



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 26, 2024

From: Suzanne Smith
Program Manager, Development

File: DP 22-008932

Re: **Application by Kenneth Kim (Kenneth Kim Architecture Inc.) for a Development Permit at 6500 Cooney Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of six townhouse units over a common parking structure at 6500 Cooney Road on a site zoned "Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)".

Suzanne Smith
Program Manager, Development
(604-276-4138)

SS:ta
Att. 2

Staff Report

Origin

Kenneth Kim (Kenneth Kim Architecture Inc.) has applied on behalf of 1319414 B.C. Ltd., Inc. No. BC1319414 (Directors: Lei Yue and Songyun Lou) to the City of Richmond for permission to develop six townhouse units over a common parking structure at 6500 Cooney Road on a site zoned “Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)”. The site is currently vacant.

The site is being rezoned from the “Low Density Townhouses (RTL1)” zone to “Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)” zone under Bylaw 10265 (RZ 08-429600) which received third reading following the Public Hearing on July 19, 2021. The subject site is located on the outer edge of the Spires Road Rental Tenure Policy Area however it is subject to instream provisions which enable it to proceed as outlined in this report.

A Servicing Agreement (SA 11-587092) is required as a condition of rezoning adoption. The Servicing Agreement includes, but is not limited to, the following improvements:

- Frontage improvement work on the site’s Cooney Road and Cook Road frontage.
- The construction of a new 6.0 m public lane along the site’s east property line.
- Related water, storm sewer and sanitary sewer connections to the subject site, along with public and private utility improvements.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the North: A 20-unit townhouse development fronting Cooney Road on property zoned “Town Housing (ZT53) – Cooney Road (Brighthouse Village of City Centre)”.
- To the East: A 24-unit townhouse development fronting Cook Road on property zoned “Low Density Townhouses (RTL1)”.
- To the South: Across Cook Road, a single-family home on a lot zoned “Low Density Townhouses (RTL1)” which is the subject of an application to rezone to permit the development of a four storey mixed use building with office space at grade and 15 townhouse units over a parking structure. To the South East there is a 28-unit townhouse development on property zoned “Town Housing (ZT66) – Cooney Road (Brighthouse Village of City Centre)”.
- To the West: Across Cooney Road, a 13-unit townhouse development on property zoned “Low Density Townhouses (RTL1)”.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Compliance with Development Permit guidelines for the form and character of multiple family projects provided in the 2041 Official Community Plan (OCP) and City Centre Area Plan (CCAP), including the provision of an attractive pedestrian-oriented streetscape building design along Cooney Road.
- Review of tree replacement and protection features for the development proposal.
- Review of the shared outdoor amenity area design, including the choice of children's play equipment, to create a safe and vibrant environment for children's play and social interaction.
- Review of relevant accessibility features for the one proposed convertible unit and aging-in-place design features in all units.
- Review of sustainability strategy for the development proposal.

The Public Hearing for the rezoning of this site was held on July 19, 2021. No concerns regarding the rezoning application were expressed at the Public Hearing.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)" zone.

Analysis

Conditions of Adjacency

- The subject site is located in the Spires Road Neighbourhood as identified in the City Centre Area Plan (CCAP). The subject site is designed for grade-oriented housing in the form of low-density townhouses with common parking structures concealed from public view. This is consistent with newer developments approved to date in the area. Future developments in the Spires neighbourhood will permit a larger height and massing under new guidelines associated with the Spires Rental Tenure Policy and OCP guidelines.
- The subject site is a small isolated site at the northeast corner of the Cooney Road and Cook Road intersection. The frontages have been designed to provide an animated interaction with both the Cooney Road and Cook Road frontages.
- A 6.0 m wide north-south rear lane dedication along the entire east property line has been secured at rezoning for the construction of an interim lane. The lane is to be widened through future development to the east and is proposed to allow for the long-term plan to provide a connection from Cook Road north to Spires Gate.
- A 1.8 m wide road dedication along the entire south property line and a 2.4 m wide road dedication along the entire west property line have been secured at rezoning.

- A 5.0 m x 5.0 m corner cut dedication at the southwest corner of the subject development site to accommodate future north-south and east-west lane intersection improvements has also been secured at rezoning.
- Additional Statutory Right-of-Ways (SRWs) have also been secured at rezoning along the Cook Road frontage and adjacent to the lane to allow the areas to be used as if it were a City street sidewalk and street respectively. The City will be responsible for the maintenance of the SRW areas.
- The building setbacks are consistent with the requirements for low-density townhouses. The existing conditions of the neighbouring properties have also been reviewed, and the setbacks from the lane and neighbouring properties have been specified accordingly.
- The development is setback 3.0 m from Cooney Road, 4.4 m from Cook Road, 0.0 m from the rear lane, and 1.5 m from the interior property line to the north.
- A low retaining wall (approximately 0.5 m in height) with a 1.52 m fence on top will be installed on the subject site along the north property line to enhance the landscaped edge of the property.
- The building's massing has been designed to minimize shadowing and overlook on neighbouring properties.
- The bulk of the top floor of the townhouse units are stepped back to minimize overlook into adjacent developments.
- The location and orientation of windows have been carefully considered to maintain privacy in the units and minimize the opportunity of overlook into adjacent developments.

Urban Design and Site Planning

- The applicant proposes to build a compact townhouse development comprising of six townhouse units at 1.2 FAR on the northeast corner of Cook Road and Cooney Road in the CCAP's Brighthouse Village.
- The proposal includes individual, south-facing entries and yards along Cook Road, north-facing decks on the second floor and south-facing decks at the building's uppermost floor.
- All units have direct access to the partially enclosed parking structure, which has vehicle access to the public lane proposed along the east edge of the site.
- A 6.0 m road dedication along the entire east property line is to provide an interim lane aligned north-south parallel to Cooney Road which will be widened with future redevelopment to the east.
- Vehicle access to this townhouse project is from Cook Road. It is in the southeastern portion of the site via the proposed lane.
- Along the Cooney Road frontage, a 2.0 m sidewalk is proposed with a treed and grass boulevard designed to allow for the widening of Cooney Road to accommodate a bicycle path infrastructure in the future.

- Along Cook road, significant effort was made by staff to retain two existing trees on the City boulevard and adjacent to the lane. This includes two SRW's on portions of the site to secure movement around the trees. In addition, the 1.5 m wide sidewalk initially secured at rezoning has been increased to a 2.18 m. The sidewalk has also been relocated away from the curb, and instead, a 0.76 m grass boulevard will be located adjacent to the curb. These revisions aim to improve the accessibility of the sidewalk and safety for pedestrians.
- The proposed habitable floor elevation for the first floor is 0.3 m above the highest elevation of the highest crown of the road adjacent to the site.
- The buildings provide a well-defined street edge along both frontages.
- Along the Cook Road frontage, the proposal provides an attractive streetscape with an individual unit entry and a landscaped front yard to each of the townhouse units.
- Along the Cooney Road frontage, an entry gate with direct access to the garage level is provided, along with an accessible pathway that leads to the outdoor amenity space and another access point to garage level.
- A mailbox is proposed on the garage level by the east side entrance of the parking area.
- Parking standards for the project are in compliance with Zoning Bylaw 8500 as they were secured through the associated rezoning (currently at third reading) prior to the introduction of the Provincial Bill 44 (limited residential parking requirements).
- The proposal will feature a total of ten parking spaces (eight resident parking spaces and two visitor parking spaces). The number of parking spaces proposed is in compliance with the minimum Zoning Bylaw 8500 requirement.
- Four resident parking spaces will be in a tandem arrangement (50 per cent of the total required residential parking spaces), which is consistent with the provisions of Richmond Zoning Bylaw 8500. A restrictive covenant has been secured at rezoning to ensure that where two parking spaces are provided in a tandem arrangement, both parking spaces are assigned to the same dwelling unit.
- Eight Class 1 bicycle parking spaces are proposed in a secure location within the bicycle storage room in the garage level. Two Class 2 bicycle parking spaces are located outdoors at the south west corner of the site. The bicycle parking spaces are in compliance with the provisions of Richmond Zoning Bylaw 8500.
- The garbage, recycling and organics storage bins are proposed to be located in a room on the garage level. For collection, the garbage, recycling and organic storage bins are proposed to be staged for pick up along Cook Road.
- The outdoor amenity area is located in the northwest corner of the site. The overall size of the proposed outdoor amenity space (36.0 m²) complies with the Official Community Plan (OCP) requirement (i.e., 6.0 m² per unit).
- The applicant is proposing to provide cash-in-lieu of providing indoor amenity space on site. The total cash contribution required for the six-unit townhouse development is \$12,396.00 (\$2,066/unit).

- All the townhouse units will have private outdoor spaces consisting of a front yard on the street level and a deck on the fourth floor both fronting Cook Road. Five of the units will also have a private outdoor space on the second floor facing the north property line.

Architectural Form and Character

- The project's six townhouse units are designed as a single three-storey building over a single-level common parking structure.
- All dwelling units have direct entrances from Cook Road. The entrances feature private front yards.
- The proposed development has varying façade treatments at key points, a sloped roof, proportionate windows set symmetrically into the building and architectural details such as decorative wood slats and white wood trims.
- Larger setbacks on the fourth floor have been incorporated to provide a reduced massing expression to the streets.
- Stucco finish and horizontal siding are the two dominant materials used on the elevations. Façade details and trim contrast the background colours of the elevations to distinguish each level.
- Windows and entry roofs are used to accentuate each townhouse unit. Road fronting elevations have light brown horizontal siding as accent material on the ground and fourth levels.

Tree Preservation

- Three on-site trees were identified for removal in the original rezoning staff report. They have since been removed under T3 Permit as is permitted following the first Public Hearing in 2011. The Official Community Plan (OCP) requires a 2:1 replacement ratio for the trees removed, therefore requiring a total of six replacement trees. At the rezoning stage, the applicant committed to providing ten trees on site. As part of the development permit review, changes were made to the site plan to accommodate utilities required on site. As a result, four of the ten trees proposed at rezoning could no longer be accommodated on site.
- The applicant will plant a total of six trees on-site, which complies with the 2:1 replacement requirement established in the OCP. The applicant has also agreed to provide a \$3,000.00 (\$750/tree) voluntary contribution to the City's Tree Compensation Fund in lieu of the four trees that cannot be accommodated on site.
- Two City trees (tag# 1 and 2) adjacent to the site in the City's Cook Road boulevard are to be retained and protected as per City of Richmond Tree Protection Information Bulletin Tree-03.
- Staff ensured a Public Right-of-Passage Statutory Right-of-Ways (PROP SRW), approximately 5.4 m², was secured at rezoning to enable the Cook Road sidewalk to meander around the tree (tag# 2) in the City boulevard to ensure its retention.

- An additional Public Right-of-Passage Statutory Right-of-Ways (PROP SRW), approximately 2.6 m², was secured by staff at rezoning to allow the City lane to encroach into the site to allow for tree (tag# 1) retention in the City boulevard adjacent to the new lane.

Landscape Design and Open Space Design

- The proposed landscape plan includes a mix of six deciduous and coniferous trees on site, as well as a variety of shrubs, perennials and groundcovers.
- Landscaping with trees is proposed along the Cook Road and Cooney Road frontages creating a visually appealing frontage and screening the proposed front yard and outdoor amenity space from the sidewalk.
- Private deck planters are proposed in the second floor balcony for five of the units and in the fourth floor balcony of each townhouse unit.
- An outdoor amenity area is proposed in the north-west corner of the site.
- Wood play features and a playhouse are proposed on multicolor resilient flooring – for two to five age groups.
- Permeable pavers are proposed to create a pathway that provides accessible circulation between the garage, outdoor play area and the Cooney Road sidewalk.
- A bench in the west side yard is also proposed for informal use of the residents.

Crime Prevention Through Environmental Design

- Street lighting are proposed in the rear lane to illuminate the lane and provide unobstructed views of the surrounding area.
- The pathway providing accessible circulation between the garage, outdoor play area and the Cooney Road sidewalk is illuminated with recessed and wall sconce light fixtures.
- Plantings adjacent to residential entries are low to maximize views and casual surveillance.
- Glazing and balcony access for each unit increases visual presence and provides opportunities for the passive surveillance of Cook Road, Cooney Road, the future back lane and the outdoor amenity space.

Sustainability

- The proposed development consists of six townhouses above a parking garage. This development is required to achieve Step 3 of the BC Energy Step Code for Part 3 construction. As part of a future Building Permit application, the applicant will be required to provide a report prepared by a Certified Energy Advisory which demonstrates that the proposed design and construction will meet or exceed the required standard.
- In compliance with Zoning Bylaw 8500, all eight resident parking spaces will be provided with energized outlets capable of providing Level 2 charging. The two visitor vehicle parking spaces will also be provided with energized outlets capable of providing Level 2 charging.

Accessible Housing

- The proposed development includes one convertible unit (Unit 1) that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit in the future will require the installation of a vertical lift in the stacked storage space if desired.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Site Servicing and Off-site Improvements

Servicing and off-site improvements to support the proposed development were identified during the Rezoning Application review process and will be addressed under a Servicing Agreement prior to rezoning bylaw adoption. To address a discrepancy in the rezoning requirements through this Development Permit and its associated considerations, the \$9,000.00 cash contribution towards the Accessible Pedestrian Signals (APS) upgrade secured through the rezoning considerations is being waived as the applicant will be providing the upgrade directly. This will occur as part of the agreed upon requirement for the design and construction of the APS upgrade outlined in the Servicing Agreement.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, and the applicant has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment 2, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Tolu Alabi
Planner 1
(604-276-4092)

TA:js

Att. 1: Development Application Data Sheet
2: Development Permit Considerations



DP 22-008932

Address: 6500 Cooney Road

Applicant: Kenneth Kim (Kenneth Kim Architecture Inc.)

Owner: 1319414 B.C. Ltd. (Incorporation No. BC 1319414)

Planning Area(s): City Centre Area (Brighthouse Village)

Floor Area Gross: 1111.33 m²

Floor Area Net: 756.24 m²

	Existing	Proposed
Site Area	870.9 m ²	632.8 m ²
Land Uses	Vacant	Multiple-Family Residential
OCP Designation	Neighbourhood Residential	No Change
CCAP Designation	General Urban T4 / 1.2 FAR	No Change
Development Permit Sub-Area	B2 Mixed-Use - Mid-Rise Residential & Limited Commercial	B2 Mixed-Use - Mid-Rise Residential & Limited Commercial
Zoning	Low Density Townhouses (RTL1)	Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)
Number of Units	0	6 townhouse units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio	Max. 1.2 (759.36 m ²)	1.2 (756.24 m ²)	None Permitted
Lot Coverage	Building	Max. 56.0 %	None
	Non-porous Surfaces	Max. 80.0 %	
	Live Landscaping	Min. 20.0 %	
Setback – Cooney Road	Min. 3.0 m	3.1 m	None
Setback – Cook Road	Min. 3.0 m	4.4 m	None
Setback – Side Yard	Min. 1.5 m	1.5 m	None
Setback – Rear Lane	Min. 0.0 m	0.1 m	None
Building Height	Max. 15.0 m (4 storeys)	13.43 m (4 storeys)	None
Lot Size	Width	Min. 20.0 m	None
	Depth	Min. 30.0 m	
	Area	Min. 600.0 m ²	
Parking Spaces (City Centre Zone 2)	Resident (1.2/unit)	8	None
	Visitors (0.2/unit)	2	
	Total	10	
Parking Spaces – Accessible	Not required	0	None

Tandem Parking Spaces		Max. 50% of resident spaces	50% of resident spaces	None
Bicycle Parking	Class 1 (1.25/unit)	8	8	None
	Class 2 (0.20/unit)	2	2	
EV (Energized) Car Charging		100% of resident parking spaces	100% of resident parking spaces	None
Amenity Space – Indoor		Min. 50.0 m ²	Cash-in-lieu	None
Amenity Space – Outdoor		Min. 36.0 m ²	36.0 m ²	None



City of Richmond

Development Permit Considerations
Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 6500 Cooney Road

File No.: DP 22-008932

Prior to approval of the Development Permit*, the developer is required to complete the following:

1. **[Zoning Amendment]** Final adoption of the Zoning Amendment Bylaw 10265.
2. **[Aircraft Noise Sensitive Development]** Confirmation that the proposed development is designed in a manner that mitigates potential aircraft noise to the proposed dwelling units, including submission of:
 - a) Acoustic report prepared a registered professional confirming design achieves the following CMHC interior noise level guidelines:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b) Mechanical report prepared a registered professional confirming design achieves the ASHRAE 55-2004 “Thermal Environmental Conditions for Human Occupancy” standard for interior living spaces.
3. **[Energy Step Code]** Submissions from the Coordinating Registered Professional, including:
 - a) A statement identifying the applicable Energy Step Code performance target, confirmation that the required target has been considered in design, and that a Qualified Energy Modeller has been engaged to ensure that the proposed design can achieve the applicable performance targets.
 - b) A summary (e.g., one page) of the envelope energy upgrades and other energy efficiency measures (e.g. effective R-values of typical wall assemblies, U-values and solar heat gain coefficients of fenestration, window-to-wall ratios, thermal breaks in balconies and similar features) must be presented in the DP application such that the passive energy performance of the building can be assessed and discussed by the Advisory Design Panel.
4. **[Landscape Security]** Submission of a Letter of Credit for landscaping in the amount of \$74,750.00 (based on the cost estimate prepared by a registered landscape architect including a 10% contingency). A Legal Agreement is required to accompany the Landscaping Security to set the terms for the use and release of the security.
5. **[Tree Compensation]** City acceptance of the developer’s offer to voluntarily contribute \$3,000.00 (\$750/tree) to the City’s Tree Compensation Fund for the planting of replacement trees within the City.
6. **[Servicing Agreement*]** Revisions to the requirement to enter into a Servicing Agreement* (secured through RZ 08-429600) for the design and construction of frontage improvements and utility works have been agreed to and are included in the following:
 - a) **Functional Road Plan:**
A functional road plan is to be prepared and submitted as part of the Servicing Agreement to the satisfaction of the Director of Transportation for the interim and ultimate design of the roadworks described below and infrastructure works as developed through the functional design process to current City standards and policies and to confirm the SRW areas (amounts and geometry) described above, as noted in these considerations.
 - b) **Cooney Road:**
Frontage works are required behind the existing curb, along the subject site’s frontage and extending northwards to include tie-in to the existing sidewalk to the north. Frontage works shall include removal of the existing sidewalk and installation of the following from east to west:
 - (i) Minimum 2.00 m wide concrete sidewalk along the subject site's new property line, including tie-in to the existing sidewalk to the north
 - (ii) 1.50 m treed boulevard
 - Treed portion to be planted at 9.00 m on centre (including reinstatement of the boulevard north of the subject site where the sidewalk must be removed)
 - City Centre streetlights in the boulevard (Type 3, powder coated blue, 9.14 m pole, and 250w MH lamp, except without pedestrian luminaires, banner arms, flowerpot holders, receptacles, or irrigation). All utility poles to be underground.

(iii) 1.80 m grassed boulevard with no above-grade utilities.

(iv) 0.15 m curb and gutter.

c) **Cook Road:**

Construction of frontage works including removal of the existing on street walkway and extruded curb and installation of the following from south to north:

(i) 0.15 m curb and gutter. The face of curb shall be approximately 11.85 m north of the existing south curb face.

(ii) 0.76 m wide grassed boulevard with street lighting

- City Centre streetlights (Type 3, powder coated blue, 9.14 m pole, and 250w MH lamp, except without pedestrian luminaires, banner arms, flowerpot holders, receptacles, or irrigation)

(iii) Minimum 2.18 m wide concrete sidewalk between the grassed boulevard and the subject site's property line.

Local reduction of this sidewalk width is permitted for the retention of one existing tree (tag# 2).

d) **Cooney Road and Cook Road Intersection Improvements:**

A traffic signal design will be required as part of the Servicing Agreement process. The exact scope of traffic signal upgrades shall be confirmed upon completion of the traffic signal design; however, a minimum of the following will be required at the Cooney Road and Cook Road intersection:

(i) Replacement of the existing traffic signal at the NE corner of the intersection with a new City Centre decorative traffic pole complete with new traffic signal hardware

(ii) New APS and LED streetlights on the new traffic pole. Intersection lighting design and drawings will be required to confirm lighting requirements.

(iii) New communications conduit along the development frontage

(iv) All new curb ramps are to have accessible tactile warning strips.

e) **Public Lane:**

Construction of a new 6.0 m wide lane is required, including, but not limited to, City Centre lighting along the lane's east side, the extension and repair or replacement of the existing fence along the entire property line of 8491 Cook Road (i.e. immediately east of the proposed lane), and special measures aimed at mitigating impacts on the existing significant tree east of the proposed lane as determined by an arborist (e.g., permeable paving, light weight fill), to the satisfaction of the City. Any grade differential between the lane and adjacent sites must be resolved via the design review/approval process. The functional road plan required for the public lane is to illustrate the swept path for two-way vehicle movements at the new lane/6468 Cooney Road easement intersection and any additional traffic control measures or devices to support the design.

(i) Driveway letdown for lane access shall be designed to facilitate safe, convenient pedestrian movement between the new sidewalk at the subject site and the on-street walkway east of the subject site.

f) **Water Service:**

Using the OCP Model, there is 861 L/s of water available at a 20 psi residual at the Cooney Rd frontage and 844 L/s of water available at a 20 psi residual at the Cook Road frontage. Based on the proposed development, the site requires a minimum fire flow of 220 L/s.

At owner's cost, the owner is to:

(i) Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage Building designs.

(ii) Review hydrant spacing on all road frontages and install new fire hydrants as required to meet City spacing requirements for the proposed land use.

(iii) Provide a right-of-way for the water meter. Minimum right-of-way dimensions to be the size of the meter box (from the City of Richmond supplementary specifications) + any appurtenances (for example, the bypass on W2n-SD) + 0.5 m on all sides. Exact right-of-way dimensions to be finalized via the servicing agreement process).

At owner's cost, the City is to:

(i) Complete all tie-ins for the proposed works to existing City infrastructure.

(ii) Cut and cap all existing water service connections and remove all existing water meters.

(iii) Install a new water service connection, complete with water meter and water meter box as per City specifications to service the site.

g) **Storm Sewer:**

At owner's cost, the owner is to:

- (i) Provide a 300 mm storm sewer for drainage along the newly proposed lane.
- (ii) Provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the servicing agreement design.

At owner's cost, the City is to:

- (i) Install a new storm service connection complete with inspection chamber as per City specifications for the proposed site. The location and size of the required storm sewer service connection shall be determined through the servicing agreement design process. Inspection chamber to be located in a right-of-way onsite.
- (ii) Cut and cap all existing storm service connections to the development site and remove inspection chambers.
- (iii) Complete all tie-ins for the proposed works to existing City infrastructure.

h) Sanitary Sewer:

At owner's cost, the owner is to:

- (i) Replace the existing sanitary connection and inspection chamber serving the development site with approximately 31 m of new 200 mm sanitary sewer from manhole SMH1022 to a new manhole at the adjoining property line of 6468 Cooney Road and the development site.
- (ii) Install one new rear-yard sanitary service connection complete with an inspection chamber off of the new manhole to serve the development site. The size of the required sanitary sewer service connection shall be determined through the servicing agreement design process.
- (iii) Reconnect the existing sanitary connection to 8431 Cook Road to the new sanitary sewer.
- (iv) Not start onsite excavation or foundation construction prior to completion of rear-yard sanitary works by City.

At owner's cost, the City is to:

- (i) Complete all tie-ins for the proposed works to existing City infrastructure.

i) Frontage Improvements:

At owner's cost, the owner is to:

- (i) Review street lighting levels along all road and lane frontages, and upgrade as required.
- (ii) Coordinate with BC Hydro, Telus and other private communication service providers:
 - To underground overhead service lines.
 - To pre-duct for future hydro, telephone and cable utilities along all road frontages.
 - To locate all proposed underground structures (e.g. junction boxes, pull boxes, service boxes, etc.) outside of bike paths and sidewalks.
 - Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - To locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the functional plan and registered prior to SA design approval:

BC Hydro LPT	Confirm size with BC Hydro, approximately 3.5 m x 3.5 m
BC Hydro PMT	Confirm size with BC Hydro, approximately 4.0 m x 5.0 m
BC Hydro Vista	Confirm size with BC Hydro
Street light kiosk	Approximately 2.0 m x 1.5 m
Traffic signal controller cabinet	Approximately 3.2 m x 1.8 m
Traffic signal UPS cabinet	Approximately 1.8 m x 2.2 m
Show possible locations in functional plan of the following:	
Shaw cable kiosk	Confirm size with Shaw, approximately 1.0 m x 1.0 m
Telus FDH cabinet	Confirm size with Telus, approximately 1.1 m x 1.0 m

j) General Items:

At owner's cost, the owner is to:

- (i) Not encroach into City rights-of-ways with any proposed trees, retaining walls, or other non-removable structures. Retaining walls proposed to encroach into rights-of-ways must be reviewed by the City's Engineering Department.
- (ii) Not encroach into the rear-yard sanitary right-of-way with proposed trees, retaining walls, non-removable fences, or other non-removable structures. No fill may be placed within the right-of-way without the City's review and approval.
- (iii) Provide, prior to start of site preparation works or within the first servicing agreement submission, whichever comes first, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting the development site and provide mitigation recommendations.
- (iv) Provide a video inspection report of the existing storm and sanitary sewers along the development's frontages prior to start of site preparation works or within the first servicing agreement submission, whichever comes first. A follow-up video inspection report after site preparation works are complete (i.e. pre-load removal, completion of dewatering, etc.) is required to assess the condition of the existing utilities and provide recommendations. Any utilities damaged by the pre-load, de-watering, or other development-related activity shall be replaced at the Developer's cost.
- (v) Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per a geotechnical engineer's recommendations, and report the settlement amounts to the City for approval.
- (vi) Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Prior to Building Permit* Issuance, the developer is required to complete the following:

1. [**Legal Agreements**] Confirmation of compliance with existing, Rezoning and Development Permit legal agreements.
2. [**Rezoning/Development Permit**] Incorporation of features in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes, including accessibility, sustainability, amenity and landscape design measures. All landscaped areas are to be provided with an irrigation system.
3. [**Accessibility**] Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. [**Aircraft Noise Sensitive Development**] Submission of an Acoustics Report by a registered professional confirming that the building design incorporates all the noise mitigation features necessary to ensure compliance with the standards set out in the OCP.
5. [**Construction Parking and Traffic Management Plan**] Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
6. [**Latecomer Works**] If applicable, payment of latecomer agreement charges, plus applicable interest associated with latecomer works.
7. [**Construction Hoarding***] Obtain a Building Permit (BP)* for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[Signed copy on file]

Signed

Date



No. DP 22-008932

To the Holder: 1319414 B.C. Ltd. Incorporation No. BC 1319414

Property Address: 6500 Cooney Road

Address: C/O: Kenneth Kim (Kenneth Kim Architecture Inc.)
2223 West Broadway Unit 221,
Vancouver, BC
V6K 2E4 Canada

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #17 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$74,750 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 22-008932

To the Holder: 1319414 B.C. Ltd. Incorporation No. BC 1319414
Property Address: 6500 Cooney Road
Address: C/O: Kenneth Kim (Kenneth Kim Architecture Inc.)
2223 West Broadway Unit 221,
Vancouver, BC
V6K 2E4 Canada

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

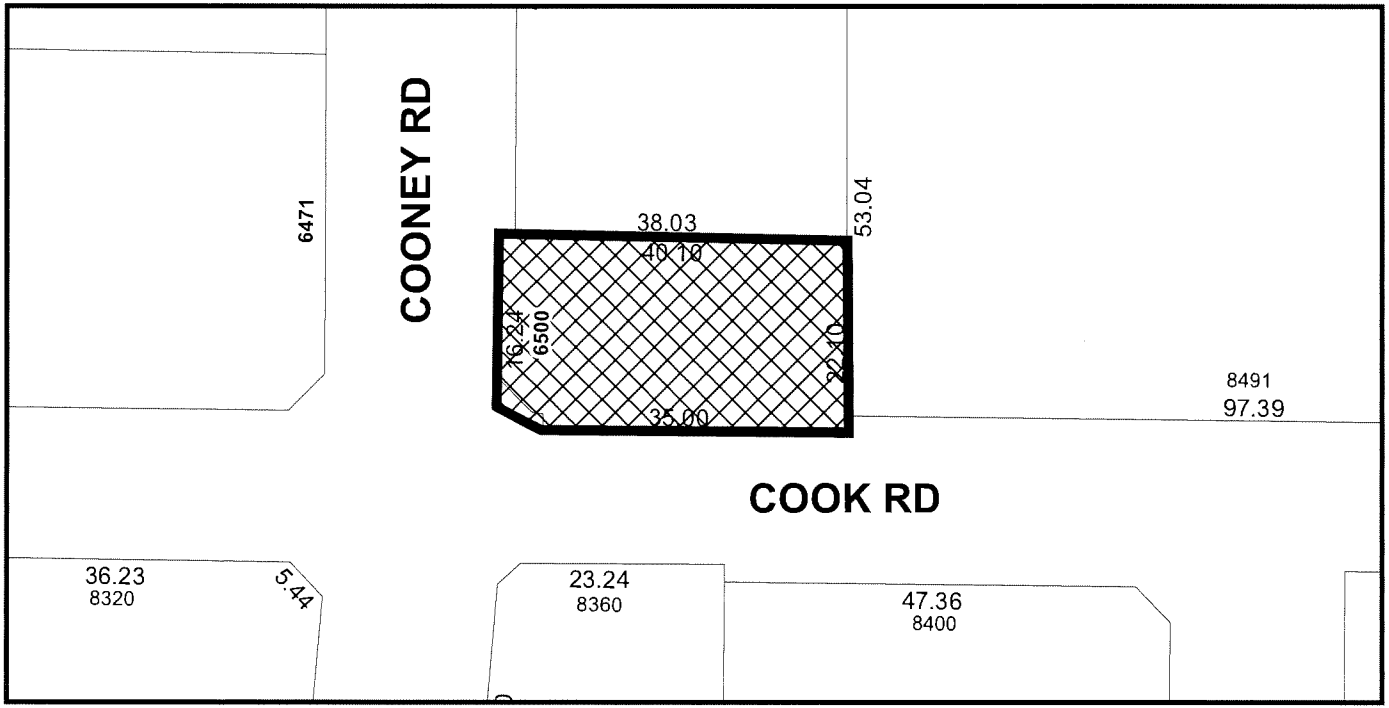
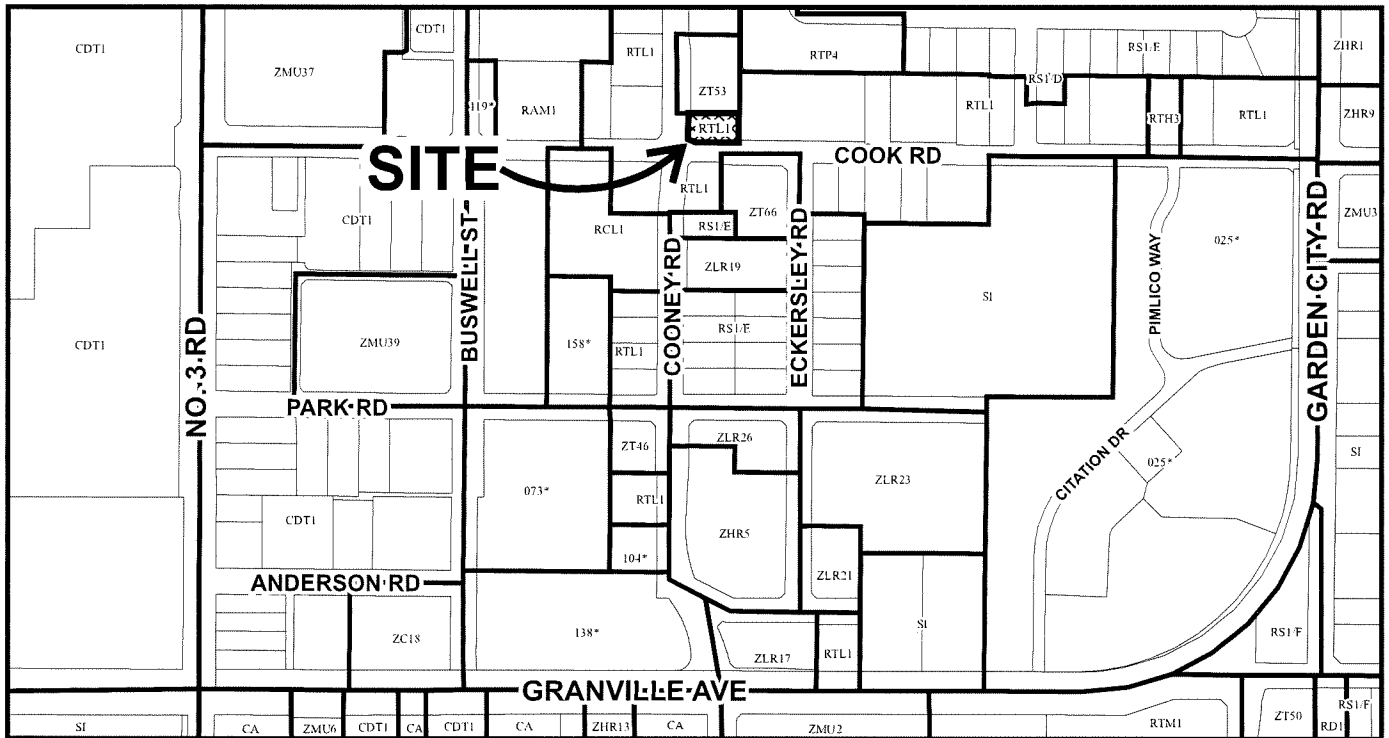
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



	<h2>DP 22-008932 SCHEDULE "A"</h2>	Original Date: 04/05/22 Revision Date: Note: Dimensions are in METRES
--	--	---

DP 22-008932 6500 COONEY RD - 6 UNIT TOWNHOUSE DEVELOPMENT

APRIL 26, 2024

PLAN #1



AERIAL VIEW OF THE SUBJECT PROPOSAL



VIEW FROM LANE AT COOK ROAD

PROJECT SUMMARY

CIVIC ADDRESS: 6500 COONEY ROAD, RICHMOND, BC
 LEGAL DESCRIPTION: LOT 20 SECTION 9, BLOCK 4N RANGE 6W NWD PLAN 15292
 LOT SIZE: 870.9 5M (9,374.3 SF)
 ORIGINAL SITE: 2.4M ALONG COONEY ROAD, 1.8M ALONG COOK ROAD, 5M X 5M AT SW CORNER
 ROAD DEDICATIONS: 6M ALONG EAST PROPERTY LINE
 NET SITE AREA: 632.8 5M (6811.4 SF) (UPDATED SUBDIVISION PLAN APR 2024)



VIEW OF CHILDREN PLAY AREA

	Current Proposal (2021)	Bylaw Requirement (ZT93)
FAR DENSITY	1.2	1.2 Max.
LOT COVERAGE - BUILDING	52.4%	56 % Max.
LOT COVERAGE - NON-POROUS	74.1%	75 % Max.
LOT COVERAGE - PLANTING	20%	20 % Min.
SETBACK - COONEY	3.19 m	3 m Min.
SETBACK - COOK	4.45 m	3 m Min.
SETBACK - CORNER CUT	3.03 m	3 m Min.
SETBACK - LANE	0.08 m	0 m Min.
SETBACK - NORTH INTERIOR SIDE YARD	1.51 m	1.5 m Min.
BUILDING HEIGHT	12.48 m & 4-storays	15.0 m & 4-storays Max.
LOT WIDTH	20.34 m	20 m Min.
LOT DEPTH	31.62 m	30 m Min.
LOT AREA	632.8 m ²	600 m ² min
PARKING		
PARKING REQUIRED	10 (8 Residents + 2 Visitors)	10 (1.2/Unit Residents + 0.2/Unit Visitor)
TANDEM PARKING	25% (2 out of 8)	50 % Max.
BICYCLE PARKING	8 Class 1 + 2 Class 2	8 Class 1 (1.25/Unit) + 2 Class 2 (0.2/Unit)
ACCESSIBLE PARKING	0	Not required
EV CHARGING	100% of resident parking spaces	10 Level 2, 12kw EV Charging outlets
AMENITY - INDOOR		
AMENITY - INDOOR	Cash-in-lieu	50 m ² Min.
AMENITY - OUTDOOR		
AMENITY - OUTDOOR	36.0 m ²	36.0 m ² Min.
CCAP ADDITIONAL OUTDOOR AMENITY	64.9 m ²	63.1 m ² Min. (10% of Net Site Area)
PRIVATE OUTDOOR SPACE	39.28-40.54 m ²	37 m ² Min.



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Project Title
6-UNIT TOWNHOUSE
 6500 Cooney Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
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2	May 13 2021	Rezoning application (Review)
1	Jan 13 2020	Proposal w/ New Parking Layout

Sheet Title
PROJECT DATA & SITE PLAN

Drawn: **CL**

Checked: **KK**

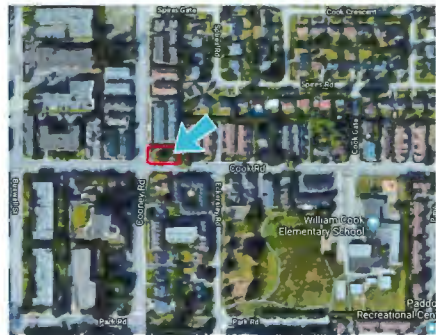
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Dwg. no. **A1.0**

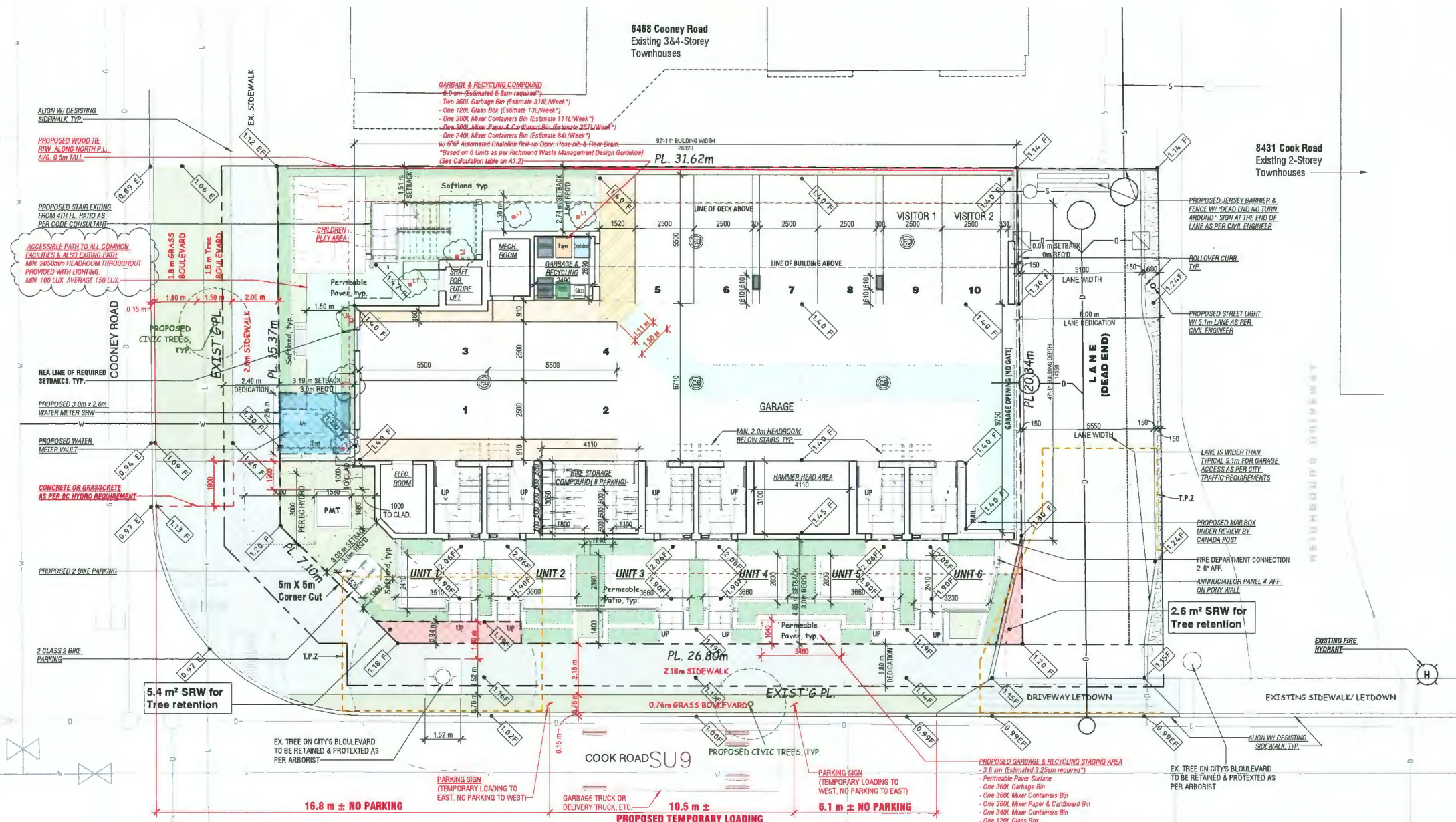


LOCATION PLAN



SITE AERIAL PHOTO

- LEGEND**
- Existing Storm Service
 - Proposed Storm Service
 - Existing Sanitary Service
 - Proposed Sanitary Service
 - Existing Water Service
 - Proposed Water Service
 - Existing Gas Line
 - Existing Street Light Duct
 - Proposed recessed light
 - Proposed wall sconce light



SITE PLAN
 SCALE: 1/8" = 1'0"



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Sheet Title
FIREFIGHTING ACCESS PLAN

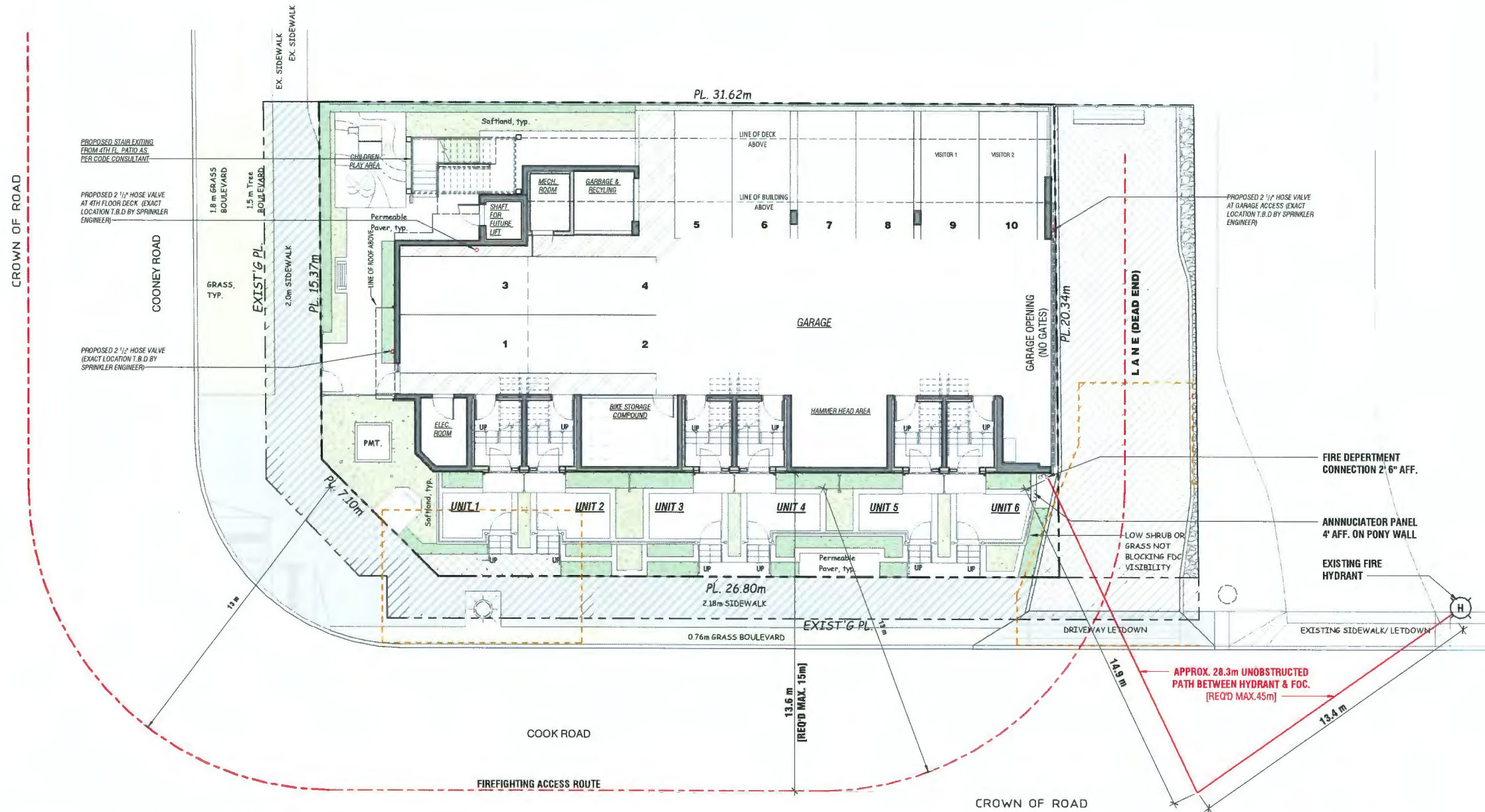
Drawn: **CL**

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Dwg. no. **A1.6**



FIREFIGHTING ACCESS PLAN

SCALE: 1/8" = 10'



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Sheet Title
FIRST FLOOR PLAN

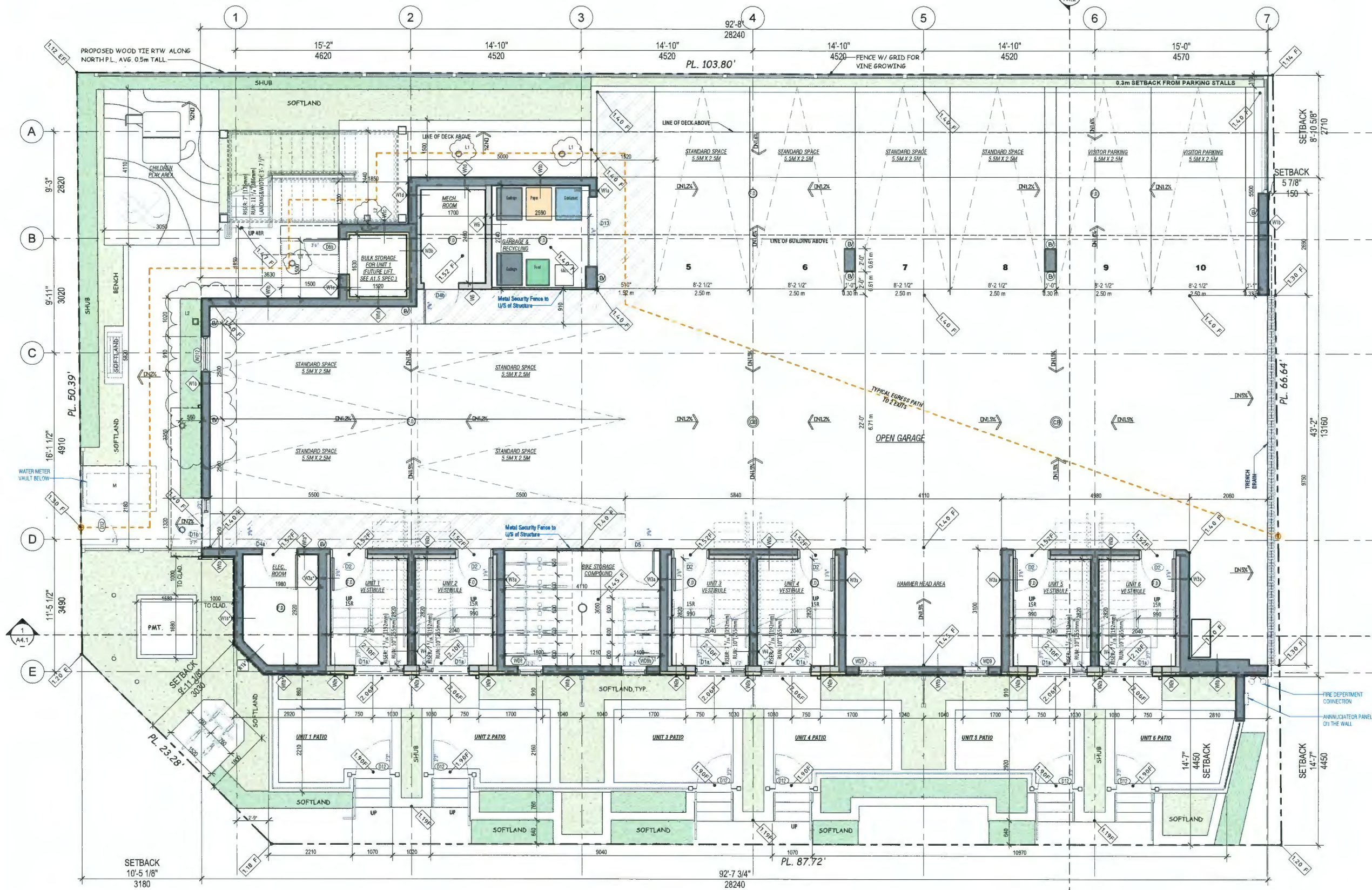
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Dwg. no.
A2.1



FIRST FLOOR PLAN

SCALE: 1/4" = 10"

- Ⓜ LEVEL 2 EV CHARGING OUTLET, 12KW, 1 FOR EACH PARKING SPACE
- L1 PROPOSED RECESSED LIGHT
- L2 PROPOSED WALL SCONCE LIGHT



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Sheet Title
**SECOND FLOOR
 PLAN**

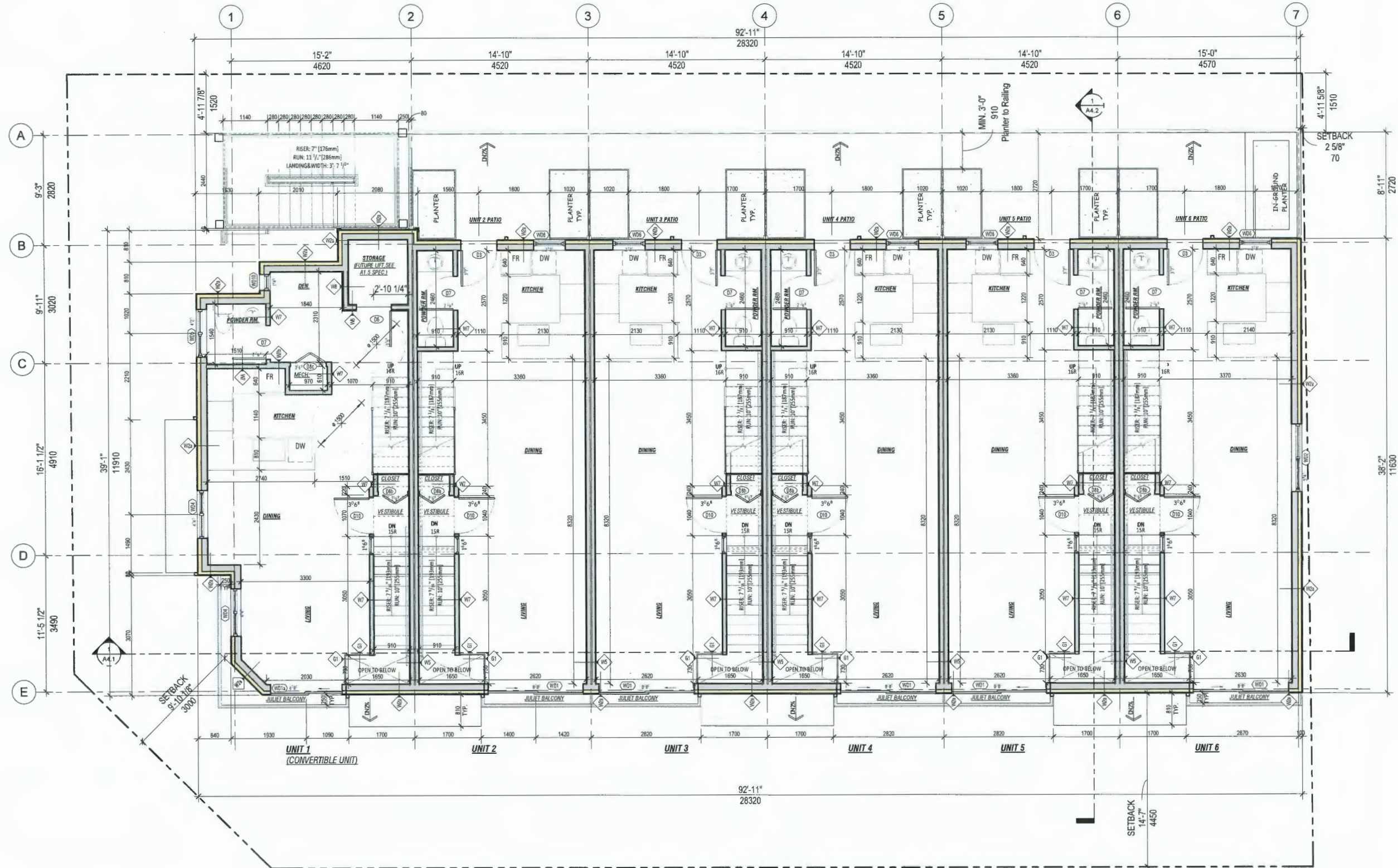
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SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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Sheet Title
THIRD FLOOR PLAN

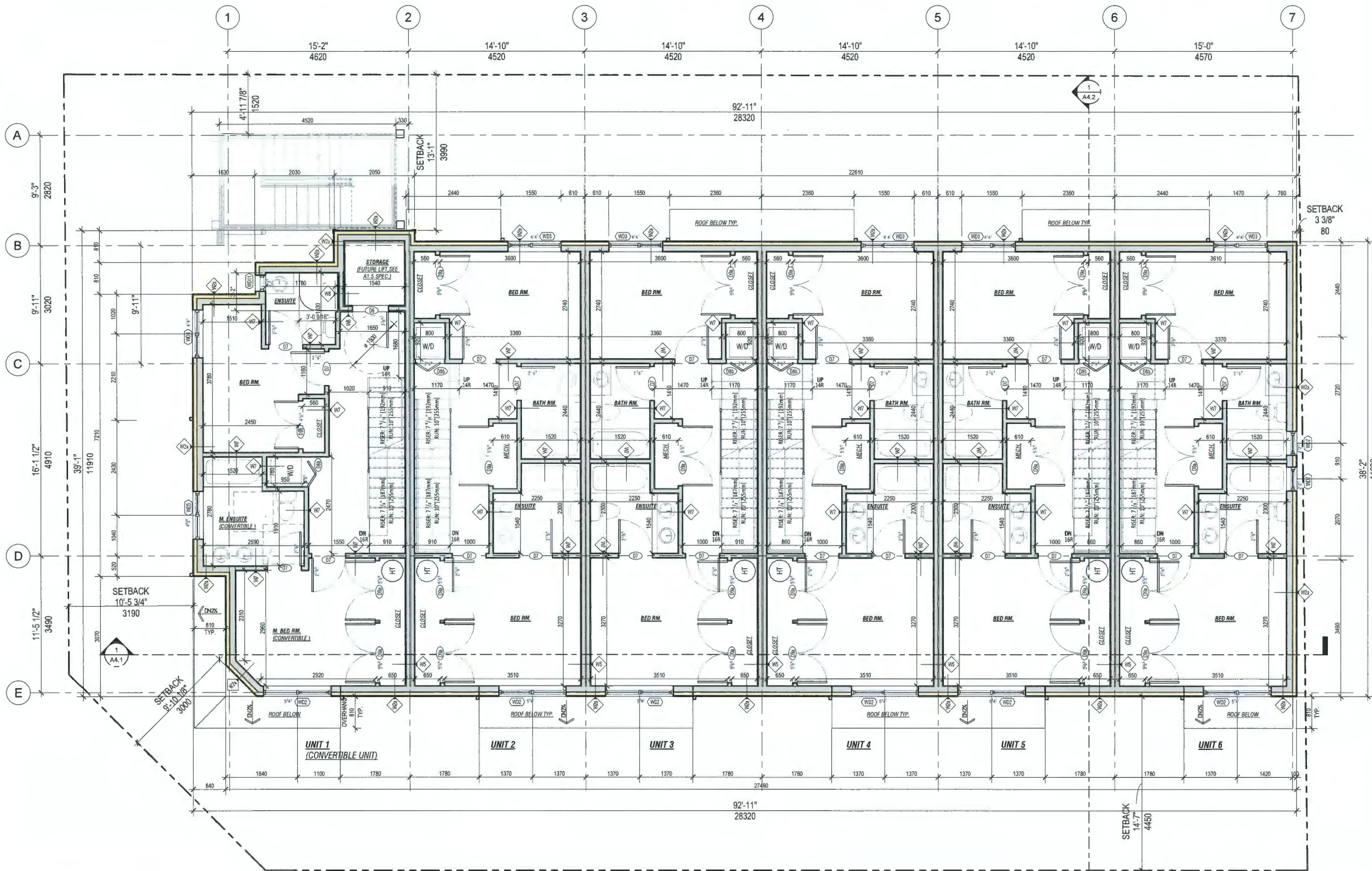
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Print date: **Apr 15, 2024**

Dwg. no. **A2.3**



THIRD FLOOR PLAN
 SCALE: 1/4" = 10"





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Sheet Title
**FOURTH FLOOR
 PLAN**

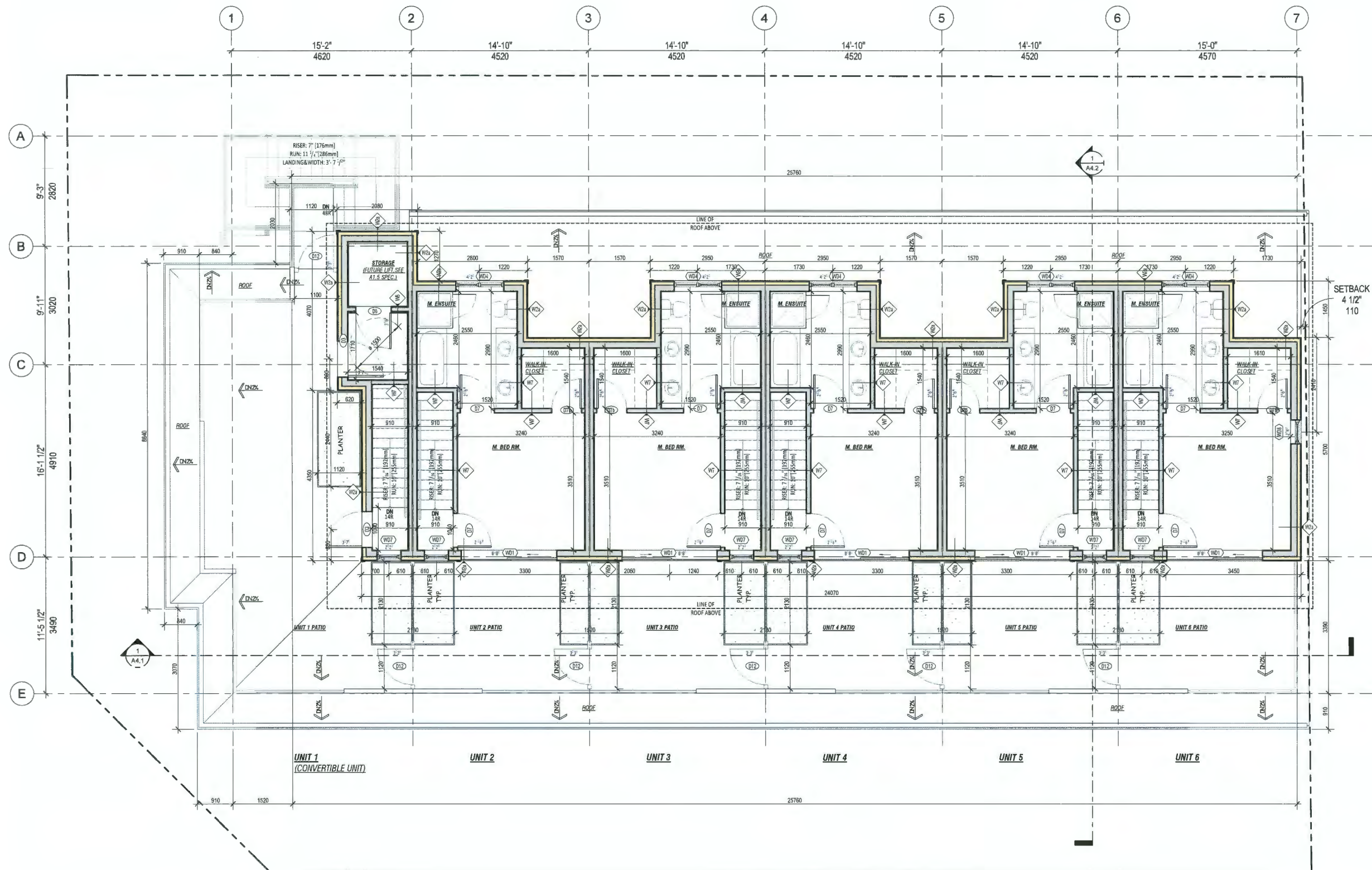
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Dwg. no. **A2.4**



FOURTH FLOOR PLAN

SCALE: 1/4" = 1'-0"





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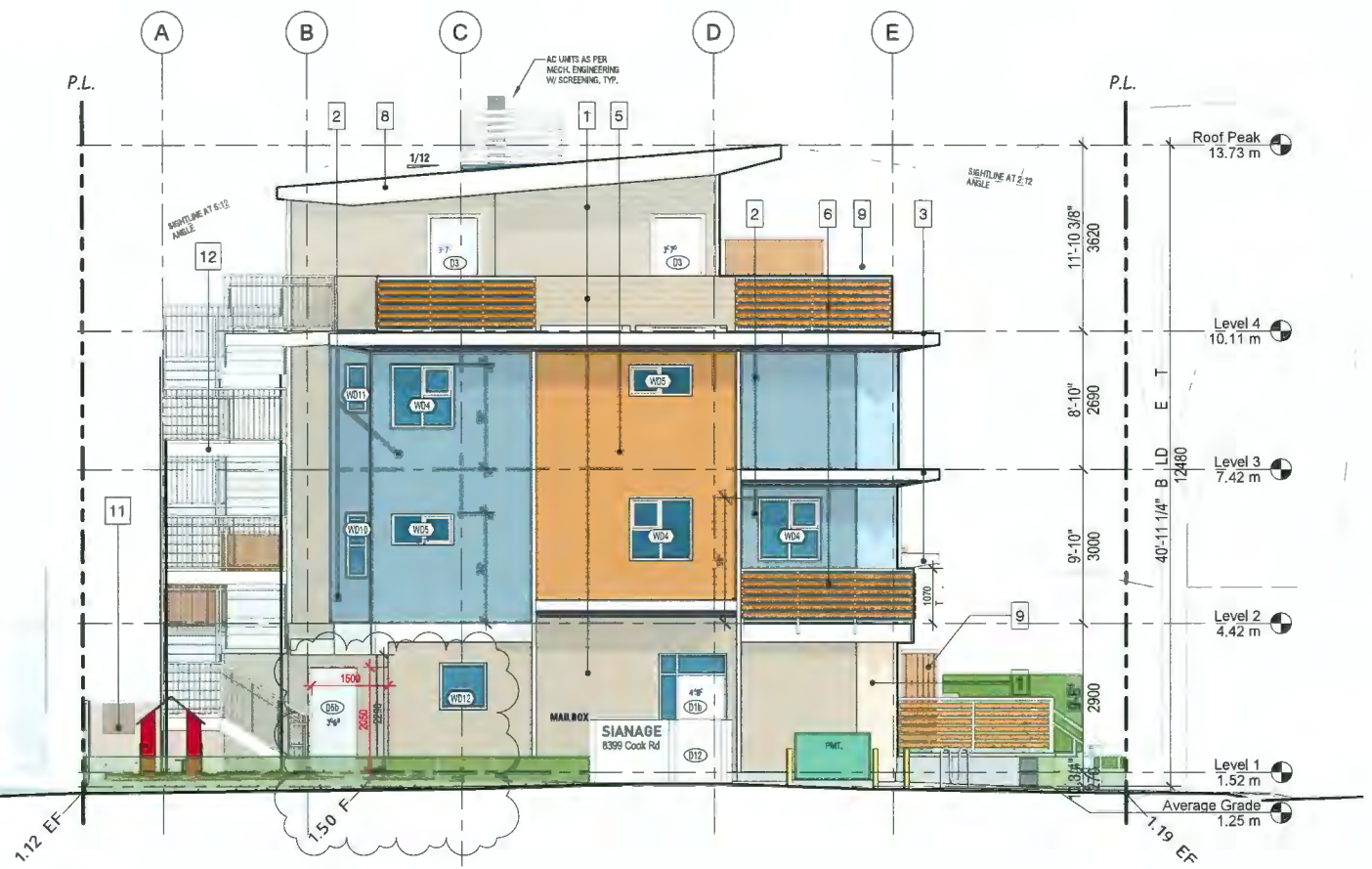
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Sheet Title
SOUTH & WEST ELEVATION

Drawn: **CL**
Checked: **KK**
Scale:
Print date: **Apr 23, 2024**
Dwg. no. **A3.1**



SOUTH ELEVATION (COOK RD)
SCALE: 3/16" = 1'0"



WEST ELEVATION (COONEY RD)
SCALE: 3/16" = 1'0"

MATERIALS LEGEND

- Horizontal HardiePlank Siding
COLOUR: Light Brown
- Slapdash Stucco Finish
COLOUR: Slate Gray
- Metal Flashing
COLOUR: Silver/light gray
- Slapdash Stucco Finish
COLOUR: Light Gray
- Horizontal Siding (Aluminum, Steel or Composite) (e.g. Longboard® Tongue & Groove)
COLOUR: Simulated Wood
- Alum/Glass Balcony Guards w/ Decorative Wood Slats (Painted) @ Outside of Glass
COLOUR: Medium Brown
- Concrete- Painted
COLOUR: Light Gray
- Wood Trim/Fascia/Downspout- painted
COLOUR: Ivory White
- Open Trellis Privacy Screen Between Units
COLOUR: Medium Brown
- Wood Painted Privacy Fencing to Neighbour
COLOUR: Medium Brown
- Exit Stairs
Steel Structure: Silver/light gray
Railing: Light Brown
Tread & Landing: Light Gray



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Sheet Title
**NORTH & EAST
 ELEVATION**

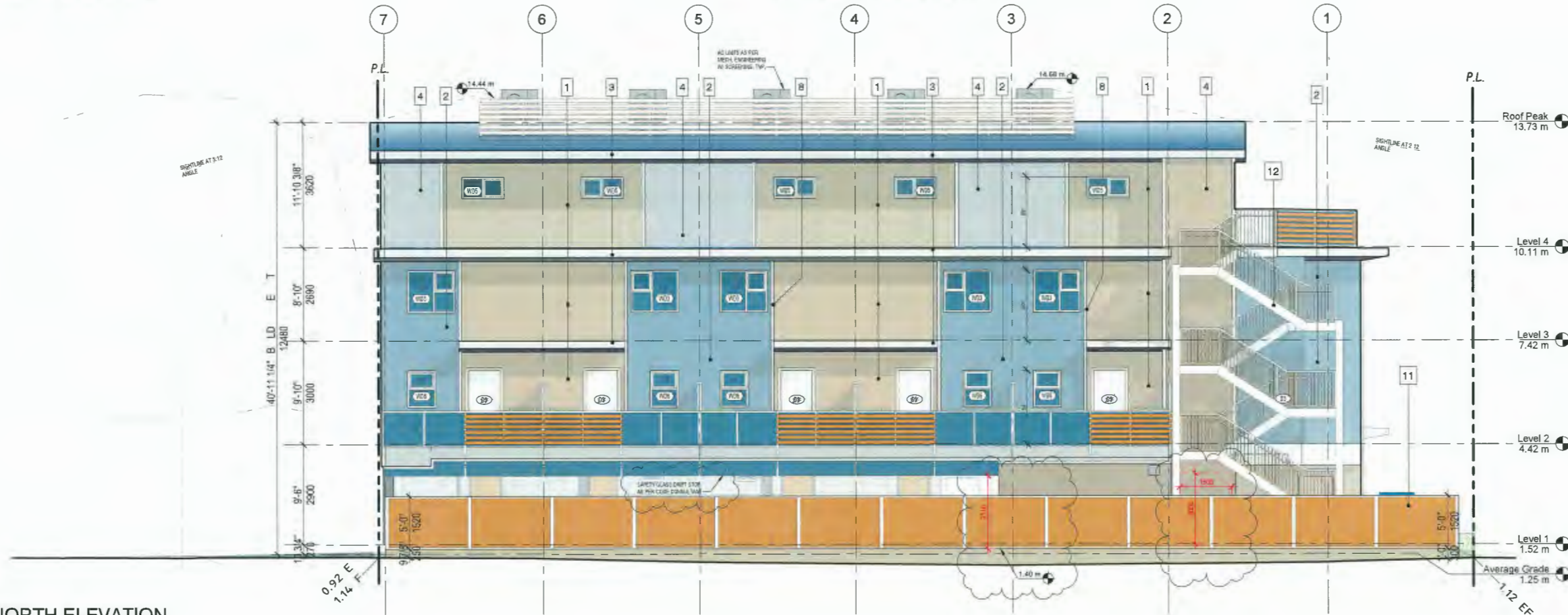
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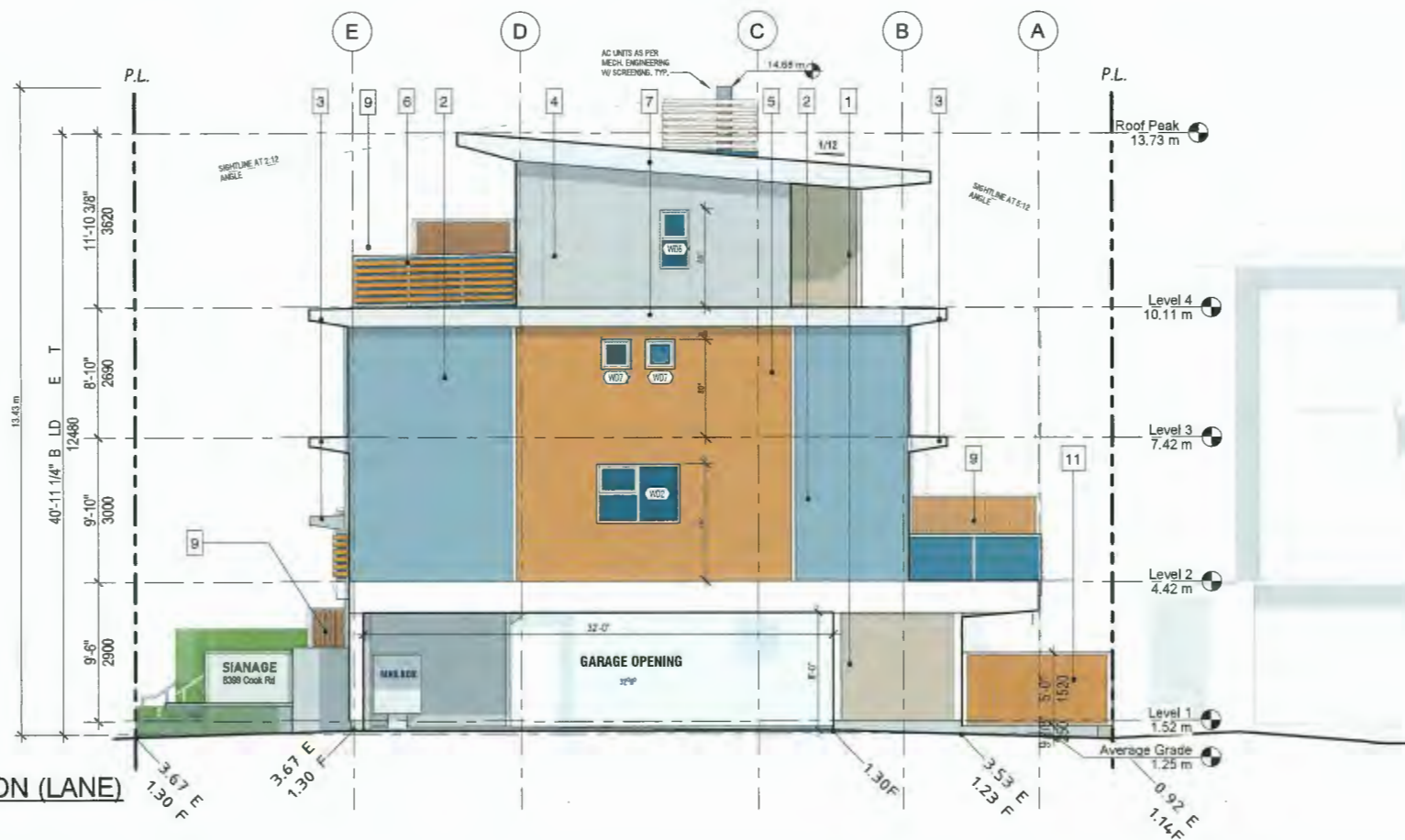
Print date: **Apr 23, 2024**

Dwg. no. **A3.2**



NORTH ELEVATION

SCALE: 3/16" = 1"



EAST ELEVATION (LANE)

SCALE: 3/16" = 1"

MATERIALS LEGEND

- 1 Horizontal HardiePlank Siding
COLOUR: Light Brown
- 2 Slapdash Stucco Finish
COLOUR: Slate Gray
- 3 Metal Flashing
COLOUR: Silver/light gray
- 4 Slapdash Stucco Finish
COLOUR: Light Gray
- 5 Horizontal Siding
(Aluminum, Steel or Composite)
(e.g. Longboard® Tongue & Groove)
COLOUR: Simulated Wood
- 6 Alum/Glass Balcony Guards
w/ Decorative Wood Slats (Painted) @
Outside of Glass
COLOUR: Medium Brown
- 7 Concrete- Painted
COLOUR: Light Gray
- 8 Wood Trim/Fascia/Downspout- painted
COLOUR: Ivory White
- 9 Open Trellis Privacy Screen
Between Units
COLOUR: Medium Brown
- 11 Wood Painted Privacy Fencing to
Neighbour
COLOUR: Medium Brown
- 12 Exit Stairs
Steel Structure: Silver/light gray
Railing: Light Brown
Tread & Landing: Light Gray



T: 778-379-8918 / F: 604-800-0775
 E: kenneth@kka.ca
 211-2223 West Broadway
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Project Title
**6-UNIT
 TOWNHOUSE**
 6500 Cooney Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
11	Apr 17 2024	DP Revision 2 Updates
11	Apr 10 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
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1	Jan 13 2020	Proposal w/ New Parking Layout

Sheet Title
**LONGITUDINAL
 SECTION 1**

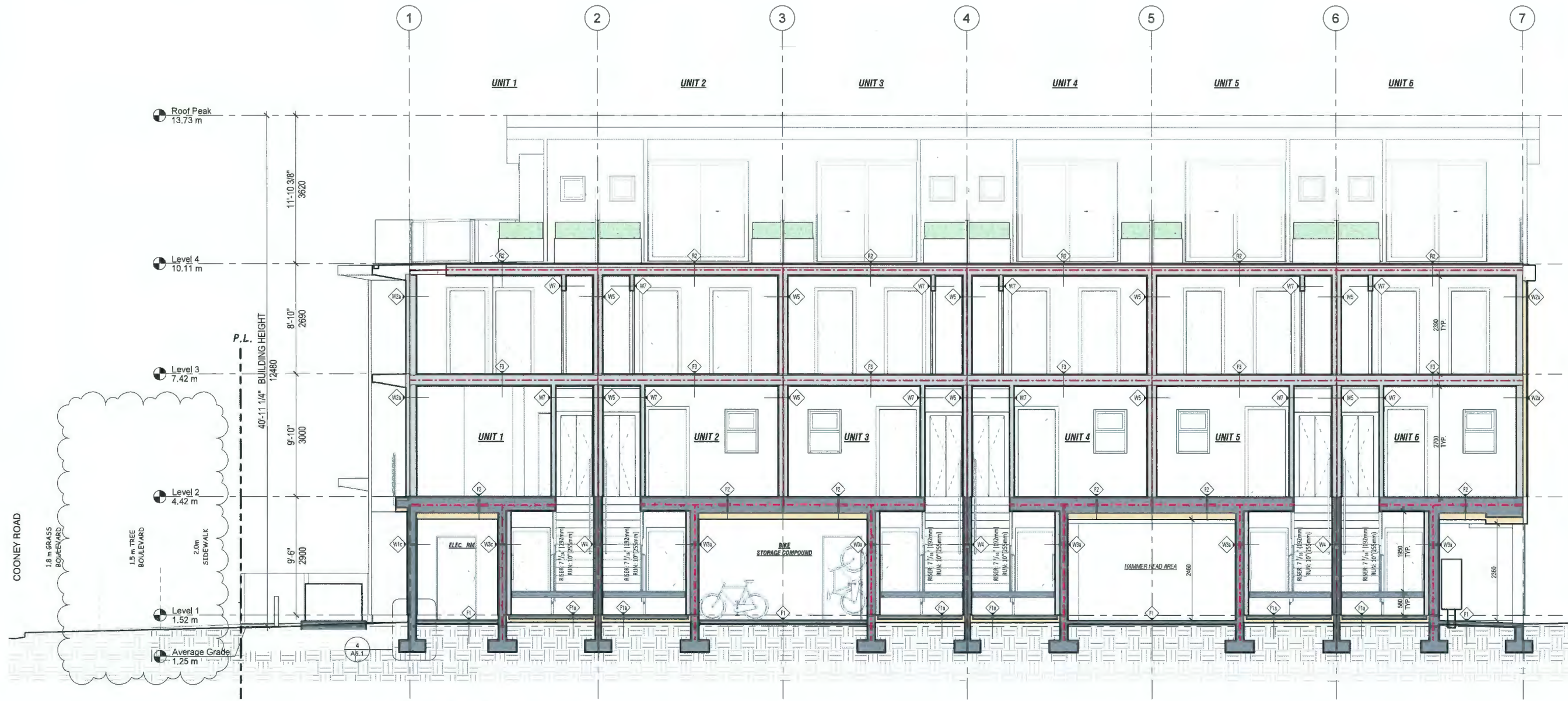
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Print date: **Apr 15, 2024**

Dwg. no. **A4.1**



LONGITUDINAL SECTION 1

SCALE: 1/4" = 1'0"

--- 1.5 Hr FRR Separation
 --- 1.0 Hr FRR Separation



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 t: 778-379-8918 / f: 604-800-0775
 e: kenneth@kka.ca
 211-2223 West Broadway
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Sheet Title
CROSS SECTION 1

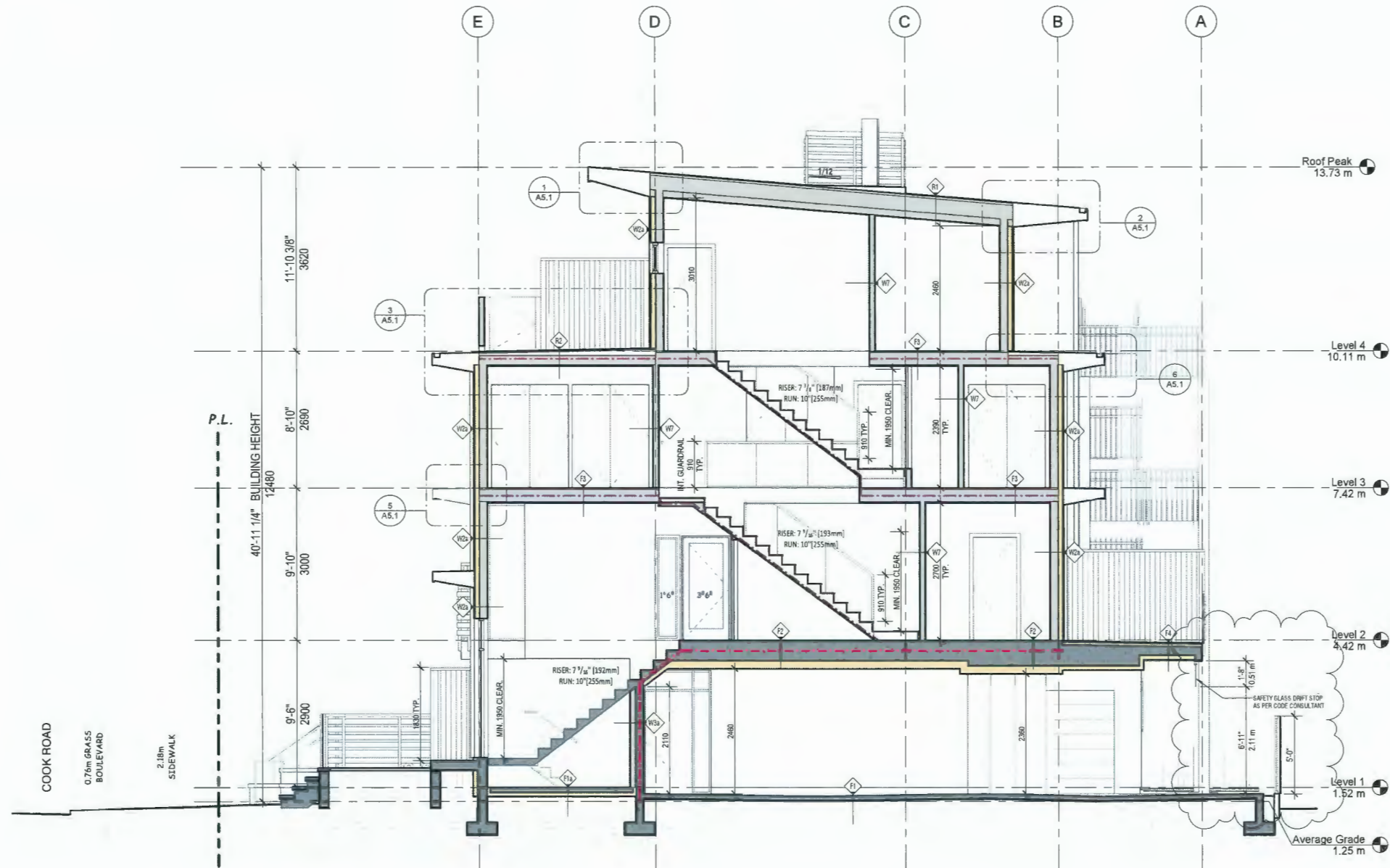
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Dwg. no. **A4.2**



CROSS SECTION 1

SCALE: 1/4" = 1'0"

--- 1.5 Hr FRR Separation
 --- 1.9 Hr FRR Separation



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Project Title
**6-UNIT
 TOWNHOUSE**
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ROOF PLAN

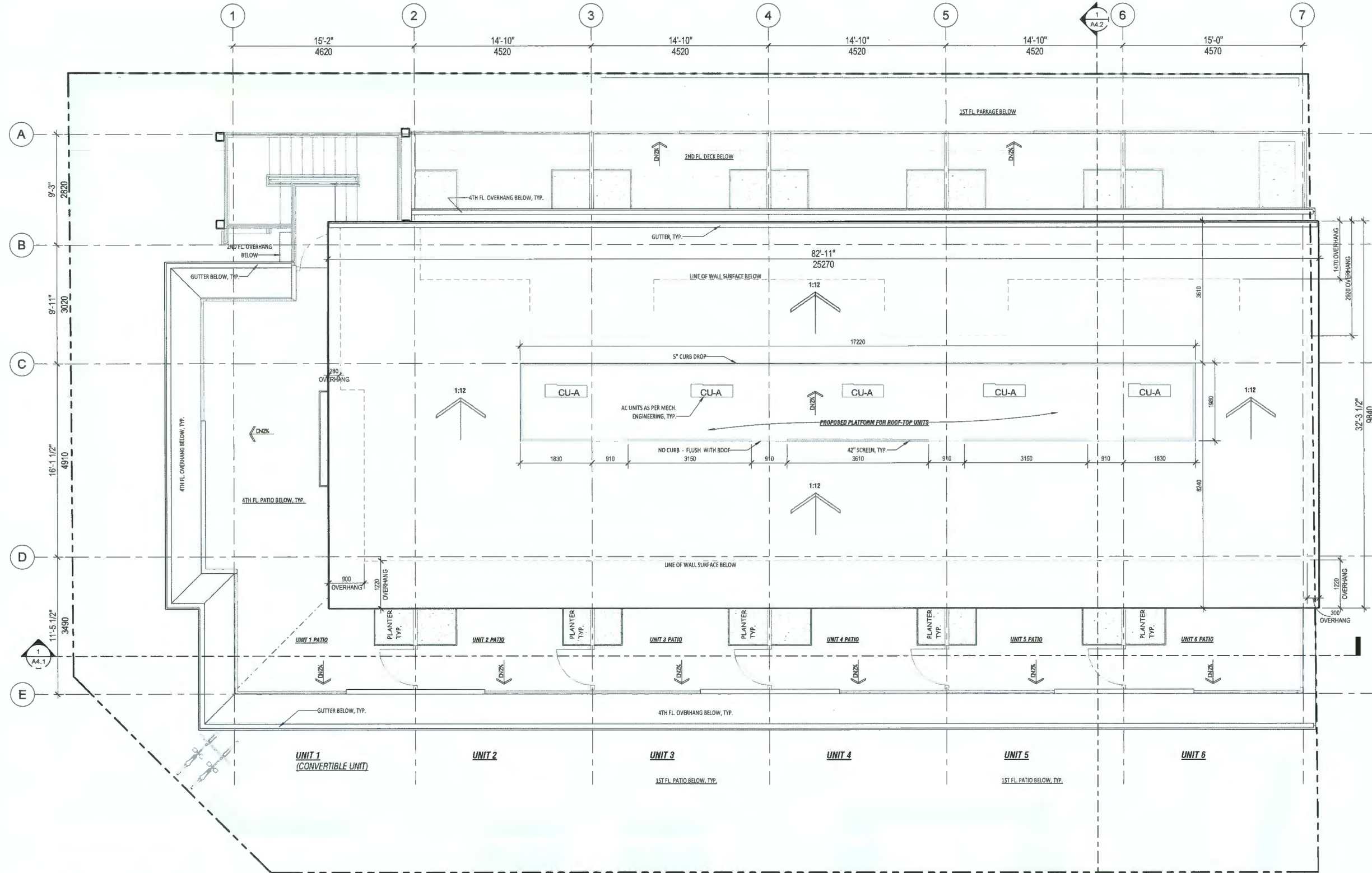
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Dwg. no. **A2.5**



ROOF PLAN ↑

SCALE: 1/4" = 1'-0"



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Project Title
6-UNIT TOWNHOUSE
6500 Conney Rd (Existing)
8399 Conney Rd (Proposed)
Richmond, BC

Sign & Seal

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Sheet Title
SITE GRADING PLAN & PROJECT FEATURES

Drawn: **CL**

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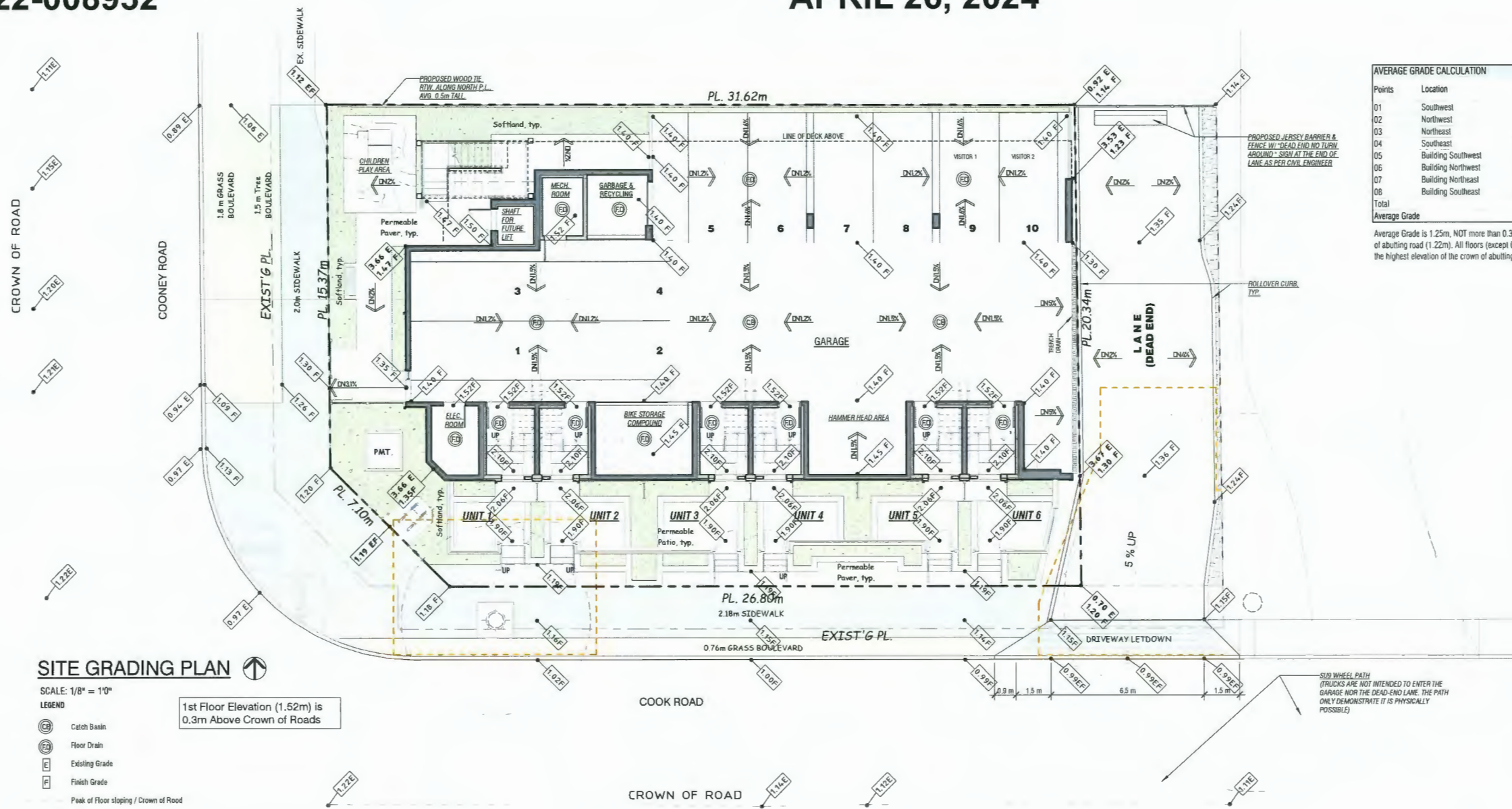
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Dwg. no. **A1.5**

AVERAGE GRADE CALCULATION

Points	Location	Existing Grade (m)	Proposed Grade (m)
01	Southwest	2.33 (T.O. Pre-loading)	1.19
02	Northwest	1.12	1.12
03	Northeast	0.92	1.14
04	Southeast	0.70	1.20
05	Building Southwest	3.66 (T.O. Pre-loading)	1.35
06	Building Northwest	3.66 (T.O. Pre-loading)	1.47
07	Building Northeast	1.53 (T.O. Pre-loading)	1.23
08	Building Southeast	3.67 (T.O. Pre-loading)	1.30
Total			10.00
Average Grade			1.250

Average Grade is 1.25m, NOT more than 0.3m above the highest elevation of the crown of abutting road (1.22m). All floors (except Garage & Garbage room) are Min 0.3m above the highest elevation of the crown of abutting road.



SITE GRADING PLAN

SCALE: 1/8" = 10'

LEGEND

- Catch Basin
- Floor Drain
- Existing Grade
- Finish Grade
- Peak of Floor sloping / Crown of Road
- Valley of Floor Sloping

1st Floor Elevation (1.52m) is 0.3m Above Crown of Roads

AGING-IN-PLACE FEATURES (ALL UNITS)

ALL ROOMS	STAIRS & LANDINGS	BATHROOMS	KITCHEN	HALLWAYS
LARGE TOGGLE-TYPE ELECTRICAL SWITCHES	WALL BLOCKING FOR FUTURE ADDITIONAL HANDRAIL INSTALLATION	WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION (AT BATHS, TOILET)	LEVER HANDLE TAPS AND FAUCETS	MIN 900 MM WIDTH
LEVER TYPE DOOR HANDLES	INTERMEDIATE STAIR LANDINGS WHENEVER POSSIBLE	LESS STEEP RISE/RUN DIMENSIONS WHERE POSSIBLE	7-10" DOORING WHERE POSSIBLE	MIN 1 ACCESSIBLE PARKING SPACE WITH MIN 4M GARAGE WIDTH
MINIMIZE THRESHOLD HEIGHTS (LESS THAN 12") WHERE POSSIBLE				ACCESS FROM GARAGE TO LIVING AREA MIN 800 MM CLEAR OPENING
MINIMIZE CONTRAST IN COLOURS OF FLOOR FINISHES WHERE POSSIBLE				

CONVERTIBLE UNIT FEATURES CHECKLIST

DOORS & DOORWAYS	HALLWAYS	GARAGE
ENTRY DOORS MIN 863 MM BUT IDEALLY 914MM AND HAVE CLEAR ACCESS	MIN 900 MM WIDTH	MIN 1 ACCESSIBLE PARKING SPACE WITH MIN 4M GARAGE WIDTH
ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN 1220 MM DEPTH BY DOOR WIDTH PLUS 880 MM LATCH SIDE (NOT NEEDED IF ROLL-IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER)		ACCESS FROM GARAGE TO LIVING AREA MIN 800 MM CLEAR OPENING
INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM - MIN 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX 13 MM HEIGHT		
DEMONSTRATE WHEELCHAIR ACCESS BETWEEN HALLWAY AND ROOMS		
WIDEN HALLWAY AND/OR DOORWAYS IF NECESSARY TO PROVIDE ACCESS		
PATIO/BALCONY MIN 860 MM CLEAR OPENING. NOTE HOW ACCESSED.		
ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BCBC		
LEVER-TYPE HANDLES FOR ALL DOORS		

VERTICAL CIRCULATION (FUTURE)	BATHROOMS (MIN 1/UNIT)
ELEVATOR LIFT: STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPEC	PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS
SPEC NOTE: GARAVENTA HOME ELEVATOR (STYLE 3 40"x54" CAB SIZE) MAX LOAD: 1,000 LBS. SOFT MAS. TRAVEL 8' MIN PIT - SEE WWW.GARAVENTA.COM (OR APPROVED EQUAL)	CABINETS UNDERNEATH SINK ARE EASILY REMOVED
VERTICAL LIFT: DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPEC	DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT)
AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2"x12" SOLID LUMBER AT 914 MM TO CENTRE.	
TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT	
WALL BLOCKING FOR FUTURE GRAB BARS AT TOILETS, TUBS, AND SHOWERS	
LEVER-TYPE HANDLES FOR PLUMBING FIXTURES	

OUTLETS & SWITCHES	KITCHEN	WINDOWS
PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS	CLEAR AREA NEEDED UNDER FUTURE WORKSPACE. PLUMBING AND GAS PIPES (IN WALL AND IN FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORKSPACE (STOVE, SINK & MIN 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.	MIN 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)
UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM	CABINETS UNDERNEATH SINK ARE EASILY REMOVED.	
	1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM	

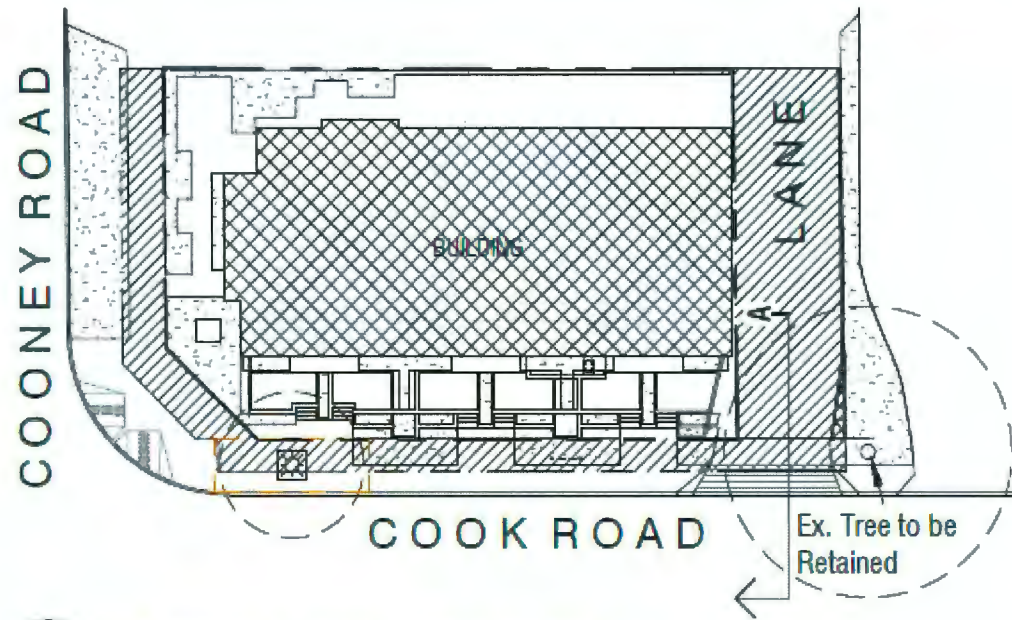
SUSTAINABILITY FEATURES (ALL UNITS)

LOW VEHICLE USE	BUILDING SITING	BUILDING ORIENTATION AND DESIGN	LOW ENERGY USE
LOCATED IN PEDESTRIAN-ORIENTED AREA (CITY CENTRE)	SOUTH ORIENTATION MAXIMIZES DAYLIGHT PENETRATION AND MINIMIZES WEST LOW SUN EXPOSURE	VERTICAL WINDOWS ALLOW NATURAL THROUGH-UNIT VENTILATION	STEP 3 WITH LOW CARBON ENERGY SYSTEM
ONLY 3 BLOCKS WALK FROM RICHMOND-BRIGHOUSE SKYTRAIN STATION	DEVELOPED ORPHANED LOT RESULTS IN HIGHER DENSITY & MORE EFFICIENT USE OF CITY INFRASTRUCTURE	LARGE PRIVATE ROOF DECKS ENCOURAGE OUTDOOR ACTIVITIES (I.E. LESS USE OF APPLIANCES & LIGHTING)	USE ENERGY STAR APPLIANCES IN ALL UNITS
ONLY 2 BLOCKS FROM RICHMOND CENTER MALL		VERTICAL LIFT PROVIDES ACCESSIBILITY TO ROOFTOP ACTIVITIES INCLUDING URBAN GARDENING (UNIT 1)	WILL CONSIDER LED LIGHTING THROUGHOUT (PENDING ELECTRICAL CONSULTANT REVIEW)
ONLY 2 BLOCKS FROM WILLIAM COOK ELEMENTARY SCHOOL		ROOFTOP DECK AREAS (WITH CONIC PAVERS) ADDS INSULATION VALUE AND SHOULD REDUCE ENERGY LOSS	
ONLY 3 BLOCKS FROM GARDEN CITY PARK & BRIGHOUSE PARK			

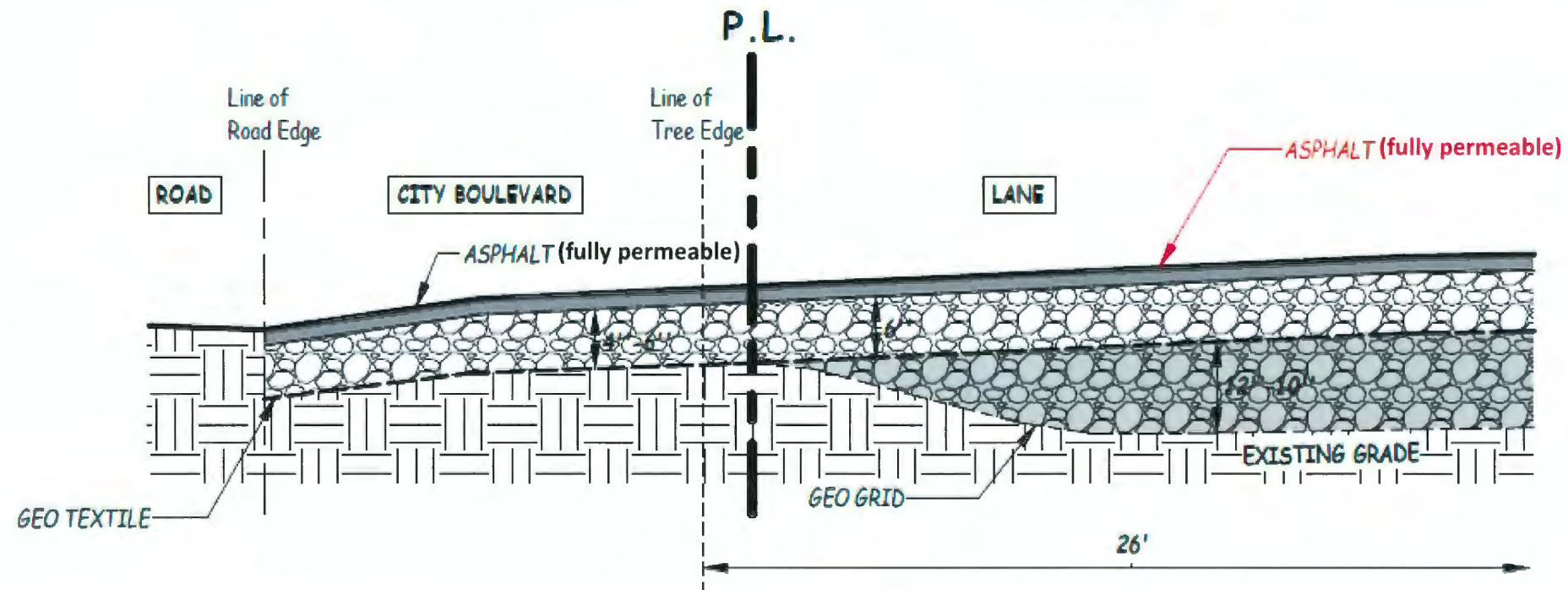
TREE RETENTION	MATERIALS	LANDSCAPING
IMPLEMENT ARBOURIST MEASURES TO RETAIN EXISTING 6.9M DIA. ELM TREE (OFFSITE SW CORNER)	LOW VOC EMITTING MATERIALS	USE LOW MAINTENANCE PLANTING MATERIAL TO REDUCE WATER CONSUMPTION
IMPLEMENT ARBOURIST SPECIAL MEASURES TO RETAIN EXISTING 1.19M DIA. ELM TREE (OFFSITE SE CORNER)	LOW FLOW TOILETS, SHOWERS AND LAVATORIES	USE IRRIGATION SYSTEM TO MAINTAIN HEALTH OF LANDSCAPING
	ALL EXTERIOR GLAZING TO HAVE LOW-E COATINGS	EXISTING AND NEW TREES ALONG SOUTH PROPERTY LINE PROVIDE SEASONAL SOLAR SHADING

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

ENTRY DOORS	COMMON AREAS	PARKING & LAKE
FRONT ENTRIES DIRECTLY ACCESSED FROM PUBLIC STREET, WITH VIEWS FROM LARGE LIVING ROOM WINDOWS	LANDSCAPING DESIGNED TO ELIMINATE HIDEOUT PLACES BUT PROVIDE LINES OF SIGHT WHERE APPROPRIATE	PARKADE PROVIDED LARGE OPENINGS FOR VISUAL/AURAL SURVEILLANCE OPPORTUNITIES
FRONT YARD PRIVATE SPACES ON RAISED PATIOS, FENCED AND GATED TO SEPARATE FROM PUBLIC REALM	COMMON OUTDOOR AMENITY AREAS, FENCED & GATED, ARE OVERLOOKED BY WINDOWS AT 2ND & 3RD FLOORS	PARKADE INTERIOR PAINTED LIGHT GRAY OR WHITE TO INCREASE VISIBILITY
USE OF FRONT YARD PATIOS HELP STREET MONITOR PUBLIC STREETFRONT AREAS		PARKADE MAIN DOORS TO HAVE GLAZED PANELS FOR TWO-WAY VISIBILITY
ALL EXTERIOR UNIT DOORS TO HAVE DOOR VIEWERS & AREA LIGHTING		BIKE STORAGE ROOMS IN PARKADE TO BE OPEN METAL SCREENGRILLE (NOTHING HIDDEN)
2ND FLOOR REAR EXTERIOR PRIVATE SPACES TO BE GATED		GARAGE & RECYCLING ROOMS IN PARKADE TO HAVE OPEN METAL SCREENGRILLE (NOTHING HIDDEN)
		PARKADE AND LAKE LIGHTING TO BE AUTOMATICALLY ACTIVATED BY LIGHT LEVEL SENSOR



KEY SITE PLAN



SECTION A

Existing Elm Tree Retention Strategy as Recommended by Davey Resource Group (Steve Whitton) & City of Richmond (Michael Griffith)



Kenneth
Kim
Architecture
Inc

t: 778-579-6918
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e: kenneth@kkai.ca
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6-UNIT
TOWNHOUSE
6500 Conney
Road Richmond,
BC

TREE
RETENTION
STRATEGY

Drawn: CL

Checked: KK

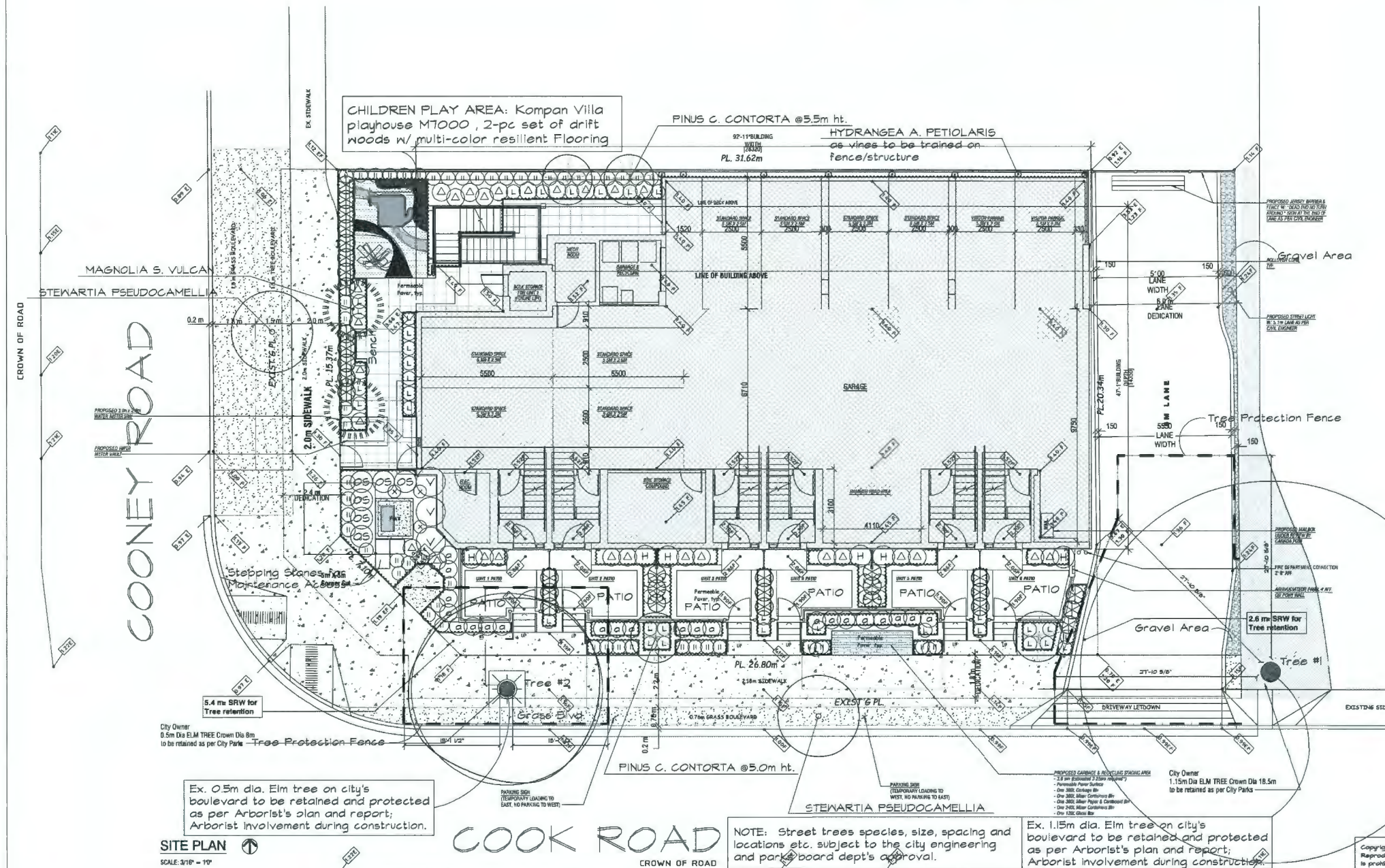
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A-4.1

PLANT LIST				Project No. 220102.KIM Updated @2024-04-18
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTED SIZE
⊙	2	MAGNOLIA S. VULCAN	Vulcan Sav. Magnolia	B4B 9cm cal., 1.75m std.
⊕	4	PINUS CONTORTA CONTORTA	Shore Pine	B4B 5.5m+ ht. B4B 5.0m+ ht.
⊙	2	STEWARTIA PSEUDOCAMELLIA	Japanese Stewartia	B4B 9cm cal., 1.75m std.
A	20	ABELIA EDWARD COUCHER	Dwarf Abelia	#2 pot 40cm ht.
H	6	HYDRANGEA SERRATA BLUE BIRD	Blue Bird Hydrangea	#5 pot 50cm ht.
L	44	LAVANDULA SPICA MUNSTEAD	English Lavender	#1 pot heavy
O	6	OSMAREA BURKWOODII	Burkwood Osmaria	#3 pot 60cm ht.
	55	LEUCOTHOE AXEL	Cherry Laurel	#2 pot 30cm ht.
△	20	RHODODENDRON DWARF (Hyb. TBD)	Dwarf Rhododendron	#2 pot 35cm ht.
▽	6	ROSA MEIDI BONICA/RED SEVILLENIA	Meldiland Rose	#2 pot 35cm ht.
⊕	31	TAXUS MEDIA HICKSII	Hick's Yew	B4B 1.5m+ ht.
⊙	3	VIBURNUM BURKWOODII	Burkwood Viburnum	#3 pot 60cm ht., bushy
⊙	8	HYDRANGEA A. PETIOLARIS	Climbing Hydrangea	#3 pot Stkd., Heavy

NOTE: 1. All plant materials shall meet or exceed BCSLA/BCSNA Standard.
 2. All grass areas shall be sodded unless otherwise indicated.
 3. "Hyb. TBD" denotes hybrids to be determined at the nursery during plant material inspection.
 4. For all other requirements, see Landscape Specifications & Details on 0.5"x11" sheets.
 (Spec. 1s to be included for tendering & construction use)



NOTE: Play structure with Multi-color resilient flooring for 2 to 5 age group; Play capacity:6



Ex. 0.5m dia. Elm tree on city's boulevard to be retained and protected as per Arborist's plan and report; Arborist involvement during construction.

NOTE: Street trees species, size, spacing and locations etc. subject to the city engineering and parks board dept's approval.

Ex. 1.15m dia. Elm tree on city's boulevard to be retained and protected as per Arborist's plan and report; Arborist involvement during construction.



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Kenneth Kim Architecture Inc.
 211-2223 West Broadway
 Vancouver, B.C. V6K 2E4
 Tel: (778) 378-8918
 Fax: (604) 802-0775
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PROJECT:
 Proposed 6-UNIT Residential Devt.
 8399 Cook Rd (Ex. 6500 Cooney Rd)
 Richmond, BC

DEVELOPER:

CONSULTANTS:
 FRED LIU & ASSOCIATES
 Landscape Consultant

REVISION No.	Date	Revision

DRAWING: File:
 LANDSCAPE SITE / PLANTING PLAN

DRAWN BY: M.S.

CHECKED BY: F.L.

SCALE: 1/8" = 1'-0"

PRINT DATE: January 2022

PROJECT NO. 220102.KIM SHEET NO. L1 of 1
 ISSUE DATE: 2024-04-18

No.	Date	REVISIONS
#5	April 8, 2024	Minor revision as per arch revised site plan; site dim changes, boulevard layout, plant list.
#4	Apr. 4, 2024	Minor revision as per arch new site plan; general updating incl. playground area, Plant List.
#3	June 7, 2023	Revised as per arch new site plan with overall adjustments; updated Plant List.
#2	Jul 25, 2022	Adjusted tree protection fences as per current arborist's report.
#1	May 5, 2022	Upgrading to full planting plan with plant list as per architect's instruction for cost estimate.

FRED LIU & ASSOCIATES, INC.
 Landscape Consultant
 Vancouver BC - V5P 2L3
 Email: landarch3000@gmail.com TEL: (604) 327-7541



L: 778-379-8918 / F: 604-800-0775
 e: kenneth@kkai.ca
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Sheet Title
TREE MANAGEMENT PLAN

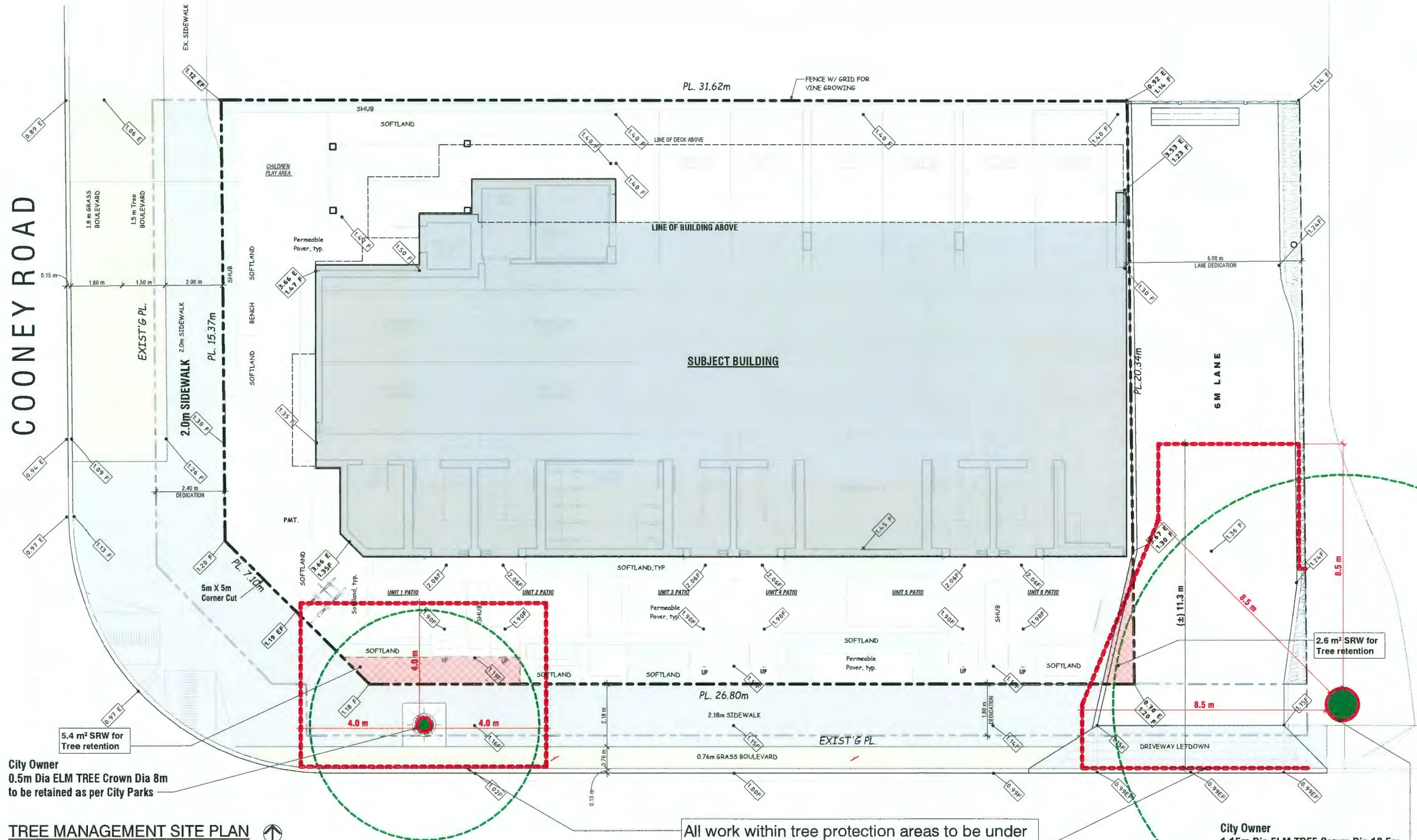
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Scale:

Print date: **Apr 15, 2024**

Dwg. no. **A1.3**



City Owner
 0.5m Dia ELM TREE Crown Dia 8m
 to be retained as per City Parks

TREE MANAGEMENT SITE PLAN

SCALE: 3/16" = 1'0"

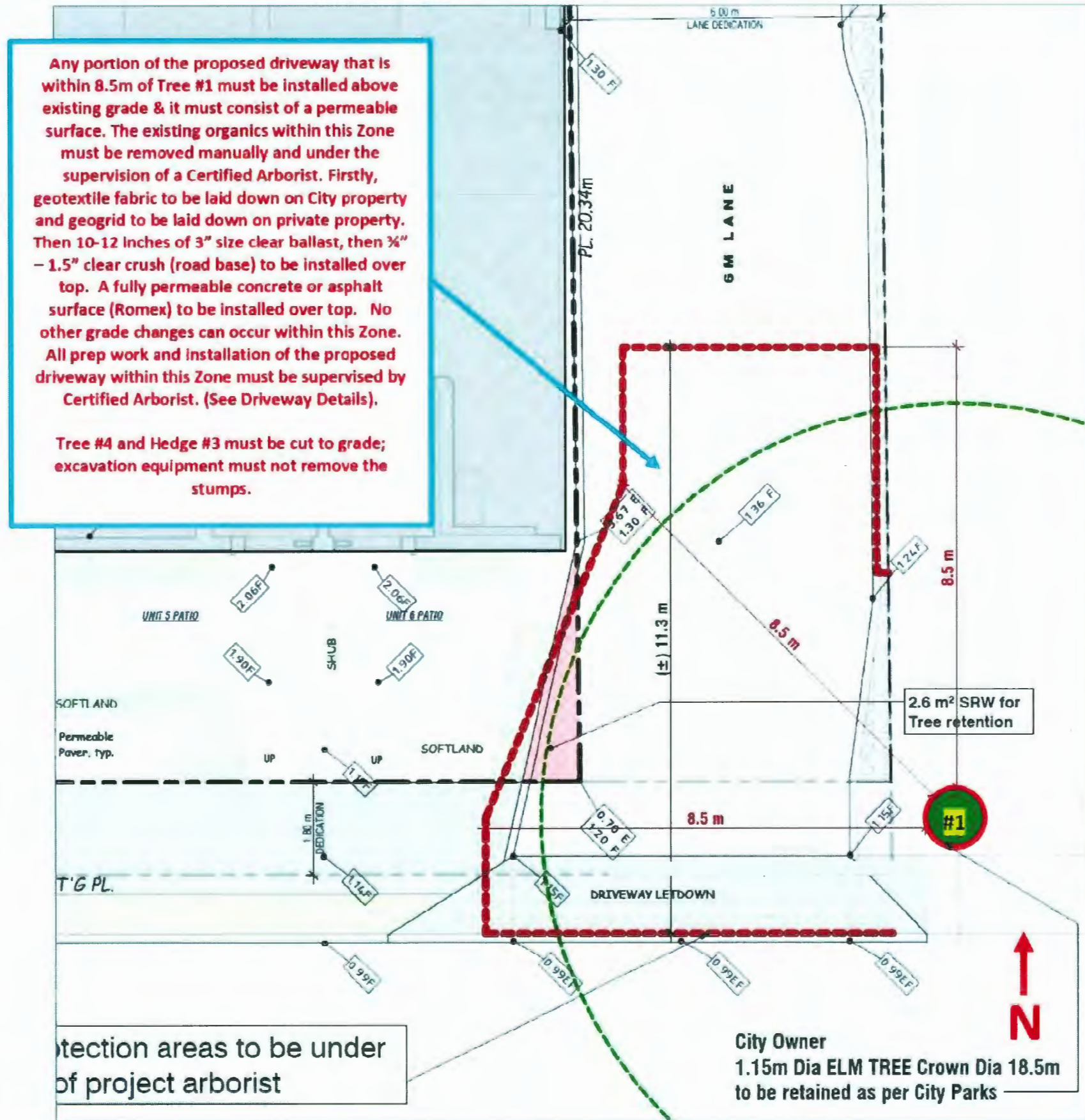
NOTES:
 - All off-site works to be designed and constructed via separate required Servicing Agreement

PROJECT ARBORIST
 Davey Resource Group
 Kerin Matthews
 604-499-6568
 Kerin.Matthews@davey.com

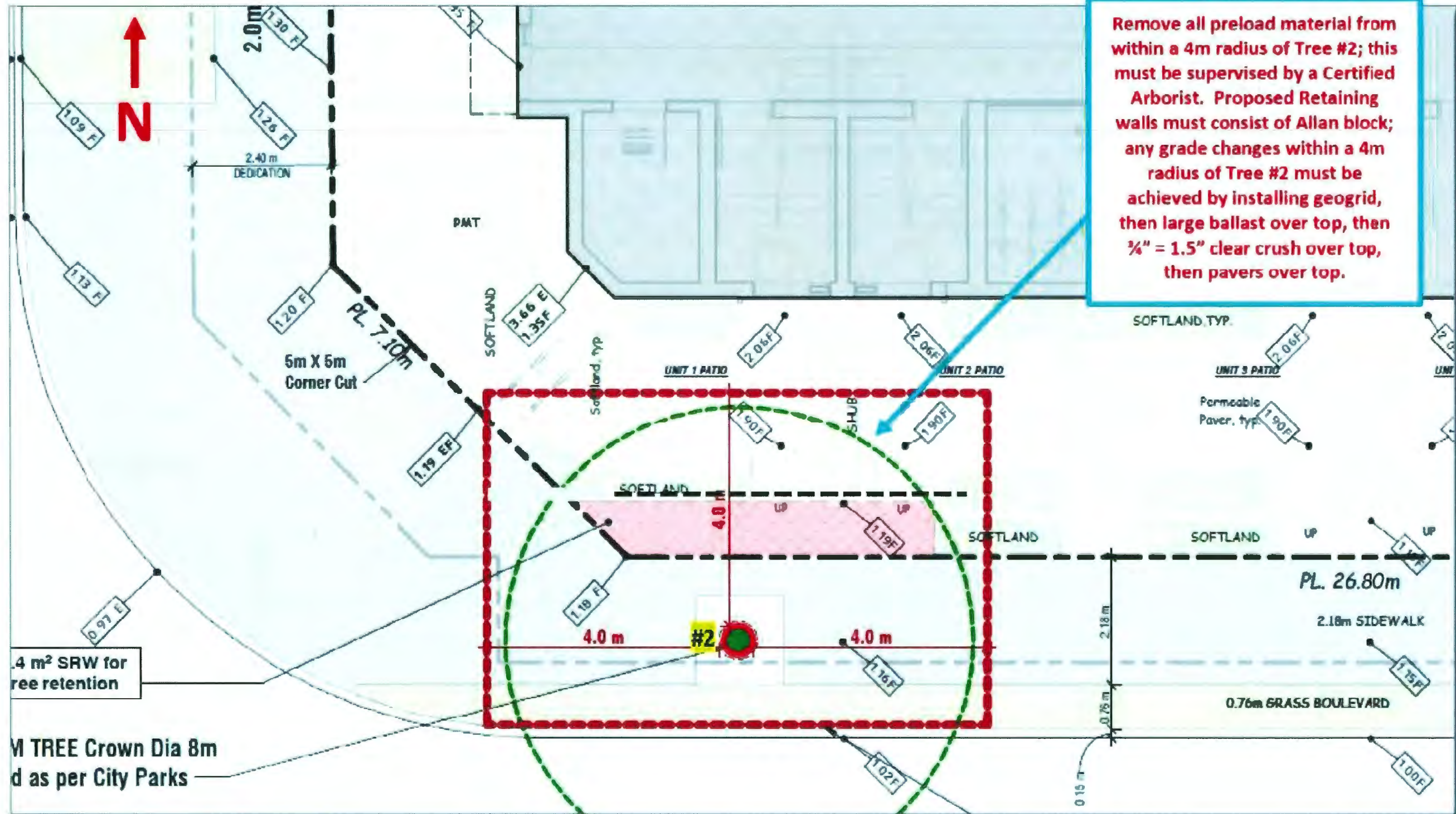
All work within tree protection areas to be under the direct supervision of project arborist

City Owner
 1.15m Dia ELM TREE Crown Dia 18.5m
 to be retained as per City Parks

COOK ROAD



Tree #1 Management Plan – Scale 3/32" = 1'



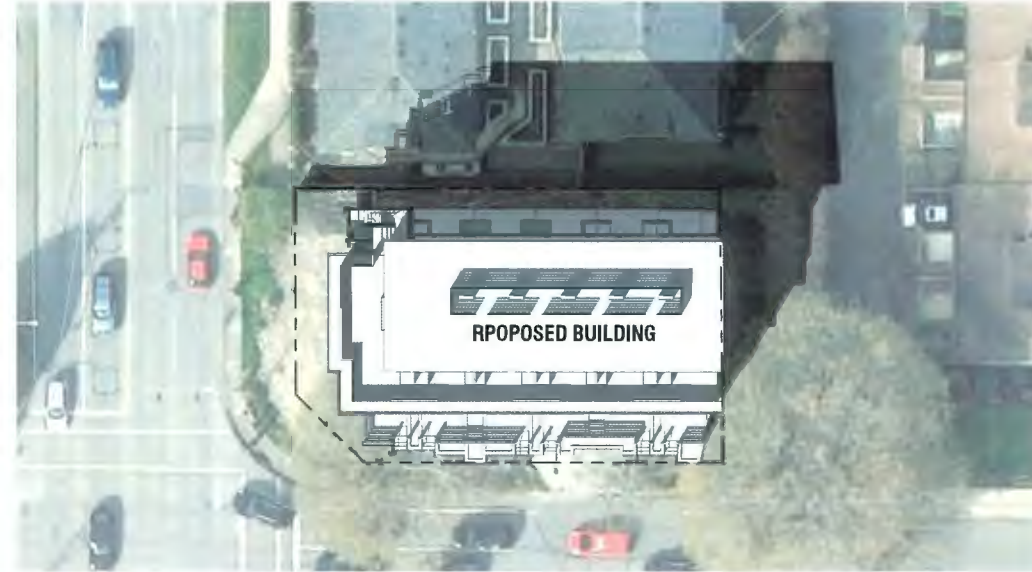
Remove all preload material from within a 4m radius of Tree #2; this must be supervised by a Certified Arborist. Proposed Retaining walls must consist of Allan block; any grade changes within a 4m radius of Tree #2 must be achieved by installing geogrid, then large ballast over top, then 3/4" = 1.5" clear crush over top, then pavers over top.

1.4 m² SRW for tree retention
M TREE Crown Dia 8m
d as per City Parks

Tree #2 Management Plan, Scale 3/32" = 1'



SPRING/FALL EQUINOX 10AM



SPRING/FALL EQUINOX 2PM



SUMMER SOLSTICE 10AM



SUMMER SOLSTICE 2PM

SHADOW ANALYSIS 
SCALE= 1:300



**Kenneth
Kim
Architecture
Inc**

t: 778-379-8918 / f: 604-800-0775
e: kenneth@kkai.ca
211-2223 West Broadway
Vancouver, B.C. V6K 2E4

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Project Title
**6-UNIT
TOWNHOUSE**
6500 Conney Rd (Existing)
8399 Cooney Rd (Proposed)
Richmond, BC

Sign & Seal

No.	Date	Revision
11	Apr 10 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Arborist update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Rezoning application (Traffic Revision)
2	May 13 2021	Rezoning application (Revised)
1	Jan 13 2020	Proposal w/ New Parking Layout

Sheet Title
SHADOW ANALYSIS

Drawn: **CL**

Checked: **KK**

Scale:

Print date: **Apr 10, 2024**

Dwg. no. **A1.4**



Aerial view of the Project

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View from Lane at Cook Road

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View of Children Play Area

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View from the North side of Project

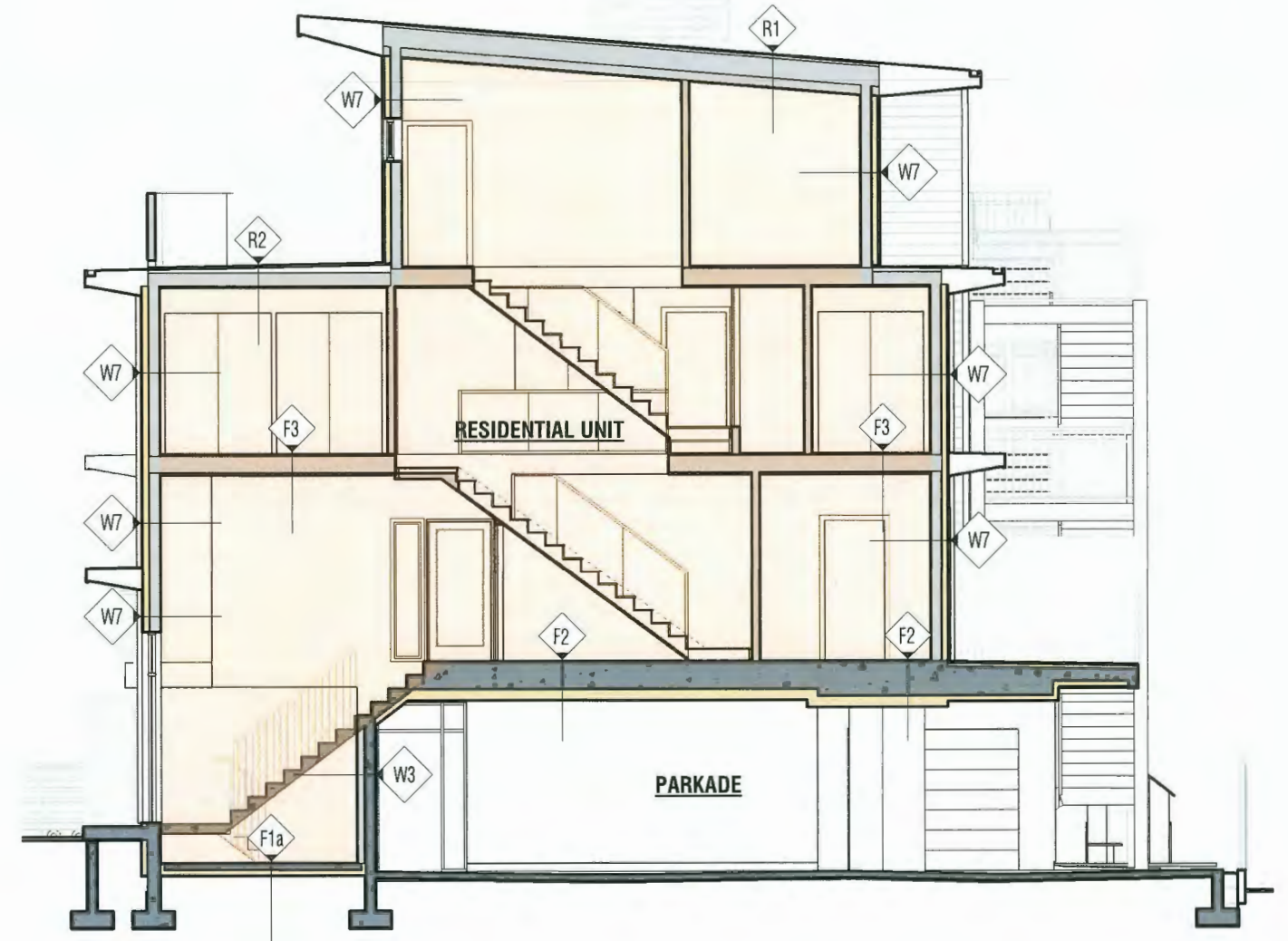
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ENERGY EFFICIENT MEASURES SUMMARY (AS PER BULLETIN BUILDING-40)	
Building Type	Part 3, 4 Storeys Residential Townhouse
Building Area	Approx. 756 sm [8142 sf]
Required Energy Step Code	Step 3
Proposed Energy Step Code	Step 3 with Low Carbon Energy System
Primary Heating System	High-efficiency Heat Pump

Table 1 Thermal Resistance of Building Envelope Assemblies

Opaque Assembly	Architectural Reference	Nominal R_ Value ²
Flat roofs	R1 - Main roof	R45 R45 batt insulation in cavity
	R2 - Roof deck above living space	R32 R32 batt insulation in cavity
Roof Decks	F1a – Typical ground floor slab	R15 ci 3" rigid insulation
	F2 - Suspended slab floor.	R14 ci R14 Monofoam spray insulation or rigid insulation
Exterior Walls	W3 – Concrete fur-out wall	R14 3.5"(R14) batt insulation in cavity
	W7 – Typical exterior wall	R10 ci + R22 2" R10 rigid insulation + 5.5"(R22) batt insulation in cavity

Note: Table 1 is quoted from Certified Energy Adviser's *Thermal Bridging Calculation Report* (JRG Building Engineering). The R-value above will be optimized to meet Step 3 during BP stage.



TYPICAL CROSS SECTION

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		6-UNIT TOWNHOUSE		1	Jul 15 2022	ENERGY MEASURES SUMMARY	ENERGY EFFICIENT MEASURES SUMMARY	-	1/8" = 1'-0"	
		6500 Conney Rd (Existing) 8399 Cooney Rd (Proposed) Richmond, BC						Drawn: CL	Dwg. no.	A7.1
								Checked: KK		
								Print date:	Jun 22, 2022	