



City of  
Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** May 21, 2025

**From:** Joshua Reis  
Director, Development

**File:** DP 23-028741

**Re:** Application by Matthew Cheng Architect Inc. for a Development Permit at  
7511 St. Albans Road

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### Staff Recommendation

That a Development Permit be issued which would permit the construction of five townhouse units at 7511 St. Albans Road on a site zoned "High Density Townhouse (RTH1)".

Joshua Reis  
Director, Development  
(604-247-4625)

JR:el  
Att. 3

## Staff Report

### Origin

Matthew Cheng Architect Inc., on the behalf of 1118992 BC Ltd. (Directors: Ramneek Singh Padda and Satwant Singh Atwal), has applied to the City of Richmond for permission to develop five townhouse units at 7511 St. Albans (Attachment 1) with vehicle access through an easement registered on Title of the adjacent property to the north at 7433 St. Albans Road.

The site is being rezoned from “Small-Scale Multi-Unit Housing (RSM/L)” zone to the “High Density Townhouse (RTH1)” zone for this project under Bylaw 10446 (RZ 18-818548), which is currently at third reading.

A Servicing Agreement is required as a condition of Rezoning and includes, but is not limited to, the following improvements:

- frontage beautification along St. Albans Road;
- relocation of an existing fire hydrant out of the proposed sidewalk; and
- new service connections.

### Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

Development surrounding the subject site is as follows:

- To the North: A seven-unit, two-storey townhouse development on a lot zoned “Medium Density Low Rise Apartments (RAM1)”.
- To the South: A four-unit, three-storey townhouse development on a lot zoned “Town Housing (ZT45) – Gilbert Road, Acheson – Bennett Sub-Area, St. Albans Sub-Area, South McLennan (City Centre)”.
- To the East: Across St. Albans Road, a 23-unit, three-storey townhouse development on a lot zoned “High Density Townhouses (RTH4)”.
- To the West: A four-storey apartment building on a lot zoned “Medium Density Low Rise Apartments (RAM1)”.

### Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on April 17, 2023. At the Public Hearing, concerns regarding the shared use and maintenance of the driveway at the townhouse complex to the north were expressed by a resident at 7433 St. Albans Road. The developer has subsequently met with the residents at 7433 St. Albans Road to discuss the use of the easement and address concerns with the shared use of the driveway, including day-to-day issues such as maintenance and wayfinding signage. The two parties have agreed to work cooperatively and are working towards a cost-sharing agreement after consulting with their legal counsel.

**Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit (DP) application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “High Density Townhouse (RTH1)” zone.

**Advisory Design Panel Comments**

The subject application was not presented to the Advisory Design Panel on the basis that this small project generally meets all the applicable DP Guidelines, and the overall design and site plan have adequately addressed staff comments.

**Analysis*****Conditions of Adjacency***

- The proposed form, massing and orientation of the buildings are compatible with the existing adjacent developments on the block.
- Location and orientation of windows are carefully considered to minimize the opportunity of looking into close-by windows of existing adjacent developments and units proposed on site.
- The site grade at the western and southern portions of the site will be raised. The maximum height of the proposed retaining wall is approximately 0.50 m.
- The existing site grade along the south property line at the terminus point of the proposed drive aisle will be maintained to accommodate tree retention on the neighbouring property to the south.
- Existing wooden fencing along the south property line is proposed to be kept, with the exception of the area immediately south of the on-site common outdoor amenity space, where a new wooden retaining wall and fence are proposed.
- Existing wooden fence on the neighbouring site to the north will be kept where it is not in conflict with the driveway connection, and new coniferous trees and hedging are also proposed on-site along the north property line.
- A new wooden fence will be installed along the west property line to provide privacy between the subject and adjacent residential developments.
- Perimeter drainage will be required as part of the Building Permit to ensure stormwater is managed and addressed through the development and will not impact the neighbouring properties.

***Transportation and Site Access***

- Vehicle access is proposed through an existing access easement (BR295796) registered over the drive aisle of the neighbouring townhouse development to the north at 7433 St. Albans Road; no direct vehicle access to St. Albans Road is permitted from the subject site.

- This access arrangement was secured through the rezoning and development applications for 7433 St. Albans Road, which received final adoption by Council on November 13, 2001 (RZ 00-180731).
- A legal opinion prepared by the applicant's lawyer confirms that the City can rely on this access easement. This legal opinion has also been reviewed by the City's Law Department.
- A statutory right-of-way over the internal drive-aisle and hammerhead turnaround area on the subject site has been secured at Rezoning to enable residents and visitors (including small delivery vehicles) of 7433 St. Albans Road to use the turnaround area.

### ***Urban Design and Site Planning***

- The development includes five three-storey units in two building clusters.
- The layout of the townhouse units is oriented around the north-south internal manoeuvring aisle, providing access to the unit garages.
- Units along St. Albans Road will have direct pedestrian access from the street, and units along the rear (west) property line will have access from the internal drive aisle.
- Two units will have a side-by-side double car garage, and three units will have a single car garage. One visitor parking space will be provided on site. The numbers of residential and visitor parking spaces proposed comply with the minimum bylaw requirements.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and comply with the zoning bylaw requirements.
- The provision of private outdoor spaces complies with the DP Guidelines of the OCP. All units will have a private outdoor space consisting of a front or a rear yard. Units along St. Albans Road will also have a balcony on the second floor facing the internal drive aisle, and units along the west property line will also have a roof deck.
- Outdoor amenity space is proposed at the southwest corner of the site. The size and location of the outdoor amenity space are appropriate for providing an open landscape and amenity space convenient to all units.
- No indoor amenity space is proposed on site. A \$10,330.00 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.
- A pedestrian walkway is proposed along the south property line between St. Albans Road and the internal drive aisle. A mailbox kiosk and a garbage, recycling and organic waste storage room will be provided on site along this internal walkway.

### ***Architectural Form and Character***

- A traditional sloped roof style is proposed for this project. Architectural details used in this project, such as gable roofs and bay windows, are consistent with the treatments that can be found in adjacent developments.
- A pedestrian scale is generally achieved along St. Albans Road and the internal drive aisle through the inclusion of variation in building projections, recesses, varying material/colour combinations, landscape features and the use of individual unit entrances.



- Individuality of units is expressed through main unit entries with entry canopies and private landscaped patios/yards with gates at front units along St. Albans Road.
- The impact of blank garage doors has been mitigated with panel-patterned garage doors, unit entrances and planting islands along the drive aisle.
- The proposed building materials (asphalt roof shingles, lap siding and cementitious boards, etc.) are generally consistent with the OCP.
- Warm-toned siding colours with contrasting accent/trim colours are proposed to provide a visual diversity from the adjacent recent townhouse developments.

### ***Tree Retention and Replacement***

- Tree preservation was reviewed at the rezoning stage, a total of seven bylaw-sized trees (tag# 681, 682, 683, 684, 685, 686 and 687) and one hedgerow comprising 13 trees (tag# 1-13) were identified for removal due to their poor condition.
- Five trees (tag# 700, 701, 702, 703 and 704) located on the neighbouring property to the south at 7531 St. Albans Road are identified to be retained and protected.
- Tree protection fencing is required to be installed as per the Arborist Report recommendations prior to any construction activities (including demolition) occurring on-site.
- A proof of contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones has been secured at Rezoning.
- Based on the 2:1 tree replacement ratio stated in the OCP, 40 replacement trees are required. The applicant is proposing to plant 12 replacement trees on-site, including eight conifers and four deciduous trees. Proposed tree planting has been maximized to the extent possible and takes into consideration the five trees to be retained on the neighbouring property to the south.
- A voluntary contribution of \$21,000.00 (\$750/tree) to the City's Tree Compensation Fund in lieu of planting the remaining 28 replacement trees has been secured at Rezoning.

### ***Landscape Design and Open Space Design***

- The street edge along St. Albans Road will be defined with landscaping including lawn, flower beds, native shrubs and evergreen trees. A low 1.0 m tall steel picket fence with gates and masonry pillars, as well as a masonry development sign, will be installed along the road frontage to accommodate visually interesting plant species.
- Each street-fronting unit will have a private front yard with an outdoor patio to add animation along the streetscape. The front yards will be divided from each other by cedar hedges and buffered from the road by planting dense shrubs immediately behind the steel picket fence.
- The private back yards of the two units in the west building will be located over a service right-of-way, thus, no trees are being proposed in those areas. These two backyards will be divided from each other and from the outdoor amenity space/children's play area by cedar hedges. A 1.8 m tall fence will be installed along the west property line to provide privacy for these units.

- Broadleaf evergreen shrubs that provide seasonal interest and colour will be planted against the building. The proposed design will allow for both active and passive recreation.
- An on-site irrigation system is proposed to ensure the continued maintenance of live landscaping.
- A climbing web with spinner poles and a wooden stepper, as well as a chalkboard, are proposed within the outdoor amenity area. These play structures/elements are chosen to fit into the provided space and to allow multiple children to play at the same time. The equipment provides different play opportunities for the development of social, imagination, balance and motor skills. A bench is also proposed in the children's play area for caregivers.
- All internal walkways, garage aprons and surface parking spaces will be treated with permeable pavers for better water infiltration and variety in paving surfaces.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$93,579.46 in association with this DP.

### ***Crime Prevention Through Environmental Design***

- The site plan and individual unit layout create an opportunity for passive surveillance. Additional windows are provided to side elevations adjacent to the outdoor amenity area and entry walkway to enhance visual surveillance opportunities.
- Front entries will be well-lit with ceiling lights in the entry porches. Exterior lights will be provided along the internal drive aisle, by the utility room/mailbox kiosk, and in outdoor amenity areas, etc., to enhance visual supervision from windows and balconies located along the internal driveway.

### ***Sustainability***

- Consistent with Provincial Energy Step Code and Zero Carbon Step Code requirements, this project is expected to be designed to achieve Step 3 with Emission Level 4.
- High efficient air source heat pump system will be provided. Condenser units for the street fronting units will typically be located on the balconies facing the internal drive aisle, and the condenser units for the rear units will be located on the roof decks. An Acoustic Report has been submitted to confirm that the noise levels from the condensing units are in compliance with the City's Noise Regulation Bylaw 8856.
- The following features will also be included in the development:
  - HRV systems to reduce heating/cooling energy for conditioning ventilation air.
  - Energy Star appliances to reduce energy consumption.
  - Electric hot water tank to reduce greenhouse gas emissions.
  - Dual flush toilets to enhance water conservation.

### ***Accessible Housing***

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair.

- The potential conversion of these units will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow for this in Unit #4) in the future, if desired.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell handrails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

### Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



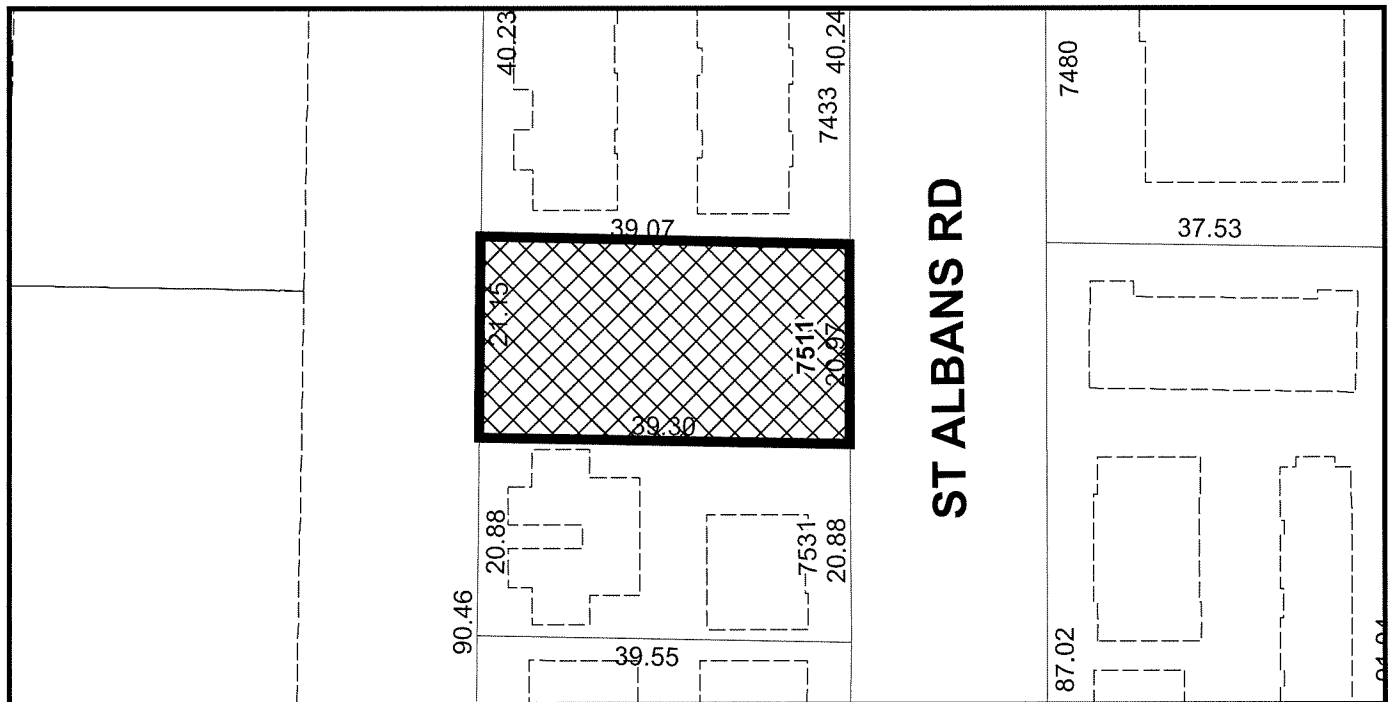
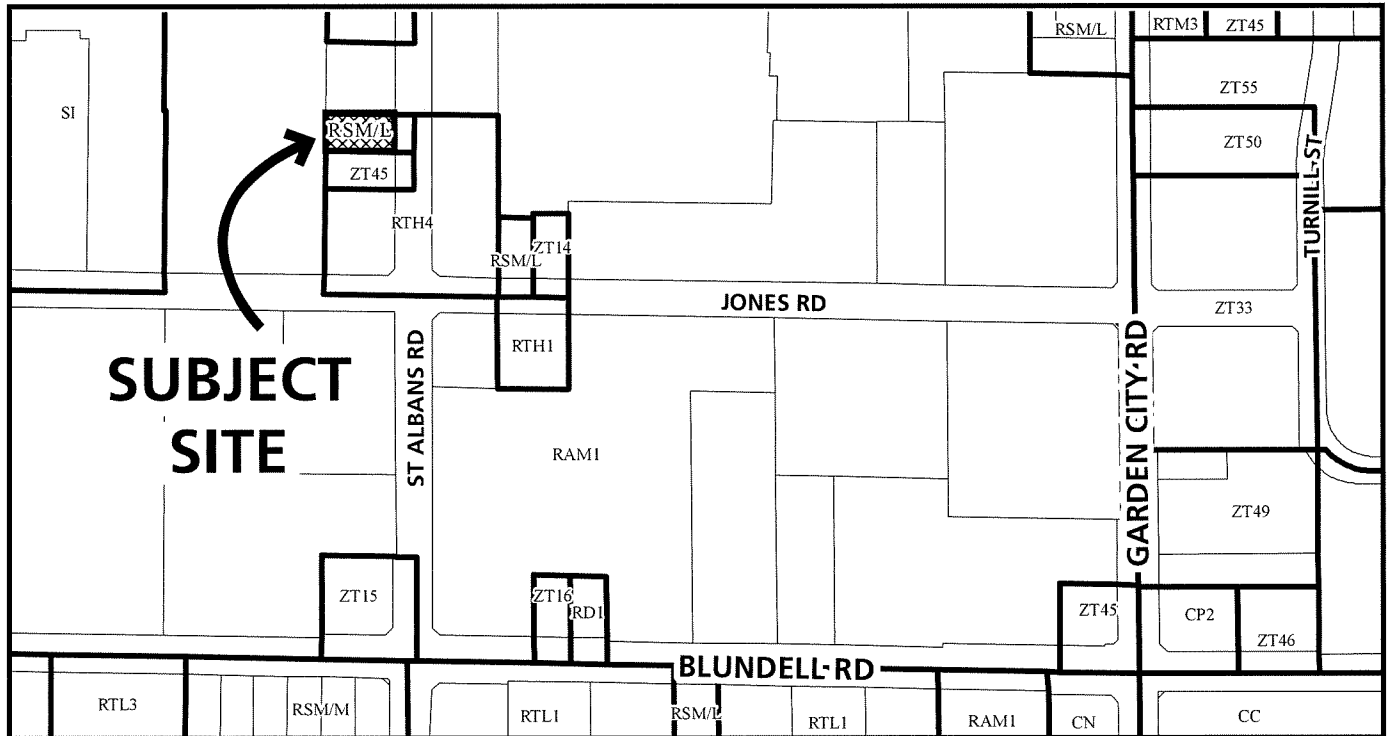
Edwin Lee  
Planner 2  
(604-276-4121)

EL:js

Att. 1: Location Map  
2: Development Application Data Sheet  
3: Development Permit Considerations



City of  
Richmond



DP 23-028741

Original Date: 09/22/23

Revision Date: 05/07/25

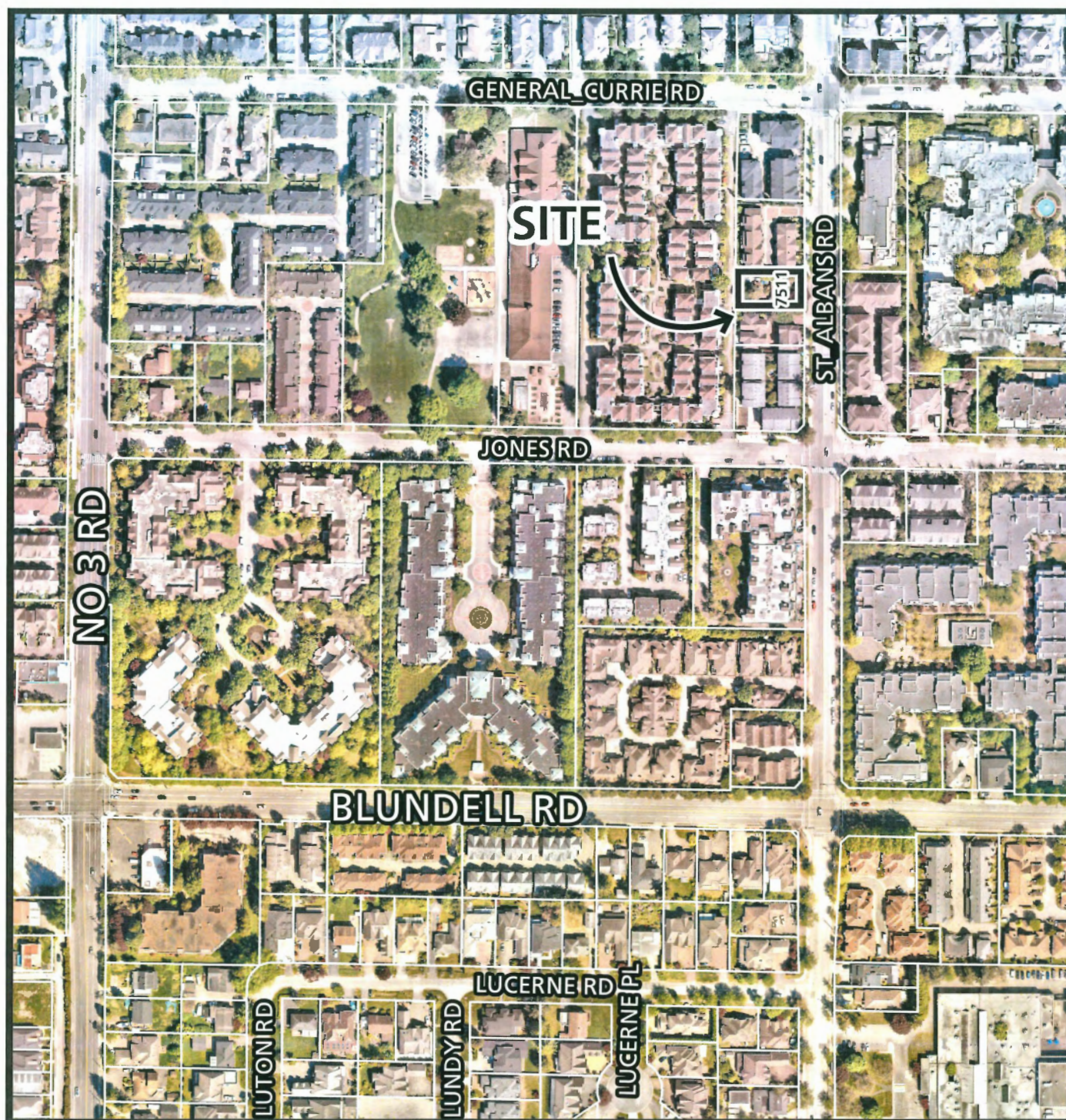
Note: Dimensions are in METRES





City of  
Richmond

ATTACHMENT 1



DP 23-028741

Original Date: 05/07/25  
Revision Date:

Note: Dimensions are in METRES





**DP 23-028741**

**Attachment 2**

Address: 7511 St. Albans Road

Applicant: Matthew Cheng Architect Inc.

Owner: 1118992 BC Ltd.

Planning Area(s): City Centre – St. Albans Sub Area Plan 2.10A

Floor Area Gross: 817.7 m<sup>2</sup>

Floor Area Net: 619.1 m<sup>2</sup>

	Existing	Proposed
<b>Site Area:</b>	825 m <sup>2</sup> (8880 ft <sup>2</sup> )	No Change
<b>Land Uses:</b>	Single-Family Residential	Multi-Family Residential
<b>OCP Designation:</b>	Neighbourhood Residential	No Change
<b>Area Plan Designation:</b>	Multi-Family Low Rise (3 Storey apts., Townhouses, Two-Family or Single-Family Dwellings)	No Change
<b>Zoning:</b>	Small-Scale Multi-Unit Housing (RSM/L)	High Density Townhouses (RTH1)
<b>Number of Units:</b>	1	5

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.75	0.75	none permitted
Buildable Floor Area:*	825 m <sup>2</sup> x 0.75 = 618.75 m <sup>2</sup>	616.11 m <sup>2</sup> (6,631.8 ft <sup>2</sup> )	none permitted
Lot Coverage – Building:	Max. 45%	38%	none
Lot Coverage – Non-Porous Surface	Max. 70%	63%	none
Lot Coverage – Landscaping live plant material	Min. 20%	21%	none
Setback – Front Yard (m):	Min. 4.5 m	4.5 m	none
Setback – Interior Side Yard – North (m):	Min. 2.0 m	2.0 m	none
Setback – Interior Side Yard – South (m):	Min. 2.0 m	2.0 m	none
Setback – Rear Yard (m):	Min. 2.0 m	3.0 m	none
Height (m):	Max. 12 m	11.28 m	none
Lot Size:	Min. 600 m <sup>2</sup>	825 m <sup>2</sup>	none
Min. Lot Dimensions (m):	Width: 20 m Depth: 30 m	Width: 20.97 m Depth: 39.07 m	none

Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	1.4 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	7 (R) and 1 (V)	7 (R) and 1 (V)	none
Standard Parking Spaces:	8	8	none
Tandem Parking Spaces:	Max. 50% of required residential spaces (7 x Max. 50% = 3)	0	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	2 (Class 1) and 0.25 (Class 2) per unit	none
Off-street Bicycle Parking Spaces – Total:	7 (Class 1) and 1 (Class 2)	10 (Class 1) and 1 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m <sup>2</sup> or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> x 5 units = 30 m <sup>2</sup>	30 m <sup>2</sup>	none



City of  
Richmond

## ATTACHMENT 3

### Development Permit Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 7511 St Albans Road

**File No.:** DP 23-028741

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. **(Zoning Amendment)** Final adoption of the Zoning Amendment Bylaw 10446.
2. **(Tree Protection)** Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
3. **(Landscaping Security)** Receipt of a Letter of Credit for landscaping in the amount of \$93,579.46 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency). A legal agreement is required to accompany the Landscape Security to set the terms for its use and release.
4. **(Fees - Notices)** Payment of all fees in full for the cost associated with the Development Permit Panel Meeting Notices, consistent with the City's Consolidated Fees Bylaw No 8636, as amended.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.  
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.  
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- If the development will be constructed in phases and stratified, a Phased Strata Subdivision Application is required. Each phase of a phased strata plan should be treated as a separate parcel, each phase to comply with the Richmond Zoning Bylaw 8500 in terms of minimum lot area, building setback and parking requirements. Please arrange to have the City's Approving Officer review the proposed phased boundaries in the early DP stages. To allow sufficient time for staff review and preparation of legal agreements, the application should be submitted at least 12 months prior to the expected occupancy of development.

Initial: \_\_\_\_\_



- If the development intends to create one or more air space parcels, an Air Space Parcel Subdivision Application is required. To allow sufficient time for staff review and preparation of legal agreements, the application should be submitted at least 12 months prior to the expected occupancy of development.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

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Signed

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Date



# City of Richmond

## Development Permit

**No. DP 23-028741**

To the Holder: Matthew Cheng Architect Inc.  
Property Address: 7511 St. Albans Road  
Address: 670 Evans Avenue Unit 202,  
Vancouver, British Columbia, V6A 2K9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #23 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$93,579.46 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 23-028741**

To the Holder: Matthew Cheng Architect Inc.  
Property Address: 7511 St. Albans Road  
Address: 670 Evans Avenue Unit 202,  
Vancouver, British Columbia, V6A 2K9

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7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.  
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE  
DAY OF , .

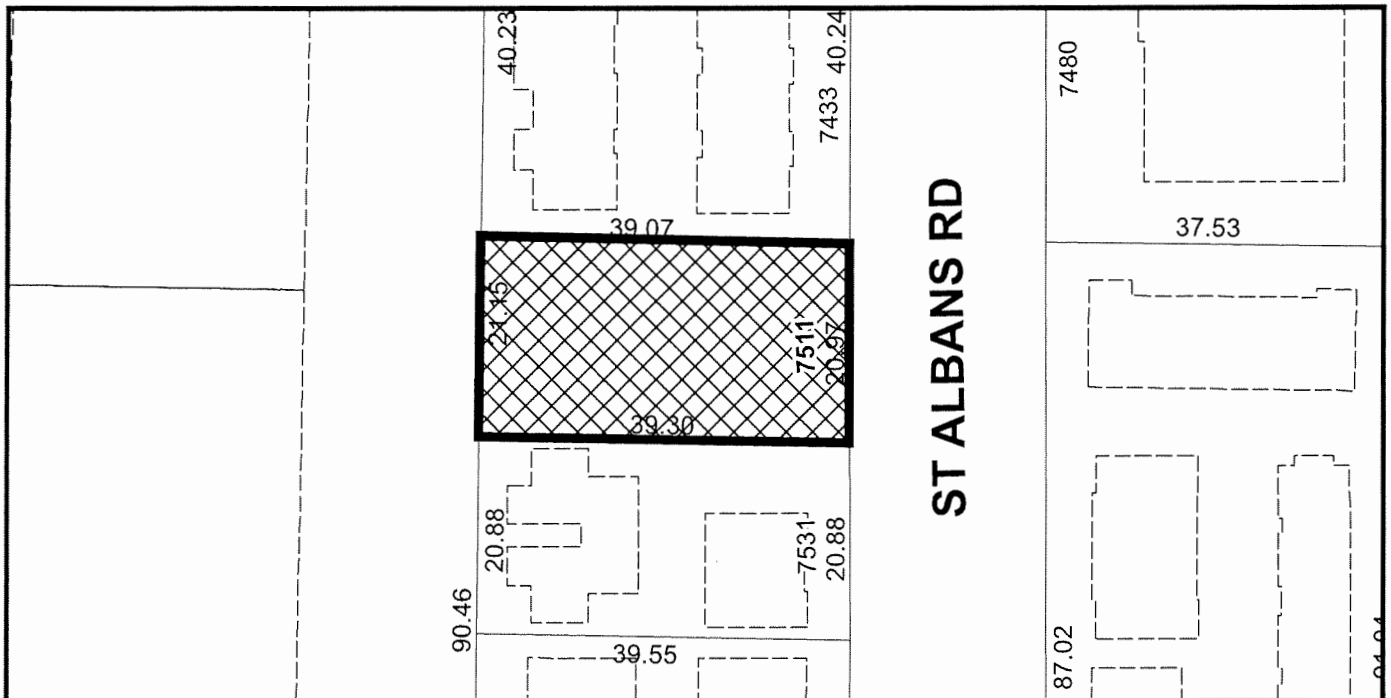
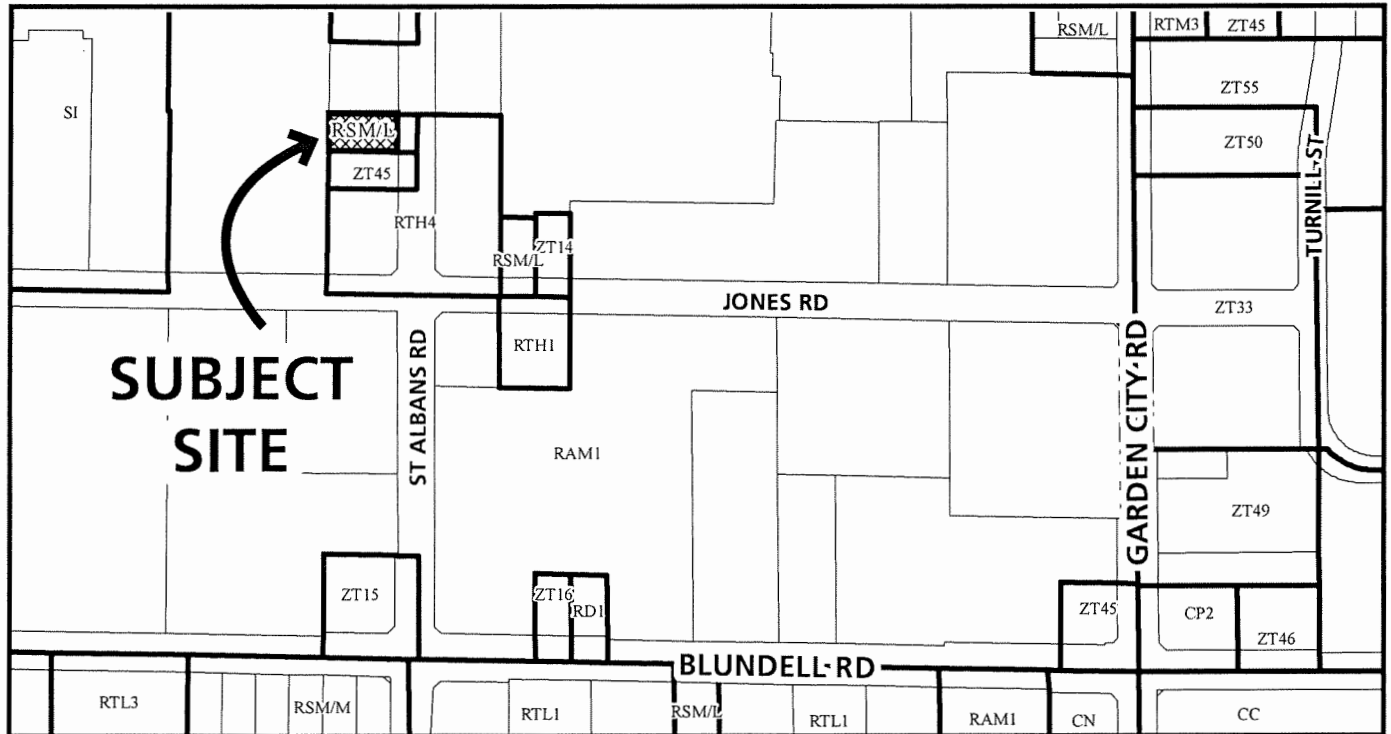
DELIVERED THIS DAY OF , .

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MAYOR



# City of Richmond



DP 23-028741  
SCHEDULE "A"

Original Date: 09/22/23

Revision Date: 05/07/25

Note: Dimensions are in METRES



PROJECT DATA		EXISTING		PROPOSED	
		METRIC (M/SM)	IMPERIAL (F/SF)	METRIC (M/SM)	IMPERIAL (F/SF)
ADDRESS		7511 ST. ALBANS ROAD, RICHMOND, BC.			
LEGAL DESCRIPTION		LOT 4 SEC 16 BLOCK 4 NORTH RANGE 6W NEW WESTMINSTER			
		DISTRICT PLAN 11330			
PID		003-556-794			
SITE AREA		825.0	8,880	825.0	8,880
LAND USE		SINGLE FAMILY DWELLING		TOWNHOUSE	
OCP DESIGNATION		RESIDENTIAL		NO CHANGE	
ZONING		RS1/E		RTH1	
NO. OF DWELLINGS		1		5	
		REQUIRED / ALLOWED		PROPOSED	
		METRIC (M/SM)	IMPERIAL (F/SF)	METRIC (M/SM)	IMPERIAL (F/SF)
FLOOR AREA RATIO (FAR)		0.75		0.75	
FLOOR AREA TOTAL		618.73	6,660	618.55	6,658
LOT COVERAGE		45% (3996 sf)		37.15% (3299 sf)	
BUILDING (45% MAX.)		371.25	3,996	306.49	3,299
NON POROUS SURFACE		577.50	6,216	335.84	5,680
		(70% MAX.)		63.96% (5680 sf)	
LIVE PLANT (20% MIN.)		165.00	1,776	167.78	1,808
SETBACK-FRONT YARD		4.5M	14'-9"	4.5M	14'-9"
SETBACK-SIDE YARD (NORTH)		2M	6'-6"	2M	6'-6"
SETBACK-SIDE YARD (SOUTH)		2M	6'-6"	2M	6'-6"
SETBACK-REAR YARD		1.2M	4'-0"	3M	9'-10"
HEIGHT		12M	3 STOREY	11.08M-11.34M	3 STOREY
LOT SIZE		825.0	8,880	825.0	8,880
OFF-STREET PARKING TOTAL		8		8	
PARKING SPACES		1.4 x 5 = 7.0		7	
OFF-STREET PARKING VISITOR		1		1	
CLASS 1 BICYCLE SPACE		1.25X5=6.5		10	
CLASS 2 BICYCLE SPACE		.2X5=1		2	
AMENITY SPACE - OUTDOOR		MIN. 6 SM/UNIT=30SM	323	30.47 SM	327.98
AMENITY SPACE - INDOOR					
ADDITIONAL LANDSCAPE OUTDOOR: (10% OF NET SITE AREA)		82.6	888	88.6	954
		10%		11%	
GENERAL NOTES:		. AGING IN PLACE FEATURES ARE PROPOSED IN ALL UNITS OF THE PROJECT. . ONE CONVERTIBLE UNIT IS PROPOSED . ALL UNITS IN THIS PROJECT MUST MEET THE REQUIREMENTS OF THE SOLAR . HOT WATER READY REGULATION . PROJECT WILL ACHIEVE ENERGUILD 82 RATING			



### CONSULTANT LIST & CONTACT :

NOTES:  
UNITS TO FEATURE AGING-IN-PLACE FEATURES  
SUCH AS, BUT NOT LIMITED TO:  
- LEVER STYLE DOOR HANDLES  
- BLOCKING INSTALLED IN WALLS FOR GRAB BARS  
- STAIR HANDRAILS  
UNIT GARAGE TO INCLUDE TWO(2) EV OUTLETS EACH

ARCHITECT : MATTHEW CHENG ARCHITECT, TEL: 604 - 731 - 3012 Email: matthew@mcai.ca  
ARBORIST : FROGGERS CREEK TREE CONSULTATIONS LTD. TEL: 604 - 721 - 6002 Email: glenn@froggerscreek.ca  
LANDSCAPE ARCHITECT : DVS Duncan , TEL: 778 - 791 - 4323 Email: dvsduncan@gmail.com  
ELECTRICAL : LIEW ENGINEERING Ltd , TEL: 604 - 277 - 3157 Email: rliewengltd@telus.net  
ENERGY : Enersaver solutions Inc. , TEL: 604 - 841 - 1717 Email: info@enersaversolutions.ca  
CIVIL : MPT ENGINEERING CO. LTD. TEL: 604 - 270 - 9331 Email: adam.ostereicher@mpt.bc.ca  
TRAFFIC : CTS , TEL: 604 - 936 - 6190 Email: bdozzi@cts-bc.com  
SURVEYOR : J.C. TAM AND ASSOCIATES, TEL: 604 - 214 - 8928 Email: office@jctam.com  
GEOTECHNICAL : BRAUN GEOTECHNICIAN LTD. TEL: 604 - 513 - 4190 Email: durbir@braungeo.com



## STREETSCAPE: ST. ALBANS ROAD



MATTHEW CHENG  
ARCHITECT INC

UNIT 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
T: 604.731.3012  
M: 604.649.0669  
E: MATTHEW@MCAI.CA

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**DP 23-028741**  
**May 21, 2025**  
**PLAN #1**

[illegible]

May 16 2025

## 5 UNIT TOWNHOUSE DEVELOPMENT

7511 ST. ALBANS ROAD  
RICHMOND, BC

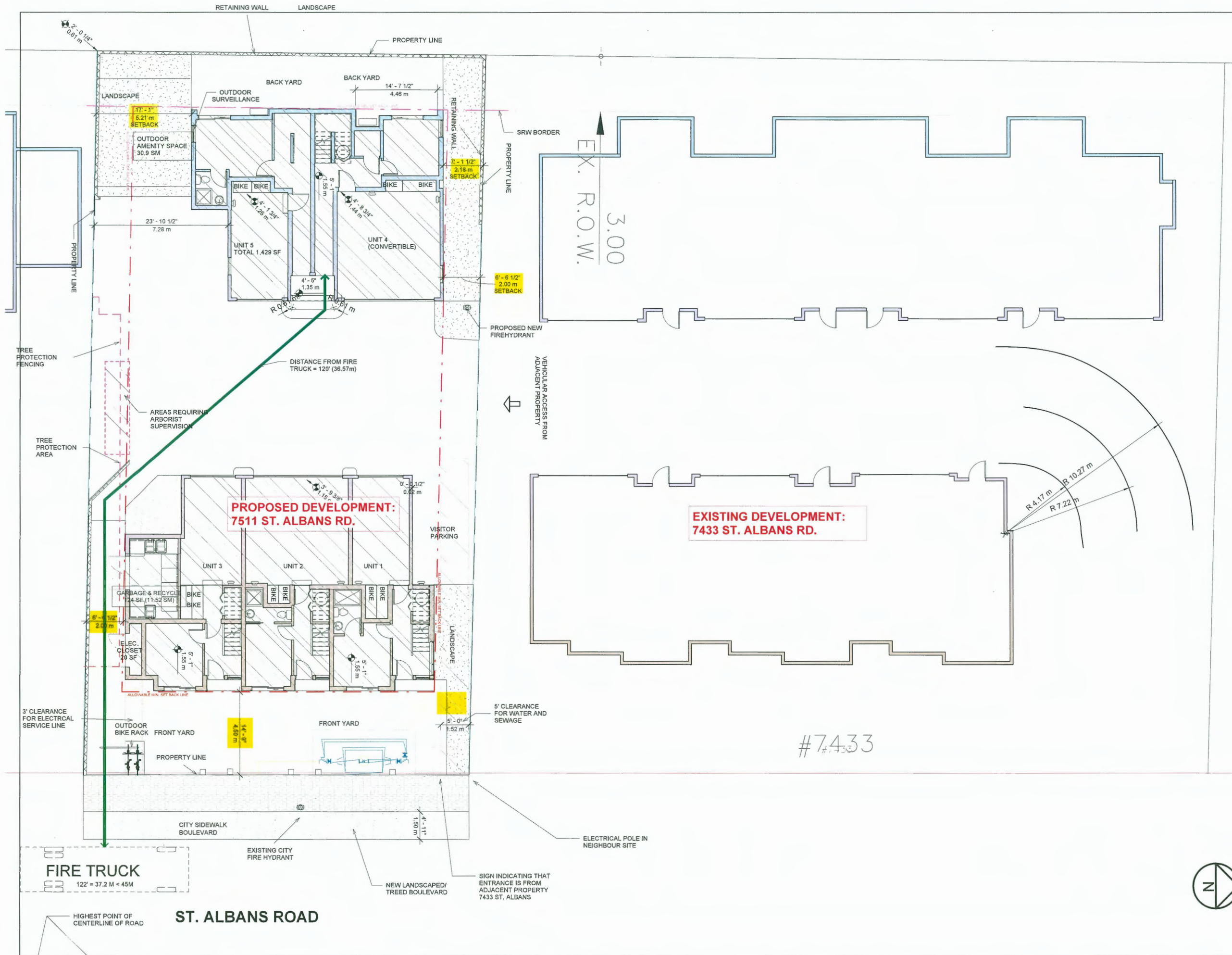
## PROJECT INFORMATION

Project number	17 R TH 01 7511 St Albans F
Date	2023-09-
Drawn by	BK, I
Checked by	

PLAN#5

Scale	NO SCA
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**MATTHEW CHENG  
ARCHITECT INC**

UNIT 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
T: 604.731.3012  
M: 604.649.0669  
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**DP 23-028741**  
**May 21, 2025**  
**PLAN #2**

2 04/09/2018 ISSUED FOR REZONING

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION



May. 16 2025

**5 UNIT TOWNHOUSE  
DEVELOPMENT**

7511 ST. ALBANS ROAD  
RICHMOND, BC

**CONTEXT PLAN &  
FIRE ACCESS PLAN**

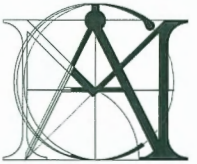
Project number 17 R TH 01 7511 St Albans Rd.  
Date 2023-09-06  
Drawn by BK, FN  
Checked by MC

**PLAN#1a**

Scale 1/16" = 1'-0"

5/16/2025 11:57:22 AM





MATTHEW CHENG  
ARCHITECT INC

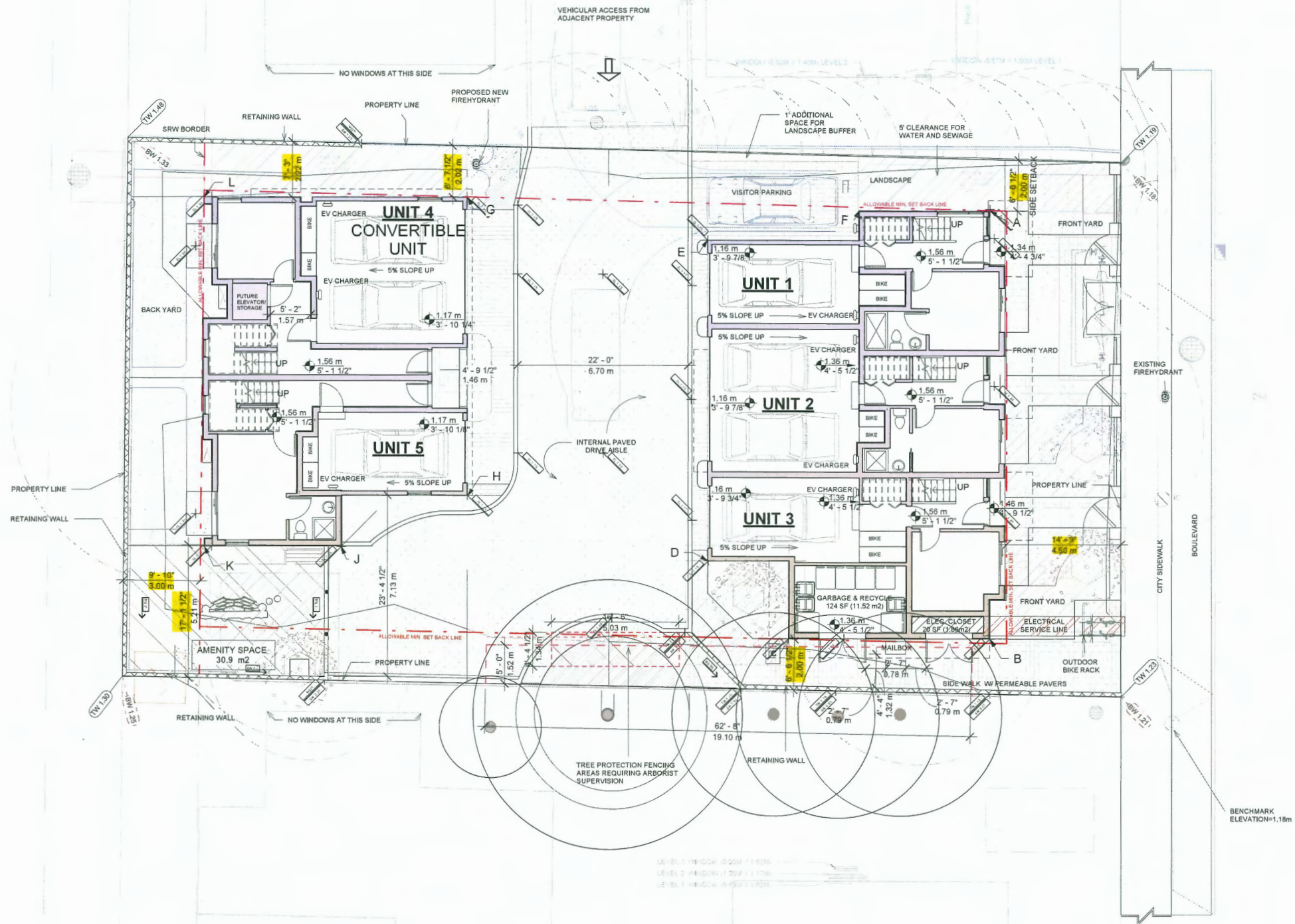
UNIT 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
T: 604.731.3012  
M: 604.649.0669  
E: MATTHEW@MCAI.CA

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**DP 23-028741**  
**May 21, 2025**  
**PLAN #3**

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION

ST. ALBANS ROAD



LEGEND:

- OVERHEAD LINE FOR SECOND LEVEL
- WATER AND SEWAGE
- TREE PROTECTION AREA
- REMOVE TREE
- RETAIN TREE
- FINISHED GRADE
- EXISTING GRADE

AVERAGE PROPOSED  
FINISHED SITE GRADE  
OF THE BUILDINGS

	E.G.	F.G.
A	1.20	1.35
B	1.23	1.15
C	1.24	1.15
D	1.21	1.15
E	1.24	1.15
F	1.22	1.35
G	1.28	1.15
H	1.21	1.15
J	1.25	1.35
K	1.26	1.35
L	1.32	1.35
TOTAL	13.66	13.65
AVE.	1.24 m	1.24 m

AVERAGE PROPOSED  
FINISHED SITE GRADE  
OF THE SITE:  
 $1.19+1.48+1.48+1.23 = 5.38$   
 $5.38 / 4 = 1.345 \text{ m}$

PROPOSED AVERAGE  
FINISHED SITE GRADE  
OF THE SITE:  
 $(1.24+1.345) / 2 = 1.2925 \text{ m}$

**5 UNIT TOWNHOUSE  
DEVELOPMENT**

7511 ST. ALBANS ROAD  
RICHMOND, BC

**SITE PLAN**

Project number 17 R TH 01 7511 St Albans Rd.  
Date 2023-09-06  
Drawn by BK, FN  
Checked by MC

**PLAN#1**

Scale 1/16" = 1'-0"





MATTHEW CHENG  
ARCHITECT INC

UNIT 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
T: 604.731.3012  
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**DP 23-028741**  
**May 21, 2025**  
**PLAN #4**

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION



May. 16 2025

## 5 UNIT TOWNHOUSE DEVELOPMENT

7511 ST. ALBANS ROAD  
RICHMOND, BC

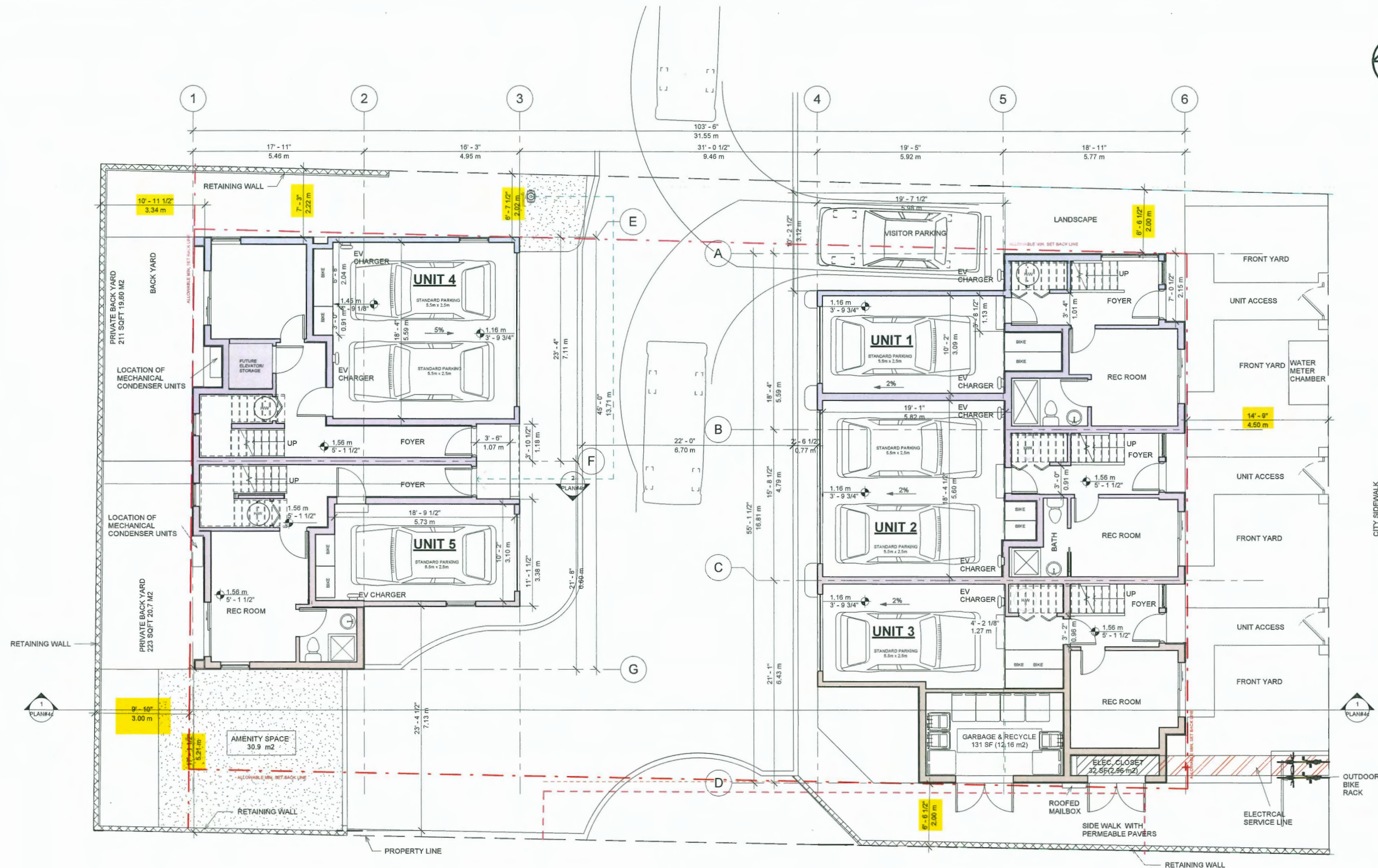
### PARKING PLAN

Project number 17 R TH 01 7511 St Albans Rd.  
Date 2023-09-06  
Drawn by FN  
Checked by MC

## PLAN#2

Scale 3/32" = 1'-0"

5/16/2025 11:57:33 AM



### LEGEND

--- Tree protection area

Vertical Bike

Horizontal Bike

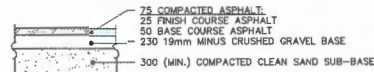


## ROADWORKS NOTES:

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY BUILDING DEPARTMENT STANDARDS AND SPECIFICATIONS, THE CURRENT B.C. BUILDING CODE AND THE CURRENT EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD).
2. ALL PAVEMENT STRUCTURE(S) AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
3. ALL FLOOR SLAB ELEVATIONS (F.S.E.) AND FRONT OF GARAGE ELEVATIONS (G.E.) MUST BE CONFIRMED WITH THE BUILDING ARCHITECT AND SITE SUPERINTENDENT, PRIOR TO CONSTRUCTION. ANY DISCREPANCIES FROM THESE DRAWINGS MUST BE REPORTED TO MPT ENGINEERING, PRIOR TO CONSTRUCTION.
4. ALL PAVEMENT PATTERNS, LOCATIONS AND DETAILS TO BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S DRAWINGS.
5. ALL CURBS MUST BE INSTALLED WITHIN A VERTICAL TOLERANCE OF 5mm OR ARE SUBJECT TO REPLACEMENT AT THE CONTRACTOR'S COST.
6. ALL CHANGES RELATE TO CENTRELINE OF ROAD, UNLESS OTHERWISE NOTED. SEE TYP. X-SECTION FOR DETAILS.
7. ALL ASPHALT GRADES TO BE 1.25% MINIMUM, TOWARDS CATCH BASINS.
8. ALL CONCRETE CURB OUTER GRADES TO BE 0.40% MINIMUM, TOWARDS CATCH BASINS.
9. ALL SIDEWALK GRADES TO BE 1.50% MINIMUM, AWAY FROM BUILDINGS.
10. ALL SIDEWALK PEDESTRIAN/WHEELCHAIR RAMP SLOPES TO BE 5.00% MAXIMUM.
11. ALL PAVEMENT EDGES, ALONG EXTRUDED CURBING TYPE TO BE CONSTRUCTED OVER TOP OF PAVEMENT, TO EXTEND 150mm BEYOND BACK OF CURB.
12. ALL ROAD ELEVATIONS ARE PAVEMENT AND/OR CURB GUTTER ELEVATIONS.
13. ALL ELEVATIONS SHOWN AS THUS (1.44) ARE EXISTING ELEVATIONS.
14. ALL ELEVATIONS SHOWN AS THUS (1.44) ARE PROPOSED ELEVATIONS.

F.S.E. REFERS TO 'FLOOR SLAB ELEV.' AND  
G.E. REFERS TO 'FRONT OF GARAGE ELEV.'

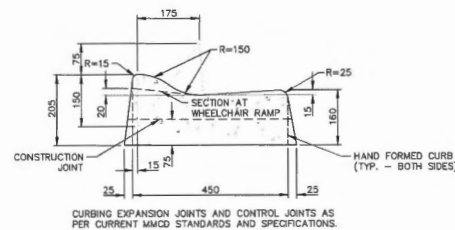
ALL CONSTRUCTION TO BE IN  
ACCORDANCE WITH THE GEOTECHNICAL  
ENGINEER'S RECOMMENDATIONS.



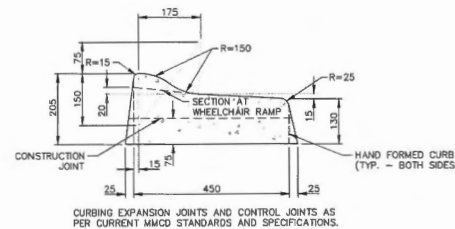
ASPHALT PAVEMENT STRUCTURE DETAIL  
SCALE: N.T.S.

ASPHALT PAVEMENT CAN BE PLACED IN A SINGLE 75mm LIFT AT CONTRACTOR'S DISCRETION. IF SO, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPACTION REQUIREMENTS ARE ACHIEVED AND TO RECTIFY ANY ASPHALT PAVEMENT SURFACE DEFICIENCIES AT THE END OF THE WARRANTY PERIOD.

ASPHALT PAVEMENT STRUCTURE DESIGN IS  
PRELIMINARY. STRUCTURE TO BE CONFIRMED  
WITH THE GEOTECHNICAL ENGINEER, PRIOR TO  
CONSTRUCTION.



CONC. ROLLOVER CURB DETAIL  
(GUTTER CURB TYPE)  
SCALE: 1:10



CONC. ROLLOVER CURB DETAIL  
(REVERSE GUTTER CURB TYPE)  
SCALE: 1:10

MPT ENGINEERING MUST FIELD REVIEW ALL CONSTRUCTION.  
CONTRACTOR TO SUPPLY NOTICE OF CONSTRUCTION TO MPT  
ENGINEERING, A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION.

RET. WALL AND LAWN BASINS  
WITHIN EXIST. SAN. R.O.W. TO  
BE REVIEWED AND APPROVED  
BY COR ENGINEERING.

ADJACENT PROPERTY  
ACCESS SHOWN FOR  
INFORMATION ONLY.

REMOVE EXIST. CURB ON  
ADJACENT PROPERTY AS  
SHOWN TO FACILITATE  
CONNECTION TO  
DEVELOPMENT PROPERTY.

PROP. OFFSITE FRONTAGE IMPROVEMENTS  
SHOWN FOR INFORMATION ONLY. REFER  
TO MPT DWG. R16114-A FOR DETAILS.

ROLLOVER CURB (TYP.)  
SEE CONC. ROLLOVER CURB DETAIL  
(GUTTER TYPE)

ASPHALT PAVEMENT AREA (TYP.)  
SEE ASPHALT PAVEMENT  
STRUCTURE DETAIL.

WORKS WITH PROXIMITY OF THE  
TREE PROTECTION ZONE TO BE  
COMPLETED WITH PROJECT  
ARBORIST SUPERVISION.

RETAINING WALL MAY NOT BE  
REQUIRED (S) IF PERMISSION CAN  
BE RECEIVED FROM ADJACENT  
PROPERTY TO INFILL LANDSCAPE  
BEYOND THE PROPERTY LINE.

## NOTES:

1. ALL ELEVATIONS ARE DERIVED FROM CITY OF RICHMOND HYD. MONUMENT #194 (100H415) AND #234 (10H489).  
ELEV. = 1.337M AND 1.125M.
2. CONTRACTOR TO CONFIRM BENCHMARK WITH MPT ENGINEERING, PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO CONFIRM LOCATIONS OF ALL EXISTING UTILITIES AND REPORT ALL DISCREPANCIES TO MPT ENGINEERING, PRIOR TO CONSTRUCTION.
4. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) AND THE CURRENT CITY OF RICHMOND BUILDING DEPARTMENT STANDARDS AND SPECIFICATIONS.

## MPT ENGINEERING CO. LTD.

3333 BRIMLEY RD., RICHMOND, BC V7A 5H7 TEL: 604-270-9331 FAX: 604-270-4137

RAMNEEK PADDA

REV#	DATE	BY	CH.	DESCRIPTION
3.	23 APR/25	CW	AO/JWC	ISSUE 'D' - RE-ISSUED FOR DEVELOPMENT PERMIT
2.	29 OCT/24	CW	AO	ISSUE 'C' - RE-ISSUED FOR DEVELOPMENT PERMIT
1.	19 SEP/24	CW	AO	ISSUE 'B' - RE-ISSUED FOR DEVELOPMENT PERMIT
0.	2 JUL/24	CW	AO	ISSUE 'A' - ISSUED FOR DEVELOPMENT PERMIT

BASED PERMIT TO PRACTICE LICENSE

TITLE:

## LOT GRADING

7511 ST. ALBANS ROAD

DESIGN:	CW	DRAWING No.:	R16114-B
DRAWN:	CW	SHEET No.:	1 OF 1
CHECKED:	AO	SCALE:	1:200

ALL DIMENSIONS AND ELEVATIONS  
ARE IN METRIC UNITS.

DP 23-028741  
May 21, 2025  
PLAN #5





UNIT 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
T: 604.731.3012  
M: 604.649.0669  
E: MATTHEW@MCAI.CA

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**DP 23-028741**  
**May 21, 2025**  
**PLAN #6**

[illegible]

May. 16 2025

## 5 UNIT TOWNHOUSE DEVELOPMENT

7511 ST. ALBANS ROAD  
RICHMOND, BC

## LEVEL 1

Project number	17 R TH 01 7511 St Albans Rd.
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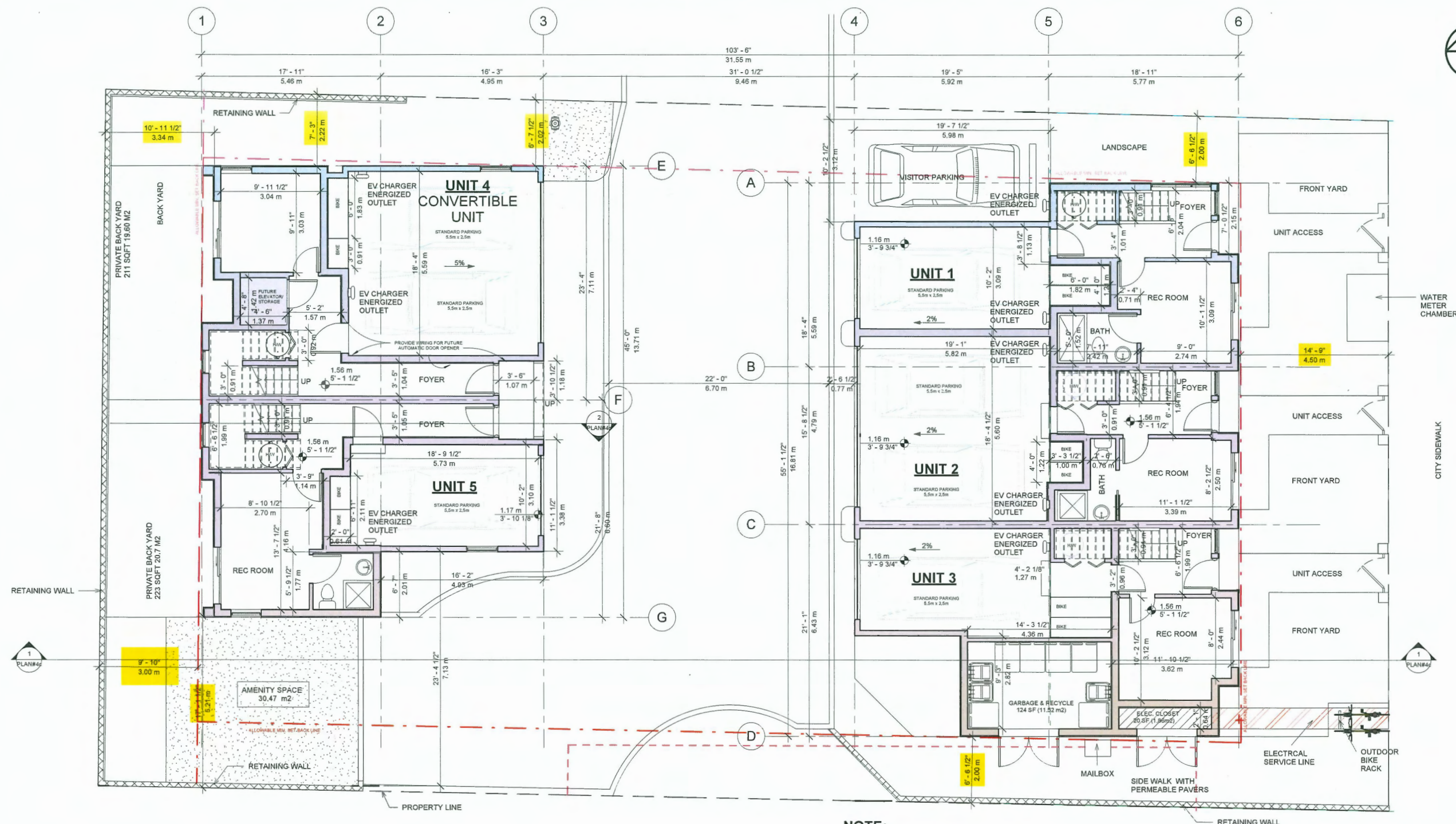
Date	2023-09-06
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Date	2020-05-05
Drawn by	BK.FN

Drawn by	BR, FN
Checked by	MC

PLAN#1b


Scale  $3/32" = 1'-0"$



**NOTE:**

LOW ENERGY CONSUMPTION/LOW-FLOW FIXTURES AND APPLIANCES; DUAL FLUSH TOILETS, LIGHT-COLORED ROOF PAVERS FOR THE ROOF DECKS TO REDUCE HEAT ABSORPTION AND COOLING LOADS. SOLAR-POWERED HARDSCAPE LED LIGHTING WILL BE RECOMENDED.

TOWNHOUSE	GROSS FLOOR AREA (SF)										Total Floor Area	Total Floor Area	
	LEVEL 1	GROUND FLOOR EXCEPT 10 M		LEVEL 2	LEVEL 3	GARAGE		C PORCH					
	SF	SF	SM	SF	SF	SF	SM	SF	SF	SM			
TOWNHOUSE BLDG 1	1124										6658.60	618.60	
UNIT 1	293	185.36	17.22	542	593	248	23.04				1320.36	122.67	
UNIT 2	262	154.36	14.34	491	596	395	36.70		13		1254.36	116.53	
UNIT 3	223	125.16	11.63	530	569	272	25.27		12		1236.16	114.84	
UNIT 4	346	238.36	22.14	593	626	402	37.35		37		1494.36	138.83	
UNIT 5	364	256.36	23.82	551	546	230	21.37				1353.36	125.73	
TOTAL GFA											6658.60	618.60	
FSR											0.75		
SITE AREA												875.00	8876.45
Total FLOOR AREA BEFORE EXCLUSION												618.60	6658.60


 denotes grade & building elevations  
 --- Tree protection area

**BIKE PARKING CALCULATION:**

REQUIRED :

Class 1 : 1.25 per Town House =  $1.25 \times 5 = 6.25 = 7$  Bikes Parking  
Class 2 : 0.2 per Town House =  $0.2 \times 5 = 1.0$  Bike Parking

PROVIDED:

Class 1:

Horizontal = 5   Vertical =  $7 \times 0.33 = 2.31 = 2$

Extra Vertical Bike Parking = 3

Total = 10 Bike Parking ( 5 H. + 5 V.)

Class 2 :

2 Horizontal Bikes Parking





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**DP 23-028741**  
**May 21, 2025**  
**PLAN #7**

[illegible]

May. 16 2025

## 5 UNIT TOWNHOUSE DEVELOPMENT

7511 ST. ALBANS ROAD  
RICHMOND, BC

## LEVEL 2

Project number	17 R TH 01 7511 St Albans Rd.
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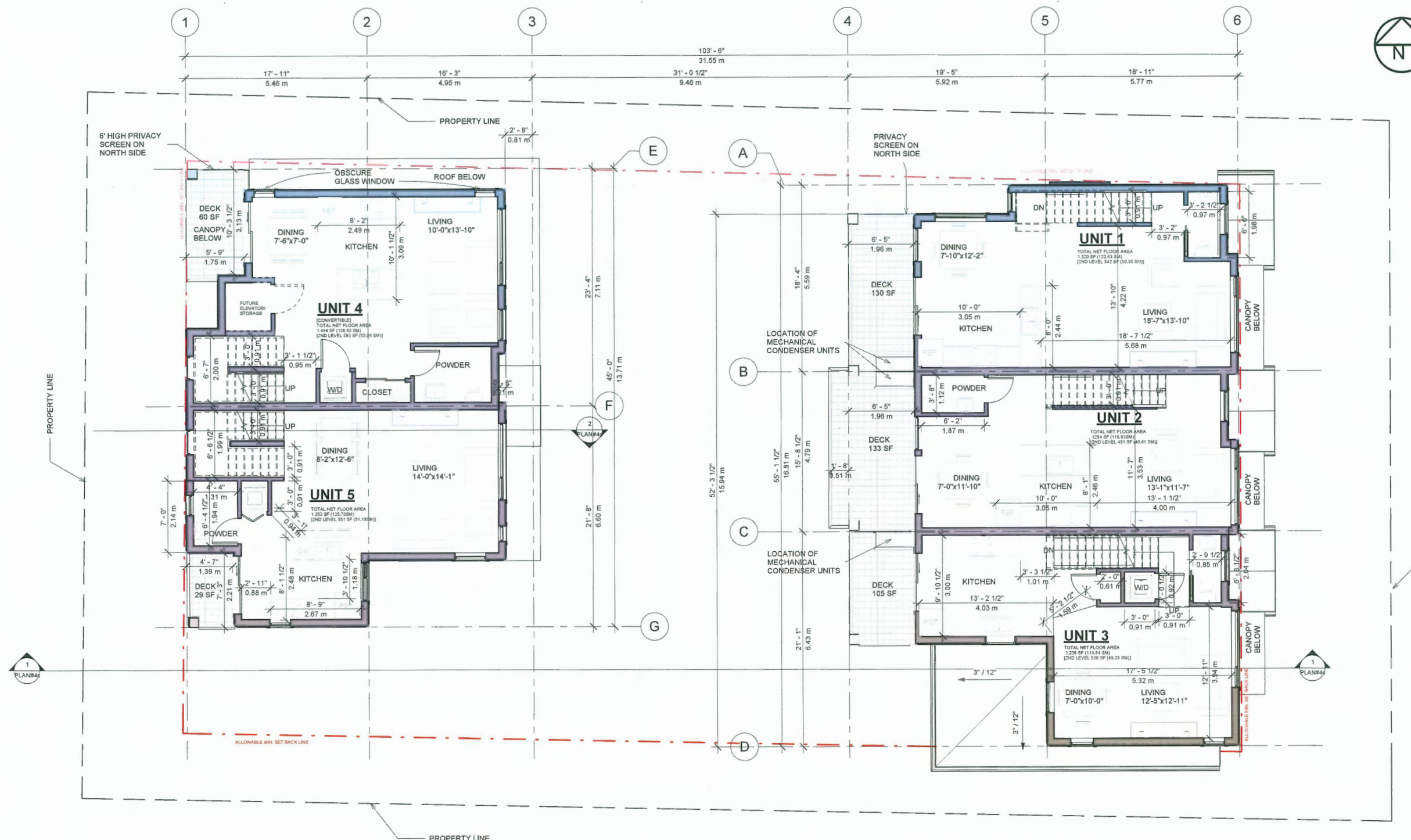
Date 2023-09-06

Drawn by BK, FN

Checked by	MC
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PLAN#1c

Scale  $3/32" = 1'-0"$



NOTE:

LOW ENERGY CONSUMPTION/LOW-FLOW FIXTURES AND APPLIANCES; DUAL FLUSH TOILETS, LIGHT-COLORED ROOF PAVERS FOR THE ROOF DECKS TO REDUCE HEAT ABSORPTION AND COOLING LOADS. SOLAR-POWERED HARDSCAPE LED LIGHTING WILL BE RECOMENDED.

ALL UNITS TO INCLUDE THE FOLLOWING AGINIG-IN-PLACE FEATURES:  
 -LEVER STYLE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES;  
 -BLOCKING INSTALLED IN WASHROOM WALLS FOR FUTURE GRAB BARS  
 INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER AND  
 -STAIR HANDRAILS

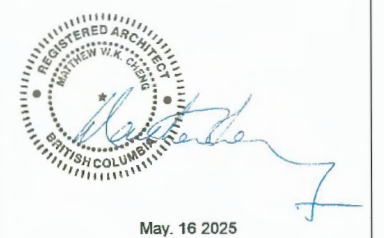
TOWNHOUSE	GROSS FLOOR AREA (SF)								Total Floor Area SF	Total Floor Area SM
	LEVEL 1	GROUND FLOOR EXCEPT 10 M		LEVEL 2	LEVEL 3	GARAGE		C PORCH		
	SF	SF	SM	SF	SF	SF	SM	SF		
TOWNHOUSE BLDG 1	1124								6658.60	618.60
UNIT 1	293	185.36	17.22	542	593	248	23.04		1320.36	122.67
UNIT 2	262	154.36	14.34	491	596	395	36.70	13	1254.36	116.53
UNIT 3	223	125.16	11.63	530	569	272	25.27	12	1236.16	114.84
UNIT 4	346	238.36	22.14	593	626	402	37.35	37	1494.36	138.83
UNIT 5	364	256.36	23.82	551	546	230	21.37		1353.36	125.73
TOTAL GFA									6658.60	618.60
FSR									0.75	
SITE AREA									825.00	8876.45
Total FLOOR AREA BEFORE EXCLUSION									618.60	6658.60

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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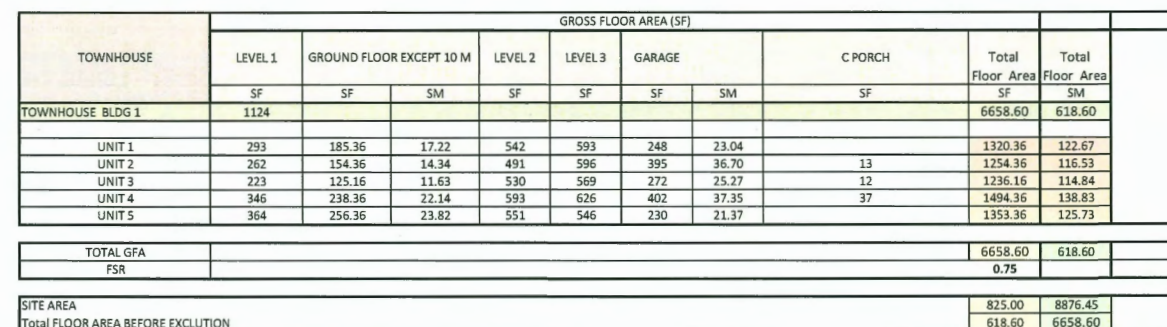
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[illegible]

7511 ST. ALBANS ROAD  
RICHMOND, BC

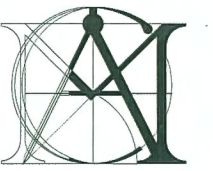
PLAN#1d

Scale  $3/32" = 1'-0"$



LOW ENERGY CONSUMPTION/LOW-FLOW FIXTURES AND APPLIANCES; DUAL FLUSH TOILETS, LIGHT-COLORED ROOF PAVERS FOR THE ROOF DECKS TO REDUCE HEAT ABSORPTION AND COOLING LOADS. SOLAR-POWERED HARDSCAPE LED LIGHTING WILL BE RECOMENDED.





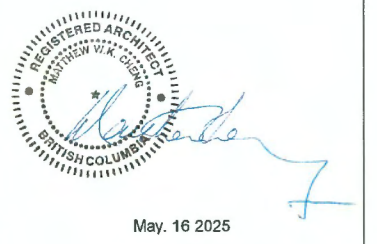
**MATTHEW CHENG  
ARCHITECT INC**

UNIT 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
T: 604.731.3012  
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**DP 23-028741**  
**May 21, 2025**  
**PLAN #9**

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION



**5 UNIT TOWNHOUSE  
DEVELOPMENT**

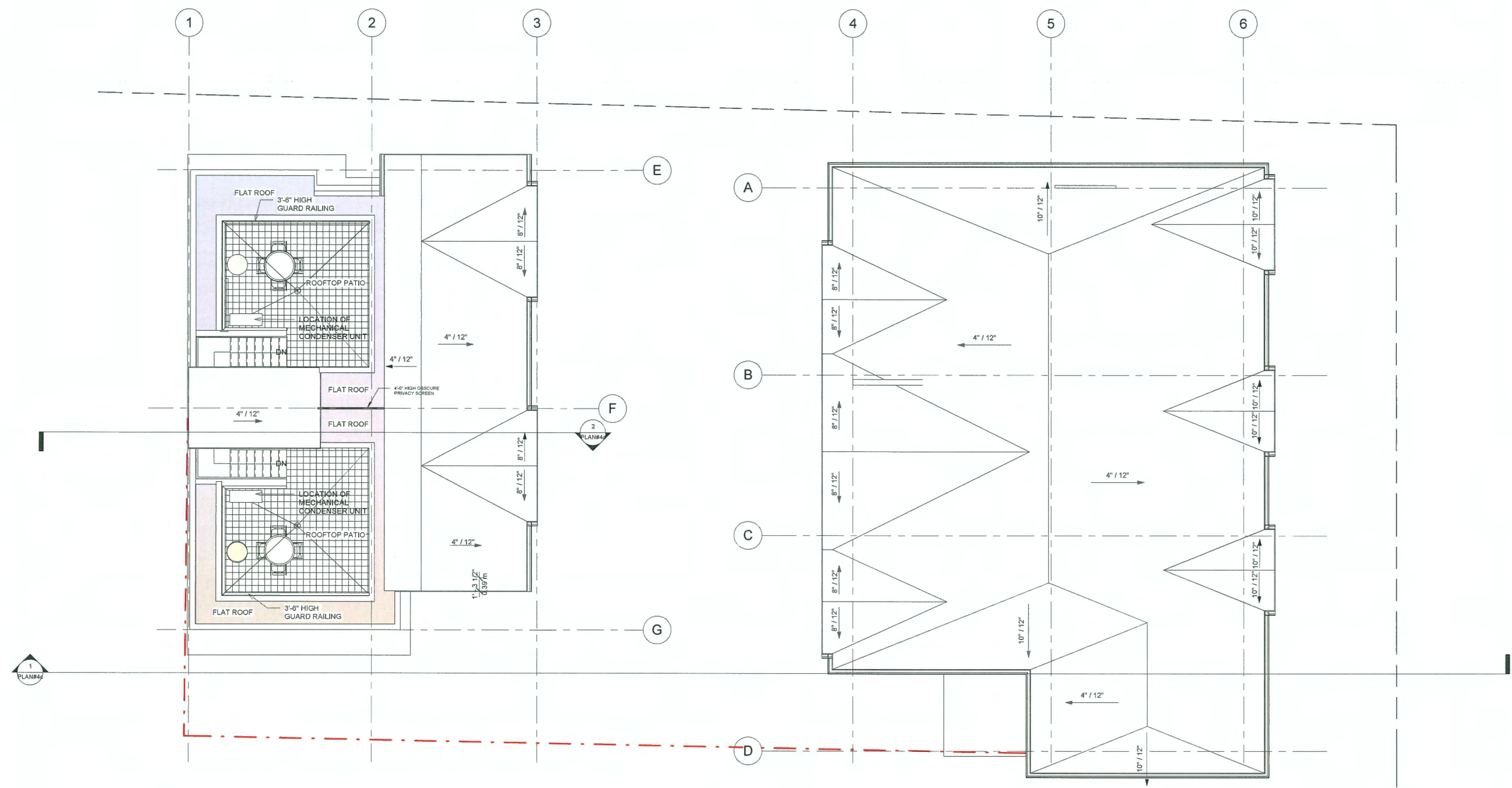
7511 ST. ALBANS ROAD  
RICHMOND, BC

**ROOF PLAN**

Project number 17 R TH 01 7511 St Albans Rd.  
Date 2023-09-06  
Drawn by FN  
Checked by MC

**PLAN#1e**

Scale 3/32" = 1'-0"



5/16/2025 11:57:26 AM



UNIT 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
T: 604.731.3012  
M: 604.649.0669  
E: MATTHEW@MCAI.CA

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[illegible]

May. 16 2025

## 5 UNIT TOWNHOUSE DEVELOPMENT

7511 ST. ALBANS ROAD  
RICHMOND, BC

## ROOF ACCESS PLAN

Project number	17 R TH 01 7511 St Albans Rd.
Date	2023-09-06
Drawn by	Author
Checked by	Checker

PLAN#1f

Scale  $3/16" = 1'-0"$

**DP 23-028741**  
**May 21, 2025**  
**PLAN #10**

5/16/2025 11:57:30 AM





**MATTHEW CHENG  
ARCHITECT INC**

UNIT 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
T: 604.731.3012  
M: 604.649.0669  
E: MATTHEW@MCAI.CA

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**DP 23-028741**  
**May 21, 2025**  
**PLAN #11**

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION



May 16 2025

**5 UNIT TOWNHOUSE  
DEVELOPMENT**

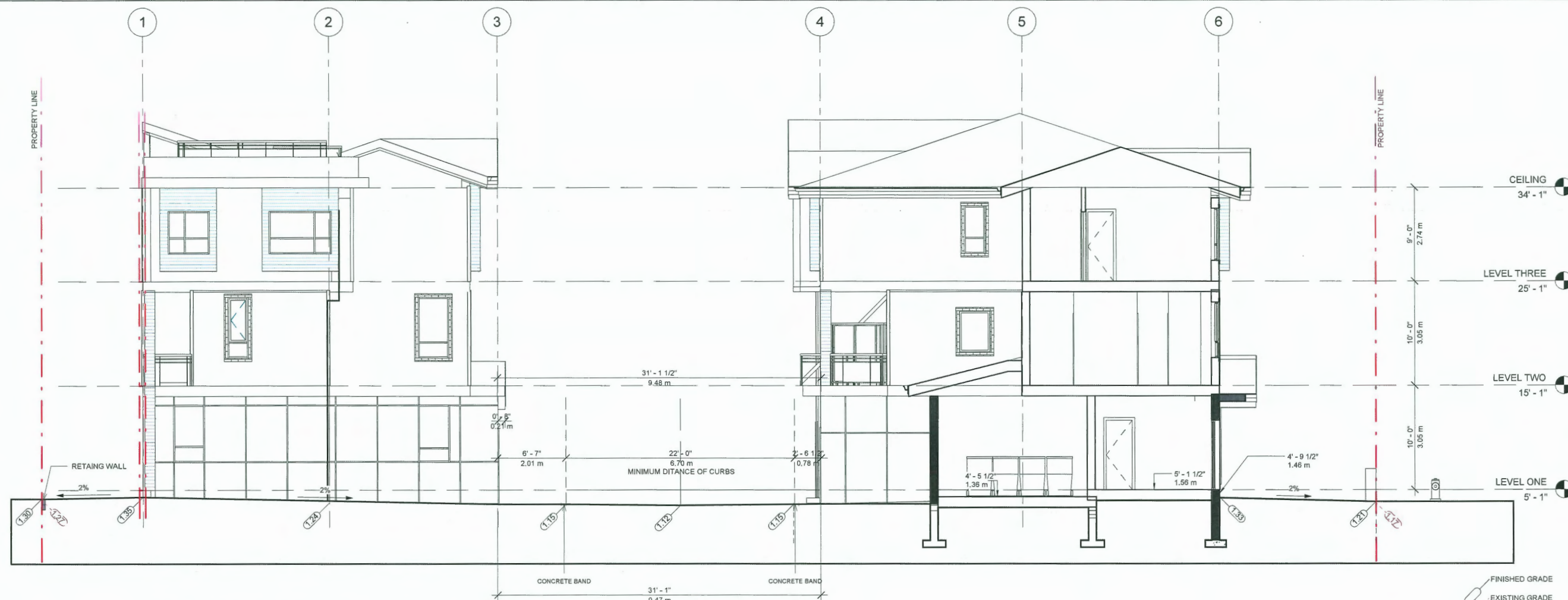
7511 ST. ALBANS ROAD  
RICHMOND, BC

**SECTIONS**

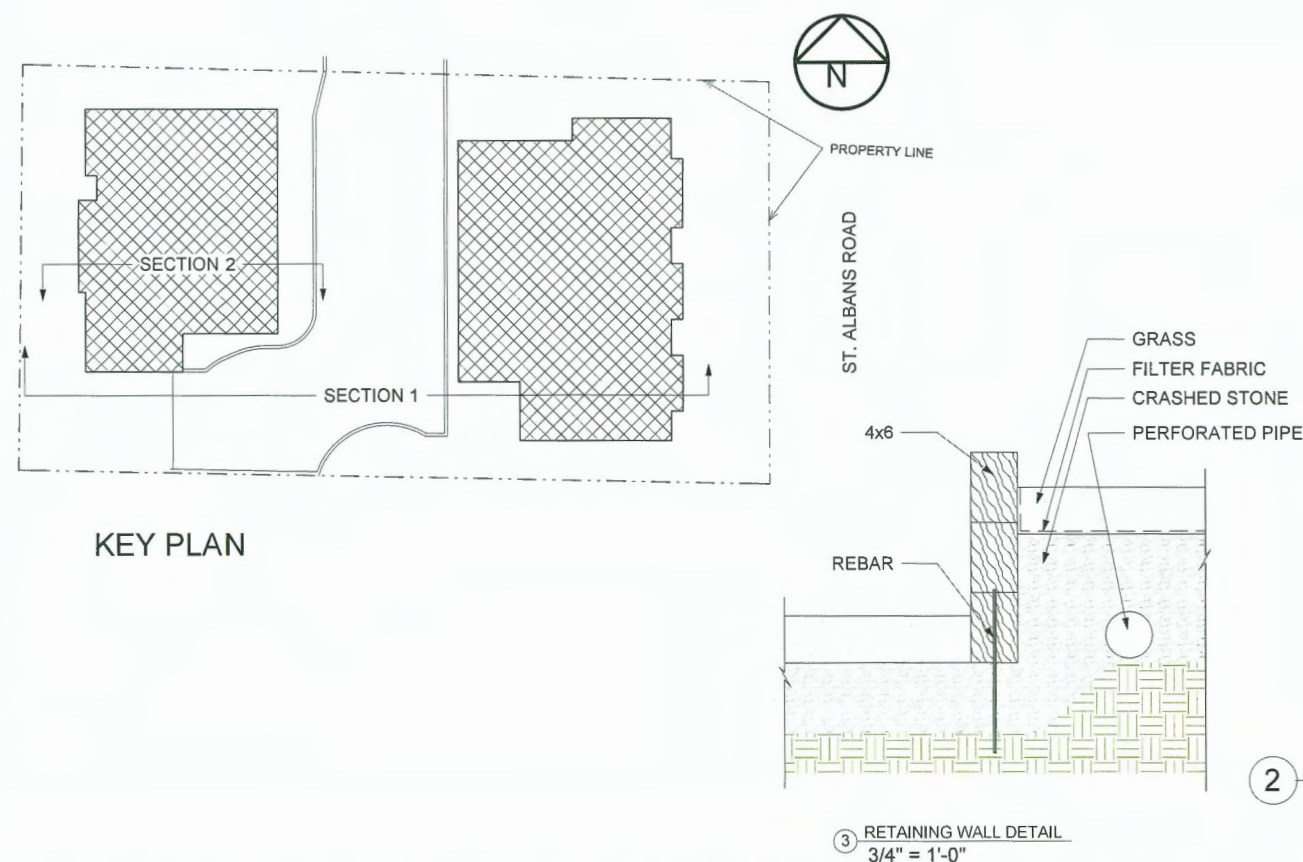
Project number 17 R TH 01 7511 St Albans Rd.  
Date 2023-09-06  
Drawn by BK, FN  
Checked by MC

**PLAN#4c**

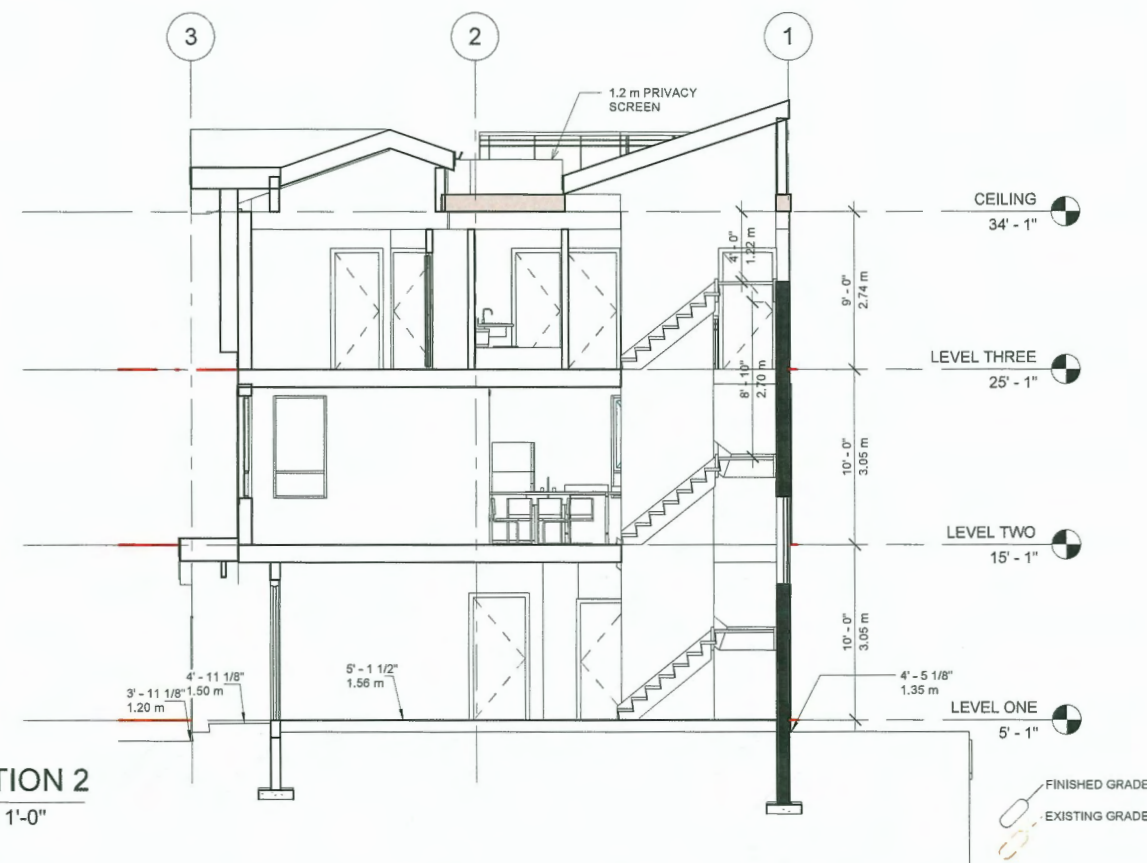
Scale As indicated



**1 DRIVEWAY SECTION**  
3/32" = 1'-0"



**2 SECTION 2**  
3/32" = 1'-0"





MATTHEW CHENG  
ARCHITECT INC

UNIT 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
T: 604.731.3012  
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**DP 23-028741**  
**May 21, 2025**  
**PLAN #12**

[illegible]

May. 16 2025

## 5 UNIT TOWNHOUSE DEVELOPMENT

7511 ST. ALBANS ROAD  
RICHMOND, BC

## COLOR ELEVATIONS

Project number	17 R TH 01 7511 St Albans Road
Date	2023-09-04
Drawn by	Author
Checked by	Checker
10	
Scale	As indicated



1 1-UNIT 1 2 3-EAST  
3/16" = 1'-0"



2 2-UNIT 1 2 3-WEST  
3/16" = 1'-0"



3 3-UNIT 4 5 EAST  
3/16" = 1'-0"

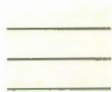


4 4-UNIT 4 5-WEST  
3/16" = 1'-0"

### EXTERIOR MATERIAL LEGEND



A - DARK CHERRY - METAL  
SIDING



B - PREPAINTED HARDIE  
PLANK-COBBLE STONE



C - PREPAINTED HARDIE  
BOARD-RICH ESPRESSO



D - SHINGLE - SHADOW GRAY

E - PREPAINTED HARDIE BOARD-COBBLE STONE

F - PAINTED FIBERGLASS  
DOOR

G - PAINTED STEEL GARAGE  
DOOR WITH TOP-LIGHT  
- COBBLE STONE



H - DOUBLE GLAZED VINYL  
WINDOW WITH BLACK  
FRAME

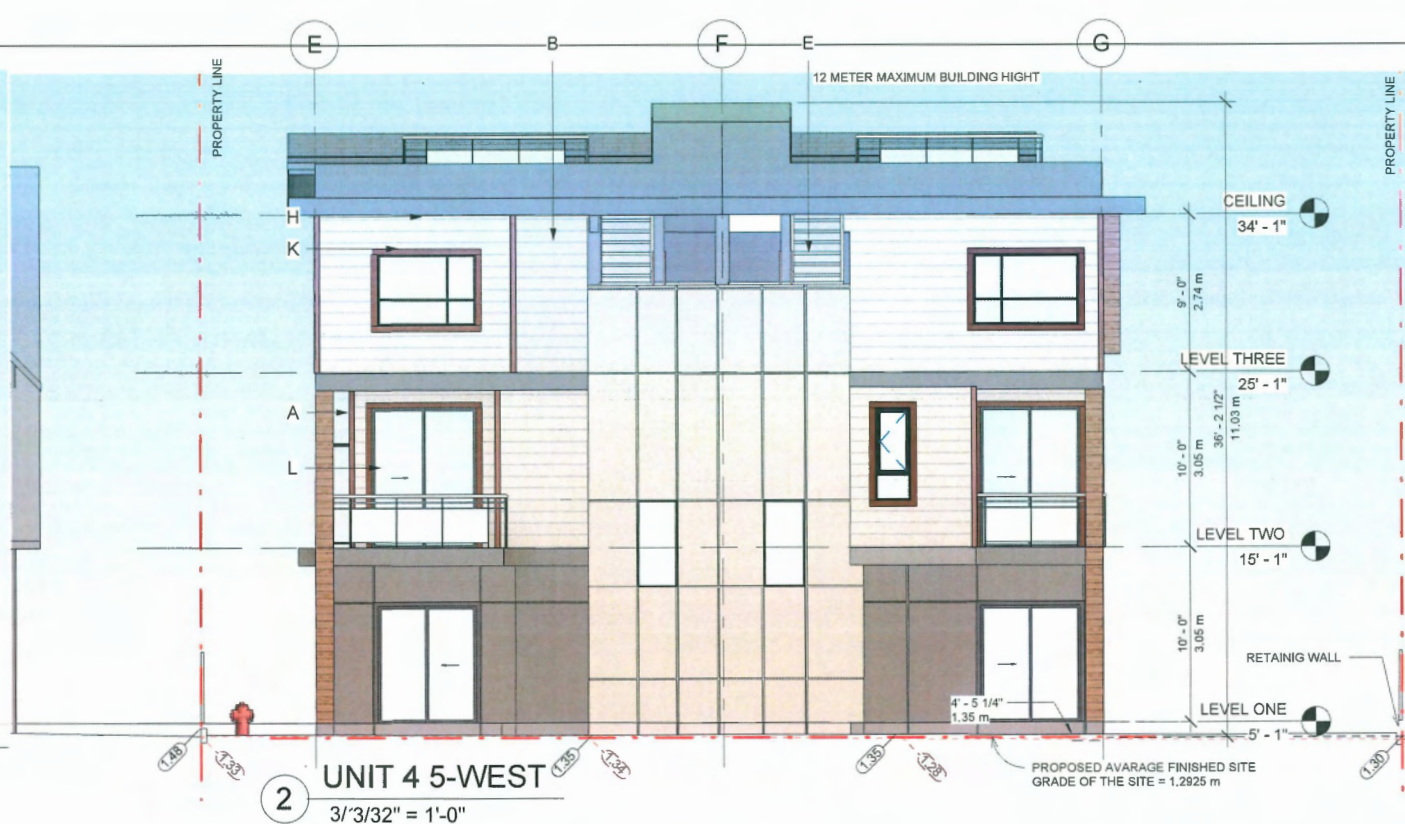


K - PREPAINTED HARDIE TRIM  
COUNTRYLANE RED



L - ALUMINUM RAILING / PRIVACY  
SCREEN WITH GLASS PANEL









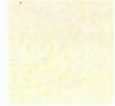





1 UNIT 1 2 3-WEST  
3/32" = 1'-0"

2 UNIT 4 5-WEST  
3/32" = 1'-0"

3 UNIT 1 2 3-EAST  
3/32" = 1'-0"

4 UNIT 4 5 EAST  
3/32" = 1'-0"

EXTERIOR MATERIAL LEGEND

	A - DARK CHERRY - METAL SIDING		B - PREPAINTED HARDIE PLANK-COBBLE STONE		C - PREPAINTED HARDIE BOARD-RICH ESPRESSO		D - SHINGLE - SHADOW GRAY		E - PREPAINTED HARDIE BOARD-COBBLE STONE
	F - PAINTED FIBERGLASS DOOR		G - PAINTED STEEL GARAGE DOOR WITH TOP-LIGHT COBBLE STONE		H - DOUBLE GLAZED VINYL WINDOW WITH BLACK FRAME		K - PREPAINTED HARDIE TRIM COUNTRYLANE RED		L - ALUMINUM RAILING / PRIVACY SCREEN WITH GLASS PANEL

MATTHEW CHENG  
ARCHITECT INC

UNIT 202 - 670 EVANS AVENUE  
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DP 23-028741  
May 21, 2025  
PLAN #13

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION

REGISTERED ARCHITECT  
MATTHEW CHENG  
BRITISH COLUMBIA  
May 16 2025

5 UNIT TOWNHOUSE  
DEVELOPMENT

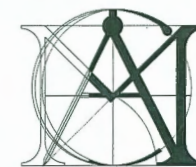
7511 ST. ALBANS ROAD  
RICHMOND, BC

EXTERIOR  
ELEVATIONS

Project number	17 R TH 01 7511 St Albans Rd.
Date	2023-09-06
Drawn by	BK
Checked by	MC
Scale	As indicated

PLAN#4





# MATTHEW CHENG ARCHITECT INC

UNIT 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
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**DP 23-028741**  
**May 21, 2025**  
**PLAN #14**

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION



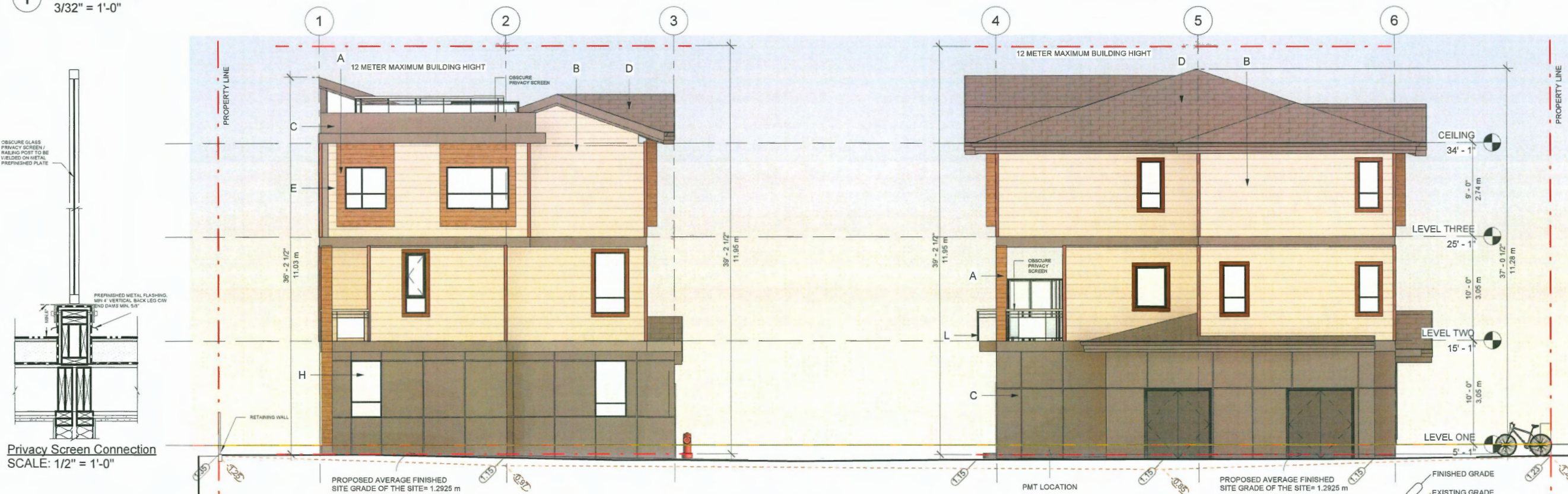
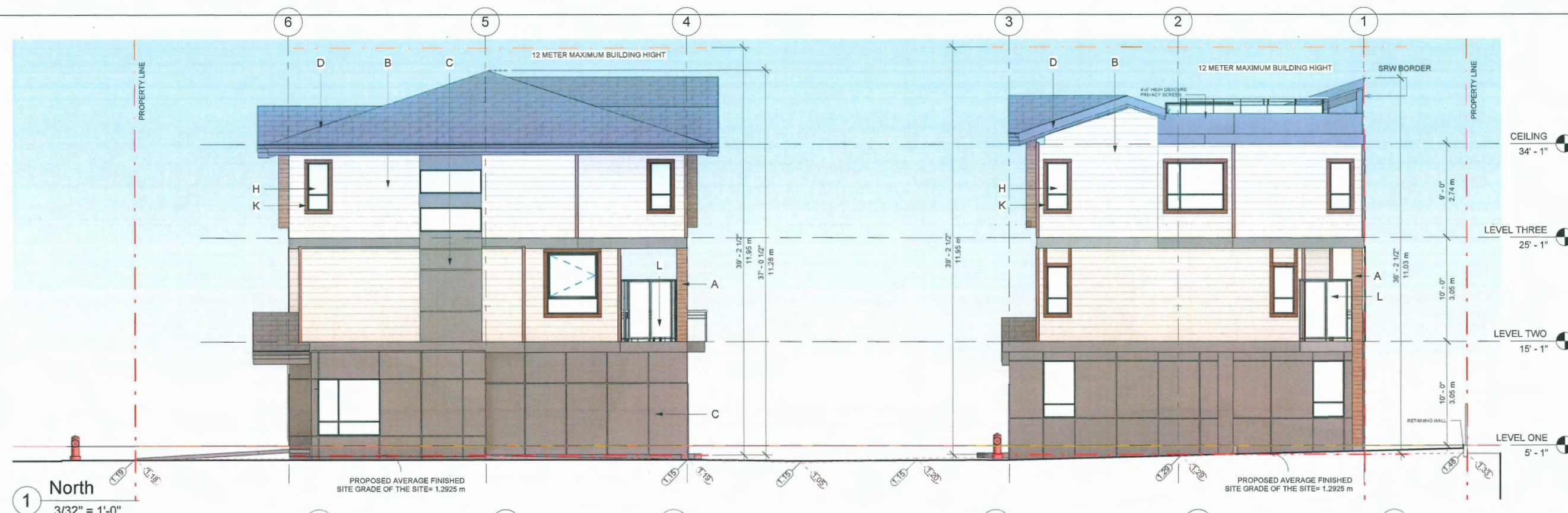
May. 16 2025

## 5 UNIT TOWNHOUSE DEVELOPMENT

7511 ST. ALBANS ROAD  
RICHMOND, BC

## EXTERIOR ELEVATIONS

Project number	17 R TH 01 7511 St Albans Rd.
Date	2023-09-06
Drawn by	BK
Checked by	MC
<b>PLAN#4a</b>	
Scale	As indicated

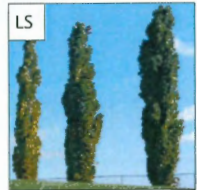


### EXTERIOR MATERIAL LEGEND

	A - DARK CHERRY - METAL SIDING		B - PREPAINTED HARDIE PLANK-COBBLE STONE		C - PREPAINTED HARDIE BOARD-RICH ESPRESSO		D - SHINGLE - SHADOW GRAY		E - PREPAINTED HARDIE BOARD-COBBLE STONE
	F - PAINTED FIBERGLASS DOOR		G - PAINTED STEEL GARAGE DOOR WITH TOP-LIGHT-COBBLE STONE		H - DOUBLE GLAZED VINYL WINDOW WITH BLACK FRAME		K - PREPAINTED HARDIE TRIM COUNTRYLANE RED		L - ALUMINUM RAILING / PRIVACY SCREEN WITH GLASS PANEL



TREES



Liquidambar s. 'Slender Silhouette'

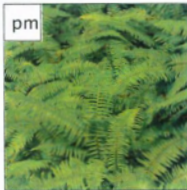


Pinus sylvestris 'Fastigiata'

CONIFEROUS SHRUBS



Thuja occidentalis 'Smaragd'



Polystichum munitum

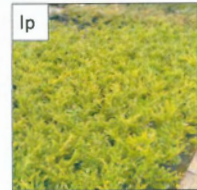
BROADLEAF EVERGREEN SHRUBS



Abelia grand. 'Edward Goucher'



Azalea japonica 'Hino Crimson'



Lonicera pileata



Photinia x fraseri



Vaccinium ovatum

PLANT LIST

TREES

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
PS	8	Pinus sylvestris 'Fastigiata'	Scotch Sentinel Pine	4.0 m ht	100cm standard 8&8 min. 50cm root ball dia.	7.5m height 2.4m spread	as shown
LS	4	Liquidambar s. 'Slender Silhouette'	Slender Silhouette Sweetgum	8 cm cal	150cm standard 8&8 min. 50cm root ball dia.	16m height 3.0m spread	as shown

CONIFEROUS SHRUBS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
ts	42	Thuja occidentalis 'Smaragd'	Smaragd Hedging Cedar	1.2m B&B	minimum 20cm height	125cm height 250cm width	50cm

BROADLEAF EVERGREEN SHRUBS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
ag	8	Abelia grand. 'Edward Goucher'	Edward Goucher Abelia	#5 pot	minimum 60cm height	120cm height 120cm width	60cm
ah	36	Azalea japonica 'Hino Crimson'	Crimson Japanese Azalea	#2 pot	minimum 20cm height	100cm height 120cm width	50cm
lp	9	Lonicera pileata	Boxleaf Honeysuckle	#3 pot	minimum 50cm height	180cm height 190cm width	60cm
ph	7	Photinia x fraseri	Fraser Photinia	#5 pot	minimum 75cm height - heavy	360cm height 210cm width	90cm
vo	38	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot	minimum 50cm height	180cm height 190cm width	60cm

FERNS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
pm	92	Polystichum munitum	Swordfern	#1 pot	minimum 30cm height	100cm height 100cm width	50cm

GROUND COVERS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
ar	240	Arctostaphylos uva-ursi	Kinnikinnick	10cm pot		10cm height 60cm width	30cm
la		Lawn	Shade Tolerant Blend				

GENERAL NOTES

1. COMPLIANCE, GOVERNMENT - ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY OF RICHMOND AND SHALL COMPLY WITH ALL STANDARDS AND REGULATIONS OF THE SAME. CONTRACTORS SHALL ENSURE COMPLIANCE OF ALL WORK PRIOR TO INSTALLATION.

2. COMPLIANCE, STANDARDS - ALL MATERIAL, SHIPPING PROCEDURES, AND INSTALLATION OF LANDSCAPE ELEMENTS SHALL CONFORM TO LATEST EDITION OF CANADIAN LANDSCAPE STANDARD AVAILABLE AT COMMENCEMENT OF WORK.

3. COMPLIANCE, MMCD - ALL WORKS SHALL CONFORM TO THE LATEST MMCD DETAILS AND SPECIFICATIONS AVAILABLE AT COMMENCEMENT OF WORK WHERE NO SPECIFIC DETAIL, NOTE OR SPECIFICATION IS PROVIDED IN THE DRAWING SET OR ATTACHED MATERIALS.

4. EXISTING SERVICES - REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF ALL BURIED SERVICES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL UTILITIES LOCATIONS AND ANY AND ALL COSTS WHICH ARISE FROM DAMAGE TO SERVICES CAUSED BY ANY ACT OR FAILURE TO ACT OF THE CONTRACTOR.

5. COORDINATION - THESE DRAWINGS SHALL BE TAKEN TO BE PART OF THE LARGER SET OF DRAWINGS AND SPECIFICATIONS, WHETHER DIRECTLY ATTACHED OR NOT, ISSUED FOR THE CONSTRUCTION OF THE ASSOCIATED BOULEVARD WORKS. THESE DRAWINGS SHALL BE READ IN CONCERT WITH SUCH DOCUMENTATION AND, WHERE CONFLICTS ARISE, THE CONTRACTOR SHALL IMMEDIATELY REPORT SUCH CONFLICTS TO THE LANDSCAPE ARCHITECT. THE WORK IS TO BE DONE IN COORDINATION WITH THE CONTRACTOR OR CONTRACTORS ENGAGED IN CONSTRUCTION OF SUCH ADJACENT WORKS.

6. CONCRETE, FORMS - THE CONTRACTOR SHALL COMPARE DIMENSIONS PROVIDED WITH SITE CONDITIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT AND THE ENGINEER. ONCE COMPLETED THE CONTRACTOR SHALL CALL FOR INSPECTION OF THE FORMS PRIOR TO PLACING STEEL REINFORCEMENT. CONTACT LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO DESIRED INSPECTION TIME.

7. CONCRETE, REINFORCEMENT - ALL CONCRETE REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO POURING OF CONCRETE. CONTACT STRUCTURAL ENGINEER A MINIMUM OF 48 HOURS PRIOR TO DESIRED INSPECTION TIME.

8. GRADING, GENERAL - THE CONTRACTOR SHALL ESTABLISH GRADES SUCH THAT THERE IS, IN ALL AREAS, POSITIVE DRAINAGE TO AN ADJACENT DRAIN. MINIMUM SLOPES SHALL BE AS FOLLOWS:

PEDESTRIAN PAVED AREAS	1%
VEHICULAR PAVED AREAS	1%
LAWN AREAS	2%
PLANTED BEDS	5%

9. GRADING, ALLOWANCES AND TOPSOIL PLACEMENT - OVERALL DEPTH OF PLANTING MEDIUM AFTER SETTLEMENT SHALL BE:

GRASS AREAS	150 MM
SHRUB BEDS	450 MM
GROUND COVER AREAS	300 MM
TREES	800 MM
MIN. 10 m3 / DECIDUOUS TREE   MIN. 3 m3 / CONIFEROUS TREE	

N.B. ALL SOIL SHALL BE TESTED NOT MORE THAN 14 DAYS PRIOR TO INSTALLATION ON SITE. TESTING SHALL BE SPECIFIC TO THIS WORK. CONTRACTOR SHALL AMEND THE SOIL ACCORDING TO THE RECOMMENDATIONS OF THE SOILS TESTING LAB.

10. GRADING, BUILDING FINISHED FLOOR & CORNER ELEVATIONS - SEE ARCHITECTURAL DRAWINGS.

11. GRADING, GENERAL RETENTION WORKS - ALL RETENTION WORKS, EITHER SHOWN HERE OR REQUIRED DUE TO UNANTICIPATED CONDITIONS AT THE TIME OF CONSTRUCTION, SHALL BE SPLIT FACED ALLAN BLOCK WITH THE EXCEPTION OF RETAINING WORKS IN THE SIDE YARD DRAINAGE AREAS SPECIFICALLY NOTED AS PRESSURE TREATED WOOD. SHOULD UNANTICIPATED RETAINING WALLS BE REQUIRED, THE CONTRACTOR SHALL INFORM THE TOWNSHIP OF LANGLEY GREEN INFRASTRUCTURE SERVICES DEPARTMENT IN WRITING OF THE LOCATION, HEIGHT AND EXTENT OF SUCH WALL.

12. PLANT MATERIAL, QUANTITIES - CONTRACTOR SHALL CONFIRM ALL PLANT MATERIAL QUANTITIES. ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE DRAWING SHALL BE REPORTED TO THE CONSULTANT. IN CASE OF DISCREPANCY CONTRACTOR SHALL INSTALL PLANT MATERIAL AS PER DRAWING. IN CIRCUMSTANCES WHERE THERE IS A DISCREPANCY BETWEEN GROUND COVER QUANTITY AND SPACING THE SPACING REQUIREMENT WILL PREVAIL.

13. PLANT MATERIAL, SUBSTITUTIONS - NO SUBSTITUTIONS TO PLANT LIST SHALL BE MADE BY CONTRACTOR WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CONSULTANT.

14. PLANT MATERIAL, HEALTH - ALL PLANT MATERIALS MUST BE DISEASE FREE FROM CERTIFIED NURSERIES.

15. MULCH - PLANTING AREAS SHALL BE MULCHED WITH 50 MM OF HEM/FIR BARK MULCH. THE USE OF CEDAR MULCH OR ANY MIX CONTAINING CEDAR IS NOT PERMITTED.

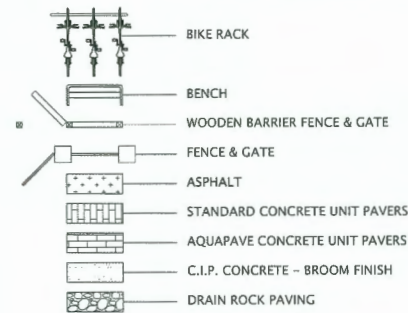
16. IRRIGATION - AN IRRIGATION SYSTEM SHALL BE INSTALLED AS A DESIGN/BUILD BY AN ACCREDITED IRRIGATION CONTRACTOR. THE SYSTEM SHALL PROVIDE FULL COVERAGE. THE GENERAL CONTRACTOR SHALL PROVIDE SLEEVES AND CORING AS NECESSARY. A PLAN OF THE PROPOSED SYSTEM SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

# PROPOSED TOWNHOUSES 7511 ST. ALBANS ROAD RICHMOND BC

DRAWING INDEX

3.a	NOTES & SYMBOLS
3.b	KEY PLAN
3.c	PERVIOUS / IMPERVIOUS AREA PLAN
3.d	HARD LANDSCAPE PLAN
3.e	LIGHTING / HOSE BIBS
3.f	PLANTING PLAN
3.g	TREE MANAGEMENT PLAN
3.h	DETAILS
3.i	DETAILS
3.j	DETAILS

HARD LANDSCAPE KEY



DP 23-028741  
May 21, 2025  
PLAN #15

DATE	ISSUED FOR	REV
2024-06-06	D.P.	E
2024-06-28	D.P.	F
2024-09-23	D.P.	G
2024-10-24	D.P.	H
2024-11-01	D.P.	J
2024-12-19	D.P.	K
2025-02-14	D.P.	L
2025-04-03	D.P.	M
2025-05-01	D.P.	N
2025-05-15	D.P.	O
2025-05-16	D.P.	P

All dimensions shall be confirmed on site and discrepancies reported immediately. Required setbacks shall govern in all cases.

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by Donald V. S. Duncan to any party with whom Donald V. S. Duncan has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Landscape Architect.

Consultants
Architectural: Matthew Cheng Architect Inc
Arborist: -
Civil: -
Structural: -
Mechanical: -
Electrical: -

Professional seal and signature of Donald V. S. Duncan, Registered Professional Landscape Architect, No. 559, dated 2025-05-16.

**DVSD** Donald V. S. Duncan  
DEVELOPMENT CONSULTANT  
LANDSCAPE ARCHITECT  
603 - 220 Eleventh Street  
New Westminster BC  
Canada V3M 6N9  
778-791-4323  
dvsduncan@gmail.com

Richmond #  
RZ 18-818548

P	Project Leader	D.Duncan
	Drawn	D.Duncan
Revision		

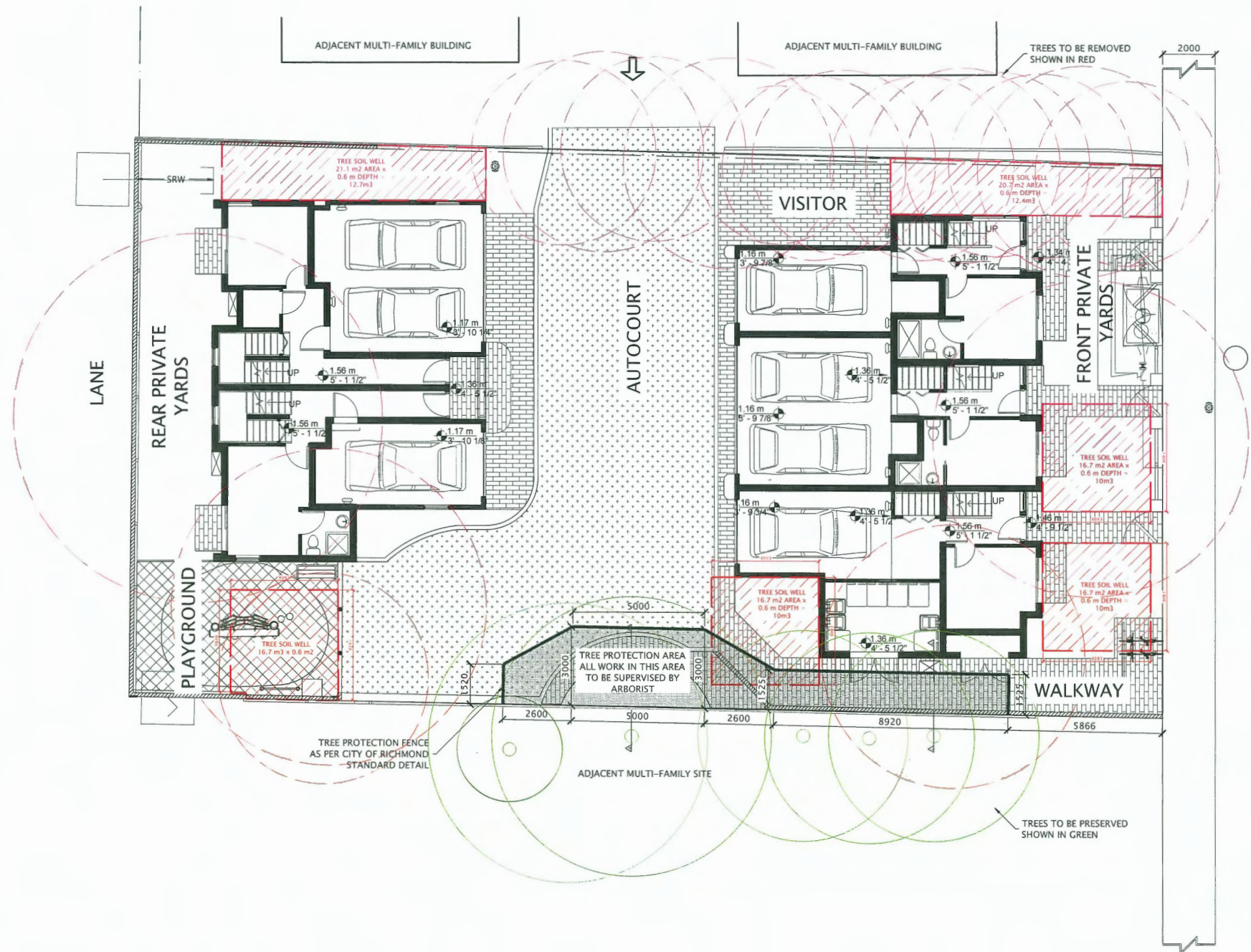
PROPOSED  
5 UNIT TOWNHOUSE  
7511 St. Albans Road  
Richmond BC  
Drawing Title  
NOTES & SYMBOLS

Check Scale (may be photo reduced)	0 1 inch 0 10mm
Project No.	21-0096
Drawing No.	3.a



PLOT DATE: May 16, 2025 TIME: 11:15 AM FULL PATH AND FILENAME: D:\PROJECTS\121-0096 7511 ST ALBANS ROAD\100-DELIV\LAND\01-TB\LI-01\_3B.DWG PLOTSTYLE TABLE: -----

01  
3.b  
KEY PLAN  
SCALE 1:100



**DP 23-028741**  
**May 21, 2025**  
**PLAN #16**

DATE	ISSUED FOR	REV
2024-06-06	D.P.	E
2024-06-28	D.P.	F
2024-09-23	D.P.	G
2024-10-24	D.P.	H
2024-11-01	D.P.	J
2024-12-19	D.P.	K
2025-02-14	D.P.	L
2025-04-03	D.P.	M
2025-05-01	D.P.	N
2025-05-15	D.P.	O
2025-05-16	D.P.	P

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Arborist: -  
Civil: -  
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Mechanical: -  
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**DVSD** Donald V. S. Duncan  
DEVELOPMENT CONSULTANT  
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603 - 220 Eleventh Street  
New Westminster BC  
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dvsduncan@gmail.com

Richmond #  
RZ 18-818548

P Revision	Project Leader
	D.Duncan
P Revision	Drawn
	D.Duncan

PROPOSED  
5 UNIT TOWNHOUSE  
7511 St. Albans Road  
Richmond BC

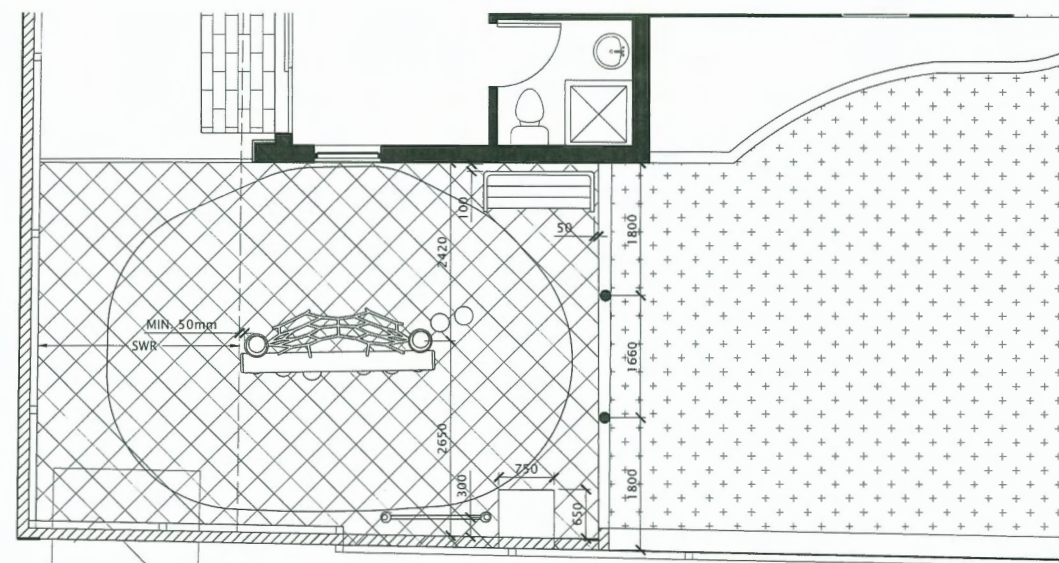
Drawing Title  
KEY PLAN

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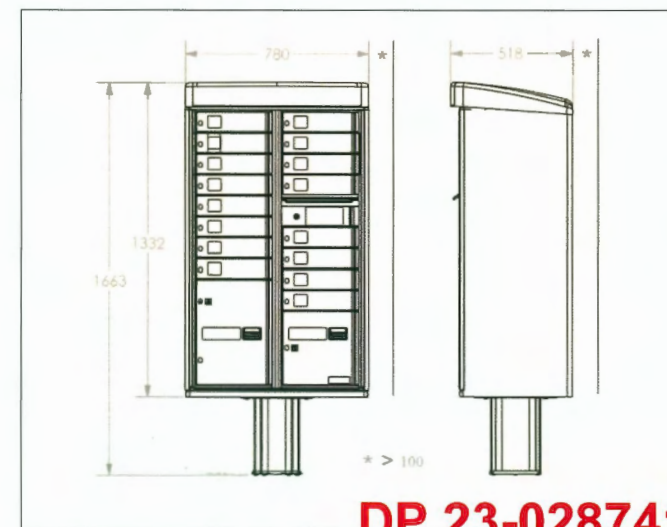
Project No. 21-0096

Drawing No. 3.b





02  
3.d



04 MAIL BOX  
3.d N.T.S.

Check Scale (may be photo reduced)

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Project No. 21-0096

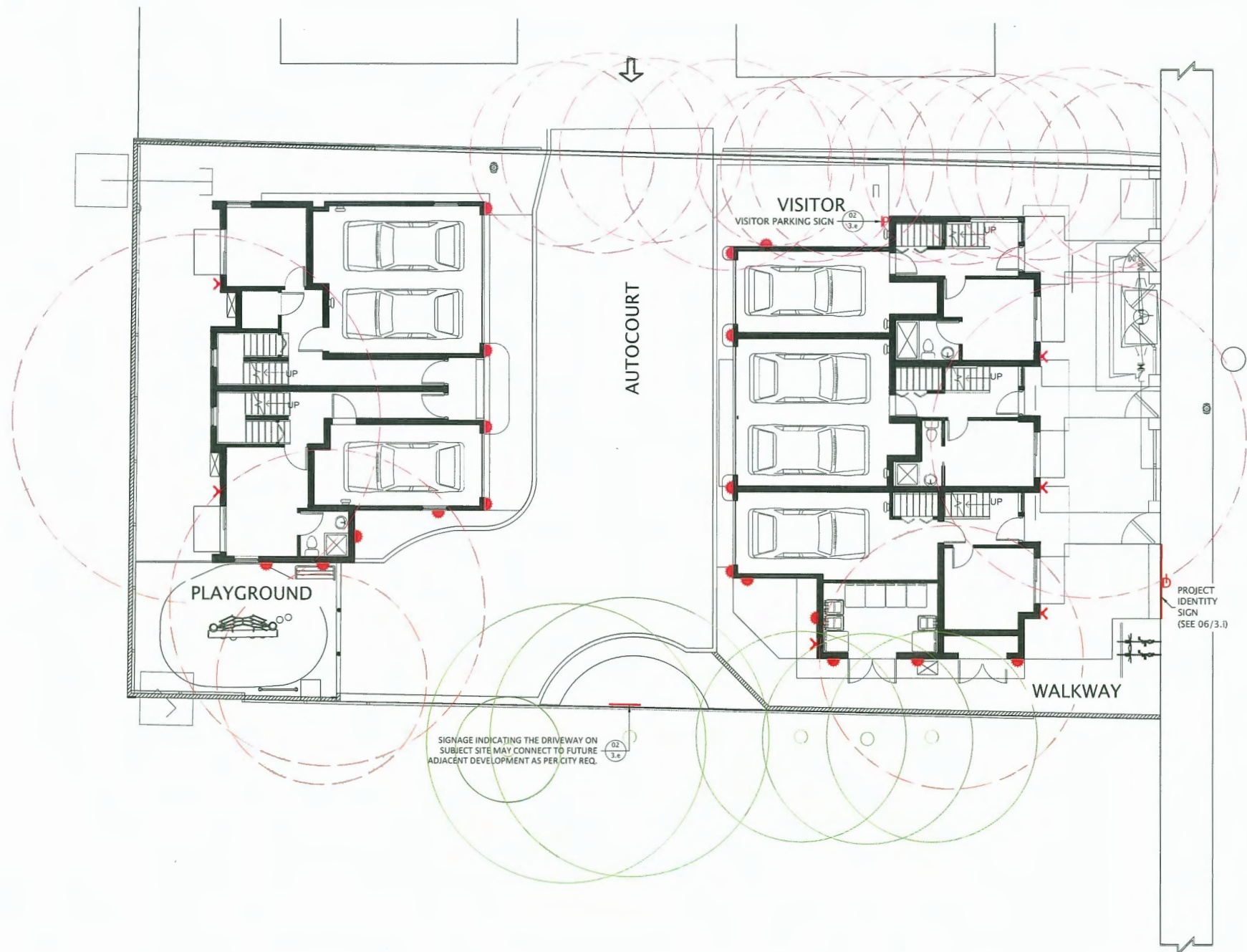
Drawing No. 3.d

**DP 23-028741**  
**May 21, 2025**  
**PLAN #17**



PLOT DATE: May 16, 2025 TIME: 11:18 AM FULL PATH AND FILENAME: D:\PROJECTS\ID21-0096 7511 ST ALBANS ROAD\500-DELIV\LAND\01-TB\13-01\_3E.DWG PLOTSYCLE TABLE:

01  
3.e LIGHTING / HOSE BIB PLAN  
SCALE 1:100



#### LIGHTING KEY

WALL MOUNTED LIGHT

NOTES:  
1. FIXTURES AS PER LIEW ENGINEERING LTD.

#### HOSE BIB KEY

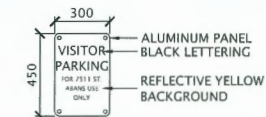
HOSE BIB

#### SIGN KEY

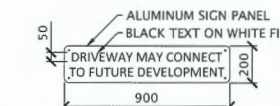
VISITOR PARKING SIGN

PROJECT IDENTITY SIGN (w/ ACCESS INFO)

FUTURE ACCESS SIGN



VISITOR PARKING SIGN



FUTURE ACCESS SIGN

#### 02 3.e INTERNAL SITE SIGNAGE N.T.S.

NOTE: ALL EXTERIOR LIGHT FIXTURES SHALL BE FITTED WITH APPROPRIATE SHADES AND / OR SHIELDS AS MAY BE NECESSARY TO PREVENT GLARE THAT MIGHT IMPACT ADJACENT LAND USES, IMPAIR THE VISION OF PEDESTRIANS OR DRIVES, OR MAY CONTRAVENE THE CITY OF RICHMOND "DARK SKIES" POLICY.

PROJECT IDENTITY SIGN  
(SEE 06/3.1)

**DP 23-028741**  
**May 21, 2025**  
**PLAN #18**

DATE	ISSUED FOR	REV
2024-06-06	D.P.	E
2024-06-28	D.P.	F
2024-09-23	D.P.	G
2024-10-24	D.P.	H
2024-11-01	D.P.	J
2024-12-19	D.P.	K
2025-02-14	D.P.	L
2025-04-03	D.P.	M
2025-05-01	D.P.	N
2025-05-15	D.P.	O
2025-05-16	D.P.	P

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#### Consultants

Architectural: Matthew Cheng Architect Inc  
Arborist: -  
Civil: -  
Structural: -  
Mechanical: -  
Electrical: -



**DVSD** Donald V. S. Duncan  
DEVELOPMENT CONSULTANT  
LANDSCAPE ARCHITECT  
603 - 220 Eleventh Street  
New Westminster BC  
Canada V3M 6N9  
778-791-4323  
dvsduncan@gmail.com

Richmond #  
RZ 18-818548

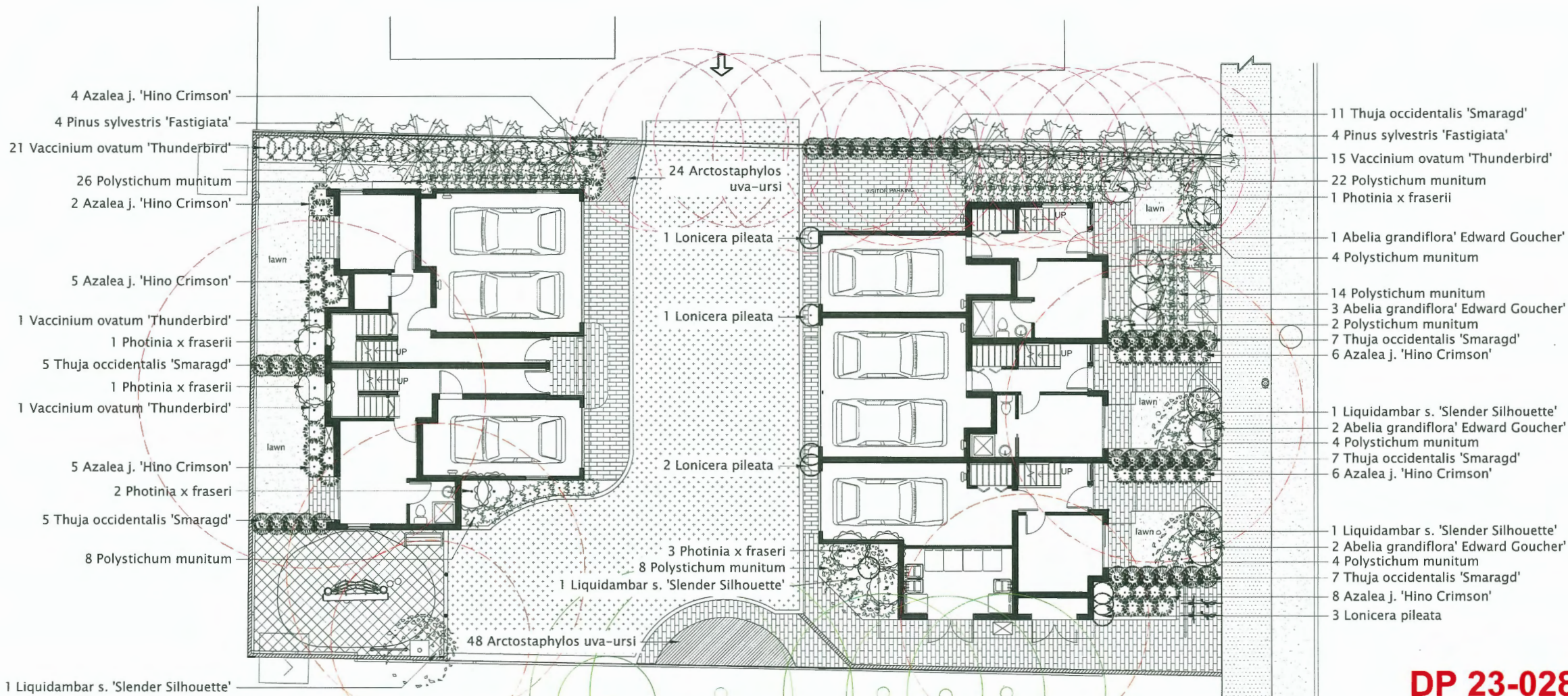
P Revision	Project Leader D.Duncan	
	Drawn	D.Duncan
PROPOSED 5 UNIT TOWNHOUSE 7511 St. Albans Road Richmond BC Drawing Title LIGHTS/HOSE BIBS/SIGNS		
Check Scale (may be photo reduced) 0 1 inch 0 10mm		
Project No. 21-0096		
Drawing No. 3.e		



PLOT DATE: May 16, 2025 TIME: 11:19 AM FULL PATH AND FILENAME: D:\PROJECTS\021-0096 7511 ST ALBANS ROAD\500-DELIV\LAND\01-TB\LA-01\_3F.DWG PLOTSTYLE TABLE:

01  
3.f

PLANTING PLAN  
SCALE 1:100



PLANT LIST

TREES

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
PS	8	Pinus sylvestris 'Fastigiata'	Scotch Sentinel Pine	4.0 m ht	100cm standard 888 min. 50cm root ball dia.	7.5m height 2.4m spread	as shown
LS	4	Liquidambar s. 'Slender Silhouette'	Slender Silhouette Sweetgum	8 cm cal	150cm standard 888 min. 50cm root ball dia.	16m height 3.0m spread	as shown

CONIFEROUS SHRUBS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
ts	42	Thuja occidentalis 'Smaragd'	Smaragd Hedging Cedar	1.2m B&B	minimum 20cm height	125cm height 250cm width	50cm

BROADLEAF EVERGREEN SHRUBS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
ag	8	Abelia grand. 'Edward Goucher'	Edward Goucher Abelia	#5 pot	minimum 60cm height	120cm height 120cm width	60cm
ah	36	Azalea japonica 'Hino Crimson'	Crimson Japanese Azalea	#2 pot	minimum 20cm height	100cm height 120cm width	50cm
lp	9	Lonicera pileata	Boxleaf Honeysuckle	#3 pot	minimum 50cm height	180cm height 190cm width	60cm
ph	7	Photinia x fraseri	Fraser Photinia	#5 pot	minimum 75cm height - heavy	360cm height 210cm width	90cm
vo	38	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot	minimum 50cm height	180cm height 190cm width	60cm

FERNS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
pm	92	Polystichum munitum	Swordfern	#1 pot	minimum 30cm height	100cm height 100cm width	50cm

GROUND COVERS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
ar	240	Arctostaphylos uva-ursi	Kinnikinnick	10cm pot		10cm height 60cm width	30cm
la		Lawn	Shade Tolerant Blend				

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2024-10-24	D.P.	H
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2025-05-01	D.P.	N
2025-05-15	D.P.	O
2025-05-16	D.P.	P

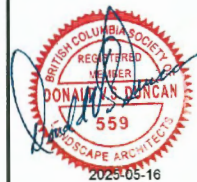
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Consultants

Architectural: Matthew Cheng Architect Inc  
Arborist: -  
Civil: -  
Structural: -  
Mechanical: -  
Electrical: -



**DV S.D.** Donald V. S. Duncan  
DEVELOPMENT CONSULTANT  
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603 - 220 Eleventh Street  
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dvsduncan@gmail.com

Richmond #  
RZ 18-818548

P	Project Leader
Revision	D.Duncan
Drawn	D.Duncan

PROPOSED  
5 UNIT TOWNHOUSE  
7511 St. Albans Road  
Richmond BC  
Drawing Title  
PLANTING PLAN

Check Scale (may be photo reduced)  
0 1 inch 0 10mm

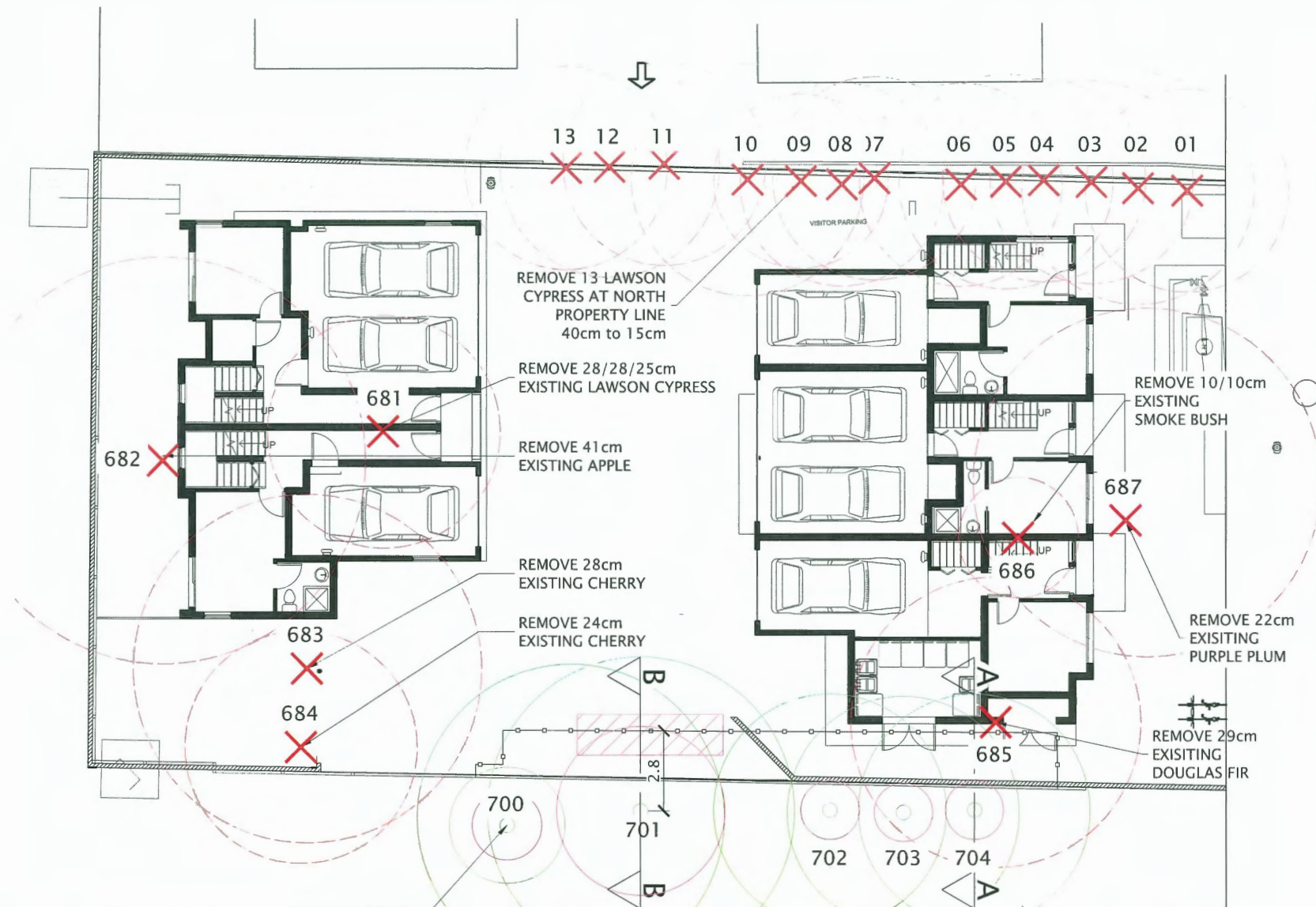
Project No. 21-0096

Drawing No. 3.f

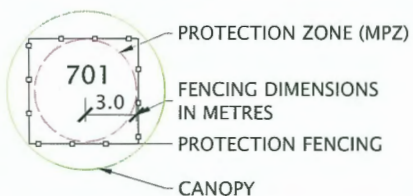
**DP 23-028741**  
**May 21, 2025**  
**PLAN #19**



PLOT DATE: May 16, 2025 TIME: 11:21 AM FULL PATH AND FILENAME: D:\PROJECTS\ID21-0096 7511 ST ALBANS ROAD\500-DELIV\LAND\01-TB\4-11\_3.GDWG PLOTSYLE TABLE:

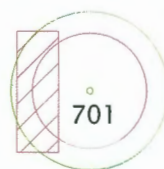


TREES PROPOSED FOR PRESERVATION



EXISTING TREES TO REMAIN

AREAS REQUIRING ARBORIST SUPERVISION



TREES PROPOSED FOR REMOVAL



NOTES:

1. REFER TO TREE PROTECTION REPORT BY FROGGER CREEK TREE CONSULTANTS LTD FOR INFORMATION CONCERNING SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.
2. ALL MEASUREMENTS ARE METRIC.

TREE INVENTORY				
#	Type	Action	DBH	MPZ
1	Lawson Cypress	Remove	40cm	2.4m
2	Lawson Cypress	Remove	38cm	2.3m
3	Lawson Cypress	Remove	33cm	2.0m
4	Lawson Cypress	Remove	36cm	2.2m
5	Lawson Cypress	Remove	30cm	1.8m
6	Lawson Cypress	Remove	37cm	2.2m
7	Lawson Cypress	Remove	25/25/25cm	2.5m
8	Lawson Cypress	Remove	25/25/25cm	2.5m
9	Lawson Cypress	Remove	20/15/15cm	2.5m
10	Lawson Cypress	Remove	25/25/20cm	2.5m
11	Lawson Cypress	Remove	15/15/15cm	2.0m
12	Lawson Cypress	Remove	20/20/15cm	2.5m
13	Lawson Cypress	Remove	25/20/10cm	2.5m
681	Lawson Cypress	Remove	28/28/25cm	3.2m
682	Apple	Remove	41cm	2.5m
683	Cherry	Remove	28/18cm	2.4m
684	Cherry	Remove	24cm	1.4m
685	Douglas Fir	Remove	29cm	1.7m
686	Smoke Bush	Remove	10/10cm	1.2m
687	Purple Plum	Remove	22cm	1.3m
700	Japanese Maple	Retain	5/5/5cm	1.2m
701	Douglas Fir	Retain	48cm	2.9m
702	Cherry	Retain	15cm	1.0m
703	Cherry	Retain	14cm	1.0m
704	Cherry	Retain	14cm	1.0m

DBH- trunk diameter, MPZ- protection zone

### TREE PROTECTION FENCING

Minimum Radial Distance from trunk

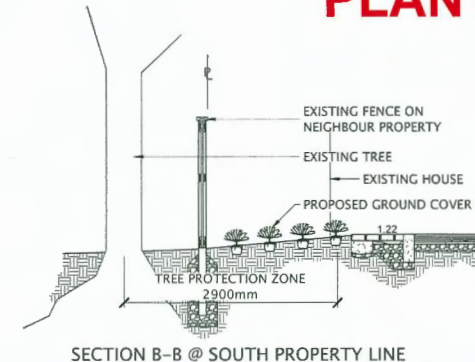
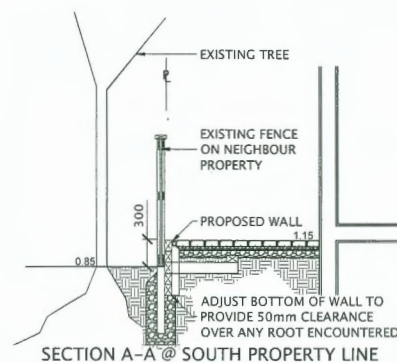
#	Type	DBH	Metres	Feet
700	Japanese Maple	5/5/5cm	2.0m	6.6ft
701	Douglas Fir	48cm	2.9m	9.4ft
702	Cherry	15cm	2.5m	8.2ft
703	Cherry	14cm	2.5m	8.2ft
704	Cherry	14cm	2.5m	8.2ft

01  
3.g  
TREE MANAGEMENT PLAN  
SCALE 1:100 PLAN PREPARED BY: FROGGER CREEK TREE CONSULTANTS LTD.

### TREE COUNTS

18	Trees Removed
12	Trees Proposed

NOTE: SEE ARBORIST REPORT FOR ADDITIONAL DETAIL REGARDING EXISTING TREES.



**DP 23-028741**  
**May 21, 2025**  
**PLAN #20**

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2024-06-06	D.P.	E
2024-06-28	D.P.	F
2024-09-23	D.P.	G
2024-10-24	D.P.	H
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2025-05-01	D.P.	N
2025-05-15	D.P.	O
2025-05-16	D.P.	P

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Arborist: -  
Civil: -  
Structural: -  
Mechanical: -  
Electrical: -



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dvsduncan@gmail.com

Richmond #  
RZ 18-818548

Project Leader  
D.Duncan  
Drawn  
D.Duncan

PROPOSED  
5 UNIT TOWNHOUSE  
7511 St. Albans Road  
Richmond BC

Drawing Title  
TREE MANAGEMENT PLAN

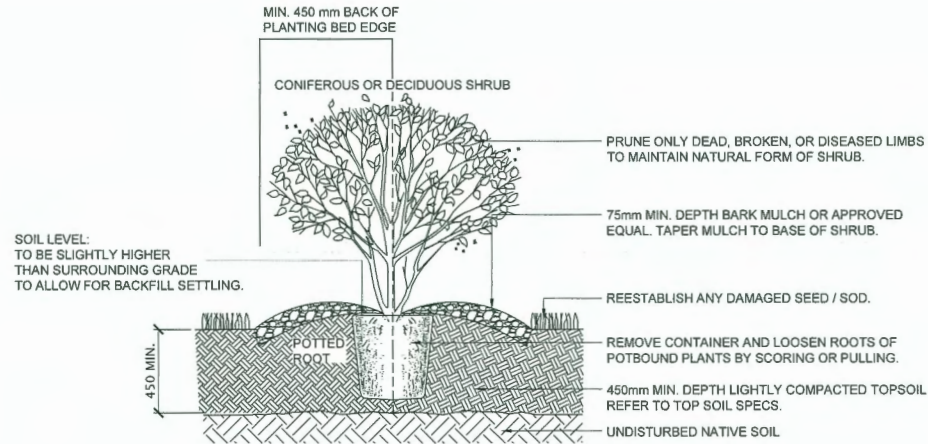
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Project No. 21-0096

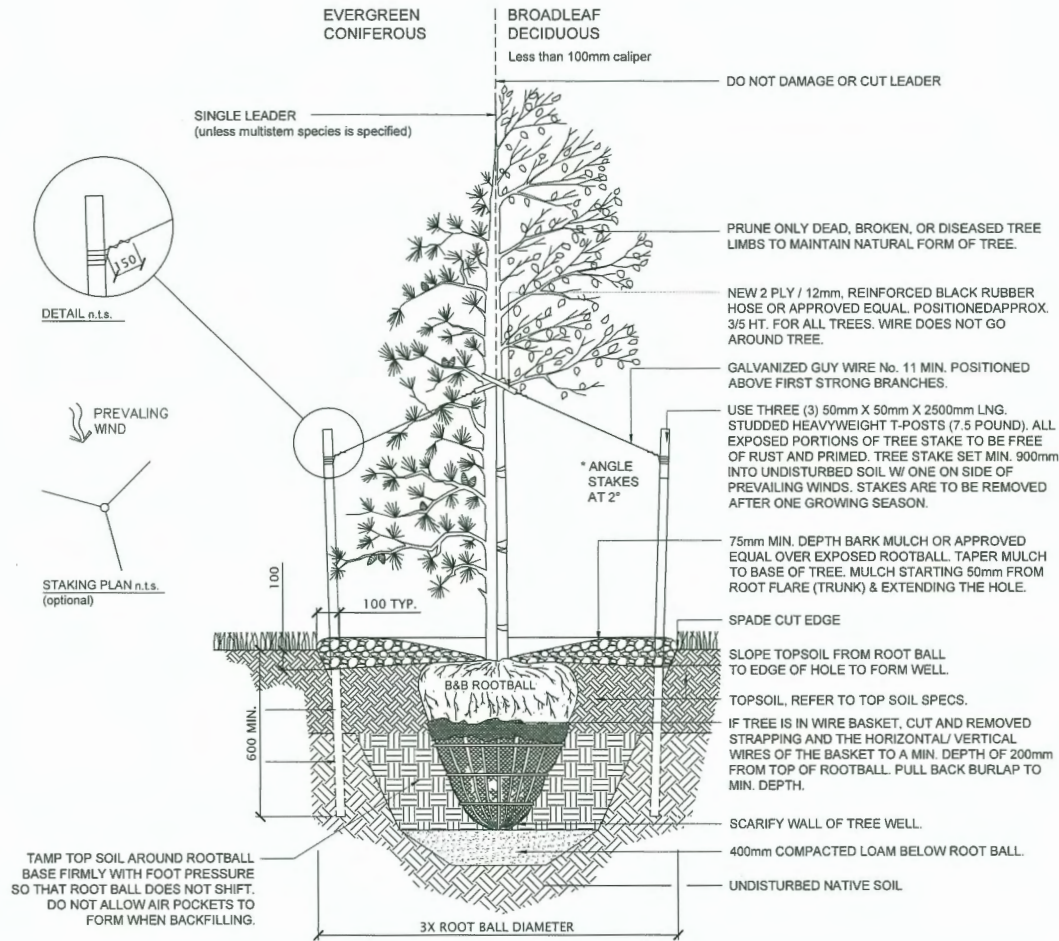
Drawing No. 3.g



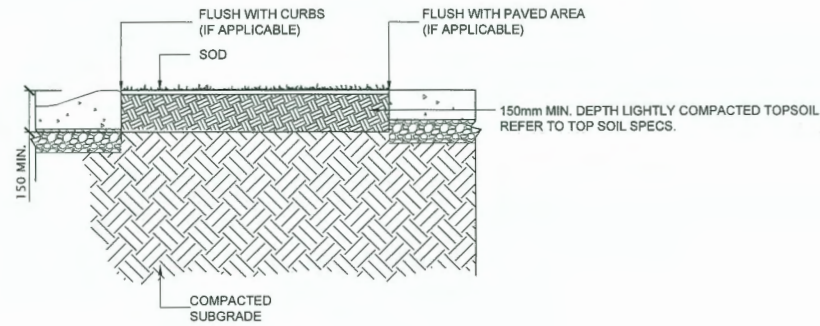
PLOT DATE: May 16, 2025 TIME: 11:22 AM FULL PATH AND FILENAME: D:\PROJECTS\21-0096 7511 ST ALBANS ROAD\500-DEW/LAND\01-TB\LS-01-3H.DWG PLOTS\TABLE



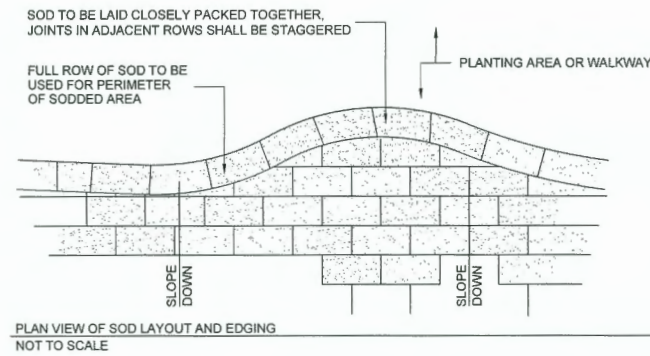
01  
3.h  
TYPICAL SHRUB INSTALLATION  
SCALE 1:20



02  
3.h  
TYPICAL TREE INSTALLATION  
SCALE 1:20



SECTION THROUGH SOD



03  
3.h  
TYPICAL LAWN INSTALLATION  
SCALE 1:20

DATE	ISSUED FOR	REV
2024-06-06	D.P.	E
2024-06-28	D.P.	F
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2024-12-19	D.P.	K
2025-02-14	D.P.	L
2025-04-03	D.P.	M
2025-05-01	D.P.	N
2025-05-15	D.P.	O
2025-05-16	D.P.	P

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Consultants
Architectural: Matthew Cheng Architect Inc
Arboret: -
Civil: -
Structural: -
Mechanical: -
Electrical: -

British Columbia Society of Professional Landscape Architects  
REGISTERED MEMBER  
DONALD V. S. DUNCAN  
559  
2025-05-16

**DVSD** Donald V. S. Duncan  
DEVELOPMENT CONSULTANT  
LANDSCAPE ARCHITECT  
603 - 220 Eleventh Street  
New Westminster BC  
Canada V3M 6N9  
778-791-4323  
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Richmond #  
RZ 18-818548

Revision	Project Leader
P	D. Duncan
Revision	Drawn
	D. Duncan

PROPOSED  
5 UNIT TOWNHOUSE  
7511 St. Albans Road  
Richmond BC

Drawing Title  
DETAILS

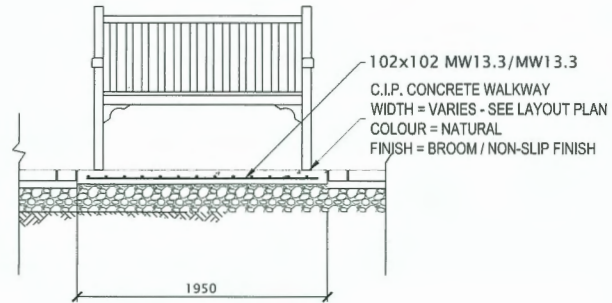
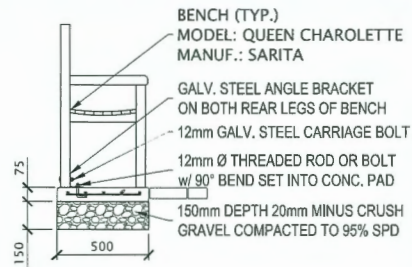
Check Scale (may be photo reduced)  
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Project No. 21-0096

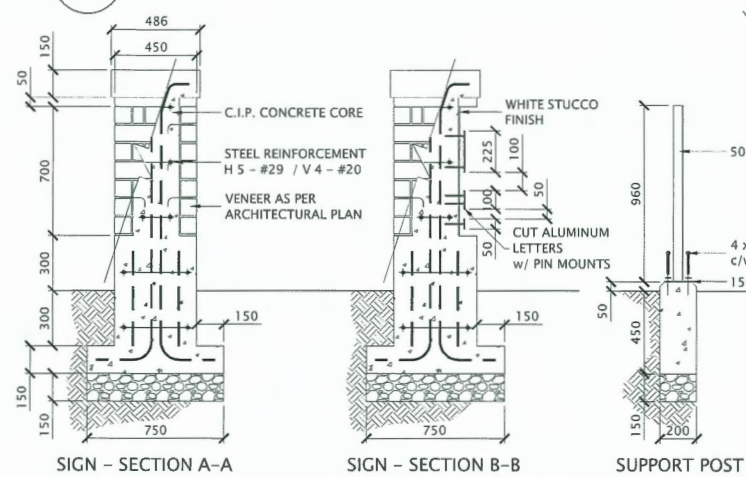
Drawing No. 3.h

DP 23-028741  
May 21, 2025  
PLAN #21





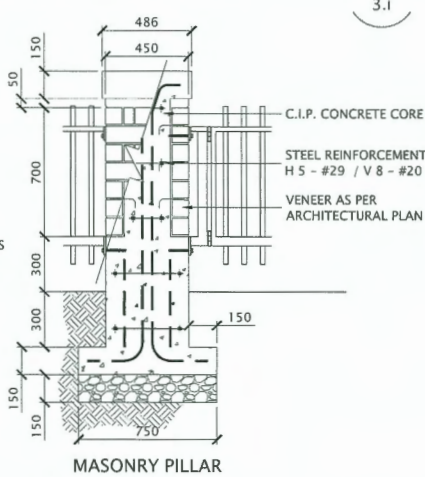
01 AMENITY AREA BENCH  
SCALE 1:20  
3.i



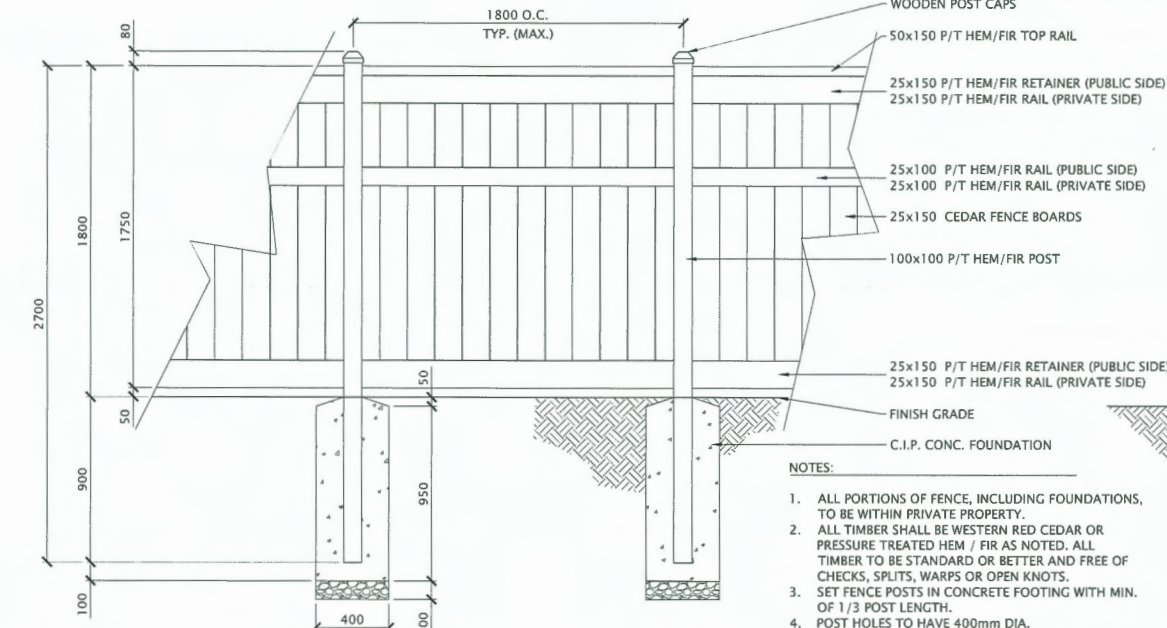
SIGN - SECTION A-A

SIGN - SECTION B-B

SUPPORT POST

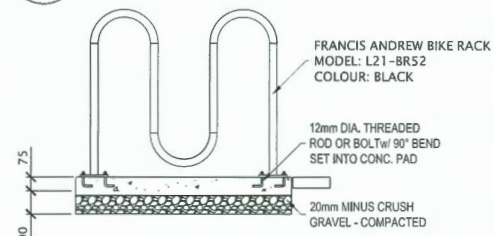


MASONRY PILLAR

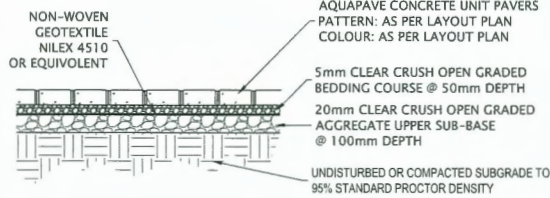


INTERIOR ELEVATION - GATE ENTRANCE

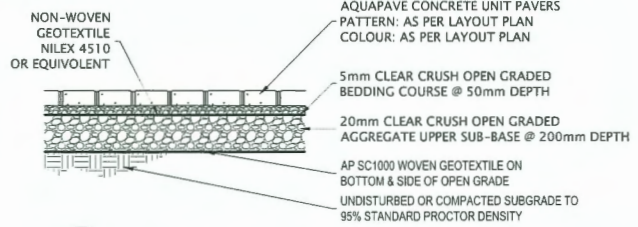
02 LANE FRONTAGE FENCE  
SCALE 1:20  
3.i



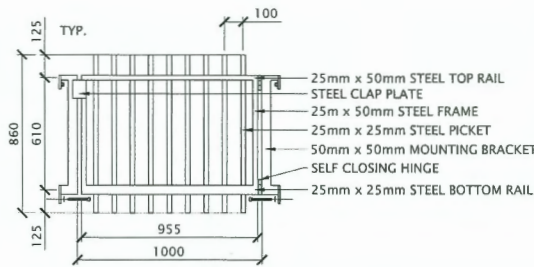
03 BICYCLE PARKING  
SCALE 1:20  
3.i



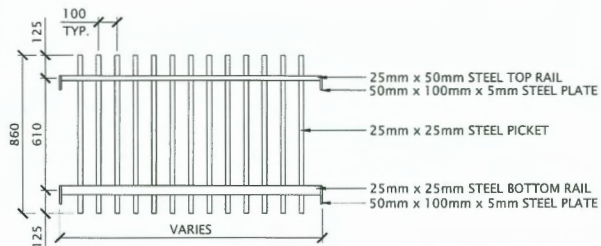
04 PEDESTRIAN UNIT PAVING  
SCALE 1:20  
3.i



05 PERMEABLE UNIT PAVING  
SCALE 1:20  
3.i

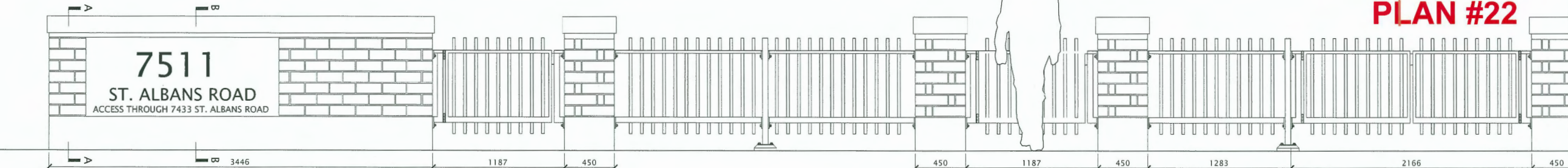


GATE



FENCE PANEL

**DP 23-028741**  
**May 21, 2025**  
**PLAN #22**



06 ST. ALBANS STREET FRONTAGE FENCE  
SCALE 1:20  
3.i

NOTE: MAXIMUM COMBINED HEIGHT OF RETAINING WALL & FENCE 2.0 METRES - PREFERRED HEIGHT OF TOP RAIL TO BE 1800mm ABOVE GRADE TO HIGH SIDE BUT REDUCE AS NECESSARY TO PROVIDE MAX. 2.0 METER HEIGHT ON LOW SIDE.

NOTES:

1. ALL PORTIONS OF FENCE, INCLUDING FOUNDATIONS, TO BE WITHIN PRIVATE PROPERTY.
2. ALL TIMBER SHALL BE WESTERN RED CEDAR OR PRESSURE TREATED HEM / FIR AS NOTED. ALL TIMBER TO BE STANDARD OR BETTER AND FREE OF CHECKS, SPLITS, WARPS OR OPEN KNOTS.
3. SET FENCE POSTS IN CONCRETE FOOTING WITH MIN. OF 1/3 POST LENGTH.
4. POST HOLES TO HAVE 400mm DIA.
5. ENTRY TO BE OUT-SWING GATE COMPLETE WITH LATCH.
6. ALL HARDWARE AND METAL FIXTURES TO BE HOT DIPPED GALVANIZED.
7. FENCE TO BE UNSTAINED/UNPAINTED.

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2024-06-06	D.P.	E
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Richmond #  
RZ 18-818548

P	Project Leader	D. Duncan
	Drawn	D. Duncan
Revision		

PROPOSED  
5 UNIT TOWNHOUSE  
7511 St. Albans Road  
Richmond BC

Drawing Title  
DETAILS

Check Scale (may be photo reduced)  
0 1 inch 0 10mm

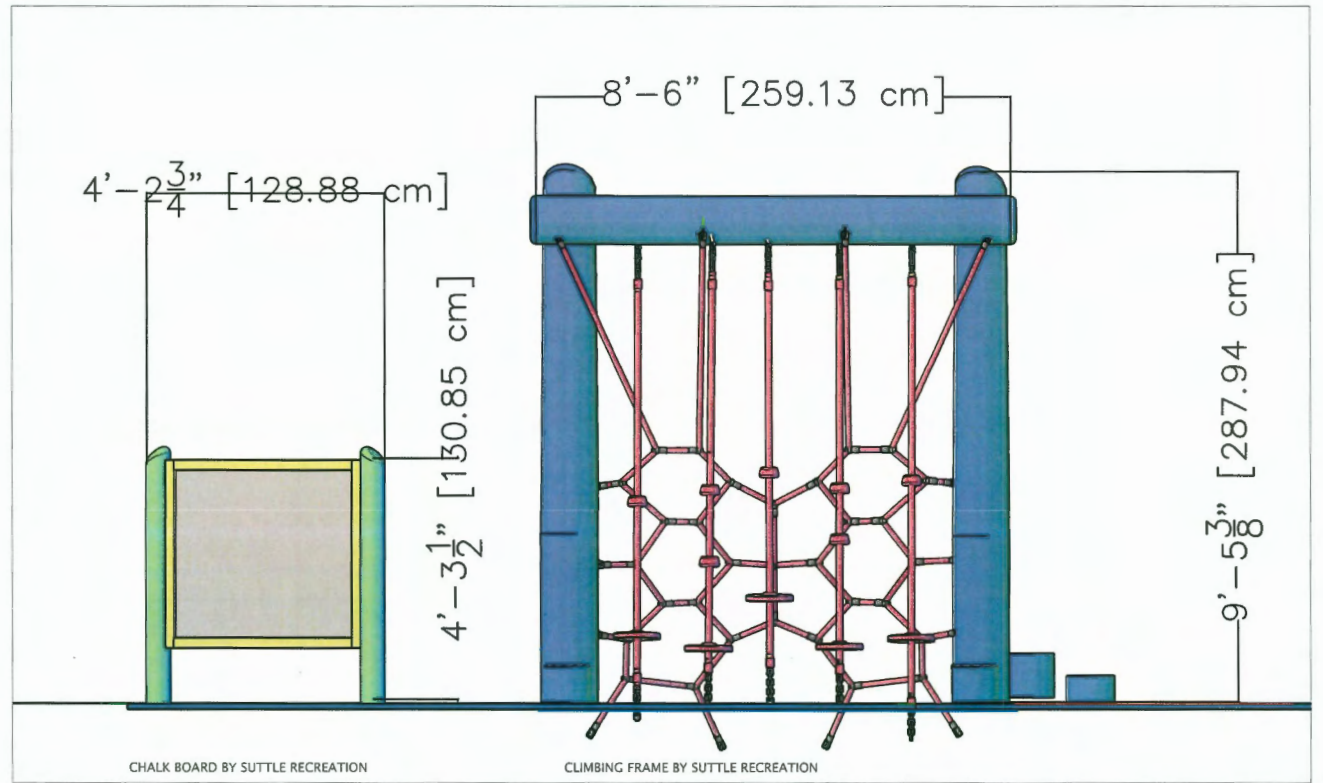
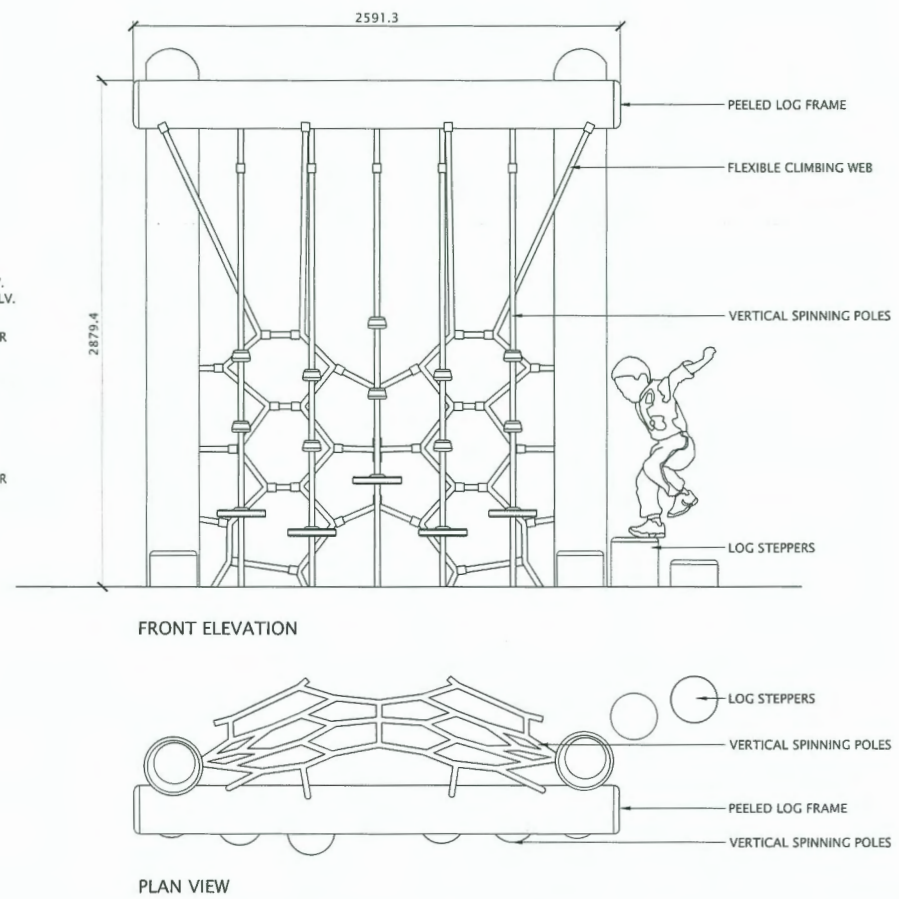
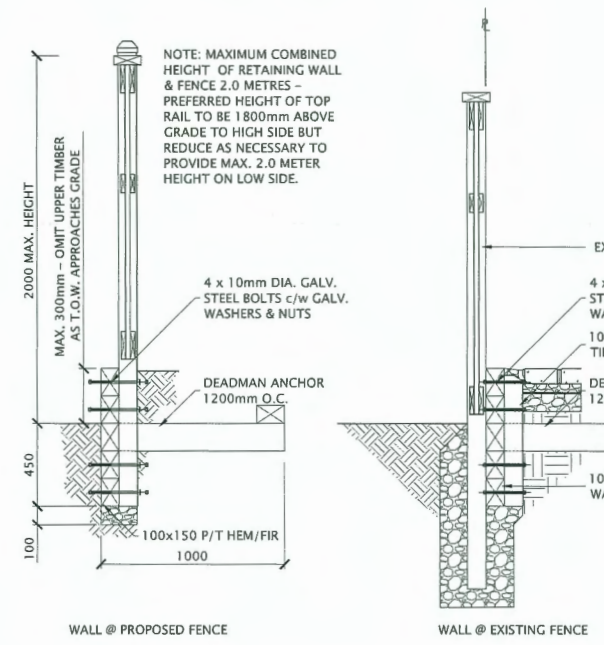
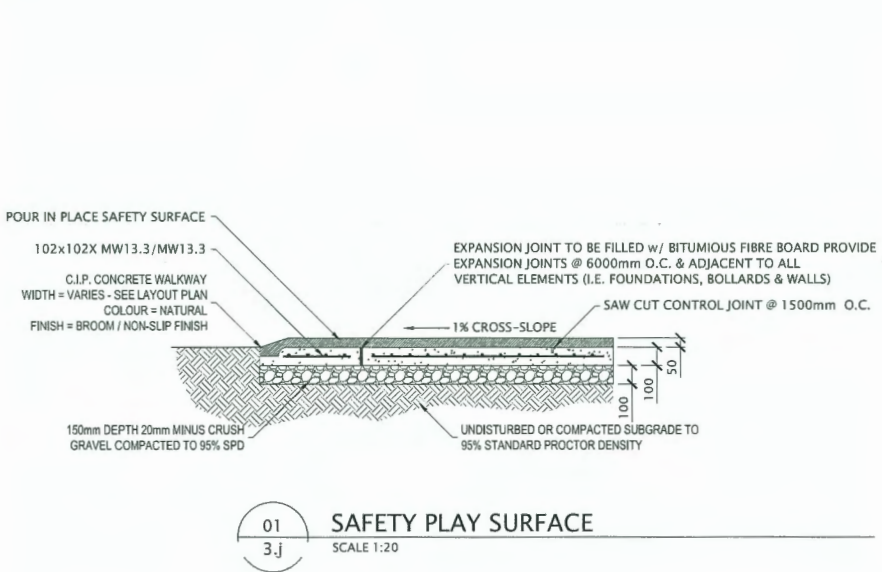
Project No. 21-0096

Drawing No. 3.i



PLOT DATE: May 16, 2025 TIME: 11:23 AM FULL PATH AND FILENAME: D:\PROJECTS\21-0096 7511 ST ALBANS ROAD\500-DELIV\LAND\01-TB\LS-03\_3J.DWG PLOTSYLE TABLE: -----

DP 23-028741  
May 21, 2025  
PLAN #23



02  
3.j  
CLIMBING FRAME & CHALK BOARD by SUTTLE RECREATION  
SCALE 1:20

DATE	ISSUED FOR	REV
2024-06-06	D.P.	E
2024-06-28	D.P.	F
2024-09-23	D.P.	G
2024-10-24	D.P.	H
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Architectural: Matthew Cheng Architect Inc  
Arborist: -  
Civil: -  
Structural: -  
Mechanical: -  
Electrical: -

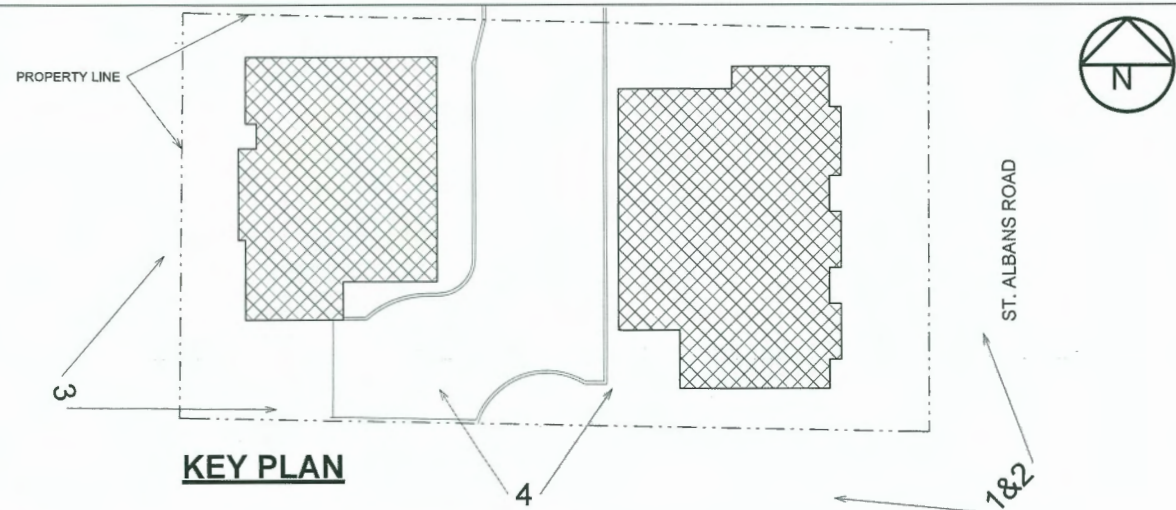
2025-05-16

**DVSD** Donald V. S. Duncan  
DEVELOPMENT CONSULTANT  
LANDSCAPE ARCHITECT  
603 - 220 Eleventh Street  
New Westminster BC  
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Richmond #  
RZ 18-818548

P Revision	Project Leader D.Duncan
	Drawn D.Duncan
PROPOSED 5 UNIT TOWNHOUSE 7511 St. Albans Road Richmond BC	
Drawing Title DETAILS	
Check Scale (may be photo reduced) 0 1 inch 0 10mm	
Project No. 21-0096	
Drawing No. 3.j	





1- PERSPECTIVE VIEW: SOUTH-EAST



3- PERSPECTIVE VIEW: EAST-WEST

2- PERSPECTIVE VIEW: SOUTH-EAST (BIRD VIEW)



4- PERSPECTIVE: DRIVE WAY VIEW

# MATTHEW CHENG ARCHITECT INC

UNIT 202 - 670 EVANS AVENUE  
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## DP 23-028741 May 21, 2025 REFERENCE PLAN

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
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3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION



May, 16 2025

## 5 UNIT TOWNHOUSE DEVELOPMENT

7511 ST. ALBANS ROAD  
RICHMOND, BC

## RENDERED VIEW

Project number 17 R TH 01 7511 St Albans Rd.  
Date 2023-09-06  
Drawn by BK  
Checked by MC

PLAN#4d

Scale NO SCALE





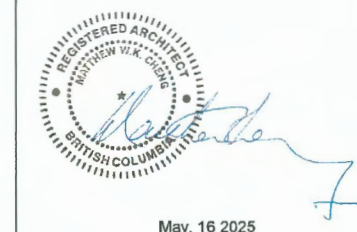
MATTHEW CHENG  
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**May 21, 2025**  
**REFERENCE**  
**PLAN**

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5	MAY.01	REISSUED FOR D.P. SUBMISSION



**5 UNIT TOWNHOUSE  
DEVELOPMENT**

7511 ST. ALBANS ROAD  
RICHMOND, BC

**INTERNAL  
STREETSCAPE**

Project number 17 R TH 01 7511 St Albans Rd.  
Date 2023-09-06  
Drawn by BK, FN  
Checked by MC

**PLAN#4b**

Scale 3/64" = 1'-0"



EAST INTERNAL COURTYARD STREETSCAPE : UNIT 4-5



WEST INTERNAL COURTYARD STREETSCAPE : UNIT 1-3





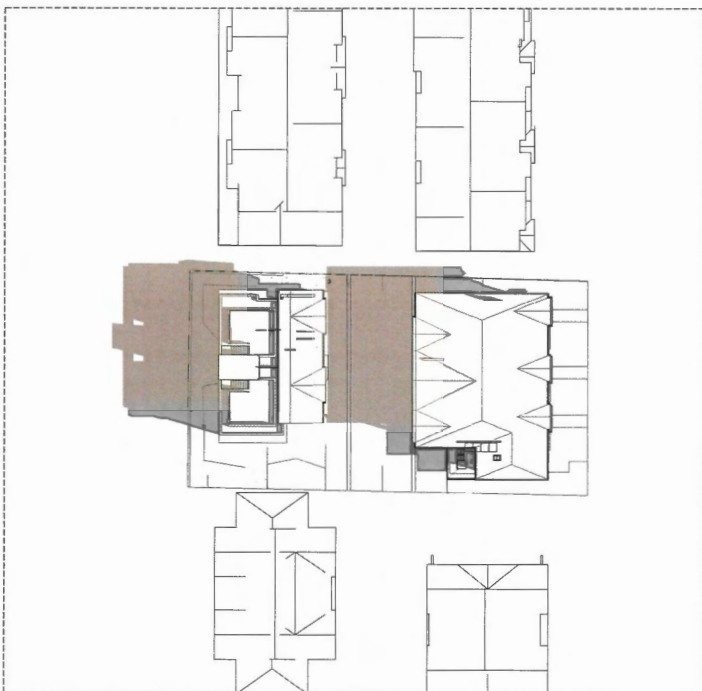
1 March 21-2022\_10 AM



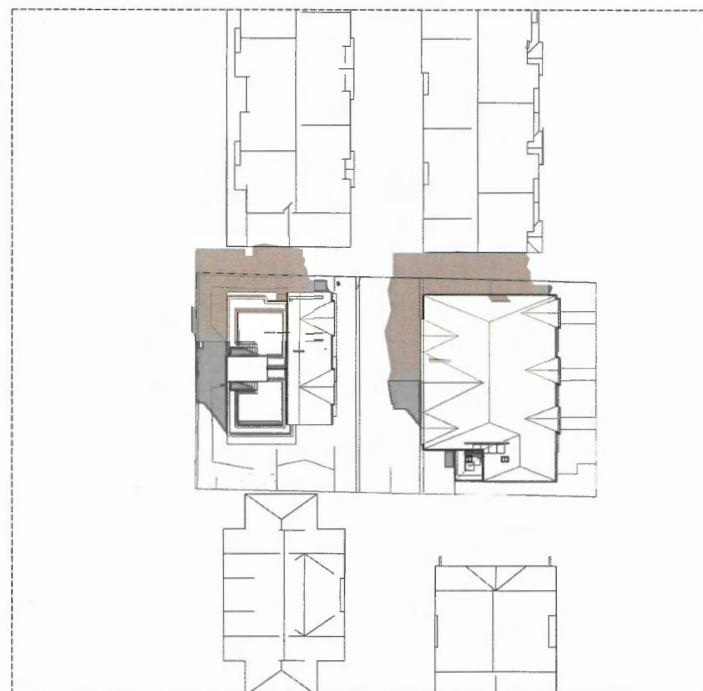
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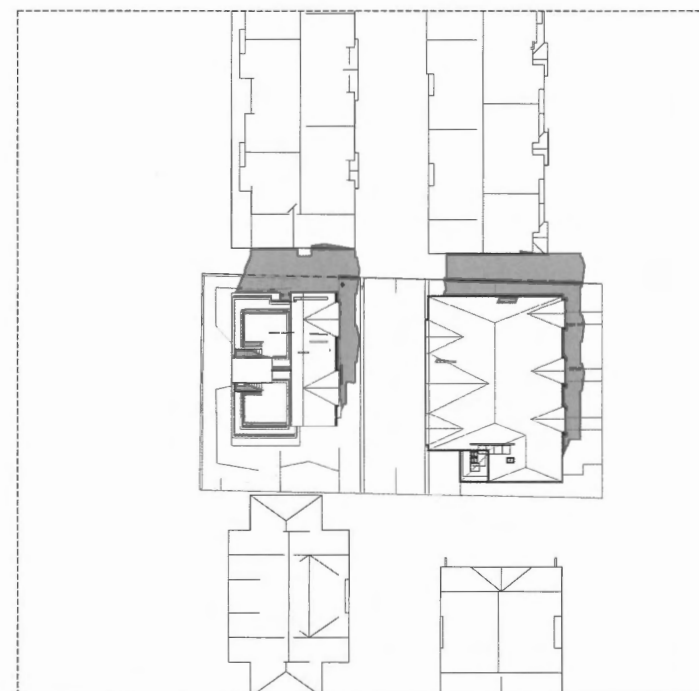
3 March 21-2022\_2 PM



4 June 21-2022\_10 AM



5 June 21-2022\_12 PM



6 June 21-2022\_2 PM

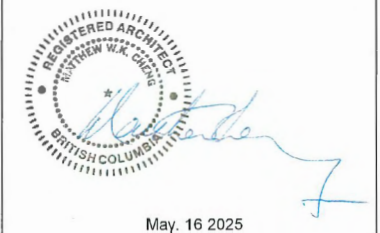
# MATTHEW CHENG ARCHITECT INC

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## 5 UNIT TOWNHOUSE DEVELOPMENT

7511 ST. ALBANS ROAD  
RICHMOND, BC

## SHADOW STUDY

Project number	17 R TH 01 7511 St Albans Rd.
Date	2023-09-06
Drawn by	BK, FN
Checked by	MC

PLAN#4e

Scale 1" = 30'-0"



**CONVERTIBLE UNIT GUIDELINES:**

**DOORS & DOORWAYS**

- ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.
- ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER).
- INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS.
- PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED. ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.
- LEVER-TYPE HANDLES FOR ALL DOORS.

**VERTICAL CIRCULATION**

- STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.
- OR
- VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.
- FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
- AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.

**HALLWAYS**

- MIN. 900 MM WIDTH.

**GARAGE**

- MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.
- ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.

**BATHROOM (MIN. 1)**

- TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
- WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
- PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
- CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).

**KITCHEN**

- CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
- CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
- 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.

**WINDOWS**

- MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)

**OUTLETS & SWITCHES**

- PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS. -UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.

**NOTE:**

- ONE WINDOW IN BATHROOM,KITCHEN AND LIVING ROOM TO BE OPENED WITH A SINGLE HAND.

Specifications

Rated Load: Standard 750 lbs (340 kg) with a safety factor of 5

Speed: Leadscrew - 3 meters (10 Ft) per minute at full load | Hydraulic - 5.2 meters (17 Ft) per minute at full load

Travel Range: Leadscrew - up to 6 feet | Hydraulic - up to 14 feet

**Safety Features:** Garaventa doors and gates equipped with Garaventa interlocks and internal closers | Sturdy 16 gauge galvanized steel platform side walls 1070mm (42 1/8") | Continuous pressure directional control switches and illuminated and audible emergency stop switch | Full length grab rail on platform side wall panel

**Leadscrew Drive System:** Motor: 2 HP (1750 RPM) | Motor Drive Type: ACME screw (1" diameter) | Mains Supply: North American Models: 120 VAC on a dedicated 20 amp circuit, International Models: 208-240 VAC on a dedicated 16 amp circuit

**Hydraulic Drive System:** Motor: 3 HP DC (2.2 KW) complete with auxiliary power system | Motor Drive Type: Chained Hydraulic (Dual 5/8" ANSI 50 chains) | Mains Supply: North American Models 120 VAC on a dedicated 15 amp circuit, International Models 208-240 VAC on a dedicated 16 amp circuit

**Controls:** Keyless Controls (No key required for call stations and platform controls) | Directional Controls - Continuous pressure switches | Control Voltage: 24 VDC

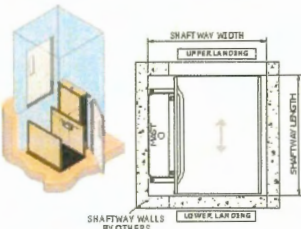
**Power Requirements:** 120 VAC single phase | Optional 208-240 VAC single phase

**Popular Options:** Power Door Operators (ANSI/ BHMA A156.19 compliant) | Custom platform sizes available | Illuminated and tactile constant pressure directional buttons | Arrival gong and digital floor display | Choice of RAL colors | Autodialer phone (ADA compliant) | Keyed operation | Custom applications (Consult Garaventa Lift) | Battery powered emergency lowering (Leadscrew drive only) | Full time battery operation \*\*\*suitable for low use applications ONLY (Hydraulic drive)

**Warranty:** 24 months standard warranty | Optional warranty extension of 12 months (36 months total) or 60 months (84 months total)

Dimensions

Genesis Shaftway Model - Fits inside a vertical runway built by others.

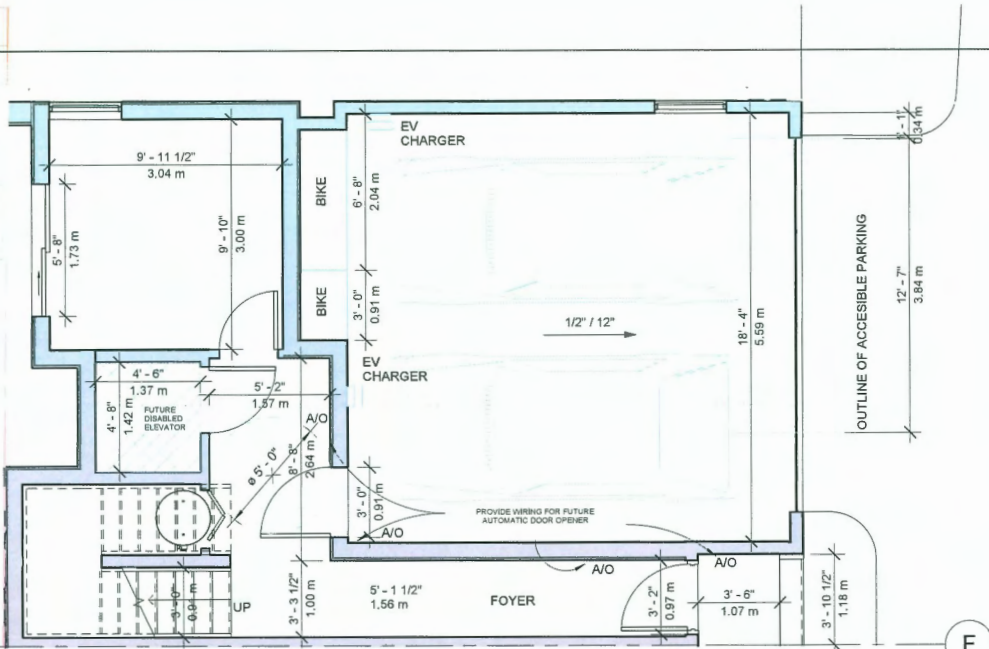


Shaftway Straight Through				
Platform Size	Shaftway Width	Shaftway Length	Platform Width	Platform Length
Compact	1317mm 51 7/8"	1295mm 51"	914mm 36"	1257mm 49 1/2"
Standard	1394mm 54 7/8"	1407mm 55 3/8"	992mm 39"	1370mm 53 7/8"
Mid-Size	1394mm 54 7/8"	1558mm 61 3/8"	992mm 39"	1520mm 59 7/8"
42 x 60	1469mm 57 7/8"	1562mm 61 1/2"	1067mm 42"	1524mm 60"
Large	1546mm 60 7/8"	1558mm 61 3/8"	1146mm 45"	1520mm 59 7/8"

**NOTE:**

Elevator pit depths range from 8" to 12" depending on car size, load capacity and car door/gate style.

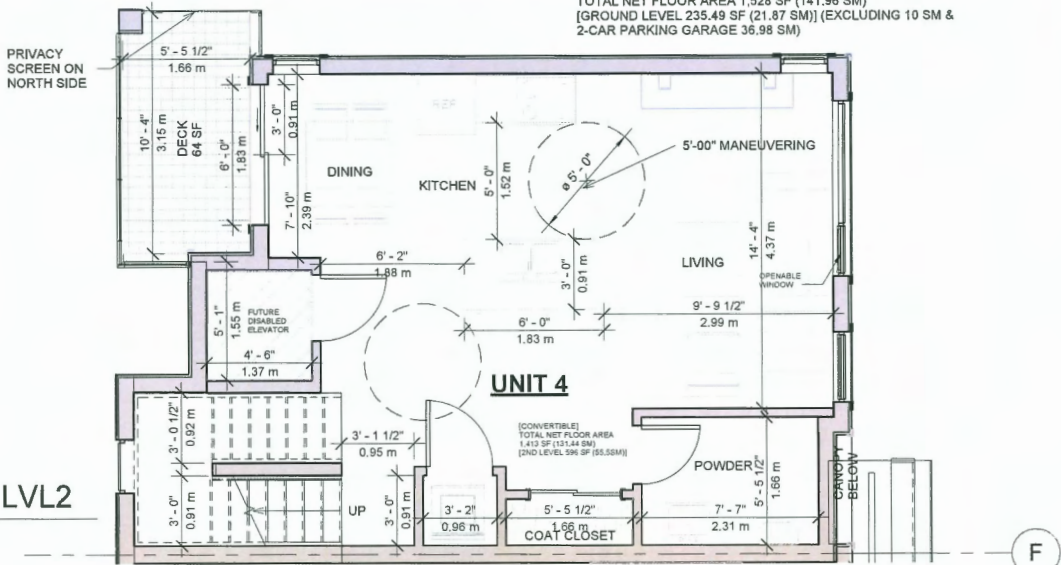
1 CONVERTABLE UNIT LVL1  
1/8" = 1'-0"



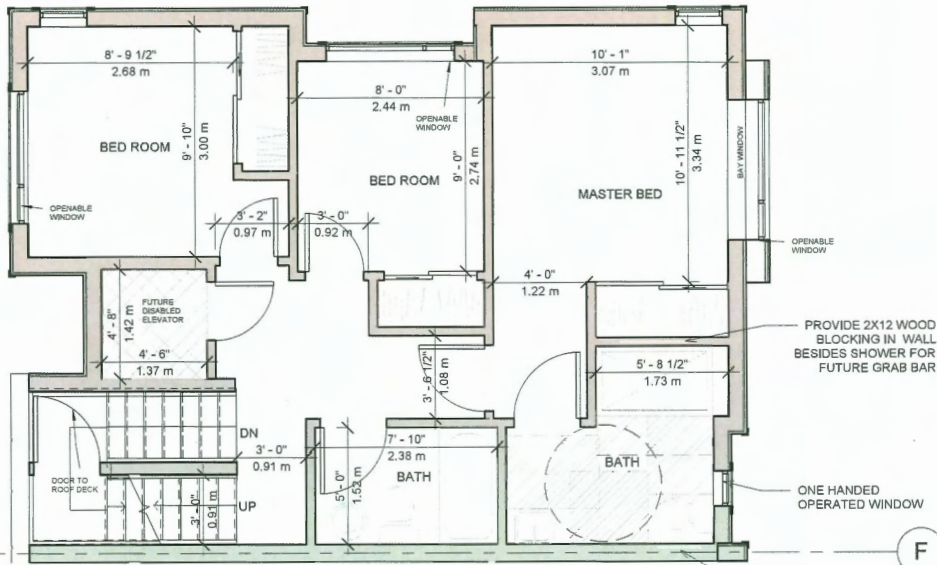
UNIT 4 - CONVERTIBLE

TOTAL NET FLOOR AREA 1,528 SF (141.96 SM)  
[GROUND LEVEL 235.49 SF (21.87 SM)] (EXCLUDING 10 SM & 2-CAR PARKING GARAGE 36.98 SM)

2 CONVERTABLE UNIT LVL2  
1/8" = 1'-0"

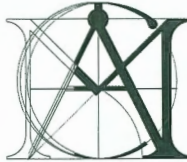


3 CONVERTABLE UNIT LVL3  
1/8" = 1'-0"



UNIT 4

TOTAL NET FLOOR AREA : 1,413 SF (131.44 SM)  
[3RD LEVEL 574 SF (53.35 SM) (EXCLUDING 7.39 SM STAIRCASE)]



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May. 16 2025

5 UNIT TOWNHOUSE  
DEVELOPMENT

7511 ST. ALBANS ROAD  
RICHMOND, BC

CONVERTABLE UNIT

Project number 17 R TH 01 7511 St Albans Rd.  
Date 2023-09-06  
Drawn by BK, FN  
Checked by MC

PLAN#1g

Scale 1/8" = 1'-0"