



To: Development Permit Panel

Date: December 18, 2023

From: Wayne Craig
Director, Development

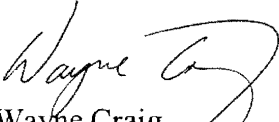
File: DP 21-943418

Re: **Application by Karla Castellanos Architect for a Development Permit at
13888 Wireless Way**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a three-storey light industrial and ancillary office building on a new lot created through subdivision of the west portion (proposed Lot 1) of the subject site at 13888 Wireless Way, on a site zoned "Industrial Business Park (ZI3) – Crestwood Area (East Cambie)"; and,
2. To vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the required number of parking spaces from 2.8 spaces to 0.75 spaces for each 100 m² of gross leasable floor area of building on Lot 1;
 - b) Reduce the minimum required number of large-sized on-site designated loading spaces on Lot 1 from 1 space to 0 spaces; and,
 - c) Reduce the minimum percentage of standard parking spaces on Lot 2 from 50 per cent to 30 per cent.


Wayne Craig
Director, Development
(604-247-4625)

WC:cl
Att. 4

Staff Report

Origin

Karla Castellanos Architect has applied to the City of Richmond (on behalf of Alan Yong, S-506 Holdings Ltd.) for permission to develop a three-storey light industrial and ancillary office building of approximately 3,748 m² (40,353 ft²) containing 11 strata-titled units on a new lot (Lot 1) created through subdivision on the west portion of the subject site at 13888 Wireless Way, zoned “Industrial Business Park (ZI3) – Crestwood Area (East Cambie)”. The existing office building is to remain on a new lot on the east portion of the subject site (Lot 2). This proposal aligns with the City’s objectives of intensifying existing industrial lands. A location map of the subject site is provided in Attachment 1. A survey of the subject site showing the proposed subdivision plan is provided in Attachment 2.

This proposal also involves landscaped restoration within the existing Riparian Management Area (RMA) along the south side of the existing site, as well as improvements to pedestrian circulation and landscaping within the surface parking area on Lot 2.

Concurrent with this DP application, there is an application to subdivide the subject site into two lots under the existing ZI3 zone, which must be approved prior to DP issuance (SD 22-025862).

A Servicing Agreement (SA) to design and construct the following improvements is required prior to Building Permit issuance, including (but not limited to):

- Upgrading the existing watermain along the Sparwood Place frontage to meet the minimum required fire flow and fulfill the distance requirement between hydrant and the proposed building.
- Upgrading approximately 85 m (278 ft.) of the storm sewer along the Wireless Way frontage.
- The water, storm and sanitary service connections.

Development Information

Please refer to attached Development Application Data Sheet for a comparison of the proposed development data with the relevant Bylaw requirements (Attachment 3).

Existing Site and Surrounding Context

The subject site is located on the south side of Wireless Way between No. 6 Road and Knight Street.

The site is approximately 20,090 m² (216,246 ft²) in area and currently contains an existing office building as well as a large surface parking area, with vehicle access from both Wireless Way and Sparwood Place. The subject site is proposed to be subdivided into two new lots of approximately 3,861 m² (41,548 ft²) in area (Lot 1) and 16,227 m² (174,698 ft²) in area (Lot 2).

Existing development immediately surrounding the subject site is as follows:

- To the North: Immediately across Wireless Way: light industrial and office buildings on lots zoned “Industrial Business Park (IB1)” and “Industrial Business Park (ZI3) – Crestwood Area (East Cambie)” at 13351 and 13353 Commerce Parkway and 13811 and 13911 Wireless Way, respectively.
- To the East: Fronting No. 6 Road: Light industrial and office buildings on lots zoned “Industrial Business Park (IB1)” at 13931 Sparwood Place and 5871 No. 6 Road; Richmond Fire-Rescue’s No. 7 Firehall on a lot zoned “School & Institutional Use (SI)” at 5731 No. 6 Road; and a surface parking lot on a lot zoned “Industrial Business Park (ZI3) – Crestwood Area (East Cambie)” at 5611 No. 6 Road.
- To the South: Single-family dwellings and agricultural uses on lots zoned “Agriculture (AG1)” on the south side of Westminster Highway at 13560 to 13720 Westminster Highway.
- To the West: Light industrial and office buildings on a lot zoned “Industrial Business Park (IB1)” at 13880 Wireless Way.

Public input during the DP Application Review Process

Staff has not received any comments from the public in response to the placement of the DP Application Notification Sign on the subject site.

Staff Comments

The proposed scheme attached to this report (Plans #1 to #4.C and Reference Plans) has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject DP application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the ZI3 zone, with the exception of the zoning variances noted below.

Zoning Compliance/Variiances (staff comments in *bold italics*)

The Applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the required number of parking spaces from 2.8 spaces to 0.75 spaces for each 100.0 m² of gross leasable floor area of building on Lot 1.

The site-specific parking rate of 2.8 spaces per 100.0 m² of gross leasable floor area of building was established with the rezoning of the site to the ZI3 zone in 2004. In 2021, the City’s Zoning Bylaw was amended to include reduced parking requirements for industrial uses of 0.75 spaces per 100 m² of gross leasable floor area. The requested variance to provide 0.75 spaces for each 100.0 m² of gross leasable floor area of building on Lot 1 reflects the intended use of Lot 1 and is consistent with current standard parking requirements for the “Industrial, general” use that specified in the current Zoning Bylaw.

The Applicant has proposed Transportation Demand Management (TDM) measures to support the requested variance, including an employee shuttle service between the subject site and the Bridgeport Canada Line station during peak hours, and a subsidized monthly transit pass program to Lot 1 employees, which will run for three years.

The variance request and proposed TDM measures have been reviewed and are supported by the City's Transportation Department. Prior to DP issuance, the Applicant is required to register a legal agreement on Title to secure these TDM measures.

- 2) Reduce the minimum required number of large-sized on-site designated loading spaces on Lot 1 from 1 space to 0 spaces.

Per the Zoning Bylaw, the development is required to provide one medium-sized loading space and one shared medium and large-sized loading space. A variance is requested to permit the provision of two medium-sized loading spaces in lieu of the above. The Applicant has advised that a large-sized loading space is not needed to support the intended operations anticipated on Lot 1, as the proposed light industrial and ancillary office units consist of small operations which will be primarily serviced by vans and pick-up trucks. Large production, manufacturing, or storage operations requiring a large loading truck are not anticipated on the site. The variance request has been reviewed and is supported by the City's Transportation Department.

- 3) Reduce the minimum percentage of standard parking spaces on Lot 2 from 50 per cent to 30 per cent.

The Applicant has provided a Transportation Impact Assessment (TIA) prepared by a Registered Transportation Engineer to assess existing parking on Lot 2. The TIA indicates that the standard and small parking spaces on Lot 2 are an existing condition, and that the change in the supply ratio of standard to small parking spaces is the result of the proposed subdivision to create Lot 1. The proposed variance is therefore required to legitimize the remaining parking configuration on Lot 2 after subdivision.

The TIA includes a parking utilization study and confirms there is sufficient parking on Lot 2. On this basis, the Applicant expects that the resulting reduction in the standard parking space supply ratio to 30 per cent on Lot 2 after subdivision will not materially change parking operations.

This variance request has been reviewed and is supported by the City's Transportation Department.

Advisory Design Panel Comments

Since this proposal to develop a new building at the subject site is essentially an expansion of the existing light industrial and office complex (which is already governed by the original DP), this DP application was not presented to the Advisory Design Panel for review.

Analysis

Conditions of Adjacency

- The siting of the new building on proposed Lot 1, including the location of the common lobby entrance, is clearly identifiable from the public realm along Wireless Way.
- The building setback from Wireless Way enables partial visibility to the neighbouring building to the west at 13880 Wireless Way at the west end of the street to be maintained, while concealing the side elevation of the neighbouring building.

- Although the new building is positioned at the west lot line (0.0 m/ft.) as permitted in the ZI zone, there is a row of existing trees and a 16.0 m (52.4 ft.) separation to the building on the neighbouring property that act as a buffer along that interface.
- To provide visual interest on the exposed west elevation of the new building, a variety of cladding materials and colours are proposed in a geometric pattern.
- A total of 39 new trees are proposed to be planted on-site to enhance the interface along the south property line of both Lots 1 and 2 and the interface along the east property line of Lot 2.

Site Planning, Access and Parking

- The proposal is to develop a three-storey building on what is currently the west portion of the subject site, with new landscaping to the north of the building along Wireless Way and landscaped restoration along the south side of the entire existing site within the existing RMA.
- The ground floor of the new building on Lot 1 is to contain the common lobby used to access the upper floors, mechanical, electrical, service areas and the proposed 11 units.
- The second floor contains the mezzanine level for 10 of the units (accessible by individual stairways within each unit), common stairways and a common elevator vestibule for access to the complete second level of one of the units.
- The third floor contains common elevator and stairway access to corridors, and the complete third level for all 11 units. The third floor also contains a covered outdoor area for one of the units.
- The Applicant has advised that the building design enables the third level of the units to be demised if desired in the future to create additional single-storey units accessible by the common corridor located on the west side of the third floor.
- Vehicle access to Lot 1 containing the new building is to be from both of the existing driveway crossings on Wireless Way and Sparwood Place, and vehicle access to Lot 2 will continue to be from the existing driveway crossings. Prior to DP issuance, a reciprocal cross-access easement to enable shared access between Lots 1 and 2 is required to be registered on Title of both lots.
- Pedestrian access to Lot 1 is proposed primarily from the public sidewalk along Wireless Way via steps and a hard-surface pathway leading to the common lobby entrance and the individual units.
- A total of 32 vehicle parking spaces are proposed on-site in the surface parking area of Lot 1. A total of 367 vehicle parking spaces will remain on Lot 2 after removing parking spaces to provide landscape restoration within the RMA, improve pedestrian circulation on Lot 2 and to enable development of Lot 1.
- Enclosed waste storage and collection is proposed to be to the south of the new building on Lot 1, and immediately southeast of the existing building on Lot 2.
- Two medium on-site designated loading spaces are also provided to the south of the new building on Lot 1, one of which can also accommodate waste collection trucks as needed.

- On Lot 1, long term employee bike parking is proposed on the ground floor within each of the units, and short-term bike racks for visitors are proposed in front of the building near the lobby entrance and near the entries to the units.

Architectural Form and Character

- The new building includes feature walls to mirror and integrate the design of the existing building to the east.
- The proposed canopies provide strong lines to define the entrance to each unit.
- The use of varied parapet height, reveals, and the combination of cladding materials and accent colours provide for articulation and visual interest throughout the building elevations.
- The proposed glazing is intended to provide an abundance of natural light to interior spaces.
- The proposed exterior colour and material palette is varied to provide visual interest, and consists of a combination of painted concrete and metal cladding in dark grey, light grey and white, with a light green accent colour, as well as black aluminum-framed transparent glazing.
- A conceptual exterior lighting plan is proposed, which includes wall-mounted lighting along the north, east and south facades of the new building, and the existing pole-mounted lighting within the surface parking area is to remain. Proposed lighting fixtures are downward-oriented to avoid light pollution.

Tree Retention/Replacement, and Landscape Design

- The Applicant has submitted a Certified Arborist's Report for the site, which identifies on-site and off-site trees, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The report assesses:
 - 11 bylaw-sized trees located on the subject site (Trees #190-200).
 - 11 trees located on the neighbouring property to the west at 13880 Wireless Way (Trees #OS1-OS11).
 - 18 trees located on City-owned property in the boulevard along Wireless Way and within the Westminster Highway road allowance south of the subject site (Trees #C1-C24).
- The City's Tree Preservation Coordinator and Parks Department Arborist have reviewed the Certified Arborist's Report and concur with the report recommendations to:
 - Retain and protect eight on-site trees (Trees #190-193, 195, 197, 198, 200).
 - Remove three trees to enable the proposed new development (Trees #194, 196, and 199). Replacement trees are required at a 2:1 ratio as per the OCP and the City's Tree Protection Bylaw 8057.
 - Retain all 11 trees on the neighbouring property to the west and all 18 trees on City-owned property.
- The Applicant has submitted a Tree Management Plan showing the trees to be retained, the required tree protection areas and the measures to be taken to protect them during development stage (Plan #2).

- To ensure survival of the trees to be retained, the Applicant must complete the following requirements prior to DP issuance:
 - Submit a contract with a Certified Arborist for supervision of all works conducted within, or in close proximity (i.e., 1.5 m/4.9 ft.) to, tree protection zones. The contract must include the required scope of work, the number of proposed monitoring inspections at specified stages of construction, any special measures required to ensure tree protection and a provision for the arborist to submit a post-construction impact assessment report to the City for review.
 - Submit a tree survival security in the amount of \$40,000.00 for the on-site trees to be retained (Trees #190-193, 195, 197, 198, 200), and enter into a legal agreement that sets out the terms for use and release of the security.
 - Submit a tree survival security in the amount of \$95,000.00 for the trees on City-owned property to be retained (Trees #C1-24), and enter into a legal agreement that sets out the terms for use and release of the security.
- Prior to any works being undertaken on-site or in close proximity (i.e., 1.5 m/4.9 ft.) to tree protection zones, the Applicant must install tree protection fencing around all on-site and off-site trees to be retained. Tree protection fencing must be installed as per the Arborist’s Report to City satisfaction in accordance with the City’s Tree Protection Information Bulletin (TREE-03), and must remain in place until construction and landscaping is completed.
- Although six replacement trees are required to be planted for the three trees proposed to be removed, the Applicant proposes to enhance both lots by planting a total of 52 new trees across Lots 1 and 2, as illustrated in the Landscape Plan (Plan #2.A):

Location	# Trees to be planted			Species
	Within RMA	Outside RMA	Total	
Lot 1	6	8	14	Katsura, Persian Ironwood, Western Red Cedar
Lot 2	20	18	38	Pacific Dogwood, Paperbark Maple, Bowhall Red Maple, Sunburst Locust, Western Red Cedar
Total	26	26	52	

Note: additional details about tree planting within the RMA are included below in the section of this report entitle “Riparian Management Area”.

- Hard and soft landscape enhancements are also proposed on the lots, as illustrated in the Landscape Plan (Plan #2.A):
 - On Lot 1, terraced landscaping is proposed to address the lot grade transition between the north side of the building (at the new Flood Construction Level) and the public sidewalk along Wireless Way. Pedestrian access between the sidewalk and the building is provided by a set of concrete steps. Planting islands are proposed within the surface parking area along the east side of the building. Landscape enhancements are also proposed within the RMA.
 - On Lot 2, a variety of shrubs and plants are proposed in small planting islands within the surface parking area.

- The proposed species of shrubs and plants on the lots include, Gold Flame Spirea, Dwarf Mugo Pine, Pink Meidiland Rose, Otto Luyken Laurel, Red Osier Dogwood, Red Elderberry, Thimble Berry, Black Twinberry, Salmonberry, and SSalal.

Note: additional details about the landscaping enhancements within the RMA are described below in the section of this report entitled “Riparian Management Area”.

- To ensure that the proposed replacement trees and landscaping located outside of the RMA is planted and maintained on-site in accordance with the Landscape Plan, the Applicant is required to submit a landscaping security prior to DP issuance in the amount of \$19,178.00 (100 per cent of the cost estimate for the works prepared by the Registered Landscape Architect, including installation and a 10 per cent contingency). The Applicant must also enter into a legal agreement to accompany the landscaping security, which sets the terms for use and release of the security.
- The Landscape Plan requires that all soft landscaped areas be maintained consistent with industry standards including through installation of an automatic irrigation system.

Riparian Management Area Restoration

- The subject site contains a 5.0 m wide RMA located along the south edge of the site. Part of the RMA currently contains a hard-surface area with asphalt parking spaces, wheel stops, roll and barrier curbs, gutters and chainlink fencing. Vegetation is also well-developed within the RMA and is comprised of a mix of native, exotic and invasive species of plant material and trees.
- The Applicant submitted a Biophysical Inventory and Construction Environmental Management Plan prepared by a Qualified Environmental Professional (QEP), which describes the proposed restoration within the RMA as illustrated in the Landscape Plan (Plan #2.A), as well as invasive vegetation management within the RMA, and monitoring and maintenance plan. The proposal has been reviewed and is supported by the City’s Sustainability Department.
- The proposal involves the complete restoration of the RMA on Lot 1 (approximately 210 m²) as well as partial restoration of the RMA on Lot 2 (approximately 490 m²), and the resulting net gain of natural habitat associated with asphalt removal within the RMA on both lots is approximately 240 m².
- The Landscape Plan (Plan #2.A) indicates that (of the overall trees and plants proposed on-site) a total of 26 new native trees and a variety of native shrubs and plants are proposed within the RMA on Lots 1 and 2, including Western Red Cedar, Pacific Dogwood, Red Osier Dogwood, Red Elderberry, Black Twinberry, Thimble Berry, Salmonberry, and Salal.
- To ensure that the proposed on-site landscape works located within the RMA are installed and maintained as shown in the Landscape Plan (Plan #2.A), the Applicant is required to submit a landscaping security prior to DP issuance in the amount of \$69,628.00 (100 per cent of the cost estimate for the works prepared by the Registered Landscape Architect, including installation and a 10 per cent contingency). The Applicant must also enter into a legal agreement to accompany the landscaping security, which sets the terms for use and release of the security.

- A three-year monitoring and maintenance plan (with yearly reports) is also proposed to ensure success of the RMA restoration, and is outlined in the QEP's report. Prior to DP issuance, the Applicant is required to submit a separate security associated with the monitoring and maintenance works. The security is to be based on 100 per cent of a cost estimate for the works to be provided by the QEP (including a 10 per cent contingency cost). The Applicant must also enter into a legal agreement to accompany the security, which sets the terms for incremental release of the security (i.e., one-third of the security may be released each year of the three-year period after receipt of an annual monitoring report submitted by the QEP).

Agricultural Land Reserve Buffer Covenant

- Since the subject site is located across an intervening road from land to the south that is in the Agricultural Land Reserve (ALR), the Applicant is required to register an ALR buffer covenant on title for public awareness and to address agricultural-urban interface conflicts.

Accessibility

- The Applicant indicates that the accessible path from the van-accessible parking space to the new building entrance on Lot 1 is provided via the pathway located along the east side of the building, which is also the path of travel to each of the individual units.
- The Applicant proposes improvements on Lot 2 in the form of new curb letdowns on-site and a defined accessible pathway from the sidewalk along Wireless Way to the existing building.
- Consistent with the design guidelines for accessibility in the OCP, the width of on-site pathways are a minimum of 1.5 m (4.9 ft.) wide.

Public Art

- Consistent with the Public Art Program Policy, the Applicant is providing a contribution to the Public Art Reserve for City-wide projects in the amount of \$12,054.83 prior to DP issuance.

Sustainability

- The Applicant indicates that the following features are proposed to optimize the new building's performance on Lot 1 and contribute to environmental sustainability:
 - 209 rooftop solar panels covering approximately 37 per cent of the building roof space, which will produce a total of 109,179 kWh annually (with each unit having its own tie-in to generate roughly 9,000-10,000 kWh annually per unit). To secure the proposed rooftop solar panels, the Applicant is required to enter into a legal agreement on Title prior to DP issuance.
 - Insulated overhead doors, and double-glazed windows with e-coating, low U-factor and moderate solar heat gain coefficient to balance between good thermal properties and high solar heat gains depending on the weather.
 - Canopies to reduce direct sunlight and strategically-located skylights to provide natural light inside the units while reducing energy consumption.

- 10 per cent of parking spaces on Lot 1 are to be equipped with energized outlets to accommodate future electric vehicle charging stations.
- The Applicant also submitted a preliminary report prepared by a qualified energy modeller summarizing the envelope energy upgrades and other energy efficiency measures proposed in the new building on Lot 1, including (but not limited to):
 - Compliance with Step 2 of the NECB¹ for the industrial areas of the building and Step 3 metrics of TEUI² and TEDI³ for the other areas of the building.
 - High efficiency heat recovery ventilation units to improve greenhouse gas consumption.
- Additional modelling is to be undertaken as part of the Building Permit application review process.

Crime Prevention Through Environmental Design (CPTED)

- The Applicant has identified that the proposed design responds to the principles of CPTED as follows:
 - The proposed new development has ensured that natural surveillance is promoted throughout the site with the building's visual permeability through its facades (e.g., the upper windows provide an ample visual frame to the surface parking area at grade). The surface parking area is open with clear sightlines throughout.
 - Public and private spaces are clearly separated through landscaping and there are clear visual cues as to where the main building entrance and individual units are, defining the circulation path and access control.
 - The exterior lighting plan ensures proper illumination and dark corners are avoided.
 - The proposed new development will contribute to a clean and well-maintained site, ensuring territoriality of the neighbourhood is preserved.

Aircraft Noise Sensitive Development Policy

- The OCP's Aircraft Noise Sensitive Development (ANSD) Policy applies to the subject site, which is located within the "Restricted Area (Area 1B)" in which residential development is prohibited. The proposed light industrial and ancillary office building is consistent with the ANSD Policy as it is not a residential use.
- Consistent with the ANSD Policy, registration of an aircraft noise indemnity covenant on Title is required prior to DP issuance.

Flood Management

- The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a floodplain covenant on Title is required prior to DP issuance. In this location, the required Flood Construction Level is 3.0 m (9.84 ft.) GSC.

¹ National Energy Code of Canada for Buildings

² Total Energy Use Intensity.

³ Thermal Energy Demand Intensity.

Existing Legal Encumbrances

- A Title Summary prepared by the property owner's lawyer indicates that there a variety of charges registered on Title of the subject site, including (but not limited to) the following to which the City is a chargeholder:
 - Covenants to restrict vehicle access to the site from Wireless Way and Sparwood Place, but not from Westminster Highway (BW70921 and BW70922).
 - Statutory Right-of-Way (SRW) agreements to enable utilities, road and frontage works along portions of the north property line (BW70926) and south property line (BW70924, BW70925). To ensure that the existing portion of the sidewalk located on-site along a portion of the north property line is secured for public-right-of-passage, SRW BW70926 must be reviewed and potentially adjusted as needed prior to DP issuance. To ensure that the existing portion of Sparwood Place on-site along the south property line is secured for public use, the applicant is required to register a SRW on title prior to DP issuance.
 - A covenant granted in favour of the City associated with: a) a bio-swale located immediately to the south of the subject site used for drainage, filtration, remediation and percolation of storm water from the site; and b) road lighting conduits and infrastructure within Sparwood Place (BB640297).

Site Servicing & Off-site Improvements

- A Servicing Agreement (SA) to design and construct the following improvements is required prior to Building Permit issuance, including (but not limited to):
 - Upgrading the existing watermain along the Sparwood Place frontage to meet the minimum required fire flow and fulfill the distance requirement between hydrant and the proposed building.
 - Upgrading approximately 85 m (278 ft.) of the storm sewer along the Wireless Way frontage.
 - The water, storm and sanitary service connections.
- The complete details of the scope of work associated with the SA are included in Attachment 4.

Conclusions

This proposal is to develop a three-storey light industrial and ancillary office building of approximately 3,748 m² (40,353 ft²) in gross floor area on a new lot to be created on the west portion of the subject site at 13888 Wireless Way.

The Applicant has addressed the significant design issues identified through the application review process and generally conforms to the applicable policies and guidelines contained within the Official Community Plan.

The proposed development complies with the requirements of the Zoning Bylaw and the "Industrial Business Park (ZI3) – Crestwood Area (East Cambie)" zone, with the exception of the zoning variances discussed.

The list of DP Considerations are included in Attachment 4, which have been concurred to by the Applicant.

On this basis, staff recommends that the Development Permit be endorsed, and issuance by Council be recommended.



Cynthia Lussier
Planner 2
(604-276-4108)

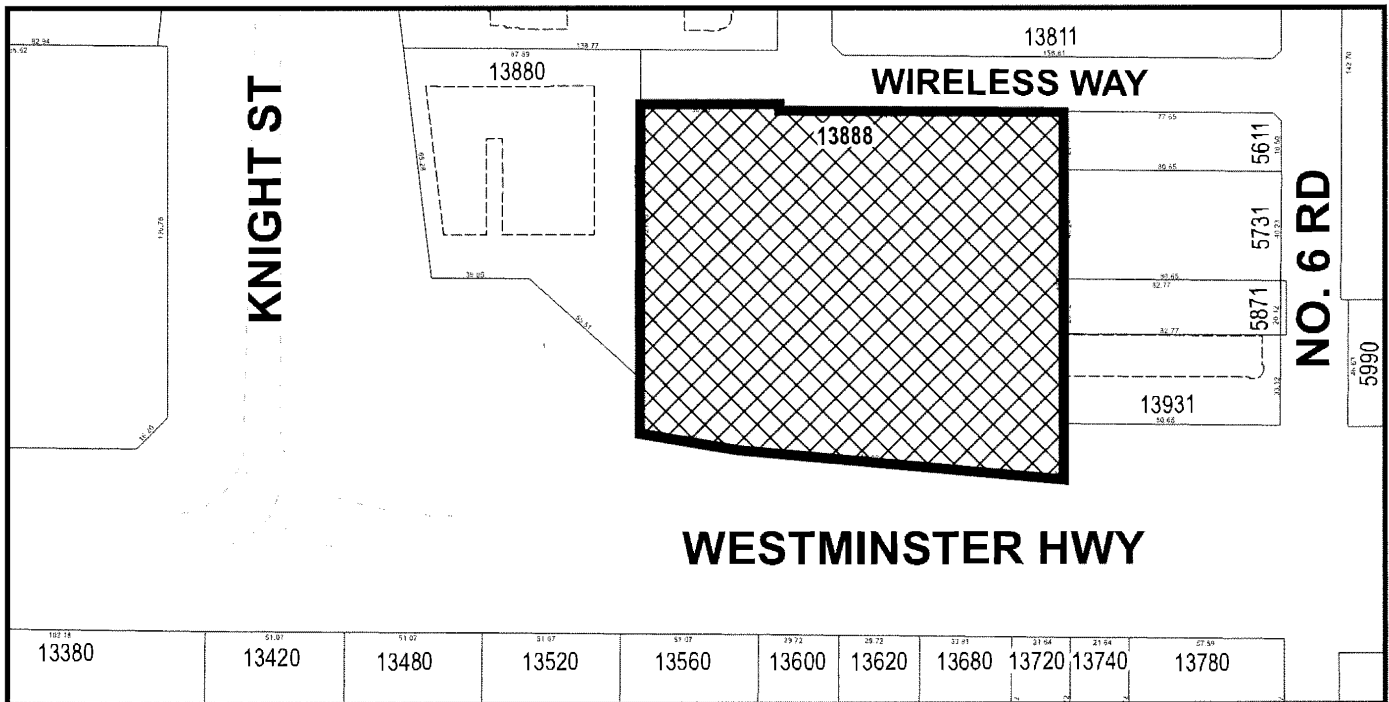
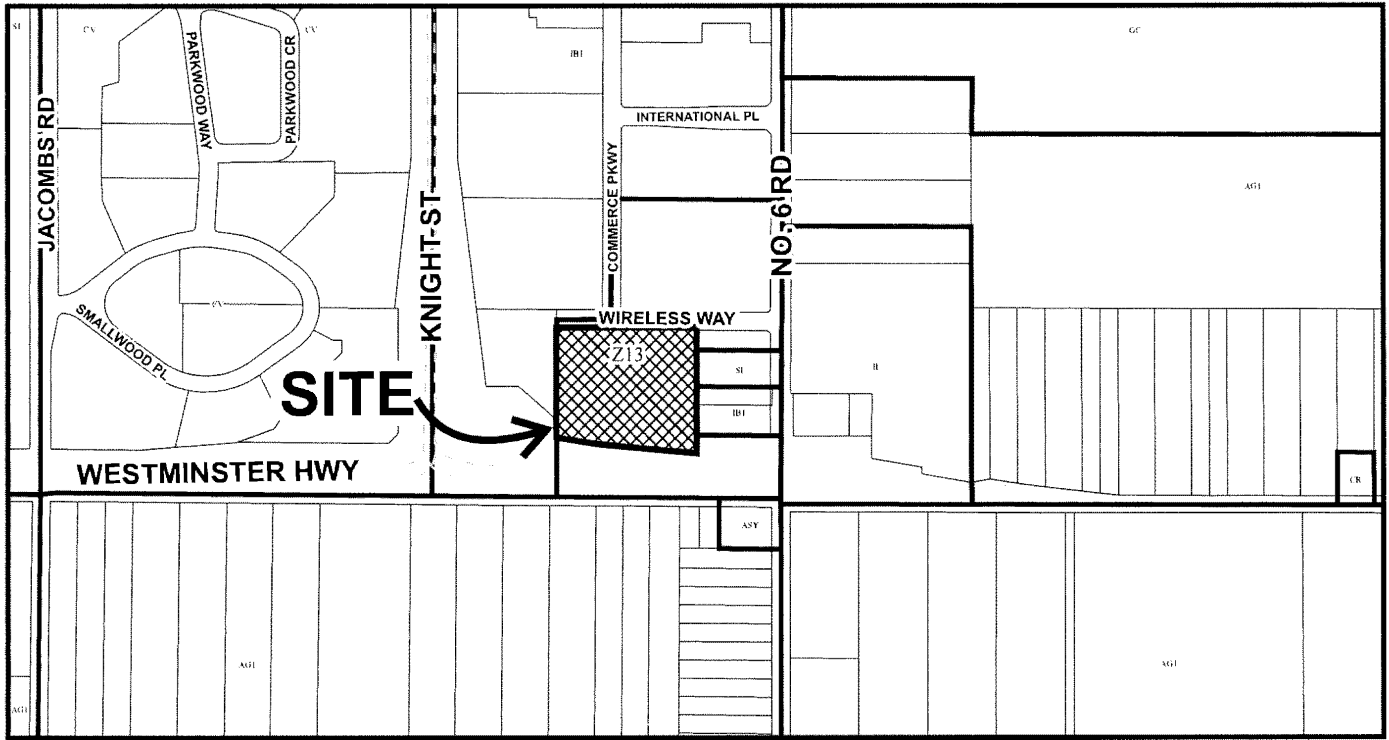
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- Att. 1. Location Map
 2: Site Survey with Proposed Subdivision Plan
 3: Development Application Data Sheet
 4: Development Permit Considerations



City of Richmond

ATTACHMENT 1



DP 21-943418

Original Date: 11/10/21

Revision Date: 12/01/21

Note: Dimensions are in METRES

TOPOGRAPHIC SITE PLAN FOR PROPOSED SUBDIVISION OVER LOT B SECTION 5 BLOCK 4 NORTH RANGE 5 WEST NEW WESTMINSTER DISTRICT PLAN BCP24407

15008 WIRELESS Way, Richmond BC B8 2R6-714-804

SCALE 1 : 200

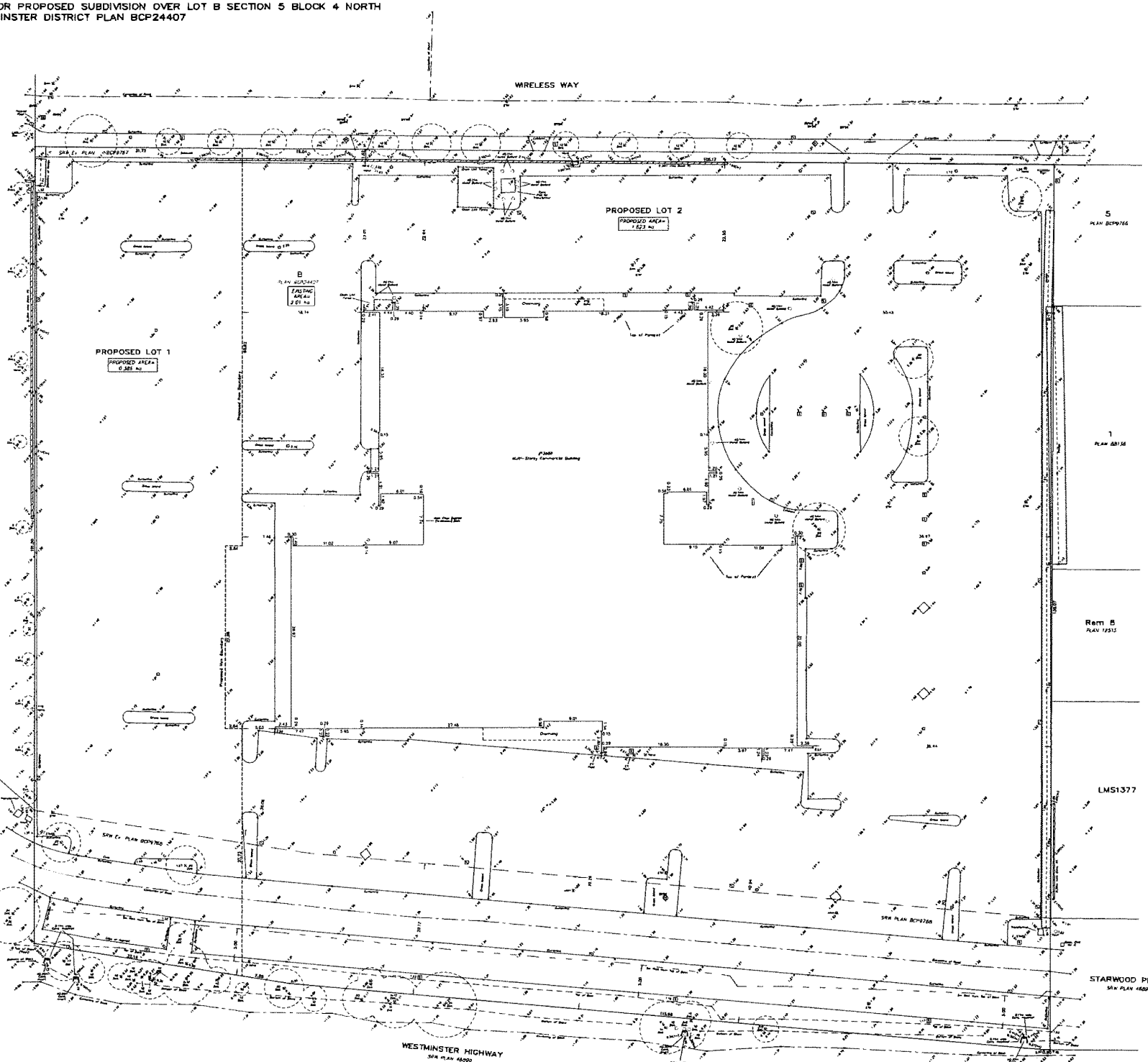
ALL DIMENSIONS ARE IN METERS
The standard AAS of this plan is 1:2000 in scale and distance in height (if noted) period is a scale of 1:200

- LEGEND**
- (S) INDICATES SURVEY METERS
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 - (D) INDICATES DRIVEWAY - FOR DRIVE
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EPS6600

NOTES

1. All dimensions are indicated from Face Survey.
2. Measurements shown are to the exterior unless otherwise indicated.
3. Easements are shown (Easement 1000/1000 - in all cases) derived from the original 1912/1912 - in all cases.
4. The site plan is subject to all applicable laws, regulations and codes of the City of New Westminster, British Columbia, Canada.
5. The plan is to be used in digital form. Digital Land Scanning (DLS) may be used for any necessary modification to the information contained herein as required by the City.
6. The plan is subject to all applicable laws, regulations and codes of the City of New Westminster, British Columbia, Canada.
7. The plan is subject to all applicable laws, regulations and codes of the City of New Westminster, British Columbia, Canada.
8. The plan is subject to all applicable laws, regulations and codes of the City of New Westminster, British Columbia, Canada.
9. The plan is subject to all applicable laws, regulations and codes of the City of New Westminster, British Columbia, Canada.
10. The plan is subject to all applicable laws, regulations and codes of the City of New Westminster, British Columbia, Canada.





DP 21-943418

Address: 13888 Wireless Way

Applicant: Karla Castellanos Architect

Owner: S-506 Holdings Ltd.

Planning Area(s): East Cambie

	Existing	Proposed
Site Area:	20,090 m ²	Lot 1 – 3,861.83 m ² Lot 2 – 16,227.54 m ²
Land Uses:	Multi-tenant office building	Lot 1 – New light industrial and ancillary office building Lot 2 – No change
OCP Designation:	Mixed Employment	No change
East Cambie Area Plan Land Use Designation:	Industrial	No change
Zoning:	Industrial Business Park (ZI3) – Crestwood Area (East Cambie)	No change

Proposed Lot 1			
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.0	0.97	None permitted
Lot Coverage - Buildings:	Max. 60 %	38%	None
Setback – Front Yard (North):	Min. 6.0 m	7.3 m	None
Setback – Side Yard (East):	Min. 0.0 m	11.7 m	None
Setback – Side Yard (West):	Min. 0.0 m	0.0 m	None
Setback – Rear Yard (South):	Min. 0.0 m	27.8 m	None
Maximum Building Height (m):	3 storeys to a max. of: a) 13.0 m to top of roof; b) 15.0 m to top of mechanical equipment & architectural features.	3 storeys; 12.8 m to top of roof; 13.9 to top of mechanical equipment & architectural features.	None
Total On-site Parking Spaces:	97 spaces (2.8 spaces/100 m ² GLA ⁴)	32 Spaces (0.75 spaces/100 m ² GLA)	Variance requested to use standard parking rate for “General, industrial” uses (0.75 spaces/100 m ² GLA)

⁴ Gross leasable floor area

Standard Spaces:	Min. 50%	50% (16 spaces)	None	
Small Spaces:	Max. 50%	50% (16 spaces)	None	
Accessible:	2% (1 space)	2% (1 space)	None	
On-site Bike Parking Spaces:	Class 1 (long-term)	10	10	None
	Class 2 (short-term)	10	16	None
On-site Loading Spaces:	2 Medium spaces 1 Large space	2 Medium spaces	Variance requested to reduce the 1 required large loading space to 0 spaces	

Proposed Lot 2			
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.0	0.72	None permitted
Lot Coverage - Buildings:	Max. 60 %	24%	None
Setback – Front Yard (North):	Min. 6.0 m	No change	None
Setback – Side Yard (East):	Min. 0.0 m	No change	None
Setback – Side Yard (West):	Min. 0.0 m	7.5 m	None
Setback – Rear Yard (South):	Min. 0.0 m	No change	None
Maximum Building Height (m):	3 storeys to a max. of: a) 13.0 m to top of roof; b) 15.0 m to top of mechanical equipment & architectural features.	No change	None
Total On-site Parking Spaces:	304 spaces (2.8 spaces/100 m ² GLA)	367 spaces	None
Standard Spaces:	Min. 50%	30% (111 spaces)	Variance requested to reduce the % standard spaces to 30%
Small Spaces:	Max. 50%	70% (256 spaces)	
Accessible:	7	11	None
On-site Bike Parking Spaces:	N/A	No change	None
On-site Loading Spaces:	N/A	No change	None



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 13888 Wireless Way

File No.: DP 21-943418

Prior to issuance of the Development Permit, the Applicant is required to complete the following:

1. Subdivision of the subject site to create two lots as shown in the Site Survey and Proposed Subdivision Plan included in Attachment 2 to the Staff Report. Prior to subdivision approval, the applicant is required to complete the following:
 - a) Payment of current years' property taxes. If approval is sought on or after September 1st in any year, payment of the following year's estimates (2024) taxes per City practice;
 - b) Payment of address assignment fee.
2. Submission of a landscaping security in the amount of \$19,178.00 for the on-site landscape works located outside of the RMA boundary as shown in the Landscape Plan (Plan # 2.A). The Applicant must also enter into a legal agreement to accompany the landscaping security, which sets the terms for use and release of the security.
3.
 - a) Submission of a landscaping security in the amount of \$69,628.00 for installation of the on-site landscape works located within the RMA boundary as shown in the Landscape Plan (Plan # 2.A). The Applicant must also enter into a legal agreement to accompany the landscaping security, which sets the terms for use and release of the security.
 - b) Submission of a separate security associated with the three-year monitoring and maintenance plan works identified in the Biophysical Inventory and Construction Environmental Management Plan prepared by Sartori Environmental Inc. to ensure success of the restoration within the RMA. The security is to be based on 100% of a cost estimate for the works associated with the monitoring and maintenance plan to be provided by the Qualified Environmental Professional (including a 10% contingency cost). The Applicant must also enter into a legal agreement to accompany the security, which sets the terms for the incremental release of the security, i.e., 1/3 of the security may be released each year of the three-year period after receipt of an annual monitoring report submitted by the Qualified Environmental Professional.
4. Submission of a Contract entered into between the Applicant and a Certified Arborist for supervision of any on-site works conducted within, or in close proximity (i.e., 1.5 m) to the tree protection zone of the trees to be retained (Trees # 190-193, 195, 197, 198, 200). The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
5. Submission of a Tree Survival Security to the City in the amount of \$40,000.00 for the eight trees to be retained on-site (Trees # 190-193, 195, 197, 198, 200). The City may release up to 90 per cent of the security following substantial completion of construction and landscaping on-site (subject to a landscape inspection to the City's satisfaction), and may release the balance of the security following a one-year maintenance period if the trees have survived. The Applicant must also enter into a legal agreement to accompany the tree survival security, which sets the terms for use and release of the security.
6. Submission of a Tree Survival Security to the City in the amount of \$95,000.00 for the trees on City-owned property to be retained (Trees # C1-C24). The City may release up to 90 per cent of the security following substantial completion of construction and landscaping on-site (subject to a landscape inspection to the City's satisfaction), and may release the balance of the security following a one-year maintenance period if the trees have survived. The Applicant must also enter into a legal agreement to accompany the tree survival security, which sets the terms for use and release of the security.
7. City acceptance of the Applicant's voluntary contribution to the Public Art Reserve for City-wide projects in the amount of \$12,054.83 (2023 rate of \$0.29/buildable square foot).

8. Registration of a no-build covenant on Title of Lot 1 after subdivision as a means of notifying future property owners that works and services required for redevelopment of proposed Lot 1 are to be provided through a Servicing Agreement (SA) prior to Building Permit (BP) issuance.
9. Registration of a blanket reciprocal cross-access easement on Title of the lots after subdivision for shared access/circulation/maneuvering between and throughout Lots 1 and Lot 2, including the installation of way-finding signage for Lot 1 on proposed Lot 2.
10. Registration of a Statutory Right-of-Way for public right of passage over the portion of Lots 1 and 2 containing the Sparwood Place roadway to legitimize the existing condition. Maintenance and liability of the SRW is the responsibility of the Lots 1 and 2 owners and maintenance and repair must be coordinated by a single service provider. Maintenance of the SRW must be in accordance with good engineering practice with the objective to optimize public safety.
11. Review and potential adjustment (as needed) of existing SRW BW70926 currently registered on Title to ensure that it provides for public-right-of-passage.
12. Registration of an Agricultural Land Reserve Buffer Covenant on Title of the lots.
13. Registration of an aircraft noise indemnity covenant on Title of the lots (Area 1B).
14. Registration of a flood plain covenant on Title of the lots identifying a minimum habitable elevation of 3.0 m GSC.
15. Registration of a legal agreement on Title of Lot 1 identifying that the proposed development must be designed and constructed with 209 rooftop solar panels covering approximately 37% of the roof space on the new building, to produce a total of 109,179 kWh annually (with each unit having its own tie-in to generate roughly 9,000-10,000 kWh annually per unit).
16. Registration of a legal agreement on Title ensuring the provision of the following Transportation Demand Management (TDM) measures:
 - a) Registration of a legal agreement on Title of Lot 1 to ensure the execution and completion of a subsidized transit pass program, including the following method of administration and terms:
 - i. A monthly subsidy will be provided for each Lot 1 employee that enrolls in the program (up to 50 simultaneous Lot 1 employees on a first-come first-served basis) to be used in Translink's Compass Cards for a period of one year. In the event that all transit pass subsidies are taken, a waiting list will be available for Lot 1 employees to request a transit pass subsidy once one becomes available. If there is a waiting list, Lot 1 employees who have already exhausted the one year transit pass subsidy will no longer be eligible for future subsidies;
 - ii. A Letter of Credit or other form of security acceptable to the City for 100% of the transit pass program value is required. The total contribution shall not exceed \$15,000 per year, and will run for the first three years after Lot 1 construction is completed, up to a total of \$45,000 over three years;
 - iii. Administration of the program is to be by a management company/property owner. The owner is not responsible for the monitoring of use of transit passes but only noting number of subscribed users to the program until the end of the three years;
 - iv. Should not all transit pass subsidies be utilized by the end of the three-year program period, the remaining funds equivalent to the value of the unsubscribed subsidies are to be transferred to the City of Richmond for alternate TDM measures at the City's discretion; and
 - v. The availability and method of accessing the transit pass subsidy is to be clearly explained to Lot 1 employees.
 - b) Registration of a legal agreement on Title to secure the employee shuttle service between the subject site and the Bridgeport Canada Line station, including the following details:
 - i. The shuttle will run for the first three years after Lot 1 construction is completed;
 - ii. The shuttle will operate during the peak hours of 7:30-9:30 am and 4:00-7:00pm;
 - iii. Although the shuttle service will be primarily intended for the use of Lot 1 employees, any spare capacity in the shuttle can be shared with Lot 2 employees;
 - iv. A detailed plan for the shuttle program is to be provided by the Applicant and is to include (but is not limited to) the terms of shuttle service frequency.

Prior to any construction or landscape works being undertaken on-site or in close proximity (i.e., 1.5 m/ 4.9 ft) to tree protection zones, the Applicant is required to complete the following:

- Install tree protection fencing around all on-site and off-site trees to be retained (Trees # 190-193, 195, 197, 198, 200; OS1-OS11; C1-C24). Tree protection fencing must be installed as per the Arborist's Report to City satisfaction in accordance with the City's Tree Protection Information Bulletin (TREE-03), and must remain in place until construction and landscaping is completed.

Prior to Building Permit* (BP) issuance for the new building on Lot 1, the Applicant is required to complete the following:

- Enter into a Servicing Agreement* (SA) for the design and construction of the following works (including, but not limited to):

Water works:

- Using the OCP Model, there is 532L/s of water available at a 20 psi residual at the Wireless Way frontage and there is 126L/s of water available at a 20 psi residual at the Sparwood Place frontage. Based on your proposed development, your site requires a minimum fire flow of 250 L/s.
- At the Applicant's cost, the Applicant is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on BP Stage building designs.
 - Upgrade the existing 150 mm water main along Sparwood Place to meet the minimum required fire flow of 250L/s and to fulfill the distance requirement between hydrant and the proposed building. The upgraded water main shall be aligned with the existing water main to the east.
 - Install a new water service connection to service the proposed new building, and provide a SRW for the water meter. Minimum SRW dimensions to be the size of the meter box (from the City of Richmond supplementary specifications) + any appurtenances (for example, the bypass on W2n-SD) + 0.5 m on all sides. Exact SRW dimensions to be finalized during the SA design process.
- At the Applicant's cost, the City will complete all tie-ins for the proposed works to existing City infrastructure.

Storm Sewer Works:

- At the Applicant's cost, the Applicant is required to:
 - Install approximately 85 m of new 600 mm storm sewer from STMH118406 to the east property line of the existing 13888 Wireless Way connecting with a new manhole to existing storm sewer on Wireless Way.
 - Inspect the existing storm service connection located on the southwest of the proposed new lot fronting Sparwood Place. If in good condition, reuse the service connection, complete with inspection chamber to service the proposed new lot as per standard City drawings.
- At the Applicant's cost, the City will complete all tie-ins for the proposed works to existing City infrastructure.

Sanitary Sewer Works:

- At the Applicant's cost, the City will:
 - complete all tie-ins for the proposed works to existing City infrastructure.
 - install a new sanitary service connection to service the proposed new lot c/w inspection chamber. The new service connection shall tie-in to the existing 200 mm sanitary sewer located north of the proposed new lot fronting Wireless Way.

Street Lighting:

- At the Applicant's cost, the Applicant is required to review street lighting levels along all road frontages, and upgrade as required.

General Items:

- At the Applicant's cost, the Applicant is required to:
 - Complete other frontage improvements as per the City's Transportation department requirements.
 - Coordinate with BC Hydro, Telus and other private communication service providers:

- To pre-duct for future hydro, telephone and cable utilities along all road frontages (if applicable).
- Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
- To underground overhead service lines for Lot 1 (if applicable).
- Locate/relocate all above ground utility cabinets and kiosks required to service the proposed development and proposed undergrounding works, and all above ground utility cabinets and kiosks located along the development's frontages, within the development's site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., SRW dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the architectural plans/functional plan, the SA drawings, and registered prior to SA design approval:
 - BC Hydro PMT – 4.0 x 5.0 m
 - BC Hydro LPT – 3.5 x 3.5 m
 - Street light kiosk – 1.5 x 1.5 m
 - Traffic signal kiosk – 2.0 x 1.5 m
 - Traffic signal UPS – 1.0 x 1.0 m
 - Shaw cable kiosk – 1.0 x 1.0 m
 - Telus FDH cabinet – 1.1 x 1.0 m
- Provide a video inspection report of the existing utilities along the road frontages prior to start of site preparation works or within the first SA submission, whichever comes first. A follow-up video inspection, complete with a civil engineer's signed and sealed recommendation letter, is required after site preparation works are complete (i.e. pre-load removal, completion of dewatering, etc.) to assess the condition of the existing utilities and provide recommendations to retain, replace, or repair. Any utilities damaged by the pre-load, de-watering, or other ground preparation shall be replaced or repaired at the Applicant's cost.
- Not encroach into City SRWs with any proposed trees, retaining walls, or other non-removable structures. Retaining walls proposed to encroach into SRWs must be reviewed by the City's Engineering Department.
- Enter into, if required, additional legal agreements, as determined via the subject development's SAs and/or DPs, and/or BPs to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- The Applicant is required to obtain a BP for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).
- If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

(signed concurrence on file)

Signed

Date



No. DP 21-943418

To the Holder: S-506 Holdings Ltd.
C/O Karla Castellanos Architect

Property Address: 13888 Wireless Way

Address: #300-15300 Croydon Drive
Surrey BC V3Z 0Z5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the required number of parking spaces from 2.8 spaces to 0.75 spaces for each 100 m² of gross leasable floor area of building of Lot 1;
 - b) Reduce the minimum required number of large-sized on-site designated loading spaces on Lot 1 from 1 space to 0 spaces; and,
 - c) Reduce the minimum percentage of standard parking spaces on Lot 2 from 50% to 30%.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans # 1 to # 4.C attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding securities in the amount of:
 - \$19,178.00 for the on-site landscape works outside of the Riparian Management Area; and
 - \$69,628.00 for the on-site landscape works within the Riparian Management Area;

to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the

security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

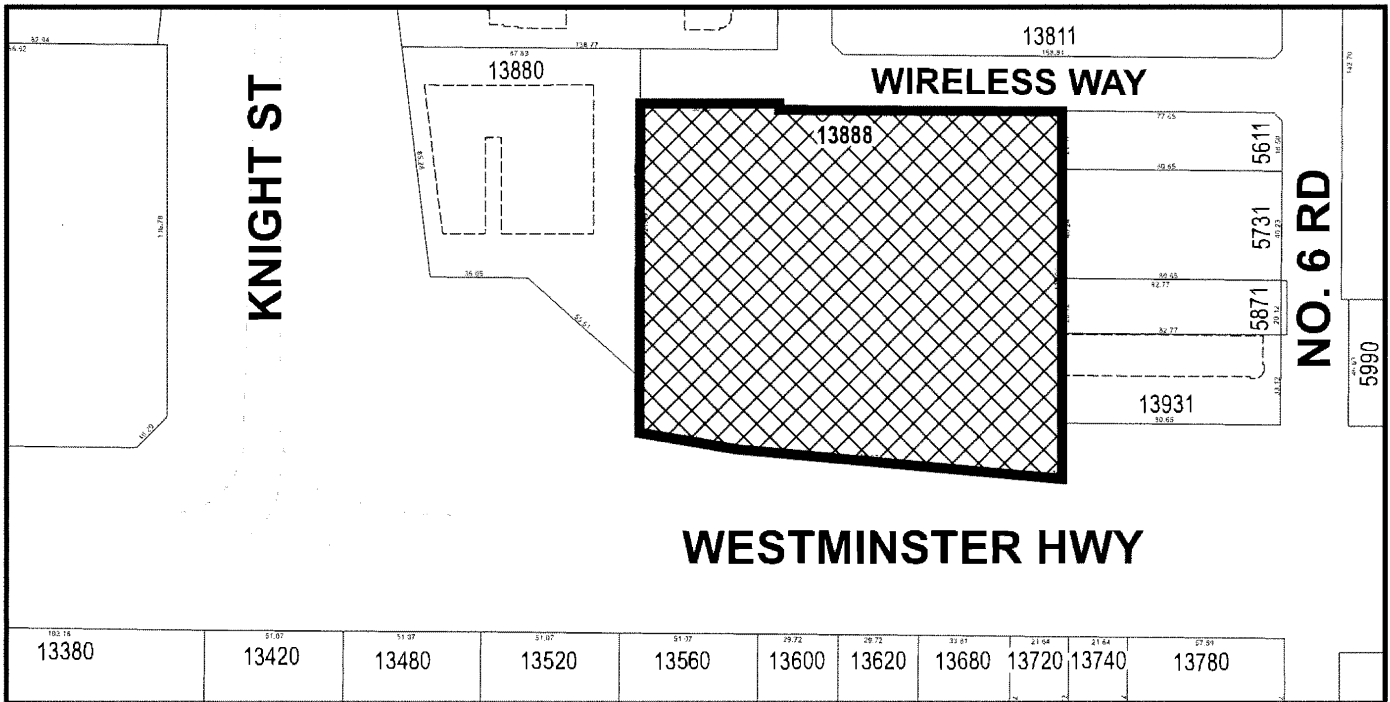
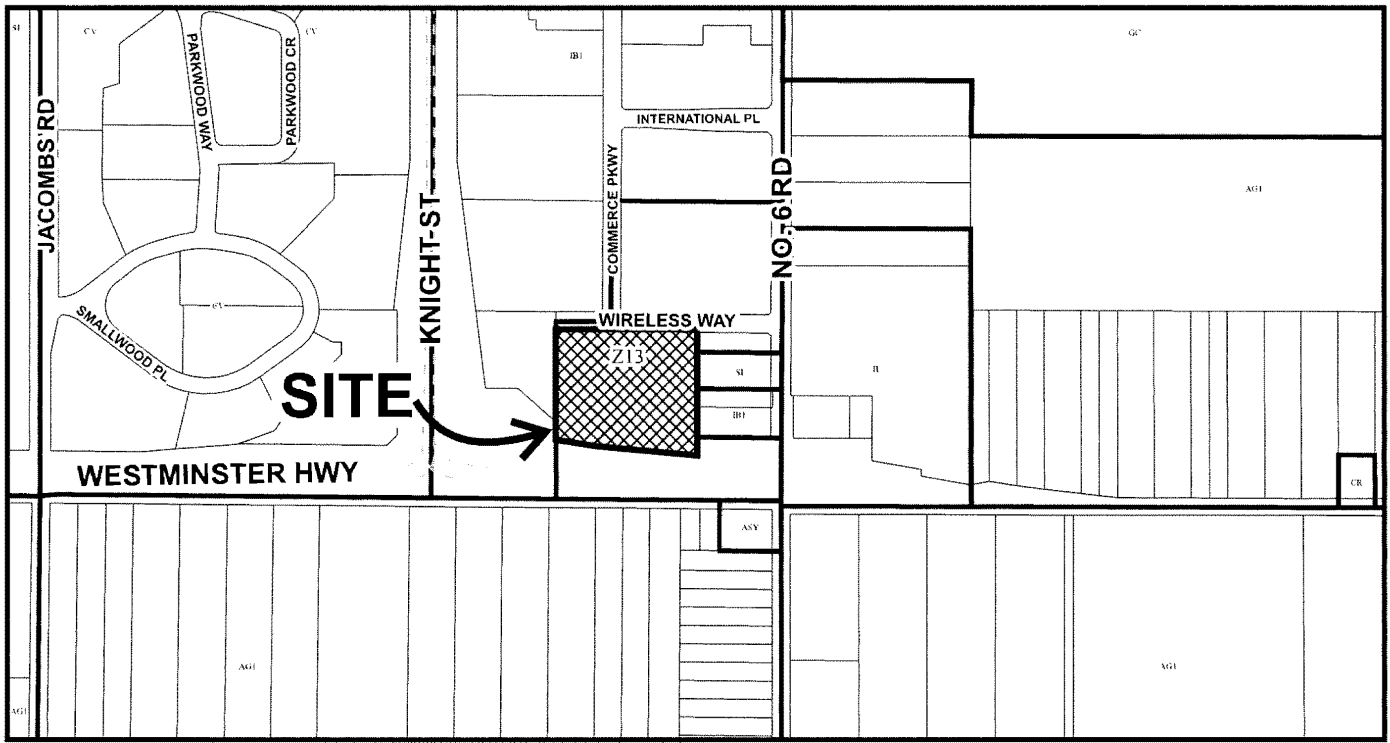
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



	<h2 style="margin: 0;">DP 21-943418</h2> <h2 style="margin: 0;">SCHEDULE "A"</h2>	Original Date: 11/10/21 Revision Date: 12/01/21 Note: Dimensions are in METRES
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KCC Architecture & Design Ltd.
 Unit 600 1285 W. Broadway Vancouver BC V6H 2R8

kccarchitecture.com
 (604) 681-7267

New Development for Symphony Hill Tech Centre 2 Richmond BC Development Permit Application

SURVEYOR CONSULTANT

CRAIG NAKAMURA
 TARGET LAND SURVEYING
 Office: 604 936 6151
 Email: Craig@targetlandsurveying.ca

LANDSCAPE CONSULTANT

C. KAVOLINAS
 C.KAVOLINAS & ASSOCIATES
 Office: 604 857 2376
 Email: kavolinas@shaw.ca

CIVIL CONSULTANT

STEVE VERKAIK P.Eng.
 ISL ENGINEERING AND LAND SERVICES
 Office: 604 371 0091
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ARCHITECT

KARLA CASTELLANOS Architect AIBC
 KCC ARCHITECTURE AND DESIGN
 Office: 604 909 1267
 Email: kcastellanos@kccarchitecture.com

PROJECT MANAGER

RICHARD COLEMAN
 TITAN CONSTRUCTION
 Office: 604 607 3260
 Email: Richard@titanconstruction.net

CLIENT

MUN WAI LAI
 SYMPHONY HILL PROPERTIES
 Office: 778 710 3311
 Email: lai@symphonyhill.ca

**DP 21-943418
 DECEMBER 18, 2023
 PLAN # 1**



BUILDING PROPOSAL IN RELATIONSHIP WITH NEIGHBOURING PROPERTIES



CONTEXT PLAN

SITE DATA LOT 1

CIVIC ADDRESS
13888 WIRELESS WAY RICHMOND BC

LEGAL DESCRIPTION

LOT B SECTION 5 BLOCK 4 NORTH RANGE 5 WEST
NEW WESTMINSTER DISTRICT PLAN BCP24407
PID 026-714-604

ZONING

INDUSTRIAL BUSINESS PARK (Z13) - CRESTWOOD AREA (EAST CAMBIE)

SITE AREA

SYMPHONY HILL CORPORATE LOT 1
(PROPOSED BUILDING)

TOTAL SITE AREA 41,568.45 SF (3,861.83 SM)

BUILDING FOOTPRINT

PROPOSED BUILDING 15,891.49 SF (1,476.37 SM)

GROSS FLOOR AREA

LEVEL 1 15,891.49 SF (1,476.37 SM)
LEVEL 2 9,186.10 SF (851.56 SM)
LEVEL 3 15,295.71 SF (1,421.01 SM)
TOTAL GFA 40,353.30 SF (3,748.94 SM)

DENSITY (FAR)

PERMITTED 1.00
PROPOSED 0.97

LOT COVERAGE

PERMITTED 60%
PROPOSED 38%

BUILDING HEIGHT

ALLOWED 13.00 M (42.65') TO THE ROOF DECK FOR MECHANICAL EQUIPMENT & ARCHITECTURAL FEATURES ONLY
15.00 M (49.21')
PROPOSED 12.83 M (42.09') ARCHITECTURAL FEATURES WALLS
13.90 M (45.60')

AVERAGE FINISHED GRADE

PROPOSED 2.40 M

SETBACKS

FRONT YARD (WIRELESS WAY) 6.0 M PERMITTED
7.3 M PROVIDED
REAR & INTERIOR SIDES YARDS NO MINIMUM REQUIRED

PARKING REQUIREMENT

INDUSTRIAL, WAREHOUSE 2.80 spaces per 100.0 m² of gross leasable floor area
REQUIRED The gross leasable floor area for the warehouse, including the ancillary office space: 3,436.87 SM
3,436.87 / 100 x 2.80 = 96.23 (96)
PROPOSED Variance requested to use the Industrial, General parking rate of 0.75 spaces per 100.0 m² of gross leasable floor area:
3,436.87 / 100 x 0.75 = 25.77 (26)
STANDARD PROVIDED 18
SMALL PROVIDED 16
TOTAL PROVIDED 32

ACCESSIBLE PARKING

REQUIRED If required more than 11 spaces 2% are required accessible
2 x 26 / 100 = 0.52
PROVIDED 1 (Van Accessible)

LOADING SPACE

REQUIRED 1 every 1,861 SM GFA, + 1 every 5,000 SM above 1,861 SM
2 (One medium and one large, which may be shared)
PROVIDED 2 (Two medium loading spaces shared with the garbage truck space)
Variance requested for 0 large loading spaces

BIKE STORAGE

CLASS 1 REQUIRED 3,436.87 / 100 x 0.27 = 9.27 (9)
PROVIDED 10
CLASS 2 REQUIRED 3,436.87 / 100 x 0.40 = 13.74 (14)
PROVIDED 16

ARCHITECTURAL DRAWING LIST

- A 0.0 COVER SHEET
- A 1.0 PROJECT DATA
- A 3.0 SITE PLAN
 - A 3.1 FIRE TRUCK ACCESS
 - A 3.2 PARKING PLAN
 - A 3.3 WASTE MANAGEMENT PLAN
 - A 3.4 PROPERTY OUTLINE
- A 4.0 FLOOR PLAN LEVEL 1 & 2
 - A 4.1 FLOOR PLAN LEVEL 3 & ROOF PLAN
 - A 4.2 FSR OVERLAY
- A 7.0 ELEVATIONS
 - A 7.1 ELEVATIONS
- A 8.0 SECTIONS
- A 9.0 ISO VIEWS
 - A 9.1 ISO VIEWS
- A 10.0 SHADOW ANALYSIS

SITE DATA LOT 2

CIVIC ADDRESS
13888 WIRELESS WAY RICHMOND BC

LEGAL DESCRIPTION

LOT B SECTION 5 BLOCK 4 NORTH RANGE 5 WEST
NEW WESTMINSTER DISTRICT PLAN BCP24407
PID 026-714-604

ZONING

INDUSTRIAL BUSINESS PARK (Z13) - CRESTWOOD AREA (EAST CAMBIE)

SITE AREA

SYMPHONY HILL CORPORATE LOT 2
(EXISTING BUILDING)

TOTAL SITE AREA 174,671.86 SF (16,227.54 SM)

BUILDING FOOTPRINT

EXISTING BUILDING FOOTPRINT 42,231.13 SF (3,923.40 SM)

GROSS FLOOR AREA

EXISTING TOTAL BUILDING AREA 126,693.39 SF (11,770.20 SM)

DENSITY (FAR)

PERMITTED 1.00
PROPOSED 0.72

LOT COVERAGE

PERMITTED 60%
PROPOSED 24%

BUILDING HEIGHT

ALLOWED 13.00 M (42.65') TO THE ROOF DECK FOR MECHANICAL EQUIPMENT & ARCHITECTURAL FEATURES ONLY
15.00 M (49.21')
EXISTING BUILDING HEIGHT REMAINS AS ORIGINALLY APPROVED BY THE CITY

AVERAGE FINISHED GRADE

EXISTING 3.00 M

SETBACKS

FRONT YARD (WIRELESS WAY) 6.0 M PERMITTED
22.94 M PROVIDED
REAR & INTERIOR SIDES YARDS NO MINIMUM REQUIRED

PARKING REQUIREMENT

REQUIRED 2.80 spaces per 100.0 m² of gross leasable floor area
10,826.09 / 100 x 2.80 = 303.13 (304)
STANDARD PROVIDED 111
SMALL PROVIDED 256
TOTAL PROVIDED 367

ACCESSIBLE PARKING

REQUIRED If required more than 11 spaces 2% are required accessible
2 x 303 / 100 = 6.06 (6)
PROVIDED 11



KCC Architecture & Design Ltd.
U.S. 302 15300 Croydon Drive Surrey BC V2Z 0Z3
kccarchitecture.com
Tel: 604-283-7912

PROFESSIONAL SEAL
CLIENT



PROJECT 2103
NEW DEVELOPMENT FOR
Symphony Hill Corporate Center 2
LIGHT INDUSTRIAL
MULTI-TENANT
13888 WIRELESS WAY
RICHMOND BC

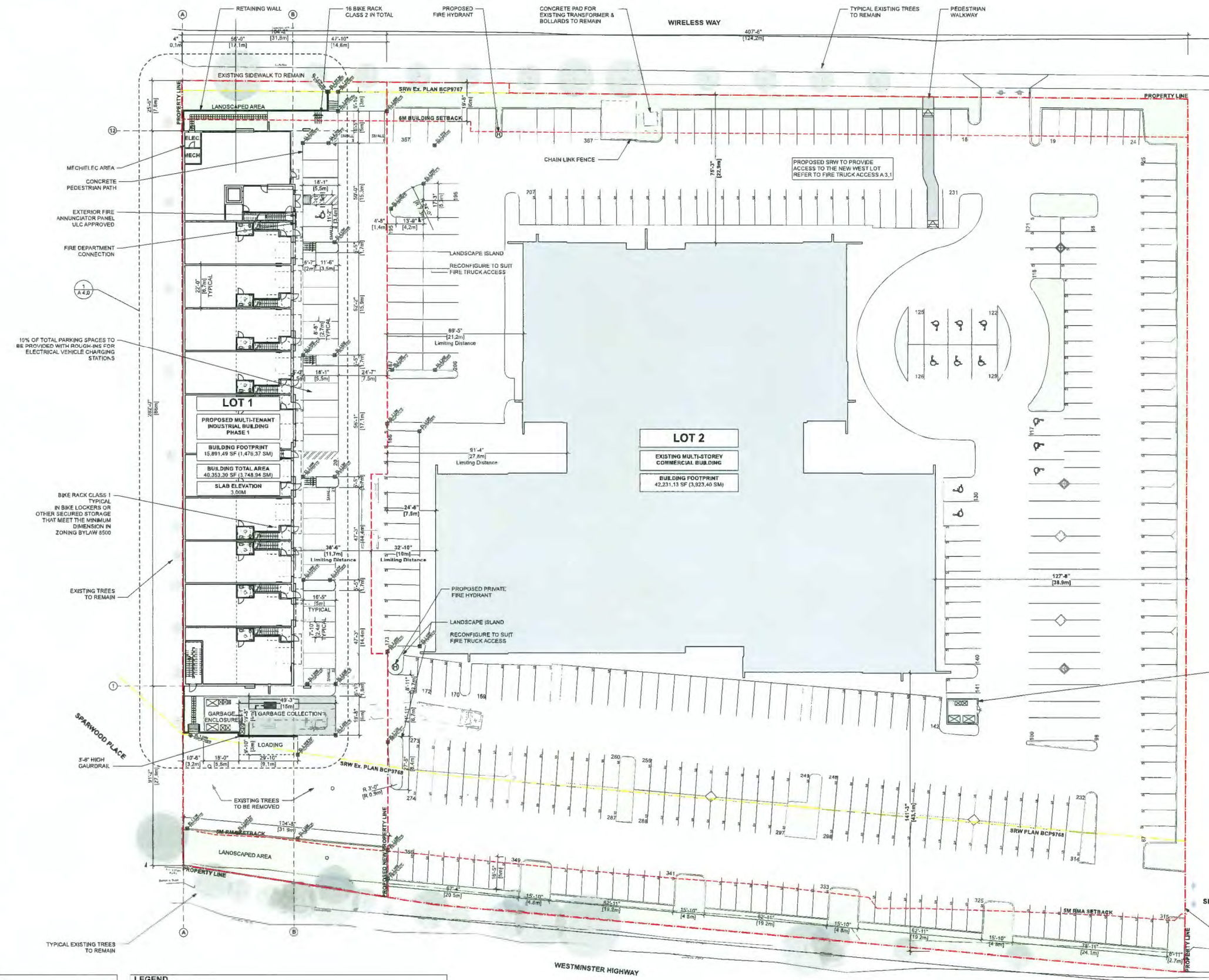
NO.	DATE	ISSUANCE
1	2021 10 15	ISSUED FOR DP
2	2023 05 15	REISSUED FOR DP
3	2023 10 16	ISSUED FOR COORDINATION
4	2023 10 17	ISSUED FOR COORDINATION
5	2023 11 09	REISSUED FOR DP
6	2023 11 22	REISSUED FOR DP
7	2023 12 01	REISSUED FOR DP

PROJECT DATA A1.0

DRAWN ES SCALE NTS FILE 2103
CHECKED KC

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DP 21-943418
DECEMBER 18, 2023
PLAN # 1.A



RETAINING WALL
 16 BIKE RACK CLASS 2 IN TOTAL
 PROPOSED FIRE HYDRANT
 CONCRETE PAD FOR EXISTING TRANSFORMER & BOLLARDS TO REMAIN
 WIRELESS WAY
 TYPICAL EXISTING TREES TO REMAIN
 PEDESTRIAN WALKWAY
 EXISTING SIDEWALK TO REMAIN
 SRW Ex. PLAN BCP9767
 SM BUILDING SETBACK
 CHAIN LINK FENCE
 PROPOSED SRW TO PROVIDE ACCESS TO THE NEW WEST LOT REFER TO FIRE TRUCK ACCESS A.3.1

LOT 1
 PROPOSED MULTI-TENANT INDUSTRIAL BUILDING PHASE 1
 BUILDING FOOTPRINT 15,891.49 SF (1,476.37 SM)
 BUILDING TOTAL AREA 40,353.30 SF (3,748.94 SM)
 SLAB ELEVATION 3.50M

LOT 2
 EXISTING MULTI-STOREY COMMERCIAL BUILDING
 BUILDING FOOTPRINT 42,231.13 SF (3,923.40 SM)

MECH/ELEC AREA
 CONCRETE PEDESTRIAN PATH
 EXTERIOR FIRE ANNUNCIATOR PANEL ULC APPROVED
 FIRE DEPARTMENT CONNECTION
 10% OF TOTAL PARKING SPACES TO BE PROVIDED WITH ROUGH-INS FOR ELECTRICAL VEHICLE CHARGING STATIONS

BIKE RACK CLASS 1 TYPICAL IN BIKE LOCKERS OR OTHER SECURED STORAGE THAT MEET THE MINIMUM DIMENSION IN ZONING BYLAW 8500

EXISTING TREES TO REMAIN
 SPARWOOD PLACE
 3'-6" HIGH GAUDDRAL

EXISTING TREES TO BE REMOVED
 SRW Ex. PLAN BCP9768
 R 3'-0" (0.91M)

TYPICAL EXISTING TREES TO REMAIN
 WESTMINSTER HIGHWAY

GARBAGE AREA FOR THE EXISTING BUILDING

SPARWOOD PLACE

EXISTING ACCESS TO REMAIN

PROFESSIONAL SEAL
 CLIENT



PROJECT 2103
 NEW DEVELOPMENT FOR
Symphony Hill Corporate Centre 2

LIGHT INDUSTRIAL MULTI-TENANT
 13888 WIRELESS WAY
 RICHMOND BC

NO.	DATE	ISSUANCE
1	2021 10 15	ISSUED FOR DP
2	2023 04 18	ISSUED FOR REVIEW
3	2023 04 21	ISSUED FOR COORDINATION
4	2023 05 15	REISSUED FOR DP
5	2023 10 16	ISSUED FOR COORDINATION
6	2023 10 17	ISSUED FOR COORDINATION
7	2023 11 07	ISSUED FOR COORDINATION
8	2023 11 09	REISSUED FOR DP
9	2023 11 22	REISSUED FOR DP
10	2023 12 01	REISSUED FOR DP

GENERAL NOTES
 - SURVEY INFORMATION AND ELEVATIONS GRADES ARE BASED ON THE SURVEY DRAWING PREPARED BY TARGET LAND SURVEYING FILE N243-TOPO-R1

NOTES
 - ALL DIMENSIONS SHALL BE VERIFIED ON SITE PRIOR TO CONSTRUCTION
 - PROVIDE ROUGH-INS FOR EXTERNAL EV CHARGERS

LEGEND

	- EXISTING BUILDING		- LOADING ZONE AND GARBAGE STAGING AREA
	- EXISTING TO REMAIN		- PAINTED STRIP SIGN ON FLOOR
	- PROPOSED BUILDING		- CONCRETE SIDEWALK
	- PROPOSED NEW LANDSCAPE		

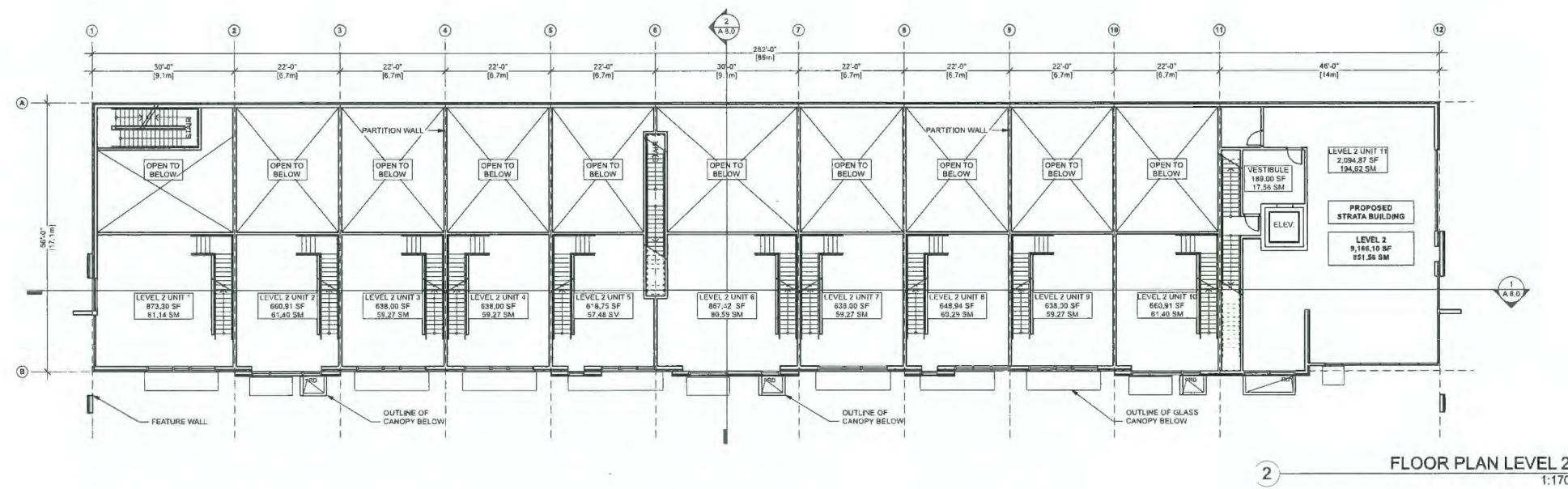
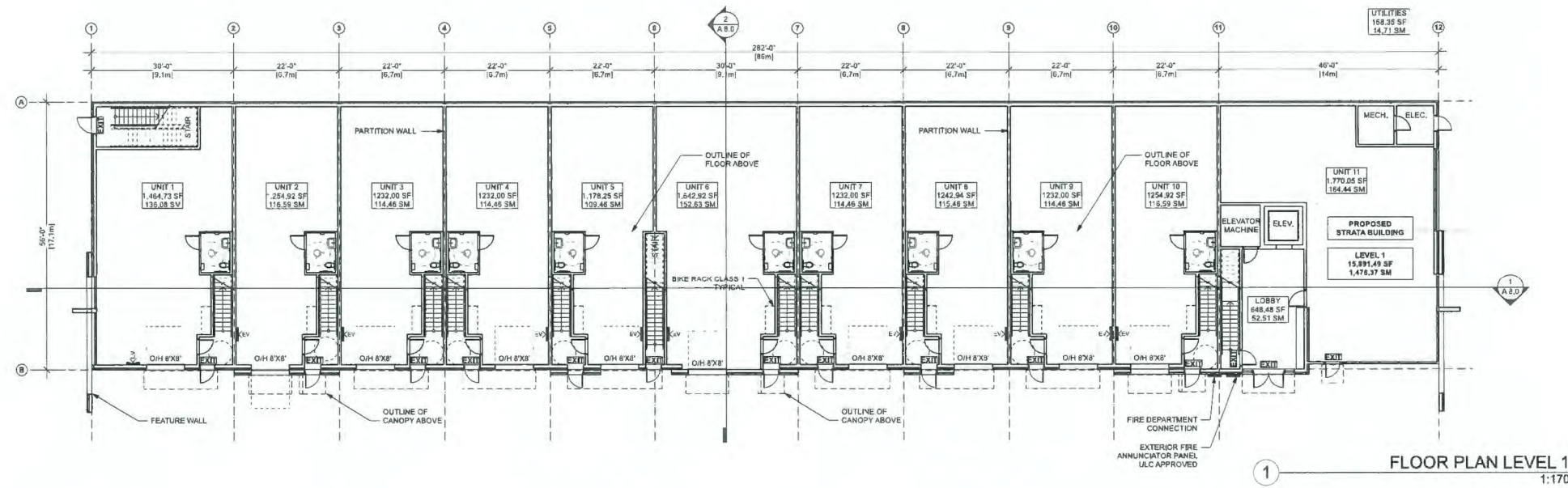
1 SITE PLAN 1:300

DP 21-943418
DECEMBER 18, 2023
PLAN # 1.B

SITE PLAN A3.0

DRAWN ES CHECKED: KC SCALE 1:300 F.E.E. 2103

THIS DRAWING IS A COPY RIGHT INSTRUMENT OF SERVICE AND SHALL BE THE PROPERTY OF THE CONSULTANT. ALL INFORMATION ON THIS DRAWING IS CONFIDENTIAL AND IS NOT TO BE USED OR REPRODUCED IN ANY MANNER WITHOUT WRITTEN PERMISSION FROM THE CONSULTANT. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS SHALL NOT BE BASED ON THE LOCATION OF WALLS AND ALL DIMENSIONS FOR ALL DIMENSIONS SHALL BE BASED ON THE CENTERLINE OF THE WALLS. THE CONTRACTOR SHALL ENSURE THAT ALL DIMENSIONS ARE CORRECTED TO REFLECT THE ACTUAL CONSTRUCTION. IN ALL CASES THE BURDEN FOR CORRECTING ANY DISCREPANCIES AND OMISSIONS SHALL BE RESTRICTED TO THE CONSULTANT PRIOR TO COMMENCING CONSTRUCTION. IN ALL CASES THE BURDEN FOR CORRECTING ANY DISCREPANCIES AND OMISSIONS SHALL BE RESTRICTED TO THE CONSULTANT PRIOR TO COMMENCING CONSTRUCTION. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS THAT ARE NOT IDENTIFIED BY THE CONSULTANT PRIOR TO COMMENCING CONSTRUCTION. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS THAT ARE NOT IDENTIFIED BY THE CONSULTANT PRIOR TO COMMENCING CONSTRUCTION. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS THAT ARE NOT IDENTIFIED BY THE CONSULTANT PRIOR TO COMMENCING CONSTRUCTION.



PROFESSIONAL SEAL
CLIENT



PROJECT 2103
 NEW DEVELOPMENT FOR
Symphony Hill Corporate Centre 2
 LIGHT INDUSTRIAL
 MULTI-TENANT
 13888 WIRELESS WAY
 RICHMOND BC

NO.	DATE	ISSUANCE
1	2021 10 15	ISSUED FOR DP
2	2023 05 15	REISSUED FOR DP
3	2023 10 16	ISSUED FOR COORDINATION
4	2023 11 09	REISSUED FOR DP
5	2023 12 01	REISSUED FOR DP

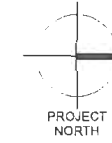
NOTES
 -ALL DIMENSIONS SHALL BE VERIFIED ON SITE
 PRIOR TO CONSTRUCTION

LEVEL 1 & 2 A4.0

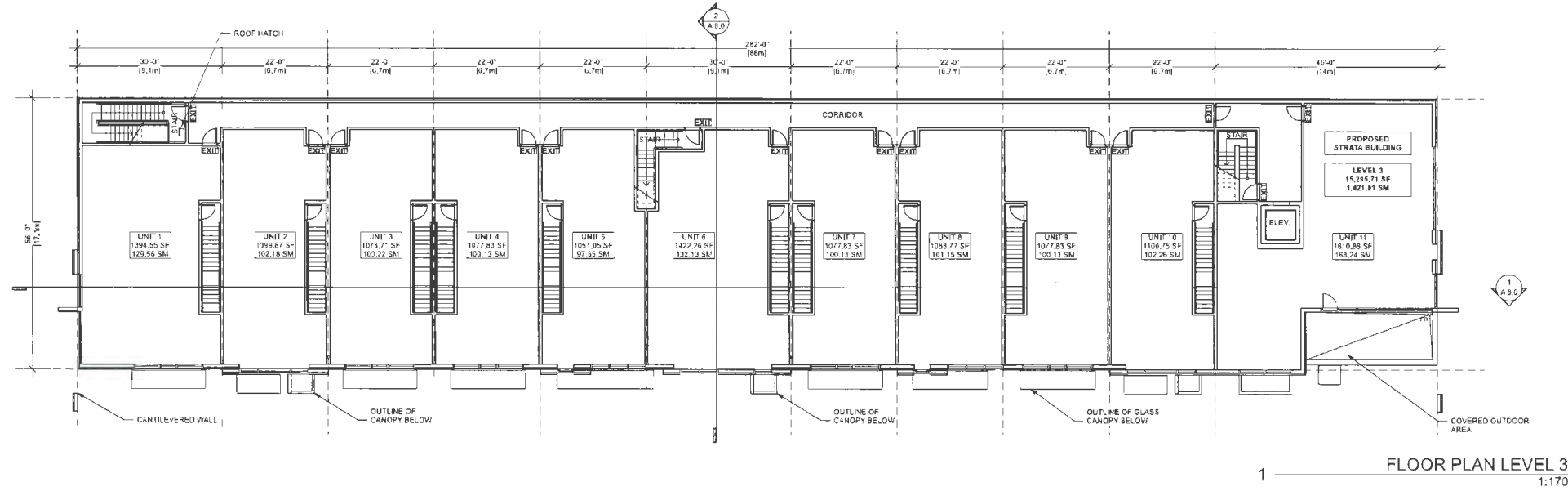
DRAWN ES CHECKED KC SCALE 1:170 P.B.E. 2103

DP 21-943418
DECEMBER 18, 2023
PLAN # 1.C

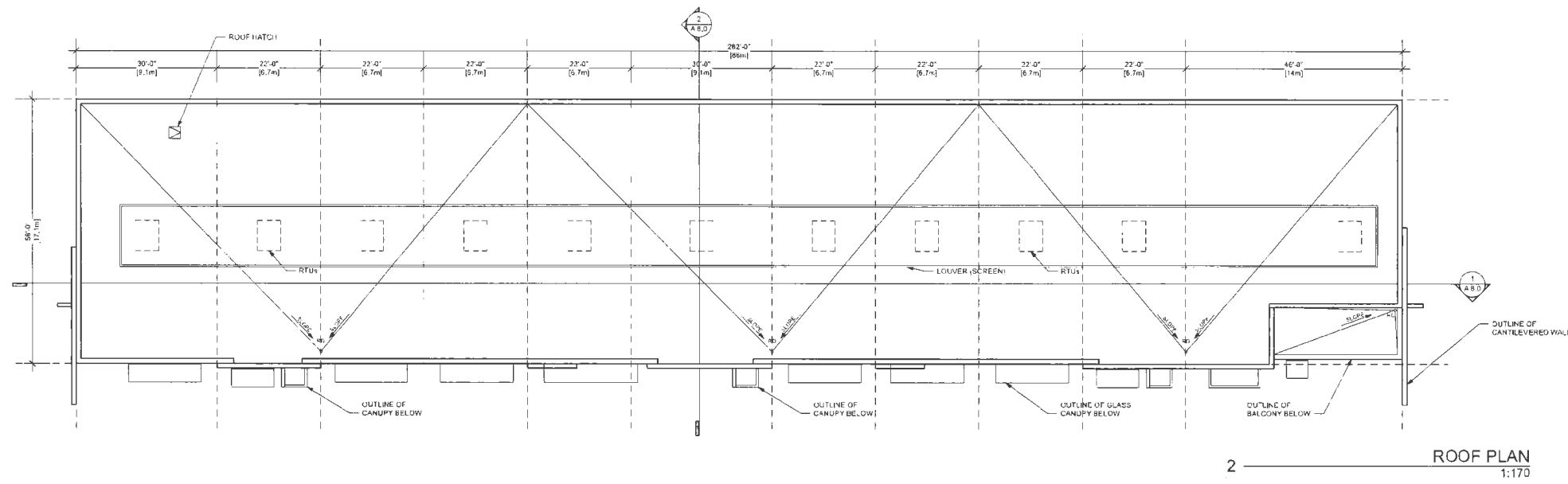
THIS DRAWING IS A COPY RIGHT INSTRUMENT OF TRADE AND MAKING THE PRESENCE OF THIS DRAWING ON ANY OTHER DRAWING OR THE REPRODUCTION OF THIS DRAWING IN ANY MANNER WITHOUT WRITTEN PERMISSION FROM THE CONSULTANT WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DRAWINGS SHALL NOT BE SCALE. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ALL DIMENSIONS AND MATERIALS PROVIDED TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSULTANT PRIOR TO COMMENCING CONSTRUCTION. IN ALL CASES THE DESIGN FOR CONSTRUCTION, LATEST REVISION OF THE DRAWING SHALL BE USED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PREVIOUS ISSUES OF THE DRAWING AND THE CONTRACTOR SHALL BE RESPONSIBLE TO THE LATEST REVISION AND USED FOR REFERENCE PURPOSES. THE CONTRACTOR SHALL CONFORM WITH THE LATEST EDITION OF ALL LOCAL BUILDING CODES AND APPLICABLE CODES AND REGULATIONS.



KCC Architecture & Design Ltd.
 Unit 309-15-001, 15-001 Street, Surrey, BC V4L 2T3
 kccarchitecture.com
 TEL: 604-273-3712



1 FLOOR PLAN LEVEL 3
1:170



2 ROOF PLAN
1:170

NOTES
 - ALL DIMENSIONS SHALL BE VERIFIED ON SITE
 PRIOR TO CONSTRUCTION

PROFESSIONAL SEAL
 CLIENT



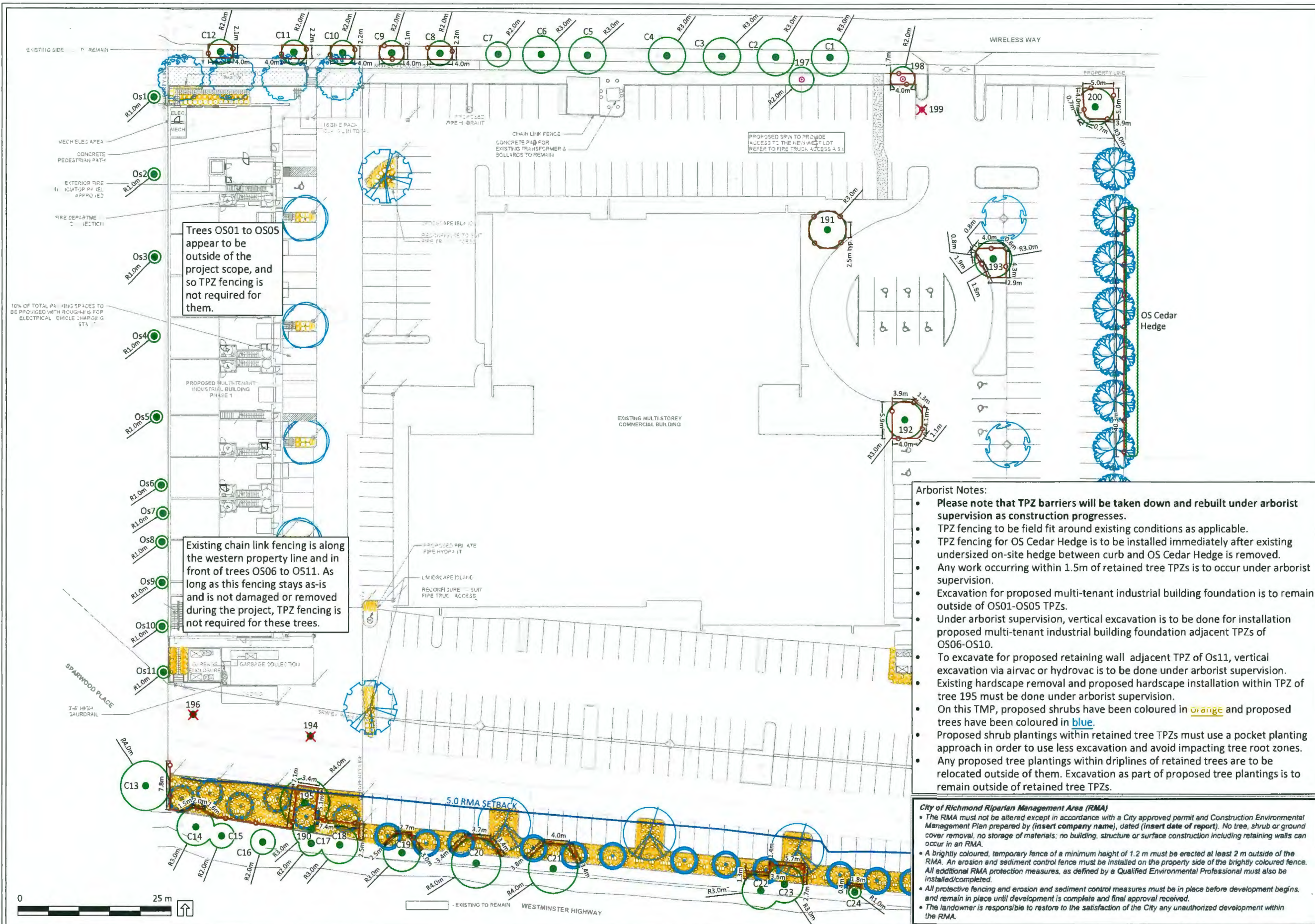
PROJECT 2103
 NEW DEVELOPMENT FOR
Symphony Hill Corporate Center 2
 LIGHT INDUSTRIAL
 MULTI-TENANT
 13888 WIRELESS WAY
 RICHMOND BC

NO.	DATE	ISSUANCE
1	2021-10-15	ISSUED FOR DP
2	2022-05-15	REISSUED FOR DP
3	2022-10-15	ISSUED FOR COORDINATION
4	2023-11-03	REISSUED FOR DP
5	2023-12-01	REISSUED FOR DP

LEVEL 3 & ROOF A4.1

DP 21-943418
 DECEMBER 18, 2023
 PLAN # 1.D

CREATED BY: [Name] SCALE: 1:170 DATE: 2103
 CHECKED BY: [Name]
 THIS DOCUMENT IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN APPROVAL OF KCC ARCHITECTURE & DESIGN LTD. ANY CHANGES TO THIS DOCUMENT SHALL BE MADE BY A REVISION TO THIS DOCUMENT. THE CLIENT ACCEPTS THE DESIGN AND ASSUMES ALL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



LEGEND

- CRITICAL ROOT ZONE
- TREE PROTECTION FENCING
- SURVEYED TREE TO BE RETAINED
- UN-SURVEYED TREE TO BE RETAINED
- SURVEYED TREE TO BE REMOVED
- UN-SURVEYED TREE TO BE REMOVED

NOTES

1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
2. All tree protection fencing must be built to the relevant municipal bylaw specifications.
3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the center of the tree.
4. Any construction activities or grade changes within the Root Protection Zone must be approved by the project arborist.
5. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and design drawings provided to Diamond Head Consulting.
6. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and design drawings.

Arborist Notes:

- Please note that TPZ barriers will be taken down and rebuilt under arborist supervision as construction progresses.
- TPZ fencing to be field fit around existing conditions as applicable.
- TPZ fencing for OS Cedar Hedge is to be installed immediately after existing undersized on-site hedge between curb and OS Cedar Hedge is removed.
- Any work occurring within 1.5m of retained tree TPZs is to occur under arborist supervision.
- Excavation for proposed multi-tenant industrial building foundation is to remain outside of OS01-OS05 TPZs.
- Under arborist supervision, vertical excavation is to be done for installation proposed multi-tenant industrial building foundation adjacent TPZs of OS06-OS10.
- To excavate for proposed retaining wall adjacent TPZ of Os11, vertical excavation via airvac or hydrovac is to be done under arborist supervision.
- Existing hardscape removal and proposed hardscape installation within TPZ of tree 195 must be done under arborist supervision.
- On this TMP, proposed shrubs have been coloured in orange and proposed trees have been coloured in blue.
- Proposed shrub plantings within retained tree TPZs must use a pocket planting approach in order to use less excavation and avoid impacting tree root zones.
- Any proposed tree plantings within driplines of retained trees are to be relocated outside of them. Excavation as part of proposed tree plantings is to remain outside of retained tree TPZs.

City of Richmond Riparian Management Area (RMA)

- The RMA must not be altered except in accordance with a City approved permit and Construction Environmental Management Plan prepared by (insert company name), dated (insert date of report). No tree, shrub or ground cover removal, no storage of materials, no building, structure or surface construction including retaining walls can occur in an RMA.
- A brightly coloured, temporary fence of a minimum height of 1.2 m must be erected at least 2 m outside of the RMA. An erosion and sediment control fence must be installed on the property side of the brightly coloured fence. All additional RMA protection measures, as defined by a Qualified Environmental Professional must also be installed/completed.
- All protective fencing and erosion and sediment control measures must be in place before development begins, and remain in place until development is complete and final approval received.
- The landowner is responsible to restore to the satisfaction of the City any unauthorized development within the RMA.

REFERENCE DRAWINGS

1. Topographic Survey provided by the client, prepared by Target Land Surveying Ltd. (March 1st, 2021).
2. Site Plan by KCC Architecture & Design Ltd. dated 2023-11-07.
3. L-1 Landscape Plan (Rev No. 4) by C. Kavolinas & Associates Inc. dated Nov/23.



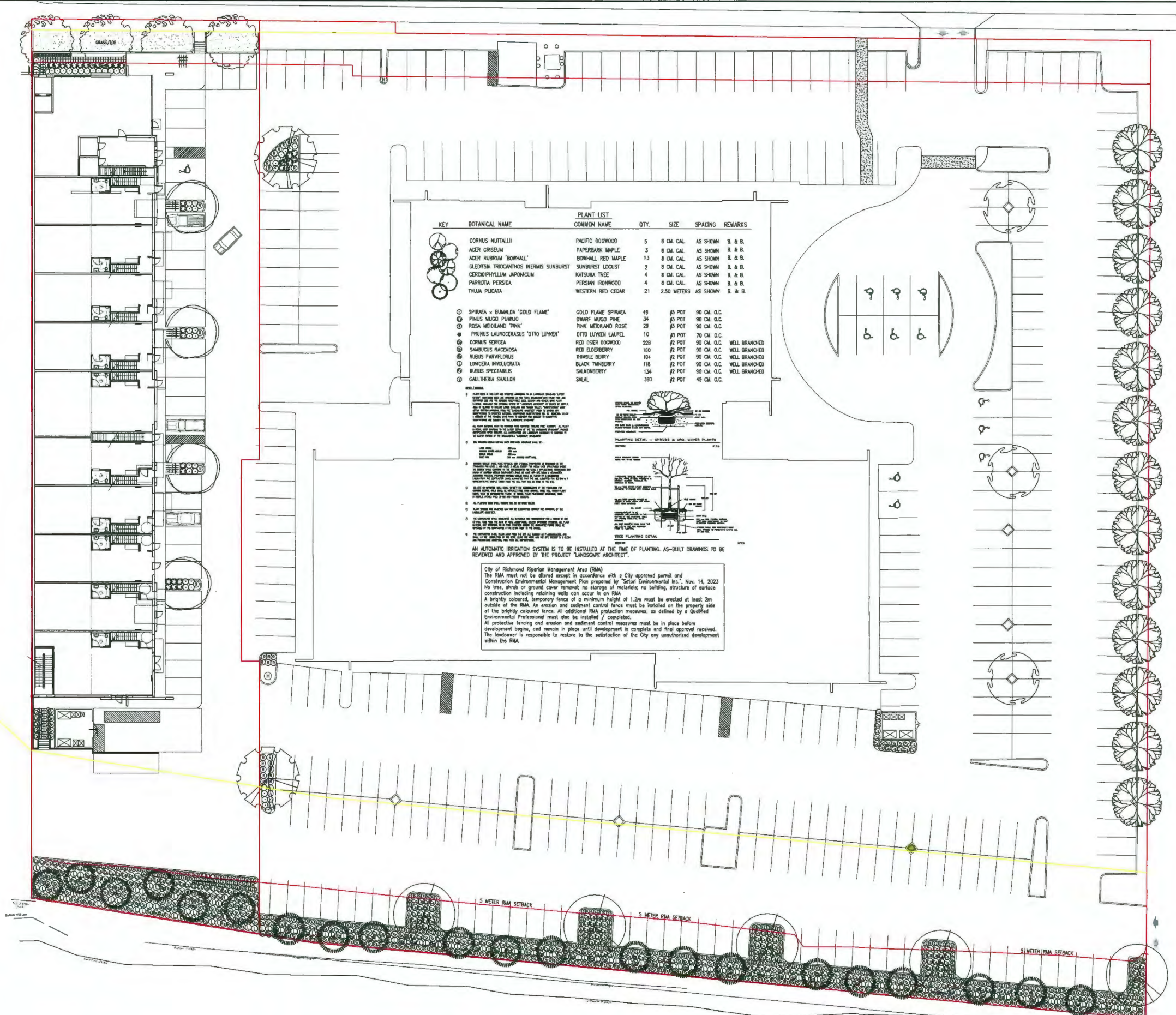
3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886

Drawing title: Tree Management Plan
Project address: 13888 Wireless Way, Richmond
Client: Titan Construction

DP 21-943418
DECEMBER 18, 2023
PLAN # 2

Drawing No: 002
Date: 2023/11/24
Drawn by: DBE
Page Size: TABLOID 11"x17"

Page #
1 of 1



KEY	BOTANICAL NAME	PLANT LIST COMMON NAME	QTY.	SIZE	SPACING	REMARKS
○	CORNUS MUTABILIS	PACIFIC DOGWOOD	5	8 CM. CAL.	AS SHOWN	B. & B.
○	ACER GRiseum	PAPERBARK MAPLE	3	8 CM. CAL.	AS SHOWN	B. & B.
○	ACER RUBRUM 'BONHALL'	BONHALL RED MAPLE	13	8 CM. CAL.	AS SHOWN	B. & B.
○	GLEDITSIA TRICANTHOS INERMIS SUNBURST	SUNBURST LOCUST	2	8 CM. CAL.	AS SHOWN	B. & B.
○	CERODIPHYLLUM JAPONICUM	KATSURA TREE	4	8 CM. CAL.	AS SHOWN	B. & B.
○	PARROTIA PERSICA	PERSIAN IRONWOOD	4	8 CM. CAL.	AS SHOWN	B. & B.
○	THUJA PLICATA	WESTERN RED CEDAR	21	2.50 METERS	AS SHOWN	B. & B.
○	SPIRAEA x BUNALDA 'GOLD FLAME'	GOLD FLAME SPIRAEA	49	Ø3 POT	90 CM. O.C.	
○	PNUS MUGO PUMILO	DWARF MUGO PINE	34	Ø3 POT	90 CM. O.C.	
○	ROSA MEDIANA 'PINK'	PINK MEDIANA ROSE	29	Ø3 POT	90 CM. O.C.	
○	FRAXINUS LAURICEAEASIS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	110	Ø3 POT	70 CM. O.C.	
○	CORNUS SCORICA	RED ELDERBERRY	228	Ø2 POT	90 CM. O.C.	WELL BRANCHED
○	SAMBUCUS RACEMOSA	RED ELDERBERRY	160	Ø2 POT	90 CM. O.C.	WELL BRANCHED
○	RUBUS PARVIFLORUS	THIMBLE BERRY	104	Ø2 POT	90 CM. O.C.	WELL BRANCHED
○	LONICERA HYDROLYATA	BLACK THIMBERRY	118	Ø2 POT	90 CM. O.C.	WELL BRANCHED
○	RUBUS SPECTABILIS	SALMONBERRY	134	Ø2 POT	90 CM. O.C.	WELL BRANCHED
○	GAELTHERIA SHALLEN	SALAL	380	Ø2 POT	45 CM. O.C.	

NOTES:

1. ALL PLANTING IS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF RICHMOND RIPARIAN MANAGEMENT AREA (RMA) REGULATIONS. THE RMA REGULATIONS REQUIRE THAT ALL PLANTING BE INSTALLED WITHIN A 5 METER SETBACK FROM THE RMA BOUNDARY. THE RMA BOUNDARY IS SHOWN AS A RED LINE ON THIS PLAN. THE RMA REGULATIONS REQUIRE THAT ALL PLANTING BE INSTALLED WITHIN A 5 METER SETBACK FROM THE RMA BOUNDARY. THE RMA REGULATIONS REQUIRE THAT ALL PLANTING BE INSTALLED WITHIN A 5 METER SETBACK FROM THE RMA BOUNDARY.
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6. ALL PLANTING IS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF RICHMOND RIPARIAN MANAGEMENT AREA (RMA) REGULATIONS. THE RMA REGULATIONS REQUIRE THAT ALL PLANTING BE INSTALLED WITHIN A 5 METER SETBACK FROM THE RMA BOUNDARY. THE RMA BOUNDARY IS SHOWN AS A RED LINE ON THIS PLAN. THE RMA REGULATIONS REQUIRE THAT ALL PLANTING BE INSTALLED WITHIN A 5 METER SETBACK FROM THE RMA BOUNDARY.
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AN AUTOMATIC IRRIGATION SYSTEM IS TO BE INSTALLED AT THE TIME OF PLANTING. AS-BUILT DRAWINGS TO BE REVIEWED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.

City of Richmond Riparian Management Area (RMA)
The RMA must not be altered except in accordance with a City approved permit and Construction Environmental Management Plan prepared by "Satori Environmental Inc.", Nov. 14, 2023. No tree, shrub or ground cover removal; no storage of materials; no building, structure or surface construction including retaining walls can occur in an RMA. A brightly coloured, temporary fence of a minimum height of 1.2m must be erected at least 2m outside of the RMA. An erosion and sediment control fence must be installed on the property side of the RMA. All protective fencing and erosion and sediment control measures must be in place before development begins, and remain in place until development is complete and final approval received. The landowner is responsible to restore to the satisfaction of the City any unauthorized development within the RMA.

DEC/23	RICHMOND COMMENTS	5
NOV/23	RICHMOND COMMENTS	4
NOV/23	REVISED SITE PLAN	3
APR/23	REVISED SITE PLAN	2
FEB/23	REVISED SITE PLAN	1
DATE	REVISIONS	NO.

C.KAVOLINAS & ASSOCIATES INC.
BCSLA CSLA
2462 JONGUIL COURT
ABBOTSFORD, B.C.
V3C 3E8
PHONE (604) 857-2376

CLIENT:
TITAN CONSTRUCTION COMPANY LTD.
ATTENTION: RICHARD COLEMAN
UNIT 1A
27355 GLOUCESTER WAY
LANGLEY, B.C.
V4W 3Z8
DP 21-943418
DECEMBER 18, 2023
PLAN# 2.A

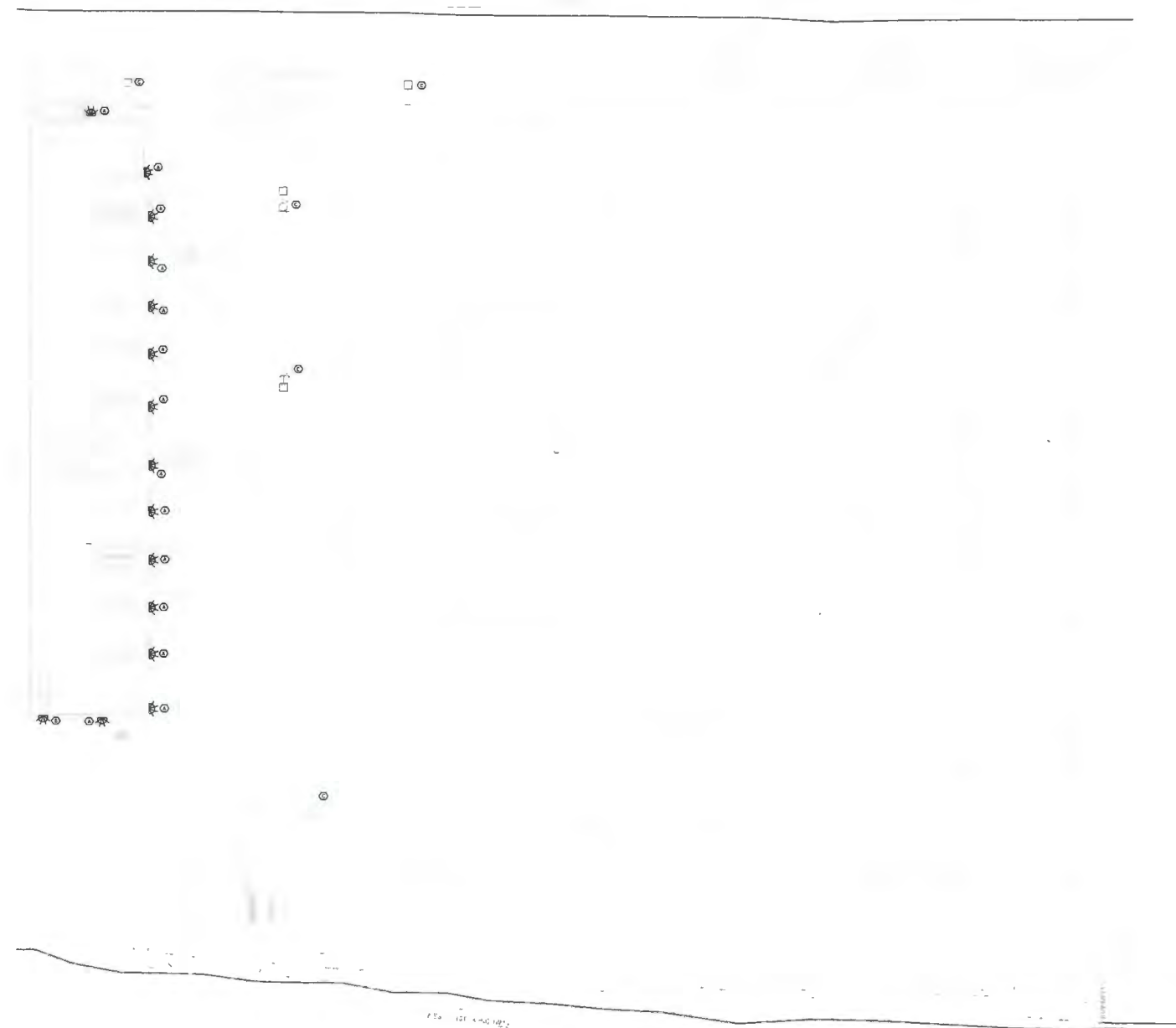
TITLE
PLAN VIEW
LANDSCAPE PLAN
LIGHT INDUSTRIAL
MULT-TENANT BLDG
13888 WIRELESS WAY
RICHMOND, B.C.

SCALE	1:250	DATE	SEP/21
DRAFT	CHK'D		
ENCL	CHK'D		
APPROV	AS BUILT		

PRINTED
JOB No.
DRAWING No.
L-1

LIGHTING FIXTURE SCHEDULE		
FIXTURE TYPE	LAMP	MOUNTING
① LITHONIA #WSR LED P2 SR4 40K MVOLT	29.2W LED, 4000K	SURFACE WALL #13'AFF
② LITHONIA #WSR LED P1 SR4 40K MVOLT	20W LED, 4000K	SURFACE WALL #8'AFF
③ E. EXISTING POLE MOUNT LIGHT TO REMAIN	---	---

NOTES:
 FIXTURES TO BE AS SPECIFIED OR APPROVED EQUAL



SITE PLAN - ELECTRICAL
 SCALE: 1:400

1 05/02/2023 ISSUED FOR SITE LIGHTING

NO. DATE (M/M/Y) DESCRIPTION

ISSUES & REVISIONS:

SEAL:

PROJECT NAME:
 SYMPHONY HILL CORPORATE
 CENTRE 2

PROJECT #: 1072-23

PROJECT ADDRESS:
 13388 WIRELESS WAY,
 RICHMOND, BC

DATE: MAY-01-2023

DSN: JK CHK: JK

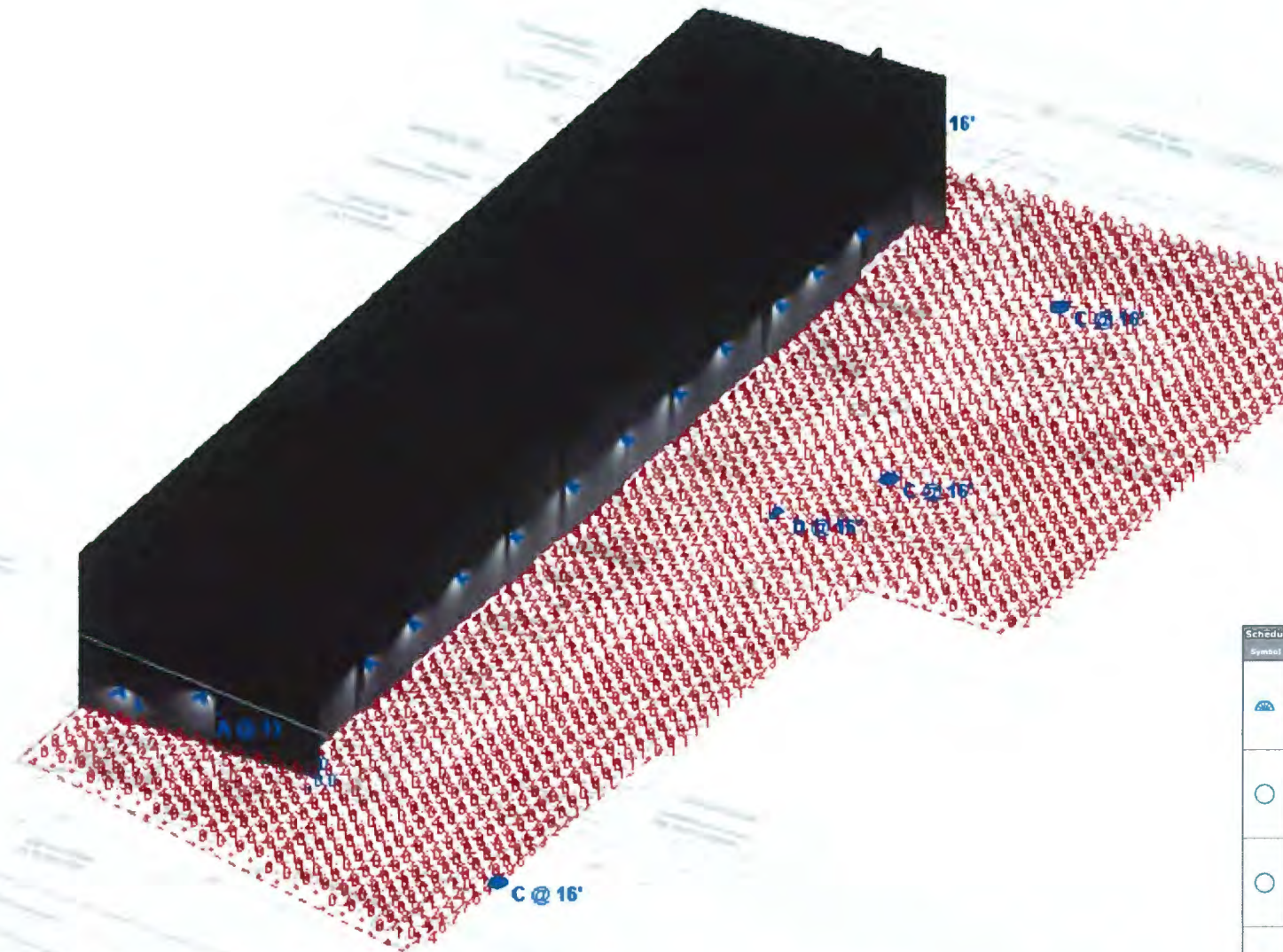
SCALE: AS NOTED

DRAWING TITLE:
 SITE PLAN - ELECTRICAL

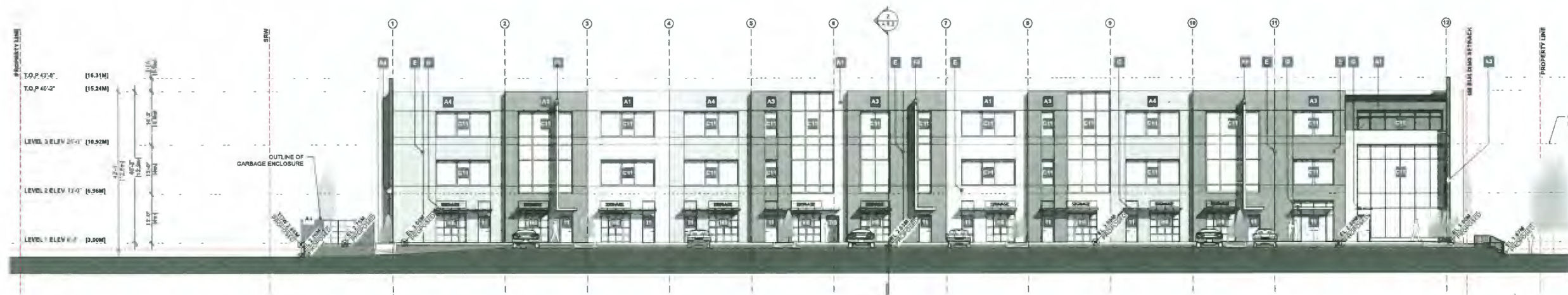
DRAWING #: E-1.1

DP 21-943418
 DECEMBER 18, 2023
 PLAN# 3

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 ENGINEER AND MAY NOT BE COPIED OR DISTRIBUTED
 WITHOUT WRITTEN CONSENT



Schedule											
Symbol	Label	Image	Qty	Manufacturer	Category	Description	Number	Lamp Output	LLF	Input Power	Notes
	A		13	Lithonia Lighting	WSQ LED P2 SR4 40K HVOLT	WSQ LED WITH P2-PERFORMANCE PACKAGE, 4000K, AND SR4 OPTIC TYPE	1	3053	0.9	29.17	 Max: 1997cd
	D		2	Lithonia Lighting	RADPT P4 40K PATH HS	RADFAIR Post-Top with P4 4000K Pathway distribution with house-side shield	1	8260	0.9	85,578.2	 Max: 3763cd
	C		3	Lithonia Lighting	RADPT P3 40K SYM	RADFAIR Post-Top with P3 4000K Symmetric distribution	1	7303	0.9	53,618.4	 Max: 2010cd
	B		1	Lithonia Lighting	WSQ LED P1 SR4 40K HVOLT	WSQ LED WITH P1-PERFORMANCE PACKAGE, 4000K, AND SR4 OPTIC TYPE	1	2190	1	19.56	 Max: 1432cd



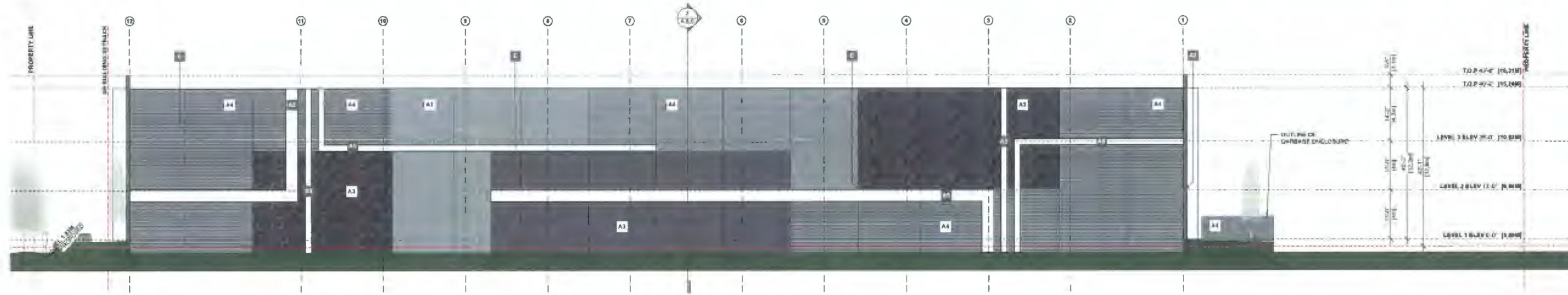
1 EAST BUILDING ELEVATION
1:170

PROFESSIONAL SEAL
CLIENT



PROJECT 2103
 NEW DEVELOPMENT FOR
Symphony Hill Corporate Center 2
 LIGHT INDUSTRIAL
 MULTI-TENANT
 13888 WIRELESS WAY
 RICHMOND BC

NO.	DATE	ISSUANCE
1	2021 10 15	ISSUED FOR DP
2	2023 04 18	ISSUED FOR REVIEW
3	2023 05 15	REISSUED FOR DP
4	2023 10 18	ISSUED FOR COORDINATION
5	2023 11 09	REISSUED FOR DP
6	2023 12 01	REISSUED FOR DP



2 WEST BUILDING ELEVATION
1:170

NOTES
 - ALL DIMENSIONS SHALL BE VERIFIED ON SITE PRIOR TO CONSTRUCTION
 - FOR CANOPES DIMENSIONS REFER TO FLOOR PLANS

MATERIAL LEGEND

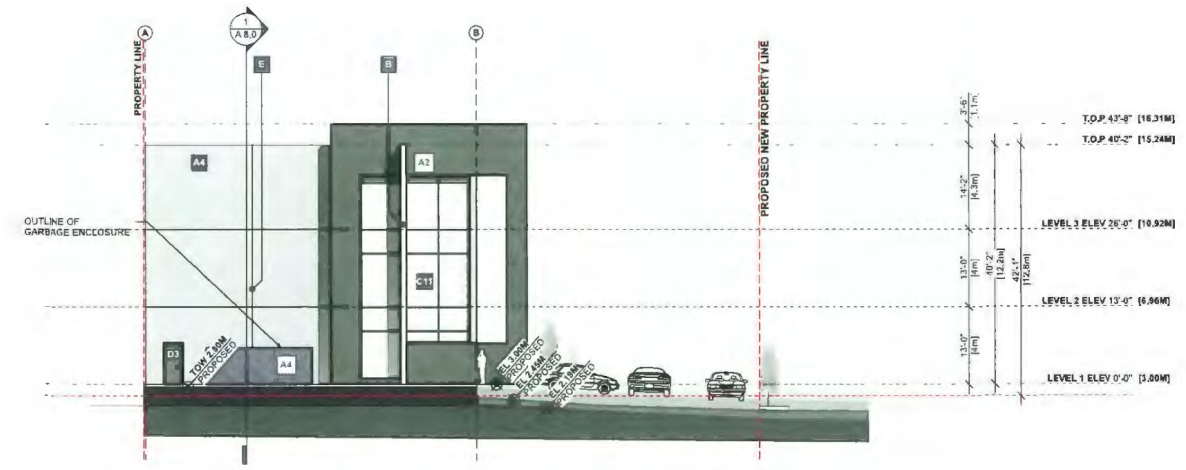
A INSULATED TILT-UP CONCRETE PANEL PAINTED	F PANEL JOINT
B CANTILEVERED WALL	G FEATURED CANOPY
C CURTAIN WALL	H LAMINATED TEMPERED GLASS CANOPY
D STEEL FRAME HOLLOW METAL DOOR	I INSULATED GLASS OVERHEAD DOOR

COLOUR LEGEND

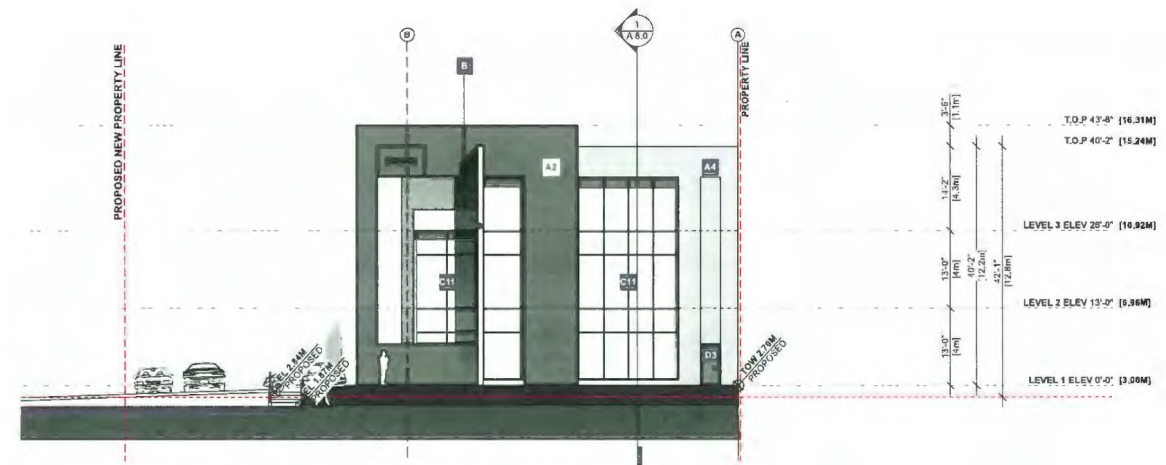
1 BENJAMIN MOORE ALABAMA HUBBY 1479	6 BENJAMIN MOORE WHITE OPULENCE OC-69	11 VICWEST DEEP METAL CLADDING VICWEST CRY OYSTER 3-CRY-50
2 BENJAMIN MOORE JALAPENO PEPPER 2147-30	7 DELETED	12 BLACK ALUMINUM FRAME & TRANSPARENT DOUBLE GLASS UNIT
3 BENJAMIN MOORE ASHWOOD MOSS 1484	8 DELETED	
4 BENJAMIN MOORE SABRE GRAY 1482	9 VICWEST METAL CLADDING EWH WHITE 3-EW470	

ELEVATIONS A7.0

DRAWN ES
 CHECKED KC
 SCALE 1/170
 FILE 2103
DP 21-943418
DECEMBER 18, 2023
PLAN # 4



1 SOUTH BUILDING ELEVATION
1:170



2 NORTH BUILDING ELEVATION
1:170

PROFESSIONAL SEAL
CLIENT



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MATERIAL LEGEND

A INSULATED TILT-UP CONCRETE PANEL PAINTED	E PANEL JOINT
C CANTILEVERED WALL	F FEATURED CANOPY
C CURTAIN WALL	G LAMINATED TEMPERED GLASS CANOPY
D STEEL FRAME HOLLOW METAL DOOR	H INSULATED GLASS OVERHEAD DOOR

COLOUR LEGEND

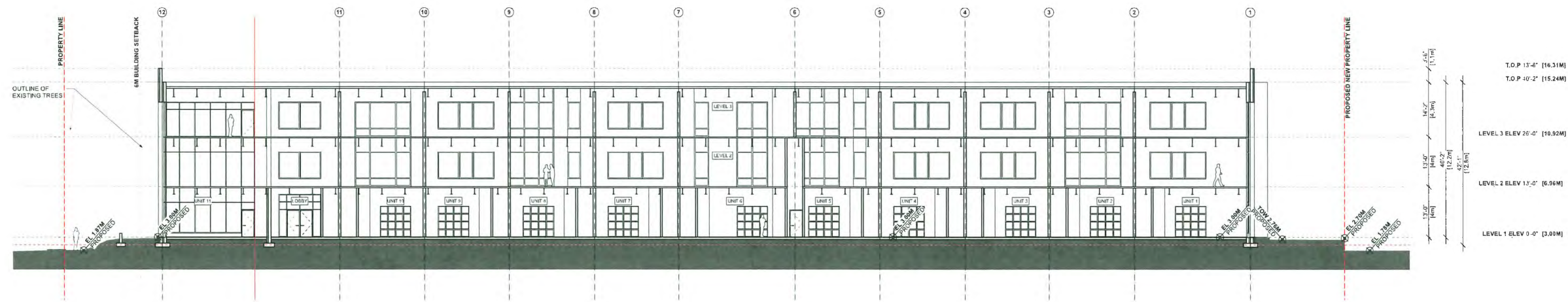
1 BENJAMIN MOORE VINTAGE TAUPÉ 2113-70	3 BENJAMIN MOORE GRAY SHOWER 2125-30	8 VICWESTDEEP METAL CLADDING CNC CHARCOAL 3-CNC-30
2 BENJAMIN MOORE BLACK JACK 2133-20	4 BENJAMIN MOORE STORMY MONDAY 2112-60	9 VICWESTDEEP METAL CLADDING VICWEST CRY OYSTER 3-CRY-50
3 BENJAMIN MOORE BABY SEAL BLACK 2119-30	5 BENJAMIN MOORE RUBY RED 2001-10	10 BLACK ALUMINUM FRAME & TRANSPARENT DOUBLE GLASS UNIT
4 BENJAMIN MOORE DIOR GRAY 2-33-40	6 BENJAMIN MOORE EWH WHITE 3-EWH-70	

ELEVATIONS A7.1

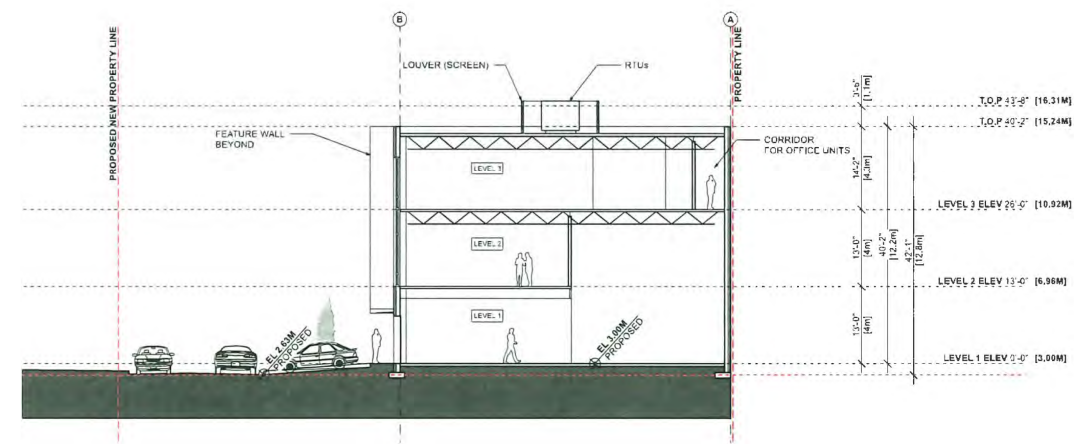
DRAWN ES CHECKED KC SCALE 1:170 FILE 2103

DP 21-943418
DECEMBER 18, 2023
PLAN # 4.A

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SECTION 1
1:170



SECTION 2
1:170

NOTES
 - ALL DIMENSIONS SHALL BE VERIFIED ON SITE PRIOR TO CONSTRUCTION

PROFESSIONAL SEAL
 CLIENT



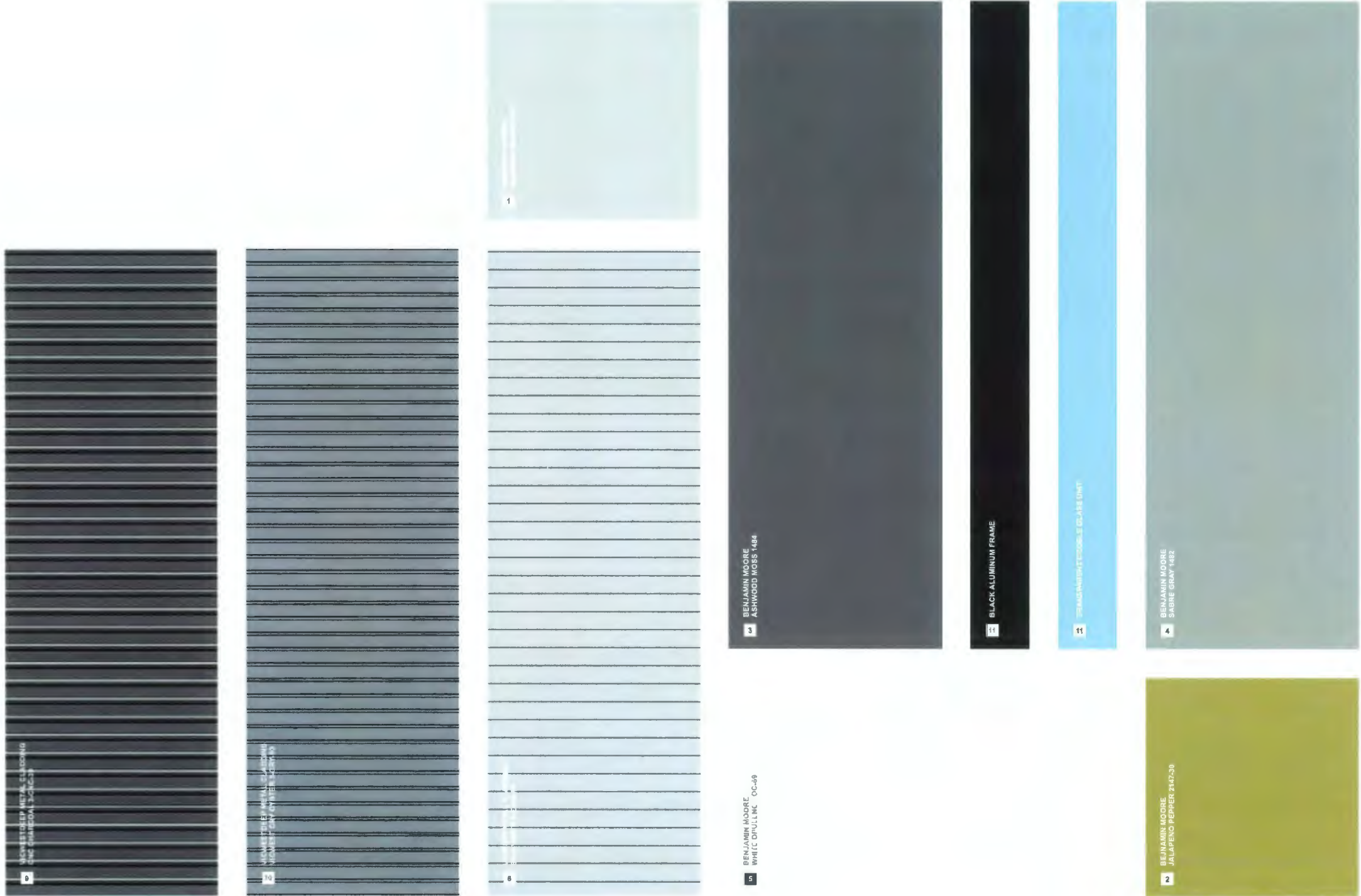
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4	2023 10 17	ISSUED FOR COORDINATION
5	2023 11 09	REISSUED FOR UH
6	2023 12 01	REISSUED FOR DP

SECTIONS A8.0

DRAWN: ES
 CHECKED: ES
 SCALE: 1/4" = 1'-0"
 FILE: 2103

DP 21-943418
DECEMBER 18, 2023
PLAN # 4.B



PROFESSIONAL SEAL
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4	2023 11 09	REISSUED FOR OP
5	2023 12 01	REISSUED FOR OP

FINISHES BOARD A10.1

DRAWN ES SCALE HTS FILE 2103
 CHECKED AC
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DECEMBER 18, 2023
PLAN # 4.C



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ISO VIEWS A9.1

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 CHECKED JFC

DP 21-943418
DECEMBER 18, 2023
REFERENCE PLANS

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Solar Panels



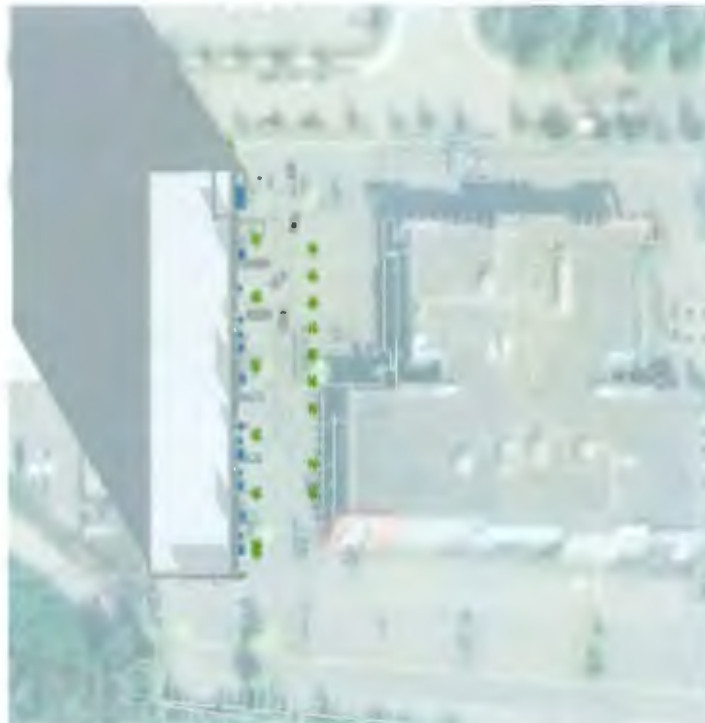
SUMMER SOLSTICE JUNE 20 2021 10:00 AM



SUMMER SOLSTICE JUNE 20 2021 2:00 PM



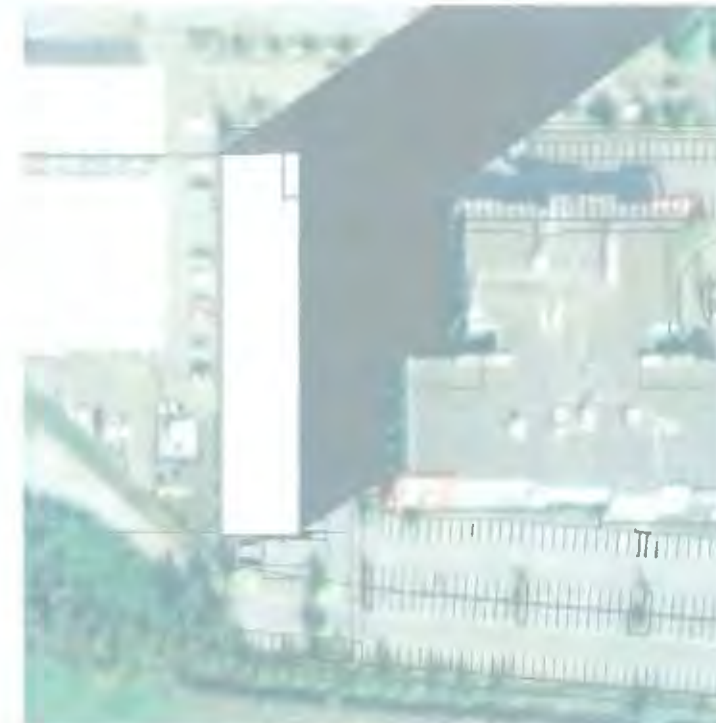
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WINTER SOLSTICE DEC 21 2021 10:00 AM



WINTER SOLSTICE DEC 21 2021 2:00 PM



WINTER SOLSTICE DEC 21 2021 4:00 PM

PROFESSIONAL SEAL
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SHADOW ANALYSIS A10.0

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**DP 21-943418
 DECEMBER 18, 2023
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