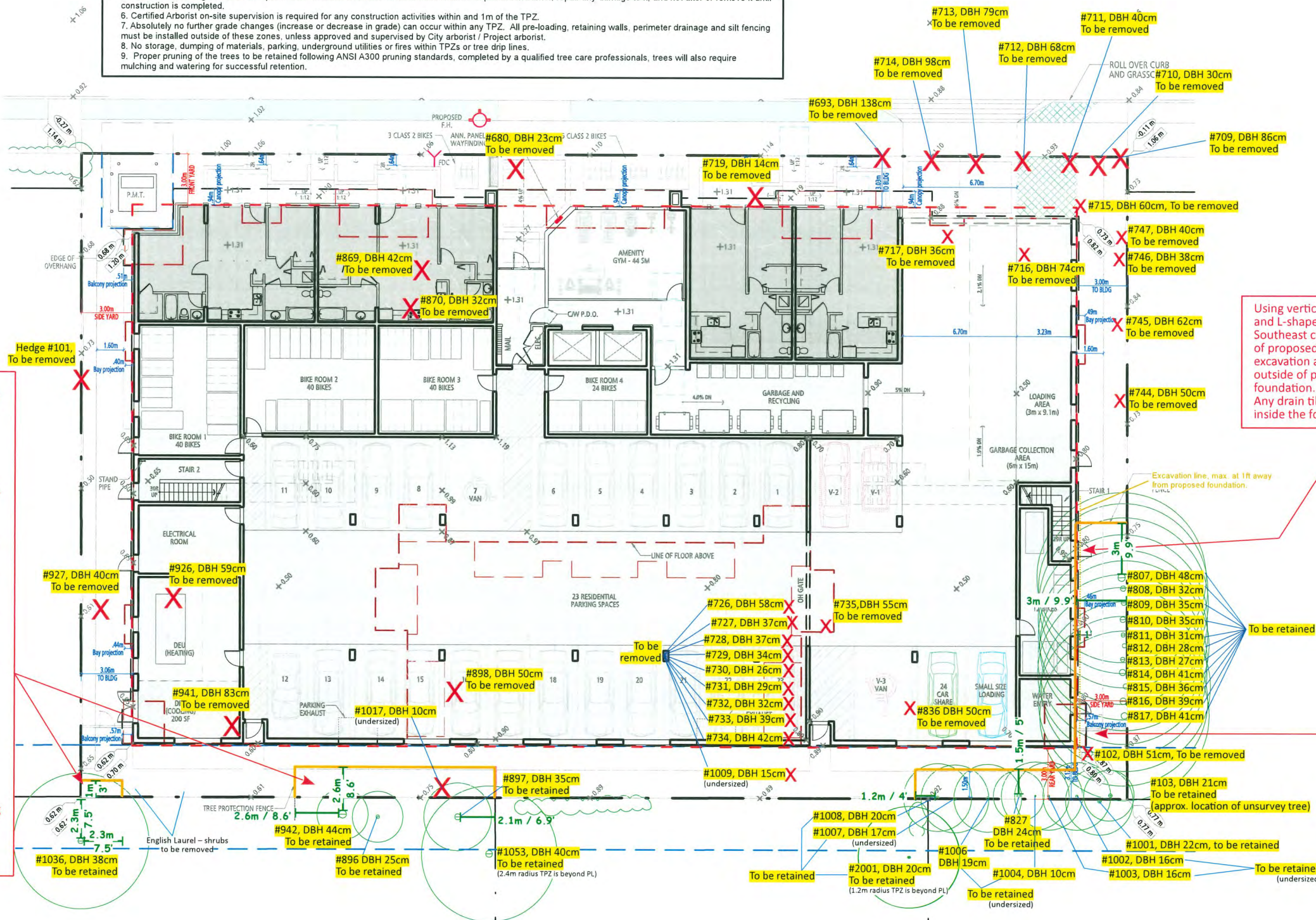
Use permeable materials (e.g. paving stone, turfstone) for proposed walkway within the TPZ.

Custom fence shape to cope with the tree trunk development.

The proposed walkway must be installed at or near existing grade. Use permeable materials (e.g. paving stone, bricks) for proposed walkway within the TPZ.

Crown pruning for building clearance by tree care professional and following ANSI A300 standard prior excavation. Pruning is recommended to be carried out in Winter or Spring.

The proposed lawn that encroaches into the TPZ must be installed at or near existing grade. No more than 3" of additional good quality landscape soil (not construction fill) may be added into the TPZ. Ensuring that new planting in the Critical Root Zone is no greater than #1 container (if any)



Using vertical excavation and L-shaped footing for the Southeast corner foundation of proposed building, excavation at maximum 1ft outside of proposed foundation. Any drain tile to be installed inside the foundation wall.

On-site supervision by Project Arborist is required for the activity within or 1m of TPZ:
(1) Removal of existing organic (tree/hedge) within the TPZ
(2) Foundation excavation for proposed main building
(3) Fence replacement
(4) Final landscaping activities (e.g. lawn) within TPZ

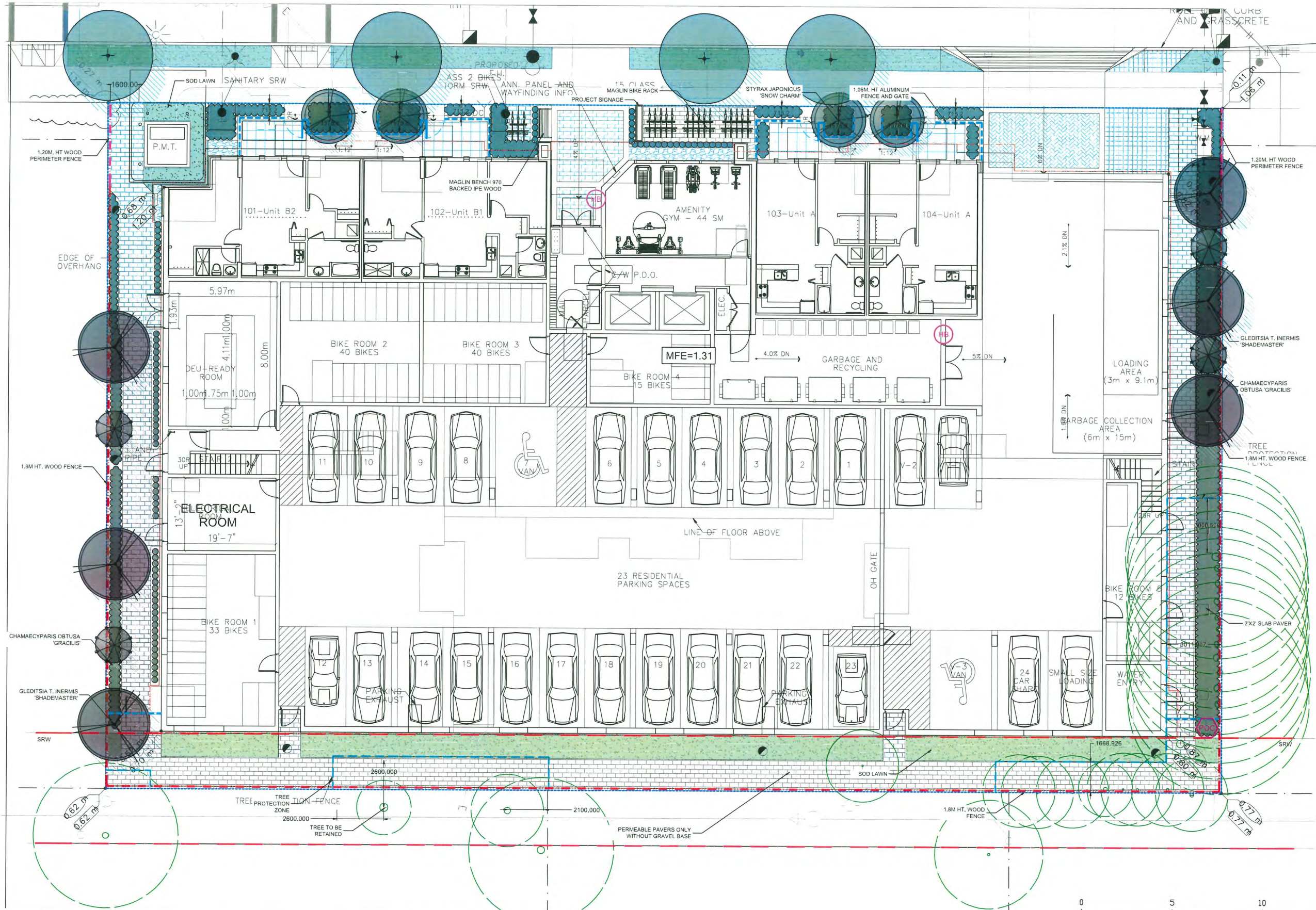
Do not rip off existing organics by excavator, removal manually. Cut at grade only. Do not grind the roots. Leave the root ball in place after existing organic removed. Otherwise, stump grinding / removal required Project Arborist on-site supervision.

Proper root pruning when necessary and perform by Project Arborist.

Re-use the existing fence post holes as possible.

Any new fences will not employ any continuous footings within TPZ.

Any required new footings for fence post will be use point footing with grade bean foundation, by low impact method hand digging and footing as small foot print as possible.



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	6	GLEDITSIA T. INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	8CM CAL: B&B
	4	CHAMAECYPARIS OBTUSA 'GRACILIS'	SLENDER HINOKI FALSE CYPRESS	4M HT: B&B
	4	STYRAX JAPONICUS 'SNOW CHARM'	SNOW CHARM JAPANESE SNOWBELL	8CM CAL: B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLS STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

78 REPLACEMENT TREES REQUIRED: 22 REPLACEMENT TREES (GROUND LEVEL AND LEVEL 2) PROVIDED. ARBORIST SUPERVISION REQUIRED FOR ANY CONSTRUCTION WITHIN TREE PROTECTION ZONE. ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM: INSTALLATION TO I.L.A.B.C. STANDARDS, LATEST EDITION.

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p: 604 294-0011 ; f: 604 294-0022

SEAL:

DP 25-010558
November 17, 2025
PLAN # 21

11	25.OCT.29	PER CITY COMMENTS	AR
10	25.SEP.24	PER DAP COMMENTS; DP RE SUBMISSION	AR
9	25.AUG.08	PER CITY COMMENTS	AR
8	25.AUG.05	PER CITY COMMENTS	AR
7	25.JUL.24	TREE RELOCATION	RJ
6	25.JUL.10	NEW SITE PLAN/CITY COMMENTS	RJ
5	25.MAR.10	UPDATE PER ARCH PLANS	AR
4	24.OCT.31	AMENITY AREA ADJUSTMENT	RJ
3	24.OCT.15	NEW SITE PLAN/CITY COMMENTS	RJ
2	24.JUN.26	AMENITY AREA UPDATED	RJ
1	24.JUN.06	REVISE PER CITY COMMENTS	VZ
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

**6-STOREY APARTMENT
BUILDING**

**8620-8660 SPIRES ROAD
RICHMOND, B.C.**

DRAWING TITLE:

**LANDSCAPE
PLAN**

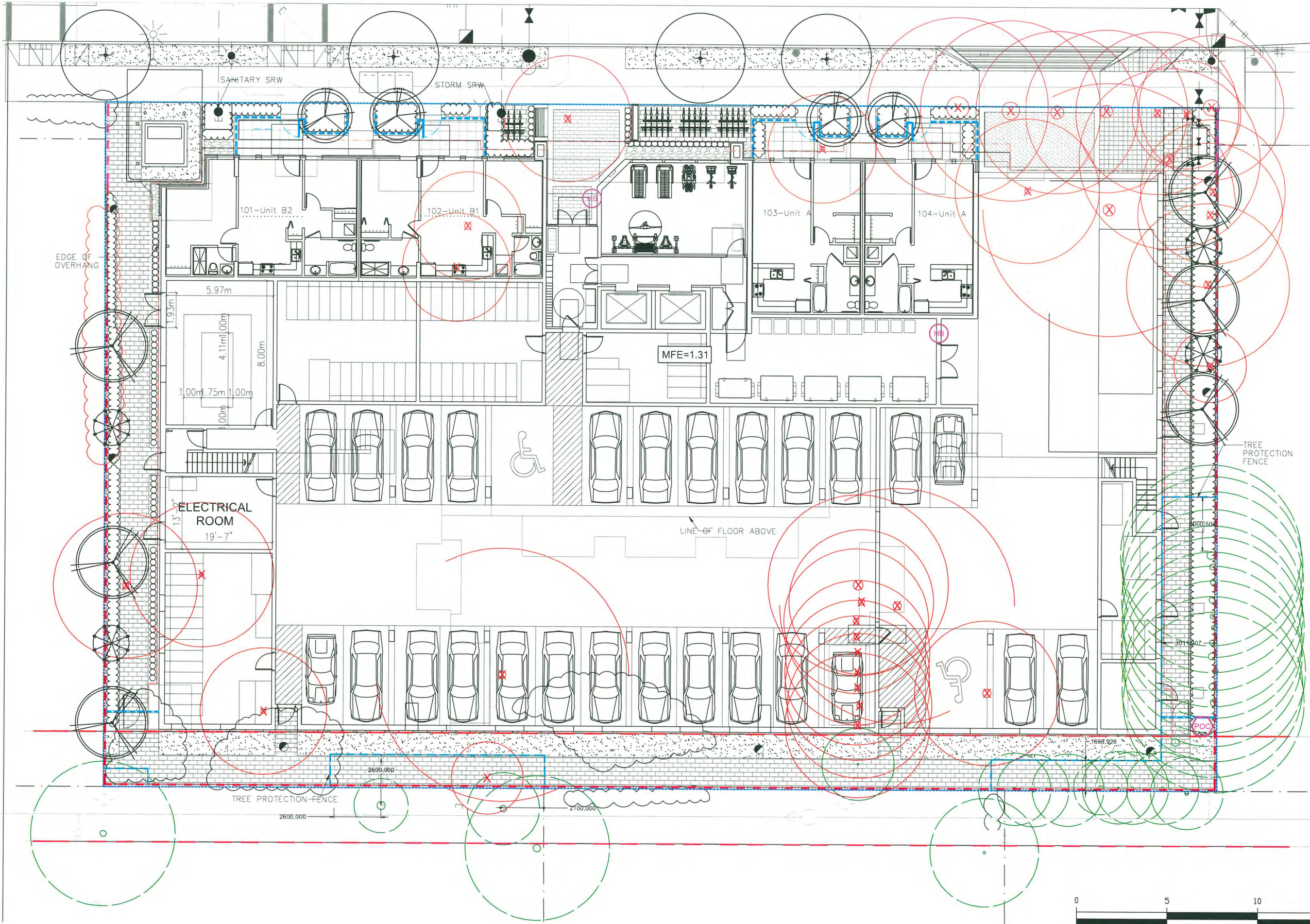
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SCALE: 1/8" = 1'-0"
DRAWN: RJ
DESIGN: RJ
CHK'D: YR

L1

23063-9 ZIP

PMG PROJECT NUMBER:

23-063



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SEAL:

DP 25-010558
November 17, 2025
PLAN # 22

11	25.OCT.29	PER CITY COMMENTS	AR
10	25.SEP.24	PER DAP COMMENTS; DP RE-SUBMISSION	AR
9	25.AUG.08	PER CITY COMMENTS	AR
8	25.AUG.05	PER CITY COMMENTS	AR
7	25.JUL.24	TREE RELOCATION	RJ
6	25.JUL.10	NEW SITE PLAN/CITY COMMENTS	RJ
5	25.MAR.10	UPDATE PER ARCH PLANS	AR
4	24.OCT.31	AMENITY AREA ADJUSTMENT	RJ
3	24.OCT.15	NEW SITE PLAN/CITY COMMENTS	RJ
2	24.JUN.26	AMENITY AREA UPDATED	RJ
1	24.JUN.06	REVISE PER CITY COMMENTS	VIZ
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

**6-STOREY APARTMENT
BUILDING**

**8620-8660 SPIRES ROAD
RICHMOND, B.C.**

DRAWING TITLE:

**TREE RETENTION PLAN
PLAN**

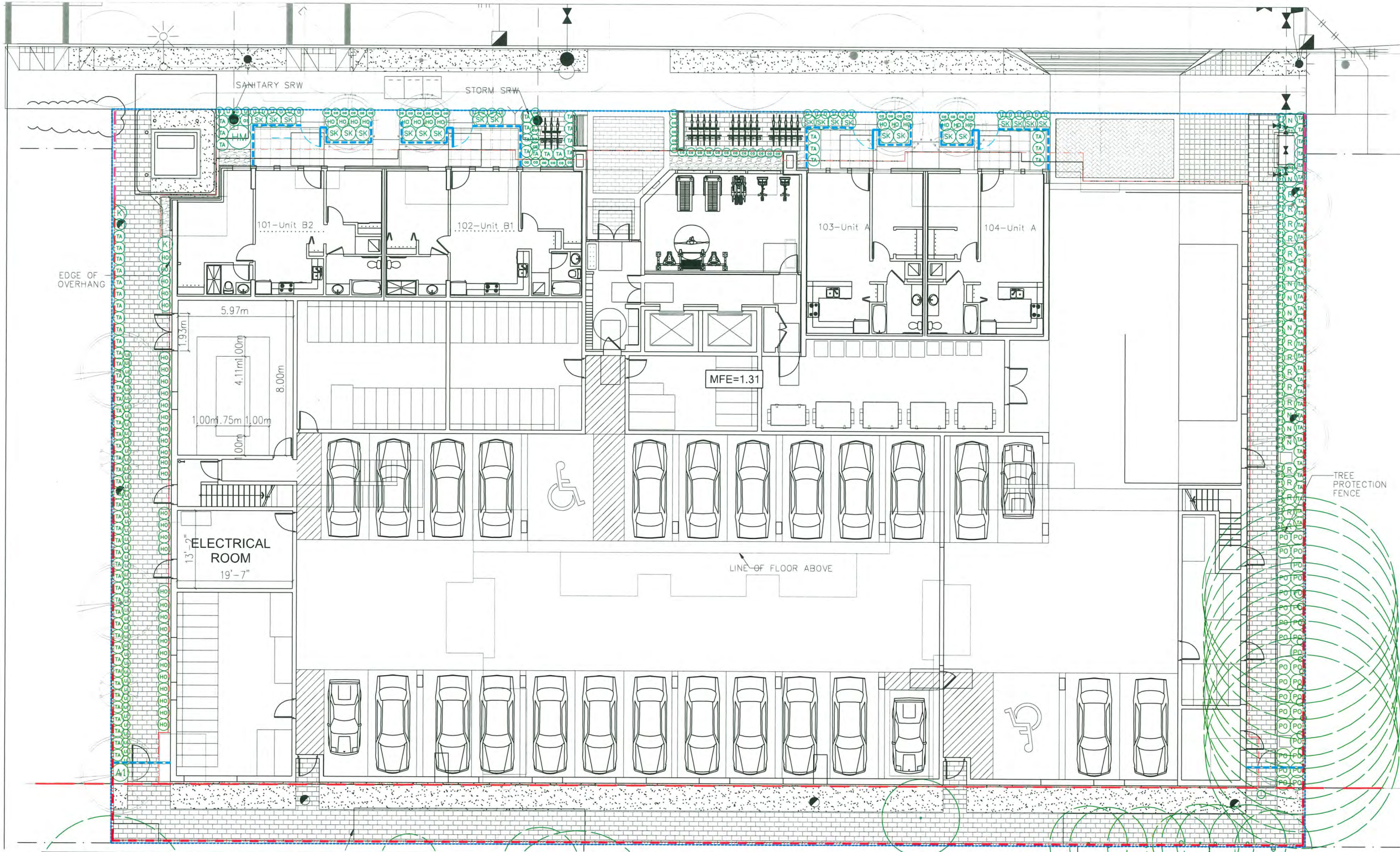
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SCALE: 1/8" = 1'-0"
DRAWN: RJ
DESIGN: RJ
CHKD: YR

L2

23063-9 ZIP

PMG PROJECT NUMBER:

23-063



PLANT SCHEDULE

PMG PROJECT NUMBER: 23-063			
KEY	QTY	BOTANICAL NAME	COMMON NAME
SHRUB			
(A1)	1	AZALEA JAPONICA 'GIRARD'S CRIMSON'	AZALEA; PURPLISH-RED
(HM)	1	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	BIGLEAF HYDRANGEA (BLUE)
(K)	2	KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL
(N)	10	NANDINA DOMESTICA 'MOONBAY'	DWARF HEAVENLY BAMBOO
(R)	15	RHODODENDRON 'BOW BELLS'	RHODODENDRON
(SK)	23	SKIMMIA JAPONICA (90% MALE)	JAPANESE SKIMMIA
(TA)	101	TAXUS X MEDIA 'HILLII'	HILLII YEW
GRASS			
(CO)	48	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE
(F1)	44	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	FOUNTAIN GRASS
PERENNIAL			
(OS)	2	ASTILBE x ARENDSII 'RED SENTINEL'	FALSE SPIREA; RED
(HO)	44	HOSTA 'PATRIOT'	HOSTA; GREEN AND WHITE VARIEGATED
(U)	73	LIRIOPE MUSCARI	BLUE LILY-TURF
GC			
(PO)	33	POLYSTICHUM MUNITUM	WESTERN SWORD FERN

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM; INSTALLATION TO I.I.A.B.C STANDARDS, LATEST EDITION.



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p: 604 294-0011 ; f: 604 294-0022

SEAL:

DP 25-010558
November 17, 2025
PLAN # 23

NO.	DATE	REVISION DESCRIPTION	DR.
11	25.OCT.29	PER CITY COMMENTS	AR
10	25.SEP.24	PER DAP COMMENTS; DP RE-SUBMISSION	AR
9	25.AUG.08	PER CITY COMMENTS	AR
8	25.AUG.05	PER CITY COMMENTS	AR
7	25.JUL.24	TREE RELOCATION	RJ
6	25.JUL.10	NEW SITE PLAN/CITY COMMENTS	RJ
5	25.MAR.10	UPDATE PER ARCH PLANS	AR
4	24.OCT.11	AMENITY AREA ADJUSTMENT	RJ
3	24.OCT.15	NEW SITE PLAN/CITY COMMENTS	RJ
2	24.JUN.26	AMENITY AREA UPDATED	RJ
1	24.JUN.06	REVISE PER CITY COMMENTS	VIZ

CLIENT:

PROJECT:
6-STOREY APARTMENT BUILDING

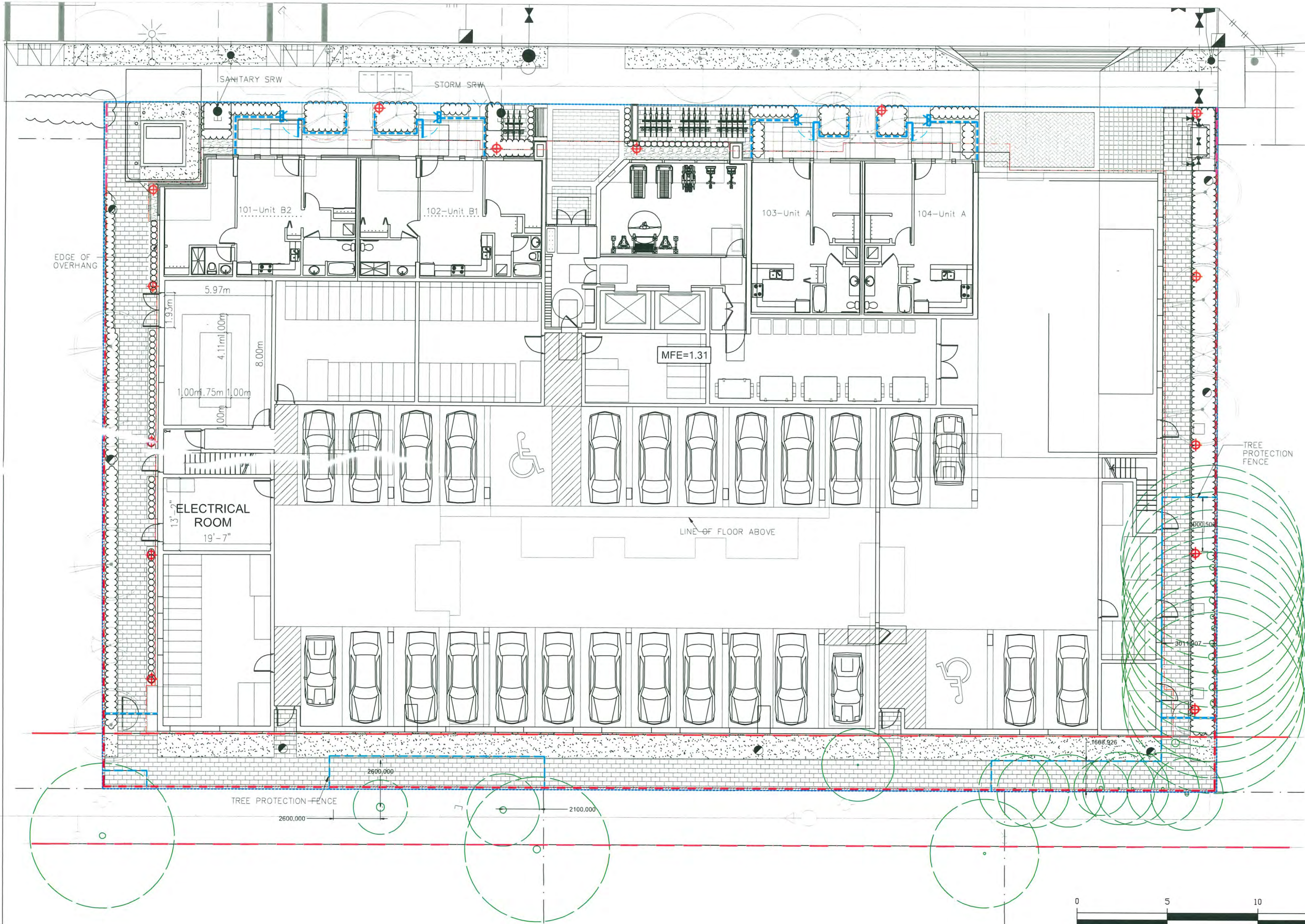
8620-8660 SPIRES ROAD
RICHMOND, B.C.

DRAWING TITLE:
SHRUB PLAN

DATE: 24.MAY.06
SCALE: 1/8" = 1'-0"
DRAWN: RJ
DESIGN: RJ
CHKD: YR

L3

PMG PROJECT NUMBER: 23-063



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ARCHITECTS

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SEAL:

DP 25-010558
November 17, 2025
PLAN # 24

11	25.OCT.29	PER CITY COMMENTS	AR
10	25.SEP.24	PER DAP COMMENTS, DP RE-SUBMISSION	AR
9	25.AUG.08	PER CITY COMMENTS	AR
8	25.AUG.05	PER CITY COMMENTS	AR
7	25.JUL.24	TREE RELOCATION	RJ
6	25.JUL.10	NEW SITE PLAN/CITY COMMENTS	RJ
5	25.MAR.10	UPDATE PER ARCH PLANS	AR
4	24.OCT.31	AMENITY AREA ADJUSTMENT	RJ
3	24.OCT.15	NEW SITE PLAN/CITY COMMENTS	RJ
2	24.JUN.26	AMENITY AREA UPDATED	RJ
1	24.JUN.05	REVISE PER CITY COMMENTS	VZ
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

**6-STOREY APARTMENT
BUILDING**

**8620-8660 SPIRES ROAD
RICHMOND, B.C.**

DRAWING TITLE:

**LIGHTING
PLAN**

DATE: 24 MAY.06 DRAWING NUMBER:
SCALE: 1/8" = 1'-0"
DRAWN: RJ
DESIGN: RJ
CHK'D: YR

L4

23063-9.ZIP

PMG PROJECT NUMBER:

23-063

SEAL:

DP 25-010558
November 17, 2025
PLAN # 25

NO.	DATE	REVISION DESCRIPTION	DW
11	25.OCT.29	PER CITY COMMENTS	AR
10	25.SEP.24	PER DAP COMMENTS: DP RE-SUBMISSION	AR
9	25.AUG.08	PER CITY COMMENTS	AR
8	25.AUG.05	PER CITY COMMENTS	AR
7	25.JUL.24	TREE RELOCATION	RJ
6	25.JUL.10	NEW SITE PLAN/ CITY COMMENTS	RJ
5	25.MAR.10	UPDATE PER ARCH PLANS	AR
4	24.OCT.31	AMENITY AREA ADJUSTMENT	RJ
3	24.OCT.15	NEW SITE PLAN/ CITY COMMENTS	RJ
2	24.JUN.26	AMENITY AREA UPDATED	RJ
1	24.JUN.06	REVISE PER CITY COMMENTS	DZ

CLIENT:

PROJECT:

6-STORY APARTMENT BUILDING

8620-8660 SPIRES ROAD
RICHMOND, B.C.

DRAWING TITLE:

GRADING PLAN

DATE: 24.MAY.06 DRAWING NUMBER:

SCALE: $1/8" = 1'-0"$

SCALE:

DRAWN:

DESIGN:

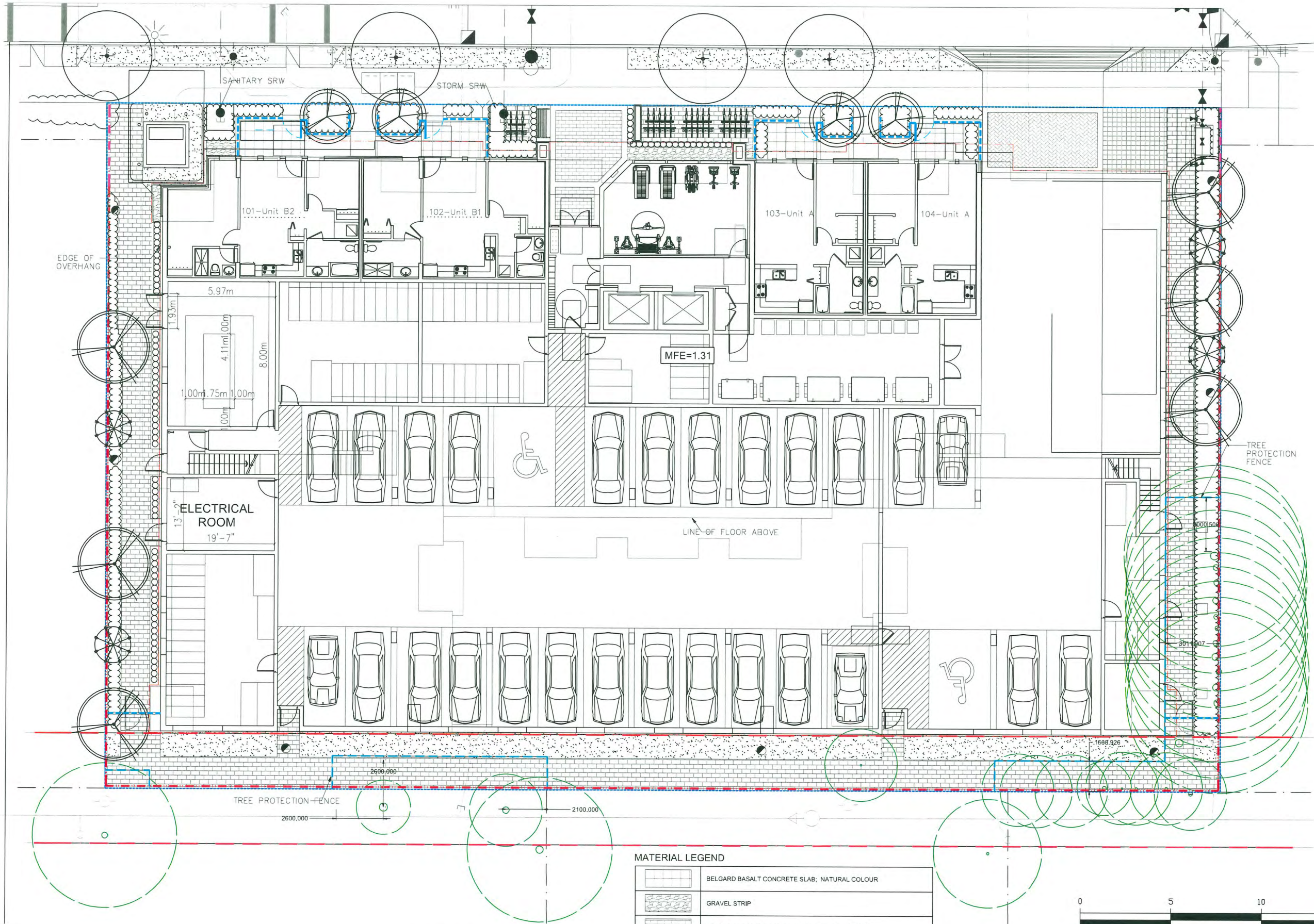
CHK'D:

L5

23063-9.Z14

PMG PROJECT NUMBER:

23-063



FENCING LEGEND	
	1.8M HT. WOOD FENCE
	1.2M HT. WOOD FENCE
	1.05M HT. ALUMINUM FENCE

MATERIAL LEGEND	
	BELGARD BASALT CONCRETE SLAB; NATURAL COLOUR
	GRAVEL STRIP
	BELGARD CORTEZ 305X610X50MM; NATURAL COLOUR
	CONCRETE
	BELGARD VS-5; CHARCOAL COLOUR; HERRINGBONE PATTERN
	BELGARD AQUALINE PERMEABLE PAVER; FOUNDRY COLOUR
	BELGARD TURFSTONE GRID PAVER



MAGLIN BIKE RACK 400S



MAGLIN BENCH 970 BACKED IPE WOOD



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SEAL:

DP 25-010558
November 17, 2025
PLAN # 26

NO.	DATE	REVISION DESCRIPTION	DR.
11	25.OCT.29	PER CITY COMMENTS	AR
10	25.SEP.24	PER DAP COMMENTS, DP RE-SUBMISSION	AR
9	25.AUG.08	PER CITY COMMENTS	AR
8	25.AUG.05	PER CITY COMMENTS	AR
7	25.JUL.24	TREE RELOCATION	RJ
6	25.JUL.10	NEW SITE PLAN/CITY COMMENTS	RJ
5	25.MAR.10	UPDATE PER ARCH PLANS	AR
4	24.OCT.31	AMENITY AREA ADJUSTMENT	RJ
3	24.OCT.15	NEW SITE PLAN/CITY COMMENTS	RJ
2	24.JUN.26	AMENITY AREA UPDATED	RJ
1	24.JUN.06	REVISE PER CITY COMMENTS	WZ

CLIENT:

PROJECT:

6-STOREY APARTMENT BUILDING

**8620-8660 SPIRES ROAD
RICHMOND, B.C.**

DRAWING TITLE:

**MATERIAL
PLAN**

DATE: 24.MAY.06 DRAWING NUMBER:
SCALE: 1/8" = 1'-0"
DRAWN: RJ
DESIGN: RJ
CHK'D: YR

L6

23063-9 ZIP

PMG PROJECT NUMBER:

23-063

DP 25-010558
November 17, 2025
PLAN # 27



WISHBONE BAYVIEW PICNIC TABLE



HAUSER NOVA CHIASE LOUNGE



WISHBONE BAYVIEW 2 SEATER TABLE

STUB-OUT LOCATION
FOR IRRIGATION
HOOK-UPS
HOSE BIB LOCATION
BY MECHANICAL
ENGINEER

11	25.OCT.25	PER CITY COMMENTS	AR
10	25.SEP.24	PER DAP COMMENTS; DP RE-SUBMISSION	AR
9	25.AUG.08	PER CITY COMMENTS	AR
8	25.AUG.05	PER CITY COMMENTS	AR
7	25.JUL.24	TREE RELOCATION	RJ
6	25.JUL.10	NEW SITE PLAN/CITY COMMENTS	RJ
5	25.MAR.10	UPDATE PER ARCH PLANS	AR
4	24.OCT.31	AMENITY AREA ADJUSTMENT	RJ
3	24.OCT.15	NEW SITE PLAN/CITY COMMENTS	RJ
2	24.JUN.26	AMENITY AREA UPDATED	RJ
1	24.JUN.06	REVISE PER CITY COMMENTS	VIZ
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

6-STOREY APARTMENT
BUILDING

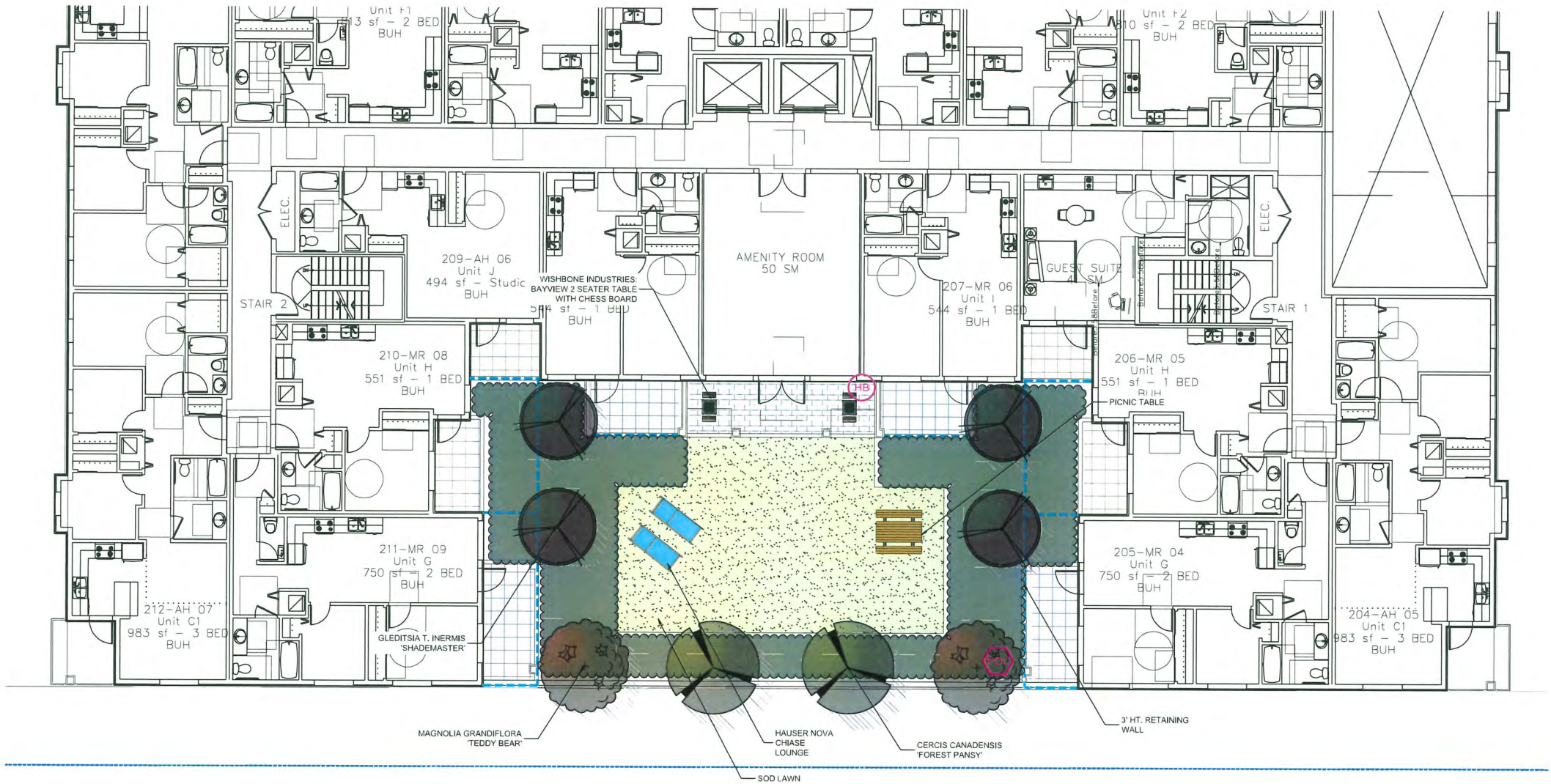
8620-8660 SPIRES ROAD
RICHMOND, B.C.

DRAWING TITLE:

LEVEL 2
LANDSCAPE PLAN

DATE: 24.MAY.06 DRAWING NUMBER:
SCALE: 1/8" = 1'-0"
DRAWN: RJ
DESIGN: RJ
CHKD: YR

L8



PLANT SCHEDULE

PMG PROJECT NUMBER: 23-063

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
	4	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEAM	8CM CAL; B&B
	2	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	8CM CAL; B&B
	2	MAGNOLIA GRANDIFLORA 'TEDDY BEAR'	TEDDY BEAR SOUTHERN MAGNOLIA	8CM CAL; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM; INSTALLATION TO I.I.A.B.C STANDARDS, LATEST EDITION.

MATERIAL LEGEND

	BELGARD BASALT CONCRETE SLAB NATURAL COLOUR
	GRAVEL STRIP
	BELGARD CORTEZ 305X610X50MM NATURAL COLOUR

FENCE LEGEND

	1.06M HT. ALUMINUM FENCE
--	--------------------------



DP 25-010558
November 17, 2025
PLAN # 28

11	25.OCT.29	PER CITY COMMENTS	AR
10	25.SEP.24	PER DAP COMMENTS; DP RE-SUBMISSION	AR
9	25.AUG.08	PER CITY COMMENTS	AR
8	25.AUG.05	PER CITY COMMENTS	AR
7	25.JUL.24	TREE RELOCATION	RJ
6	25.JUL.10	NEW SITE PLAN/CITY COMMENTS	RJ
5	25.MAR.10	UPDATE PER ARCH PLANS	AR
4	24.OCT.11	AMENITY AREA ADJUSTMENT	RJ
3	24.OCT.15	NEW SITE PLAN/CITY COMMENTS	RJ
2	24.JUN.26	AMENITY AREA UPDATED	RJ
1	24.JUN.06	REVISE PER CITY COMMENTS	WZ
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

6-STOREY APARTMENT
BUILDING

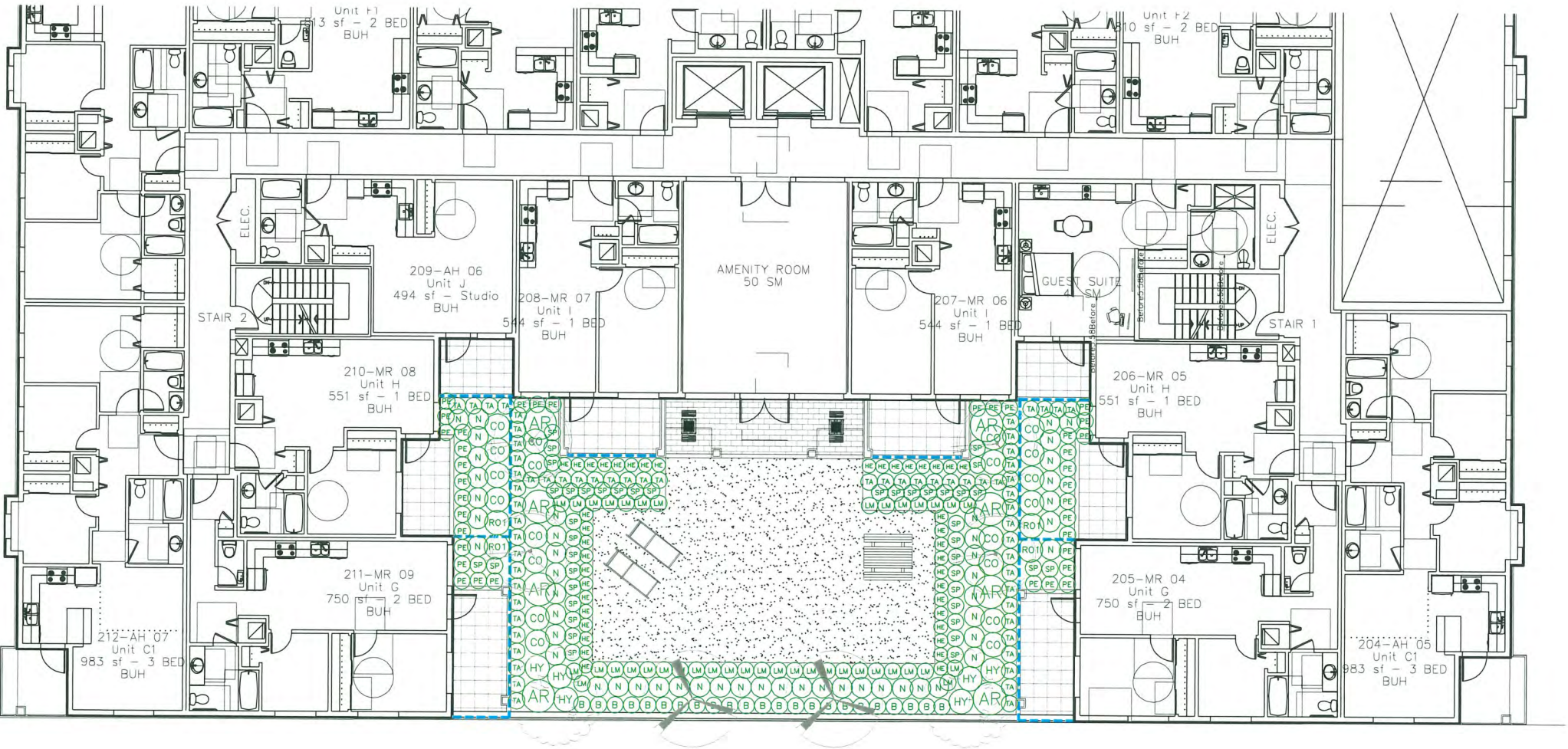
8620-8660 SPIRES ROAD
RICHMOND, B.C.

DRAWING TITLE:

LEVEL 2
SHRUB PLAN

DATE: 24.MAY.06 DRAWING NUMBER:
SCALE: 1/8" = 1'-0"
DRAWN: RJ
DESIGN: RJ
CHK'D: YR

L9



PLANT SCHEDULE

PMG PROJECT NUMBER: 23-063

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
AR	8	ARBUTUS UNEDO 'COMPACTA'	COMPACT STRAWBERRY BUSH	#3 POT; 80CM
B	23	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM
CO	20	CORNUS SERICEA	REDTWIG DOGWOOD	#3 POT; 80CM
HY	6	HYDRANGEA MACROPHYLLA 'SISTER THERESA'	BIGLEAF HYDRANGEA; WHITE	#2 POT; 50CM
N	50	NANDINA DOMESTICA 'MOONBAY'	DWARF HEAVENLY BAMBOO	#3 POT; 50CM
RO	4	ROSA MEIDILAND 'BONICA'	BONICA ROSE	#2 POT; 40CM
SP	41	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA; PINK	#2 POT; 40CM
TA	64	TAXUS X MEDIA 'HILLII'	HILLII YEW	1.5M B&B
GRASS				
PE	36	PENNISETUM ALOPECUROIDES 'HAELIN'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL				
HE	40	HEMEROCALLIS 'WHITE TEMPTATION'	DAYLILY, WHITE	#1 POT; 20CM
LM	39	LAVENDULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER; COMPACT; VIOLET-BLUE	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

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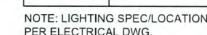
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ARCHITECTS

SEAL-

DP 25-010558
November 17, 2025
PLAN # 29



LIGHT LEGEND



CLIENT

PROJECT:

DRAWING TITLE:

DATE: 24.MAY.06 DRAWING NUMBER: L10

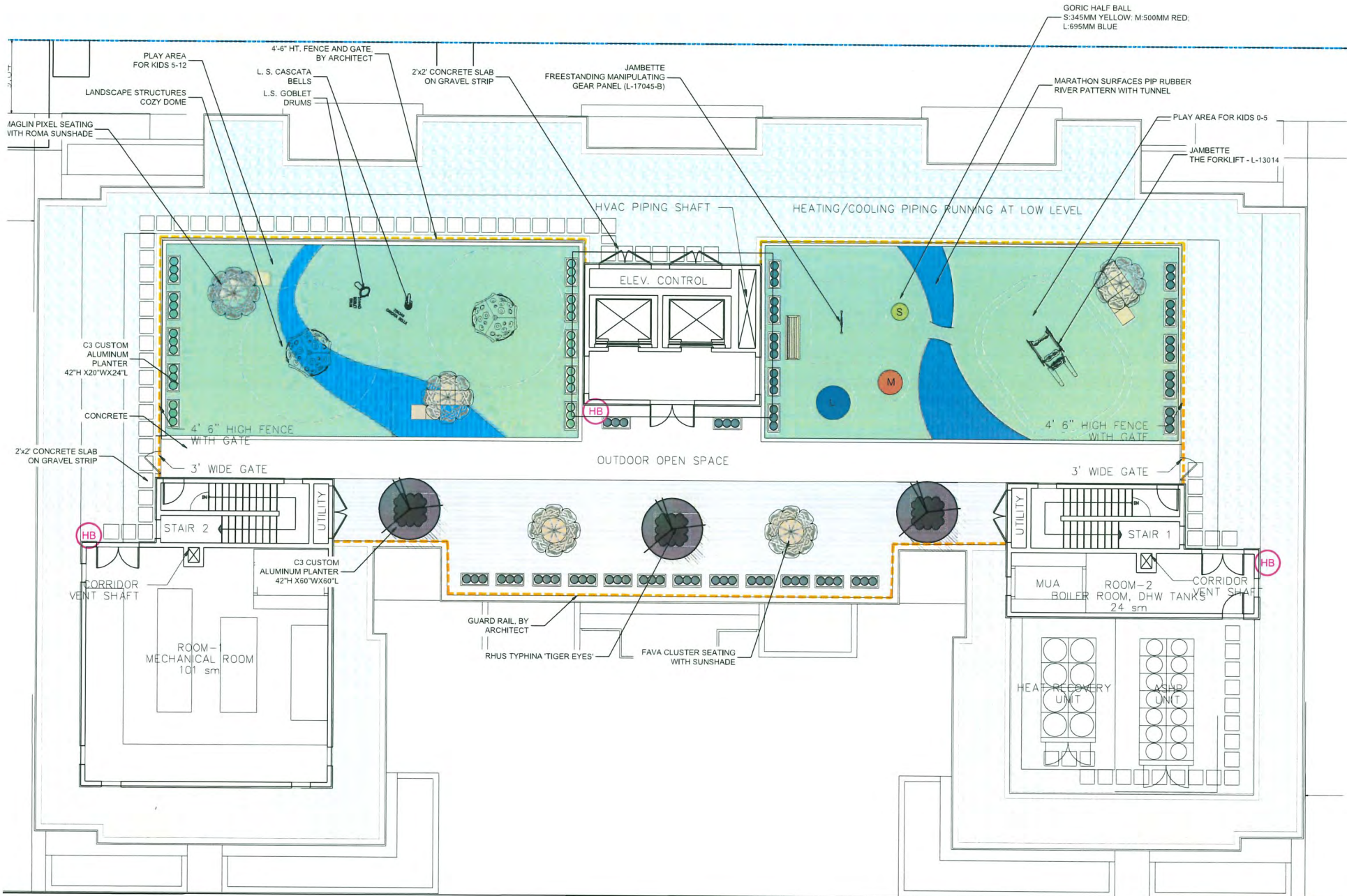
SCALE: 1/8" = 1'-0"

DRAWN: RJ

DESIGN: RJ

CHK'D: YR





JAMBETTE FREESTANDING MANIPULATING GEAR PANEL L-17045-B



MAGLIN FAVA CLUSTER SEATING WITH ROMA SUNSHADE



MAGLIN PIXEL SEATING WITH ROMA SUN SHADE



MAGLIN BENCH 970 BACKED IPE WOOD



C3 CUSTOM ALUMINUM PLANTER



JAMBETTE THE FORKLIFT - L-13014



GORIC HALF BALL



LANDSCAPE STRUCTURES COZY DOME



LANDSCAPE STRUCTURES GOBLET DRUM



LANDSCAPE STRUCTURES CASCATA BELLS

- STUB-OUT LOCATION FOR IRRIGATION HOOK-UPS
- HOSE BIB LOCATION BY MECHANICAL ENGINEER

MATERIAL LEGEND

	MARATHON SURFACES POURED-IN-PLACE RUBBER SURFACE COLOUR: MAY GREEN
	MARATHON SURFACES POURED-IN-PLACE RUBBER SURFACE COLOUR: BLUE
	BELGARD NOON PORCELAIN
	BELGARD BASALT CONCRETE SLAB NATURAL COLOUR
	CONCRETE
	GRAVEL STRIP



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	3	RHUS TYPHINA 'TIGER EYES'	CUTLEAF STAGHORN SUMAC	2M HT; B&B; 3 STEM OR MORE

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

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p: 604 294-0011 ; f: 604 294-0022

SEAL:

DP 25-010558
November 17, 2025
PLAN # 30

11	25.OCT.29	PER CITY COMMENTS	AR
10	25.SEP.24	PER DAP COMMENTS, DP RE-SUBMISSION	AR
9	25.AUG.08	PER CITY COMMENTS	AR
8	25.AUG.05	PER CITY COMMENTS	AR
7	25.JUL.24	TREE RELOCATION	RJ
6	25.JUL.10	NEW SITE PLAN/CITY COMMENTS	RJ
5	25.MAR.10	UPDATE PER ARCH PLANS	AR
4	24.OCT.31	AMENITY AREA ADJUSTMENT	RJ
3	24.OCT.15	NEW SITE PLAN/CITY COMMENTS	RJ
2	24.JUN.26	AMENITY AREA UPDATED	RJ
1	24.JUN.06	REVISE PER CITY COMMENTS	VIZ

CLIENT:

PROJECT:
**6-STOREY APARTMENT
BUILDING**

**8620-8660 SPIRES ROAD
RICHMOND, B.C.**

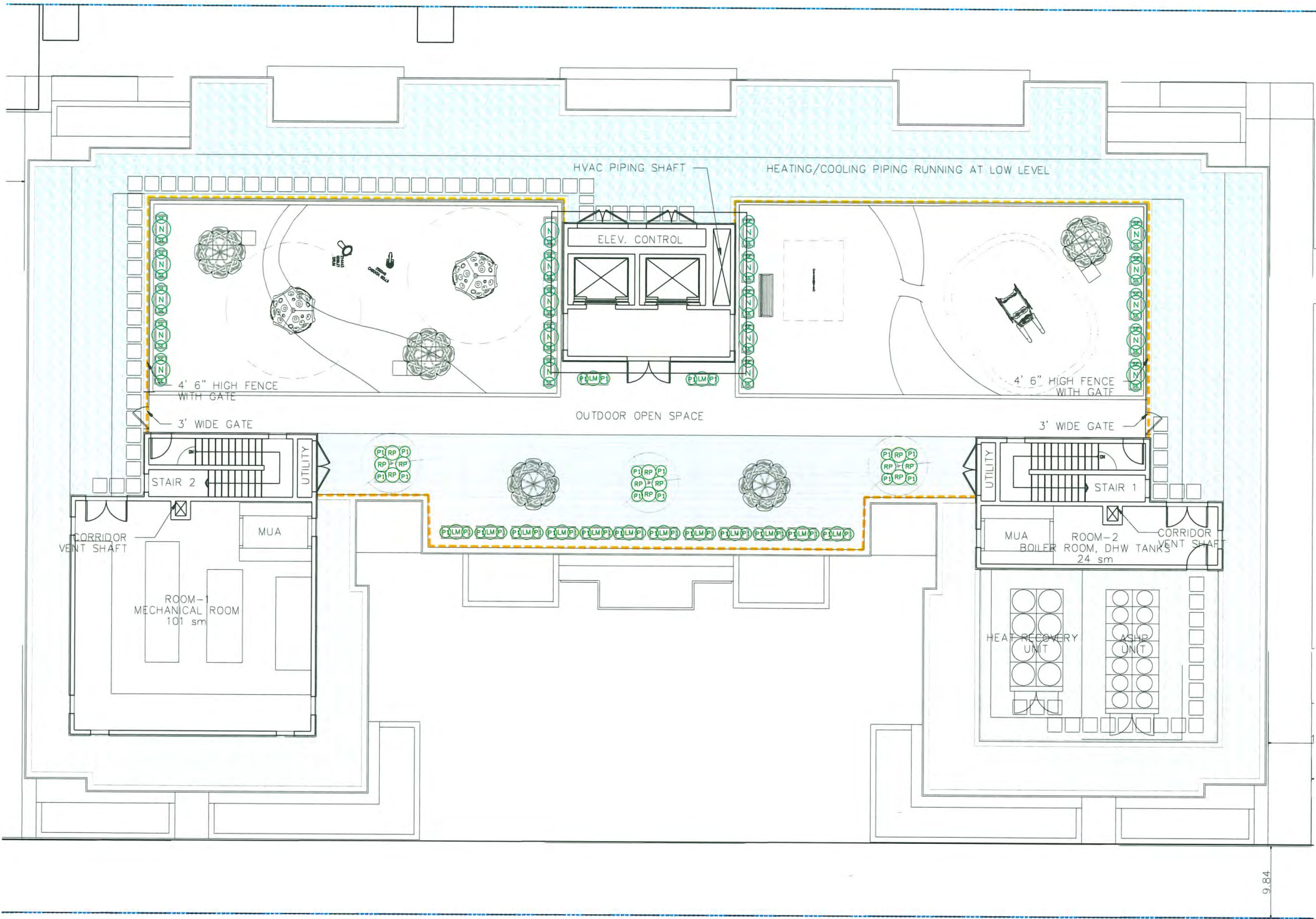
DRAWING TITLE:
**ROOFTOP
LANDSCAPE PLAN**

DATE: 24.MAY.06 DRAWING NUMBER:
SCALE: 1/8" = 1'-0"
DRAWN: RJ
DESIGN: RJ
CHK'D: YR

L12

SEAL:

DP 25-010558
November 17, 2025
PLAN # 31



PLANT SCHEDULE

PMG PROJECT NUMBER: 23-063

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
(N)	20	NANDINA DOMESTICA 'MOONBAY'	DWARF HEAVENLY BAMBOO	#3 POT; 50CM
(RP)	12	ROSMARINUS OFFICINALIS 'PROSTRATUS'	CREeping ROSEMARY	
GRASS				
(P1)	40	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	FOUNTAIN GRASS	#1 POT
PERENNIAL				
(LW)	14	LAVENDULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER; COMPACT; VIOLET-BLUE	#1 POT
(SE)	39	SEDUM 'AUTUMN JOY'	STONECROP	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

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PROJECT:

6-STOREY APARTMENT
BUILDING

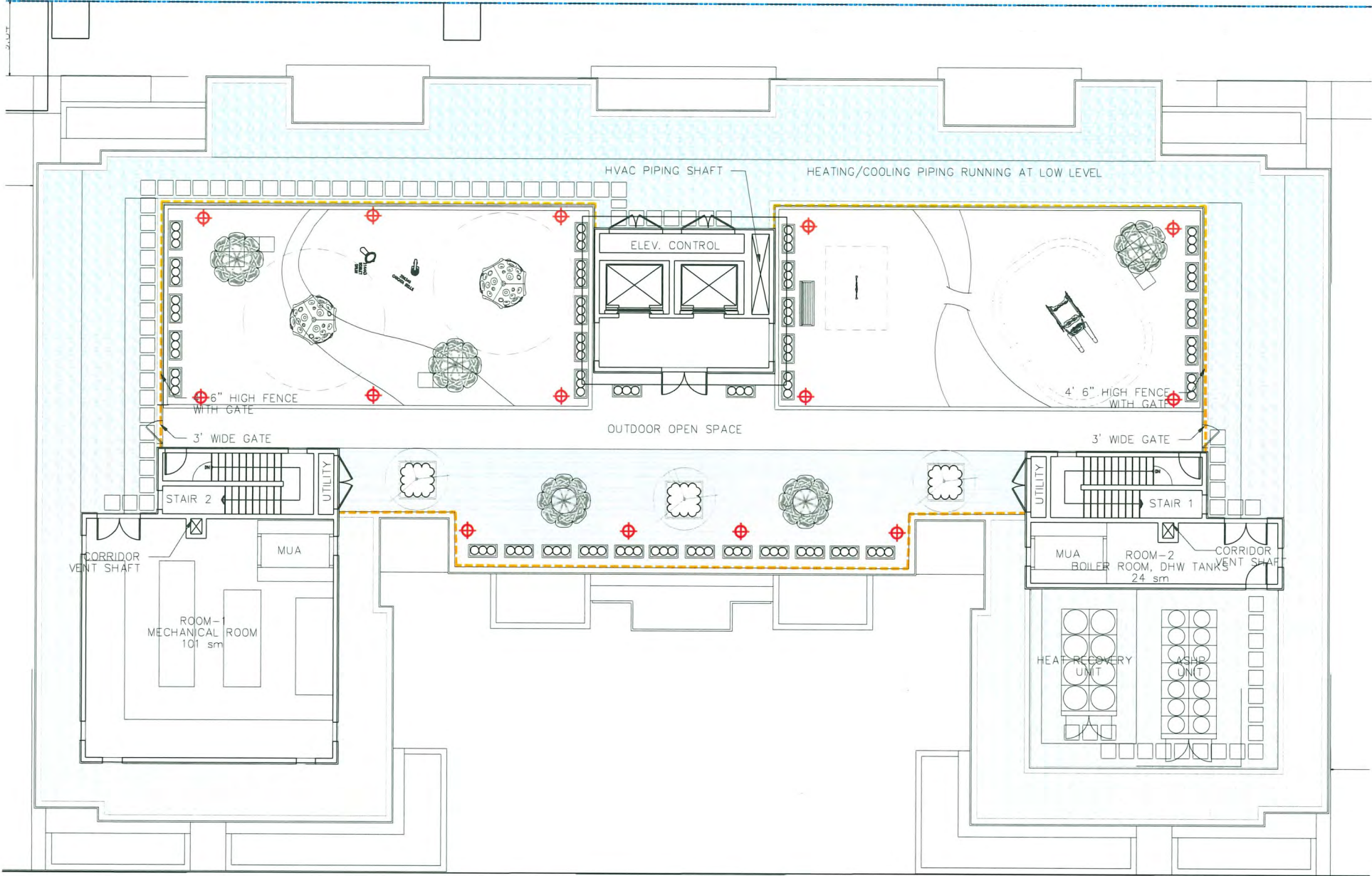
8620-8660 SPIRES ROAD
RICHMOND, B.C.

DRAWING TITLE:

ROOFTOP
SHRUB PLAN

DATE: 24.MAY.06 DRAWING NUMBER:
SCALE: 1/8" = 1'-0"
DRAWN: RJ
DESIGN: RJ
CHK'D: YR

L13



WAC 6021-27BK SLOPED
PATH LIGHT

LIGHT LEGEND

	WAC 6021-27BK SLOPED PATH LIGHT
--	------------------------------------

NOTE: LIGHTING SPEC/LOCATION
PER ELECTRICAL DWG.



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Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

DP 25-010558
November 17, 2025
PLAN # 32

11	25.OCT.29	PER CITY COMMENTS	AR
10	25.SEP.24	PER DAP COMMENTS: DP RE-SUBMISSION	AR
9	25.AUG.08	PER CITY COMMENTS	AR
8	25.AUG.05	PER CITY COMMENTS	AR
7	25.JUL.24	TREE RELOCATION	RJ
6	25.JUL.10	NEW SITE PLAN/CITY COMMENTS	RJ
5	25.MAR.10	UPDATE PER ARCH PLANS	AR
4	24.OCT.31	AMENITY AREA ADJUSTMENT	RJ
3	24.OCT.15	NEW SITE PLAN/CITY COMMENTS	RJ
2	24.JUN.26	AMENITY AREA UPDATED	RJ
1	24.JUN.06	REVISE PER CITY COMMENTS	VIZ
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

**6-STOREY APARTMENT
BUILDING**

**8620-8660 SPIRES ROAD
RICHMOND, B.C.**

DRAWING TITLE:

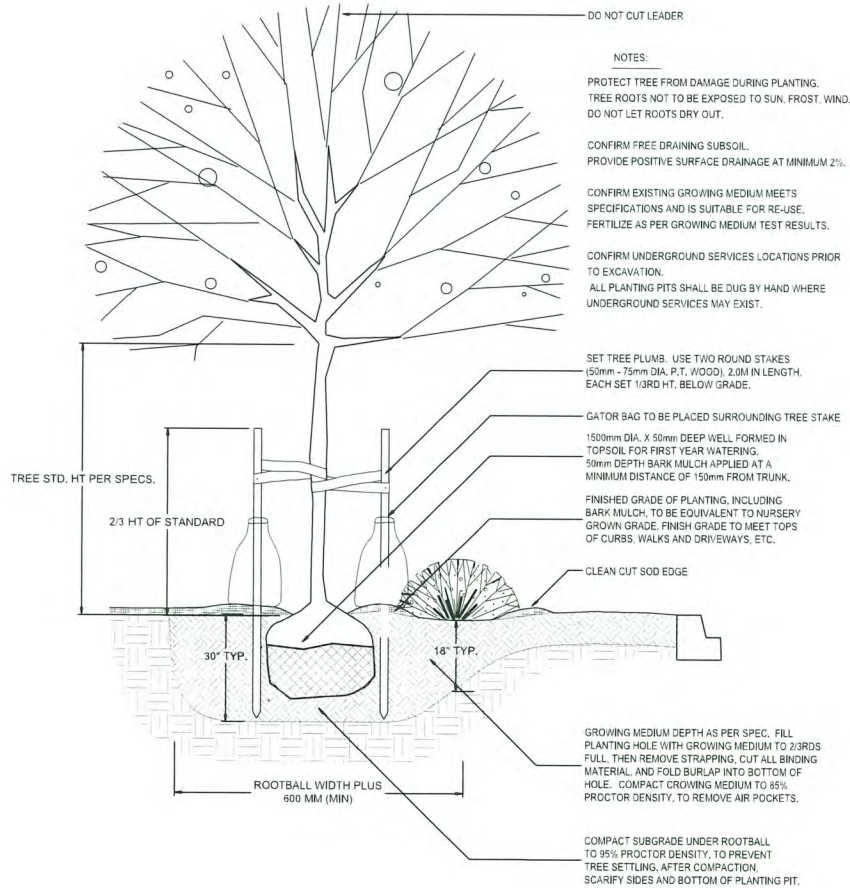
**ROOFTOP
LIGHTING PLAN**

DATE: 24.MAY.06 DRAWING NUMBER:
SCALE: 1/8" = 1'-0"
DRAWN: RJ
DESIGN: RJ
CHKD: YR

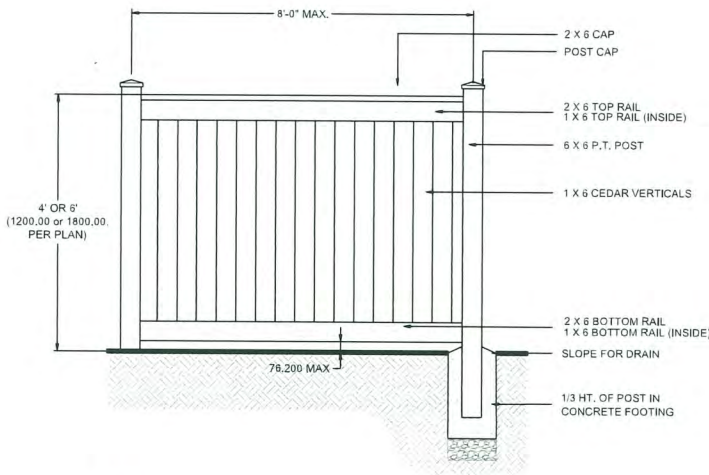
L14

SEAL:

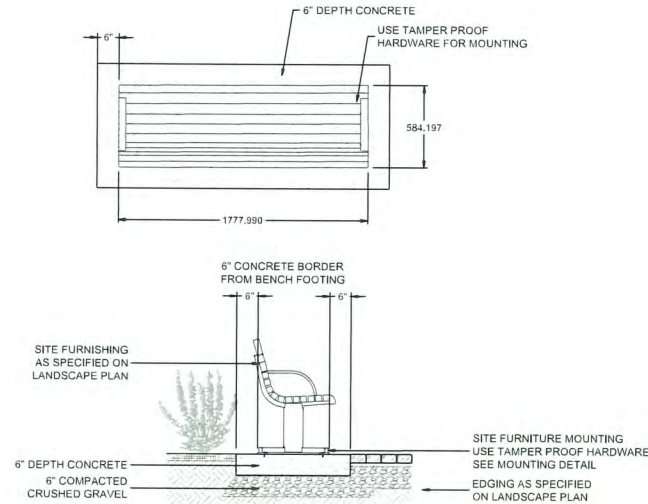
DP 25-010558
November 17, 2025
PLAN # 33



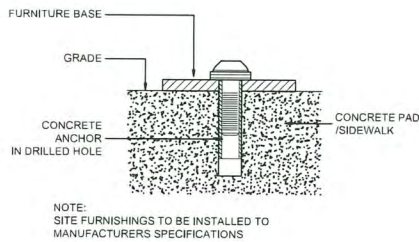
1 TREE AND SHRUB PLANTING AT GRADE
1/2" = 1'-0"



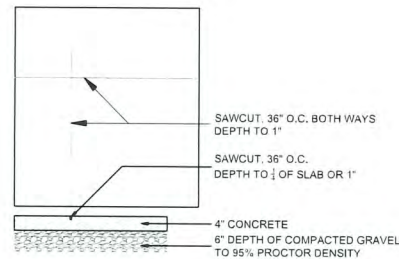
2 4' AND 6' HT. WOOD FENCE
1/2" = 1'-0"



3 BENCH ON CONCRETE PAD
1/2" = 1'-0"



4 SITE FURNITURE MOUNTING
N.T.S



5 CONCRETE SAW CUTS
1/2" = 1'-0"

11	25.OCT.29	PER CITY COMMENTS	AR
10	25.SEP.24	PER DAP COMMENTS, DP RE SUBMISSION	AR
9	25.AUG.08	PER CITY COMMENTS	AR
8	25.AUG.05	PER CITY COMMENTS	AR
7	25.JUL.24	TREE RELOCATION	RJ
6	25.JUL.10	NEW SITE PLAN/CITY COMMENTS	RJ
5	25.MAR.10	UPDATE PER ARCH PLANS	AR
4	24.OCT.11	AMENITY AREA ADJUSTMENT	RJ
3	24.OCT.15	NEW SITE PLAN/CITY COMMENTS	RJ
2	24.JUN.26	AMENITY AREA UPDATED	RJ
1	24.JUN.06	REVISE PER CITY COMMENTS	WZ

CLIENT:

PROJECT:

**6-STOREY APARTMENT
BUILDING**

**8620-8660 SPIRES ROAD
RICHMOND, B.C.**

DRAWING TITLE:

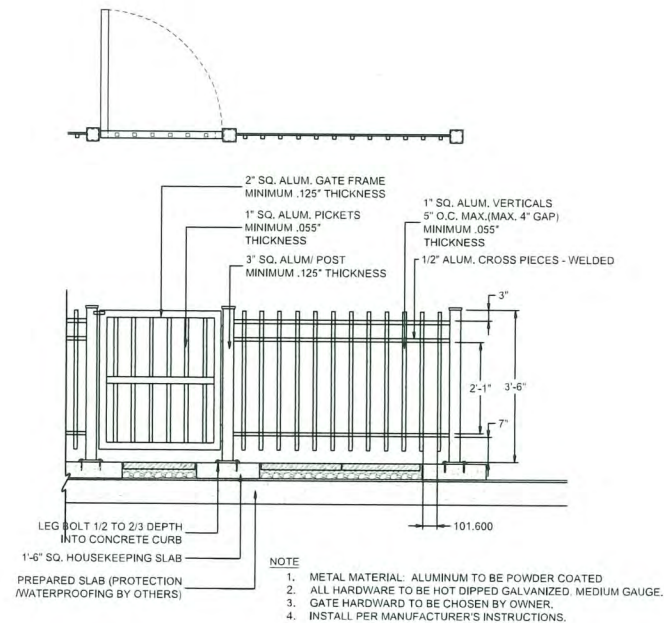
**LANDSCAPE
DETAILS**

DATE: 24.MAY.06 DRAWING NUMBER:
SCALE: AS SHOWN
DRAWN: RJ
DESIGN: RJ
CHKD: YR

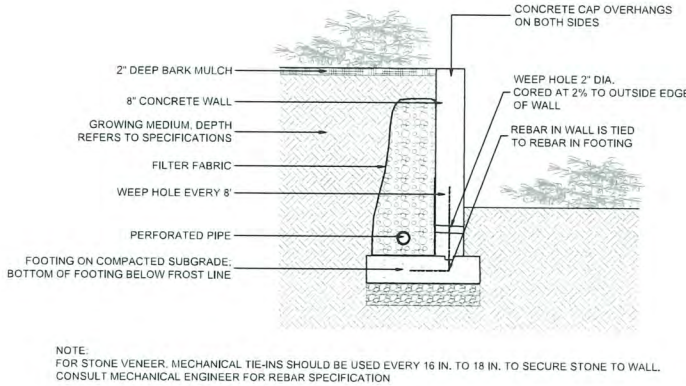
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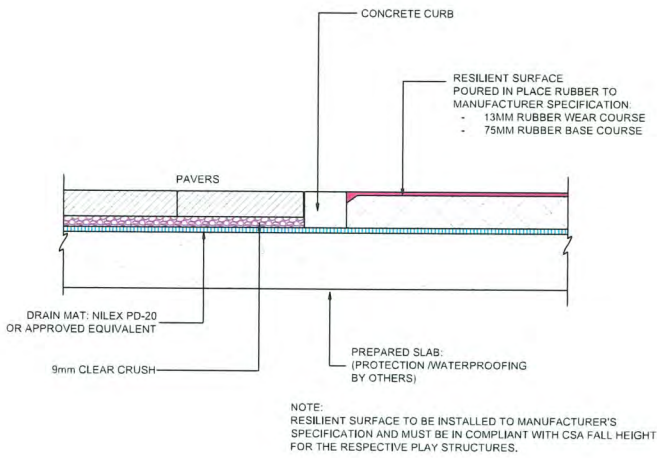
DP 25-010558
November 17, 2025
PLAN # 34



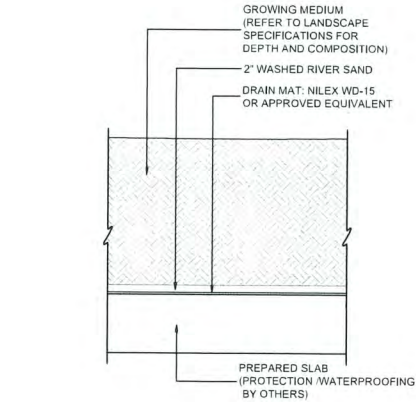
1 ALUMINUM PICKET FENCE ON SLAB
1/2" = 1'-0"



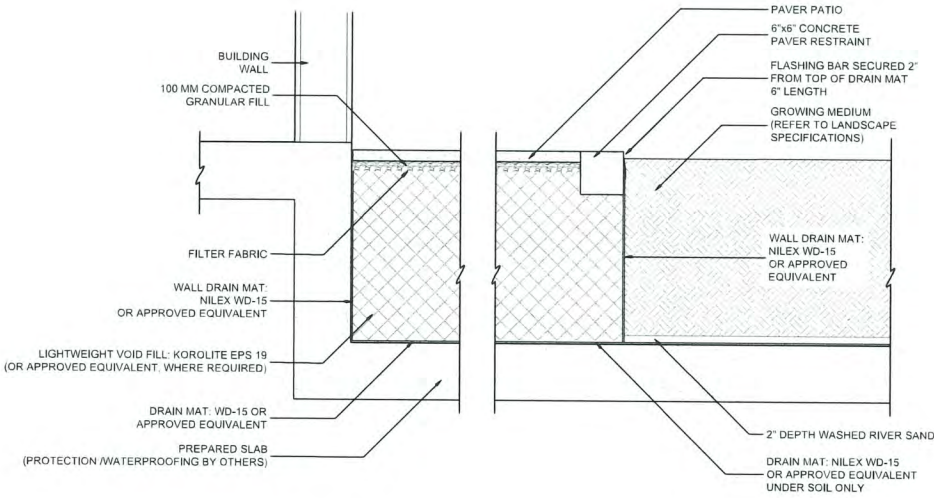
4 CONCRETE RETAINING WALL ON GRADE
1/2" = 1'-0"



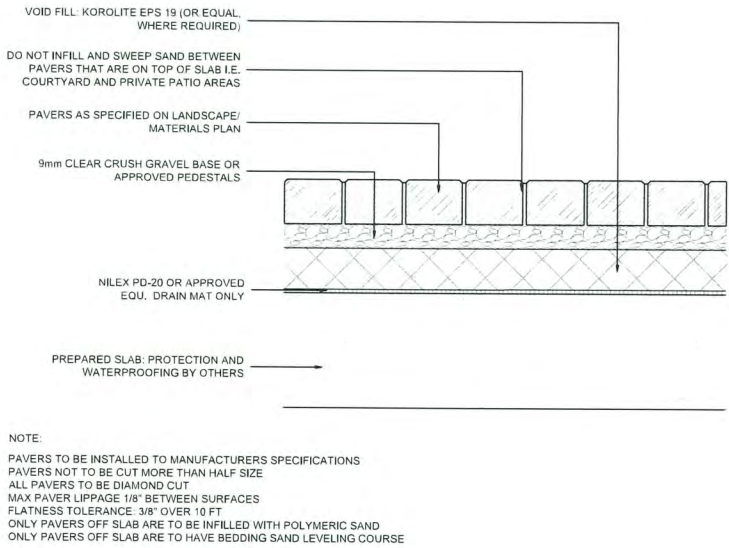
8 POURED PLAY SURFACE EDGE
1"=1'-0"



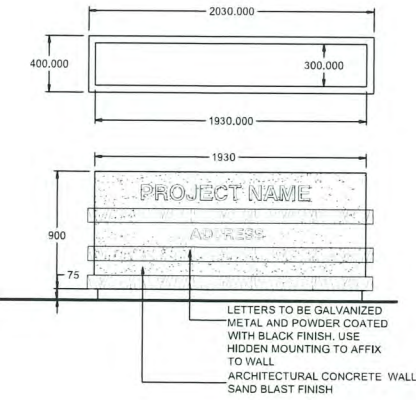
2 LANDSCAPE ON SLAB
1/2" = 1'-0"



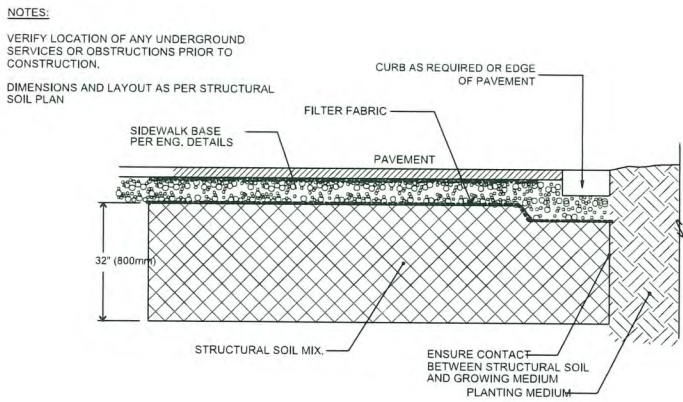
5 PATIO/LANDSCAPE AT SLAB DROP
1/2" = 1'-0"



9 PAVERS ON SLAB
1"=1'-0"



3 DEVELOPMENT SIGNAGE
1/2" = 1'-0"



6 STRUCTURAL SOIL SECTION
1/2" = 1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
11	25.OCT.29	PER CITY COMMENTS	AR
10	25.SEP.24	PER DAP COMMENTS; DP RE-SUBMISSION	AR
9	25.AUG.08	PER CITY COMMENTS	AR
8	25.AUG.05	PER CITY COMMENTS	AR
7	25.JUL.24	TREE RELOCATION	RJ
6	25.JUL.10	NEW SITE PLAN/CITY COMMENTS	RJ
5	25.MAR.10	UPDATE PER ARCH PLANS	AR
4	24.OCT.31	AVENITY AREA ADJUSTMENT	RJ
3	24.OCT.15	NEW SITE PLAN/CITY COMMENTS	RJ
2	24.JUN.26	AVENITY AREA UPDATED	RJ
1	24.JUN.06	REVISE PER CITY COMMENTS	VW

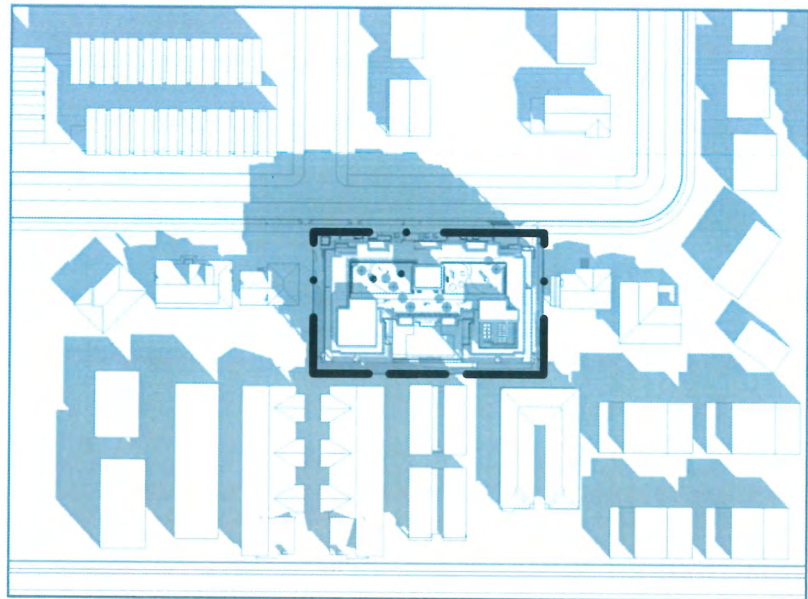
CLIENT:

PROJECT:
**6-STOREY APARTMENT
BUILDING**
**8620-8660 SPIRES ROAD
RICHMOND, B.C.**

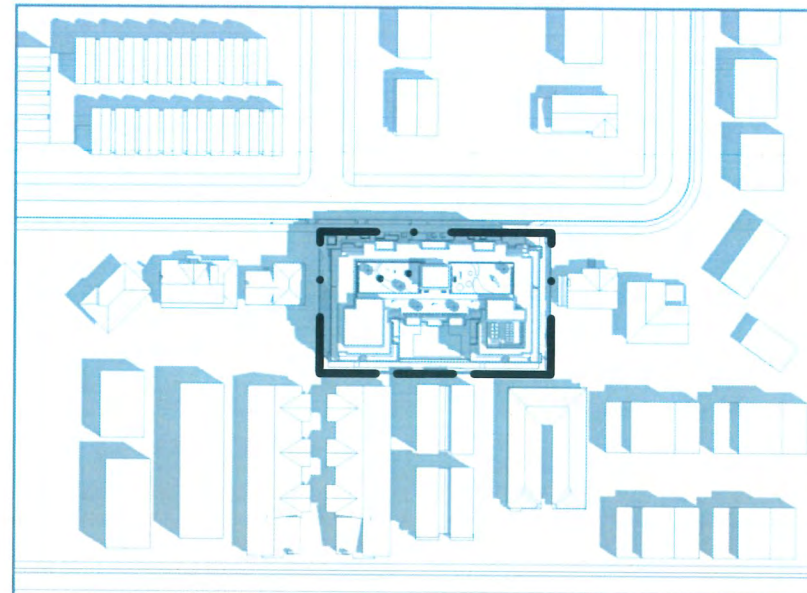
DRAWING TITLE:
**LANDSCAPE
DETAILS**

DATE: 24.MAY.06 DRAWING NUMBER:
SCALE: AS SHOWN
DRAWN: RJ
DESIGN: RJ
CHK'D: YR

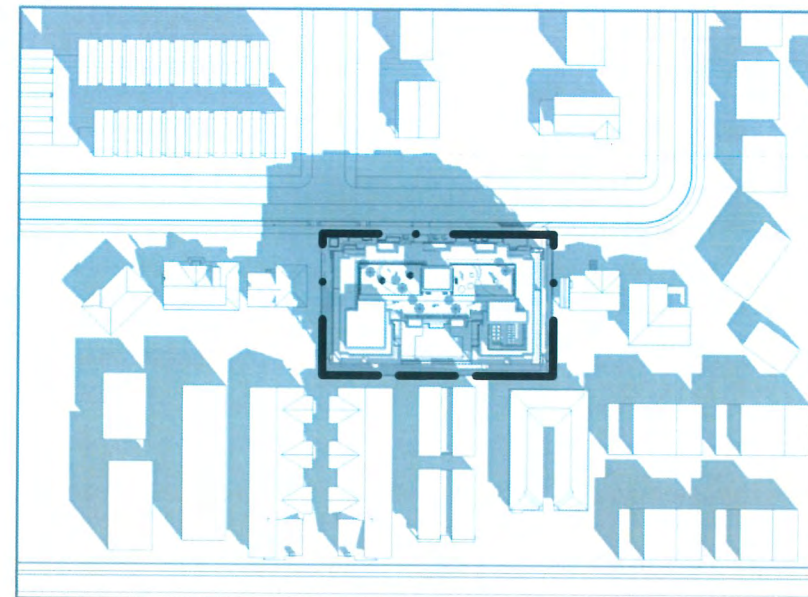
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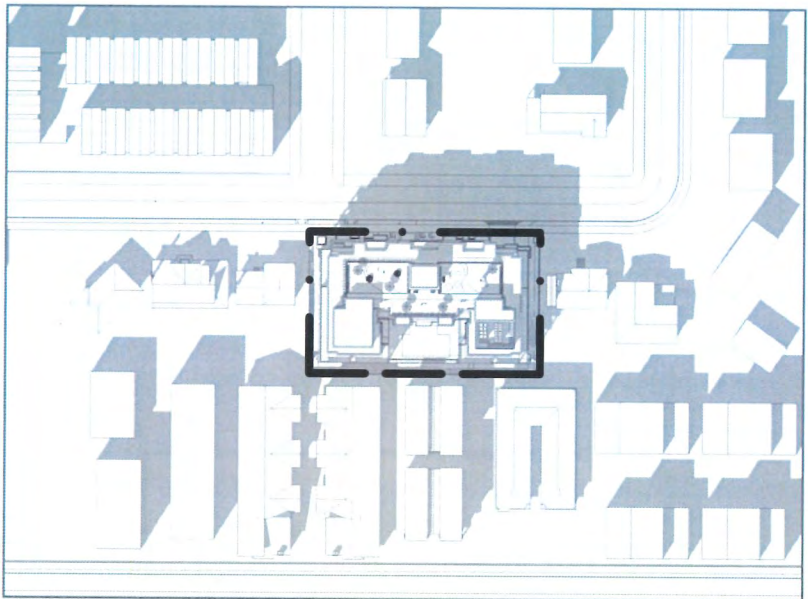
MARCH 21ST - 10 am



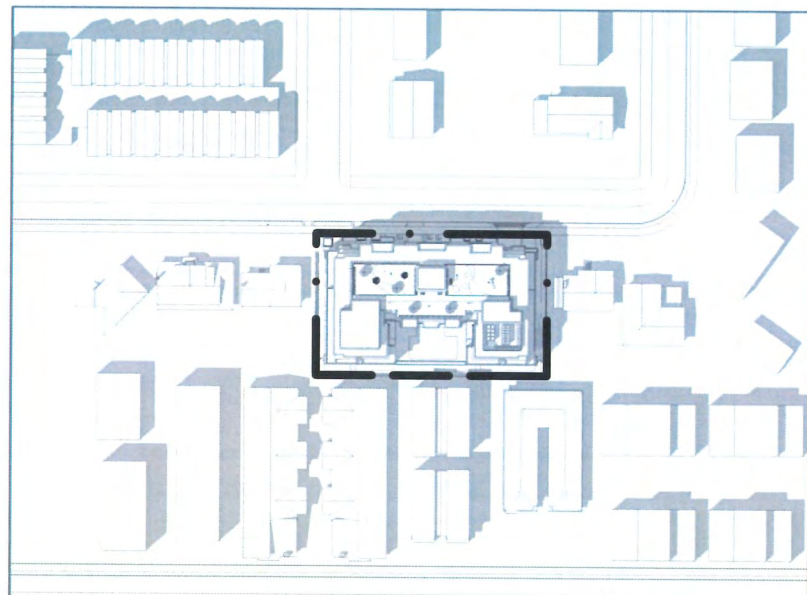
JUNE 21ST - 10 am



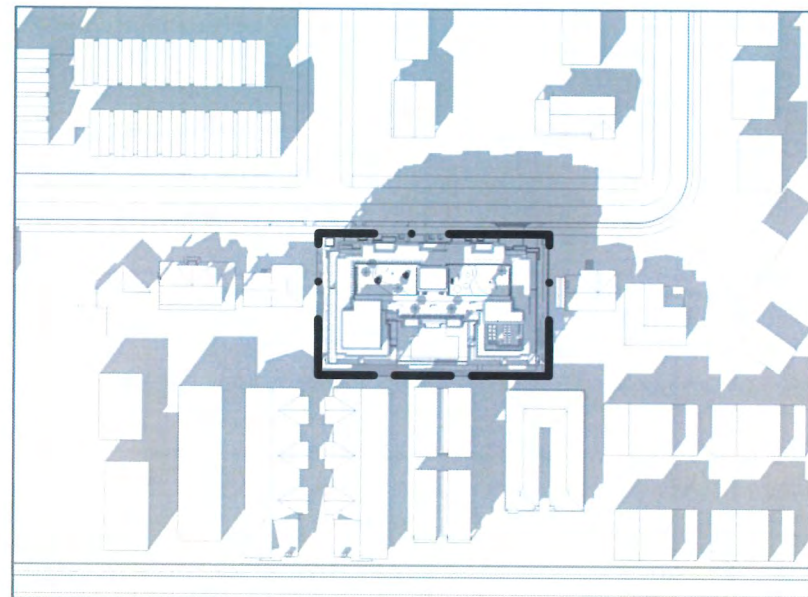
SEPTEMBER 21ST - 10 am



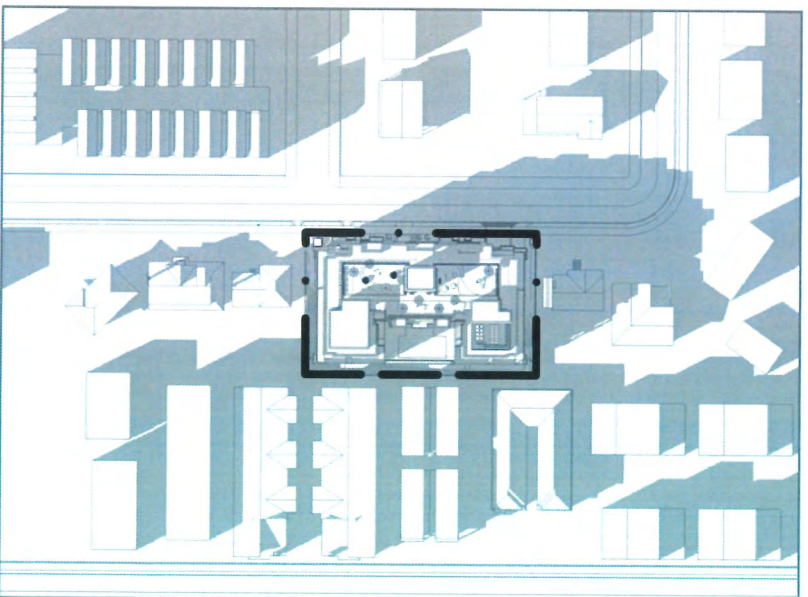
MARCH 21ST - 2 pm



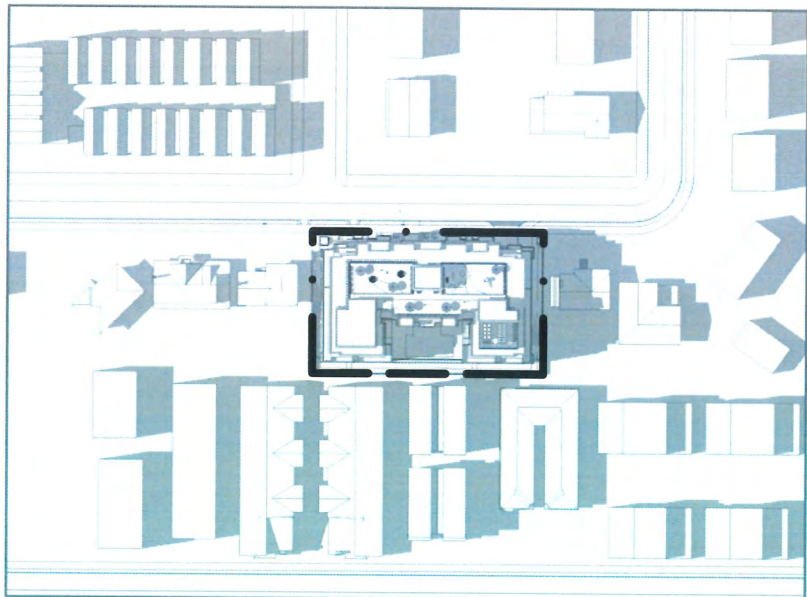
JUNE 21ST - 2 pm



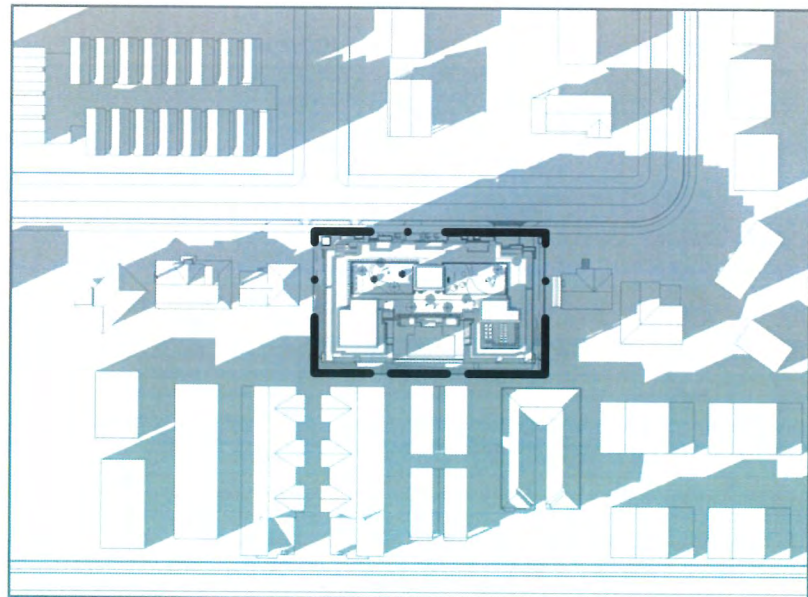
SEPTEMBER 21ST - 2 pm



MARCH 21ST - 4 pm



JUNE 21ST - 4 pm



SEPTEMBER 21ST - 4 pm

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November 17, 2025
REFERENCE PLAN



SHADOW STUDY

N.T.S.

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**LANDSDOWNE
 MANOR**
 8620, 8640, 8660 SPIRES ROAD

DP 25-010558
 NOVEMBER 06, 2025

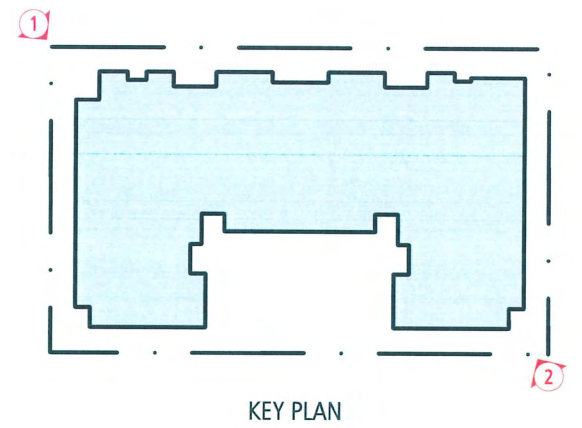
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 Vancouver, BC V5T 4L6 fougerearchitecture.ca



VIEW 1



VIEW 2



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November 17, 2025
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PERSPECTIVES

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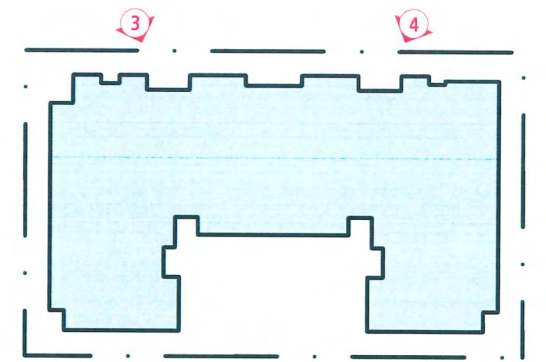


**LANDSDOWNE
 MANOR**
 8620, 8640, 8660 SPIRES ROAD

DP 25-010558
 NOVEMBER 06, 2025



VIEW 3



KEY PLAN

DP 25-010558
November 17, 2025
REFERENCE PLAN

VIEWS



VIEW 4

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 OR WHEN PRINTED FROM THE DIGITALLY
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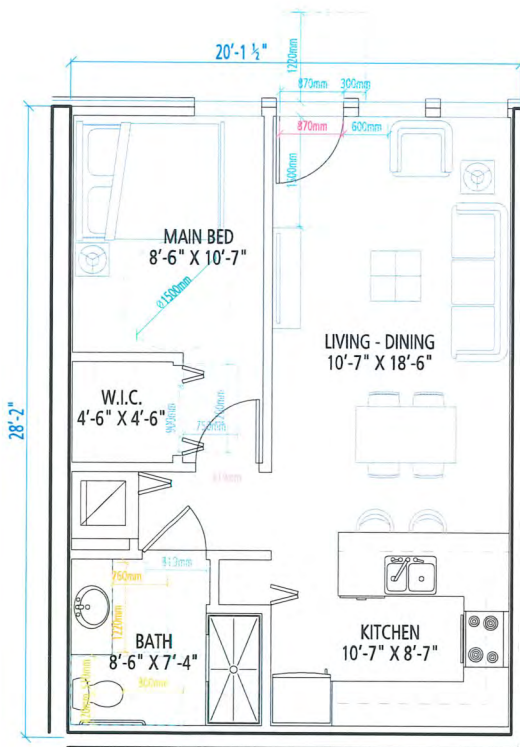


**LANDSDOWNE
 MANOR**
 8620, 8640, 8660 SPIRES ROAD

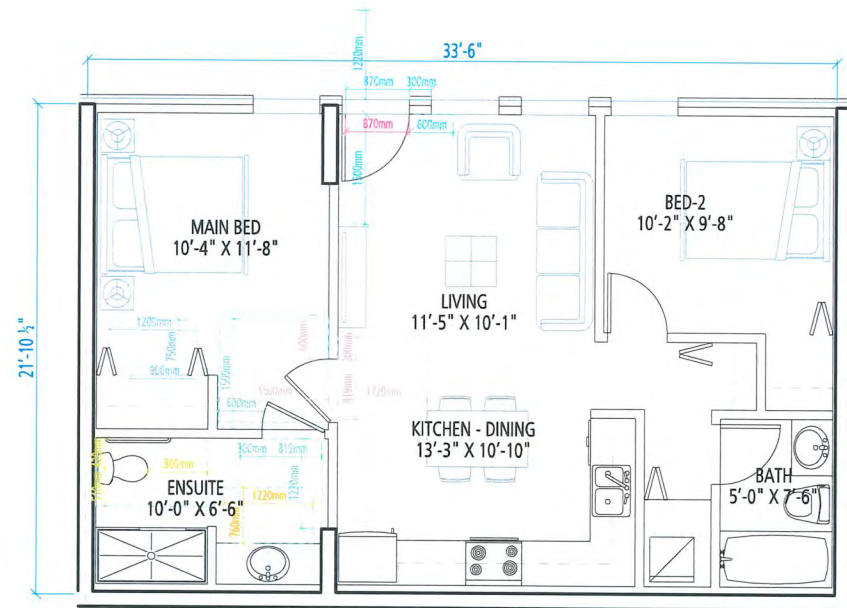
DP 25-010558
 NOVEMBER 06, 2025



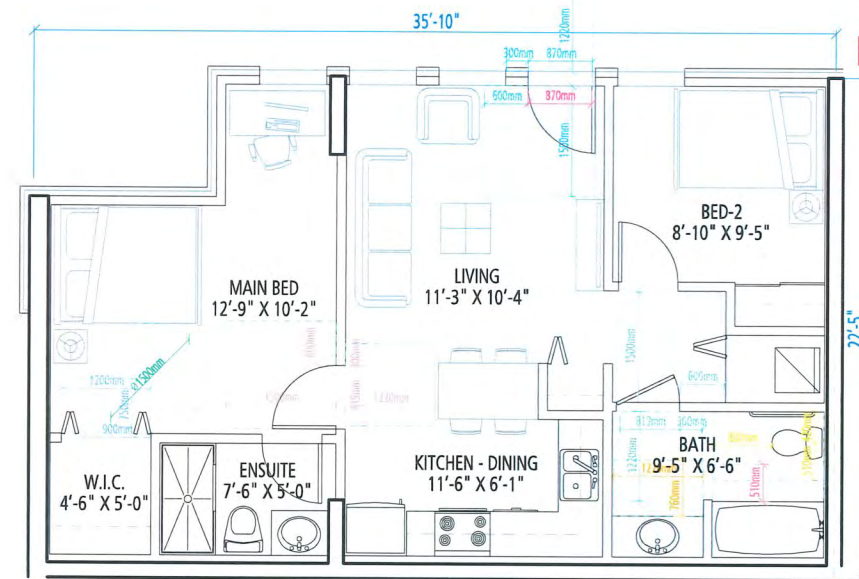
34 202-2425 Quebec Street 604.873.2907
 Vancouver, BC V5T 4L6 fougerearchitecture.ca



UNIT A - 1 BEDROOM
 AREA = 577 SF
 113 104



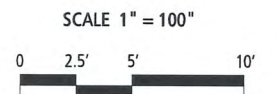
UNIT B1 - 2 BEDROOM
 AREA = 745 SF
 102



UNIT B2 - 2 BEDROOM
 AREA = 744 SF
 101

DP 25-010558
November 17, 2025
REFERENCE PLAN

BUH - UNIT PLANS

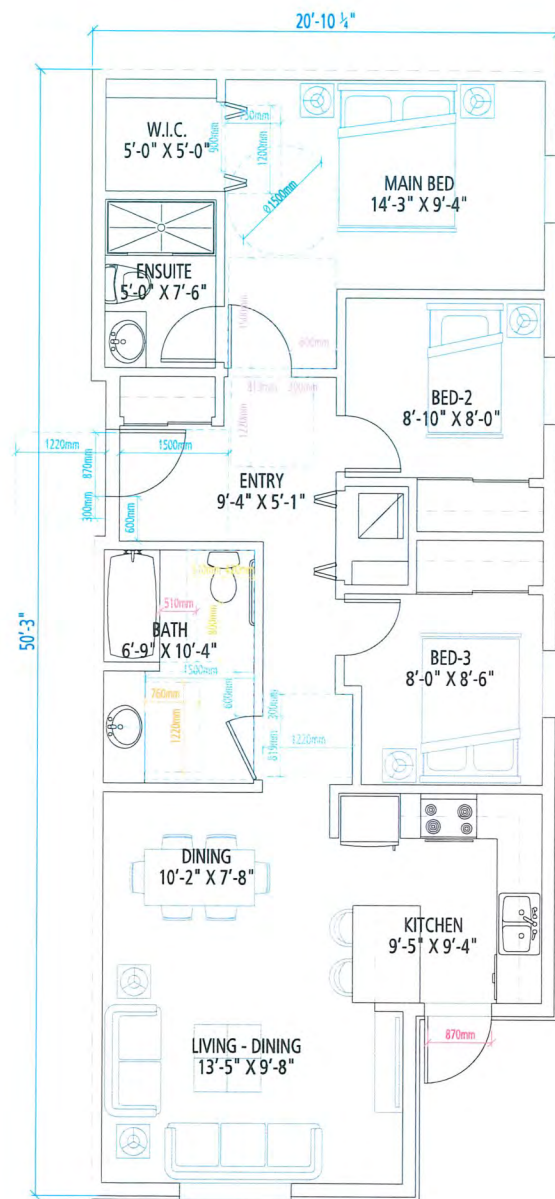


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LANDSDOWNE MANOR
 8620, 8640, 8660 SPIRES ROAD

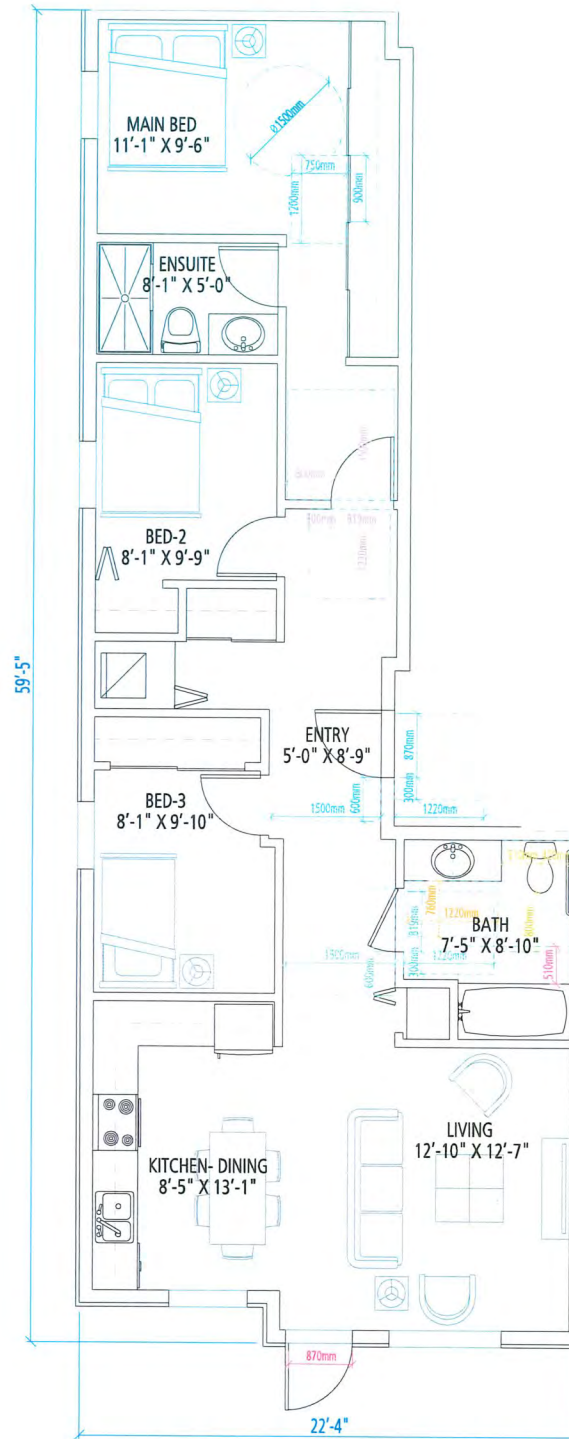
- BASIC UNIVERSAL HOUSING FEATURES**
- ALL HOMES HAVE BASIC UNIVERSAL HOUSING FEATURES AND ARE DESIGNED IN ACCORDANCE WITH SECTION 4.16 OF RICHMOND ZONING BYLAW 8500.
- THE MINIMUM CLEAR OPENINGS FOR ALL ENTRY DOORS TO EVERY DWELLING UNIT AND DOORS IN COMMON AREAS ARE AT LEAST 850.0 mm AND ARE PROVIDED BY A SWING DOOR.
 - THE MINIMUM CLEAR OPENING FOR THE INTERIOR DOORS TO AT LEAST ONE BEDROOM, AND ONE ACCESSIBLE BATHROOM IN EVERY DWELLING UNIT ARE NO LESS THAN 800.0 mm AND ARE PROVIDED BY A SWING DOOR.
 - AT LEAST ONE WINDOW IN THE BEDROOM AND ONE WINDOW IN THE LIVING ROOM TO HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750.0 mm FOR SEATED VIEWING.
 - ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED 455.0 mm TO 1200.0 mm FROM THE FLOOR.
 - CONTINUOUS KITCHEN COUNTER BETWEEN THE STOVE AND SINK WILL BE PROVIDED.
 - PATIO OR BALCONY WILL HAVE A MINIMUM DIMENSION OF 1500MM X 1500MM. THE FLOOR SURFACES WILL HAVE NO ABRUPT CHANGES TO KEEP THE OUTDOOR SPACE WHEELCHAIR ACCESSIBLE AND WILL HAVE A MAXIMUM THRESHOLD OF 13.0 MM HEIGHT.
- AGING-IN-PLACE FEATURES**
- ALL HOMES WILL HAVE AGING IN FEATURES.
 - BLOCKING IN BATHROOM WALLS FOR INSTALLATION OF GRAB-BARS (BESIDE TOILET, TUB AND SHOWER)
 - PROVISION OF LEVER HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES.
 - ENTRY DOORS MINIMUM 855 MM CLEAR OPENING (3'-0" SWINGING DOOR SPEC.)



UNIT C1 - 3 BEDROOM (BUH)

AREA = 981 SF

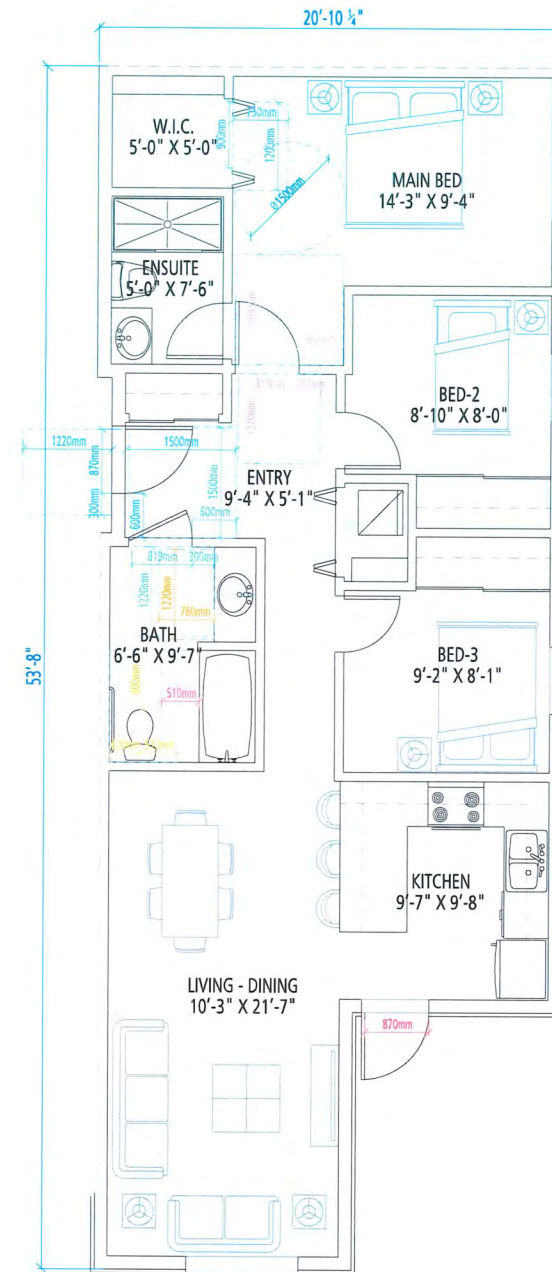
204 212 305 315 405 415



UNIT C2 - 3 BEDROOM (BUH)

AREA = 1,015 SF

505 513



UNIT C3 - 3 BEDROOM (BUH)

AREA = 994 SF

213 304 316 404 416

BASIC UNIVERSAL HOUSING FEATURES

ALL HOMES HAVE BASIC UNIVERSAL HOUSING FEATURES AND ARE DESIGNED IN ACCORDANCE WITH SECTION 4.16 OF RICHMOND ZONING BYLAW 8500.

- THE MINIMUM CLEAR OPENINGS FOR ALL ENTRY DOORS TO EVERY DWELLING UNIT AND DOORS IN COMMON AREAS ARE AT LEAST 850.0 mm AND ARE PROVIDED BY A SWING DOOR.
- THE MINIMUM CLEAR OPENING FOR THE INTERIOR DOORS TO AT LEAST ONE BEDROOM, AND ONE ACCESSIBLE BATHROOM IN EVERY DWELLING UNIT ARE NO LESS THAN 800.0 mm AND ARE PROVIDED BY A SWING DOOR.
- AT LEAST ONE WINDOW IN THE BEDROOM AND ONE WINDOW IN THE LIVING ROOM TO HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750.0 mm FOR SEATED VIEWING.
- ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED 455.0 mm TO 1200.0 mm FROM THE FLOOR.
- CONTINUOUS KITCHEN COUNTER BETWEEN THE STOVE AND SINK WILL BE PROVIDED.
- PATIO OR BALCONY WILL HAVE A MINIMUM DIMENSION OF 1500MM X 1500MM. THE FLOOR SURFACES WILL HAVE NO ABRUPT CHANGES TO KEEP THE OUTDOOR SPACE WHEELCHAIR ACCESSIBLE AND WILL HAVE A MAXIMUM THRESHOLD OF 13.0 MM HEIGHT.

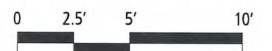
AGING-IN-PLACE FEATURES

- ALL HOMES WILL HAVE AGING IN FEATURES.
- BLOCKING IN BATHROOM WALLS FOR INSTALLATION OF GRAB-BARS (BESIDE TOILET, TUB AND SHOWER)
- PROVISION OF LEVER HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES.
- ENTRY DOORS MINIMUM 855 MM CLEAR OPENING (3'-0" SWINGING DOOR SPEC.)

DP 25-010558
November 17, 2025
REFERENCE PLAN

BUH - UNIT PLANS

SCALE 1" = 100"



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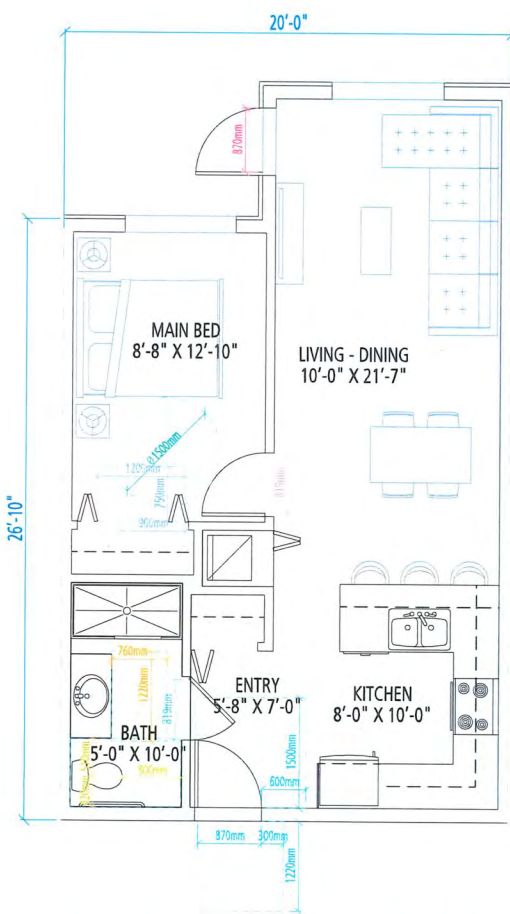
LANDSDOWNE MANOR

8620, 8640, 8660 SPIRES ROAD

DP 25-010558
NOVEMBER 06, 2025

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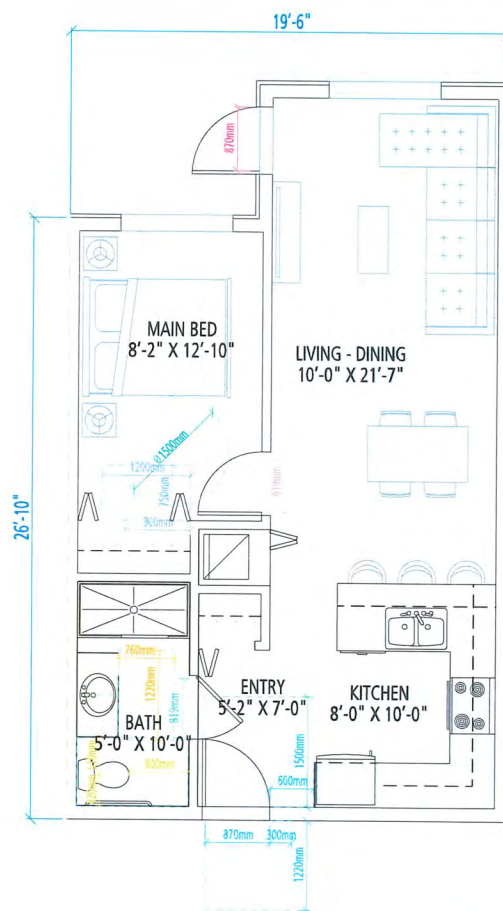
25 202-2425 Quebec Street 604.873.2907
Vancouver, BC V5T 4L6 fougerearchitecture.ca



UNIT D1 - 1 BEDROOM (BUH)

AREA = 597 SF

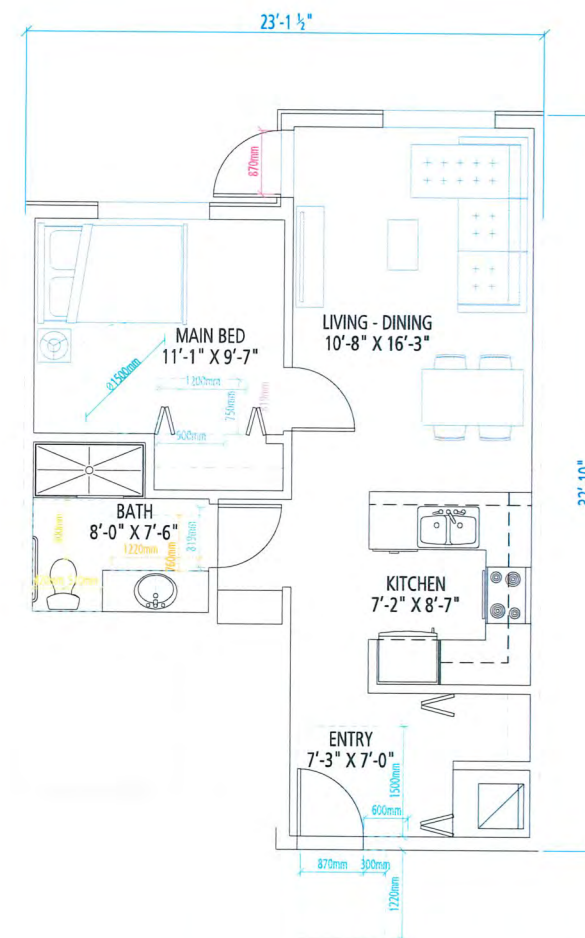
202	215	302	318	402
418	502	516	602	614



UNIT D2 - 1 BEDROOM (BUH)

AREA = 585 SF

503	515	603	613
-----	-----	-----	-----



UNIT E - 1 BEDROOM (BUH)

AREA = 599 SF

201	216	301	319	401
419	501	517	601	615

BASIC UNIVERSAL HOUSING FEATURES

ALL HOMES HAVE BASIC UNIVERSAL HOUSING FEATURES AND ARE DESIGNED IN ACCORDANCE WITH SECTION 4.16 OF RICHMOND ZONING BYLAW 8500.

- THE MINIMUM CLEAR OPENINGS FOR ALL ENTRY DOORS TO EVERY DWELLING UNIT AND DOORS IN COMMON AREAS ARE AT LEAST 850.0 mm AND ARE PROVIDED BY A SWING DOOR.
- THE MINIMUM CLEAR OPENING FOR THE INTERIOR DOORS TO AT LEAST ONE BEDROOM, AND ONE ACCESSIBLE BATHROOM IN EVERY DWELLING UNIT ARE NO LESS THAN 800.0 mm AND ARE PROVIDED BY A SWING DOOR.
- AT LEAST ONE WINDOW IN THE BEDROOM AND ONE WINDOW IN THE LIVING ROOM TO HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750.0 mm FOR SEATED VIEWING.
- ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED 455.0 mm TO 1200.0 mm FROM THE FLOOR.
- CONTINUOUS KITCHEN COUNTER BETWEEN THE STOVE AND SINK WILL BE PROVIDED.
- PATIO OR BALCONY WILL HAVE A MINIMUM DIMENSION OF 1500MM X 1500MM. THE FLOOR SURFACES WILL HAVE NO ABRUPT CHANGES TO KEEP THE OUTDOOR SPACE WHEELCHAIR ACCESSIBLE AND WILL HAVE A MAXIMUM THRESHOLD OF 13.0 MM HEIGHT.

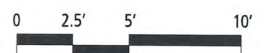
AGING-IN-PLACE FEATURES

- ALL HOMES WILL HAVE AGING IN FEATURES.
- BLOCKING IN BATHROOM WALLS FOR INSTALLATION OF GRAB-BARS (BESIDE TOILET, TUB AND SHOWER)
- PROVISION OF LEVER HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES.
- ENTRY DOORS MINIMUM 855 MM CLEAR OPENING (3'-0" SWINGING DOOR SPEC.)

DP 25-010558
November 17, 2025
REFERENCE PLAN

BUH - UNIT PLANS

SCALE 1" = 100"



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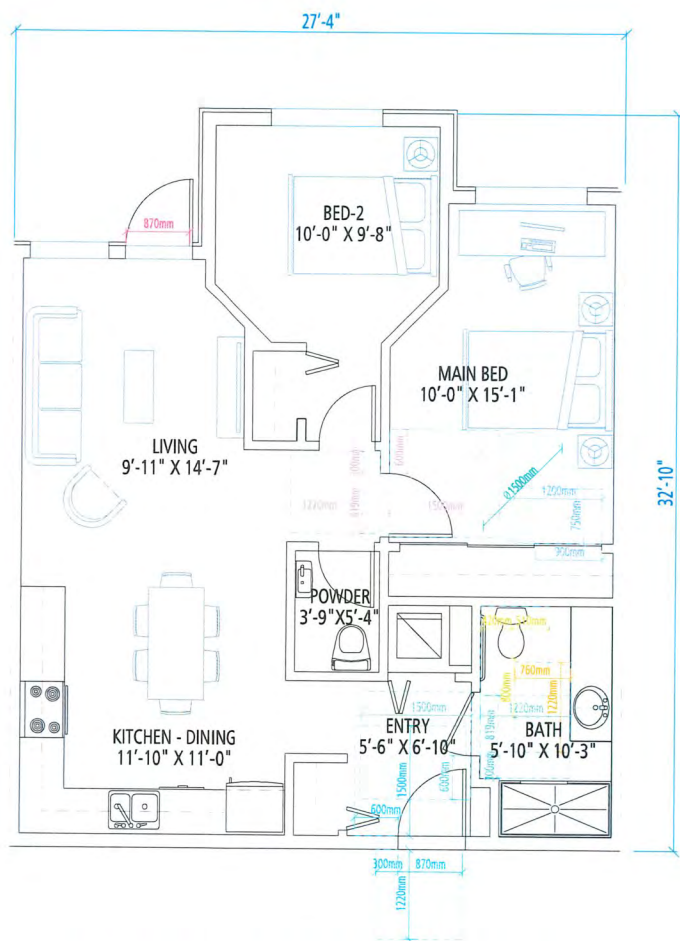
LANDSDOWNE MANOR

8620, 8640, 8660 SPIRES ROAD

DP 25-010558
NOVEMBER 06, 2025

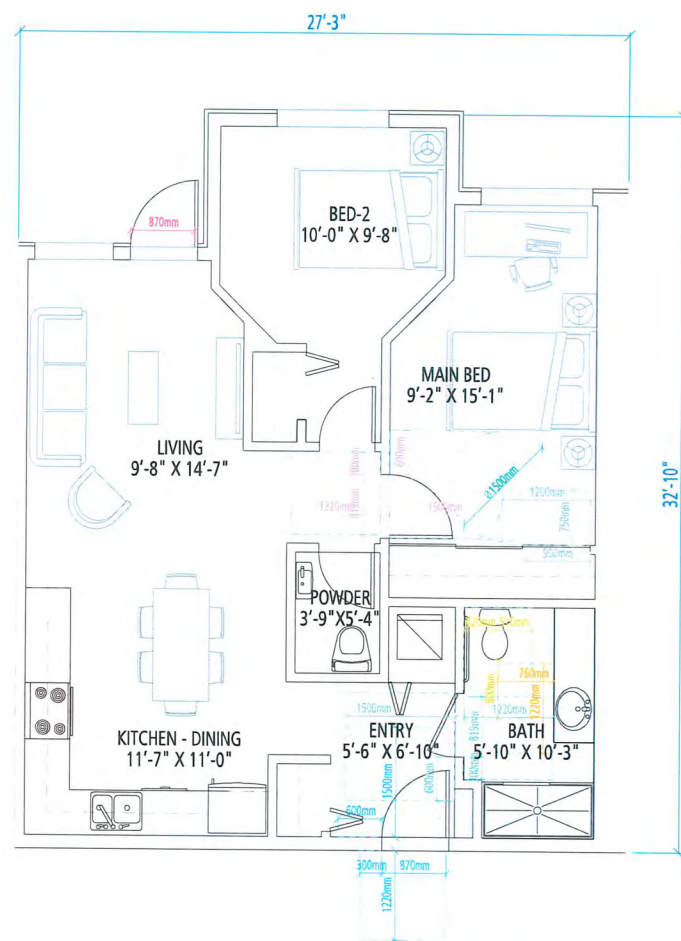
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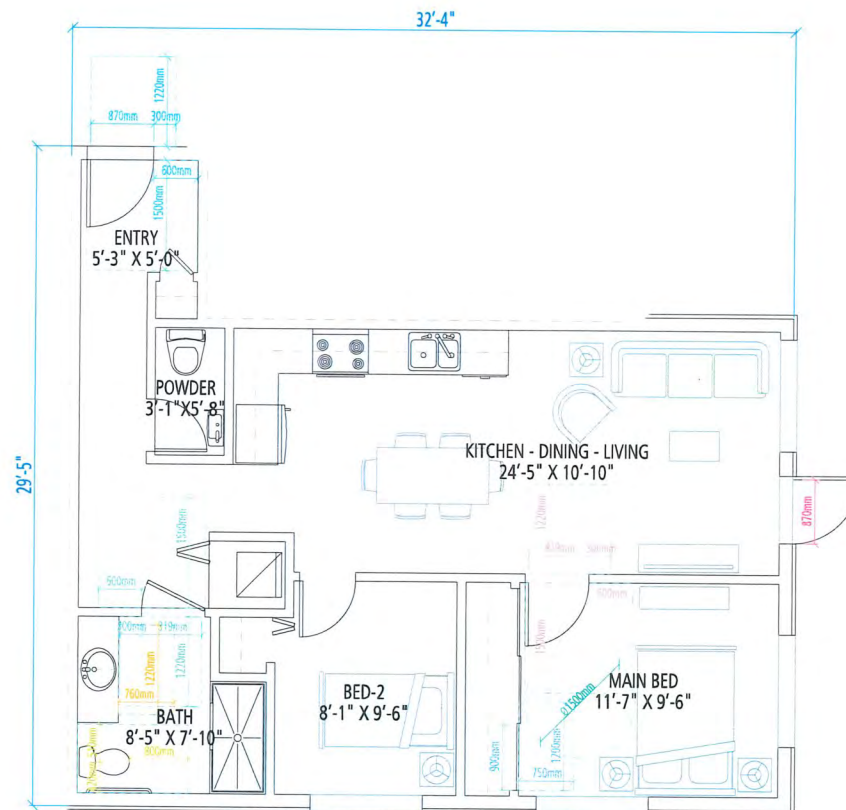
UNIT F1 - 2 BEDROOM (BUH)
AREA = 813 SF

214 303 317 403 417



UNIT F2 - 2 BEDROOM (BUH)
AREA = 810 SF

203



UNIT G - 2 BEDROOM (BUH)
AREA = 750 SF

205 211 306 314 406 414

BASIC UNIVERSAL HOUSING FEATURES

ALL HOMES HAVE BASIC UNIVERSAL HOUSING FEATURES AND ARE DESIGNED IN ACCORDANCE WITH SECTION 4.16 OF RICHMOND ZONING BYLAW 8500.

- THE MINIMUM CLEAR OPENINGS FOR ALL ENTRY DOORS TO EVERY DWELLING UNIT AND DOORS IN COMMON AREAS ARE AT LEAST 850.0 mm AND ARE PROVIDED BY A SWING DOOR.
- THE MINIMUM CLEAR OPENING FOR THE INTERIOR DOORS TO AT LEAST ONE BEDROOM, AND ONE ACCESSIBLE BATHROOM IN EVERY DWELLING UNIT ARE NO LESS THAN 800.0 mm AND ARE PROVIDED BY A SWING DOOR.
- AT LEAST ONE WINDOW IN THE BEDROOM AND ONE WINDOW IN THE LIVING ROOM TO HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750.0 mm FOR SEATED VIEWING.
- ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED 455.0 mm TO 1200.0 mm FROM THE FLOOR.
- CONTINUOUS KITCHEN COUNTER BETWEEN THE STOVE AND SINK WILL BE PROVIDED.
- PATIO OR BALCONY WILL HAVE A MINIMUM DIMENSION OF 1500MM X 1500MM. THE FLOOR SURFACES WILL HAVE NO ABRUPT CHANGES TO KEEP THE OUTDOOR SPACE WHEELCHAIR ACCESSIBLE AND WILL HAVE A MAXIMUM THRESHOLD OF 13.0 MM HEIGHT.

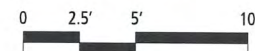
AGING-IN-PLACE FEATURES

- ALL HOMES WILL HAVE AGING IN FEATURES.
- BLOCKING IN BATHROOM WALLS FOR INSTALLATION OF GRAB-BARS (BESIDE TOILET, TUB AND SHOWER)
- PROVISION OF LEVER HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES.
- ENTRY DOORS MINIMUM 855 MM CLEAR OPENING (3'-0" SWINGING DOOR SPEC.)

DP 25-010558
November 17, 2025
REFERENCE PLAN

BUH - UNIT PLANS

SCALE 1" = 100"



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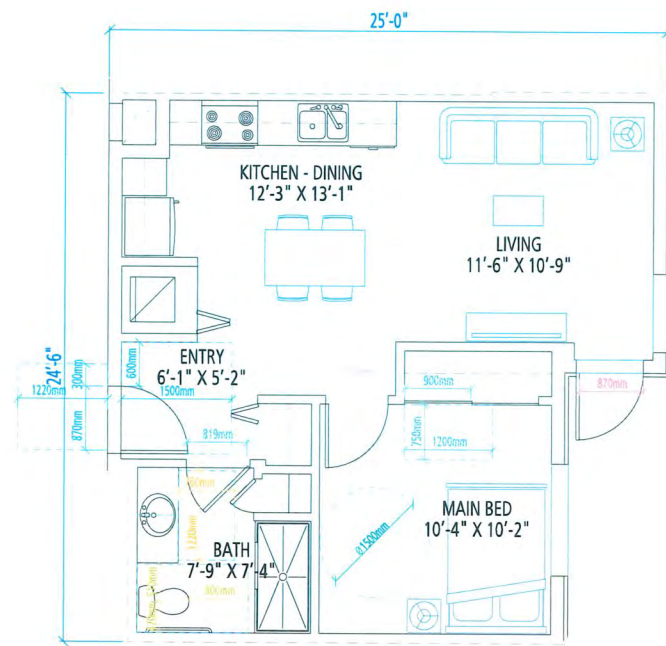


LANDSDOWNE MANOR
8620, 8640, 8660 SPIRES ROAD

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NOVEMBER 06, 2025

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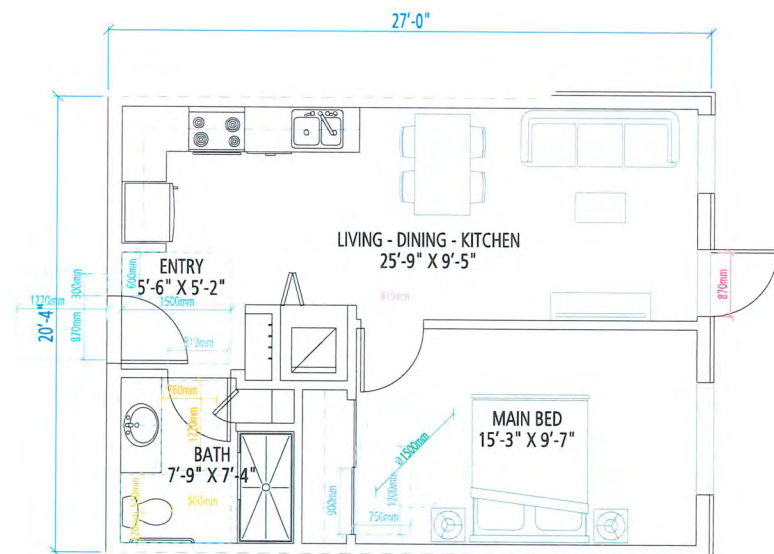
27 202-2425 Quebec Street 604.873.2907
Vancouver, BC V5T 4L6 fougerearchitecture.ca



UNIT H - 1 BEDROOM (BUH)

AREA = 541 SF

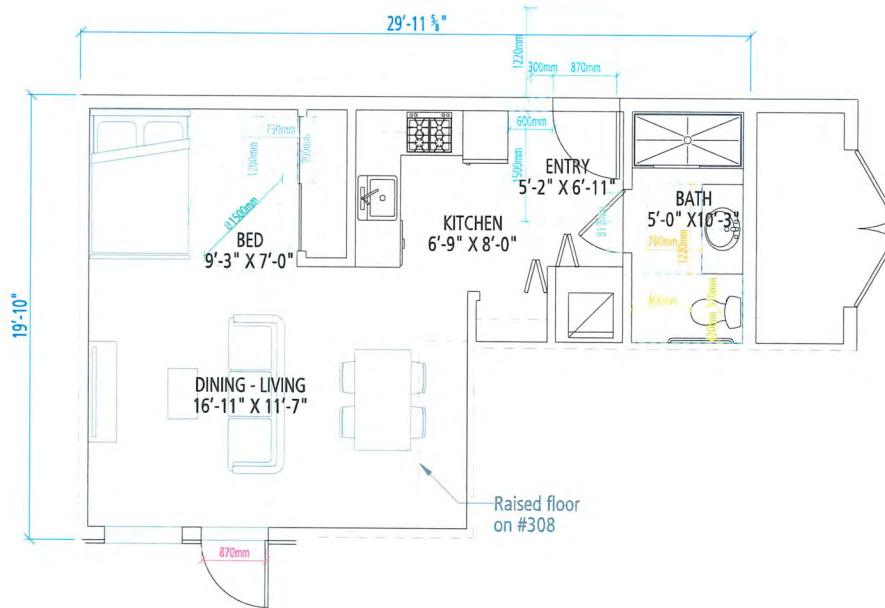
206 210 307 313 407 413



UNIT I - 1 BEDROOM (BUH)

AREA = 544 SF

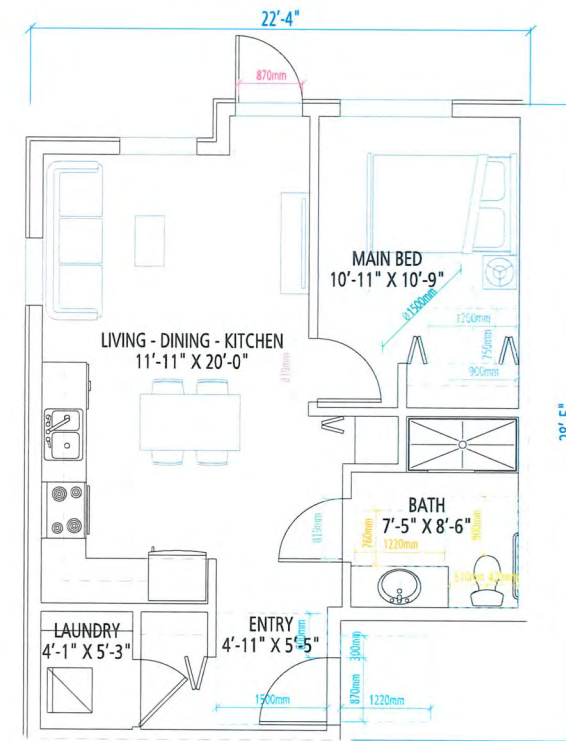
207 208 309 310 311 409
410 411 508 509 510 608



UNIT J - STUDIO (BUH)

AREA = 478 SF

209 308 312 408 412
507 511



UNIT K - 1 BEDROOM (BUH)

AREA = 571 SF

504 514

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AGING-IN-PLACE FEATURES

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DP 25-010558
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SCALE 1" = 100"



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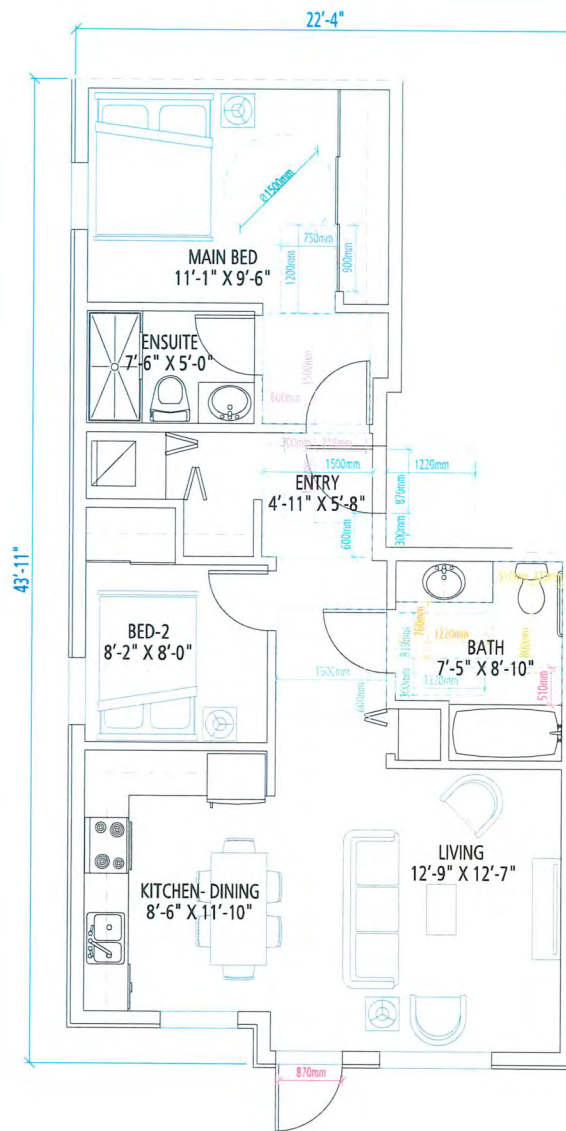
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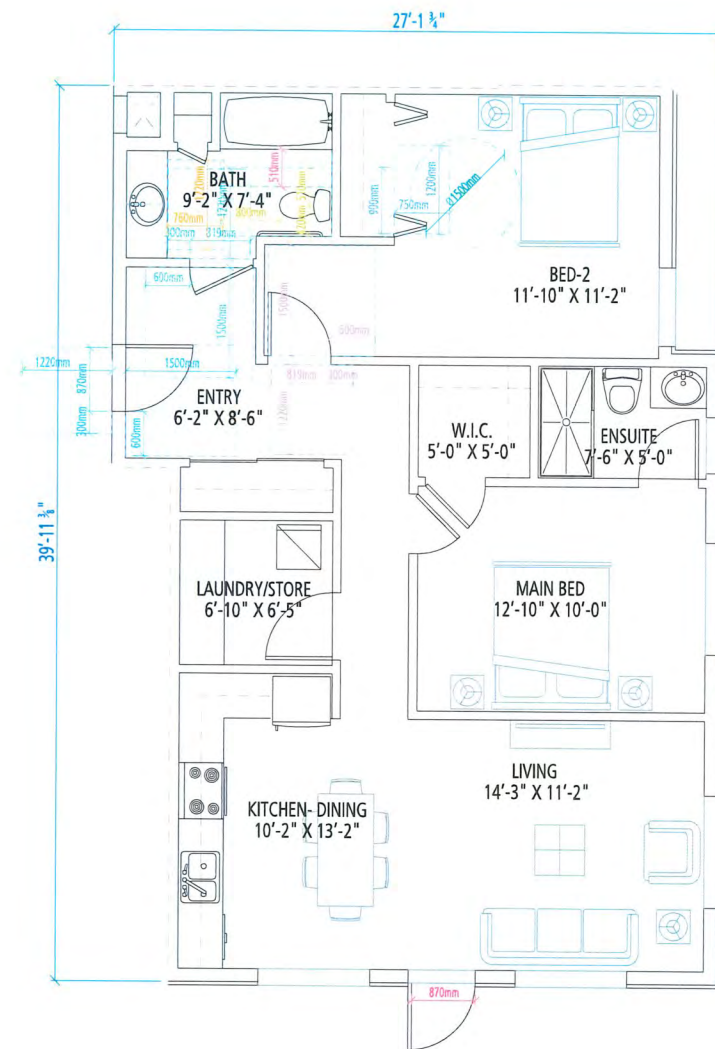
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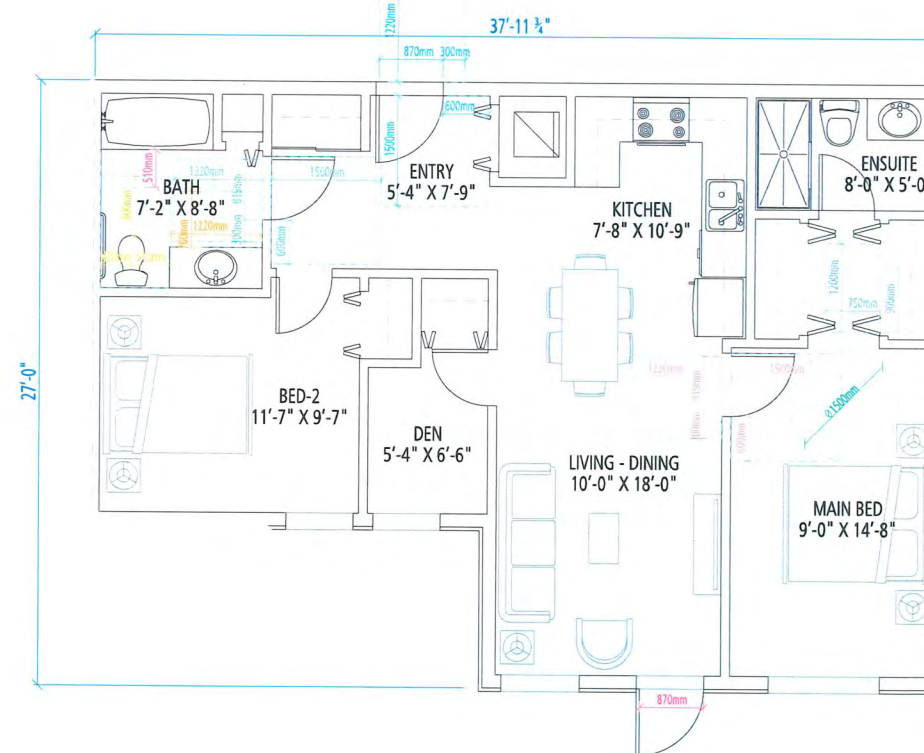
28 202-2425 Quebec Street 604.873.2907
Vancouver, BC V5T 4L6 fougerearchitecture.ca



UNIT L - 2 BEDROOM (BUH)
 AREA = 793 SF
 604 605 611 612



UNIT M - 2 BEDROOM (BUH)
 AREA = 989 SF
 506 512 606 610



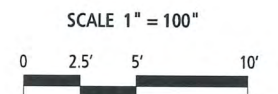
UNIT N - 2 BEDROOM (BUH)
 AREA = 887 SF
 607 609

- BASIC UNIVERSAL HOUSING FEATURES**
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