



City of  
Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** March 6, 2024

**From:** Wayne Craig  
Director, Development

**File:** DP 22-013081

**Re:** **Application by Formwerks Architecture for a Development Permit at 8740, 8760, 8780 and 8800 Spires Road**

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### Staff Recommendation

That a Development Permit be issued which would permit the construction of 36 townhouse units and three secondary suites at 8740, 8760, 8780 and 8800 Spires Road on a site zoned "Parking Structure Townhouses (RTP4)".

A handwritten signature in black ink, appearing to read "Wayne Craig".

Wayne Craig  
Director, Development  
(604-247-4625)

WC:el  
Att. 3

## Staff Report

### Origin

Formwerks Architecture, on the behalf of 1219002 BC Ltd. (Incorporation number: BC1219002; Directors: Kai-Shen (John) Hsiung and Yi-Jen (Claire) Wang), has applied to the City of Richmond for permission to develop 36 residential units and three secondary suites at 8740, 8760, 8780 and 8800 Spires Road and the surplus portion of the Spires Road, road allowance. The applicant has proposed to purchase the surplus road allowance and consolidate it into the development site. A total of 30 multi-level townhouse units and six ground-level flats fronting Spires Road and Cook Gate will be included in the development. The unit sizes range between 66.60 m<sup>2</sup> (718 ft<sup>2</sup>) and 177.53 m<sup>2</sup> (1,911 ft<sup>2</sup>), providing a mix of two to four-bedroom units. Three of the 30 multi-level townhouse units are proposed to contain a secondary suite (studio) fronting Spires Road. Parking will be provided within the parking structure at grade.

The site is being rezoned from “Single Detached (RS1/E)” zone to “Parking Structure Townhouses (RTP4)” zone for this project under Bylaw 10357 (RZ 19-870807), which received third reading at the Public Hearing on April 19, 2022. The site is currently vacant but previously contained four single-family dwellings.

### *Servicing Agreement*

Frontage improvements (including ditch infill and frontage beautification along the site frontages, road widening, City Centre standard new concrete sidewalk and landscaped boulevard, new fire hydrants, public walkways on-site, upgrades to the storm sewer and sanitary sewer, as well as service connections) were secured through the rezoning process and will be constructed through a separate Servicing Agreement (SA 22-011234). The Servicing Agreement must be entered into prior to final adoption of the rezoning bylaw.

### Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

Development surrounding the subject site is as follows:

To the North: Across Spires Road, single-family homes on lots zoned “Single Detached (RS1/E)” and a recently approved 22-unit high-density townhouse development (RZ 17-790301 & DP 19-875398) on a lot zoned “Parking Structure Townhouses (RTP4)”. This townhouse development at 8699 Spires Road is currently under construction.

To the South: A 12-unit townhouse development on a lot zoned “Low Density Townhouses (RTL1)” at 8551/8571 Cook Road and two vacant lots at 8591 and 8611 Cook Road.

To the East: Across Cook Gate, single-family homes on lots zoned “Single Detached (RS1/E)”.

To the West: A 64-unit high-density townhouse development on a lot zoned “Parking Structure Townhouses (RTP4)” at 8888 Spires Road.

## Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on April 19, 2022. At the Public Hearing, the following concerns about rezoning the property were expressed; the responses to the concerns are provided in *italics*.

1. Higher density and more affordable housing should be provided.

*The proposal complies with the City's policies in terms of density (i.e., maximum 1.2 FAR) and provision of affordable housing (i.e., cash contribution) at the time the proposal was presented to Council. The associated rezoning bylaw which establishes the maximum density permitted received third reading following the Public Hearing on April 19, 2022.*

2. Construction vehicles blocking traffic.

*A construction traffic management plan is required for each development at the Building Permit stage, and Community Bylaws will be enforcing construction parking in the area.*

## Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "Parking Structure Townhouses (RTP4)" zone.

## Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the project on Thursday, September 21, 2023. Due to the absence of a quorum, a formal Panel recommendation could not be considered however comments were provided. A copy of the relevant excerpt from the meeting notes is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

## Analysis

### *Conditions of Adjacency*

- The proposed form of development on the subject site is the same as those on the surrounding properties to the west and northeast, which are grade-oriented housing in the form of high-density townhouses (i.e., low-rise, street wall buildings with common parking structures concealed from public view by non-parking uses).
- Location and orientation of windows are carefully considered to minimize the opportunity of looking into nearby windows of existing adjacent developments and units proposed on site. The top floors of the townhouse units along the south property line are also terraced to minimize overlook into adjacent developments to the south.
- A 1.5 m wide Statutory-Right-of-Way (SRW) along the entire south property line for pedestrian circulation along the future back lane to the south of the site has been secured at the rezoning stage. The Developer is required to build a new 1.5 m wide concrete sidewalk across the entire south property line of the subject site.

The existing site grade along the south property line will be maintained to provide an appropriate transition to the adjacent developments to the south.

- To enhance pedestrian circulation within the Spires Road Neighbourhood, a 1.5 m wide SRW along the east side property line of the adjacent development to the west was secured for future pedestrian connection between Spires Road and the future back lane to the south. A similar 1.5 m wide SRW along the west property line of the subject site has also been secured at rezoning stage in order to widen the walkway SRW to 3.0 m. Interim sod lawn within the 1.5 m wide SRW on the adjacent property has been provided as part of the adjacent development to the west. As part of this development, the developers are required to remove the sod lawn and construct within the 3.0 m wide SRW a 1.5 m wide concrete walkway and a 0.75 m wide swale for drainage along both edges of the walkway. These arrangements have been secured through the rezoning process and the design and construction of the walkway will be included in the Servicing Agreement. The developers will be required to provide written notification to the neighbouring strata regarding the intent and timing for the walkway construction.
- Perimeter drainage will be required as part of the Building Permit to ensure stormwater is managed and addressed through the development and will not impact the neighbouring properties.

#### ***Urban Design and Site Planning***

- Five townhouse blocks are proposed and are positioned to enclose a parking structure at grade. The townhouse blocks are connected by the outdoor courtyard space on the podium, above the parking structure.
- Three pedestrian access routes to the podium (two sets of exterior stairs and one set of interior stairs at the main lobby) will be provided.
- An enclosed lobby is proposed along the Spires Road frontage to provide a secured space for the mailbox kiosk, access to the podium level (via a staircase or an elevator) and access to the enclosed parking area. Two pedestrian exits from the podium to street level (via exterior stairs) will also be provided at the east and west ends of the central courtyard on the podium.
- Vehicular access to the parking structure will be from Spires Road.
- The development will contain 36 units, including:
  - Four single-level Basic Universal Housing (BUH) units and two single-level garden units at grade with direct access to Spires Road or Cook Gate, and direct access to the parking structure. All of these units are two-bedroom units and are ranging from 66.7 m<sup>2</sup> (718 ft<sup>2</sup>) to 71.0 m<sup>2</sup> (764 ft<sup>2</sup>) in size.
  - Three four-storey units each with a secondary suite at grade. The secondary suites are designed to be studio units with unit sizes ranging from 29.4 m<sup>2</sup> (317 ft<sup>2</sup>) to 36.0 m<sup>2</sup> (388 ft<sup>2</sup>). The secondary suites will have a direct, street-level entry from Spires Gate. The principal units will have direct access from the podium.
  - 27 three-storey townhouse units with main unit entry located on the podium level.
- Indoor amenity spaces will be provided on the ground floor by the open space at the northeast corner of the site. The overall size of the proposed indoor amenity spaces complies with the OCP requirements (i.e., 70 m<sup>2</sup> of indoor amenity space for multiple family development projects with 20 – 39 units).

- The overall size of the proposed outdoor amenity spaces complies with the OCP requirements. The locations and sizes of the outdoor amenity spaces are appropriate for providing open landscape and amenity spaces convenient to all units.
- All ground-level flats and secondary suites will have a private outdoor space consisting of a front yard on the street level; all townhouse units will have a private outdoor space consisting of a patio on the podium level and a rooftop deck.
- While the configurations of some of the proposed yard/patio spaces at grade and/or on the podium level are slightly shallower than what is encouraged under the Development Permit Guidelines, the functionality of those yard spaces have not been compromised. Each of the proposed private outdoor spaces at grade includes a patio area that is large enough to accommodate a table with seating. A small garden of perennials, shrubs and trees are also provided for each single-level BUH units and garden flats at grade. Each of the proposed private outdoor spaces on the podium level is large enough to accommodate patio furniture for a family.
- While the introduction of Bill 47 by the Provincial Government restricts the requirement of most residential parking requirements in Transit Oriented Areas, applications which received first reading of their rezoning bylaw prior to January 1, 2024, are required to comply with the requirements in the City's current Zoning Bylaw 8500. This application received first reading before January 1<sup>st</sup>.
- 54 residential parking spaces are proposed, which exceeds the minimum bylaw requirement.
- The proposal will feature 18 parking spaces in a tandem arrangement. A restrictive covenant to prohibit the conversion of the tandem garage area into habitable space and to ensure that both parking spaces be assigned to the same dwelling unit where two parking spaces are provided in a tandem arrangement has been secured at rezoning.
- A total of five accessible residential parking stalls are to be provided on-site; four spaces will be assigned to the four BUH units proposed and one space will be designated for visitor parking.
- A total of eight visitor parking spaces (including one accessible parking stall) are to be provided throughout the site. The number of visitor parking spaces proposed is in compliance with the minimum bylaw requirement.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with the Zoning Bylaw requirements.
- The enclosed garbage room housing garbage, recycling and organics storage bins is proposed to be located within the parking structure, by the parkade entrance and adjacent to the loading area.

### ***Architectural Form and Character***

- The proposed development embodies the Tudor style architecture with varying façade treatment at key points, steep roof pitches, proportionate windows set symmetrically into traditional massing forms, projecting bays with prominent gables and architectural details such as brackets, knee braces, rafter tails, trims, fascia boards and external gutters.
- Façades have been delineated into base/body/top massing with bay window projections, gabled roof forms and detailed trim treatments to create variety in scale, depth and texture.

- The main project entry with its level approach, indoor waiting, seating and mail collection area provides identity for the development.
- Covered entry porches and front door expression, appropriately detailed and proportioned windows, along with trim elements, are provided along the street fronting building elevations to create a pedestrian-oriented and friendly streetscape.
- The proposed building materials are generally consistent with the OCP Guidelines. Materiality includes selective use of brick as a grounding element, horizontal siding in two profiles and two colours, monochromatic fibre-cement panels with robust detailing, divided black framed windows with body coloured trims and dark asphalt shingles.
- A dark charcoal grey colour scheme is proposed for the projecting gables' trims and panelled sections, providing a contemporary take on traditional Tudor detailing while contrasting with a lighter body colour.

### ***Tree Preservation***

- 22 bylaw-sized trees on the subject development site, two trees on neighbouring properties and eight street trees on City property were assessed at the rezoning stage.
  - A 37 cm caliper English walnut tree (specifically tag# 300), located on the development site along the Spires Road frontage is identified for retention.
  - 21 trees on-site are identified for removal due to poor condition.
  - An 80 cm caliper Douglas fir tree (specifically tag# N01) located on the neighbouring property to the south at 8611 Cook Road and a 40 cm caliper Norway spruce tree (specifically tag# N02) located on the property across the street at 8751 Spires Road, are identified to be retained and protected.
  - An 81 cm caliper Sawara cypress tree and an 80 cm caliper Sawara cypress tree (specifically tag# C03 & C04), located in the city's boulevard at the Cook Gate/Spires Road intersection, as well as an 8 cm caliper Japanese maple tree (specifically tag #C07) and an Eastern White cedar hedge (specifically tag #C08), located along the north side of Spires Road, are identified for retention.
  - Four City trees (specifically tag# C01, C02, C05, C06) located along Spires Road frontage of the site, are identified for removal due to their poor health and condition as well as conflict with the required frontage improvement works. A \$7,000.00 tree compensation has been secured at Rezoning stage.
  - There are also a few cedar hedgerows that run along and through the site which are not identified for retention.
- Based on the 2:1 tree replacement ratio goal stated in the OCP, 42 replacement trees are required. The applicant is proposing to plant 21 replacement trees on-site, including four conifer and 17 deciduous trees at grade.
  - Cash contribution to the City's Tree Compensation Fund in lieu of planting of the remaining replacement trees has been secured at Rezoning stage.

### ***Landscape Design and Open Space Design***

- A pedestrian-oriented streetscape along the road frontages is proposed with a defined edge with layered shrub planting, trees, low picket fence and slightly raised patios.

- The main entry to the building is marked by a large retained English walnut tree. A set of birdhouses mounted to poles is proposed at each corner of this feature landscaping area.
- The area in front of the main lobby will be treated with permeable paving. Permeable paving is also proposed at the vehicle entry of the site and decorative concrete paving will be used to delineate the loading area by the vehicle entry.
- At the podium level, all units are oriented around the landscaped courtyard with their own private yards. Low cast-in-place planters are proposed along the common walkways to establish an appealing and intimate residential character to encourage socialization and provide for casual surveillance of the common outdoor areas.
- There are two outdoor spaces proposed on the podium level:
  - A children's play area is proposed at the central area of the courtyard, on both sides of the east-west common walkway.
    - Play equipment has been chosen to fit into the play area and to provide different play opportunities (i.e., climbing, social, imagination, balance and motor skills) that can be used by different age groups and for multiple purposes.
    - Play area by the elevator lobby is designed to provide play opportunities using the inherent grade change at the elevator shaft above the pad-mounted transformer; features include half-sphere balance balls, embedded slide, steps and climbing holds.
    - Play area between Buildings 4 & 5 is designed for younger children; play equipment includes a play panel and a play house.
    - Three benches in the central play area are also provided for caregivers.
  - Another outdoor amenity space is proposed at the northeast corner of the courtyard. This space is designed as a social area for more passive activities. Features include an accessible picnic table and a barbeque.
- Wall-mounted, full cut-off light, lighting bollard, step lights and soffit lighting are proposed throughout the site.
- A high-efficiency, smart, on-site irrigation system is proposed to ensure continued maintenance of live landscaping.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$255,996.65 in association with the development.

### ***Crime Prevention Through Environmental Design***

- Each private area has been provided with a secure space clearly delineated through landscaping, distinct paving and gating.
- Each unit has direct surveillance of its exterior private space and over the semi-private areas on-site, from occupied rooms.
- Security lighting has been provided for all public areas around the perimeter and common areas within.
- The main entrance and parkade entrance are controlled by enter-phones that will allow residents to remotely control access as well as to observe the visitor.

### ***Sustainability***

- The project will be designed to meet Step Code 3 requirements of the BC Energy Step Code with a low-carbon energy system.
- The developer advised that the following features will be included in the building design:
  - An electric air source heat pump system for efficient heating and cooling. The condenser units for the garden units are to be located within the parkade, and the condenser units for the townhouse units are to be located on the roof decks.
  - Heat recovery ventilator units.
  - Programmable thermostats.
  - Individual electric hot water tanks.
  - Energy Star appliances.
  - Water efficient fixtures.
  - Efficient lighting fixtures.

### ***Accessible Housing***

- The proposed development includes four Basic Universal Housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw and are permitted a density exclusion of 1.86 m<sup>2</sup> (20 ft<sup>2</sup>) per unit.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell handrails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

### **Conclusions**

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Edwin Lee  
Planner 2  
(604-276-4121)

EL:js

- Att. 1: Development Application Data Sheet  
2: Excerpt from Advisory Design Panel Meeting Minutes (March 23, 2002)  
3: Development Permit Considerations





**DP 22-013081**

**Attachment 1**

Address: 8740, 8760, 8780, 8800 Spires Road, and the surplus portion of the Spires Road road allowance

Applicant: Formwerks Architecture Owner: 1219002 BC Ltd.

Planning Area(s): City Centre

Floor Area Gross: 4,353 m<sup>2</sup> / 46,858 ft<sup>2</sup> Floor Area Net: 3,911 m<sup>2</sup> / 42,103 ft<sup>2</sup>

	<b>Existing</b>	<b>Proposed</b>
<b>Site Area:</b>	3,430 m <sup>2</sup> (36,925 ft <sup>2</sup> )	3,260 m <sup>2</sup> (35,087 ft <sup>2</sup> )
<b>Land Uses:</b>	Single-Family Residential	Multiple-Family Residential
<b>OCP Designation:</b>	Low-Density Residential	No Change
<b>Area Plan Designation:</b>	City Centre Area Plan Amended July 18, 2022: Urban Centre T5 Sub-Area B.2: Mixed Use – Mid-Rise Residential & Limited Commercial	Under the provisions for instream applications: City Centre Area Plan: General Urban T4 Sub-Area B.1: Mixed Use – Low-Rise Residential & Limited Commercial
<b>Zoning:</b>	Single Detached (RS1/E)	Parking Structure Townhouses (RTP4)
<b>Number of Units:</b>	4	36 principal units + 3 secondary suites

	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Floor Area Ratio:	Max. 1.20	1.20	none permitted
Lot Coverage – Building:	Max. 50%	48.4%	none
Lot Coverage – Non-porous Surfaces:	Max. 80%	72.6%	none
Lot Coverage – Landscaping:	Min. 20%	20.1%	none
Setback – Front Yard - Cook Gate (m):	Min. 3.0 m	3.0 m	none
Setback – Exterior Side Yard – North – Spires Road (m):	Min. 3.0 m	3.0 m	none
Setback – Interior Side Yard - South (future lane) (m):	Min. 1.5 m	3.0 m	none
Setback – Rear - West (m):	Min. 1.5 m	1.5 m	none
Height (m):	Max. 15.0 m (4 storeys)	14.2 m	none

Lot Depth:	Min. 30.0 m	86.27 m	none
Lot Width:	40 m	37.89 m	
Site Area:	Min. 2,400 m <sup>2</sup>	3,260 m <sup>2</sup>	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.2 (R) and 0.2 (V) per unit	1.5 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	44 (R) and 8 (V)	54 (R) and 8 (V)	none
Accessible Parking Spaces:	Min. 2% when 11 or more spaces are required (44 x 2% = 1 spaces)	5	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.20 (Class 2) per unit	1.25 (Class 1) and 0.2 (Class 2) per unit	none
Off-street Parking Spaces – Total:	45 (Class 1) and 8 (Class 2)	45 (Class 1) and 8 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m <sup>2</sup> or Cash-in-lieu	70 m <sup>2</sup> (753 m <sup>2</sup> )	none

Excerpt from the Discussion Notes from  
**The Design Panel Meeting**

Thursday, September 21, 2023 – 4:00 p.m.  
Remote (WebEx Meeting)

3. **DP 22-013081 – 36-UNIT TOWNHOUSE DEVELOPMENT ON TOP AND SURROUNDING A PARKING STRUCTURE**

ARCHITECT: Formwerks Architectural

LANDSCAPE ARCHITECT: PMG Landscape Architects

PROPERTY LOCATION: 8740, 8760, 8780 & 8800 Spires Road

**Applicant's Presentation**

Architect Norman Huth, Formwerks Architectural, and Landscape Architect Caelan Griffiths, PMG Landscape Architects, presented the project and answered queries from the Panel.

**Panel Discussion**

*Comments from the Panel were as follows:*

- ensure adequate soil volume for trees proposed in front yards; also look at the height of the tree proposed in front of Unit #8 to ensure it will not block the window of Unit #8 on the second floor;

*The soil volumes in the front yards are appropriate for the species of trees proposed. The height of the specified tree at unit #8 is 10' maximum (Cercis canadensis 'Covey'). This places the top of the tree below the level of the second floor (being more than 12.6' above the ground level and more so given the eye-level height of a typical person).*

- consider using dark-coloured hardie panels for the ground floor of buildings and wrap around with brick material to make the building base appear heavier;

*The Hardie planks around the perimeter of the ground level have already been designated with a darker colour than the typical colour of the level above and the brick base has already been wrapped around all sides of the buildings except for the parkade walls to the south and west. But to provide an even greater sense of a base level, the ground floor canopy roofs have now been extended to be more continuous around the buildings.*

- consider providing adequate protection for the landscaped amenity area on the ground floor from the loading area;

*The protected and retained tree is separated from the loading zone by a 42” high wood picket fence. There is no predicted human access to the base of this retained tree for fear that this will negatively impact the tree’s ongoing health.*

- would be difficult for parents to supervise children playing in play areas located in two different locations on the podium level courtyard; consider extending the play area for three-year-old plus children beyond the elevator to provide more space for the play area and accommodate more children;

*The locations of the play equipment and the outdoor dining area have been switched. Thus, both child play areas have now been placed in proximity to each other near the centre of the terrace. Extending the area beyond the elevator would be difficult given the parameters of the project and the requirements of the adjacent areas.*

- review the location of the barbeque area on the podium level courtyard as it is adjacent to the windows of units on either side;

*The adjacent windows have been placed high on the wall to ensure visual privacy and they are insulated, mitigating sound intrusion. Furthermore, in response to another comment above, the barbeque area has been switched with the play area on the northeast corner which will further minimize any consequence of adjacency to certain hours of the day.*

- ensure wheelchair access for the main and ensuite bathrooms of the Basic Universal Housing (BUH) units on the ground level;

*The main bathroom of the BUH units has been designed in compliance with the City of Richmond’s regulations for Basic Universal Housing, specifically Section 4.16.2. According to the regulations, this applies to “at least one bathroom”, which in this case is the main bathroom.*

- the project is nicely done and appreciate the attention to detail; the massing of the building is broken down nicely resulting in the scale of the building being very friendly; appreciate the Tudor style building character;

*Noted.*

- the parkade entrance could have been better located in a less prominent location, not in the middle of the site;

*The space provided by the parkade entrance serves to break down the massing along Spires Road into two similarly scaled buildings. It also allows for space for an identifying feature, the “treehouse”, that ties in with the main pedestrian entrance. It is also important for security reasons to locate the parkade entry close to an area with greater surveillance.*

- use of permeable pavers at grade is appropriate; however, if the intention of using pavers on the courtyard level is for stormwater detention, using a more conventional drainage would be more appropriate as it would be less complicated and require less maintenance in the long term;

*The pavers on the courtyard level have been converted to standard slab pavers (to match the patios) per the ADP comment, as they do not need to be permeable. The Richmond bylaw indicates that a max of 75% of the site can be non-porous (including the building) and this can be changed to 80% depending on the DP conditions. As this is entirely on slab, and the drive aisle to the parking is permeable paving, the total non-porous area (excluding all planted areas and permeable paving on site) is 75% (25% site area = planted and permeable paving). Refer to Level 2 Landscape Plan, drawing L5 and to the City of Richmond Zoning Bylaw 8500 8.9.5.2 (Permitted Lot Coverage for Parking Structure Townhouses).*

- appreciate the Tudor building character and bird house;

*Noted.*

- ensure light levels for SRWs along the west and south property lines are adequate and in accordance with CPTED standards;

*According to the spacings shown on the plans (28-32 feet), the calculation is 0.64fc min. and 12fc max. Average is 3.5 fc (35 lux). Recommended average is 20 lux. This design is shown on the lighting plan. Refer to Exterior Lighting Strategy – Level 1, drawing A0.10 and Building 1, 3, 4 and 5 Elevations, drawings A2.02, A2.06, A2.08 and A2.10.*

- architectural expression and interest are well done; however, consider more continuity of base conditions throughout the development on the ground/pedestrian level;

*As noted above, the ground floor canopy roof has been carried around the building corners and extended across the sides (this was already the case for the Building 2 East elevation). This creates a continuous base-level feature linking the fronts and sides of each building.*

- massing of roof lines is a bit unclear in terms of design intention;

*The design intention has been to differentiate the top level as part of a tripartite scheme, bringing greater emphasis to the middle portion. The design of the top level (which is already differentiated by a smaller exposure width of plank siding than the rest of the wall) has now been further developed by providing it with a colour in-between that of the base and middle portions and by adding a wider, darker trim that visually separates it from the lower levels.*

- the hip roofs on level four perceptually adds height to the buildings; investigate opportunities to make the top floor more recessive; also consider design development of the roof lines to reduce the sense of height off the top of the buildings;

*Compared to gable roofs, hip roofs create a reduced sense of height, especially when viewed obliquely from street level. Further development of the top level as noted in the response to the comment above will also provide an impression of greater horizontality.*

- consider design development for the side elevations of buildings; look at the design and placement of windows;

*The side elevations of the buildings have now been broken up with extended ground floor roof canopies and with a greater differentiation of the top level with a different colour and a dividing trim line (see responses to comments above). However, further articulation of the fenestration on the sides remains limited by plan functionality, privacy considerations, spatial separation requirements and sustainable window/wall ratio concerns. But it is also a matter of setting the “secondary” fenestration more in the “background” so that the main features of the elevation – the projecting gabled bay window elements – are better highlighted. And it should be noted that the Tudor style was a “transitional” style with some elements of symmetry combined in parts with a functional asymmetry. Thus, a certain amount of irregularity of fenestration for the sake of interior requirements is perfectly in keeping with the style, and is indeed, expected.*

- support the choice of materials and colours in the proposed development, especially in the loading court;

*Using the same palette of materials certain aspects of the loading court area have been refined by: moving the pedestrian door to the centre of the side wall and framing it with lantern lighting; continuing the cap of the base brick around the space which breaks down the expanse of the brick wall; and introducing a Tudor-style brick pattern to the upper section of brick.*

- ensure coordination of landscaping and architecture in the amenity space on the ground level, e.g. patio doors appear to open out into planting and not into a paved area;

*The relevant drawings have been updated with the patio doors shown on the north side of the amenity room and windows on the east side facing the planting area. Please note that no hardscape is proposed within the tree protection zone, and the tree protection zone extends to the building face.*

- review entries of unit types that are compromised by the location of bike storage; in particular look at required clearances around the door;

*Noted – the configuration around the unit entry in question has been adjusted accordingly to conform with applicable guidelines.*

- support the Panel comment regarding challenges in parental supervision in having the children's play areas located in different locations on the podium level courtyard; consider relocating the harvest table closer to the corner and to the play area to facilitate parental supervision;

*We have switched the location of the play area and the outdoor dining area. See detailed response to similar comment above.*

- proposed colours for play equipment appear complementary to the architecture of the proposed development; and

*Noted.*

- should public art be installed in the project, the bird house could be potentially integrated with the public art.

*Noted.*

*The following comments were submitted by Panel member Chris Lee and were read into the record by Staff Liaison Virendra Kallianpur:*

- the submission is very well put together with lots of intricate details and a strong vision;

*Noted.*

- appreciate incorporating existing trees into the design to create pockets of green spaces enhancing the public realm on street level; and

*Noted.*

- the overall layout of outdoor amenities space on podium level is very well executed.

*Noted.*

The Chair noted that the comments of Panel members present as well as the written comments submitted by a Panel member expressed general support for the project.

*Due to the absence of a quorum, a Panel recommendation could not be considered.*



City of  
Richmond

## Development Permit Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 8740, 8760, 8780 & 8800 Spires Road

**File No.:** DP 22-013081

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. **(Zoning Amendment)** Final adoption of the Zoning Amendment Bylaw 10357.
2. **(Landscaping Security)** Receipt of a Letter of Credit for landscaping in the amount of \$255,966.65 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency). A legal agreement is required to accompany the Landscape Security to set the terms for its use and release.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.  
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.  
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed \_\_\_\_\_

Date \_\_\_\_\_





No. DP 22-013081

To the Holder: Formwerks Architecture  
Property Address: 8740, 8760, 8780, 8800 Spires Road  
Address: 1625 W 5th Avenue  
Vancouver, BC V6J 1N5

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1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #43 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$255,996.65 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 22-013081**

To the Holder: Formwerks Architecture  
Property Address: 8740, 8760, 8780, 8800 Spires Road  
Address: 1625 W 5th Avenue  
Vancouver, BC V6J 1N5

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7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

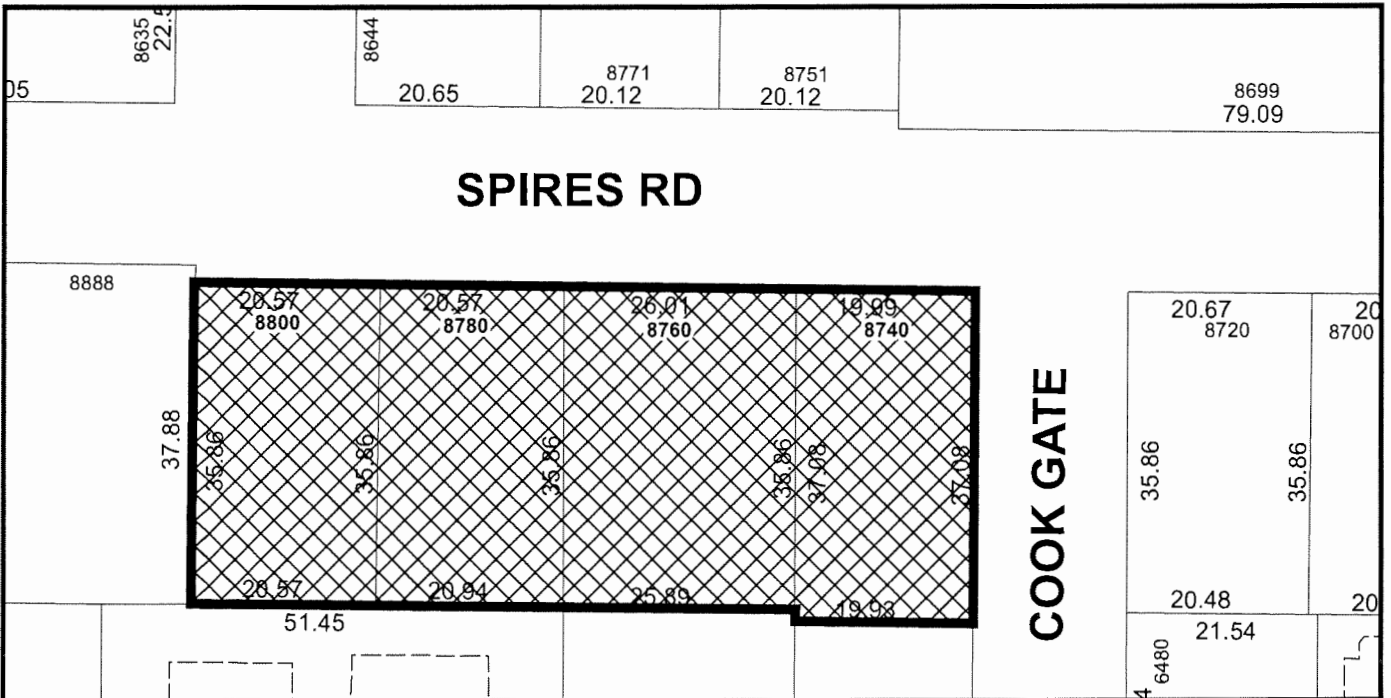
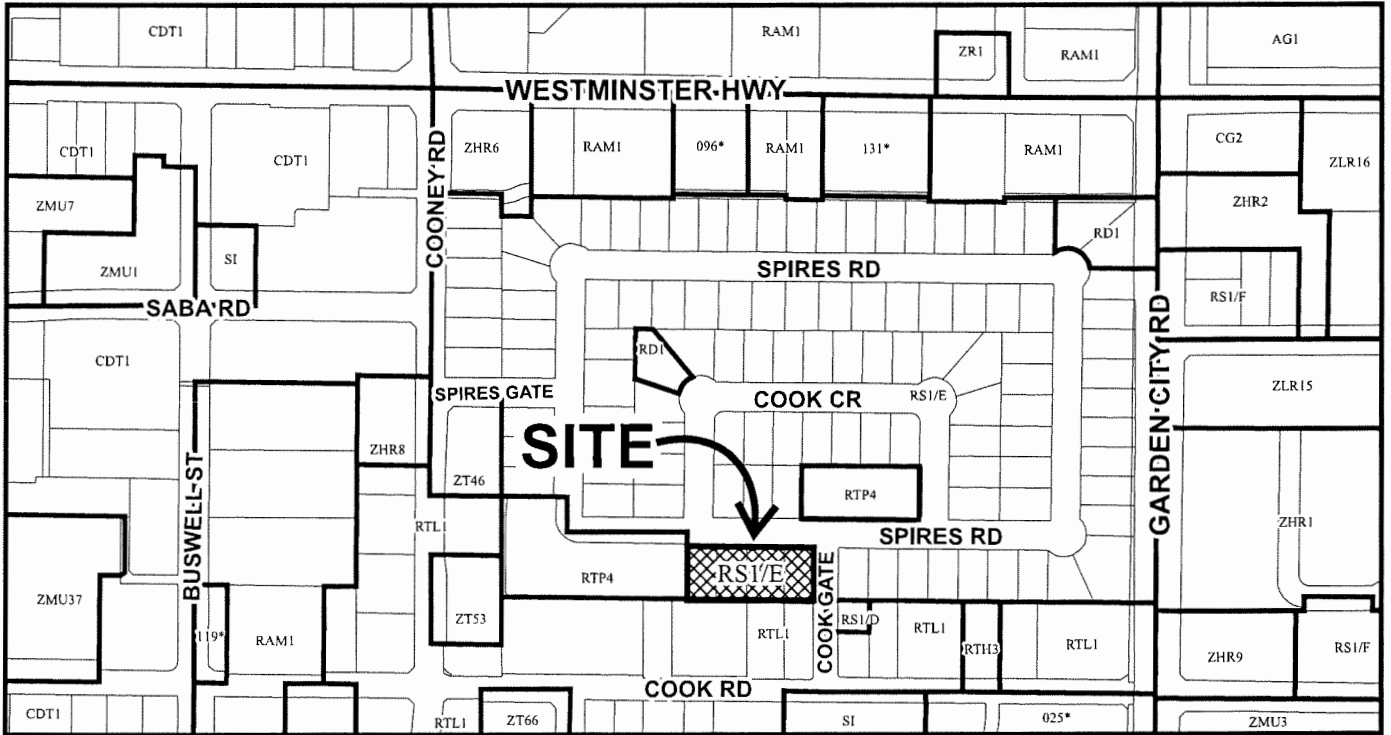
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE  
DAY OF , .

DELIVERED THIS DAY OF , .

\_\_\_\_\_  
MAYOR



# City of Richmond



DP 22-013081  
SCHEDULE "A"

Original Date: 05/20/22

Revision Date:

Note: Dimensions are in METRES



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REVISIONS

ISSUED FOR REZONING	JULY 31, 2019
RE-ISSUED FOR REZONING	JULY 15, 2020
RE-ISSUED FOR REZONING 2	MAR 8, 2021
RE-ISSUED FOR REZONING 3	MAR 31, 2021
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REVISED FOR REZONING 4	NOV 3, 2021
RE-ISSUED FOR REZONING 5	JAN 28, 2022
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RE-ISSUED FOR DP APPLICATION	FEB 28, 2024

TERA

FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5  
Fax 685-2076 Phone 683-5441

PROJECT

8800 SPIRES ROAD

8800 SPIRES ROAD  
RICHMOND, BC

DRAWING

COVER SHEET

SCALE

SHEET

NTS

DATE

FEBRUARY 28, 2024

A0.00



# 8800 SPIRES ROAD

## RICHMOND, BC

DEVELOPMENT PERMIT RE-SUBMISSION FEBRUARY 28, 2024

# DP 22-013081 March 6, 2024 PLAN #1

**PROJECT DATA**

**DEVELOPMENT DATA**

**CIVIC ADDRESS**  
8800 SPIRES ROAD  
RICHMOND, BC

**LEGAL DESCRIPTION**  
LOTS 60-63, SECTION 9 & 10  
BLOCK 4 NORTH, RANGE 6 WEST  
NEW WESTMINSTER DISTRICT, PLAN 21489

**LOT AREA**  
LOT AREA (Ha.) - 0.326 Ha  
LOT AREA (SF) - (35,087 SF)

**LOT COVERAGE**

BUILDINGS & STRUCTURES COVERAGE AREA	17,543 SF	16,948 SF
BUILDING & STRUCTURES COVERAGE RATIO (COR 8807 6.5.1)	50 % MAX.	48.4 %
NON-POROUS COVERAGE AREA	26,315 SF	25,480 SF
NON-POROUS COVERAGE RATIO (COR 8807 6.5.2)	75 % MAX.	72.6 %
LIVE PLANTING COVERAGE AREA	7,017 SF	7,041 SF
LIVE PLANTING COVERAGE RATIO (COR 8807 6.5.3)	20 % MIN.	20.1 %

**SETBACKS**

FRONT (SPIRES RD)	3.00 M	3.00 M
REAR (LANE/SOUTH PROPERTY LINE)	1.50 M	-
LEVEL 1 AT PARKADE	-	3.15 M
LEVEL 1 AT BUILDING 3 ABOVE LEVEL 1	-	3.05 M
SIDE #1 (COOK GATE)	3.00 M	3.00 M
SIDE #2 (WEST PROPERTY LINE)	1.50 M	1.50 M

**BUILDING HEIGHT**  
BUILDING HEIGHT - 15.00 M  
\*REFER TO ELEVATIONS

**NUMBER OF RESIDENTIAL UNITS**

TWO-BEDROOM UNITS	-	6
THREE-BEDROOM UNITS	-	23
THREE-BEDROOM UNITS W/ LOCK OFF	-	1
FOUR-BEDROOM UNITS	-	4
FOUR-BEDROOM UNITS W/ LOCK OFF	-	2
TOTAL NUMBER OF UNITS	-	36

**TOTAL BUILDING FLOOR AREA**

TOTAL GROSS FLOOR AREA	-	46,775.0 SF
WALL EXCLUSIONS	-	1,370.1 SF
STAIRS EXCLUSIONS	-	3,640.3 SF
HC UNITS EXCLUSIONS	-	80.0 SF
TOTAL EXCLUSIONS	-	5,110.4 SF
TOTAL NET FLOOR AREA	-	41,664.6 SF

**DENSITY**  
NO. OF UNITS PER HECTARE - 1.2  
FLOOR SPACE RATIO (FSR) - 1.2

**VEHICULAR PARKING**

TOTAL SPACES (EXCL. LOADING)	52 MIN.	62
STANDARD SIZE (50% MIN. OF PROVIDED = 62 @ 50% = 31) (COR 8807 7.13.6, 7.13.7)	31 MIN.	44
SMALL CAR (42-31 MIN. STANDARD - 2 MIN. ACCESSIBLE = 29) (COR 8807 7.14.6, 7.14.7)	29 MAX.	13
ACCESSIBLE (2% MIN. OF REQUIRED = 52 @ 2% = 1.02 ROUNDED UP) (COR 8807 7.14.6, 7.14.7)	2 MIN.	5

**RESIDENT SPACES (1.2 STALLS / UNIT MIN. @ 36 UNITS = 43.2 ROUNDED UP) (COR 8807 7.13.1)**

TANDEM (54 PROVIDED - 36 UNITS = 18 AVAIL. AS 2ND STALLS) (COR 8807 7.14.1)	18 MAX.	18
---	---------	----

**EV CHARGING (100% MIN. OF RES. PROVIDED = 54 @ 100% = 54) (COR 8807 7.15.1)**

STANDARD SIZE	41
SMALL CAR	9
ACCESSIBLE	4

**VISITOR SPACES (0.2 STALLS / UNIT MIN. @ 36 UNITS = 7.2 ROUNDED UP) (COR 8807 7.13.1)**

STANDARD SIZE	3
SMALL CAR	4
ACCESSIBLE	1

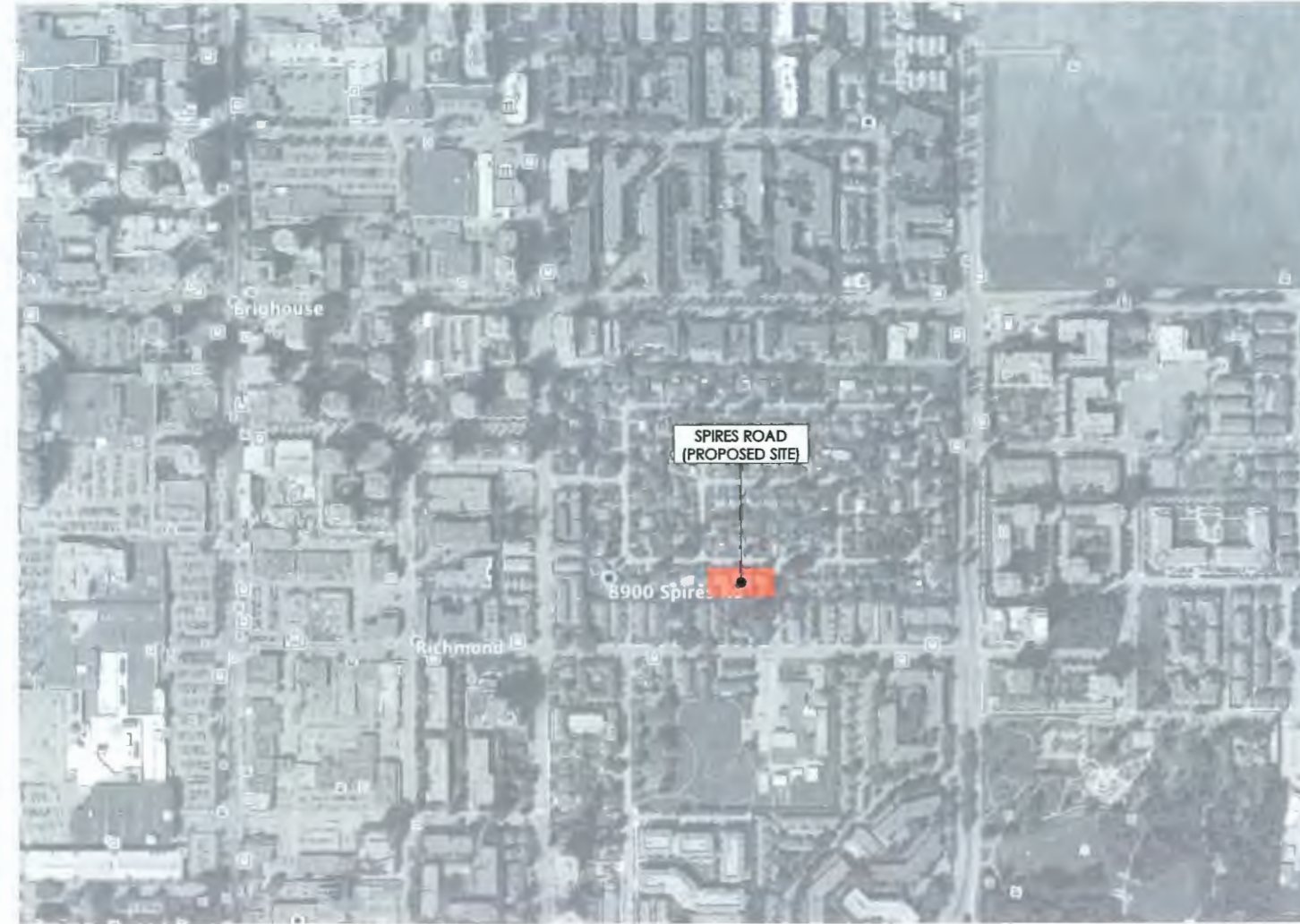
**LOADING SPACES (11-80 UNITS = 1 MED. @ 36 UNITS = 1 MED.) (COR 8807 7.13.4)**

STANDARD SIZE	1 (MEDIUM)	1 (MEDIUM)
---------------	------------	------------

**BICYCLE STORAGE**

CLASS 1 (1.25/UNIT MIN. @ 36 UNITS = 45) (COR 8807 14.9.1)	45 MIN.	45
HORIZONTAL	30 MIN.	30
VERTICAL (33% MAX. OF PROVIDED = 45 @ 33% = 14.85 ROUNDED UP) (COR 8807 14.9.2)	15 MAX.	15
CLASS 2 (0.2/UNIT MIN. @ 36 UNITS = 7.2 ROUNDED UP) (COR 8807 14.9.1)	8 MIN.	8

**CONTEXT PLAN**



**DRAWING LIST**

COVER SHEET	A0.00
DESIGN RATIONALE & PRECEDENT PHOTOS	A0.01
CONTEXT ANALYSIS	A0.02
CONTEXT PLAN	A0.03
CONTEXT PHOTOS	A0.04
EXISTING STREETSCAPES	A0.05
SHADOW ANALYSIS	A0.06
PERSPECTIVES	A0.07
ACCESSIBILITY STRATEGY LEVEL 1	A0.08
ACCESSIBILITY STRATEGY LEVEL 2	A0.09
EXTERIOR LIGHTING STRATEGY LEVEL 1	A0.10
EXTERIOR LIGHTING STRATEGY LEVEL 2	A0.11
SUSTAINABILITY STRATEGY	A0.12
DATA SHEET	A1.01
SITE PLAN LEVEL 1	A1.02
SITE PLAN LEVEL 2	A1.03
SITE AREA PLAN	A1.04
LEVEL 1 PLAN	A1.05
LEVEL 2 PLAN	A1.06
LEVEL 3 PLAN	A1.07
LEVEL 4 PLAN	A1.08
ROOF PLAN	A1.09
PRE ACCESS PLAN LEVEL 1	A1.10
PRE ACCESS PLAN LEVEL 2	A1.11
SITE SECTIONS	A1.12
SITE SECTIONS	A1.13
SITE SECTIONS	A1.14
STREETSCAPES	A1.15
STREETSCAPES	A1.16
BUILDING 1 PLANS	A2.01
BUILDING 1 ELEVATIONS	A2.02
BUILDING 2 PLANS	A2.03
BUILDING 2 ELEVATIONS	A2.04
BUILDING 3 PLANS	A2.05
BUILDING 3 ELEVATIONS	A2.06
BUILDING 4 PLANS	A2.07
BUILDING 4 ELEVATIONS	A2.08
BUILDING 5 PLANS	A2.09
BUILDING 5 ELEVATIONS	A2.10
COLOUR SCHEME BUILDINGS 1&3	A2.11
COLOUR SCHEME BUILDING 2	A2.12
COLOUR SCHEME BUILDINGS 4&5	A2.13
UNIT TYPES A1 AND A1E PLANS	A3.01
UNIT TYPES A2-A2C PLANS	A3.02
UNIT TYPE B1 PLANS	A3.03
UNIT TYPE B1E PLANS	A3.04
UNIT TYPE B2 PLANS	A3.05
UNIT TYPE B3 PLANS	A3.06
UNIT TYPE B4 PLANS	A3.07
UNIT TYPE B4E PLANS	A3.08
UNIT TYPE B5 PLANS	A3.09
UNIT TYPE B6 PLANS	A3.10
UNIT TYPE B6A PLANS	A3.11
UNIT TYPE B7 PLANS	A3.12
OUTDOOR AREA OVERLAY L1	O0.01
OUTDOOR AREA OVERLAY L2	O0.02
OUTDOOR AREA OVERLAY L4	O0.03
FAR OVERLAY BUILDING 1	O0.04
FAR OVERLAY BUILDING 2	O0.05
FAR OVERLAY BUILDING 3	O0.06
FAR OVERLAY BUILDING 4	O0.07
FAR OVERLAY BUILDING 5	O0.08
LOT COVERAGE BUILDING & STRUCTURES OVERLAY	O0.09
LOT COVERAGE POROUS / NON-POROUS OVERLAY	O0.10

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RE-ISSUED FOR DP APPLICATION	FEB 28, 2024

**UNIT AREA CALCULATIONS**

UNIT TYPE	# OF UNITS	GROSS AREA
B1 (3 BED+DEN/2 BATH)	10	1329 SQ.FT.
B1E (3 BED+DEN/2 BATH)	3	1345 SQ.FT.
B2 (4 BED/3 BATH)	1	1379 SQ.FT.
B3 (4 BED/3 BATH/LO)	1	1935 SQ.FT.
B4 (3 BED+DEN/2 BATH)	6	1327 SQ.FT.
B4E (3 BED+DEN/3 BATH/LO)	2	1738 SQ.FT.
B5 (4 BED/3 BATH)	1	1535 SQ.FT.
B6A (4 BED/2 BATH)	1	1459 SQ.FT.
B6 (4 BED/2 BATH)	1	1476 SQ.FT.
B7 (3 BED+DEN/2 BATH)	4	1282 SQ.FT.
A1 (2 BED/2 BATH/BUH)	1	764 SQ.FT.
A1E (2 BED/2 BATH/BUH)	1	757 SQ.FT.
A2 (2 BED/2 BATH)	2	718 SQ.FT.
A2C (2 BED/2 BATH/BUH)	2	718 SQ.FT.
<b>TOTAL</b>	<b>36</b>	

**BUILDING FLOOR AREA CALCULATIONS**

	LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	LEVEL 4 SQ FT	TOTAL		LEVEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	LEVEL 4 SQ FT	TOTAL
<b>BUILDING 1</b>						<b>BUILDING 4</b>					
GROSS	2,163.3 SF	3,008.2 SF	3,219.7 SF	1,816.8 SF	10,208.0 SF	GROSS	0.0 SF	3,497.9 SF	3,755.4 SF	2,121.3 SF	9,375.6 SF
EXCLUSIONS WALL	45.1 SF	84.1 SF	90.5 SF	70.4 SF	290.1 SF	EXCLUSIONS WALL	0.0 SF	94.3 SF	100.3 SF	94.3 SF	288.9 SF
EXCLUSIONS STAIRS	0.0 SF	321.6 SF	241.8 SF	226.8 SF	790.2 SF	EXCLUSIONS STAIRS	0.0 SF	269.5 SF	233.8 SF	214.2 SF	717.5 SF
EXCLUSIONS BUH UNIT	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	EXCLUSIONS BUH UNIT	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	2,118.2 SF	2,802.5 SF	2,887.4 SF	1,519.6 SF	9,127.7 SF	NET	0.0 SF	3,134.2 SF	3,421.3 SF	1,819.0 SF	8,374.5 SF
<b>BUILDING 2</b>						<b>BUILDING 5</b>					
GROSS	1,650.8 SF	2,272.8 SF	2,291.1 SF	1,317.4 SF	7,532.1 SF	GROSS	0.0 SF	3,497.9 SF	3,755.4 SF	2,121.3 SF	9,375.6 SF
EXCLUSIONS WALL	28.6 SF	42.1 SF	71.7 SF	57.6 SF	200.0 SF	EXCLUSIONS WALL	0.0 SF	94.3 SF	100.3 SF	94.3 SF	288.9 SF
EXCLUSIONS STAIRS	0.0 SF	364.1 SF	142.2 SF	136.4 SF	642.7 SF	EXCLUSIONS STAIRS	0.0 SF	269.5 SF	233.8 SF	214.2 SF	717.5 SF
EXCLUSIONS BUH UNIT	20.0 SF	0.0 SF	0.0 SF	0.0 SF	20.0 SF	EXCLUSIONS BUH UNIT	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF
NET	1,602.2 SF	1,866.6 SF	2,077.2 SF	1,123.4 SF	6,669.4 SF	NET	0.0 SF	3,134.2 SF	3,421.3 SF	1,819.0 SF	8,374.5 SF
<b>BUILDING 3</b>						<b>TOTAL:</b>					
GROSS	2,238.7 SF	2,985.5 SF	3,198.4 SF	1,880.1 SF	10,302.7 SF	TOTAL GROSS					46,775.0 SF
EXCLUSIONS WALL	46.1 SF	84.7 SF	92.6 SF	72.6 SF	296.0 SF	TOTAL EXCLUSIONS					5,110.4 SF
EXCLUSIONS STAIRS	0.0 SF	323.8 SF	241.8 SF	226.8 SF	792.4 SF	TOTAL NET					41,664.6 SF
EXCLUSIONS BUH UNIT	40.0 SF	0.0 SF	0.0 SF	0.0 SF	40.0 SF	TOTAL SITE AREA					35,087.0 SF
NET	2,132.6 SF	2,577.3 SF	2,864.0 SF	1,807.5 SF	9,154.7 SF	TOTAL FAR					1.2

**OUTDOOR AREA CALCULATIONS**

**OUTDOOR AREA CALCULATION SUMMARY**

NUMBER OF UNITS PROPOSED	36	REQUIRED	PROPOSED			
			LEVEL 1	LEVEL 2	LEVEL 4	TOTAL
SITE AREA	3260 m²					
REQUIRED OUTDOOR AMENITY (6 m²/UNIT) (COR OCP 14.4.5.D)		2,325 SF (216 m²)	586.1 SF	435.6 SF		2,440.9 SF (226.8 m²)
CHILD'S PLAY AREA (3 m²/UNIT) (COR OCP 14.4.5.D)		1,163 SF (108 m²)		1,013.1 SF		1,419.2 SF (131.8 m²)
ADDITIONAL OUTDOOR AMENITY (10% SITE AREA) (COR City Centre Area Plan 3.1.8.B)		3,509 SF (326 m²)	834.5 SF	1,597.6 SF		3,674.2 SF (341.3 m²)
PRIVATE OPEN SPACE (37 m²/UNIT) (R City Centre Area Plan 3.1.8.B)		14,338 SF (1,332 m²)	2,385.0 SF	6,415.8 SF	6,466.4 SF	15,267.2 SF (1,418.3 m²)
<b>TOTAL OUTDOOR AREA</b>		20,195 SF (1,874 m²)	3,805.6 SF	10,228.6 SF	6,466.4 SF	20,500.6 SF (1,886.4 m²)

**DRAWING**

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
RICHMOND, BC

**DATA SHEET**

SCALE	SHEET
	N.T.S.
DATE	A1.01
FEBRUARY 28, 2024	

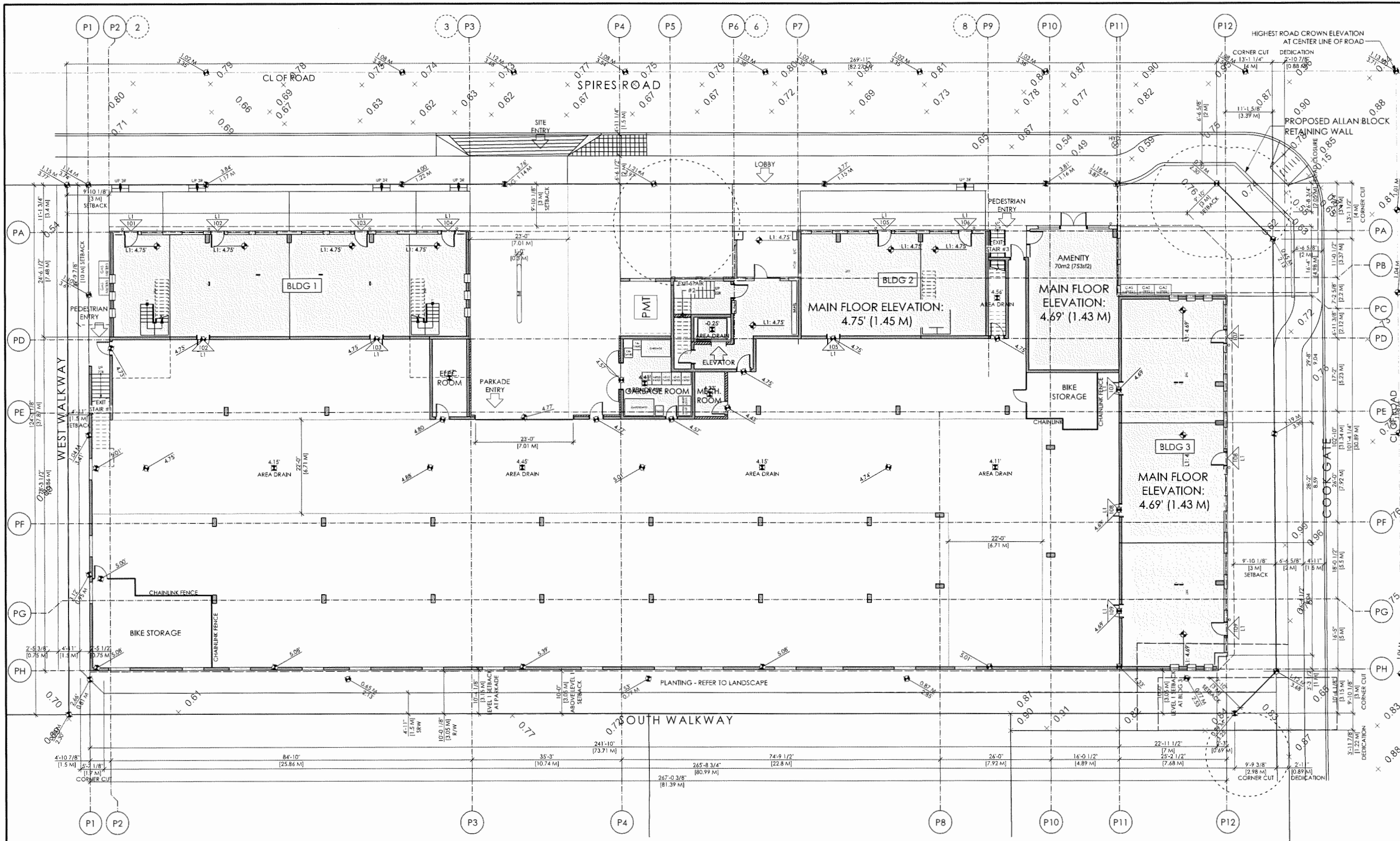
**DP 22-013081 March 6, 2024 PLAN #2**

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**FORMWERKS ARCHITECTURAL**

1625 West 5th Ave., Vancouver, BC V6J 1N5  
 Fax: 685-2076 Phone: 683-5441

PROJECT  
**8800 SPIRES ROAD**  
 8800 SPIRES ROAD  
 RICHMOND, BC

DRAWING  
**SITE PLAN LEVEL 1**

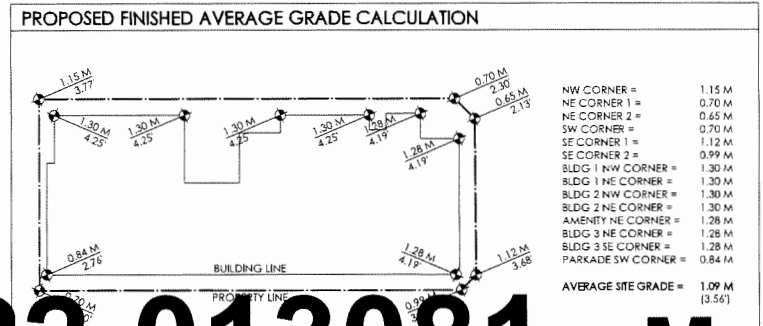
SCALE  
 3/32" = 1'-0"

SHEET  
**A1.02**

DATE  
 FEBRUARY 28, 2024

LEGEND

◆ E.G. 100.00 M	EXISTING SPOT ELEVATION
◆ P.G. 100.00 M	PROPOSED SPOT ELEVATION
100.0 M TOW	TOP OF WALL ELEVATION
100.0 M BOW	BOTTOM OF WALL ELEVATION
□	COVERED PARKING AREA
□	UNIT AREA
△	UNIT ENTRY
○	TREE DRIP LINE
○	PROTECTION ZONE



GENERAL NOTES

1. BASIC UNIVERSAL HOUSING (BUH) UNITS ARE DESIGNED IN ACCORDANCE WITH SECTION 4.16 OF THE RICHMOND ZONING BYLAW 8500.

**DP 22-013081 March 6, 2024 PLAN #3**

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RE-ISSUED FOR REZONING 2	MAR 6 2021
RE-ISSUED FOR REZONING 3	MAR 31 2021
RE-ISSUED FOR REZONING 4	SEP 24 2021
REVISED FOR REZONING 4	OCT 25 2021
REVISED FOR REZONING 4	NOV 3 2021
RE-ISSUED FOR REZONING 5	JAN 28 2022
REVISED FOR REZONING 5	FEB 4 2022
REVISED FOR REZONING 5	FEB 7 2022
ISSUED FOR DP APPLICATION	APR 19 2022
RE-ISSUED FOR DP APPLICATION	FEB 27 2023
RE-ISSUED FOR DP APPLICATION	AUG 11 2023
ISSUED FOR ADP	SEP 1 2023
ISSUED FOR 8P	SEP 15 2023
RE-ISSUED FOR DP APPLICATION	NOV 17 2023
ISSUED FOR TENDER	JAN 31 2024
RE-ISSUED FOR DP APPLICATION	FEB 8 2024
RE-ISSUED FOR DP APPLICATION	FEB 28 2024



**FORMWERKS ARCHITECTURAL**

1625 West 5th Ave., Vancouver, BC V6J 1H5  
 Fax: 685-2076 Phone: 683-5441

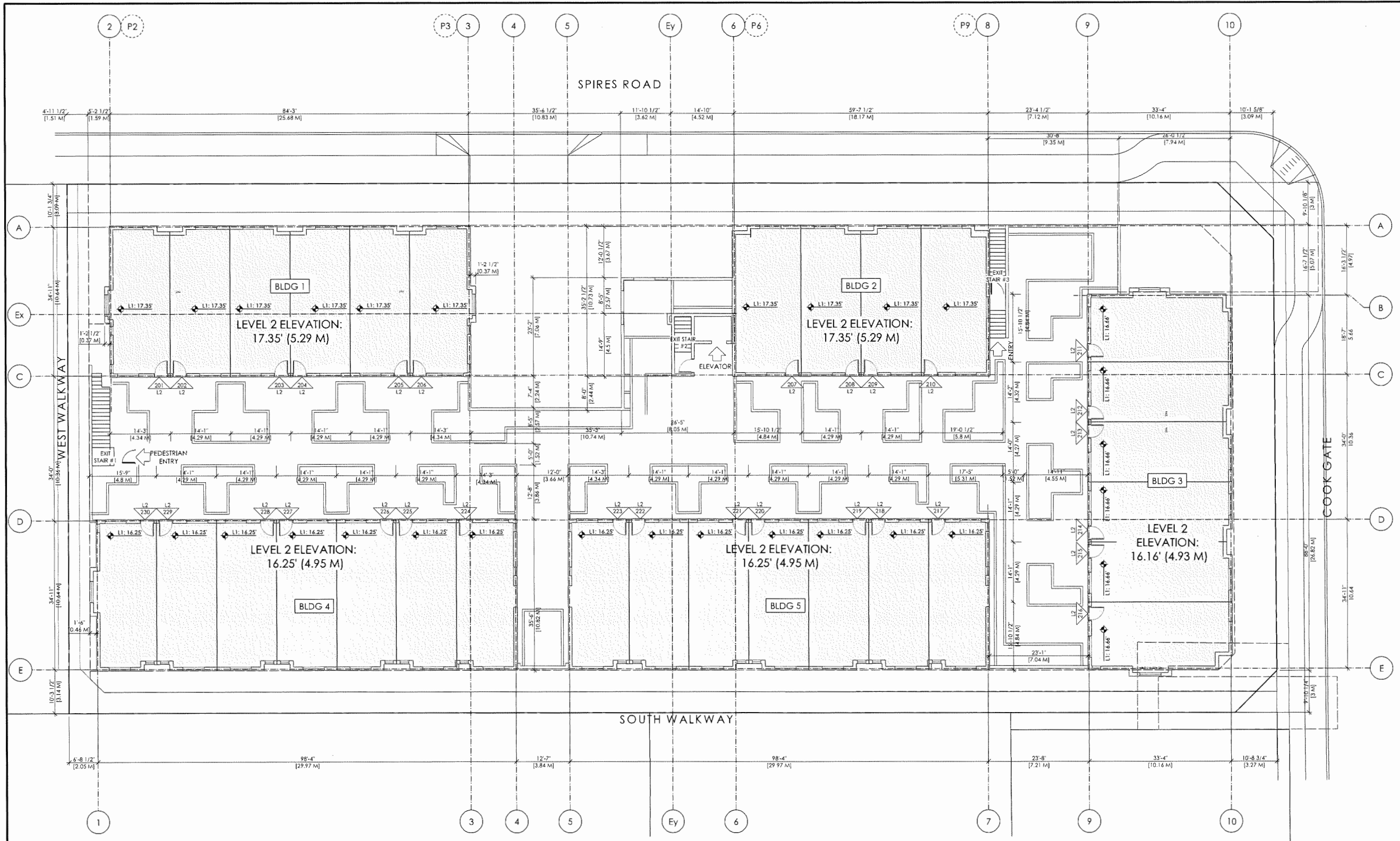
PROJECT  
**8800 SPIRES ROAD**  
 8800 SPIRES ROAD  
 RICHMOND, BC

DRAWING  
**SITE PLAN LEVEL 2**

SCALE  
 3/32" = 1'-0"

SHEET  
**A1.03**

DATE  
 FEBRUARY 28, 2024



LEGEND

	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	COVERED PARKING AREA
	UNIT AREA
	UNIT ENTRY
	TREE DRIP LINE

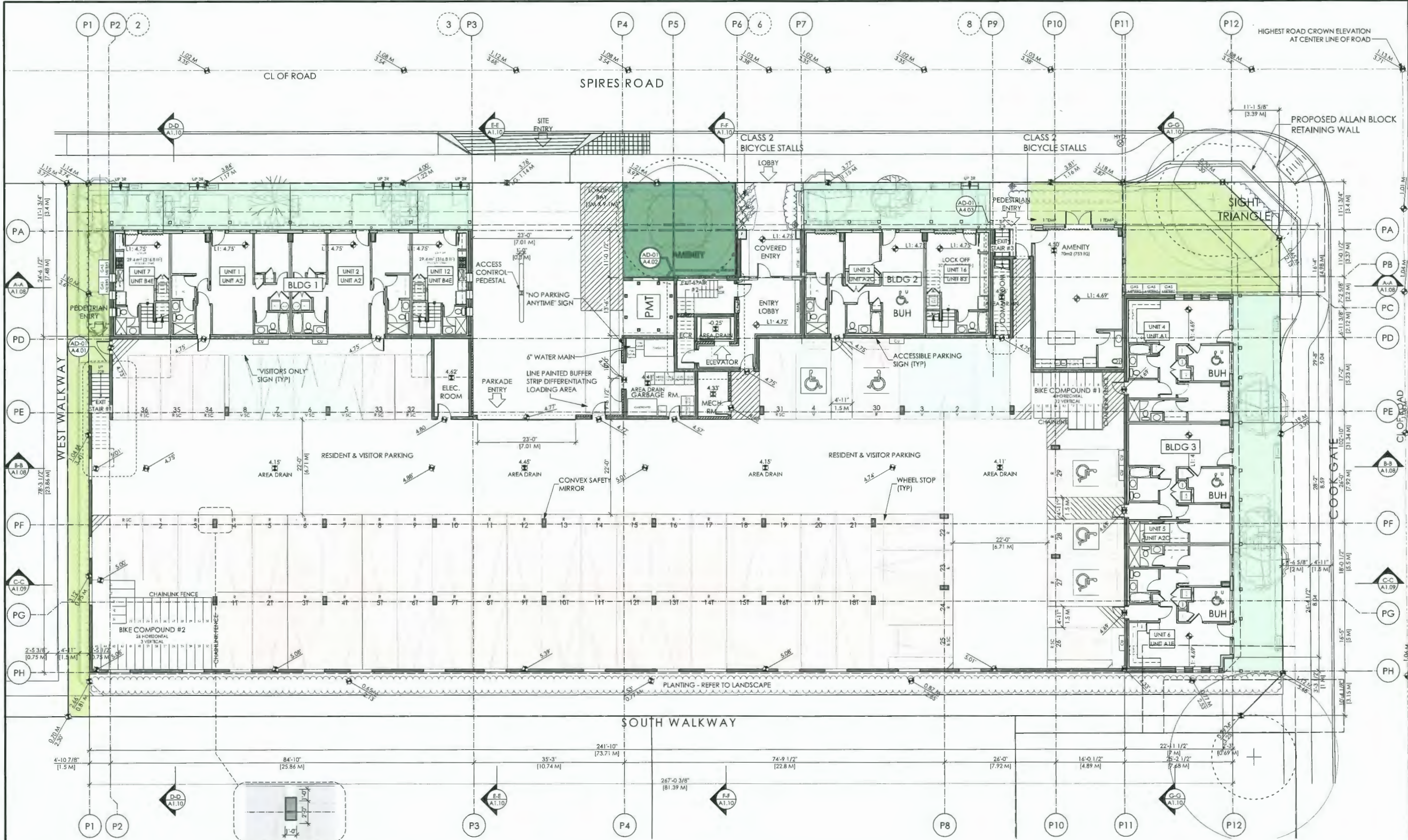
**DP 22-013081 March 6, 2024 PLAN #4**



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**REVISIONS**

ISSUED FOR REZONING	JULY 31, 2019
RE-ISSUED FOR REZONING	JULY 15, 2020
RE-ISSUED FOR REZONING 2	MAR 8, 2021
RE-ISSUED FOR REZONING 3	MAR 31, 2021
RE-ISSUED FOR REZONING 4	SEP 24, 2021
RE-ISSUED FOR REZONING 5	OCT 25, 2021
RE-ISSUED FOR REZONING 6	NOV 3, 2021
RE-ISSUED FOR REZONING 7	JAN 28, 2022
RE-ISSUED FOR REZONING 8	FEB 4, 2022
RE-ISSUED FOR REZONING 9	FEB 7, 2022
ISSUED FOR DP APPLICATION	APR 19, 2022
RE-ISSUED FOR DP APPLICATION	FEB 27, 2023
RE-ISSUED FOR DP APPLICATION	AUG 11, 2023
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ISSUED FOR TENDER	JAN 31, 2024
RE-ISSUED FOR DP APPLICATION	FEB 8, 2024
RE-ISSUED FOR DP APPLICATION	FEB 28, 2024



**FORMWERKS ARCHITECTURAL**

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 Fax: 685-2076 Phone: 683-5441

**PROJECT**  
**8800 SPIRES ROAD**  
 8800 SPIRES ROAD  
 RICHMOND, BC

**DRAWING**  
**LEVEL 1 PLAN**

**SCALE**  
 3/32" = 1'-0"

**SHEET**  
**A1.05**

**DATE**  
 FEBRUARY 28, 2024

**LEGEND**

	CONVERTIBLE/UNIVERSAL UNIT		TRUCK REAR/SIDE LOADING BUFFER
	UNIT ENTRY		ROLL-OVER CURB
	EXISTING SPOT ELEVATION E.G. 328.08' 100.00 M		CONCRETE OR ASPHALT SURFACE
	PROPOSED GRADE ELEVATION P.G. 328.08'		CONDENSING UNITS
	INTERPOLATED SPOT ELEVATION I.G. 328.08' 100.00 M		
	WALL MOUNTED DOWNLIGHT		
	PRIVATE OUTDOOR AREA		
	AMENITY OUTDOOR AREA		

**PARKING LEGEND**

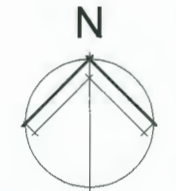
	STANDARD PARKING (RESIDENT)		STANDARD ACCESSIBLE PARKING w/ 1.5 M SHARABLE AISLE (RESIDENT)
	STANDARD PARKING (RESIDENT)		VAN ACCESSIBLE PARKING w/ 1.5 M SHARABLE AISLE (RESIDENT)
	SMALL CAR PARKING (RESIDENT)		STANDARD ACCESSIBLE PARKING w/ 1.5 M SHARABLE AISLE (VISITOR)
	SMALL CAR PARKING (RESIDENT)		CLASS 1 BICYCLE STORAGE (HORIZONTAL)
	STANDARD PARKING (VISITOR)		CLASS 1 BICYCLE STORAGE (VERTICAL)

NOTE: R = RESIDENT PARKING V = VISITOR PARKING

**GENERAL NOTES**

1. BASIC UNIVERSAL HOUSING (BUH) UNITS ARE DESIGNED IN ACCORDANCE WITH SECTION 4.16 OF THE RICHMOND ZONING BYLAW 8500.

**DP 22-013081 March 6, 2024 PLAN #5**



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RE-ISSUED FOR REZONING 3	MAR 31, 2021
RE-ISSUED FOR REZONING 4	SEP 24, 2021
REVISED FOR REZONING 4	OCT 25, 2021
REVISED FOR REZONING 4	NOV 3, 2021
RE-ISSUED FOR REZONING 5	JAN 28, 2022
REVISED FOR REZONING 5	FEB 4, 2022
REVISED FOR REZONING 5	FEB 7, 2022
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ISSUED FOR BP	SEP 15, 2023
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ISSUED FOR TENDER	JAN 31, 2024
RE-ISSUED FOR DP APPLICATION	FEB 8, 2024
RE-ISSUED FOR DP APPLICATION	FEB 28, 2024



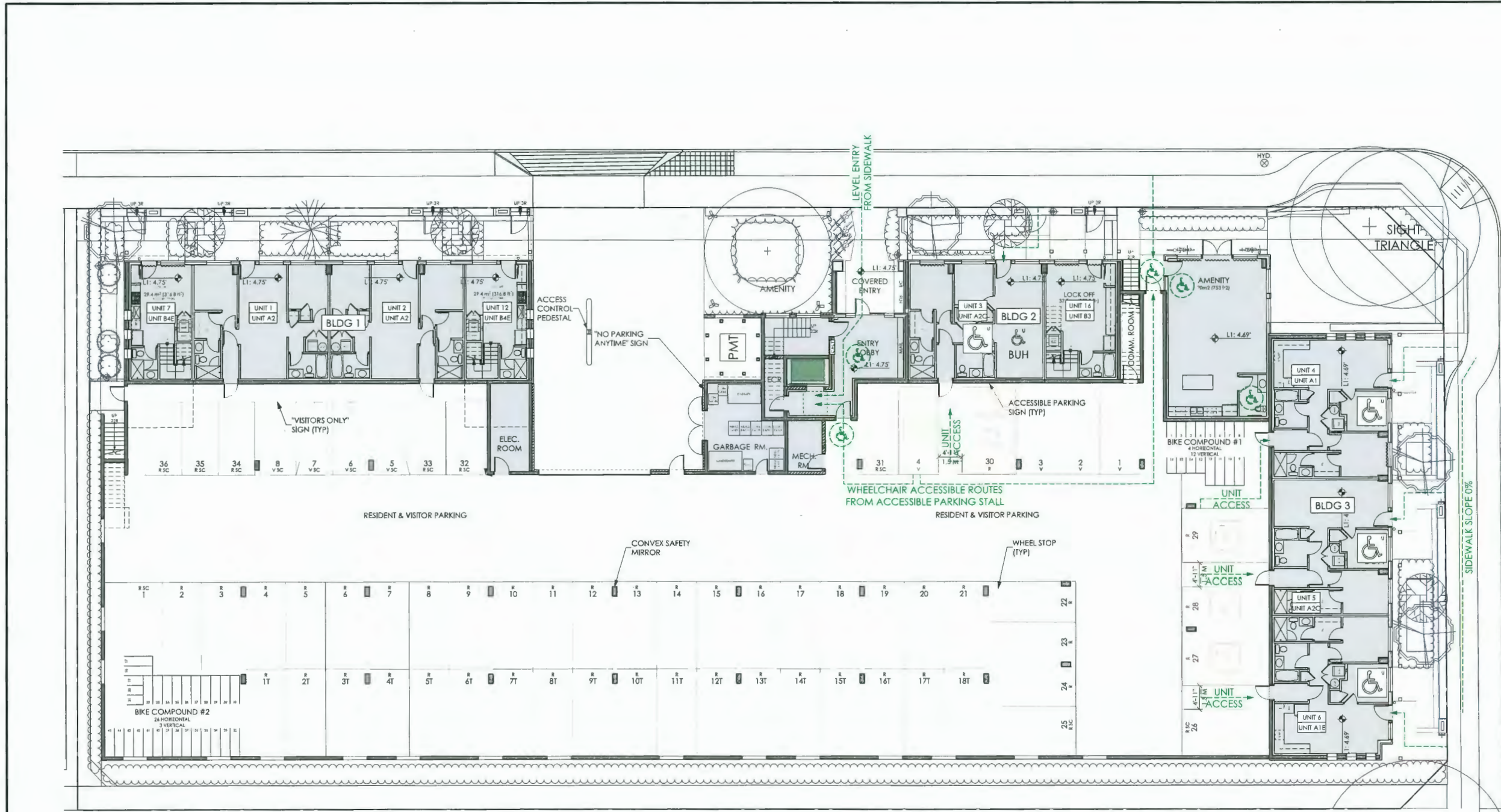
**FORMWERKS ARCHITECTURAL**

1625 West 5th Ave., Vancouver, BC V6J 1N5  
 Fax 685-2076 Phone 683-5441

PROJECT  
**8800 SPIRES ROAD**  
 8800 SPIRES ROAD  
 RICHMOND, BC

DRAWING  
**ACCESSIBILITY STRATEGY LEVEL 1**

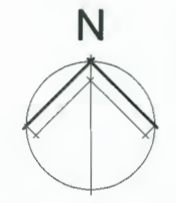
SCALE	SHEET
3/32" = 1'-0"	A0.08
DATE	FEBRUARY 28, 2024



LEGEND	
	UNIVERSAL UNIT
	UNIT ENTRY
	WHEELCHAIR ACCESSIBLE ROUTES
	STANDARD ACCESSIBLE PARKING w/ 1.2 M SHARABLE AISLE (RESIDENT)
	VAN ACCESSIBLE PARKING w/ 1.2 M SHARABLE AISLE (RESIDENT)
	STANDARD ACCESSIBLE PARKING w/ 1.2 M SHARABLE AISLE (VISITOR)

ACCESSIBILITY STRATEGY	
NUMBER OF UNIVERSAL UNITS:	4
NUMBER OF ACCESSIBLE RESIDENTIAL:	4
PARKING STALLS:	1 VISITOR
FEATURES:	1 MINIMAL SITE GRADING AND A CENTRAL ELEVATOR ACCOMMODATES WHEELCHAIR CIRCULATION THROUGH THE SITE. 2 A FLAT COURTYARD ALLOWS ACCESS TO ALL UNITS AND OUTDOOR AMENITY AREAS. 3 ALL UNITS CAN BE REACHED VIA WHEELCHAIR ROUTES. 4 GROUND LEVEL UNITS HAVE DIRECT PARKADE ACCESS. 5 TOWNHOUSE UNITS CAN BE ACCESSED FROM THE COURTYARD VIA THE ELEVATOR. 6 UNIVERSAL UNITS CAN BE ACCESSED FROM THE STREET AND A SECONDARY ENTRY AT THE PARKADE. 7 CURB CUT ACCESS TO VISITOR PARKING PROVIDED AT EACH BUILDING ENTRY.



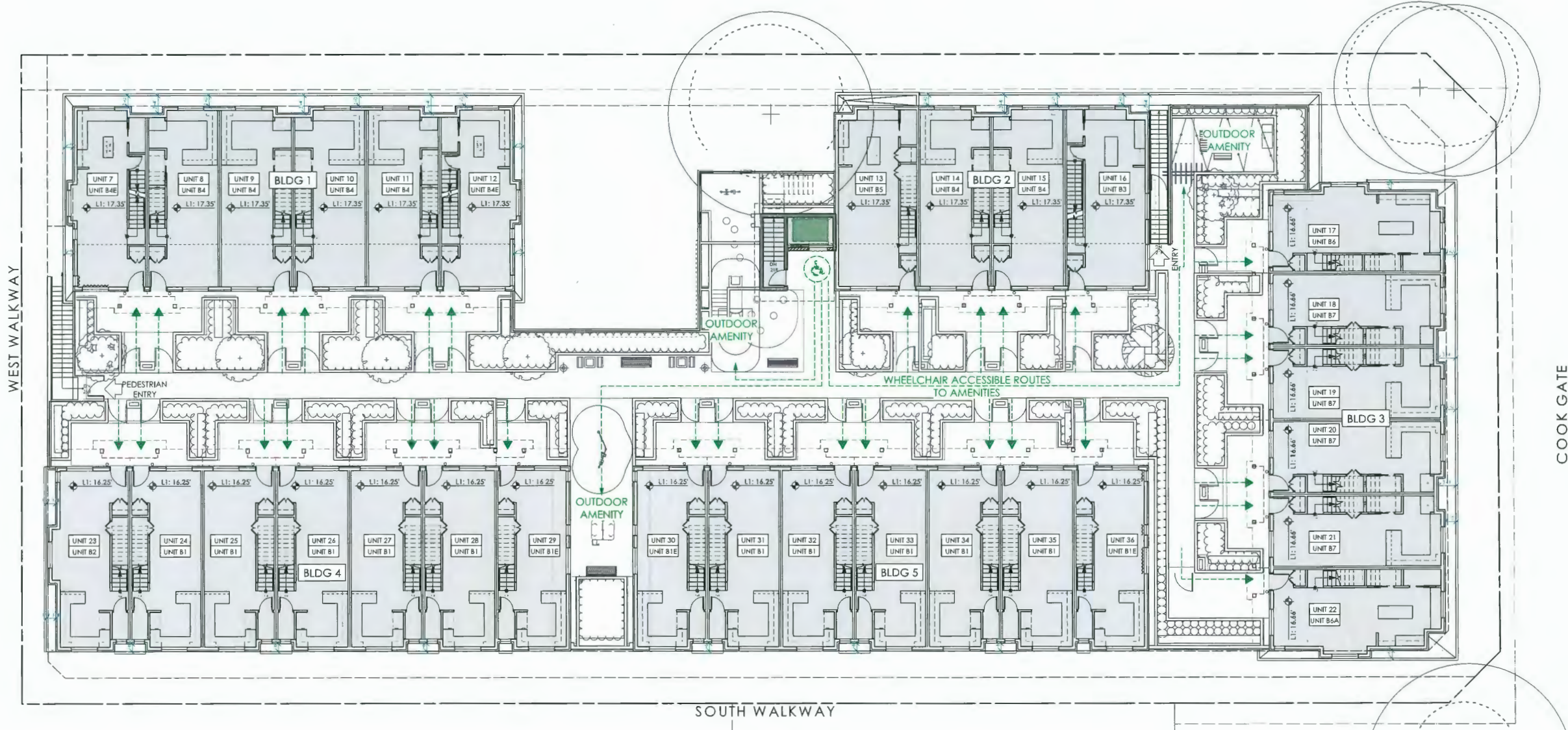
**DP 22-013081 March 6, 2024 PLAN #6**

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RE-ISSUED FOR REZONING 3	MAR 31, 2021
RE-ISSUED FOR REZONING 4	SEP 24, 2021
RE-ISSUED FOR REZONING 5	OCT 25, 2021
ISSUED FOR DP APPLICATION	NOV 3, 2021
RE-ISSUED FOR DP APPLICATION	JAN 28, 2022
RE-ISSUED FOR DP APPLICATION	FEB 4, 2022
RE-ISSUED FOR REZONING 5	FEB 7, 2022
ISSUED FOR DP APPLICATION	APR 19, 2022
RE-ISSUED FOR DP APPLICATION	FEB 27, 2023
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ISSUED FOR 8P	SEP 15, 2023
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ISSUED FOR TENDER	JAN 31, 2024
RE-ISSUED FOR DP APPLICATION	FEB 8, 2024
RE-ISSUED FOR DP APPLICATION	FEB 28, 2024



FORMWERKS ARCHITECTURAL

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 Fax 685-2076 Phone 683-5441

PROJECT

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
 RICHMOND, BC

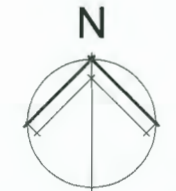
DRAWING

**ACCESSIBILITY STRATEGY LEVEL 2**

SCALE: 3/32" = 1'-0"

DATE: FEBRUARY 28, 2024

SHEET: **A0.09**



LEGEND		ACCESSIBILITY STRATEGY	
	UNIVERSAL UNIT	NUMBER OF UNIVERSAL UNITS:	4
	UNIT ENTRY	NUMBER OF ACCESSIBLE:	4 RESIDENTIAL
	WHEELCHAIR ACCESSIBLE ROUTES	PARKING STALLS:	1 VISITOR
		FEATURES:	<ol style="list-style-type: none"> <li>1 MINIMAL SITE GRADING AND A CENTRAL ELEVATOR ACCOMMODATES WHEELCHAIR CIRCULATION THROUGH THE SITE.</li> <li>2 A FLAT COURTYARD ALLOWS ACCESS TO ALL UNITS AND OUTDOOR AMENITY AREAS.</li> <li>3 ALL UNITS CAN BE REACHED VIA WHEELCHAIR ROUTES.</li> <li>4 GROUND LEVEL UNITS HAVE DIRECT PARKADE ACCESS.</li> <li>5 TOWNHOUSE UNITS CAN BE ACCESSED FROM THE COURTYARD VIA THE ELEVATOR.</li> <li>6 UNIVERSAL UNITS CAN BE ACCESSED FROM THE STREET AND A SECONDARY ENTRY AT THE PARKADE.</li> <li>7 OUTDOOR AMENITY AREAS ARE ACCESSIBLE FROM THE STREET VIA THE PARKADE.</li> </ol>

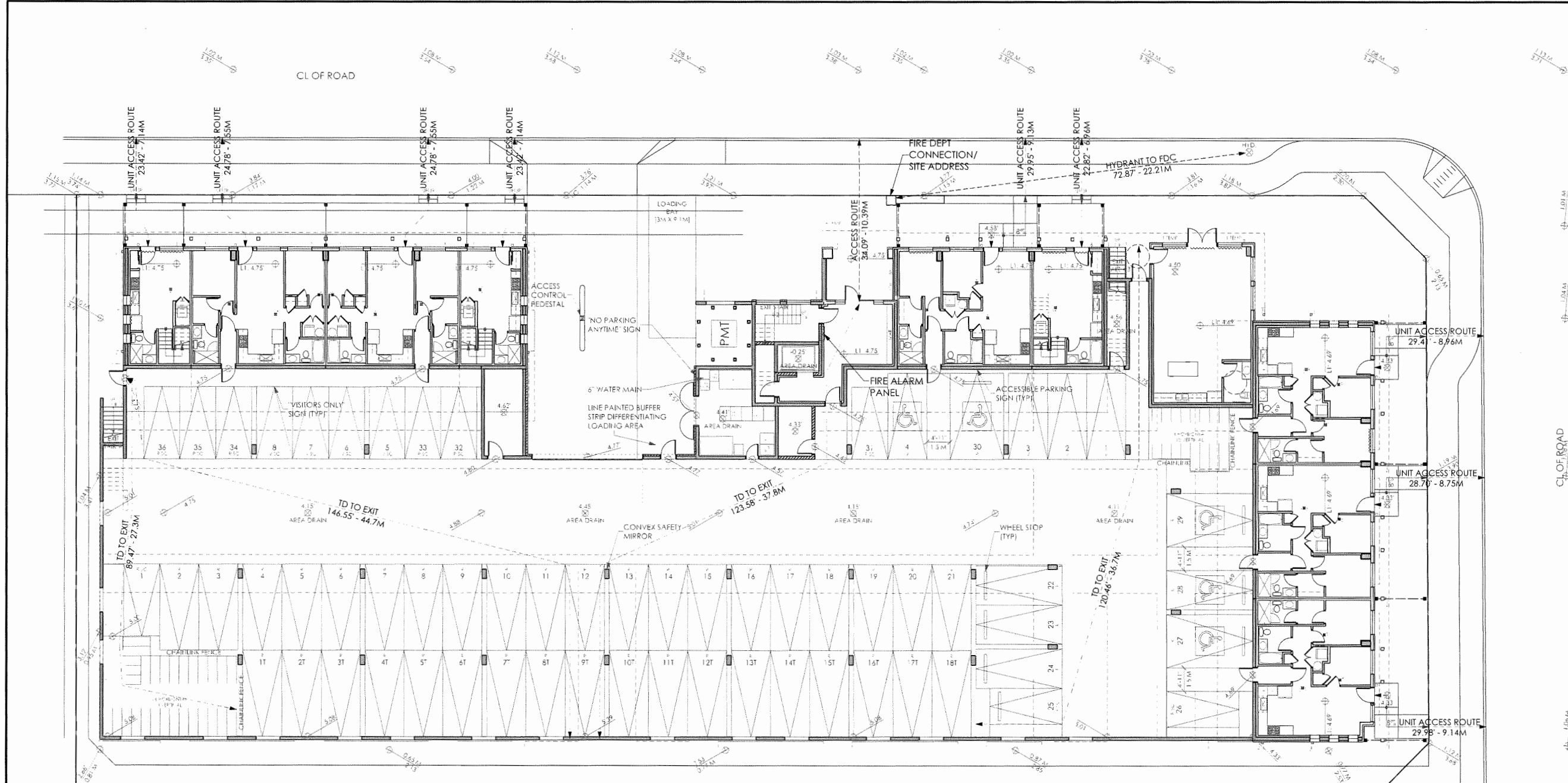
**DP 22-013081 March 6, 2024 PLAN #7**

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REVISED FOR REZONING 4	OCT 25, 2021
REVISED FOR REZONING 4	NOV 3, 2021
RE-ISSUED FOR REZONING 5	JAN 28, 2022
REVISED FOR REZONING 5	FEB 4, 2022
REVISED FOR REZONING 5	FEB 7, 2022
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RE-ISSUED FOR DP APPLICATION	FEB 27, 2023
RE-ISSUED FOR DP APPLICATION	AUG 11, 2023
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ISSUED FOR TENDER	JAN 31, 2024
RE-ISSUED FOR DP APPLICATION	FEB 8, 2024
RE-ISSUED FOR DP APPLICATION	FEB 28, 2024



**FORMWERKS ARCHITECTURAL**

1625 West 5th Ave., Vancouver, BC V6J 1H5  
 Fax: 685-2076 Phone: 683-5441

PROJECT

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
 RICHMOND, BC

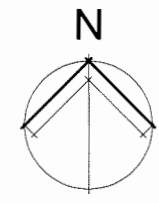
DRAWING

**FIRE ACCESS PLAN LEVEL 1**

SCALE	SHEET
3/32" = 1'-0"	A1.10
DATE	
FEBRUARY 28, 2024	

LEGEND

HYD	FIRE HYDRANT
-----	--------------



**DP 22-013081 March 6, 2024 PLAN #8**

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RE-ISSUED FOR REZONING 4	MAR 31, 2021
RE-ISSUED FOR REZONING 4	SEP 24, 2021
RE-ISSUED FOR REZONING 4	OCT 25, 2021
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RE-ISSUED FOR REZONING 5	JAN 28, 2022
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ISSUED FOR TENDER	JAN 31, 2024
RE-ISSUED FOR DP APPLICATION	FEB 8, 2024
RE-ISSUED FOR DP APPLICATION	FEB 28, 2024

CL OF ROAD

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 Fax 685-2076 Phone 683-5441

PROJECT

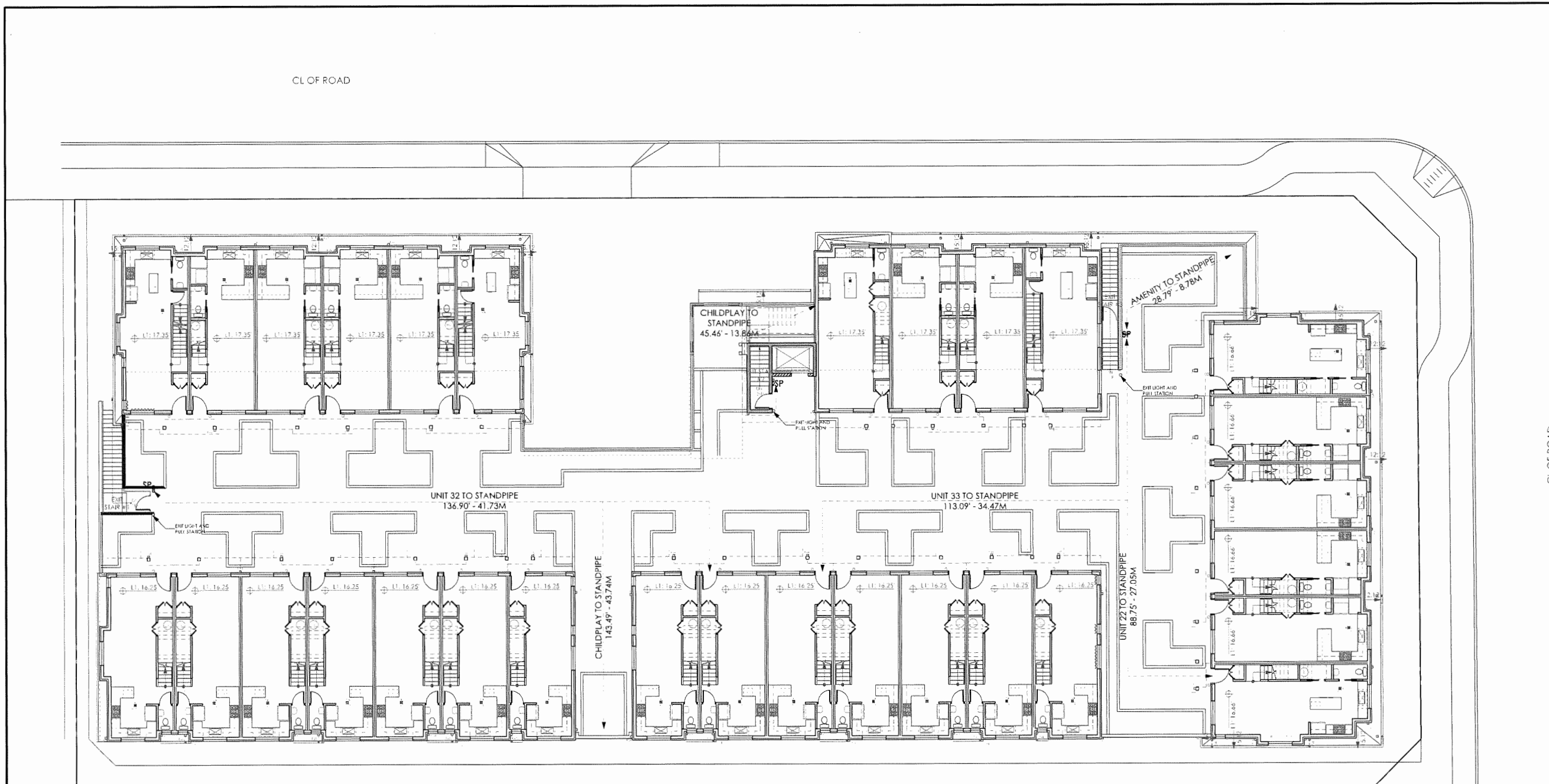
**8800 SPIRES ROAD**

8800 SPIRES ROAD  
 RICHMOND, BC

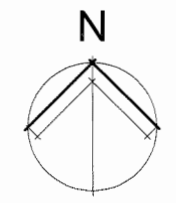
DRAWING

**FIRE ACCESS PLAN LEVEL 2**

SCALE	SHEET
3/32" = 1'-0"	A1.11
DATE	
FEBRUARY 28, 2024	

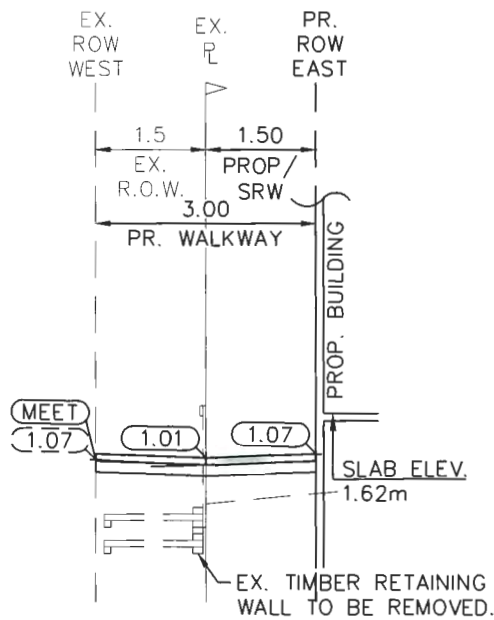


LEGEND	
SP	STANDPIPE



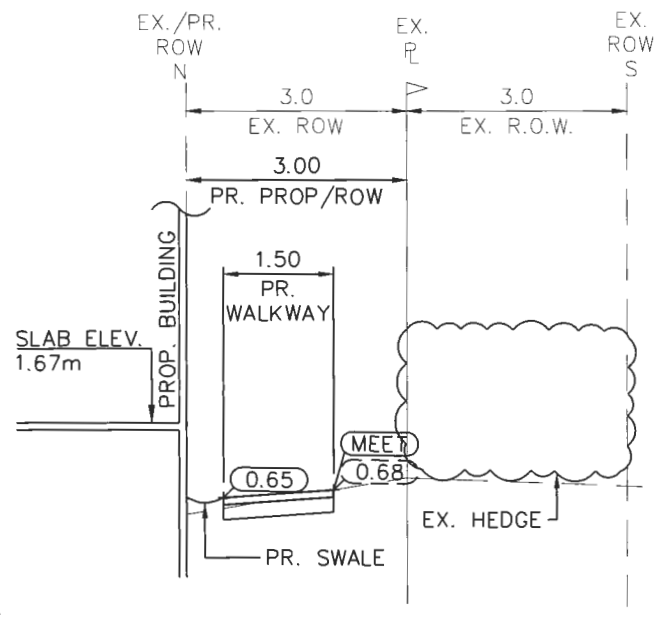
**DP 22-013081 March 6, 2024 PLAN #9**





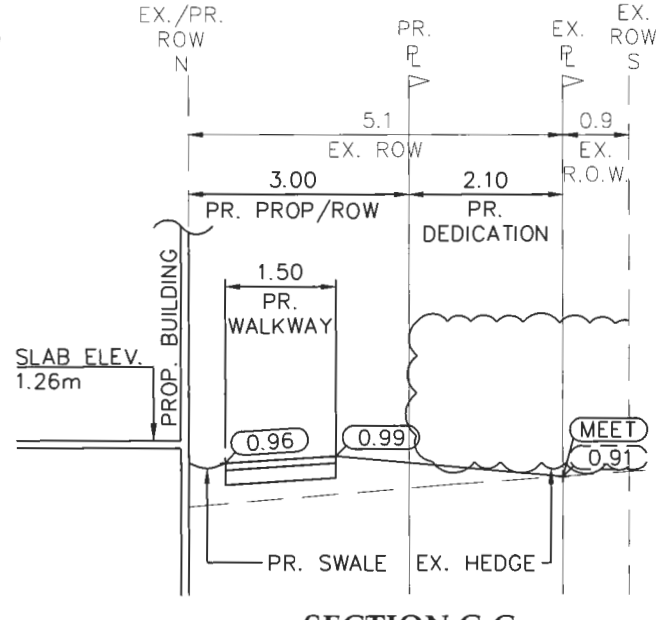
**SECTION A-A**

SCALE: 1 : 100 HOR., NTS VER.



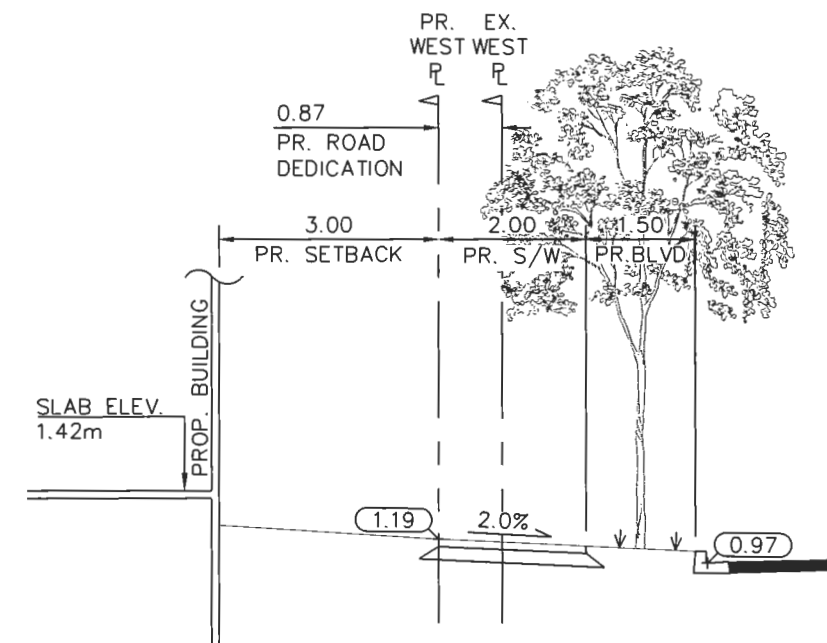
**SECTION B-B**

SCALE: 1 : 100 HOR., NTS VER.



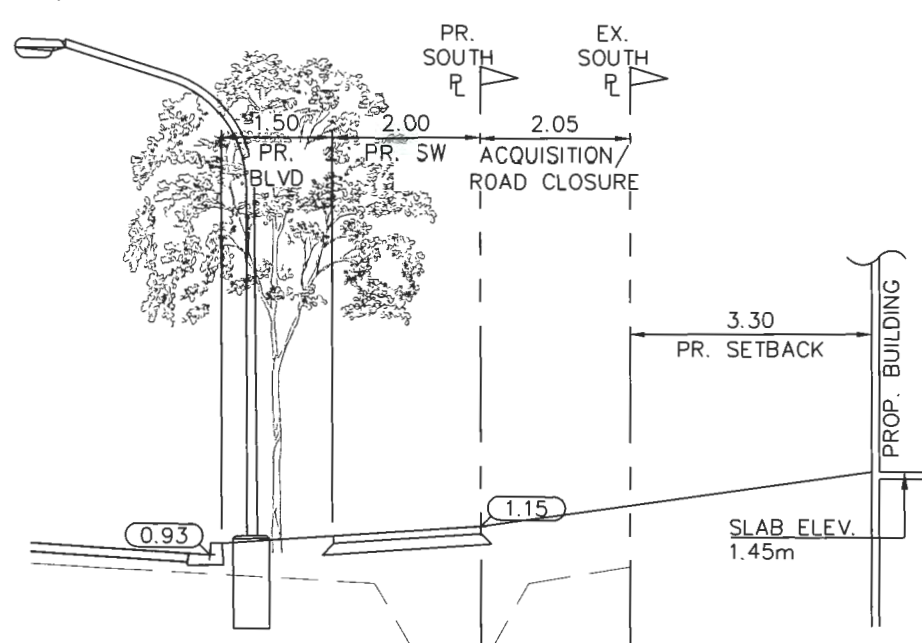
**SECTION C-C**

SCALE: 1 : 100 HOR., NTS VER.



**SECTION D-D**

SCALE: 1 : 100 HOR., NTS VER.



**SECTION E-E**

SCALE: 1 : 100 HOR., NTS VER.

**EXISTING SITE GRADES:**  
**PROPERTY CORNER GRADES:**  
 NW CORNER = 0.54m  
 NE CORNER = 0.62m  
 SW CORNER = 0.70m  
 SE CORNER = 0.83m

**8800 SPIRES RD BUILDING CORNER GRADES:**  
 NW CORNER = 0.62m  
 NE CORNER = 0.72m  
 SW CORNER = 0.69m  
 SE CORNER = 0.76m

**8780 SPIRES RD BUILDING CORNER GRADES:**  
 NW CORNER = 0.75m  
 NE CORNER = 0.83m  
 SW CORNER = 0.75m  
 SE CORNER = 0.72m

**8760 SPIRES RD BUILDING CORNER GRADES:**  
 NW CORNER 1 = 0.73m  
 NE CORNER 1 = 0.75m  
 SW CORNER 1 = 0.81m  
 SE CORNER 1 = 0.75m  
 NW CORNER 2 = 0.66m  
 NE CORNER 2 = 0.77m  
 SW CORNER 2 = 0.73m  
 SE CORNER 2 = 0.74m

**8740 SPIRES RD BUILDING CORNER GRADES:**  
 NW CORNER 1 = 0.79m  
 NE CORNER 1 = 0.79m  
 SW CORNER 1 = 0.80m  
 SE CORNER 1 = 0.82m  
 NW CORNER 2 = 0.76m  
 NE CORNER 2 = 0.80m  
 SW CORNER 2 = 0.80m  
 SE CORNER 2 = 0.79m

EX. AVERAGE SITE GRADE = 0.74m

**PROPOSED SITE FILL VOLUME:**  
 SITE AREA = 3260m<sup>2</sup>  
 EXISTING AVERAGE SITE GRADE = 0.74m  
 PROPOSED AVERAGE SITE GRADE = 1.09m  
 FILL VOLUME = (1.09m - 0.74m) \* 3260m<sup>2</sup> = 1141.0m<sup>3</sup>

**PROPOSED SITE GRADES:**  
 NW CORNER = 1.15m  
 NE CORNER 1 = 0.70m  
 NE CORNER 2 = 0.65m  
 SW CORNER = 0.70m  
 SE CORNER 1 = 1.12m  
 SE CORNER 2 = 0.99m

**BUILDING CORNER GRADES:**  
 BUILDING CORNER 1 = 1.30m  
 BUILDING CORNER 2 = 1.30m  
 BUILDING CORNER 3 = 1.30m  
 BUILDING CORNER 4 = 1.30m  
 BUILDING CORNER 5 = 1.28m  
 BUILDING CORNER 6 = 1.28m  
 BUILDING CORNER 7 = 1.28m  
 BUILDING CORNER 8 = 0.84m

PR. AVERAGE SITE GRADE = 1.09m

**MAX ROAD CENTERLINE GRADE:**  
 MAX = 1.13m

**LOT GRADING PLAN LEGEND**

- PROPOSED BUILDING CORNER ELEVATION AS PROVIDED BY ARCHITECTURAL CONSULTANT
- FINISHED GROUND SURFACE ELEVATION TO MEET EXISTING GROUND SURFACE ELEVATION
- EXISTING GROUND SURFACE ELEVATION
- EXISTING GROUND SURFACE ELEVATION
- PROPOSED FINISHED GROUND SURFACE ELEVATION

**City of Richmond**

6911 No. 3 ROAD RICHMOND B.C. V6Y 2C1

**CoreConcept CONSULTING LTD.** tel : 604.249.5040 fax : 604.249.5041  
 #220-2639 Viking Way, Richmond, BC, V6V 3B7  
 www.coreconcept.com

**TERRA WEST PROPERTIES**

**DP 22-013081**

REV	DATE	BY	CH.	DESCRIPTION
3.	08 FEB 2024	JH	TS	ISSUED FOR DP
2.	23 JAN 2024	JH	TS	ISSUED FOR DP
1.	15 NOV 2023	JH	TS	ISSUED FOR DP
0.	04 JAN 2023	JH	TS	ISSUED FOR DP

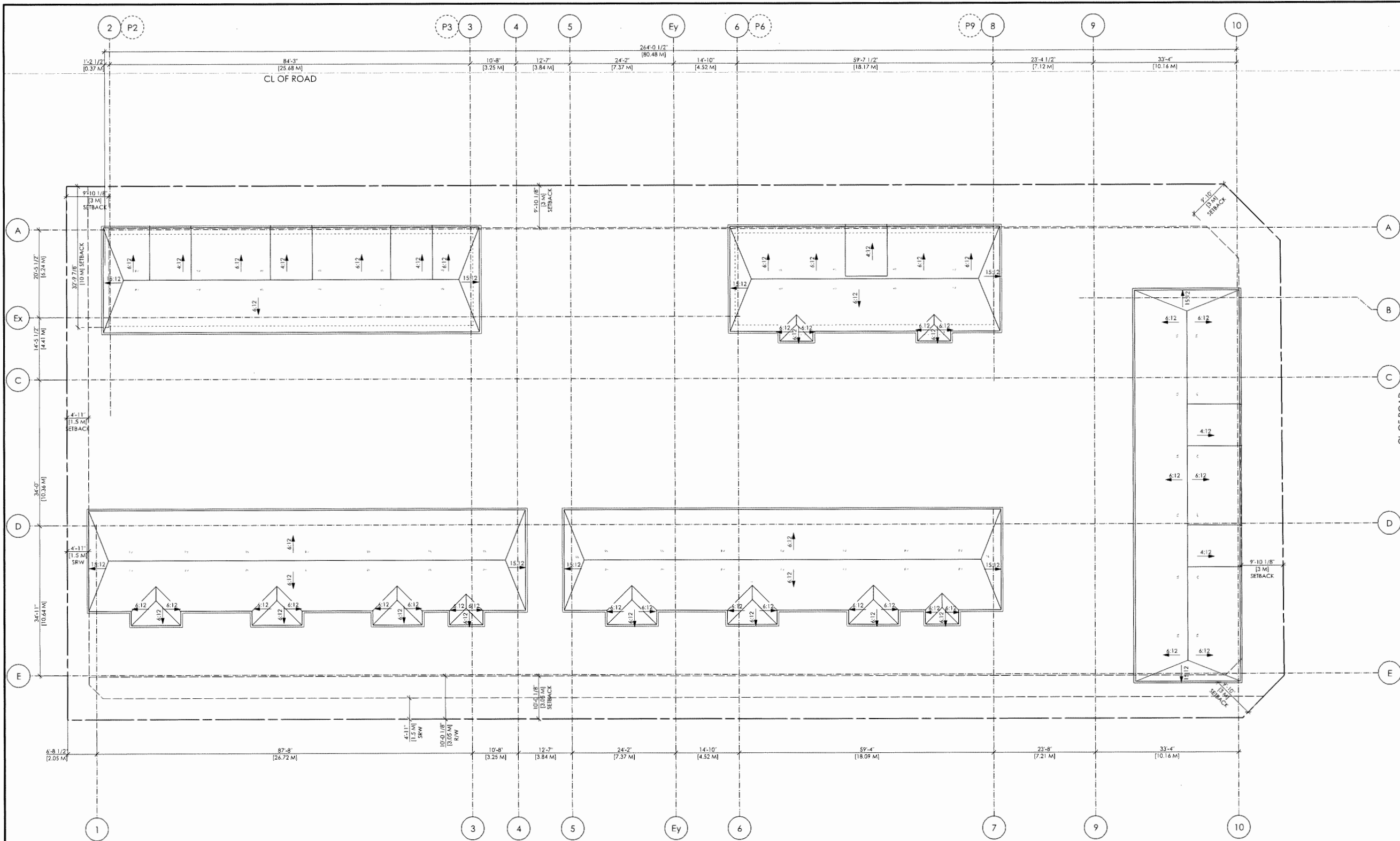


TITLE: **LOT GRADING PLAN**

8740-8800 SPIRES RD  
 CITY FILE :

DESIGN:	JH	DWG. No.:	
DRAWN:	GG	SCALE:	1 : 250
CHECKED:	AR	DATE:	MAY 2022
ENGINEER:	TS	SEC. No.:	9-4-6
		SHT No.:	1 OF 1

**March 6, 2024 PLAN #11**



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RE-ISSUED FOR DP APPLICATION	FEB 8, 2024
RE-ISSUED FOR DP APPLICATION	FEB 28, 2024



**FORMWERKS ARCHITECTURAL**

1625 West 5th Ave., Vancouver, BC V6J 1N5  
 Fax: 685-2076 Phone: 683-5441

PROJECT  
**8800 SPIRES ROAD**  
 8800 SPIRES ROAD  
 RICHMOND, BC

DRAWING  
**ROOF PLAN**

SCALE	SHEET
3/32" = 1'-0"	A1.09
DATE	
FEBRUARY 28, 2024	

**DP 22-013081 March 6, 2024 PLAN #12**

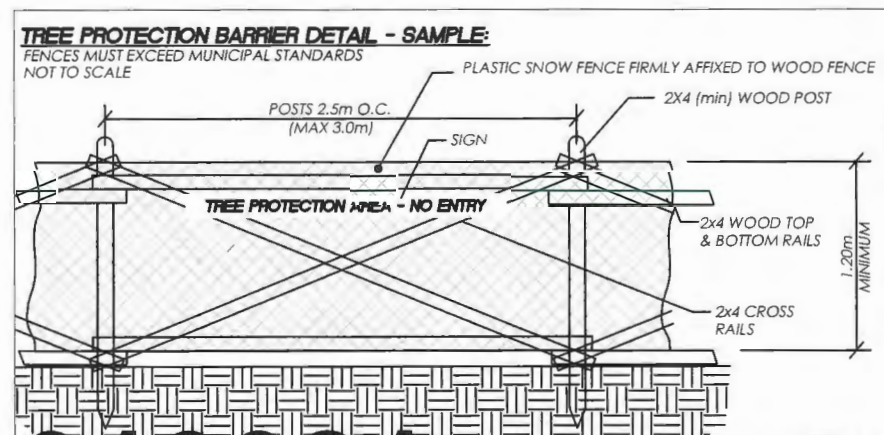




**TREE PROTECTION STANDARD MEASURES:**

The project arborist must be called to attend and review, approve, direct and/or supervise certain works from time to time during the demolition, site preparation, construction and landscaping, at critical milestones or activities. To schedule reviews or site visits as described above, we require a minimum of 3 business days advance notice.

- A. **Tree Protection Barrier Installation:**  
Prior to site works commencing, to direct and inspect the installation of tree protection barriers. We will sign off once they are approved, so that city approvals can be enabled.
- B. **Tree Health Management Treatments:**  
Prior to construction, the project arborist will undertake or direct the installation of soil protection and enhancement treatments where deemed necessary or appropriate, such as but not limited to:
  - a. Soil amender may be applied within TPZ (i.e. 10mm-minus well composted bark mulch, Nutri-Mulch, or equivalent) to a depth of 100 mm (or as directed by the Project Arborist).
  - b. Interim watering program and system (i.e. manual sprinkler on a timer, temporary irrigation, or truck delivery) by developer/owner or by the project arborist. Note that log books of the watering may be required. The watering shall achieve even coverage within the RPZ to deliver the equivalent of up to 5 cm (2 inches) depth on a twice monthly schedule in April through June and September, and to a weekly schedule for July and August. Watering events will be exempted by the project arborist when natural rainfall for a period is sufficient to sustain the tree.
- C. **Access within TPZ:**  
Whenever access into the tree protection zone (TPZ) is contemplated or desired for any reason.
- D. **Work within TPZ:**  
Whenever any grading, trenching, excavation or landscape work occurs within a TPZ, including the root protection zone (RPZ) and the working space setback (WSS) offset from a RPZ as specified by the project arborist.
- E. **Pruning:**  
Certain retained trees may require pruning as recommended by the project arborist to treat one or more of the following: restoration of form, aesthetics, mitigation of defect(s), building clearance, sight lines, crown raising clearance for vehicles or pedestrians and/or construction access. All tree pruning work is to be carried under the direction of the project arborist from this office and by an ISA Certified Arborist employed by a qualified tree service firm working in conformance with applicable ANSI standards (A300 and Z133), and meeting the city, contractor and/or developer/owner insurance and licensing requirements.
- F. **Low Impact Tree or Stump Removal:**  
For any tree removal or stump removal from within a RPZ or WSS.
- G. **Landscape Finishing:**  
All landscaping activities must be reviewed by this office in advance of commencing and on-site direction and guidance from the project arborist planned accordingly, such as but not limited to:
  - a. Preparation works and construction of landscape finishing works including but not limited to: sidewalks, paths, patios, decks, retaining walls, fencing, irrigation, conduit, benches, patio pavers, soil placement, grass or turf installation, planting or other landscape items.
  - b. Turf within TPZ's is discouraged, however if desired we may support it as long as a suitable mulch zone setback is implemented around the base of the tree.
  - c. Certain landscape features may be excluded or will require specific materials and methods to be utilized that meet tree root protection compliance requirements.
  - d. Note that the planting of any plants, shrubs or hedges within the TPZ is restricted to small pot sizes (i.e. #1 or #2 depending on species) and using "pocket planting" standards. Planting holes are minimized in size, dug into existing grade to avoid damage to woody roots, and backfilled with minimal addition of growing medium.



**TREE PROTECTION SPECIAL MEASURES:**

The following items within a TPZ require project arborist direction, treatment or supervision/monitoring. See the Tree Management Drawing for additional references to locations where special measures are required.

- 1. **Ditch Infill Works:**  
Stripping and excavating for storm pipe and manhole installations, as well as backfilling the ditch, will require low impact methods to protect the roots growing along the slope of the ditch and otherwise within the TPZ. Supervision from the project arborist is required. The upper soil strata within the ditch is to be backfilled using growing medium meeting the specifications of the project arborist so that root regeneration is enabled. Upon completion of this work, tree protection barriers are to be expanded to protect the new growing space.
- 2. **Building Site Preparation:**  
The project arborist must be on site concurrently with the excavation (site stripping) activities adjacent to the tree protection zones to identify tree roots, provide root protection measures and/or undertake root pruning treatments as necessary. Also when pre-load or fill placement is planned, the project arborist must be contacted to review any measures, including temporary retaining walls and/or drainage.
- 3. **Root Pruning for Site Excavation:**  
The project arborist must be on site concurrently with any excavation adjacent to the tree protection zone to identify tree roots, provide root protection measures and/or undertake root pruning treatments as necessary. Over-excavation for shoring, forming of building foundations and installation of drainage or other infrastructure are not supported by this office. Special measures are required for construction (i.e., shot-crete, blind forming,) to accept a proposed building aligned with the root protection zone.
- 4. **Root Pruning for Services Adjacent to TPZ:**  
The project arborist must approve the method of excavation (i.e. excavator, hydro-vac, air-vac, air spade etc) and also must be on site concurrent with trenching to identify tree roots, provide root protection measures and/or undertake root pruning treatments as necessary.
- 5. **Fence Construction:**  
The digging of fence posts and construction of a fence must be reviewed in advance by the project arborist. Low impact digging methods and siting of fence posts may require adjustment depending on the scope of root impacts.
- 6. **Landscape Works:**  
Coordination with this office is required to review any proposed works (i.e. planting, installation of any growing medium or materials, pruning, excavation of any scope, installation of any hardscape features including irrigation, fencing and retaining walls), within and directly adjacent to the tree protection zone(s) to approve those works and to provide low impact method and material recommendations. Any hardscape feature proposed within root protection zones will require a no-excavation and no-compaction of existing soils for preparation and installation.
- 7. **Worker Access Within Root Protection Zone for Construction:**  
Temporary soil armoring measures are required for worker access within the root zone during construction to mitigate soil compaction. An elevated boardwalk is required to be installed and maintained to accept limited worker access and egress within the root protection zone directly adjacent to the building. All other root protection zone specifications apply. Machine operation within root protection zones remains restricted.

**TREE MANAGEMENT DRAWING - CITY LETTER SIZE SHEET 4/4**



PROJECT:	PROPOSED TOWNHOUSE DEVELOPMENT		
ADDRESS:	8740-8800 SPIRES ROAD		
CLIENT:	TERRA WEST PROPERTIES		
CITY REF:		ACL FILE:	18331
PLOT SIZE:	11"X17"	REV #:	7
		DATE:	FEB 4, 2022

**DP 22-013081 March 6, 2024**

**PLAN #14**

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
25	24.FEB.20	UPDATE GAS METER SCREENING	CLG
24	24.FEB.02	ISSUED FOR TENDER REVIEW	CW
23	24.JAN.26	REVISED ENTRY	CW
22	24.JAN.18	ISSUE FOR O/P	CLG
21	24.JAN.10	INCREASE PLANTING TO 20% LOT AREA	SA
20	23.NOV.14	REVISE PER COMMENTS	WZ
19	23.NOV.03	UPDATE PER COMMENTS	CLG

CLIENT:

PROJECT:

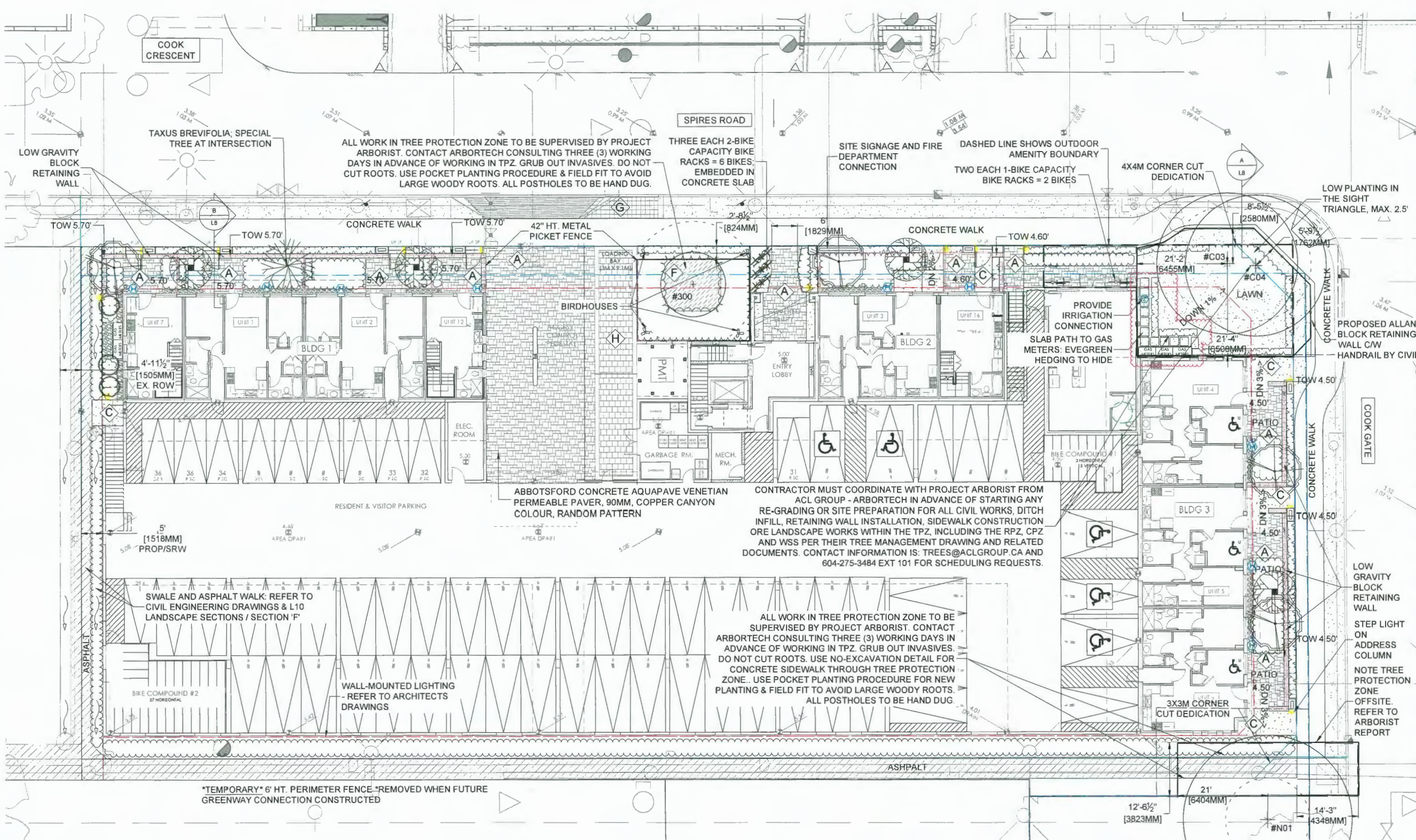
**SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT**  
8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:

**GROUND LEVEL LANDSCAPE PLAN**

DATE: 20.06.04 DRAWING NUMBER:  
SCALE: 3/32" = 1'-0"  
DRAWN: MC  
DESIGN: MC  
CHK'D: PC OF 13

PMG PROJECT NUMBER: 21-176



**Hardscape Material Legend**

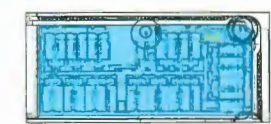
Symbol	Model	Symbol	Model
	PERMEABLE PAVER: ABBOTSFORD CONCRETE AQUAPAVE, VENETIAN, 90MM COPPER CANYON COLOUR, RANDOM PATTERN. DETAIL 22 / L8 ++		COMPOSTED BARK MULCH 3" DEPTH IN RETAINED TREE ROOT ZONE FOR WEED SUPPRESSION AND WATER RETENTION. DETAIL 27 / L7 ++
	CONCRETE SIDEWALK. DETAIL BY OTHERS, BROOM FINISH, TOOLED CONTROL JOINTS. *NOT PERMEABLE. DETAIL 26 / L8		REFER TO CIVIL ENGINEERING DRAWINGS. CONCRETE OR ASPHALT SURFACE
	ABBOTSFORD CONCRETE, HYDRAPRESSED SLABS, TEXADA FINISH, RUNNING BOND PATTERN, NATURAL COLOUR. DETAIL 67 / L7		BELGARD VS5 PAVES, NATURAL GREY IN 12" WIDE CONCRETE CAST IN PLACE APRON.
	POURED-IN-PLACE RUBBER PLAY SLOPE AND SURFACING. USE 50% BLACK / 50% COLORED MIX. LIGHT BLUE INDICATES UNDERLIE.		6" HT. PERIMETER FENCE DETAIL 14 / L8
	SUSTAINABLE FIXTURE - ALL LUMENS IN WHITE. SEE ELECTRICAL DRAWING FOR INFORMATION.		3" HT. FRONTAGE FENCE DETAIL 24 / L8

**Fencing Legend**

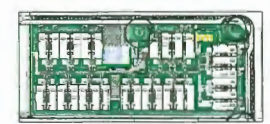
Symbol	Model
	5' HT. PRIVACY SCREEN DETAIL 21 / L8
	42" HT. WOOD PICKET FENCE DETAIL 11 / L7
	42" HT. METAL PICKET FENCE DETAIL 23 / L8
	6" HT. PERIMETER FENCE DETAIL 14 / L8
	3" HT. FRONTAGE FENCE DETAIL 24 / L8

**Site Furnishing Legend**

Symbol	Model
	MAGLIN SCBR 1600, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE. 2-BIKE CAPACITY* SITE TOTAL CLASS 2' 36 UNITS X 0.2 = 8
	MAGLIN MLB310-W-PC BENCH, HDPC SLATS CHARCOAL COLOUR AND BLACK POWDERCOAT * ++
	HOSE BIB
*MOUNT ALL SITE FURNISHINGS ON CONCRETE PAD PER MANUFACTURER'S SPECIFICATION, USING TAMPER-RESISTANT HARDWARE	
++ SUSTAINABLE FIXTURE USES RECYCLED WATER	



OVERALL SITE AREA = 35,087 FT2 (3,260M2)

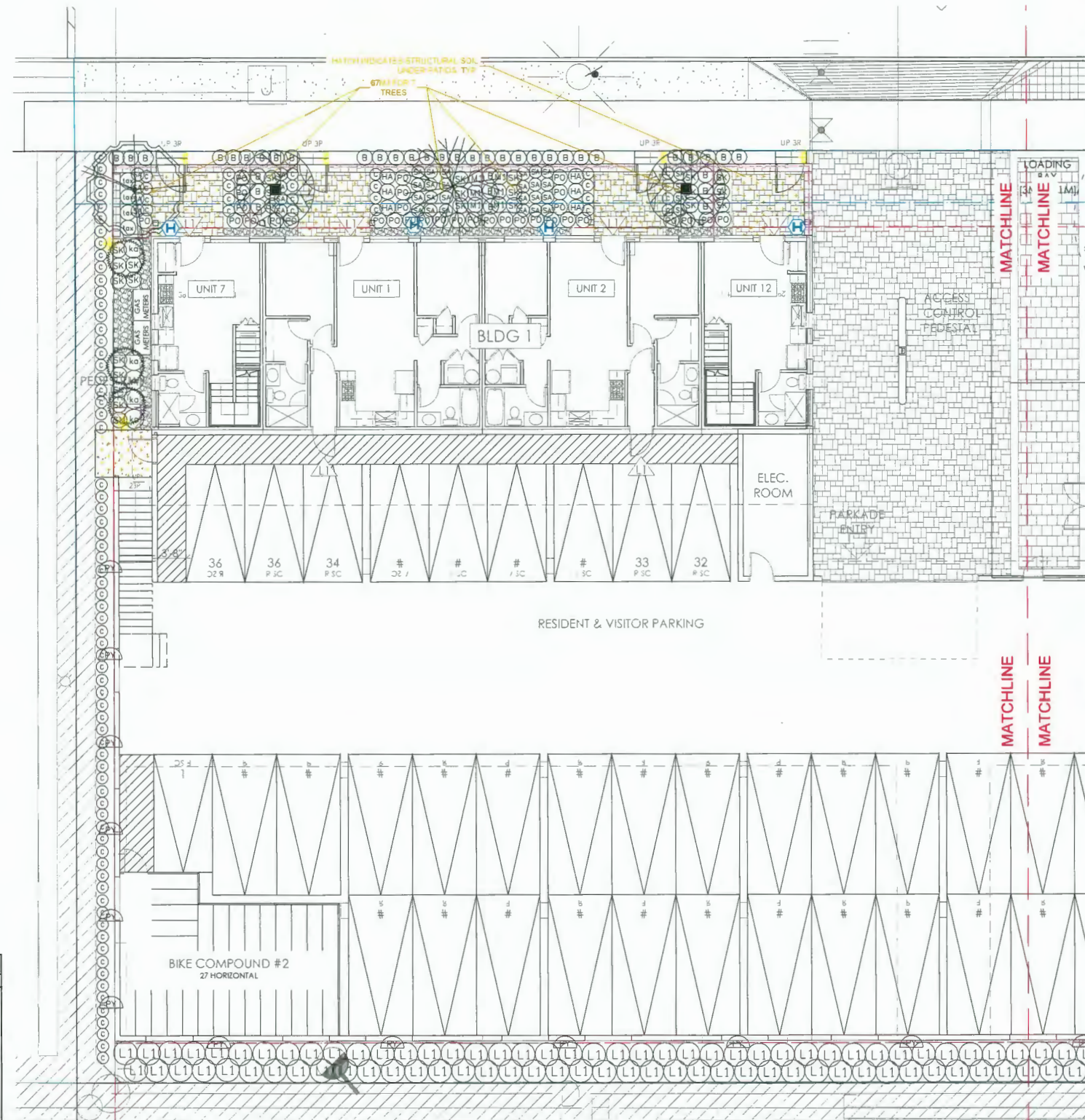


OVERALL PLANTED AREA = 6993 FT2 (650M2)

PERCENT OF LOT AREA WITH LIVE PLANT MATERIAL = 20.0%

**DP 22-013081 March 6, 2024 PLAN #15**

SEAL:



**PLANT SCHEDULE - GROUND LEVEL** PMG PROJECT NUMBER: 21-178

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
<b>TREE</b>				
(C)	4	CERCIS CANADENSIS 'COVEY'	LAVENDER TWIST REDBUD	8CM CAL; 1.8M STD; B&B; NATIVE; CLIMATE RESILIENT
(L)	3	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEeping NOOTKA CYPRESS	4M HT; B&B; NATIVE
(H)	4	PRUNUS VIRGINIANA 'SCHUBERT'	SCHUBERT CHOKE CHERRY	8CM CAL; 1.8M STD; B&B; NATIVE; BIRD-FRIENDLY; CLIMATE RESILIENT
(M)	1	TAXUS BREVIFOLIA	WESTERN YEw	4.0M HT; B&B; NATIVE; BIRD-FRIENDLY; CLIMATE RESILIENT
<b>SHRUB</b>				
(B)	150	BUXUS SEMPERVIRENS	COMMON BOXWOOD	#3 POT; 40CM
(L)	180	LONICERA PILEATA	BOXLEAF HONEYSUCKLE; GOLD	#3 POT; 50CM
(H)	22	MAHONIA AQUIFOLIUM	OREGON GRAPE HOLLY	#3 POT; 50CM; BIRD-FRIENDLY; NATIVE
(M)	14	PIERIS JAPONICA 'CAVATINE'	DWARF LILY OF THE VALLEY BUSH	#2 POT; 30CM; MATURE HT: 900MM
(S)	102	SARCOCOCCA HOOKERANA VAR. HUMILIS	HIMALAYAN SWEET BOX	#3 POT; 35CM
(M)	42	SKIMMIA JAPONICA	JAPANESE SKIMMIA	#3 POT; 50CM
(M)	32	TAXUS X MEDIA 'HICKSII'	HICK'S YEw	1.5M B&B
<b>GRASS</b>				
(C)	123	CAREX ELATA 'AUREA'	BOWLE'S GOLDEN SEDGE	#1 POT
(H)	14	HAKONECHLOA MACRA 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	#1 POT
<b>VINE</b>				
(D)	18	HYDRANGEA PETIOLARIS SUBSP ANOMALA	CLIMBING HYDRANGEA	#2 POT; 40CM; STAKED; SHADE TOLERANT
<b>GC</b>				
(P)	157	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 20CM

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: IRRIGATION SYSTEM TO BE DESIGN-BUILD, PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION. INSTALL PER IAABC STANDARDS. USE HIGH EFFICIENCY, SMART-CONTROLLED DRIP IRRIGATION.



NO.	DATE	REVISION DESCRIPTION	DR.
25	24.FEB.20	UPDATE GAS METER SCREENING	CLB
24	24.FEB.02	ISSUED FOR TENDER REVIEW	CW
23	24.JAN.26	REVISED ENTRY	CW
22	24.JAN.16	ISSUE FOR OP	CLG
21	24.JAN.10	INCREASE PLANTING TO 20% LOT AREA	SA
20	23.NOV.14	REVISE PER COMMENTS	WZ
19	23.NOV.03	UPDATE PER COMMENTS	CLB

CLIENT:

PROJECT:

**SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT**  
8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:  
**GROUND LEVEL SHRUB PLAN**

DATE: 20.06.04 DRAWING NUMBER:  
SCALE: 1/8" = 1'-0"  
DRAWN: MC **L3**  
DESIGN: MC  
CHK'D: PC OF 13

PMG PROJECT NUMBER: 21-178

**DP 22-013081 March 6, 2024 PLAN #16**

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
25	24.FEB.20	UPDATE GAS METER SCREENING	CLG
24	24.FEB.02	ISSUED FOR TENDER REVIEW	CW
23	24.JAN.26	REVISED ENTRY	CW
22	24.JAN.14	ISSUE FOR DP	CLG
21	24.JAN.10	INCREASE PLANTING TO 20% LOT AREA	SA
20	23.NOV.24	REVISE PER COMMENTS	WZ
19	23.NOV.05	UPDATE PER COMMENTS	CLG

CLIENT:

PROJECT:

**SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT**

8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:

**GROUND LEVEL SHRUB PLAN**

DATE: 20.06.04 DRAWING NUMBER:

SCALE: 1/8" = 1'-0"

DRAWN: MC

DESIGN: MC

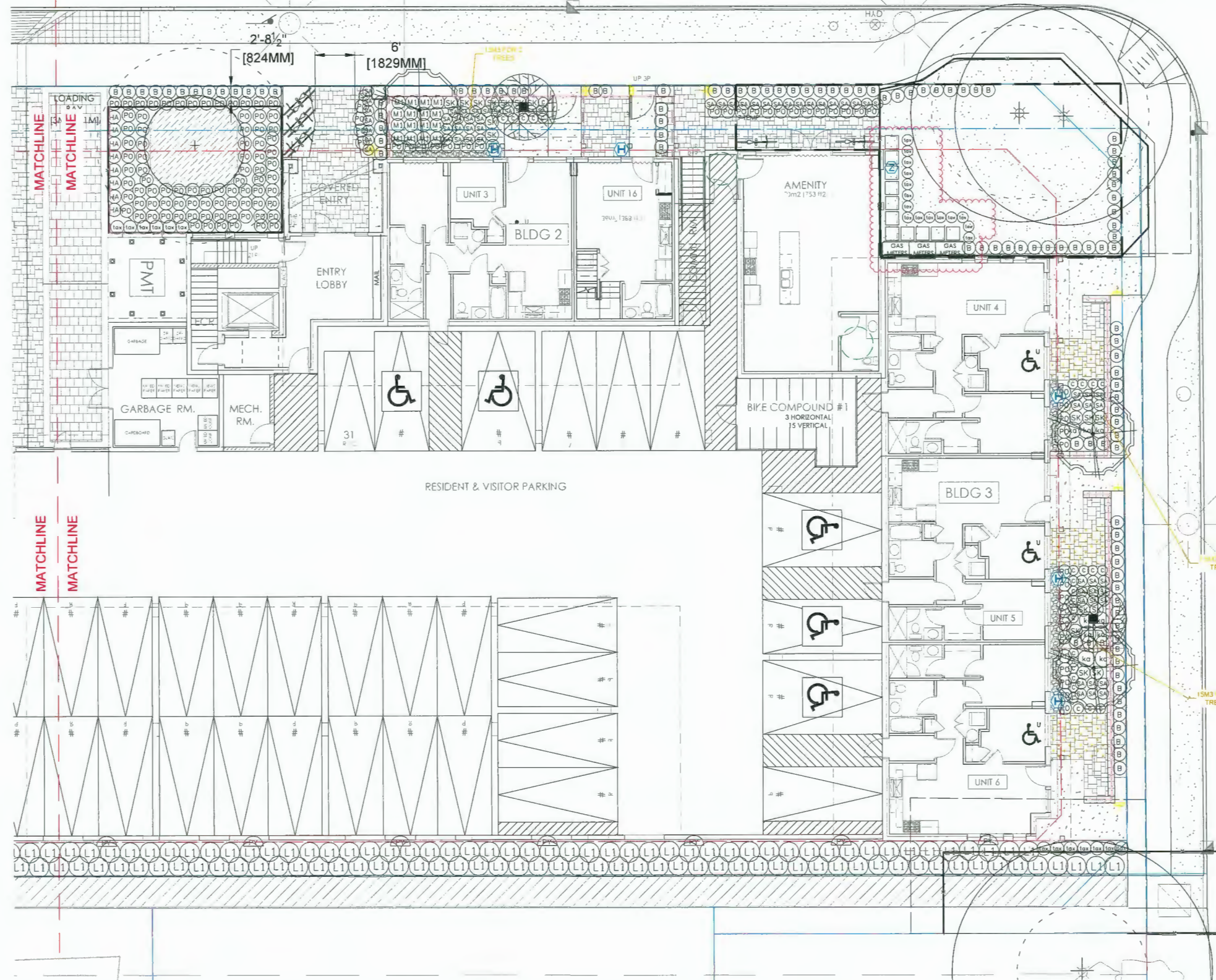
CHKD: PC

**L4**

OF 13

PMG PROJECT NUMBER:

21-176



STRUCTURAL SOIL, ROOT PERMEABLE BASE COURSE - REFER TO DETAIL 16 / L8 AND SPECIFICATION



**DP 22-013081**

**March 6, 2024**

**PLAN #17**

SEAL:



25	24.FEB.20	UPDATE GAS METER SCREENING	CLG
24	24.FEB.02	ISSUED FOR TENDER REVIEW	CW
23	24.JAN.26	REVISED ENTRY	CW
22	24.JAN.16	ISSUE FOR DP	CLG
21	24.JAN.10	INCREASE PLANTING TO 20% LOT AREA	SA
20	23.NOV.14	REVISE PER COMMENTS	WZ
19	23.NOV.08	UPDATE PER COMMENTS	CLG
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

**SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT**

**8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND**

DRAWING TITLE:

**LEVEL 2 LANDSCAPE PLAN**

DATE: 20.06.04 DRAWING NUMBER:  
SCALE: 3/32" = 1'-0"  
DRAWN: MC  
DESIGN: MC  
CHK'D: PC

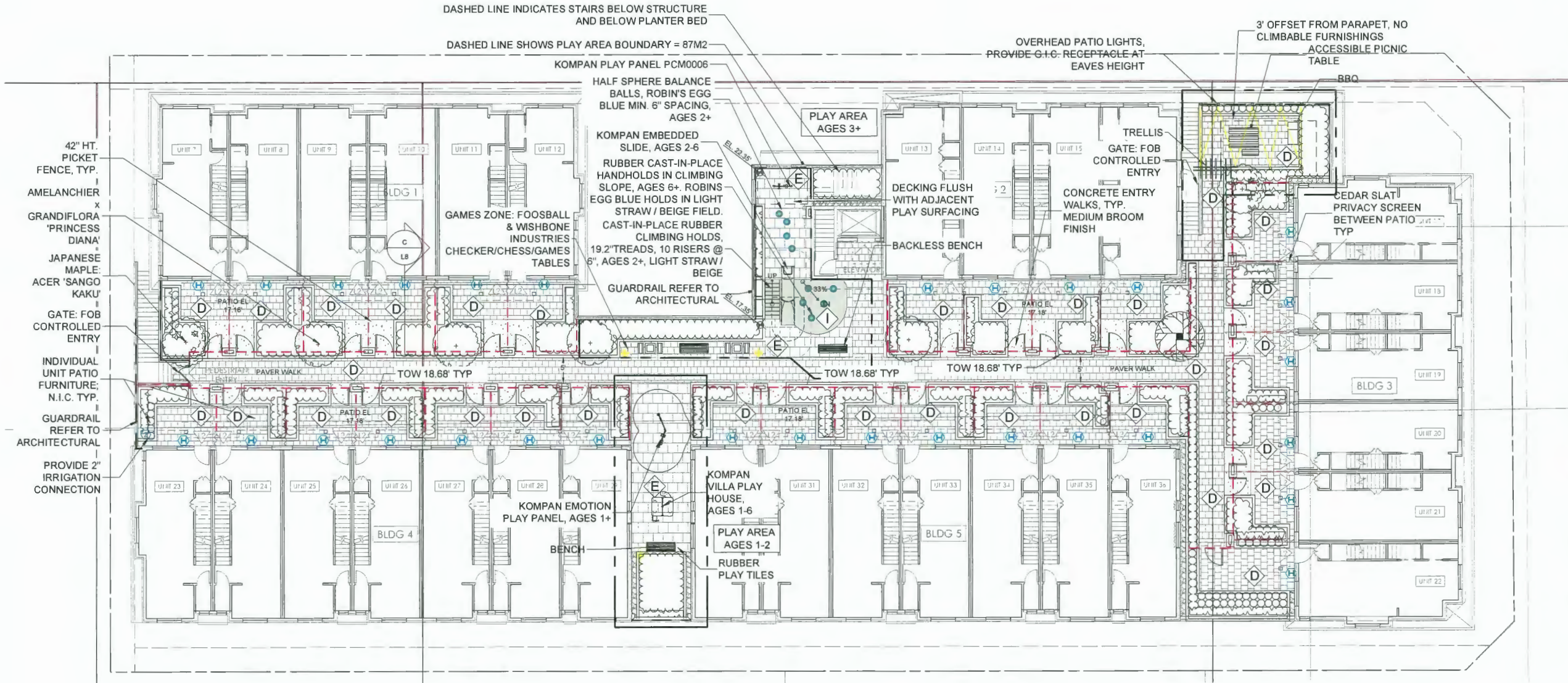
**L5**

OF 13

21176-24.ZIP

PMG PROJECT NUMBER:

21-176



**Hardscape Material Legend**

Symbol	Model
	PERMEABLE PAVER: ABBOTSFORD CONCRETE AQUAPAVE, VENETIAN, 90MM COPPER CANYON COLOUR, RANDOM PATTERN. DETAIL 22 / L8 ++
	CONCRETE SIDEWALK, DETAIL BY OTHERS, BROOM FINISH, TOOLED CONTROL JOINTS. *NOT PERMEABLE. DETAIL 26 / L8
	ABBOTSFORD CONCRETE, HYDRAPRESSED SLABS, TEXADA FINISH, RUNNING BOND PATTERN, NATURAL COLOUR. DETAIL 6 / L7
	RUBBER PLAY TILES, RUNNING BOND PATTERN, ALTERNATING BLUE, GREEN TILES. USE 50% BLACK / 50% COLOUR MIX. DETAIL 3 / L7

**Fencing Legend**

Symbol	Model
	5' HT. PRIVACY SCREEN DETAIL 21 / L8
	42" HT. WOOD PICKET FENCE DETAIL 11 / L7
	42" HT. METAL PICKET FENCE DETAIL 23 / L8
	6' HT. PERIMETER FENCE DETAIL 14 / L8
	3' HT. FRONTAGE FENCE DETAIL 24 / L8

**Site Furnishing Legend**

Symbol	Model
	MAGLIN SCBR 1600, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE. 2-BIKE CAPACITY* SITE TOTAL 'CLASS 2' 36 UNITS X 0.2 = 8
	MAGLIN MLB310-W-PC BENCH, HDPC SLATS CHARCOAL COLOUR AND BLACK POWDERCOAT * ++
	HOSE BIB

\*MOUNT ALL SITE FURNISHINGS ON CONCRETE PAD PER MANUFACTURER'S SPECIFICATION, USING TAMPER-RESISTANT HARDWARE  
++ SUSTAINABLE FIXTURE - USES RECYCLED MATERIALS



++ SUSTAINABLE FIXTURE - ALLOWS RAINWATER RECHARGE BY INFILTRATION.

**DP 22-013081**

**March 6, 2024**

**PLAN #18**

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
25	24.FEB.20	UPDATE GAS METER SCREENING	CLG
24	24.FEB.03	ISSUED FOR TENDER REVIEW	CW
23	24.JAN.28	REVISED ENTRY	CW
22	24.JAN.16	ISSUE FOR DP	CLG
21	24.JAN.10	INCREASE PLANTING TO 20% LOT AREA	SA
20	23.NOV.14	REVISE PER COMMENTS	WZ
19	23.NOV.03	UPDATE PER COMMENTS	CLG

CLIENT:

PROJECT:

**SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT**

8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:

**LEVEL 2 AMENITY DETAIL PLAN**

DATE: 20.06.04 DRAWING NUMBER:

SCALE: 1/8" = 1'-0"

DRAWN: MC

DESIGN: MC

CHK'D: PC

**L6**

OF 13



WISHBONE BAYVIEW GAMES TABLE: WALNUT SLATS AND NORDIC LICHEN POWDERCOAT

MAGLIN SCBR 1600 BIKE RACK BLACK POWDERCOAT



KOMPAN 'EMOTION' PLAY PANEL



KOMPAN EMBEDDED SLIDE



RUBBER SLOPE WITH HANDHOLDS



PALASON FOOSBALL TABLE - COMMERCIAL OUTDOOR GRADE: 'SOC TBL LO STORM F3'



KOMPAN 'MANIPULATIVE' PLAY PANEL



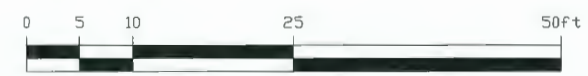
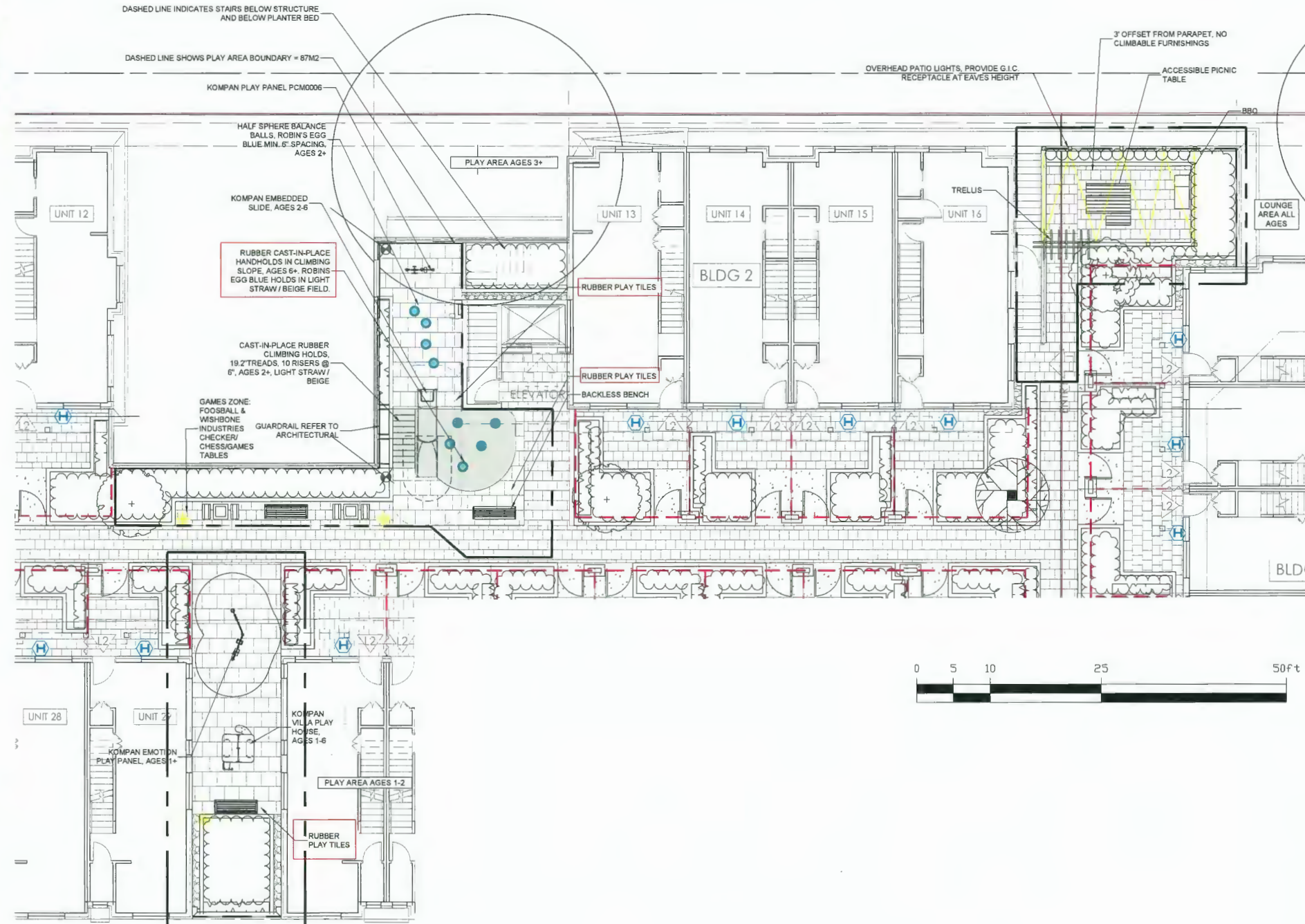
MAGLIN MBR 350 BIKE RACK: BLACK POWDERCOAT



WISHBONE BAYVIEW BACKLESS BENCH: WALNUT SLATS & NORDIC LICHEN POWDERCOAT



KOMPAN VILLA PLAY HOUSE



**Fencing Legend**

Symbol	Model
	5' HT. PRIVACY SCREEN DETAIL 21 / L8
	42" HT. WOOD PICKET FENCE DETAIL 11 / L7
	42" HT. METAL PICKET FENCE DETAIL 23 / L8
	6' HT. PERIMETER FENCE DETAIL 14 / L8
	3' HT. FRONTAGE FENCE DETAIL 24 / L8

**Site Furnishing Legend**

Symbol	Model
	MAGLIN SCBR 1600, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE. 2-BIKE CAPACITY* SITE TOTAL 'CLASS 2' 36 UNITS X 0.2 = 8
	MAGLIN MLB310-W-PC BENCH, HDPC SLATS CHARCOAL COLOUR AND BLACK POWDERCOAT * ++
	HOSE BIB

\*MOUNT ALL SITE FURNISHINGS ON CONCRETE PAD PER MANUFACTURER'S SPECIFICATION, USING TAMPER-RESISTANT HARDWARE  
++ SUSTAINABLE FIXTURE - USES RECYCLED MATERIALS

SEAL:



25	24.FEB.20	UPDATE GAS METER SCREENING	CLB
24	24.FEB.22	ISSUED FOR TENDER REVIEW	CW
23	24.JAN.25	REVISED ENTRY	CW
22	24.JAN.18	ISSUE FOR OP	CLB
21	24.JAN.10	INCREASE PLANTING TO 20% LOT AREA	SA
20	23.NOV.14	REVISE PER COMMENTS	WZ
19	23.NOV.03	UPDATE PER COMMENTS	CLB

CLIENT:

PROJECT:

**SPIRES II 38 UNIT  
TOWNHOUSE DEVELOPMENT**  
8800, 8780, 8760 SPIRES GATE  
AND 8740 SPIRES ROAD  
RICHMOND

DRAWING TITLE:

**LEVEL 2  
SHRUB PLAN**

DATE: 20.06.04 DRAWING NUMBER:

SCALE: 1/8" = 1'-0"

DRAWN: MC

DESIGN: MC

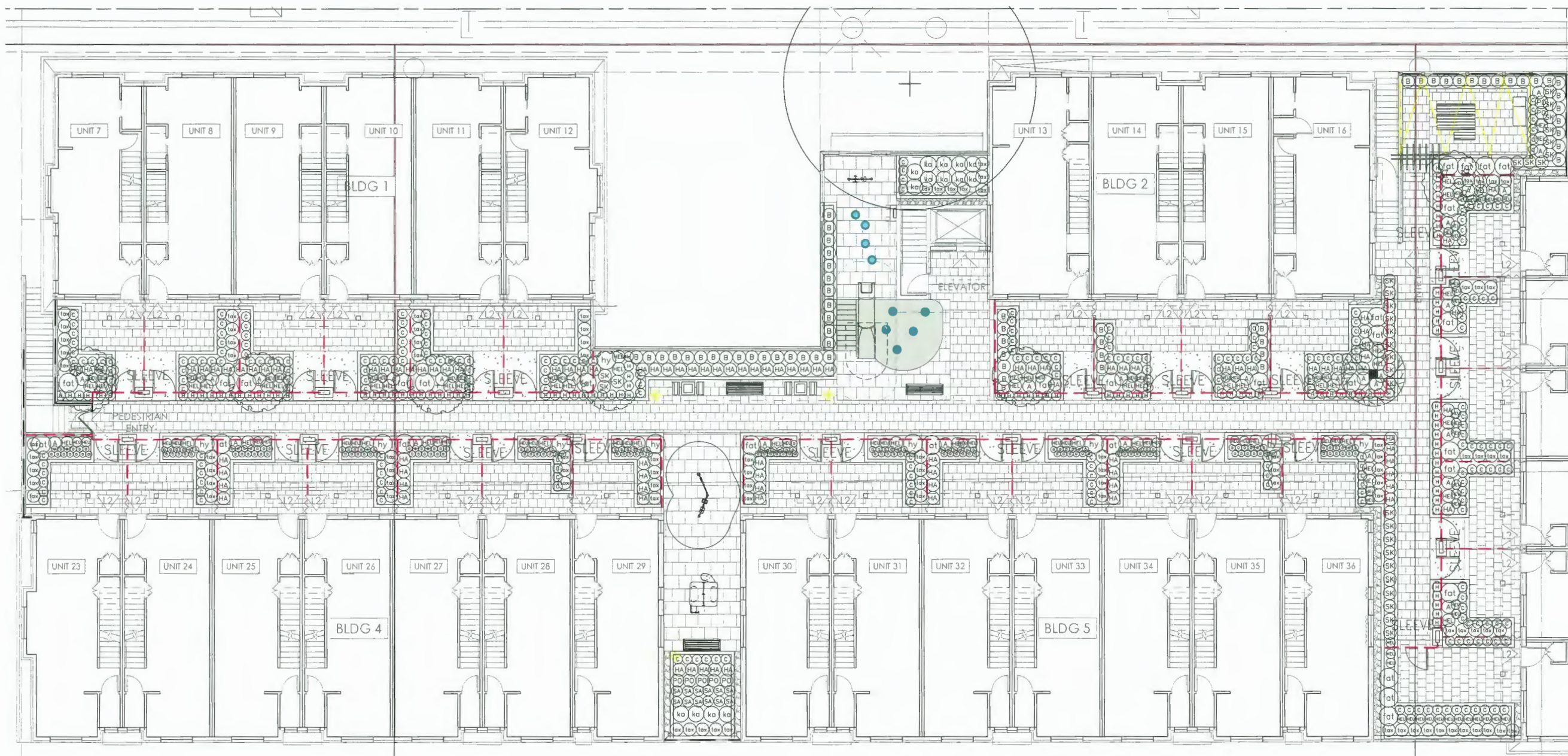
CHKD: PC

PMG PROJECT NUMBER:

21-176

**L7**

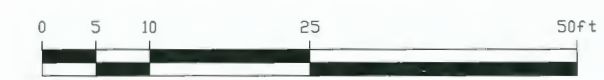
OF 13



**UPPER LEVEL PLANT SCHEDULE** PMG PROJECT NUMBER: 21-176

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
<b>TREE</b>				
(A)	4	AMELANCHIER x GRANDIFLORA 'PRINCESS DIANA'	PRINCESS DIANA SERVICEBERRY	8CM CAL; 1.5M STD; B&B; NATIVE; BIRD-FRIENDLY; CLIMATE RESILIENT
(B)	1	CERCIS CANADENSIS 'COVEY'	LAVENDER TWIST REDBUD	8CM CAL; 1.8M STD; B&B; NATIVE; CLIMATE RESILIENT
(C)	2	CRATAEGUS DOUGLASII	BLACK HAWTHORN	8CM CAL; 1.5M STD; B&B; NATIVE; BIRD-FRIENDLY; CLIMATE RESILIENT
<b>SHRUB</b>				
(B)	61	BUXUS SEMPERVIRENS	COMMON BOXWOOD	#3 POT; 40CM
(M)	30	FATSIA JAPONICA	JAPANESE ARALIA	#2 POT; 40CM MULTISTEM
(N)	9	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA; BLUE	#2 POT; 50CM
(V)	14	PIERIS JAPONICA 'CAVATINE'	DWARF LILY OF THE VALLEY BUSH	#2 POT; 30CM; MATURE HT: 900MM
(SK)	12	SARCOCOCCA HOOKERANA VAR. HUMILIS	HIMALAYAN SWEET BOX	#3 POT; 35CM
(SK)	31	SKIMMIA JAPONICA	JAPANESE SKIMMIA	#3 POT; 50CM
(M)	96	TAXUS x MEDIA 'HICKSII'	HICK'S YEW	1.5M B&B
<b>GRASS</b>				
(C)	248	CAREX ELATA 'AUREA'	BOWLE'S GOLDEN SEDGE	#1 POT
(HA)	98	HAKONECHLOA MACRA 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	#1 POT
(H)	100	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT
(D)	176	OPHIOPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	#1 POT
<b>PERENNIAL</b>				
(A)	29	ADIANTUM PEDATUM	NORTHERN MAIDENHAIR FERN	#1 POT
(M)	52	HELLEBORUS x HYBRIDUS	LENTEN ROSE	15CM POT
(M)	83	HEUCHERA MACRANTHA 'PALACE PURPLE'	CORAL BELLS; PURPLE-RED	15CM POT
(CC)	7	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 20CM

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW. MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



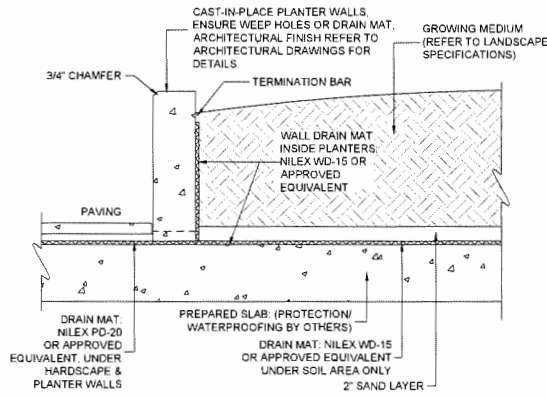
**DP 22-013081 March 6, 2024 PLAN #20**

NOTE: INFORMATION SYSTEM FOR ALL SITE LANDSCAPE AREAS; TO BE DESIGN-BUILD PROVIDE SUBSTITUTIONS FOR REVIEW PRIOR TO CONSTRUCTION. REFER TO IIBC STANDARDS. USE HIGH EFFICIENT IRRIGATION SYSTEMS.

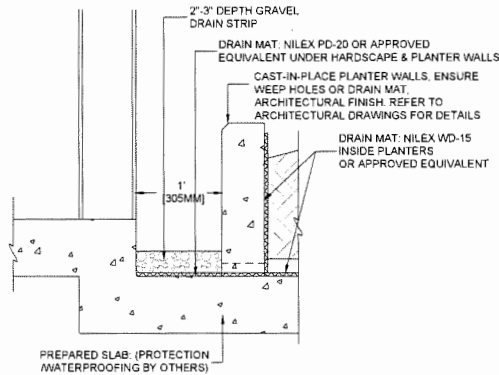
21176-24.ZIP



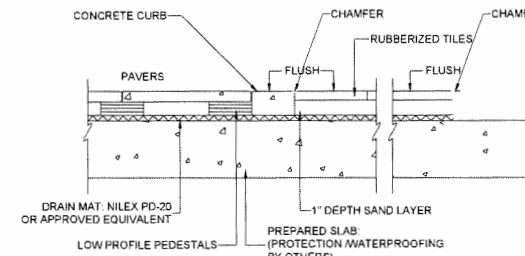
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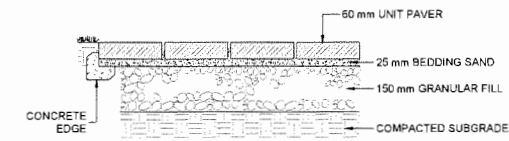
**1** PLANTER WALL ON SLAB  
1"=1'-0"



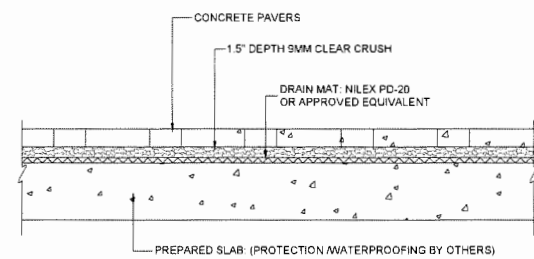
**2** DRAIN ROCK STRIP AT BUILDING ON SLAB  
1"=1'-0"



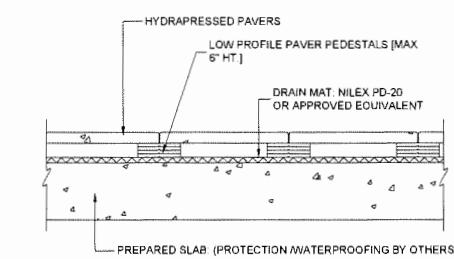
**3** PLAY SURFACE EDGE ON SLAB  
1"=1'-0"



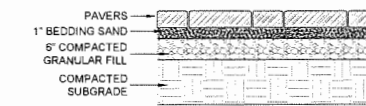
**4** PAVERS EDGE  
1"=1'-0"



**5** PAVERS ON SLAB  
1"=1'-0"

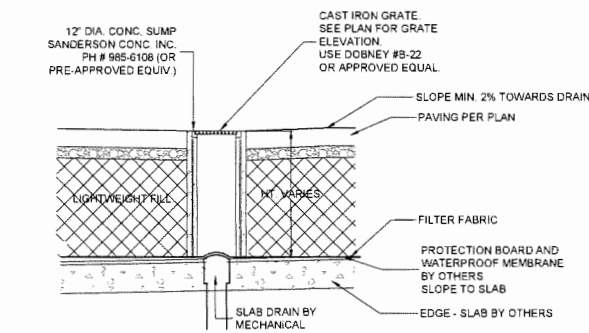


**6** HYDRAPRESSED PAVERS ON SLAB  
1"=1'-0"

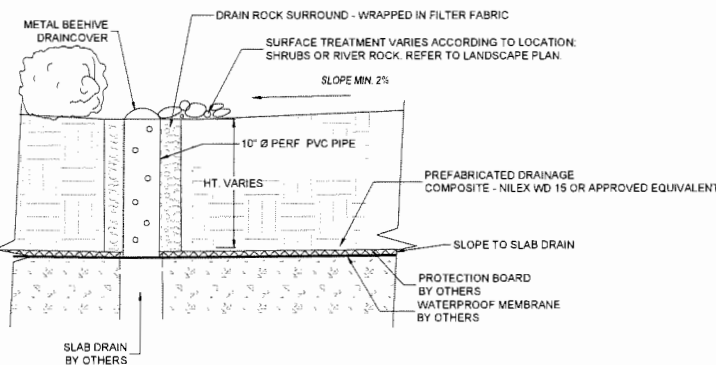


**7** PAVERS ON GRADE  
1"=1'-0"

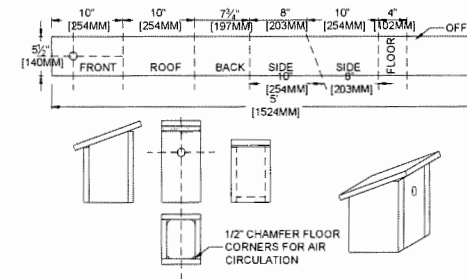
NOTE:  
PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS



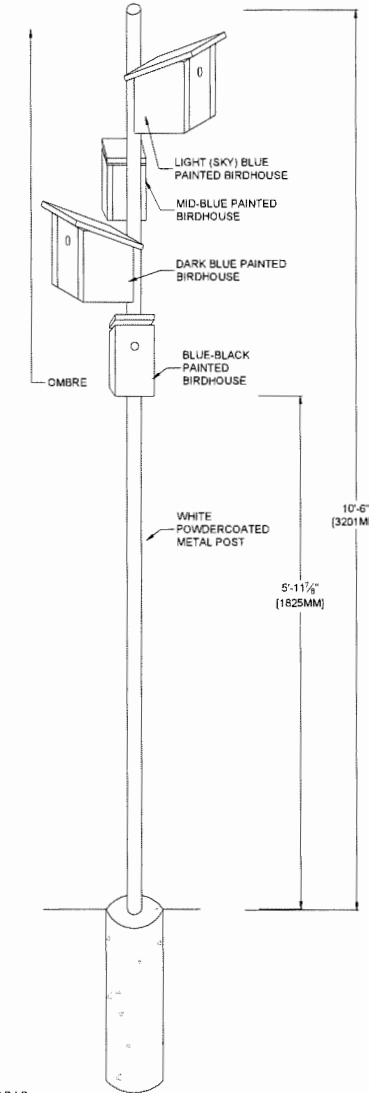
**8** BILEVEL DRAIN IN HARDSCAPE  
1"=1'-0"



**9** BILEVEL DRAIN IN THE LANDSCAPE  
1"=1'-0"



**10** 'ONE BOARD' BIRDHOUSE  
1"=1'-0"



NO.	DATE	REVISION DESCRIPTION	DR.
25	24 FEB 20	UPDATE GAS METER SCREENING	CLD
24	24 FEB 02	ISSUED FOR TENDER REVIEW	CW
23	24 JAN 26	REVISED ENTRY	CW
22	24 JAN 18	ISSUE FOR DP	CLD
21	22 JAN 10	INCREASE PLANTING TO 30% LOT AREA	SA
20	22 NOV 14	REVISE PER COMMENTS	WZ
19	23 NOV 03	UPDATE PER COMMENTS	CLD

CLIENT:

PROJECT:

**SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT**  
8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:  
**LANDSCAPE DETAILS**

DATE: 20.06.04 DRAWING NUMBER:

SCALE: AS SHOWN

DRAWN: MC

DESIGN:

CHK'D: PC

PMG PROJECT NUMBER

21176-24.ZIP

21-176

**L8**

OF 13

**DP 22-013081 March 6, 2024 PLAN #21**

**17** PLANTING DETAILS  
1/2"=1'-0"

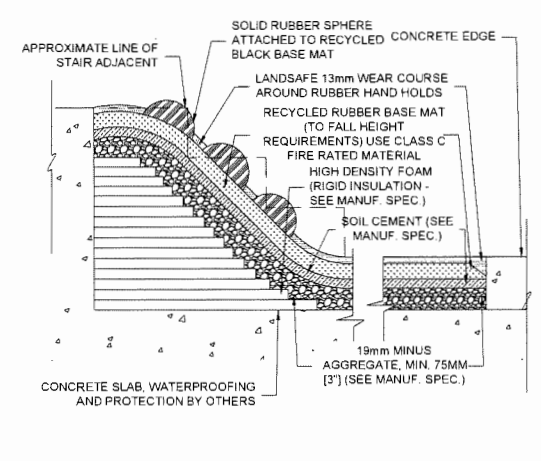
**11** 42" HT. PICKET FENCE  
1/2"=1'-0"

**11** 42" HT. PICKET FENCE  
1/2"=1'-0"

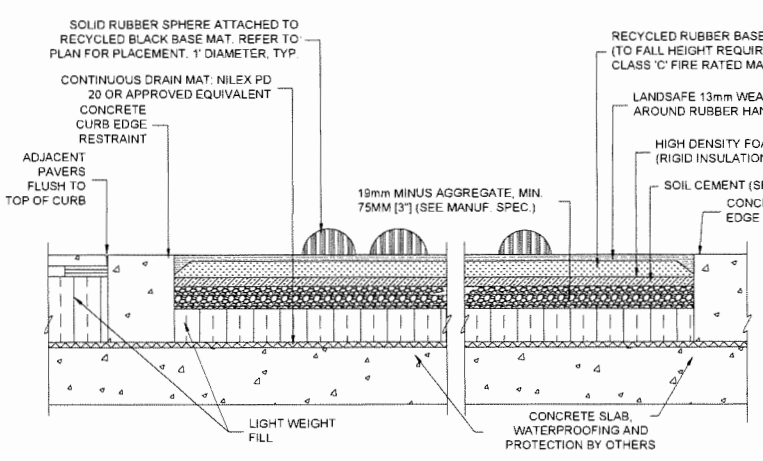
**12** SLIDE BASE REQUIREMENTS  
1/2"=1'-0"

**12** SLIDE BASE REQUIREMENTS  
1/2"=1'-0"

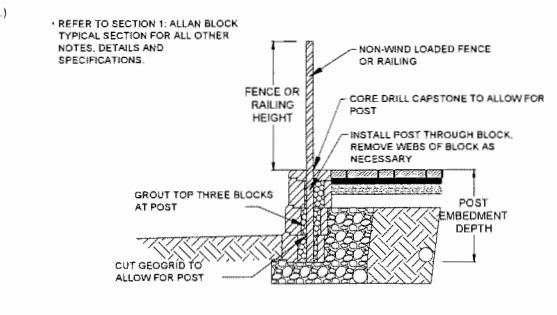
SEAL:



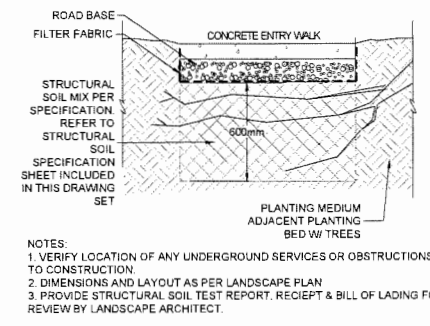
**28 RUBBER PLAY SURFACING W/ HANDHOLDS**  
1/2"=1'-0"



**13 RUBBER PLAY SURFACING W/ PLAY DOMES**  
1/2"=1'-0"

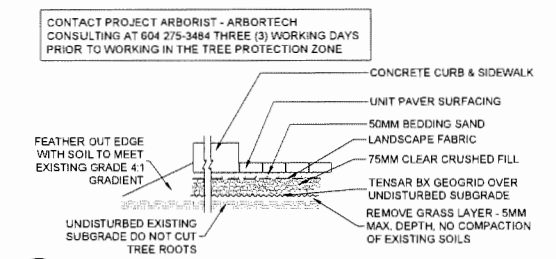


**15 FENCE POST ON GRAVITY BLOCK WALL**  
1/2"=1'-0"

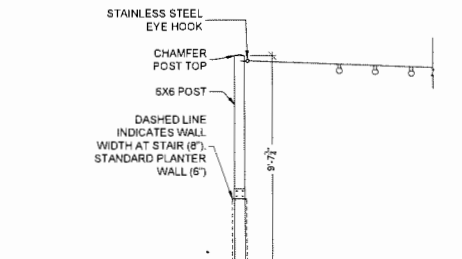


**16 STRUCTURAL SOIL**  
1/2"=1'-0"

NOTES:  
1. VERIFY LOCATION OF ANY UNDERGROUND SERVICES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION.  
2. DIMENSIONS AND LAYOUT AS PER LANDSCAPE PLAN  
3. PROVIDE STRUCTURAL SOIL TEST REPORT, RECEIPT & BILL OF LADING FOR REVIEW BY LANDSCAPE ARCHITECT.

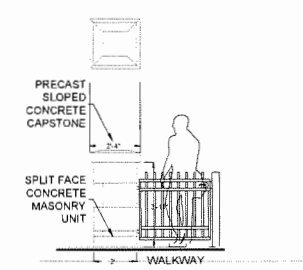


**17 UNIT PAVER DETAIL THROUGH ROOT ZONE**  
1/2"=1'-0"

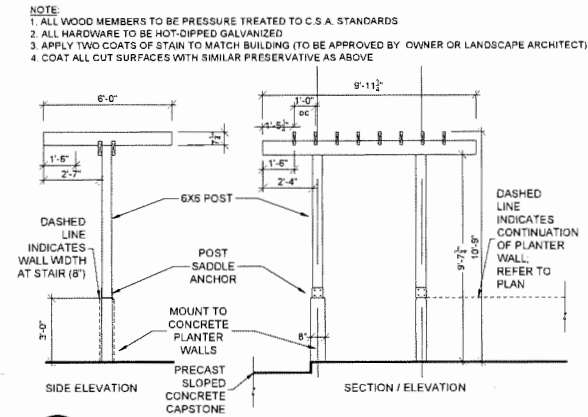


**27 STRING LIGHT SUPPORT POST**  
1/4"=1'-0"

NOTE:  
1. ALL WOOD MEMBERS TO BE PRESSURE TREATED TO C.S.A. STANDARDS  
2. ALL HARDWARE TO BE HOT-DIPPED GALVANIZED  
3. APPLY TWO COATS OF STAIN TO MATCH BUILDING (TO BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT)  
4. COAT ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE

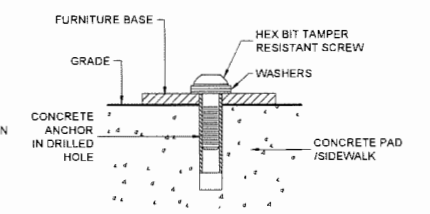


**18 ADDRESS COLUMN**  
1/4"=1'-0"



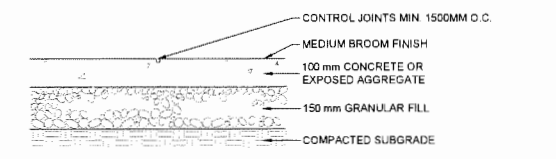
**19 TRELLIS**  
1/4"=1'-0"

NOTE:  
1. ALL WOOD MEMBERS TO BE PRESSURE TREATED TO C.S.A. STANDARDS  
2. ALL HARDWARE TO BE HOT-DIPPED GALVANIZED  
3. APPLY TWO COATS OF STAIN TO MATCH BUILDING (TO BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT)  
4. COAT ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE

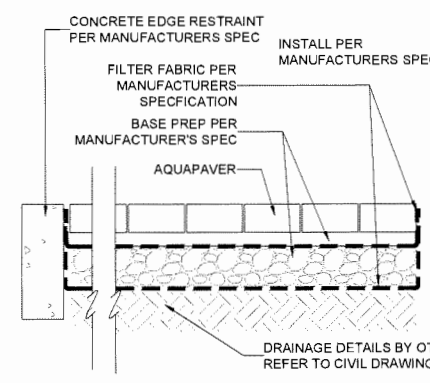


**20 SITE FURNITURE MOUNTING**  
1:2

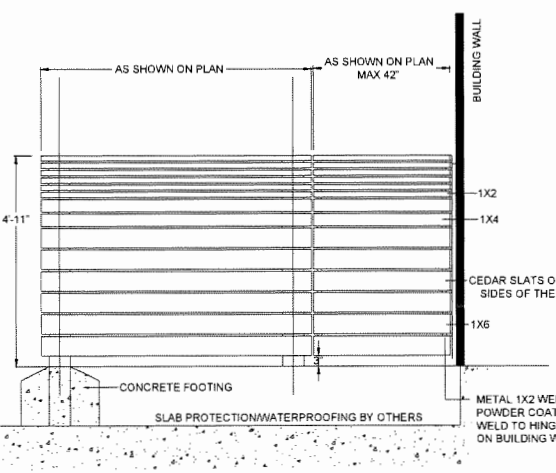
NOTE:  
SITE FURNISHINGS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS



**26 CONCRETE WALK**  
1"=1'-0"

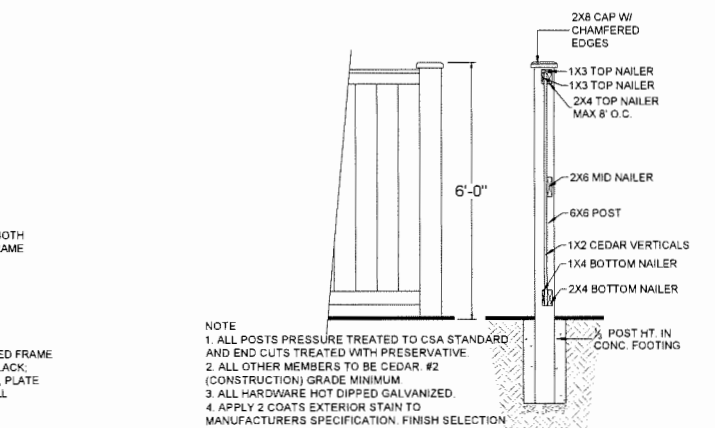


**22 PERMEABLE PAVERS**  
1"=1'-0"



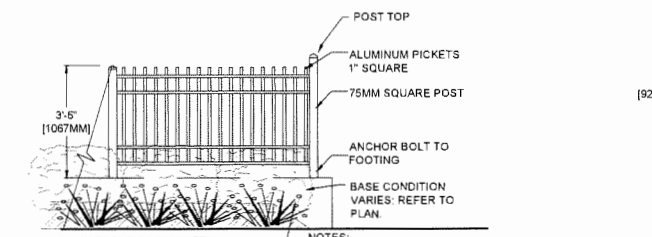
**14 6'-0" HT WOOD FENCE**  
1/2"=1'-0"

NOTES:  
1. ALL HARDWARE HOT DIPPED GALVANIZED.  
2. CEDAR TO BE S4S, CLEAR GRADE, NO VISIBLE KNOTS  
3. DETAIL FOR CONCEPTUAL DESIGN PURPOSE ONLY.



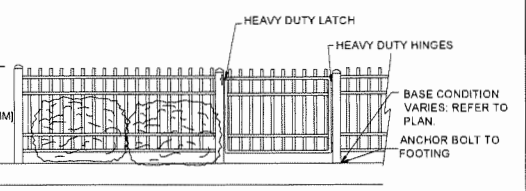
**14 6'-0" HT WOOD FENCE**  
1/2"=1'-0"

NOTE:  
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE  
2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM  
3. ALL HARDWARE HOT DIPPED GALVANIZED  
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION, FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.  
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-4".



**23 42" HT. METAL PICKET**  
3/8"=1'-0"

NOTES:  
1. METAL: POWDERCOATED ALUMINUM PICKETS  
2. SMOOTH WELD ALL JOINTS  
3. POWDER COAT METAL WITH CASCADIA ZINC GREY  
4. REFER ALSO TO 'FENCE POST ON GRAVITY WALL' DETAIL.



**24 3' HT. FRONTAGE FENCE WITH GATE**  
1"=1'-0"

NOTES:  
1. METAL: POWDERCOATED ALUMINUM PICKETS  
2. SMOOTH WELD ALL JOINTS  
3. POWDER COAT METAL WITH CASCADIA ZINC GREY  
4. REFER ALSO TO 'FENCE POST ON GRAVITY WALL' DETAIL.

NO.	DATE	REVISION DESCRIPTION	DR.
25	24.FEB.20	UPDATE GAS METER SCREENING	CLG
24	24.FEB.02	ISSUED FOR TENDER REVIEW	CW
23	24.JAN.26	REVISED ENTRY	CW
22	24.JAN.16	ISSUE FOR SP	CLG
21	24.JAN.10	INCREASE PLANTING TO 30% LOT AREA	SA
20	23.NOV.14	REVISE PER COMMENTS	MS
19	23.NOV.03	UPDATE PER COMMENTS	CLG

CLIENT:

PROJECT:

**SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT**  
8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:  
**LANDSCAPE DETAILS**

DATE: 20.06.04 DRAWING NUMBER:  
SCALE: AS SHOWN **L9**  
DRAWN: MC  
DESIGN: PC OF 13  
CHK'D: PC

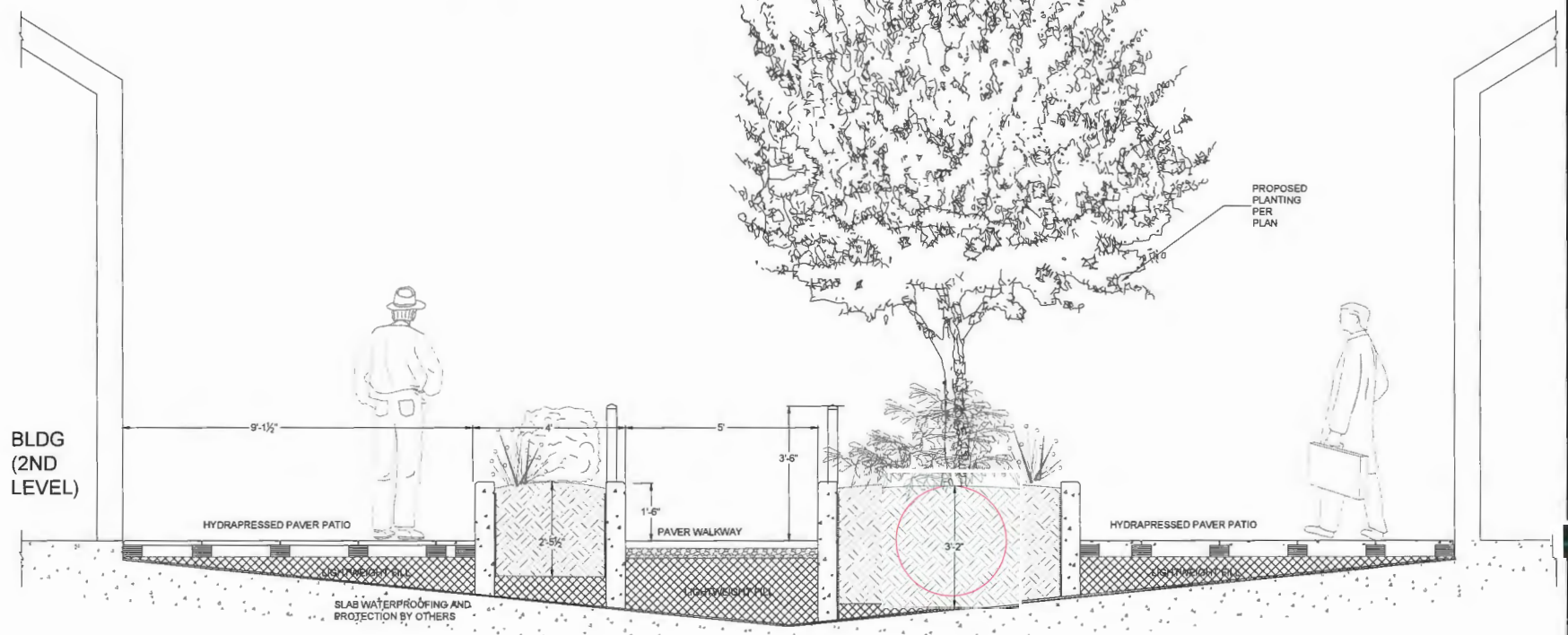
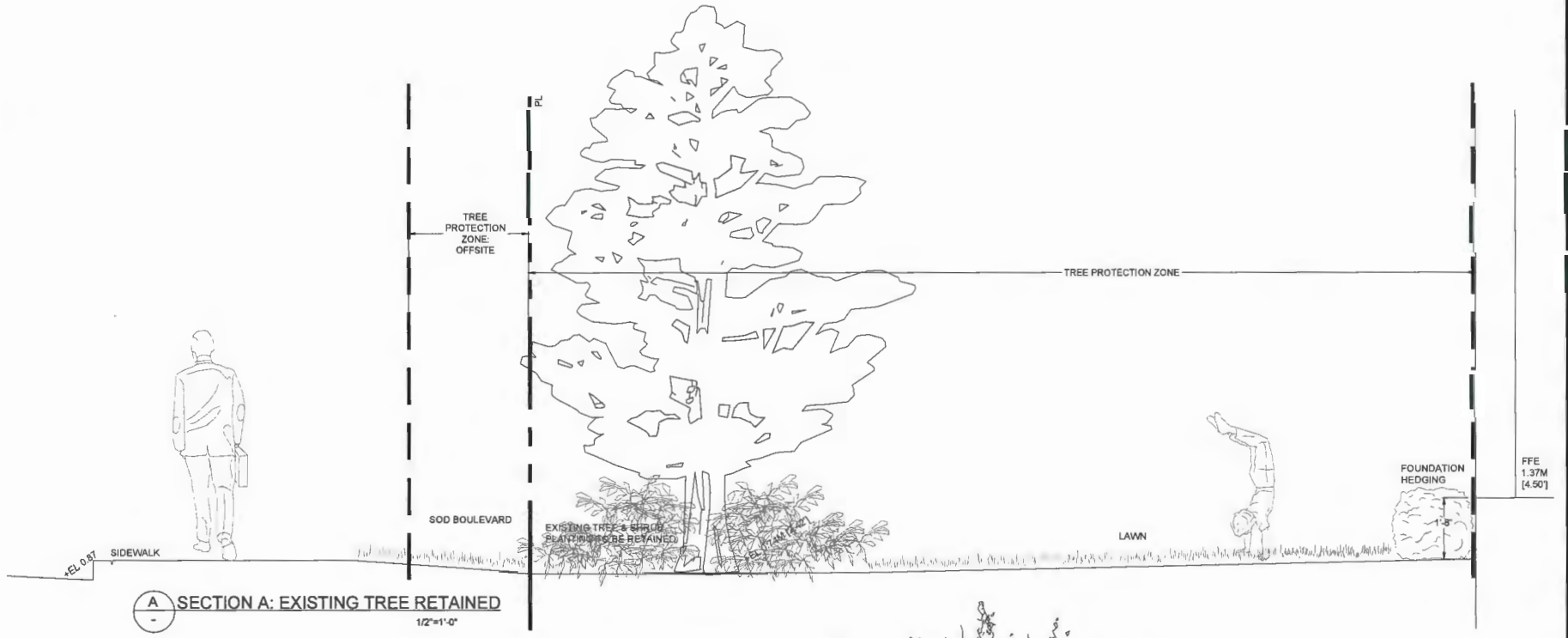
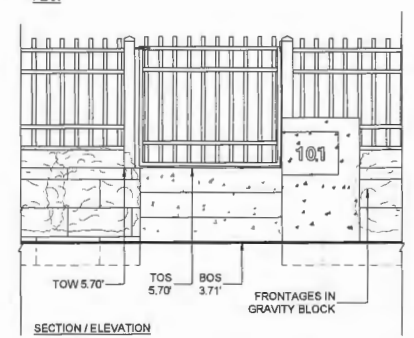
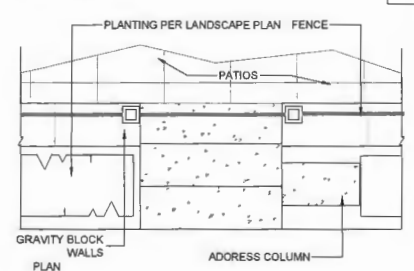
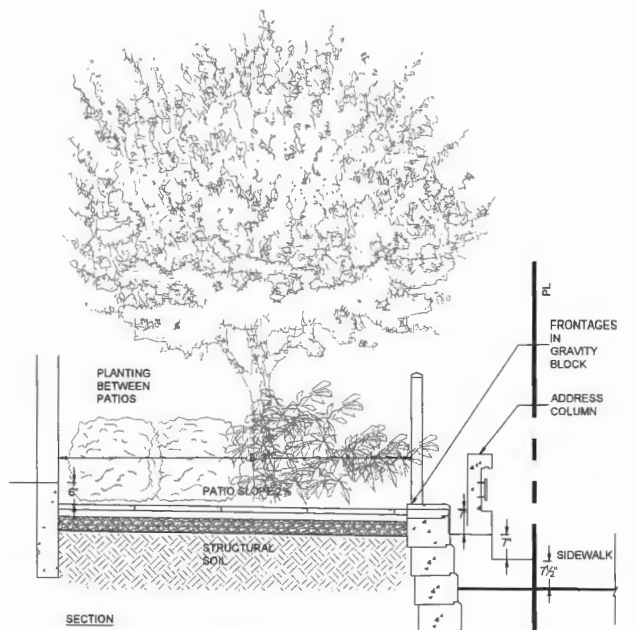
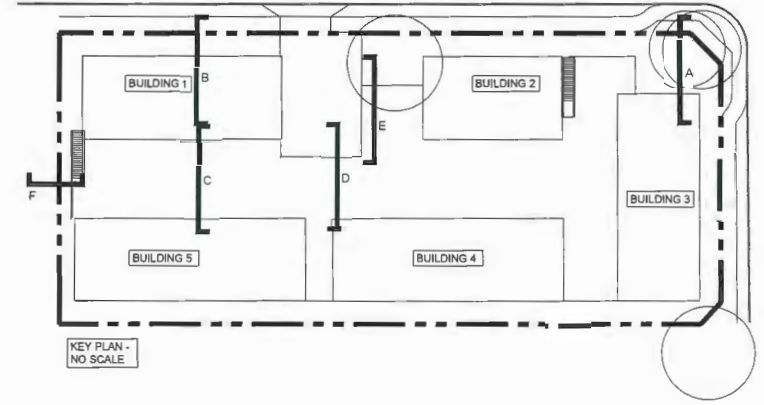
PMG PROJECT NUMBER: 21176-24.ZIP 21-176

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Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 ; f: 604 294-0022

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
25	24.FEB.20	UPDATE GAS METER SCREENING	CLG
24	24.FEB.02	ISSUED FOR TENDER REVIEW	CW
23	24.JAN.26	REVISED ENTRY	CW
22	24.JAN.16	ISSUE FOR DP	CLG
21	24.JAN.10	INCREASE PLANTING TO 20% LOT AREA	SA
20	23.NOV.14	REVISE PER COMMENTS	WZ
19	23.NOV.03	UPDATE PER COMMENTS	CLG

CLIENT:

PROJECT:

**SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT**  
8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:  
**LANDSCAPE SECTIONS**

DATE: 20.06.04 DRAWING NUMBER:  
SCALE: AS SHOWN **L10**  
DRAWN: MC  
DESIGN: PC OF 13  
CHK'D: PC

PMG PROJECT NUMBER: 21-176

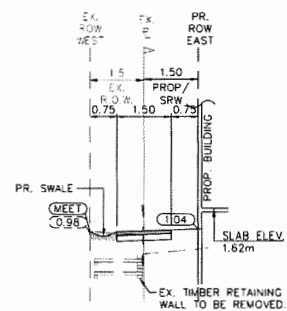
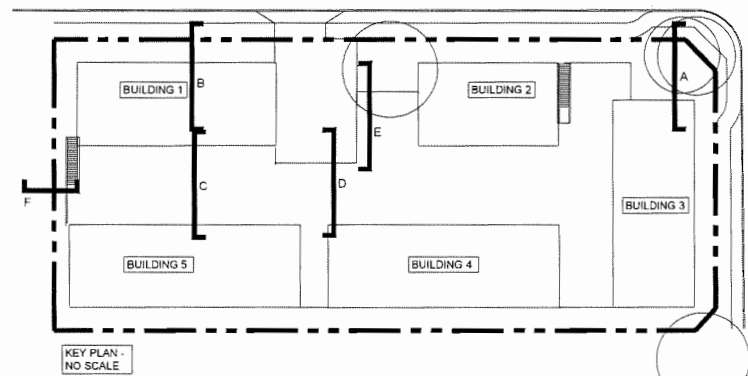
**DP 22-013081**

**March 6, 2024**

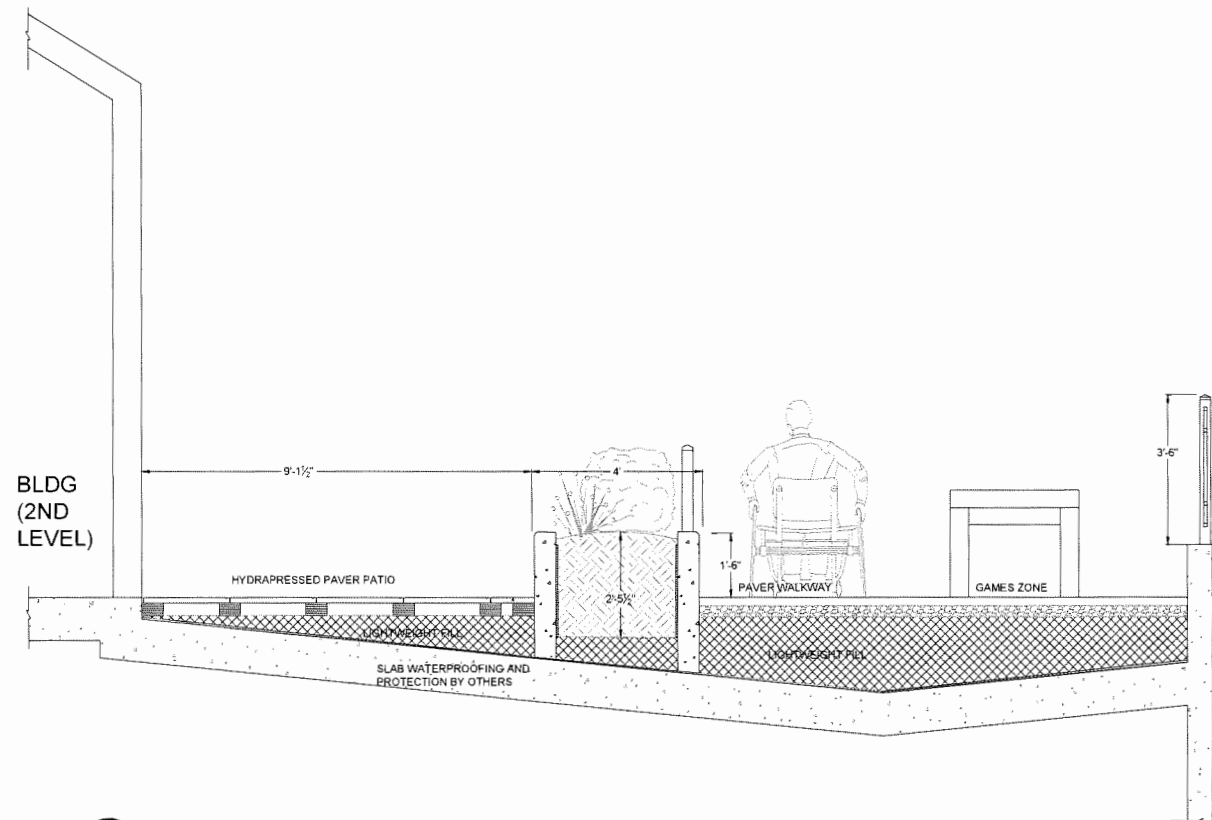
**PLAN #23**

21176-24.2IP

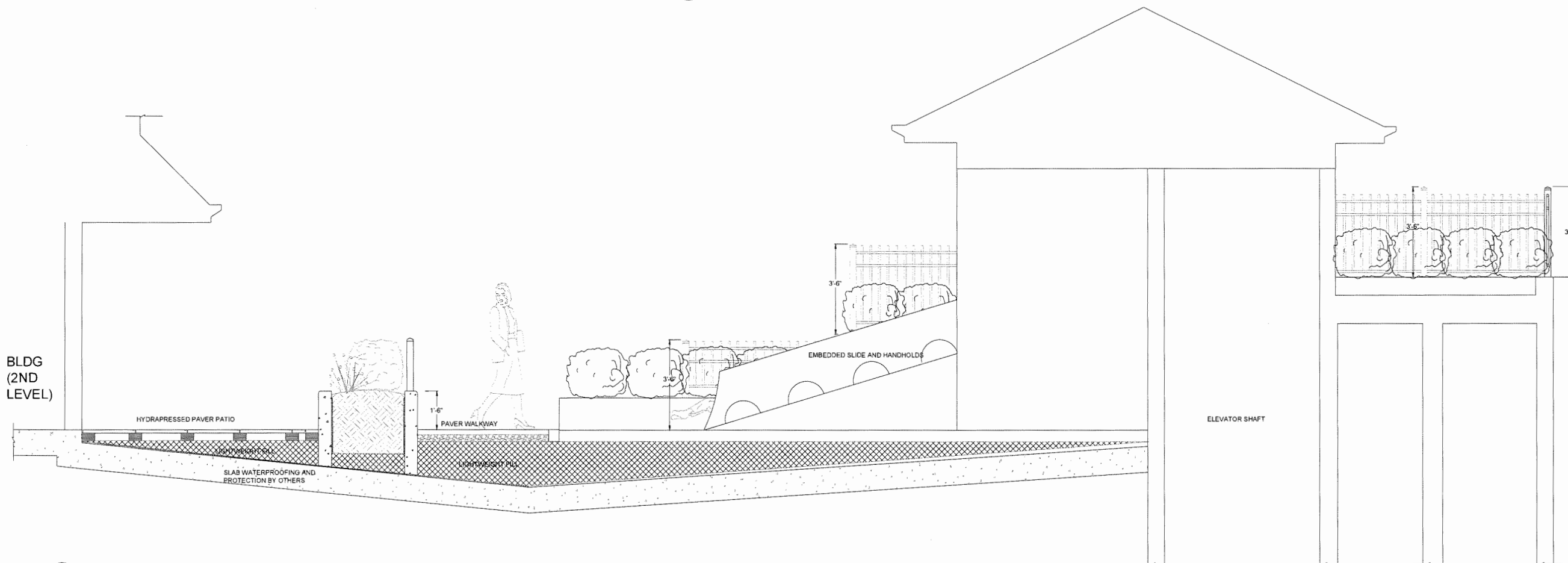
SEAL:



**F** WEST PL CIVIL SECTION SWALE  
1/8" = 1'-0" HORIZ./INTS VERT.



**D** SECTION D: PODIUM LEVEL PLAY AREA  
1/2" = 1'-0"



**E** SECTION E: PODIUM LEVEL PLAY AREA  
1/2" = 1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
25	24.FEB.20	UPDATE GAS METER SCREENING	CLG
24	24.FEB.02	ISSUED FOR TENDER REVIEW	CW
23	24.JAN.26	REVISED ENTRY	CW
22	24.JAN.16	ISSUE FOR DP	CLG
21	24.JAN.10	INCREASE PLANTINGS TO 20% LOT AREA	SA
20	23.NOV.14	REVISE PER COMMENTS	WZ
19	23.NOV.09	UPDATE PER COMMENTS	CLG

CLIENT:

PROJECT:

**SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT**  
8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:  
**LANDSCAPE SECTIONS**

DATE: 20.06.04 DRAWING NUMBER:  
SCALE: AS SHOWN **L11**  
DRAWN: MC  
DESIGN: **L11**  
CHK'D: PC OF 13

21176-24.ZIP PMG PROJECT NUMBER: 21-176

**DP 22-013081 March 6, 2024 PLAN #24**

PART ONE - GENERAL	
11. COPYRIGHT	<p>1. The Structural Soil specification is provided as an instrument of service and remains the property of PMG Landscape Architects. The information provided in this specification is for exclusive use by our client for the specific project noted. This information contained in this document may not be reproduced or distributed, in whole or in part, without the permission of PMG Landscape Architects.</p>
12. SCOPE OF WORK	<p>1. The work of this section shall govern the supply of all equipment, materials and labour necessary for the preparing and placing and compacting Structural Soil Mix on a prepared sub grade.</p> <p>2. It is the intent that the structural soil mixture will provide the necessary load bearing characteristics for light load hard surface paving areas while allowing and promoting the development of tree roots. The long term goals the promotion of healthy, long lived trees while reducing the potential negative implications of large scale root development under hard surface areas.</p> <p>3. Refer to drawings for location and dimension of structural soil mixture.</p> <p>4. All other related work as described in the drawings and/or this specification.</p>
13. RELATED WORK	<p>1. Section 02100, Landscape Requirements</p> <p>2. Section 02710, Landscape Drainage</p> <p>3. Section 02810, Irrigation System</p> <p>4. Section 02933, Sodding (Seeding)</p> <p>5. Section 02966, Planting Trees, Shrubs, and Groundcover</p>
14. RELATED MASTER MUNICIPAL SPECIFICATIONS	<p>1. Contractor to report all conflicts with civil engineering to Landscape Architect</p> <p>2. Section 02710, Site Grading</p> <p>3. Section 02273, Excavating, Trenching, and Backfilling</p> <p>4. Section 02276, Aggregates and Granular Materials</p> <p>5. Section 02666, Waterworks</p> <p>6. Section 02721, Storm Sewers</p> <p>7. Section 02725, Manholes and Catch Basins</p>
15. STANDARDS	<p>1. BC S/LA/BCLNA Landscape Standard (most current edition)</p> <p>2. Canadian System of Soil Classification</p>
16. QUALITY ASSURANCE	<p>1. All structural soil material used in street tree planting shall be from a source approved by the Consultant and all similar materials supplied to the site shall be of similar nature and from a single source. 14 days prior to supplying any material to the site, inform the Consultant of proposed source and provide a copy of an analysis undertaken by a recognized testing agency approved by the owner, at the Contractor's expense and indicating the particle size characteristics of the proposed material in written form as laid out in 2.11 of this section.</p> <p>2. All nutritive admixtures to structural soil material supplied to the site shall be from a source approved by the Consultant and all similar nutritive admixtures supplied to the site shall be of similar nature and from a single source. 14 days prior to supplying any nutritive admixture, inform the Consultant of proposed source and provide a copy of an analysis undertaken by a recognized testing agency approved by the owner. The test report shall quantify and qualify the following characteristics of the proposed nutritive admixture:</p> <p>2.1 Gravel, sand and fines content each as a % of dry weight mineral</p> <p>2.2 Organic material content as a percentage of dry weight</p> <p>2.3 Acidity (pH)</p> <p>2.4 Salinity in millimhos/cm at 25 degrees C</p> <p>2.5 Basic fertility (total nitrogen available K, Ca, Mg, P)</p> <p>2.6 Recommendation for incorporation of necessary amendments.</p> <p>3. Provide and pay for all required testing of materials proposed for use on this project. At the Consultant's discretion, all materials may be re-tested. Contractor will be responsible for costs of re-testing if materials do not meet specification and for correction of the deficiency.</p> <p>4. Cost of imported materials shall include cost of modifications from source to ensure that these materials meet specifications.</p> <p>5. Acceptance of material at source does not preclude future rejection if material fails to conform to requirements specified.</p> <p>6. Confirm compaction of subgrade and structural soil by Geotechnical Reports from qualified Geotechnical Engineer.</p> <p>7. Aggregate Test</p> <p>7.1 Provide source and sieve designation of intended aggregate material prior to ordering.</p> <p>7.2 At the Landscape Architect's discretion, materials may be retested. Contractor is responsible for costs of testing if sample does not meet specification and for correction of any deficiency.</p> <p>7.3 Submit 25kg sample of stone to Landscape Architect prior to mixing. Sample should be labelled to include source of material submitted.</p> <p>8. Structural Soil Mix Design</p> <p>8.1 Prepare sample of structural soil mix with proposed mix ratios for approval by Landscape Architect a minimum of 14 days prior to placement. Notify Landscape Architect minimum 7 days prior to mixing samples.</p> <p>8.2 Landscape Architect may request additional samples of Structural Soil mixture to be tested in the event that further refinement of the mixture is necessary.</p>
17. SCHEDULING	<p>1. Obtain approval from Consultant of schedule 14 days in advance of structural soil preparation or delivery of material to site. Co-ordination of the installation of the structural soil mixture is critical. Ensure scheduling has been co-ordinated with all consultants and related contractors.</p> <p>2. Schedule to include:</p> <p>2.1 date for commencement of preparation of structural soil at source</p> <p>2.2 sub grade preparation at site</p> <p>2.3 shipping dates</p> <p>2.4 arrival dates on site</p> <p>2.5 installation dates</p> <p>3. Schedule work to co-ordinate with installation of any drainage, irrigation, tree grate footings, lighting, paving etc.</p> <p>4. Complete work to ensure tree planting will occur under optimum conditions.</p> <p>5. Do not handle or place structural soil mix in rain.</p>
18. FIELD REVIEW	<p>1. Start up meeting with Consultant is required to confirm the areas of installation and mixing. If not previously submitted, ensure growing medium sample and test report, aggregate stone sample and structural soil sample and report are supplied at the Start-up Meeting.</p> <p>2. Co-ordinate site meeting with Consultant at the following times:</p> <p>2.1 drainage installation and connection</p> <p>2.2 irrigation installation</p> <p>2.3 mixing of structural soil mixture</p> <p>2.4 installation of structural soil mixture</p> <p>2.5 sub grade preparation and layout</p> <p>2.6 installation of trees.</p> <p>3. Where materials are installed in phases, it is the contractor's responsibility to inform the Consultant of critical installation times for each phase as noted in Section 18.2.</p>
19. SAMPLES	<p>1. Provide 2 kg samples of all materials required for the preparation of structural soil minimum 14 days prior to commencement of installation. Samples of all material shall be submitted with test report from approved testing agency as per section 13.2 and 13.3.</p>
20. PRODUCT HANDLING	<p>1. All materials used in the composition of structural soil shall not be prepared, worked or traveled upon when in a wet or frozen condition.</p> <p>2. Supply and handle dolomite lime, fertilizer, stabilizer and other chemical amendments in standard, sealed, waterproof containers with net weight and product analysis clearly marked on exterior of package.</p>
21. DELIVERY, STORAGE AND PROTECTION	<p>1. For structural soil prepared at source and delivered to site, deliver all materials to site in such a manner as to prevent damage to or separation of all materials used in the preparation of structural soil.</p> <p>2. On-site storage of prepared structural soil shall be undertaken in such a manner as to prevent damage or separation of any materials.</p> <p>3. Structural soils to be installed as soon as practicable after mixing, any structural soils stored overnight whether on-site or at source shall be covered with tarpaulin of similar approval to that of the consultant with the tarpaulin secured to the material.</p> <p>4. Materials to be installed shall be protected in accordance with B.C. Ministry of Environment and Climate Change.</p>

PART TWO - PRODUCTS																					
21. GROWING MEDIUM	<p>1. TABLE ONE</p> <p>1.1 Provide all growing medium required to complete the work.</p> <p>1.2 Comply with the requirements of Table 1 below.</p> <p>1.3 Organic material in the growing medium must be well decomposed to prevent oxygen consumption caused as a result of decomposition of the organic matter in the soil mixture.</p> <p>TABLE ONE</p> <table border="1"> <thead> <tr> <th>TEXTURE Particle size classes by the Canadian System of Soil Classification</th> <th>GROWING MEDIUM FOR GAP-GRADED MIXTURE</th> </tr> </thead> <tbody> <tr> <td>Gravel: greater than 20mm - less than 75mm</td> <td>0</td> </tr> <tr> <td>Sand: greater than 0.075mm - less than 2mm</td> <td>maximum 40%</td> </tr> <tr> <td>Silt: greater than 0.002 mm - less than 0.05 mm</td> <td>maximum 35%</td> </tr> <tr> <td>Clay: less than 0.002mm</td> <td>maximum 15%</td> </tr> <tr> <td>Clay and Silt Combined</td> <td>maximum 40%</td> </tr> <tr> <td>ALDITY (pH)</td> <td>6.0 - 7.0</td> </tr> <tr> <td>DRAINAGE Minimum saturated hydraulic conductivity (cm/hr) in place</td> <td>3.0</td> </tr> <tr> <td>SALINITY Saturated extract conductivity shall not exceed</td> <td>30 millimhos/cm at 25°C</td> </tr> <tr> <td>ORGANIC CONTENT Percent of Dry Weight (DW)</td> <td>8% - 12%</td> </tr> </tbody> </table>	TEXTURE Particle size classes by the Canadian System of Soil Classification	GROWING MEDIUM FOR GAP-GRADED MIXTURE	Gravel: greater than 20mm - less than 75mm	0	Sand: greater than 0.075mm - less than 2mm	maximum 40%	Silt: greater than 0.002 mm - less than 0.05 mm	maximum 35%	Clay: less than 0.002mm	maximum 15%	Clay and Silt Combined	maximum 40%	ALDITY (pH)	6.0 - 7.0	DRAINAGE Minimum saturated hydraulic conductivity (cm/hr) in place	3.0	SALINITY Saturated extract conductivity shall not exceed	30 millimhos/cm at 25°C	ORGANIC CONTENT Percent of Dry Weight (DW)	8% - 12%
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22. AGGREGATE	<p>1. Clean inert stone of high angularity is preferred over washed gravel.</p> <p>2. Stone dimension aspect ratio should approach 1:1 with a maximum of 2:1 length: width: depth.</p> <p>3. Single size stone, 75mm clear sieve designation, Blasted Quarry Rock.</p> <p>4. Aggregate to be used for structural soil shall be free of any foreign elements or material. Provide samples and test reports as described in section 15 and 18.</p> <p>5. Aggregate quality. Material shall be sound hard, durable, free from soft, thin, elongated or laminated particles, organic material, clay lumps or material, or other substances that would act in a deleterious manner or use intended.</p>																				
23. SOIL STABILIZER	<p>1. A non-toxic organic binder.</p> <p>Product: Stabilizer, The Original Natural Binder, as available from Veratec, Alder Grove, BC. 604-687-3002 (OR approved equal).</p>																				
24. GRANULAR BASE	<p>1. To Master Municipal Specification Section 02276, Aggregates and Granular Materials.</p>																				
25. PAVING MATERIALS	<p>1. Refer to architectural drawings.</p>																				
26. FILTER FABRIC	<p>1. Non Woven filter fabric shall be installed as a separation layer directly above the compacted structural soil mixture. Do not install fabric until adequate compaction of the structural soil mixture has been confirmed.</p> <p>2. Filter fabric shall be selected and designed to withstand wear and tear during construction without deterioration of its strength and filtering properties. Conform to the following ASTM designations:</p> <ul style="list-style-type: none"> <li>- Grab Tensile Strength ASTM-D-4632 400 kN</li> <li>- Tensile Elongation ASTM-D-4632 50%</li> <li>- Static CBR Puncture Test ASTM D-6241</li> <li>- Flow Rate ASTM-D-4491 610 l/min/m²</li> </ul> <p>3. Fabric shall be Amoco 4545 or approved equivalent.</p>																				

PART THREE - EXECUTION	
31. SUBGRADE	<p>1. Excavate sub grade to establish tree pit / trench as indicated on contract drawings. Place the structural soil under the paving adjacent to the planting pits, NOT in the planting pits themselves.</p> <p>2. Areas designated as structural soil tree pits for street tree planting shall be prepared to ninety-five percent (95%) Modified Proctor Density and shall be free of stones, debris, root branches, toxic materials, building materials and other deleterious materials to the approval of the civil engineer.</p>
32. PREPARATION OF EXISTING GRADE	<p>1. Verify that grades are correct. If discrepancies occur, notify Consultant and do not commence work until directed.</p> <p>2. Excavate trench to Master Municipal Specification Section 02273, Trenching, Excavation and Compaction allowing for design depth and width of structural soil mix.</p> <p>2.1 Refer to contract drawings for areas to be treated and to details for dimensions.</p> <p>2.2 Compact to 95% Modified Proctor Density.</p> <p>2.3 Subgrade elevations shall slope parallel to the finished grades and/or toward the subsurface drain lines as indicated on the civil engineering drawings.</p> <p>4. Do not proceed with the installation of the structural soil material until all walls, curbs, and utility work in the area has been installed. Structural elements or design features that are dependent on the structural soil mixture for support may be postponed until after the installation of the mixture.</p> <p>5. Re-compact disturbed subgrade to requirements of master municipal specifications and civil engineering drawings.</p>
33. SUB DRAINS	<p>1. Install to requirements of Master Municipal Specifications. Refer to Section 02666, Waterworks, Section 02721, Storm Sewers, and Section 02725, Manholes and Catch Basins.</p> <p>1.1 Install prior to installation of the structural soil mixture.</p> <p>1.2 Co-ordinate all contract drainage work with other drainage on-site.</p> <p>1.3 Confirm location of storm sewer connections with civil engineer.</p>
34. IRRIGATION	<p>1. Install to requirements of Section 02810, Irrigation System. Refer also to Irrigation Drawings.</p> <p>1.1 Install irrigation main lines in co-ordination with installation of the structural soil. Confirm timing at start-up meeting.</p> <p>1.2 Co-ordinate all contract irrigation work with other civil engineering and drainage on-site.</p> <p>1.3 Confirm location of irrigation connections with civil engineer.</p>
35. MIXING STRUCTURAL SOIL MATERIAL	<p>1. Ensure consistent even distribution of all components by thorough mixing. The ratio of components will vary and may require adjustment to ensure the soil volume is adequate to fill all voids in the stone.</p> <p>2. Base Ratio of Materials:</p> <ul style="list-style-type: none"> <li>- 4 cu metre of aggregate stone section 22</li> <li>- 125 cu metre of Growing Medium section 21</li> <li>- 2 kg Stabiliser section 23</li> <li>- Water as required</li> <li>- The amount of water required will vary according to moisture present in growing medium.</li> </ul> <p>3. Combine the stone, growing medium and Stabilizer product into a thorough homogeneous mixture. Moisten mixture with fine spray of clean potable water while mixing to activate Stabilizer product.</p>
36. MIXING	<p>1. Do not OVER MIX. OVER HANDLING can result in separation of the growing medium from the stone. Further and final mixing will occur during the placement of the material.</p> <p>2. All mixing shall be performed on a flat hard level surface approved by the consultant, using the appropriate soil mixing equipment.</p> <p>3. Prepare sample Structural Soil Mixes to determine ratio of mix components. Submit sample with test results for approval.</p>

PART THREE - EXECUTION (cont)	
37. PLACEMENT	<p>1. Subgrade shall be approved by the Consultant prior to placement of the structural soil mixture.</p> <p>2. Structural soil shall be moist, but not saturated with water when placed. Placement shall be handled to avoid damage to drainage structures, irrigation equipment, concrete structure or pavement.</p> <p>3. Place Stone mixture in 300mm lifts through entire area of structural soil mixture.</p> <p>4. Compact each lift of structural soil material with vibrating drum roller to the satisfaction of the civil engineer.</p> <p>5. Provide Geotechnical Report to confirm compaction. Test to ensure uniform, acceptable compaction rates have been achieved for each lift and in all areas of structural soil mixture. Refer to Quality Assurance, section 15.</p> <p>6. Provide a uniformly firm and level surface allowing for specified depths of road base and / or growing medium to meet finished design grade.</p> <p>7. Installation of structural soil in the location of the tree is not recommended. Various techniques such as reinforced wood boxes, steel boxes, large diameter PVC pipe, etc have been employed to allow for sand to be installed at the tree location with the compacted structural soil surrounding the hole. At the time of tree installation, the sand is removed and growing medium (as per Section 2.9) added to surround the root ball.</p>
38. INSTALLATION OF FILTER FABRIC	<p>1. After approval of structural soil mixture compaction, install Filter Fabric.</p> <p>2. Ensure minimum 60mm overlap of all fabric seams and beyond edge of structural soil.</p>
39. GRANULAR BASE MATERIAL	<p>1. Place minimum 75mm granular base on top of filter fabric over structural soil layer.</p> <p>2. Compact granular base to 95% Modified Proctor Density. Compaction must be consistent with other surrounding granular base materials.</p> <p>3. All areas shall be graded to the contours and elevations indicated on the contract drawings. Ensure positive drainage.</p>
310. PROTECTION	<p>1. Protect existing conditions from damage or staining and make good any damage.</p> <p>2. All damage will be repaired at the expense of the installation contractor.</p>
311. TREE PLANTING	<p>1. Remove structural soil or other backfill material found, see comments in section 3.7.1 from the full dimensions of the tree grate area (1.2m x 1.2m x depth of root ball).</p> <p>2. Re compact all material below root ball to original specified density to prevent settling of the root ball in the hole.</p> <p>3. Ensure tree is planted in the exact centre of the specified planting station straight and true.</p> <p>4. Install tree in accordance with BC S/LA Landscape Standard. Cut away synthetic root ball twine, cut back improperly sized wire baskets, pull back burlap from around trunk etc.</p> <p>5. Backfill with Growing Medium as per Section 2.1. Ensure the same growing medium used in the structural soil mix is installed as backfill material.</p> <p>6. Place 50mm depth composted mulch over the top of the open tree pit area.</p>
312. TREE GRATES	<p>1. Site Furniture and to contract drawings for tree grates, frames and footings.</p>
313. ACCEPTANCE	<p>1. Consultant shall inspect structural soil 'in place' and determine acceptance of material, and finish grading prior to paving.</p> <p>2. Finish grade shall be to within 15mm of proposed grades within 3.0m of any adjacent fixed elevation and to within 15mm of proposed grades over any other 3.0 length. Finish grades shall not be uniformly high or low.</p>
314. SURPLUS MATERIAL	<p>1. Remove all excess fill soils and mix stock piles and dispose of all waste materials, trash and debris from the site.</p> <p>2. Clean up any soil or dirt spilled on any paved surface at the end of each working day.</p> <p>3. Upon completion of the structural soil mixture installation. Leave area broom-clean. Avoid washing the area until all of the paving has been completed.</p>

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Burnaby, British Columbia, V5C 6C9  
p. 604 294-0011 | f. 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
25	24.FEB.20	UPDATE GAS METER SCREENING	CLG
24	24.FEB.02	ISSUED FOR TENDER REVIEW	CW
23	24.JAN.26	REVISED ENTRY	CW
22	24.JAN.16	ISSUE FOR DP	CLG
21	24.JAN.10	INCREASE PLANTING TO 20% LOT AREA	SA
20	23.NOV.14	REVISE PER COMMENTS	WZ
19	23.NOV.03	UPDATE PER COMMENTS	CLG

CLIENT:

PROJECT:

**SPIRES II 38 UNIT  
TOWNHOUSE DEVELOPMENT**  
8800, 8780, 8760 SPIRES GATE  
AND 8740 SPIRES ROAD  
RICHMOND

DRAWING TITLE:

**STRUCTURAL SOIL  
SPECIFICATIONS**

DATE: 20.06.04 DRAWING NUMBER:  
SCALE: AS SHOWN  
DRAWN: MC **L12**  
DESIGN:  
CHKD: PC OF 13  
PMG PROJECT NUMBER: 21-176

**DP 22-013081**

**March 6, 2024 PLAN #25**



SEAL:



15	24.FEB.20	UPDATE GAS METER SCREENING	CLG
14	24.FEB.02	ISSUED FOR TENDER REVIEW	CW
23	23.JAN.16	REVISED ENTRY	CLG
22	24.JAN.16	ISSUE FOR DP	CW
21	24.JAN.10	INCREASE PLANTING TO 20% LOT AREA	SA
20	23.NOV.14	REVISE PER COMMENTS	WE
19	23.NOV.03	UPDATE PER COMMENTS	CLG
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

**SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT**

8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:

**SITE IRRIGATION CONCEPT PLAN**

DATE: 20.06.04 DRAWING NUMBER:

SCALE: 3/32" = 1'-0"

**L2A**

DRAWN: MC

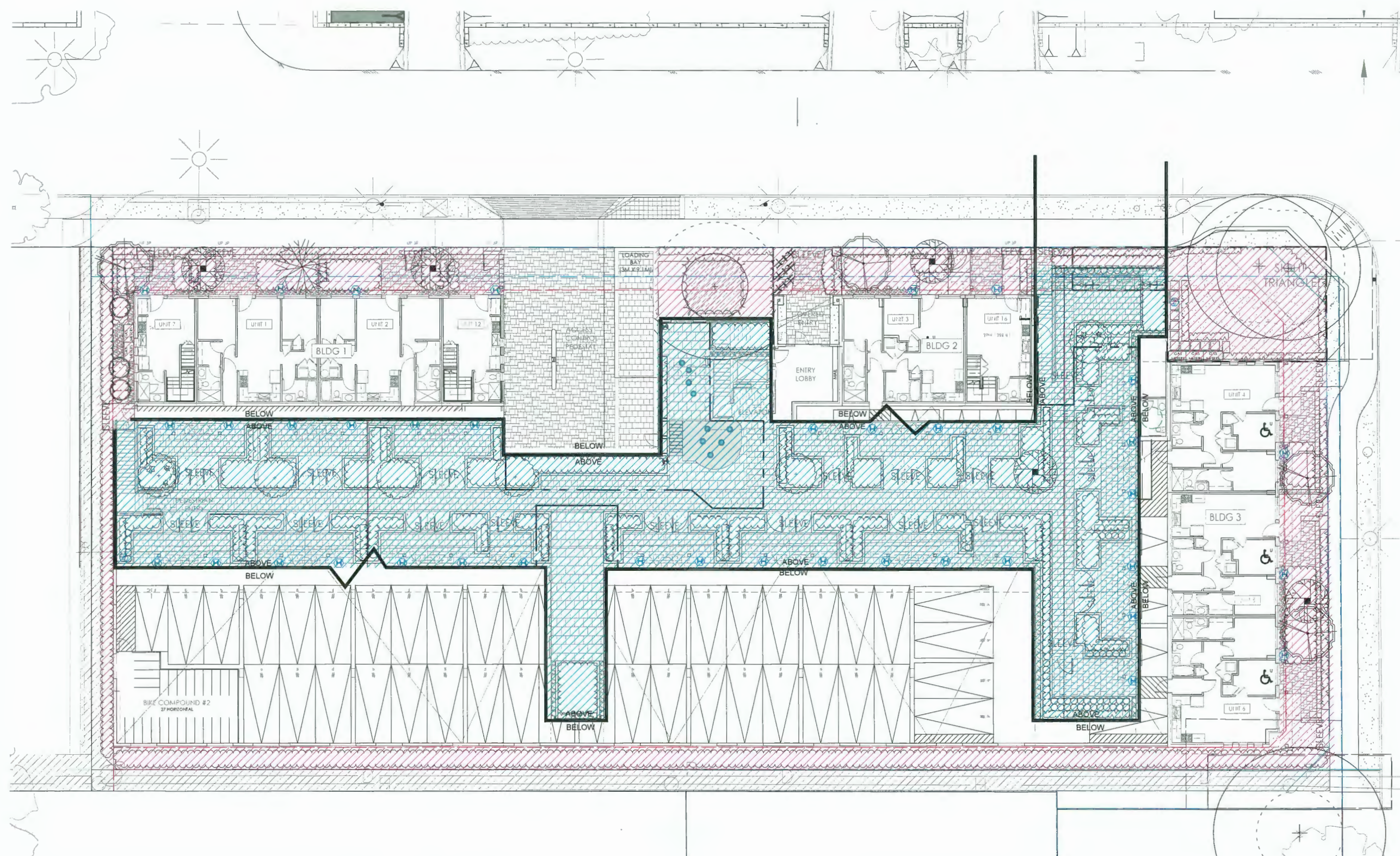
DESIGN: MC

CHK'D: PC

OF 13

PMG PROJECT NUMBER:

21-176



**Symbol Legend**

Symbol	Model
	HOSE BIB
	2" LINE FOR IRRIGATION SUPPLY
	IRRIGATION SLEEVING UNDER HARDSCAPE
	PODIUM LEVEL IRRIGATION ZONE(S)
	AT-GRADE IRRIGATION ZONE(S)

NOTE: IRRIGATION SYSTEM FOR ALL SOFT LANDSCAPE AREAS; TO BE DESIGN-BUILD, PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION. INSTALL PER IABC STANDARDS. USE HIGH EFFICIENCY, SMART-CONTROLLED DRIP SYSTEM.

**DP 22-013081 March 6, 2024 PLAN #27**



21176-24.ZIP

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REVISIONS

ISSUED FOR REZONING	JULY 31, 2019
RE-ISSUED FOR REZONING	JULY 15, 2020
RE-ISSUED FOR REZONING 2	MAR 8, 2021
RE-ISSUED FOR REZONING 3	MAR 31, 2021
RE-ISSUED FOR REZONING 4	SEP 24, 2021
RE-ISSUED FOR REZONING 5	OCT 25, 2021
RE-ISSUED FOR REZONING 4	NOV 3, 2021
RE-ISSUED FOR REZONING 4	JAN 28, 2022
RE-ISSUED FOR REZONING 5	FEB 4, 2022
RE-ISSUED FOR REZONING 5	FEB 7, 2022
ISSUED FOR DP APPLICATION	APR 19, 2022
RE-ISSUED FOR DP APPLICATION	FEB 27, 2023
ISSUED FOR DP APPLICATION	AUG 11, 2023
ISSUED FOR ADP	SEP 1, 2023
ISSUED FOR SP	SEP 15, 2023
RE-ISSUED FOR DP APPLICATION	NOV 17, 2023
ISSUED FOR TENDER	JAN 31, 2024
RE-ISSUED FOR DP APPLICATION	FEB 8, 2024
RE-ISSUED FOR DP APPLICATION	FEB 28, 2024



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 Fax: 685-2076 Phone: 683-5441

PROJECT

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
 RICHMOND, BC

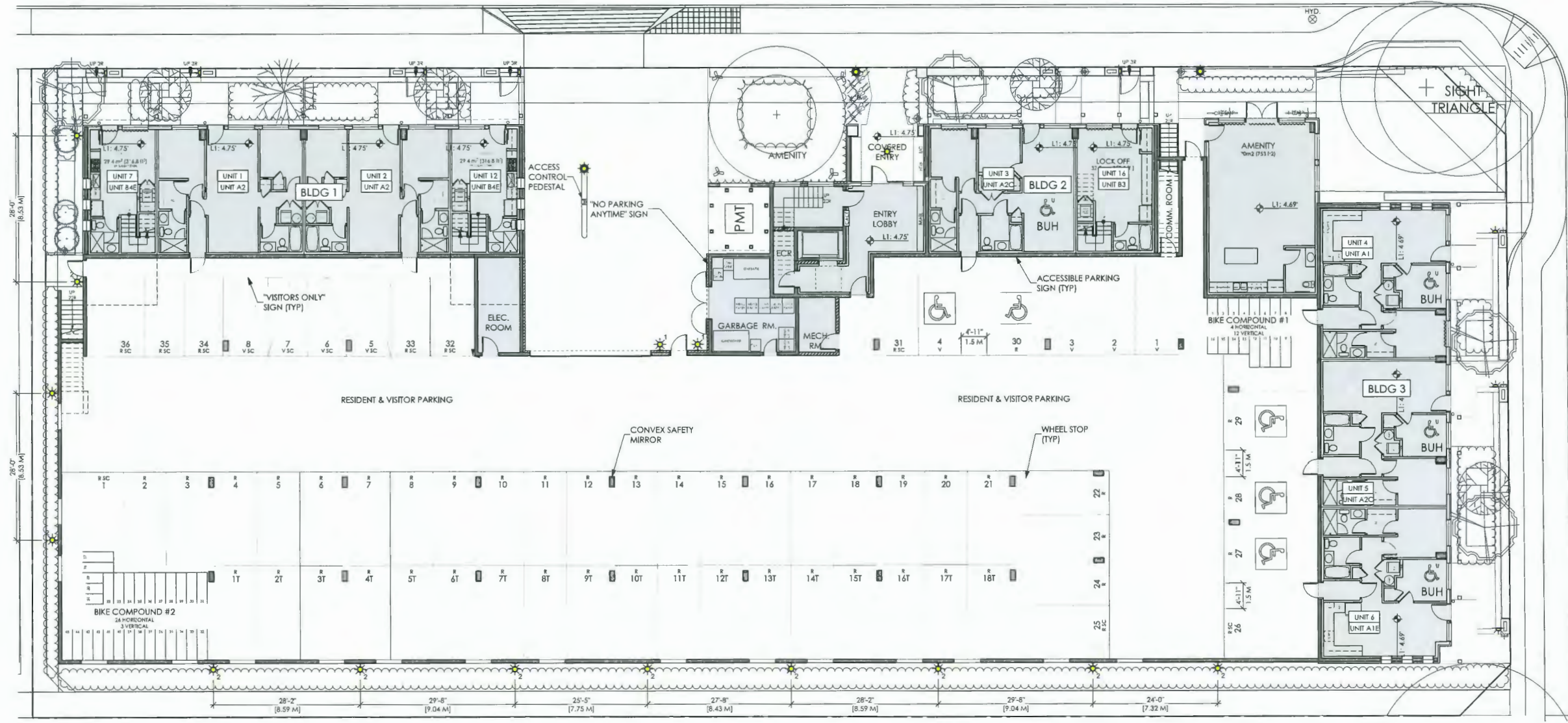
DRAWING

**EXTERIOR LIGHTING STRATEGY LEVEL 1**

SCALE: 3/32" = 1'-0"

DATE: FEBRUARY 28, 2024

SHEET: **A0.10**



**FIXTURE TYPE LEGEND**

 <b>DECORATIVE LIGHT FIXTURE</b>  RATIONALE: TO PROVIDE GREATER INTEREST AT THE PARKADE ENTRY AREA. LIGHT SPILL MEASURES: THE LIGHT IS DIRECTED DOWN TO LIGHT THE SURROUNDING WALKWAY.	 <b>LED WALL SCONCE</b>  RATIONALE: TO PROVIDE SECURITY AROUND THE GROUND LEVEL PERIMETER AND TO PROVIDE LIGHTING FOR THE EXTERIOR STAIRWAYS. LIGHT SPILL MEASURES: THE LIGHT IS DIRECTED DOWN TO LIGHT THE SURROUNDING WALKWAY.	 <b>LED BOLLARD LIGHT</b>  RATIONALE: TO MARK OUT KEY BUILDING ENTRY LOCATIONS AND TO PROVIDE PEDESTRIAN LIGHTING FOR THE TERRACE SPACES. LIGHT SPILL MEASURES: THE LIGHT IS DIRECTED DOWN TO LIGHT THE SURROUNDING WALKWAY.	 <b>LED STEP LIGHT</b>  RATIONALE: TO MARK OUT UNIT ENTRIES AND TO PROVIDE PEDESTRIAN LIGHTING. LIGHT SPILL MEASURES: THE LIGHT IS DIRECTED DOWN TO LIGHT THE SURROUNDING WALKWAY.	 <b>RECESSED LED LIGHT</b>  RATIONALE: TO PROVIDE EXTRA LIGHTING FOR THE MAIN ENTRY. LIGHT SPILL MEASURES: THE LIGHT IS DIRECTED DOWN TO LIGHT A MOSTLY ENCLOSED SPACE.
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NOTE: ALL EXTERIOR LIGHT STANDARDS ARE TO BE DARK SKY CERTIFIED BY THE INTERNATIONAL DARK SKY ASSOCIATION.

NOTE: THE LIGHT FIXTURES FOR THE SRWs ALONG THE WEST AND SOUTH PROPERTY LINES ARE IN ACCORDANCE WITH CPTED STANDARDS. HAVING A TYPICAL SPACING OF 28-32 FT (WITH SOME MINOR VARIATION), THE CALCULATION IS 0.64FC MIN. AND 12FC. MAX. WITH AN AVERAGE OF 3.5FC. (35 LUX), THE RECOMMENDED AVERAGE IS 20 LUX.



**DP 22-013081 March 6, 2024 PLAN #28**

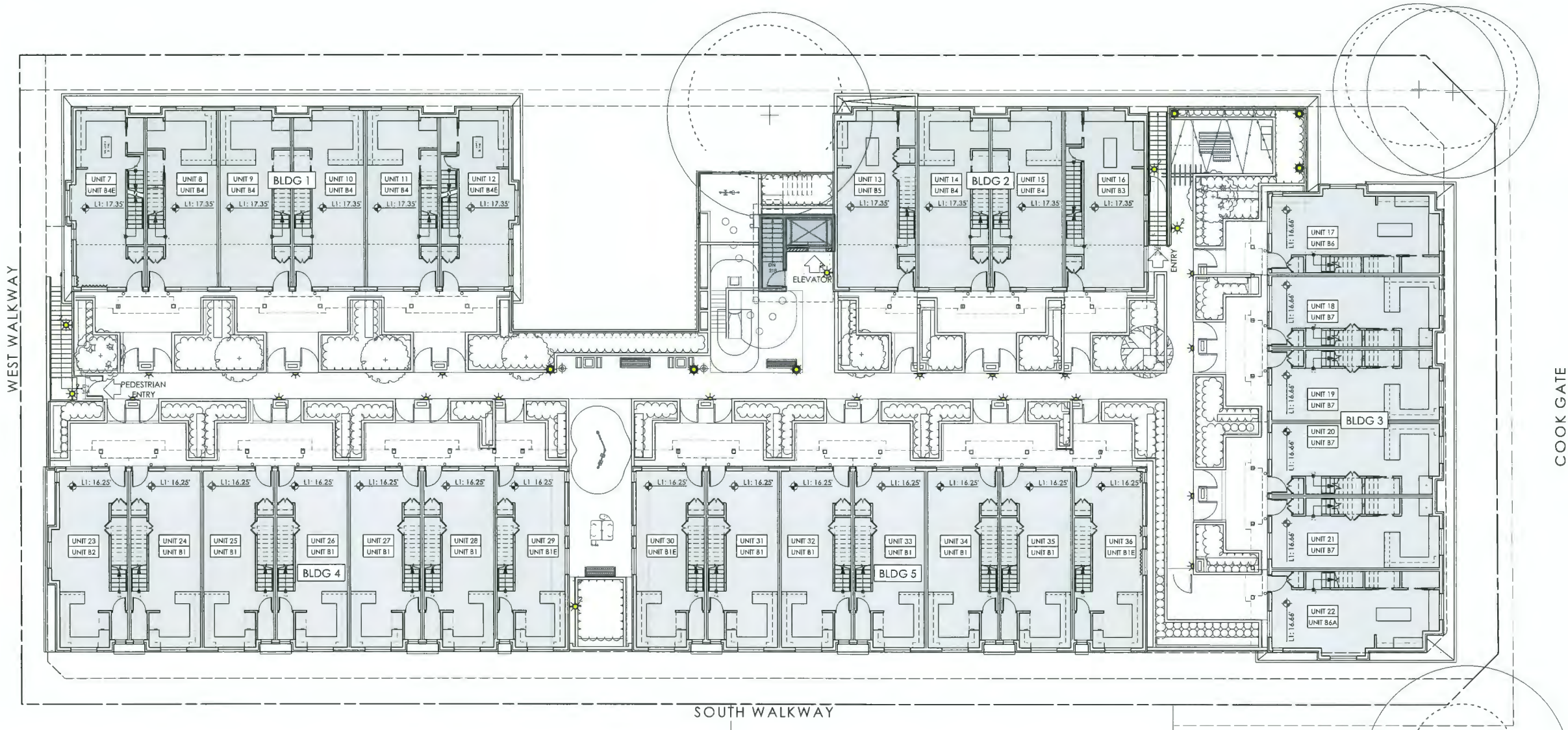


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RE-ISSUED FOR DP APPLICATION	FEB 28, 2024



FORMWERKS ARCHITECTURAL

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PROJECT

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
 RICHMOND, BC

DRAWING

**EXTERIOR LIGHTING STRATEGY LEVEL 2**

SCALE 3/32" = 1'-0"

SHEET A0.11

DATE FEBRUARY 28, 2024

FIXTURE TYPE LEGEND

 <b>DECORATIVE LIGHT FIXTURE</b>  RATIONALE: TO PROVIDE GREATER INTEREST AT THE PARKADE ENTRY AREA. LIGHT SPILL MEASURES: LIGHT IS DIRECTED DOWN TO LIGHT THE SURROUNDING WALKWAY. LIGHT SPILL MEASURES: LIGHT IS DIRECTED DOWN TO LIGHT THE SURROUNDING WALKWAY.	 <b>LED WALL SCONCE</b>  RATIONALE: TO PROVIDE SECURITY AROUND THE GROUND LEVEL PERIMETER AND TO PROVIDE LIGHTING FOR THE EXTERIOR STAIRWAYS. LIGHT SPILL MEASURES: THE LIGHT IS DIRECTED DOWN TO WASH OVER THE WALLS AND WALKWAYS TO LIGHT THE SURROUNDING WALKWAY.	 <b>LED BOLLARD LIGHT</b>  RATIONALE: TO MARK OUT KEY BUILDING ENTRY LOCATIONS AND TO PROVIDE PEDESTRIAN LIGHTING FOR THE TERRACE SPACES. LIGHT SPILL MEASURES: LIGHT IS DIRECTED DOWN TO LIGHT THE SURROUNDING WALKWAY.	 <b>LED STEP LIGHT</b>  RATIONALE: TO MARK OUT UNIT ENTRIES AND TO PROVIDE PEDESTRIAN LIGHTING. LIGHT SPILL MEASURES: THE LIGHT IS DIRECTED DOWN TO LIGHT THE SURROUNDING WALKWAY.	 <b>RECESSED LED LIGHT</b>  RATIONALE: TO PROVIDE EXTRA LIGHTING FOR THE MAIN ENTRY. LIGHT SPILL MEASURES: THE LIGHT IS DIRECTED DOWN TO LIGHT A MOSTLY ENCLOSED SPACE.
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**DP 22-013081 March 6, 2024 PLAN #29**

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RE-ISSUED FOR REZONING	JULY 15, 2020
RE-ISSUED FOR REZONING 2	MAR 8, 2021
RE-ISSUED FOR REZONING 3	MAR 31, 2021
RE-ISSUED FOR REZONING 4	SEP 24, 2021
REVISED FOR REZONING 4	OCT 25, 2021
REVISED FOR REZONING 4	NOV 3, 2021
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ISSUED FOR TENDER	JAN 31, 2024
RE-ISSUED FOR DP APPLICATION	FEB 8, 2024
RE-ISSUED FOR DP APPLICATION	FEB 28, 2024



FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5  
Fax 685-2076 Phone 683-5441

PROJECT

8800 SPIRES ROAD  
8800 SPIRES ROAD  
RICHMOND, BC

DRAWING

PERSPECTIVES

SCALE

SHEET

NTS

DATE

FEBRUARY 28, 2024

A0.07

BUILDING 3 LOOKING NORTH



SPIRES ROAD & COOK GATE LOOKING SOUTH WEST



ENTRY COURT

DP 22-013081 March 6, 2024 PLAN #30

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ISSUED FOR TENDER	JAN 31, 2024
RE-ISSUED FOR DP APPLICATION	FEB 8, 2024
RE-ISSUED FOR DP APPLICATION	FEB 28, 2024



**GUTTERS AND DOWNSPOUTS**  
MAN: GENTEK  
COLOUR: 525 BLACK

**PAINTED WOOD GABLE FINIAL**  
MAN: BENJAMIN MOORE  
COLOUR: KENDALL CHARCOAL  
NUMBER: HC-166

**PAINTED FIBRE CEMENT BOARD**  
MAN: BENJAMIN MOORE  
COLOUR: KENDALL CHARCOAL  
NUMBER: HC-166

**PAINTED WOOD TRIM AND BRACKETS**  
MAN: BENJAMIN MOORE  
COLOUR: KENDALL CHARCOAL  
NUMBER: HC-166

**PAINTED ALUMINUM GUARDRAIL**  
COLOUR: BLACK

**4.5" HORIZONTAL FIBRE CEMENT PLANK**  
MAN: BENJAMIN MOORE  
COLOUR: GRAYSTONE  
NUMBER: 1475

**VINYL WINDOW FRAMES**  
COLOUR: BLACK

**BRICK**  
MAN: INTERSTATE BRICK  
COLOUR: FEWTER

**PARKADE OVERHEAD GATE**  
COLOUR: BLACK

**FIBREGLASS SHINGLES**  
MAN: PABCO  
COLOUR: ANTIQUE BLACK

**WINDOW TRIM**  
MAN: BENJAMIN MOORE  
COLOUR: LA PALOMA GREY  
NUMBER: 1551

**3" HORIZONTAL FIBRE CEMENT PLANK**  
MAN: BENJAMIN MOORE  
COLOUR: LA PALOMA GREY  
NUMBER: 1551

**4.5" HORIZONTAL FIBRE CEMENT PLANK**  
MAN: BENJAMIN MOORE  
COLOUR: BALBOA MIST  
NUMBER: 1549

**FIBREGLASS SHINGLES**  
MAN: PABCO  
COLOUR: ANTIQUE BLACK

**PAINTED ENTRY COLUMNS**  
MAN: BENJAMIN MOORE  
COLOUR: KENDALL CHARCOAL  
NUMBER: HC-166

**ENTRY DOOR**  
MAN: BENJAMIN MOORE  
COLOUR: FOREST BROWN  
NUMBER: 2105-10

**WINDOW TRIM**  
MAN: BENJAMIN MOORE  
COLOUR: GRAYSTONE  
NUMBER: 1475



**FIBREGLASS SHINGLES**  
MAN: PABCO  
COLOUR: ANTIQUE BLACK

**GUTTERS AND DOWNSPOUTS**  
MAN: GENTEK  
COLOUR: 525 BLACK

**PAINTED WOOD GABLE FINIAL**  
MAN: BENJAMIN MOORE  
COLOUR: KENDALL CHARCOAL  
NUMBER: HC-166

**PAINTED FIBRE CEMENT BOARD/PANEL**  
MAN: BENJAMIN MOORE  
COLOUR: KENDALL CHARCOAL  
NUMBER: HC-166

**FIBREGLASS SHINGLES**  
MAN: PABCO  
COLOUR: ANTIQUE BLACK

**PAINTED WOOD TRIM AND BRACKETS**  
MAN: BENJAMIN MOORE  
COLOUR: KENDALL CHARCOAL  
NUMBER: HC-166

**ENTRY DOOR**  
MAN: BENJAMIN MOORE  
COLOUR: FOREST BROWN  
NUMBER: 2105-10

**WINDOW TRIM**  
MAN: BENJAMIN MOORE  
COLOUR: LA PALOMA GREY  
NUMBER: 1551

**3" HORIZONTAL FIBRE CEMENT PLANK**  
MAN: BENJAMIN MOORE  
COLOUR: LA PALOMA GREY  
NUMBER: 1551

**4.5" HORIZONTAL FIBRE CEMENT PLANK**  
MAN: BENJAMIN MOORE  
COLOUR: BALBOA MIST  
NUMBER: 1549

**VINYL WINDOW FRAMES**  
COLOUR: BLACK

**WINDOW TRIM**  
MAN: BENJAMIN MOORE  
COLOUR: BALBOA MIST  
NUMBER: 1549

**BRICK**  
MAN: INTERSTATE BRICK  
COLOUR: FEWTER

<b>FIBREGLASS SHINGLES</b> MAN: PABCO COL: ANTIQUE BLACK NUMBER: -	<b>ALUMINUM RAILING</b> MAN: - COL: BLACK NUMBER: -	<b>ALUMINUM GUTTERS AND DOWNSPOUTS</b> MAN: GENTEK COL: BLACK NUMBER: 525	<b>ENTRY DOORS</b> MAN: BENJAMIN MOORE COL: FOREST BROWN NUMBER: 2105-10	<b>WINDOW FRAMES</b> MAN: - COL: BLACK NUMBER: -	<b>PAINTED FIBRE CEMENT SIDING</b> MAN: BENJAMIN MOORE COL: BALBOA MIST NUMBER: 1549	<b>PAINTED FIBRE CEMENT SIDING</b> MAN: BENJAMIN MOORE COL: GRAYSTONE NUMBER: 1475	<b>PAINTED FIBRE CEMENT SIDING</b> MAN: BENJAMIN MOORE COL: LA PALOMA GREY NUMBER: 1551	<b>PAINTED FIBRE CEMENT BOARDS AND PANELS</b> MAN: BENJAMIN MOORE COL: KENDALL CHARCOAL NUMBER: HC-166	<b>BRICK WALL AND COLUMN BASE</b> MAN: INTERSTATE BRICK COL: FEWTER NUMBER: -	<b>PAINTED BOARD FORMED CONCRETE</b> MAN: BENJAMIN MOORE COL: CEMENT GREY NUMBER: 2112-60



**FORMWERKS ARCHITECTURAL**

1625 West 5th Ave., Vancouver, BC V6J 1N5  
Fax 685-2074 Phone 683-5441

PROJECT

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
RICHMOND, BC

DRAWING

**COLOUR SCHEME BUILDINGS 1 & 3**

SCALE: 1/8" = 1'-0"

DATE: FEBRUARY 28, 2024

SHEET: A2.11

**DP 22-013081 March 6, 2024 PLAN #31**

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<b>FIBREGLOSS SHINGLES</b>	<b>ALUMINUM RAILING</b>	<b>ALUMINUM GUTTERS AND DOWNSPOUTS</b>	<b>ENTRY DOORS</b>	<b>WINDOW FRAMES</b>	<b>PAINTED FIBRE CEMENT SIDING</b>	<b>PAINTED FIBRE CEMENT SIDING</b>	<b>PAINTED FIBRE CEMENT SIDING</b>	<b>PAINTED FIBRE CEMENT BOARDS AND PANELS</b>	<b>BRICK WALL AND COLUMN BASE</b>	<b>PAINTED BOARD FORMED CONCRETE</b>
MAN: PABCO COL: ANTIQUE BLACK NUMBER: -	MAN: - COL: BLACK NUMBER: -	MAN: GENTEK COL: BLACK NUMBER: 525	MAN: BENJAMIN MOORE COL: FOREST BROWN NUMBER: 2105-10	MAN: - COL: BLACK NUMBER: -	MAN: BENJAMIN MOORE COL: BALBOA MIST NUMBER: 1549	MAN: BENJAMIN MOORE COL: GRAYSTONE NUMBER: 1475	MAN: BENJAMIN MOORE COL: LA PALOMA GREY NUMBER: 1551	MAN: BENJAMIN MOORE COL: KENDALL CHARCOAL NUMBER: HC-166	MAN: INTERSTATE BRICK COL: PEWTER NUMBER: -	MAN: BENJAMIN MOORE COL: CEMENT GREY NUMBER: 2112-60

**TERA**

**FORMWERKS ARCHITECTURAL**

1625 West 5th Ave., Vancouver, BC V6J 1N5  
 Fax 685-2076 Phone 683-5441

PROJECT

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
RICHMOND, BC

DRAWING

**COLOUR SCHEME BUILDING 2**

SCALE	SHEET
1/8" = 1'-0"	A2.12
DATE	FEBRUARY 28, 2024

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RE-ISSUED FOR DP APPLICATION	FEB 28, 2024



<b>FIBREGLASS SHINGLES</b> MAN: PABCO COL: ANTIQUE BLACK NUMBER: -	<b>ALUMINUM RAILING</b> MAN: - COL: BLACK NUMBER: -	<b>ALUMINUM GUTTERS AND DOWNSPOUTS</b> MAN: GENTEX COL: BLACK NUMBER: 525	<b>ENTRY DOORS</b> MAN: BENJAMIN MOORE COL: FOREST BROWN NUMBER: 2105-10	<b>WINDOW FRAMES</b> MAN: - COL: BLACK NUMBER: -	<b>PAINTED FIBRE CEMENT SIDING</b> MAN: BENJAMIN MOORE COL: BALBOA MIST NUMBER: 1549	<b>PAINTED FIBRE CEMENT SIDING</b> MAN: BENJAMIN MOORE COL: GRAYSTONE NUMBER: 1475	<b>PAINTED FIBRE CEMENT SIDING</b> MAN: BENJAMIN MOORE COL: LA PALOMA GREY NUMBER: 1551	<b>PAINTED FIBRE CEMENT BOARDS AND PANELS</b> MAN: BENJAMIN MOORE COL: KENDALL CHARCOAL NUMBER: HC-166	<b>BRICK WALL AND COLUMN BASE</b> MAN: INTERSTATE BRICK COL: PEWTER NUMBER: -	<b>PAINTED BOARD FORMED CONCRETE</b> MAN: BENJAMIN MOORE COL: CEMENT GREY NUMBER: 2112-60

**TERA**

**FORMWERKS ARCHITECTURAL**

1625 West 5th Ave., Vancouver, BC V6J 1N5  
Fax 655-2076 Phone 683-5441

PROJECT

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
RICHMOND, BC

DRAWING

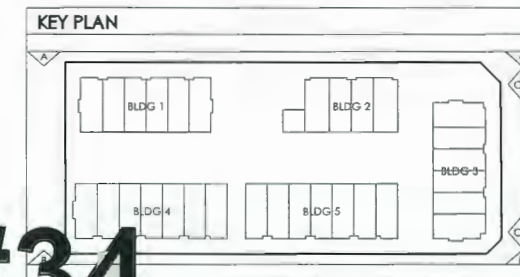
**COLOUR SCHEME BUILDINGS 4 & 5**

SCALE: 1/8" = 1'-0"

DATE: FEBRUARY 28, 2024

SHEET: **A2.13**

**DP 22-013081 March 6, 2024 PLAN #33**



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**TERA**

**FORMWERKS ARCHITECTURAL**

1625 West 5th Ave., Vancouver, BC V6J 1N5  
Fax 685-2076 Phone 683-5441

PROJECT

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
RICHMOND, BC

DRAWING

**STREETSCAPES**

SCALE 1/16" = 1'-0"

DATE FEBRUARY 28, 2024

SHEET **A1.15**

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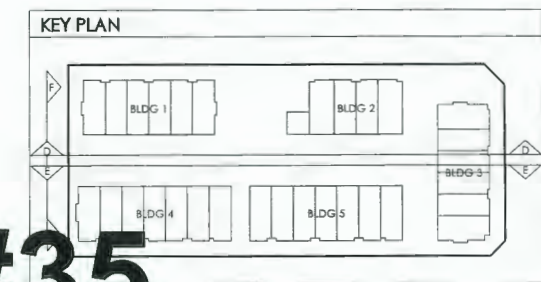
D - NORTH STREETScape (COURTYARD)



E - SOUTH STREETScape (COURTYARD)



WEST STREETScape



FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1H5  
 Fax 685-2076 Phone 683-5441

PROJECT  
**8800 SPIRES ROAD**  
 8800 SPIRES ROAD  
 RICHMOND, BC

DRAWING  
**STREETSCAPES**

SCALE 1/16" = 1'-0"  
 SHEET A1.16  
 DATE FEBRUARY 28, 2024

**DP 22-013081 March 6, 2024 PLAN #35**

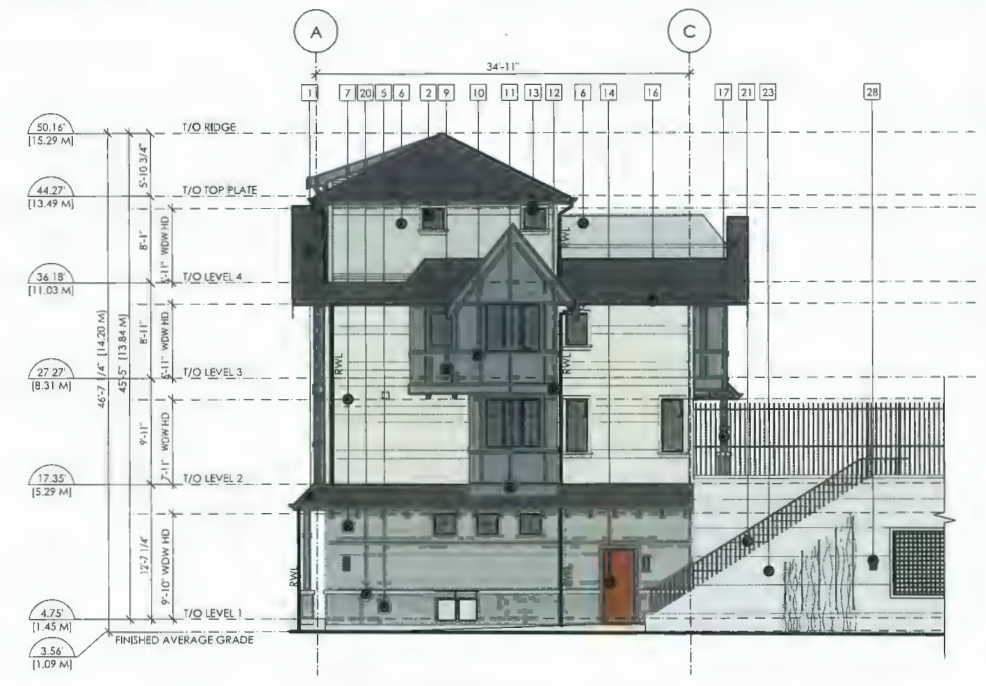
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RE-ISSUED FOR DP APPLICATION	FEB 28, 2024



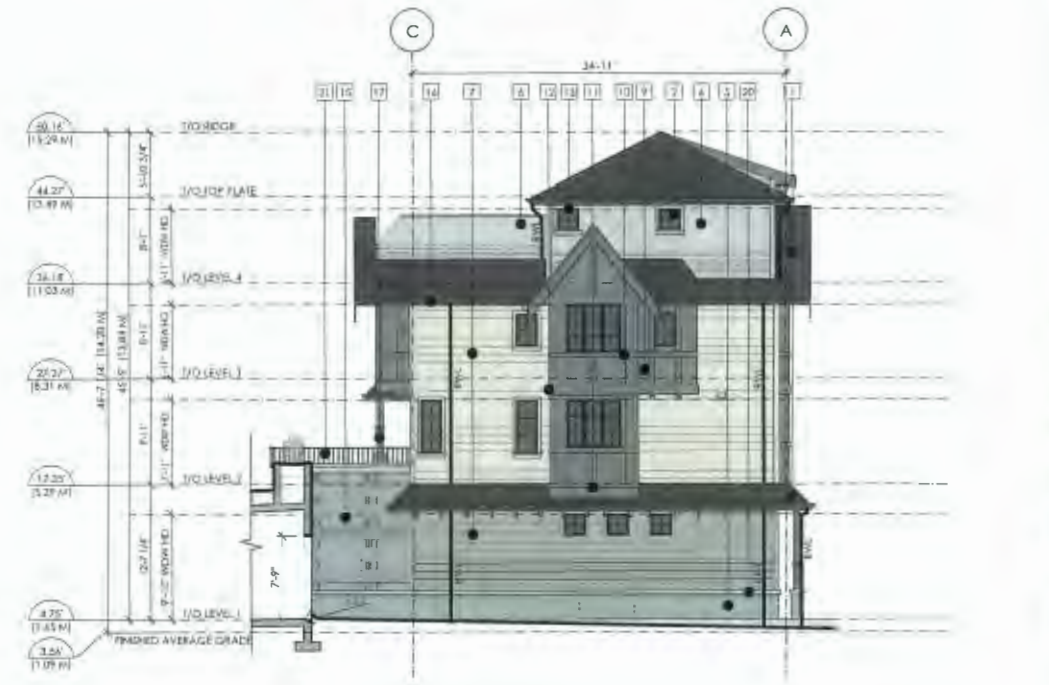
NORTH ELEVATION  
BUILDING 1



WEST ELEVATION  
BUILDING 1



SOUTH ELEVATION  
BUILDING 1



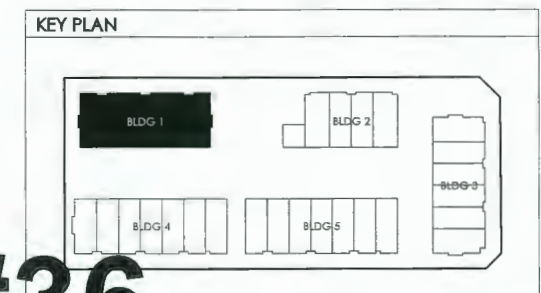
EAST ELEVATION  
BUILDING 1

COLOUR LEGEND

[Color swatch]	BM 1551 LA PALOMA GREY
[Color swatch]	BM 1549 BALBOA MIST
[Color swatch]	BM 1475 GRAYSTONE
[Color swatch]	BM HC-166 KENDALL CHARCOAL

FINISH SCHEDULE

1 FIBREGlass SHINGLE	9 PAINTED FBRE CEMENT BOARD WITH 6" TRIMS	17 PAINTED WOOD COLUMN	25 PAINTED METAL ELEVATOR DOORS
2 DOUBLE PANED SEALED UNIT VINYL WINDOWS	10 PAINTED WOOD 2X6 TUDOR TRIM	18 PAINTED WOOD BRACKETS	26 GLASS LOBBY DOORS
3 INSULATED METAL PANEL DOOR	11 PAINTED 2X12 BELLY BOARD WITH 1X4 PROJECTED TRIM	19 PAINTED 2X12 BELLY BOARD WITH 1X6 PROJECTED TRIM	27 GLASS AMENITY DOORS
4 SLIDING DOOR	12 PAINTED 2X12 BELLY BOARD	20 CONCRETE CAP	28 LED WALL SCONCE
5 BRICK	13 PAINTED 2X4 WINDOW TRIM	21 ALUMINUM RAILING	
6 PAINTED FBRE CEMENT PLANK 3" EXPOSED	14 METAL PANEL DOOR	22 PREFINISHED 4X4 SECURITY MESH IN PUNCHED OPENING	
7 PAINTED FBRE CEMENT PLANK 4.5" EXPOSED	15 BRICK PATTERNED w/ SOLDIER COURSE	23 BOARD FORMED CONCRETE	
8 PAINTED WOOD TUBES	16 PAINTED METAL PANEL DOOR	24 GREEN WALL MOUNTABLE SYSTEM	



FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5  
 Fax 685-2076 Phone 683-5441

PROJECT  
**8800 SPIRES ROAD**  
 8800 SPIRES ROAD  
 RICHMOND, BC

DRAWING  
**BUILDING 1 ELEVATIONS**

SCALE 1/8" = 1'-0"  
 SHEET A2.02  
 DATE FEBRUARY 28, 2024

DP 22-013081 March 6, 2024 PLAN #36



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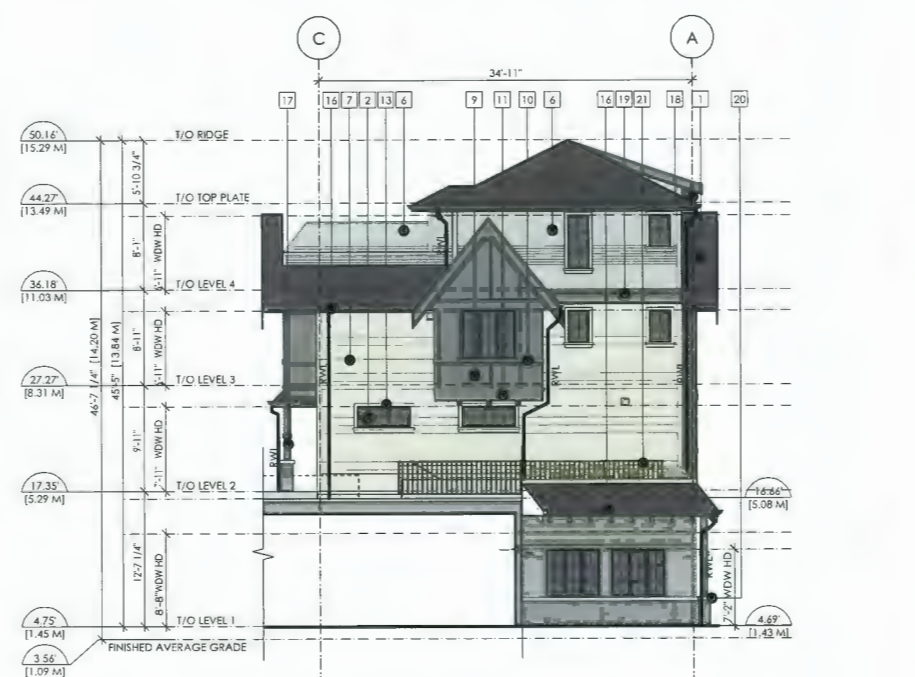
**NORTH ELEVATION**  
BUILDING 2



**WEST ELEVATION**  
BUILDING 2



**SOUTH ELEVATION**  
BUILDING 2



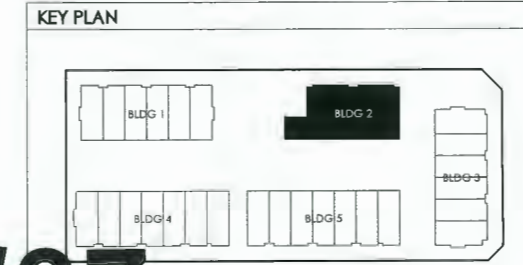
**EAST ELEVATION**  
BUILDING 2

**COLOUR LEGEND**

[Color swatch]	BM 1551 LA PALOMA GREY
[Color swatch]	BM 1549 BALBOA MIST
[Color swatch]	BM 1475 GRAYSTONE
[Color swatch]	BM HC-166 KENDALL CHARCOAL

**FINISH SCHEDULE**

1 FIBREGLASS SHINGLE	9 PAINTED FIBRE CEMENT BOARD WITH 6" TRIMS	17 PAINTED WOOD COLUMN	25 PAINTED METAL ELEVATOR DOORS
2 DOUBLE PANED SEALED UNIT VINYL WINDOWS	10 PAINTED WOOD 2X6 TUDOR TRIM	18 PAINTED WOOD BRACKETS	26 GLASS LOBBY DOORS
3 INSULATED METAL PANEL DOOR	11 PAINTED 2X12 BELLY BOARD WITH 1X4 PROJECTED TRIM	19 PAINTED 2X12 BELLY BOARD WITH 1X6 PROJECTED TRIM	27 GLASS AMENITY DOORS
4 SLIDING DOOR	12 PAINTED 2X12 BELLY BOARD	20 CONCRETE CAP	28 LED WALL SCONCE
5 BRICK	13 PAINTED 2X4 WINDOW TRIM	21 ALUMINUM RAILING	
6 PAINTED FIBRE CEMENT PLANK 3" EXPOSED	14 METAL PANEL DOOR	22 PREFINISHED 4X4 SECURITY MESH IN PUNCHED OPENING	
7 PAINTED FIBRE CEMENT PLANK 4.5" EXPOSED	15 BRICK PATTERNED W/ SOLDER CONTOUR	23 BOARD FORMED CONCRETE	
8 PAINTED WOOD TRIM	16 PAINTED METAL PANEL DOOR	24 GREEN WALL MOUNTABLE SYSTEM	



**TERA**

**FORMWERKS ARCHITECTURAL**

1625 West 5th Ave., Vancouver, BC V6J 1N5  
 Fax 685-2076 Phone 683-5441

PROJECT

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
 RICHMOND, BC

DRAWING

**BUILDING 2 ELEVATIONS**

SCALE 1/8" = 1'-0"

SHEET **A2.04**

DATE FEBRUARY 28, 2024

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RE-ISSUED FOR DP APPLICATION	FEB 28, 2024

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 1625 West 5th Ave., Vancouver, BC V6J 1N5  
 Fax: 685-2076 Phone: 683-5441

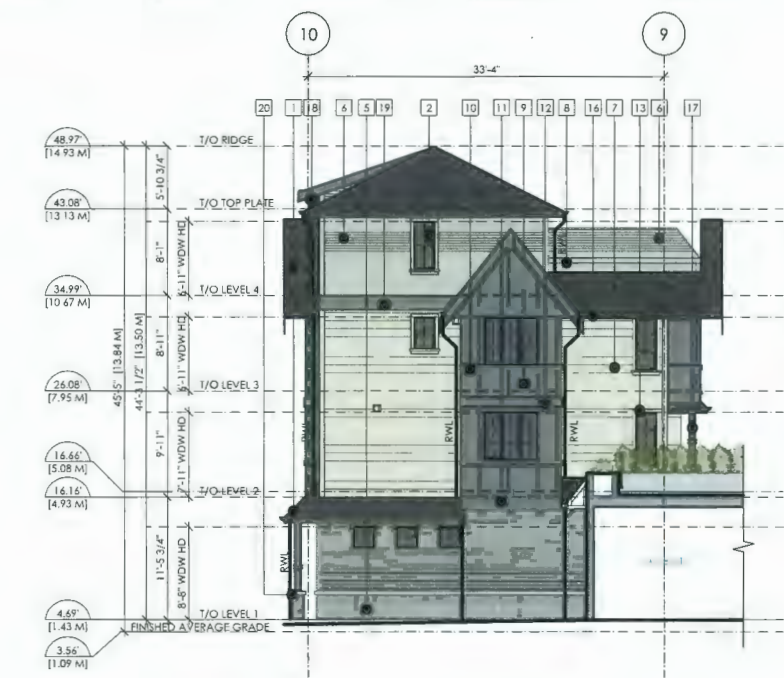
PROJECT  
**8800 SPIRES ROAD**  
 8800 SPIRES ROAD  
 RICHMOND, BC

DRAWING  
**BUILDING 3 ELEVATIONS**

SCALE  
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 SHEET  
**A2.06**  
 DATE  
 FEBRUARY 28, 2024



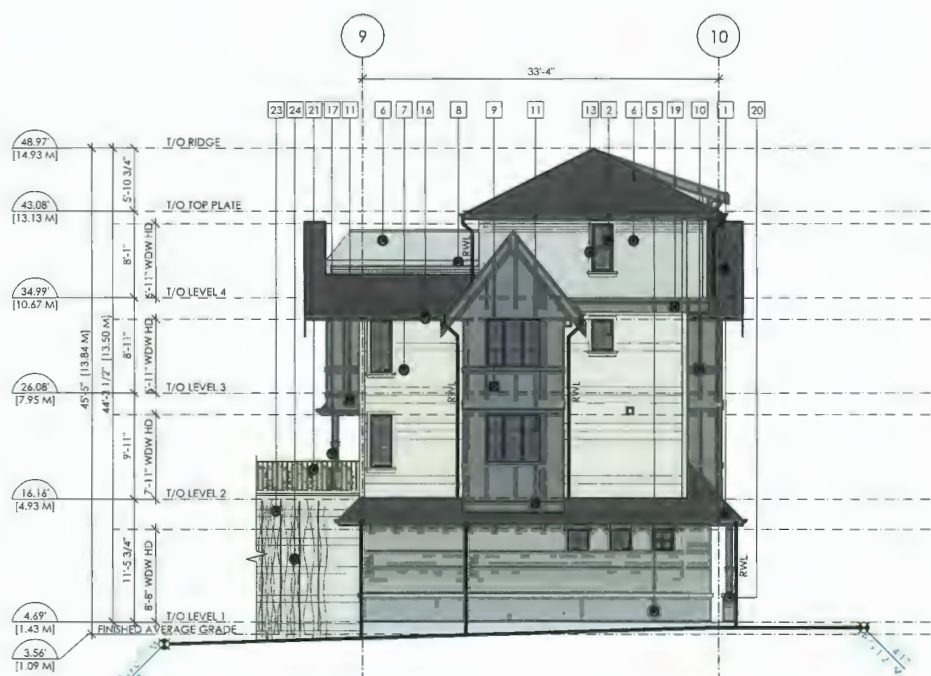
**EAST ELEVATION**  
 BUILDING 3



**NORTH ELEVATION**  
 BUILDING 3



**WEST ELEVATION**  
 BUILDING 3



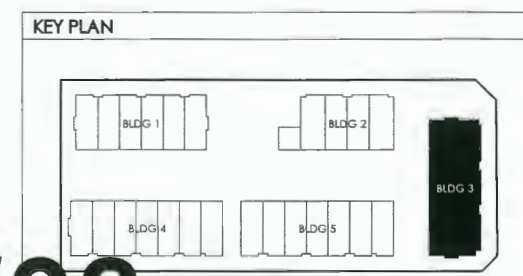
**SOUTH ELEVATION**  
 BUILDING 3

**COLOUR LEGEND**

[Color swatch]	BM 1551 LA PALOMA GREY
[Color swatch]	BM 1549 BALBOA MIST
[Color swatch]	BM 1475 GRAYSTONE
[Color swatch]	BM HC-166 KENDALL CHARCOAL

**FINISH SCHEDULE**

1 FIBREGLASS SHINGLE	9 PAINTED FIBRE CEMENT BOARD WITH 6" TRIMS	17 PAINTED WOOD COLUMN	25 PAINTED METAL ELEVATOR DOORS
2 DOUBLE PANED SEALED UNIT VINYL WINDOWS	10 PAINTED WOOD 2X6 TUDOR TRIM	18 PAINTED WOOD BRACKETS	26 GLASS LOBBY DOORS
3 INSULATED METAL PANEL DOOR	11 PAINTED 2X12 BELLY BOARD WITH 1X4 PROJECTED TRIM	19 PAINTED 2X12 BELLY BOARD WITH 1X6 PROJECTED TRIM	27 GLASS AMENITY DOORS
4 SLIDING DOOR	12 PAINTED 2X12 BELLY BOARD	20 CONCRETE CAP	28 LED WALL SCONCE
5 BRICK	13 PAINTED 2X4 WINDOW TRIM	21 ALUMINUM RAILING	
6 PAINTED FIBRE CEMENT PLANK 5" EXPOSED	14 METAL PANEL DOOR	22 PREFINISHED 4X4 SECURITY MESH IN PUNCHED OPENING	
7 PAINTED FIBRE CEMENT PLANK 4.5" EXPOSED	15 BRICK PATTERNED w/ SOLDIER COURSES	23 BOARD FORMED CONCRETE	
8 PAINTED WOOD TRIM BOARD	16 PAINTED METAL PANEL DOOR	24 GREEN WALL MOUNTABLE SYSTEM	



**DP 22-013081 March 6, 2024 PLAN #38**

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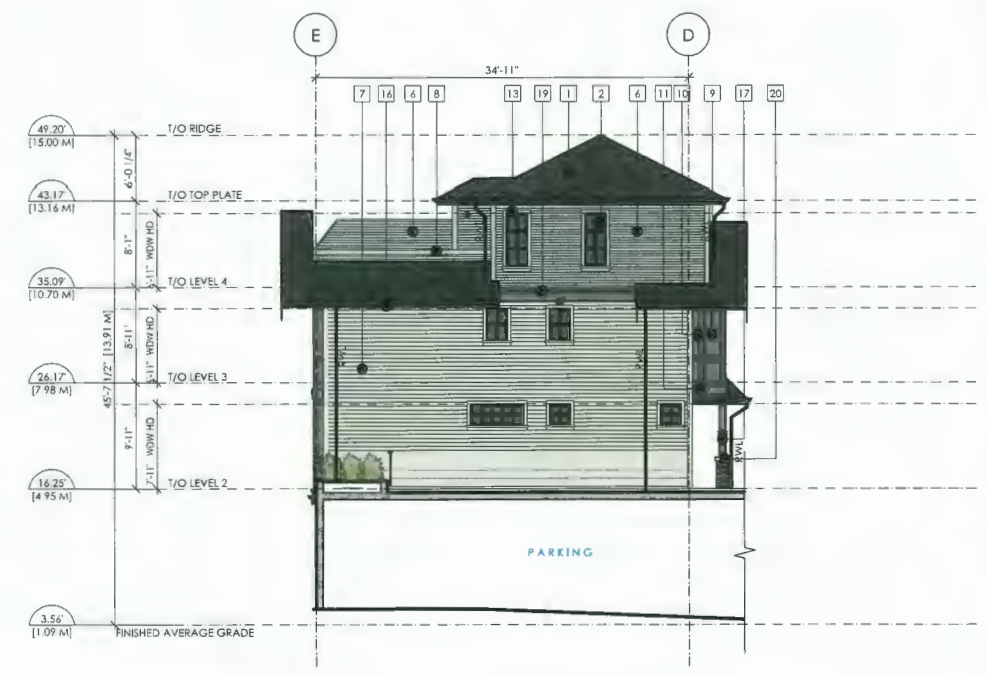
NORTH ELEVATION  
 BUILDING 4



WEST ELEVATION  
 BUILDING 4



SOUTH ELEVATION  
 BUILDING 4



EAST ELEVATION  
 BUILDING 4

TERA

FORMWERKS  
 ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5  
 Fax 685-2076 Phone 685-5441

PROJECT  
**8800 SPIRES ROAD**  
 8800 SPIRES ROAD  
 RICHMOND, BC

DRAWING  
**BUILDING 4 ELEVATIONS**

SCALE  
 1/8" = 1'-0"

SHEET  
**A2.08**

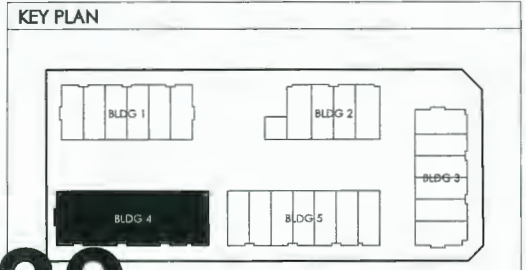
DATE  
 FEBRUARY 28, 2024

COLOUR LEGEND

[Color swatch]	BM 1551 LA PALOMA GREY
[Color swatch]	BM 1549 BALBOA MIST
[Color swatch]	BM 1475 GRAYSTONE
[Color swatch]	BM HC-166 KENDALL CHARCOAL

FINISH SCHEDULE

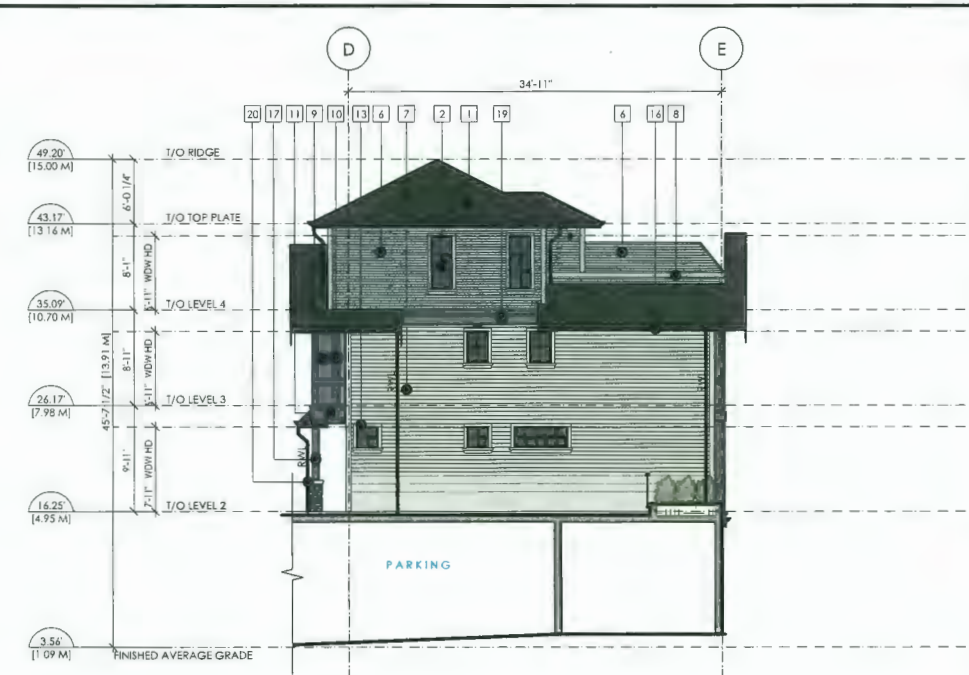
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2 DOUBLE PANED SEALED UNIT VINYL WINDOWS	10 PAINTED WOOD 2X6 TUDOR TRIM	18 PAINTED WOOD BRACKETS
3 INSULATED METAL PANEL DOOR	11 PAINTED 2X12 BELLY BOARD WITH 1X4 PROJECTED TRIM	19 PAINTED 2X12 BELLY BOARD WITH 1X6 PROJECTED TRIM
4 SLIDING DOOR	12 PAINTED 2X12 BELLY BOARD	20 CONCRETE CAP
5 BRICK	13 PAINTED 2X4 WINDOW TRIM	21 ALUMINUM RAILING
6 PAINTED FIBRE CEMENT PLANK 3" EXPOSED	14 METAL PANEL DOOR	22 PREFINISHED 4X4 SECURITY MESH IN PUNCHED OPENING
7 PAINTED FIBRE CEMENT PLANK 4.5" EXPOSED	15 BRICK PATTERNED W/ SOLDIER COLUMN	23 BOARD FORMED CONCRETE
8 PAINTED WOOD TRIM	16 PAINTED METAL PANEL DOOR	24 GREEN WALL MOUNTABLE SYSTEM



**DP 22-013081** March 6, 2024 **PLAN #39**



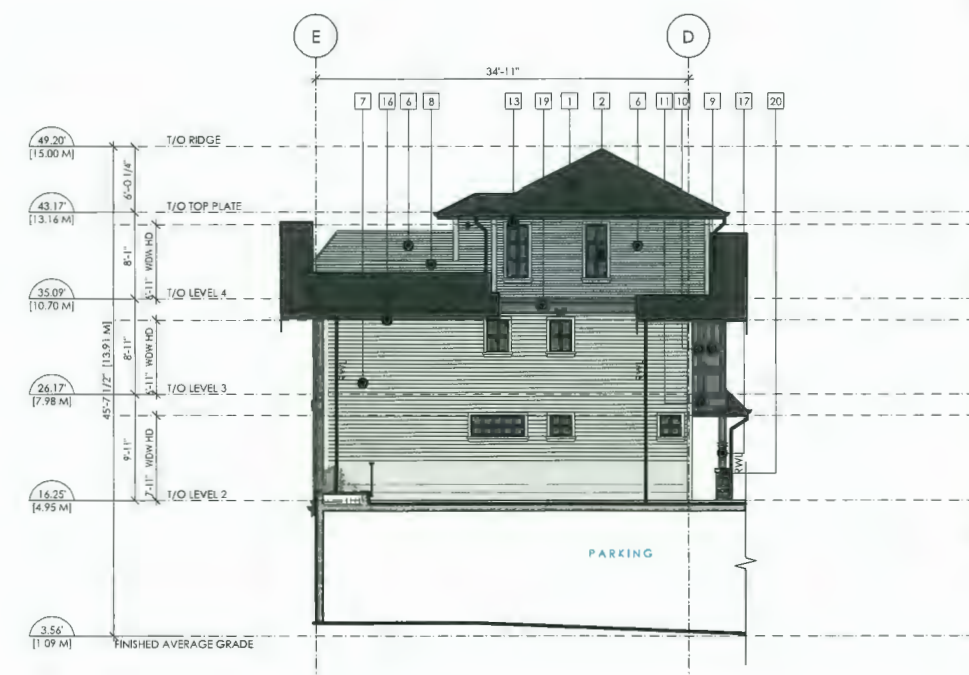
NORTH ELEVATION  
BUILDING 5



WEST ELEVATION  
BUILDING 5



SOUTH ELEVATION  
BUILDING 5



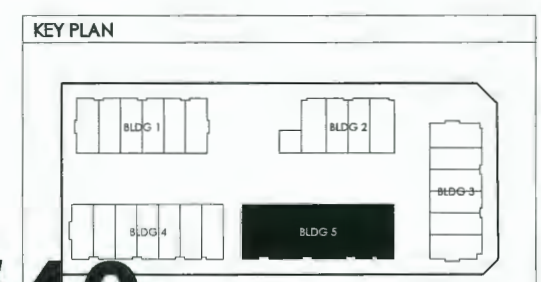
EAST ELEVATION  
BUILDING 5

**COLOUR LEGEND**

[Pattern]	BM 1551 LA PALOMA GREY
[Pattern]	BM 1549 BALBOA MIST
[Pattern]	BM 1475 GRAYSTONE
[Pattern]	BM HC-166 KENDALL CHARCOAL

**FINISH SCHEDULE**

1 FIBREGLASS SHINGLE	7 PAINTED FIBRE CEMENT BOARD WITH 6" TRIMS	17 PAINTED WOOD COLUMN	25 PAINTED METAL ELEVATOR DOORS
2 DOUBLE PANED SEALED UNIT VINYL WINDOWS	10 PAINTED WOOD 2X6 TUDOR TRIM	18 PAINTED WOOD BRACKETS	26 GLASS LOBBY DOORS
3 INSULATED METAL PANEL DOOR	11 PAINTED 2X12 BELLY BOARD WITH 1X4 PROJECTED TRIM	19 PAINTED 2X12 BELLY BOARD WITH 1X6 PROJECTED TRIM	27 GLASS AMENITY DOORS
4 SLIDING DOOR	12 PAINTED 2X12 BELLY BOARD	20 CONCRETE CAP	28 LED WALL SCONCE
5 BRICK	13 PAINTED 2X4 WINDOW TRIM	21 ALUMINUM RAILING	
6 PAINTED FIBRE CEMENT PLANK 3" EXPOSED	14 METAL PANEL DOOR	22 PREFINISHED 4X4 SECURITY MESH IN PUNCHED OPENING	
7 PAINTED FIBRE CEMENT PLANK 4.5" EXPOSED	15 BRICK PATTERNED w/ SOLDIER COURSE	23 BOARD FORMED CONCRETE	
8 PAINTED WOOD TRIM	16 PAINTED METAL PANEL DOOR	24 GREEN WIRE MESH SYSTEM	



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RE-ISSUED FOR DP APPLICATION	FEB 28, 2024

**TERA**  
**FORMWERKS ARCHITECTURAL**

1625 West 5th Ave., Vancouver, BC V6J 1N5  
Fax 685-2076 Phone 685-5441

**PROJECT**  
**8800 SPIRES ROAD**  
8800 SPIRES ROAD  
RICHMOND, BC

**DRAWING**  
**BUILDING 5 ELEVATIONS**

**SCALE**  
1/8" = 1'-0"

**SHEET**  
A2.10

DATE  
FEBRUARY 28, 2024

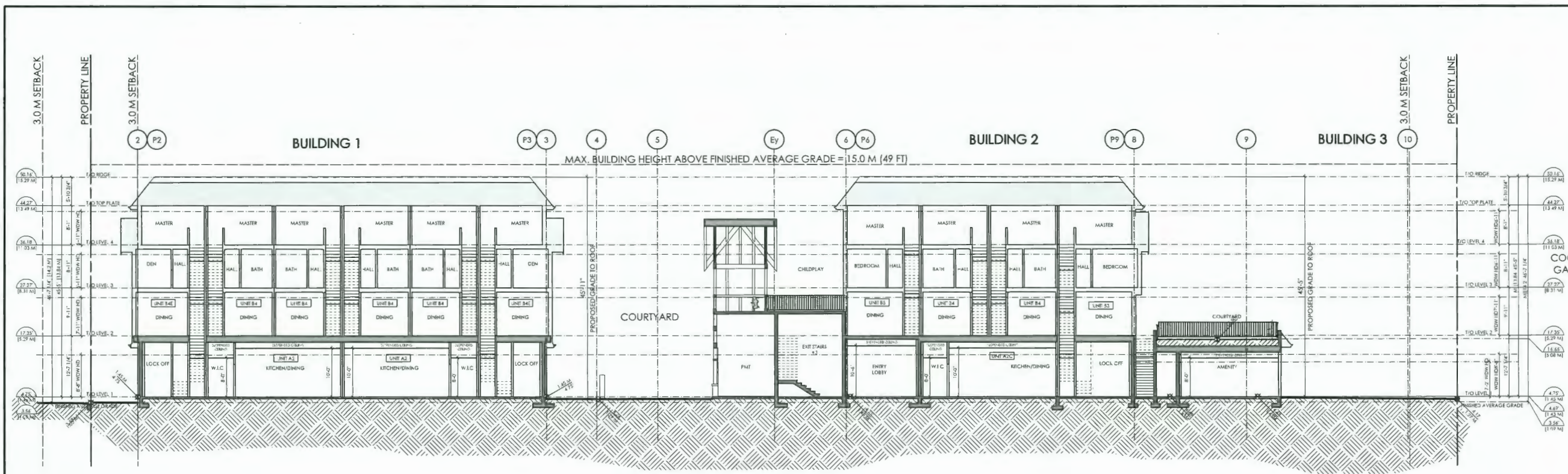
DP 22-013081 March 6, 2024 PLAN #40

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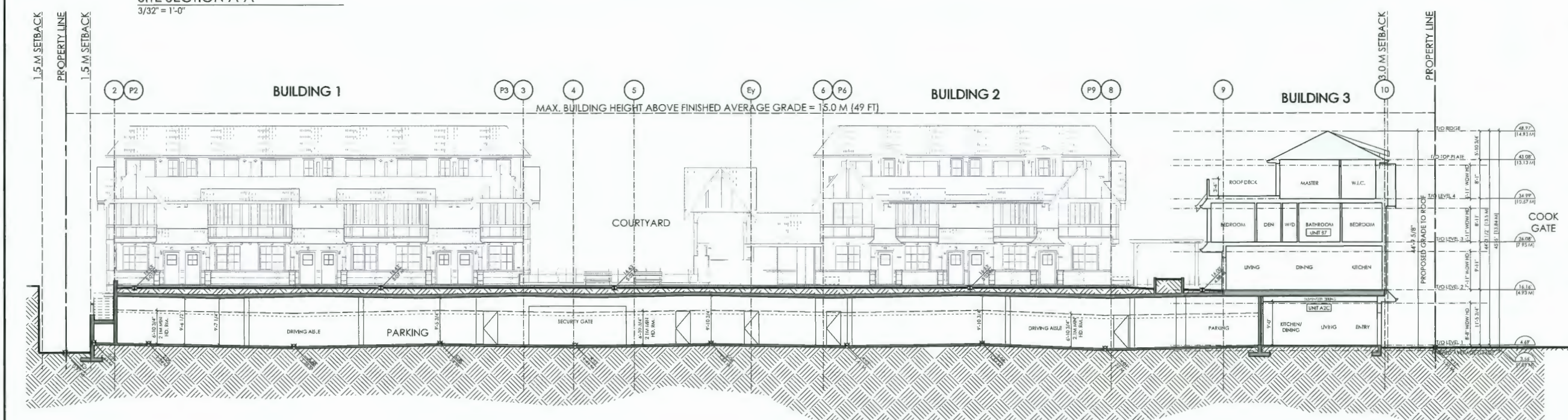
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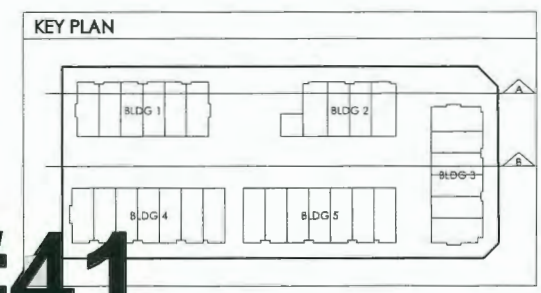
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SITE SECTION A-A  
3/32" = 1'-0"



SITE SECTION B-B  
3/32" = 1'-0"



**FORMWERKS ARCHITECTURAL**

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Fax 685-2076 Phone 683-5441

PROJECT

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
RICHMOND, BC

DRAWING

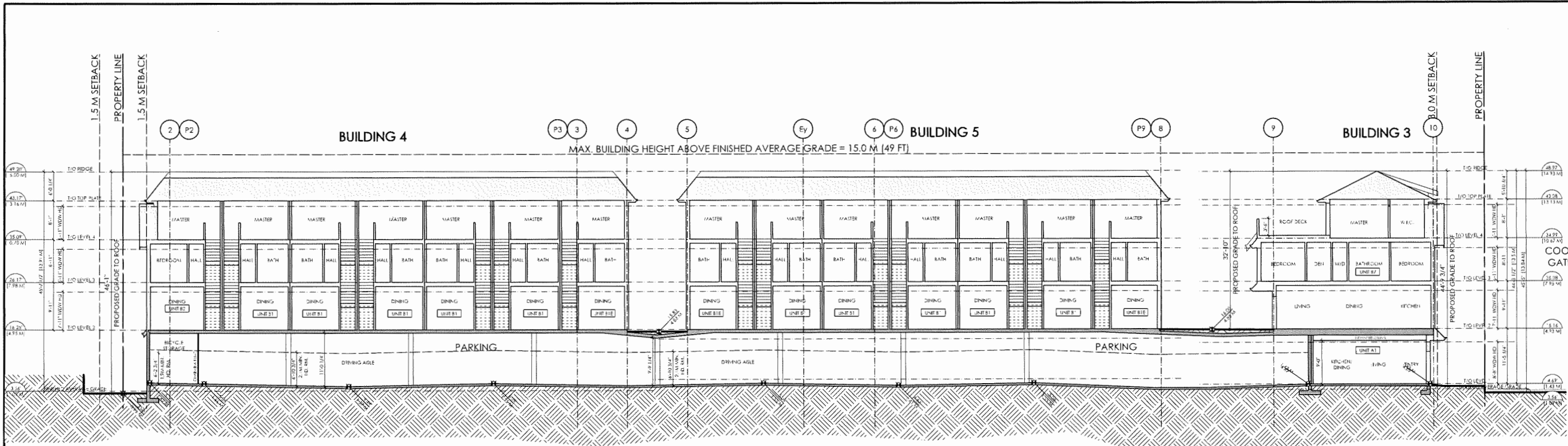
**SITE SECTIONS**

SCALE 1/16" = 1'-0"

DATE FEBRUARY 28, 2024

SHEET **A1.12**

**DP 22-013081 March 6, 2024 PLAN #41**



SITE SECTION C-C  
3/32" = 1'-0"

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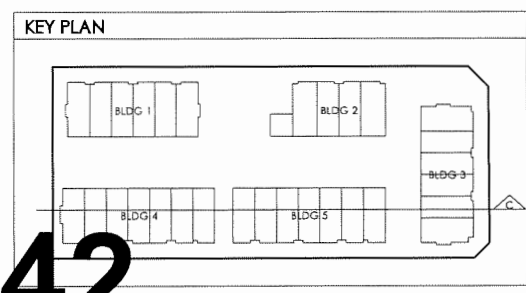
PROJECT  
**8800 SPIRES ROAD**  
8800 SPIRES ROAD  
RICHMOND, BC

DRAWING  
**SITE SECTIONS**

SCALE  
1/16" = 1'-0"

DATE  
FEBRUARY 28, 2024

SHEET  
**A1.13**



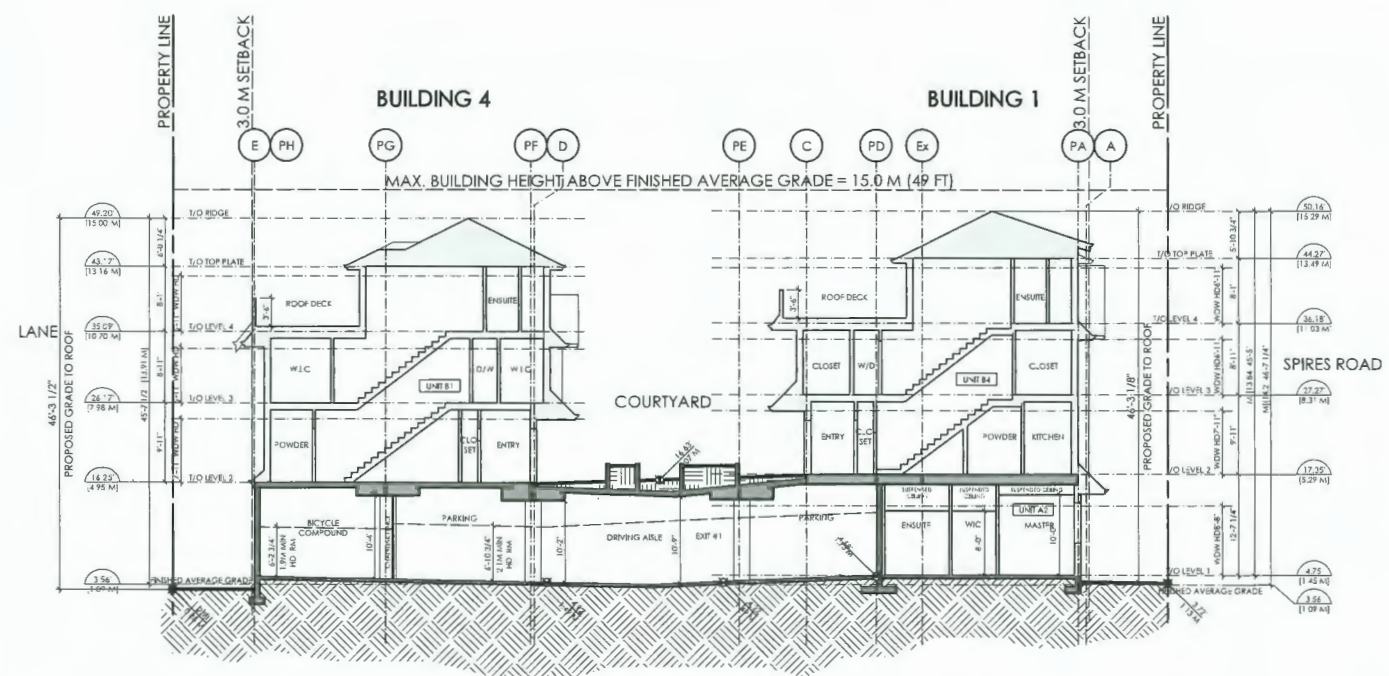
**DP 22-013081 March 6, 2024 PLAN #42**

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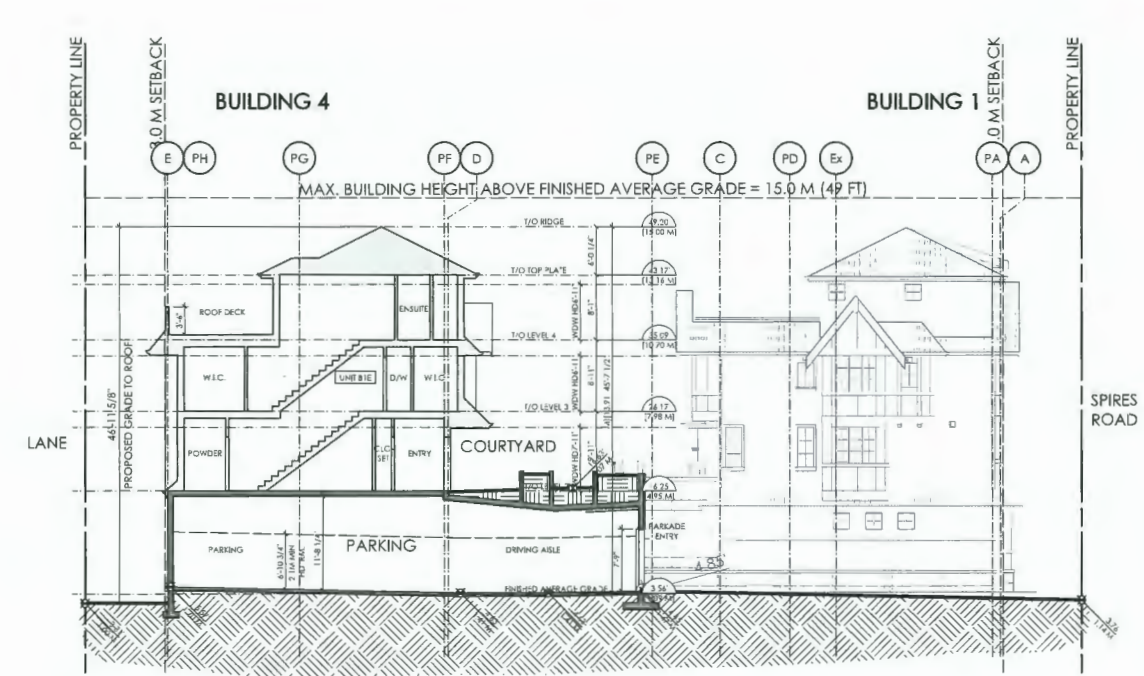
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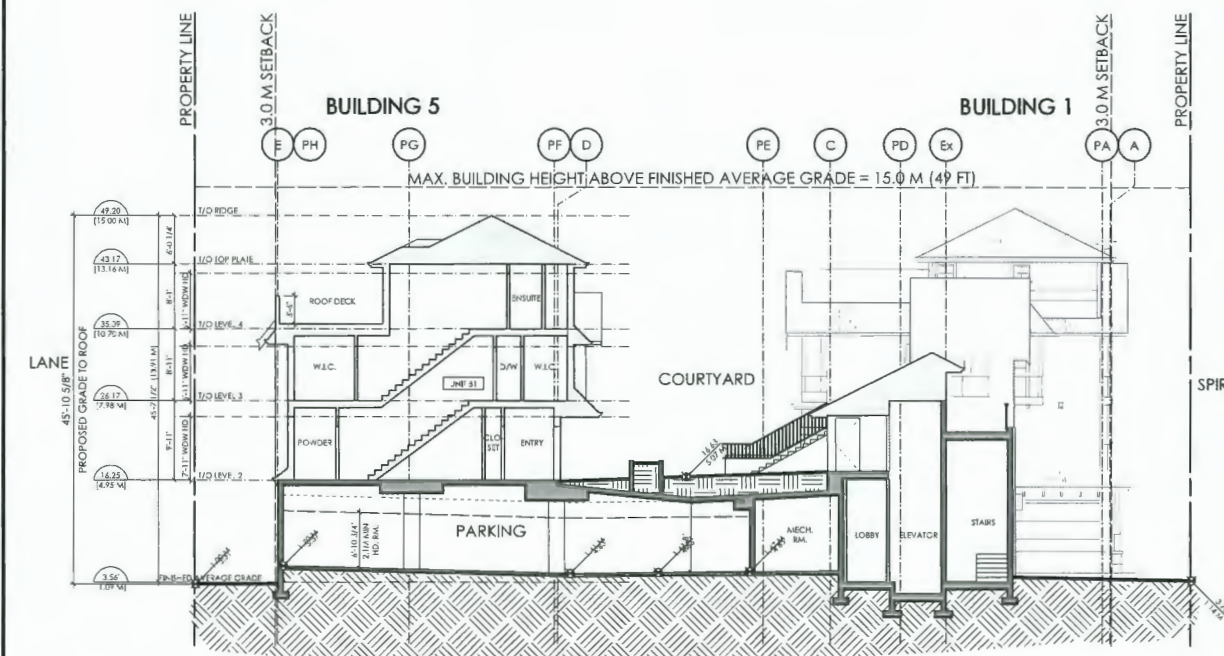
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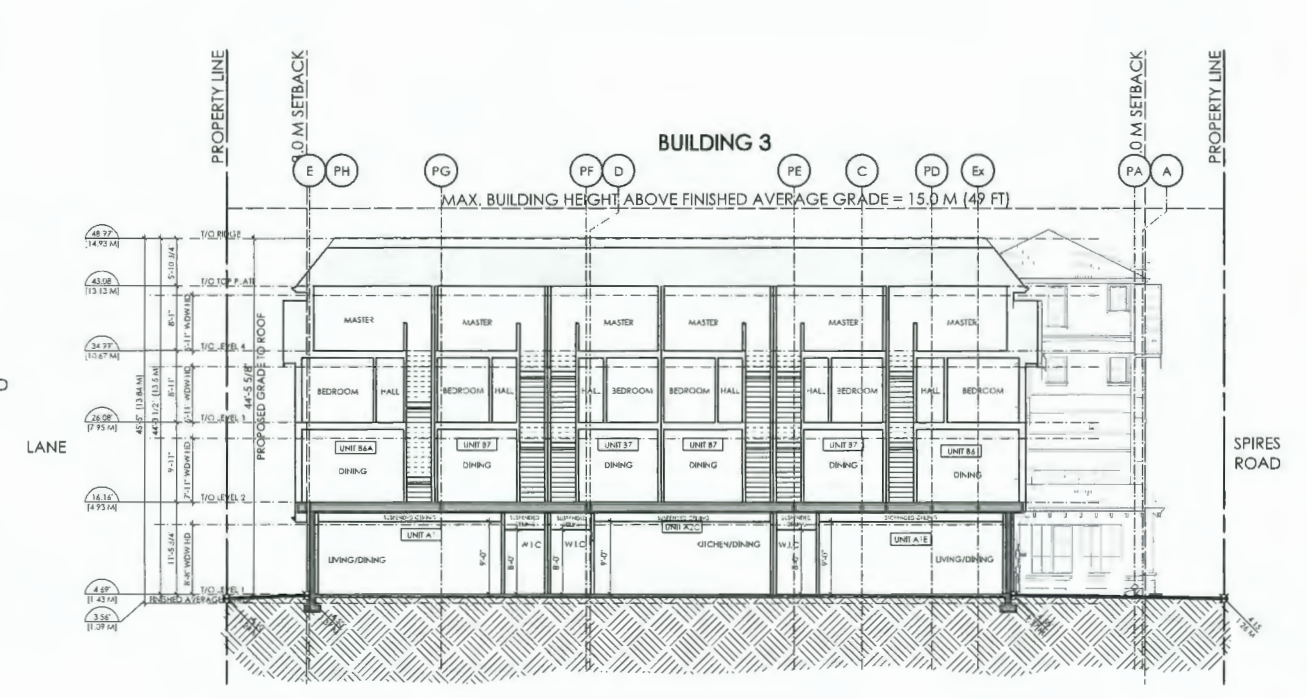
SITE SECTION D-D  
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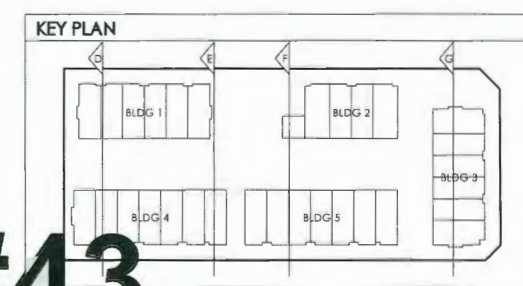
SITE SECTION E-E  
3/32" = 1'-0"



SITE SECTION F-F  
3/32" = 1'-0"



SITE SECTION G-G  
3/32" = 1'-0"



**FORMWERKS ARCHITECTURAL**

1625 West 5th Ave., Vancouver, BC V6J 1N5  
Fax: 605-2076 Phone: 683-5441

PROJECT

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
RICHMOND, BC

DRAWING

SITE SECTIONS

SCALE 1/16" = 1'-0"

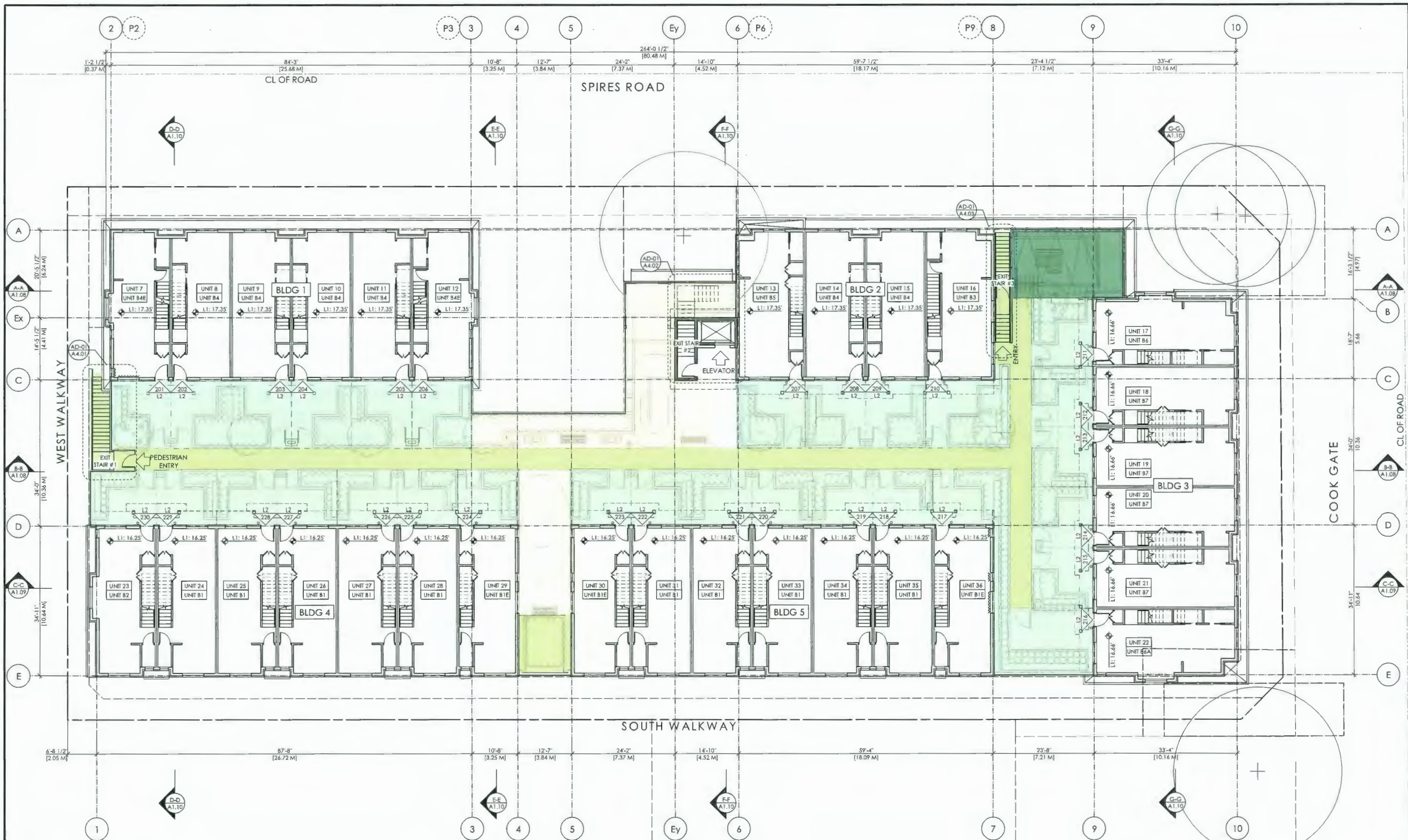
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SHEET **A1.14**

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TERA

FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5  
 Fax 685-2076 Phone 685-5441

PROJECT  
**8800 SPIRES ROAD**  
 8800 SPIRES ROAD  
 RICHMOND, BC

DRAWING  
**LEVEL 2 PLAN**

SCALE  
 3/32" = 1'-0"

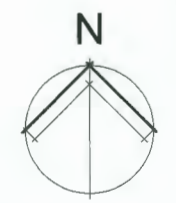
DATE  
 FEBRUARY 28, 2024

SHEET  
**A1.06**

LEGEND

	CONVERTIBLE/UNIVERSAL UNIT
	UNIT ENTRY
	EXISTING SPOT ELEVATION
	PROPOSED GRADE ELEVATION
	INTERPOLATED SPOT ELEVATION
	WALL MOUNTED DOWNLIGHT
	PRIVATE OUTDOOR AREA
	AMENITY OUTDOOR AREA
	AREA
	OUTDOOR

**DP 22-013081 March 6, 2024 Reference Plan**





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RE-ISSUED FOR REZONING 9	FEB 7 2022
ISSUED FOR DP APPLICATION	APR 19 2023
RE-ISSUED FOR DP APPLICATION	FEB 27 2023
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ISSUED FOR TENDER	JAN 31 2024
RE-ISSUED FOR DP APPLICATION	FEB 8 2024
RE-ISSUED FOR DP APPLICATION	FEB 28 2024



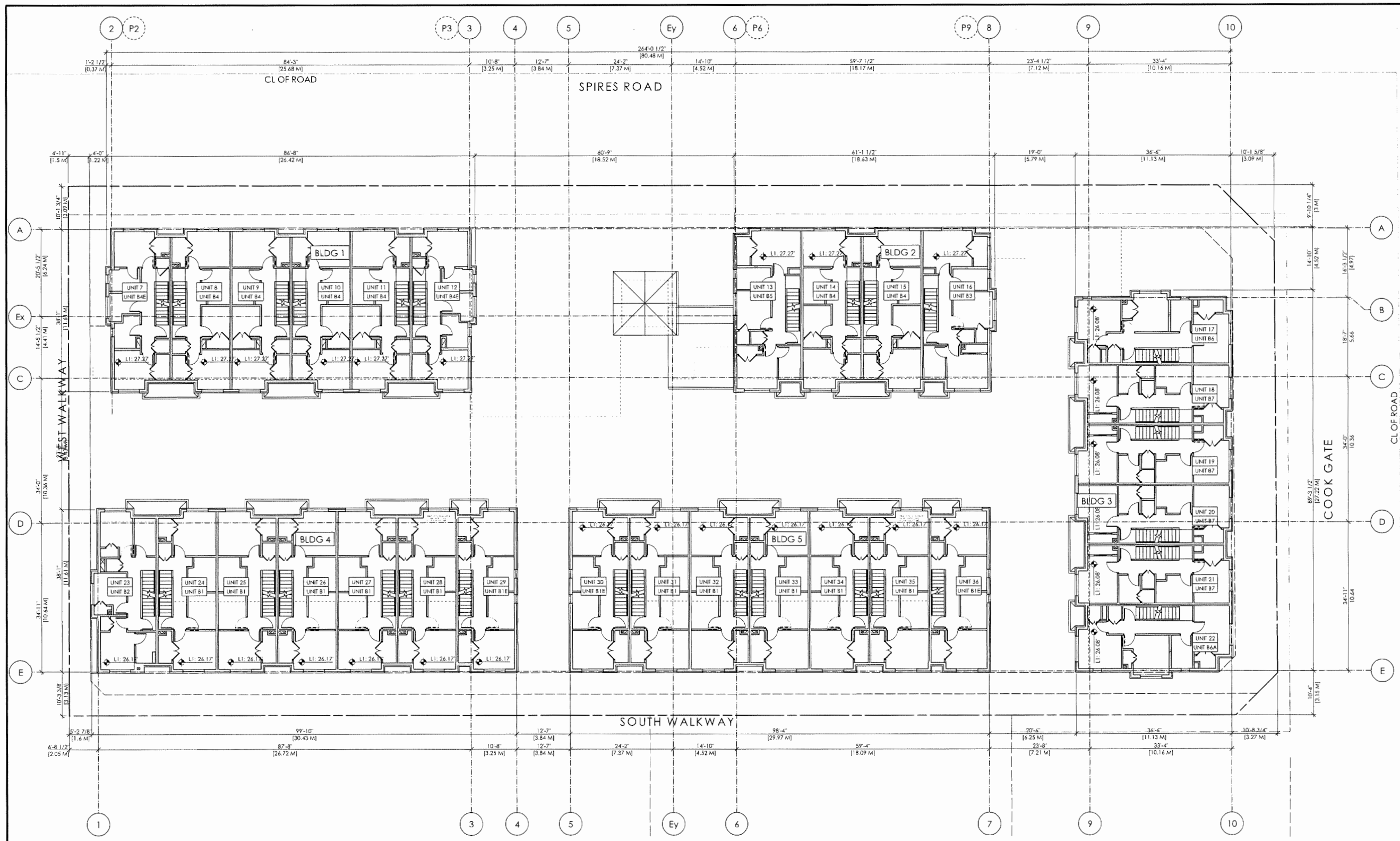
**FORMWERKS ARCHITECTURAL**

1625 West 5th Ave., Vancouver, BC V6J 1N5  
 Fax: 685-2076 Phone: 683-5441

PROJECT  
**8800 SPIRES ROAD**  
 8800 SPIRES ROAD  
 RICHMOND, BC

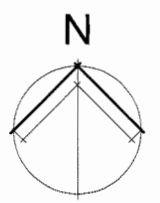
DRAWING  
**LEVEL 3 PLAN**

SCALE: 3/32" = 1'-0"  
 SHEET: A1.07  
 DATE: FEBRUARY 28, 2024



LEGEND

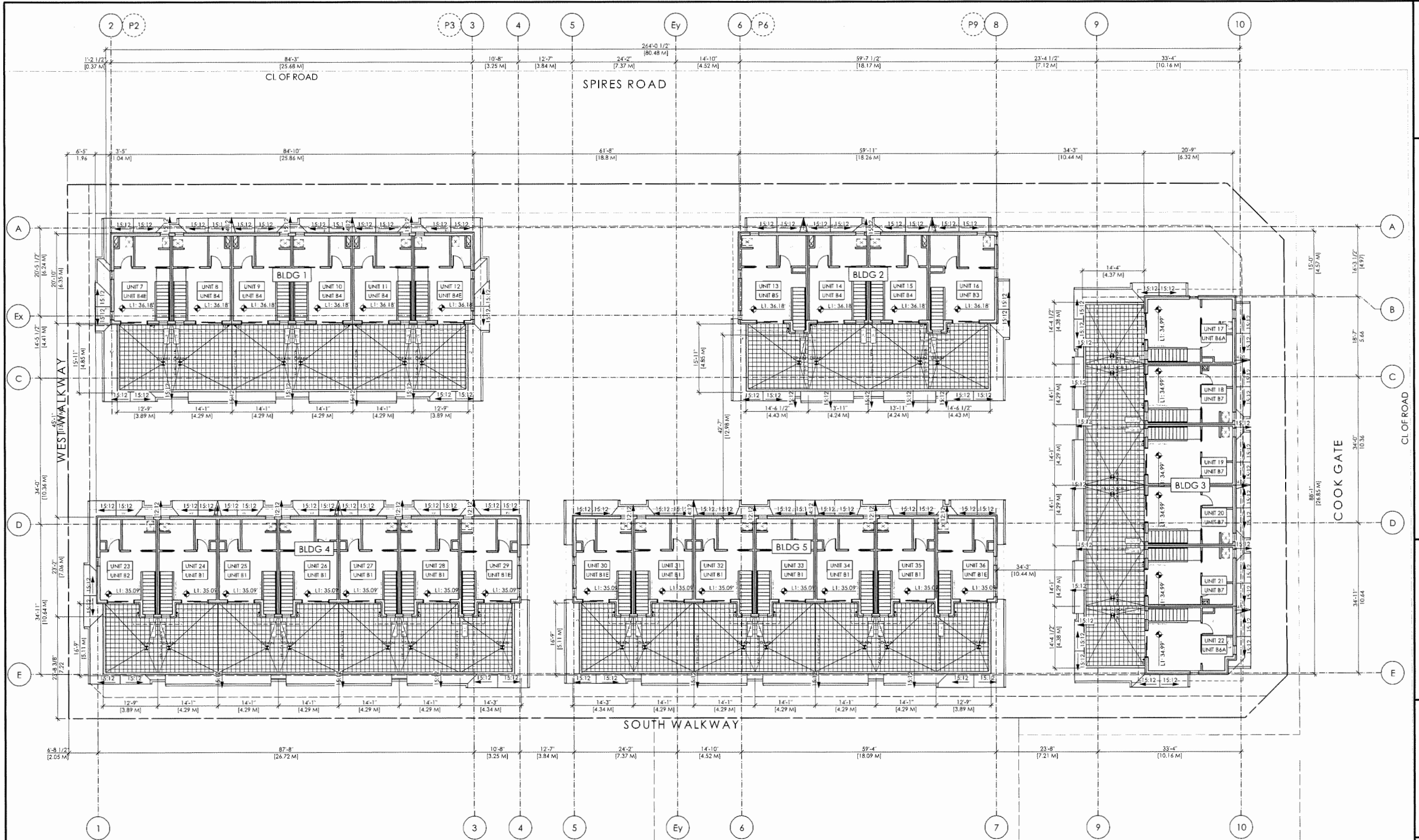
	CONVERTIBLE/UNIVERSAL UNIT
	UNIT ENTRY
	EXISTING SPOT ELEVATION E.G. 328.08 100.00 M
	PROPOSED GRADE ELEVATION E.G. 328.08 100.00 M
	INTERPOLATED SPOT ELEVATION E.G. 328.08 100.00 M (INDICATED ON DRAWING PLAN)



**DP 22-013081 March 6, 2024 Reference Plan**

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REVISED FOR REZONING 4	OCT 25, 2021
REVISED FOR REZONING 4	NOV 3, 2021
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RE-ISSUED FOR DP APPLICATION	FEB 28, 2024



LEGEND	
	CONVERTIBLE/UNIVERSAL UNIT
	UNIT ENTRY
	EXISTING SPOT ELEVATION E.G. 328.08' 100.00 M
	PROPOSED GRADE ELEVATION P.G. 328.08'
	INTERPOLATED SPOT ELEVATION I.G. 328.08' (INTERPOLATED FROM 3-1/4" X 1/4")
	CONDENSING UNITS

**TERA**

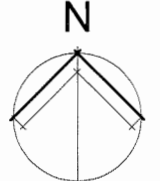
**FORMWERKS ARCHITECTURAL**

1625 West 5th Ave., Vancouver, BC V6J 1N5  
 Fax 685-2076 Phone 683-5441

PROJECT  
**8800 SPIRES ROAD**  
 8800 SPIRES ROAD  
 RICHMOND, BC

DRAWING  
**LEVEL 4 PLAN**

SCALE 3/32" = 1'-0"	SHEET A1.08
DATE FEBRUARY 28, 2024	



**DP 22-013081 March 6, 2024 Reference Plan**

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PROJECT

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
 RICHMOND, BC

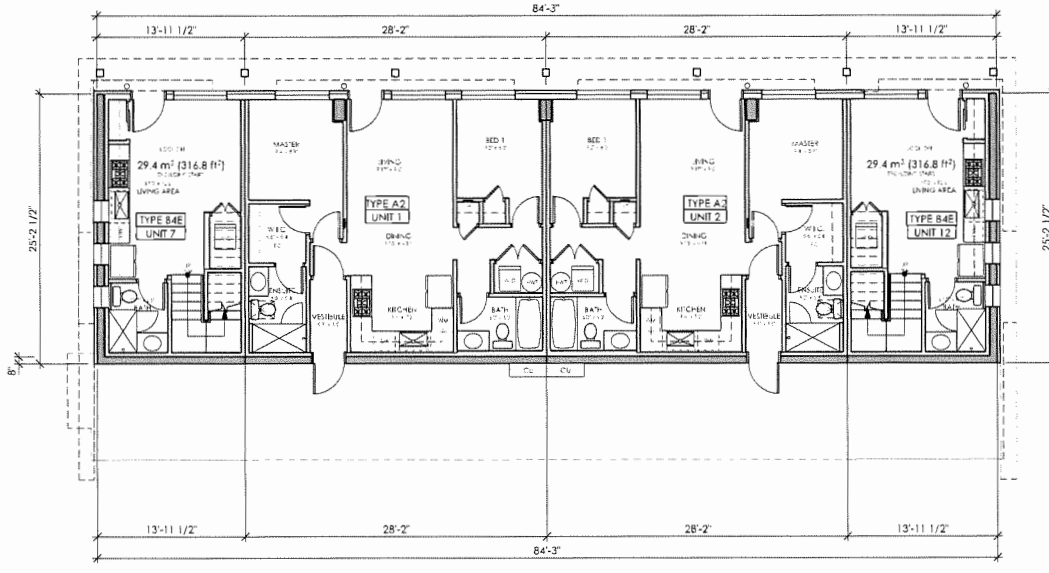
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**BUILDING 1 PLANS**

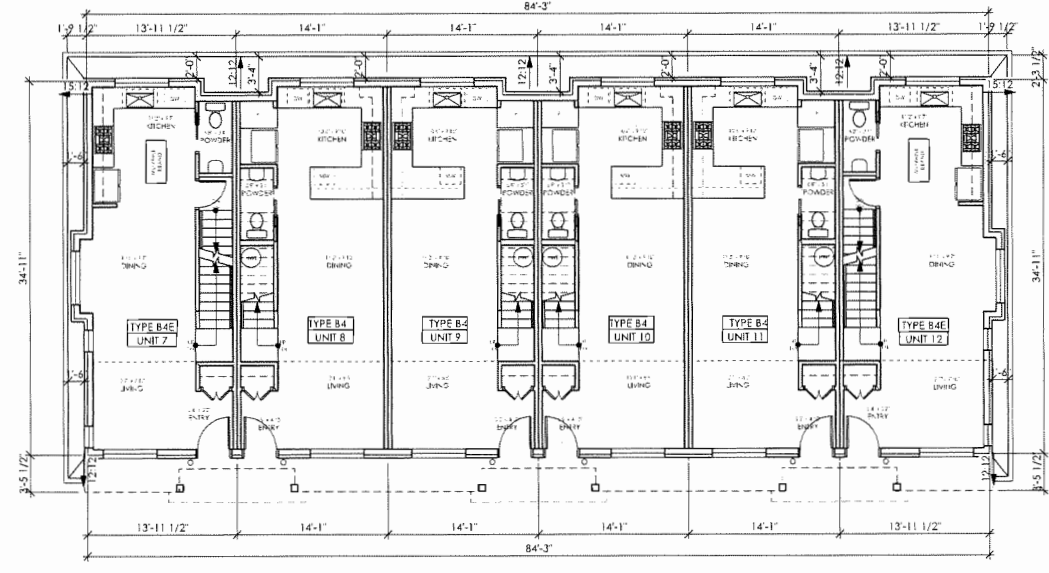
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DATE  
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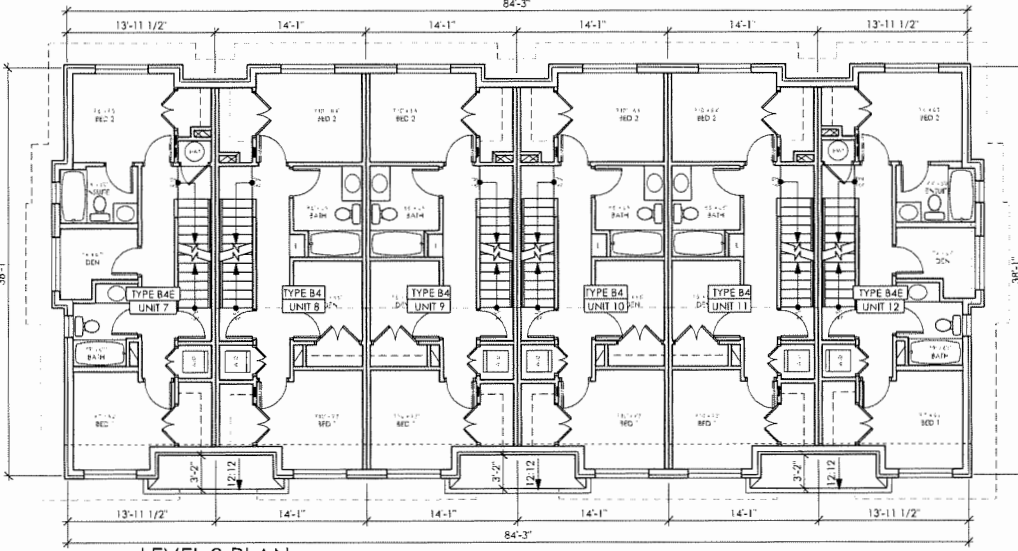
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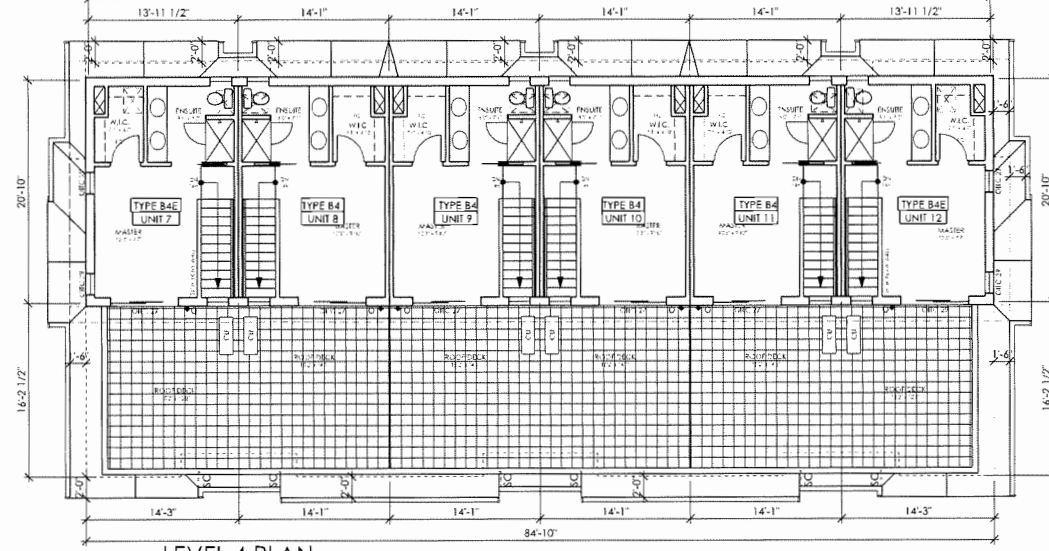
LEVEL 1 PLAN  
 BUILDING 1



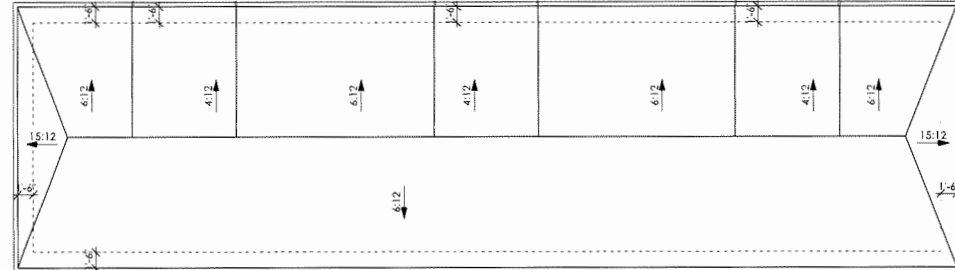
LEVEL 2 PLAN  
 BUILDING 1



LEVEL 3 PLAN  
 BUILDING 1



LEVEL 4 PLAN  
 BUILDING 1

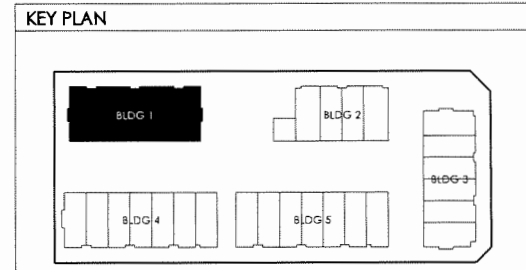


NOTES:

- SOUND ISOLATION FOR CONDENSING UNITS TO BE COORDINATED WITH ACOUSTICAL ENGINEER AT BUILDING PERMIT STAGE AND IN CONFORMANCE WITH RECOMMENDATIONS OUTLINED IN BAP ACOUSTIC'S REPORT DATED DEC. 16, 2022.

LEGEND

CU	CONDENSING UNITS
OIC 27	ACOUSTIC UPGRADE MIN. OIC 27
OIC 29	ACOUSTIC UPGRADE MIN. OIC 29

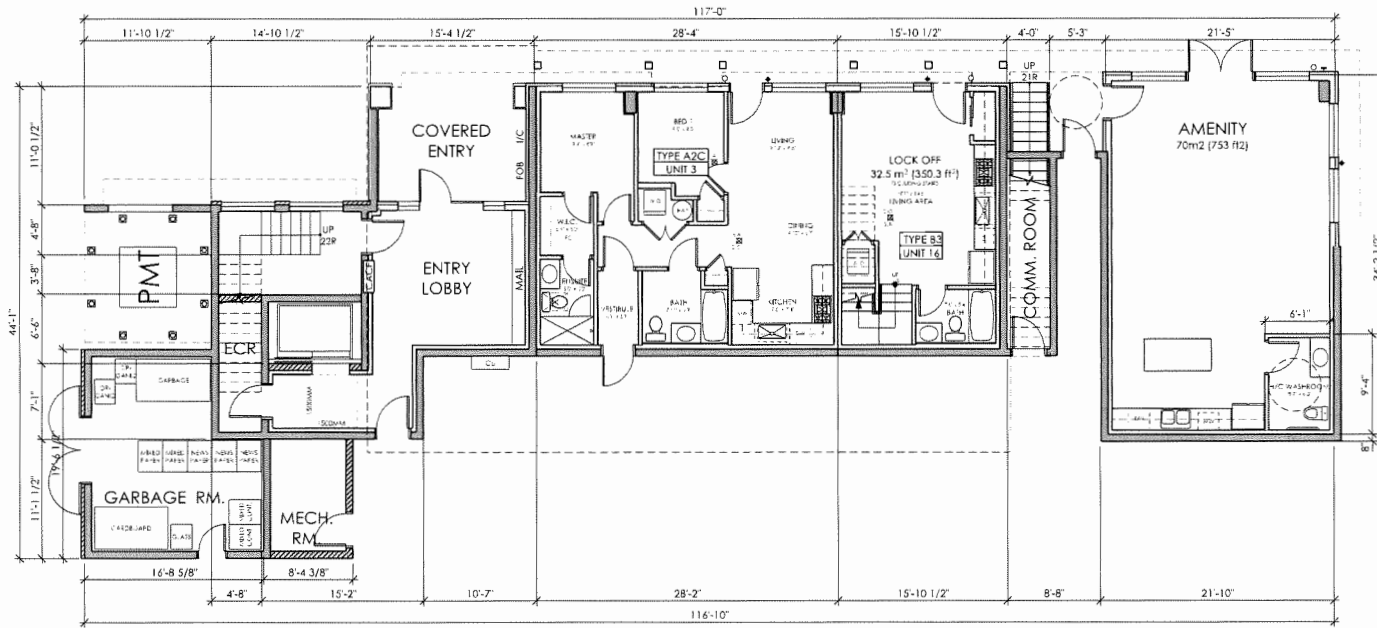


**DP 22-013081 March 6, 2024 Reference Plan**

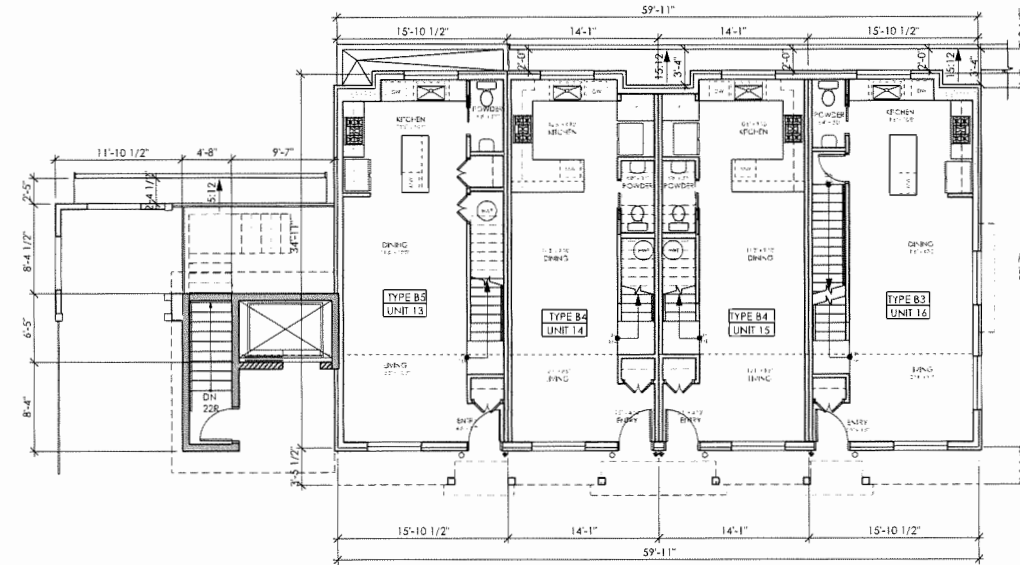
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REVISIONS

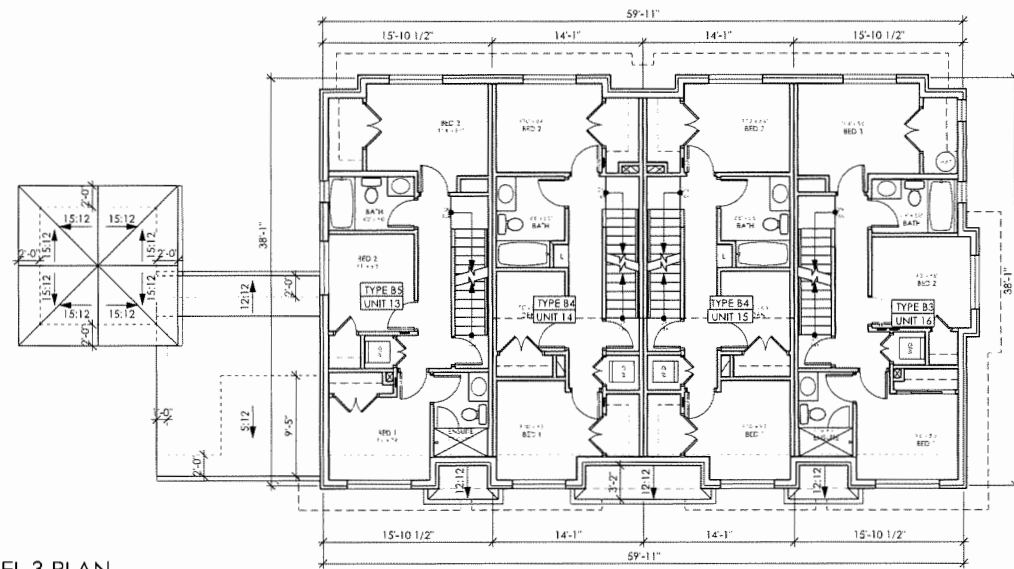
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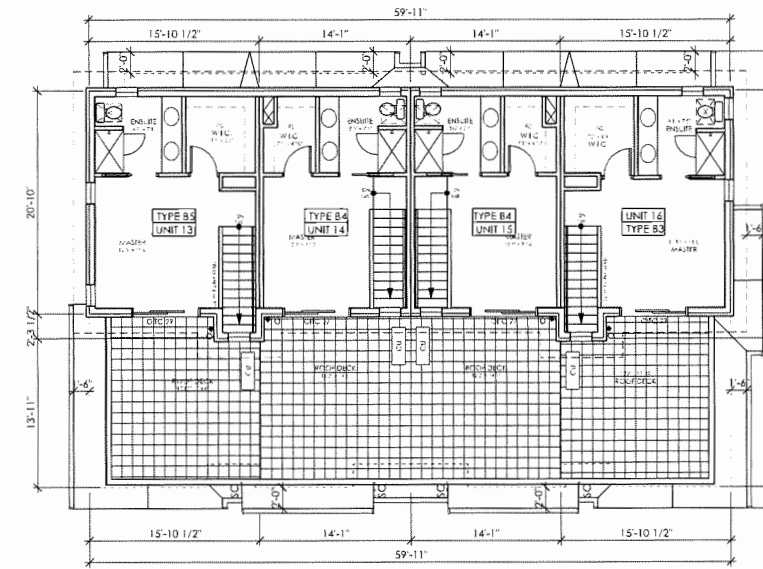
LEVEL 1 PLAN  
BUILDING 2



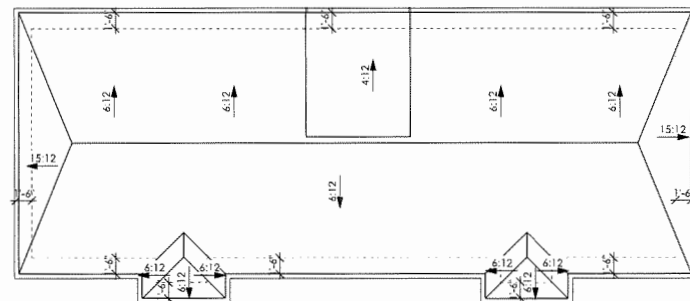
LEVEL 2 PLAN  
BUILDING 2



LEVEL 3 PLAN  
BUILDING 2



LEVEL 4 PLAN  
BUILDING 2



KEY PLAN

LEGEND

- CU CONDENSING UNITS
- OITC 27 ACOUSTIC UPGRADE MIN. OITC 27
- OITC 29 ACOUSTIC UPGRADE MIN. OITC 29

NOTES:  
1. SOUND ISOLATION FOR CONDENSING UNITS TO BE COORDINATED WITH ACOUSTICAL ENGINEER AT BUILDING PERMIT STAGE AND IN CONFORMANCE WITH RECOMMENDATIONS OUTLINED IN BAP ACOUSTIC'S REPORT DATED DEC. 16, 2022.



FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5  
Phone 685-2076 Fax 685-5441

PROJECT

8800 SPIRES ROAD  
8800 SPIRES ROAD  
RICHMOND, BC

DRAWING

BUILDING 2  
PLANS

SCALE  
1/8" = 1'-0"

SHEET

DATE  
FEBRUARY 28, 2024

A2.03

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1625 West 5th Ave., Vancouver, BC V6J 1H5  
 Fax: 685-2076 Phone: 683-5441

PROJECT

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
 RICHMOND, BC

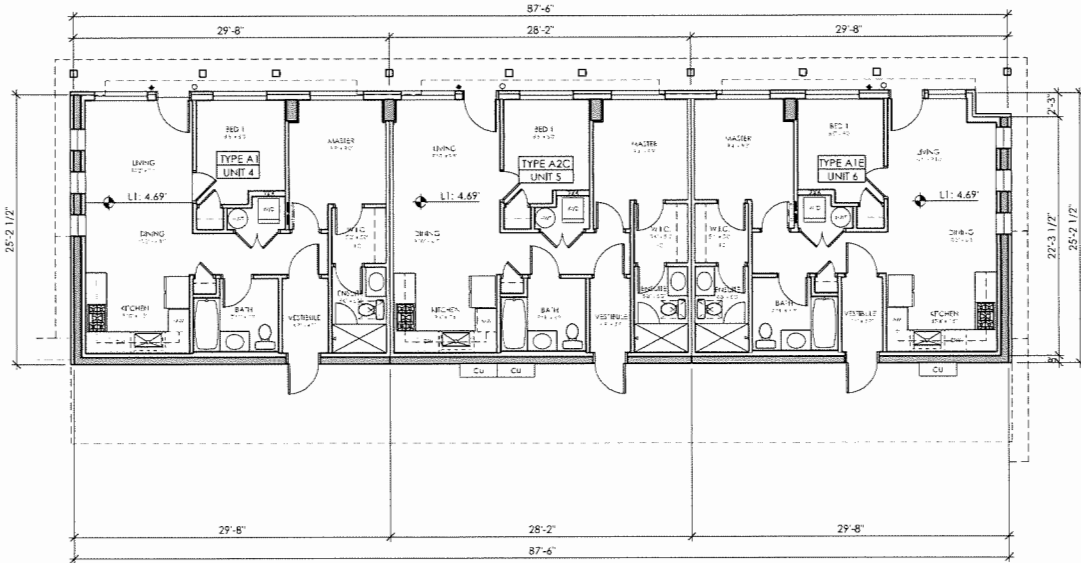
DRAWING

**BUILDING 3 PLANS**

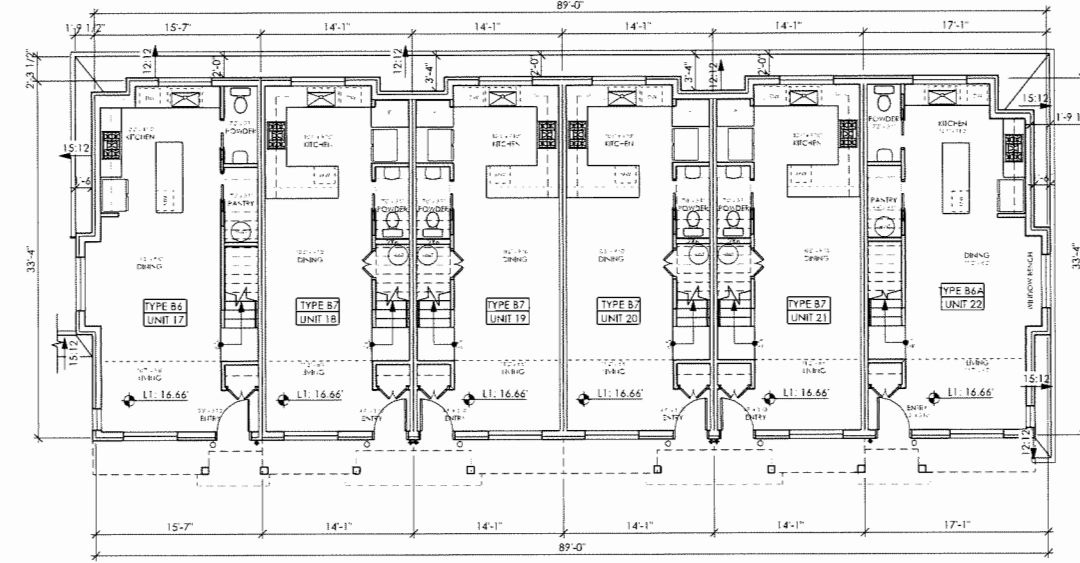
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DATE: FEBRUARY 28, 2024

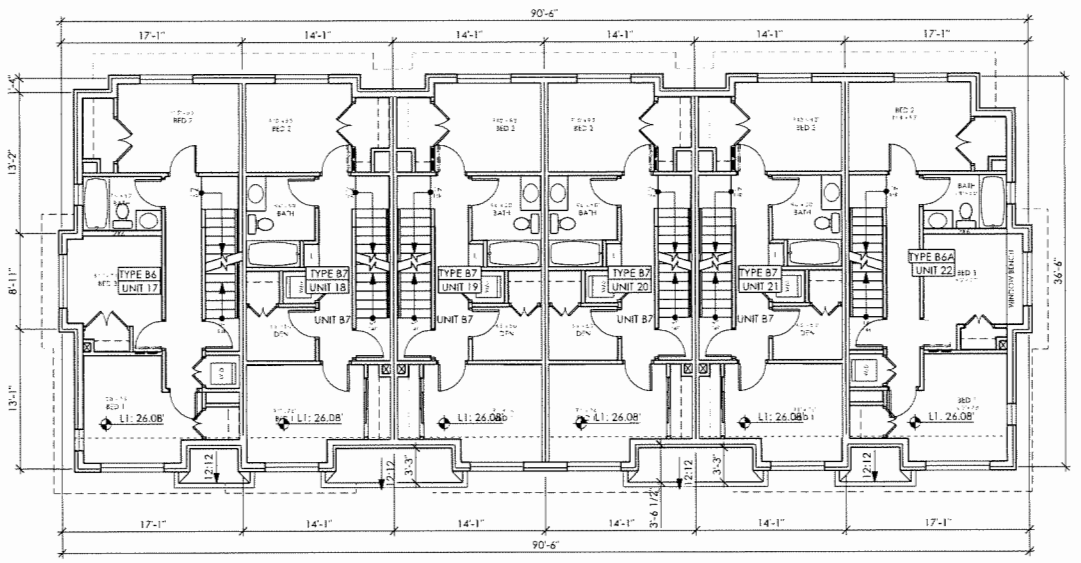
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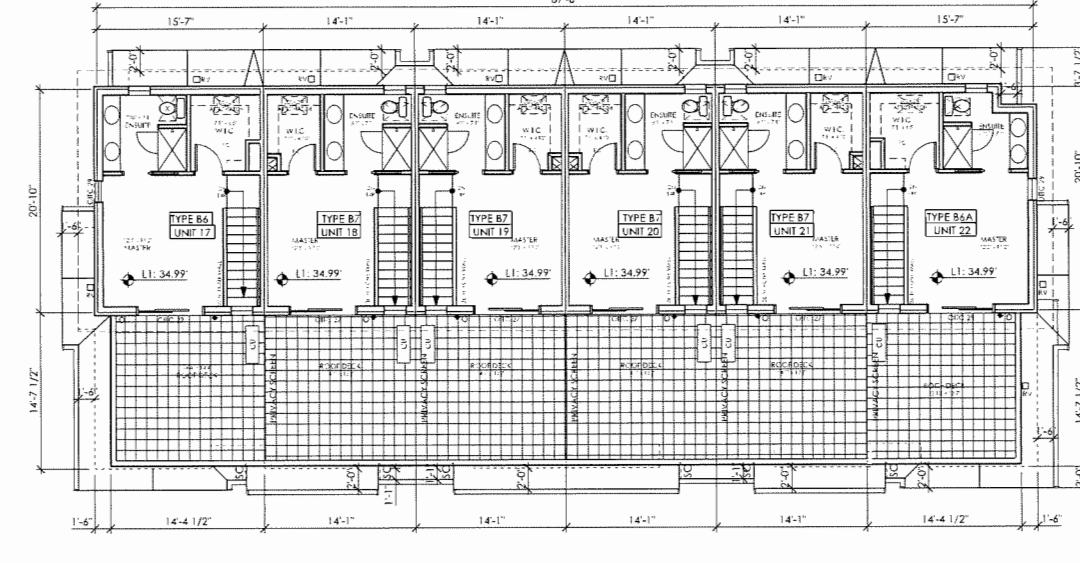
LEVEL 1 PLAN  
BUILDING 3



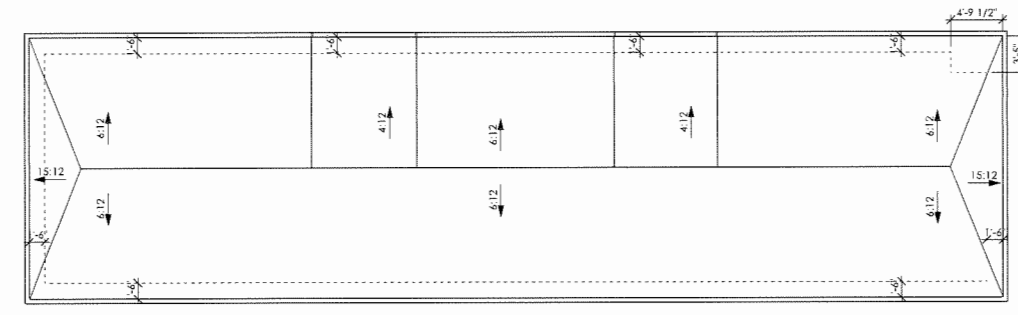
LEVEL 2 PLAN  
BUILDING 3



LEVEL 3 PLAN  
BUILDING 3



LEVEL 4 PLAN  
BUILDING 3

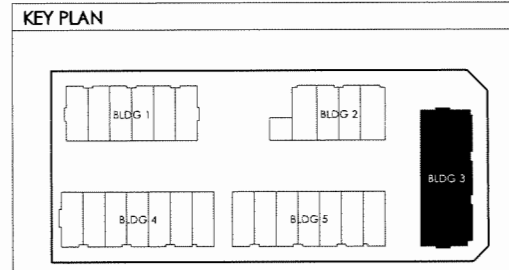


NOTES:

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LEGEND

CU	CONDENSING UNITS
OITC 27	ACOUSTIC UPGRADE MIN. OITC 27
OITC 29	ACOUSTIC UPGRADE MIN. OITC 29



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PROJECT

**8800 SPIRES ROAD**  
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 RICHMOND, BC

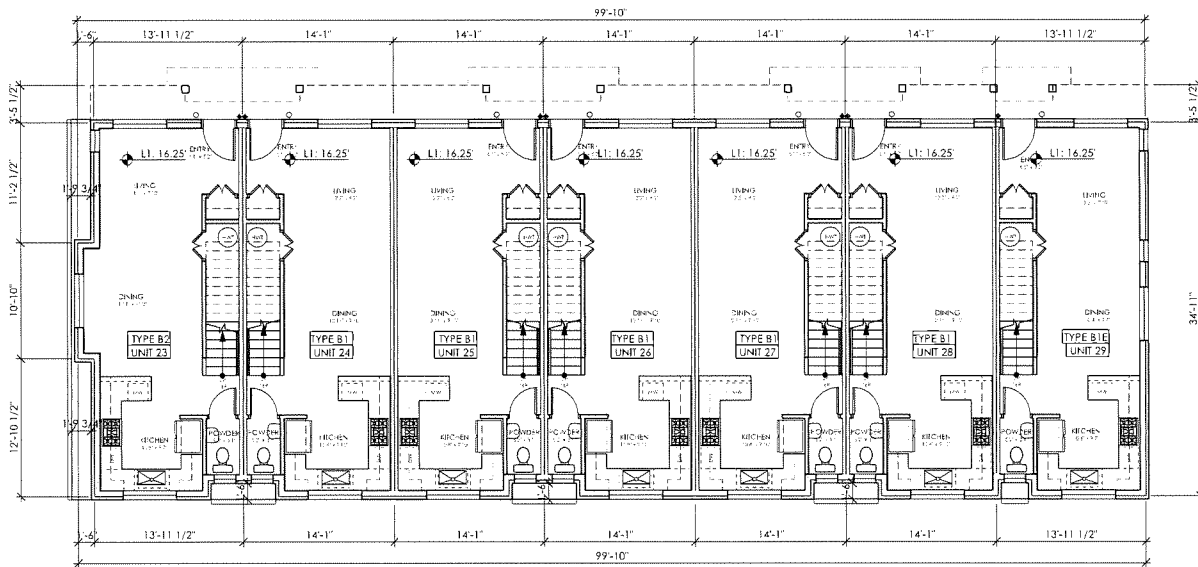
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**BUILDING 4 PLANS**

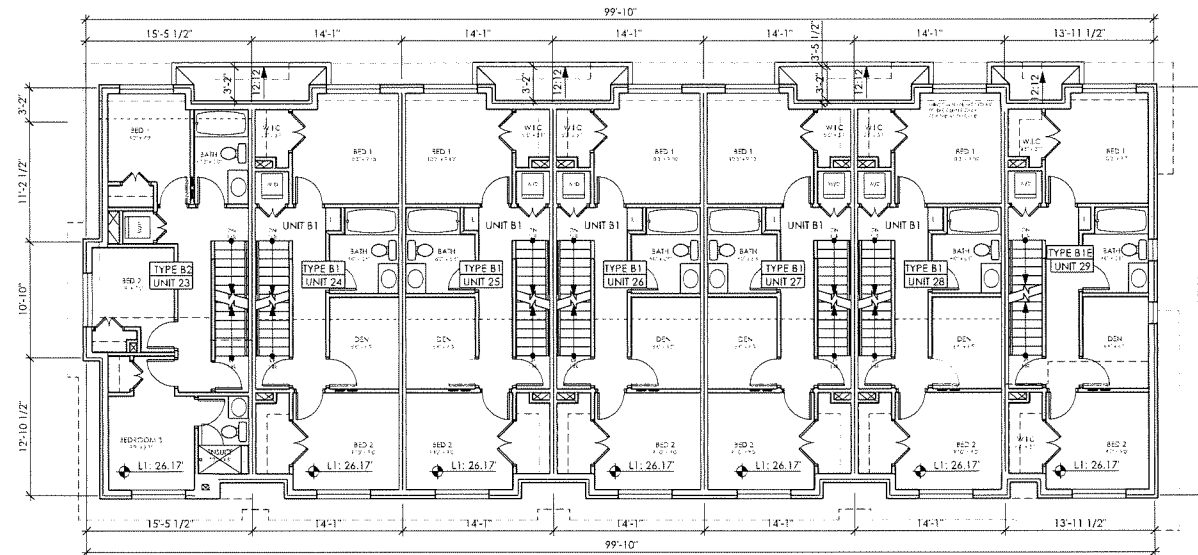
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DATE  
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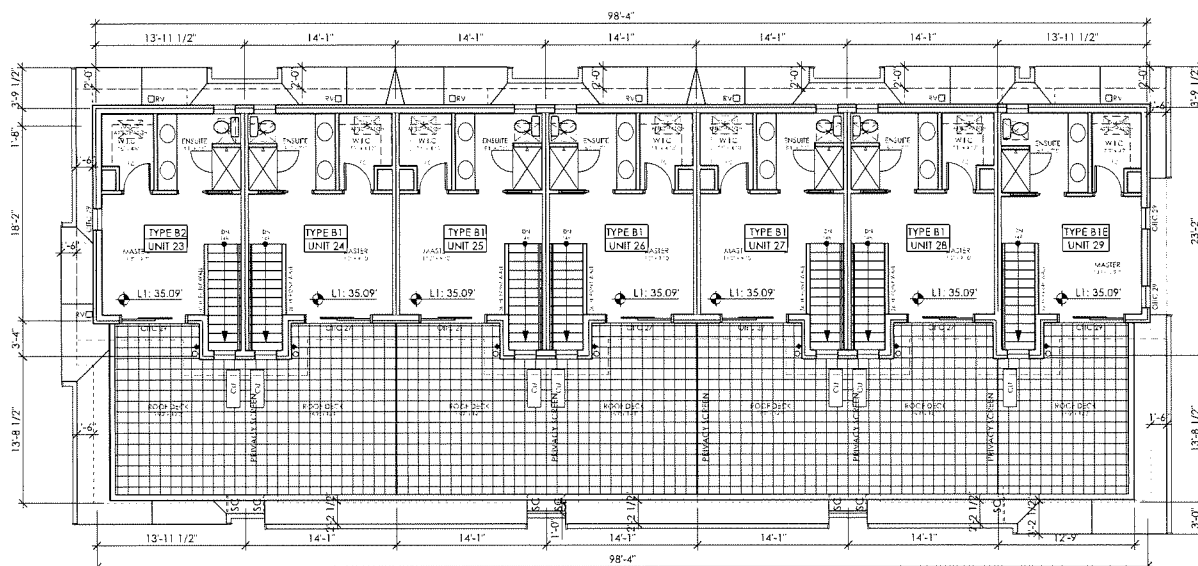
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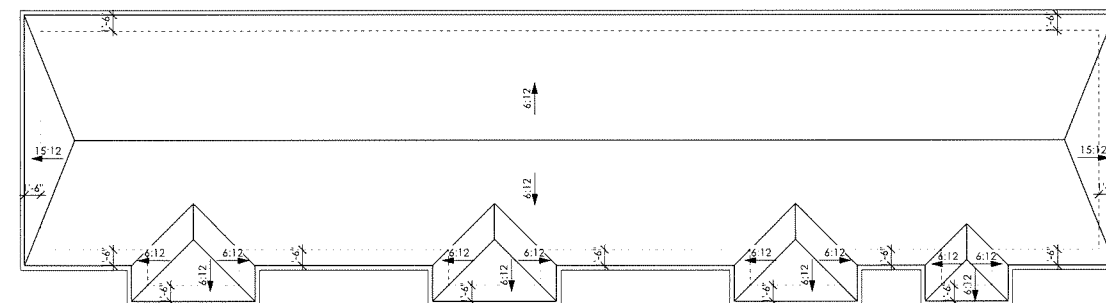
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 BUILDING 4



LEVEL 3 PLAN  
 BUILDING 4



LEVEL 4 PLAN  
 BUILDING 4

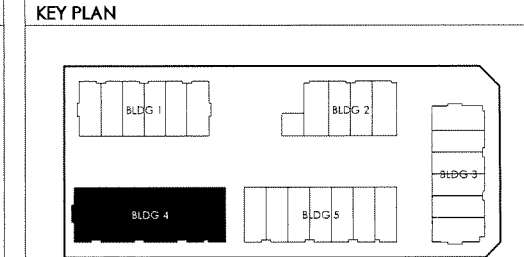


ROOF PLAN  
 BUILDING 4

NOTES:  
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LEGEND

CU	CONDENSING UNITS
OITC 27	ACOUSTIC UPGRADE MIN. OITC 27
OITC 29	ACOUSTIC UPGRADE MIN. OITC 29



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**FORMWERKS ARCHITECTURAL**

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 Fax 685-2076 Phone 683-5441

PROJECT

**8800 SPIRES ROAD**

8800 SPIRES ROAD  
 RICHMOND, BC

DRAWING

**BUILDING 5 PLANS**

SCALE

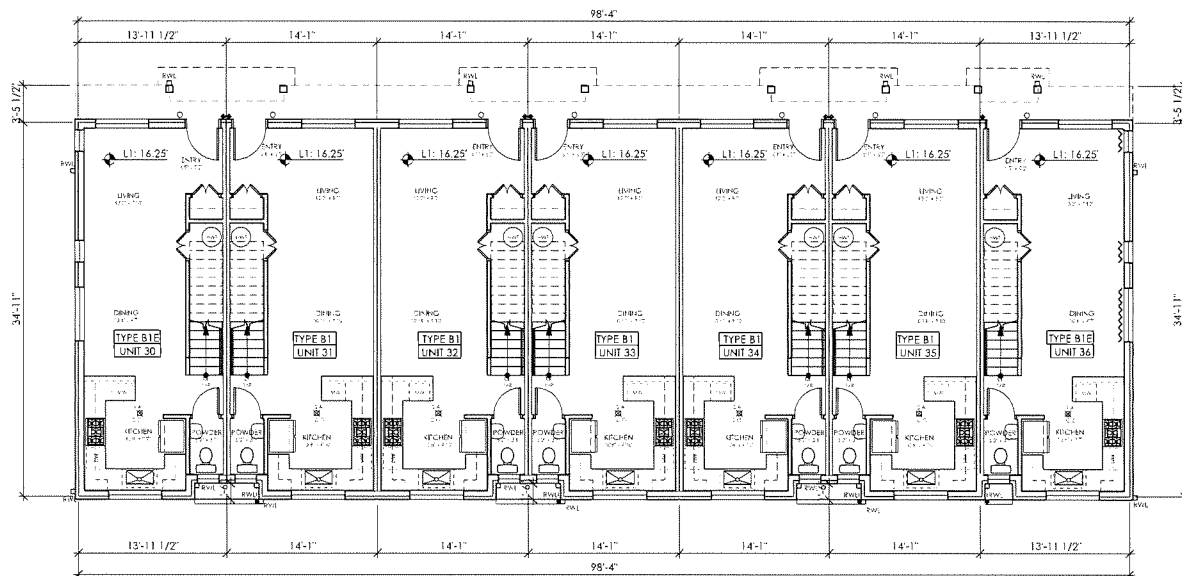
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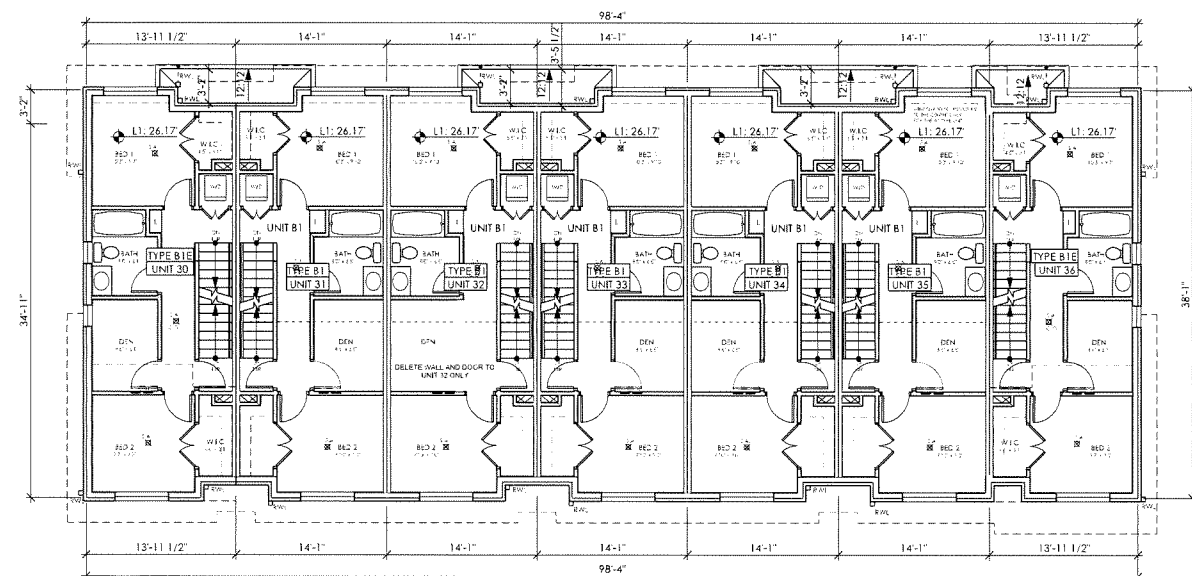
FEBRUARY 28, 2024

SHEET

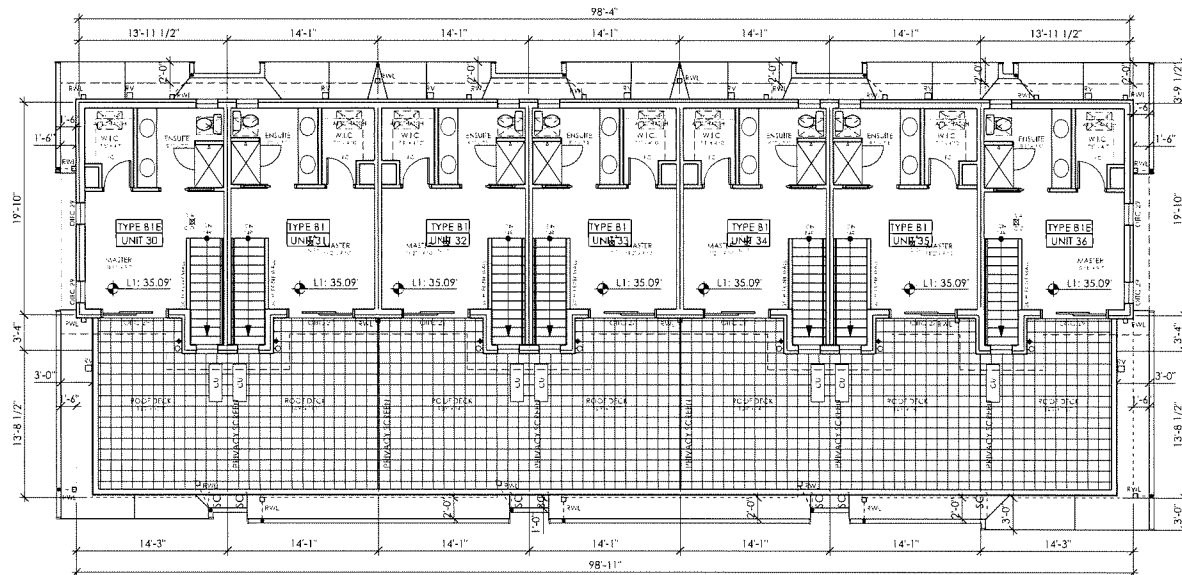
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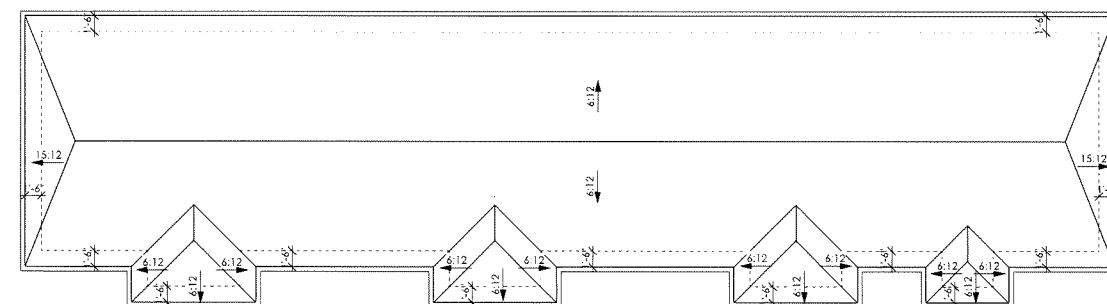
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 BUILDING 5



LEVEL 3 PLAN  
 BUILDING 5



LEVEL 4 PLAN  
 BUILDING 5



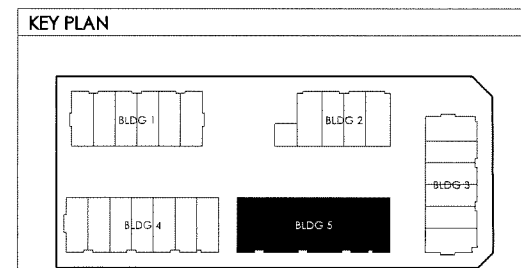
ROOF PLAN  
 BUILDING 5

NOTES:

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LEGEND

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