



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: November 17, 2025

From: Joshua Reis
Director, Development

File: DP 23-033716

Re: Application by Panatch Group for a Development Permit at 9000 No. 3 Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of a mixed-use commercial and rental apartment building at 9000 No. 3 Road on a site zoned "Commercial Mixed Use (ZMU61) – No. 3 Road and Francis Road (Broadmoor)".

Joshua Reis
Director, Development
(604-247-4625)

JR:dh

Att. 4

Staff Report

Origin

Panatch Group, on behalf of 1320484 B.C. Ltd. (Director: Kush Panatch), has applied to the City of Richmond for permission to develop a mixed-use commercial and residential building with 64 rental units at 9000 No. 3 Road (Attachment 1), including seven Moderate Market Rental (MMR) units on a site zoned “Commercial Mixed Used (ZMU61) – No. 3 Road and Francis Road (Broadmoor)”.

The site is being rezoned from “Gas & Service Stations (CG1)” to “Commercial Mixed Use (ZMU61) – No. 3 Road and Francis Road (Broadmoor)” under Bylaw 10656 (RZ 23-033712), which received third reading on May 20, 2025. There is also an associated Official Community Plan (OCP) amendment to change the site’s land use designation from “Commercial” to “Limited Mixed Use”.

Key components of the proposal include:

- Approximately 3,121.78 m² (33,602.56 ft²) of purpose-built market rental housing consisting of 57 market rental units.
- Approximately 374.49 m² (4,030.98 ft²) of purpose-built affordable rental housing consisting of seven MMR units.
- A mix of unit types ranging from studio to two-bedroom apartment units, including approximately 44 per cent of all units as family-friendly.
- All units are designed to meet the Basic Universal Housing (BUH) provisions under Richmond Zoning Bylaw 8500.
- Approximately 384.2 m² (4,135.5 ft²) of outdoor amenity space, including tables and seating, urban agriculture planters and a children’s play area.
- Approximately 559.02 m² (6017.24 ft²) of commercial space consisting of six at-grade commercial units.

An associated Servicing Agreement (SA 25-015410) was secured through the rezoning for the design and construction of road and engineering improvement works required as part of the development. Works include frontage improvements, an upgrade to the storm system and new water and sanitary service connections.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: Across Francis Road, a 10-unit, one-storey commercial plaza on a property zoned “Neighbourhood Commercial (CN)”.

To the East: A three-storey townhouse development on a property zoned “Town Housing (ZT62) – Francis Road”, which has a lawn, a hedge and a fence that encroach approximately 3.0 m beyond the common property line into the subject site.

To the South: A two and three-storey townhouse development on a property zoned “Medium Density Townhouses (RTM2)”.

To the West: Across No. 3 Road, two-storey rental apartments on a property zoned “Low Rise Apartment (ZLR42) – Francis Road (Broadmoor)”.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on May 20, 2025. At the Public Hearing, there was discussion around the existing Statutory Right-of-Way (SRW) along the east property line and the proposed use and landscaping of this area. As a result of the discussion, the applicant was encouraged to work with the adjacent townhouse residents to the east to explore landscaping options and improve the interface between the proposed development and the adjacent private greenspace. In response, the applicant engaged with the neighbouring strata to address their questions and requests and has agreed to replace the proposed low picket fence with a 1.8 m high solid wood fence to enhance privacy and screening.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit (DP) application. In addition, it complies with the intent of the applicable sections of the OCP and is generally in compliance with the “Commercial Mixed Use (ZMU61) – No. 3 Road and Francis Road (Broadmoor)” zone.

Advisory Design Panel Comments

The Advisory Design Panel (ADP) was supportive of the application, subject to consideration of the Panel’s comments. A copy of the relevant excerpt from the September 18, 2025, ADP meeting minutes is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘*bold italics*’.

Analysis

Conditions of Adjacency

- Setbacks of 3.0 m are provided from the east and south lot lines to the parkade podium, with the bulk of the building massing stepped further back from these lot lines (approximately 7.4 m from the east and ranging from 9.2 m to 25.4 m from the south) away from the adjacent townhouse developments.
- The common outdoor amenity area has been designed to respond to the east and south adjacencies, including planting locations and setback from the building edge behind a continuous raised edge planter.
- A 1.8 m high solid wood fence (stepping to 1.2 m within the street-fronting setbacks) will be installed along the east and south lot lines to provide screening and enhance the privacy of the existing neighbouring townhouses.
- The setback areas adjacent to the parkade podium will also include a combination of landscape elements, including columnar trees (except within the SRW area), shrubs, ferns, grasses and vines for buffering and screening.

- The building's interface with the public realm to the north and west include ground-oriented commercial units, canopies for weather protection and ornamental planters and landscaping along the building frontages.

Urban Design and Site Planning

- The development consists of a mixed-use building with commercial units at the ground level, which wrap around a two-level parkade along the street frontages, and rental apartment units in the upper storeys.
- The building is anchored at a key intersection with prominent massing and active commercial ground floor design that enhances the streetscape.
- Vehicular access is configured with separate entries from No. 3 Road and Francis Road, with No. 3 Road serving residential users exclusively and with Francis Road also providing access for shared commercial/residential visitor use and waste management functions.
- The residential lobby faces the public sidewalk on Francis Road and is emphasised with ample glazing and a canopy cover.
- Class 2 bicycle racks are located at grade around the perimeter of the site near the commercial units and the building lobby.
- A space for public micro-mobility parking (e.g., e-bikes, e-scooters) that was secured at the time of rezoning is proposed at the northeast corner of the site.
- Common outdoor amenity space is provided at the southeast corner of the site on top of the third-floor parkade podium.
- Private outdoor space is proposed for most units in the form of patios located on the landscaped parking podium as well as recessed and projecting balconies on the third to sixth floors. The design of outdoor spaces is generally consistent with what was presented as part of the rezoning.
- No common indoor amenity space is proposed for the development. A \$309,311.00 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.
- The proposed development meets the requirement of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on Title was secured through the rezoning.
- As the subject site formerly contained a gas station, remediation of the land consistent with the provincial *Contaminated Sites Regulations* is required. The applicant's Qualified Environmental Professional has provided confirmation that the proposed development is consistent with the existing Certificate of Compliance received from the BC Ministry of Environment for the site. Prior to DP issuance, the owner shall register an agreement on Title that indemnifies the City with respect to this matter.

Architectural Form and Character

- The architectural form is of contemporary architectural style, expressed through a simple and proportionally balanced massing that reinforces the mixed-use character of the building.

A light colour palette for the upper residential storeys enhances the visual openness and reduces perceived height, while a darker tone at the commercial podium anchors the structure.

- The exterior cladding consists of light colour fibre cement lap siding, dark brick, painted concrete, vinyl windows and glass and metal railings, and are generally consistent with the DP guidelines. Wood tone materials are proposed for the recessed balconies to add warmth and visual interest.
- The parkade walls include openings with louvre screens and trailing and climbing vines to soften these walls.

Tree Management, Landscape Design and Open Space Design

- There are 11 existing trees being removed from the development site. Two undersized neighbouring trees and one undersized street tree are proposed to be retained and protected.
- To ensure the protection of the existing trees on the adjacent property to the northeast, the provision of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to the tree protection zones was secured through the rezoning.
- A tree survival security in the amount of \$5,000.00 has been secured through the rezoning for the undersized street tree.
- During the rezoning phase, preliminary plans identified 10 replacement trees and cash contribution to the City's Tree Compensation Fund in lieu of planting the remaining required 12 trees that were not accommodated on site. The applicant has found additional on-site planting opportunities, resulting in a total of 23 new and replacement trees being provided on site. Replacement trees are to comply with the City's Tree Protection Bylaw 8057.
- Approximately 384.2 m² (4,135.5 ft²) of outdoor amenity space is provided within the third-floor courtyard. The space includes community and social features, such as an outdoor dining table with seating, moveable tables and chairs, urban agriculture planters and a children's play area. Trees and shrubs are incorporated throughout the courtyard to provide screening, enhance privacy and contribute to the overall greening of the development.
- A combination of step/wall lighting, bollard lighting and wall-mounted down lighting are proposed along the east building elevation, by building exits and within the common outdoor amenity area.
- An on-site automatic irrigation system will be provided for all planted areas.
- To ensure the provision of landscaping, a legal agreement and associated landscape security in the amount of \$462,361.08 will be required prior to DP issuance.

Crime Prevention Through Environmental Design

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the proposed development.
- The development incorporates clearly defined pedestrian and vehicle access points, edge treatment and signage to guide movement and minimize unauthorized entry.
- Natural surveillance is enhanced through active street frontages with windows and entrances, well-placed lighting and landscaping that maintain clear sightlines and visibility across the public and semi-public areas.

Sustainability

- Consistent with Provincial Energy Step Code and Zero Carbon Step Code requirements, this project is expected to be designed to achieve Step 3 with Emission Level 2 for the residential areas and Step 2 with Emission Level 2 for the commercial areas, as confirmed by the preliminary energy modelling report from the applicant's Registered Professional.
- Sustainable energy strategies include using a high-performance building envelope, airtight construction, high-performance windows and systems such as variable refrigerant flow heat pumps, energy recovery ventilators and LED lighting with automated controls.

Accessible Housing

- The proposed development includes 64 BUH units (100 per cent of all residential units being proposed) that are intended to facilitate ready access, use and occupancy by a person with a physical disability. These single-storey units are required to incorporate all of the accessibility provisions listed in the BUH features section of the City's Zoning Bylaw and are permitted a density exclusion of 1.86 m² (20.02 ft²) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell handrails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and DP guidelines, staff recommend that the DP be endorsed, and issuance by Council be recommended.



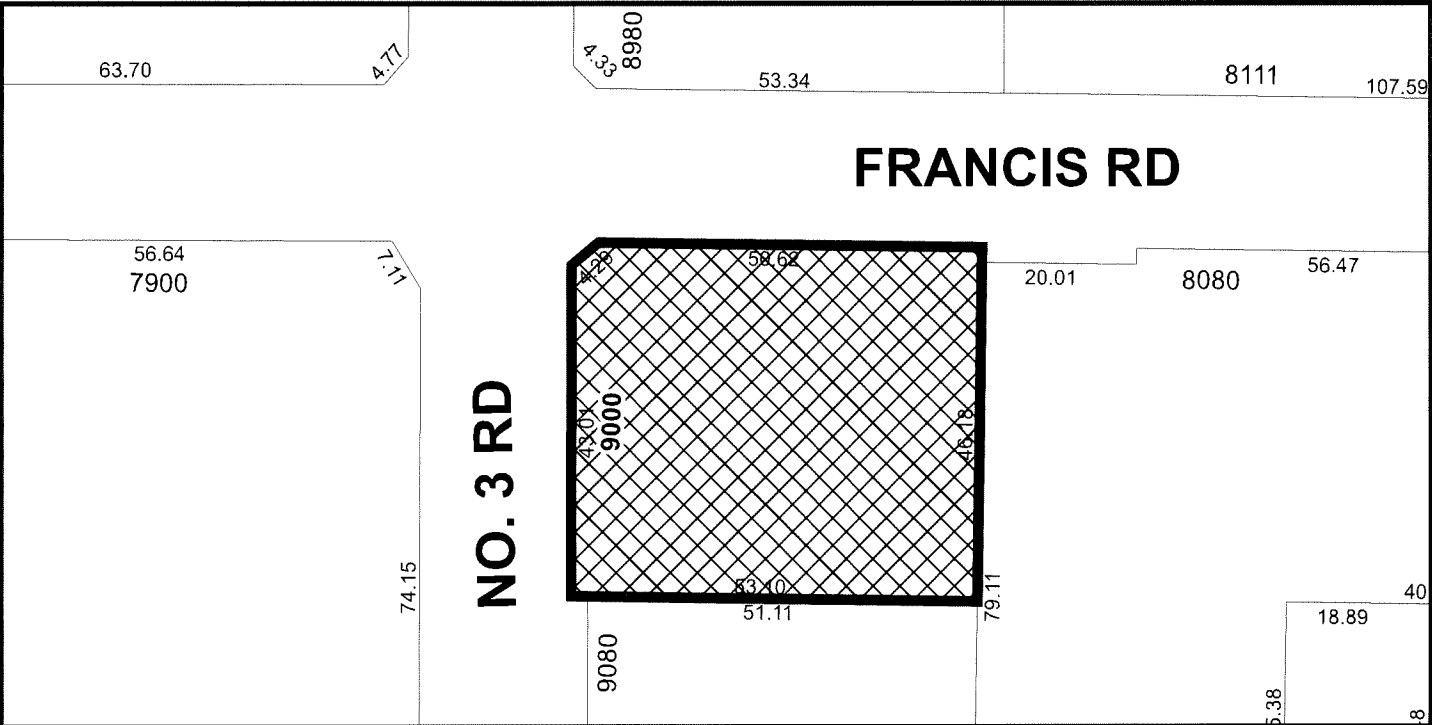
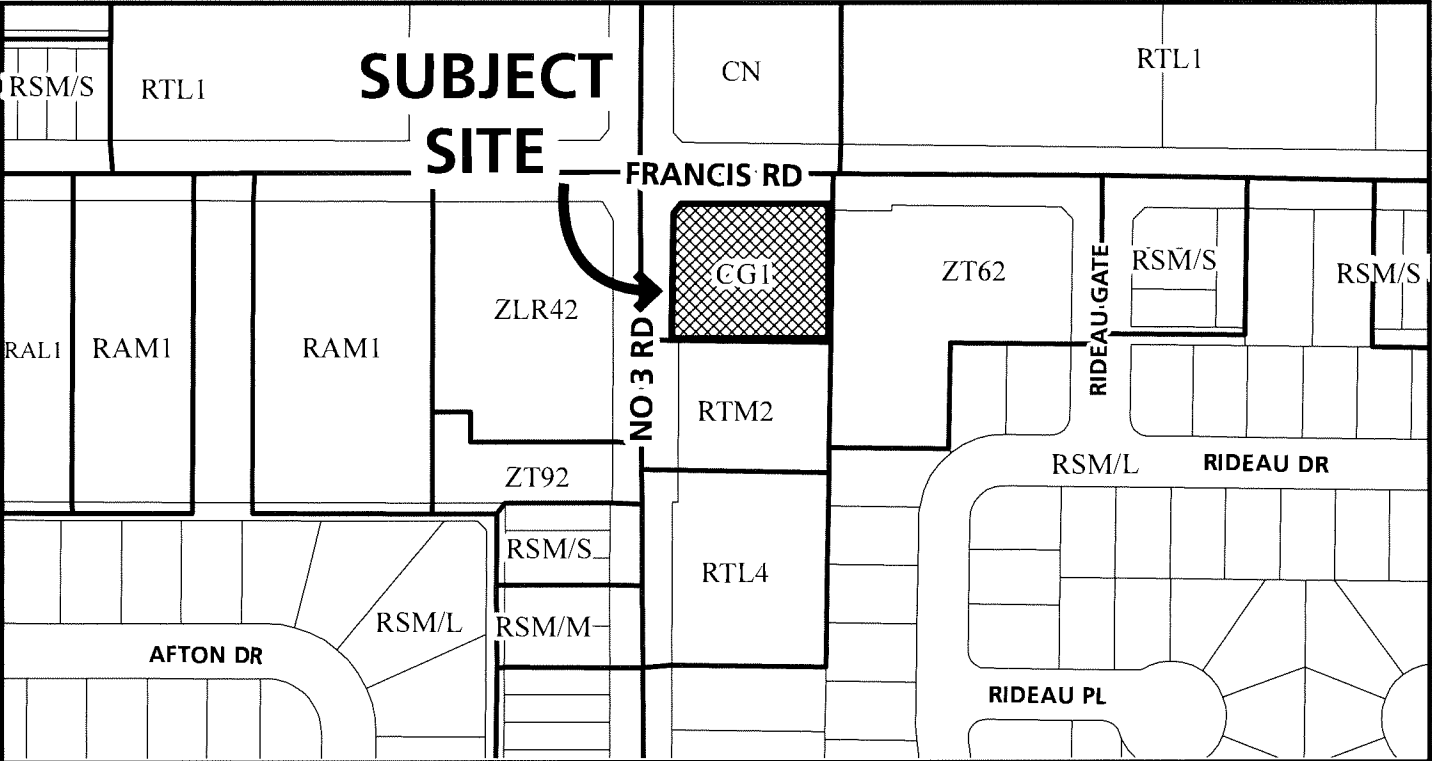
Dilys Huang
Planner 3
(604-276-4139)

DH:aa

- Att. 1: Location and Aerial Maps
 2: Development Application Data Sheet
 3: Annotated Excerpt from Advisory Design Panel Minutes
 4: Development Permit Considerations



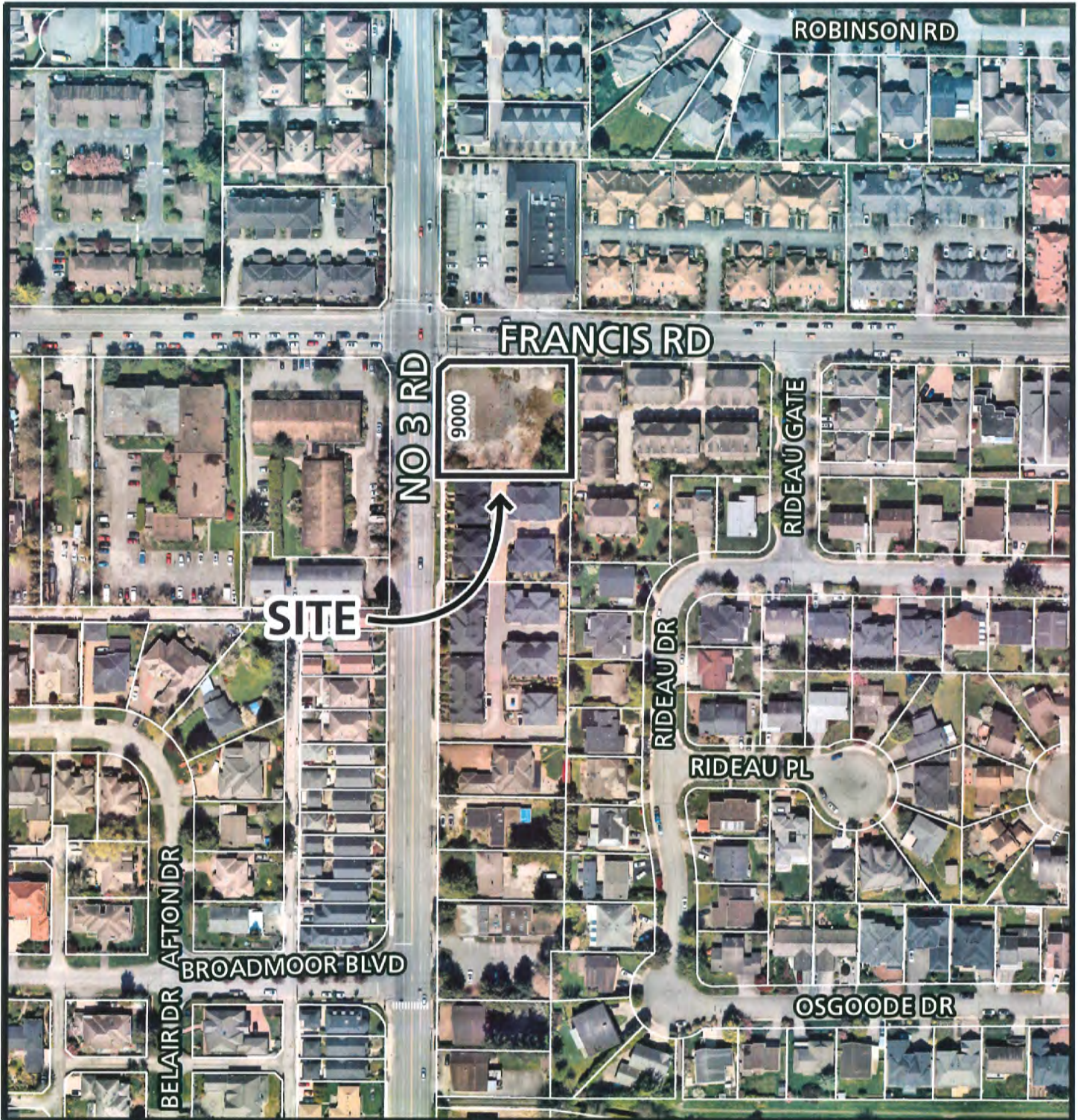
City of
Richmond



	<p>DP 23-033716</p>	<p>Original Date: 11/29/23 Revision Date: 03/13/25 Note: Dimensions are in METRES</p>
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City of
Richmond



DP 23-033716

Original Date: 03/13/25
Revision Date:

Note: Dimensions are in METRES



Development Application Data Sheet
Development Applications Department

DP 23-033716

Address: 9000 No. 3 Road

Applicant: Panatch Group

Owner: 1320484 B.C. Ltd.

Planning Area(s): Broadmoor

	Existing	Proposed
Site Area:	2,458.0 m ²	2,258.8 m ²
Land Uses:	Vacant	Mixed commercial/residential rental development
OCP Designation:	Commercial	Limited Mixed Use
Zoning:	Gas & Service Stations (CG1)	Commercial Mixed Use (ZMU61) – No. 3 Road and Francis Road (Broadmoor)
Number of Units:	0	64

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 2.05	2.00	None permitted
Lot Coverage:	Max. 80%	76.6%	None
Setback – Front Yard (No. 3 Road):	Min. 2.0 m	2.0 m	None
Setback – Side Yard (Francis Road):	Min. 2.0 m	2.0 m	None
Setback – Side Yard (South):	Min. 3.0 m	3.0 m	None
Setback – Rear Yard (East):	Min. 3.0 m	3.0 m	None
Height (m):	Max. 25.0 m	21.72 m	None
Off-street Parking Spaces:	Min. 43 (residential) Min. 16 (shared residential visitor / non-residential)	44 (residential) 16 (shared residential visitor / non-residential)	None
Accessible (included as part of total parking):	1 space (residential) 1 space (non-residential)	1 space (residential) 1 space (non-residential)	None
Total:	59 Spaces	60 Spaces	None
Bicycle Parking – Class 1:	Min. 91 (residential) Min. 2 (non-residential)	91 (residential) 3 (non-residential)	None
Bicycle Parking – Class 2:	Min. 13 (residential) Min. 2 (non-residential)	13 (residential) 3 (non-residential)	None
Amenity Space – Indoor:	Min. 100 m ² or cash-in-lieu	Cash-in-lieu	None
Amenity Space – Outdoor:	Min. 384 m ²	384.2 m ²	None

**Annotated Excerpt from the Minutes from
Advisory Design Panel Meeting**

**Thursday, September 18, 2025 – 4:00 p.m.
Remote (Teams) Meeting**

1. DP 23-033716 - MID-RISE MIXED-USE BUILDING WITH AT-GRADE COMMERCIAL SPACE AND 100% RENTAL HOUSING UNITS ABOVE

ARCHITECT: Integra Architecture

LANDSCAPE ARCHITECT: Perry + Associates Landscape Architecture

PROPERTY LOCATION: 9000 No. 3 Road

Applicant's Presentation

Architect Steve Watt, Integra Architecture, and Landscape Architect Michael Patterson, Perry + Associates Landscape Architecture, presented the project and answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- appreciate the applicant's well laid out presentation of the project;
Applicant/Integra Architecture response: Noted.
- noted that the proposal is a departure from typical Richmond developments, with more of an urban scale;
Applicant/Integra Architecture response: Noted.
- the quality of living and for unit C6 is questioned particularly regarding daylighting and access to the deck and patio; unit C6 is located in the inner corner of the courtyard and is tucked away; consider any alternate ideas for this space, such as an indoor amenity / work from home area, other than just putting another unit inside this corner;
Applicant/Integra Architecture response: The balcony of the B1-b unit type, adjacent to the C6 unit, has been relocated, which reduces overlook/privacy concerns and improves the daylight access to the C6 unit, as well as allowing a pathway to the C6 patio on Level 3. We believe this is an improvement.

- it is good that the bulk are BUH units – consider including some fully accessible units to provide for the aging population;

Applicant/Integra Architecture response: Fully accessible units were considered during the schematic design stage of this project but are not being proposed. Accessible units require additional space in bathrooms and kitchens that this project cannot incorporate without impact to unit sizing, mix, yield and construction cost efficiencies [impact of different appliances, kitchen cabinetry, showers etc. on economies of scale]. In addition, the rents can be kept lower, since the accessible units would demand a higher monthly rent compared to the BUH version based on the increased square footage.

- consider incorporating standard height seating in addition to the raised table and stools for the Level 3 outdoor amenity area; the ones proposed for the area are either awkward or completely unusable for many seniors and by people with disabilities.

Applicant/P+A Response – The bar height table has been replaced with a more conventional harvest table to allow for easier access for seniors and people with disabilities.

- consider making some adjustments specifically relating to the southeast corner exit;

Applicant/Integra Architecture response: This exit was reviewed in detail. Exiting directly to the east side yard [SROW] is not possible due to the grade difference. Stairs and small retaining walls would be required [but are not permitted in the SROW]. Exiting West to No.3 Road is possible but would result in a loss of proposed trees – not a good solution. The proposed revision places the exterior stairs to the corner which improves the wayfinding aspect and a safer transition into and out from the building. Panatch group are to be the building owners and will provide lighting and potentially security cameras in this location to respond to the CPTED concerns. This exit will likely rarely be used.

- consider landscape lighting to enhance the south and east treatments, potentially creating a “garden” for neighbours;

Applicant/P+A response - Landscape lighting has been provided for security along the east edge. The neighbours request for a solid 6' high wood fence will obscure the landscape planting from view. Uplighting of trees and parkade wall has not been provided in order to be dark sky compliant.

- consider the transitions at the southwest and northeast corners, including looking at the impact and position of the concrete wall by the entrance of the west parkade ramp that goes up in relation to the adjacent building, explore combining the two exits on the west side of the CRU into one on the north side to avoid the parkade ramp's jog, and looking at any opportunity to push back the building wall at grid reference A9 to align with the road setback of the adjacent building;

Applicant/Integra Architecture response: The parkade ramp jog is a result of the BC Hydro transformer location and the over height parkade area required for the garbage pick-up movements. Combining the two exits noted does not resolve the ramp jog.

The extension of the structure across the ramp in the south-west corner allowed for a gateway element to unify the elevation composition and to architecturally conceal the overhang of the apartment building over the parkade ramp. The concrete wall facing the neighbour has been detailed with reveals to soften the visual appearance.

The building wall at grid reference A-9 cannot be cut back to align with the adjacent townhouses without loss at least 2 parking stalls over the two parking levels and impact to proposed trees on level 3.

- reconsider canopy location and extensions for better usability and coverage – the canopies seem to be too high for them to be useful; the signage bands can be reduced for adjusting the canopies;

Applicant/Integra Architecture response: The canopy and signage band has been lowered by 18". The canopy is already maximised in its horizontal coverage.

- investigate using a different material for the insets of the wall above the CRU canopies to differentiate them and if the insets can appear more prominent by using another material instead of the brick to create more of a CRU presence;

Applicant/Integra Architecture response: A different material [fibre cement panel] was considered for the insets above the canopies. The design team preference is to maintain the brick detailing which presents a simple, but high quality, cohesive look to the over height volume.

- consider locating the southeast corner exit mid-path to allow for more planting space in the back area as this would help address the CPTED issue on the east side;

Applicant/Integra Architecture response: See the earlier response – the grade differential and requirement for stairs and retaining walls [not permitted in the SROW] prevent this from being a viable solution.

- consider a more decorative panel instead of a solid fence along the neighbouring properties;

Applicant/Integra Architecture response: Following extensive consultation, to respond to the specific request of the neighbours, a solid fence will be provided.

- consider a rumble strip for the parkade exit in the last six meters to slow traffic and provide a tactile strip for pedestrians instead of just signage; this would let drivers know not to accelerate until the very end;

Applicant/Integra Architecture response: A rumble strip is proposed in the revised DP submission, as per ADP recommendations.

- consider how the plants inside the planters with the guardrail will be maintained and accessed; there is no indication of how these planters will be maintained; consider introducing planters at the separation level between the podium and residential units above to soften the contrast;

Applicant/Integra Architecture response: The planters along the edge of the building are to allow & encourage trailing plants to 'green' the parkade wall. The guardrail will be mounted on the inside of these planters. Maintenance access will require a fall arrest system.

- appreciate the thought put into this project, not only for the project, but also for the surrounding areas;

Applicant/Integra Architecture response: No response needed.

- consider and give attention to mechanical louvers for potential restaurant tenancies, including the relationship of louvers to the glazed canopies so the canopies do not get dirty over time; consider it as part of the elevation as a whole throughout the CRU areas.

Applicant/Integra Architecture response: The mechanical louvres are absorbed in a continuous band of louvres above the canopy. This band has been increased in height to ensure all possible duct connections can be accommodated. Restaurant tenancies will have access to a vertical duct to the roof in lieu of any horizontal grease ducting/ecologizer unit.

Comments from the Applicant

In response to the panel's comments, the applicant made the following points. The restaurant venting is now in a shaft on the corridor side, and they will further look into the location of the exit at the southeast corner from a CPTED perspective. The canopies were adjusted to fit within the property lines but will look at their vertical placements. A six-foot fence, requested by neighbours, was added. The applicant supports the rumble strip idea and plans to use hooks for planter maintenance. The mechanical consultant is working on the louver design.

Panel Decision

It was moved and seconded

That DP 23-033716 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



Address: 9000 No. 3 Road

File No.: DP 23-033716

Prior to approval of the Development Permit, the developer is required to complete the following:

1. **(Zoning Amendment)** Final adoption of Zoning Amendment Bylaw 10656.
2. **(Landscaping Security)** Receipt of a Letter-of-Credit, or other form of security acceptable to the City, for landscaping in the amount of \$462,361.08 (100 per cent of the cost estimate provided by the Registered Landscape Architect, including all materials, installation, and a 10% contingency). The City may release up to 90 percent of the security following completion of construction and landscaping on-site (subject to a landscape inspection to the City's satisfaction) and may release the balance of the security following a one-year maintenance period if the landscaping has survived. To accompany the landscaping security, a legal agreement that sets the terms for use and release of the security must be entered into between the applicant and the City.
3. **(Private Outdoor Space)** Registration of a legal agreement on Title prohibiting the enclosure of private outdoor space and requiring it be constructed and maintained in accordance with a Development Permit issued by the City.
4. **(Site Contamination – Certificate of Compliance)** Registration of a legal agreement on Title indemnifying and saving harmless the City from and against all claims or actions that may arise from reliance on the Qualified Environmental Professional's confirmation that the Certificate of Compliance is valid and relevant in respect of the proposed development and that the proposed development complies with the Certificate of Compliance.
5. **(Fees – Notices)** Payment of all fees in full for the cost associated with the Development Permit Panel Meeting Notices, consistent with the City's Consolidated Fees Bylaw No 8636, as amended.

Prior to Building Permit* issuance, the developer must complete the following requirements:

1. Incorporation of accessibility measures in Building Permit plans as determined via the Rezoning and/or Development Permit processes, including but not limited to 100% of units being designed to meet the Basic Universal Housing (BUH) features listed in Richmond Zoning Bylaw 8500, as well as the provision of aging-in-place features in all units (i.e., stairwell handrails, lever type handles for plumbing fixtures and door handles, and solid blocking in washroom walls for future grab bar installation beside toilet, bathtub and shower).
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. The Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Obtain a Building Permit for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276- 4285.
4. If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- If the development will be constructed in phases and stratified, a Phased Strata Subdivision Application is required. Each phase of a phased strata plan should be treated as a separate parcel, each phase to comply with the Richmond Zoning Bylaw 8500 in terms of minimum lot area, building setback and parking requirements. Please arrange to have the City's Approving Officer review the proposed phased boundaries in the early DP stages. To allow sufficient time for staff review and preparation of legal agreements, the application should be submitted at least 12 months prior to the expected occupancy of development.
- If the development intends to create one or more air space parcels, an Air Space Parcel Subdivision Application is required. To allow sufficient time for staff review and preparation of legal agreements, the application should be submitted at least 12 months prior to the expected occupancy of development.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

(signed copy on file)

Signed

Date



City of Richmond

Development Permit

No. DP 23-033716

To the Holder: 1320484 B.C. Ltd.

Property Address: 9000 No. 3 Road

Address: 103 - 6791 Elmbridge Way, Richmond, BC, V7C 4N1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street- parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #31 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$462,361.08 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 23-033716

To the Holder: 1320484 B.C. Ltd.

Property Address: 9000 No. 3 Road

Address: 103 - 6791 Elmbridge Way, Richmond, BC, V7C 4N1

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



Integra
ARCHITECTURE INC.

2330-200 Granville Street
Vancouver, BC, V6C 1S4
www.integra-arch.com
Telephone: 604 688 4220

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[PROJECT TEAM]

- 1 - 2023.10.27 - RZ/DP ISSUE 1.0
- 2 - 2024.03.14 - RZ/DP ISSUE 2.0 (Change in development scope)
- 3 - 2024.10.18 - RZ/DP ISSUE 3.0
- 4 - 2025.02.27 - RZ/DP ISSUE 4.0
- 5 - 2025.06.23 - RZ/DP ISSUE 5.0
- 6 - 2025.07.09 - RZ/DP ISSUE 6.0
- 7 - 2025.08.29 - RZ/DP ISSUE 7.0
- 8 - 2025.10.07 - RZ/DP ISSUE 8.0
- 9 - 2025.10.22 - RZ/DP ISSUE 9.0
- 10 - 2025.10.22 - RZ/DP ISSUE 10.0
- 11 - 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716
November 17, 2025
Plan #2

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



[CLIENT]

PANATCH GROUP

[PROJECT]

Mixed Use Rental Building

9000, No.3 Road
Richmond, BC

[TITLE]

Site Plan

[PROJECT]

23625

[SCALE]

3/32" = 1'-0"

[DATE]

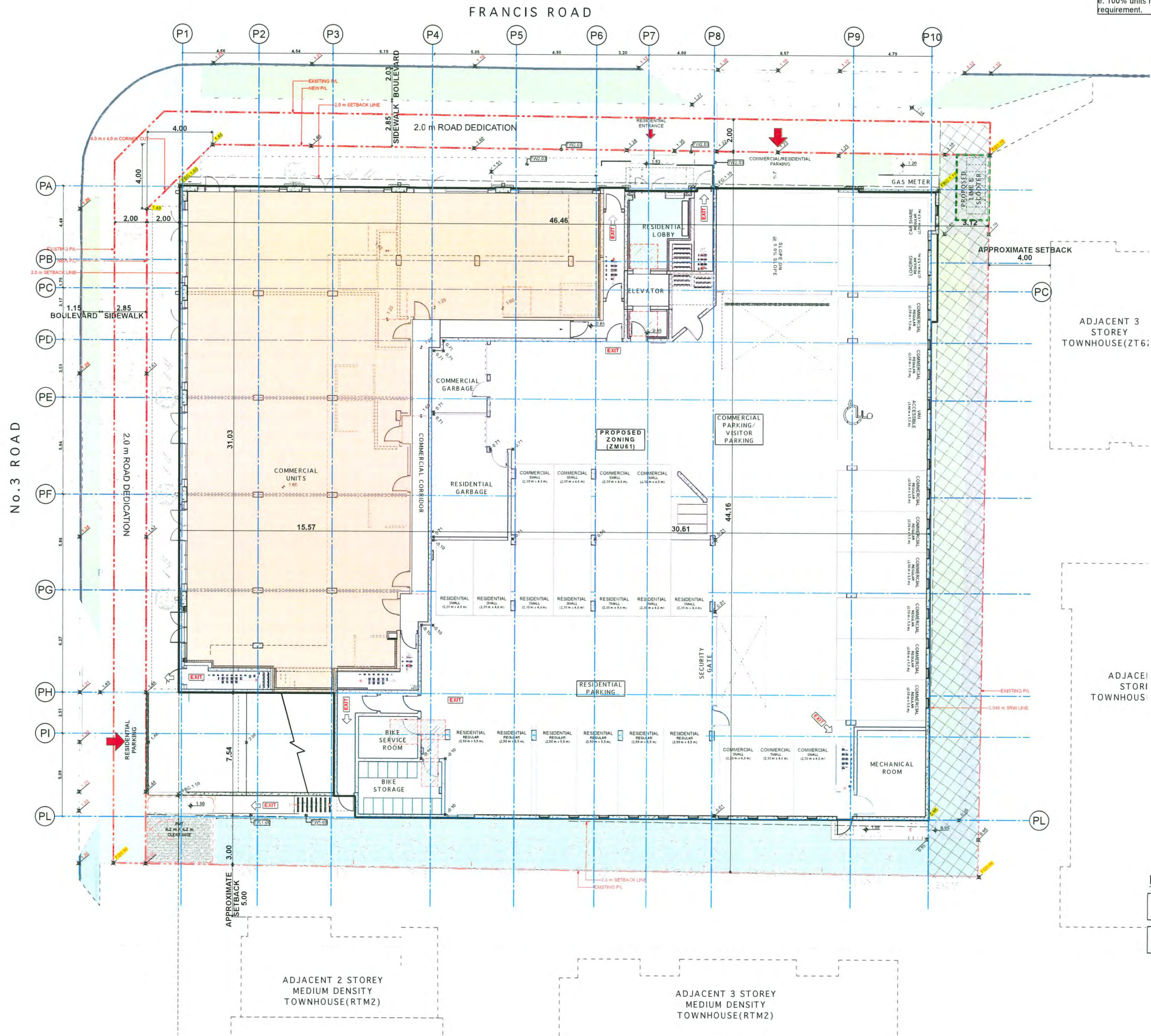
Monday, October 27, 2025

[ISSUE]

DP (ISSUE 11.0)

[DRAWING]

A-1.200



LEGEND

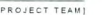
SRW AREA

ROAD DEDICATION



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(change in development scope)
2024.10.18 - RZ/DP ISSUE 3.0
2025.02.27 - RZ/DP ISSUE 4.0
2025.06.23 - RZ/DP ISSUE 5.0
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- 2025.10.22 - RZ/DP ISSUE 10.0
- 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716
November 17, 2025
Plan #3



[PROJECT]

[TITLE]

3625 [PROJECT]

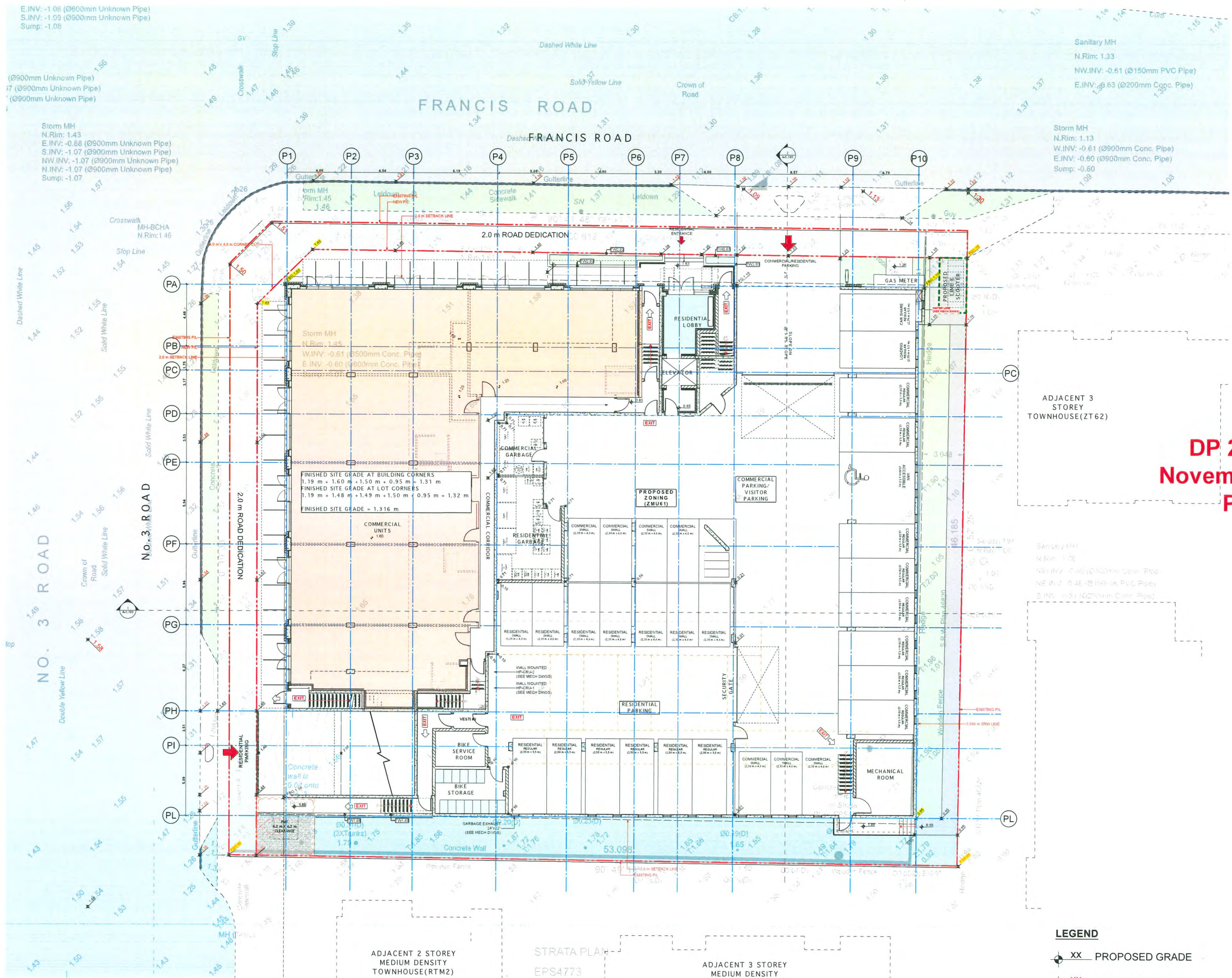
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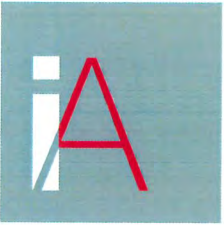
Monday, October 27, 2025 [DATE]

P (ISSUE 11.0) [ISSUE]

[DRAWING]

A-1.300





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[PROJECT TEAM]

- 1 - 2023.10.27 - RZ/DP ISSUE 1.0
- 2 - 2024.03.14 - RZ/DP ISSUE 2.0 (Change in development scope)
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- 9 - 2025.10.22 - RZ/DP ISSUE 9.0
- 10 - 2025.10.22 - RZ/DP ISSUE 10.0
- 11 - 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716
November 17, 2025
Plan #4

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



[CLIENT]

PANATCH GROUP

[PROJECT]

Mixed Use Rental Building
9000, No.3 Road
Richmond, BC

[TITLE]

Firefighter Access Plan

23625 [PROJECT]

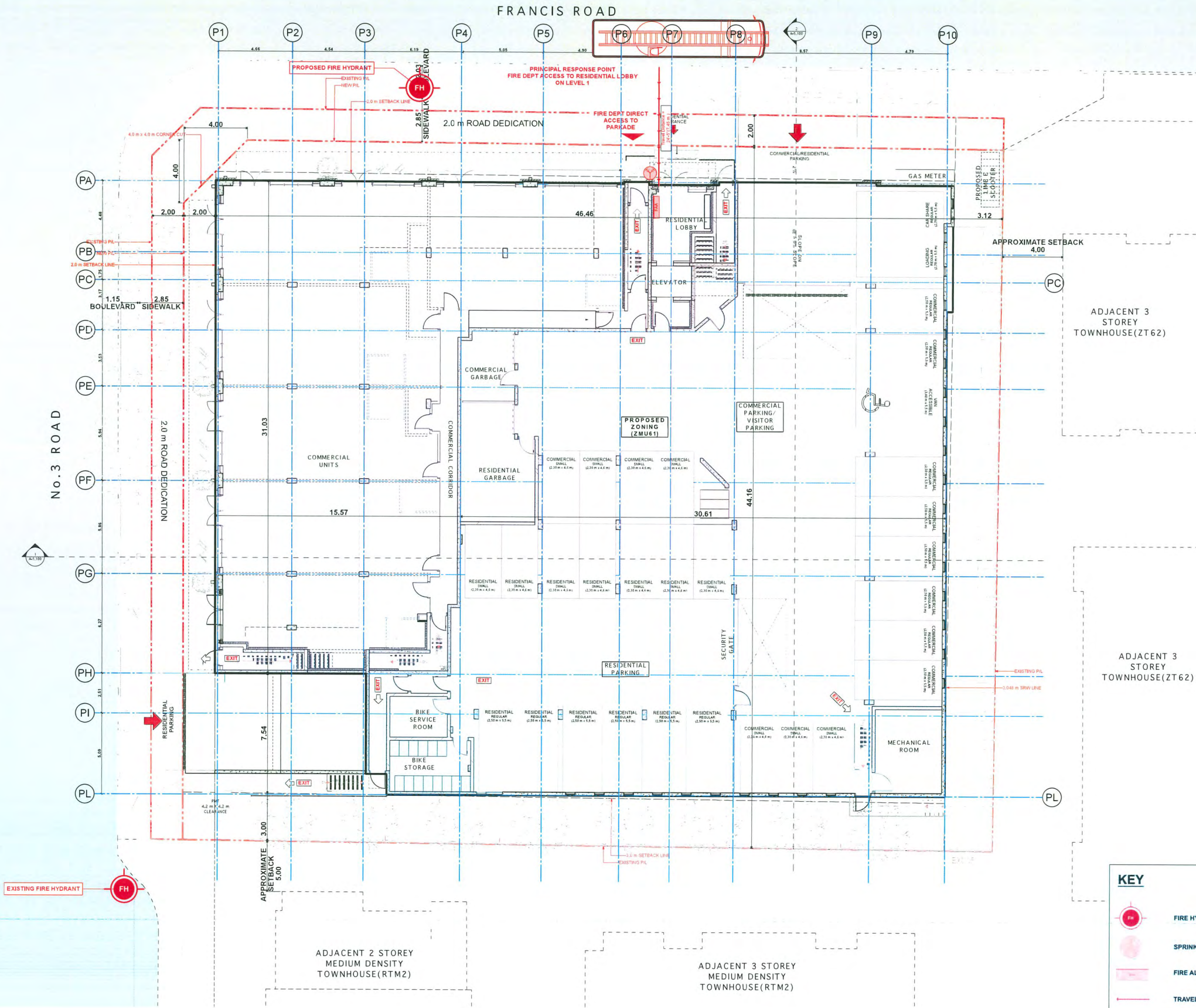
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Monday, October 27, 2025 [DATE]

DP (ISSUE 11.0) [ISSUE]

[DRAWING]

A-1.400



KEY



FIRE HYDRANT



SPRINKLER / STANDPIPE CONNECTION



FIRE ALARM ANNUNCIATOR



TRAVEL DISTANCE

BLUE CART - CoR

1. Right In

4. Right Out

FRANCIS ROAD

2.0 m ROAD DEDICATION

WASTE VEHICLE LOADING ZONE: CLEAR SPAN AREA WITH AN INTERIOR HEIGHT OF AT LEAST 7.5 m (25 ft) FOR VEHICLE MANOEUVRING & OPERATIONS, CLEAR OF COLUMNS, BEAMS & STRUCTURAL ELEMENTS, MECHANICAL DUCTS & EQUIPMENT, SPRINKLER HEADS, AND OTHER BUILDING FEATURES.

LOADING LIGHT

6' WIDE ROLL UP DOOR

6' WIDE ROLL UP DOOR

2. Loading

OVERHEAD SECURITY GATE TO BE OPEN DURING THE TIME OF COLLECTION (7am to 7pm)
MIN 4.5 m CLEAR

4.5 m HIGH CLEARANCE THROUGHOUT THE ENTIRE DRIVE-AISLE ROUTE (WITHOUT THE OBSTRUCTION OF ANY STRUCTURAL ELEMENTS, BEAMS, LIGHTING, SLOPES ETC.)

TRUCK SPECS
BLUE CART-COR (SIDE LOADING)
SIZE - 10.9 m LONG X 2.74 m WIDE
HEIGHT - 4.27 m

3. Hammerhead turn around

SHARED COMMERCIAL VISITOR PARKING (16 SPACES)

RESIDENTIAL PARKING (15 SPACES)

MECH

Level 3 Floor Plan
9.21

Level 2 Floor Plan
6.06

Level 1 Floor Plan
1.60

NO. 3 ROAD

RESIDENTIAL PARKING

COMMERCIAL CONDO

GARBAGE ROOM

RESIDENTIAL PARKING

COMMERCIAL PARKING

LEGEND

- TRUCK
- TRUCK SIDE/FRONT LOADER BUFFER
- TRUCK PATH
- FOOT PATH TO LOADING ZONE
- LOADING SPACE
- 4.5 m HIGH CLEARANCE FOR TRUCK ROUTE

BIN TYPES

- CARDBOARD FRONT END CONTAINER
- GARBAGE FRONT END CONTAINER
- OIL & GREASE CONTAINER- DRUM
- PAPER RECYCLING
- MIXED CONTAINERS RECYCLING CART
- GLASS JARS & BOTTLE RECYCLING
- FOOD SCRAPS CART

COMMERCIAL WASTE ROOM INFORMATION TABLE- COMMERCIAL SERVICES INCLUDE RETAIL, OFFICE					
SIZE	152.49	Sq.ft.	14.17	sq.m	
LOCATION	GROUND LEVEL - AT GRADE				
ACCESS INFORMATION	OPEN 7am - 7pm				
BUILDING USE	MULTIPLE				
BIN TYPE	NUMBER OF BINS	SIZE OF BIN	COLLECTION FREQUENCY		
Commercial Mixed Containers	1	360L	1x	per	Week
Commercial Refundable Beverage Containers	0	240L	1x	per	Week
Commercial Mixed Paper (including newspaper)	3	360L	1x	per	Week
Commercial Glass	0	120L	1x	per	Week
Commercial Food Scraps, and Yard Trimmings	1	240L	1x	per	Week
Commercial Cardboard	1	3yd3	1x	per	Week
Commercial Garbage	1	3yd3	1x	per	Week

TOTAL AREA REQUIRED				
BIN TYPE	STORAGE AREA REQUIRED FOR ONE CONTAINER m2	NUMBER OF BINS	TOTAL SPACE REQUIRED	
Commercial Mixed Containers	1.37	1	1.37 m2	14.75 ft2
Commercial Refundable Beverage Containers	1.04	0	0 m2	0.00 ft2
Commercial Mixed Paper (including newspaper)	1.37	3	4.11 m2	44.24 ft2
Commercial Glass	0.74	0	0 m2	0.00 ft2
Commercial Food Scraps, and Yard Trimmings	1.04	1	1.04 m2	11.19 ft2
Commercial Cardboard	4.41	1	4.41 m2	47.47 ft2
Commercial Garbage	4.41	1	4.41 m2	47.47 ft2
Space Allocation without cardboard bin	8.6 m2		6.82 m2	73.41 ft2
Space Allocation with cardboard bin	13.34 m2		15.34 m2	165.12 ft2

MULTI-FAMILY WASTE ROOM INFORMATION TABLE					
SIZE		344.87	Sq.ft.	32.04	sq.m
LOCATION		GROUND LEVEL - AT GRADE			
ACCESS INFORMATION		OPEN TO RESIDENTS 24/7			
NUMBER OF UNITS		64			
BIN TYPE	NUMBER OF BINS	SIZE OF BIN	COLLECTION FREQUENCY		
Residential Mixed Containers	3	360L	1x	per	Week
Residential Mixed Paper (Without a cardboard bin)	7	240L	1x	per	Week
Residential Mixed Paper (With a cardboard bin)	2	360L	1x	per	Week
Residential Glass	1	120L	1x	per	Week
Residential Food Scraps, and Yard Trimmings	3	240L	1x	per	Week
Residential Corrugated Cardboard	1	2yd3	1x	per	Week
Residential Garbage	3	4yd3	1x	per	Week

TOTAL AREA REQUIRED				
BIN TYPE	STORAGE AREA REQUIRED FOR ONE CONTAINER m2	NUMBER OF BINS	TOTAL SPACE REQUIRED	
Residential Mixed Containers	1.37	3	4.11 m2	44.24 ft2
Residential Mixed Paper (Without a cardboard bin)	1.04	7	7.28 m2	78.36 ft2
Residential Mixed Paper (With a cardboard bin)	1.37	2	2.74 m2	29.49 ft2
Residential Glass	0.74	1	0.74 m2	7.97 ft2
Residential Food Scraps, and Yard Trimmings	1.04	3	3.12 m2	33.58 ft2
Residential Corrugated Cardboard	4.41	1	4.41 m2	47.47 ft2
Residential Garbage	5.64	3	16.92 m2	182.13 ft2
Space Allocation without cardboard bin	9.83 m2		32.17 m2	346.27 ft2
Space Allocation with cardboard bin	14.57 m2		32.04 m2	344.88 ft2

DP 23-033716
November 17, 2025
Plan #5



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 - 2025.10.22 - RZ/DP ISSUE 9.0
 - 2025.10.22 - RZ/DP ISSUE 10.0
 - 2025.10.27 - RZ/DP ISSUE 11.0

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



PANATCH GROUP

Mixed Use Rental
Building

9000, No.3 Road
Richmond, BC

Waste
Management
Overlay Plan

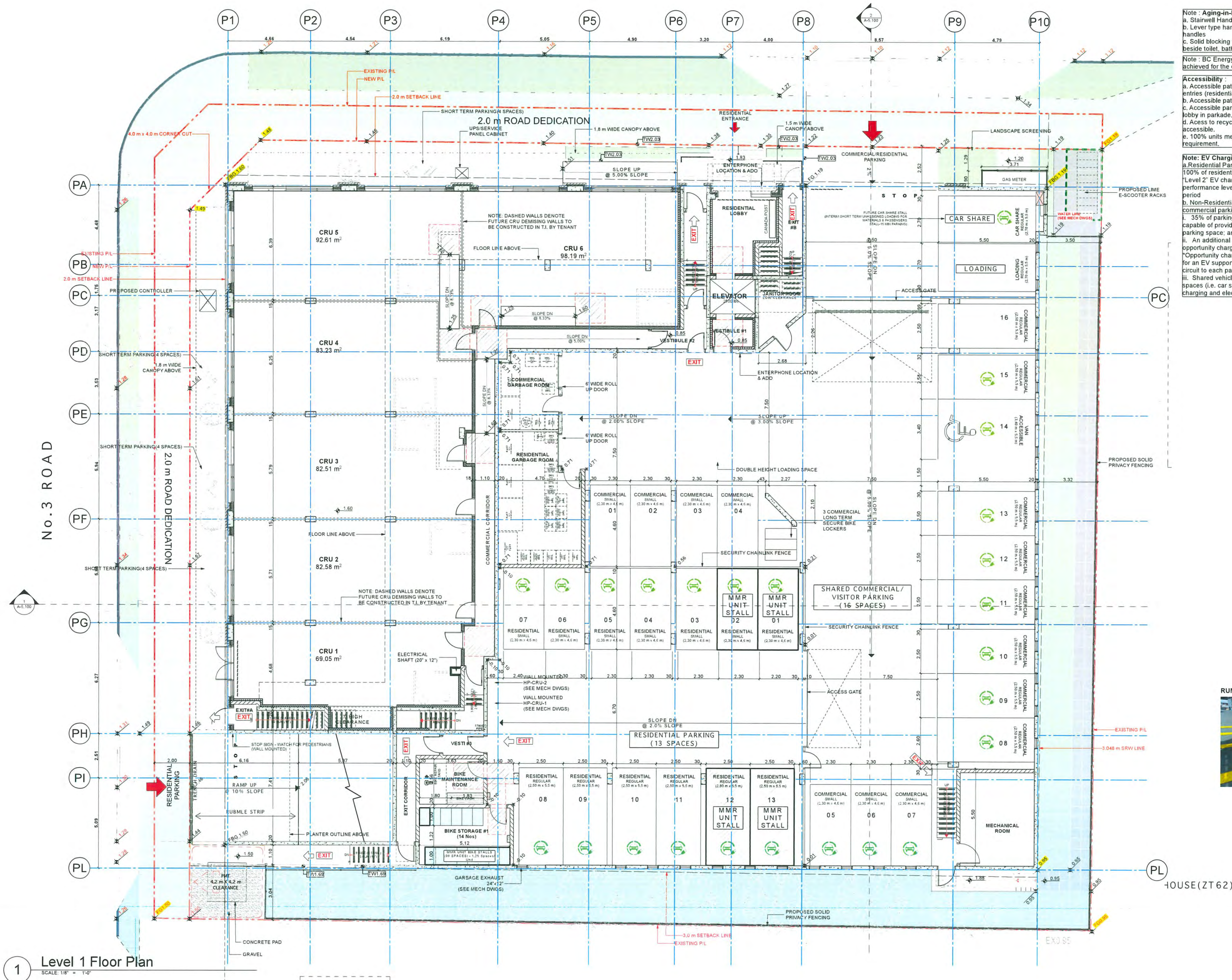
23625

3/32" = 1'-0", 1:0.67

Monday, October 27, 2025

DP (ISSUE 11.0)

A-7.410



Note: Aging-in-Place Features Provided
a. Stairwell Handrails
b. Lever type handles for plumbing fixtures and door handles
c. Solid blocking in washroom walls for future grab bars beside toilet, bath tub and shower

Note: BC Energy step code requirements are to be achieved for the development project.

Accessibility:
a. Accessible path connecting public sidewalk to the main entries (residential lobby & CRU units).
b. Accessible path to the outdoor amenity space on level 2.
c. Accessible parking is at visible location near elevator lobby in parkade.
d. Access to recycling and garbage rooms is wheel chair accessible.
e. 100% units meet the Basic Universal Housing (BUH) requirement.

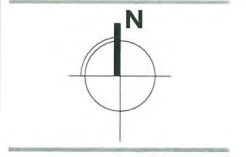
Note: EV Charging:
a. Residential Parking:
100% of residential parking spaces shall be equipped with "Level 2" EV charging infrastructure featuring charging at a performance level of at least 12 kWh within a max 8-hour period
b. Non-Residential Parking (including residential visitor & commercial parking)
i. 35% of parking spaces shall feature an energized outlet capable of providing "Level 2" charging or higher to the parking space; and
ii. An additional 10% of parking spaces shall feature opportunity charging*
*Opportunity charging means "Level 2" charging or higher for an EV supported by a minimum 40A, dedicated electrical circuit to each parking space.
iii. Shared vehicle parking: 100% of shared vehicle parking spaces (i.e. car share space) shall feature both opportunity charging and electric vehicle supply equipment.



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- (PROJECT TEAM)
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 - 11 - 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716
November 17, 2025
Plan #6

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



PANATCH GROUP

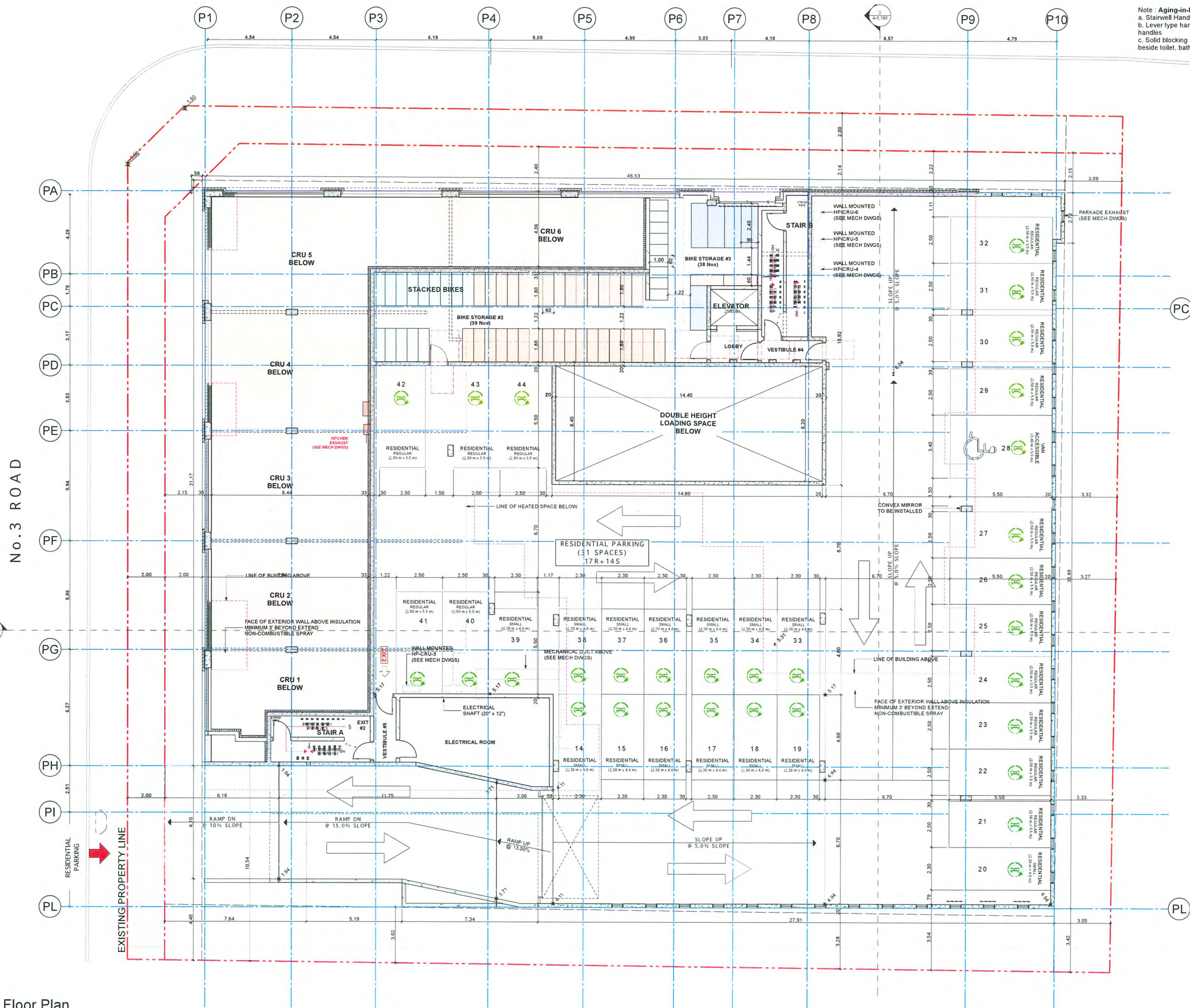
Mixed Use Rental Building
9000, No.3 Road
Richmond, BC

Level 1 Floor Plan

23625 (PROJECT)
1/8" = 1'-0", 1:9.00 (SCALE)
Monday, October 27, 2025 (DATE)
DP (ISSUE 11.0) (ISSUE)

(DRAWING)

A-2.100



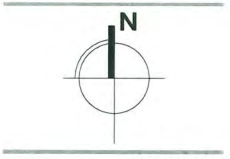
Note : Aging-in-Place Features Provided in all units
a. Stairwell Handrails
b. Lever type handles for plumbing fixtures and door handles
c. Solid blocking in washroom walls for future grab bars beside toilet, bath tub and shower



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 - 11 - 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716
November 17, 2025
Plan #7

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



(CLIENT)

PANATCH GROUP

(PROJECT)

Mixed Use Rental Building
9000, No.3 Road
Richmond, BC

(TITLE)

Level 2 Floor Plan

(PROJECT)

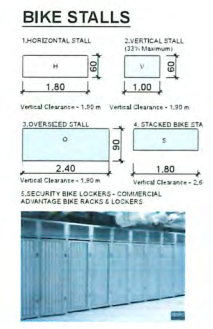
23625

1/8" = 1'-0"

Monday, October 27, 2025

DP (ISSUE 11.0)

(DRAWING)



1 Level 2 Floor Plan
SCALE: 1/8" = 1'-0"



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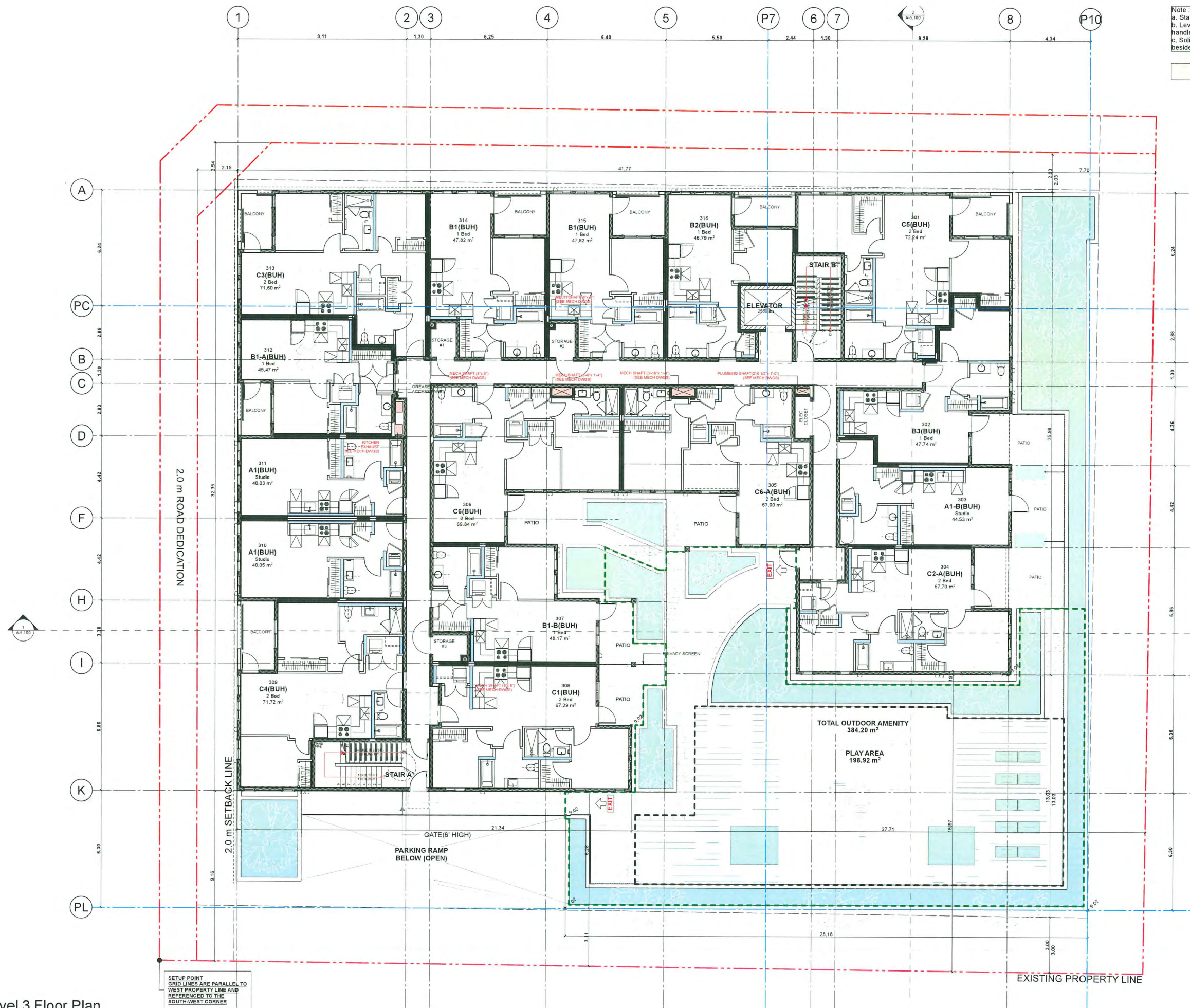
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DP 23-033716
November 17, 2025
Plan #8

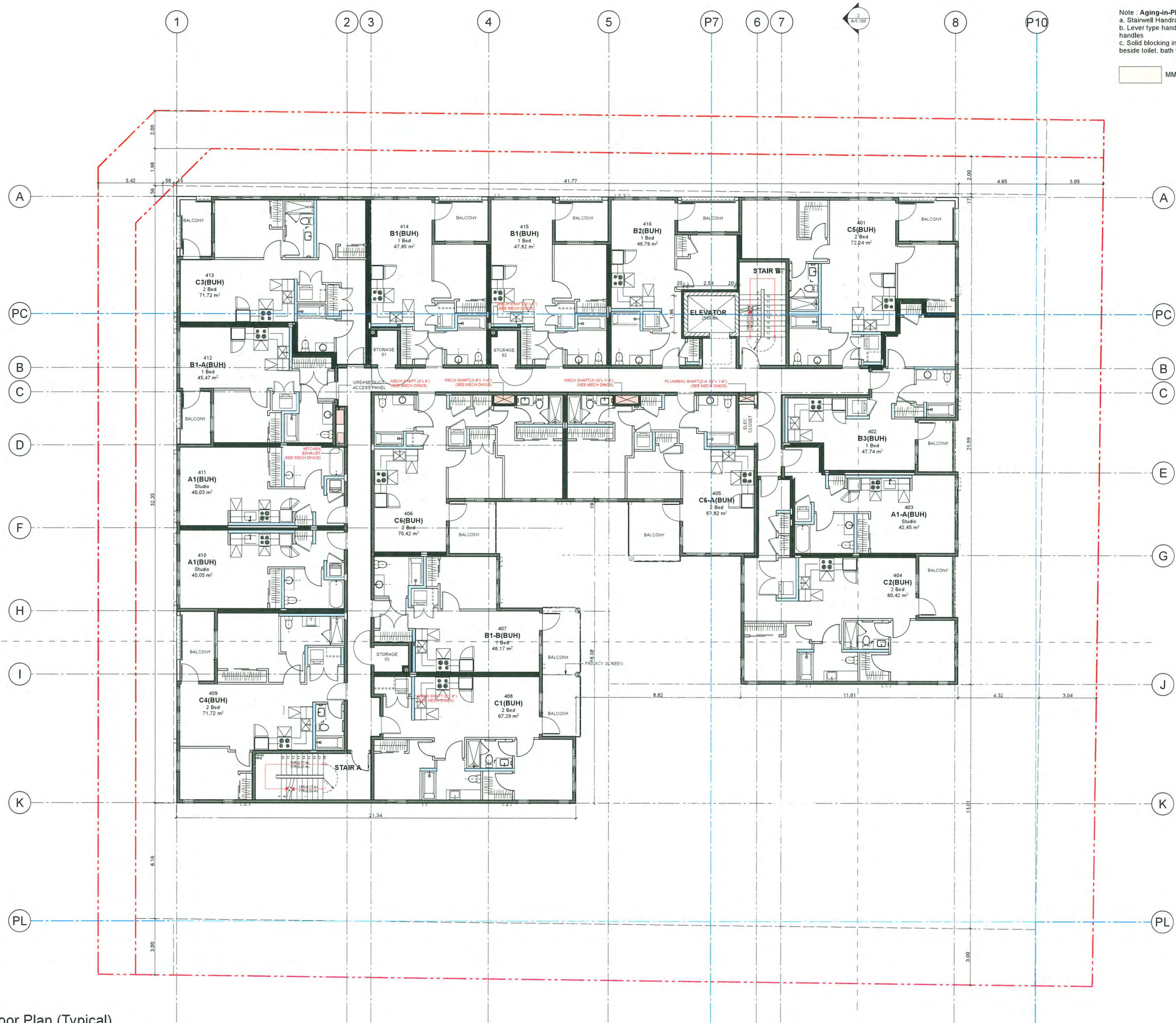


Level 3 Floor Plan

A-2.300



1 Level 3 Floor Plan



Note: Aging-in-Place Features Provided in all units
a. Stairwell Handrails
b. Lever type handles for plumbing fixtures and door handles
c. Solid blocking in washroom walls for future grab bars beside toilet, bath tub and shower

MMR UNITS



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BY: INTEGRITY ARCHITECTURE INC. 2025-10-27
100% - 100% - 100% - 100% - 100% - 100% - 100% - 100%



- [PROJECT TEAM]
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DP 23-033716
November 17, 2025
Plan #9

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



PANATCH GROUP

[PROJECT]

Mixed Use Rental Building
9000, No.3 Road
Richmond, BC

[TITLE]

Level 4 to 6 Floor Plan (Typical)

23625 [PROJECT]

[SCALE]

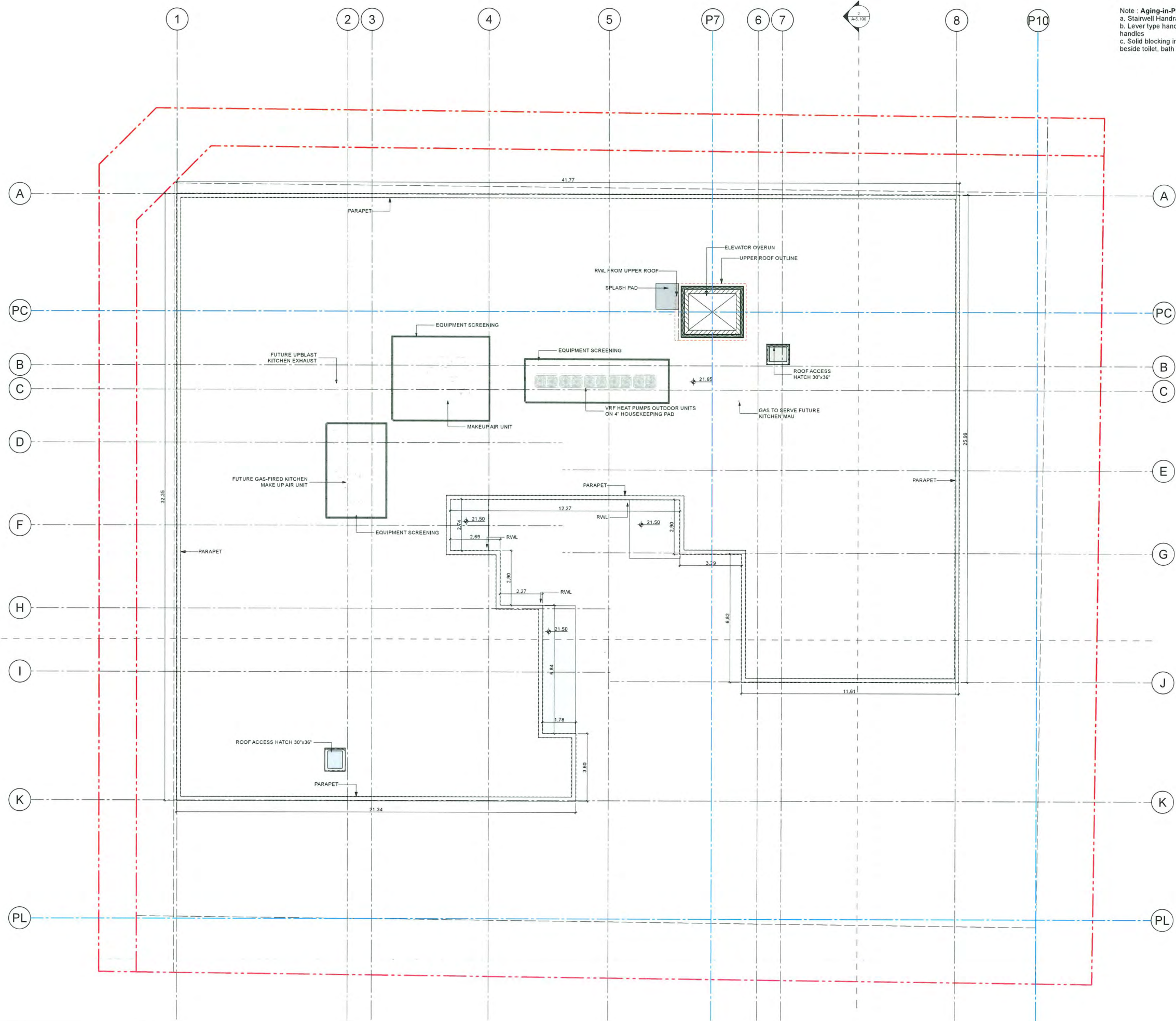
Monday, October 27, 2025 [DATE]

DP (ISSUE 11.0) [ISSUE]

[DRAWING]

A-2.400

1 Level 4-6 Floor Plan (Typical)
SCALE: 1/8" = 1'-0"



Note : Aging-in-Place Features Provided in all units
a. Stairwell Handrails
b. Lever type handles for plumbing fixtures and door handles
c. Solid blocking in washroom walls for future grab bars beside toilet, bath tub and shower



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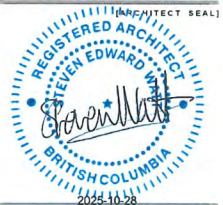


[PROJECT TEAM]

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DP 23-033716
November 17, 2025
Plan #10

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



PANATCH GROUP

Mixed Use Rental Building
9000, No.3 Road
Richmond, BC

Roof Plan

23625
Monday, October 27, 2025
DP (ISSUE 11.0)

A-2.500



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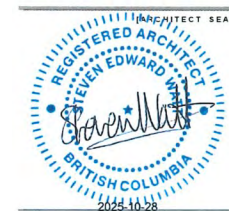
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DP 23-033716
November 17, 2025
Plan #11

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



PANATCH GROUP

Mixed Use Rental Building

9000, No.3 Road
Richmond, BC

Building Elevations

23625

Monday, October 27, 2025

DP (ISSUE 11.0)

A-4.100



1 Building Elevation - North

SCALE: 1/8" = 1'-0"



2 Building Elevation - West

SCALE: 1/8" = 1'-0"



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[PROJECT TEAM]

- 1 - 2023.10.27 - RZ/DP ISSUE 1.0
- 2 - 2024.03.14 - RZ/DP ISSUE 2.0 (Change in development scope)
- 3 - 2024.10.18 - RZ/DP ISSUE 3.0
- 4 - 2025.02.27 - RZ/DP ISSUE 4.0
- 5 - 2025.06.23 - RZ/DP ISSUE 5.0
- 6 - 2025.07.09 - RZ/DP ISSUE 6.0
- 7 - 2025.08.29 - RZ/DP ISSUE 7.0
- 8 - 2025.10.07 - RZ/DP ISSUE 8.0
- 9 - 2025.10.22 - RZ/DP ISSUE 9.0
- 10 - 2025.10.22 - RZ/DP ISSUE 10.0
- 11 - 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716
November 17, 2025
Plan #12



PANATCH GROUP

Mixed Use Rental Building

9000, No.3 Road
Richmond, BC

Building Elevations

23625

1/8" = 1'-0"

Monday, October 27, 2025

DP (ISSUE 11.0)

A-4.200

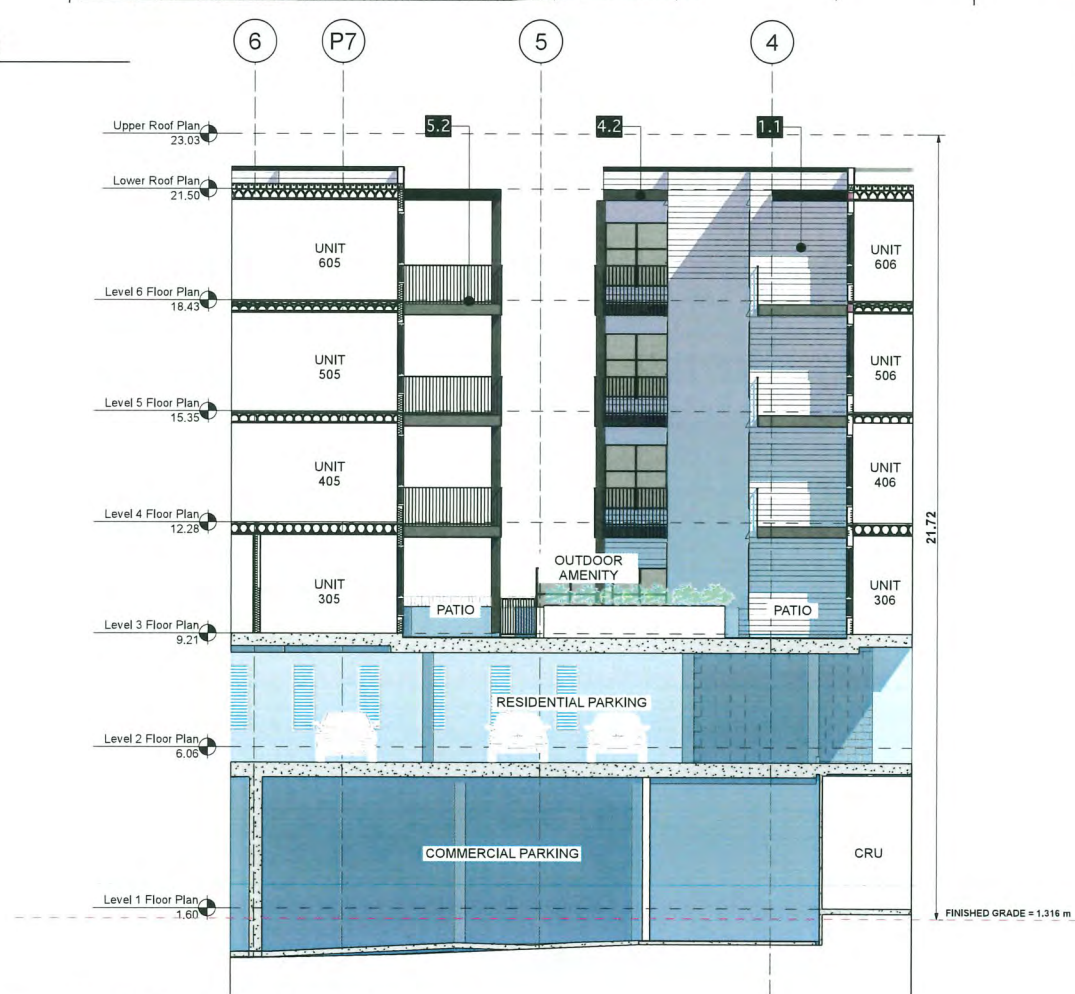




1 West Elevation (Internal)
SCALE: 1/8" = 1'-0"



2 East Elevation (Internal)
SCALE: 1/8" = 1'-0"



3 North Elevation (Internal)
SCALE: 1/8" = 1'-0"



4 South Elevation (Internal)
SCALE: 1/8" = 1'-0"



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CONCEPT DESIGN, DESIGN DEVELOPMENT, DESIGN, PRELIMINARY DESIGN, PERMITTING, CONSTRUCTION ADMINISTRATION, POST-OCUPANCY EVALUATION
INTEGRITY ARCHITECTURE INC. 100% PARTNER IN
PROJECT: 2023.10.27 - 2025.10.27 - 2025.10.27

- [PROJECT TEAM]
- 1 - 2023.10.27 - RZ/DP ISSUE 1.0
 - 2 - 2024.03.14 - RZ/DP ISSUE 2.0 (Change in development scope)
 - 3 - 2024.10.18 - RZ/DP ISSUE 3.0
 - 4 - 2025.02.27 - RZ/DP ISSUE 4.0
 - 5 - 2025.06.23 - RZ/DP ISSUE 5.0
 - 6 - 2025.07.08 - RZ/DP ISSUE 6.0
 - 7 - 2025.08.29 - RZ/DP ISSUE 7.0
 - 8 - 2025.10.07 - RZ/DP ISSUE 8.0
 - 9 - 2025.10.22 - RZ/DP ISSUE 9.0
 - 10 - 2025.10.22 - RZ/DP ISSUE 10.0
 - 11 - 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716
November 17, 2025
Plan #13

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



PANATCH GROUP

Mixed Use Rental Building
9000, No.3 Road
Richmond, BC

Building Elevations

23625

1/8" = 1'-0"

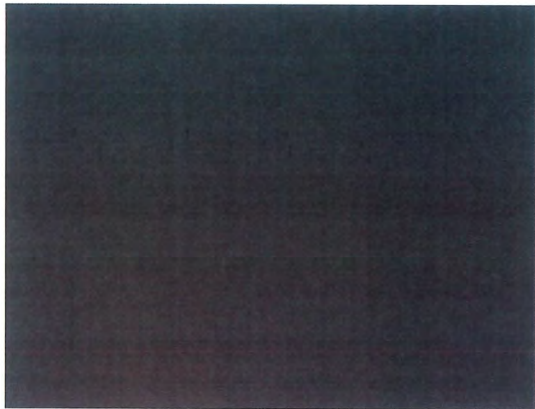
Monday, October 27, 2025

DP (ISSUE 11.0)

A-4.300



1.1 | Arctic White | Lap Siding (Hardie or sim.)



1.2 | Iron Gray | Lap Siding (Hardie or sim.)

1.3 | Iron Gray | Panel (Hardie or sim.)



1.4 | Summer Wheat | Siding (Hardie or sim.)

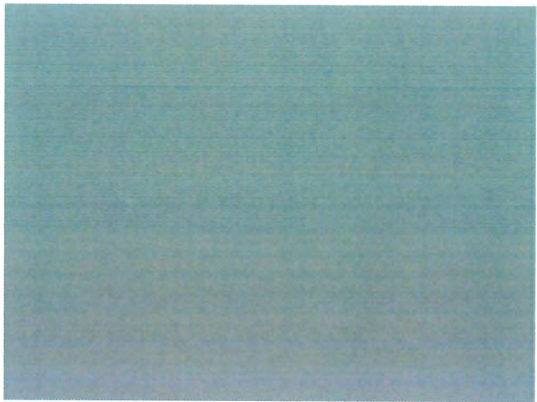
Woodtone finish (V Groove)

2.1 | Summer Wheat | Soffit

Woodtone finish (V Groove)



1.5 | Baco Stoneware | Amora or sim (Brick)



1.6 | Storm HC-178 | Benjamin Moore
Painted Concrete



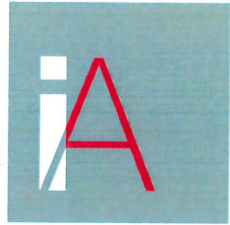
5.1 | Black | Vinyl Windows

5.2 | Black | Railings

Material and colour legend				
	Colour	Product (to match)	Finish (to match)	Location
1.0				CLADDING
1.1	Artic White	Lap Siding w/ 7" Exposure (James Hardie or similar)	X	Exterior walls
1.2	Iron Gray	Lap Siding w/ 7" Exposure (James Hardie or similar)	X	Exterior walls
1.3	Iron Gray	Fiber Cement Panel (James Hardie or similar)	X	Exterior walls
1.4	Summer Wheat	Lap Siding - Summer Wheat(Hardie or similar)- Woodtone Finish	X	Exterior walls
1.5	Black	Brick (Amora or similar)	X	Exterior walls
1.6	Charcoal Slate	Painted Concrete (Benjamin Moore- HC-178)	X	Exterior walls
1.7	Gray	Metal Chainlink Fence	X	Interior walls
2.0				SOFFIT
2.1	Summer Wheat	Soffit (James Hardie - Artisan Soffit V Groove) with Woodtone Finish to Match Summer Wheat	X	Feature Soffit
3.0				TRIMS / FLASHINGS
3.1	Black	Charcoal Powder coated Aluminum Matt	1.2	Flashings
3.2	White	White Powder coated Aluminum Matt	1.1	Flashings
4.0				ROOFS / DECKS
4.1	White	WhitePowder coated Aluminum Matt	1.1	Roofs / Overhangs / Flashings
4.2	Black	Charcoal Powder coated Aluminum Matt	1.1	Roofs / Overhangs / Flashings
5.0				WINDOWS / GLAZING
5.1	Black	Vinyl Windows	X	Prefinished vinyl windows
5.2	Black	Railings	X	Black railings w/ clear glazing
5.3	Light Ash	Wood fence screening	X	Rooftop equipment screening



DP 23-033716
November 17, 2025
Plan #14



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[PROJECT TEAM]
1 - 2023.10.27 - RZ/DP ISSUE 1.0
2 - 2024.03.14 - RZ/DP ISSUE 2.0
(Change in development scope)
3 - 2024.10.18 - RZ/DP ISSUE 3.0
4 - 2025.02.27 - RZ/DP ISSUE 4.0
5 - 2025.06.23 - RZ/DP ISSUE 5.0
6 - 2025.07.09 - RZ/DP ISSUE 6.0
7 - 2025.08.29 - RZ/DP ISSUE 7.0
8 - 2025.10.07 - RZ/DP ISSUE 8.0
9 - 2025.10.22 - RZ/DP ISSUE 9.0
10 - 2025.10.22 - RZ/DP ISSUE 10.0
11 - 2025.10.27 - RZ/DP ISSUE 11.0

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



PANATCH GROUP

Mixed Use Rental
Building
9000, No.3 Road
Richmond, BC

Material Board

23625 [PROJECT]
1:3.03, 1:0.50 [SCALE]
Monday, October 27, 2025 [DATE]
DP (ISSUE 11.0) [ISSUE]
[DRAWING]

A-4.400



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- (PROJECT TEAM)
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 - 5 - 2025.06.23 - RZ/DP ISSUE 5.0
 - 6 - 2025.07.09 - RZ/DP ISSUE 6.0
 - 7 - 2025.08.29 - RZ/DP ISSUE 7.0
 - 8 - 2025.10.07 - RZ/DP ISSUE 8.0
 - 9 - 2025.10.22 - RZ/DP ISSUE 9.0
 - 10 - 2025.10.22 - RZ/DP ISSUE 10.0
 - 11 - 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716
November 17, 2025
Plan #15



Streetscape Along No.3 Road



Streetscape Along Francis Road

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PANATCH GROUP

Mixed Use Rental Building
9000, No.3 Road
Richmond, BC

Streetscape

23625
Monday, October 27, 2025
DP (ISSUE 11.0)

A-4.500



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- [PROJECT TEAM]
- 1 - 2023.10.27 - RZ/DP ISSUE 1.0
 - 2 - 2024.03.14 - RZ/DP ISSUE 2.0 (Change in development scope)
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 - 4 - 2025.02.27 - RZ/DP ISSUE 4.0
 - 5 - 2025.06.23 - RZ/DP ISSUE 5.0
 - 6 - 2025.07.09 - RZ/DP ISSUE 6.0
 - 7 - 2025.08.29 - RZ/DP ISSUE 7.0
 - 8 - 2025.10.07 - RZ/DP ISSUE 8.0
 - 9 - 2025.10.22 - RZ/DP ISSUE 9.0
 - 10 - 2025.10.22 - RZ/DP ISSUE 10.0
 - 11 - 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716
November 17, 2025
Plan #16

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



PANATCH GROUP

Mixed Use Rental Building

9000, No.3 Road
Richmond, BC

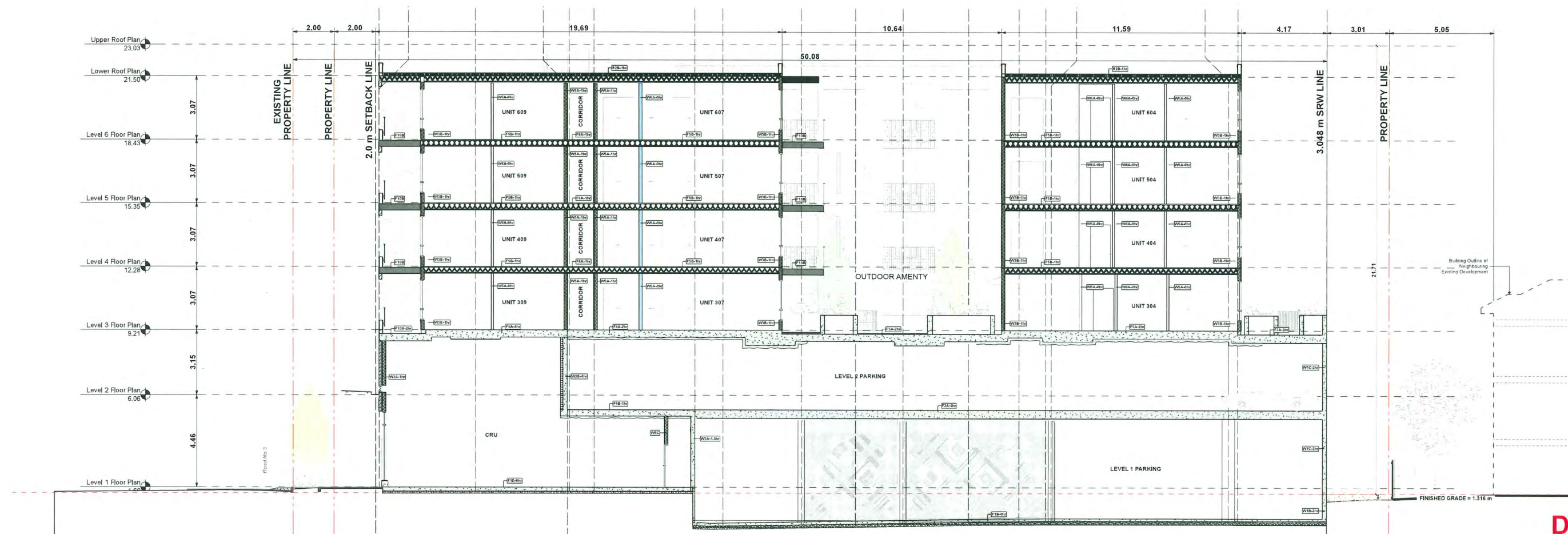
Building Sections

23625

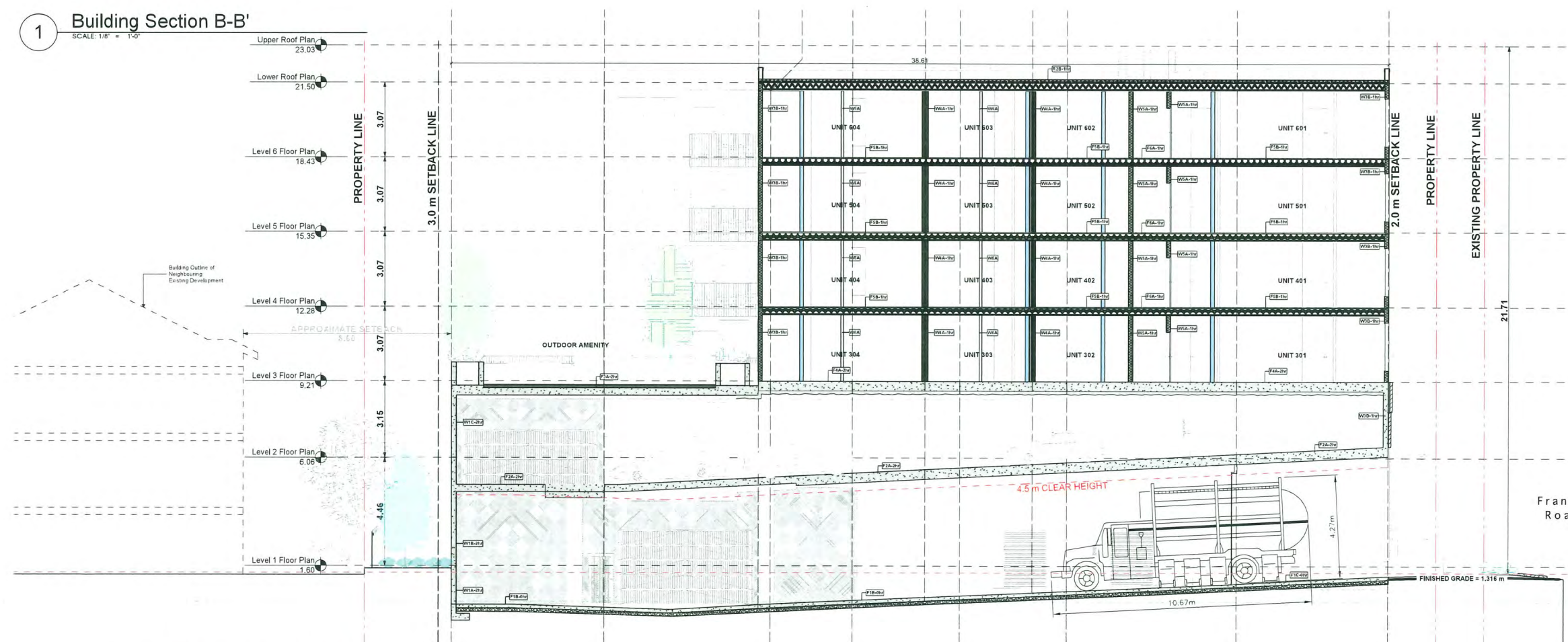
Monday, October 27, 2025

DP (ISSUE 11.0)

A-5.100



1 Building Section B-B'
SCALE: 1/8" = 1'-0"



2 Building Section - A-A'
SCALE: 1/8" = 1'-0"

Issues No.	Description	Date
1	Issued for Rezoning/DP	2023/10/27
2	Re Issued for DP	2024/03/14
3	Re Issued for DP	2024/10/19
4	Re Issued for Rezoning/DP	2025/02/26
5	Re Issued for DP	2025/07/11
6	Re Issued for RZ/DP	2025/09/29
7	Issued for 60% BP	2025/09/19
8	Issued for ADP	2025/10/06
9	Issued for 90% BP	2025/10/16

DP 23-033716
November 17, 2025
Plan #17

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Client:



Project Title:

9000 no.3 Road

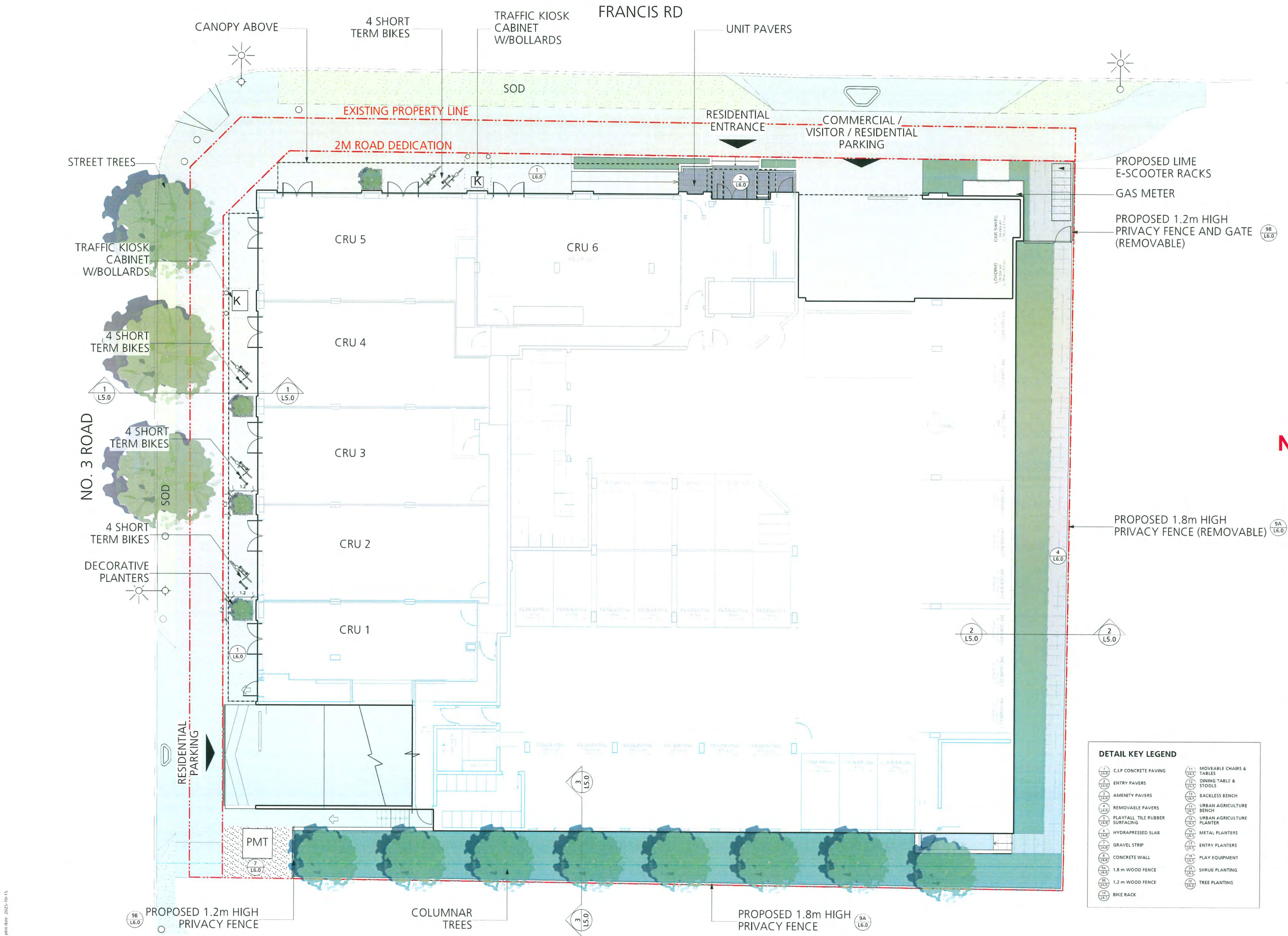
Drawing Title:
Landscape Plan - Level 1

Project North: Drawn By: CS
Checked By: MP

Scale: 1:100 Job No.: 23-054

Sheet No.:

L1.0



Issues	No.	Description	Date
1	Issued for Rezoning/DP		2023/10/27
2	Re Issued for DP		2024/03/14
3	Re Issued for DP		2024/10/18
4	Re Issued for Rezoning/DP		2025/02/26
5	Re Issued for DP		2025/07/11
6	Re Issued for RZ/DP		2025/08/29
7	Issued for 60% BP		2025/09/19
8	Issued for ADP		2025/10/06
9	Issued for 90% BP		2025/10/16

DP 23-033716
November 17, 2025
Plan #18


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Client:

PANATCH GROUP
PROPERTIES • CAPITAL • FOUNDATION

Project Title:
9000 no.3 Road

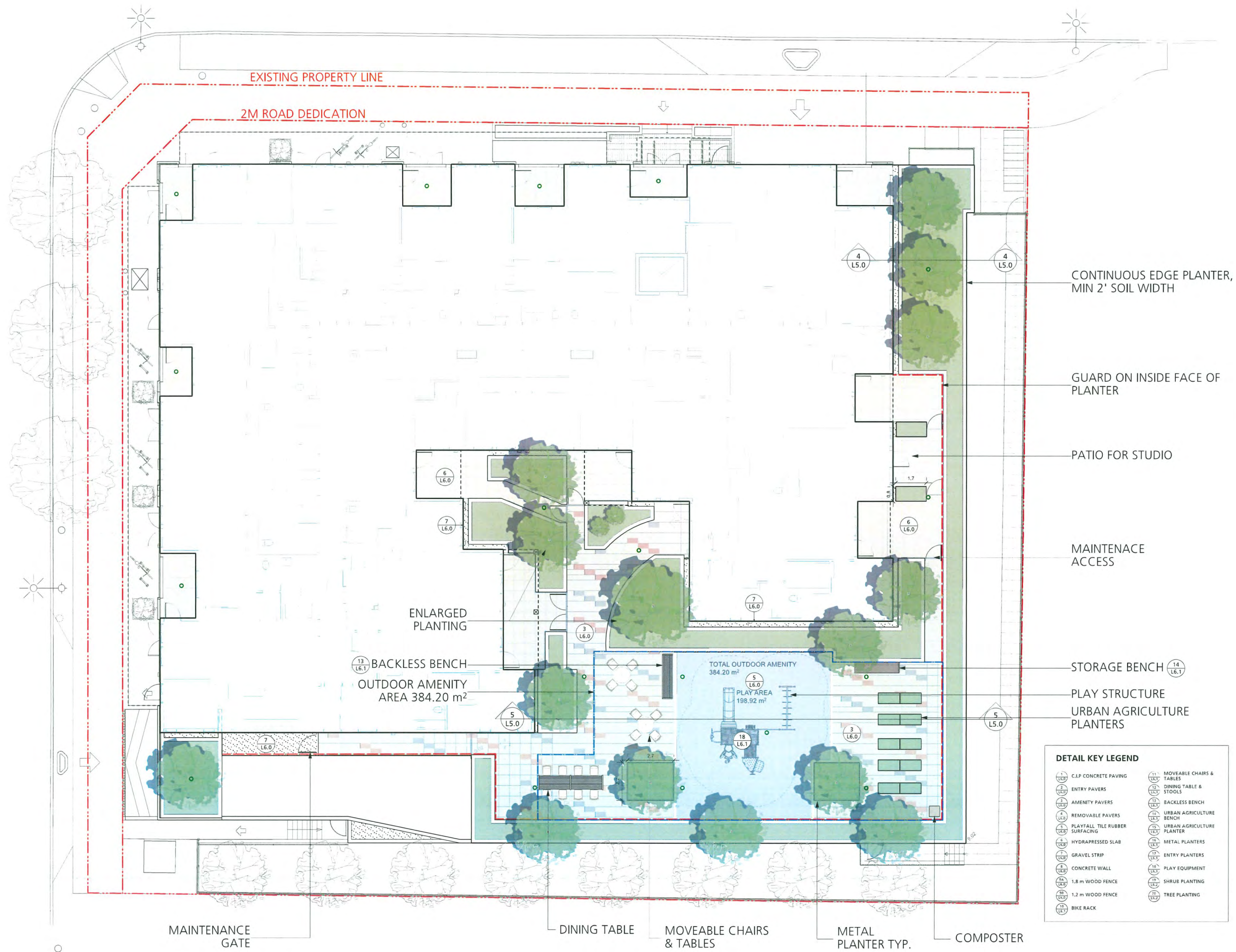
Drawing Title:
Landscape Plan - Level 3

Project North:  Drawn By: **CS**
Checked By: **MP**

Scale: **1:100** Job No.: **23-054**

Sheet No.:

NO. 3 ROAD



Issues		
No.	Description	Date
	Issued for Rezoning/DP	2023/10/27
2	Re Issued for DP	2024/03/14
3	Re Issued for DP	2024/10/18
4	Re Issued for Rezoning/DP	2025/02/26
5	Re Issued for DP	2025/07/11
6	Re Issued for RZ/DP	2025/08/29
7	Issued for 60% BP	2025/09/19
8	Issued for ADP	2025/10/06
9	Issued for 90% BP	2025/10/16

DP 23-033716
November 17, 2025
Plan #19

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Client:



Project Title:

9000 no.3 Road

Drawing Title:

Tree Management Plan

Project North:



Drawn By:

CS

Checked By:

MP

Scale:

1:100

Job No.:

23-054

Sheet No.:

NO. 3 ROAD

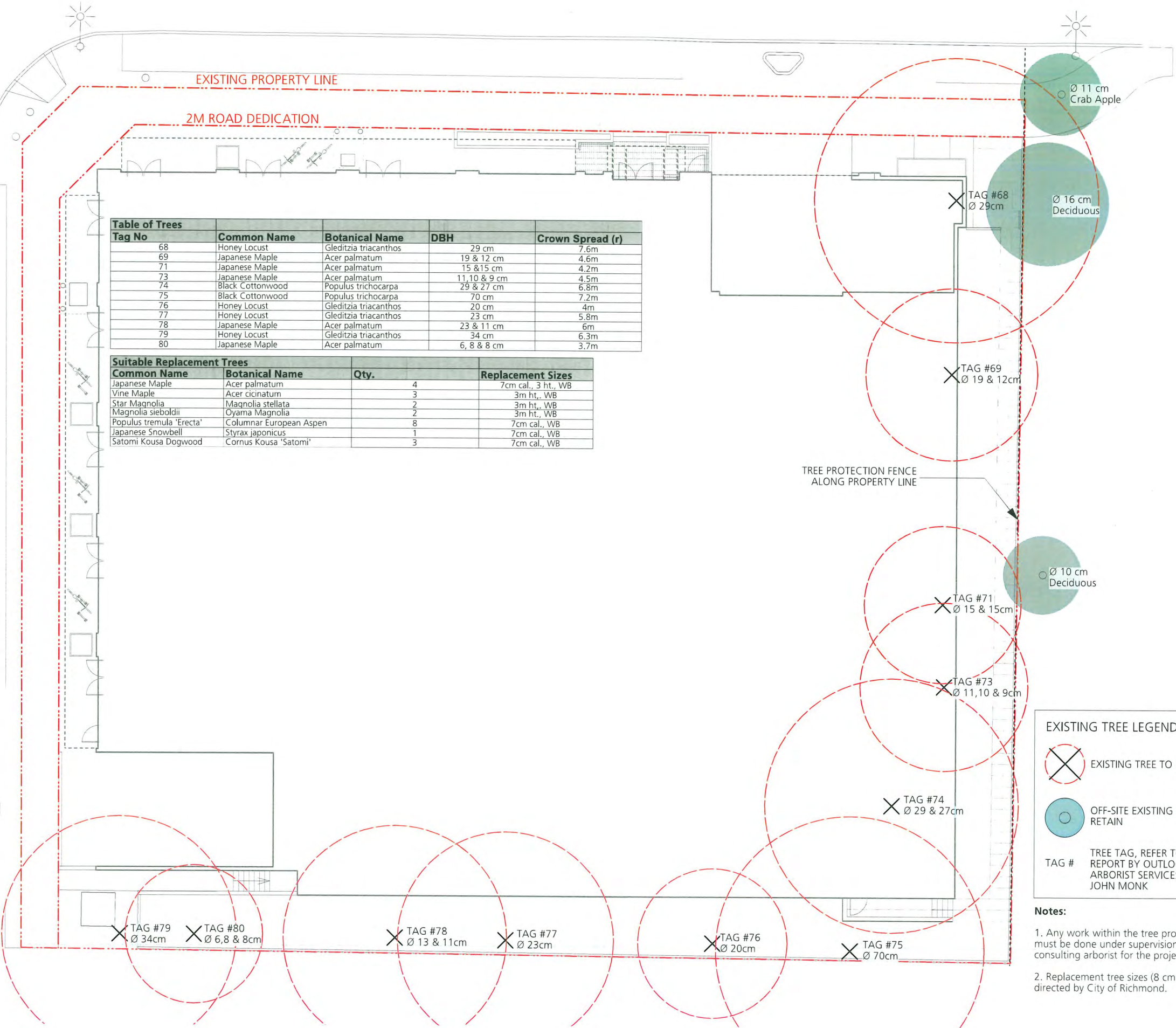


Table of Trees				
Tag No	Common Name	Botanical Name	DBH	Crown Spread (r)
68	Honey Locust	Gleditzia triacanthos	29 cm	7.6m
69	Japanese Maple	Acer palmatum	19 & 12 cm	4.6m
71	Japanese Maple	Acer palmatum	15 & 15 cm	4.2m
73	Japanese Maple	Acer palmatum	11, 10 & 9 cm	4.5m
74	Black Cottonwood	Populus trichocarpa	29 & 27 cm	6.8m
75	Black Cottonwood	Populus trichocarpa	70 cm	7.2m
76	Honey Locust	Gleditzia triacanthos	20 cm	4m
77	Honey Locust	Gleditzia triacanthos	23 cm	5.8m
78	Japanese Maple	Acer palmatum	23 & 11 cm	6m
79	Honey Locust	Gleditzia triacanthos	34 cm	6.3m
80	Japanese Maple	Acer palmatum	6, 8 & 8 cm	3.7m

Suitable Replacement Trees			
Common Name	Botanical Name	Qty.	Replacement Sizes
Japanese Maple	Acer palmatum	4	7cm cal., 3 ht., WB
Vine Maple	Acer cineratum	3	3m ht., WB
Star Magnolia	Magnolia stellata	2	3m ht., WB
Magnolia sieboldii	Oyama Magnolia	2	3m ht., WB
Populus tremula 'Erecta'	Columnar European Aspen	8	7cm cal., WB
Japanese Snowbell	Styrax japonicus	1	7cm cal., WB
Satomi Kousa Dogwood	Cornus Kousa 'Satomi'	3	7cm cal., WB

EXISTING TREE LEGEND:



EXISTING TREE TO REMOVE



OFF-SITE EXISTING TREE TO RETAIN

TREE TAG, REFER TO ARBORIST REPORT BY OUTLOOK ARBORIST SERVICES, JOHN MONK

Notes:

- Any work within the tree protection areas must be done under supervision of the consulting arborist for the project.
- Replacement tree sizes (8 cm cal) are as directed by City of Richmond.

Issues	No.	Description	Date
1	1	Issued for RZ/DP	2025/08/09
2	2	Issued for 60% BP	2025/09/19
3	3	Issued for ADP	2025/10/06
4	4	Issued for 90% BP	2025/10/16

DP 23-033716
November 17, 2025
Plan #20

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Client:



Project Title:
9000 no.3 Road

Drawing Title:
Lighting Plan - Level 1

Project North:	PN	Drawn By:	CS
Scale:	1:100	Checked By:	MP
Sheet No.:		Job No.:	23-054

NO.3 KUAD

EXISTING PROPERTY LINE

2M ROAD DEDICATION

CRU 5
92.71 m²

CRU 6
98.18 m²

CRU 4
12.71 m²

CRU 3
12.51 m²

CRU 2
92.58 m²

CRU 1
95.06 m²

GAS SHAPE
12.7m x 5.5m
LOADING
CONCRETE
12.7m x 5.5m

LIGHTING LEGEND

- WL Step Light / Wall Light
- BL Bollard Light
- WM Wall Mount Down Light
- Street Light

Issues No.	Description	Date
1	Re Issued for RZ/DP	2025/08/09
2	Issued for 60% BP	2025/09/19
3	Issued for ADP	2025/10/06
4	Issued for 90% BP	2025/10/16

DP 23-033716
November 17, 2025
Plan #21

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Client:



Project Title:
9000 no.3 Road

Drawing Title:
Lighting Plan - Level 3

Project North: Drawn By: CS
Checked By: MP

Scale: 1:100 Job No.: 23-054

Sheet No.:

LIGHTING LEGEND

WL Step Light / Wall Light

BL Bollard Light

WM Wall Mount Down Light

Street Light

NO.3 ROAD

Issues		
No.	Description	Date
1	Issued for RDP	2025/08/09
2	Issued for 50% BP	2025/09/19
3	Issued for ADP	2025/10/06
4	Issued for 90% BP	2025/10/16

DP 23-033716
November 17, 2025
Plan #22

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Client:



Project Title:

9000 no.3 Road

Drawing Title:

Grading Plan

Project North:

PN

Drawn By:

CS

Checked By:

MP

Scale:

1:100

Job No.:

23-054

Sheet No.:

L2.0

No.3 ROAD

FRANCIS ROAD

EXISTING PROPERTY LINE

2M ROAD WIDENING

CRU 5

FFE 5' 3"

1.60m

CRU 6

FFE 5' 3"

1.60m

CRU 4

FFE 5' 3"

1.60m

CRU 3

FFE 5' 3"

1.60m

CRU 2

FFE 5' 3"

1.60m

CRU 1

FFE 5' 3"

1.60m

GRADING LEGEND

FFE +00.00 Finish Floor Elevation

+FG 00.00 Finish Grade Elevation

+TW 00.00 Top Of Wall Elevation

+INT 00.00 Interpolated Elevation

Slab Drain Location

GRADING NOTES

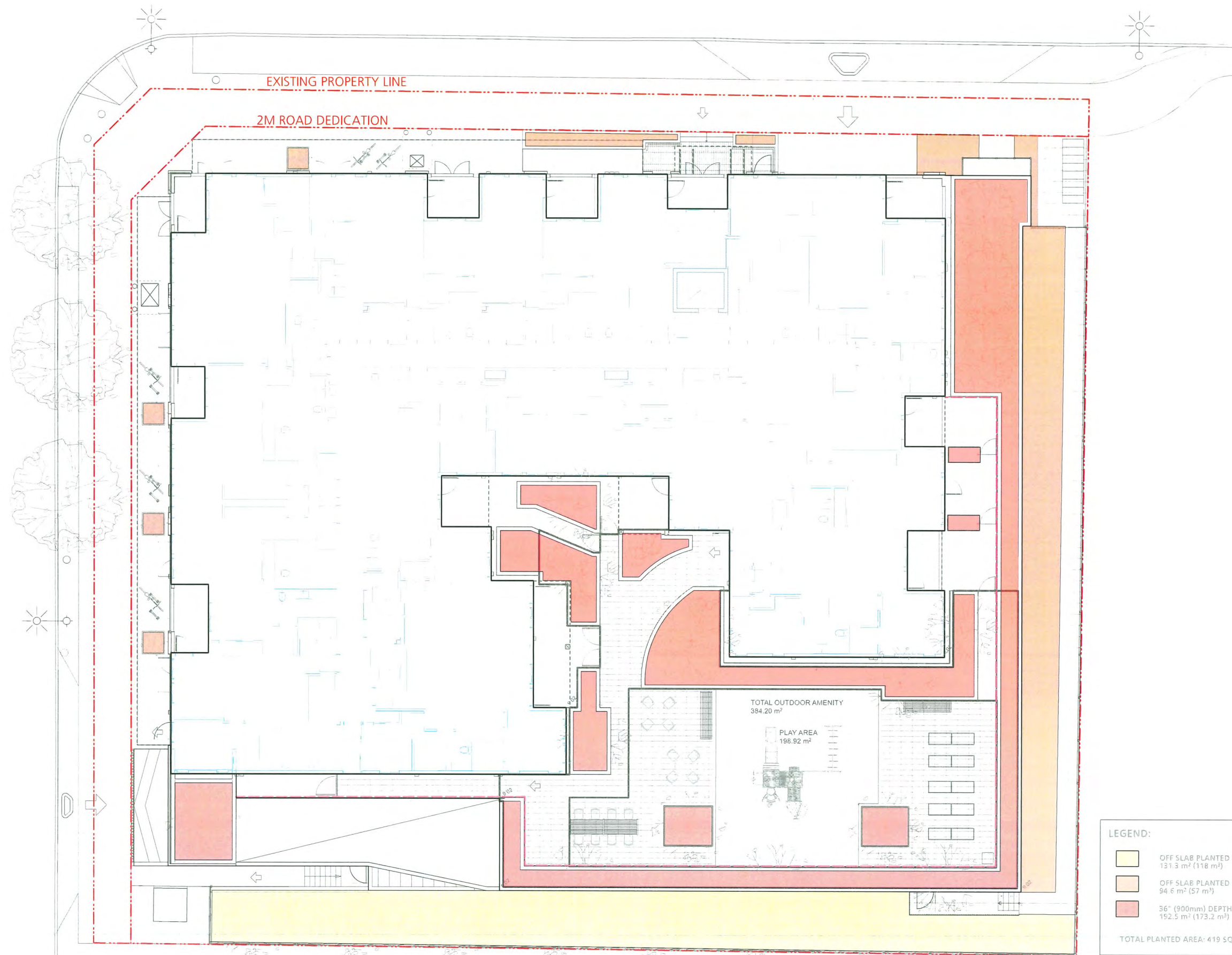
1. SLOPE ALL PAVED AREAS TO AREA DRAINS.
2. ALL PLANTING BEDS OVER SLAB ARE TO BE LIGHTLY COMPACTED PRIOR TO INSTALLATION OF PLANTING. MOUND PLANTERS SLIGHTLY (50MM) IN CENTER. MAXIMUM SLOPE IS 3:1.
3. REFER TO STRUCTURAL FOR MAXIMUM ALLOWABLE BUILDING / LOADING OVER SLAB.
4. CONTRACTOR TO COVER ALL EXPOSED WALL / SLAB WATERPROOFING WITH FLASHING PAINTED TO MATCH HANDRAIL AND METAL WORK.
5. CONTRACTOR IS RESPONSIBLE TO REVIEW ALL CONSULTANT DRAWINGS.
6. CONTRACTOR TO ADVISE CONSULTANT OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ON SITE CONDITIONS.
7. ALL EXISTING UTILITY COVERS ARE TO BE ADJUSTED TO THE FINAL GRADE.

PAVING AT DRAINS:

- RE= DRAIN SPECIFICATIONS PER MECHANICAL
- PAVEPS CUT FLUSH AGAINST DRAIN.
- MAX 1/16" (1.59MM) GAP BETWEEN PAVEP AND DRAIN FRAME.
- NO PARTIAL CUT BRICKS ACCEPTED.
- RIGID INSULATION FOR VOIDING WHERE REQUIRED. SEE STRUCTURAL

No.3 ROAD

FRANCIS ROAD



LEGEND:

- OFF SLAB PLANTED AREA 36" (900mm) DEPTH
131.3 m² (118 m²)
- OFF SLAB PLANTED AREA 24" (600mm) DEPTH
94.6 m² (57 m²)
- 36" (900mm) DEPTH PLANTER OVER SLAB
192.5 m² (173.2 m²)

TOTAL PLANTED AREA: 419 SQM

Issues No.	Description	Date
1	Re Issued for RZDP	2025/08/09
2	Issued for 60% BP	2025/08/19
3	Issued for ADP	2025/10/06
4	Issued for 90% BP	2025/10/16

DP 23-033716
November 17, 2025
Plan #23

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Client:



Project Title:

9000 no.3 Road

Drawing Title:

Soil Depth Plan

Project North:



Drawn By:

CS

Checked By:

MP

Scale:

1:100

Job No.:

23-054

Sheet No.:

Issues		
No.	Description	Date
1	Issued for ReZoning/DP	2/23/10/27
2	Re Issued for DP	2024/03/14
3	Re Issued for DP	2024/10/18
4	Re Issued for ReZoning/DP	2025/02/26
5	Re Issued for DP	2025/07/11
6	Re Issued for RZ/DP	2025/08/29
7	Issued for 60% BP	2025/09/19
8	Issued for ADP	2025/10/06
9	Issued for 90% BP	2025/10/16

DP 23-033716
November 17, 2025
Plan #24

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Client:



Project Title:

9000 no.3 Road

Drawing Title:

Planting Plan - Level 1

Project North:	PN	Drawn By:	JW
		Checked By:	MP
Scale:	1:100	Job No.:	23-054
Sheet No.:			

No.3 ROAD

Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
Plant List					
Trees					
Acc	23	Acer circinatum	Vine Maple	3m ht., WB	*native *habitat
Accp	4	Acer palmatum	Japanese Maple	7cm cal., 3m ht., WB	
CKS	3	Cornus kousa 'Satomii'	Satomi Kousa Dogwood	7cm cal., WB	
MsO	2	Magnolia sieboldii	Oyama Magnolia	3m ht., WB	
Ms	2	Magnolia stellata	Star Magnolia	3m ht., WB	
PtE	8	Populus tremula 'Erecta'	Columnar European Aspen	7cm cal., WB	
Sj	1	Styrax japonicus	Japanese Snowbell	7cm cal., WB	Single Trunk
Shrubs					
BmW	470	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	
CL	1	Choisya ternata	Mexican Orange	#3 pot	
ETC	36	Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	#2 pot	Cascading
HiA	2	Hamamelis x intermedia 'Arnold Promise'	Arnold Promise Witch Hazel	#7 pot	
JSB	12	Juniperus squamata 'Blue Star'	Blue Star Juniper	#2 pot	
LnB	42	Lonicera nitida 'Baggensen's Gold'	Baggesen's Gold Boxleaf Honeysuckle	#5 pot	
Lop	77	Lonicera pileata	Privet Honeysuckle	#3 pot	
Mac	6	Mahonia aquifolium 'Compacta'	Compact Oregon Grape	#2 pot	
PhI	1	Philadelphus 'Belle Etoile'	Mock Orange	#5 pot	
RhS	22	Rhododendron 'Snipe'	Dwarf Snipe Rhododendron	#2 pot	
Sh	46	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot	
SjG	42	Spiraea japonica 'Goldmound'	Goldmound Spirea	#3 pot	
TmH	178	Taxus x media 'Hicksii' (male form)	Hicksii Yew (male form)	4' ht., B&B	Hedge
Groundcovers, Vines, Ferns, Perennials and Grasses					
AqO	18	Acorus gramineus 'Ogon'	Golden Variegated Sweet Flag	#1 pot	
Av	4	Adiantum venustum	Himalayan Maidenhair Fern	#2 pot	
ArS	6	Ajuga reptans 'Black Scallop'	Black Scallop Bugleweed	#1 pot	
Au	20	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	Cascading
BmJ	9	Brunnera macrophylla 'Jack Frost'	Siberian Bugloss	#1 pot	
CaK	35	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 pot	
CoE	387	Carex oshimensis 'Evergold'	Sedge	#1 pot	
CoF	3	Carex oshimensis 'Feather Falls'	Variegated Japanese Sedge	#1 pot	
F	72	Festuca glauca 'Blue Glow'	Blue Fescue	#1 pot	
HC	48	Heuchera 'Cherries Jubilee'	Coral Bells	#1 pot	
HG	3	Hosta 'Guacamole'	Guacamole Hosta	#1 pot	
LaM	24	Lavandula angustifolia 'Munstead'	English Lavender	#1 pot	
LnA	14	Lysimachia nummularia 'Aurea'	Golden Creeping Jenny	#1 pot	Cascading
Pt	843	Pachysandra terminalis	Japanese Spurge	#1 pot	
PtB	34	Parthenocissus tricuspidata	Boston Ivy	#1 pot	Creeping Vine
PaH	51	Pennisetum alopecuroides 'Hameln'	Hamelin Fountain Grass	#1 pot	
Pm	67	Polystichum munitum	Western Sword Fern	#1 pot	
PsD	28	Polystichum setiferum 'Divisilobum'	Soft Shield Fern	#1 pot	
Total	2188				

PLANTING NOTES:

- All work and materials shall meet or exceed the requirements outlined in the CSLA Landscape Standard.
- Contractor is responsible to obtain and be familiar with the relevant project specifications.
- As a minimal acceptable standard:
 - Sizes on the plant list shall be considered minimum sizes.
 - Root balls to be free of pernicious weeds.
- Arborist to review in field all planting within existing tree driplines and confirm removal.
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the phytophthora ramorum virus (sudden oak death); removal and replacement of plant material found to contain the virus to be at the contractor's expense.
- All plant material shall be approved at the nursery by the project landscape architect.
- The contractor shall supply all plant materials shown on all drawings.
- No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics or plastics shall be removed at time of planting.
- Container grown stock, shall have the container removed and the rootball be cleanly scored in two vertical locations.
- Contractor to submit a representative sample of the proposed topsoil for testing to Pacific Soil Analysis. Contractor is responsible for arranging and payment of soil analysis and amendments to growing medium as determined. Contractor shall instruct soil testing lab to submit results directly to the consultant for approval prior to commencement of work. Generic Analysis is not acceptable.
- Contractor to provide landscape architect a copy of all packing slips received from nursery listing names and quantities of all plant stock supplied if requested.
- The contractor shall locate and verify the existence of all utilities prior to starting work.
- Soil depths to be as follows:
 - Lawn 300mm on grade, 300mm on slab
 - Shrub beds min. 900mm on grade, 600mm on slab
 - Trees planting hole to be 1500mm x 1500mm x 900mm deep backfilled with approved soil available from approved source, min. 10m3 to be provided per tree.
- All planting beds to have min. 50mm depth of 25mm minus screened composted bark mulch (not on groundcover areas).
- Contractor to provide design build irrigation system by certified IABC irrigation designer.
- The landscape contractor shall refer to the contract specifications for additional requirements prior to and during establishment maintenance period.
- Plant Search area to include BC.

Issues		
No.	Description	Date
1	Issued for Pezonang/DP	2/23/10/27
2	Re Issued for DP	2/24/03/14
3	Re Issued for DP	7/24/10/18
4	Re Issued for Rezinang/DP	26/02/26/26
5	Re Issued for DP	7/25/07/11
6	Re Issued for KZDP	20/25/08/29
7	Issued for 60% BP	25/09/19
8	Issued for ADP	25/10/06
9	Issued for 90% BP	25/10/16

DP 23-033716
November 17, 2025
Plan #25

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Client.



Project Title:

9000 no.3 Road

Drawing Title:

Planting Plan - Level 3

Project North:



Drawn By _____

Checked By: MP

Scale: _____ Job No.: _____

Sheet No.:

L3.1

Issues		
No.	Description	Date
1	Issued for 60% BP	2025/09/19
2	Issued for 90% BP	2025/10/16

DP 23-033716
November 17, 2025
Plan #26

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Client:



Project Title:
9000 no.3 Road

Drawing Title:
Irrigation Plan - Level 1

Project North:	PN	Drawn By:	CS
		Checked By:	MP
Scale:	1:100	Job No.:	23-054
Sheet No.:			

No.3 ROAD

EXISTING PROPERTY LINE

2M ROAD DEDICATION

General Notes:

1. The irrigation contractor to provide a complete and functioning high efficiency design-build irrigation system by a certified IABC irrigation designer.
2. The irrigation contractor to submit shop drawings and detail irrigation design for review and approval by Consultant Team prior to installation.
3. The irrigation contractor shall confirm on site the locations of the stub-outs provided by the mechanical contractor.
4. The mechanical contractor shall install the double check valve and a blow-out connection in the water entry room and run supply lines to all stub-out locations. See plans.
5. Provide space to wall mount the irrigation controller in the water entry room and provide a 120V outlet.
6. The electrical contractor shall supply a 120v outlet in the water entry room and run a 1" conduit with pull string from the water entry room to all stub-out locations. See plans.
7. The irrigation contractor shall install the irrigation controller in the water entry room and run all low voltage wires to the solenoid valves.
8. Provide rain/freeze sensor on system. Location to be coordinated with Landscape Architect and general contractor.
9. Flow through all piping not to exceed 5ft/sec.
10. Irrigation contractor to ensure all sleeves, conduits, and location of the rain sensor are coordinated with general contractor.
11. The irrigation drawings shall be read in conjunction with the landscape architect's drawings.
12. The irrigation system shall be installed as per the landscape architect's specifications and IABC standards or better.
13. The irrigation contractor to provide as-built drawings following construction.
14. All piping and irrigation components to be located on private property.



STUBOUT LOCATION

REFER TO DRAWING FOR STUBOUT SIZE
- 1 1/2" DIA., 25GAL/MIN @70PSI, 1 1/2" DIA. SUPPLY FROM WATER ENTRY ROOM TO EACH STUBOUT LOCATION
- 1" DIA., 15GAL/MIN @70PSI, 1" DIA. SUPPLY FROM WATER ENTRY ROOM TO EACH STUBOUT LOCATION



IRRIGATION CONTROLLER

PROVIDED BY IRRIGATION CONTRACTOR
TO BE WALL MOUNTED IN WATER ENTRY ROOM, ELECTRICAL TO PROVIDE 120V RECEPTACLE FOR CONTROLLER POWER



HOSE BIB

REFER TO MECHANICAL. FINAL LOCATIONS TO BE COORDINATED WITH ARCHITECT

IRRIGATION SLEEVE, DIAMETER
MIN. 2X IRRIGATION LINE

SHRUB AREAS TO BE IRRIGATED

IRRIGATION COORDINATION

Mechanical:

1. Provide backflow preventer and blowout tee located in water entry room.
2. Provide piping from backflow preventer to all stubout locations indicated on this drawing.
3. Provide copper to PVC fitting at each stubout.

Electrical:

1. Provide 120V power source for irrigation controller in Mechanical room.
2. Provide conduit (for low voltage wiring by Irrigation Contractor) from Mechanical room to all stubout locations.

Issues		
No.	Description	Date
1	Issued for 60% BP	2025/09/19
2	Issued for 90% BP	2025/10/16

DP 23-033716
November 17, 2025
Plan #27

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Client:




Project Title:

9000 no.3 Road

Drawing Title:

Irrigation Plan - Level 3

Project North:  Drawn By: CS

Checked By: MP

Scale: 1:100 Job No.: 23-054

Sheet No.:

No.3 ROAD

EXISTING PROPERTY LINE

2M ROAD DEDICATION

General Notes:

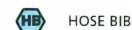
1. The irrigation contractor to provide a complete and functioning high efficiency design-build irrigation system by a certified IABC irrigation designer.
2. The irrigation contractor to submit shop drawings and detail irrigation design for review and approval by Consultant Team prior to installation.
3. The irrigation contractor shall confirm on site the locations of the stub-outs provided by the mechanical contractor.
4. The mechanical contractor shall install the double check valve and a blow-out connection in the water entry room and run supply lines to all stub-out locations. See plans.
5. Provide space to wall mount the irrigation controller in the water entry room and provide a 120V outlet.
6. The electrical contractor shall supply a 120V outlet in the water entry room and run a 1" conduit with pull string from the water entry room to all stub-out locations. See plans.
7. The irrigation contractor shall install the irrigation controller in the water entry room and run all low voltage wires to the solenoid valves.
8. Provide rain/freeze sensor on system. Location to be coordinated with Landscape Architect and general contractor.
9. Flow through all piping not to exceed 5ft/sec.
10. Irrigation contractor to ensure all sleeves, conduits, and location of the rain sensor are coordinated with general contractor.
11. The irrigation drawings shall be read in conjunction with the landscape architect's drawings.
12. The irrigation system shall be installed as per the landscape architect's specifications and IABC standards or better.
13. The irrigation contractor to provide as-built drawings following construction.
14. All piping and irrigation components to be located on private property.



STUBOUT LOCATION



IRRIGATION CONTROLLER



HOSE BIB



IRRIGATION SLEEVE, DIAMETER MIN. 2X IRRIGATION LINE



SHRUB AREAS TO BE IRRIGATED

IRRIGATION COORDINATION

Mechanical:

1. Provide backflow preventer and blowout tee located in water entry room.
2. Provide piping from backflow preventer to all stubout locations indicated on this drawing.
3. Provide copper to PVC fitting at each stubout.

Electrical:

1. Provide 120V power source for irrigation controller in Mechanical room.
2. Provide conduit (for low voltage wiring by Irrigation Contractor) from Mechanical room to all stubout locations.

REFER TO DRAWING FOR STUBOUT SIZE
- 1 1/2" DIA., 25GAL/MIN @70PSI, 1 1/2" DIA. SUPPLY FROM WATER ENTRY ROOM TO EACH STUBOUT LOCATION
- 1" DIA., 15GAL/MIN @70PSI, 1" DIA. SUPPLY FROM WATER ENTRY ROOM TO EACH STUBOUT LOCATION

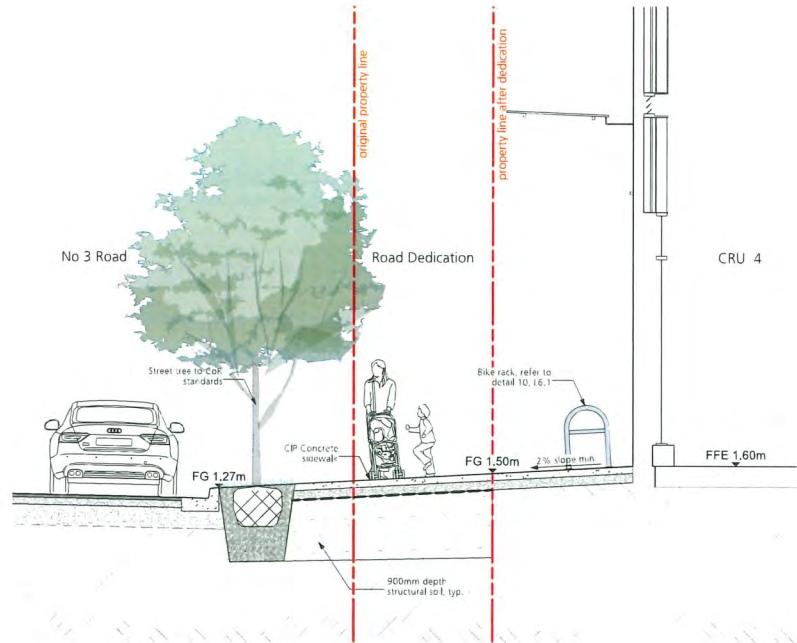
PROVIDED BY IRRIGATION CONTRACTOR
TO BE WALL MOUNTED IN WATER ENTRY ROOM, ELECTRICAL TO PROVIDE 120V RECEPTACLE FOR CONTROLLER POWER

REFER TO MECHANICAL. FINAL LOCATIONS TO BE COORDINATED WITH ARCHITECT

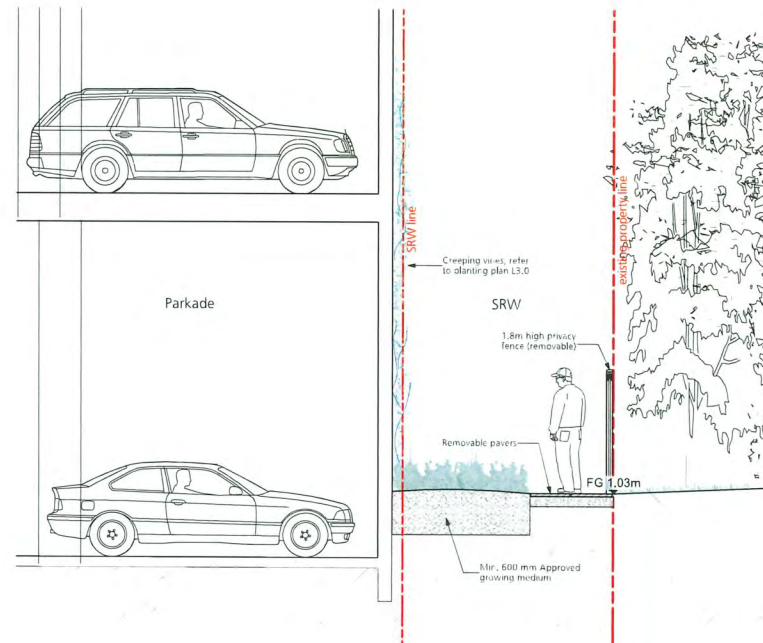
TOTAL OUTDOOR AMENITY
384.20 m²

PLAY AREA
196.92 m²

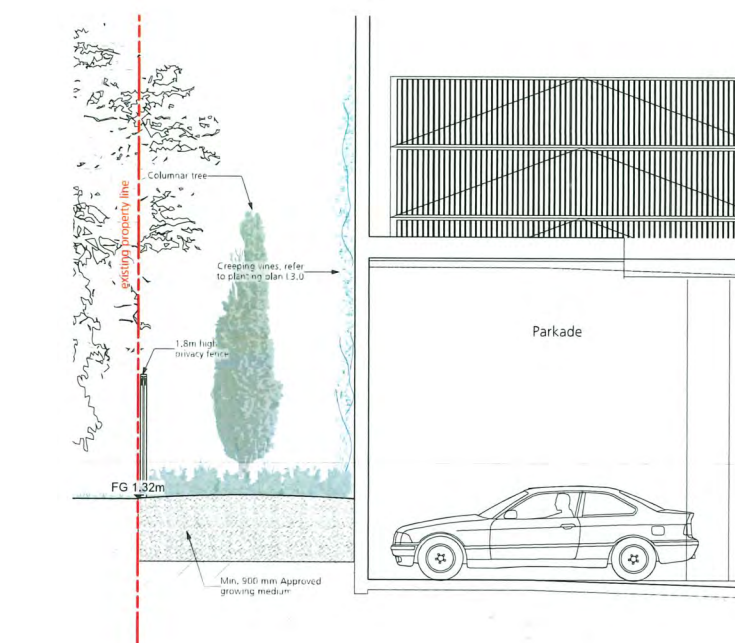
Issues		
No.	Description	Date
1	Issued for 60% BP	2025/09/19
2	Issued for ADP	2025/10/06
3	Issued for 90% BP	2025/10/16



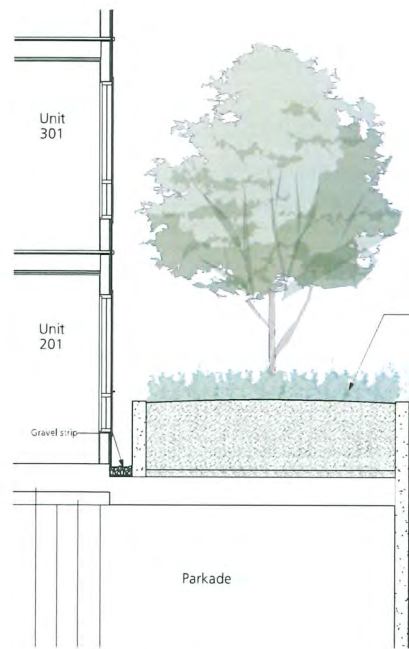
1 Section 1 - Commercial Frontage, No 3 Road
L5.0 1:50



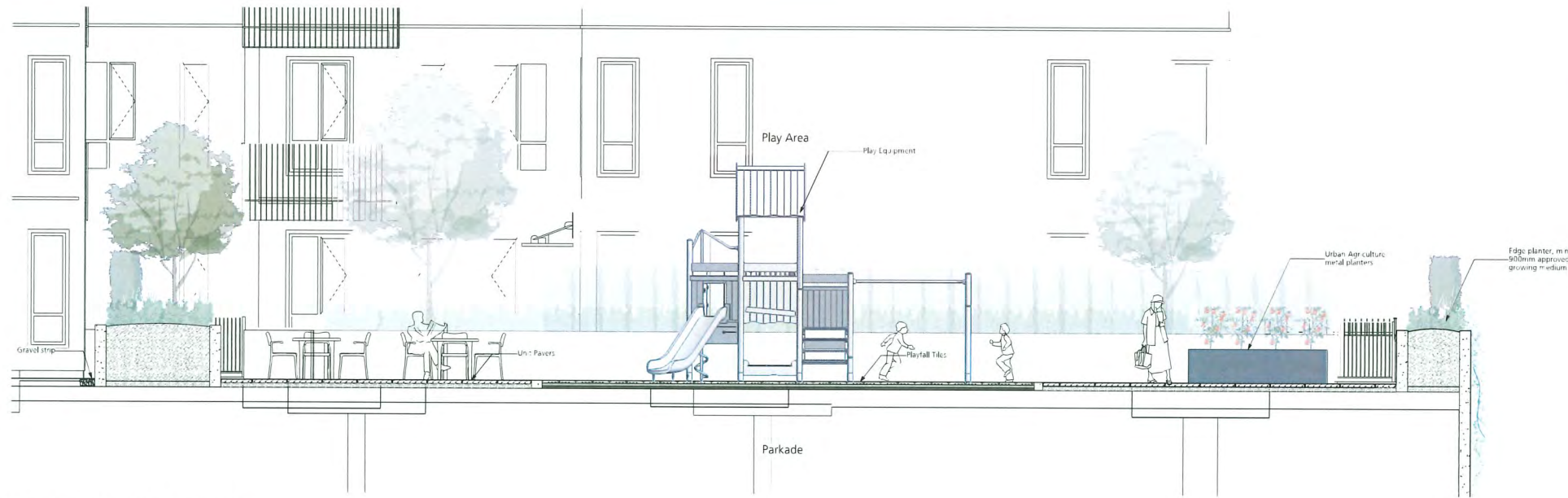
2 Section 2 - SRW
L5.0 1:50



3 Section 3 - South building edge
L5.0 1:50



4 Section 4 - Level 2 Edge Planter
L5.0 1:50



5 Section 5 - Level 2 Outdoor Amenity
L5.0 1:50

DP 23-033716
November 17, 2025
Plan #28

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Client:

PANATCH GROUP
PROPERTIES • CAPITAL • FOUNDATION

Project Title:

9000 no.3 Road

Drawing Title:

Landscape Sections

Project North:

Drawn By:

CS

Checked By:

MP

Scale:

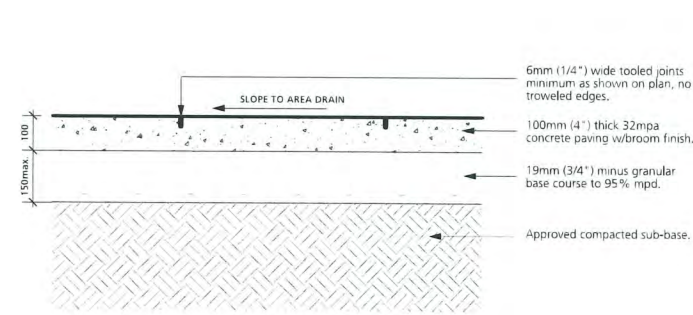
Job No.:

23-054

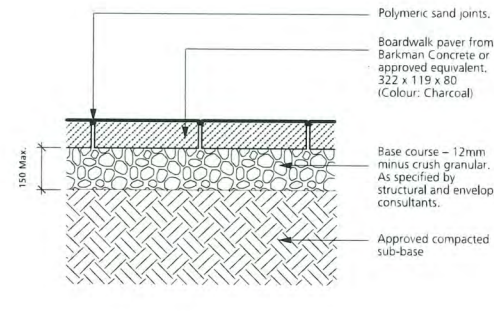
Sheet No.:

L5.0

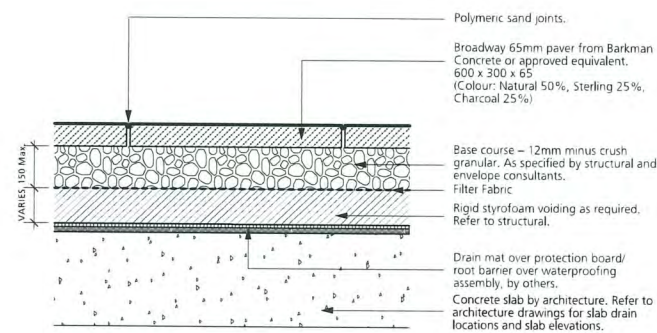
Issues No.	Description	Date
1	Issued for Planning/DP	2023/10/27
2	Re Issued for DP	2024/03/14
3	Re Issued for DP	2024/10/18
4	Re Issued for Reopening/DP	2025/02/26
5	Re Issued for DP	2025/07/11
6	Re Issued for R2/DP	2025/09/29
7	Issued for 80% BP	2025/09/19
8	Issued for ADP	2025/10/06
9	Issued for 90% BP	2025/10/16



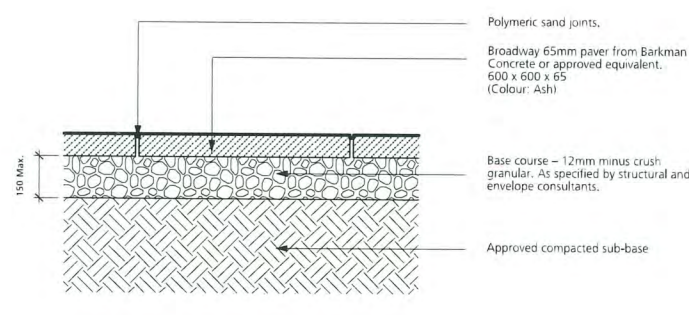
1 CIP CONCRETE PAVING
L6.0 1:10



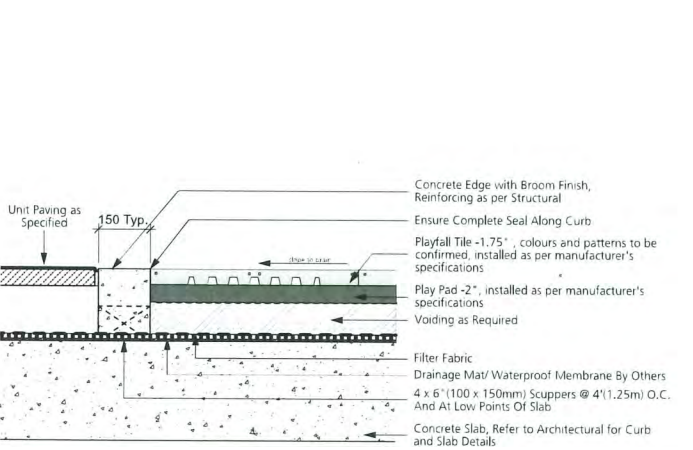
2 ENTRY PAVERS
L6.0 1:10



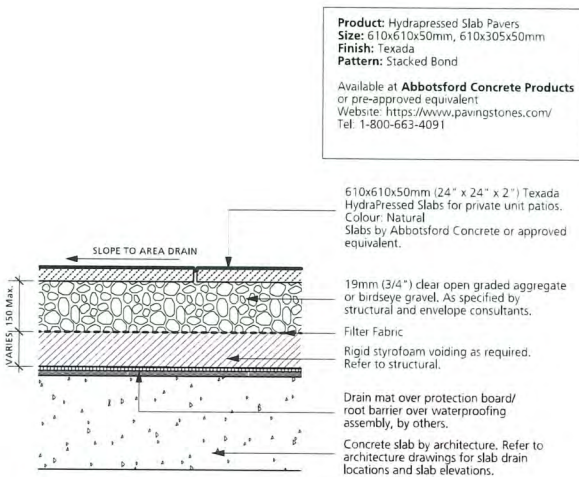
3 AMENITY PAVERS
L6.0 1:10



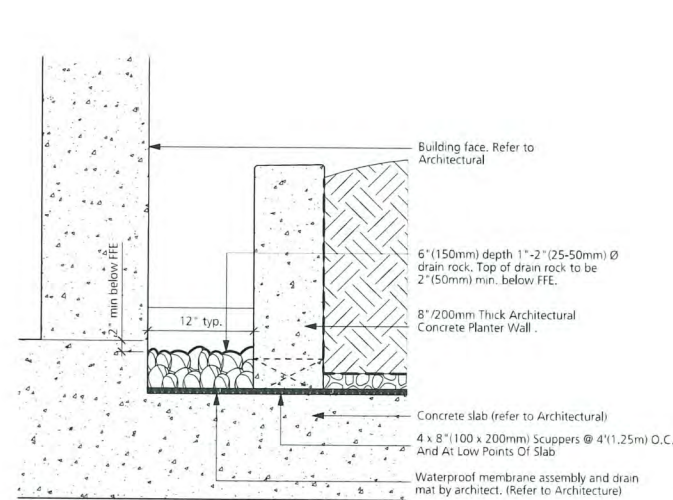
4 REMOVABLE PAVERS
L6.0 1:10



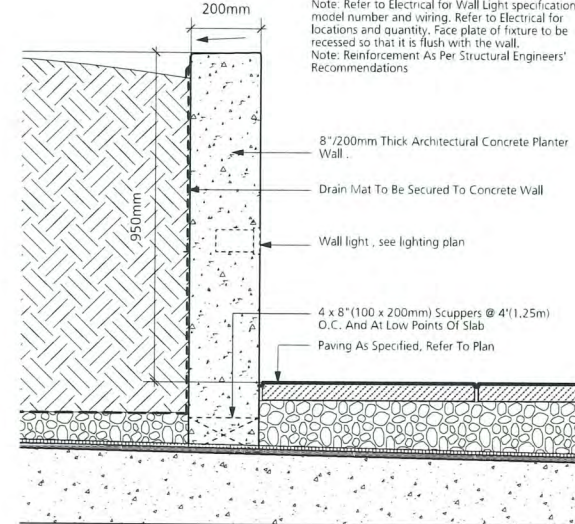
5 PLAYFALL TILE RUBBER SURFACING
L6.0 1:10



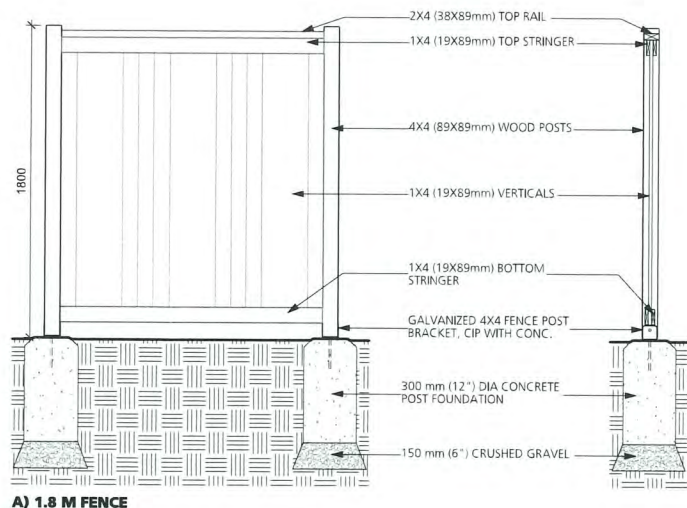
6 HYDRAPRESSED SLAB
L6.0 1:10



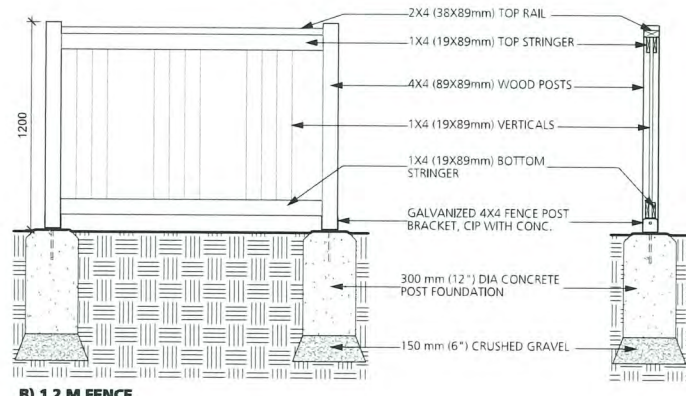
7 GRAVEL STRIP
L6.0 1:10



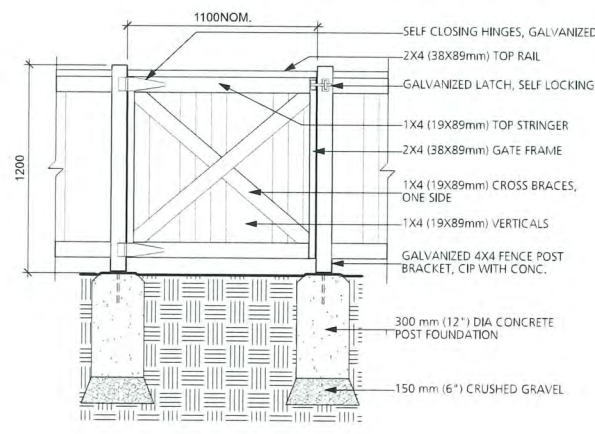
8 CONCRETE WALL
L6.0 1:10



A) 1.8 M FENCE



B) 1.2 M FENCE



- NOTES:**
- ALL WOOD COMPONENTS TO BE SELECT TIGHT KNOT CEDAR.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR ALL WOOD COMPONENTS, PRECAST CONCRETE, METAL HARDWARE, INCLUDING HINGES AND SELF LOCKING LATCH, AND PAINTING FOR APPROVAL. CONTRACTORS UNIT PRICE SHALL INCLUDE ALL NECESSARY ADJUSTMENTS AND REVISIONS AS REQUIRED TO OBTAIN OWNER APPROVAL.
 - ALL CUT MEMBERS TO BE STAINED IN THE FIELD.
 - FENCING TO BE LOCATED APPROXIMATELY AS PER PLAN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCY'S ENCOUNTERED IN THE FIELD.
 - ALL FASTENERS TO BE GALVANIZED.
 - POST FOOTINGS TO BE SET 2" (50mm) ABOVE SOD GRADE
 - ALL WOOD TO BE FINISHED WITH 1 COAT PAINT, REFER TO CLIENT FOR COLOUR APPROVAL

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Client:

PANATCH GROUP
PROPERTIES • CAPITAL • FOUNDATION

Project Title:

9000 no.3 Road

Drawing Title:

Landscape Details

Project North:

Drawn By:

CS

Checked By:

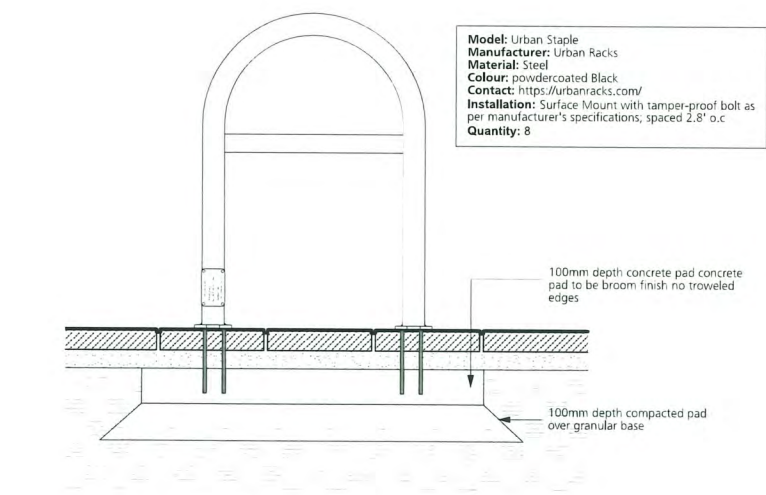
MP

Scale:

Job No.:

23-054

Sheet No.:



10 BIKE RACK
L6.1 1:10



11 MOVEABLE TABLE AND CHAIRS
L6.1 NTS



Model: Ogden Harvest Table
Manufacturer: Maglin
Colour: TBD
Material: Steel Frame and Thermally Modified Oak
Size: Dining Height: 30" x 143.2" x 30"
Contact: www.maglin.com
Installation: Mount as per manufacturer's specifications
Quantity: 1

***OR EQUIVALENT



Model: Foro Cafe Chair with Arms
Manufacturer: Maglin
Colour: TBD
Material: Steel
Size: 30.6" x 19.6"
Contact: www.maglin.com
Quantity: 8

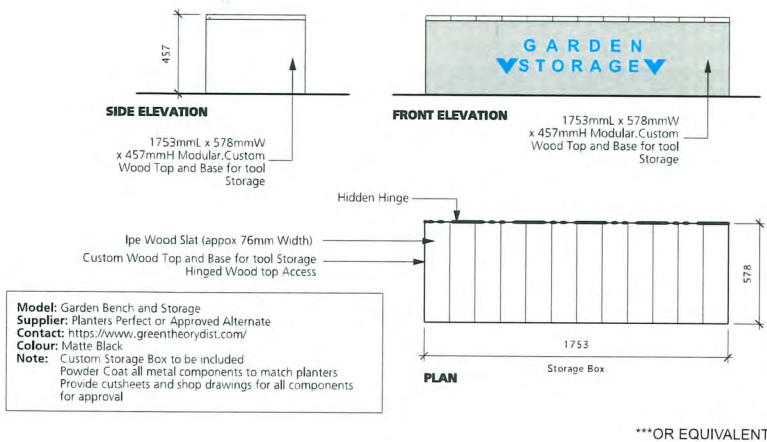
***OR EQUIVALENT

Model: Lexicon Straight Bench w/Flat Steel Leg
Manufacturer: Maglin
Colour: Powdercoated black
Material: Powder coated steel and Ipe wood
Contact: www.maglin.com
Quantity: 1
Installation: Surface mount with tamper-proof bolt as per manufacturer's specifications

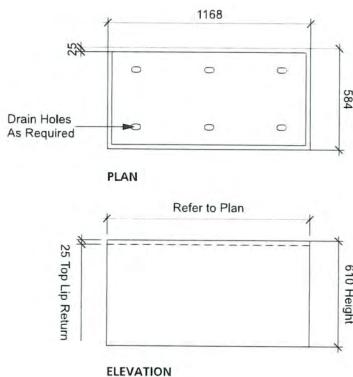
***OR EQUIVALENT



13 BACKLESS BENCH
L6.1 1:20



***OR EQUIVALENT

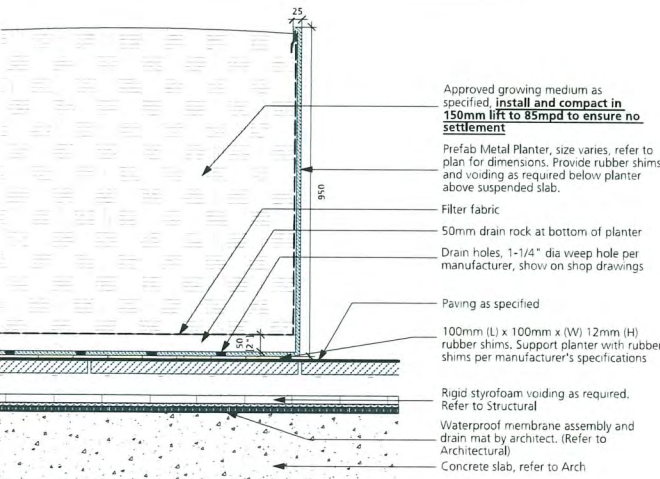


Model: Wide Rectangle
Qty: 10
Supplier: Green Theory or Approved Alternate
Contact: https://www.greentheory.com/
Colour: Matte Black or Approved Alternate
Note: - All planters to be modular with the ability to be bolted together on site with hidden hardware.
- Provide cut sheets and shop drawings for all components for approval.
- Provide bracing as required. No bowing of planter walls accepted.
- Provide drain holes at the bottom of all components.
- Provide colour sample for approval.

***OR EQUIVALENT

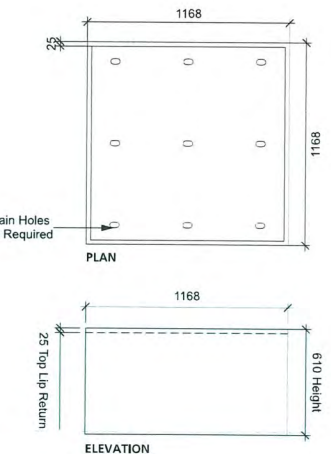
14 URBAN AGRICULTURE BENCH
L6.1 1:20

Custom Rectangular Metal Planters
Dimension: A: 2200mm x 2700mm B: 800mm x 1700mm, Refer to plan.
Qty: A: 2 B: 2, Refer to plan.
Materials: Aluminum
Color/Finish: Durable, UV rated powder coat, color to be confirmed by LA
Note: - Planter to include drainage holes and a 1" top lip.
- Provide shop drawings to be approved by Landscape Architect.
- All top of planter grades to be 1066mm above FG. Provide voiding as required below.
- Powder coat all metal components.
- Provide bracing as required. No bowing of planter walls accepted.
Available at Green Theory Design or pre-approved equivalent.
Website: https://greentheorydesign.com/
Tel: 1-844-747-9283



16 METAL PLANTERS
L6.1 1:10

15 URBAN AGRICULTURE PLANTER
L6.1 1:20



Model: Metal Square
Qty: 4
Supplier: Green Theory or Approved Alternate
Contact: https://www.greentheory.com/
Colour: Matte Black or Approved Alternate
Note: - All planters to be modular with the ability to be bolted together on site with hidden hardware.
- Provide cut sheets and shop drawings for all components for approval.
- Provide bracing as required. No bowing of planter walls accepted.
- Provide drain holes at the bottom of all components.
- Provide colour sample for approval.

***OR EQUIVALENT

Playstructure • J3-22181-HB

BASIC FEATURES

AGE GROUP: 18 months to 5 years old
FALL HEIGHT: 86" (2,2m)
CHILD CAPACITY: 27 children
REQUIRED SURFACE: 28' 0" x 28' 0" (8,5m x 8,8m)

DESCRIPTION

This play structure provides innovative fun physical activities sure to enhance your recreational space. Physical movements such as climbing, hanging, balancing, swinging, crawling and sliding as well as socializing and cognitive activities make Jambette's product an excellent tool for a child's overall development.

BODY MOVEMENTS

- Sliding Intensive (8)
- Learning Moderate (5)
- Rotating Intensive (8)
- Hanging Intensive (8)
- Climbing Intensive (8)
- Imagining Intensive (8)
- Pulling up Intensive (8)
- Socializing Intensive (8)

ANCHORING

IN CONCRETE
This product is anchored to the ground with concrete columns.

MATERIALS

METALS

Post(s): 6061-T6 aluminum alloy tube measuring 3-1/2" (89mm) in outer diameter, with 0.148" wall thickness.
Metal frame(s): Made of steel (sv)
Hardware: Made of stainless steel, Anti-vandal type.

PLASTIC MATERIALS

Panel(s): High density polyethylene (HDPE), colored in the mass. (sv)
Slide(s): Rotomolded UV stabilized high density polyethylene (HDPE), colored in the mass.

COATINGS

Paint: Z-Series polyester powder, with ultraviolet (UV) rays and weather extreme resistance. Our paint also has antibacterial and antiviral properties.(sv)
Galvanization: Some attachments are hot dipped galvanized.

MIXED MATERIALS

Deck(s): 12-Gauge steel sheets, perforated and coated with polyvinyl chloride (PVC). (lv)

COLOUR CHOICES

Metal elements	Molded Polyethylene	Polyethylene Panels
01 02 03 07	02 03 05 07	02 03 07 10 11 14
08 10 11 12	08 11 18	15 17 18 19 21
13 14 17 18	19 21 23	
20 21 22 23		

Made at our factory in Lévis, Québec, Canada • Meets CAN/CSA-Z614 and ASTM ASTM F1487

DP 23-033716
November 17, 2025
Plan #30

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Client:

PANATCH GROUP
PROPERTIES • CAPITAL • FOUNDATION

Project Title: 9000 no.3 Road

Drawing Title: Landscape Details

Project North: Drawn By: CS

Checked By: MP

Scale: As Shown Job No.: 23-054

Sheet No.:

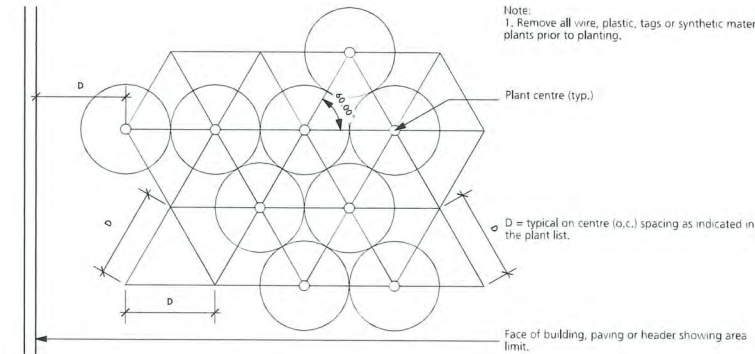
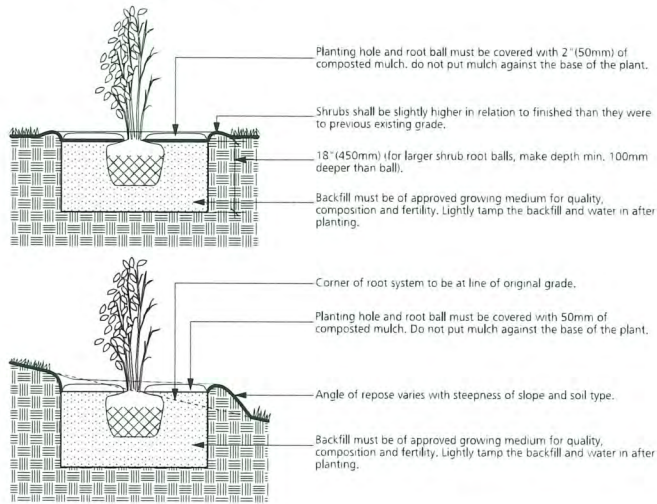
17 ENTRY PLANTERS
L6.1 1:20

18 PLAY EQUIPMENT
L6.1 NTS

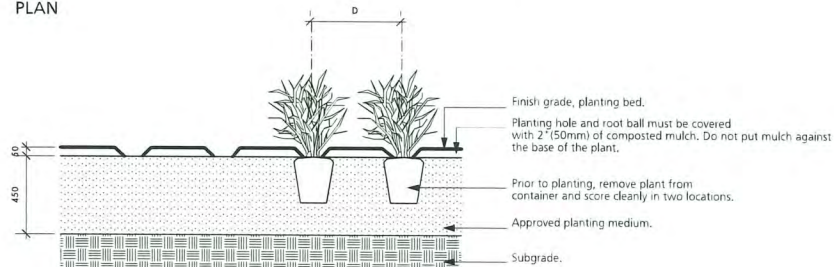
***OR EQUIVALENT

Minimum medium growing depth:
-Sodded lawn: 12" (300mm)
-Shrubs and perennials: 18" (450mm)
-Trees: 3'(900mm)

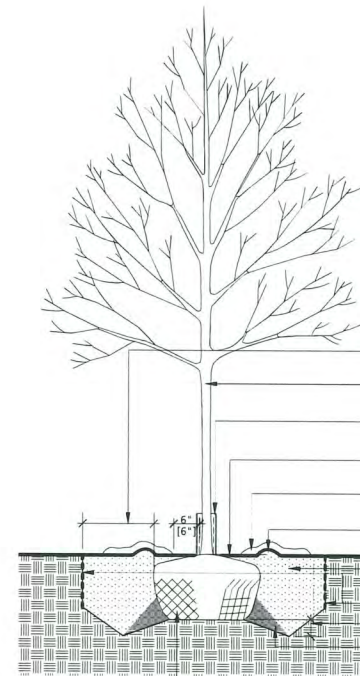
- Note:
1. Min. root spread to be in accordance with "Canadian standards for nursery stock."
 2. For container-grown shrubs, use fingers or small hand tools to pull the roots out of the outer layer of potting soil; then cut or pull apart any roots that circle the perimeter of the container. Prune all damaged, diseased, or weak limbs and roots.
 3. Clearly prune all damaged root ends.
 4. Fold burlap from top of root ball down into ground set top of ball flush with finish grade.
 5. Do not allow roots to dry out during installation process.
 6. Soak roots in water overnight before planting.



PLAN



SECTION



NOTES:

1. Do not cut leader.
2. Protect tree from danger during planting. Ensure rootball is protected from sun, frost or dessication.
3. Tree selection, handling, planting and maintenance must meet BCSLA/BCLNA standards, be in good health and condition without wounds, have normal form, and be free of diseases and pests.
4. Site preparation must include provision for soil placement, replacement or enhancement to meet project specifications.
5. Planting holes must be free draining to the extent that rainwater and/or supplemental water does not accumulate and drown the roots. If necessary, the subgrade must be graded with positive slope and/or drainage services must be installed to suit.
6. Watering of the root ball must be undertaken immediately after planting and then for the first growing season so that the root ball is thoroughly wetted once per week (minimum).
7. The mulched root zone should be refreshed annually to replace the mulch. This area must be weeded by hand to avoid trunk and root damage from string trimmers or mowers.
8. The tree should be pruned to ANSI A3000 standards after establishment and from time to time to train it for structure to conform to the form of the species and to respond to growing site constraints. All pruning must be undertaken by or performed under the direction of a qualified arborist certified by the International Society of Arboriculture and who demonstrates proficiency in pruning.
9. Refer to City of North Vancouver's standard tree planting detail.

Issues		
No.	Description	Date
1	Issued for Rezoning/DP	2025/10/27
2	Re Issued for DP	2025/05/14
3	Re Issued for DP	2025/10/18
4	Re Issued for Rezoning/DP	2025/02/26
5	Re Issued for DP	2025/07/11
6	Re Issued for RZ/DP	2025/08/29
7	Issued for 80% BP	2025/09/19
8	Issued for ADP	2025/10/06
9	Issued for 90% BP	2025/10/16

18
L6.2
SHRUB PLANTING
1:20

19
L6.2
TREE PLANTING
1:20

DP 23-033716
November 17, 2025
Plan #31

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Client:



Project Title:

9000 no.3 Road

Drawing Title:

Landscape Details

Project North:	Drawn By:	CS
	Checked By:	MP
Scale:	Job No.:	23-054
	As Shown	
Sheet No.:		

L6.2



1 3D View Along No.3 Rd & Francis Rd



3 3D View Along Francis Rd



2 3D View Along No.3 Rd



4 3D View Along Francis Rd



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- [PROJECT TEAM]
- 1 - 2023.10.27 - RZ/DP ISSUE 1.0
 - 2 - 2024.03.14 - RZ/DP ISSUE 2.0 (Change in development scope)
 - 3 - 2024.10.18 - RZ/DP ISSUE 3.0
 - 4 - 2025.02.27 - RZ/DP ISSUE 4.0
 - 5 - 2025.06.23 - RZ/DP ISSUE 5.0
 - 6 - 2025.07.09 - RZ/DP ISSUE 6.0
 - 7 - 2025.08.29 - RZ/DP ISSUE 7.0
 - 8 - 2025.10.07 - RZ/DP ISSUE 8.0
 - 9 - 2025.10.22 - RZ/DP ISSUE 9.0
 - 10 - 2025.10.22 - RZ/DP ISSUE 10.0
 - 11 - 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716
November 17, 2025
Reference Plan

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



PANATCH GROUP

Mixed Use Rental Building
9000, No.3 Road
Richmond, BC

Perspective Renders

23625 [PROJECT]
1:3.57 [SCALE]
Monday, October 27, 2025 [DATE]
DP (ISSUE 11.0) [ISSUE]

A-7.110



1 3D View Along Residential Lobby



2 3D View Along Outdoor Amenity



3 3D View Along Outdoor Amenity



4 3D View Along Intersection



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 - 11 - 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716
November 17, 2025
Reference Plan

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



PANATCH GROUP

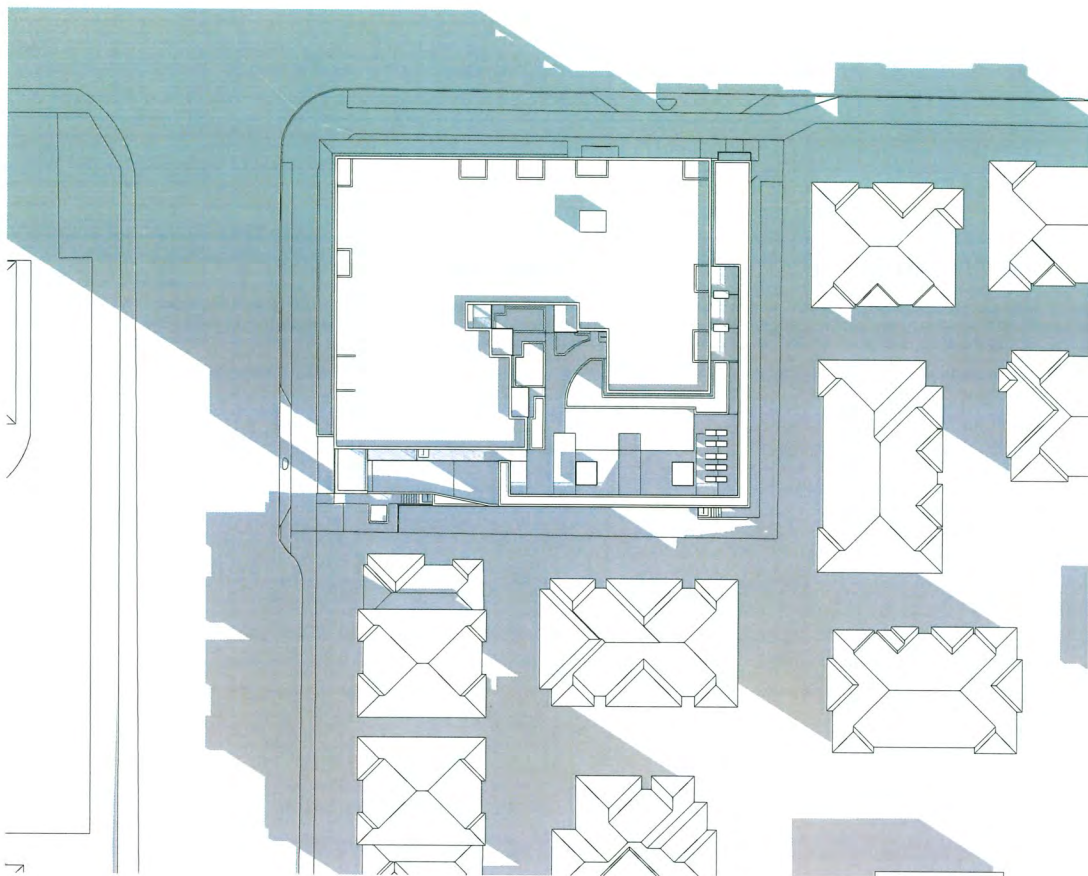
Mixed Use Rental Building
9000, No.3 Road
Richmond, BC

Perspective Renders

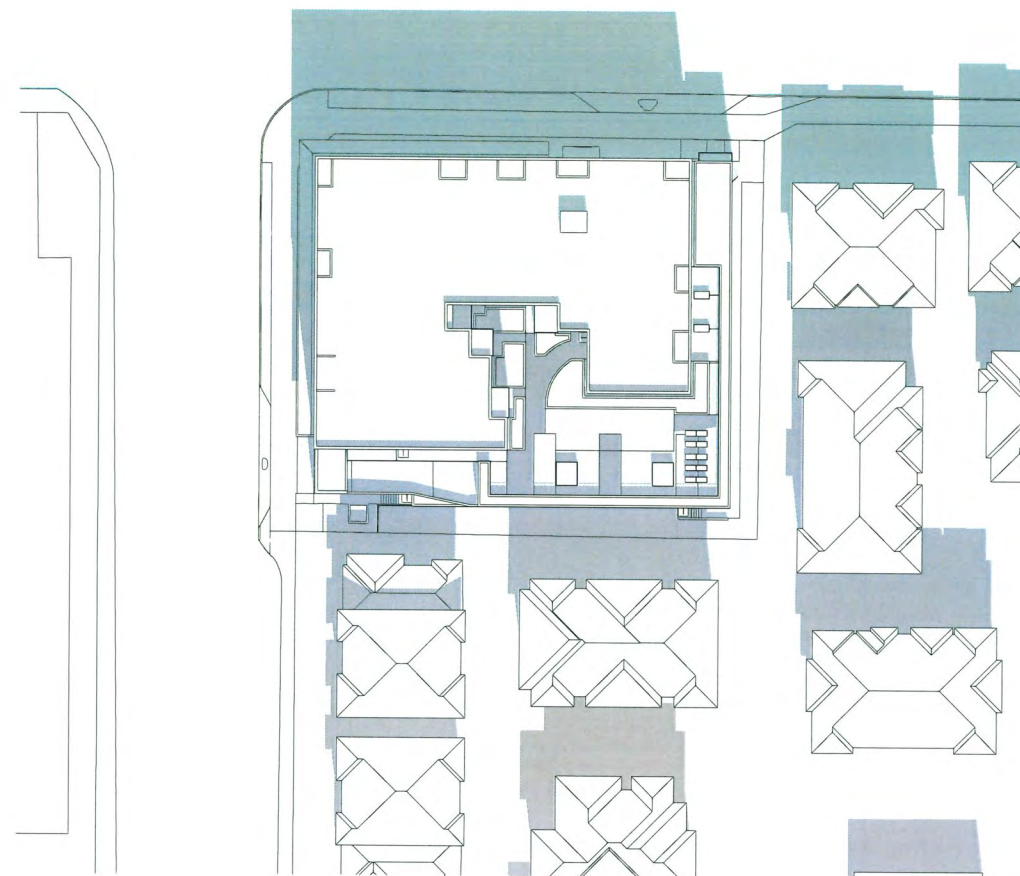
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1:3.57 [SCALE]
Monday, October 27, 2025 [DATE]
DP (ISSUE 11.0) [ISSUE]

[DRAWING]

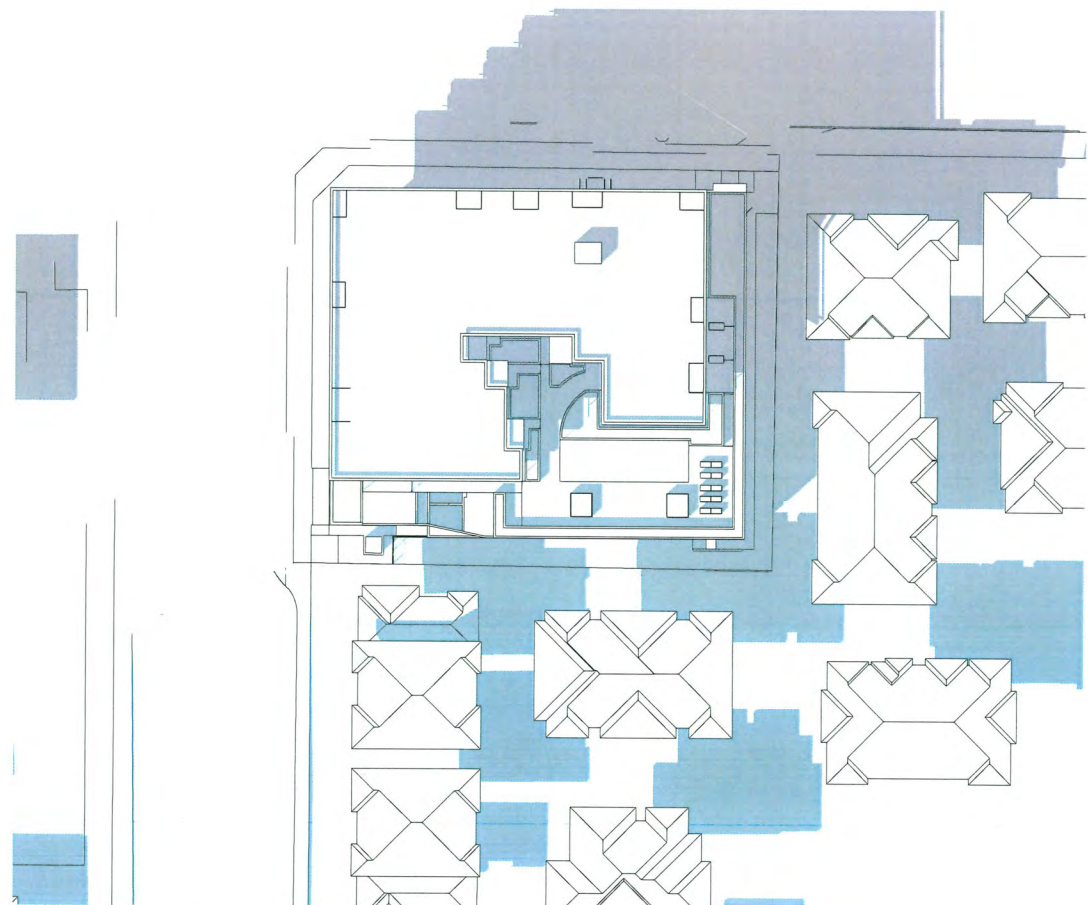
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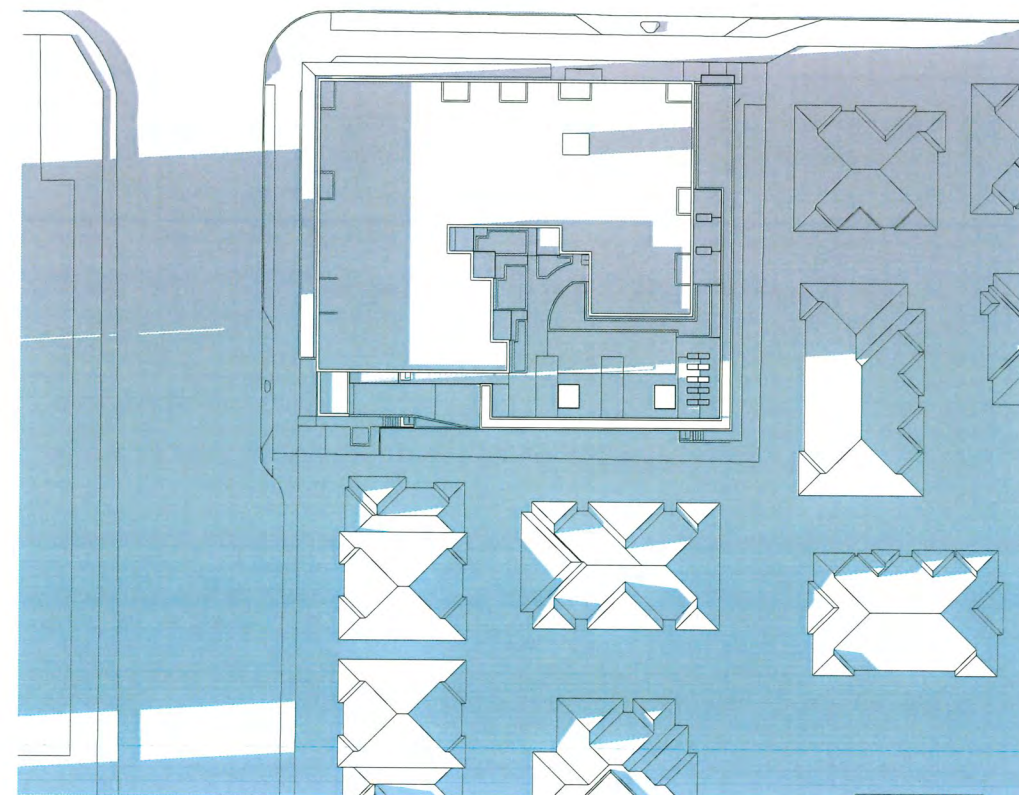
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SCALE: 1/32" = 1'-0"



2 March/September 21st @ 12:00
SCALE: 1/32" = 1'-0"



3 March/September 21st @ 15:00
SCALE: 1/32" = 1'-0"



4 March/September 21st @ 18:00
SCALE: 1/32" = 1'-0"



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- 11 - 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716
November 17, 2025
Reference Plan

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



[CLIENT]

PANATCH GROUP

[PROJECT]

**Mixed Use Rental
Building**

9000, No.3 Road
Richmond, BC

[TITLE]

**Shadow Study -
March/September
21st**

23625

[PROJECT]

[SCALE]

Monday, October 27, 2025

[DATE]

DP (ISSUE 11.0)

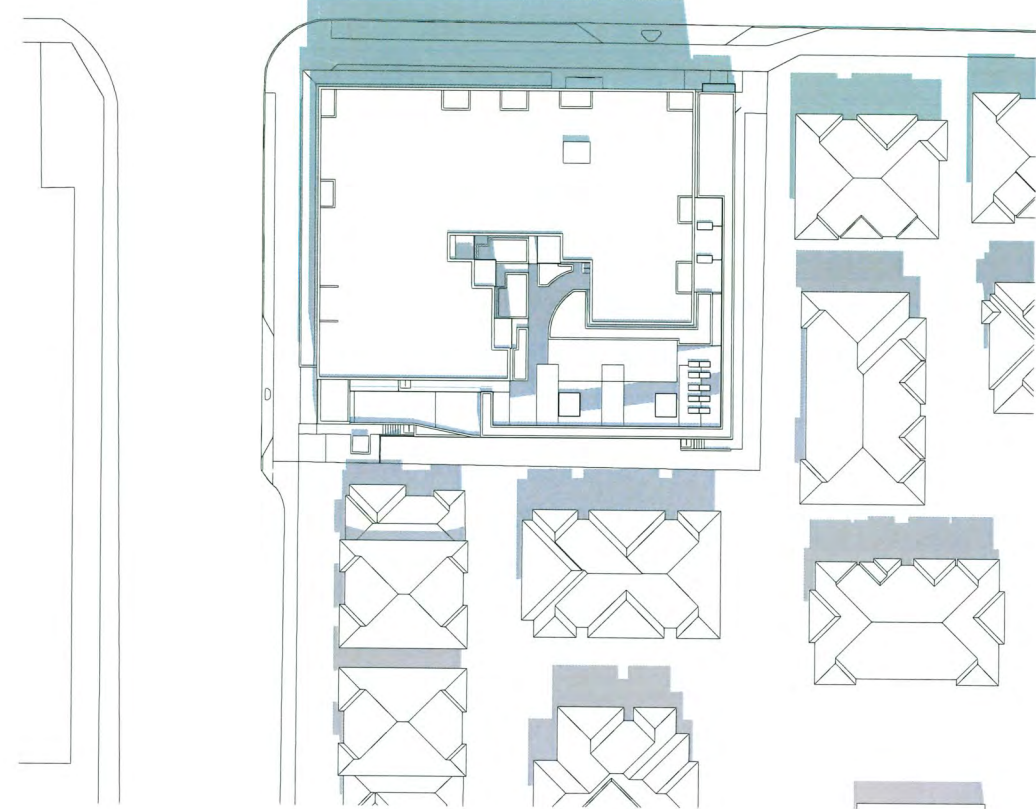
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A-7.310



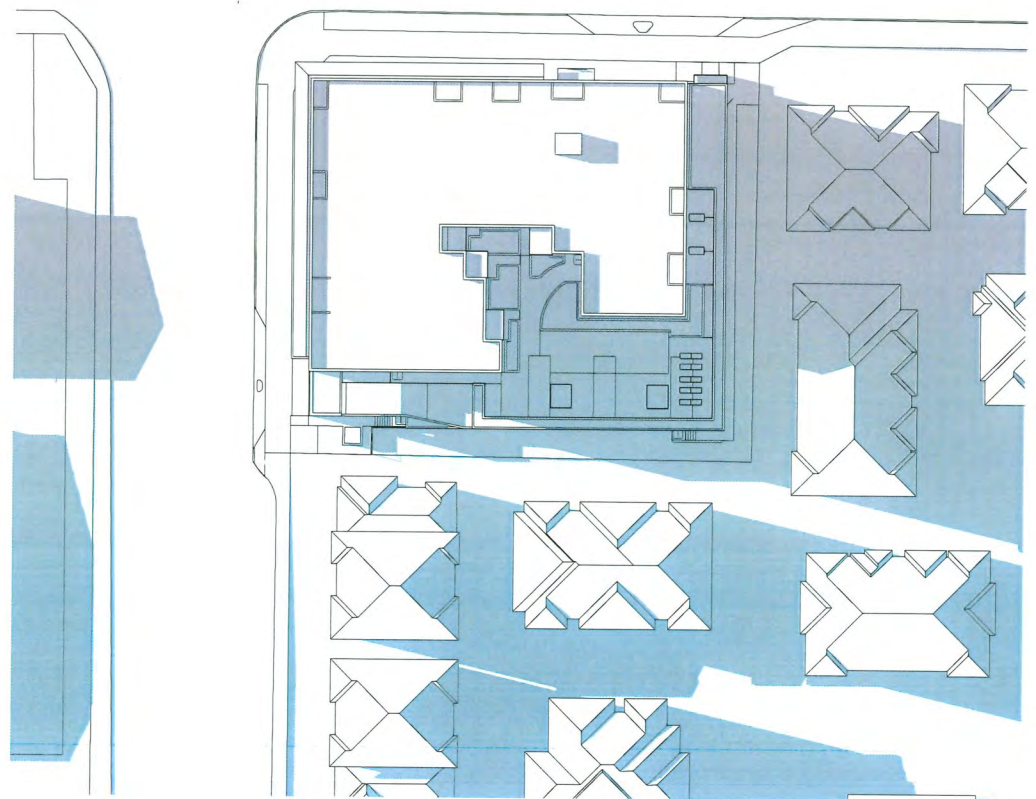
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SCALE: 1/32" = 1'-0"



4 June 21st @ 18:00
SCALE: 1/32" = 1'-0"



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 - 10 - 2025.10.22 - RZ/DP ISSUE 10.0
 - 11 - 2025.10.27 - RZ/DP ISSUE 11.0

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November 17, 2025
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Mixed Use Rental Building
9000, No.3 Road
Richmond, BC

Shadow Study - June 21st

23625 [PROJECT]

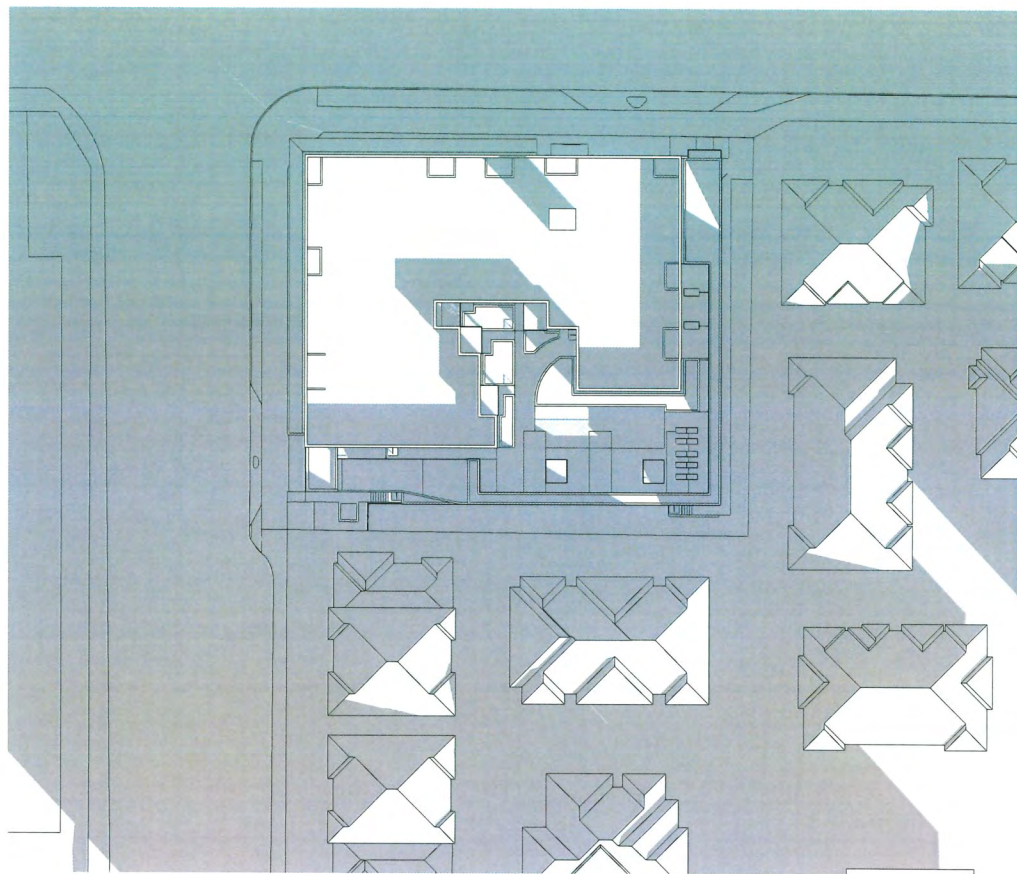
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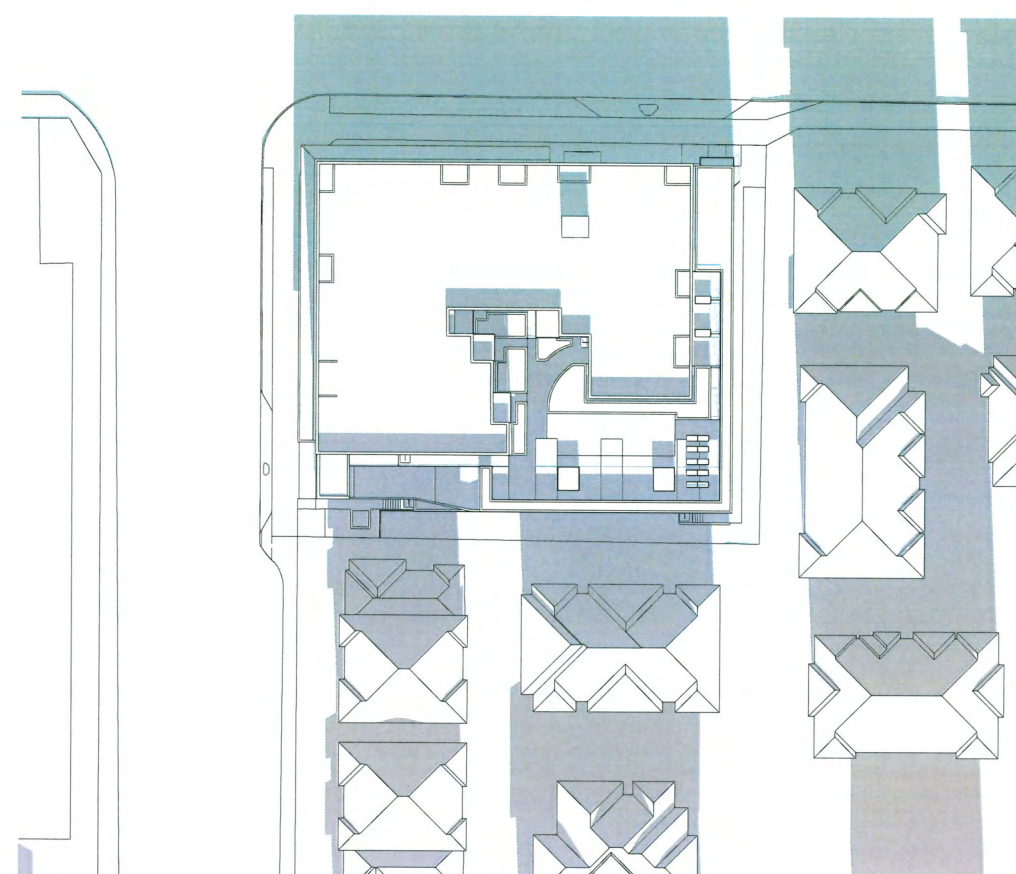
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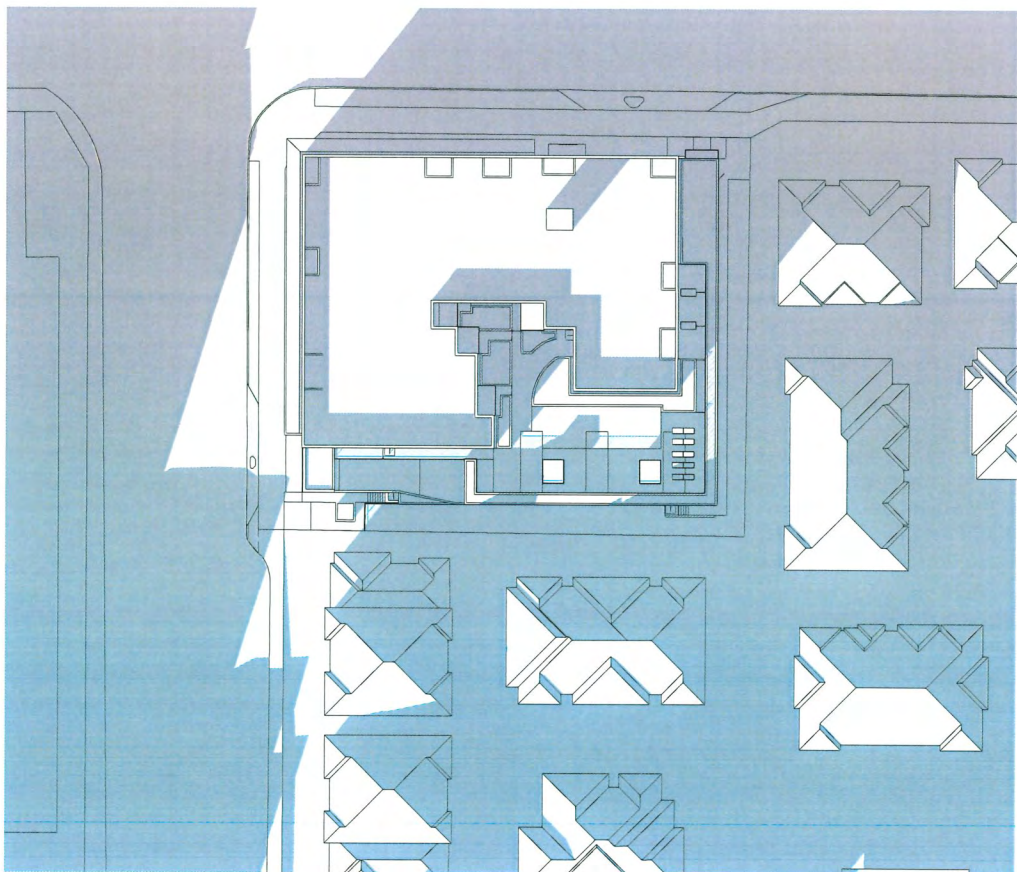
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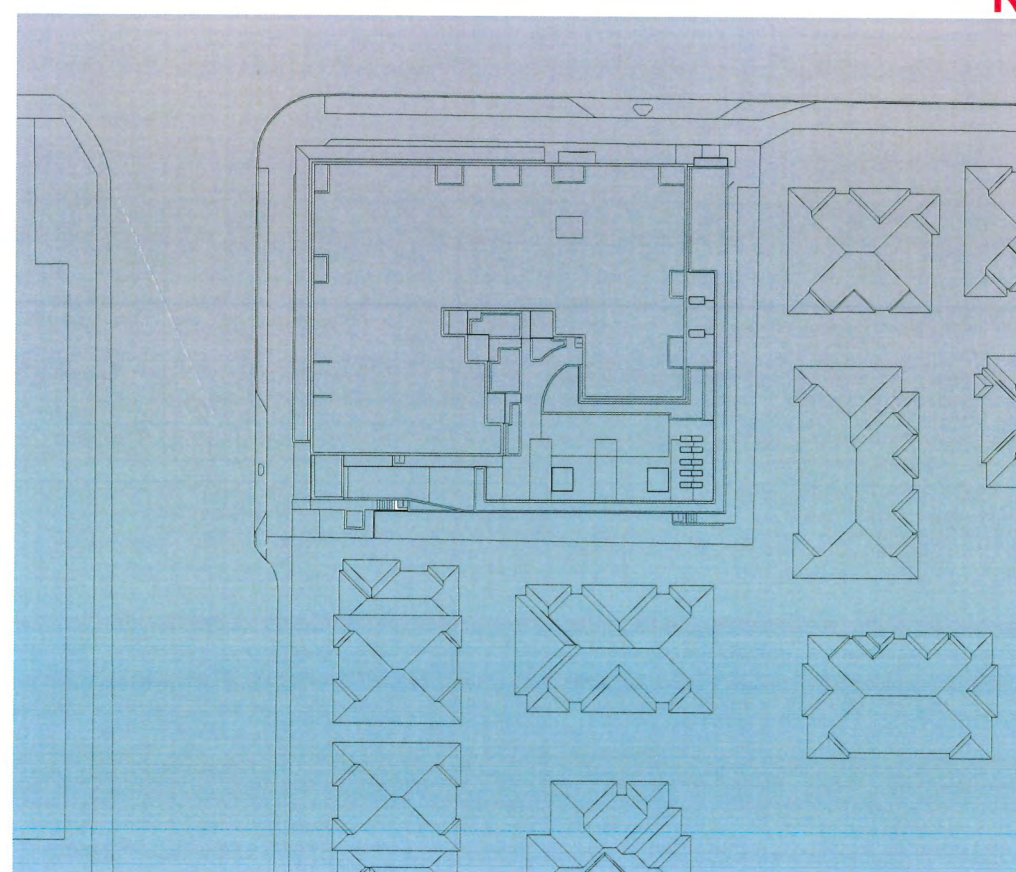
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3 December 21st @ 15:00
SCALE: 1/32" = 1'-0"



4 December 21st @ 18:00
SCALE: 1/32" = 1'-0"



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DP 23-033716
November 17, 2025
Reference Plan

PANATCH GROUP
PROPERTIES - CAPITAL - FOUNDATION



PANATCH GROUP

Mixed Use Rental Building
9000, No.3 Road
Richmond, BC

Shadow Study - December 21st

23625

Monday, October 27, 2025

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A-7.330



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Note: Aging-in-Place Features Provided
a. Stairwell Handrails
b. Lever type handles for plumbing fixtures and door handles
c. Solid blocking in washroom walls for future grab bars beside toilet, bath tub and shower

Basic Universal Housing Features
-100% units meet basic universal housing (BUH) requirement.

Door & Doorways
a) The minimum clear opening for all entry doors to every dwelling unit and common areas shall be no less than 850 mm (which will be provided by a swing door)
b) The minimum clear opening for the interior doors to at least one bedroom, one accessible bathroom and to common living areas in every dwelling unit shall be no less than 800.0 mm (which will be provided by a swing door)
c) Flush thresholds throughout the building shall be a maximum of 13.0 mm in height.
d) All interior thresholds within units comply BC building code.
e) Lever-type handles for all doors.

Maneuvering Space at Doorways

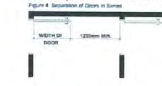
a) Where the door swings toward the area (pull door), 1500.0 mm long by the width of the door plus at least 600.0 mm clear space on the latch side, as illustrated in Figure 2 below. This requirement to apply to door assemblies to one bathroom and one bedroom in 2 bedroom and larger dwelling units.



b) Where the door swings away from the area (push door), 1220.0 mm long by the width of the door plus at least 300.0 mm clear space on the latch side, as illustrated in Figure 3 below. This requirement to apply to door assemblies to common living areas in every dwelling unit, and one bathroom and one bedroom in 2 bedroom and larger dwelling units.



b) Where there are doors in a series in common areas, there must be separation of at least 1220.0 mm plus the width of the door



Corridor Widths
-Common corridors shall be no less than 1220.0 mm wide and provide a clear area not less than 1500.0 mm by 1500.0 mm adjacent to the elevator entrance.

Bathroom

-At least one bathroom shall

a) have a toilet positioned with the centre line of the toilet 420.0 mm to 480.0 mm from a side wall on which a grab bar can be installed and at least 510.0 mm from any obstruction on the non-grab bar side and at least 800.0 mm from any obstruction in front of the toilet; and
b) have a clear floor area at the sink of 760.0 mm by 1220.0 mm positioned for a parallel approach and centred on the sink, as illustrated in Figure 5 below.



c) have a minimum clear area of 510.0 mm in depth along the full length of the bathtub, as illustrated in Figure 6 below.



d) have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars; and
e) include easy to grasp handles on faucets, e.g., lever-type handles.

Kitchen

The kitchen must have:

a) some usable counter space and cupboards that can be easily accessed by people with disabilities, including people with wheelchairs, e.g., continuous counter between the stove and sink, adjustable shelves in all cabinets, pull-out work boards at 610.0 mm height, and pull-out cabinet shelves;
b) easy to grasp handles on faucets, e.g., lever-type faucets;
c) easy to reach and grasp handles on cupboards, e.g., D or J type cabinet handles and grab edges under counters;
d) task lighting at sink, stove and key work areas; and
e) plumbing and utility pipes located to provide for a potential 610.0 mm wide under counter workspace so as not to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.

Bedroom & Closet

a) The space around a bed in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500.0 mm on one side of a double bed.
b) The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 800.0 mm, clear floor space of at least 750.0 mm by 1200.0 mm and a clothes hanger rod than can be lowered to 1200.0 mm.

Patios & Balconies

a) Access doors shall have a minimum clear opening of 800.0 mm.
b) Minimum dimensions of any balcony or patio shall be 1500.0 mm by 1500.0 mm. This requirement does not apply to "Juliet" or "French" style of balcony or patio.

Outlets and Switches

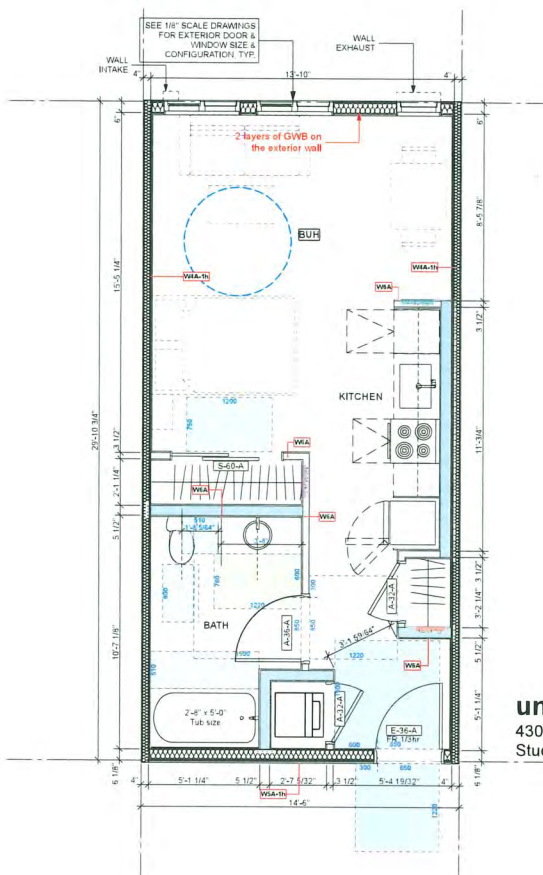
a) Light switches and electrical panels shall be 900.0 to 1200.0 mm from the floor. Intercom buttons shall be a maximum 1375.0 mm from the floor.
b) Electrical outlets, cable outlets and telephone jacks shall be located 455.0 mm to 1200.0 mm from the floor.
c) Thermostats shall be located between 900.0 mm to 1200.0 mm from the floor.
d) The operable part of controls shall be located within reach of a clear floor area that has a width of not less than 750.0 mm.
e) Light switches will be rocker or paddle-type switches.

Windows

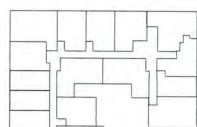
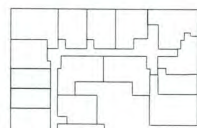
a) Windows which are accessible shall have a window sill height that does not exceed 750.0 mm above the floor to afford seated viewing. At least one window in the bedroom and one window in the living room shall afford such seated viewing.
b) Windows which are accessible shall have opening mechanisms operable with one hand and of a type that does not require tight grasping, pinching or twisting of the wrist.

Floor Surfaces

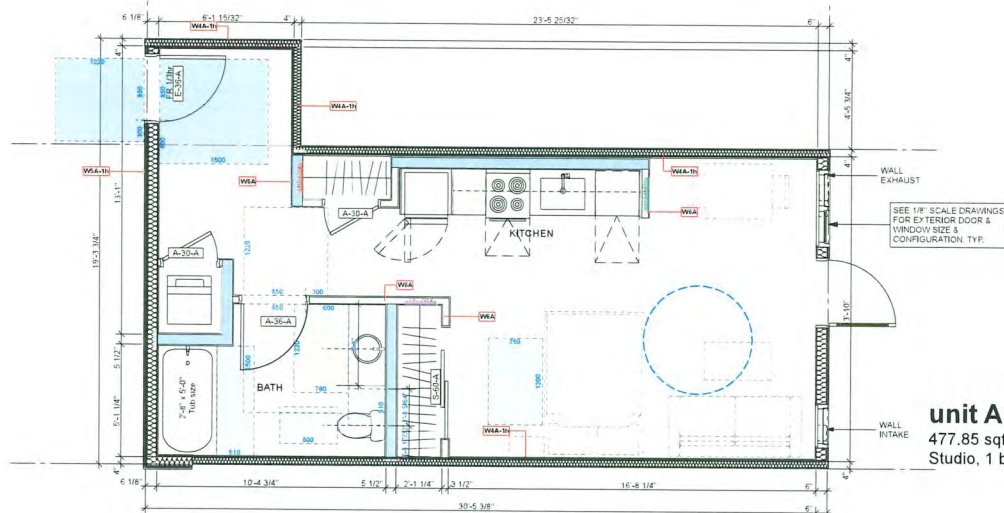
a) Floor surfaces throughout the building shall have no abrupt changes in level, i.e., a maximum break of the flush threshold of 13.0 mm height. This requirement does not apply to exterior balcony, patio and deck door sills.
b) Floor surfaces shall be slip resistant.
c) Where carpets are used, they must be firmly fixed, have a firm underlay and pile under 13.0 mm height.



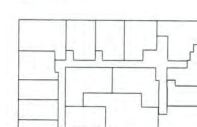
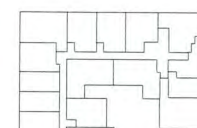
unit A1
430.17 sqft
Studio



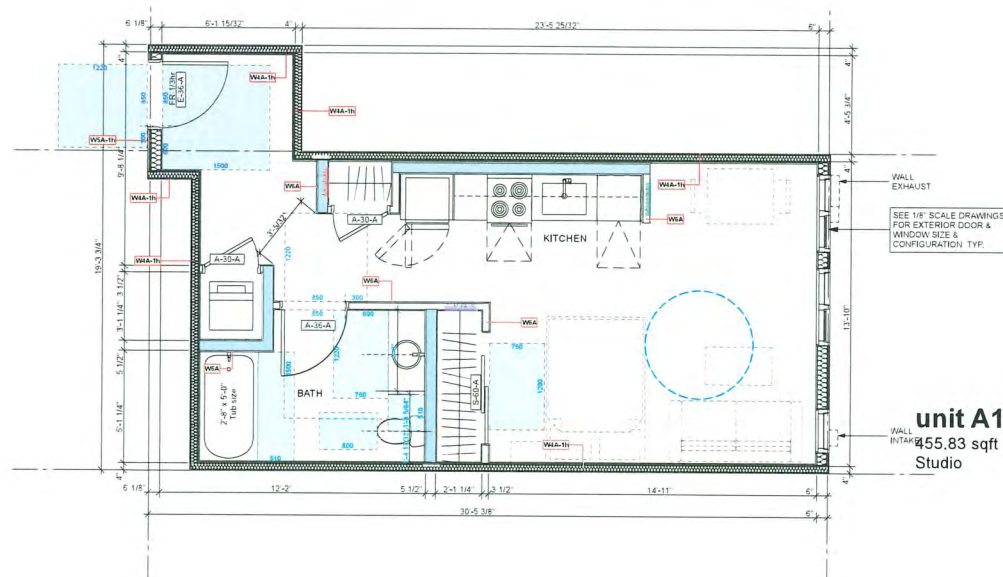
LEVEL 2



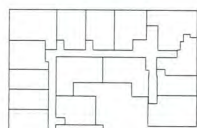
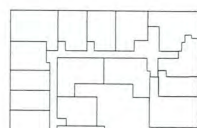
unit A1-B
477.85 sqft
Studio, 1 bath



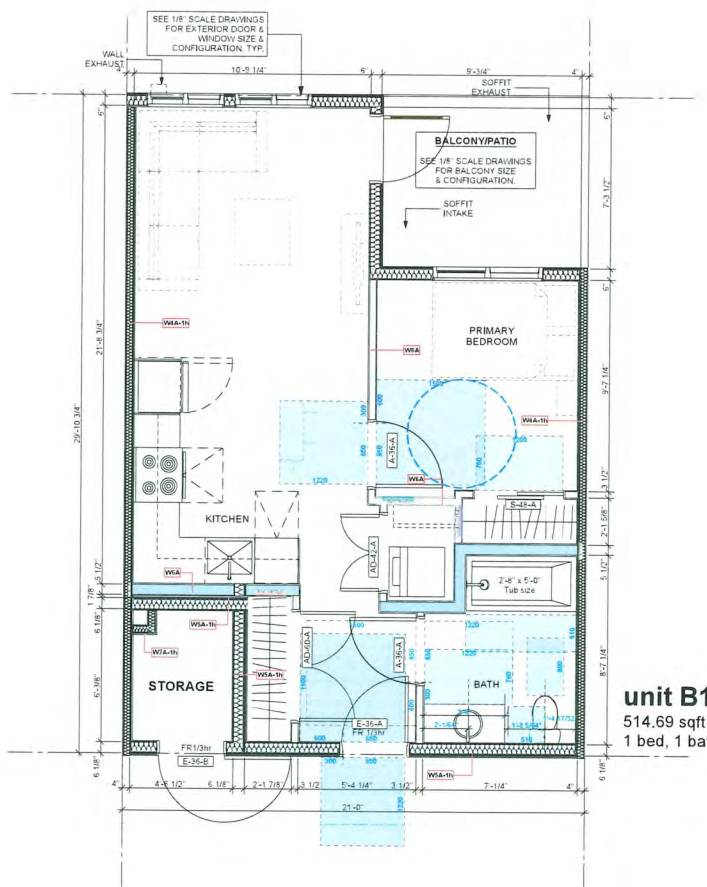
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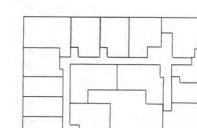
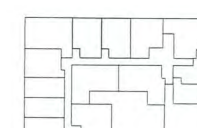
unit A1-A
455.83 sqft
Studio



LEVEL 2



unit B1
514.69 sqft
1 bed, 1 bath



LEVEL 2

DP 23-033716
November 17, 2025
Reference Plan



PANATCH GROUP

Mixed Use Rental Building

9000, No.3 Road
Richmond, BC

Unit Plans

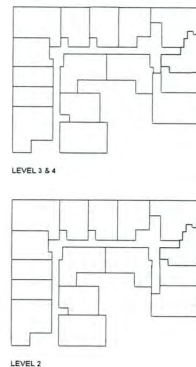
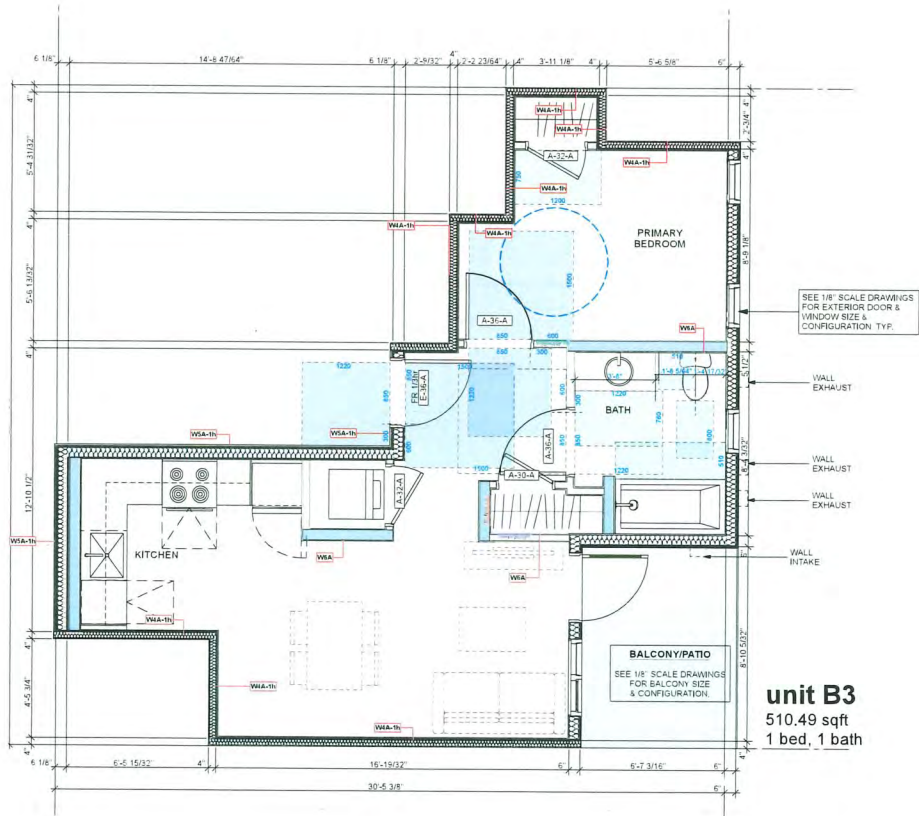
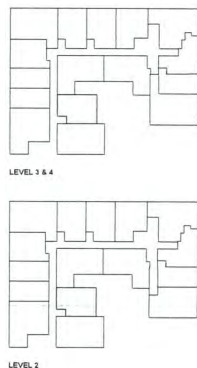
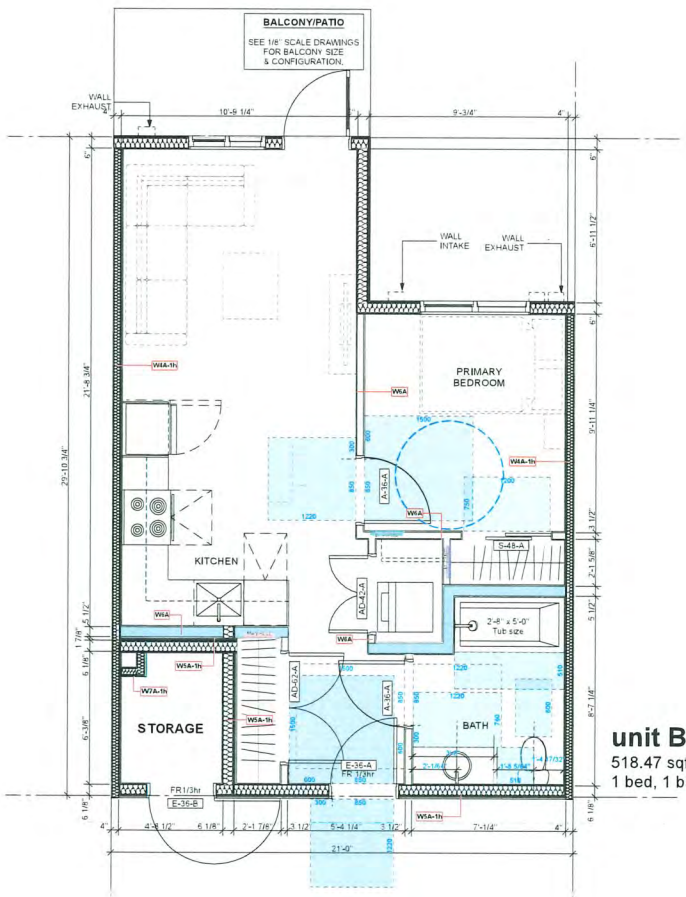
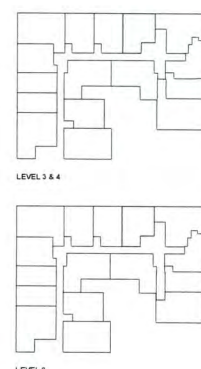
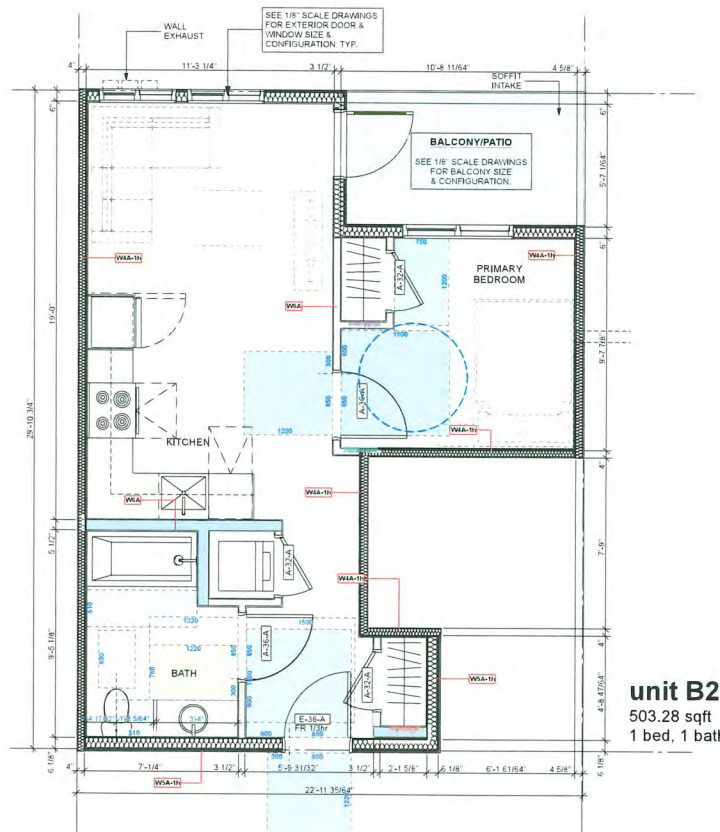
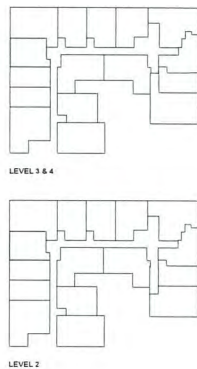
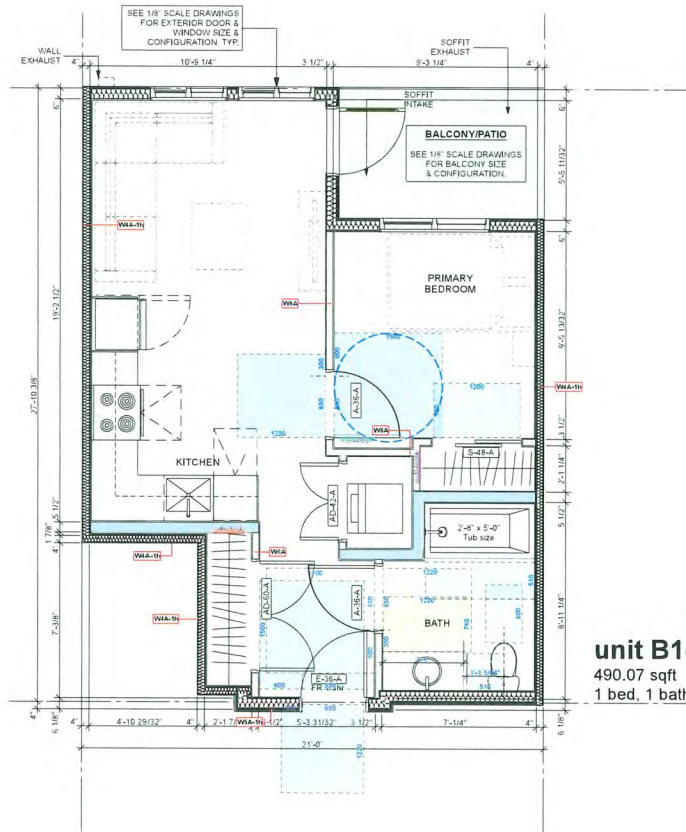
23625

1" = 1'-0"

Monday, October 27, 2025

DP (ISSUE 11.0)

A-3.101



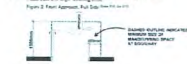
Note - Aging-in-Place Features Provided
a. Stairwell Handrails
b. Lever type handles for plumbing fixtures and door handles
c. Solid blocking in washroom walls for future grab bars beside toilet, bath tub and shower

Basic Universal Housing Features
-100% units meet basic universal housing(BUH) requirement.

Door & Doorways
a) The minimum clear opening for all entry doors to every dwelling unit and common areas shall be no less than 850 mm(which will be provided by a swing door)
b) The minimum clear opening for the interior doors to at least one bedroom, one accessible bathroom and to common living areas in every dwelling unit shall be no less than 800.0 mm(which will be provided by a swing door).
c) Flush thresholds throughout the building shall be a maximum of 13.0 mm in height.
d) All interior thresholds within units comply BC building code.
e) Lever-type handles for all doors.

Maneuvering Space at Doorways

a) Where the door swings toward the area (pull door), 1500.0 mm long by the width of the door plus at least 600.0 mm clear space on the latch side, as illustrated in Figure 2 below. This requirement to apply to door assemblies to one bathroom and one bedroom in 2 bedroom and larger dwelling units.



b) Where the door swings away from the area (push door), 1200.0 mm long by the width of the door plus at least 300.0 mm clear space on the latch side, as illustrated in Figure 3 below. This requirement to apply to door assemblies to common living areas in every dwelling unit, and one bathroom and one bedroom in 2 bedroom and larger dwelling units.



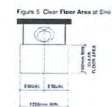
b) Where there are doors in a series in common areas, there must be separation of at least 1200.0 mm plus the width of the door



Corridor Widths
-Common corridors shall be no less than 1200.0 mm wide and provide a clear area not less than 1500.0 mm by 1500.0 mm adjacent to the elevator entrance.

Bathroom

-At least one bathroom shall:
a) have a toilet positioned with the centre line of the toilet 420.0 mm to 480.0 mm from a side wall on which a grab bar can be installed and at least 510.0 mm from any obstruction on the non-grab bar side and at least 800.0 mm from any obstruction in front of the toilet; and
b) have a clear floor area at the sink of 760.0 mm by 1200.0 mm positioned for a parallel approach and centered on the sink, as illustrated in Figure 5 below.



c) have a minimum clear area of 510.0 mm in depth along the full length of the bathtub, as illustrated in Figure 6 below.



d) have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars; and
e) include easy to grasp handles on faucets, e.g., lever-type faucets.

Kitchen

The kitchen must have:
a) some usable counter space and cupboards that can be easily accessed by people with disabilities, including people with wheelchairs, e.g., continuous counter between the stove and sink, adjustable shelves in all cabinets, pull-out work boards at 810.0 mm height, and pull-out cabinet shelves;
b) easy to grasp handles on faucets, e.g., lever-type faucets;
c) easy to reach and grasp handles on cupboards, e.g., D or J type cabinet handles and grab edges under counters;
d) task lighting at sink, stove and key work areas; and
e) plumbing and utility pipes located to provide for a potential 610.0 mm wide under counter workspace so as not to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.

Bedroom & Closet

a) The space around a bed in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500.0 mm on one side of a double bed.
b) The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 800.0 mm, clear floor space of at least 750.0 mm by 1200.0 mm and a clothes hanger rod that can be lowered to 1200.0 mm.

Patios & Balconies

a) Access doors shall have a minimum clear opening of 800.0 mm.
b) Minimum dimensions of any balcony or patio shall be 1500.0 mm by 1500.0 mm. This requirement does not apply to "Juliet" or "French" style of balcony or patio.

Outlets and Switches

a) Light switches and electrical panels shall be 900.0 mm from the floor. Intercom buttons shall be a maximum 1375.0 mm from the floor.
b) Electrical outlets, cable outlets and telephone jacks shall be located 455.0 mm to 1200.0 mm from the floor.
c) Thermostats shall be located between 900.0 mm to 1200.0 mm from the floor.
d) The operable part of controls shall be located within reach of a clear floor area that has a width of not less than 750.0 mm.
e) Light switches will be rocker or paddle-type switches.

Windows

a) Windows which are accessible shall have a window sill height that does not exceed 750.0 mm above the floor to afford seated viewing. At least one window in the bedroom and one window in the living room shall afford such seated viewing.
b) Windows which are accessible shall have opening mechanisms operable with one hand and of a type that does not require tight grasping, pinching or twisting of the unit.

Floor Surfaces

a) Floor surfaces throughout the building shall have no abrupt changes in level, i.e., a maximum break of the flush threshold of 13.0 mm height. This requirement does not apply to exterior balcony, patio and deck door sills.
b) Floor surfaces shall be slip resistant.
c) Where carpets are used, they must be firmly fixed, have a firm underlay and pile under 13.0 mm height.



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(PROJECT TEAM)
1 - 2023.10.27 - RZ/DP ISSUE 1.0
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3 - 2024.10.18 - RZ/DP ISSUE 3.0
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10 - 2025.10.22 - RZ/DP ISSUE 10.0
11 - 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716
November 17, 2025
Reference Plan



PANATCH GROUP

Mixed Use Rental Building

9000, No.3 Road
Richmond, BC

Unit Plans

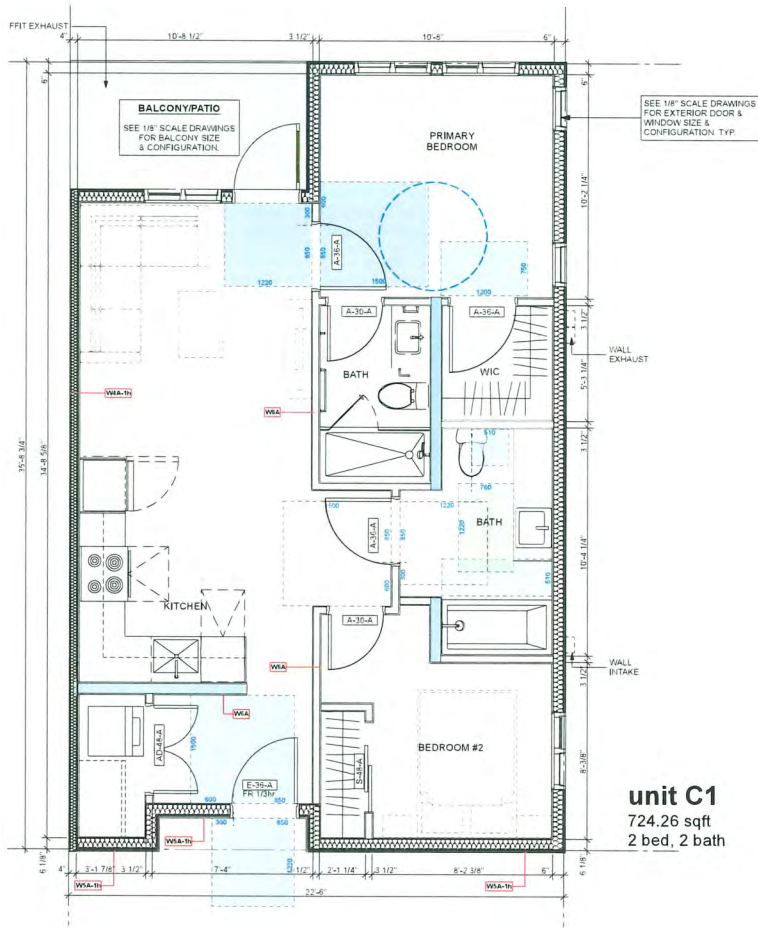
23625

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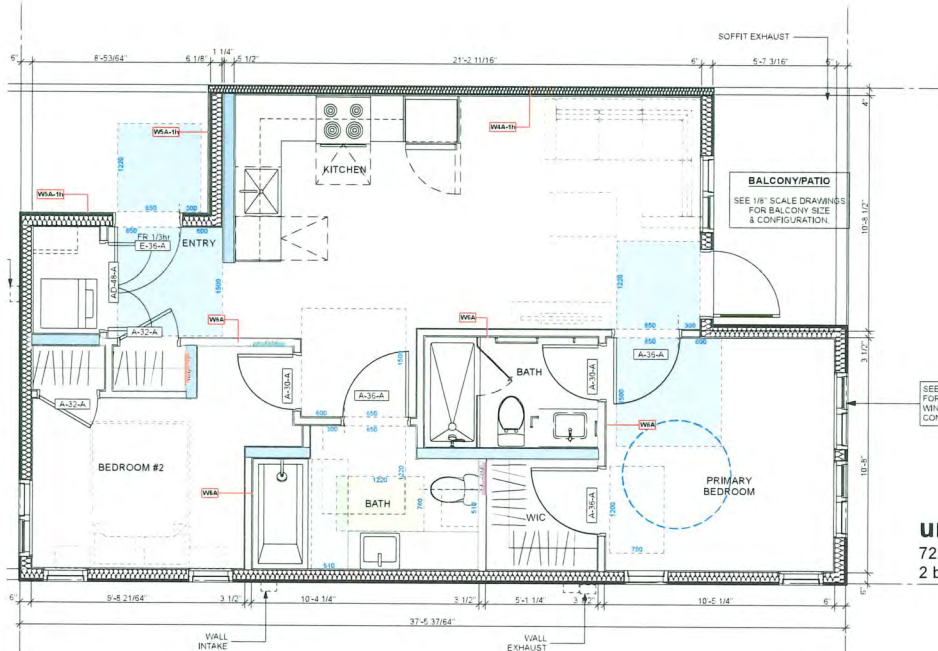
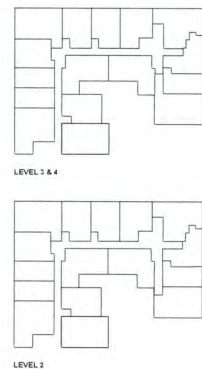
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DP (ISSUE 11.0)

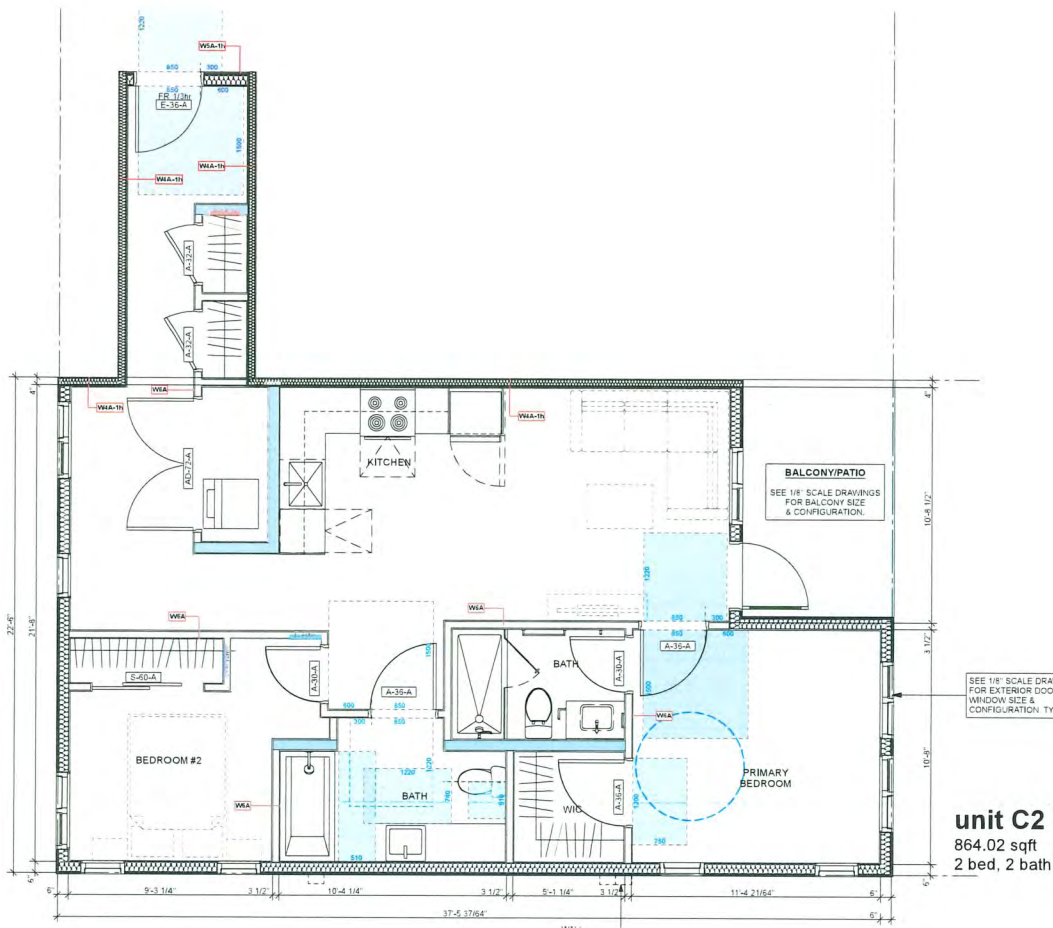
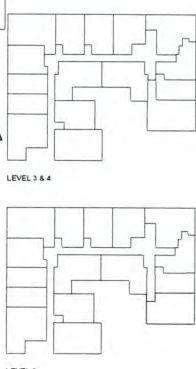
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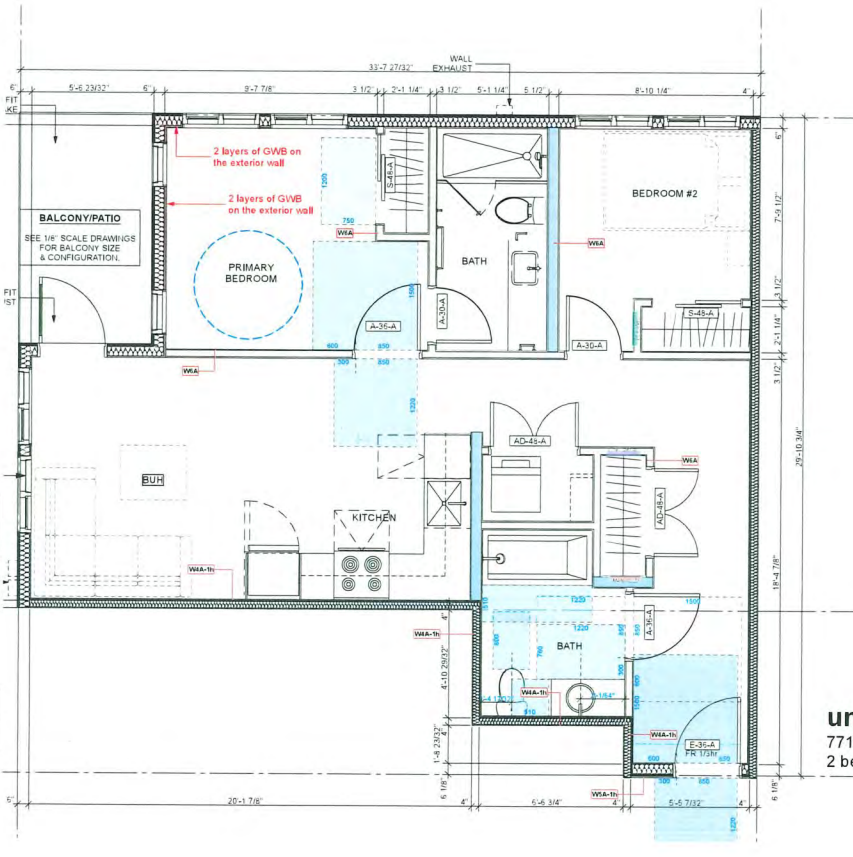
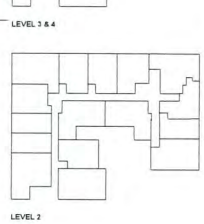
unit C1
724.26 sqft
2 bed, 2 bath



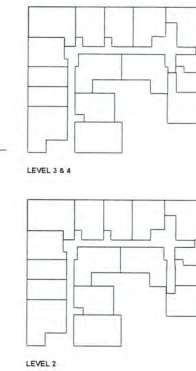
unit C2-A
722.86 sqft
2 bed, 2 bath



unit C2
864.02 sqft
2 bed, 2 bath



unit C3
771.28 sqft
2 bed, 2 bath



Note - Aging-in-Place Features
a. Stairwell Handrails
b. Lever type handles for plumbing fixtures and door handles
c. Solid blocking in washroom walls for future grab bars beside toilet, bath tub and shower

Basic Universal Housing Features
-100% units meet basic universal housing(BUH) requirement.

Door & Doorways
a) The minimum clear opening for all entry doors to every dwelling unit and common areas shall be no less than 850 mm(which will be provided by a swing door)
b) The minimum clear opening for the interior doors to at least one bedroom, one accessible bathroom and to common living areas in every dwelling unit shall be no less than 800.0 mm(which will be provided by a swing door).
c) Flush thresholds throughout the building shall be a maximum of 13.0 mm in height.
d) All interior thresholds within units comply BC building code.
e) Lever-type handles for all doors.

Maneuvering Space at Doorways

a) Where the door swings toward the area (pull door), 1500.0 mm long by the width of the door plus at least 600.0 mm clear space on the latch side, as illustrated in Figure 2 below. This requirement to apply to door assemblies to one bathroom and one bedroom in 2 bedroom and larger dwelling units.



b) Where the door swings away from the area (push door), 1220.0 mm long by the width of the door plus at least 300.0 mm clear space on the latch side, as illustrated in Figure 3 below. This requirement to apply to door assemblies to common living areas in every dwelling unit, and one bathroom and one bedroom in 2 bedroom and larger dwelling units.



b) Where there are doors in a series in common areas, there must be separation of at least 1220.0 mm plus the width of the door



Corridor Widths

-Common corridors shall be no less than 1220.0 mm wide and provide a clear area not less than 1500.0 mm by 1500.0 mm adjacent to the elevator entrance.

Bathroom

-At least one bathroom shall:

- a) have a toilet positioned with the centre line of the toilet 420.0 mm to 480.0 mm from a side wall on which a grab bar can be installed and at least 510.0 mm from any obstruction in front of the toilet; and
- b) have a clear floor area at the sink of 760.0 mm by 1220.0 mm positioned for a parallel approach and centred on the sink, as illustrated in Figure 5 below;



c) have a minimum clear area of 510.0 mm in depth along the full length of the bathtub, as illustrated in Figure 6 below.



d) have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars; and
e) include easy to grasp handles on faucets, e.g. lever-type faucets.

Kitchen

The kitchen must have:

- a) some usable counter space and cupboards that can be easily accessed by people with disabilities, including people with wheelchairs, e.g. continuous counter between the stove and sink, adjustable shelves in all cabinets, pull-out work boards at 810.0 mm height, and pull-out cabinet shelves;
- b) easy to grasp handles on faucets, e.g. lever-type faucets;
- c) easy to reach and grasp handles on cupboards, e.g. D or J type cabinet handles and grab edges under counters;
- d) task lighting at sink, stove and key work areas; and
- e) plumbing and utility pipes located to provide for a potential 810.0 mm wide under counter workspace so as not to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.

Bedroom & Closet

- a) The space around a bed in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500.0 mm on one side of a double bed.
- b) The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 800.0 mm, clear floor space of at least 750.0 mm by 1200.0 mm and a clothes hanger rod that can be lowered to 1200.0 mm.

Patio & Balconies

- a) Access doors shall have a minimum clear opening of 800.0 mm.
- b) Minimum dimensions of any balcony or patio shall be 1500.0 mm by 1500.0 mm. This requirement does not apply to "Juliet" or "French" style of balcony or patio.

Outlets and Switches

- a) Light switches and electrical panels shall be 900.0 to 1200.0 mm from the floor. Intercom buttons shall be a maximum 1375.0 mm from the floor.
- b) Electrical outlets, cable outlets and telephone jacks shall be located 455.0 mm to 1200.0 mm from the floor.
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- e) Light switches will be rocker or paddle-type switches.

Windows

- a) Windows which are accessible shall have a window sill height that does not exceed 750.0 mm above the floor to afford seated viewing. At least one window in the bedroom and one window in the living room shall afford such seated viewing.
- b) Windows which are accessible shall have opening mechanisms operable with one hand and of a type that does not require light grasping, pinching or twisting of the unit.

Floor Surfaces

- a) Floor surfaces throughout the building shall have no abrupt changes in level, i.e., a maximum break of the flush threshold of 13.0 mm height. This requirement does not apply to exterior balcony, patio and deck door sills.
- b) Floor surfaces shall be slip resistant.
- c) Where carpets are used, they must be firmly fixed, have a firm underlay and pile under 13.0 mm height.



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- [PROJECT TEAM]
- 1 - 2023.10.27 - RZ/DP ISSUE 1.0
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 - 3 - 2024.10.18 - RZ/DP ISSUE 3.0
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 - 10 - 2025.10.22 - RZ/DP ISSUE 10.0
 - 11 - 2025.10.27 - RZ/DP ISSUE 11.0

DP 23-033716
November 17, 2025
Reference Plan



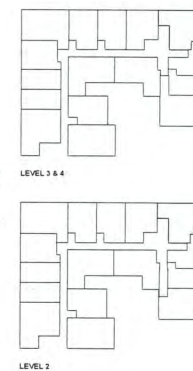
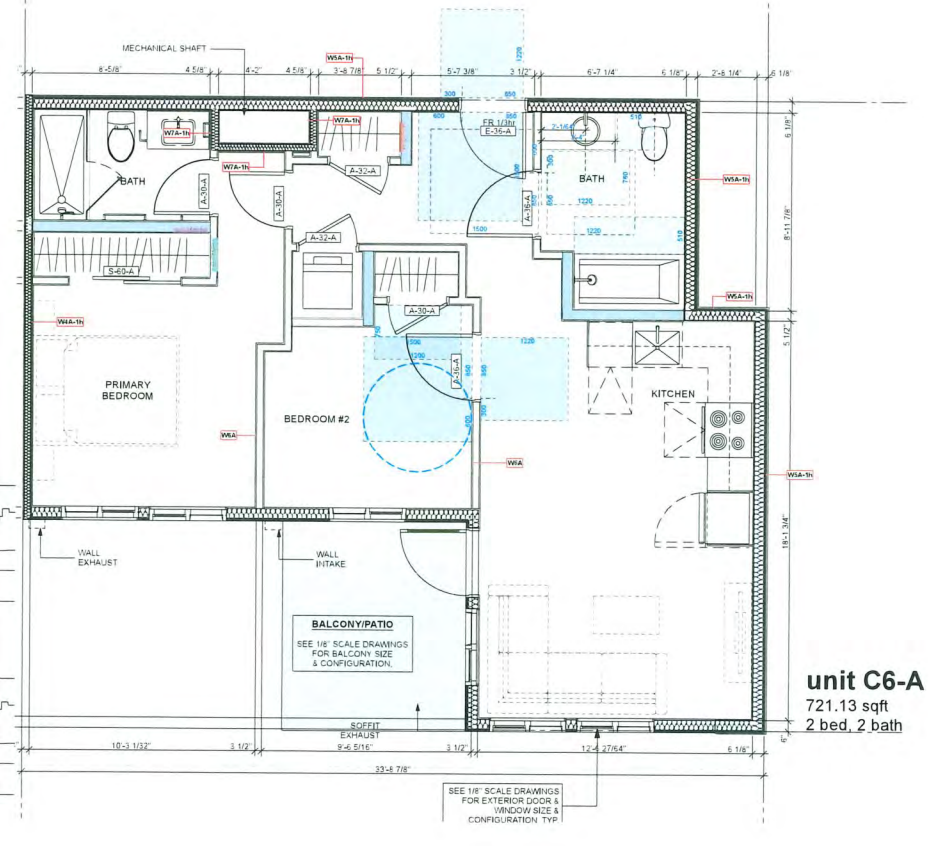
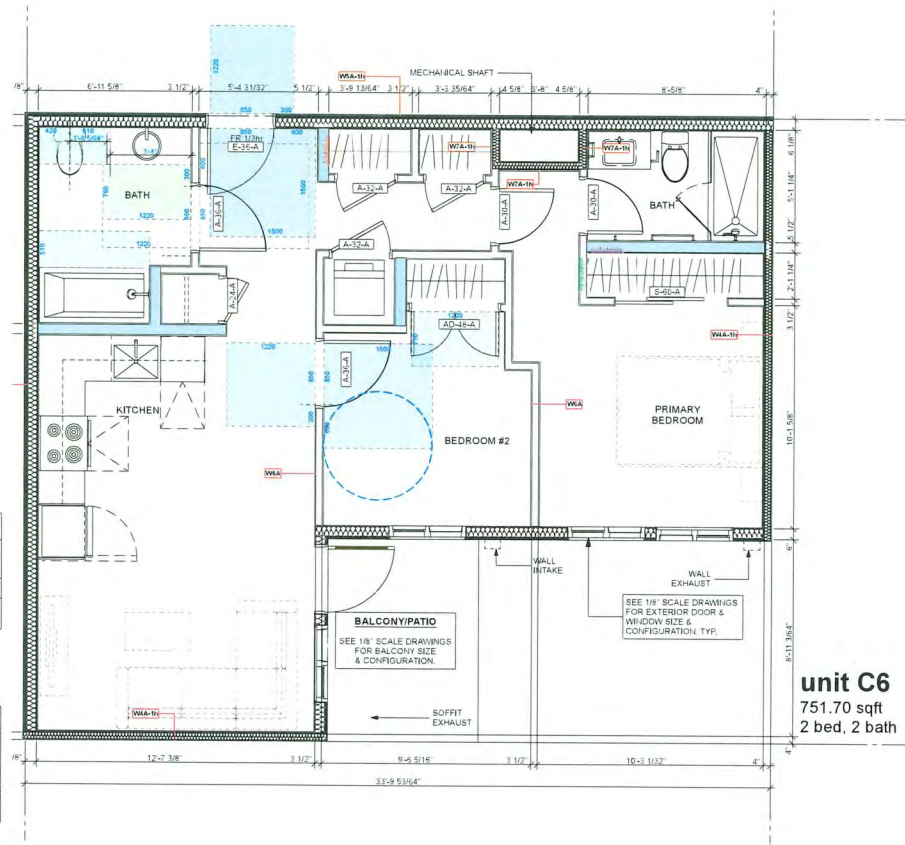
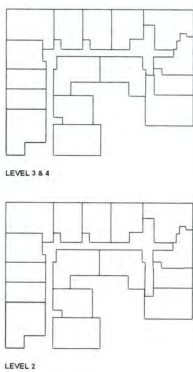
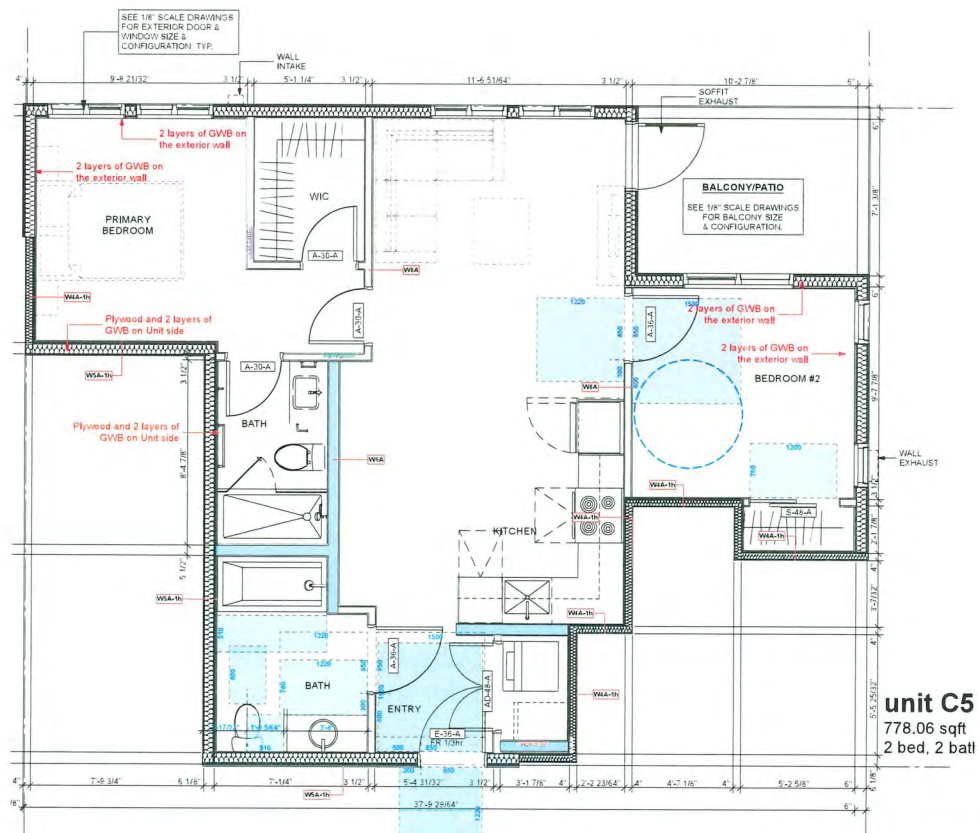
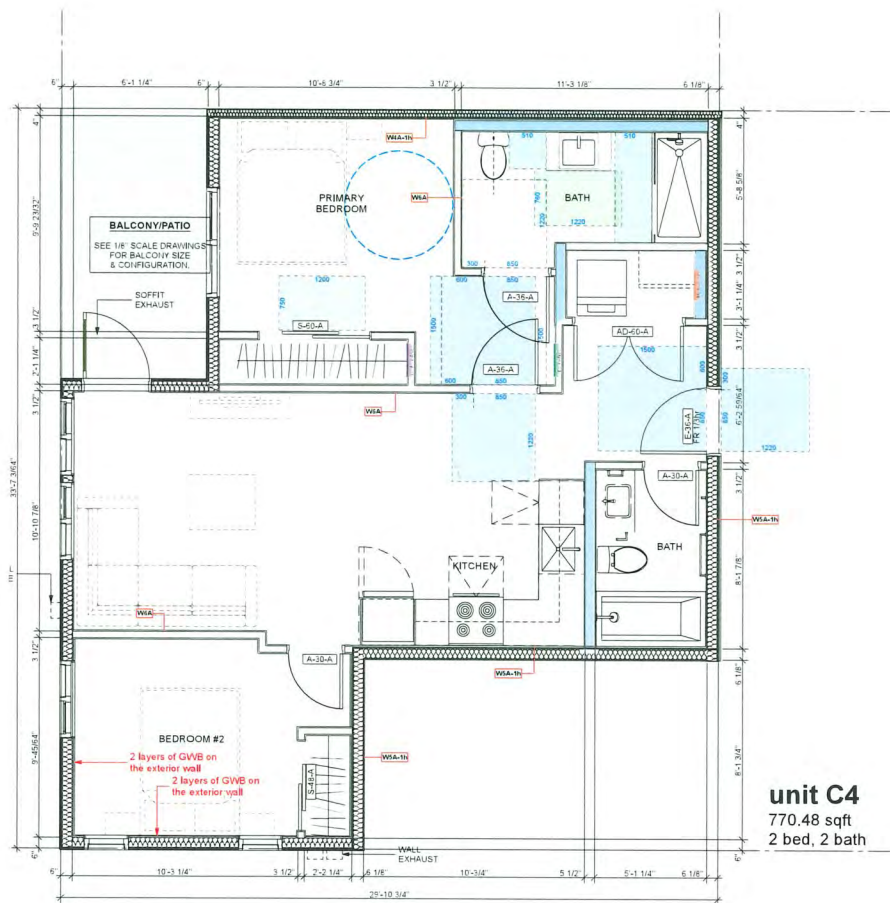
PANATCH GROUP

Mixed Use Rental
Building
3000, No.3 Road
Richmond, BC

Unit Plans

23625 [PROJECT]
1' = 1'-0" [SCALE]
Monday, October 27, 2025 [DATE]
DP (ISSUE 11.0) [ISSUE]
[DRAWING]

A-3.103



Note - Aging-in-Place Features
a. Stairwell Handrails
b. Lever type handles for plumbing fixtures and door handles
c. Solid blocking in washroom walls for future grab bars beside toilet, bath tub and shower

Basic Universal Housing Features
-100% units meet basic universal housing(BUH) requirement.

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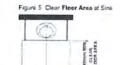


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Outlets and Switches

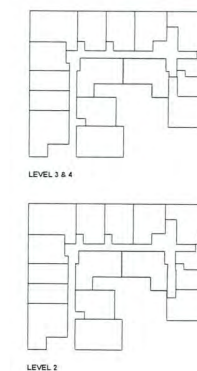
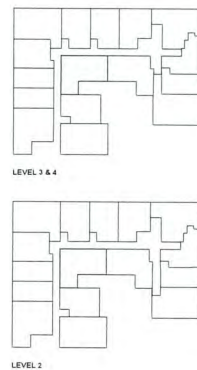
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1 - 2023.10.27 - RZ/DP ISSUE 1.0
2 - 2024.03.14 - RZ/DP ISSUE 2.0
(Change in development scope)
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DP 23-033716
November 17, 2025
Reference Plan



PANATCH GROUP

Mixed Use Rental Building

9000, No.3 Road
Richmond, BC

Unit Plans

23625 (PROJECT)
1' = 1'-0" (SCALE)
Monday, October 27, 2025 (DATE)
DP (ISSUE 11.0) (ISSUE)
(DRAWING)

A-3.104