



# City of Richmond

## Report to Development Permit Panel

**To:** Development Permit Panel

**Date:** November 17, 2025

**From:** Joshua Reis  
Director, Development

**File:** DP 23-033716

**Re:** **Application by Panatch Group for a Development Permit at 9000 No. 3 Road**

### Staff Recommendation

That a Development Permit be issued which would permit the construction of a mixed-use commercial and rental apartment building at 9000 No. 3 Road on a site zoned “Commercial Mixed Use (ZMU61) – No. 3 Road and Francis Road (Broadmoor)”.  
  
A handwritten signature in black ink, appearing to read "Joshua Reis".

Joshua Reis  
Director, Development  
(604-247-4625)

JR:dh

Att. 4

## Staff Report

### Origin

Panatch Group, on behalf of 1320484 B.C. Ltd. (Director: Kush Panatch), has applied to the City of Richmond for permission to develop a mixed-use commercial and residential building with 64 rental units at 9000 No. 3 Road (Attachment 1), including seven Moderate Market Rental (MMR) units on a site zoned “Commercial Mixed Used (ZMU61) – No. 3 Road and Francis Road (Broadmoor)”.

The site is being rezoned from “Gas & Service Stations (CG1)” to “Commercial Mixed Use (ZMU61) – No. 3 Road and Francis Road (Broadmoor)” under Bylaw 10656 (RZ 23-033712), which received third reading on May 20, 2025. There is also an associated Official Community Plan (OCP) amendment to change the site’s land use designation from “Commercial” to “Limited Mixed Use”.

Key components of the proposal include:

- Approximately 3,121.78 m<sup>2</sup> (33,602.56 ft<sup>2</sup>) of purpose-built market rental housing consisting of 57 market rental units.
- Approximately 374.49 m<sup>2</sup> (4,030.98 ft<sup>2</sup>) of purpose-built affordable rental housing consisting of seven MMR units.
- A mix of unit types ranging from studio to two-bedroom apartment units, including approximately 44 per cent of all units as family-friendly.
- All units are designed to meet the Basic Universal Housing (BUH) provisions under Richmond Zoning Bylaw 8500.
- Approximately 384.2 m<sup>2</sup> (4,135.5 ft<sup>2</sup>) of outdoor amenity space, including tables and seating, urban agriculture planters and a children’s play area.
- Approximately 559.02 m<sup>2</sup> (6017.24 ft<sup>2</sup>) of commercial space consisting of six at-grade commercial units.

An associated Servicing Agreement (SA 25-015410) was secured through the rezoning for the design and construction of road and engineering improvement works required as part of the development. Works include frontage improvements, an upgrade to the storm system and new water and sanitary service connections.

### Development Information

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant bylaw requirements.

### Background

Development surrounding the subject site is as follows:

To the North: Across Francis Road, a 10-unit, one-storey commercial plaza on a property zoned “Neighbourhood Commercial (CN)”.

To the East: A three-storey townhouse development on a property zoned “Town Housing (ZT62) – Francis Road”, which has a lawn, a hedge and a fence that encroach approximately 3.0 m beyond the common property line into the subject site.

To the South: A two and three-storey townhouse development on a property zoned “Medium Density Townhouses (RTM2)”.

To the West: Across No. 3 Road, two-storey rental apartments on a property zoned “Low Rise Apartment (ZLR42) – Francis Road (Broadmoor)”.

### **Rezoning and Public Hearing Results**

The Public Hearing for the rezoning of this site was held on May 20, 2025. At the Public Hearing, there was discussion around the existing Statutory Right-of-Way (SRW) along the east property line and the proposed use and landscaping of this area. As a result of the discussion, the applicant was encouraged to work with the adjacent townhouse residents to the east to explore landscaping options and improve the interface between the proposed development and the adjacent private greenspace. In response, the applicant engaged with the neighbouring strata to address their questions and requests and has agreed to replace the proposed low picket fence with a 1.8 m high solid wood fence to enhance privacy and screening.

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit (DP) application. In addition, it complies with the intent of the applicable sections of the OCP and is generally in compliance with the “Commercial Mixed Use (ZMU61) – No. 3 Road and Francis Road (Broadmoor)” zone.

### **Advisory Design Panel Comments**

The Advisory Design Panel (ADP) was supportive of the application, subject to consideration of the Panel’s comments. A copy of the relevant excerpt from the September 18, 2025, ADP meeting minutes is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ***bold italics***.

### **Analysis**

#### ***Conditions of Adjacency***

- Setbacks of 3.0 m are provided from the east and south lot lines to the parkade podium, with the bulk of the building massing stepped further back from these lot lines (approximately 7.4 m from the east and ranging from 9.2 m to 25.4 m from the south) away from the adjacent townhouse developments.
- The common outdoor amenity area has been designed to respond to the east and south adjacencies, including planting locations and setback from the building edge behind a continuous raised edge planter.
- A 1.8 m high solid wood fence (stepping to 1.2 m within the street-fronting setbacks) will be installed along the east and south lot lines to provide screening and enhance the privacy of the existing neighbouring townhouses.
- The setback areas adjacent to the parkade podium will also include a combination of landscape elements, including columnar trees (except within the SRW area), shrubs, ferns, grasses and vines for buffering and screening.

- The building's interface with the public realm to the north and west include ground-oriented commercial units, canopies for weather protection and ornamental planters and landscaping along the building frontages.

### ***Urban Design and Site Planning***

- The development consists of a mixed-use building with commercial units at the ground level, which wrap around a two-level parkade along the street frontages, and rental apartment units in the upper storeys.
- The building is anchored at a key intersection with prominent massing and active commercial ground floor design that enhances the streetscape.
- Vehicular access is configured with separate entries from No. 3 Road and Francis Road, with No. 3 Road serving residential users exclusively and with Francis Road also providing access for shared commercial/residential visitor use and waste management functions.
- The residential lobby faces the public sidewalk on Francis Road and is emphasised with ample glazing and a canopy cover.
- Class 2 bicycle racks are located at grade around the perimeter of the site near the commercial units and the building lobby.
- A space for public micro-mobility parking (e.g., e-bikes, e-scooters) that was secured at the time of rezoning is proposed at the northeast corner of the site.
- Common outdoor amenity space is provided at the southeast corner of the site on top of the third-floor parkade podium.
- Private outdoor space is proposed for most units in the form of patios located on the landscaped parking podium as well as recessed and projecting balconies on the third to sixth floors. The design of outdoor spaces is generally consistent with what was presented as part of the rezoning.
- No common indoor amenity space is proposed for the development. A \$309,311.00 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.
- The proposed development meets the requirement of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on Title was secured through the rezoning.
- As the subject site formerly contained a gas station, remediation of the land consistent with the provincial *Contaminated Sites Regulations* is required. The applicant's Qualified Environmental Professional has provided confirmation that the proposed development is consistent with the existing Certificate of Compliance received from the BC Ministry of Environment for the site. Prior to DP issuance, the owner shall register an agreement on Title that indemnifies the City with respect to this matter.

### ***Architectural Form and Character***

- The architectural form is of contemporary architectural style, expressed through a simple and proportionally balanced massing that reinforces the mixed-use character of the building.

A light colour palette for the upper residential storeys enhances the visual openness and reduces perceived height, while a darker tone at the commercial podium anchors the structure.

- The exterior cladding consists of light colour fibre cement lap siding, dark brick, painted concrete, vinyl windows and glass and metal railings, and are generally consistent with the DP guidelines. Wood tone materials are proposed for the recessed balconies to add warmth and visual interest.
- The parkade walls include openings with louvre screens and trailing and climbing vines to soften these walls.

### ***Tree Management, Landscape Design and Open Space Design***

- There are 11 existing trees being removed from the development site. Two undersized neighbouring trees and one undersized street tree are proposed to be retained and protected.
- To ensure the protection of the existing trees on the adjacent property to the northeast, the provision of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to the tree protection zones was secured through the rezoning.
- A tree survival security in the amount of \$5,000.00 has been secured through the rezoning for the undersized street tree.
- During the rezoning phase, preliminary plans identified 10 replacement trees and cash contribution to the City's Tree Compensation Fund in lieu of planting the remaining required 12 trees that were not accommodated on site. The applicant has found additional on-site planting opportunities, resulting in a total of 23 new and replacement trees being provided on site. Replacement trees are to comply with the City's Tree Protection Bylaw 8057.
- Approximately 384.2 m<sup>2</sup> (4,135.5 ft<sup>2</sup>) of outdoor amenity space is provided within the third-floor courtyard. The space includes community and social features, such as an outdoor dining table with seating, moveable tables and chairs, urban agriculture planters and a children's play area. Trees and shrubs are incorporated throughout the courtyard to provide screening, enhance privacy and contribute to the overall greening of the development.
- A combination of step/wall lighting, bollard lighting and wall-mounted down lighting are proposed along the east building elevation, by building exits and within the common outdoor amenity area.
- An on-site automatic irrigation system will be provided for all planted areas.
- To ensure the provision of landscaping, a legal agreement and associated landscape security in the amount of \$462,361.08 will be required prior to DP issuance.

### ***Crime Prevention Through Environmental Design***

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the proposed development.
- The development incorporates clearly defined pedestrian and vehicle access points, edge treatment and signage to guide movement and minimize unauthorized entry.
- Natural surveillance is enhanced through active street frontages with windows and entrances, well-placed lighting and landscaping that maintain clear sightlines and visibility across the public and semi-public areas.

***Sustainability***

- Consistent with Provincial Energy Step Code and Zero Carbon Step Code requirements, this project is expected to be designed to achieve Step 3 with Emission Level 2 for the residential areas and Step 2 with Emission Level 2 for the commercial areas, as confirmed by the preliminary energy modelling report from the applicant's Registered Professional.
- Sustainable energy strategies include using a high-performance building envelope, airtight construction, high-performance windows and systems such as variable refrigerant flow heat pumps, energy recovery ventilators and LED lighting with automated controls.

***Accessible Housing***

- The proposed development includes 64 BUH units (100 per cent of all residential units being proposed) that are intended to facilitate ready access, use and occupancy by a person with a physical disability. These single-storey units are required to incorporate all of the accessibility provisions listed in the BUH features section of the City's Zoning Bylaw and are permitted a density exclusion of  $1.86 \text{ m}^2$  (20.02 ft<sup>2</sup>) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell handrails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

**Conclusions**

As the proposed development would meet applicable policies and DP guidelines, staff recommend that the DP be endorsed, and issuance by Council be recommended.



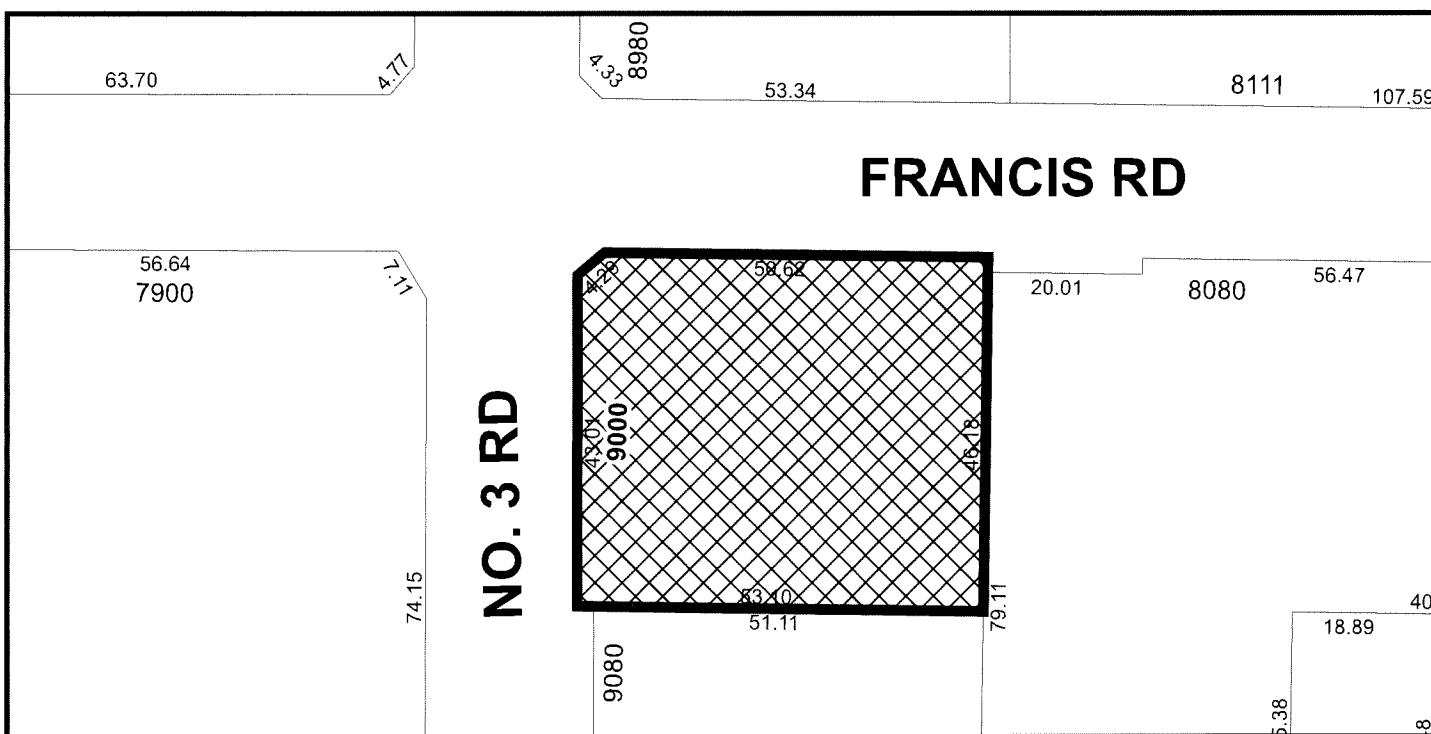
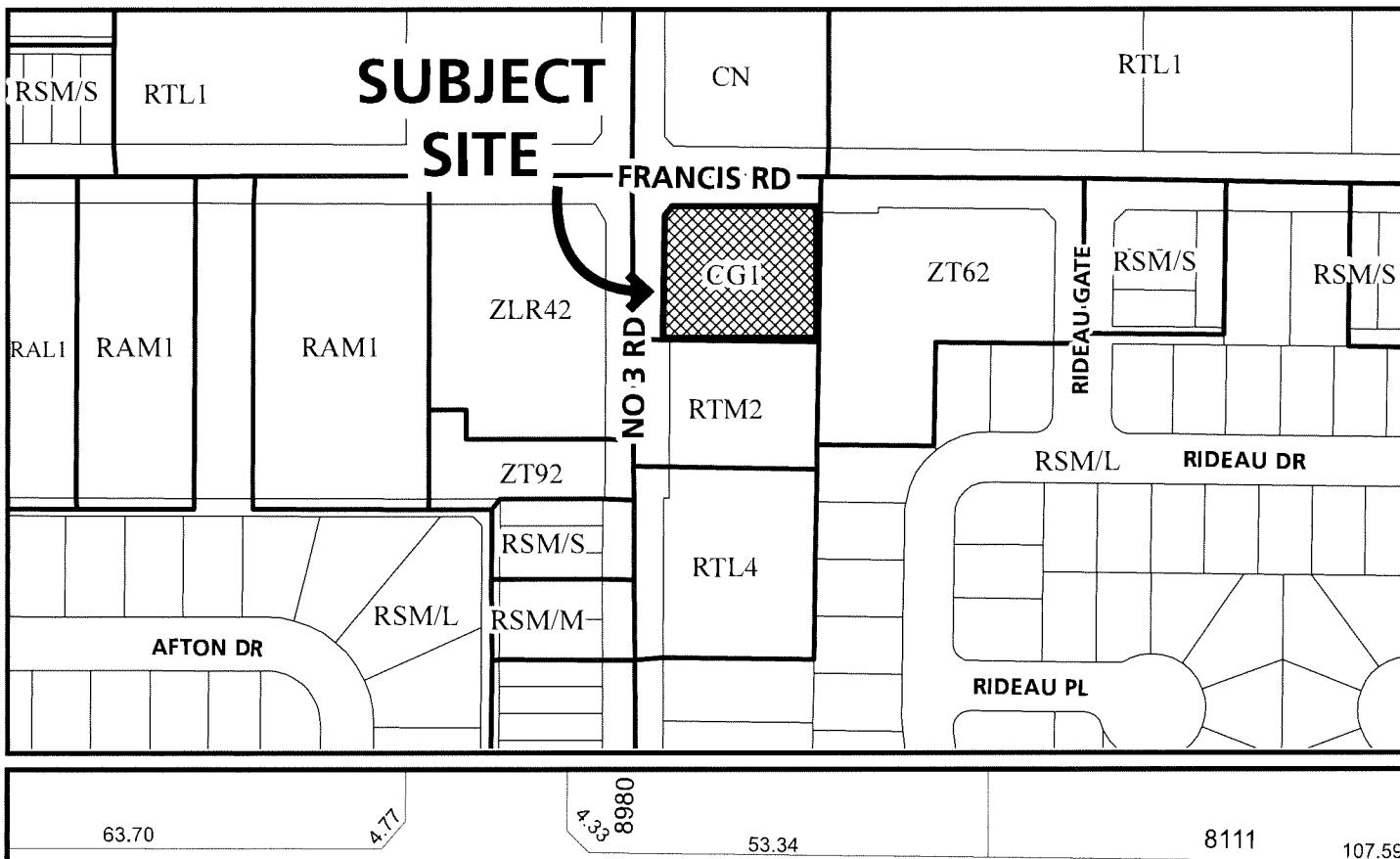
Dilys Huang  
Planner 3  
(604-276-4139)

DH:aa

- Att. 1: Location and Aerial Maps  
2: Development Application Data Sheet  
3: Annotated Excerpt from Advisory Design Panel Minutes  
4. Development Permit Considerations



# City of Richmond



	DP 23-033716	Original Date: 11/29/23
		Revision Date: 03/13/25
Note: Dimensions are in METRES		



# City of Richmond



DP 23-033716

Original Date: 03/13/25  
Revision Date:

Note: Dimensions are in METRES



# City of Richmond

## Development Application Data Sheet

Development Applications Department

DP 23-033716

Address: 9000 No. 3 Road

Applicant: Panatch Group Owner: 1320484 B.C. Ltd.

Planning Area(s): Broadmoor

	Existing	Proposed
Site Area:	2,458.0 m <sup>2</sup>	2,258.8 m <sup>2</sup>
Land Uses:	Vacant	Mixed commercial/residential rental development
OCP Designation:	Commercial	Limited Mixed Use
Zoning:	Gas & Service Stations (CG1)	Commercial Mixed Use (ZMU61) – No. 3 Road and Francis Road (Broadmoor)
Number of Units:	0	64

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 2.05	2.00	None permitted
Lot Coverage:	Max. 80%	76.6%	None
Setback – Front Yard (No. 3 Road):	Min. 2.0 m	2.0 m	None
Setback – Side Yard (Francis Road):	Min. 2.0 m	2.0 m	None
Setback – Side Yard (South):	Min. 3.0 m	3.0 m	None
Setback – Rear Yard (East):	Min. 3.0 m	3.0 m	None
Height (m):	Max. 25.0 m	21.72 m	None
Off-street Parking Spaces:	Min. 43 (residential) Min. 16 (shared residential visitor / non-residential)	44 (residential) 16 (shared residential visitor / non-residential)	None
Accessible (included as part of total parking):	1 space (residential) 1 space (non-residential)	1 space (residential) 1 space (non-residential)	None
Total:	59 Spaces	60 Spaces	None
Bicycle Parking – Class 1:	Min. 91 (residential) Min. 2 (non-residential)	91 (residential) 3 (non-residential)	None
Bicycle Parking – Class 2:	Min. 13 (residential) Min. 2 (non-residential)	13 (residential) 3 (non-residential)	None
Amenity Space – Indoor:	Min. 100 m <sup>2</sup> or cash-in-lieu	Cash-in-lieu	None
Amenity Space – Outdoor:	Min. 384 m <sup>2</sup>	384.2 m <sup>2</sup>	None

## Annotated Excerpt from the Minutes from Advisory Design Panel Meeting

Thursday, September 18, 2025 – 4:00 p.m.  
Remote (Teams) Meeting

### 1. DP 23-033716 - MID-RISE MIXED-USE BUILDING WITH AT-GRADE COMMERCIAL SPACE AND 100% RENTAL HOUSING UNITS ABOVE

ARCHITECT: Integra Architecture

LANDSCAPE ARCHITECT: Perry + Associates Landscape Architecture

PROPERTY LOCATION: 9000 No. 3 Road

#### Applicant's Presentation

Architect Steve Watt, Integra Architecture, and Landscape Architect Michael Patterson, Perry + Associates Landscape Architecture, presented the project and answered queries from the Panel.

#### Panel Discussion

*Comments from Panel members were as follows:*

- appreciate the applicant's well laid out presentation of the project;  
*Applicant/Integra Architecture response: Noted.*
- noted that the proposal is a departure from typical Richmond developments, with more of an urban scale;  
*Applicant/Integra Architecture response: Noted.*
- the quality of living and for unit C6 is questioned particularly regarding daylighting and access to the deck and patio; unit C6 is located in the inner corner of the courtyard and is tucked away; consider any alternate ideas for this space, such as an indoor amenity / work from home area, other than just putting another unit inside this corner;

*Applicant/Integra Architecture response: The balcony of the B1-b unit type, adjacent to the C6 unit, has been relocated, which reduces overlook/privacy concerns and improves the daylight access to the C6 unit, as well as allowing a pathway to the C6 patio on Level 3. We believe this is an improvement.*

- it is good that the bulk are BUH units – consider including some fully accessible units to provide for the aging population;

*Applicant/Integra Architecture response: Fully accessible units were considered during the schematic design stage of this project but are not being proposed. Accessible units require additional space in bathrooms and kitchens that this project cannot incorporate without impact to unit sizing, mix, yield and construction cost efficiencies [impact of different appliances, kitchen cabinetry, showers etc. on economies of scale]. In addition, the rents can be kept lower, since the accessible units would demand a higher monthly rent compared to the BUH version based on the increased square footage.*
- consider incorporating standard height seating in addition to the raised table and stools for the Level 3 outdoor amenity area; the ones proposed for the area are either awkward or completely unusable for many seniors and by people with disabilities.

*Applicant/P+A Response – The bar height table has been replaced with a more conventional harvest table to allow for easier access for seniors and people with disabilities.*
- consider making some adjustments specifically relating to the southeast corner exit;

*Applicant/Integra Architecture response: This exit was reviewed in detail. Exiting directly to the east side yard [SROW] is not possible due to the grade difference. Stairs and small retaining walls would be required [but are not permitted in the SROW]. Exiting West to No.3 Road is possible but would result in a loss of proposed trees – not a good solution. The proposed revision places the exterior stairs to the corner which improves the wayfinding aspect and a safer transition into and out from the building. Panatch group are to be the building owners and will provide lighting and potentially security cameras in this location to respond to the CPTED concerns. This exit will likely rarely be used.*
- consider landscape lighting to enhance the south and east treatments, potentially creating a “garden” for neighbours;

*Applicant/P+A response - Landscape lighting has been provided for security along the east edge. The neighbours request for a solid 6' high wood fence will obscure the landscape planting from view. Uplighting of trees and parkade wall has not been provided in order to be dark sky compliant.*

- consider the transitions at the southwest and northeast corners, including looking at the impact and position of the concrete wall by the entrance of the west parkade ramp that goes up in relation to the adjacent building, explore combining the two exits on the west side of the CRU into one on the north side to avoid the parkade ramp's jog, and looking at any opportunity to push back the building wall at grid reference A9 to align with the road setback of the adjacent building;

*Applicant/Integra Architecture response: The parkade ramp jog is a result of the BC Hydro transformer location and the over height parkade area required for the garbage pick-up movements. Combining the two exits noted does not resolve the ramp jog.*

*The extension of the structure across the ramp in the south-west corner allowed for a gateway element to unify the elevation composition and to architecturally conceal the overhang of the apartment building over the parkade ramp. The concrete wall facing the neighbour has been detailed with reveals to soften the visual appearance.*

*The building wall at grid reference A-9 cannot be cut back to align with the adjacent townhouses without loss at least 2 parking stalls over the two parking levels and impact to proposed trees on level 3.*

- reconsider canopy location and extensions for better usability and coverage – the canopies seem to be too high for them to be useful; the signage bands can be reduced for adjusting the canopies;

*Applicant/Integra Architecture response: The canopy and signage band has been lowered by 18". The canopy is already maximised in its horizontal coverage.*

- investigate using a different material for the insets of the wall above the CRU canopies to differentiate them and if the insets can appear more prominent by using another material instead of the brick to create more of a CRU presence;

*Applicant/Integra Architecture response: A different material [fibre cement panel] was considered for the insets above the canopies. The design team preference is to maintain the brick detailing which presents a simple, but high quality, cohesive look to the over height volume.*

- consider locating the southeast corner exit mid-path to allow for more planting space in the back area as this would help address the CPTED issue on the east side;

*Applicant/Integra Architecture response: See the earlier response – the grade differential and requirement for stairs and retaining walls [not permitted in the SROW] prevent this from being a viable solution.*

- consider a more decorative panel instead of a solid fence along the neighbouring properties;

*Applicant/Integra Architecture response: Following extensive consultation, to respond to the specific request of the neighbours, a solid fence will be provided.*
- consider a rumble strip for the parkade exit in the last six meters to slow traffic and provide a tactile strip for pedestrians instead of just signage; this would let drivers know not to accelerate until the very end;

*Applicant/Integra Architecture response: A rumble strip is proposed in the revised DP submission, as per ADP recommendations.*
- consider how the plants inside the planters with the guardrail will be maintained and accessed; there is no indication of how these planters will be maintained; consider introducing planters at the separation level between the podium and residential units above to soften the contrast;

*Applicant/Integra Architecture response: The planters along the edge of the building are to allow & encourage trailing plants to 'green' the parkade wall. The guardrail will be mounted on the inside of these planters. Maintenance access will require a fall arrest system.*
- appreciate the thought put into this project, not only for the project, but also for the surrounding areas;

*Applicant/Integra Architecture response: No response needed.*
- consider and give attention to mechanical louvers for potential restaurant tenancies, including the relationship of louvers to the glazed canopies so the canopies do not get dirty over time; consider it as part of the elevation as a whole throughout the CRU areas.

*Applicant/Integra Architecture response: The mechanical louvres are absorbed in a continuous band of louvres above the canopy. This band has been increased in height to ensure all possible duct connections can be accommodated. Restaurant tenancies will have access to a vertical duct to the roof in lieu of any horizontal grease ducting/ecologizer unit.*

### **Comments from the Applicant**

In response to the panel's comments, the applicant made the following points. The restaurant venting is now in a shaft on the corridor side, and they will further look into the location of the exit at the southeast corner from a CPTED perspective. The canopies were adjusted to fit within the property lines but will look at their vertical placements. A six-foot fence, requested by neighbours, was added. The applicant supports the rumble strip idea and plans to use hooks for planter maintenance. The mechanical consultant is working on the louver design.

**Panel Decision**

It was moved and seconded

***That DP 23-033716 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.***

**CARRIED**



# City of Richmond

Attachment 4

Development Permit Considerations  
Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 9000 No. 3 Road

**File No.:** DP 23-033716

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. **(Zoning Amendment)** Final adoption of Zoning Amendment Bylaw 10656.
2. **(Landscaping Security)** Receipt of a Letter-of-Credit, or other form of security acceptable to the City, for landscaping in the amount of \$462,361.08 (100 per cent of the cost estimate provided by the Registered Landscape Architect, including all materials, installation, and a 10% contingency). The City may release up to 90 percent of the security following completion of construction and landscaping on-site (subject to a landscape inspection to the City's satisfaction) and may release the balance of the security following a one-year maintenance period if the landscaping has survived. To accompany the landscaping security, a legal agreement that sets the terms for use and release of the security must be entered into between the applicant and the City.
3. **(Private Outdoor Space)** Registration of a legal agreement on Title prohibiting the enclosure of private outdoor space and requiring it be constructed and maintained in accordance with a Development Permit issued by the City.
4. **(Site Contamination – Certificate of Compliance)** Registration of a legal agreement on Title indemnifying and saving harmless the City from and against all claims or actions that may arise from reliance on the Qualified Environmental Professional's confirmation that the Certificate of Compliance is valid and relevant in respect of the proposed development and that the proposed development complies with the Certificate of Compliance.
5. **(Fees – Notices)** Payment of all fees in full for the cost associated with the Development Permit Panel Meeting Notices, consistent with the City's Consolidated Fees Bylaw No 8636, as amended.

**Prior to Building Permit\* issuance, the developer must complete the following requirements:**

1. Incorporation of accessibility measures in Building Permit plans as determined via the Rezoning and/or Development Permit processes, including but not limited to 100% of units being designed to meet the Basic Universal Housing (BUH) features listed in Richmond Zoning Bylaw 8500, as well as the provision of aging-in-place features in all units (i.e., stairwell handrails, lever type handles for plumbing fixtures and door handles, and solid blocking in washroom walls for future grab bar installation beside toilet, bathtub and shower).
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. The Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Obtain a Building Permit for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.
4. If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- If the development will be constructed in phases and stratified, a Phased Strata Subdivision Application is required. Each phase of a phased strata plan should be treated as a separate parcel, each phase to comply with the Richmond Zoning Bylaw 8500 in terms of minimum lot area, building setback and parking requirements. Please arrange to have the City's Approving Officer review the proposed phased boundaries in the early DP stages. To allow sufficient time for staff review and preparation of legal agreements, the application should be submitted at least 12 months prior to the expected occupancy of development.
- If the development intends to create one or more air space parcels, an Air Space Parcel Subdivision Application is required. To allow sufficient time for staff review and preparation of legal agreements, the application should be submitted at least 12 months prior to the expected occupancy of development.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

(signed copy on file)

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Signed

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Date



# City of Richmond

## Development Permit

**No. DP 23-033716**

To the Holder: 1320484 B.C. Ltd.

Property Address: 9000 No. 3 Road

Address: 103 - 6791 Elmbridge Way, Richmond, BC, V7C 4N1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street- parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #31 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$462,361.08 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 23-033716**

To the Holder: 1320484 B.C. Ltd.  
Property Address: 9000 No. 3 Road  
Address: 103 - 6791 Elmbridge Way, Richmond, BC, V7C 4N1

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7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

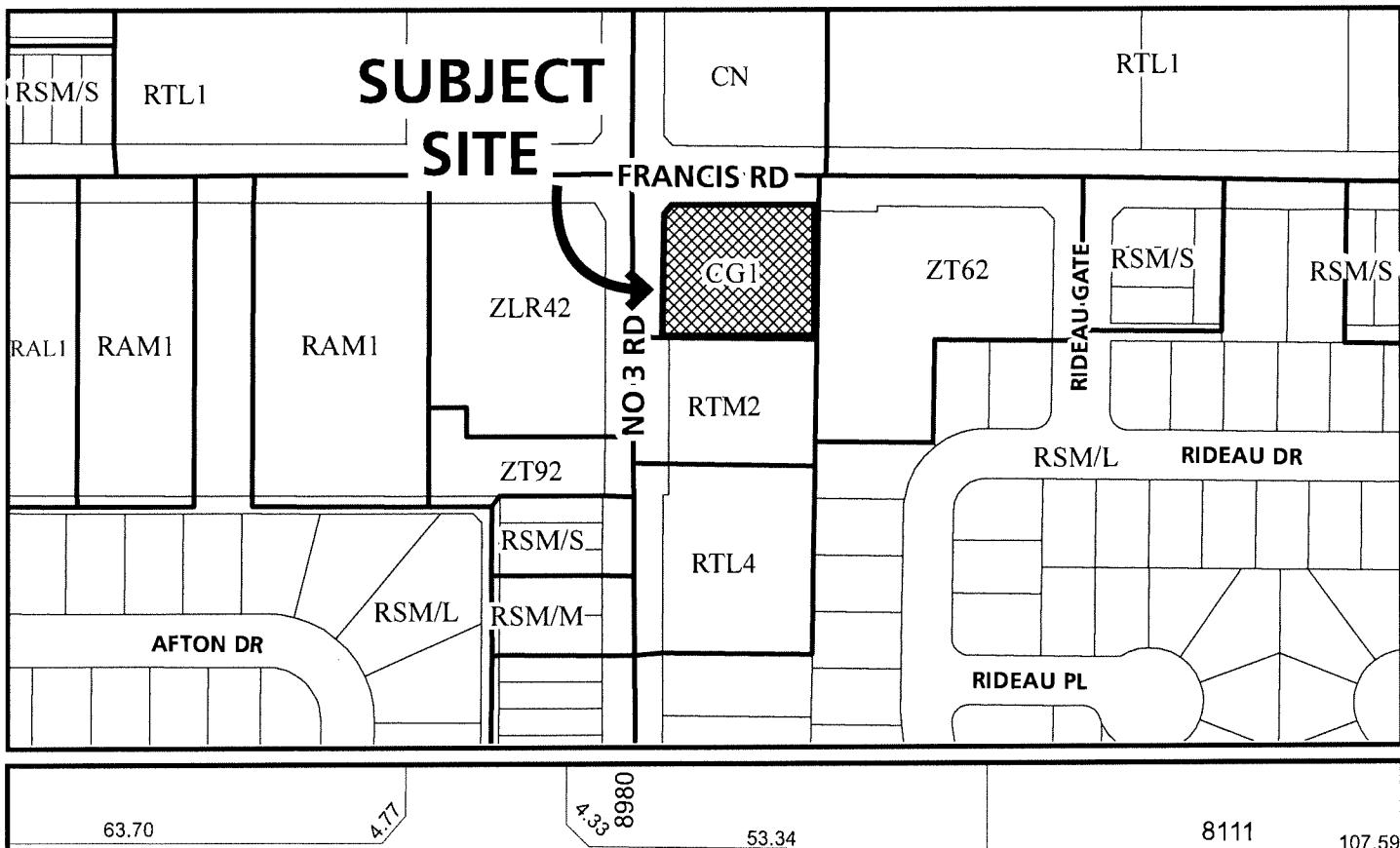
DELIVERED THIS DAY OF , .

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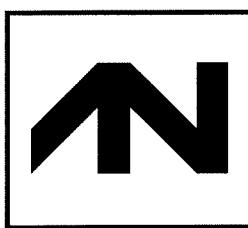
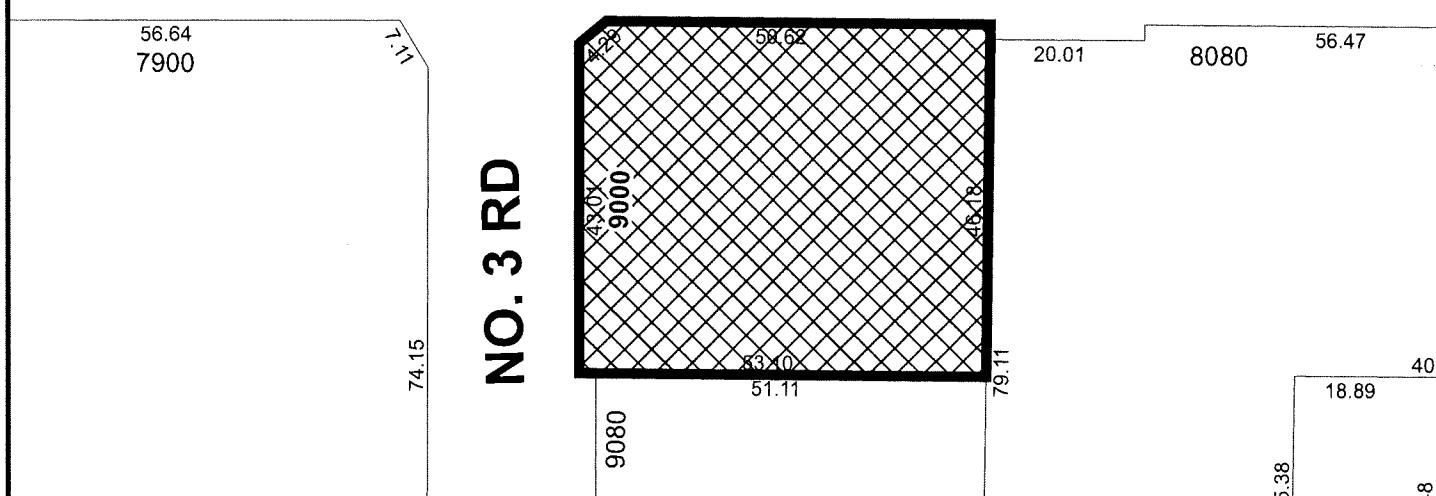
MAYOR



# City of Richmond



## FRANCIS RD



**DP 23-033716  
SCHEDULE "A"**

Original Date: 11/29/23

Revision Date: 03/13/25

Note: Dimensions are in METRES

PROJECT OWNER	Panatch Group
PROJECT CONTACT	Kristina Kovacs - email: kristina@panatchgroup.com
PROJECT ARCHITECT	Steve Wall Architct AIBC, Integra Architecture Inc.
LEGAL DESCRIPTION	LOT 537 SEC 28 BLK 4N RG 6W NEWWESTMINSTER LAND DISTRICT Pd: 003-672-191
CIVIC ADDRESS	9000 No 3 Rd, Richmond, BC
PROJECT DESCRIPTION	Mixed-Use Residential - Commercial & Residential
EXISTING ZONING	CG1 (Gas & Services Stations)
PROPOSED ZONING	Commercial Mixed Use (ZMU1) - No. 3 Road & Francis Road (Broadmoor)
EXISTING OCP DESIGNATION	Commercial
PROPOSED OCP DESIGNATION	Limited Mixed Use

	Acres	Sq.m	m <sup>2</sup>
GROSS SITE AREA	0.61	26,458	2,456.0
ROAD DEDICATION (2.0 m along Francis & No.3 Road)	0.05	2,144	199.2
NET SITE AREA	0.56	24,314	2,256.8

	ZONE STANDARD	PROPOSED (CD - ZMU)
DENSITY (NET SITE AREA)	2.05	2.00
LOT COVERAGE	80%	76.6%
BUILDING HEIGHT	REQUIRED	PROPOSED
	25 m	21.72 m 6 storeys
SETBACKS	REQUIRED	PROPOSED
FRONT YARD (No.3 Rd)	2.0 m	2.0 m
EXTERIOR SIDE YARD (Francis Rd)	2.0 m	2.0 m
INTERIOR SIDE YARD (South)	3.0 m	3.0 m
REAR YARD (East)	3.0 m	3.0 m
USEABLE COMMON OPEN SPACE	384 m <sup>2</sup> (6 sqm/unit)	384.2 m <sup>2</sup> *
INDOOR RECREATION SPACE	n/a	0.00m <sup>2</sup>
PRIVATE OUTDOOR SPACE	6 sqm/unit	See Table*

RESIDENTIAL PARKING	REQUIRED RATE	RATE WITH 20% REDUCTION WITH TDME AS PER ZONING BYLAW	RATE WITH ADDITIONAL 30% REDUCTION WITH TDME AS PER MARKET RENTAL HOUSING POLICY	REQUIRED SPACES #	PROPOSED SPACES #
Market Rental Unit	1.2/unit	0.96/unit	0.672/unit	0.672 x 57 = 38.304 (39)	
Moderate Market Rental Unit	1.0/unit	0.8/unit	0.56/unit	0.56 x 7 = 3.92 (4.0)	
				Subtotal	43
Van Accessible	2% of total required parking spaces			0.02 x 43 = 0.86 (1.0)	
Standard Size	Min 50% of remaining spaces after accounting for van accessible space			Total	44
Small Size	Max 50% of remaining spaces after accounting for van accessible space				22 of 43 (51%)
					21 of 43 (49%)

VISITOR/COMMERCIAL PARKING	REQUIRED RATE	RATE WITH 20% REDUCTION WITH TDME AS PER ZONING BYLAW	REQUIRED SPACES #	PROPOSED SPACES #
Residential Visitor	0.2/unit	N/A	0.2 x 64 = 12.8 (13)	To be shared w/all commercial spaces
Commercial	3 spaces/100m <sup>2</sup> of GLFA up to 350 m <sup>2</sup> , plus 3.2 spaces for each additional 100 m <sup>2</sup> of GLFA [0.350m <sup>2</sup> divided by 100 m <sup>2</sup> x 2.4 = 0.347 m <sup>2</sup> divided by 100 m <sup>2</sup> x 3.2 = 8.4+6.67]	15.067 (16)		
Van Accessible	2% of total required parking spaces		0.02 x 16 = 0.32 (1.0)	
Standard Size	Min 50% of remaining spaces after accounting for van accessible space		8 of 15 (53%)	
Small Size	Max 50% of remaining spaces after accounting for van accessible space		7 of 15 (47%)	

BICYCLE PARKING:	PROPOSED	
Residential	*Residential = 1 spaces/bedroom/Market Rental + 1.25 spaces/Unit(MMR Units)	
Class 1 (long term)	91	
Class 2 (short term)	13	
Commercial	*Commercial = 0.27 spaces/100 sqm of gross leasable floor area greater than 100 sqm	
Class 1 (long term)	1.5	
Class 2 (short term)	2.2	
ON-SITE LOADING:	PROPOSED	
Residential	n/a	
Commercial	1.0	
Plus 1	*Small loading vehicle (2.7 m wide x 5.5 m long)	
PARKING DIMENSIONS	PROPOSED	
REGULAR CARS		
Width	2.50m (8.20 ft)	
Length	5.50m (18.04 ft)	
Height	2.10m (6.89 ft)	
SMALL CARS		
Width	2.30m (7.55 ft)	
Length	4.60m (15.09 ft)	
Height	2.10m (6.89 ft)	
VAN ACCESSIBLE CARS		
Width	3.40m (11.15 ft)	
Length	5.50m (18.04 ft)	
Height	2.10m (6.89 ft)	
PARKING ENTRANCE/AISLE (RES.)	6.70m (22.00 ft)	
PARKING ENTRANCE/AISLE (COMM.)	7.5m (24.50 ft)	
ADDITIONAL WIDTH AT WALLS	0.3m (0.98 ft)	

Total Residential Unit Count	Total Units	% of all Units
Type		
Studio	12	18.75%
1 Bedroom	24	37.50%
2 Bedroom	28	43.75%
Total	64	100.00%

\*40% of units to be 2 bedroom units

Note 1: Final site areas are to be confirmed by surveyor.

Note 2: Final size & quantity of setbacks & dedications are subject to negotiation with the City of Richmond and other approving authorities.

Note 3: Final parking ratio and the number of non-handicap parking stalls required is to be confirmed by the City of Richmond.

Apartment Unit Summary					
Unit Type	Unit Area(m <sup>2</sup> )	Unit Area(sq.ft)	Total	Total(Sq.ft)	Total(m <sup>2</sup> )
A1 (Studio)	40.05	431.08	8	3,446.64	320.39
A1-A (Studio)	42.45	456.88	3	1,370.64	127.34
A1-B (Studio)	44.53	479.34	1	479.34	44.53
B1 (1 Bed)	47.85	515.08	8	4,120.64	382.82
B1-A (1 Bed)	48.47	524.42	4	2,097.88	181.89
B1-B (1 Bed)	48.47	513.04	4	2,054.56	182.97
B2 (1 Bed)	46.79	502.63	4	2,014.52	187.16
B3 (1 Bed)	47.74	513.84	4	2,055.36	190.95
C1 (2 Bed)	67.29	724.26	4	2,897.04	269.14
C2 (2 Bed)	80.42	865.68	3	2,595.96	241.26
C2-A (2 Bed)	67.16	722.87	1	722.87	67.16
C3 (2 Bed)	71.72	771.95	4	3,087.80	286.86
C4 (2 Bed)	71.72	771.97	4	3,087.88	286.87
C5 (2 Bed)	72.24	777.44	4	3,101.44	288.97
C6 (2 Bed)	69.83	761.70	4	3,006.80	274.34
C6-A (2 Bed)	67.0	721.13	4	2,884.52	267.98
3rd Floor Storage	9.78	105.30			3,615.31
4th Floor Storage	9.78	105.30			
5th Floor Storage	9.78	105.30			
6th Floor Storage	9.78	105.30			
Total Unit Area			64	39,336.41	3,654.44

\*Floor Area means the total floor area of the building or structure, contained within the exterior face of the structural system of the exterior & basement walls.

BIKE PARKING CALCULATIONS					
MARKET UNITS	# Units	REQUIRED		TOTAL REQUIRED	
STUDIO	10	1 bedroom		10	
1 BED	22	1 bedroom		22	
2 BED	25	1 bedroom		50	
	57			82	

MMR UNITS	# Units	REQUIRED		TOTAL REQUIRED	

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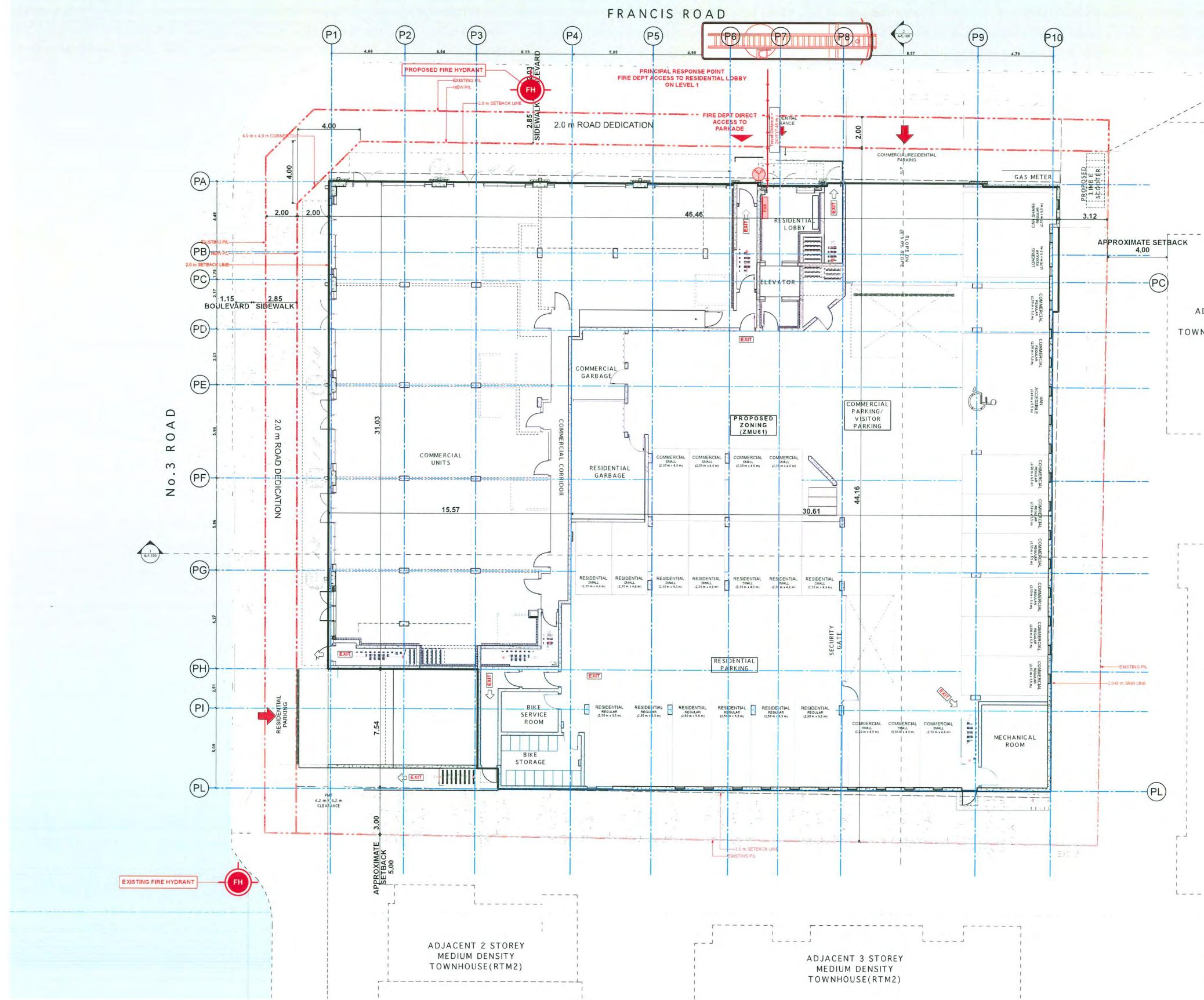




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- 11 - 2025.10.27 - RZ/DP ISSUE 11.0

**DP 23-033716**  
**November 17, 2025**  
**Plan #4**



PROJECT

**Mixed Use Rental Building**

8000, No. 3 Road  
Richmond, BC

TITLE

**Firefighter Access Plan**

PROJECT

23625

3/32" = 1'-0" SCALE

Monday, October 27, 2025 DATE

DP (ISSUE 11.0) ISSUE

DRAWING

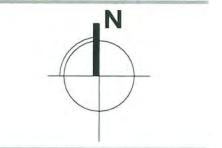
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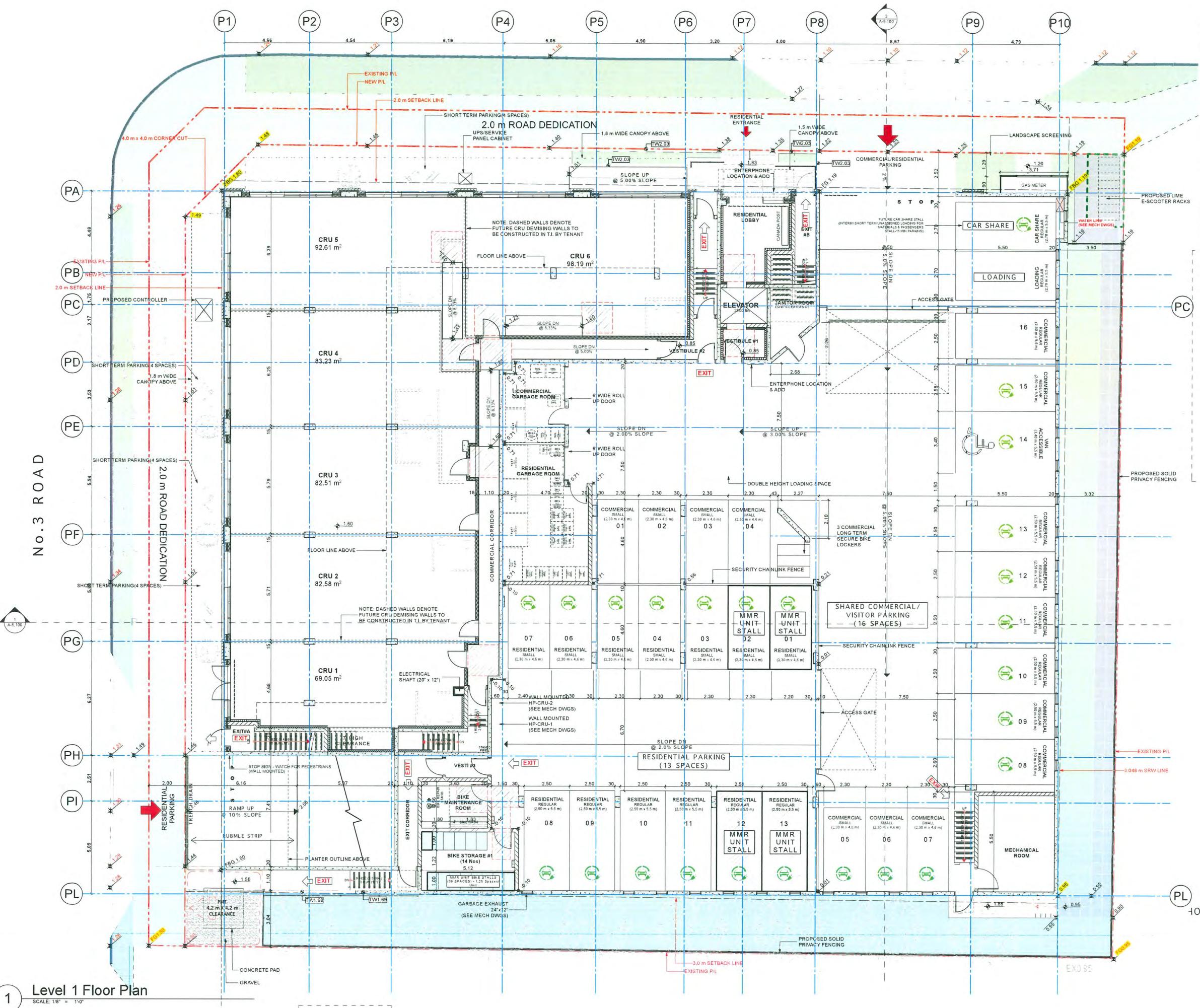
DP 23-033716  
November 17, 2025  
Plan #6



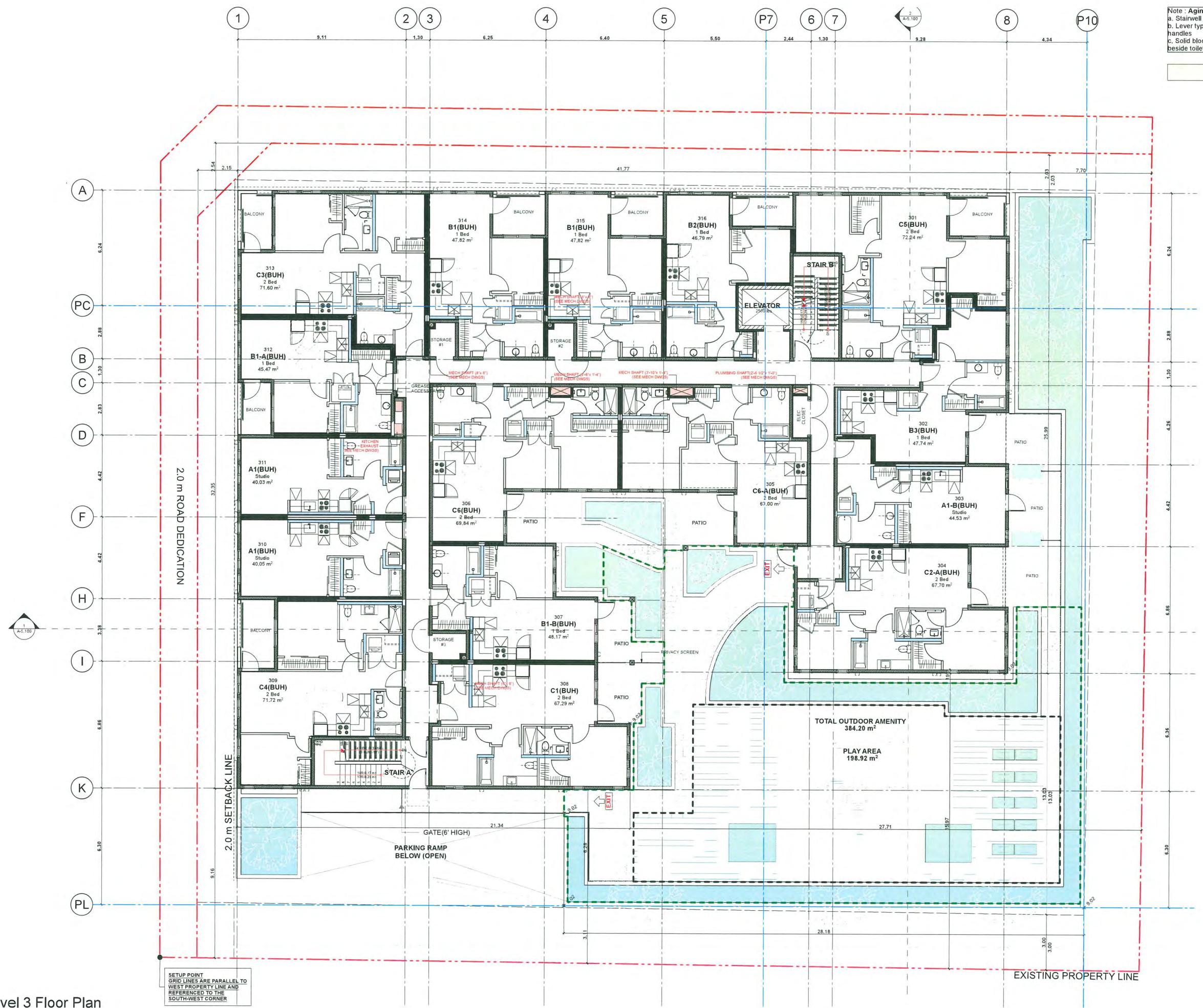
PANATCH GROUP  
PROPERTIES • CAPITAL • FOUNDATION  
[PROJECT]

Mixed Use Rental  
Building  
9000, No.3 Road  
Richmond, BC  
[TITLE]

Level 1 Floor Plan  
23625  
1/8" = 1'-0", 1:9.00  
Monday, October 27, 2025  
DP (ISSUE 11.0)  
[DRAWING]







Note : Aging-in-Place Features Provided in all units

- a. Stairwell Handrails
- b. Lever type handles for plumbing fixtures and door handles
- c. Solid blocking in washroom walls for future grab bars beside toilet, bath tub and shower



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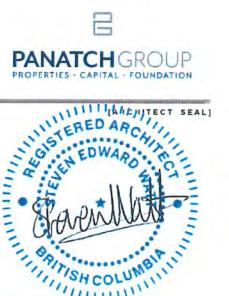
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- 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716  
November 17, 2025  
Plan #8



## **Mixed Use Rental Building**

### Level 3 Floor Plan

**23625** [PROJECT]  
1/8" = 1'-0" [SCALE]  
**Friday, October 31, 2025** [DATE]  
**DP (ISSUE 11.0)** [ISSUE]

**A-2.300**



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**DP 23-033716**  
**November 17, 2025**  
**Plan #9**



PANATCH GROUP

[PROJECT]

**Mixed Use Rental Building**

8000, No.3 Road  
Richmond, BC

[TITLE]

**Level 4 to 6 Floor Plan (Typical)**

[PROJECT]

23625 [SCALE]

Monday, October 27, 2025 [DATE]

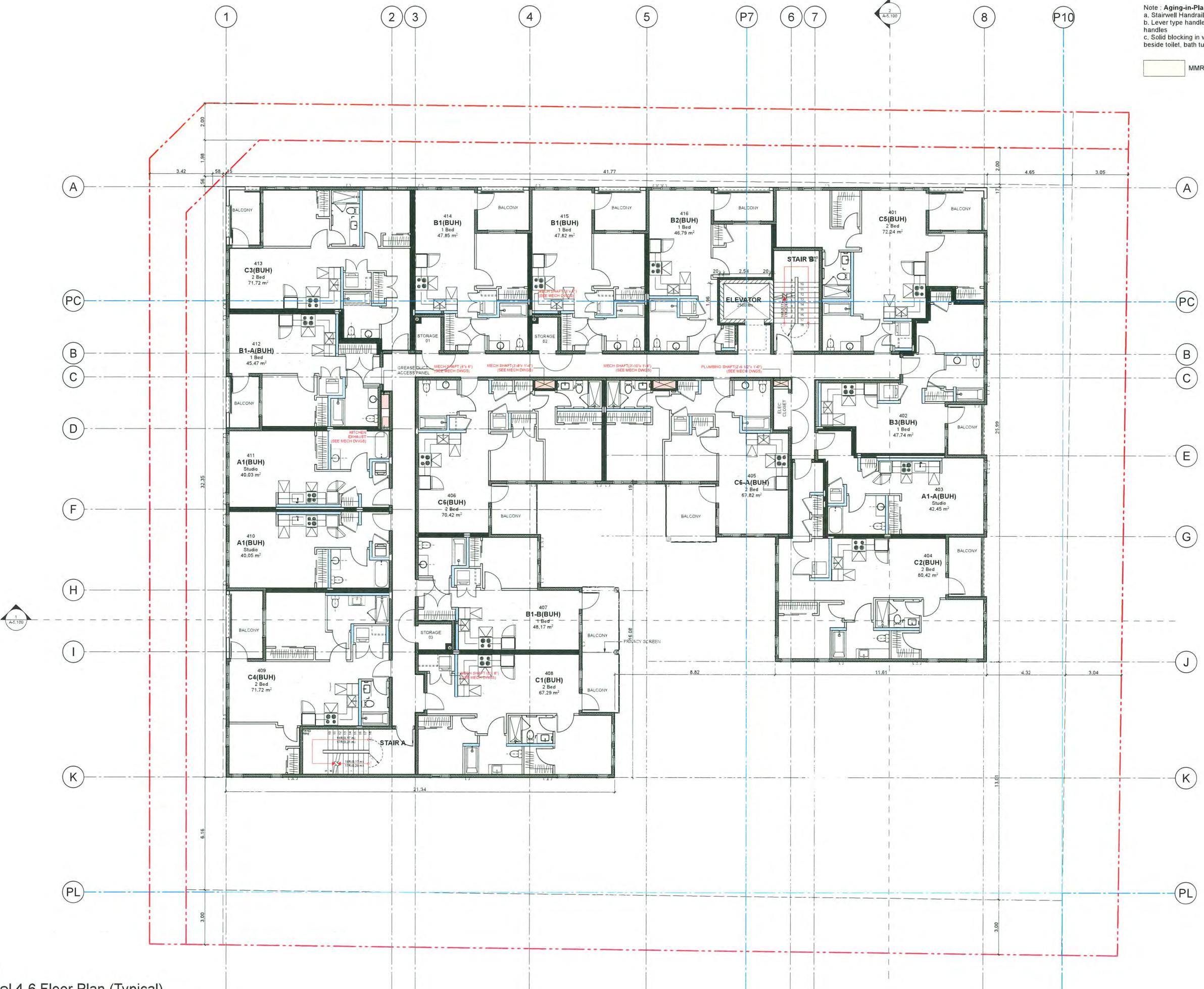
DP (ISSUE 11.0) [ISSUE]

[DRAWING]

**A-2.400**

Note : Aging-in-Place Features Provided in all units  
a. Stairwell Handrails  
b. Lever type handles for plumbing fixtures and door handles  
c. Solid blocking in washroom walls for future grab bars beside toilet, bat tub and shower

MMR UNITS







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- 2025.10.22 - RZ/DP ISSUE 9.0
- 2025.10.22 - RZ/DP ISSUE 10.0
- 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716  
November 17, 2025  
Plan #11

Architectural Elevation Drawing showing the building's height, setbacks, and ground floor commercial units. The building has 8 floors above ground and 1 floor below ground (Level 1). Key dimensions and levels are as follows:

- Vertical Dimensions (Elevations):**
  - Level 1 Floor Plan: 1.36 m
  - Level 2 Floor Plan: 3.15 m
  - Level 3 Floor Plan: 6.06 m
  - Level 4 Floor Plan: 12.28 m
  - Level 5 Floor Plan: 15.35 m
  - Level 6 Floor Plan: 18.43 m
  - Lower Roof Plan: 21.50 m
  - Upper Roof Plan: 23.03 m
- Horizontal Dimensions (Setbacks):**
  - SETBACK 11.29(38'-0")
  - 3.048 m SRW LINE
  - 2.0 m SETBACK LINE
  - EXISTING PROPERTY LINE
- Commercial Units on LVL 1:**
  - 9000 (Entrance)
  - DENTIST
  - DENTIST
  - SALON
  - RESTAURANT
- Other Labels:**
  - PROPERTY LINE
  - Building Outline of Neighbouring Existing Development
  - GAS METER ENCLOSURE
  - Road No 3
  - FINISHED GRADE = 1.316 m
  - BG 1.60

**Building Elevation - North**

1

SCALE: 1/8" = 1'-0"

PROPERTY LINE

Upper Roof Plan 23.03

Lower Roof Plan 21.50

Level 6 Floor Plan 18.43

Level 5 Floor Plan 15.35

Level 4 Floor Plan 12.28

Level 3 Floor Plan 9.21

Level 2 Floor Plan 6.06

Level 1 Floor Plan 1.60

PROPERTY LINE

2.0 m SETBACK LINE

3.0 m SETBACK LINE

3.07

3.07

3.07

3.07

3.07

3.07

3.07

3.15

4.46

1.6

1.5

1.3

38.61

1.1

5.3 1.4

1.3

1.1

1.7 1.6

SETBACK 14.26(46'-9")

SETBACK 5.00(16'-4")

Building Outline of Neighbouring Existing Development

21.72

FINISHED GRADE = 1.316 m

PMT

STOP SIGN

PC B C D E F G H I J K

RESTAURANT OFFICE MEDICAL MEDICAL MEDICAL

LVL 2

LVL 1

PROPERTY LINE

2

Building Elevation - West

SCALE: 1/8" = 1'-0"



PANATCH GROUP

## Mixed Use Rental

## **Building**

## Building Elevation

23625

Monday, October 27, 2014

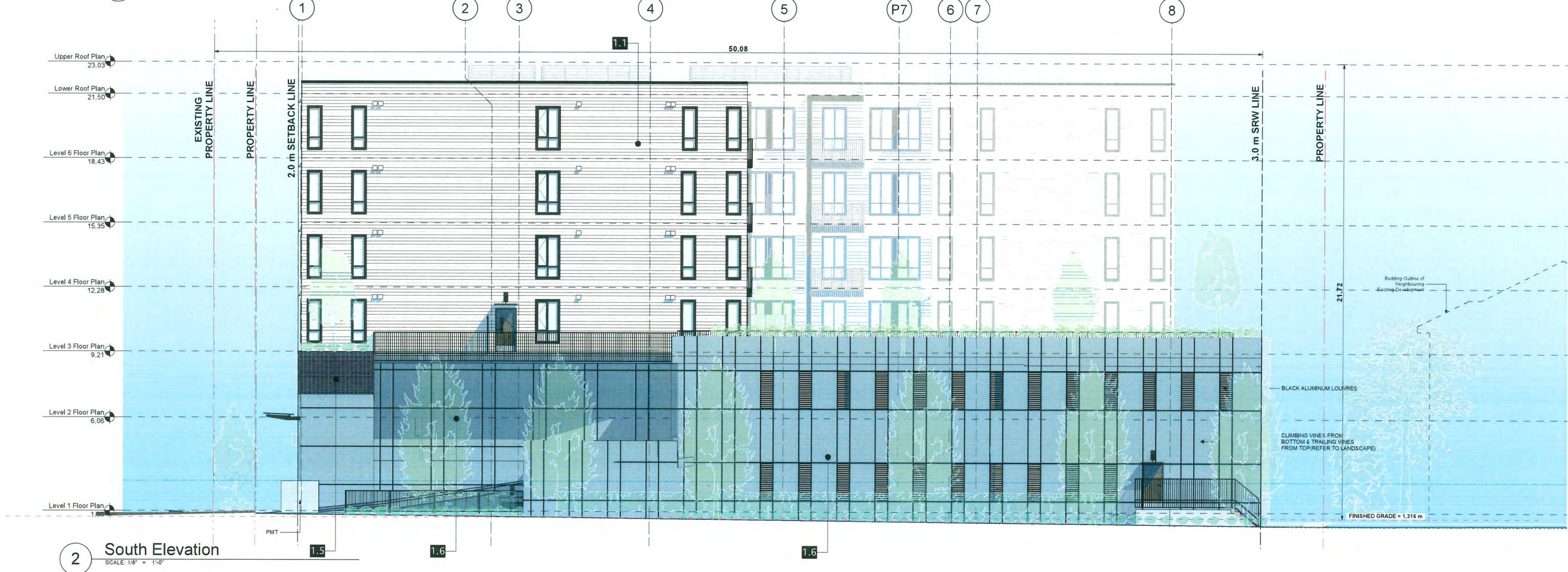
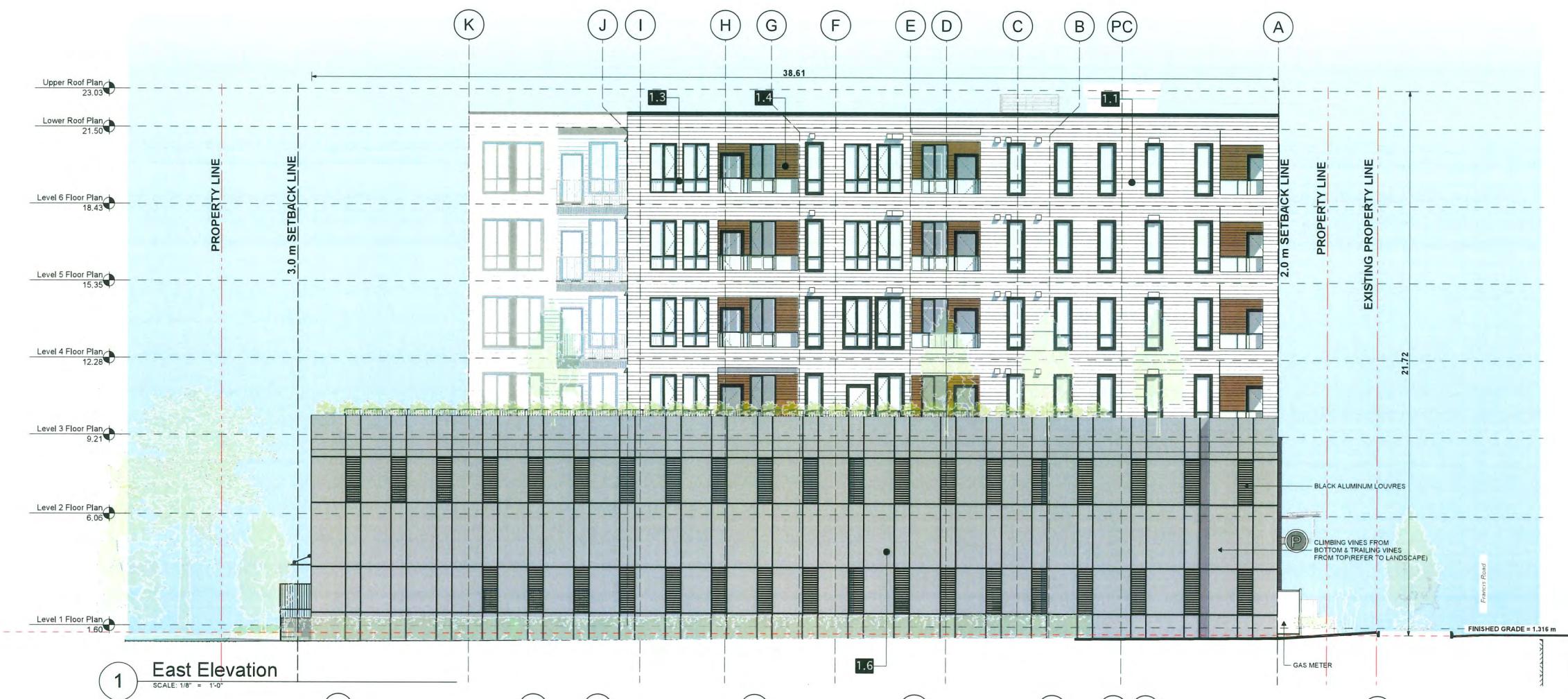
DP (ISSUE 11.0)

A-

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**A-4.100**

**DP 23-033716**  
**November 17, 2025**  
**Plan #12**



PANATCH GROUP

**Mixed Use Rental Building**  
9000, No.3 Road  
Richmond, BC

**Building Elevations**

23625  
1/8" = 1'-0"  
Monday, October 27, 2025  
DP (ISSUE 11.0)

[DRAWING]

**A-4.200**



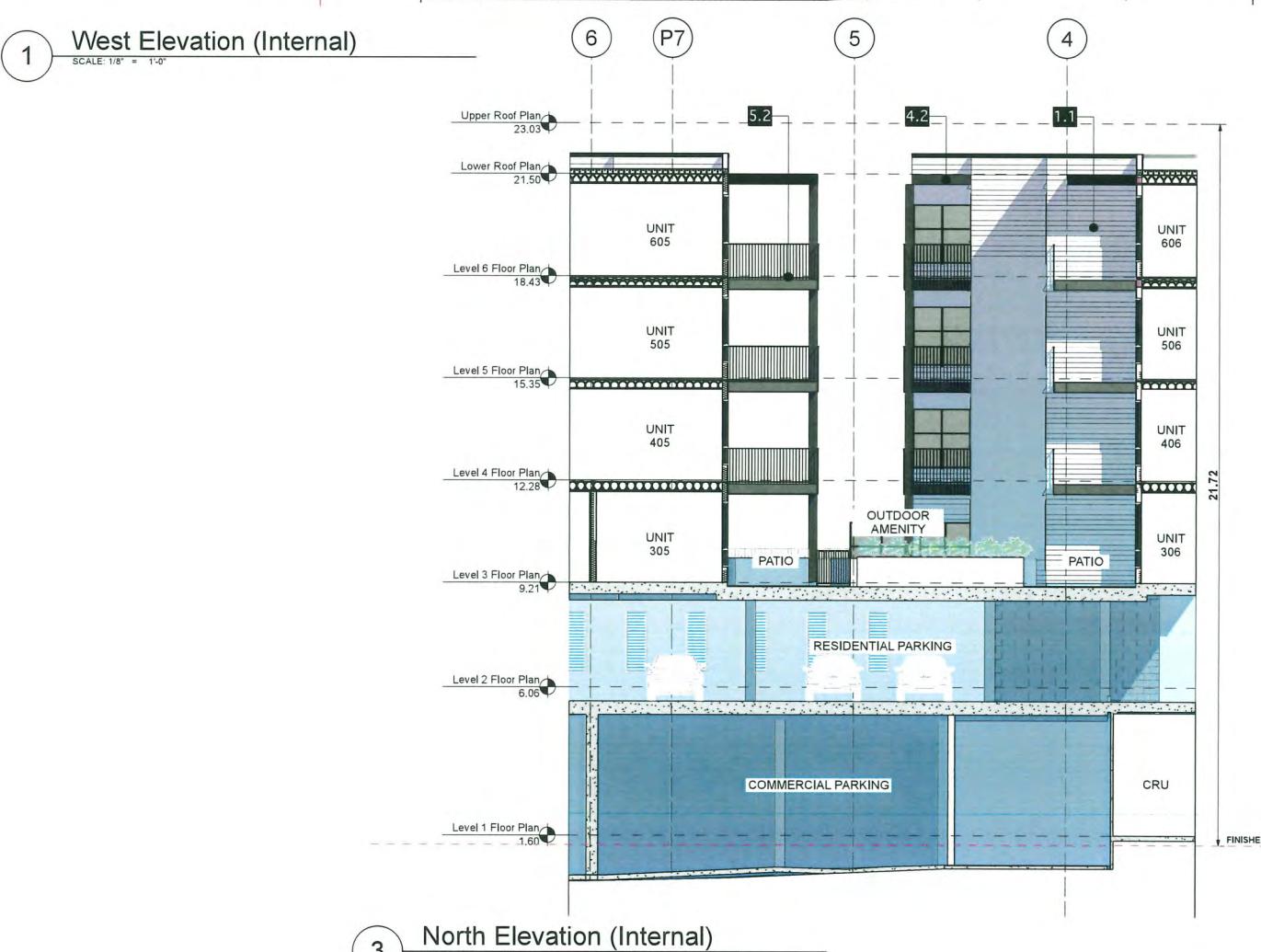
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**DP 23-033716**  
**November 17, 2025**  
**Plan #13**



1/8" = 1'-0" [SCALE]

Monday, October 27, 2025 [DATE]

DP (ISSUE 11.0) [ISSUE]

23625 [PROJECT]

A-4.300 [DRAWING]



PANATCH GROUP

[PROJECT]

**Mixed Use Rental Building**

9000, No.3 Road  
Richmond, BC

[TITLE]

**Building Elevations**

23625 [PROJECT]

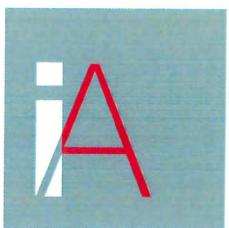
1/8" = 1'-0" [SCALE]

Monday, October 27, 2025 [DATE]

DP (ISSUE 11.0) [ISSUE]

[DRAWING]

A-4.300



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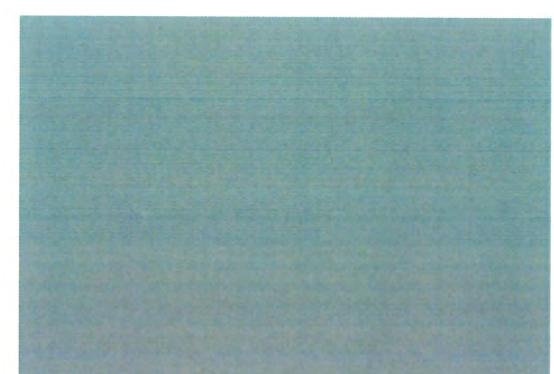
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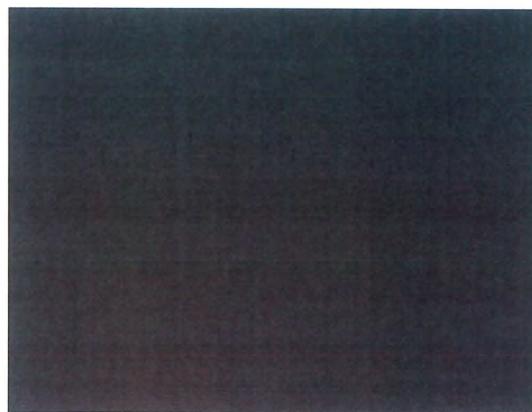
**DP 23-033716**  
**November 17, 2025**  
**Plan #14**



1.1 | Arctic White | Lap Siding (Hardie or sim.)



1.6 | Storm HC-178 | Benjamin Moore  
Painted Concrete



1.2 | Iron Gray | Lap Siding (Hardie or sim.)  
1.3 | Iron Gray | Panel (Hardie or sim.)



1.4 | Summer Wheat | Siding (Hardie or sim.)  
Woodtone finish (V Groove)  
2.1 | Summer Wheat | Soffit  
Woodtone finish (V Groove)



1.5 | Baco Stoneware | Amora or sim (Brick)

## Material and colour legend

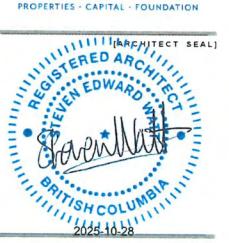
	Colour	Product (to match)	Finish (to match)	Location
<b>C L A D D I N G</b>				
1.0	1.1   Arctic White	Lap Siding w/ 7" Exposure (James Hardie or similar)	X	Exterior walls
	1.2   Iron Gray	Lap Siding w/ 7" Exposure (James Hardie or similar)	X	Exterior walls
	1.3   Iron Gray	Fiber Cement Panel (James Hardie or similar)	X	Exterior walls
	1.4   Summer Wheat	Lap Siding - Summer Wheat(Hardie or similar)- Woodtone Finish	X	Exterior walls
	1.5   Black	Brick (Amora or similar)	X	Exterior walls
	1.6   Charcoal Slate	Painted Concrete ( Benjamin Moore- HC-178)	X	Exterior walls
	1.7   Gray	Metal Chainlink Fence	X	Interior walls
<b>S O F F I T</b>				
2.0	2.1   Summer Wheat	Soffit (James Hardie - Artisan Soffit V Groove) with Woodtone Finish to Match Summer Wheat	X	Feature Soffit
<b>T R I M S / F L A S H I N G S</b>				
3.0	3.1   Black	Charcoal Powder coated Aluminum Matt	1.2	Flashings
	3.2   White	White Powder coated Aluminum Matt	1.1	Flashings
<b>R O O F S / D E C K S</b>				
4.0	4.1   White	White Powder coated Aluminum Matt	1.1	Roofs / Overhangs / Flashings
	4.2   Black	Charcoal Powder coated Aluminum Matt	1.1	Roofs / Overhangs / Flashings
<b>W I N D O W S / G L A Z I N G</b>				
5.0	5.1   Black	Vinyl Windows	X	Prefinished vinyl windows
	5.2   Black	Railings	X	Black railings w/ clear glazing
	5.3   Light Ash	Wood fence screening	X	Rooftop equipment screening



1.3

1.6

1.5



PANATCH GROUP

[PROJECT]

**Mixed Use Rental Building**

9000, No.3 Road  
Richmond, BC

[TITLE]

**Material Board**

23625 [PROJECT]

1:3.03, 1:0.50 [SCALE]

Monday, October 27, 2025 [DATE]

DP (ISSUE 11.0) [ISSUE]

[DRAWING]

**A-4.400**

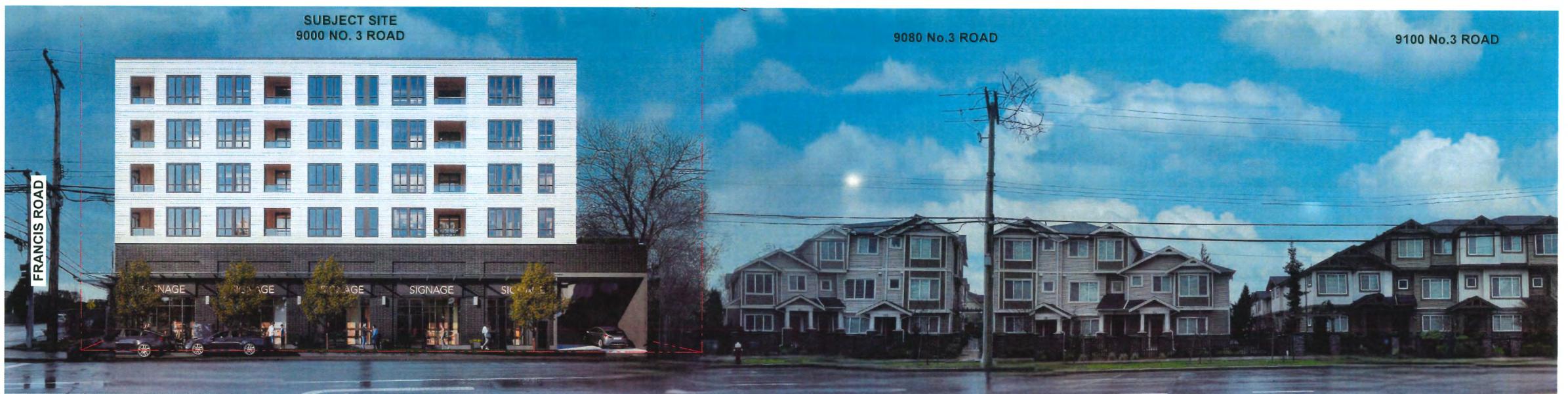


**Integra**  
ARCHITECTURE INC.

2330-200 Granville Street  
Vancouver, BC, V6C 1S4  
www.integra-arch.com  
Telephone: 604 688 4220

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[PROJECT TEAM]  
1 - 2023.10.27 - RZ/DP ISSUE 1.0  
2 - 2024.03.14 - RZ/DP ISSUE 2.0  
(Change in development scope)  
3 - 2024.03.18 - RZ/DP ISSUE 3.0  
4 - 2025.02.22 - RZ/DP ISSUE 4.0  
5 - 2025.06.23 - RZ/DP ISSUE 5.0  
6 - 2025.07.09 - RZ/DP ISSUE 6.0  
7 - 2025.08.29 - RZ/DP ISSUE 7.0  
8 - 2025.10.07 - RZ/DP ISSUE 8.0  
9 - 2025.10.22 - RZ/DP ISSUE 9.0  
10 - 2025.10.22 - RZ/DP ISSUE 10.0  
11 - 2025.10.27 - RZ/DP ISSUE 11.0



Streetscape Along No.3 Road

**DP 23-033716**  
**November 17, 2025**  
**Plan #15**



Streetscape Along Francis Road



PANATCH GROUP

**Mixed Use Rental Building**

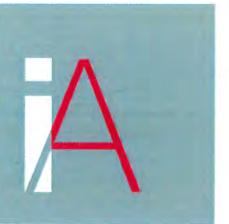
9000, No.3 Road  
Richmond, BC

**Streetscape**

23625  
[PROJECT]  
[SCALE]  
Monday, October 27, 2025 [DATE]  
DP (ISSUE 11.0) [ISSUE]

[DRAWING]

**A-4.500**



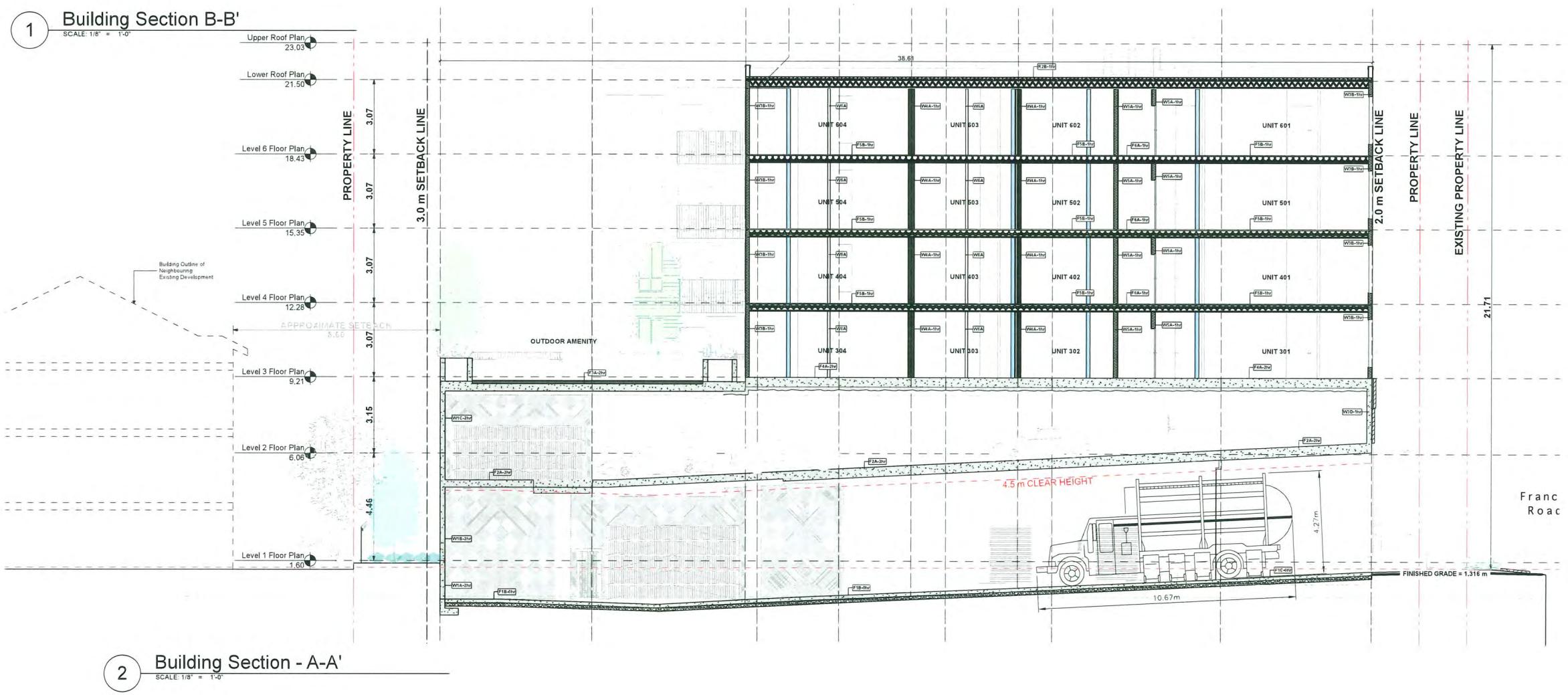
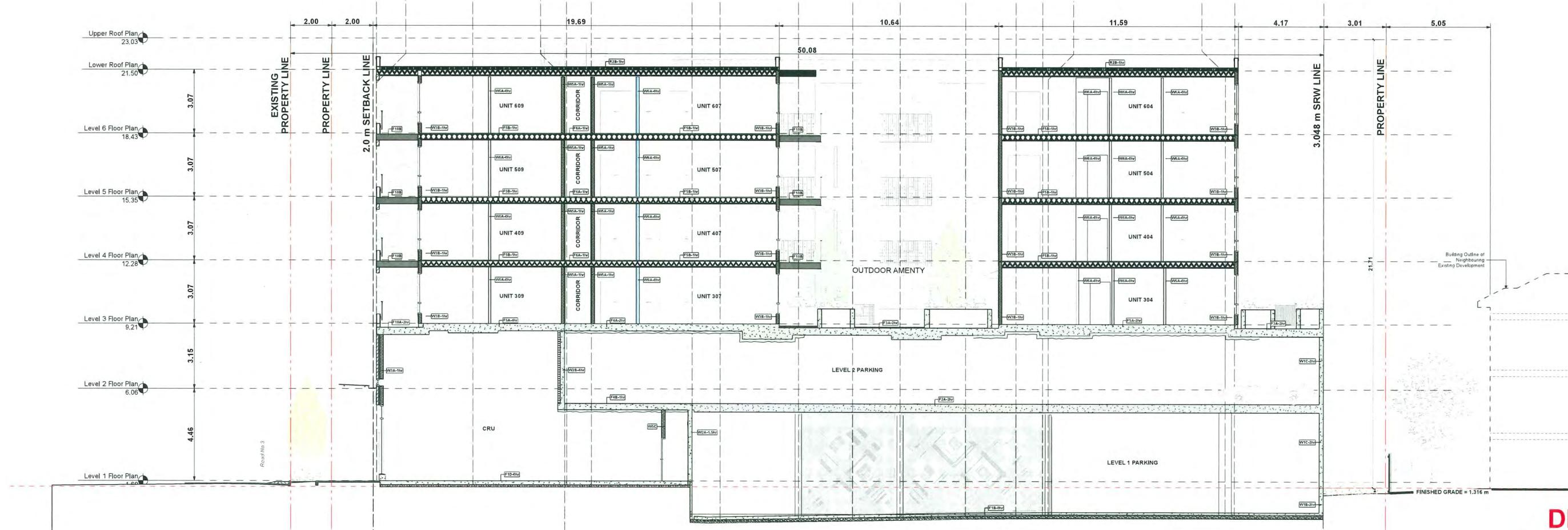
**Integra**  
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2330-200 Granville Street  
Vancouver, BC, V6C 1S4  
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[PROJECT TEAM]  
1 - 2023.10.27 - RZ/DP ISSUE 1.0  
2 - 2024.03.14 - RZ/DP ISSUE 2.0  
(Change in development scope)  
3 - 2024.10.18 - RZ/DP ISSUE 3.0  
4 - 2025.02.27 - RZ/DP ISSUE 4.0  
5 - 2025.06.23 - RZ/DP ISSUE 5.0  
6 - 2025.07.09 - RZ/DP ISSUE 6.0  
7 - 2025.08.29 - RZ/DP ISSUE 7.0  
8 - 2025.10.07 - RZ/DP ISSUE 8.0  
9 - 2025.10.22 - RZ/DP ISSUE 9.0  
10 - 2025.10.22 - RZ/DP ISSUE 10.0  
11 - 2025.10.27 - RZ/DP ISSUE 11.0

**DP 23-033716**  
**November 17, 2025**  
**Plan #16**



PANATCH GROUP

[PROJECT]

**Mixed Use Rental Building**  
9000, No.3 Road  
Richmond, BC

[TITLE]

**Building Sections**

23625 [PROJECT]

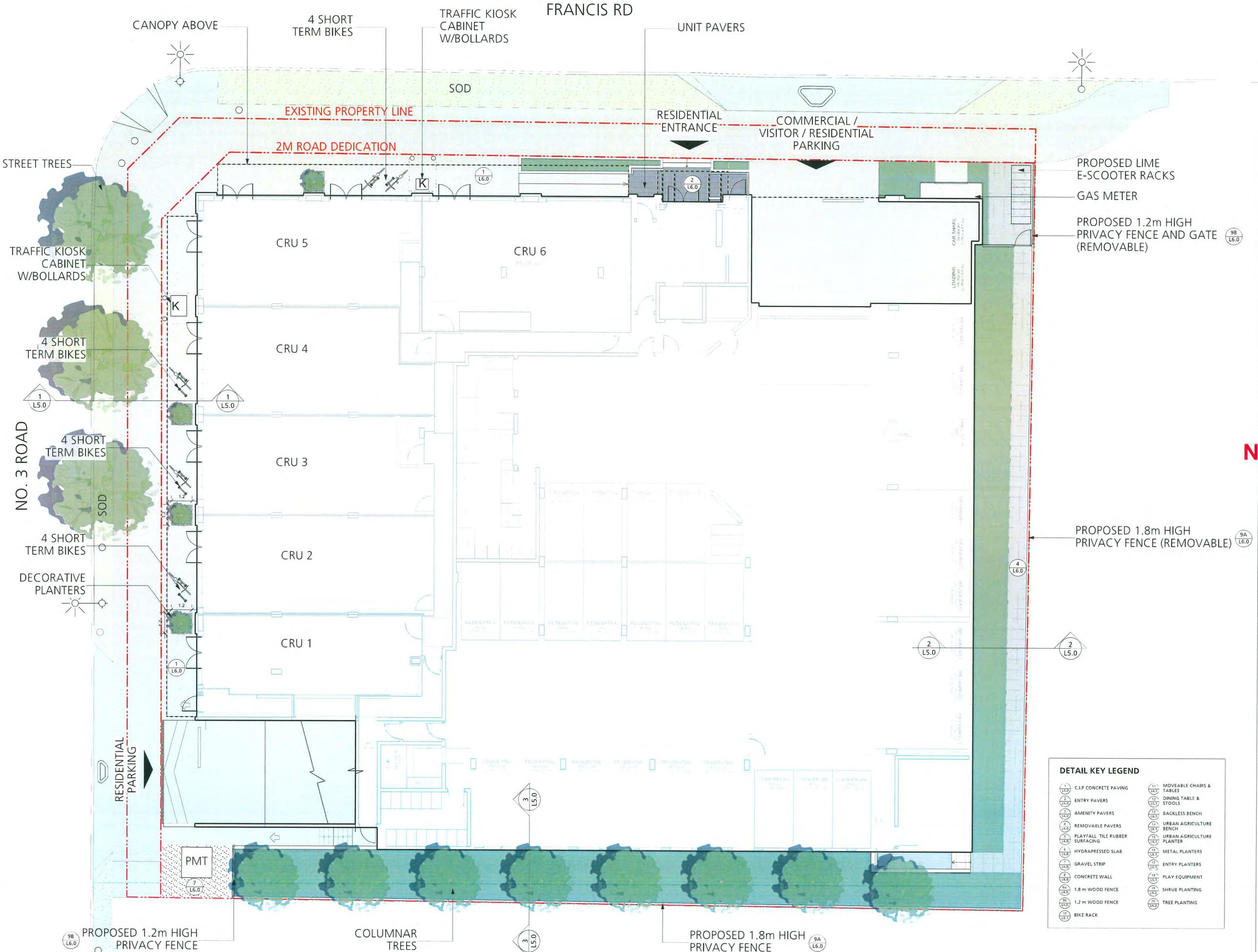
[SCALE]

Monday, October 27, 2025 [DATE]

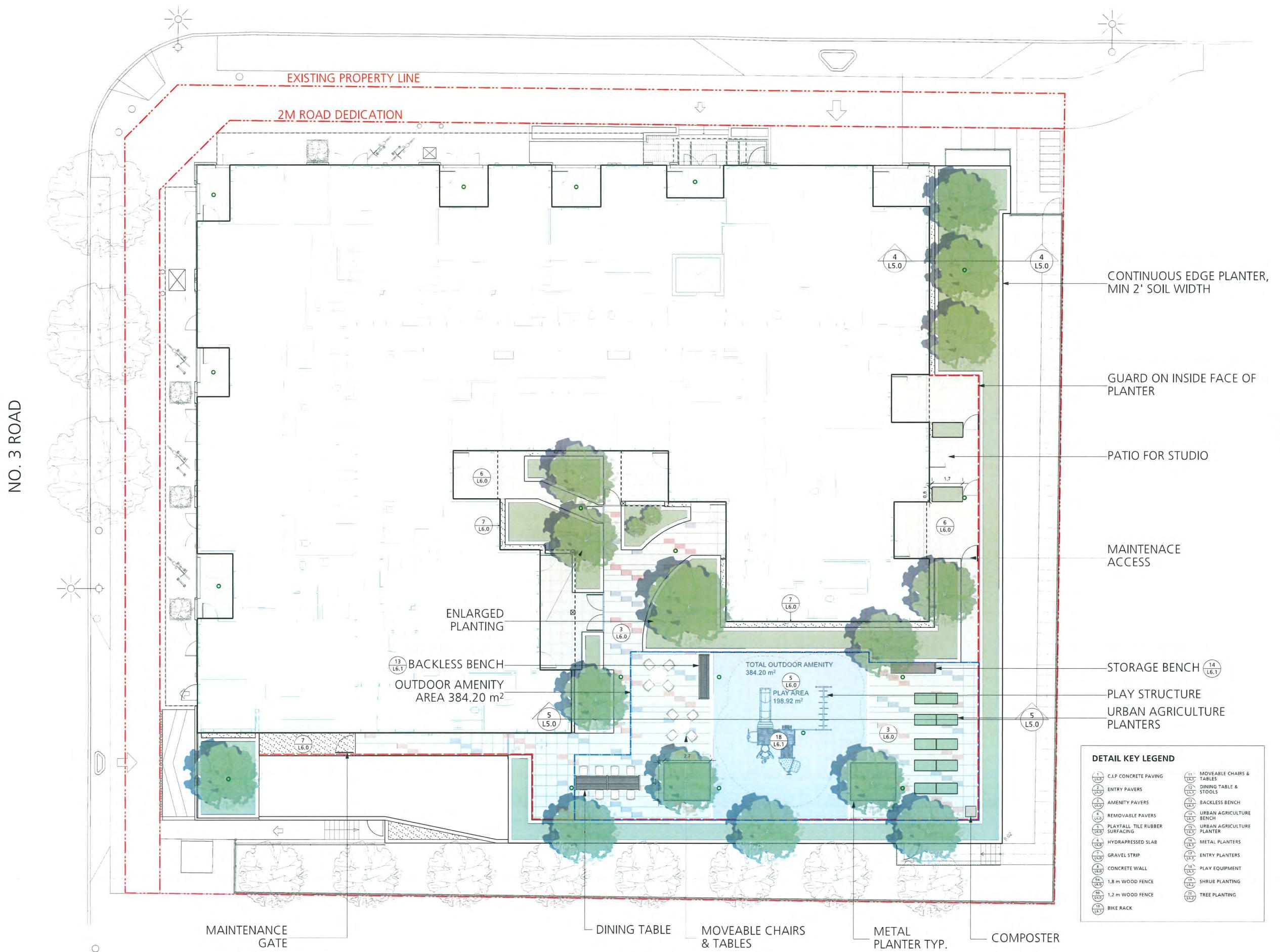
DP (ISSUE 11.0) [ISSUE]

[DRAWING]

**A-5.100**

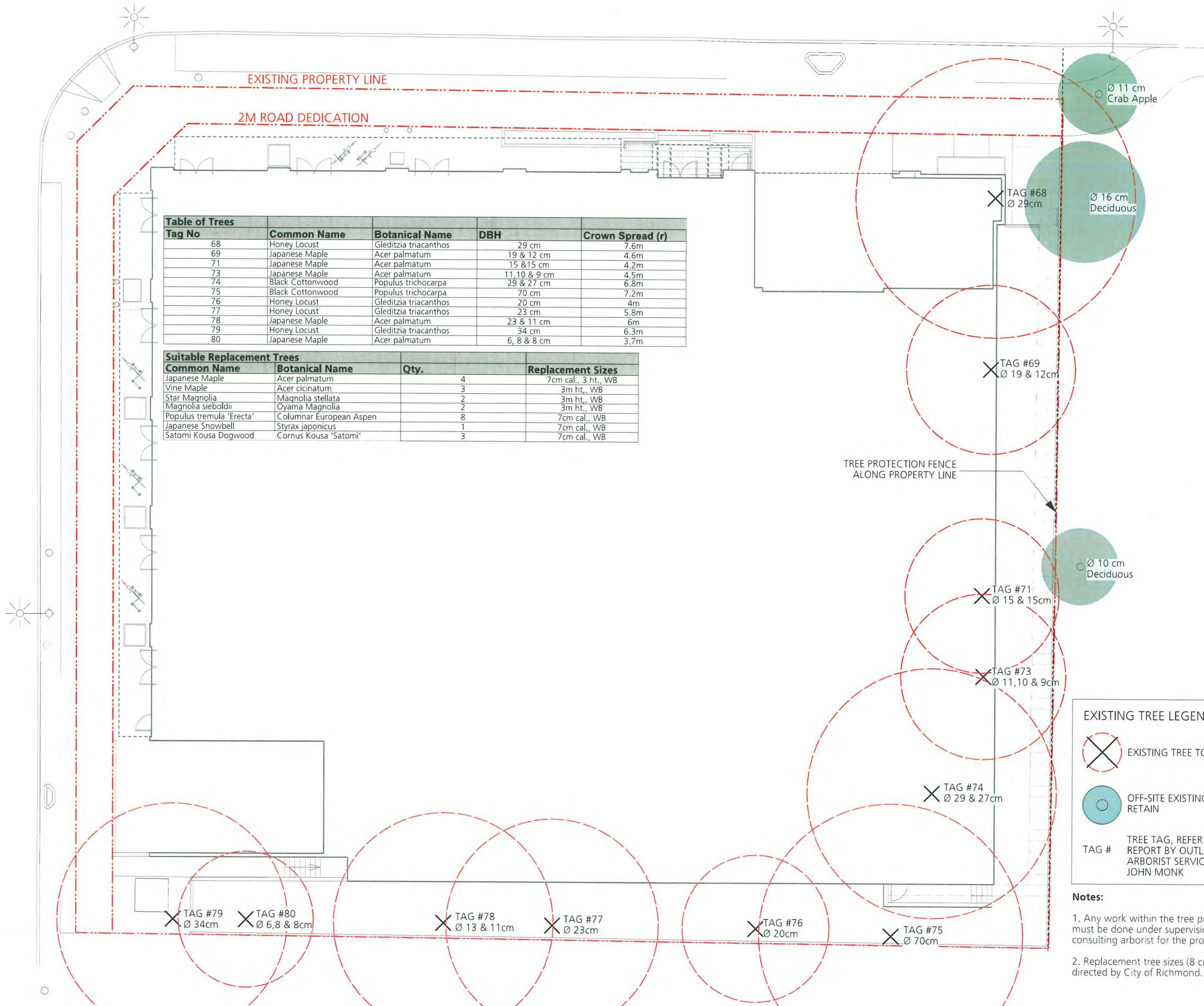


FRANCIS RD



## FRANCIS RD

NO. 3 ROAD



Issues		
No.	Description	Date
1	Issued for Zoning/DP	2023/10/27
2	Re-Issued for DP	2024/3/14
3	Re-Issued for DP	2024/1/18
4	Re-Issued for Zoning/DP	2025/2/26
5	Re-Issued for DP	2025/7/11
6	Re-Issued for RZ/DP	2025/8/29
7	Issued for 60% BP	2025/9/19
8	Issued for ADP	2025/10/06
9	Issued for 90% BP	2025/10/16

**DP 23-033716**  
**November 17, 2025**  
**Plan #19**

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Client:

**PANATCH GROUP**  
 PROPERTIES • CAPITAL • FOUNDATION

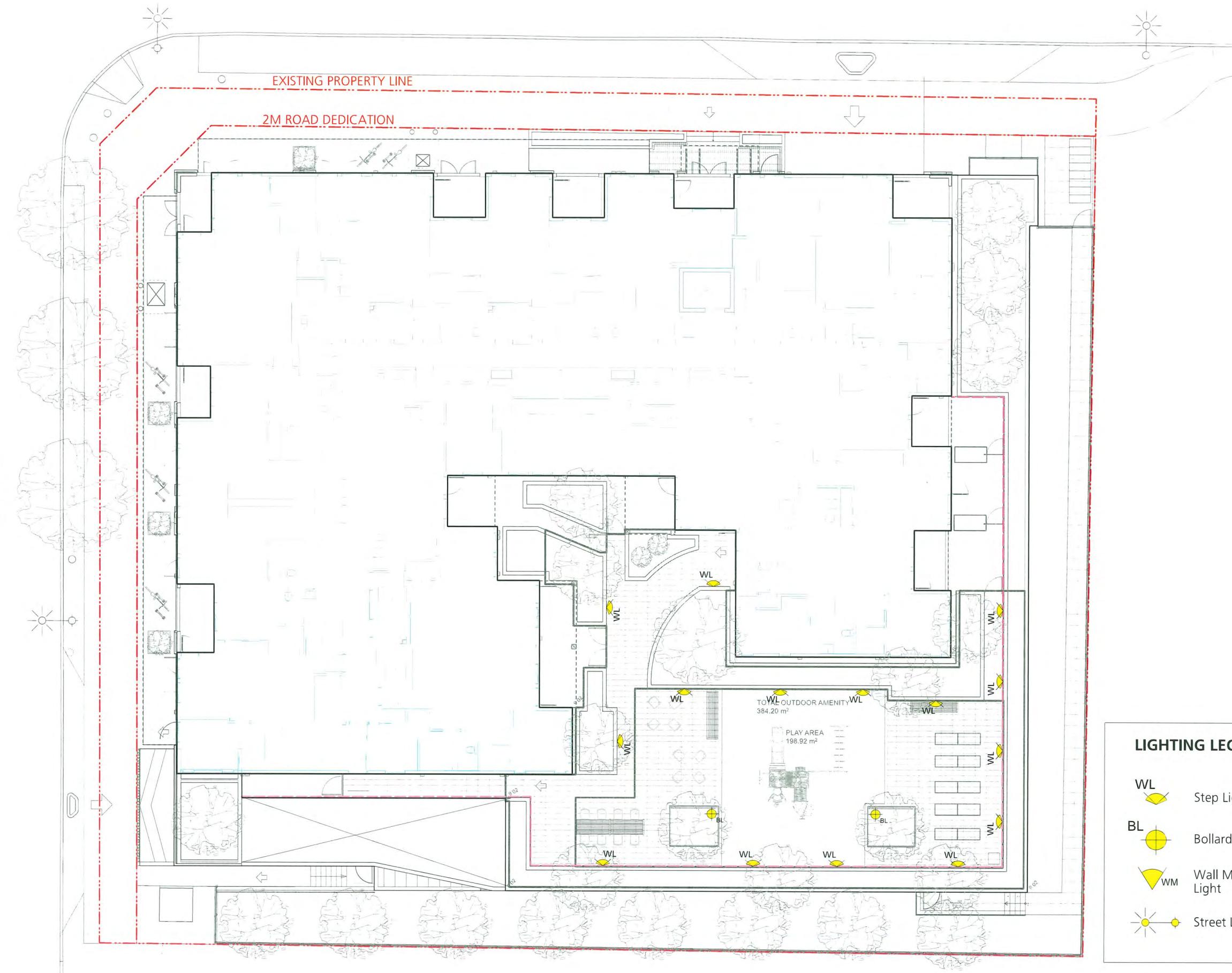
Project Title: **9000 no.3 Road**

Drawing Title: **Tree Management Plan**

Project North: Drawn By: **CS**  
 Checked By: **MP**  
 Scale: **1:100** Job No.: **23-054**  
 Sheet No.: **23-054**

**L1.2**





Issues		
No.	Description	Date
1	PC Issued for RZ/DP	2025/08/09
2	Issued for 60% BP	2025/09/19
3	Issued for ADP	2025/10/06
4	Issued for 90% BP	2025/10/16

Perry + Associates  
Landscape Architecture  
Site Planning  
112 East Broadway  
Vancouver, BC V5T 1V9  
T: 604.738.4118  
perryandassociates.ca

**DP 23-033716**  
**November 17, 2025**  
**Plan #21**

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Client:

**PANATCH GROUP**  
PROPERTIES • CAPITAL • FOUNDATION

Project Title: **9000 no.3 Road**

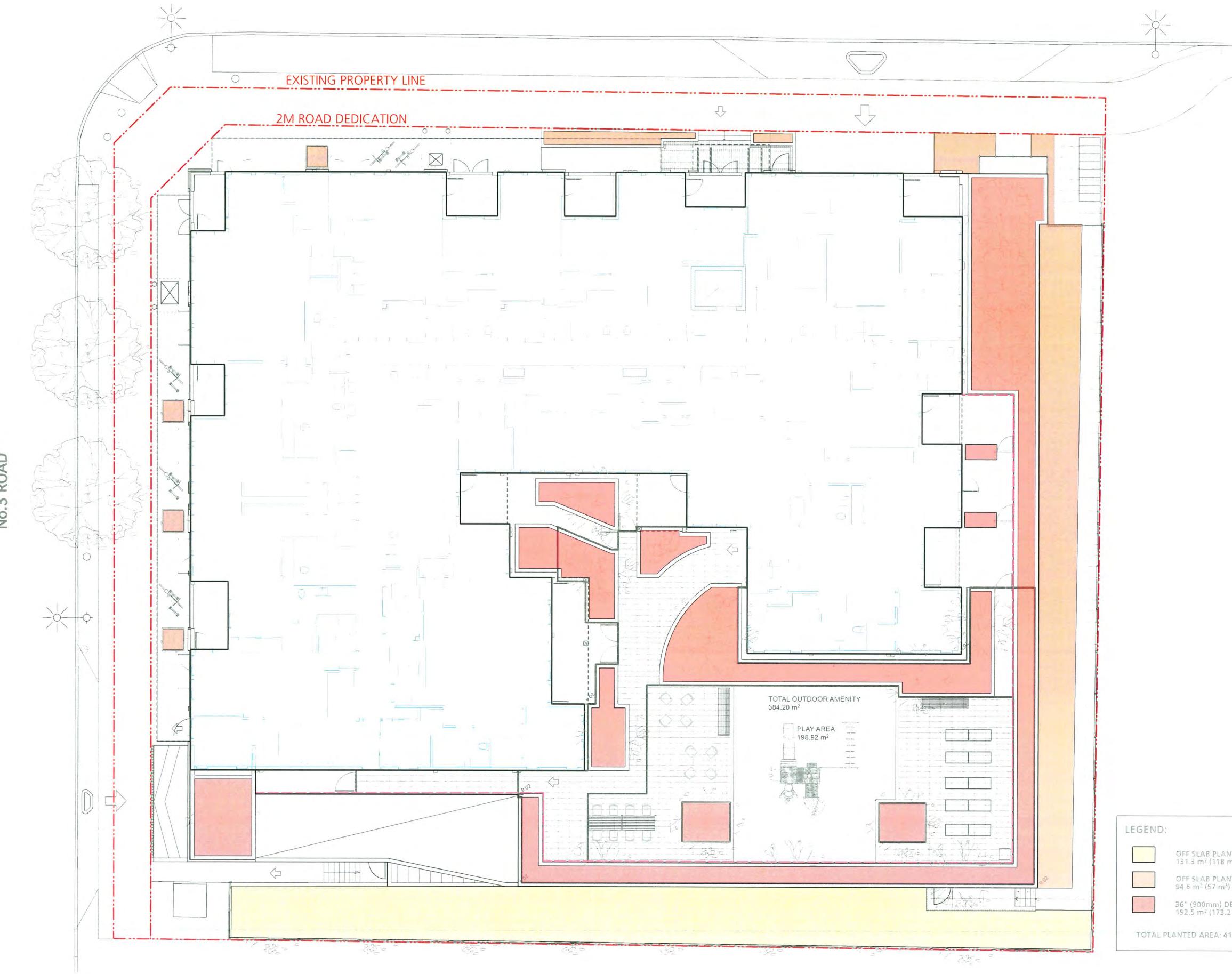
Drawing Title: **Lighting Plan - Level 3**

Project North: **PN** Drawn By: **CS**  
Checked By: **MP**  
Scale: **1:100** Job No.: **23-054**  
Sheet No.: **L1.4**

### LIGHTING LEGEND

- WL** Step Light / Wall Light
- BL** Bollard Light
- WM** Wall Mount Down Light
- SL** Street Light





Issues		
No.	Description	Date
1	Re-Issued for RZ/DP	2025/08/09
2	Issued for 60% BP	2025/09/19
3	Issued for ADP	2025/10/06
4	Issued for 90% BP	2025/10/16

DP 23-033716  
November 17, 2025  
Plan #23

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PANATCH GROUP  
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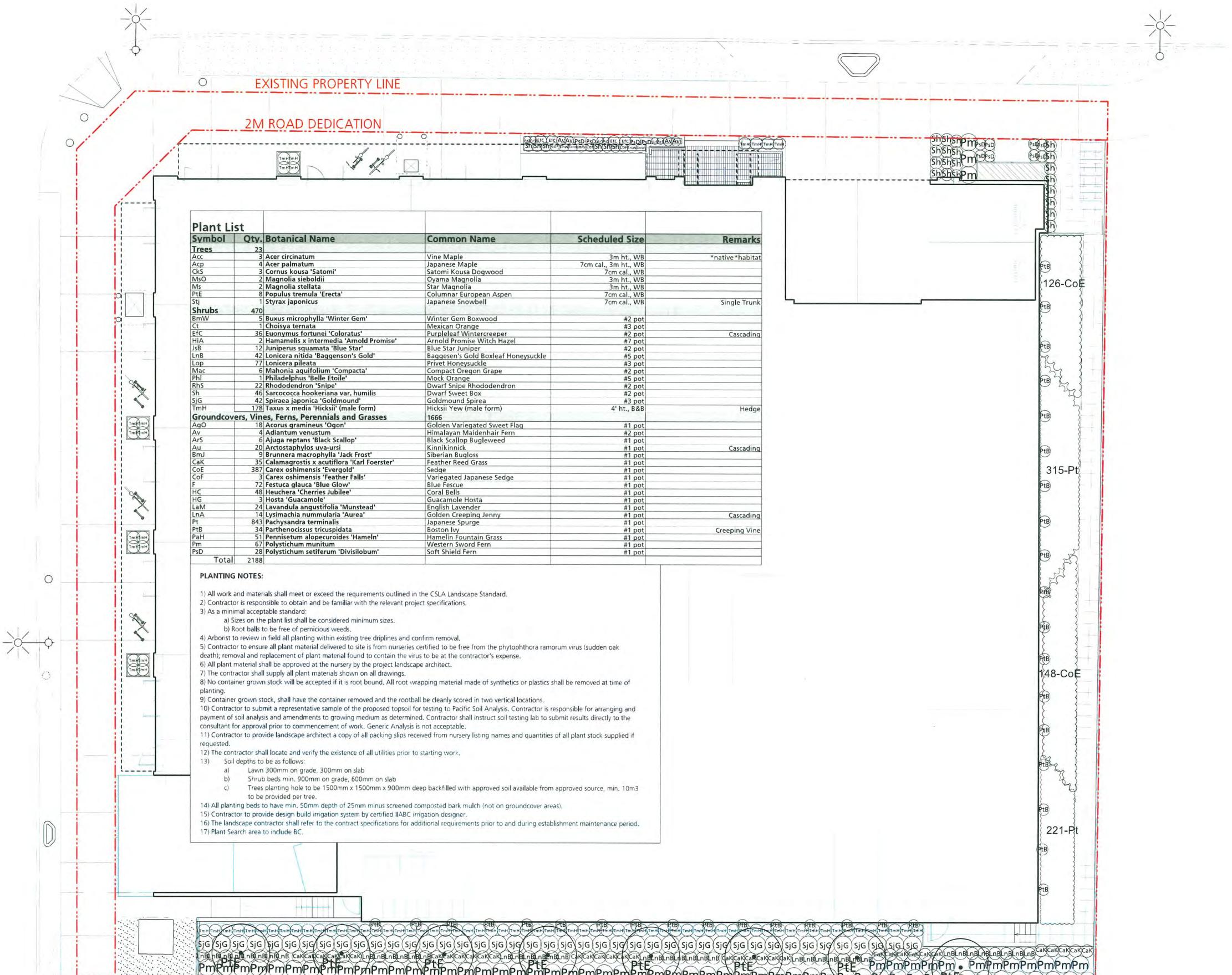
Project Title: 9000 no.3 Road

Drawing Title: Soil Depth Plan

Project North: PN Drawn By: CS  
Checked By: MP  
Scale: 1:100 Job No.: 23-054  
Sheet No.: L2.1

## FRANCIS ROAD

No.3 ROAD



**DP 23-033716**  
**November 17, 2025**  
**Plan #24**

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Client:

**PANATCH GROUP**  
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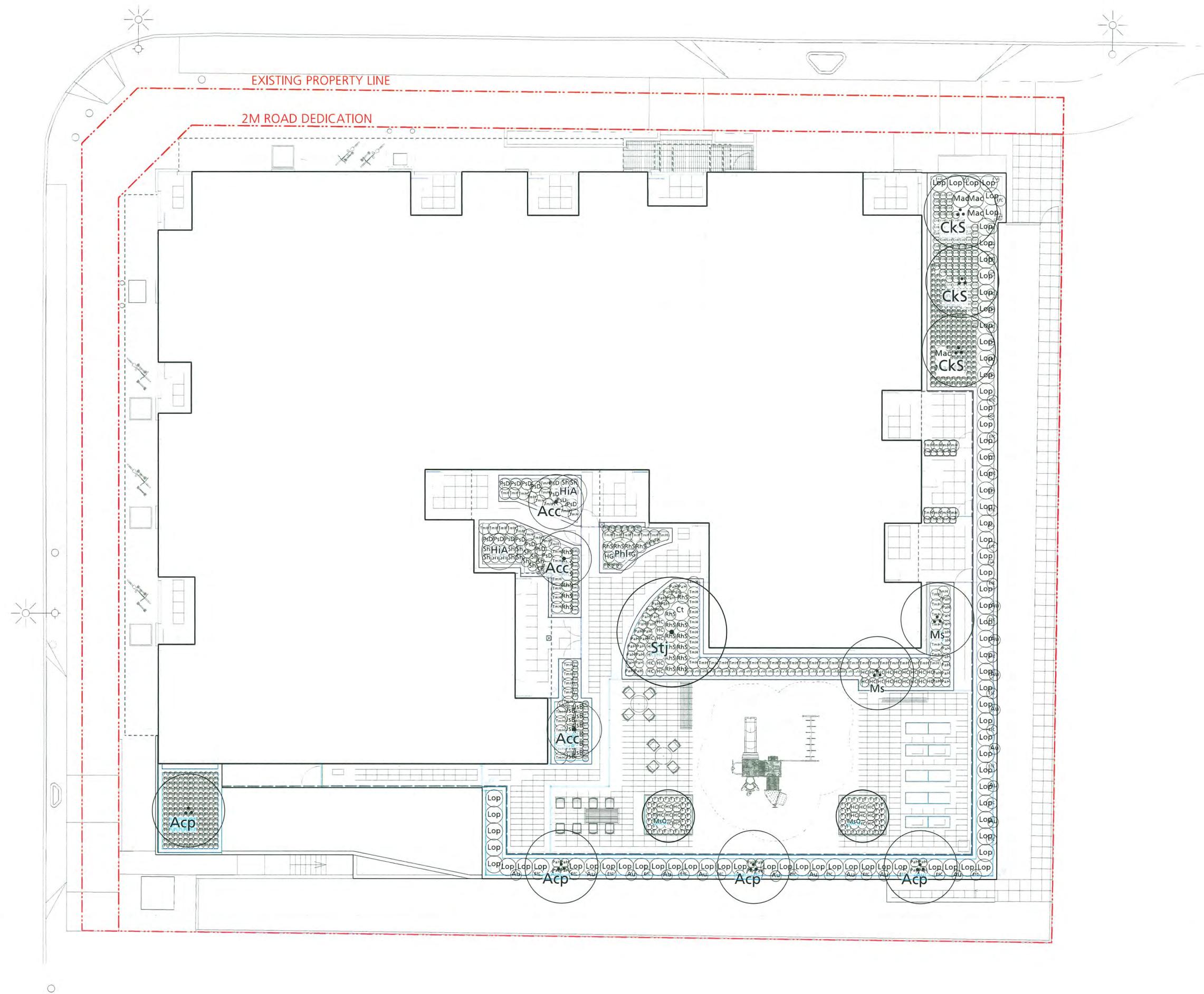
Project Title:

9000 no.3 Road

Drawing Title:

Planting Plan - Level 1

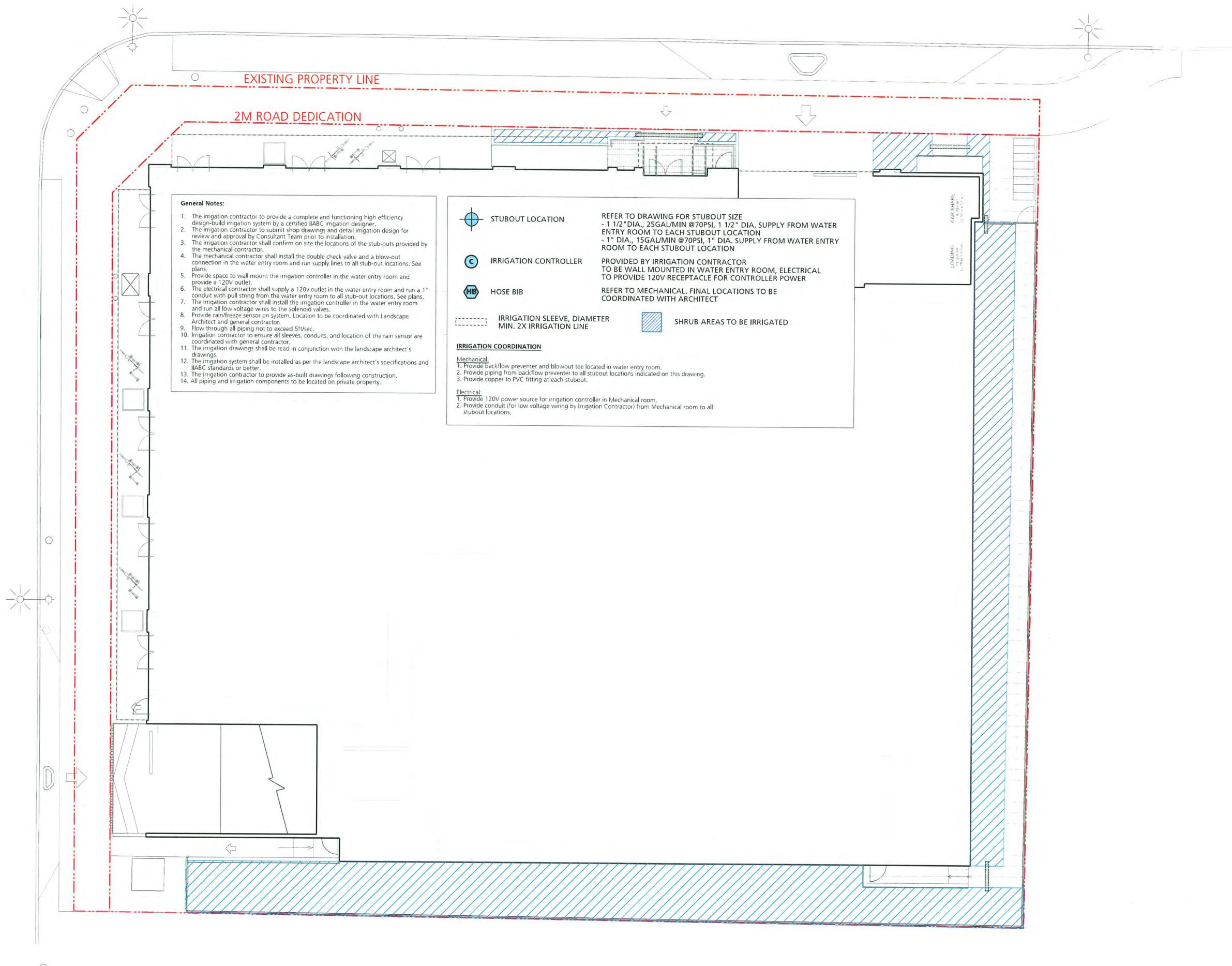
Project North: PN Drawn By JW  
 Checked By: MP  
 Scale: 1:100 Job No.: 23-054  
 Sheet No.: L3.0



Issues		
No.	Description	Date
1	Issued for 50% BP	2025/09/19
2	Issued for 90% BP	2025/10/16

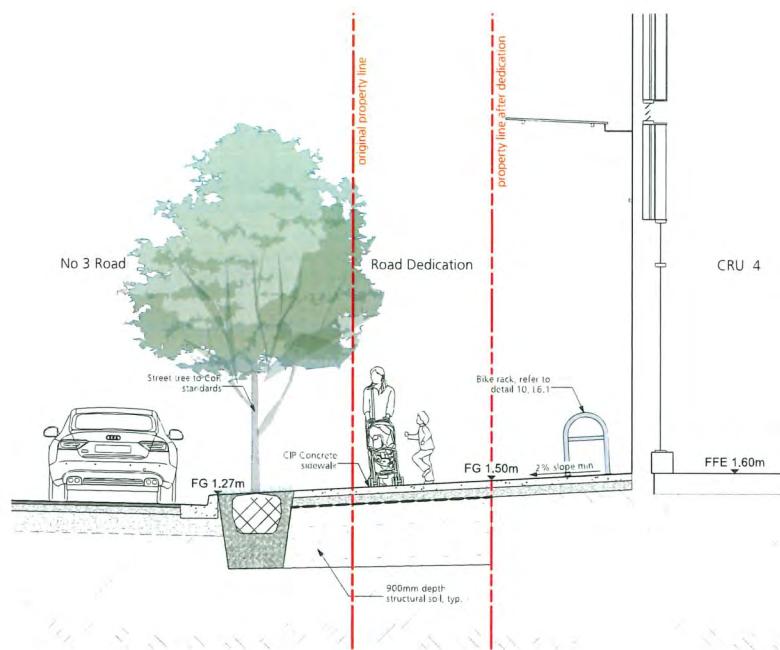
No.3 ROAD

FRANCIS ROAD

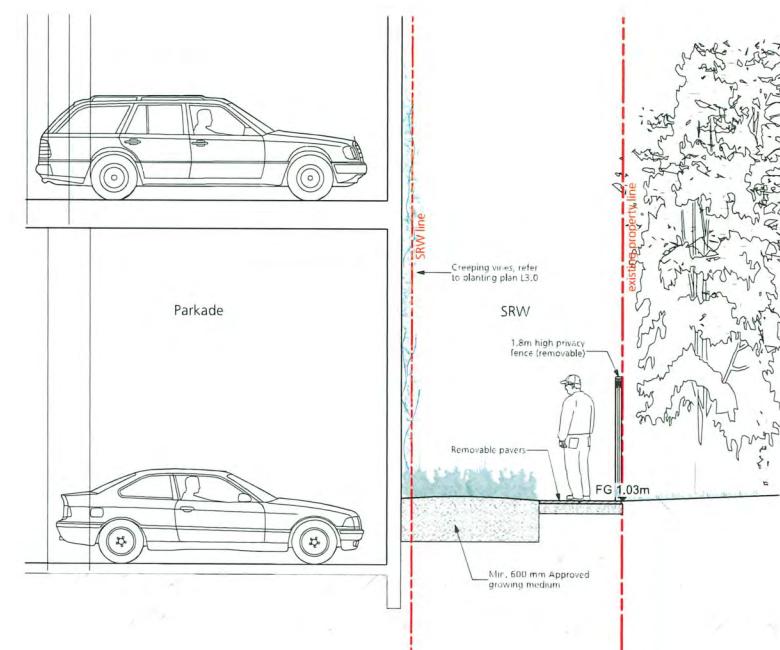


L4.0

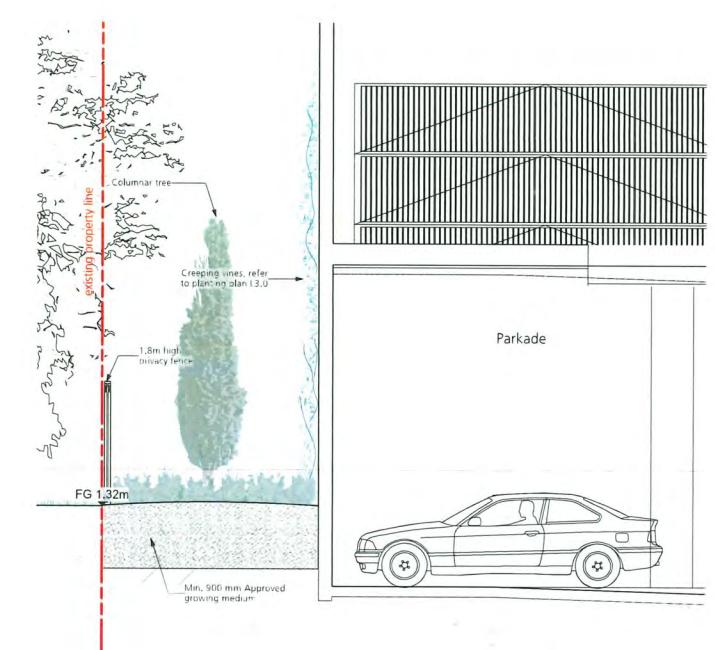




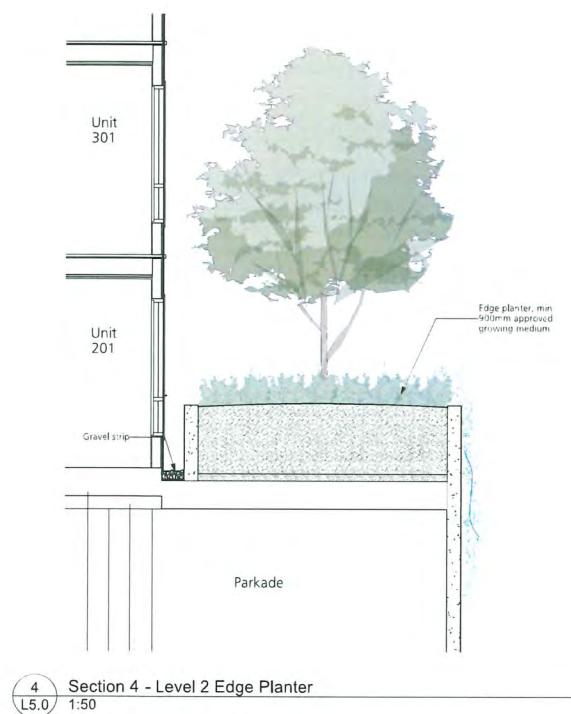
1 Section 1 - Commercial Frontage, No 3 Road  
L5.0 1:50



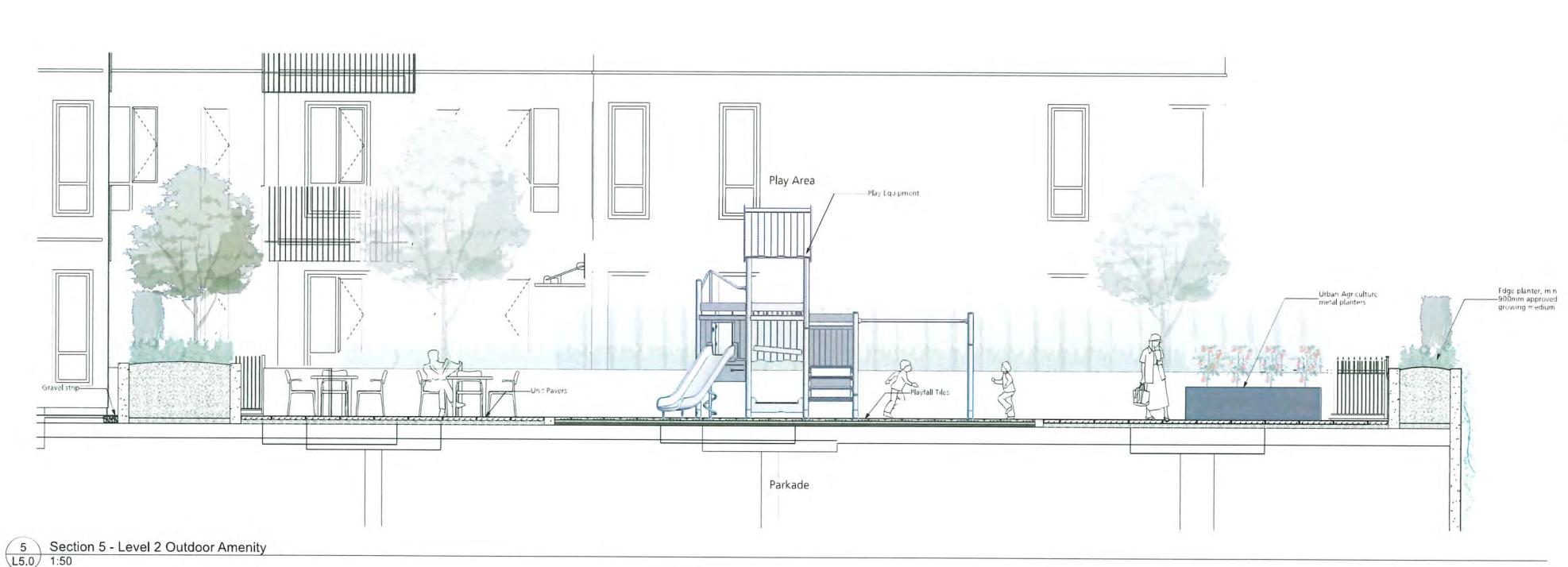
2 Section 2 - SRW  
L5.0 1:50



3 Section 3 - South building edge  
L5.0 1:50



4 Section 4 - Level 2 Edge Planter  
L5.0 1:50



5 Section 5 - Level 2 Outdoor Amenity  
L5.0 1:50

DP 23-033716  
November 17, 2025  
Plan #28

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Client:

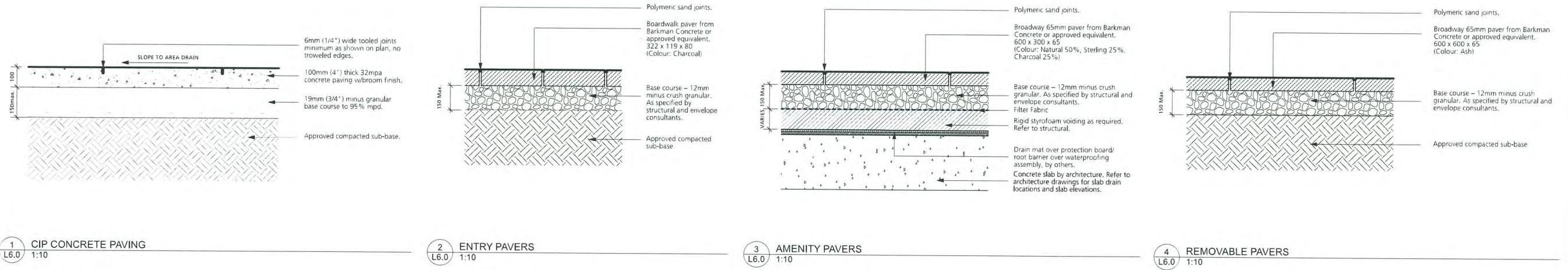
PANATCH GROUP  
PROPERTIES • CAPITAL • FOUNDATION

Project Title:

9000 no.3 Road

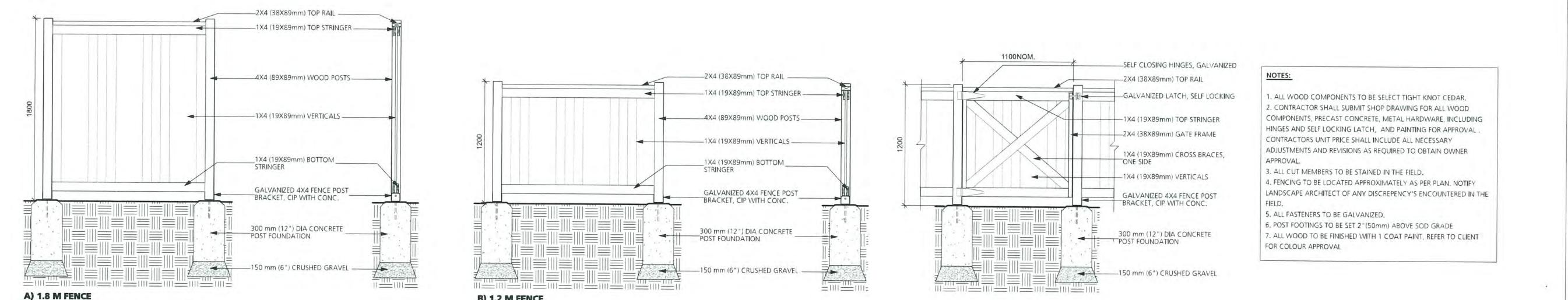
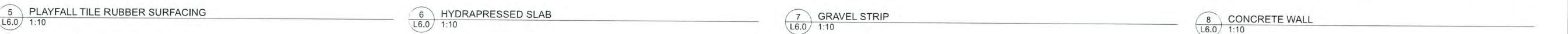
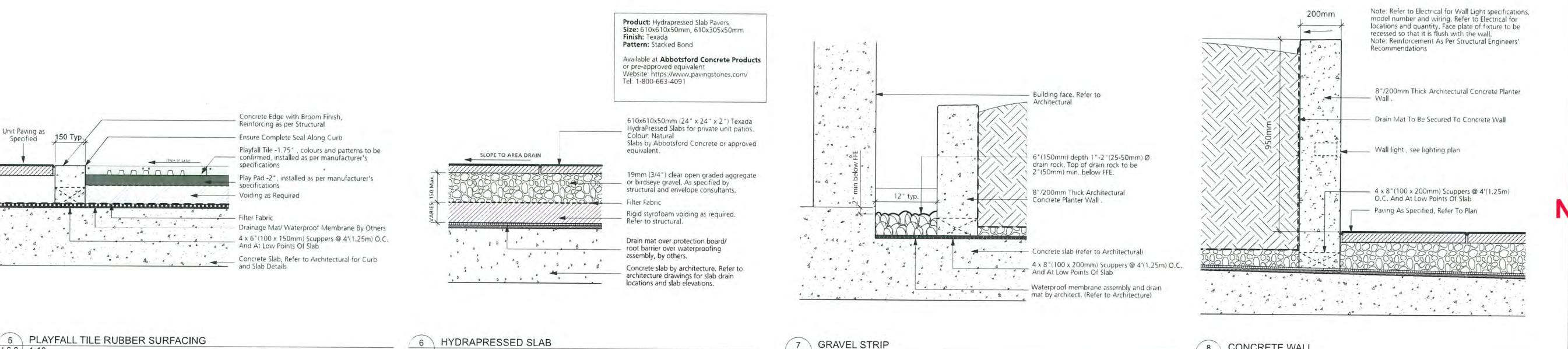
Drawing Title:  
Landscape Sections

Project North: Drawn By: CS  
Checked By: MP  
Scale: Job No.: 1:50 23-054  
Sheet No.: 1  
Plot date: 2023/10/15



Issues		
No.	Description	Date
1	Issued for Rezoning/DP	2023/10/02
2	Re-Issued for DP	2024/03/14
3	Re-Issued for DP	2024/10/18
4	Re-Issued for Rezoning/DP	2025/02/26
5	Re-Issued for DP	2025/07/11
6	Re-Issued for RZ/DP	2025/08/28
7	Issued for 60% BP	2025/09/19
8	Issued for ADP	2025/10/06
9	Issued for 90% BP	2025/10/16

**DP 23-033716**  
**November 17, 2025**  
**Plan #29**



**NOTES:**

1. ALL WOOD COMPONENTS TO BE SELECT TIGHT KNOT CEDAR.
2. CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR ALL WOOD COMPONENTS, PRECAST CONCRETE, METAL HARDWARE, INCLUDING HINGES AND SELF LOCKING LATCH, AND PAINTING FOR APPROVAL.
3. CONTRACTORS UNIT PRICE SHALL INCLUDE ALL NECESSARY ADJUSTMENTS AND REVISIONS AS REQUIRED TO OBTAIN OWNER APPROVAL.
4. CONTRACTORS TO BE STAINED IN THE FIELD.
5. ALL CUT MEMBERS TO BE STAINED IN THE FIELD.
6. FENCING TO BE LOCATED APPROXIMATELY AS PER PLAN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCY'S ENCOUNTERED IN THE FIELD.
7. ALL WOOD TO BE FINISHED WITH 1 COAT PAINT. REFER TO CLIENT FOR COLOUR APPROVAL.

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**Client:**

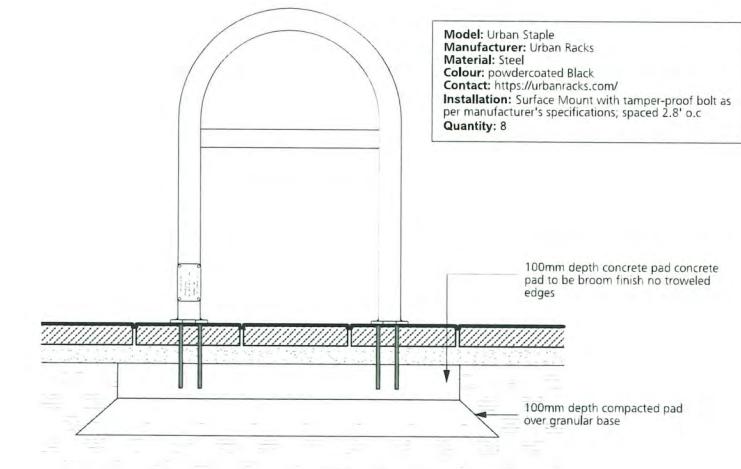
**PANATCH GROUP**  
 PROPERTIES • CAPITAL • FOUNDATION

**Project Title:** 9000 no.3 Road

**Drawing Title:** Landscape Details

**Project North:** Drawn By: CS  
 Checked By: MP

**Scale:** As Shown Job No.: 23-054  
 Sheet No.: 001



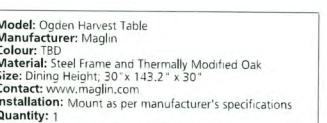
10 BIKE RACK  
L6.1 1:10



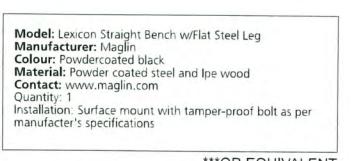
11 MOVEABLE TABLE AND CHAIRS  
L6.1 NTS



12 DINING TABLE AND SEATING  
L6.1 NTS

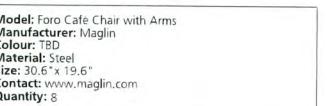


\*\*\*OR EQUIVALENT



\*\*\*OR EQUIVALENT

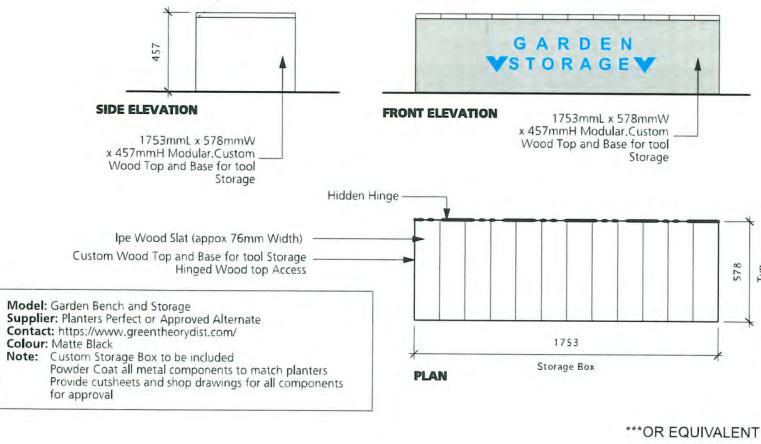
Issues No.	Description	Date
1	Issued for Permitting/DP	2023/02/01
2	Re-Issued for DP	2023/03/14
3	Re-Issued for DP	2023/10/18
4	Re-Issued for Permitting/DP	2023/02/26
5	Re-Issued for DP	2023/07/11
6	Re-Issued for RZ/DP	2023/09/29
7	Issued for 60% BP	2023/09/19
8	Issued for ADP	2023/10/06
9	Issued for 90% BP	2023/10/16



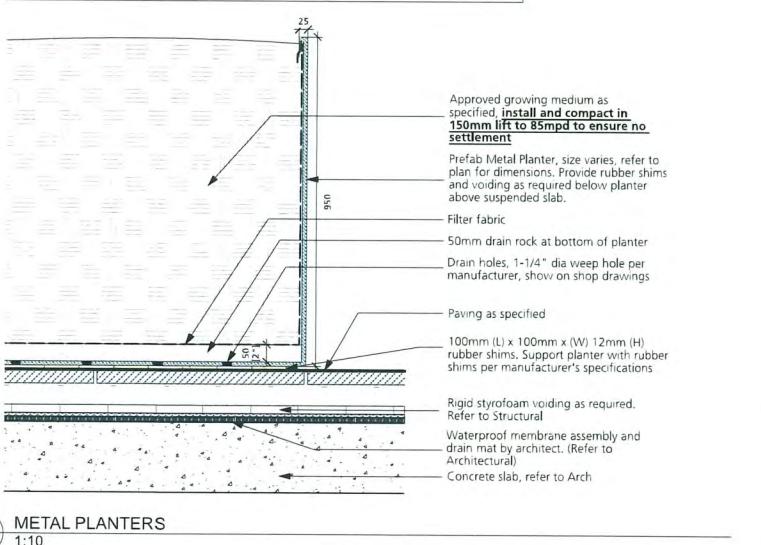
\*\*\*OR EQUIVALENT



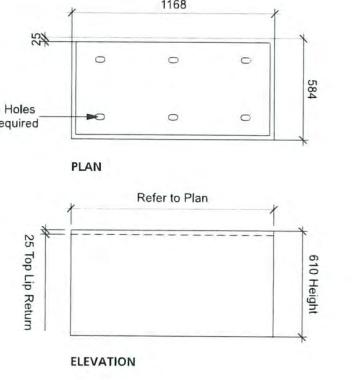
13 BACKLESS BENCH  
L6.1 1:20



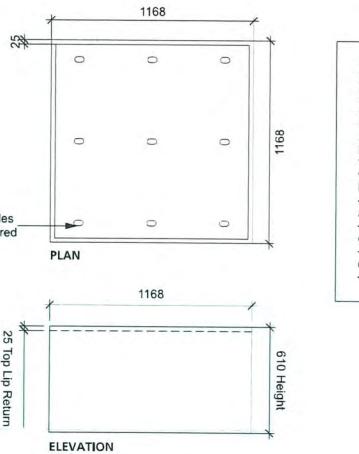
14 URBAN AGRICULTURE BENCH  
L6.1 1:20



16 METAL PLANTERS  
L6.1 1:10



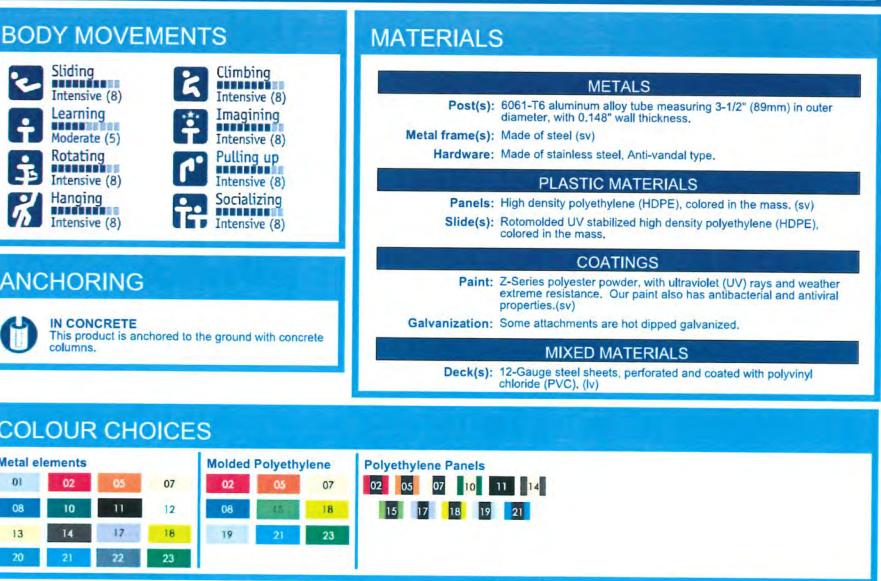
15 URBAN AGRICULTURE PLANTER  
L6.1 1:20



17 ENTRY PLANTERS  
L6.1 1:20



\*\*\*OR EQUIVALENT



Made at our factory in Lévis, Québec, Canada • Meets CAN/CSA-Z614 and ASTM F1487



18 PLAY EQUIPMENT  
L6.1 NTS

\*\*\*OR EQUIVALENT

DP 23-033716  
November 17, 2025  
Plan #30

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Client:



Project Title:

9000 no.3 Road

Drawing Title:

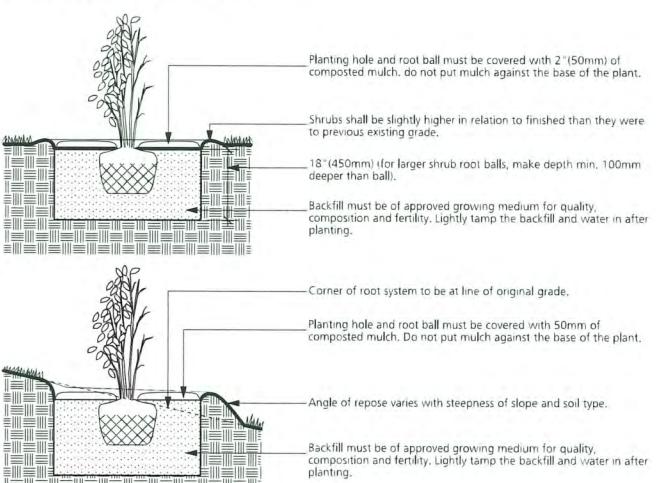
Landscape Details

Project North:	Drawn By:	CS
	Checked By:	MP
Scale:	Job No.:	23-054
	As Shown	
Sheet No.:		

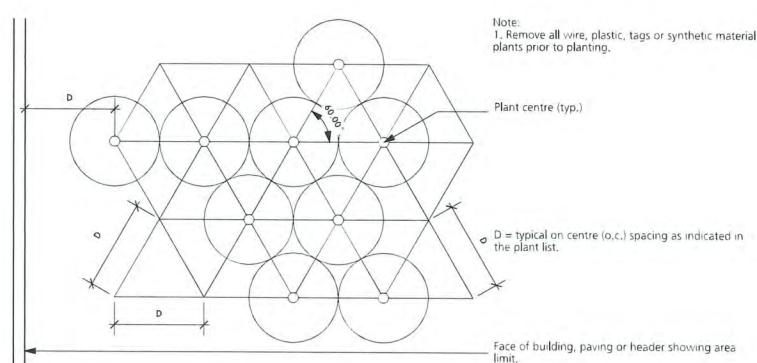
L6.1

Minimum medium growing depth:  
-Sodded lawn: 12" (300mm)  
-Shrubs and perennials: 18" (450mm)  
-Trees: 3' (900mm)

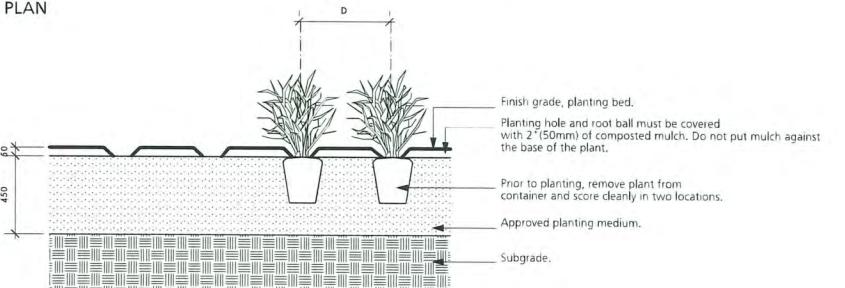
1. Min. root spread to be in accordance with "Canadian standards for nursery stock."
2. For container-grown shrubs, use fingers or small hand tools to pull the roots out of the outer layer of potting soil; then cut or pull the roots back to the center of the container. Prune all damaged, diseased, or weak limbs and roots.
3. Cleanly prune all damaged root ends.
4. Fold burlap from top of root ball down into ground set top of ball flush with finish grade.
5. Do not allow roots to dry out during installation process.
6. Soak roots in water overnight before planting.



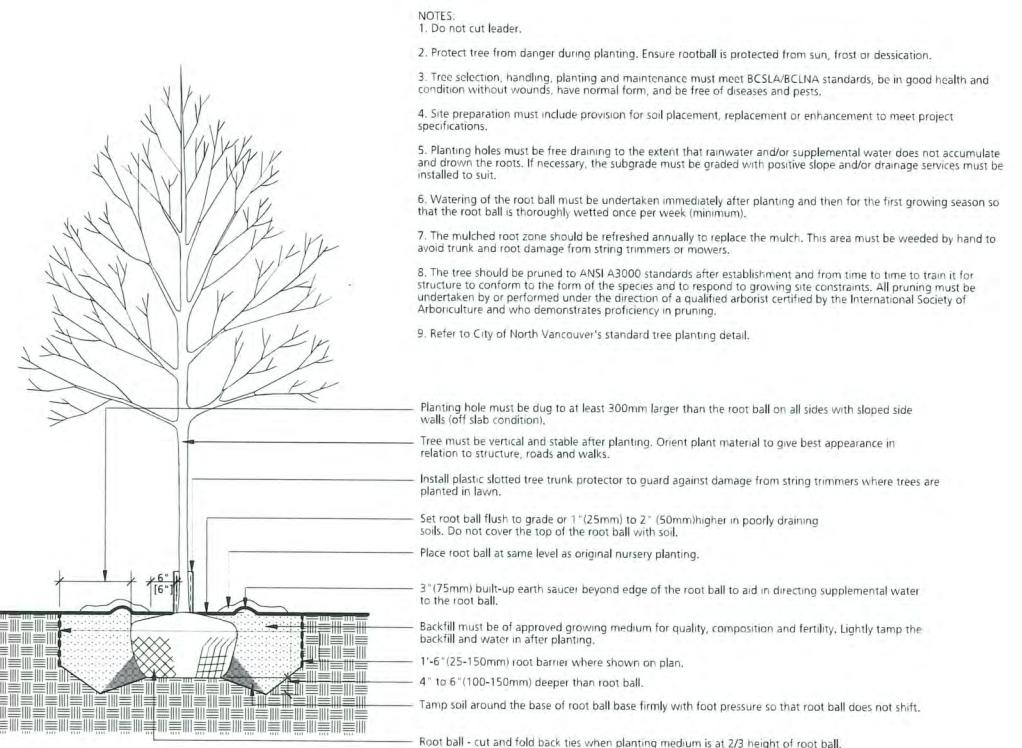
18 SHRUB PLANTING  
L6.2 1:20



PLAN



SECTION



19 TREE PLANTING  
L6.2 1:20

Issues		
No.	Description	Date
1	Issued for Rezoning/DP	2/2/91/2/2/2
2	Re-Issued for DP	2/2/4/3/14
3	Re-Issued for DP	2/2/4/1/18
4	Re-Issued for Rezoning/DP	2/2/5/2/26
5	Re-Issued for DP	2/2/5/7/11
6	Re-Issued for RZ/DP	2025/08/29
7	Issued for 50% BP	2025/09/19
8	Issued for ADP	2025/10/06
9	Issued for 90% BP	2025/10/16

DP 23-033716  
November 17, 2025  
Plan #31

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Client:

 PANATCH GROUP  
PROPERTIES • CAPITAL • FOUNDATION

Project Title: 9000 no.3 Road

Drawing Title: Landscape Details

Project North: Drawn By: CS  
Checked By: MP  
Scale: Job No.: As Shown 23-054  
Sheet No.: 1



1 3D View Along No.3 Rd & Francis Rd



3 3D View Along Francis Rd



2 3D View Along No.3 Rd



4 3D View Along Francis Rd

**DP 23-033716**  
**November 17, 2025**  
**Reference Plan**



PANATCH GROUP

[PROJECT]  
**Mixed Use Rental Building**

9000, No.3 Road  
Richmond, BC

[TITLE]  
**Perspective Renders**

23625 [PROJECT]  
1:3:57 [SCALE]  
Monday, October 27, 2025 [DATE]  
DP ISSUE 11.0 [ISSUE]

**A-7.110**



1 3D View Along Residential Lobby



2 3D View Along Outdoor Amenity



3 3D View Along Outdoor Amenity



4 3D View Along Intersection

**DP 23-033716**  
**November 17, 2025**  
**Reference Plan**



PANATCH GROUP

[PROJECT]

**Mixed Use Rental Building**

9000, No.3 Road  
Richmond, BC

[TITLE]

**Perspective Renders**

**33625**  
**1:3.57**  
**Monday, October 27, 2025**  
**DP (ISSUE 11.0)**

[DRAWING]

**A-7.120**

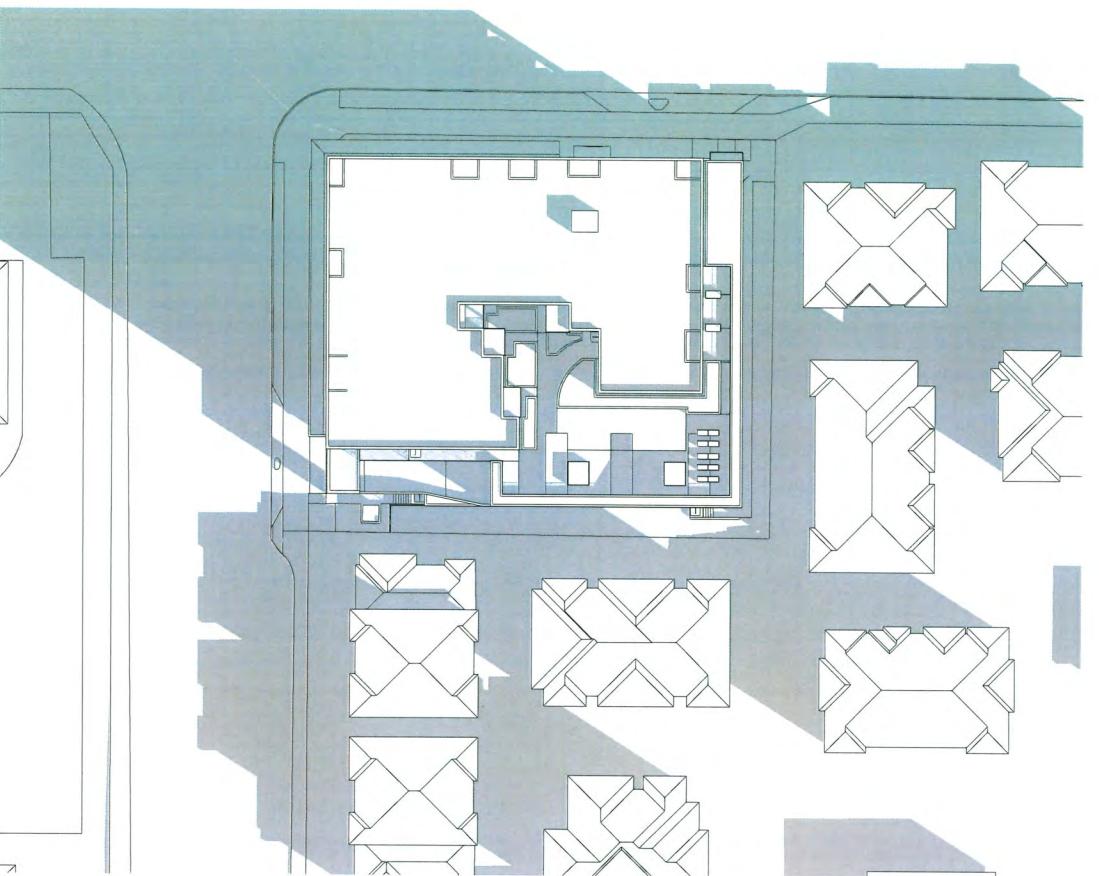


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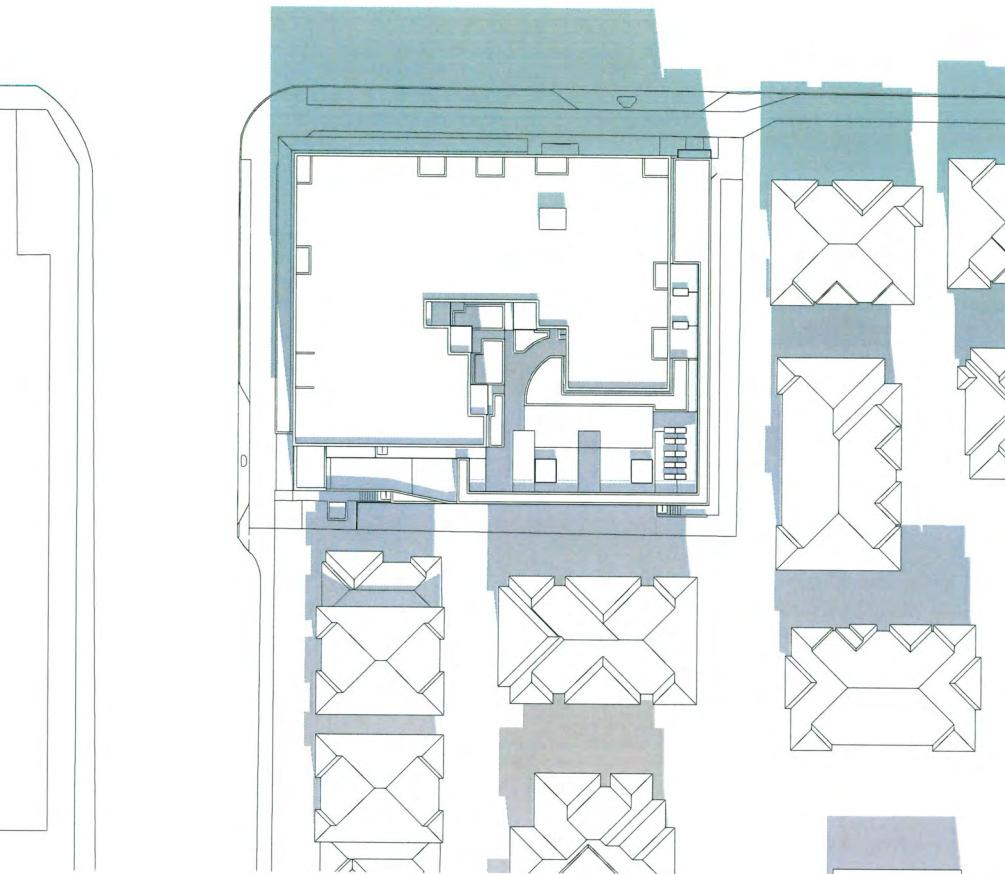
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1 - 2024.10.27 - RZ/DP ISSUE 1.0  
2 - 2024.03.14 - RZ/DP ISSUE 2.0  
(Change in development scope)  
3 - 2024.10.18 - RZ/DP ISSUE 3.0  
4 - 2025.02.27 - RZ/DP ISSUE 4.0  
5 - 2025.06.23 - RZ/DP ISSUE 5.0  
6 - 2025.07.09 - RZ/DP ISSUE 6.0  
7 - 2025.08.29 - RZ/DP ISSUE 7.0  
8 - 2025.10.07 - RZ/DP ISSUE 8.0  
9 - 2025.10.22 - RZ/DP ISSUE 9.0  
10 - 2025.10.22 - RZ/DP ISSUE 10.0  
11 - 2025.10.27 - RZ/DP ISSUE 11.0



1 March/September 21st @ 9:00

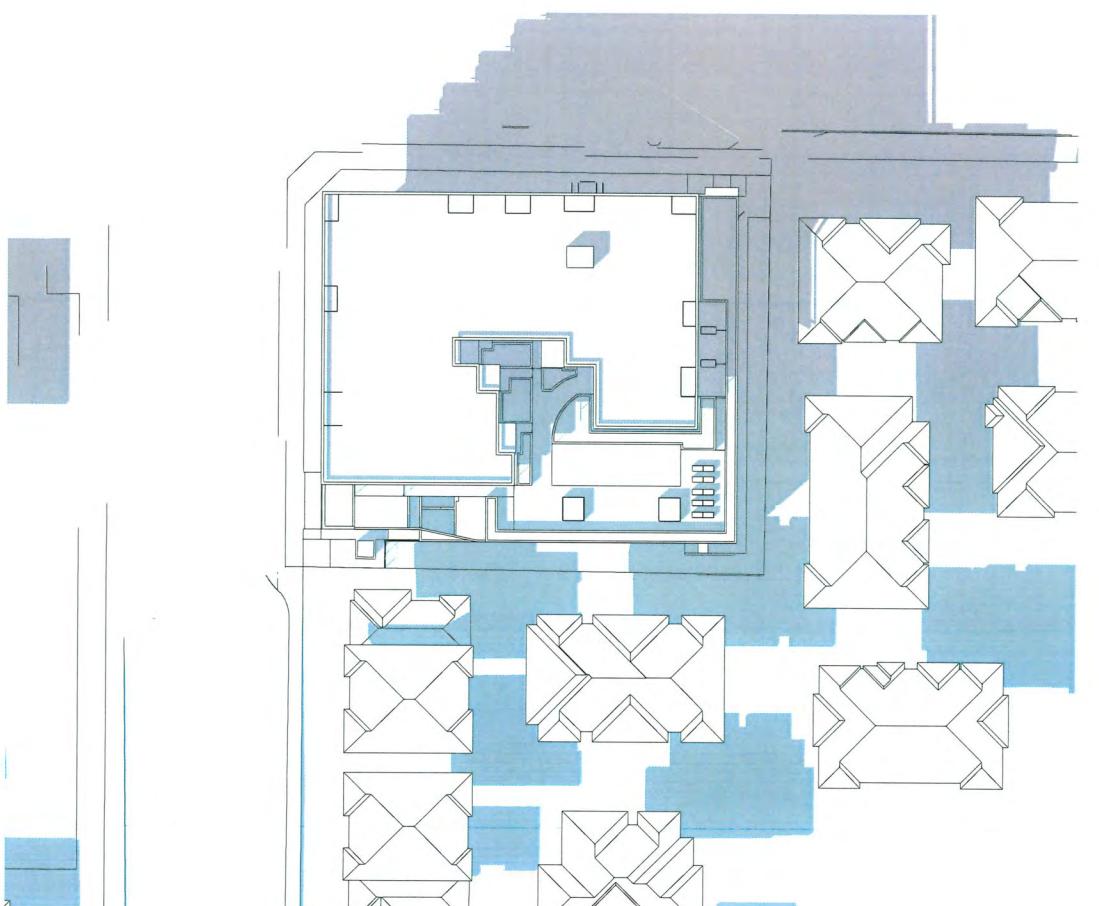
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2 March/September 21st @ 12:00

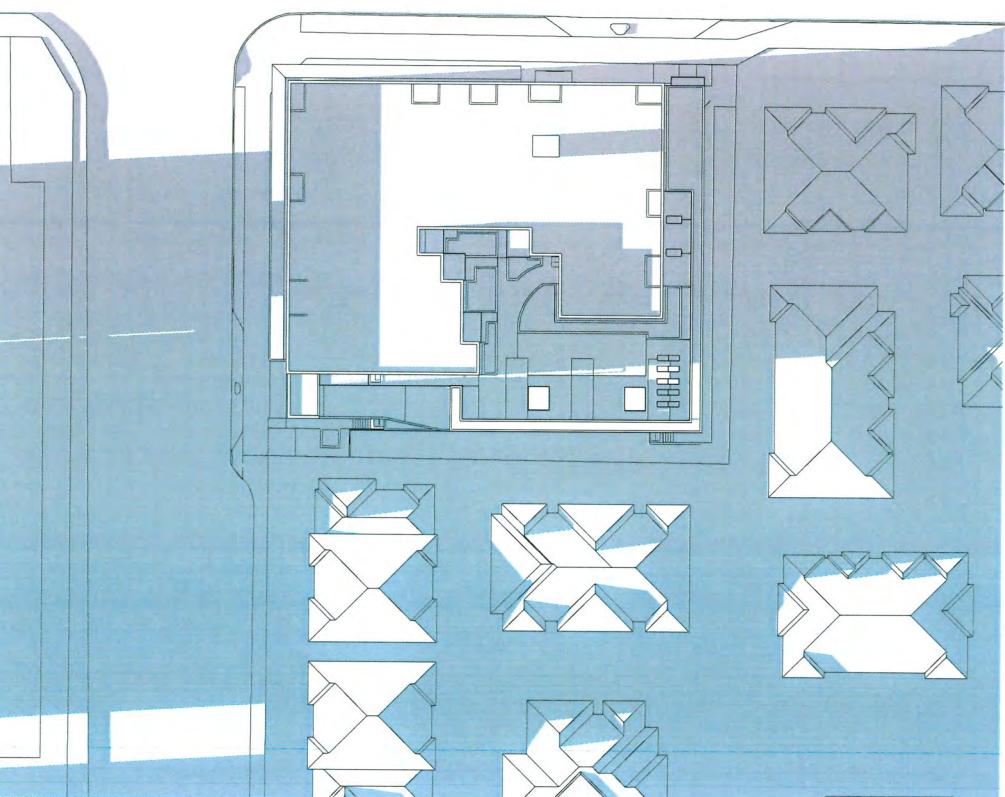
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**DP 23-033716**  
**November 17, 2025**  
**Reference Plan**



3 March/September 21st @ 15:00

SCALE: 1/32" = 1'-0"



4 March/September 21st @ 18:00

SCALE: 1/32" = 1'-0"



PANATCH GROUP

[PROJECT]

**Mixed Use Rental Building**

9000, No.3 Road  
Richmond, BC

[TITLE]

**Shadow Study -**  
**March/September**  
**21st**

[PROJECT]

[SCALE]

Monday, October 27, 2025 [DATE]

DP (ISSUE 11.0) [ISSUE]

[DRAWING]

**A-7.310**



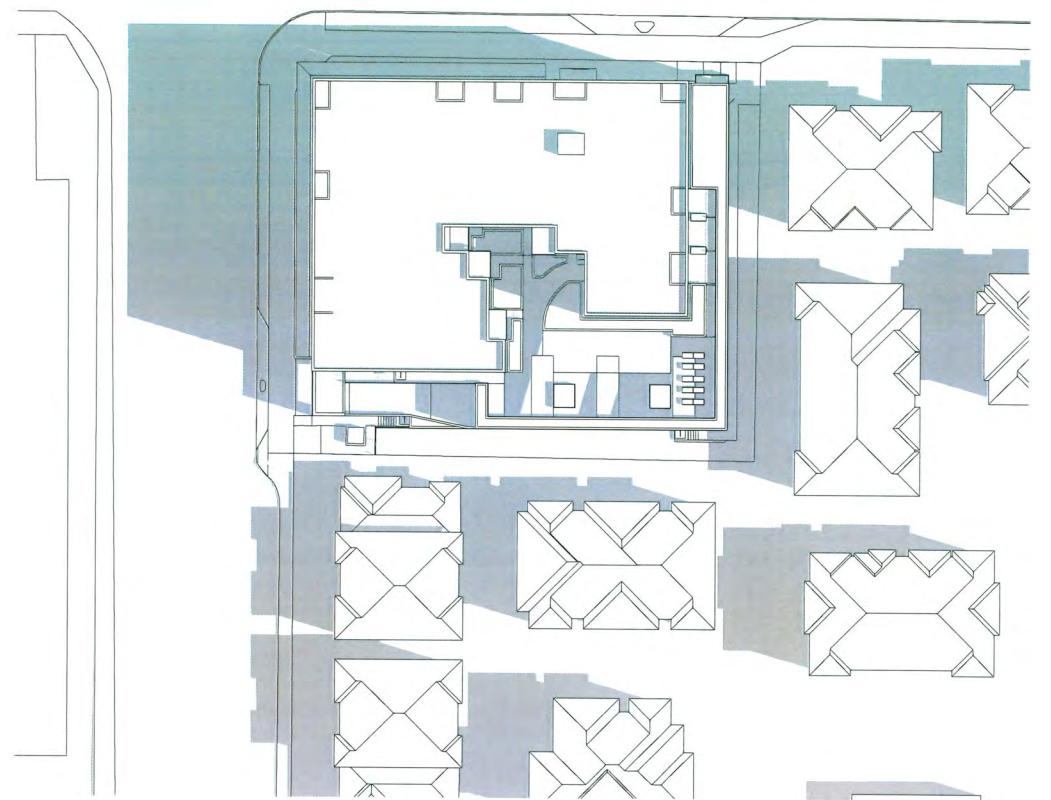
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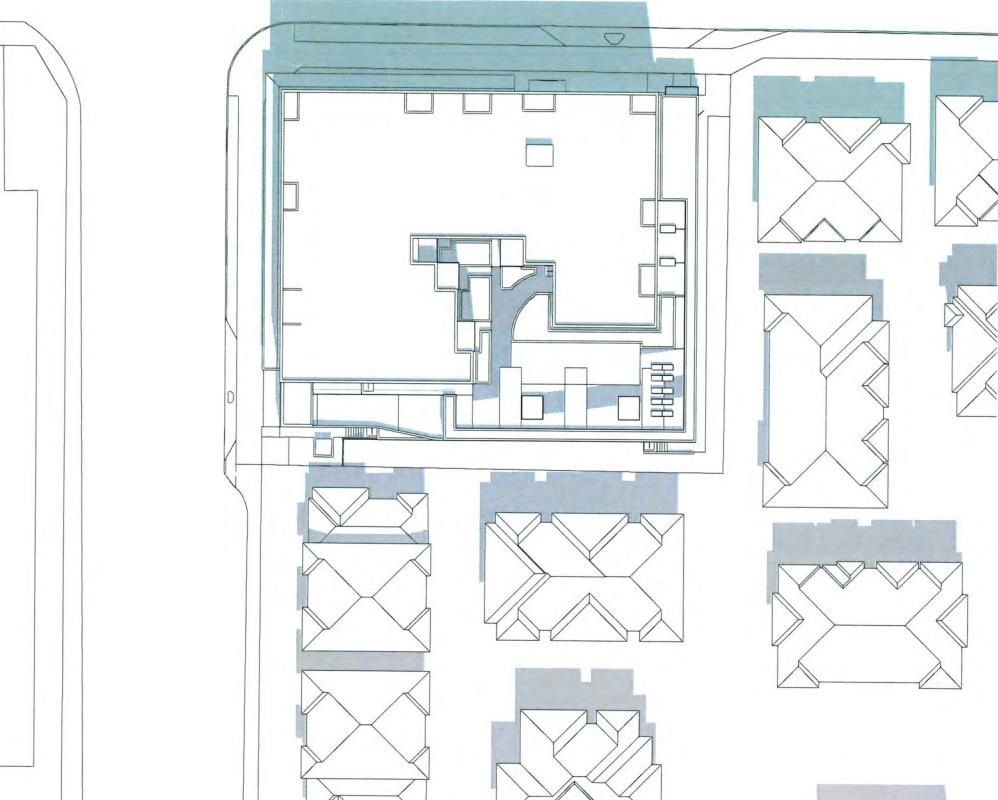
[PROJECT TEAM]

- 1 - 2023.10.27 - RZ/DP ISSUE 1.0
- 2 - 2024.03.14 - RZ/DP ISSUE 2.0  
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- 9 - 2025.10.22 - RZ/DP ISSUE 9.0
- 10 - 2025.10.22 - RZ/DP ISSUE 10.0
- 11 - 2025.10.27 - RZ/DP ISSUE 11.0



1 June 21st @ 9:00

SCALE: 1/32" = 1'-0"



2 June 21st @ 12:00

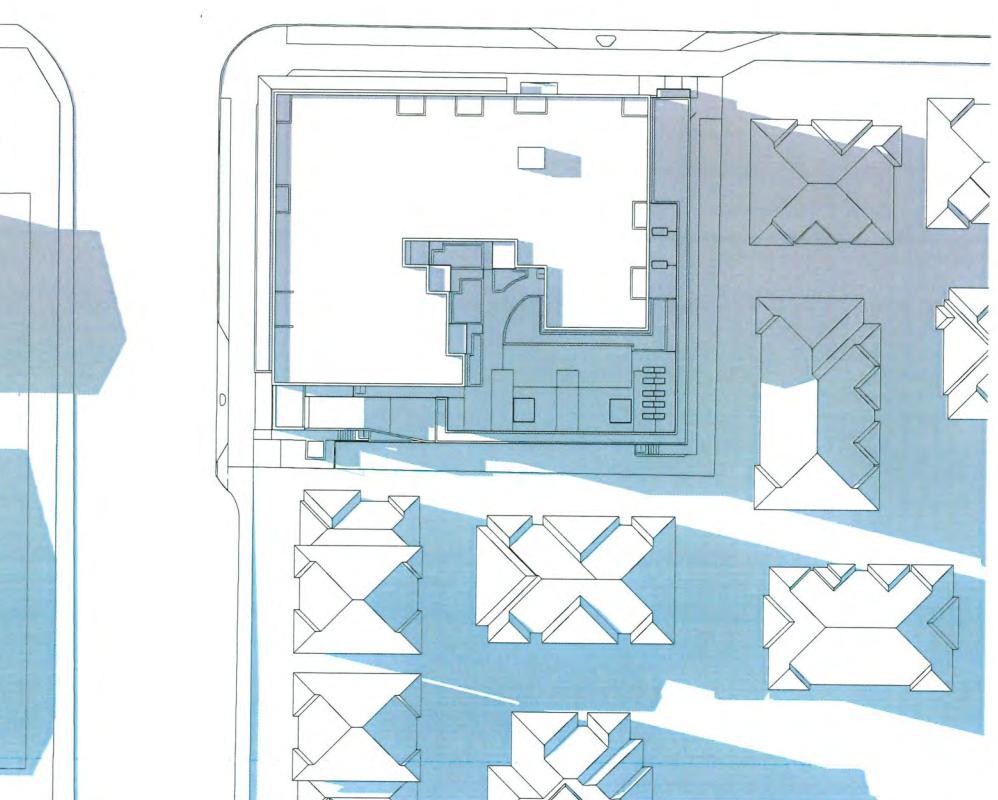
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**DP 23-033716**  
**November 17, 2025**  
**Reference Plan**



3 June 21st @ 15:00

SCALE: 1/32" = 1'-0"



4 June 21st @ 18:00

SCALE: 1/32" = 1'-0"

**PANATCH GROUP**  
PROPERTIES • CAPITAL • FOUNDATION



PANATCH GROUP

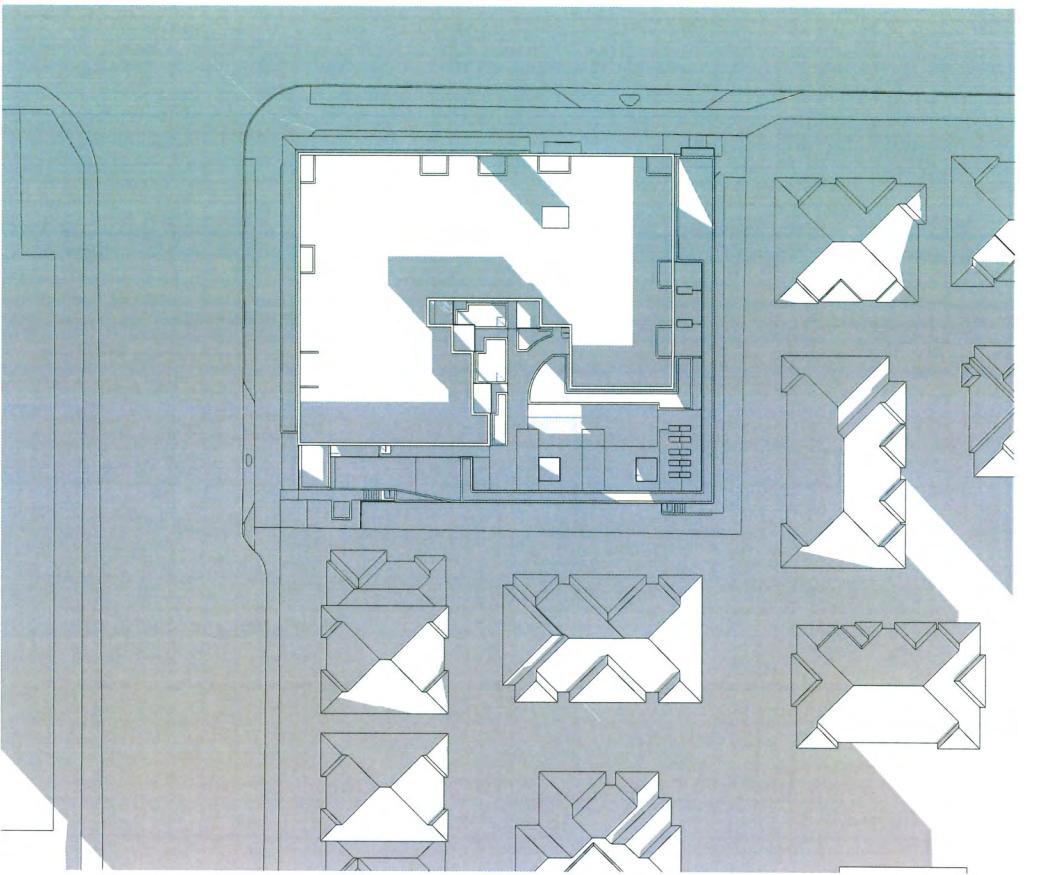
**Mixed Use Rental  
Building**

9000, No.3 Road  
Richmond, BC

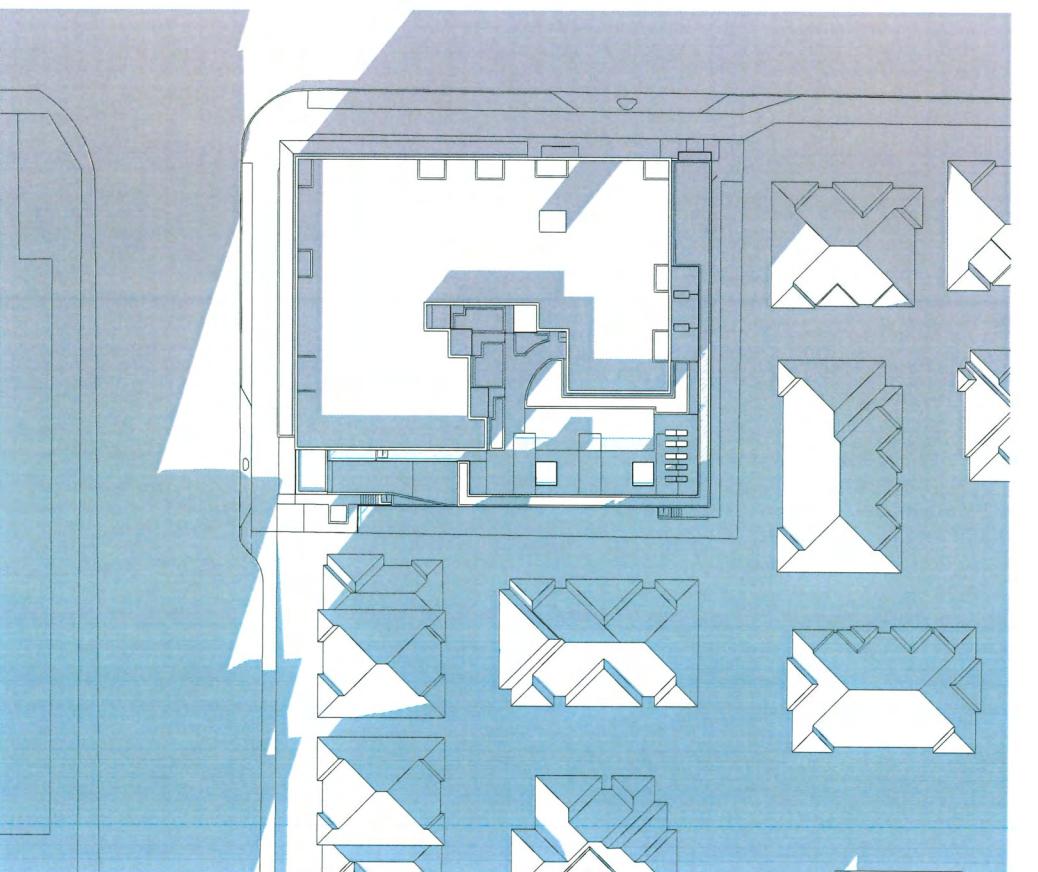
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June 21st**

23625  
[SCALE]  
Monday, October 27, 2025 [DATE]  
DP (ISSUE 11.0) [ISSUE]

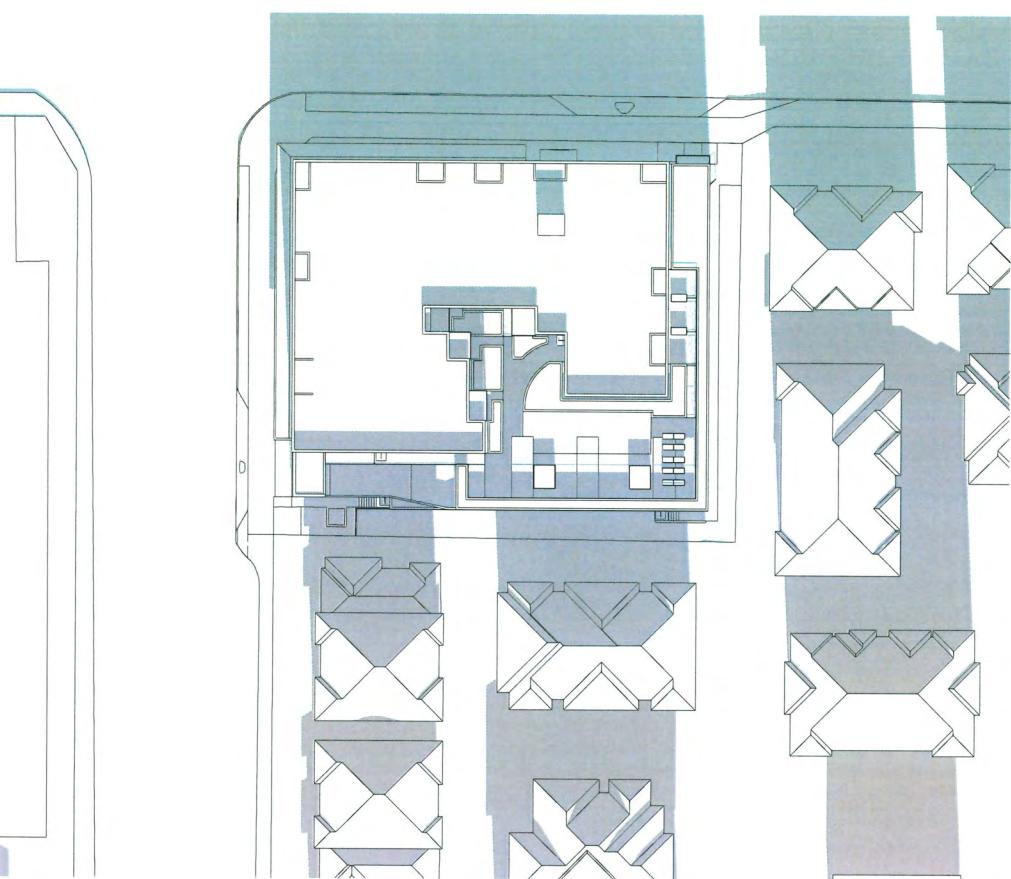
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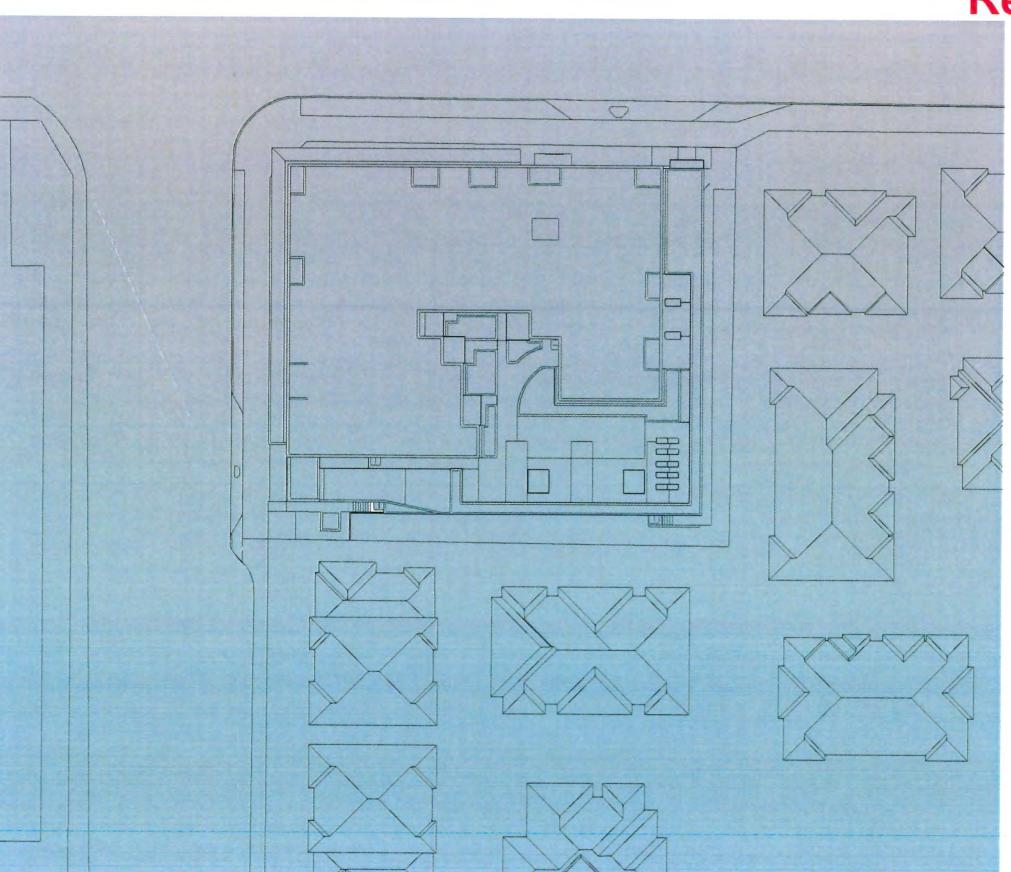
1 December 21st @ 9:00  
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2 December 21st @ 12:00  
SCALE: 1/32" = 1'-0"



3 December 21st @ 15:00  
SCALE: 1/32" = 1'-0"



4 December 21st @ 18:00  
SCALE: 1/32" = 1'-0"



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(Change in development scope)  
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11 - 2025.10.27 - RZ/DP ISSUE 11.0

**DP 23-033716**  
**November 17, 2025**  
**Reference Plan**



PANATCH GROUP

[PROJECT]  
Mixed Use Rental Building

9000, No.3 Road  
Richmond, BC

[TITLE]  
Shadow Study - December 21st

23625 [PROJECT]

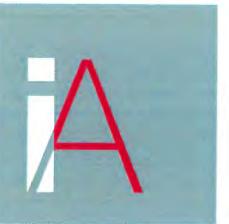
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Monday, October 27, 2025 [DATE]

DP (ISSUE 11.0) [ISSUE]

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**A-7.330**



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- 1 - 2025.10.27 - RZ/DP ISSUE 11.0

**DP 23-033716**  
**November 17, 2025**  
**Reference Plan**

**Note : Aging-in-Place Features Provided**

- a. Stairwell Handrails
- b. Lever type handles for plumbing fixtures and door handles
- c. Solid blocking in washroom walls for future grab bars beside toilet, bath tub and shower

**Basic Universal Housing Features**

- 100% units meet basic universal housing(BUH) requirement.

**Door & Doorways**

- a) The minimum clear opening for all entry doors to every dwelling unit and common areas shall be no less than 850 mm which may be provided by a swing door
- b) The minimum clear opening for the interior doors to at least one bedroom, one accessible bathroom and one common living areas in every dwelling unit shall be no less than 800 mm which will be provided by a swing door,
- c) Flush thresholds throughout the building shall be a maximum of 13.0 mm in height.
- d) All interior thresholds within units comply BC building code.
- e) Lever-type handles for all doors.

**Maneuvering Space at Doorways**

- a) Where the door swings toward the area (pull door), 1500.0 mm long by the width of the door plus at least 600.0 mm clear space on the latch side, as illustrated in Figure 2 below. This requirement to apply to door assemblies to one bathroom and one bedroom in 2 bedroom and larger dwelling units.



- b) Where the door swings away from the area (push door), 1220.0 mm long by the width of the door plus at least 300.0 mm clear space on the latch side, as illustrated in Figure 3 below. This requirement to apply to door assemblies to common living areas in every dwelling unit, one bathroom and one bedroom in 2 bedroom and larger dwelling units.



- c) Where there are doors in a series in common areas, there must be separation of at least 1220.0 mm plus the width of the door.



**Corridor Widths**

- Common corridors shall be no less than 1220.0 mm wide and provide a clear area not less than 1500.0 mm adjacent to 1500.0 mm adjacent to the elevator entrance.

**Bathroom**

- a) At least one bathroom shall:
  - i) have a toilet positioned on the centre line of the toilet 420.0 mm from a side wall on which a grab bar can be installed and at least 510.0 mm from any obstruction on the non-grab bar side;
  - ii) have a clear floor area at the sink of 760.0 mm by 1220.0 mm positioned for a parallel approach and centred on the sink, as illustrated in Figure 5 below;



- c) have a minimum clear area of 510.0 mm in depth along the full length of the bathtub, as illustrated in Figure 6 below.



- d) have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars; and

- e) include easy to grasp handles on faucets, e.g. lever-type faucets.

**Kitchen**

- The kitchen must have:
  - a) some useable counter space and cupboards that can be easily accessed by people with disabilities, including people with wheelchairs, e.g. continuous counter between the stove and sink; adjustable shelves in all cabinets pull-out work boards at 810.0 mm height; and pull-out cabinet shelves;
  - b) easy to grasp handles on faucets, e.g., lever-type faucets;
  - c) easy to grasp handles on cupboards, e.g., D or J type cabinet handles and grab edges under counters;
  - d) task lighting at sink, stove and key work areas; and
  - e) plumbing and utility pipes located to provide a potential 810.0 mm wide under counter route, every effort must be taken to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.

**Bedroom & Closet**

- a) The space around a bed in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500.0 mm on one side of a double bed.
- b) The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 900.0 mm, clear floor space of at least 750.0 mm by 1200.0 mm and a clothes hanger rod that can be lowered to 1200.0 mm.

**Patios & Balconies**

- a) Access doors shall have a minimum clear opening of 800.0 mm.
- b) Minimum dimensions of any balcony shall be 1500.0 mm by 1500.0 mm. This requirement does not apply to "Juliet" or "French" style of balcony or patio.
- c) Light switches and electrical panels shall be 900.0 to 1200.0 mm from the floor. Intercom buttons shall be a maximum 1375.0 mm from the floor;
- d) Electrical outlets, cable outlets and telephone jacks shall be located 450.0 mm to 1200.0 mm from the floor.
- e) Thermostats shall be located between 800.0 mm to 1200.0 mm from the floor.
- f) The controllable part of controls shall be located within reach of a clear floor area that has a width of not less than 750.0 mm.
- g) Light switches will be rocker or paddle-type switches.

**Windows**

- a) Windows which are accessible shall have a window sill height that does not exceed 750.0 mm above the floor, and afford easy access. At least one window in the bedroom and one window in the living room shall have a clear seated view.
- b) Windows which are accessible shall have opening mechanisms operable with one hand and of a type that does not require tight grasping, pinching or twisting of the unit.

**Floor Surfaces**

- a) Floor surfaces throughout the building shall have no abrupt changes in level, i.e., a maximum break of the flush threshold of 13.0 mm height. This requirement does not apply to exterior balcony, patio and deck door sill.
- b) Floor surfaces shall be slip resistant.
- c) Where carpets are used, they must be firmly fixed, have a firm underlay and pile under 15.0 mm height.



PANATCH GROUP

Mixed Use Rental Building

3000, No.3 Road  
Richmond, BC

Unit Plans

23625 [PROJECT]

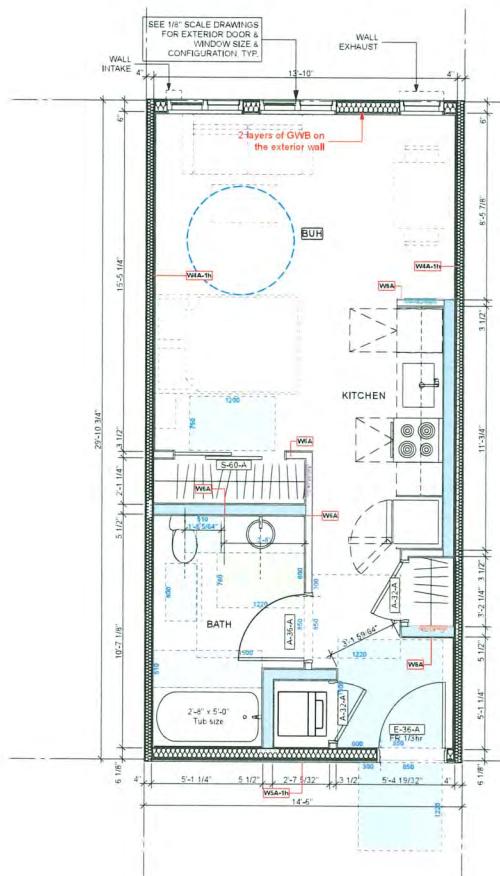
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Monday, October 27, 2025 [DATE]

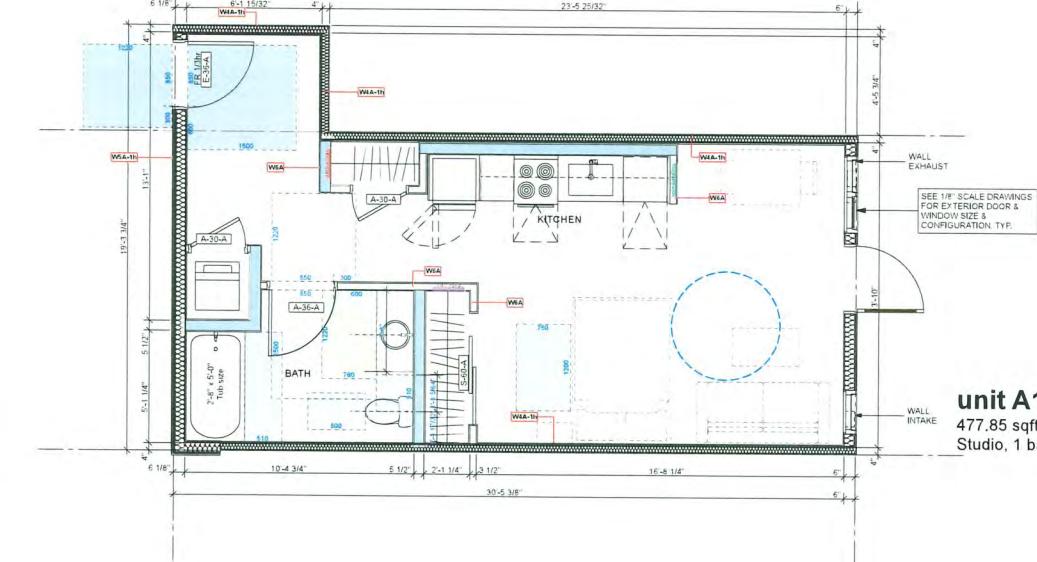
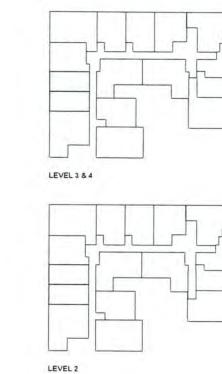
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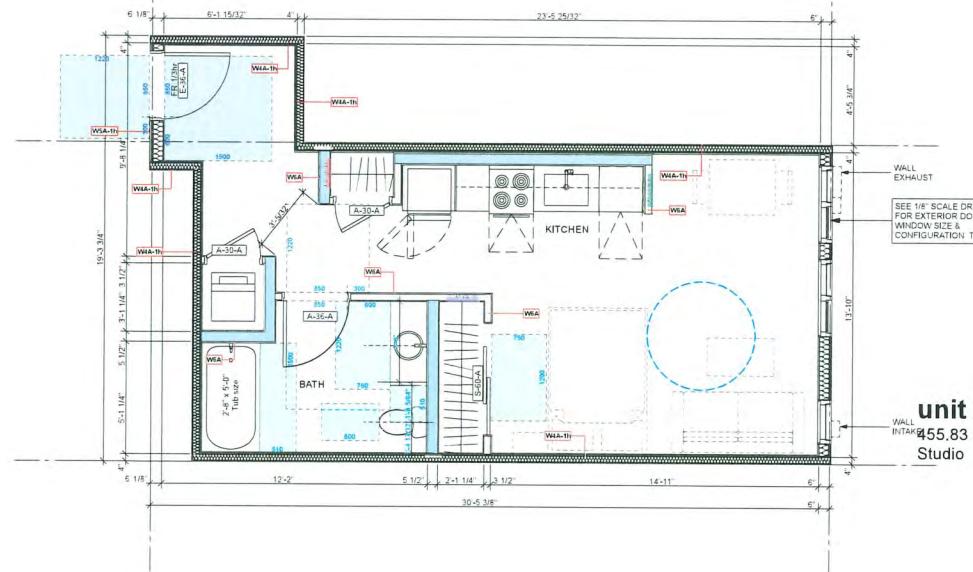
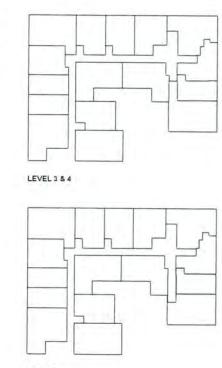
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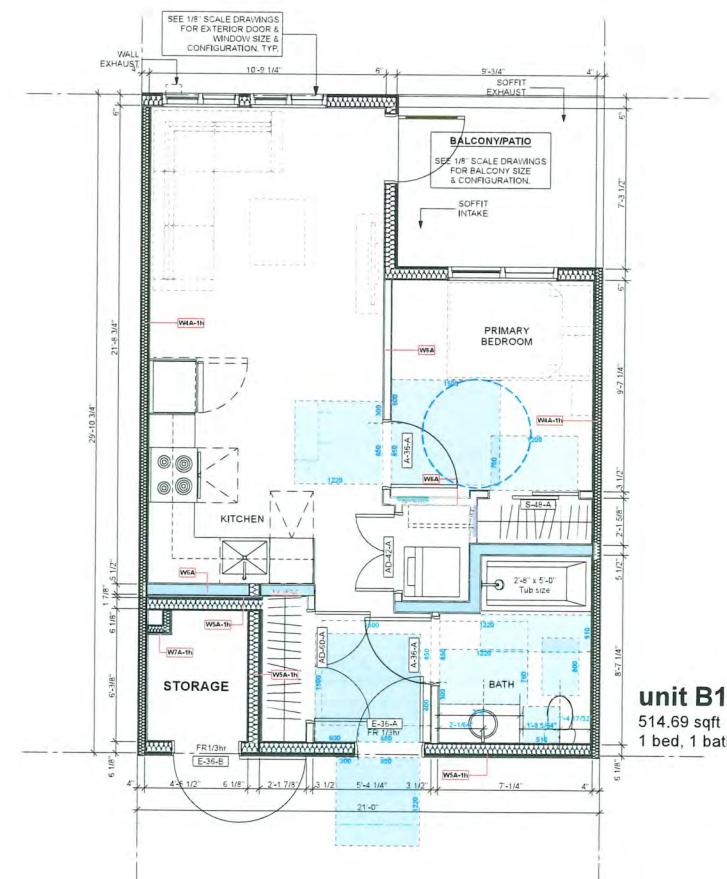
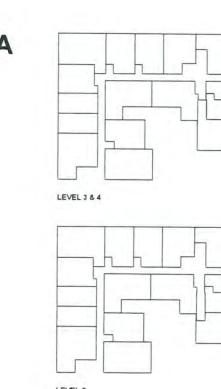
**unit A1**  
430.17 sqft  
Studio



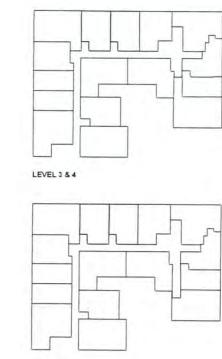
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Studio, 1 bath

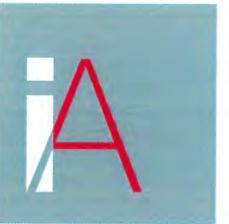


**unit A1-A**  
455.83 sqft  
Studio



**unit B1**  
514.69 sqft  
1 bed, 1 bath





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- 0 - 2025.10.22 - RZ/DP ISSUE 10.0
- 1 - 2025.10.27 - RZ/DP ISSUE 11.0

**DP 23-033716**  
**November 17, 2025**  
**Reference Plan**

PANATCH GROUP  
PROPERTIES - CAPITAL - FOUNDATION



[CLIENT]

PANATCH GROUP

[PROJECT]

**Mixed Use Rental Building**  
3000, No.3 Road  
Richmond, BC

[TITLE]

**Unit Plans**

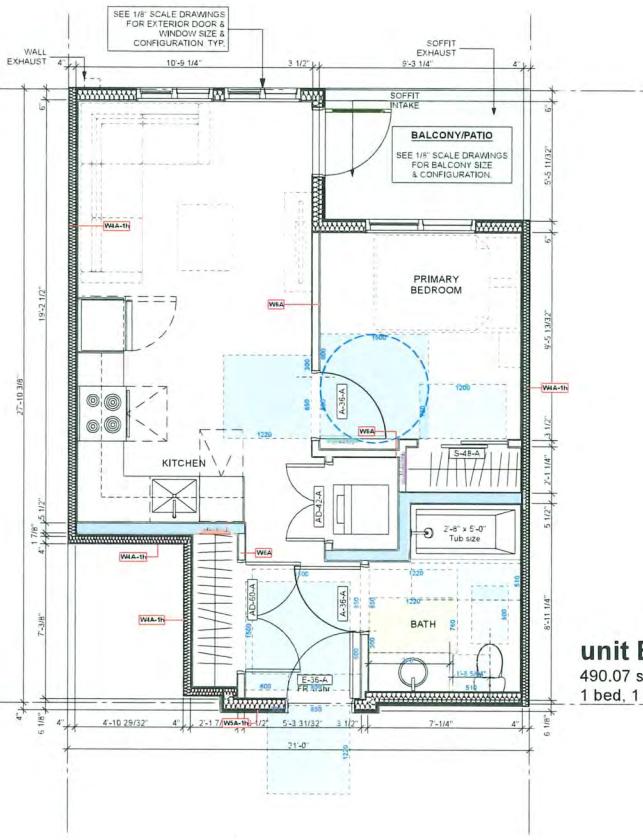
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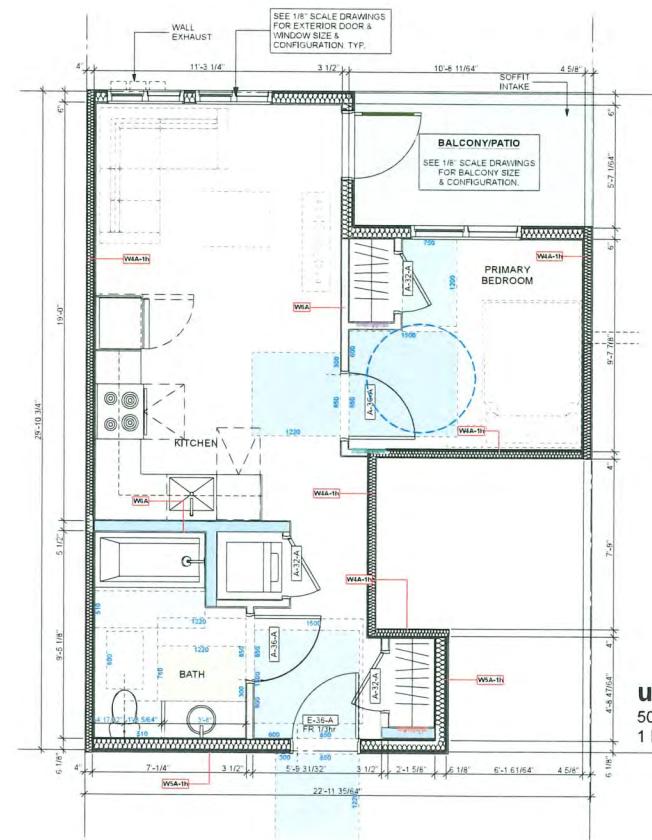
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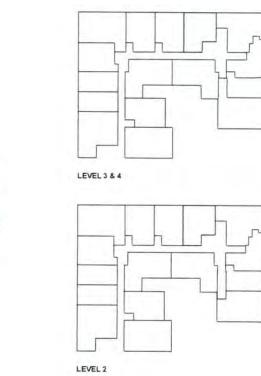
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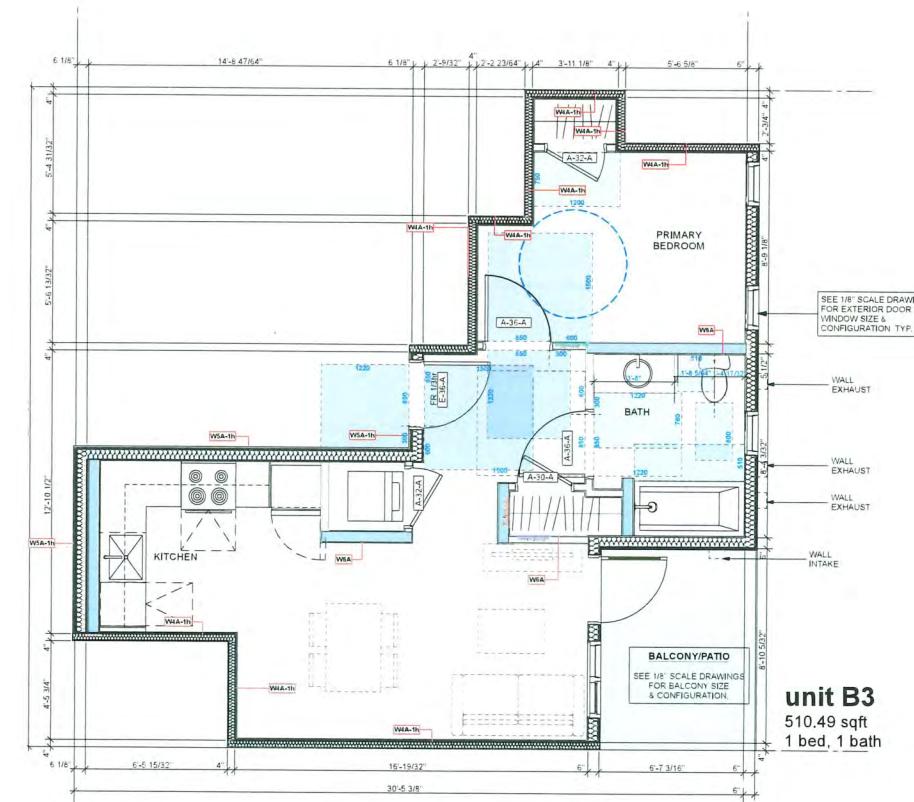
**unit B1-A**  
490.07 sqft  
1 bed, 1 bath



**unit B2**  
503.28 sqft  
1 bed, 1 bath



**unit B1-b**  
518.47 sqft  
1 bed, 1 bath



**unit B3**  
510.49 sqft  
1 bed, 1 bath

**Note : Aging-in-Place Features Provided**

- a. Stairwell Handrails
- b. Lever type handles for plumbing fixtures and door handles
- c. Solid blocking in washroom walls for future grab bars beside toilet, bath tub and shower

**Basic Universal Housing Features**

-100% units meet basic universal housing(BUH) requirement.

**Door & Doorways**

- a) The minimum clear opening for all entry doors to every dwelling unit and common areas shall be no less than 850 mm and provided by a swing door
- b) The minimum clear opening for the interior doors to at least one bedroom, one accessible bathroom and to common living areas in every dwelling unit shall be no less than 800.0 mm which will be provided by a swing door.
- c) Flush thresholds throughout the building shall be a maximum of 13.0 mm in height.
- d) All interior thresholds within units comply BC building code.
- e) Lever-type handles for all doors.

**Maneuvering Space at Doorways**

- a) Where the door swings toward the area (pull door), 1500.0 mm long by the width of the door plus at least 600.0 mm clear space on the latch side, as illustrated in Figure 2 below. This requirement to apply to door assemblies to one bathroom and one bedroom in 2 bedroom and larger dwelling units.



- b) Where the door swings away from the area (push door), 1220.0 mm long by the width of the door plus at least 300.0 mm clear space on the latch side, as illustrated in Figure 3 below. This requirement to apply to door assemblies to common living areas in every dwelling unit, and one bathroom and one bedroom in 2 bedroom and larger dwelling units.



- b) Where there are doors in a series in common areas, there must be separation of at least 1220.0 mm plus the width of the door

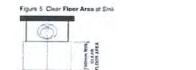


**Corridor Widths**

- Common corridors shall be no less than 1220.0 mm wide and provide a clear area not less than 1500.0 mm by 1500.0 mm adjacent to the elevator entrance.

**Bathroom**

- At least one bathroom shall:
- a) have a toilet positioned with the centre line of the toilet 420.0 mm to 480.0 mm from a side wall on which a grab bar shall be installed and at least 510.0 mm from any obstruction on the non-grab bar side and at least 800.0 mm from any obstruction on the side of the toilet; and
  - b) have a clear floor area at the sink of 760.0 mm by 1220.0 mm positioned for a parallel approach and centred on the sink, as illustrated in Figure 5 below.



- c) have a minimum clear area of 510.0 mm in depth along the full length of the bathtub, as illustrated in Figure 6 below.



- d) have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars; and

- e) include easy to grasp handles on faucets, e.g., lever-type faucets.

**Kitchen**

- The kitchen must have:
- a) some usable counter space and cupboards that can be easily accessed by people with disabilities, including people with wheelchairs, e.g., continuous counter between the stove and sink; adjustable shelves in all cabinets; pull-out work boards at 810.0 mm height; and pull-out cabinet shelves;
  - b) easy to grasp handles on faucets, e.g., lever-type faucets;
  - c) easy to grasp handles on cupboards, e.g., D or J type cabinet handles and grab edges under counters;
  - d) task lighting at sink, stove and key work areas; and
  - e) plumbing and utility pipes located to provide for a potential 110.0 mm wide under counter space, if necessary to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.

**Bedroom & Closets**

- a) The space around a bed in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500.0 mm on one side of a double bed.
- b) The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 900.0 mm, clear floor space of at least 750.0 mm by 1200.0 mm and a clothes hanger rod that can be lowered to 1200.0 mm.

**Patios & Balconies**

- a) Access doors shall have a minimum clear opening of 800.0 mm.
- b) Minimum dimensions of any balcony or patio shall be 1500.0 mm by 1500.0 mm. This requirement does not apply to "Juliet" or "French" style balcony or patio.
- c) Light switches and electrical panels shall be 900.0 to 1200.0 mm from the floor. Intercom buttons shall be a maximum 1375.0 mm from the floor.
- d) Electrical outlets, cable outlets and telephone jacks shall be located 455.0 mm to 1200.0 mm from the floor.
- e) Thermostats shall be located between 850.0 mm to 1200.0 mm from the floor.
- f) The controllable part of controls shall be located within reach of a clear floor area that has a type of not less than 750.0 mm.
- g) Light switches will be rocker or paddle-type switches.

**Windows**

- a) Windows which are accessible shall have a window sill height that does not exceed 750.0 mm above the floor and afford a clear view. At least one window in the bedroom and one window in the living room shall have such a view.
- b) Windows which are accessible shall have opening mechanisms operable with one hand and of a type that does not require tight grasping, pinching or twisting of the unit.

**Floor Surfaces**

- a) Floor surfaces throughout the building shall have no abrupt changes in level, i.e., a maximum break of the flush threshold of 13.0 mm height. This requirement does not apply to exterior balcony, patio and deck door sill.
- b) Floor surfaces shall be slip resistant.
- c) Where carpets are used, they must be firmly fixed, have a firm underlay and pile under 15.0 mm height.



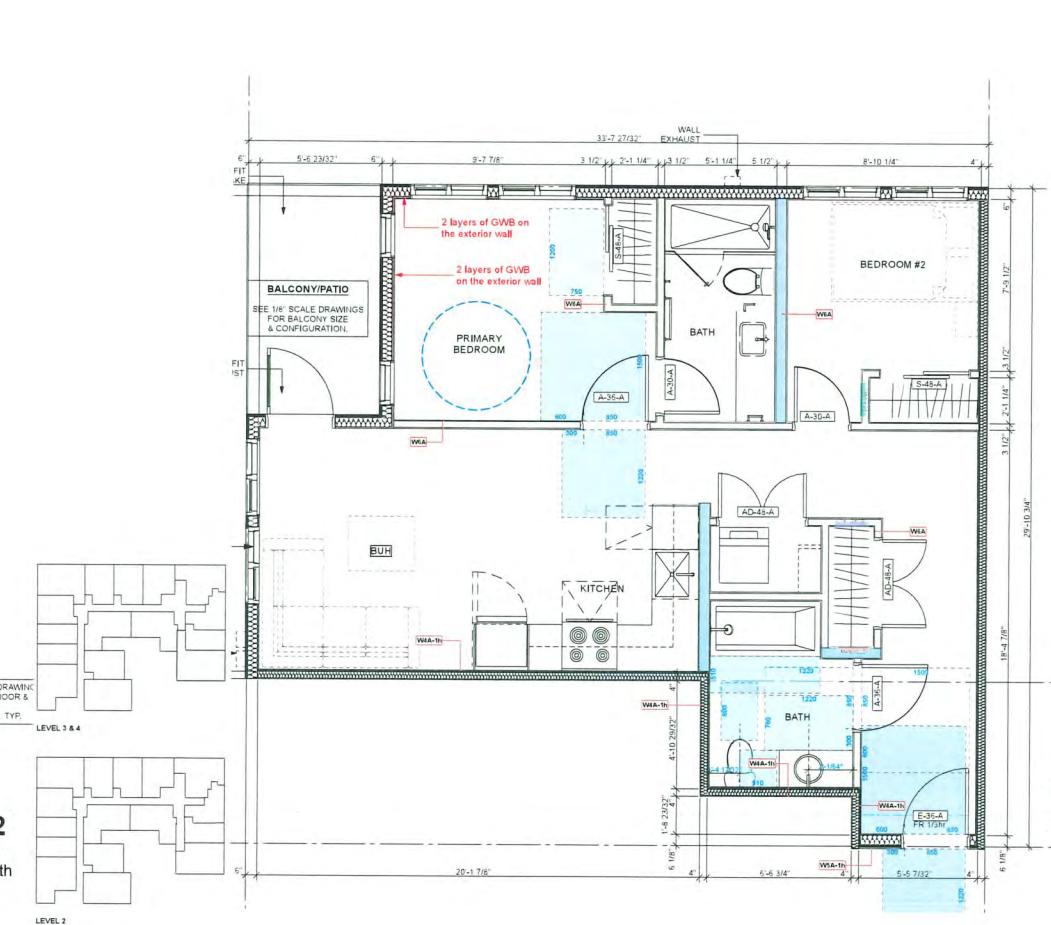
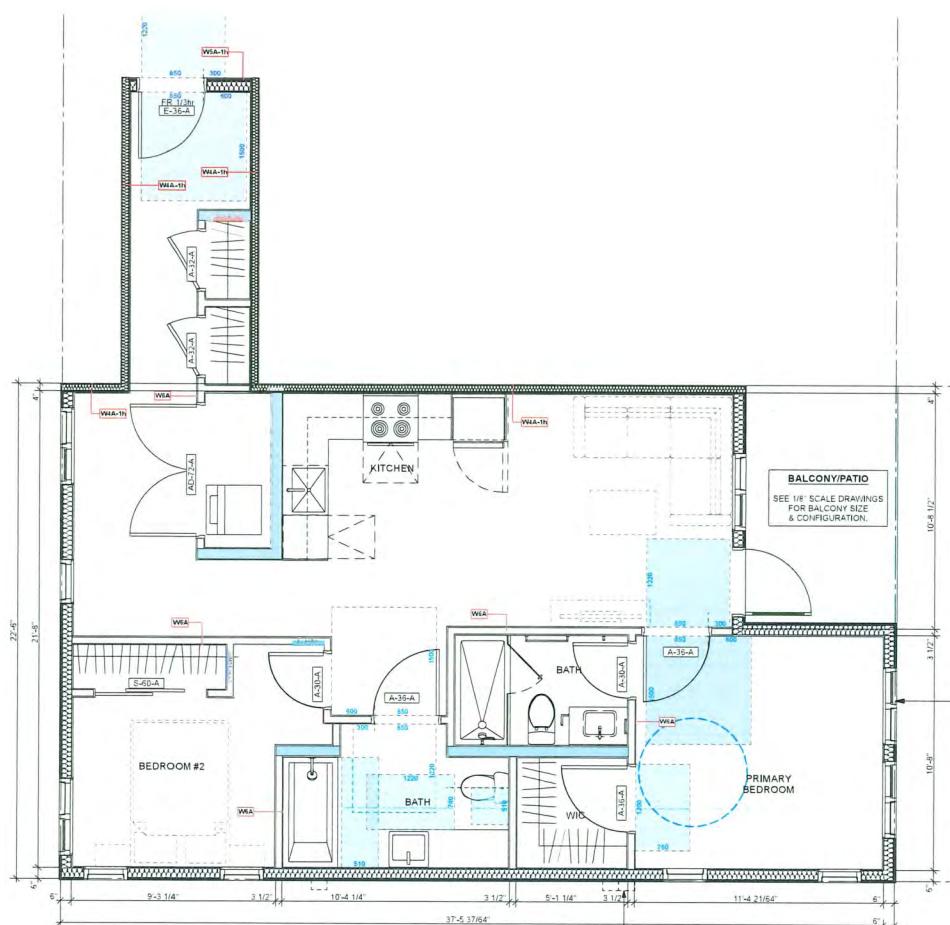
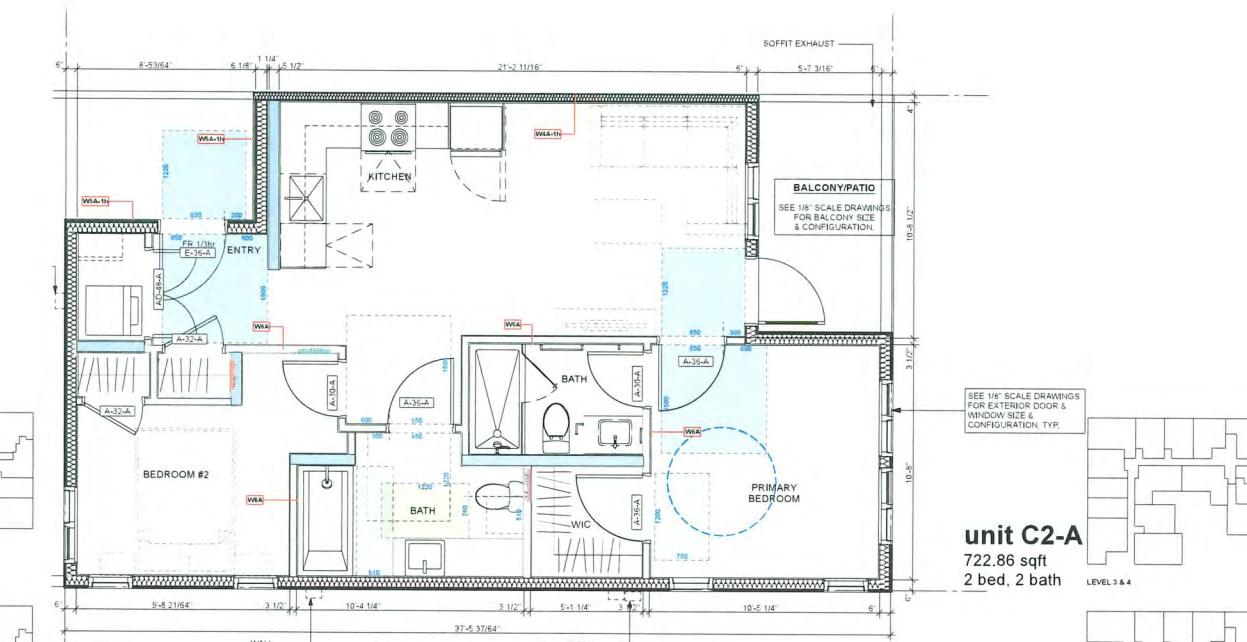
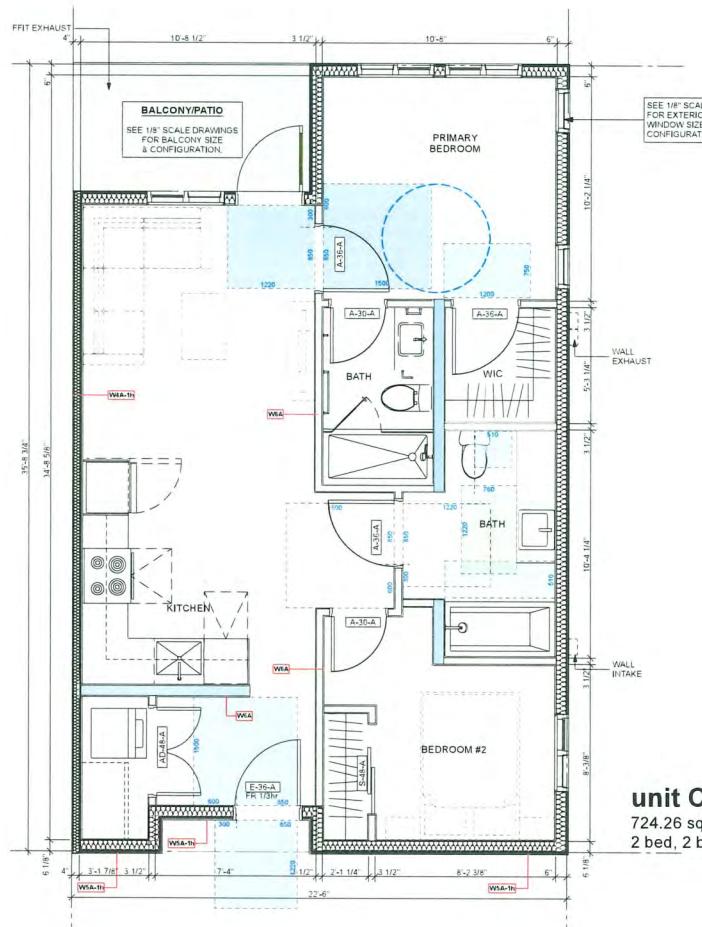
Integra  
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[PROJECT TEAM]  
1 - 2023.10.17 - RZ/DP ISSUE 1.0  
2 - 2024.03.14 - RZ/DP ISSUE 2.0  
(Change in development scope)  
3 - 2024.10.18 - RZ/DP ISSUE 3.0  
- 2025.02.27 - RZ/DP ISSUE 4.0  
- 2025.07.09 - RZ/DP ISSUE 5.0  
- 2025.09.20 - RZ/DP ISSUE 6.0  
- 2025.10.07 - RZ/DP ISSUE 8.0  
- 2025.10.22 - RZ/DP ISSUE 9.0  
0 - 2025.10.22 - RZ/DP ISSUE 10.0  
1 - 2025.10.27 - RZ/DP ISSUE 11.0

**DP 23-033716**  
**November 17, 2025**  
**Reference Plan**



**Note : Aging-in-Place Features**  
a. Stairwell Handrails  
b. Lever type handles for plumbing fixtures and door handles  
c. Solid blocking in washroom walls for future grab bars beside toilet, bath tub and shower

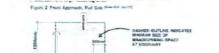
**Basic Universal Housing Features**  
-100% units meet basic universal housing(BUH) requirement.

**Door & Doorways**

- a) The minimum clear opening for all entry doors to every dwelling unit and common areas shall be no less than 850 mm which will be provided by a swing door
- b) The minimum clear opening for the interior doors to at least one bedroom, one accessible bathroom and to common living areas in every dwelling unit shall be no less than 800 mm which will be provided by a swing door.
- c) Flush thresholds throughout the building shall be a maximum of 13.0 mm in height.
- d) All interior thresholds within units comply BC building code.
- e) Lever-type handle for all doors.

**Maneuvering Space at Doorways**

- a) Where the door swings toward the area (pull door), 1500.0 mm long by the width of the door plus at least 600.0 mm clear space on the latch side, as illustrated in Figure 2 below. This requirement to apply to door assemblies to one bathroom and one bedroom in 2 bedroom and larger dwelling units.



- b) Where the door swings away from the area (push door), 1220.0 mm long by the width of the door plus at least 300.0 mm clear space on the latch side, as illustrated in Figure 3 below. This requirement to apply to door assemblies to common living areas in every dwelling unit, and one bathroom and one bedroom in 2 bedroom and larger dwelling units.



- b) Where there are doors in a series in common areas, there must be separation of at least 1220.0 mm plus the width of the door.



**Corridor Widths**

- Common corridors shall be no less than 1220.0 mm wide and provide a clear area not less than 1500.0 mm by 1500.0 mm adjacent to the elevator entrance.

**Bathroom**

- At least one bathroom shall:
  - a) have a toilet positioned with the centre line of the toilet 420.0 mm from a side wall on which a grab bar can be installed and at least 510.0 mm from any obstruction on the non-grab bar side and at least 300.0 mm from any obstruction from the toilet; and
  - b) have a clear floor area at the sink of 760.0 mm by 1220.0 mm positioned for a parallel approach and centred on the sink, as illustrated in Figure 5 below.



- c) have a minimum clear area of 510.0 mm in depth along the full length of the bathtub, as illustrated in Figure 6 below.



- d) have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars; and
- e) include easy to grasp handles on faucets, e.g. lever-type faucets.

**Kitchen**

- The kitchen must have:
  - a) accessible counter space and cupboards that can be easily accessed by people with disabilities, including people with wheelchairs, e.g. continuous counter between the stove and sink, adjustable shelves in all cabinets, pull-out work boards at 810.0 mm height; and pull-out cabinet shelves;
  - b) easy to grasp handles on faucets, e.g. lever-type faucets;
  - c) easy to grasp handles on cupboards, e.g. D or J type cabinet handles and grab edges under counters;
  - d) task lighting at sink, stove and key work areas; and
  - e) plumbing and utility pipes located to provide for a potential 610.0 mm wide under counter workspace so as not to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.

**Bedroom & Closet**

- a) The space around a bed in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500.0 mm on one side of a double bed;
- b) The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 900.0 mm, clear floor space at least 750.0 mm by 1200.0 mm and a clothes hanger rod that can be lowered to 1200.0 mm.

**Patios & Balconies**

- a) Light switches and electrical panels shall be 900.0 to 1200.0 mm from the floor. Intercom buttons shall be a maximum 1375.0 mm from the floor;
- b) Electrical outlets, cable outlets and telephone jacks shall be located 495.0 mm to 1200.0 mm from the floor;
- c) Thermostats shall be located between 900.0 mm to 1200.0 mm from the floor;
- d) The remote part of controls shall be located within reach of a clear floor area that has a width of not less than 750.0 mm;
- e) Light switches will be rocker or paddle-type switches.

**Outlets and Switches**

- a) Windows which are accessible shall have a window sill height that does not exceed 750.0 mm above the floor to afford seated viewing. At least one window in the bedroom and one window in the living room shall be accessible seated;

- b) Windows which are accessible shall have opening mechanisms operable with one hand and of a type that does not require tight grasping, pinching or twisting of the unit.

**Floor Surfaces**

- a) Floor surfaces throughout the building shall have no abrupt changes in level, i.e., a maximum break of the flush threshold of 13.0 mm height. This requirement does not apply to exterior balcony, patio and deck door sills;
- b) Floor surfaces shall be slip resistant;
- c) Where carpets are used, they must be firmly fixed, have a firm underlay and pile under 13.0 mm height.



**PANATCH GROUP**

**Mixed Use Rental Building**

3000, No.3 Road  
Richmond, BC

[PROJECT]

**Unit Plans**

**23625**

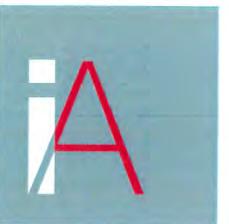
**1' = 1'-0"**

**Monday, October 27, 2025**

**DP (ISSUE 11.0)**

**DRAWING**

**A-3.103**



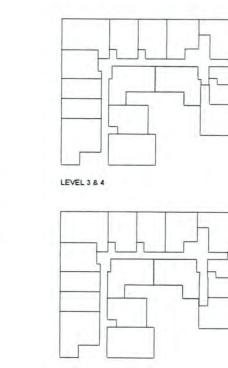
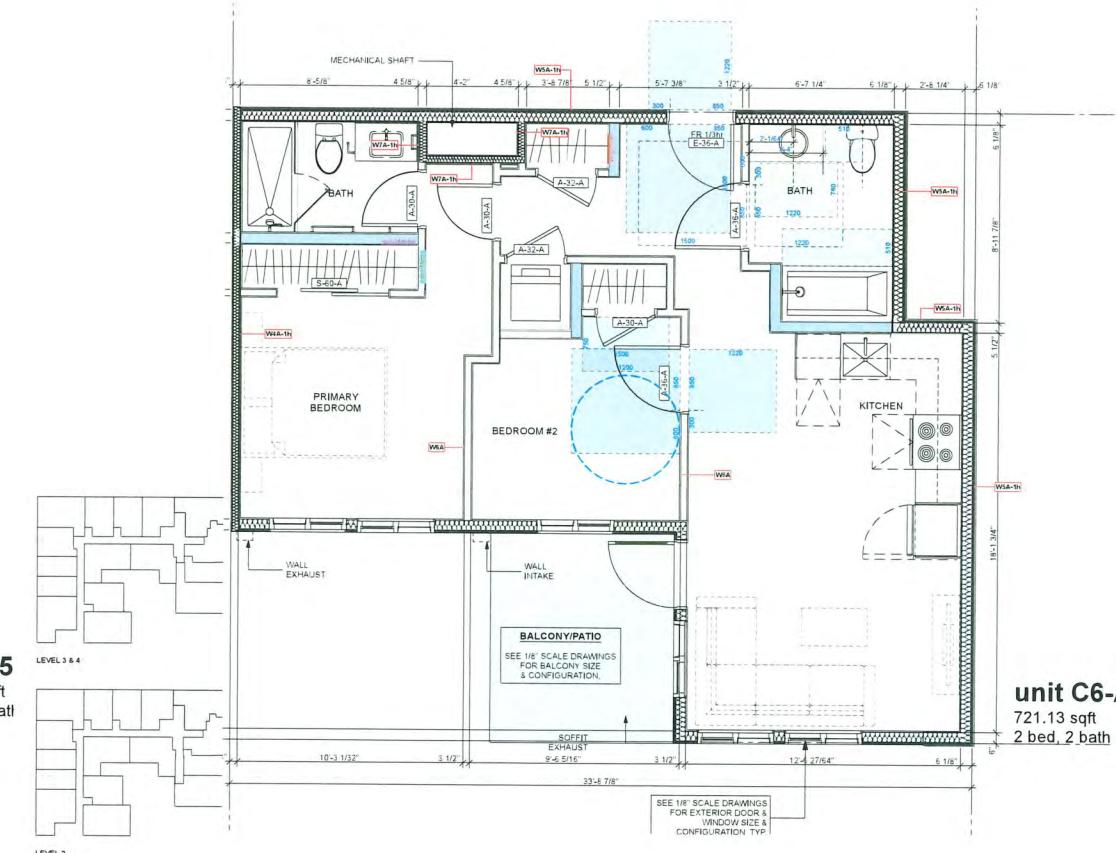
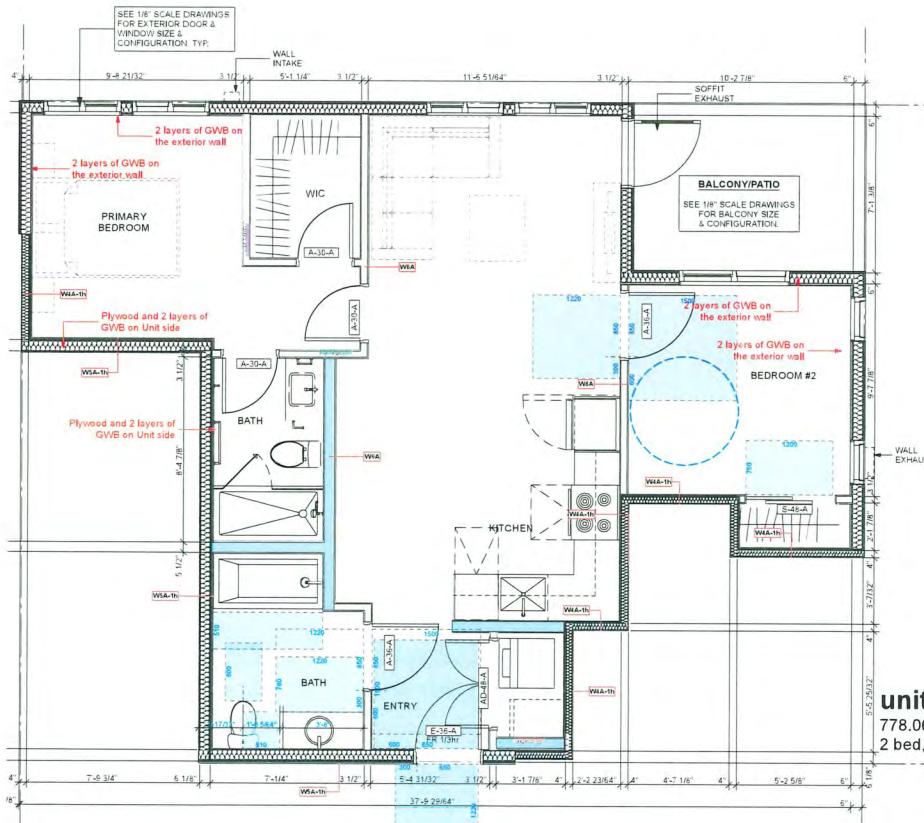
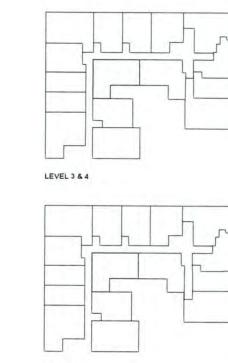
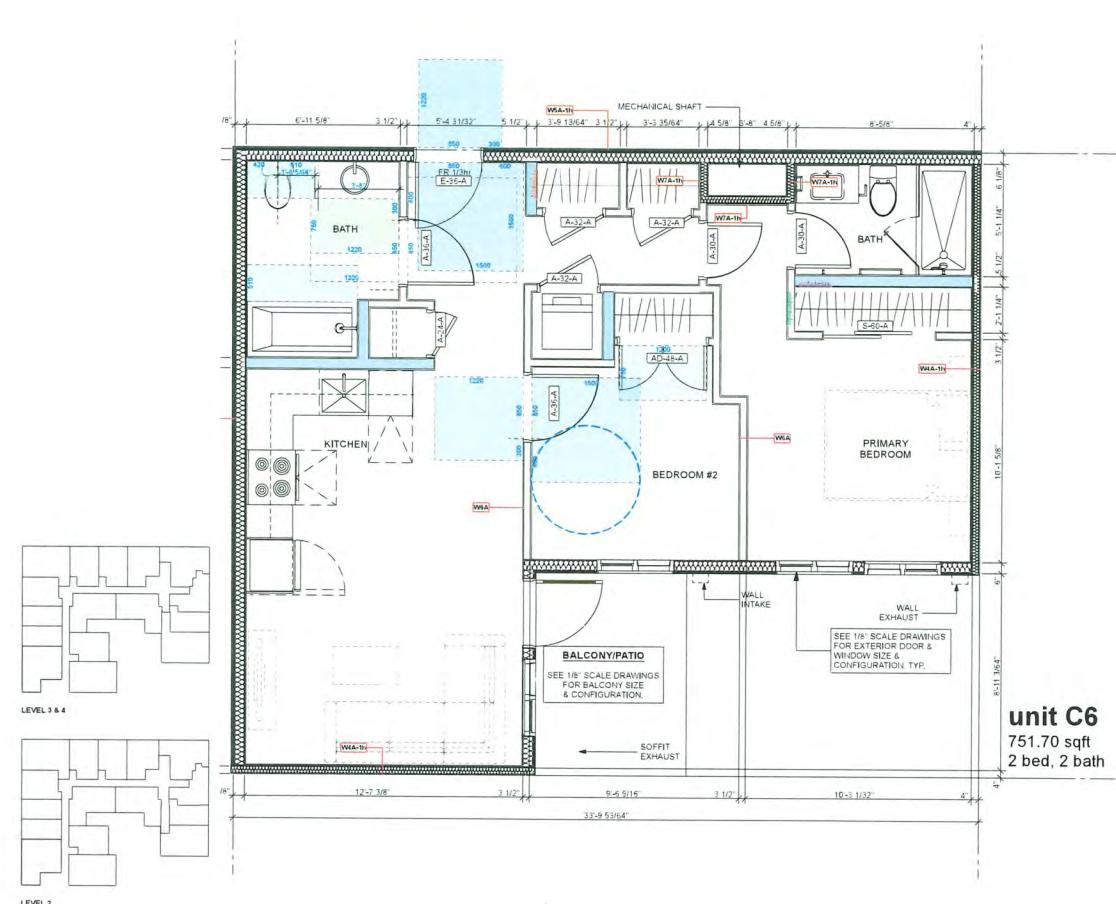
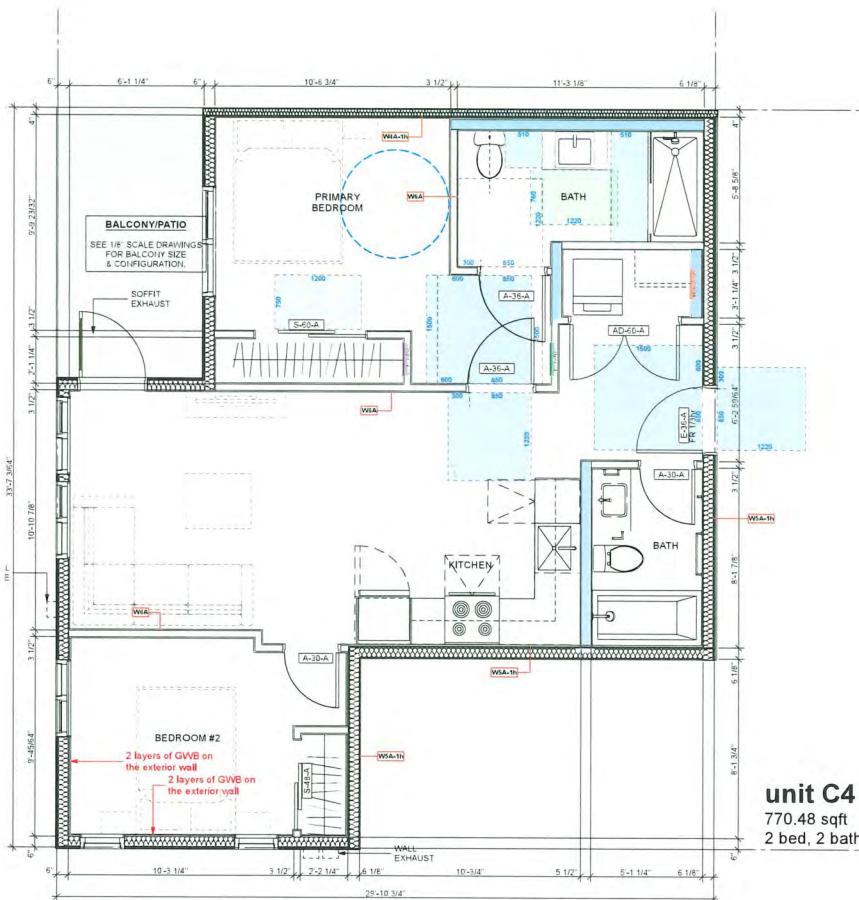
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[PROJECT TEAM]  
1 - 2023.10.27 - RZ/DP ISSUE 1.0  
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- 2025.08.29 - RZ/DP ISSUE 7.0  
- 2025.10.09 - RZ/DP ISSUE 8.0  
- 2025.10.22 - RZ/DP ISSUE 9.0  
0 - 2025.10.22 - RZ/DP ISSUE 10.0  
1 - 2025.10.27 - RZ/DP ISSUE 11.0

**DP 23-033716**  
**November 17, 2025**  
**Reference Plan**



**Note : Aging-in-Place Features**  
a. Stairwell Handrails  
b. Lever type handles for plumbing fixtures and door handles  
c. Solid blocking in washroom walls for future grab bars beside toilet, bath tub and shower

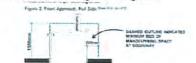
**Basic Universal Housing Features**  
-100% units meet basic universal housing(BUH) requirement.

**Door & Doorways**

- The minimum clear opening for all entry doors to every dwelling unit and common areas shall be no less than 850 mm, which will be provided by a swing door.
- The minimum clear opening for the interior doors to at least one bedroom, one accessible bathroom and to common living areas in every dwelling unit shall be no less than 800 mm, which will be provided by a swing door.
- Flush thresholds throughout the building shall be a maximum of 13.0 mm in height.
- All interior thresholds within units comply BC building code.
- Lever-type handle for all doors.

**Maneuvering Space at Doorways**

- Where the door swings toward the area (pull door), 1500.0 mm long by the width of the door plus at least 600.0 mm clear space on the latch side, as illustrated in Figure 2 below. This requirement to apply to door assemblies to one bathroom and one bedroom in 2 bedroom and larger dwelling units.



- Where the door swings away from the area (push door), 1220.0 mm long by the width of the door plus at least 300.0 mm clear space on the latch side, as illustrated in Figure 3 below. This requirement to apply to door assemblies to common living areas in every dwelling unit, and one bathroom and one bedroom in 2 bedroom and larger dwelling units.



- Where there are doors in a series in common areas, there must be separation of at least 1220.0 mm plus the width of the door.



**Corridor Widths**

- Common corridors shall be no less than 1220.0 mm wide and provide a clear area not less than 1500.0 mm by 1500.0 mm adjacent to the elevator entrance.

**Bathroom**

- At least one bathroom shall:
  - have a toilet positioned with the centre line of the toilet 420.0 mm to 480.0 mm from a side wall on which a grab bar can be installed, and a clear 510.0 mm from any obstruction on the non-grab bar side and at least 800.0 mm from any obstruction in front of the toilet; and
  - have a clear floor area at the sink of 760.0 mm by 1220.0 mm positioned for a parallel approach and centred on the sink, as illustrated in Figure 5 below;



- have a minimum clear area of 510.0 mm in depth along the full length of the bathtub, as illustrated in Figure 6 below.



- have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars; and
- enable easy to grasp handles on faucets, e.g., lever-type faucets.

**Kitchen**

- The kitchen must have:
  - a large useable counter space and cupboards that can be easily accessed by people with disabilities, including people with wheelchairs, e.g., continuous counter between the stove and sink, adjustable shelves in all cabinets, pull-out work boards at 810.0 mm height; and
  - easy to grasp handles on cupboards, e.g., D or T type cabinet handles and grab edges under counters;
  - task lighting at sink, stove and key work areas; and
  - plumbing and utility pipes located to provide a potential 810.0 mm wide under counter workspace so as not to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.

**Bedroom & Closet**

- The space around a bed in a sleeping unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500.0 mm on one side of a double bed.
- The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 900.0 mm, clear floor space of at least 750.0 mm by 1200.0 mm and a clothes hanger rod that can be lowered to 1200.0 mm.

**Patios & Balconies**

- Access doors shall have a minimum clear opening of 800.0 mm.
- Minimum dimensions of any balcony or patio shall be 1500.0 mm by 1500.0 mm. This requirement does not apply to "Juliet" or "French" style of balcony or patio.

**Outlets and Switches**

- Light switches and electrical panels shall be 900.0 to 1200.0 mm from the floor. Intercom buttons shall be a maximum 1375.0 mm from the floor.
- Electrical outlets, cable outlets and telephone jacks shall be located 455.0 mm to 1200.0 mm from the floor.
- Thermostats shall be located between 900.0 mm to 1200.0 mm from the floor.
- Control panels for elevators shall be located within reach of a clear floor area that has a width of not less than 750.0 mm.
- Light switches will be rocker or paddle-type switches.

**Windows**

- Windows which are accessible shall have a window sill height that does not exceed 750.0 mm above the floor to afford seated viewing. At least one window in the bedroom and one window in the living room shall be at seated viewing height.
- Windows which are accessible shall have opening mechanisms operable with one hand and of a type that does not require tight grasping, pinching or twisting of the unit.

**Floor Surfaces**

- Floor surfaces throughout the building shall have no abrupt changes in level, i.e., a maximum break of the floor threshold of 13.0 mm height. This requirement does not apply to exterior balcony, patio and deck door sills.
- Floor surfaces shall be slip resistant.
- Where carpets are used, they must be firmly fixed, have a firm underlay and pile under 13.0 mm height.



PANATCH GROUP

[PROJECT]

**Mixed Use Rental Building**

3000, No.3 Road  
Richmond, BC

[TITLE]

**Unit Plans**

23625 [PROJECT]

1' = 1'-0" [SCALE]

Monday, October 27, 2025 [DATE]

DP (ISSUE 11.0) [DRAWING]

**A-3.104**