



City of  
Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** November 6, 2023

**From:** Wayne Craig  
Director of Development

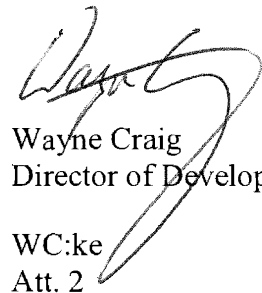
**File:** DP 18-843281

**Re:** **Application by Lovick Scott Architects for a Development Permit at  
#115 - 10700 Cambie Road**

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### Staff Recommendation

That a Development Permit be issued which would permit the construction of exterior renovations and minor on-site upgrades to the existing McDonald's restaurant at #115 – 10700 Cambie Road on a site zoned "Auto-Oriented Commercial (CA)".



Wayne Craig  
Director of Development

WC:ke  
Att. 2

## Staff Report

### Origin

Lovick Scott Architects has applied to the City of Richmond for permission to undertake exterior building renovations to the existing McDonald's restaurant located at #115 – 10700 Cambie Road that includes upgrades to the on-site landscaping and the existing garbage and recycling enclosure on a site zoned "Auto-Oriented Commercial (CA)" (Attachment 1). This Development Permit only applies to the portion of the building that contains the existing McDonald's restaurant (Unit 115) and immediate surrounding on-site landscaping and vehicle circulation areas. There is no rezoning application required as part of this proposal. No servicing or infrastructure works are required as the existing site has sufficient servicing to accommodate the proposed building renovations.

### Development Information

Please refer to attached Development Application Data Sheet for a comparison of the proposed development data with the relevant Bylaw requirements (Attachment 2).

### Background

The existing McDonald's restaurant consists of a one-storey building with drive-through service component. A neighbouring commercial retail unit in this building is not part of this Development Permit application and the exterior building modifications will be to the McDonald's restaurant only. The subject site is part of a commercial complex that contains other commercial businesses to the east and south of the McDonald's restaurant and supporting off-street parking and vehicle circulation areas.

Development surrounding the subject site, on which the McDonald's restaurant is located, is as follows:

- To the north: across Cambie Road is a business park zoned "Industrial Business Park (IB1);
- To the east: an existing access road to the existing commercial development. Further east contains a one-storey commercial building on a site zoned "Auto-Oriented Commercial (CA)";
- To the south: Highway 99 and an existing hotel on a site zoned "Auto-Oriented Commercial (CA)". A separate Development Permit (DP 21-933784) was issued on July 26, 2022 for renovations to the existing Volvo dealership in a separate building on the subject site;
- To the west: Highway 99 and the off-ramp for the Cambie Road overpass.

### Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Auto-Oriented Commercial (CA)" zone.

## **Advisory Design Panel Comments**

Due to the nature of the minor exterior renovations and on-site works, this application was not presented to the Advisory Design Panel.

## **Analysis**

### ***Conditions of Adjacency***

- Modifications to the on-site enclosure that contains garbage, recycling and organic waste is being undertaken as part of this Development Permit. This structure will be fully enclosed and is sized to accommodate all required bins. The walls consist of split-face concrete block and wood panel access doors with a metal shed roof. The location of this enclosure at the west side of the building enables access for service vehicles and is not situated in a highly visible portion of the site. The modified enclosure will be screened from the sidewalk to the north by existing landscaping that will remain to provide for a planted buffer.
- The applicant has indicated that no modifications to the building's heating, ventilation and other mechanical systems are being undertaken or are required as part of the proposed works. All existing rooftop mechanical units will be screened by the exterior modifications to the building.
- The applicant has confirmed that the drive-through operations audio/speaker box system is oriented to minimize impacts to neighbouring sites and the volumes can be adjusted to take into account ambient noise conditions.
- The surrounding context of the subject site consists of neighbouring commercial activities and industrial business park operations. There are no surrounding residential uses in the area. As noted above, no modifications will be made to the building's mechanical systems. Based on this, no acoustical study was required. Community Bylaws has confirmed that there has been no history of noise complaints associated with the McDonald's at the subject site.

### ***Urban Design and Site Planning***

- The subject modifications being undertaken through this Development Permit are primarily limited to the building exterior, existing landscape areas and service area (garbage enclosure). The current off-street parking, vehicle circulation and drive-through servicing the McDonald's will generally remain unchanged; however, a number of additional modifications are being provided for including:
  - Parking stall curb stops installed adjacent to parking along the building.
  - Pavement markings within the drive-through to facilitate safe movements to and from the garbage/recycling enclosure.
  - The existing pedestrian linkage from the access road off Cambie Road to the existing building will be maintained and marked with painted pavement.
  - Additional signage will be implemented around the parking and vehicle circulation areas for the drive-through to notify drivers of pedestrians.
- The current drive-through configuration that wraps along the east, north and west portion of the building will be maintained. On-site modifications will include updated signage and menu-boards. The drive-through aisle contains sufficient vehicle queuing space (8 vehicles) to comply with Zoning Bylaw requirements.
- The surrounding off-street parking available to the McDonald's and adjoining commercial retail unit (CRU) will generally remain unchanged and provides for 25 vehicle parking stalls, which complies with Zoning Bylaw requirements.

- Bicycle parking provisions will provide for 3 short-term (Class 2) and 1 long-term (Class 1) bike parking spaces. The short-term bike parking will be provided for along the south side of the building. The long-term bike parking space (secured bike locker) is provided along the north edge of the building. These bicycle parking provisions comply with the requirements of the Zoning Bylaw.
- All signage on the subject site (building fascia signs, directional signage, free-standing signs) will require a separate sign permit application and approval in accordance with the City's Sign Regulation (Bylaw 9700). General information was provided by the applicant on the proposed signage to confirm the general design and layout is consistent with the overall building, site and landscaping works proposed as part of this Development Permit application.

### ***Architectural Form and Character***

- The proposed exterior modifications are limited to the McDonald's portion of the building only (west portion). Future exterior modifications to the remaining portion of the building may be subject to a separate Development Permit application process, depending on the overall scope and nature of works.
- The overall architectural form and character of the proposed exterior building modifications will be to update and modernize the current McDonald's building to be consistent with other McDonald's renovations/redevelopments.
- Existing glazed areas around the north, west and south portions of the building are being maintained.
- The main building entrance is highlighted with a combination of a tall vertical building form accented in a strong colour (red). Other architectural elements included are a horizontal banding and different colours (white and brown) with varying parapet height to break up the overall building massing. Additional roof-overhangs and building projections (at drive-through service window locations) improve building façade articulation.
- The building design includes a parapet that is designed to be tall enough to screen existing roof-top mechanical equipment.
- The proposed metal cladding/panelling in combination with fiber cement siding is a suitable exterior finish to the proposed modern architectural character for the proposed building works.

### ***Landscape Design and Open Space Design***

- A majority of the existing landscaping on the subject site is located in the following areas:
  - Along the north edge of the building consisting of a combination of low/medium height shrubs and hedging with a row of existing deciduous trees that provides a landscaped buffer between the sidewalk and existing drive-through.
  - Along the east edge of the site consisting of an existing hedge that screens the parking lot from the access road and sidewalk.
  - At the north east corner of the site, existing groundcovers and shrubs associated with the entrance and commercial signage for the proposed development.
  - Staff have conducted a site visit and can confirm that the existing landscaping exists as noted in the plans and is generally well maintained.
- All above noted landscaped areas will be maintained. Additional plantings and landscaped areas included in this Development Permit are as follows:

- A row of new deciduous trees will be added along the east edge of the site to be added to the existing hedging in this area to provide additional landscape buffering along the perimeter of the site, which is consistent to the existing landscaped treatment along Cambie Road.
- Additional shrubs and ground cover is proposed along the north edge of the site to provide more buffering to the existing landscaped area between the drive-through and Cambie Road, which will continue to mitigate headlight glare from vehicles in the drive through to traffic along Cambie Road.
- Additional pockets of landscaping are proposed around the edges of the building and off-street parking areas where space allows.
- The subject site's existing irrigation system will be maintained as part of the proposed landscaping works for this project.
- A landscape bond in the amount of \$9,256 will be secured as a development permit consideration for this project.

### ***Crime Prevention Through Environmental Design***

- Building mounted lighting will be provided around the perimeter of the building that will be recessed and downward oriented to minimize light overspill. Existing pole mounted lighting within the parking area will be maintained.
- Clear and direct sightlines providing natural surveillance will be maintained from the McDonald's building entrance and windows to the parking area and existing walkway to the east providing access from the sidewalk along the access road.
- Landscaping along the public frontages (north, east and north east edges of the site) is designed to maintain clear sightlines from the surrounding sidewalks to the building, parking area and drive-through, providing natural surveillance of these areas.

### ***Sustainability***

- The applicant proposes to install infrastructure and charging stations to support two parking stalls providing Level 2 charging service for electric vehicles. A legal agreement will be secured as a development permit consideration to require the developer to construct, install and provide power/service to a Level 2 charging unit(s) capable of providing electric vehicle charging to a minimum of two vehicles at any given time (Note: Recent Zoning Bylaw changes implemented on September 5, 2023 in relation to establishing electric vehicle ready requirements for non-residential parking spaces applies to new development. As this Development Permit involves exterior modifications to an existing building and is also an in-stream Development Permit application, these requirements to not apply).
- Exterior building modifications will improve the building envelope performance in the building. Furthermore, new cladding materials (metal cladding/panelling and fibre cement siding) are durable and designed to have a 40 year life-span.
- Modifications to the existing McDonald's building is a low-impact and sustainable approach by retrofitting this building to accommodate an updated and modern establishment that meets McDonald's operational requirements.

### ***Off-Site Improvements***

- The applicant will be providing a cash-in-lieu contribution to the City in the amount of \$43,440 for upgrades to the existing traffic signal located at the access from Cambie Road to

the subject site to improve traffic safety and pedestrian access. These works include the provision for an audible pedestrian signal and uninterrupted power supply.

- No upgrades are required to the existing storm, water or sanitary systems as part of this Development Permit application.

## Conclusions

This Development Permit proposed exterior building renovations to the existing McDonald's restaurant and minor on-site works and improvements in the surrounding area at #115 – 10700 Cambie Road. As the proposed building modifications and works meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Kevin Eng  
Planner 3

KE:cas

- Att. 1: Location Map  
Att. 2: Development Application Data Sheet

The following are to be met prior to forwarding this application to Council for approval:

- City acceptance of the developer's voluntary contribution for upgrades to the existing traffic signal located at the access from Cambie Road to the subject site to improve traffic safety and pedestrian access. These works include the provision for an audible pedestrian signal and uninterrupted power supply in the amount of \$43,440.
- Receipt of a Landscape security or letter-of-credit for landscaping in the amount of \$9,256. To accompany this landscaping security or letter-of-credit, a legal agreement that sets the terms of release of the security, maintenance and completion of works, must be entered into between the applicant and the City.
- Registration of a legal agreement on title to secure a minimum of a Level 2 charging station unit(s) and related infrastructure capable of providing electric vehicle charging to a minimum of 2 vehicles at any given time. This legal agreement would also indicate that prior to requesting final inspection or granting occupancy to the building, the applicant is required to confirm that all electric vehicle charging stations and related infrastructure is installed and operational on-site.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).





**DP18-843281**

**Attachment 2**

Address: #115 - 10700 Cambie Road

Applicant: Lovick Scott Architects

Owner: Pacific Grove Plaza Inc.

Planning Area(s): East Cambie

Floor Area Gross: 226 m<sup>2</sup>

Floor Area Net: 226 m<sup>2</sup>

	Existing	Proposed
<b>Site Area:</b>	8,855 m <sup>2</sup>	8,855 m <sup>2</sup>
<b>Land Uses:</b>	Commercial	No change
<b>OCP Designation:</b>	Commercial	No change - complies
<b>Zoning:</b>	Auto-Oriented Commercial (CA)	No change – complies

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.5	No new building area - complies	none permitted
Lot Coverage:	Max. 50%	No new building area - complies	none
Setback – Cambie:	Min. 3 m	7.8 m	none
Setback – Side Yard (East):	Min. 3 m	18 m	none
Height (m):	Max. 12 m	7.4 m	none
Off-street Parking Spaces –	For existing buildings – 25 stalls	25 stalls	none
Bicycle Parking:	Class 1: 1 space Class 2: 3 spaces	Class 1: 1 space Class 2: 3 spaces	none





No. DP 18-843281

To the Holder: Lovick Scott Architects  
Property Address: #115 - 10700 Cambie Road  
Address: c/o 3707 1st Avenue  
Burnaby, BC V5C 3V6

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1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #11 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$9,256 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 18-843281**

To the Holder: Lovick Scott Architects  
Property Address: #115 - 10700 Cambie Road  
Address: c/o 3707 1st Avenue  
Burnaby, BC V5C 3V6

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7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

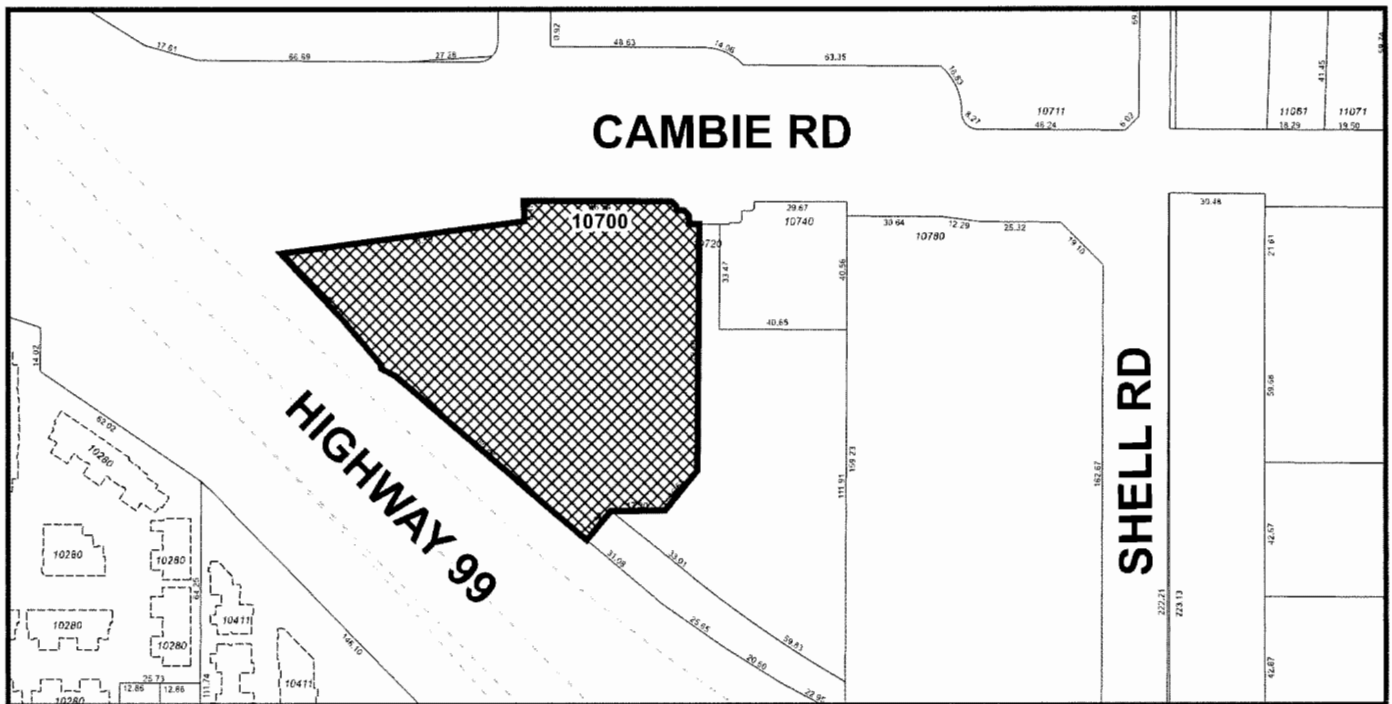
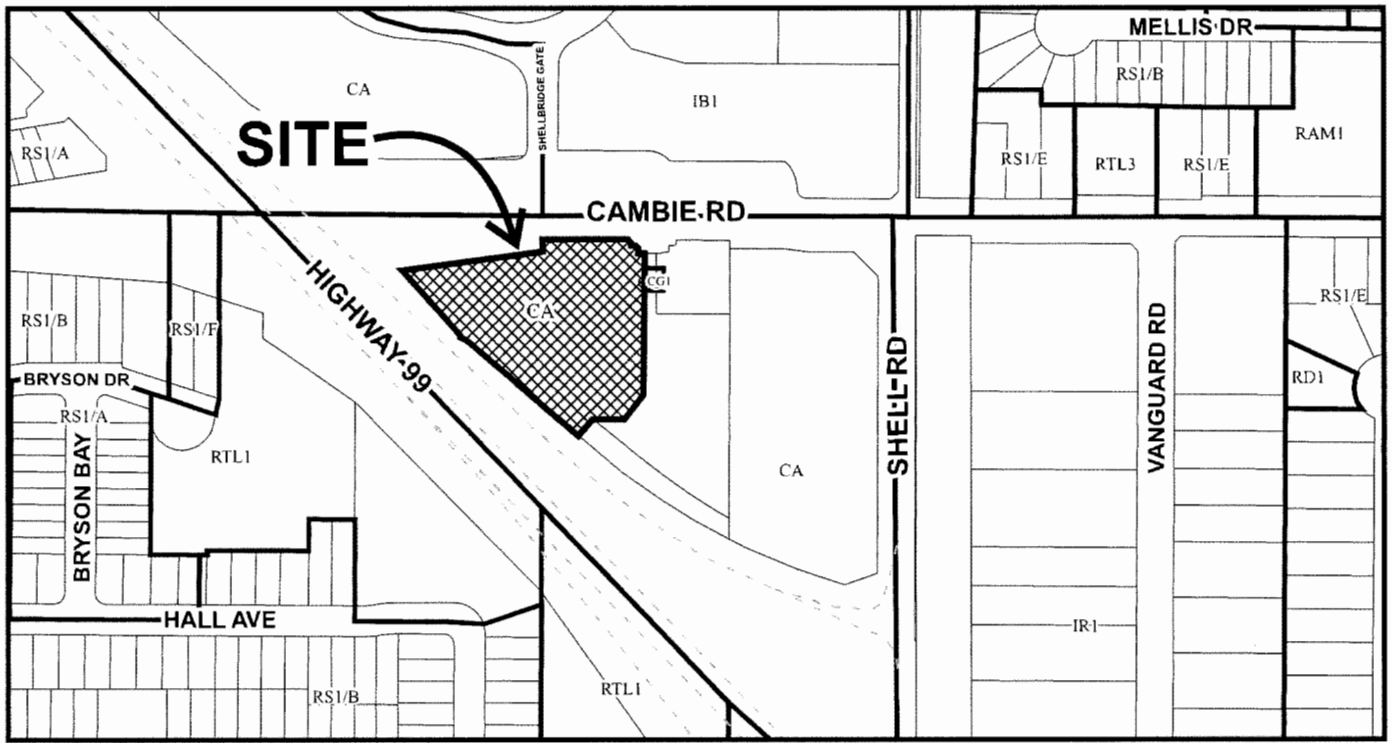
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

\_\_\_\_\_  
MAYOR



# City of Richmond



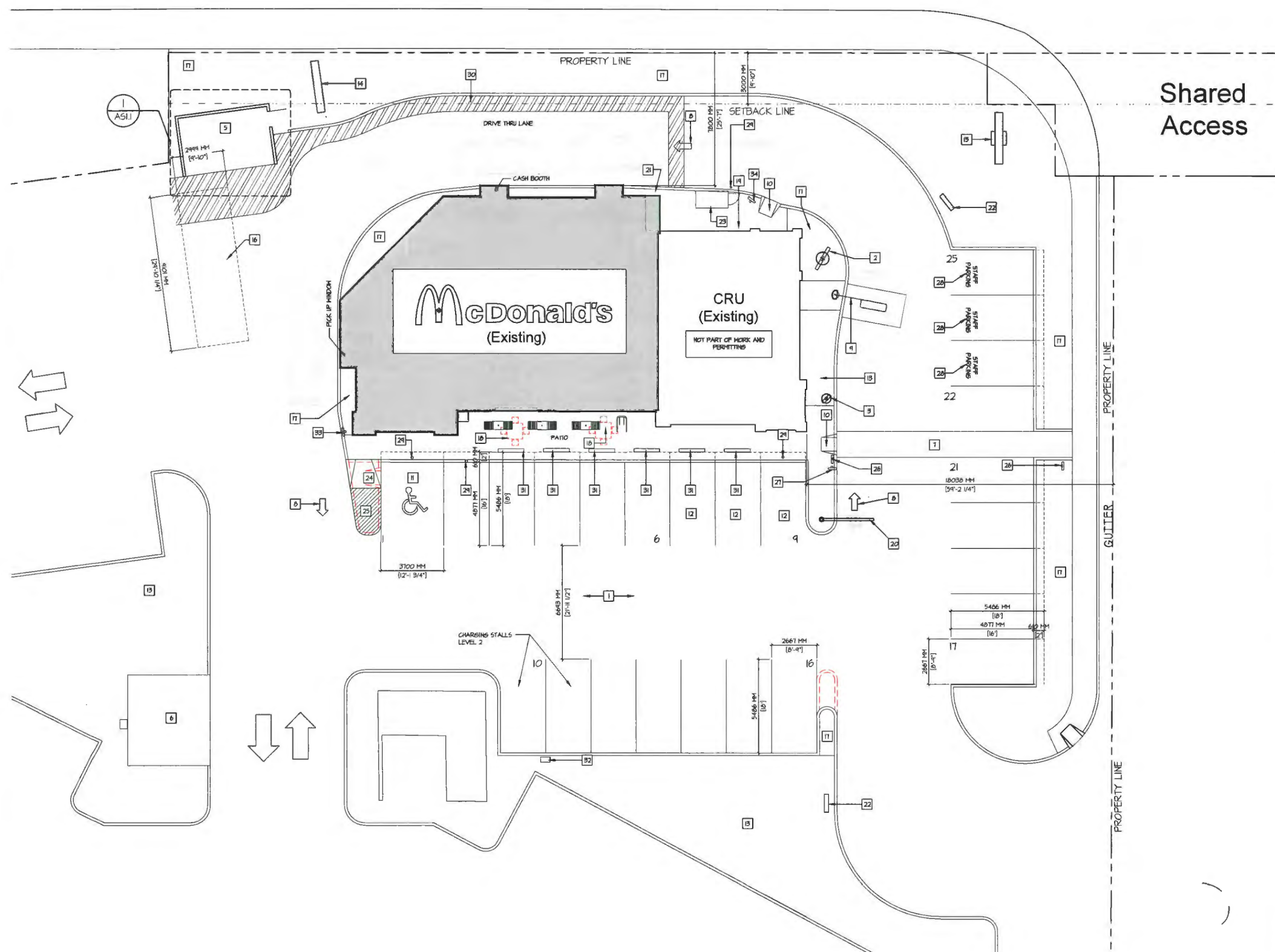
## DP 18-843281 SCHEDULE "A"

Original Date: 01/15/19

Revision Date: 11/02/23

Note: Dimensions are in METRES

# Cambie Road



### PROJECT STATISTICS

**AUTHORITY HAVING JURISDICTION:**  
CITY OF RICHMOND

**LEGAL ADDRESS:**  
LOT 1 SEC 35 BLK 5N R6 6N PL BCP445050 EXCEPT BCP445051

**CIVIC ADDRESS:**  
15-10700 CAMBIE ROAD, RICHMOND, BC

**ZONING:**  
CA - AUTO ORIENTED COMMERCIAL

**LOT SUBEXISTING & NO CHANGE:**  
95,314.24 SQ.FT. (0.8955 SQ.M.)

**BUILDING AREA EXISTING NO CHANGE:**  
3,471 SQ.FT. (323 SQ.M.)

**GROSS FLOOR AREA EXISTING NO CHANGE:**  
McDONALD'S = 2,428.90 SQ.FT. (225.70 SQ.M.)  
ADJACENT CRU = 1,042.00 SQ.FT. (97.00 SQ.M.)  
TOTAL FLR. AREA = 3,468.90 SQ.FT. (323.00 SQ.M.)

**USE EXISTING & NO CHANGE:**  
RESTAURANT

**SETRBACKS EXISTING & NO CHANGE:**

ELEVATION SIDE	ALLOWED	EXISTING (NO CHANGE)
NORTH - CAMBIE ROAD	3.0 m (9'-10")	7.80 m (25'-7")
EAST - ACCESS ROAD	3.0 m (9'-10")	18.09 m (59'-2")
WEST	3.0 m (9'-10")	55.37 m (181'-8")
SOUTH	3.0 m (9'-10")	54.87 m (180'-0")

**BUILDING HEIGHT:**  
ALLOWABLE = 34'-2 1/2" (12.0 M)  
EXISTING = 25'-5" (7.74 M)  
PROPOSED = 25'-5" (7.74 M)

**SITE COVERAGE:**  
ALLOWABLE = 50%  
LOT SIZE = 95,314.24 SQ.FT. (0.8955 SQ.M.)  
BUILDING AREA (E) = 3,468.90 SQ.FT. (323.00 SQ.M.)  
SITE COVERAGE = 323 SQ.M. / 0.8955 SQ.M. = 36%  
0.36 X 100 % = 36%

**DENSITY EXISTING & NO CHANGE:**  
ALLOWABLE = 38  
LOT SIZE = 95,314.24 SQ.FT. (0.8955 SQ.M.)  
GROSS FLOOR AREA = 3,468.90 SQ.FT. (323.00 SQ.M.)  
DENSITY = 323 SQ.M. / 0.8955 SQ.M. = 360  
0.36 X 100 % = 36%

**SEATING:**  
EXISTING: 46 SEATS  
PROPOSED: 28 SEATS

**PARKING EXISTING & NO CHANGE:**  
REQUIRED: ON-SITE PARKING SPACES EXISTING AT THE DATE OF ADOPTION OF ZONING BYLAW (1.2.2(A))

PROVIDED: HANDICAPPED = 1 PARKING SPACES  
REGULAR = 24 PARKING SPACES (INCLUDING 2 CAR CHARGING STALLS)  
TOTAL = 25 PARKING SPACES

**BICYCLE PARKING:**  
REQUIRED:  
CLASS 1: 21 SPACES PER 100 SQ.M. (GROSS FLOOR AREA) = 1 BICYCLE PARKING SPACE  
CLASS 2: 4 SPACES PER 100 SQ.M. (GROSS FLOOR AREA) = 1 BICYCLE PARKING SPACE

PROVIDED:  
CLASS 1: 1  
CLASS 2: 3 SPACES (EXISTING)

**LOADINGS (EXISTING & NO CHANGE):**  
REQUIRED: 1  
PROVIDED: 1

- ### SITE KEY NOTES
- (ALL ITEMS ARE EXISTING UNLESS NOTED)
- EXISTING ASPHALT PARKING TO REMAIN INCLUDING ALL PAINTED DRIVE THRU SIGNS AND PARKING LINES UNLESS OTHERWISE NOTED. SEE SITE PLAN NOTES
  - MENU BOARD
  - PRE-SELL BOARD
  - BIKE RACK
  - GARBAGE ENCLOSURE
  - ELECTRIC CHARGING STATIONS
  - CROSS WALK WITH PAVERS
  - PAVEMENT MARKINGS
  - MAGNETIC LOOP
  - H/C RAMP
  - H/C PARKING SPACE
  - PARKING RESERVED FOR ADJACENT CRU
  - LANDSCAPING
  - FREE STANDING SIGN
  - PYLON SIGN
  - LOADING AREA
  - LANDSCAPING
  - PATIO FURNITURE TO BE REMOVED AND REPLACED WITH NEW AS SHOWN
  - GAS METER
  - VEHICLE HEIGHT DETECTOR (N) - SUPPLIED BY SIGN MANUFACTURER
  - NEWSPAPER STORAGE BOX
  - DIRECTIONAL SIGN
  - (N) CLASS 1 BICYCLE PARKING SPACES (I) WATER PROOF DURA BIKE LOCKER DLSR (GREY) OR EQUIV.
  - (N) ACCESSIBLE RAMP
  - (N) PAINTED LINES
  - (N) SIGN "CAUTION MATCH FOR CARS" (SEE PATTISON DRAWING PACKAGE)
  - (N) SIGN "CAUTION PEDESTRIAN CROSSING" (SEE PATTISON DRAWING PACKAGE)
  - PAVEMENT MARKINGS
  - (N) BOLLARD CAN SURVEILLANCE COVER (SEE DETAIL 2/A/5.2)
  - (N) YELLOW PAINTED STRIPES
  - (N) CONCRETE WHEEL STOP
  - (N) ELECTRIC VEHICLES CHARGER
  - (N) SIGN "CAUTION PEDESTRIAN CROSSING" (SEE PATTISON DRAWING PACKAGE)
  - (N) SIGN "CAUTION MATCH FOR CRUI" (SEE PATTISON DRAWING PACKAGE)



REV	DATE	DESCRIPTION
1	SEP/27/23	RE-ISSUED FOR D.P.
2	MAY/02/22	REISSUED FOR D.P.
3	JAN/07/21	REISSUED FOR D.P.
4	SEPT/20/20	REISSUED FOR D.P.
5	DEC/16/19	ISSUED FOR D.P.
6	MAR/27/18	ISSUED FOR MDT'S REVIEW

**McDonald's**  
McDONALD'S RESTAURANTS OF CANADA LIMITED,  
4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

DP 18-843281  
Plan #1  
November 6 2023

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT



3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
604 298 3700 WWW.LOVICKSCOTT.COM  
MEMBER OF THE AIBC, AAA, SAA, MAA  
ARCHITECTURAL SEAL

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DRAWN BY: RMR/RBJ/JM APPROVED:

PROJECT: McDonald's - Cambie & Shell

#115 - 10700 CAMBIE ROAD, RICHMOND, BC

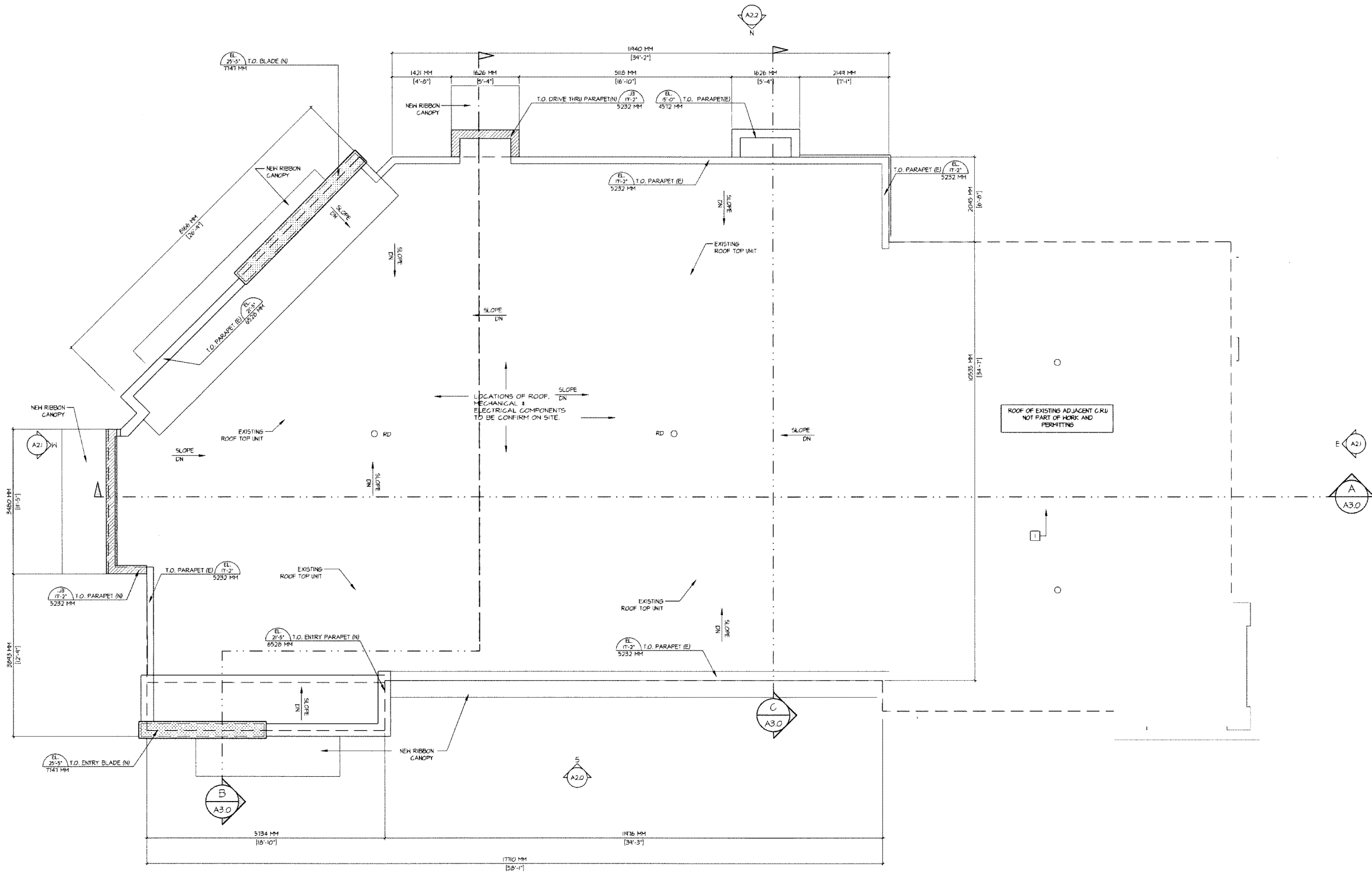
DRAWING: SITE PLAN PLAN # 4

PROJECT NUMBER	DRAWING NUMBER
18-012	AS1.0

SCALE	METS NATIONAL NUMBER
1" = 10'-0"	40001

DATE: MARCH 2018

Cambie & Shell - 18-012



PROPOSED ROOF PLAN  
 SCALE: 1/4" = 1'-0"

REVISIONS	REVISIONS	REVISIONS	REVISIONS
REV. DATE	DESCRIPTION	REV. DATE	DESCRIPTION
SEV/21/23	RE-ISSUED FOR D.P.		
MAY/02/23	RE-ISSUED FOR D.P.		
DEC/01/03	ISSUED FOR D.P.		

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

DP 18-843281  
 Plan #2  
 November 6 2023

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.



3707 1ST AVENUE  
 BURNABY, BC V5C 3V6  
 ADMIN@LOVICKSCOTT.COM  
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 MEMBER OF THE AIBC, AAA, SAA, MAA

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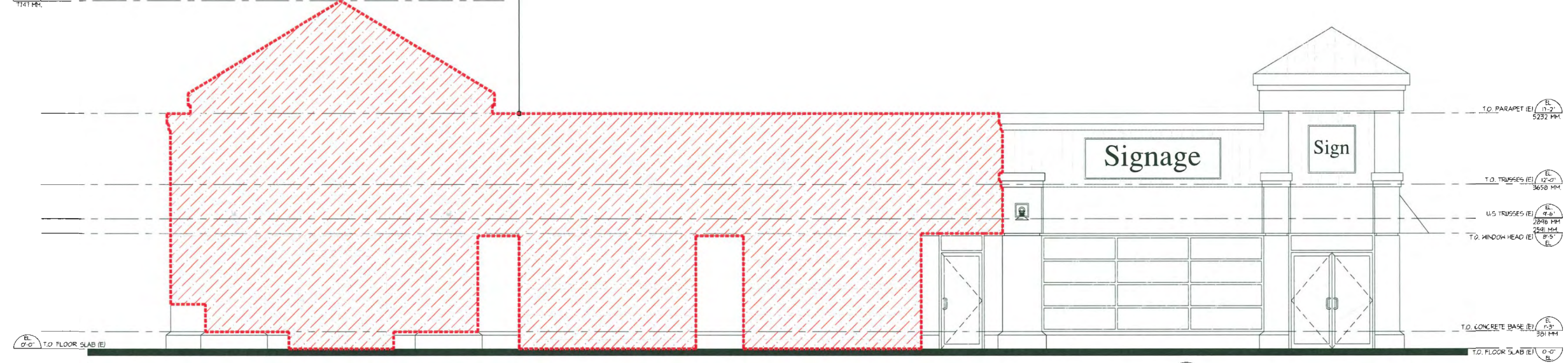
DRAWN BY: SS  
 PROJECT: McDonald's - Cambie & Shell  
 #115 - 10700 CAMBIE ROAD,  
 RICHMOND, BC

PROPOSED ROOF PLAN  
 PLAN # 2

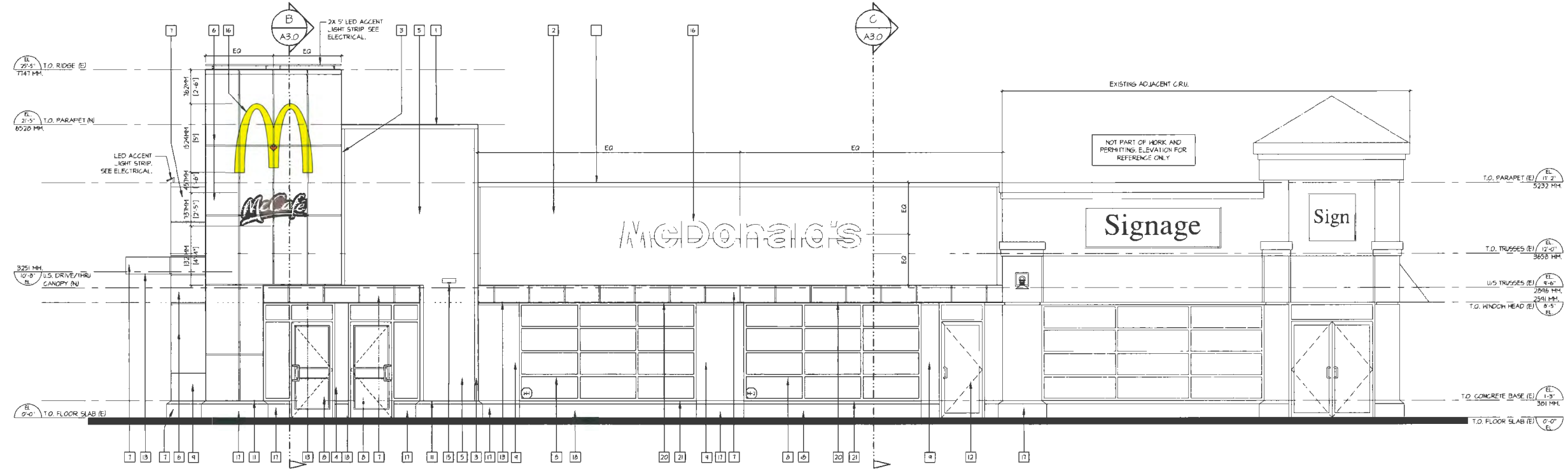
PROJECT NUMBER	DRAWING NUMBER
18-012	A1.6
SCALE	M-D'S NATIONAL NUMBER
1/4" = 1'-0"	40001
DATE	REVISION
FEB 2021	

Cambie & Shell - 18-012

SHADED AREA DENOTES APPROX. EXTENT OF NEW STRUCTURE & EXTERIOR TO BE UPGRADED. G.C. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PRICING. REFER TO PROPOSED ELEVATION & PLANS FOR NEW FINISHES. ITEMS TO REMAIN, TO BE REMOVED, REPAINTED AND DETAILS (BUILDING/WALL SECTIONS & SECTION DETAILS) FOR FURTHER CLARIFICATION. PATCH, REPAIR AND MAKE GOOD ADJACENT SURFACES DAMAGED BY NEW WORK.



1 EXISTING SOUTH ELEVATION  
A2.0 SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
A2.0 SCALE: 1/4" = 1'-0"

**ELEVATION NOTES:**

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW:
- EXTERIOR WALL CLADDING, SOFFIT CLADDING & FLASHING NOTED TO BE REMOVED, ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR/REPLACE AS REQ'D EXISTING DAMAGED BY NEW WORK.
- EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- REMOVE ALL EXISTING ELECTRICAL, OUTLETS, JUNCTION BOXES, DOORBELLS, WALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND HIRING.
- EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, RAILS AND CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED ALL EXISTING DAMAGED BY NEW WORK.
- G.C. TO INSPECT ALL EXISTING VAPOUR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR MOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.

**EXTERIOR FINISHES**

- EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DWGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS. G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND COORDINATE BACKINGS/SUPPORTS WITH SIGN COMPANY.
- WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPOXY GROUTED PRIOR TO PAINTING.
- CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- PRIOR TO PAINTING IF ROOF RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- REMOVE ALL EXISTING SMOKER STANDS AND OTHER HALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- CONTRACTOR TO CO-ORDINATE BLOCKING AND SUPPORTS REQUIRED FOR ALL SIGNAGE WITH SIGN COMPANY.
- REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.01.

MATERIAL	COLOUR	MATERIAL	COLOUR
1. PREFINISHED METAL CAP FLASHING	CHARCOAL GREY (CG-6012)	10. ALUMINUM DRIVE-THRU PRESENTER'S BOOTH WINDOWS (EXISTING) TO REMAIN AS IS.	CLEAR ANODIZED
2. HORIZONTAL METAL SIDING, ADSOOR	CHARCOAL GREY (CG-6012)	11. PRE-FINISHED METAL BASE FLASHING	TO MATCH EXISTING / ADJACENT SURFACES
3. 1/4" FIBER CEMENT TRIM - SMOOTH - 3/8" WIDTH	DULUX PAINT 'CHESTNUT/MCCAFEE BROWN' MCD 37	12. ALUMINUM STOREFRONT DOOR/WINDOW FRAMES (E)	CLEAR ANODIZED
4. METAL CLADDING	CLEAR ANODIZED TO MATCH STOREFRONT	13. METAL PANEL SOFFIT - ADSOOR	BN1 WHITE
5. FIBER CEMENT LAP SIDING	DULUX PAINT 'CHESTNUT/MCCAFEE BROWN' MCD 37	14. METAL DOORS & FRAMES (EXISTING) MEDIUM GREY	PAINTED DULUX PAINT MCD 48
6. METAL PANEL - RED	RON RED	15. SURFACE MOUNTED LIGHTS	SEE ELECTRICAL DRAWINGS FOR SPECS.
7. METAL PANEL / RIBBON - WHITE	BN1 WHITE	16. SIGNAGE	PROPOSED SIGNAGE LOCATION (UNDER SEPARATE PERMIT & THE PROVISION OF THE CITY OF RICHMOND SIGN REGULATION BYLAW #1001) TYPE & SIZE SHOWN SEE PATTISON DRAWING PACKAGE.
8. ALUMINUM STOREFRONT WINDOW FRAMES TO MATCH EXISTING	CLEAR ANODIZED	17. CONCRETE BASE (EX STING) TO REMAIN AS IS SEE ELEVATION NOTES.	NATURAL CONCRETE
9. STUCCO (EXISTING) - MEDIUM GREY. SEE ELEVATION NOTES.	PAINTED DULUX PAINT 'REGENT GREY' MCD 49	18. CONCRETE BASE TO MATCH EXISTING	NATURAL CONCRETE SEALED & STAINED
		19. EX STING CHECKER PLATE TO REMAIN	STAINLESS STEEL
		20. WINDOW HEAD FLASHING	CLEAR ANOD ZED
		21. WINDOW SILL FLASHING	CLEAR ANOD ZED

- ALL MATERIALS ARE NEW UNO  
- REFER TO EXTERIOR FINISHES SPECIFICATION ON DWG. A.01.  
- \* ALL MATERIAL FLASHING TO BE 24 GA.  
- SEE COLOURED ELEVATIONS FOR CONFIRM COLOUR.

**PROPOSED ELEV. LEGEND:**

- XX MATERIAL NUMBER
- EXISTING CLADDING, DOORS, WINDOWS, ETC TO BE REMOVED

**GLAZING LEGEND:**

- VISION (E)
- SPANDREL (E)
- VISION (U)

DATE	DESCRIPTION	REV	DATE
SEP/21/23	ISSUED FOR D.P.		
MAY/02/24	REVISED FOR D.P.		
JAN/08/24	REVISED FOR D.P.		
DEC/08/24	ISSUED FOR D.P.		
MAR/27/26	ISSUED FOR MCD'S REVIEW		

**McDonald's**  
McDONALD'S RESTAURANTS OF CANADA LIMITED,  
4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

DP 18-843281  
Plan #3  
November 6 2023

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ARCHITECT'S SEAL



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MEMBER OF THE AIBC, AAA, SAA, MAA  
ARCHITECTURAL SEAL

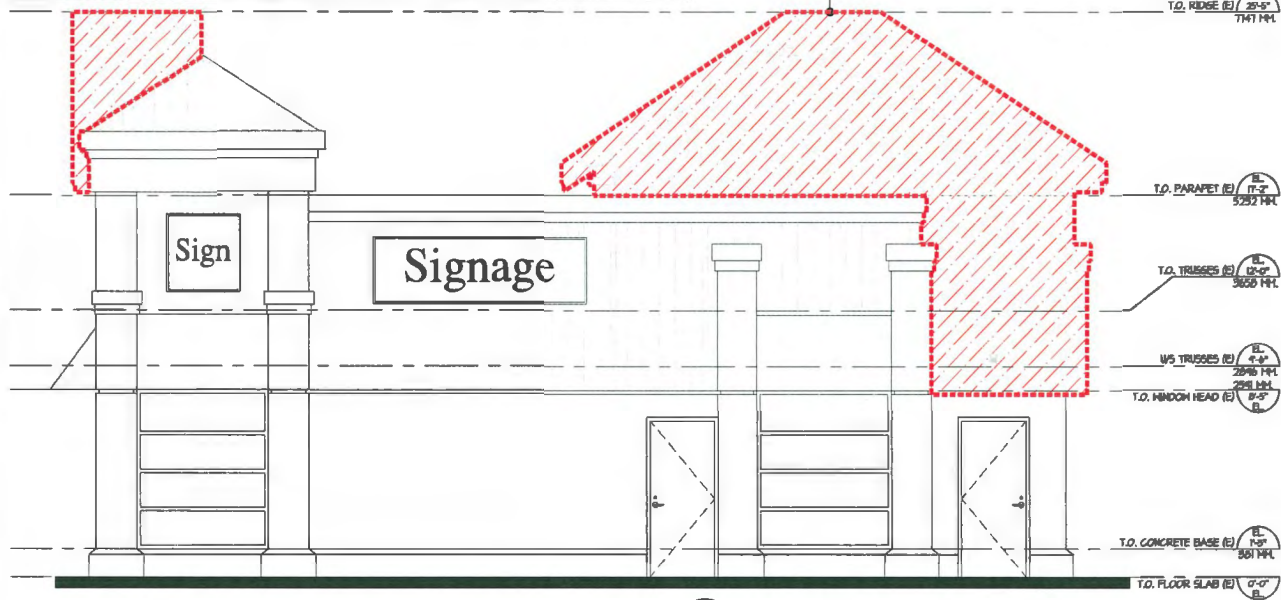
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.  
ARCHITECT'S SEAL

PROJECT: McDonald's - Cambie & Shell  
#115 - 10700 CAMBIE ROAD, RICHMOND BC  
DRAWING: EXISTING & PROPOSED SOUTH ELEVATIONS PLAN # 4  
PROJECT NUMBER: 18-012  
DRAWING NUMBER: A2.0  
SCALE: 1/4" = 1'-0"  
DATE: FEB 2021  
MCD'S NATIONAL NUMBER: 40001  
REVISION:

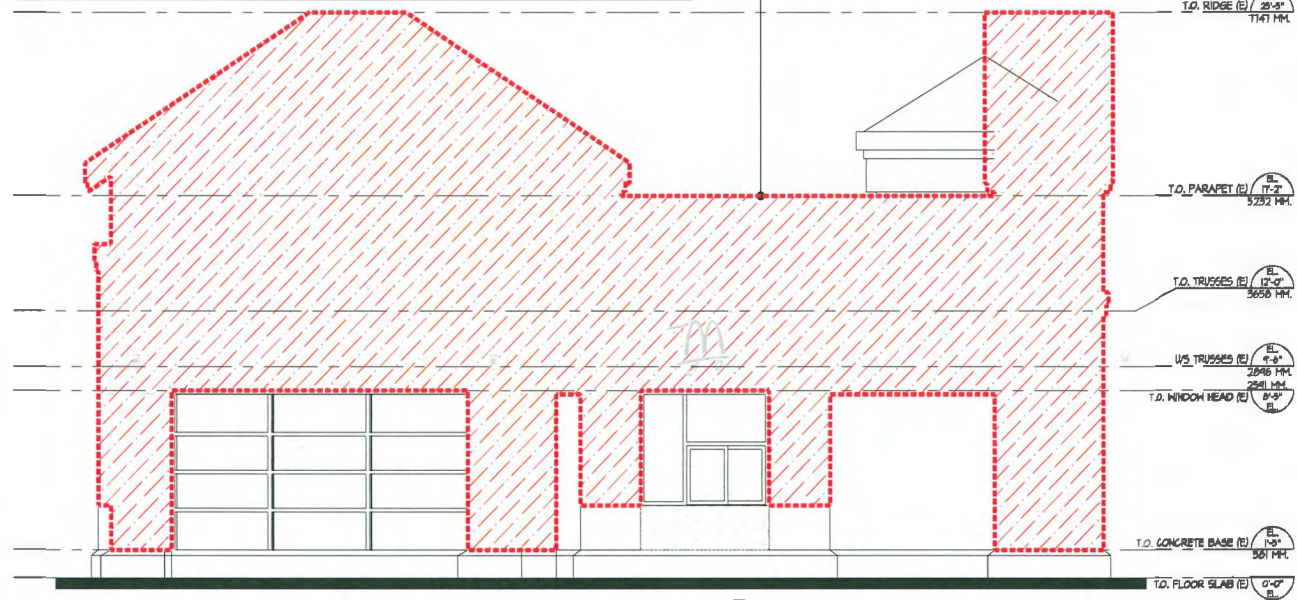
Cambie & Shell - 18-012

SHADED AREA DENOTES APPROX. EXTENT OF NEW STRUCTURE & EXTERIOR TO BE UPGRADED. S.C. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PRICING. REFER TO PROPOSED ELEVATION & PLANS FOR NEW FINISHES, ITEMS TO REMAIN, TO BE REMOVED, REPAINTED AND DETAILS (BUILDING/WALL SECTIONS & SECTION DETAILS) FOR FURTHER CLARIFICATION. PATCH, REPAIR AND MAKE GOOD ADJACENT SURFACES DAMAGED BY NEW WORK.

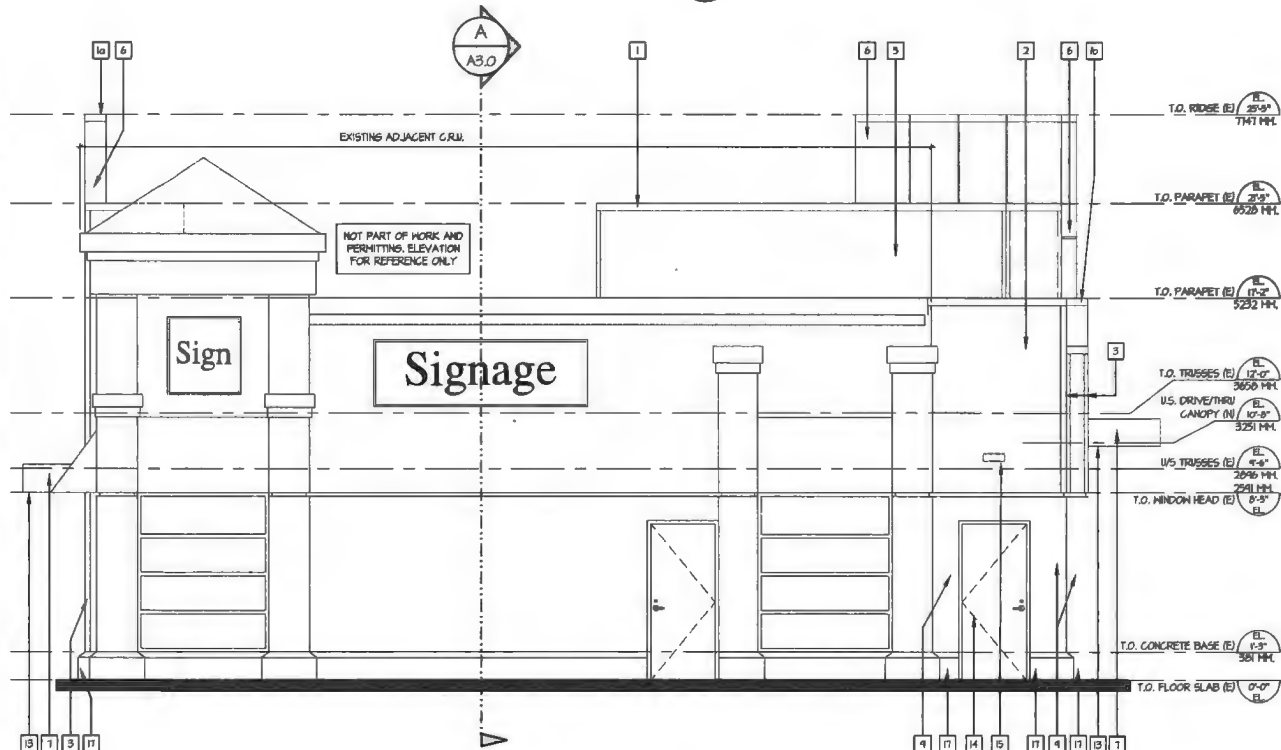
SHADED AREA DENOTES APPROX. EXTENT OF NEW STRUCTURE & EXTERIOR TO BE UPGRADED. S.C. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PRICING. REFER TO PROPOSED ELEVATION & PLANS FOR NEW FINISHES, ITEMS TO REMAIN, TO BE REMOVED, REPAINTED AND DETAILS (BUILDING/WALL SECTIONS & SECTION DETAILS) FOR FURTHER CLARIFICATION. PATCH, REPAIR AND MAKE GOOD ADJACENT SURFACES DAMAGED BY NEW WORK.



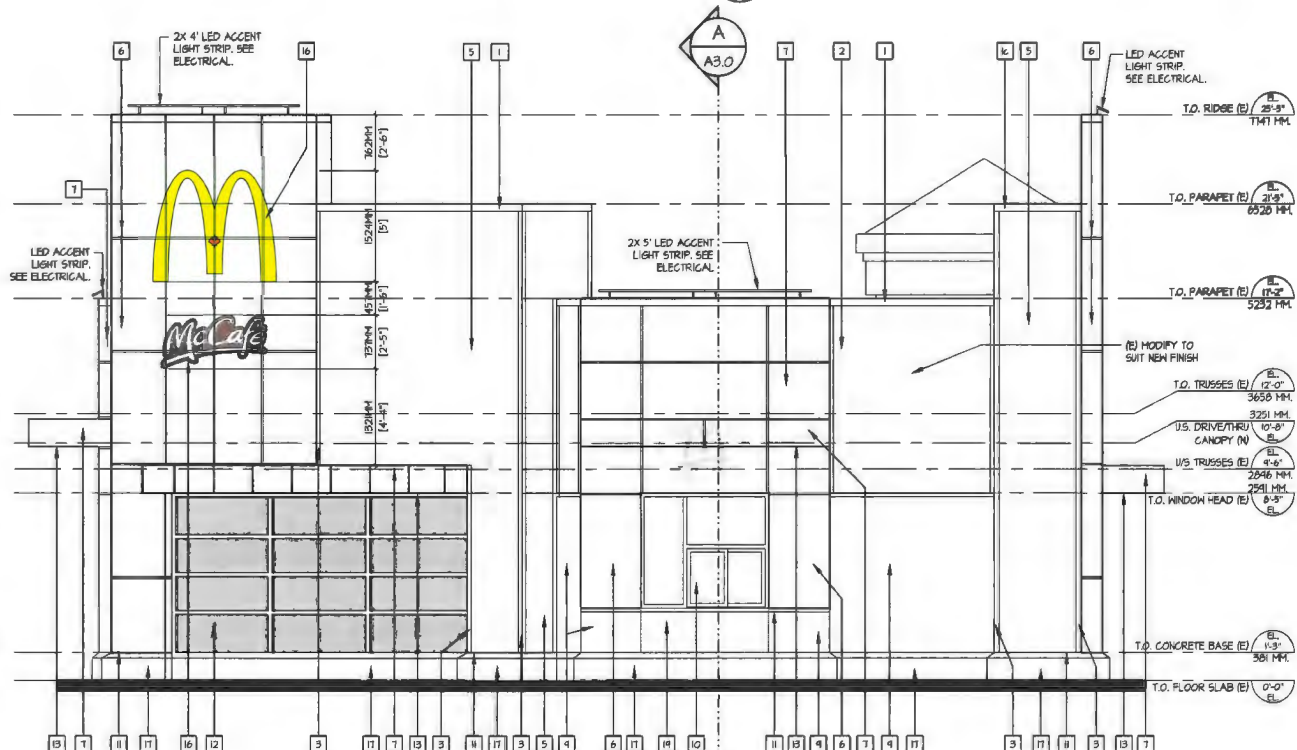
1 EXISTING EAST ELEVATION  
A2.1 SCALE: 1/4" = 1'-0"



3 EXISTING WEST ELEVATION  
A2.1 SCALE: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION  
A2.1 SCALE: 1/4" = 1'-0"



4 PROPOSED WEST ELEVATION  
A2.1 SCALE: 1/4" = 1'-0"

**ELEVATION NOTES:**

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- 1. EXTERIOR WALL CLADDING, SOFFIT CLADDING & FLASHINGS NOTED TO BE REMOVED, ARE TO BE REMOVED AND DISPOSED BY S.C. PATCH & REPAIR/REPLACE AS REQ'D EXISTING DAMAGED BY NEW WORK.
- 2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY S.C., UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- 3. REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, DOORBELLS, HALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- 4. EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND WIRING.
- 5. EXISTING METAL ROOFING, SHEATHING, FLASHINGS, GUTTERS, RAILS AND CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY S.C. PATCH & REPAIR AS REQUIRED ALL EXISTING DAMAGED BY NEW WORK.
- 6. S.C. TO INSPECT ALL EXISTING VAPOUR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR MOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.

- 7. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DIES FOR ELECTRICAL ENGINEER'S REQUIREMENTS. S.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND COORDINATE BACKING/SUPPORTS WITH SIGN COMPANY.
- 8. WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- 9. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPOXY GROUTED PRIOR TO PAINTING.
- 10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- 12. PRIOR TO PAINTING IF ROOF, RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- 13. REMOVE ALL EXISTING SMOKER STANDS AND OTHER HALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- 14. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- 15. CONTRACTOR TO COORDINATE BLOCKING AND SUPPORTS REQUIRED FOR ALL SIGNAGE WITH SIGN COMPANY.
- 16. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.01.

EXTERIOR FINISHES			
MATERIAL	COLOUR	MATERIAL	COLOUR
1 * PREFINISHED METAL CAP FLASHING	CHARCOAL GC-1072	10 ALUMINUM DRIVE-THRU / PRESENTER'S BOOTH WINDOWS (EXISTING) TO REMAIN AS IS.	CLEAR ANODIZED
2 HORIZONTAL METAL SIDING - ADSBOOR	'CHARCOAL GREY' (GC1072)	11 * PRE-FINISHED METAL BASE FLASHING	TO MATCH EXISTING / ADJACENT SURFACES
3 4/4 FIBER CEMENT TRIM - SHMOOTH = 3/8" WIDTH	DULUX PAINT 'CHESTNUT/MCCAFEE BROWN' MCD 37	12 ALUMINUM STOREFRONT DOOR/WINDOW FRAMES (E)	CLEAR ANODIZED
4 METAL CLADDING	CLEAR ANODIZED TO MATCH STOREFRONT	13 METAL PANEL SOFFIT - ADSBOOR	'BENT WHITE'
5 FIBER CEMENT LAP SIDING	DULUX PAINT 'CHESTNUT/MCCAFEE BROWN' MCD 37	14 METAL DOORS & FRAMES (EXISTING) MEDIUM GREY	PAINTED DULUX PAINT MCD 40
6 METAL PANEL - RED	'IRON RED'	15 SURFACE MOUNTED LIGHTS	SEE ELECTRICAL DRAWINGS FOR SPECS.
7 METAL PANEL / RIBBON - WHITE	'BENT WHITE'	16 SIGNAGE	PROPOSED SIGNAGE LOCATION (SEER SEPARATE PERMIT & THE PROVISION OF THE CITY OF RICHMOND SIGN REGULATION BY LAM #100) TYPE & SIZE SHOWN SEE PATISSOR DRAWINGS PACKAGE.
8 ALUMINUM STOREFRONT WINDOW FRAMES TO MATCH EXISTING	CLEAR ANODIZED	17 CONCRETE BASE (EXISTING) TO REMAIN AS IS. SEE ELEVATION NOTES.	NATURAL CONCRETE
9 STUCCO (EXISTING) - MEDIUM GREY. SEE ELEVATION NOTES.	PAINTED DULUX PAINT 'REGENT GREY' MCD 41	18 CONCRETE BASE TO MATCH EXISTING	NATURAL CONCRETE SEALED & STAINED
		19 EXISTING CHECKER PLATE TO REMAIN	STAINLESS STEEL
		20 WINDOW HEAD FLASHING	CLEAR ANODIZED
		21 WINDOW SILL FLASHING	CLEAR ANODIZED

- ALL MATERIALS ARE NEW UNLD.  
- REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWS. A.01.  
- \* ALL MATERIAL FLASHINGS TO BE 24 GA.  
- SEE COLOURED ELEVATIONS FOR COLOURS.

**PROPOSED ELEV. LEGEND:**

█	MATERIAL NUMBER
---	EXISTING CLADDING, DOORS, WINDOWS, ETC. TO BE REMOVED

**GLAZING LEGEND:**

□	VISION (E)
▒	SPANDREL (E)
□	VISION (N)

RE-ISSUED FOR D.P.	RE-ISSUED FOR D.P.	RE-ISSUED FOR D.P.	RE-ISSUED FOR D.P.	RE-ISSUED FOR D.P.	RE-ISSUED FOR D.P.
SEP/21/23	MAY/10/22	JAN/09/21	DEC/08/18	MAR/27/18	
DATE	DATE	DATE	DATE	DATE	DATE
DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION
REVISION	REVISION	REVISION	REVISION	REVISION	REVISION

**McDonald's**  
MCDONALD'S RESTAURANTS OF CANADA LIMITED,  
4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

DP 18-843281  
Plan #4  
November 6 2023

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ARCHITECT:  
**LOVICK SCOTT ARCHITECTS**



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DRAWN BY: RB/SS APPROVED: [Signature]

PROJECT: **McDonald's - Cambie & Shell**

#115 - 10700 CAMBIE ROAD, RICHMOND, BC

DRAWING: EXISTING & PROPOSED EAST & WEST ELEVATIONS PLAN #10

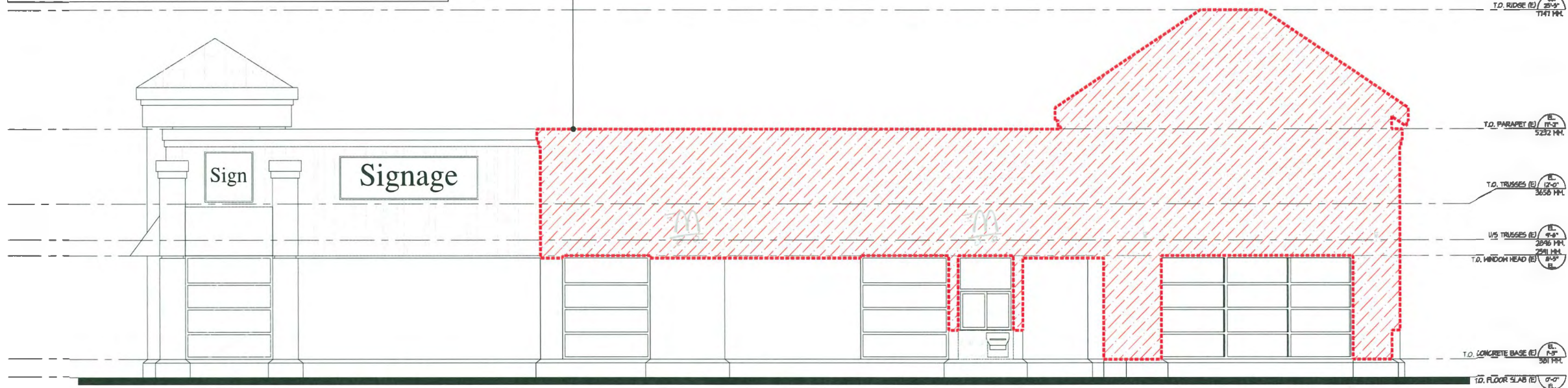
PROJECT NUMBER: 18-012 DRAWING NUMBER: A2.1

SCALE: 1/4" = 1'-0" INSET MATERIAL NUMBER: 40001

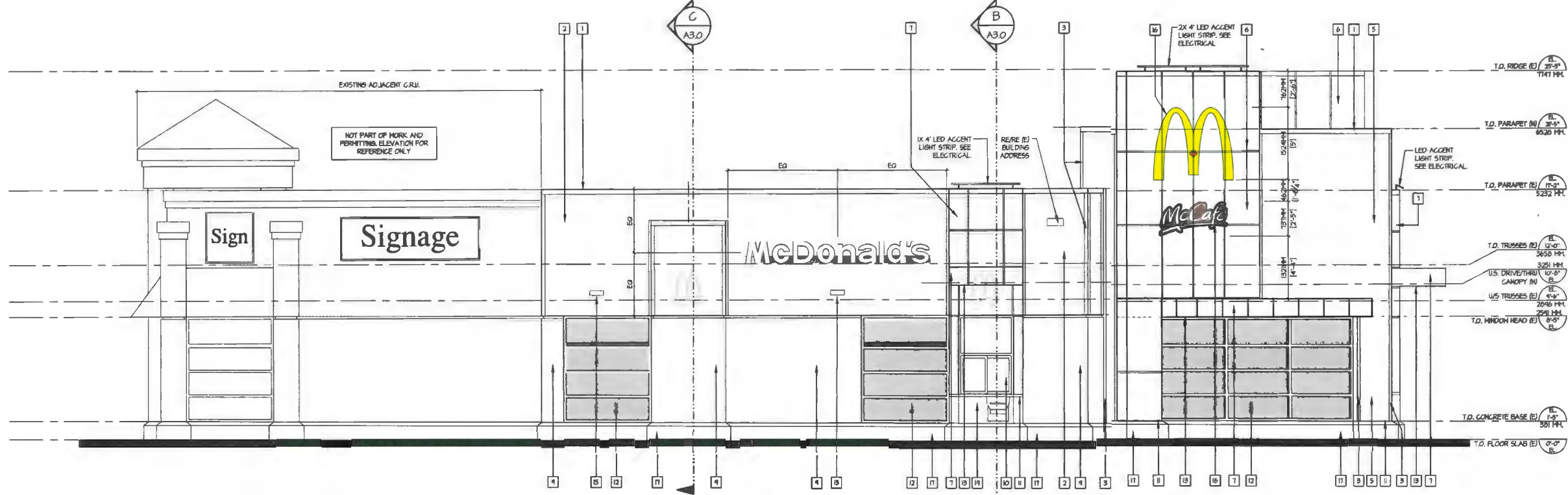
DATE: [Blank] REVISION: [Blank]

Cambie & Shell - 18-012

SHADED AREA DENOTES APPROX. EXTENT OF NEW STRUCTURE & EXTERIOR TO BE UPGRADED, E.G. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PRICING, REFER TO PROPOSED ELEVATION & PLANS FOR NEW FINISHES, ITEMS TO REMAIN, TO BE REMOVED, REPAIRED AND DETAILS (BUILDING/MALL SECTIONS & SECTION DETAILS) FOR FURTHER CLARIFICATION, PATCH, REPAIR AND MAKE GOOD ADJACENT SURFACES DAMAGED BY NEW WORK.



1 EXISTING NORTH ELEVATION  
A2.2 SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION  
A2.2 SCALE: 1/4" = 1'-0"

**ELEVATION NOTES:**

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- 1. EXTERIOR WALL CLADDING, SOFFIT CLADDING & FLASHING NOTED TO BE REMOVED, ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR/REPLACE AS REQ'D EXISTING DAMAGED BY NEW WORK.
- 2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- 3. REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, DOORBELLS, HALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- 4. EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS, PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND FIXTURES.
- 5. EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, RVL'S AND CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED ALL EXISTING DAMAGED BY NEW WORK.
- 6. G.C. TO INSPECT ALL EXISTING VAPOUR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR MOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.

- 7. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DWS FOR ELECTRICAL ENGINEER'S REQUIREMENTS. G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND COORDINATE BACKINGS/SUPPORTS WITH SIGN COMPANY.
- 8. WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- 9. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE BROCK' GROUTED PRIOR TO PAINTING.
- 10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- 12. PRIOR TO PAINTING IF ROOF, RVL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- 13. REMOVE ALL EXISTING SHOWER STANDS AND OTHER HALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- 14. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- 15. CONTRACTOR TO CO-ORDINATE BLOCKING AND SUPPORTS REQUIRED FOR ALL SIGNAGE WITH SIGN COMPANY.
- 16. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.01.

**EXTERIOR FINISHES**

MATERIAL	COLOUR	MATERIAL	COLOUR
1 * PRE-FINISHED METAL CAP FLASHING	CHARCOAL GREY (CG16072)	10 ALUMINUM DRIVE-THRU PRESENTER'S BOOTH WINDOWS (EXISTING) TO REMAIN AS IS.	CLEAR ANODIZED
2 HORIZONTAL METAL SIDING, ADSOOR	CHARCOAL GREY (CG16072)	11 * PRE-FINISHED METAL BASE FLASHING	TO MATCH EXISTING / ADJACENT SURFACES
3 4/4 FIBER CEMENT TRIM - SMOOTH - 3/8" MOUTH	DULUX PAINT 'CHESTNUT/MC GAFE BROWN' MCD 37	12 ALUMINUM STOREFRONT DOOR/WINDOW FRAMES (E)	CLEAR ANODIZED
4 METAL CLADDING	CLEAR ANODIZED TO MATCH STOREFRONT	13 METAL PANEL SOFFIT - AD300	WHT WHITE
5 FIBER CEMENT LAP SIDING	DULUX PAINT 'CHESTNUT/MC GAFE BROWN' MCD 37	14 METAL DOORS & FRAMES (EXISTING) MEDIUM GREY	PAINTED DULUX PAINT MCD 46
6 METAL PANEL - RED	IRON RED	15 SURFACE MOUNTED LIGHTS	SEE ELECTRICAL DRAWINGS FOR SPECS.
7 METAL PANEL / RIBBON - WHITE	WHT WHITE	16 SIGNAGE	PROPOSED SIGNAGE LOCATION UNDER SEPARATE PERMIT & THE PROVISION OF THE CITY OF RICHMOND SIGN REGULATION BYLAW #100) TYPE & SIZE SHOWN SEE PATISSON DRAWING PACKAGE.
8 ALUMINUM STOREFRONT WINDOW FRAMES TO MATCH EXISTING	CLEAR ANODIZED	17 CONCRETE BASE (EXISTING) TO REMAIN AS IS. SEE ELEVATION NOTES.	NATURAL CONCRETE
9 STUCCO (EXISTING) - MEDIUM GREY. SEE ELEVATION NOTES.	PAINTED DULUX PAINT 'REGENT GREY' MCD 49	18 CONCRETE BASE TO MATCH EXISTING	NATURAL CONCRETE SEALED & STAINED
		19 EXISTING CHECKER PLATE TO REMAIN	STAINLESS STEEL
		20 WINDOW HEAD FLASHING	CLEAR ANODIZED
		21 WINDOW SILL FLASHING	CLEAR ANODIZED

- ALL MATERIALS ARE NEW UNLD.  
- REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWS, A.01.  
- \* ALL MATERIAL FLASHING TO BE 24 GA.  
- SEE COLOURED ELEVATIONS FOR CORRESPONDING COLOUR.

**PROPOSED ELEV. LEGEND:**

- MATERIAL NUMBER
- EXISTING CLADDING, DOORS, WINDOWS, ETC. TO BE REMOVED

**GLAZING LEGEND:**

- VISION (E)
- SPANDREL (E)
- VISION (N)

CONSULTANT

REV	DATE	DESCRIPTION
SEP/27/23		RE-ISSUED FOR D.P.
MAY/02/22		RE-ISSUED FOR D.P.
DEC/08/21		ISSUED FOR D.P.
MAR/27/20		ISSUED FOR MDCN REVIEW

**McDonald's**  
MCDONALD'S RESTAURANTS OF CANADA LIMITED,  
4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

DP 18-843281  
Plan #5  
November 6 2023

CONTRACTOR SEAL

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ARCHITECT

**LOVICK SCOTT ARCHITECTS**

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PROJECT  
**McDonald's - Cambie & Shell**  
#115 - 10700 CAMBIE ROAD,  
RICHMOND, BC

DRAWING  
EXISTING & PROPOSED  
NORTH ELEVATIONS  
PLAN # 11

PROJECT NUMBER 18-012  
DRAWING NUMBER A2.2  
SCALE 1/4" = 1'-0"  
METS NATIONAL NUMBER 40001

McDonald's & Shell - 18-012





1 PROPOSED SOUTH ELEVATION  
A23 SCALE: NTS



2 PROPOSED EAST ELEVATION  
A23 SCALE: NTS

3 PROPOSED WEST ELEVATION  
A23 SCALE: NTS



4 PROPOSED NORTH ELEVATION  
A23 SCALE: NTS

REV	DATE	DESCRIPTION
SEP/27/23		RE-ISSUED FOR D.P.
MAY/02/24		REISSUED FOR D.P.
JAN/08/21		REISSUED FOR D.P.
DEC/18/16		ISSUED FOR D.P.
MAR/27/10		ISSUED FOR M.D'S REVIEW

CONSULTANT

**McDonald's®**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

DP 18-843281  
 Plan #6  
 November 6 2023

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT



**LOVICK  
SCOTT  
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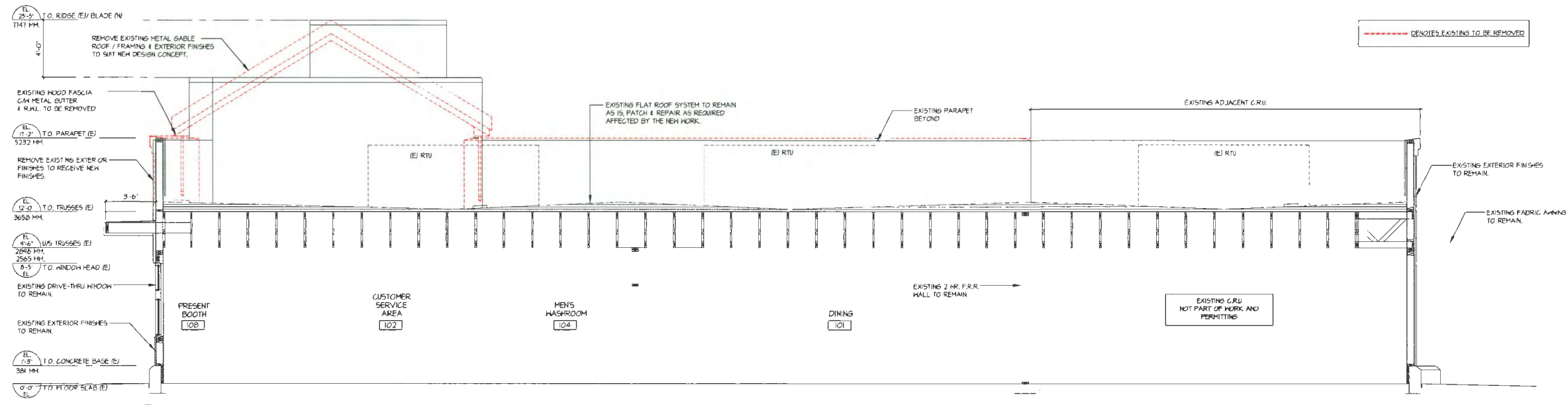
DRAWN BY: APPROVED

PROJECT  
**McDonald's - Cambie & Shell**  
 #115 - 10700 CAMBIE ROAD,  
 RICHMOND, BC

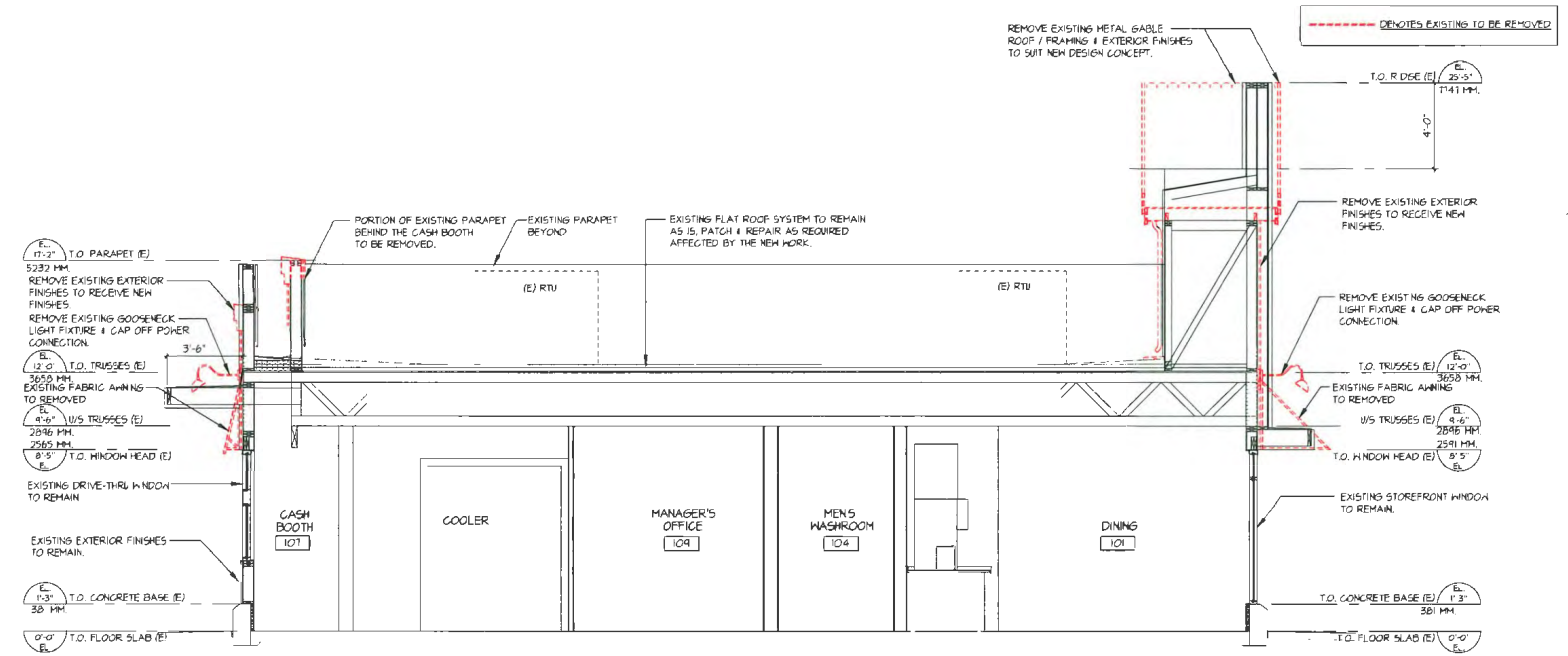
DRAWING  
 COLOURED ELEVATIONS  
 PLAN # 12

PROJECT NUMBER: 18-012  
 DRAWING NUMBER: A23  
 SCALE: 1/4" = 1'-0"  
 SITE: RICHMOND

Cambie & Shell - 18-012



1 BUILDING SECTION -A  
A1.1 SCALE: 1/8"=1'-0"



2 BUILDING SECTION -B  
A1.1 SCALE: 1/8"=1'-0"

REV	DATE	DESCRIPTION
SEP/21/23		ISSUED FOR D.P.
MAY/02/22		REISSUED FOR D.P.
JAN/01/21		REISSUED FOR D.P.
DEC/10/19		ISSUED FOR D.P.
MAR/21/18		ISSUED FOR M.D.'S REVIEW

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED  
 4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

DP 18-843281  
 Plan #7  
 November 6 2023

CONTRACTOR SHALL VERIFY / ALLOW MEASUREMENTS ON SITE DRAWINGS SHALL NOT BE SCALED



3707 1ST AVENUE  
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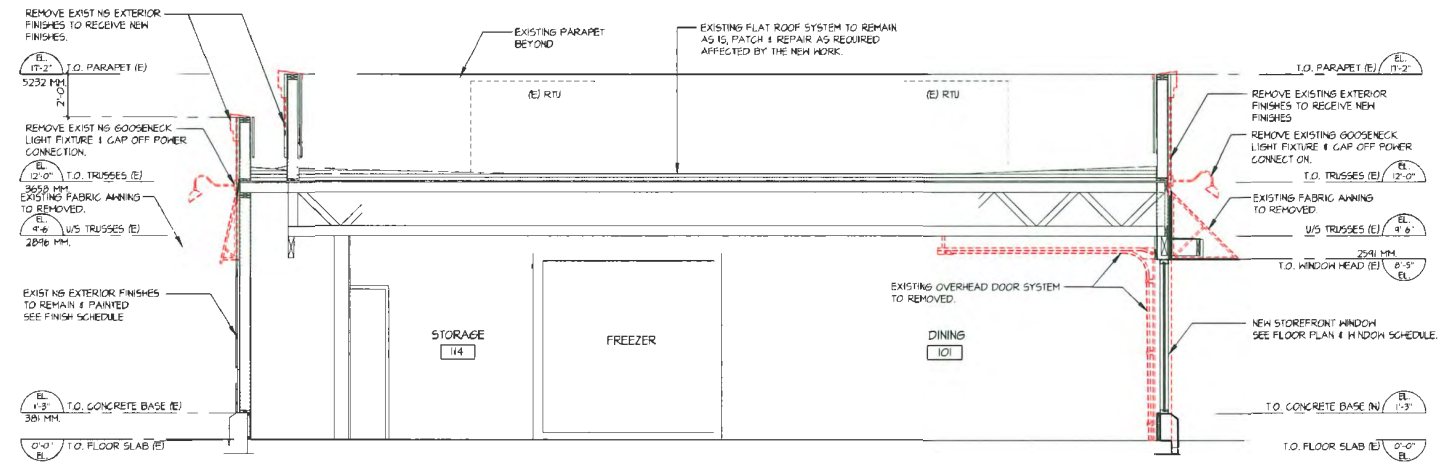
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DRAWN BY: J.S.  
 PROJECT: McDonald's - Cambie & Shell  
 #115 - 10700 CAMBIE ROAD, RICHMOND, BC

PROJECT NUMBER	DRAWING NUMBER
18-012	A3.0
SCALE	M.C.'S NATIONAL NUMBER
1/4" = 1'-0"	40001
DATE	REVISION
NOVEMBER 2018	

Cambie & Shell - 18-012

----- DENOTES EXISTING TO BE REMOVED



3 BUILDING SECTION -C  
ALL SCALE: 1/8" = 1'-0"

REVISION	DATE	DESCRIPTION
1	SEP/21/23	RE-ISSUED FOR D.P.
2	MAY/22/24	RE-ISSUED FOR D.P.
3	JAN/18/21	RE-ISSUED FOR D.P.
4	DEC/18/21	ISSUED FOR D.P.
5	MAR/27/18	ISSUED FOR M.D.'S REVIEW

CONSULTANT

**McDonald's**  
MCDONALD'S RESTAURANTS OF CANADA LIMITED,  
4400 STILL CREEK DRIVE, BURNABY BC, V5C 6C6

DP 18-843281  
Plan #8  
November 6 2023

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.



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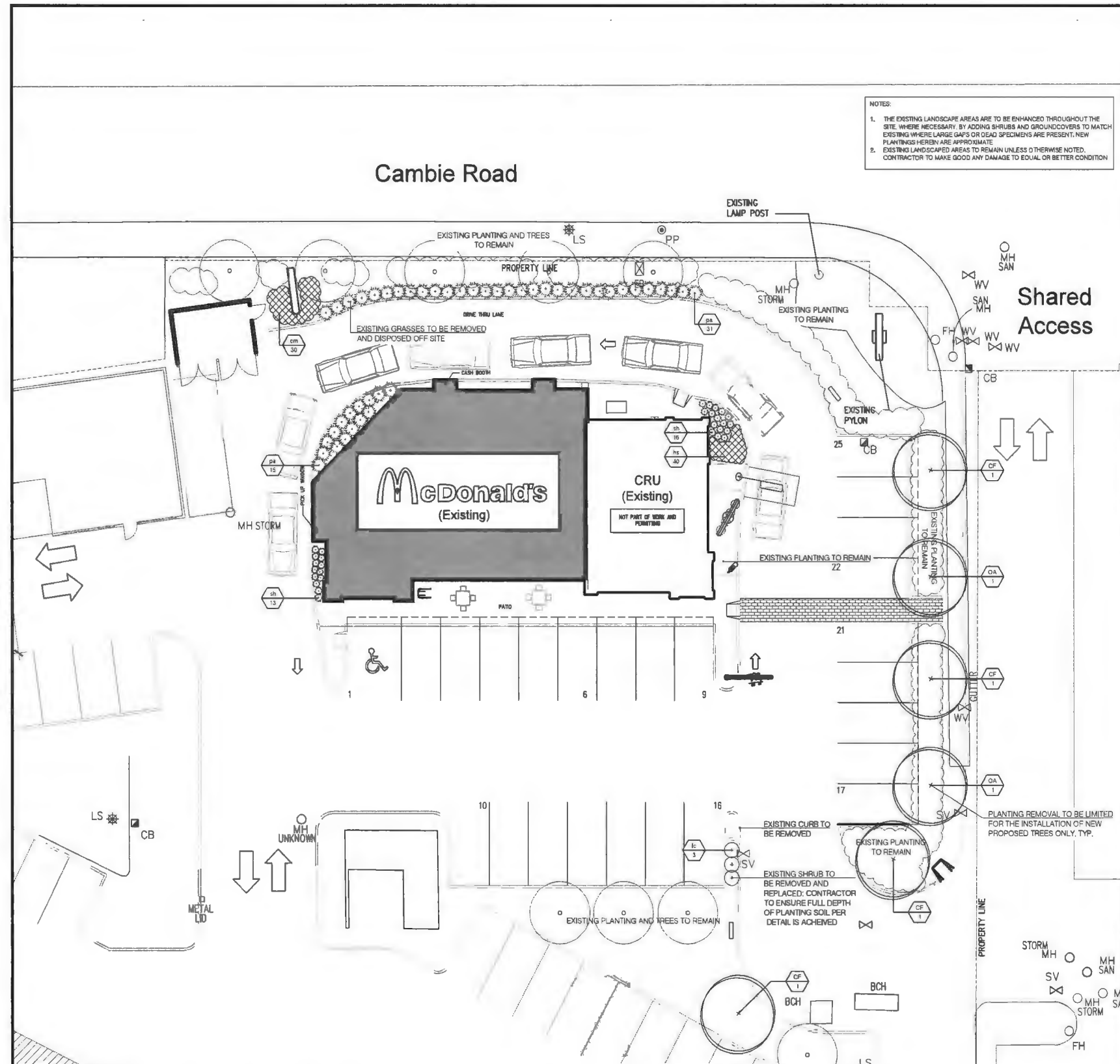
DRAWN BY: J.S. APPROVED:

PROJECT  
McDonald's - Cambie & Shell  
#115 - 10700 CAMBIE ROAD,  
RICHMOND, BC

DRAWING  
BUILDING SECTION  
PLAN # 15

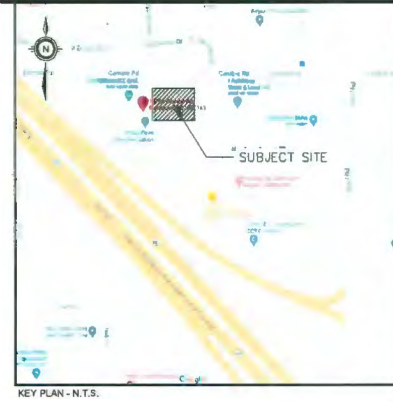
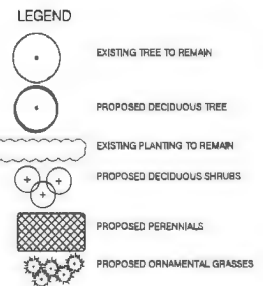
PROJECT NUMBER	DRAWING NUMBER
18-012	A3.1
SCALE	METS (METRIC) NUMBER
1/4" = 1'-0"	40001
DATE	REVISION
NOVEMBER 2018	

Cambie & Shell - 18-012



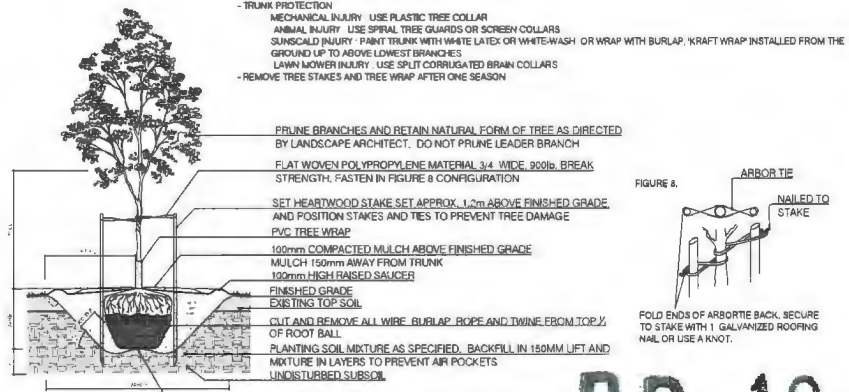
**NOTES:**

1. THE EXISTING LANDSCAPE AREAS ARE TO BE ENHANCED THROUGHOUT THE SITE. WHERE NECESSARY, BY ADDING SHRUBS AND GROUNDCOVERS TO MATCH EXISTING WHERE LARGE GAPS OR DEAD SPECIMENS ARE PRESENT, NEW PLANTINGS HEREIN ARE APPROXIMATE.
2. EXISTING LANDSCAPED AREAS TO REMAIN UNLESS OTHERWISE NOTED. CONTRACTOR TO MAKE GOOD ANY DAMAGE TO EQUAL OR BETTER CONDITION.

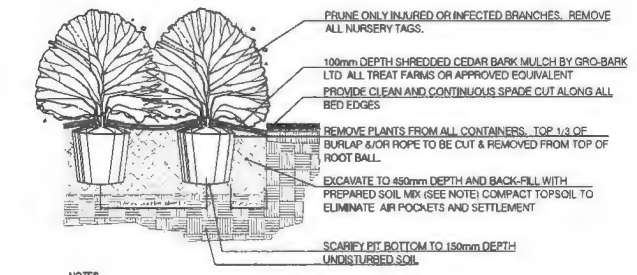


**NOTES:**

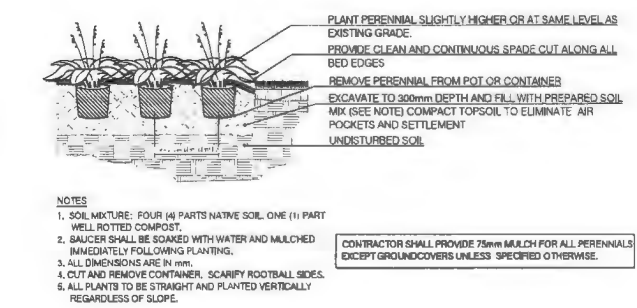
- OBTAIN WRITTEN CONFIRMATION OF UTILITY LOCATES PRIOR TO COMMENCEMENT OF DIGGING.
- ALL HOLES BY HAND WHEN CLOSER THAN 1.0M TO UNDERGROUND POWER, TELEPHONE AND GAS ALIGNMENTS.
- USE ROOT DEFLECTOR ON THE UTILITY SIDE OF REQUIRED.
- INSURE BASE OF TREE FITS STABLE IN ORDER TO MAINTAIN THE DESIRED TREE LEVEL AND GRADE.
- TREES TO BE SPRAYED WITH APPROVED ANTI-DESICCANT PRIOR TO TRANSPORTING UNLESS PLANTED WITHIN 48 HOURS OF DIGGING (IF PLANTED IN FULL LEAF).
- SET TREE 50mm HIGHER THAN SURROUNDING GRADE TO ALLOW FOR SETTLEMENT.
- SCARIFY COMPACTED SUBGRADE TO 500MM DEEP IN AREA 5 X ROOTBALL DIAMETER.
- DIG PIT 300MM WIDER THAN ROOTBALL PERIMETER.
- MULCH WITH SHREDDED BARK OR COMPOSTED HARDWOOD CHIPS.
- TRUNK PROTECTION: MECHANICAL INJURY - USE PLASTIC TREE COLLAR. ANIMAL INJURY - USE SPIRAL TREE GUARDS OR SCREEN COLLARS. SUNSCALD INJURY - PAINT TRUNK WITH WHITE LATEX OR WHITE WASH OR WRAP WITH BURLAP, 'KRAFT WRAP' INSTALLED FROM THE GROUND UP TO ABOVE LOWEST BRANCHES. LAWN MOWER INJURY - USE SPLIT CORRUGATED BRASS COLLARS.
- REMOVE TREE STAKES AND TREE WRAP AFTER ONE SEASON.



**1 BALLED & BURLAPPED/WIRE BASKET DECIDUOUS TREE**  
L1.0 N.T.S.



**2 BALLED AND BURLAPPED/POTTED SHRUB**  
L1.0 N.T.S.



**3 CONTAINER GROWN PERENNIAL/GRASS**  
L1.0 N.T.S.

**DP 18-843281**

**PLAN #9**

**NOV 06 2023**

**CLIENT**

McDonald's Restaurants of Canada Ltd.  
McDonald's Place  
Toronto, Ontario  
M5C 1L4  
Tel: 416-443-1000  
Fax: 416-448-9378

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**NOT FOR CONSTRUCTION**

**DRAWING ISSUE RECORD**

NO.	DATE	BY	DESCRIPTION
1	2023-04-28		ISSUED FOR REVIEW
2	2023-12-18		ISSUED FOR REVIEW

**DRAWING ISSUE RECORD**

NO.	DATE	BY	DESCRIPTION
1	2023-04-28		ISSUED FOR REVIEW
2	2023-12-18		ISSUED FOR REVIEW

**DRAWING ISSUE RECORD**

**IBI GROUP**  
200-360 James Street North  
Hamilton, ON L8L 1H6 Canada  
tel: 905 548 1010  
ibigroup.com

**PROJECT**  
**McDONALD'S**  
**40001-CAMBIE&SHELL**  
#115 - 10700 CAMBIE ROAD, RICHMOND, BC

**PROJECT NO:** 127404  
**DRAWN BY:** KA  
**CHKD BY:** TD  
**SCALE:** 1:150  
**DATE:** 2020-12-11

**SHEET TITLE**  
**LANDSCAPE PLAN**

**L1.0**

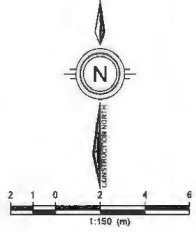
**SHEET 1 OF 1**

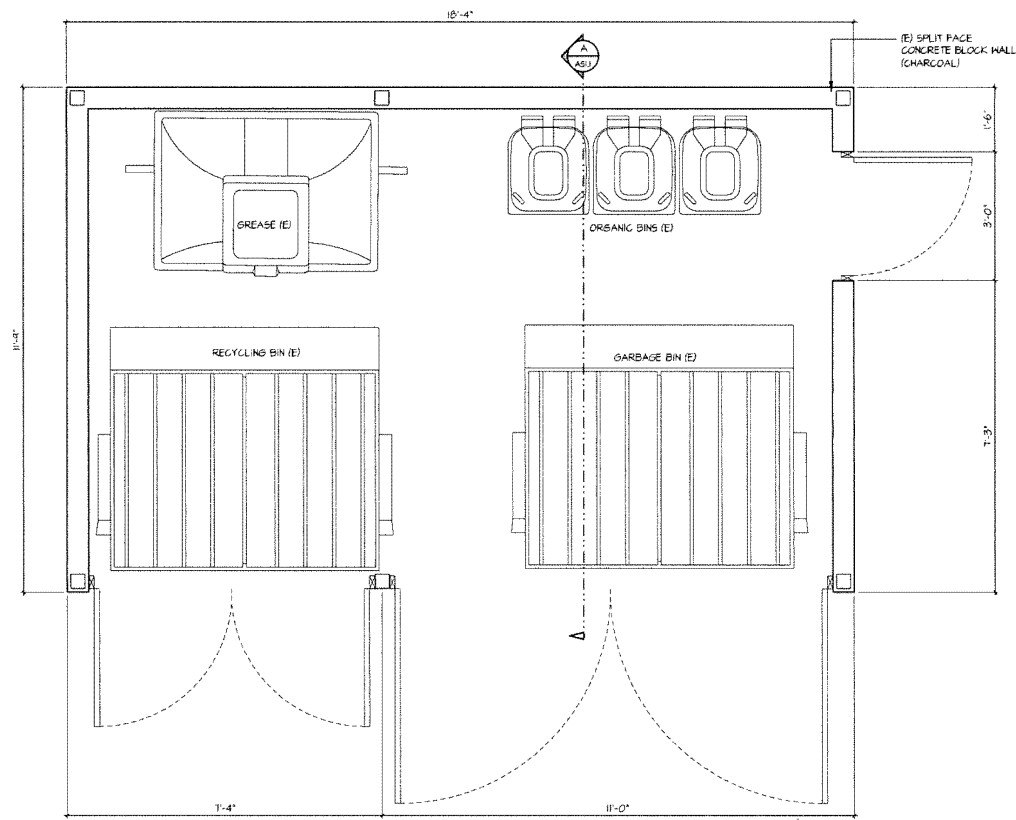
**LANDSCAPE NOTES:**

1. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH BY-LAWS AND CODES HAVING JURISDICTION OVER SITE LOCATION.
2. COMPLETE ALL WORK TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.
3. REPORT ANY CHANGES, DISCREPANCIES OR SUBSTITUTIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXISTING SERVICE LOCATIONS.
5. EXACT LOCATIONS OF PLANT MATERIAL WILL BE DETERMINED BY PLACEMENT OF SITE SERVICES SUCH AS HYDRO VALVES, METERS, UTILITIES, ROOF RAIN WATER LEADERS, DRIVEWAYS, LIGHT STANDARDS, ETC.
6. ALL PLANT MATERIAL LOCATIONS TO BE STAKED OR MARKED OUT AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. SUPPLY ALL PLANT MATERIAL IN ACCORDANCE WITH THE CANADIAN STANDARDS FOR NURSERY STOCK (ANSI).
8. INSTALL PLANT MATERIAL ACCORDING TO DETAILS SHOWN.
9. DISTURBED SOIL AREAS AROUND TREES AND SHRUBS ARE TO BE COVERED WITH SHREDDED CONIFER BARK MULCH SUCH AS 'CANADA RED' OR 'GRO-BARK' 5PM MULCH, OR APPROVED EQUIVALENT. ALTERNATIVE MULCHES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
10. CONTRACTOR TO UTILIZE LAYOUT DIMENSIONS WHERE PROVIDED.
11. PROVIDE PLANTING BED AREA AS NOTED ON THE DRAWING OR TO ACCOMMODATE MATURE SIZE OF PLANT MATERIAL.
12. ALL SUPPORT SYSTEMS MUST BE REMOVED BY THE CONTRACTOR AT TIME OF FINAL ACCEPTANCE. NO EXTRAS WILL BE PAID TO COMPLETE THIS WORK.
13. ALL DIMENSIONS IN METRES UNLESS OTHERWISE NOTED.
14. IF DISCREPANCIES ARISE BETWEEN PLANT MATERIAL COUNT SHOWN ON DRAWING AND PLANT LIST, THE DRAWING SHALL BE CONSIDERED CORRECT.
15. CONTRACTOR TO PROVIDE MINIMUM TWO (2) YEAR WARRANTY FROM DATE ACCEPTED ON ALL WORK UNLESS OTHERWISE SPECIFIED.
16. ANY SITE PLAN OR GRADING AND SERVICING SHOWN IS FOR INFORMATION ONLY. REFER TO APPROVED DRAWINGS.
17. NOT FOR CONSTRUCTION UNLESS STAMPED, SIGNED AND DATED BY LANDSCAPE ARCHITECT.
18. DRAWINGS NOT TO BE REPRODUCED WITHOUT WRITTEN CONSENT FROM LANDSCAPE ARCHITECT.
19. APPROVAL OF LANDSCAPE PLAN TO BE OBTAINED FROM MUNICIPALITY.
20. FOR GRADING AND SERVICING INFORMATION REFER TO THE ENGINEER'S DRAWINGS.
21. FOR LIGHTING INFORMATION AND POWER DISTRIBUTION REFER TO THE ELECTRICAL DRAWINGS.

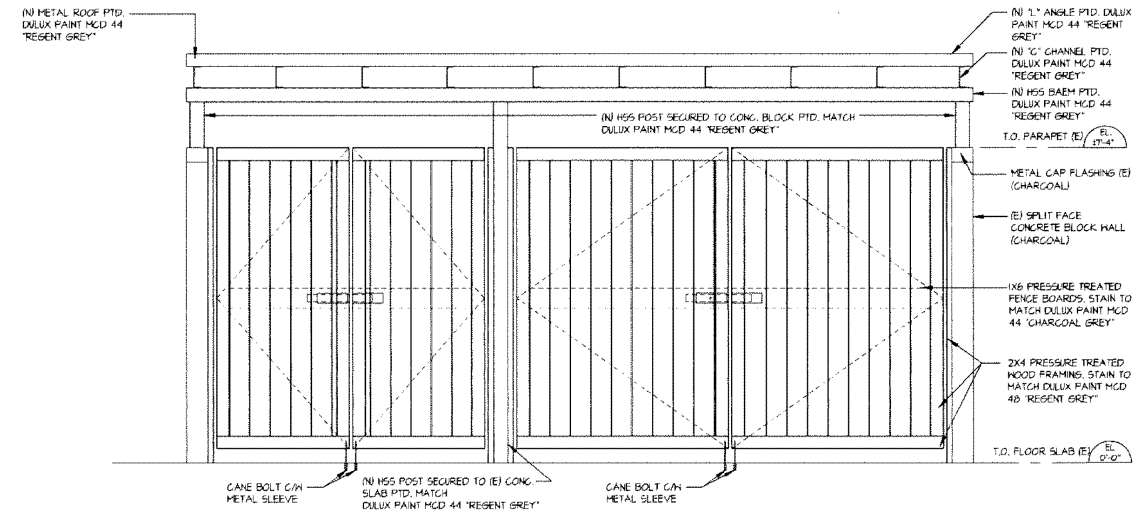
**PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	CAL.	SIZE	COND	MATURE HEIGHT	MATURE SPREAD	D.C. SPACING	QTY.
<b>TREES</b>									
CF	Cornus florida	Flowering Dogwood	60mm		W.B.	7.0	7.0	7.0	3
DA	Oxydendrum arboreum	Sourwood	60mm		W.B.	8.0	8.0	7.0	2
<b>SHRUBS</b>									
IC	Ilex crenata 'Convexa'	Convexa Japanese Holly	40cm	#3 cont		1.5	1.5	1.5	3
<b>PERENNIALS/GRASSES/VINES</b>									
cm	Carex mosyoni 'Ice Dance'	Ice Dance Sedge		#1 cont		0.3	0.3	0.3	30
pa	Pennisetum alopecuroides	Fountain Grass		#1 cont		0.45	0.6	0.5	46
ht	Hemerocallis 'Sheila Dorr'	Daylily		#1 cont		0.3	0.5	0.4	40
sh	Sporobolus heterolepis	Prarie Dropseed		#1 cont		0.6	0.6	0.5	29

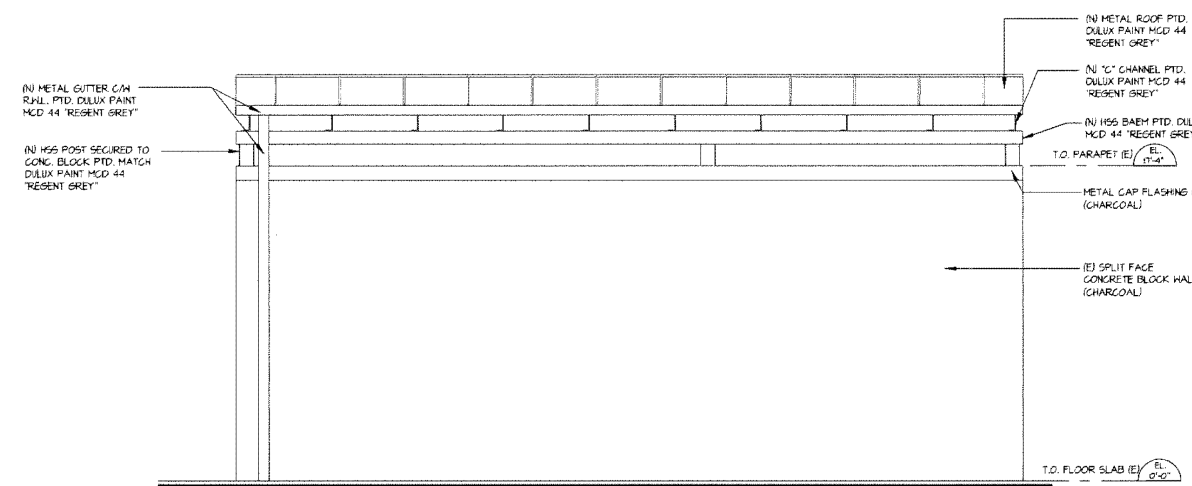




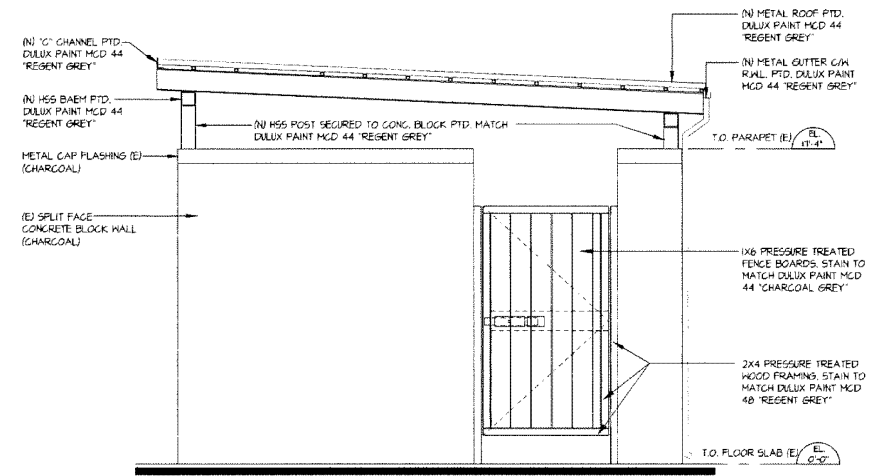
1 GARBAGE ENCLOSURE PLAN  
AS1 SCALE: 1/2" = 1'-0"



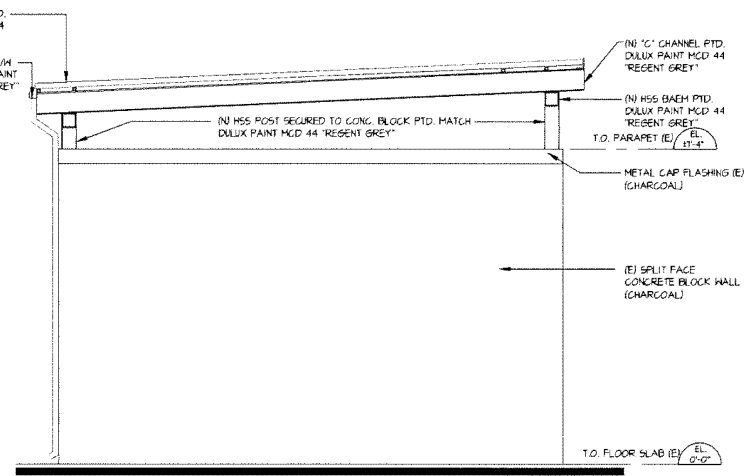
2 SOUTH ELEVATION  
AS1 SCALE: 1/2" = 1'-0"



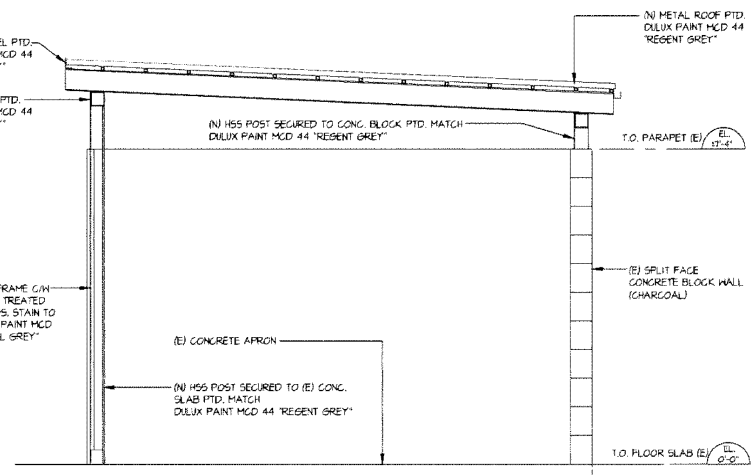
3 NORTH ELEVATION  
AS1 SCALE: 1/2" = 1'-0"



4 EAST ELEVATION  
AS1 SCALE: 1/2" = 1'-0"



5 WEST ELEVATION  
AS1 SCALE: 1/2" = 1'-0"



A SECTION  
AS1 SCALE: 1/2" = 1'-0"

CONSULTANT		DESCRIPTION	
SEP/27/23	RE-ISSUED FOR D.P.		
MAY/02/23	RESUBMITTED FOR D.P.		
JAN/01/21	ISSUED FOR D.P.		
REV	DATE	REV	DATE

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

DP 18-843281  
 Plan #10  
 November 6 2023

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.



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DRAWN BY: JS APPROVED: JS

PROJECT: McDonald's - Cambie & Shell

#115 - 10700 CAMBIE ROAD, RICHMOND, BC

DRAWING: GARBAGE ENCLOSURE PLAN # 4a

PROJECT NUMBER	DRAWING NUMBER
18-012	AS1.1
SCALE	MCD'S NATIONAL NUMBER
AS NOTED	40001
DATE	REVISION
JANUARY 11, 2021	

Cambie & Shell - 18-012





1 NORTH WEST VIEW  
A2.4 SCALE, NTS



2 SOUTH WEST VIEW  
A2.4 SCALE, NTS



3 SOUTH EAST VIEW  
A2.4 SCALE, NTS

Exterior Elevations (Including Signage) Review / Approval		
Name	Title	Date
Michael Carillo	NAE'l Design Manager	June 11, 2018
		November 22, 2018

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
SEP/27/23		RE-ISSUED FOR D.P.			
MAY/02/22		RE-ISSUED FOR D.P.			
JAN/05/21		RE-ISSUED FOR D.P.			
DEC/16/18		ISSUED FOR D.P.			
MAR/27/18		ISSUED FOR MDV REVIEW			

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

CONSULTANT

## REFERENCE PLAN

CONSULTANT SEAL

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ARCHITECT



**LOVICK SCOTT ARCHITECTS**

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DRAWING APPROVED

RMR  
 PROJECT  
**McDonald's - Cambie & Shell**  
 #115 - 10700 CAMBIE ROAD,  
 RICHMOND, BC

DRAWING

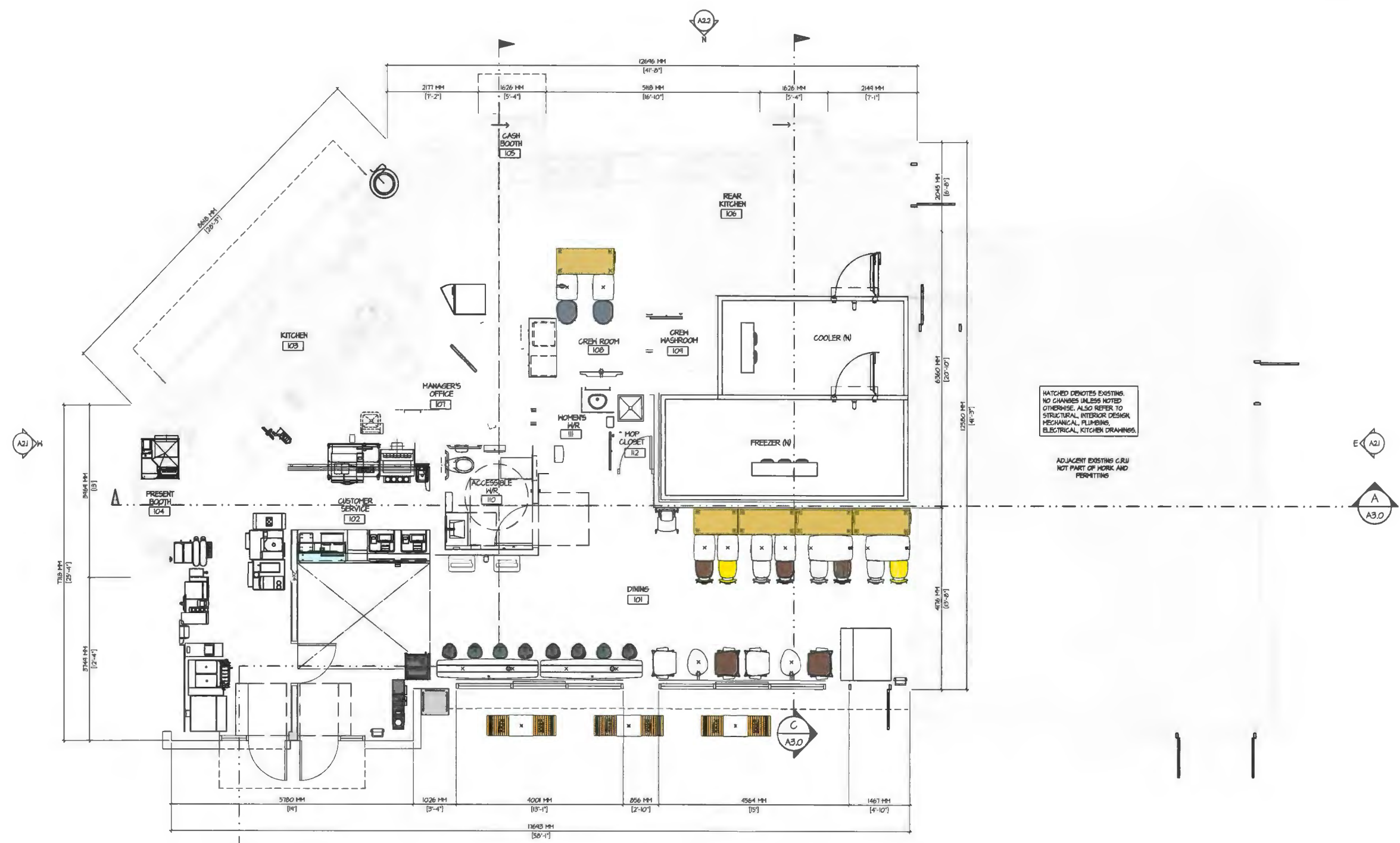
PERSPECTIVES  
 PLAN # 13

PROJECT NUMBER DRAWING NUMBER  
 18-012 A2.4

SCALE  
 1/4" = 1'-0"

BC'S NATIONAL NUMBER  
 40031

Cambie & Shell - 18-012



**PROPOSED FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 (E) FLOOR AREA (McD's) : 2,428.90 SQ.FT. (225.70 SQ.M.)  
 SEATING : 28

**OCCUPANT LOAD SIGN:**  
 MAXIMUM OCCUPANCY SIGN TO BE POSTED PER LOCAL CODE, BC TO CARRY COST TO SUPPLY & INSTALL SIGN.

**ALL DIMENSIONS ARE TO BE CONFIRMED ON SITE**

**PROPOSED FLOOR PLAN LEGEND**  
 - - - - - (E) WALLS, DOORS, ETC. TO BE REMOVED

**NOTE:**  
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH MECHANICAL, PLUMBING, ELECTRICAL, KITCHEN AND INTERIOR DESIGN DRAWINGS AS A COMPLETE SET. IF ANY DISCREPANCIES OCCUR, PLEASE CONTACT ARCHITECT PRIOR TO FINALIZING TENDER AND PROCEEDING WITH ANY WORK (DEMO, FRAMING, ORDERING, ETC.) THIS NOTE APPLIES ON ALL PAGES OF THE DRAWING PACKAGE.

**TYPICAL WALL LEGEND:**

**NOTE:**  
 1. ALL ASSEMBLIES TYPICAL UNO. FOR SHEAR WALLS OR SPECIALTY CONSTRUCTION.  
 2. REFER TO HALL SCHEDULE FOR ASSEMBLIES, FINISHES AND REQUIRED FRR.  
 3. BC IS RESPONSIBLE FOR SEISMIC BRACING & ENGINEERING FOR INTERIOR PARTITION WALL INCLUDING PROVIDING LETTER OF ASSURANCE TO MEET LOCAL AUTHORITIES REQUIREMENTS.

(E) EXTERIOR HALL  
 (I) INTERIOR HALL  
 (D) HALLS TO BE DEMOLISHED (ALSO REFER TO OTHER ITEM TO BE DEMOLISHED AS NOTED)  
 (N) EXTERIOR HALL  
 (N) INTERIOR HALL  
 SHEAR WALL

HATCHED DENOTES EXISTING. NO CHANGES UNLESS NOTED OTHERWISE. ALSO REFER TO STRUCTURAL, INTERIOR DESIGN, MECHANICAL, PLUMBING, ELECTRICAL, KITCHEN DRAWINGS.

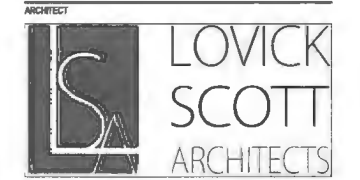
ADJACENT EXISTING CUR NOT PART OF WORK AND PERMITTING

REV	DATE	DESCRIPTION
SEP/21/23		RE-ISSUED FOR D.P.
MAY/02/22		RE-ISSUED FOR D.P.
JAN/01/21		RE-ISSUED FOR D.P.
DEC/18/10		ISSUED FOR D.P.

**McDonald's**  
 MCDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

**REFERENCE PLAN**

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON-SITE. DRAWINGS SHALL NOT BE SCALED.



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 BURNABY, BC V5C 3V6  
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DRAWN BY: SS APPROVED: SS

**PROJECT**  
 McDonald's - Cambie & Shell

#115 - 10700 CAMBIE ROAD,  
 RICHMOND, BC

**PROPOSED FLOOR PLAN PLAN # 6**

PROJECT NUMBER	DRAWING NUMBER
18-012	A.I.I

SCALE: 1/4" = 1'-0"  
 MCTS NATIONAL NUMBER: 40001

McDonald's - Cambie & Shell - 18-012