



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 3, 2024

From: Wayne Craig
Director, Development

File: DP 23-035339

Re: **Application by Gustavson Wylie Architects Inc. for a Development Permit at
18399 Blundell Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of two single-storey buildings with drive-through restaurant uses at 18399 Blundell Road on a site zoned "Industrial (I)".

Wayne Craig
Director, Development
(604-247-4625)

WC:ac
Att. 2

Staff Report

Origin

Gustavson Wylie Architects Inc. has applied on behalf of the owner, Bontebok Holdings Ltd. (Directors: Gary Segal and Lorne Segal), to the City of Richmond for permission to develop two single-storey commercial buildings with drive-through restaurant uses at 18399 Blundell Road on a site zoned “Industrial (I)” (Attachment 1). The site is currently vacant, except for a small building at the southeast corner that houses a water pressure release valve chamber, which will remain.

A Zoning Text Amendment to amend the “Industrial (I)” zone to allow for “Restaurant, Drive-through” as a site-specific permitted use on the subject property under Bylaw 9532 (ZT 13-639146) was adopted on May 10, 2021. Additionally, a Development Permit (DP 16-750045) was issued by Council on May 10, 2021 to facilitate the construction of two single-storey multi-unit commercial buildings with two drive-through restaurants, consistent with zoning. However, as construction did not commence within 24 months of the approval date, the permit lapsed. As such, a new Development Permit is required to be issued in order to facilitate construction. The new Development Permit application submitted for the site is generally consistent with the previously issued permit.

An associated Servicing Agreement (SA 16-744060) was processed as a condition of final adoption of the Zoning Text Amendment. Works included frontage upgrades along Blundell Road and Nelson Road, modifications of the existing Blundell median, a bus landing pad, service connections and an on-site public pathway to avoid existing City infrastructure and utilities generally located in the southeast corner of the site. These works have largely been completed, with some remedial work outstanding.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject site is located in the Fraser Lands industrial area. Development surrounding the subject site is as follows:

- To the North: Light industrial buildings, parking and loading areas on properties zoned “Industrial (I)”.
- To the South: Across Blundell Road, an existing rail line and light industrial buildings, parking and loading areas on properties zoned “Industrial (I)”.
- To the East: Across Nelson Road, light industrial buildings, parking and loading areas on properties zoned “Industrial (I)”.
- To the West: Light industrial buildings, parking and loading areas on properties zoned “Industrial (I)”.

Staff Comments

The proposed development consists of two single-storey multi-unit commercial buildings with two drive-through restaurants (including pick-up windows and vehicle queuing areas) and required surface parking. The proposal is generally consistent with the previous Development Permit (DP 16-750045) issued for the site. The proposed development has addressed the planning and design issues identified as part of the review of this Development Permit application. In addition, this development proposal complies with the intent of the applicable sections contained within the Official Community Plan (OCP) and would comply with all aspects of the “Industrial (I)” zone.

Advisory Design Panel Comments

Because of the scale of the development, the limited building area and the consistent design approach as the previously issued Development Permit, the development proposal was not presented to the Advisory Design Panel.

Analysis***Conditions of Adjacency***

- Adjacent properties to the north and west of the development site are light industrial buildings with surface parking and loading areas. The proposed siting of the buildings on the development site would provide an 11.5 m setback to the north property line and a 26.4 m setback to the west property line. Additionally, a landscape buffer with a strip of trees and shrubs along the north and west property lines is proposed.
- Along the Blundell Road and Nelson Road frontages, a 3.0 m wide landscape buffer is proposed, with a strip of trees and shrubs to provide screening of the surface parking from the street. Additional information is provided in the “Landscape Design and Open Space Design” section of this report.
- The loading area and garbage, recycling and organics storage enclosures are adequately screened and located behind the proposed buildings, away from the public streets.
- Regarding potential noise generated by the restaurant and drive-through operation, the applicant has confirmed they will comply with the City’s Noise Bylaw. The applicant advised that the drive-through speakers will be equipped with Automatic Volume Control (AVC), which adjusts the outbound volume based on the outdoor, ambient noise level. When ambient noise levels naturally decrease at night, AVC reduces the outbound volume on the system.

Urban Design and Site Planning

- The proposed siting of the buildings are centred on the development site to accommodate required vehicle access, drive-aisle circulation, drive-through vehicle queuing areas and off-street parking and is consistent with the previous Development Permit.
- Efforts have been made to limit parking along street frontages to single-loaded aisles. Staff have worked with the applicant to provide a 3.0 m wide landscape buffer along the Blundell Road and Nelson Road frontages to screen the view of surface parking and drive-through queuing areas from the street.

- Vehicle access to the site is provided via both Blundell Road (right-in/right-out and left-turn movements from Blundell through the establishment of a left-turn bay in the existing median) and Nelson Road (right-in/right-out). The applicant has demonstrated sufficient turning radii for the on-site movement of delivery, disposal and fire vehicles.
- A total of 64 visitor vehicle parking stalls are proposed, which exceeds the Zoning Bylaw requirement of 56 spaces. Included are two accessible parking spaces located in close proximity to the entrances of the buildings.
- Nine parking spaces are to be equipped with 60amp Level 2 charging outlets in compliance with the City's EV charging requirements.
- Bicycle parking and a loading space will be provided in accordance with the Zoning Bylaw; three Class-1 and four Class-2 bicycle parking spaces will be provided in an accessible location near the entrances of the buildings and in view from the street.
- Pedestrian walkways are clearly delineated and are proposed to provide direct pedestrian access from the City sidewalks to the entrances of the buildings. Areas of the pedestrian walkways that cross drive aisles or vehicle queuing areas utilize an alternative colour (dark grey) of pervious pavers to provide visual and textural identification. Additionally, appropriate signage will be installed in these areas to further enhance pedestrian safety and visibility.
- A barrier-free circulation path to the entrances of the buildings; with a minimum clear width of 1.5 m and a maximum slope of five per cent, from the City sidewalk on Blundell Road and Nelson Road, and from the accessible parking spaces, will be provided.
- An outdoor plaza eating area, which includes picnic tables, benches and planters is proposed to be located between the two buildings.
- Garbage, recycling and organic waste storage facilities are sufficiently sized, within a walled enclosure and adequately screened from public view.
- There is an existing small building located in the southeast corner of the subject site within an existing Statutory Right-of-Way (SRW), which will remain and continue to house a water pressure release valve chamber . The landscaping and treatment of this area was finalized and secured through the Servicing Agreement.

Architectural Form & Character

- The proposed single-storey buildings incorporate a contemporary design complementary to the adjacent light industrial buildings.
- Variation in height and horizontal plane provide visual interest and differentiation between units.
- The southeast corner building acts as an anchor and landmark for the development site through changes in colour and height of the painted metal panels. Additionally, this building includes an active frontage on both sides of the street, with glazing extending around the corner.
- The proposed metal building materials are consistent with the surrounding industrial area.
- Canopies are provided at the restaurant entrances to offer weather protection.
- Parapet wall on the roof is designed to screen the rooftop mechanical equipment from street view.

Landscape Design and Open Space Design

- A Landscape Plan, prepared by a registered Landscape Architect, has been submitted by the applicant, which addresses tree planting and landscape design.
- The subject site currently has no existing on-site trees, and 57 trees are proposed to be planted and maintained on-site.
- Landscape islands are proposed adjacent to drive-through queuing and surface parking areas to break up the hardscape portions of the site. The introduction of a significant amount of trees around the perimeter of the site further addresses visual impact.
- The Landscape Plan includes a combination of deciduous and coniferous trees, which will be planted and maintained on-site.
- Structural soil trenches will be provided underneath identified surface parking areas where required to allow for adequate soil volume for trees.
- Pervious pavers are proposed for the pedestrian walkways and outdoor plaza area to minimize the amount of impervious surfaces.
- To accommodate for existing City and utility infrastructure in the southeast corner, a City sidewalk was constructed on the subject site through the associated Servicing Agreement (SA 16-744060). No further changes to the sidewalk are required.
- Additional landscaping, including a variety of shrubs and groundcover on-site are also included in the Landscape Plan.
- In order to ensure the 57 trees are planted and maintained and proposed landscaping works are undertaken, the applicant is required to submit a Landscaping Security in the amount of \$189,701.76 (100 per cent of the cost estimate provided by the Landscape Architect, which includes a 10 per cent contingency) prior to the application being forwarded to Council for approval. A portion of the security will be released after construction and landscaping at the subject site is completed and a landscaping inspection by City staff has been passed. The City may retain the balance of the security for a one-year maintenance period.
- A lighting plan is provided, which does not cause spillover onto adjacent properties. This included both downward-facing building-mounted lighting as well as pole-mounted lighting in select locations on site.

Crime Prevention through Environmental Design

- The site plan minimizes potential entrapment areas and the landscape plan maintains visual permeability.
- Public entrances to the buildings are visible from the street. Large glazing areas facing the street and surface parking offer opportunities for passive surveillance.
- Surface parking areas are open, with minimal changes in grade, which allows for visual transparency, clear sightlines and facilitates vehicle movement and pedestrian safety.
- Outdoor areas will be well-lit by dual lamp standards and perimeter site lighting will be provided by street lamp standards. Lighting on the buildings will be contained within canopy soffit areas.

Sustainability Measures

- In accordance with the Zoning Bylaw 8500 requirements for Electric Vehicle Charging Infrastructure for New Non-Residential Buildings, the applicant has provided for nine EV stalls with 60amp Level 2 charging.

- The applicant advised the following additional features will be incorporated into the development:
 - High-performance low-E tinted glazing.
 - Thermal values consistent with ASHRAE requirements.
 - Energy efficient programming lighting.
 - Energy efficient heating systems and fixtures
 - Light-coloured roofing ballasts.

Conclusion

The proposed development consists of two single-storey multi-unit buildings with restaurant and drive-through uses. The proposal adequately responds to staff's urban design, architectural form and character and landscape design comments identified through the review of the Development Permit as well as the applicable design guidelines contained within the Official Community Plan (OCP). The proposal as designed complies with the site's "Industrial (I)" zone and the surrounding industrial context.

On this basis, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Alex Costin
Planning Technician – Design
(604-276-4200)

AC:js

Att. 1: Location Map
2: Development Application Data Sheet

The following are to be met prior to forwarding this application to Council for approval:

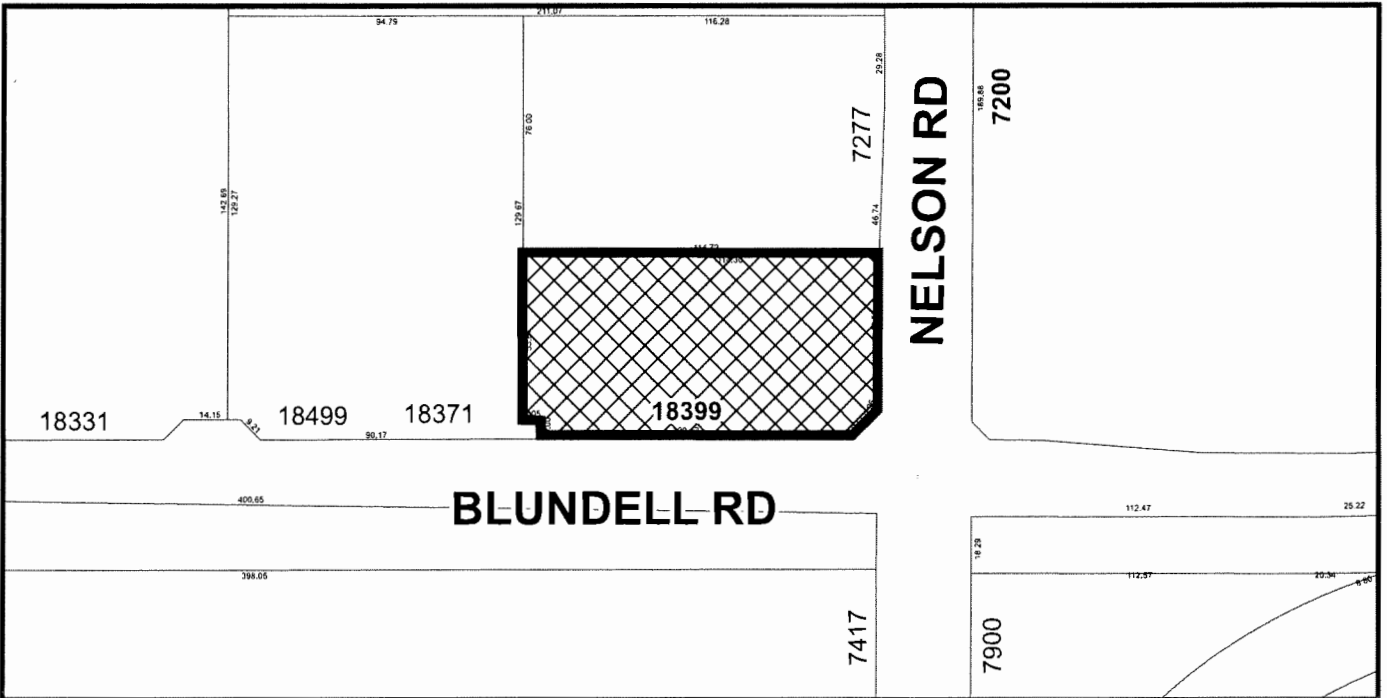
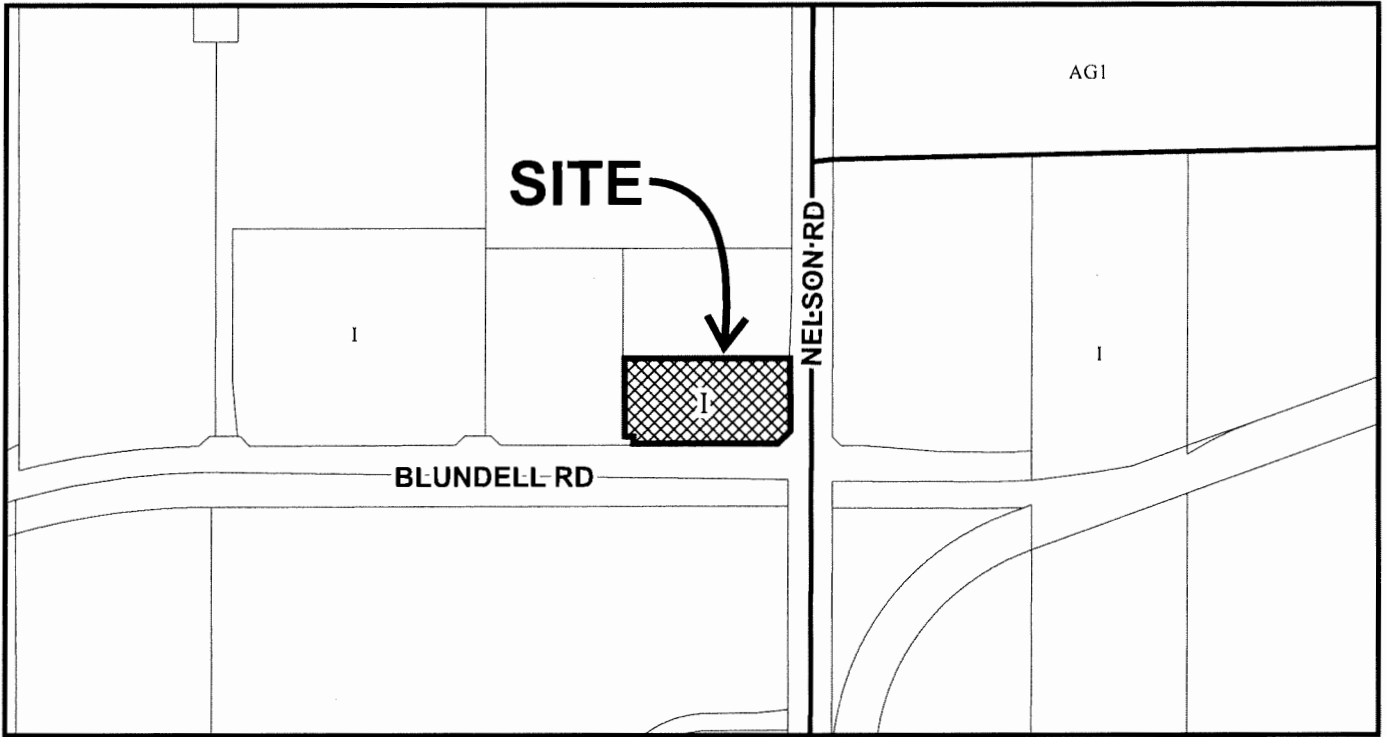
- Submission of a Landscaping Security in the amount of \$189,701.76 (based on the cost estimate provided by a registered Landscape Architect, including 10 per cent contingency). A portion of the security will be released after construction and landscaping at the subject site is completed and a landscaping inspection by City staff has been passed. The City may retain the balance of the security for a one-year maintenance period.
- Payment of all fees in full for cost associated with the Public Notices.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Incorporation of sustainability and accessibility measures in Building Permit plans as determined via the Rezoning and/or Development Permit processes.



City of Richmond



DP 23-035339 SCHEDULE "A"

Original Date: 01/12/24

Revision Date:

Note: Dimensions are in METRES



DP 23-035339

Attachment 2

Address: 18399 Blundell Road

Applicant: Gustavson Wylie Architects Inc. Owner: Bontebok Holdings Ltd.

Planning Area(s): Fraser Lands

Floor Area Gross: 759 m² Floor Area Net: 759 m²

	Existing	Proposed
Site Area:	6,635.5 m ² (71,424 ft ²)	6,635.5 m ² (71,424 ft ²) Road dedication: 115.4 m ² (1,242 ft ²)
Land Uses:	Vacant	Commercial (food establishments with drive-through components)
OCP Designation:	Industrial	No change
Zoning:	Industrial (I) with an amendment to allow "Restaurant, drive-through" as a site-specific permitted use	No change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 1.0	0.11	None Permitted
Lot Coverage – Buildings	Max. 75%	11.4%	None
Setback – Front Yard:	Min. 3.0 m	20.8 m	None
Setback – Exterior Side Yard:	Min. 3.0 m	17.7 m	None
Setback – Interior Side Yard:	N/A	11.5 m	None
Setback – Rear Yard:	N/A	26.4 m	None
Height:	Max. 16.0 m	7.6 m	None
Lot Size:	N/A	6,635.5 m ²	None
Off-street Parking Spaces – Total	Min. 56	64	None
Off-street Parking Spaces – Accessible:	Min. 2	2	None
Loading:	Min. 1 medium space	1 medium space	None
Bicycle Parking – Class 1:	Min. 3	3	None
Bicycle Parking – Class 2:	Min. 4	4	None



No. DP 23-035339

To the Holder: BONTEBOK HOLDINGS LTD.
Property Address: 18399 BLUNDELL ROAD
Address: C/O #520 - 701 WEST GEORGIA STREET
 VANCOUVER, BC V7Y 1A1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #13 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$189,701.76 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 23-035339

To the Holder: BONTEBOK HOLDINGS LTD.
Property Address: 18399 BLUNDELL ROAD
Address: # 520 - 701 WEST GEORGIA STREET
VANCOUVER, BC V7Y 1A1

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

ISSUED BY THE COUNCIL THE

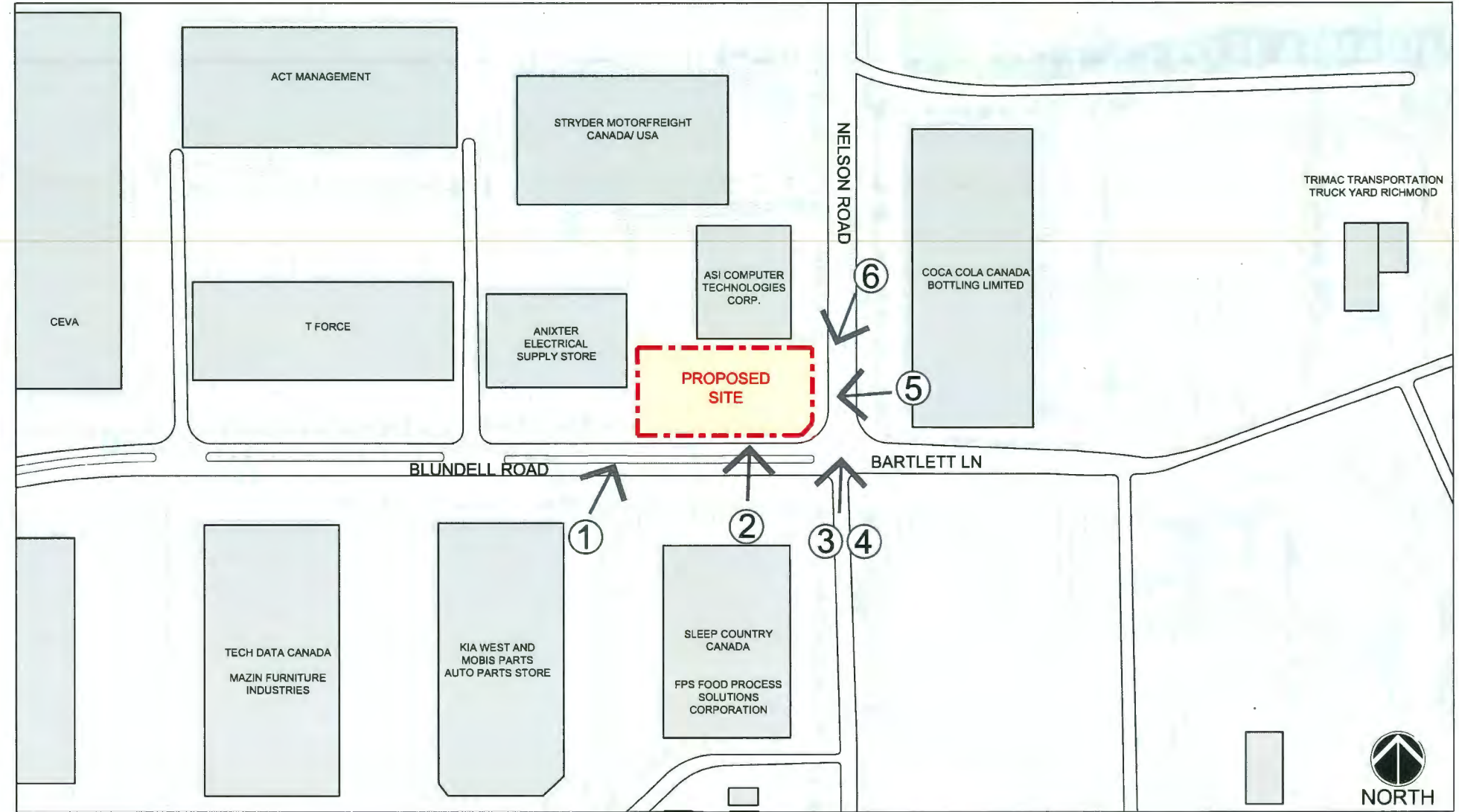
DELIVERED THIS DAY OF , .

MAYOR



VICINITY PLAN

SCALE: NTS



① VIEW LOOKING NORTH FROM BLUNDELL ROAD



② VIEW LOOKING NORTH FROM BLUNDELL ROAD EXISTING BUS STOP



③ VIEW NORTH AT INTERSECTION OF BLUNDELL AND NELSON ROAD



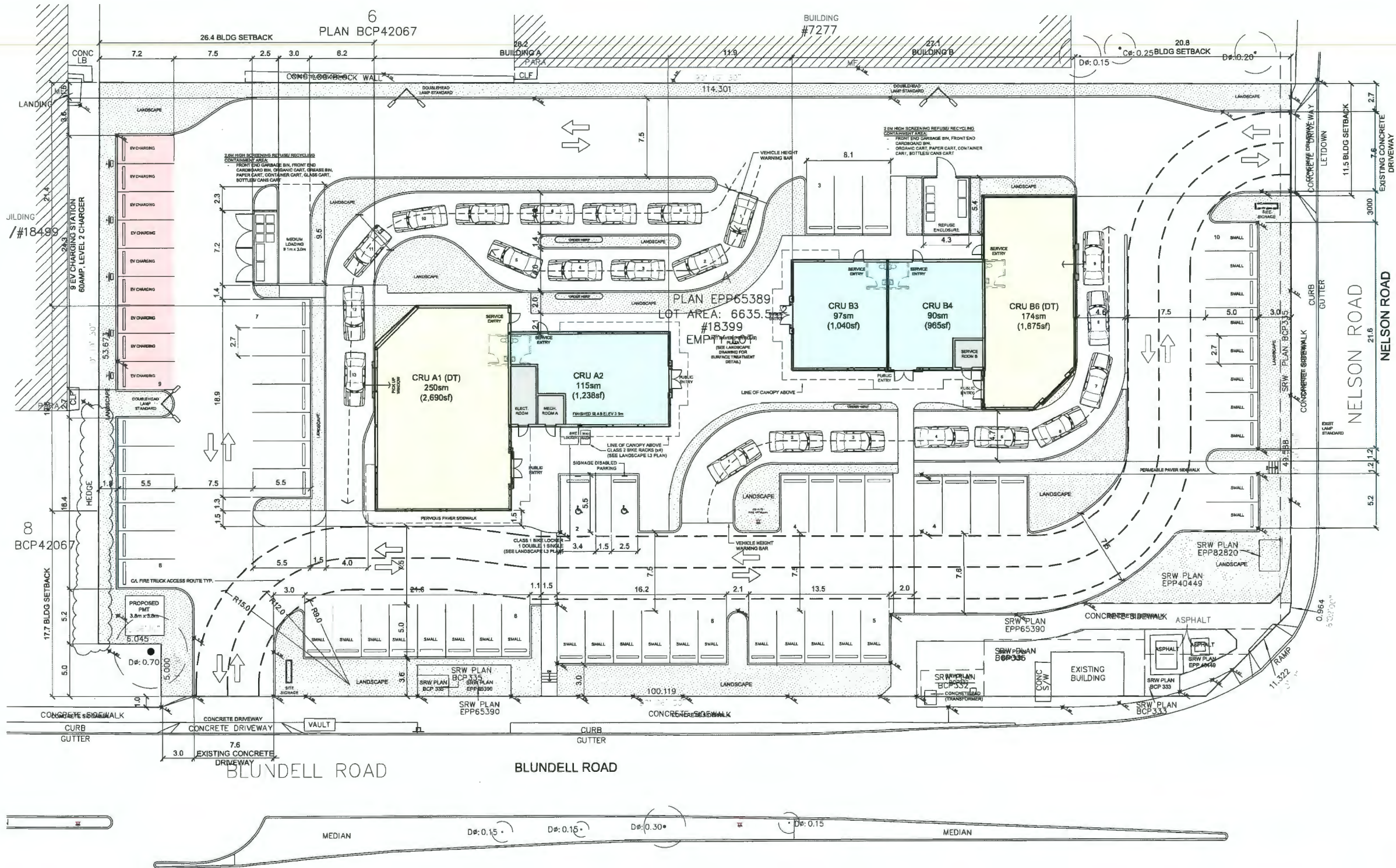
④ VIEW NORTH AT INTERSECTION OF BLUNDELL AND NELSON ROAD



⑤ VIEW LOOKING WEST FROM NELSON ROAD



⑥ VIEW LOOKING SOUTH WEST FROM NELSON ROAD



PROPOSED COMMERCIAL DEVELOPMENT KINGSWOOD INDUSTRIAL PARK 18399 BLUNDELL ROAD			
ZONING	INDUSTRIAL (I)		
LEGAL DESCRIPTION	LOT 7 SEC18 BLK 4 NORTH RANGE 4 WEST WESTMINSTER DISTRICT PL BCP42067		
PERMITTED USE	GENERAL INDUSTRY, DRIVE THROUGH, RESTAURANT		
PROPOSED USE	GENERAL INDUSTRY, DRIVE THROUGH, RESTAURANT		
LOT AREA	6,635.5 m ² (71,424sf)		
PERMITTED LOT COVERAGE	MAX 75%		
PROPOSED LOT COVERAGE	11.4%		
PROPOSED BUILDING FOOTPRINT	759 m ² (8,169sf)		
PERMITTED FLOOR AREA RATIO (FAR)	1.0		
PROPOSED FLOOR AREA RATIO (FAR)	0.11		
BUILDING SETBACKS	REQUIRED	PROPOSED	
FRONT YARD (NELSON RD)	3.0m	20.8m	
REAR YARD (WEST)	-	26.4m	
INTERIOR SIDE YARD (NORTH)	-	11.5m	
EXTERIOR SIDE YARD (BLUNDELL RD)	3.0m	17.7m	
HEIGHT	MAX 16.0m		
NOTE: ACCENT PANEL HEIGHTS VARY FROM 5.9m TO 7.6m			
PARKING SIZE	STANDARD	2.65m W x 5.5m L	
	SMALL	2.40m W x 5.0m L	
	ACCESSIBLE	2.50m W x 5.5m L	
		1.5m SHARED AISLE	
aisle width (two-way)	7.5m		
PARKING			
REQUIRED PARKING SPACES			
PARKING BY-LAW USE CATEGORY	PARKING SPACES REQUIRED	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
RESTAURANT	8 SPACES PER 100sm UP TO 350sm 10 SPACES FOR EACH ADDITIONAL 100sm	24	30
DRIVE-THRU	7 SPACES PER 100sm UP TO 350sm 8 SPACES FOR EACH ADDITIONAL 100sm MIN. 8 VEHICLE QUEUING AREA IN ADVANCE OF PIU WINDOW	30	32
ACCESSIBLE PARKING	1 PER 1st 20 SPACES 1 ADD'L PER NEXT 80 SPACES	2	2
	(36 STANDARD + 29 SMALL)	56	64
LOADING			
REQUIRED/ PROVIDED	1 MEDIUM SIZE LOADING		
BICYCLE PARKING REQUIRED/ PROVIDED			
REQUIRED (NOTE: 3 CLASS 1 SPACES/ 4 CLASS 2 SPACES)	7 SPACES		

LEGEND	
	LANDSCAPE AREA
	PAVEMENT AREA
	PROPOSED EV CHARGING STATION (9 DEDICATED EV STALLS WITH 5 PEDESTALS - 60AMP LEVEL 2 CHARGER)



GWA PROPOSED COMMERCIAL DEVELOPMENT
18399 BLUNDELL ROAD, RICHMOND, BC

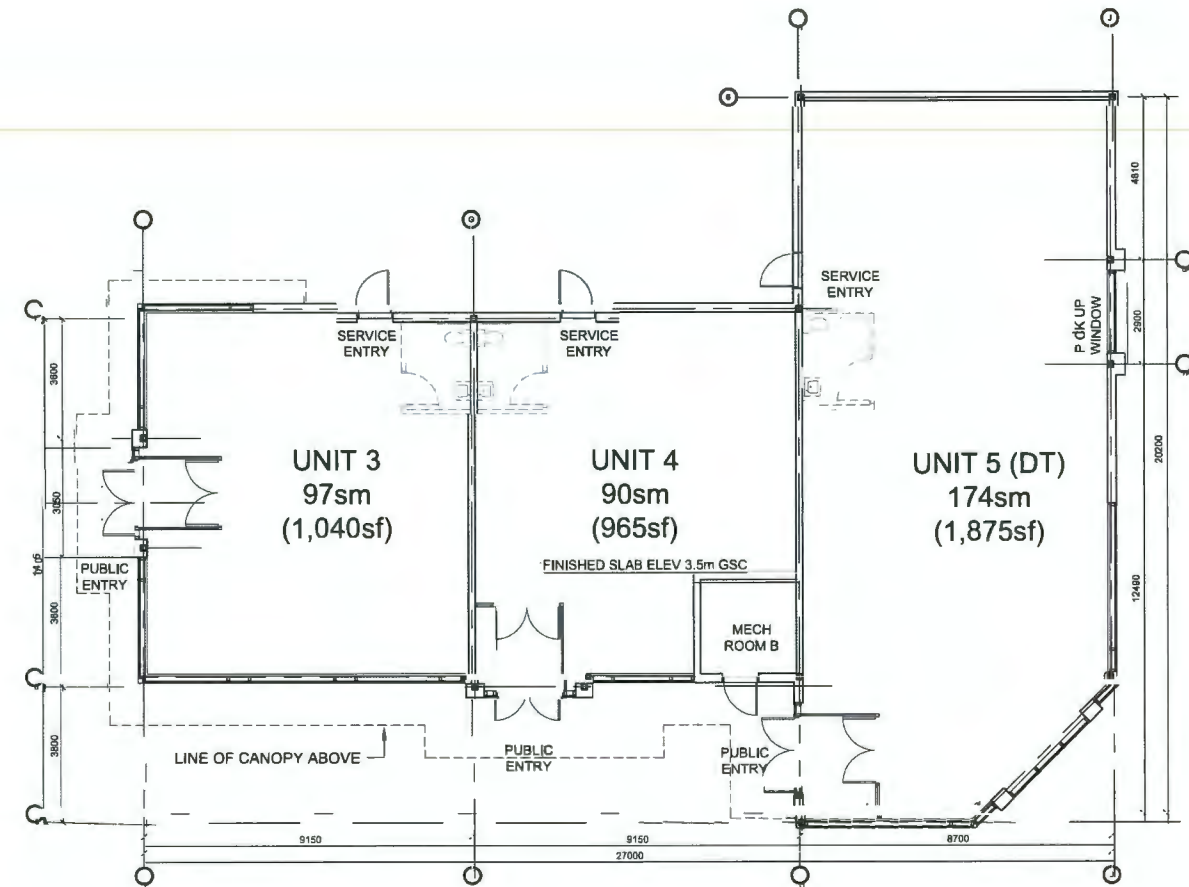
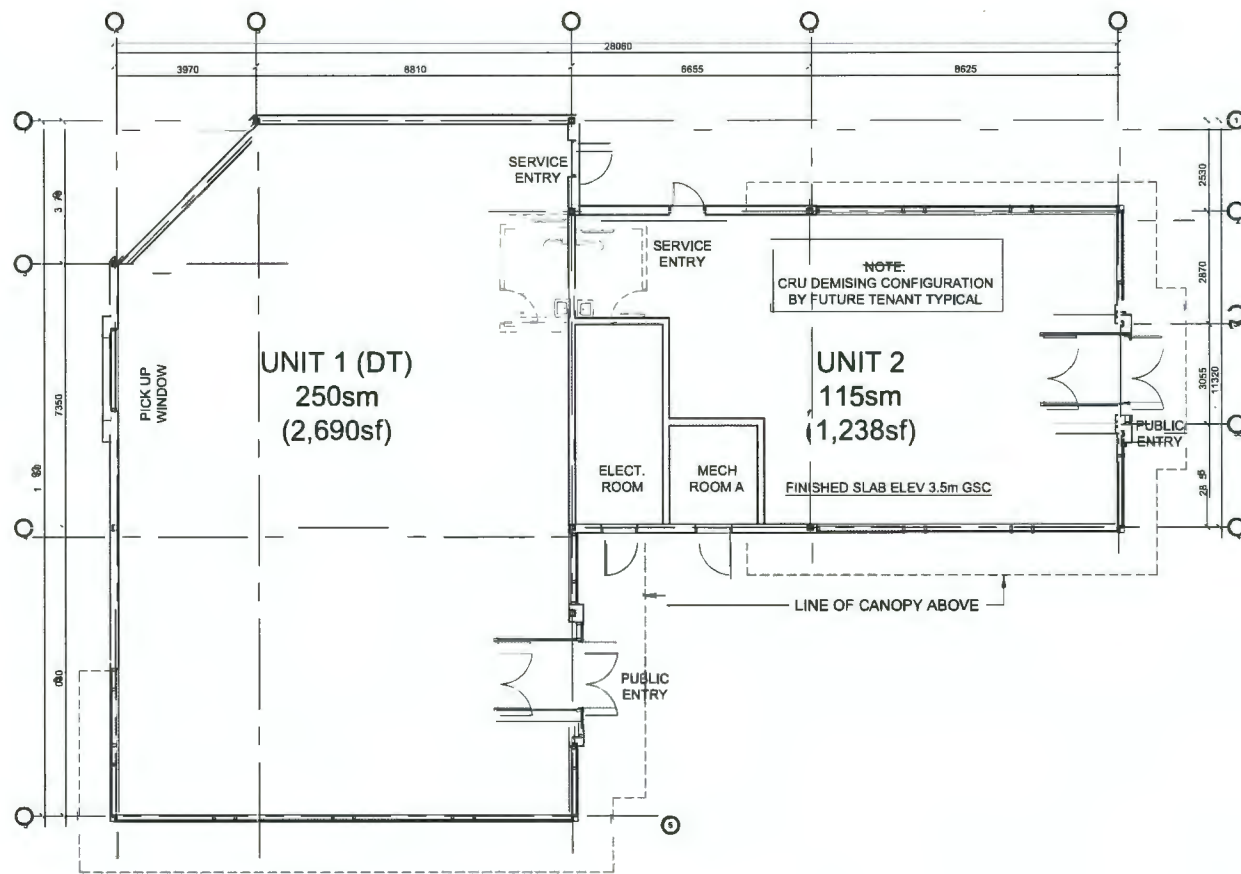


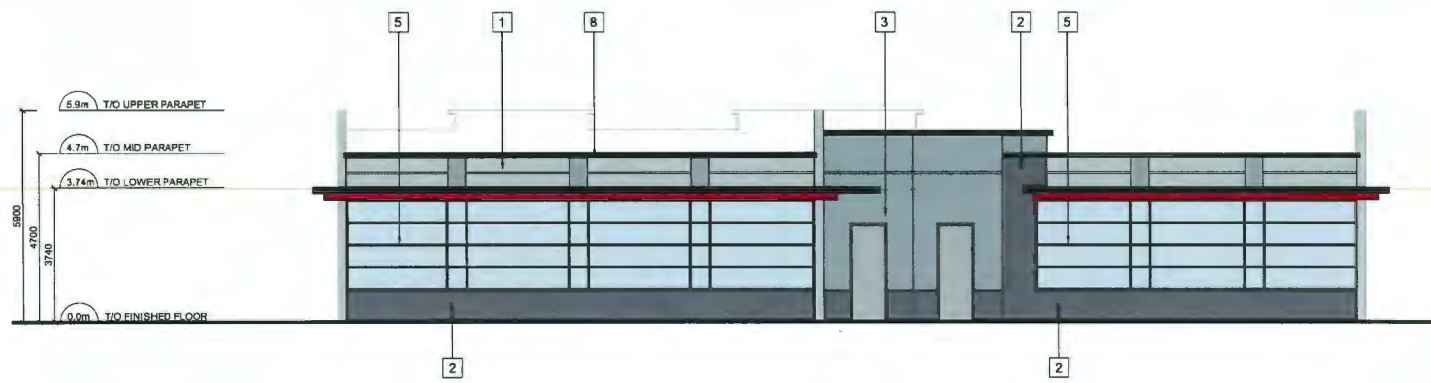
April 03, 2024
DP23-035339
Plan # 2

SCALE 1:200

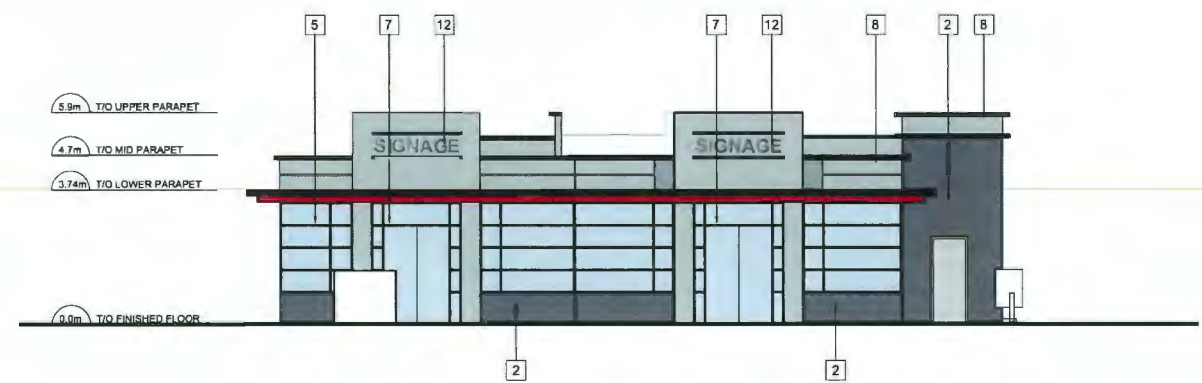
SITE PLAN
MARCH 22, 2024

A1.0

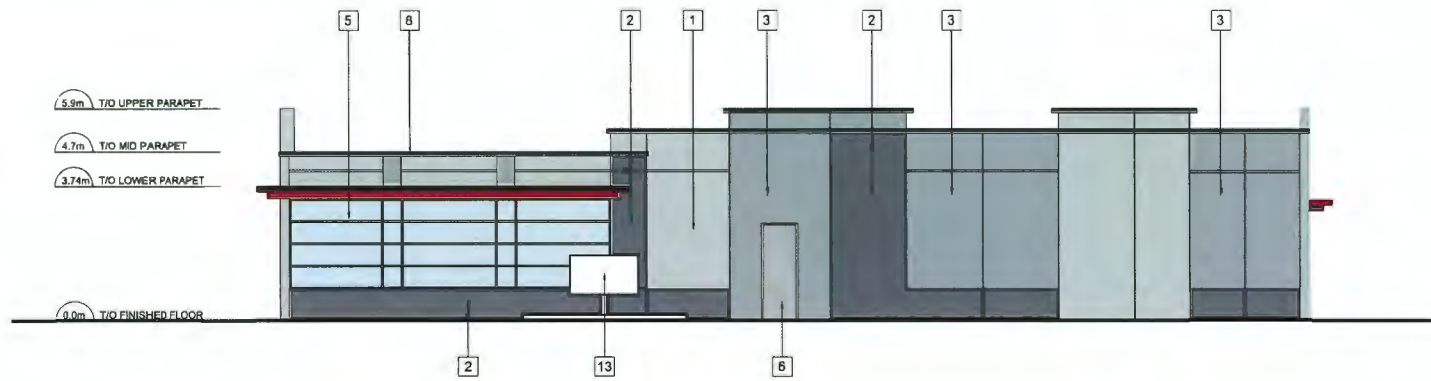




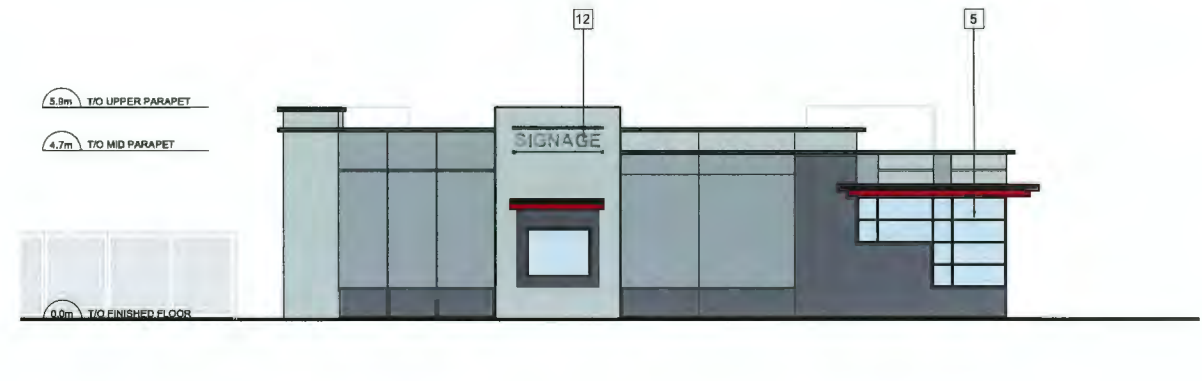
A SOUTH ELEVATION



B EAST ELEVATION

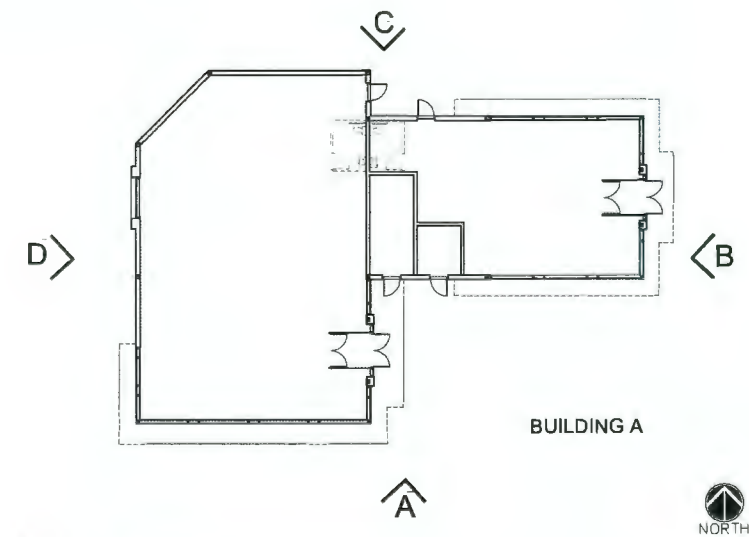
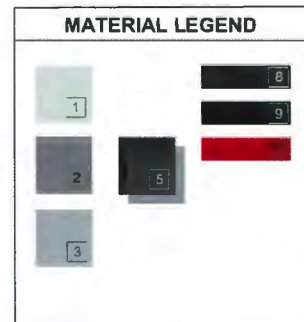


C NORTH ELEVATION



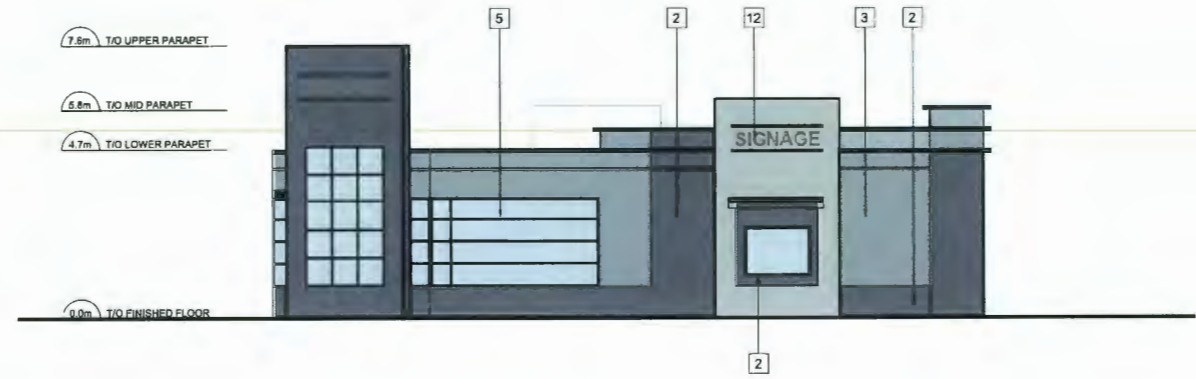
D WEST ELEVATION

MATERIAL LEGEND	
1	INSULATED METAL PANEL, LIGHT GRAY COLOUR: SHALE GREY (OR EQUIVALENT)
2	INSULATED METAL PANEL, DARK GRAY COLOUR: BASALT (OR EQUIVALENT)
3	INSULATED METAL PANEL, MEDIUM GRAY COLOUR: WINDSPRAY (OR EQUIVALENT)
4	RESERVED
5	GREY TINTED SEALED UNIT WITH BLACK ANODIZED ALUMINUM GLAZING MULLIONS
6	INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED. COLOUR: GREY TBC
7	GREY TINTED STOREFRONT ENTRY DOUBLE DOORS
8	PREFINISHED METAL FLASHING, COLOUR CHARCOAL BY VICWEST
9	PREFINISHED METAL CANOPY FLASHING, COLOUR BLACK S8088 BY VICWEST
10	PREFINISHED METAL FASCIA FLASHING, COLOUR DARK RED S6064 BY VICWEST
11	GARBAGE SCREENING ENCLOSURE
12	SIGNAGE, SUPPLIED AND INSTALLED BY SIGN CONTRACTOR.
13	ORDER MENU SIGNSTAND
14	RUSTICATION REVEAL

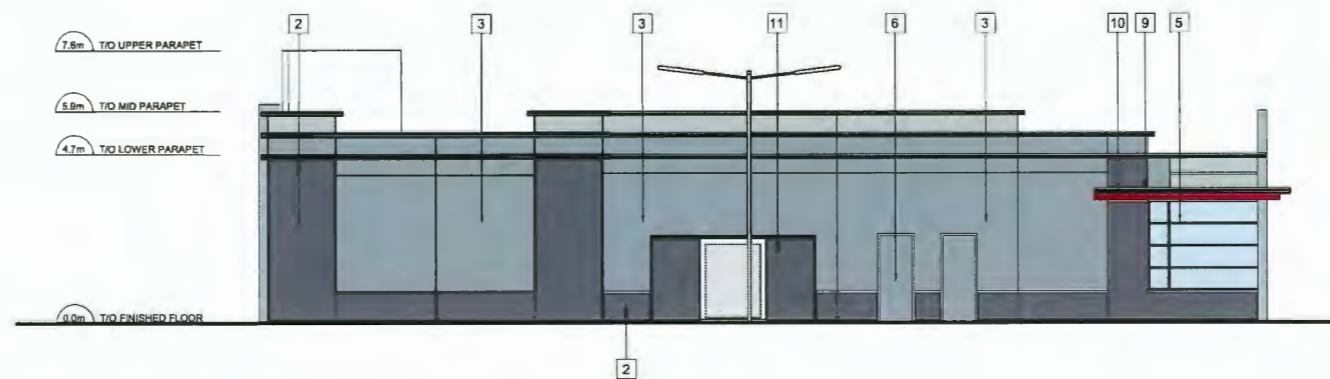




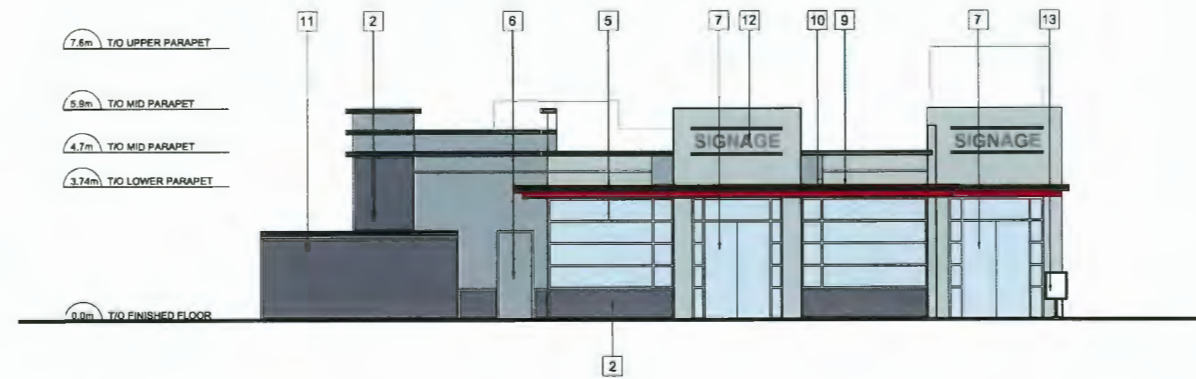
A SOUTH ELEVATION



B EAST ELEVATION

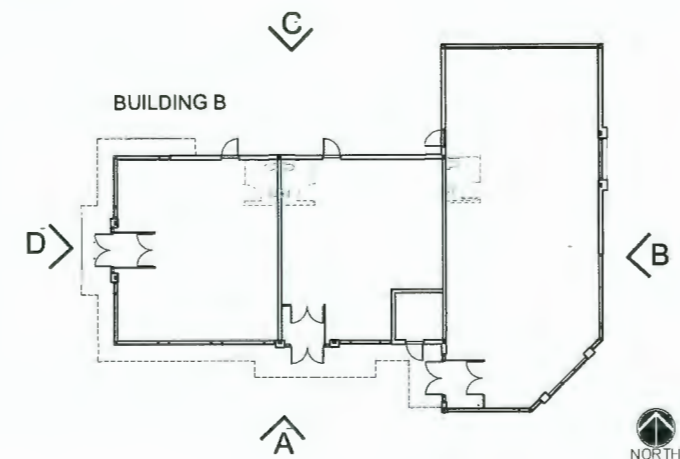


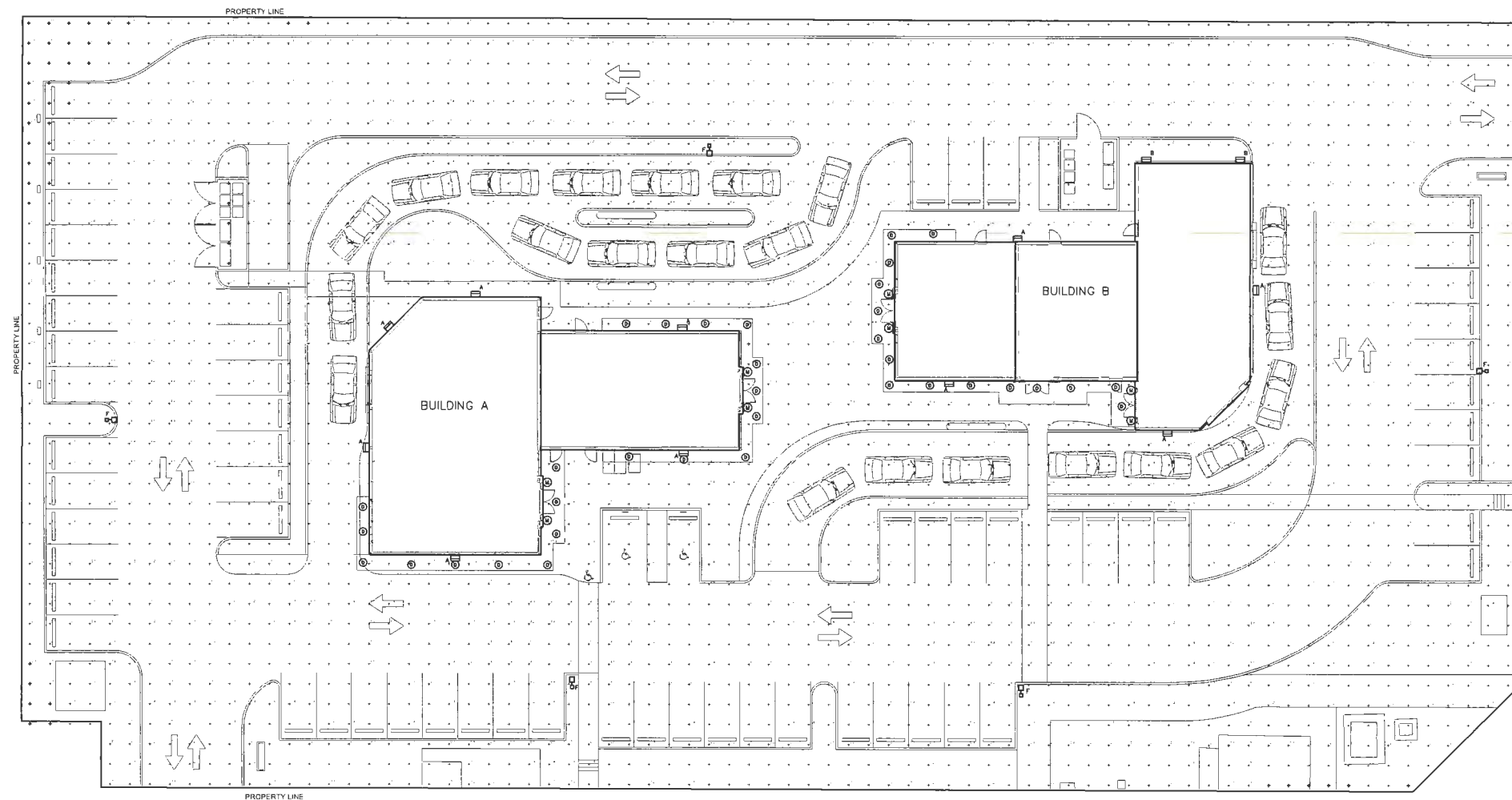
C NORTH ELEVATION



D WEST ELEVATION

MATERIAL LEGEND	
1	INSULATED METAL PANEL, LIGHT GRAY COLOUR: SHALE GREY (OR EQUIVALENT)
2	INSULATED METAL PANEL, DARK GRAY COLOUR: BASALT (OR EQUIVALENT)
3	INSULATED METAL PANEL, MEDIUM GRAY COLOUR: WINDSPRAY (OR EQUIVALENT)
4	RESERVED
5	GREY TINTED SEALED UNIT WITH BLACK ANODIZED ALUMINUM GLAZING MULLIONS
6	INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED, COLOUR: GREY TBC
7	GREY TINTED STOREFRONT ENTRY DOUBLE DOORS
8	PREFINISHED METAL FLASHING, COLOUR: CHARCOAL BY VICWEST
9	PREFINISHED METAL CANOPY FLASHING, COLOUR: BLACK S6068 BY VICWEST
10	PREFINISHED METAL FASCIA FLASHING, COLOUR: DARK RED S6064 BY VICWEST
11	GARBAGE SCREENING ENCLOSURE
12	SIGNAGE, SUPPLIED AND INSTALLED BY SIGN CONTRACTOR.
13	ORDER MENU SIGN/STAND
14	RUSTICATION REVEAL





ELECTRICAL SITE PLAN
SCALE 1:200

EXTERIOR LIGHTING DESIGN METHODOLOGY
THE OUTSIDE LIGHTING WILL CONSIST OF WALL MOUNTED LED LIGHTING AND UNDER CANOPY RECESSED POTLIGHTS. THE LIGHTING DESIGN AND FIXTURE SELECTION WILL BE DARK SKY COMPLIANT WITH FULL CUT-OFF OPTICS. THE LIGHTING WILL BE DESIGNED TO MINIMIZE LIGHT TRESPASS BEYOND THE PROPERTY BOUNDARY AND INCLUDE NO UP-LIGHTING FEATURES.



ALL RIGHTS RESERVED. PROPERTY OF JUSTINSON/WYLLIE ARCHITECTS INC. USE OR REPRODUCTION PROHIBITED WITHOUT WRITTEN PERMISSION.
THE GENERAL CONTRACTOR SHALL REVIEW THE DOCUMENTS FOR CONFORMANCE OF CODES AND BYLAWS AND SHALL ADVISE THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY. THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL LIGHTS AND DIMENSIONS TO THE DESIGNER. E.C.H.I.C. TICKET NO. 18000739

CLIENT



THIS PROJECT HAS BEEN DESIGNED UNDER THE FOLLOWING APPLICABLE CODES:
BUILDING CODE: BCBC 2018
ELECTRICAL CODE: EC-2018
ENERGY CODE: ASHRAE 90.1 (2019)
EGBC PERMIT TO PRACTICE: #1000739

PROJECT NAME

**BLUNDELL AND NELSON
COMMERCIAL DEVELOPMENT**
18399 BLUNDELL ROAD
RICHMOND, BC

FIXTURE SCHEDULE

TYPE		DESCRIPTION	LAMPS	MOUNTING
A		LITHONIA - WDG2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 4 MEDIUM OPTIC	LED, 46.7W 4000K	WALL MOUNTED +15' A.F.F. UNLESS OTHERWISE NOTED
B		LITHONIA - WDG2 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 1 SHORT OPTIC	LED, 19W 4000K	WALL MOUNTED +12' A.F.F. UNLESS OTHERWISE NOTED
D		LITHONIA - LDN4 40/10 L04AR LD	LED, 10.6W 4000K	RECESSED IN CANOPY +12' A.F.F. UNLESS OTHERWISE NOTED
F		LITHONIA - DSX2 LED P1 40K T2S MVOLT HS G1	LED, 140W 4000K	POLE MOUNTED, +25' - 0" AFF POLE
M		KENALL MANUFACTURING FSS247-2TB-PIA-MW-25L40K-DV	LED, 29W 4000K	WALL MOUNTED +10' A.F.F. UNLESS OTHERWISE NOTED

April 03, 2024
DP23-035339
Plan # 6

1 MAR 22 24 ISSUED FOR OP
NO DATE ISSUED FOR
DRAWING TITLE

**ELECTRICAL
SITE PLAN**

SML PROJECT NO. 2410
SCALE AS NOTED
DRAWN BY LL
CHECKED BY R.T.
PROFESSIONAL SEAL SHEET NO.



SOUTHEAST CORNER



NORTHEAST CORNER



SOUTHWEST CORNER



NORTHWEST CORNER



SOUTHEAST CORNER



NORTHWEST CORNER



SOUTHWEST CORNER



NORTHEAST CORNER



COURTYARD VIEW A



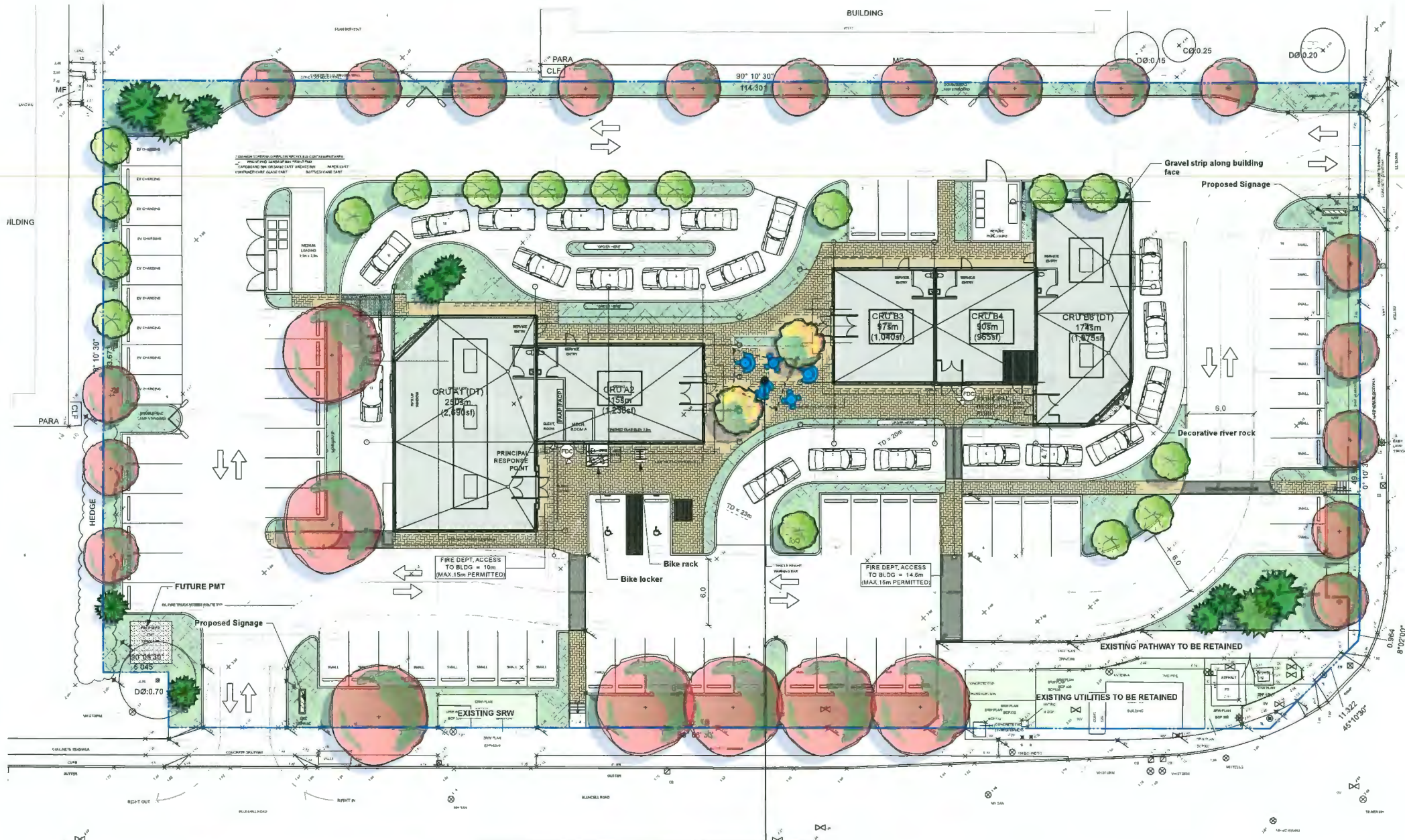
COURTYARD VIEW B



A STREETScape VIEW FROM BLUNDELL ROAD



B STREETScape VIEW FROM NELSON ROAD



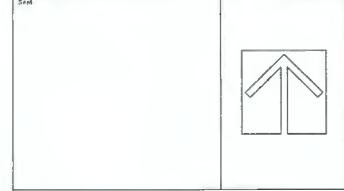
- LANDSCAPE GENERAL NOTES**
1. All Landscape material and execution shall conform to the Canadian Landscape Standard; all applicable and noted codes, bylaws and specifications and life-safety requirements.
 2. Do not construct from these drawings unless marked "Issued For Construction".
 3. The Landscape Contractor shall submit all questions, reports, inquiries and requests pertaining to these drawings or their execution in writing to the Landscape Consultant.
 4. Existing condition plans were prepared by others and actual conditions may vary from those shown. The Landscape Contractor shall conduct a site visit to review existing conditions and report all discrepancies between the plans and actual site to the Landscape Consultant prior to construction. The Landscape Contractor shall assume responsibility for actual site conditions (including subsurface).
 5. The Landscape Contractor shall conduct a site visit and review to determine the extent of work required (including but not limited to demolition, preparation and removals). Landscape Contractor shall report any discrepancies between the required and proposed work, to the Landscape Architect prior to construction.
 6. The Landscape Contractor shall verify all scaled and written dimensions in the contract drawings and on site prior to construction. The Landscape Contractor shall report any discrepancies or incompatibilities to the Landscape Consultant.
 7. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%.
 8. All landscaping shall have a high efficiency irrigation system to IBAC standards. Unless otherwise specified, the irrigation system shall be design-built by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant approval.
 9. All substitutions shall be approved by the Landscape Consultant.
 10. The Landscape Contractor shall repair any damage resulting from work on site.
 11. The Landscape Contractor shall provide 1 year of CLS level 1 maintenance (including watering) after the date of substantial completion.
 12. All walls 3' or taller, all guards, all concrete footings and all rebar shall be designed by structural engineer. All walls shall be inspected and approved by geotechnical and structural engineer. Ensure positive drainage behind all walls.
 13. When working within the City of Vancouver, the Landscape Contractor shall ensure all project activities conform to Japanese Beetle Regulation.

- LANDSCAPE TREE NOTES**
1. All landscape construction activities have a high potential for causing damage to trees, roots and soil. The Landscape Contractor shall coordinate with the project Arborist prior to the start of landscape operations to avoid tree protection non-compliance and bylaw issues.
 2. Install temporary tree protection fencing as per arborist report or tree protection plan. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction.
 3. Removal of the tree barriers requires advance coordination and approval by the project arbor.

LEGEND

	Property Line	
	Tree protection fence	
HARDSCAPE MATERIALS:		
	Aquapave Permeable Paver system from Belgard or approved equivalent Size: 110mm x 221.5mm x 80mm, Colour: Harvest	6 L3
	Aquapave Permeable Paver system from Belgard or approved equivalent Size: 110mm x 221.5mm x 80mm, Colour: Charcoal	8 L3
	Cast in Place Concrete (Pedestrian)	
SOFTSCAPE MATERIALS:		
	Planting Bed	3 L3, 2 L3, 1 L3
SITE FURNISHINGS:		
	Maglin FaVa Cluster Seating, various seating options	3 L3
	Bike Rack	5 L3
	Bike Locker, Double and Single	7 L3
LINE & SYMBOLS		
	Building envelope	
	Building roof overhang	

Date	Issue Notes
2024-03-20	Re-issue for DP
2023-12-13	Issue for DP
2023-11-14	Issue for DP
2023-11-07	Issue for DP coord



Prospect & Refuge
 LANDSCAPE ARCHITECTS
 #103-1661 W 2nd Ave Vancouver, BC V6J 1K3
 604.656.1003 info@prospectandrefuge.ca
 Building on over 25 years of history as Jonathan Lewis, Ltd.

Proposed Commercial Development
 18399 Blandell Road, Richmond, BC

Project Title
 Coast Salish

Project No.
 2023-26

Scale
 1/8" = 1'-0"

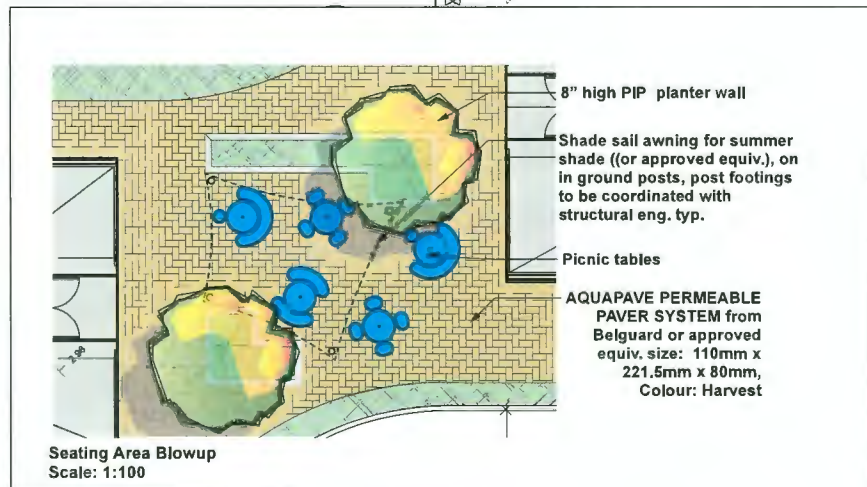
Project Manager
 CV

Drawn By
 AS

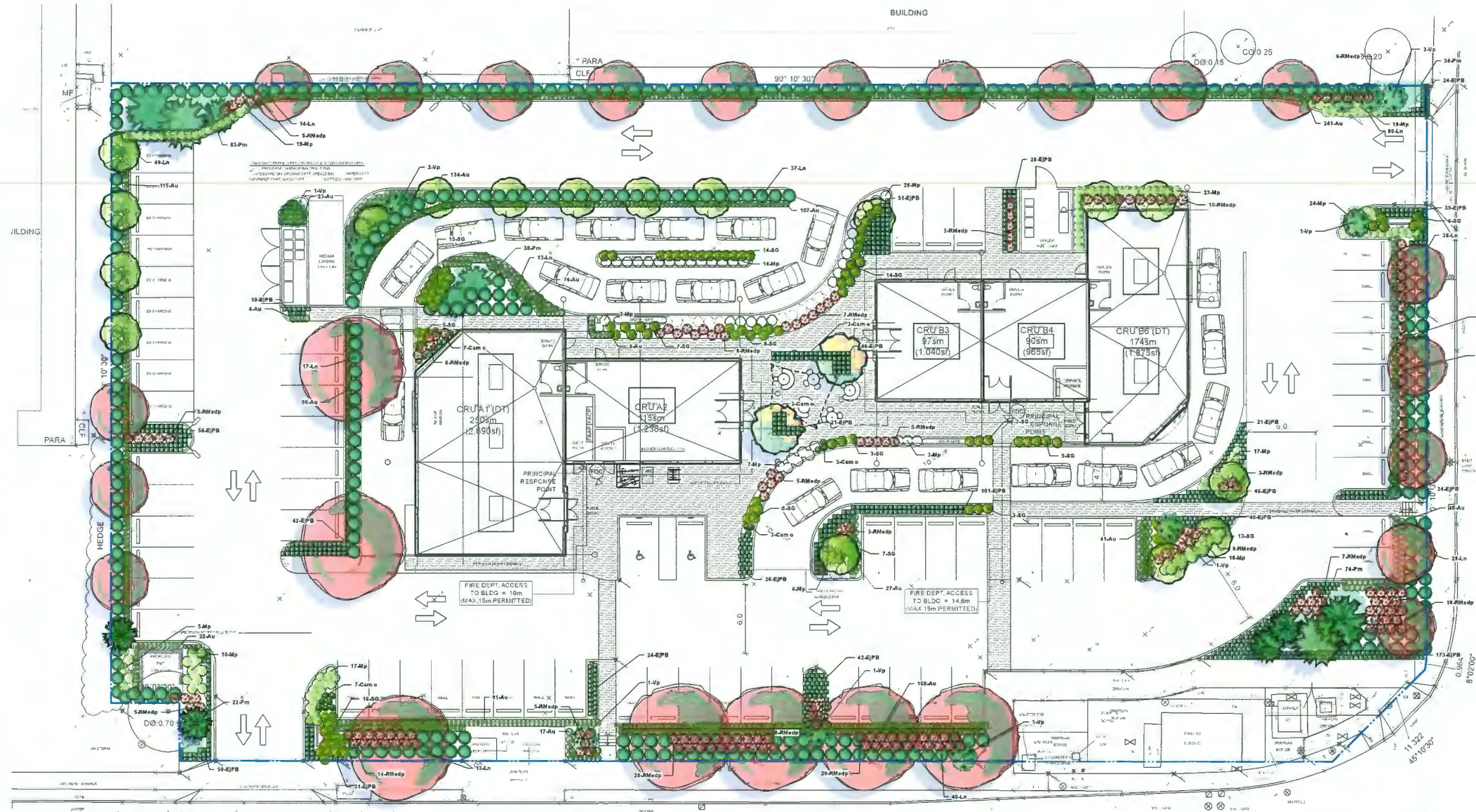
Sheet No.
 L1



Shade Sail shade awning (or approved equiv.) to provide summer shade at amenity space
 Colour TBD to match architecture.



April 03, 2024
 DP23-035339
 Plan # 11



LANDSCAPE PLANTING NOTES

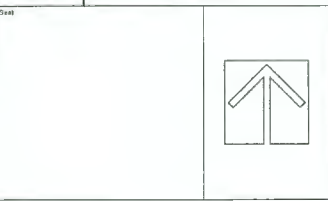
- All planting materials and execution shall conform to the current edition of the Canadian Landscape Standard (CLS) as a minimum acceptable standard.
- Plant material shall be sourced from Washington State and BC.
- Landscape Contractor shall submit a soil report for each soil type specified on site (including all imported soil and existing soil intended for re-use), to Landscape Consultant for approval prior to soil delivery to site. Soil report shall be dated no more than one month before submittal. Soil report shall include CLS measures of soil quality per specified soil type and recommendations for amendment.
- Landscape Contractor shall amend approved soils per instruction of soil report. Provide documentation of fertilizer and lime applications and rates during the installation and maintenance periods.
- The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Compacted subgrades shall be scarified to a minimum depth of 6" (150mm) immediately before placing growing medium.
- The Landscape Contractor shall report discrepancies between plant quantities in the plant list and plan to the Landscape Consultant prior to ordering plant material. Where there is a discrepancy the plan shall supersede the list.
- All plant material, sod and seeds shall be approved by Landscape Consultant prior to delivery on site. The Landscape Contractor shall provide photographs with scale reference for trees and location information for container stock to the Landscape Consultant prior to the Landscape Consultant scheduling a field inspection. The Landscape Contractor shall provide cut sheets or samples of sod and seeds for approval. Plant material, sod and seeds rejected on site shall be replaced by the Landscape Contractor at no cost to the Owner.
- Plant material, sod and seed substitutions shall not be made without the written approval of the Landscape Consultant.
- All plant material (including root balls) shall be free of pernicious weeds, sod, disease, infestation and infection. Plant material shall be supplied by nurseries who are certified by the Clean Plants program, Canadian Nursery Certification Institute (CNCI) current certification standard: <http://cleanplants.ca/>. Non-conforming plant material provided by the Landscape Contractor shall be removed, disposed of and replaced at the Landscape Contractor's expense.
- If obstructions or other conditions detrimental to healthy plant growth are encountered, the Landscape Contractor shall notify the Landscape Consultant and request additional instructions.
- The exact location of trees shall be determined on site and field fit as required. The Landscape Consultant shall approve the final location of trees prior to planting.
- Plants shall not be pruned prior to delivery unless otherwise noted by the Landscape Consultant.
- Install composted organic mulch to CLS standard on all shrub beds after planting and rake smooth. Follow CLS standards for depth and installation.
- The Landscape Contractor shall provide level 1 maintenance per CLS standard for landscape type and a guarantee for all plant material, for 1 year after the date of substantial completion. Plants installed prior to June (Between Jan 1 and June 1) shall be under extended warranty until June 1 of the following year.
- Offsite planting shall have landowner approval (municipal or otherwise) prior to installation. Size, species, installation method and location require landowner approval at the time of installation. Offsite plant material and installation shall conform to all Municipal requirements.
- All landscaping shall have a high efficiency irrigation system to IABC standards. Unless otherwise specified, the irrigation system shall be design-built by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant approval.

LANDSCAPE TREE NOTES

- All landscape construction activities have a high potential for causing damage to trees, roots and soil. The Landscape Contractor shall coordinate with the project Arborist prior to the start of landscape operations to avoid tree protection non-compliance and bylaw issues.
- Install temporary tree protection fencing as per arborist report or tree protection plan. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction.
- Removal of the tree barriers requires advance coordination and approval by the project arborist.

PLANT LIST ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES					
Ar-SS	<i>Acer rubrum</i> 'Red Super Sonic'	Super Sonic Maple	18	6cm cal	B & B 1.8m standard
ArV	<i>Acer rubrum</i> 'Sun Valley'	Sun Valley Red Maple	17	6cm cal	B & B 1.8m standard
FD	<i>Fagus sylvatica</i> 'Dawyck Gold'	Fragrant Golden Leaf Beech	17	5cm cal	B & B
Fgl	<i>Fraxinus pennsylvanica</i> 'Leprechaun'	Leprechaun Green Ash	2	6cm cal	B & B Specimen
PmA	<i>Picea mariana</i> 'Aureovariegata'	Mariana Spruce	7	2.5m full ht BAR	B & B
Pa	<i>Picea omorika</i>	Sorbian Spruce	2	3 M ht.	B & B
Pa	<i>Picea orientalis</i> 'Skiptaris'	Golden Oriental Spruce	2	2M ht.	B & B
SHRUBS					
Aii	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	1,227	#1 pot	Cont.
Cam o	<i>Calamagrostis x acutiflora</i> 'Overdam'	Variegated Reed Grass	26	#2 pot	Cont.
EPB	<i>Euonymus japonicus</i> 'Paloma Blanca'	Paloma Blanca Bordered Euonymus	896	#2 pot	Cont.
Ln	<i>Lonicera nitida</i> 'Red Tip'	Red Tip Honeysockle	330	#1 pot	Cont.
Mp	<i>Pinus mugo</i> var 'Pumila'	Pumila Mugo Pine	213	#1 pot	Cont. full bushy
Pm	<i>Polystichum minimum</i>	Sword Fern	213	#1 pot @ 2'-0" oc	Cont.
RMedp	<i>Rosa</i> 'Flower Carpet Pink'	Flower Carpet Rose - pink	198	#3 pot	Cont.
SG	<i>Spiraea</i> 'Goldmound'	Goldmound Spiraea	124	#2 pot	Cont.
Vp	<i>Viburnum plicatum</i> f. <i>commentosum</i> 'Mariesi'	Doublefile Viburnum	11	#3 pot	Cont.
GROUND COVER					
Assorted perennials selected by Landscape Architect					
			25	#1 pot	Cont.

2024-03-20	Re-issue for DP
2023-12-13	Issue for DP
2023-11-14	Issue for DP
2023-11-07	Issue for DP coord
Date	Issue Notes



Prospect & Refuge
 LANDSCAPE ARCHITECTS
 803-661-1103
 804-695-1003
 info@prospectandrefuge.ca
 Building on over 25 years of history at Jonathan Lewis, Ltd.

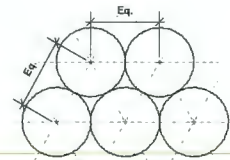
Proposed Commercial Development
 18399 Blundell Road, Richmond, BC

First Nations Territory
 Coast Salish

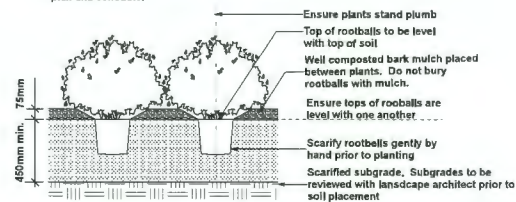
Sheet Title
 Landscape Planting Plan

Project No.	Scale
2023-26	1/8" = 1'-0"
Project Manager	Sheet No.
CV	L2
Reviewed By	
AS	

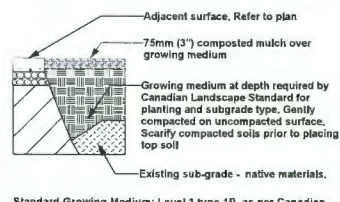
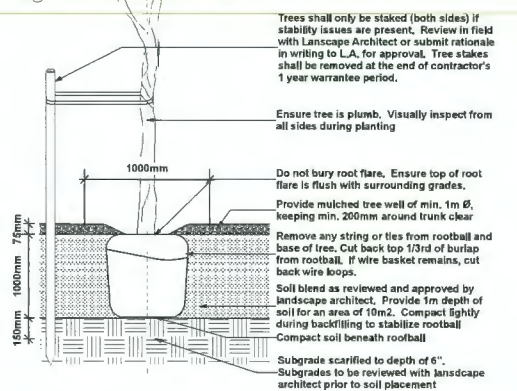
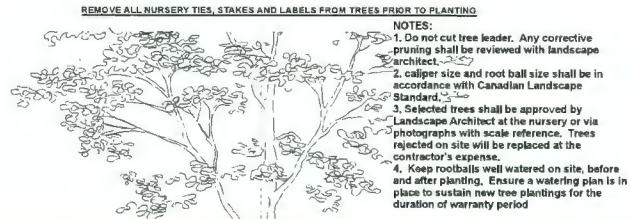
April 03, 2024
 DP23-035339
 Plan # 12



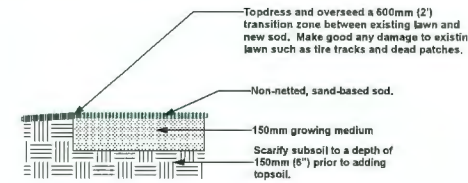
Plan view of typical planting layout: Unless otherwise noted, plants are to be spaced equally in triangular layout pattern, to specified on-centre distance. Refer to planting plan and schedule.



NOTES:
 1. Min. container size and root spread to comply with BC Landscape Standard for Nursery Stock - current edition.
 2. Prune all damaged, diseased, and dead limbs.
 3. Keep roots moist during installation: water container stock well prior to planting and following planting.



Standard Growing Medium: Level 1 type 1P as per Canadian Landscape Standards unless otherwise noted.
 -Supply sample to landscape architect for approval
 -Soil depths to meet or exceed Canadian Landscape Standard for growing medium in their context.
 -Soil depths to be confirmed and approved by Landscape Architect and when on-slab additionally by Structural Engineer, prior to installation.



Standard Growing Medium for Lawn offsite: Level 2 type 2L as per Canadian Landscape Standards unless otherwise noted.
 Standard Growing Medium for Lawn onsite: Level 1 type 1H as per Canadian Landscape Standards unless otherwise noted.
 -Supply sample to landscape architect for approval
 -Soil depths to meet or exceed Canadian Landscape Standard for growing medium
 On-Slab: 6" for irrigated turf, 9" for non-irrigated.



Surface mount to concrete slab base with tamper proof hardware

1 Shrub and Perennial Planting
Scale: 1:24

2 Tree Planting
Scale: 1:24

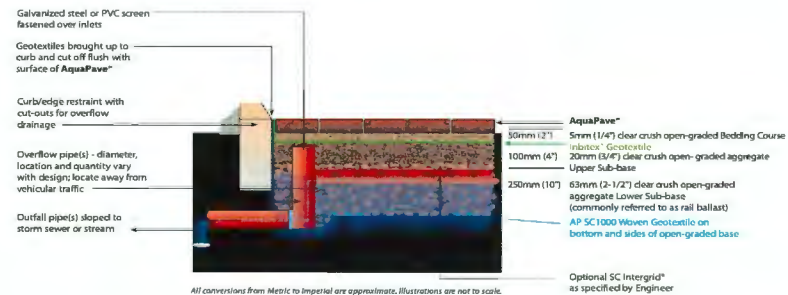
3 Top Soil
Scale: 1:24

4 Sodded Lawn
Scale: 1:24

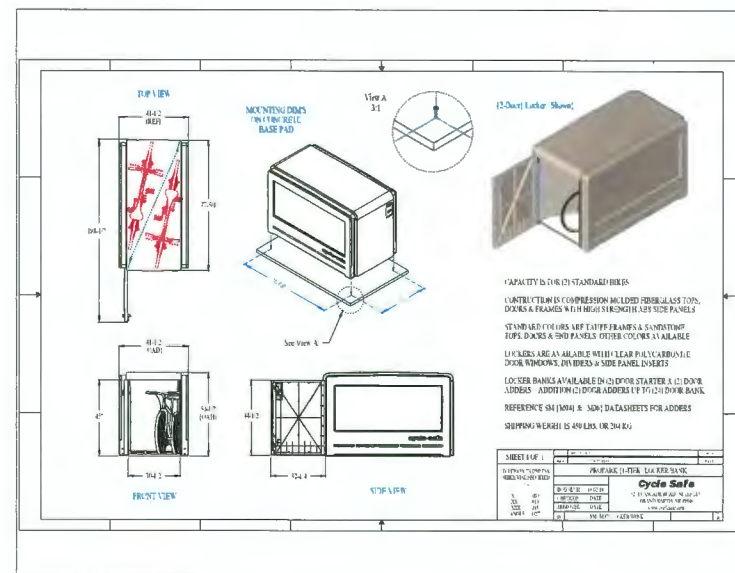
5 Cora Bike Rack W3606
Scale: NTS

AQUAPave® Permeable On-Site Stormwater Source Control System

Partial Exfiltration System

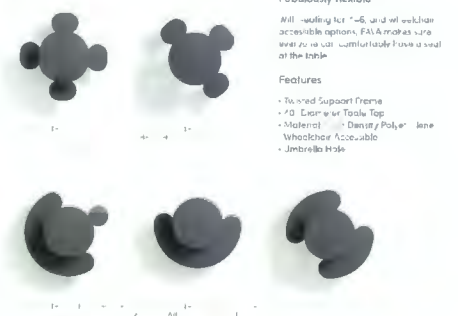


6 Permeable Pavers
Scale: Actual Size



7 Bike Locker
Scale: NTS

Dynamic cluster seating with a twist



Fabulously flexible
 Will seating fit? -6, and all with an accessible options. F.A.A. models are available in all wheelchair frame sizes of the table.
Features
 - Fixed Support Frame
 - 12" Castor Wheel Top
 - Material: 100% Durable Polypropylene
 - Wheelchair Accessible
 - Jambrella Hole

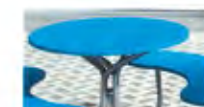
Built to last

Highly durable and maintenance-free. F.A.A. models in all wheelchair frame sizes. Polyethylene colors, all featuring an orange seat surface that is pleasing to touch and easy to clean.



Always supportive

F.A.A. models feature a 12" castor wheel top. The frame is made of durable polypropylene.



8 Cluster Seating
Scale: NTS

Date	Issue Notes
2024-03-20	Re-Issue for DP
2023-12-13	Issue for DP
2023-11-14	Issue for DP
2023-11-07	Issue for DP coord

Date	Issue Notes

Prospect & Refuge
 LANDSCAPE ARCHITECTS
 #102-1881 W 2nd Ave Vancouver, BC V6J 1H3
 604-699-1903 info@prospectandrefuge.ca
 Building on over 25 years of history as Jonathan Lurie, Ltd.

Project Title and Address
Proposed Commercial Development
 18359 Blandell Road, Richmond, BC

First Nations Territory
Coast Salish

Sheet Title
Landscape Details

Project No.	2023-26	Scale	As Noted
Project Manager	CV	Sheet No.	L3
Reviewed By	AS		

April 03, 2024
 DP23-03533
 9 Plan # 13