

Report to Development Permit Panel

То:	Development Permit Panel
From:	Wayne Craig Director, Development

 Date:
 March 6, 2024

 File:
 DP 22-013081

Re: Application by Formwerks Architecture for a Development Permit at 8740, 8760, 8780 and 8800 Spires Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of 36 townhouse units and three secondary suites at 8740, 8760, 8780 and 8800 Spires Road on a site zoned "Parking Structure Townhouses (RTP4)".

Wayne Co

Wayne Craig Director, Development (604-247-4625)

WC:el Att. 3

Staff Report

Origin

Formwerks Architecture, on the behalf of 1219002 BC Ltd. (Incorporation number: BC1219002; Directors: Kai-Shen (John) Hsiung and Yi-Jen (Claire) Wang), has applied to the City of Richmond for permission to develop 36 residential units and three secondary suites at 8740, 8760, 8780 and 8800 Spires Road and the surplus portion of the Spires Road, road allowance. The applicant has proposed to purchase the surplus road allowance and consolidate it into the development site. A total of 30 multi-level townhouse units and six ground-level flats fronting Spires Road and Cook Gate will be included in the development. The unit sizes range between 66.60 m² (718 ft²) and 177.53 m² (1,911 ft²), providing a mix of two to four-bedroom units. Three of the 30 multi-level townhouse units are proposed to contain a secondary suite (studio) fronting Spires Road. Parking will be provided within the parking structure at grade.

The site is being rezoned from "Single Detached (RS1/E)" zone to "Parking Structure Townhouses (RTP4)" zone for this project under Bylaw 10357 (RZ 19-870807), which received third reading at the Public Hearing on April 19, 2022. The site is currently vacant but previously contained four single-family dwellings.

Servicing Agreement

Frontage improvements (including ditch infill and frontage beautification along the site frontages, road widening, City Centre standard new concrete sidewalk and landscaped boulevard, new fire hydrants, public walkways on-site, upgrades to the storm sewer and sanitary sewer, as well as service connections) were secured through the rezoning process and will be constructed through a separate Servicing Agreement (SA 22-011234). The Servicing Agreement must be entered into prior to final adoption of the rezoning bylaw.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North:	Across Spires Road, single-family homes on lots zoned "Single Detached (RS1/E)" and a recently approved 22-unit high-density townhouse development (RZ 17-790301 & DP 19-875398) on a lot zoned "Parking Structure Townhouses (RTP4)". This townhouse development at 8699 Spires Road is currently under construction.
To the South:	A 12-unit townhouse development on a lot zoned "Low Density Townhouses (RTL1)" at 8551/8571 Cook Road and two vacant lots at 8591 and 8611 Cook Road.
To the East:	Across Cook Gate, single-family homes on lots zoned "Single Detached (RS1/E)".
To the West:	A 64-unit high-density townhouse development on a lot zoned "Parking Structure Townhouses (RTP4)" at 8888 Spires Road.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on April 19, 2022. At the Public Hearing, the following concerns about rezoning the property were expressed; the responses to the concerns are provided in *italics*.

1. Higher density and more affordable housing should be provided.

The proposal complies with the City's policies in terms of density (i.e., maximum 1.2 FAR) and provision of affordable housing (i.e., cash contribution) at the time the proposal was presented to Council. The associated rezoning bylaw which establishes the maximum density permitted received third reading following the Public Hearing on April 19, 2022.

2. Construction vehicles blocking traffic.

A construction traffic management plan is required for each development at the Building Permit stage, and Community Bylaws will be enforcing construction parking in the area.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "Parking Structure Townhouses (RTP4)" zone.

Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the project on Thursday, September 21, 2023. Due to the absence of a quorum, a formal Panel recommendation could not be considered however comments were provided. A copy of the relevant excerpt from the meeting notes is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The proposed form of development on the subject site is the same as those on the surrounding properties to the west and northeast, which are grade-oriented housing in the form of high-density townhouses (i.e., low-rise, street wall buildings with common parking structures concealed from public view by non-parking uses).
- Location and orientation of windows are carefully considered to minimize the opportunity of looking into nearby windows of existing adjacent developments and units proposed on site. The top floors of the townhouse units along the south property line are also terraced to minimize overlook into adjacent developments to the south.
- A 1.5 m wide Statutory-Right-of-Way (SRW) along the entire south property line for pedestrian circulation along the future back lane to the south of the site has been secured at the rezoning stage. The Developer is required to build a new 1.5 m wide concrete sidewalk across the entire south property line of the subject site.

The existing site grade along the south property line will be maintained to provide an appropriate transition to the adjacent developments to the south.

- To enhance pedestrian circulation within the Spires Road Neighbourhood, a 1.5 m wide SRW along the east side property line of the adjacent development to the west was secured for future pedestrian connection between Spires Road and the future back lane to the south. A similar 1.5 m wide SRW along the west property line of the subject site has also been secured at rezoning stage in order to widen the walkway SRW to 3.0 m. Interim sod lawn within the 1.5 m wide SRW on the adjacent property has been provided as part of the adjacent development to the west. As part of this development, the developers are required to remove the sod lawn and construct within the 3.0 m wide SRW a 1.5 m wide concrete walkway and a 0.75 m wide swale for drainage along both edges of the walkway. These arrangements have been secured through the rezoning process and the design and construction of the walkway will be included in the Servicing Agreement. The developers will be required to provide written notification to the neighbouring strata regarding the intent and timing for the walkway construction.
- Perimeter drainage will be required as part of the Building Permit to ensure stormwater is managed and addressed through the development and will not impact the neighbouring properties.

Urban Design and Site Planning

- Five townhouse blocks are proposed and are positioned to enclose a parking structure at grade. The townhouse blocks are connected by the outdoor courtyard space on the podium, above the parking structure.
- Three pedestrian access routes to the podium (two sets of exterior stairs and one set of interior stairs at the main lobby) will be provided.
- An enclosed lobby is proposed along the Spires Road frontage to provide a secured space for the mailbox kiosk, access to the podium level (via a staircase or an elevator) and access to the enclosed parking area. Two pedestrian exits from the podium to street level (via exterior stairs) will also be provided at the east and west ends of the central courtyard on the podium.
- Vehicular access to the parking structure will be from Spires Road.
- The development will contain 36 units, including:
 - Four single-level Basic Universal Housing (BUH) units and two single-level garden units at grade with direct access to Spires Road or Cook Gate, and direct access to the parking structure. All of these units are two-bedroom units and are ranging from 66.7 m² (718 ft²) to 71.0 m² (764 ft²) in size.
 - Three four-storey units each with a secondary suite at grade. The secondary suites are designed to be studio units with unit sizes ranging from 29.4 m² (317 ft²) to 36.0 m² (388 ft²). The secondary suites will have a direct, street-level entry from Spires Gate. The principal units will have direct access from the podium.
 - o 27 three-storey townhouse units with main unit entry located on the podium level.
- Indoor amenity spaces will be provided on the ground floor by the open space at the northeast corner of the site. The overall size of the proposed indoor amenity spaces complies with the OCP requirements (i.e., 70 m² of indoor amenity space for multiple family development projects with 20 39 units).

- The overall size of the proposed outdoor amenity spaces complies with the OCP requirements. The locations and sizes of the outdoor amenity spaces are appropriate for providing open landscape and amenity spaces convenient to all units.
- All ground-level flats and secondary suites will have a private outdoor space consisting of a front yard on the street level; all townhouse units will have a private outdoor space consisting of a patio on the podium level and a rooftop deck.
- While the configurations of some of the proposed yard/patio spaces at grade and/or on the podium level are slightly shallower than what is encouraged under the Development Permit Guidelines, the functionality of those yard spaces have not been compromised. Each of the proposed private outdoor spaces at grade includes a patio area that is large enough to accommodate a table with seating. A small garden of perennials, shrubs and trees are also provided for each single-level BUH units and garden flats at grade. Each of the proposed private outdoor spaces on the podium level is large enough to accommodate patio furniture for a family.
- While the introduction of Bill 47 by the Provincial Government restricts the requirement of most residential parking requirements in Transit Oriented Areas, applications which received first reading of their rezoning bylaw prior to January 1, 2024, are required to comply with the requirements in the City's current Zoning Bylaw 8500. This application received first reading before January 1st.
- 54 residential parking spaces are proposed, which exceeds the minimum bylaw requirement.
- The proposal will feature 18 parking spaces in a tandem arrangement. A restrictive covenant to prohibit the conversion of the tandem garage area into habitable space and to ensure that both parking spaces be assigned to the same dwelling unit where two parking spaces are provided in a tandem arrangement has been secured at rezoning.
- A total of five accessible residential parking stalls are to be provided on-site; four spaces will be assigned to the four BUH units proposed and one space will be designated for visitor parking.
- A total of eight visitor parking spaces (including one accessible parking stall) are to be provided throughout the site. The number of visitor parking spaces proposed is in compliance with the minimum bylaw requirement.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with the Zoning Bylaw requirements.
- The enclosed garbage room housing garbage, recycling and organics storage bins is proposed to be located within the parking structure, by the parkade entrance and adjacent to the loading area.

Architectural Form and Character

- The proposed development embodies the Tudor style architecture with varying façade treatment at key points, steep roof pitches, proportionate windows set symmetrically into traditional massing forms, projecting bays with prominent gables and architectural details such as brackets, knee braces, rafter tails, trims, fascia boards and external gutters.
- Façades have been delineated into base/body/top massing with bay window projections, gabled roof forms and detailed trim treatments to create variety in scale, depth and texture.

- The main project entry with its level approach, indoor waiting, seating and mail collection area provides identity for the development.
- Covered entry porches and front door expression, appropriately detailed and proportioned windows, along with trim elements, are provided along the street fronting building elevations to create a pedestrian-oriented and friendly streetscape.
- The proposed building materials are generally consistent with the OCP Guidelines. Materiality includes selective use of brick as a grounding element, horizontal siding in two profiles and two colours, monochromatic fibre-cement panels with robust detailing, divided black framed windows with body coloured trims and dark asphalt shingles.
- A dark charcoal grey colour scheme is proposed for the projecting gables' trims and panelled sections, providing a contemporary take on traditional Tudor detailing while contrasting with a lighter body colour.

Tree Preservation

- 22 bylaw-sized trees on the subject development site, two trees on neighbouring properties and eight street trees on City property were assessed at the rezoning stage.
 - A 37 cm caliper English walnut tree (specifically tag# 300), located on the development site along the Spires Road frontage is identified for retention.
 - o 21 trees on-site are identified for removal due to poor condition.
 - An 80 cm caliper Douglas fir tree (specifically tag# N01) located on the neighbouring property to the south at 8611 Cook Road and a 40 cm caliper Norway spruce tree (specifically tag# N02) located on the property across the street at 8751 Spires Road, are identified to be retained and protected.
 - An 81 cm caliper Sawara cypress tree and an 80 cm caliper Sawara cypress tree (specifically tag# C03 & C04), located in the city's boulevard at the Cook Gate/Spires Road intersection, as well as an 8 cm caliper Japanese maple tree (specifically tag #C07) and an Eastern White cedar hedge (specifically tag #C08), located along the north side of Spires Road, are identified for retention.
 - Four City trees (specifically tag# C01, C02, C05, C06) located along Spires Road frontage of the site, are identified for removal due to their poor health and condition as well as conflict with the required frontage improvement works. A \$7,000.00 tree compensation has been secured at Rezoning stage.
 - There are also a few cedar hedgerows that run along and through the site which are not identified for retention.
- Based on the 2:1 tree replacement ratio goal stated in the OCP, 42 replacement trees are required. The applicant is proposing to plant 21 replacement trees on-site, including four conifer and 17 deciduous trees at grade.
 - Cash contribution to the City's Tree Compensation Fund in lieu of planting of the remaining replacement trees has been secured at Rezoning stage.

Landscape Design and Open Space Design

• A pedestrian-oriented streetscape along the road frontages is proposed with a defined edge with layered shrub planting, trees, low picket fence and slightly raised patios.

- The main entry to the building is marked by a large retained English walnut tree. A set of birdhouses mounted to poles is proposed at each corner of this feature landscaping area.
- The area in front of the main lobby will be treated with permeable paving. Permeable paving is also proposed at the vehicle entry of the site and decorative concrete paving will be used to delineate the loading area by the vehicle entry.
- At the podium level, all units are oriented around the landscaped courtyard with their own private yards. Low cast-in-place planters are proposed along the common walkways to establish an appealing and intimate residential character to encourage socialization and provide for casual surveillance of the common outdoor areas.
- There are two outdoor spaces proposed on the podium level:
 - A children's play area is proposed at the central area of the courtyard, on both sides of the east-west common walkway.
 - Play equipment has been chosen to fit into the play area and to provide different play opportunities (i.e., climbing, social, imagination, balance and motor skills) that can be used by different age groups and for multiple purposes.
 - Play area by the elevator lobby is designed to provide play opportunities using the inherent grade change at the elevator shaft above the pad-mounted transformer; features include half-sphere balance balls, embedded slide, steps and climbing holds.
 - Play area between Buildings 4 & 5 is designed for younger children; play equipment includes a play panel and a play house.
 - Three benches in the central play area are also provided for caregivers.
 - Another outdoor amenity space is proposed at the northeast corner of the courtyard. This space is designed as a social area for more passive activities. Features include an accessible picnic table and a barbeque.
- Wall-mounted, full cut-off light, lighting bollard, step lights and soffit lighting are proposed throughout the site.
- A high-efficiency, smart, on-site irrigation system is proposed to ensure continued maintenance of live landscaping.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$255,996.65 in association with the development.

Crime Prevention Through Environmental Design

- Each private area has been provided with a secure space clearly delineated through landscaping, distinct paving and gating.
- Each unit has direct surveillance of its exterior private space and over the semi-private areas on-site, from occupied rooms.
- Security lighting has been provided for all public areas around the perimeter and common areas within.
- The main entrance and parkade entrance are controlled by enter-phones that will allow residents to remotely control access as well as to observe the visitor.

Sustainability

- The project will be designed to meet Step Code 3 requirements of the BC Energy Step Code with a low-carbon energy system.
- The developer advised that the following features will be included in the building design:
 - An electric air source heat pump system for efficient heating and cooling. The condenser units for the garden units are to be located within the parkade, and the condenser units for the townhouse units are to be located on the roof decks.
 - Heat recovery ventilator units.
 - Programmable thermostats.
 - o Individual electric hot water tanks.
 - Energy Star appliances.
 - Water efficient fixtures.
 - Efficient lighting fixtures.

Accessible Housing

- The proposed development includes four Basic Universal Housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - o stairwell handrails;
 - o lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

Edwin Lee Planner 2 (604-276-4121)

EL:js

- Att. 1: Development Application Data Sheet
 - 2: Excerpt from Advisory Design Panel Meeting Minutes (March 23, 2002)
 - 3: Development Permit Considerations

Development Application Data Sheet Development Applications Department

DP 22-013081				Attachment 1
Address: 8740, 87	760, 8780, 8800	Spires Road, and the surplus portic	n of the	Spires Road road allowance
Applicant: Formwe	erks Architecture	Owne	1219	9002 BC Ltd.
Planning Area(s):	City Centre			
Floor Area Gross:	4,353 m² / 46,85	8 ft ² Floor Area Ne	t: 3,91	1 m² / 42,103 ft²
		Existing		Proposed
Site Area:		3,430 m² (36,925 ft²)		3,260 m² (35,087 ft²)
Land Uses:		Single-Family Residential		Multiple-Family Residential
OCP Designation:		Low-Density Residential		No Change

	City Centre Area Plan Amended July 18, 2022:	Under the provisions for instream applications:
Area Plan Designation:	Urban Centre T5	City Centre Area Plan:
Alea Han Designation.	Sub-Area B.2: Mixed Use – Mid-Rise	General Urban T4
	Residential & Limited Commercial	Sub-Area B.1: Mixed Use – Low-Rise Residential & Limited Commercial
Zoning:	Single Detached (RS1/E)	Parking Structure Townhouses (RTP4)
Number of Units:	4	36 principal units + 3 secondary suites

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 1.20	1.20	none permitted
Lot Coverage – Building:	Max. 50%	48.4%	none
Lot Coverage – Non-porous Surfaces:	Max. 80%	72.6%	none
Lot Coverage – Landscaping:	Min. 20%	20.1%	none
Setback – Front Yard - Cook Gate (m):	Min. 3.0 m	3.0 m	none
Setback – Exterior Side Yard – North – Spires Road (m):	Min. 3.0 m	3.0 m	none
Setback – Interior Side Yard - South (future lane) (m):	Min. 1.5 m	3.0 m	none
Setback – Rear - West (m):	Min. 1.5 m	1.5 m	none
Height (m):	Max. 15.0 m (4 storeys)	14.2 m	none



Attachment 1

Lot Depth:	Min. 30.0 m	86.27 m	none
Lot Width:	40 m	37.89 m	
Site Area:	Min. 2,400 m ²	3,260 m²	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.2 (R) and 0.2 (V) per unit	1.5 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	44 (R) and 8 (V)	54 (R) and 8 (V)	none
Accessible Parking Spaces:	Min. 2% when 11 or more spaces are required (44 x 2% = 1 spaces)	5	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.20 (Class 2) per unit	1.25 (Class 1) and 0.2 (Class 2) per unit	none
Off-street Parking Spaces – Total:	45 (Class 1) and 8 (Class 2)	45 (Class 1) and 8 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	70 m² (753 m²)	none

Attachment 2

Excerpt from the Discussion Notes from The Design Panel Meeting

Thursday, September 21, 2023 – 4:00 p.m. Remote (WebEx Meeting)

3. DP 22-013081 – 36-UNIT TOWNHOUSE DEVELOPMENT ON TOP AND SURROUNDING A PARKING STRUCTURE

ARCHITECT: Formwerks Architectural

LANDSCAPE ARCHITECT: PMG Landscape Architects

PROPERTY LOCATION: 8740, 8760, 8780 & 8800 Spires Road

Applicant's Presentation

Architect Norman Huth, Formwerks Architectural, and Landscape Architect Caelan Griffiths, PMG Landscape Architects, presented the project and answered queries from the Panel.

Panel Discussion

Comments from the Panel were as follows:

 ensure adequate soil volume for trees proposed in front yards; also look at the height of the tree proposed in front of Unit #8 to ensure it will not block the window of Unit #8 on the second floor;

The soil volumes in the front yards are appropriate for the species of trees proposed. The height of the specified tree at unit #8 is 10' maximum (Cercis canadensis 'Covey'). This places the top of the tree below the level of the second floor (being more than 12.6' above the ground level and more so given the eye-level height of a typical person).

 consider using dark-coloured hardie panels for the ground floor of buildings and wrap around with brick material to make the building base appear heavier;

The Hardie planks around the perimeter of the ground level have already been designated with a darker colour than the typical colour of the level above and the brick base has already been wrapped around all sides of the buildings except for the parkade walls to the south and west. But to provide an even greater sense of a base level, the ground floor canopy roofs have now been extended to be more continuous around the buildings. consider providing adequate protection for the landscaped amenity area on the ground floor from the loading area;

The protected and retained tree is separated from the loading zone by a 42" high wood picket fence. There is no predicted human access to the base of this retained tree for fear that this will negatively impact the tree's ongoing health.

 would be difficult for parents to supervise children playing in play areas located in two different locations on the podium level courtyard; consider extending the play area for three-year-old plus children beyond the elevator to provide more space for the play area and accommodate more children;

The locations of the play equipment and the outdoor dining area have been switched. Thus, both child play areas have now been placed in proximity to each other near the centre of the terrace. Extending the area beyond the elevator would be difficult given the parameters of the project and the requirements of the adjacent areas.

 review the location of the barbeque area on the podium level courtyard as it is adjacent to the windows of units on either side;

The adjacent windows have been placed high on the wall to ensure visual privacy and they are insulated, mitigating sound intrusion. Furthermore, in response to another comment above, the barbeque area has been switched with the play area on the northeast corner which will further minimize any consequence of adjacency to certain hours of the day.

 ensure wheelchair access for the main and ensuite bathrooms of the Basic Universal Housing (BUH) units on the ground level;

The main bathroom of the BUH units has been designed in compliance with the City of Richmond's regulations for Basic Universal Housing, specifically Section 4.16.2. According to the regulations, this applies to "at least one bathroom", which in this case is the main bathroom.

 the project is nicely done and appreciate the attention to detail; the massing of the building is broken down nicely resulting in the scale of the building being very friendly; appreciate the Tudor style building character;

Noted.

• the parkade entrance could have been better located in a less prominent location, not in the middle of the site;

The space provided by the parkade entrance serves to break down the massing along Spires Road into two similarly scaled buildings. It also allows for space for an identifying feature, the "treehouse", that ties in with the main pedestrian entrance. It is also important for security reasons to locate the parkade entry close to an area with greater surveillance. use of permeable pavers at grade is appropriate; however, if the intention of using pavers on the courtyard level is for stormwater detention, using a more conventional drainage would be more appropriate as it would be less complicated and require less maintenance in the long term;

The pavers on the courtyard level have been converted to standard slab pavers (to match the patios) per the ADP comment, as they do not need to be permeable. The Richmond bylaw indicates that a max of 75% of the site can be non-porous (including the building) and this can be changed to 80% depending on the DP conditions. As this is entirely on slab, and the drive aisle to the parking is permeable paving, the total non-porous area (excluding all planted areas and permeable paving on site) is 75% (25% site area = planted and permeable paving). Refer to Level 2 Landscape Plan, drawing L5 and to the City of Richmond Zoning Bylaw 8500 8.9.5.2 (Permitted Lot Coverage for Parking Structure Townhouses).

• appreciate the Tudor building character and bird house;

Noted.

 ensure light levels for SRWs along the west and south property lines are adequate and in accordance with CPTED standards;

According to the spacings shown on the plans (28-32 feet), the calculation is 0.64fc min. and 12fc max. Average is 3.5 fc (35 lux). Recommended average is 20 lux. This design is shown on the lighting plan. Refer to Exterior Lighting Strategy – Level 1, drawing A0.10 and Building 1, 3, 4 and 5 Elevations, drawings A2.02, A2.06, A2.08 and A2.10.

 architectural expression and interest are well done; however, consider more continuity of base conditions throughout the development on the ground/pedestrian level;

As noted above, the ground floor canopy roof has been carried around the building corners and extended across the sides (this was already the case for the Building 2 East elevation). This creates a continuous base-level feature linking the fronts and sides of each building.

massing of roof lines is a bit unclear in terms of design intention;

The design intention has been to differentiate the top level as part of a tripartite scheme, bringing greater emphasis to the middle portion. The design of the top level (which is already differentiated by a smaller exposure width of plank siding than the rest of the wall) has now been further developed by providing it with a colour in-between that of the base and middle portions and by adding a wider, darker trim that visually separates it from the lower levels. the hip roofs on level four perceptually adds height to the buildings; investigate opportunities to make the top floor more recessive; also consider design development of the roof lines to reduce the sense of height off the top of the buildings;

Compared to gable roofs, hip roofs create a reduced sense of height, especially when viewed obliquely from street level. Further development of the top level as noted in the response to the comment above will also provide an impression of greater horizontality.

 consider design development for the side elevations of buildings; look at the design and placement of windows;

The side elevations of the buildings have now been broken up with extended ground floor roof canopies and with a greater differentiation of the top level with a different colour and a dividing trim line (see responses to comments above). However, further articulation of the fenestration on the sides remains limited by plan functionality, privacy considerations, spatial separation requirements and sustainable window/wall ratio concerns. But it is also a matter of setting the "secondary" fenestration more in the "background" so that the main features of the elevation – the projecting gabled bay window elements – are better highlighted. And it should be noted that the Tudor style was a "transitional" style with some elements of symmetry combined in parts with a functional asymmetry. Thus, a certain amount of irregularity of fenestration for the sake of interior requirements is perfectly in keeping with the style, and is indeed, expected.

 support the choice of materials and colours in the proposed development, especially in the loading court;

Using the same palette of materials certain aspects of the loading court area have been refined by: moving the pedestrian door to the centre of the side wall and framing it with lantern lighting; continuing the cap of the base brick around the space which breaks down the expanse of the brick wall; and introducing a Tudor-style brick pattern to the upper section of brick.

 ensure coordination of landscaping and architecture in the amenity space on the ground level, e.g. patio doors appear to open out into planting and not into a paved area;

The relevant drawings have been updated with the patio doors shown on the north side of the amenity room and windows on the east side facing the planting area. Please note that no hardscape is proposed within the tree protection zone, and the tree protection zone extends to the building face.

 review entries of unit types that are compromised by the location of bike storage; in particular look at required clearances around the door;

Noted – the configuration around the unit entry in question has been adjusted accordingly to conform with applicable guidelines.

 support the Panel comment regarding challenges in parental supervision in having the children's play areas located in different locations on the podium level courtyard; consider relocating the harvest table closer to the corner and to the play area to facilitate parental supervision;

We have switched the location of the play area and the outdoor dining area. See detailed response to similar comment above.

 proposed colours for play equipment appear complementary to the architecture of the proposed development; and

Noted.

• should public art be installed in the project, the bird house could be potentially integrated with the public art.

Noted.

The following comments were submitted by Panel member Chris Lee and were read into the record by Staff Liaison Virendra Kallianpur:

• the submission is very well put together with lots of intricate details and a strong vision;

Noted.

 appreciate incorporating existing trees into the design to create pockets of green spaces enhancing the public realm on street level; and

Noted.

• the overall layout of outdoor amenities space on podium level is very well executed.

Noted.

The Chair noted that the comments of Panel members present as well as the written comments submitted by a Panel member expressed general support for the project.

Due to the absence of a quorum, a Panel recommendation could not be considered.

ATTACHMENT 3



Development Permit Considerations

Development Applications Department 6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 8740, 8760, 8780 & 8800 Spires Road

File No.: DP 22-013081

Prior to approval of the Development Permit, the developer is required to complete the following:

- 1. (Zoning Amendment) Final adoption of the Zoning Amendment Bylaw 10357.
- (Landscaping Security) Receipt of a Letter of Credit for landscaping in the amount of \$255,966.65 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency). A legal agreement is required to accompany the Landscape Security to set the terms for its use and release.

Prior to Building Permit Issuance, the developer must complete the following requirements:

- Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management
 Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and
 proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of
 Transportation) and MMCD Traffic Regulation Section 01570.
- 2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- 3. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed



Development Permit

No. DP 22-013081

To the Holder:	Formwerks Architecture
Property Address:	8740, 8760, 8780, 8800 Spires Road
Address:	1625 W 5th Avenue Vancouver, BC V6J 1N5

- 1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
- 2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
- 3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #43 attached hereto.
- 4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
- 5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$255,996.65 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
- 6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit No. DP 22-013081

Address:	1625 W 5th Avenue Vancouver, BC V6J 1N5
Property Address:	8740, 8760, 8780, 8800 Spires Road
To the Holder:	Formwerks Architecture

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

,

This Permit is not a Building Permit.

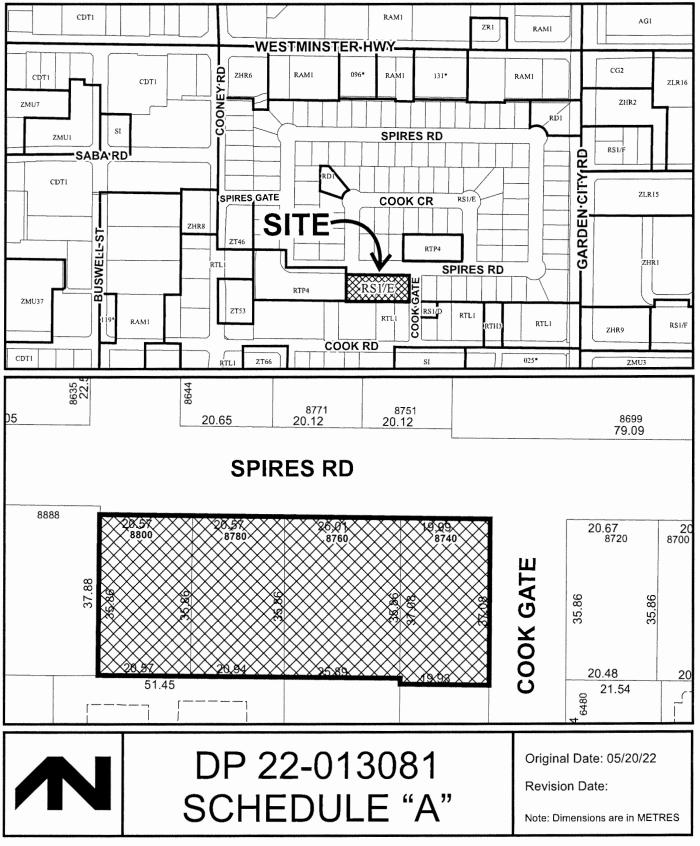
AUTHORIZING RESOLUTION NO. DAY OF , .

ISSUED BY THE COUNCIL THE

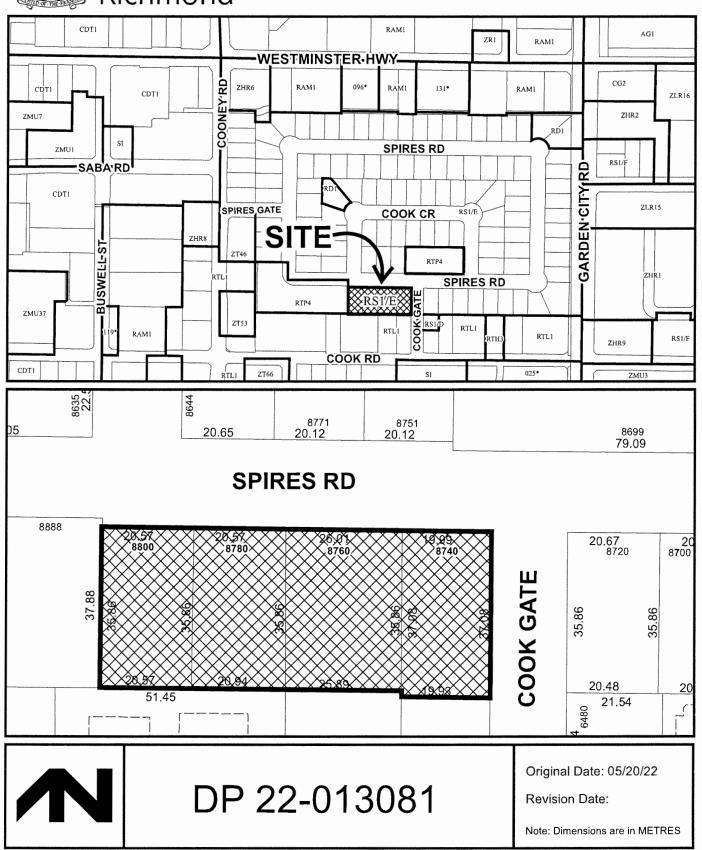
DELIVERED THIS DAY OF

MAYOR











RICHMOND, BC

DP 22-013081
DEVELOPMENT PERMIT RE-SUBMISSION
DEVELOPMENT PERMIT RE-SUBMISSION
FEBRUARY 28, 2024
PLAN #1

OPYRIGHT RESERVED

This plan and design are, and at all ti emain the exclusive property of Formwer vichitectural Inc. and cannot be used eproduced without written consent to ormwerks Architectural Inc. Writte ions shall have precedence aled dimensions. Con and be responsible for all di irai lac shall be

REVISIONS

ISSUED FOR REZONING	JULY 31. 2019
RE-ISSUED FOR REZONING	JULY 15, 2020
RE-ISSUED FOR REZONING 2	MAR 8, 2021
RE-ISSUED FOR REZONING 3	MAR 31, 2021
RE-ISSUED FOR REZONING 4	SEP 24, 2021
REVISED FOR REZONING 4	OCT 25, 2021
REVISED FOR REZONING 4	NOV 3, 2021
RE-ISSUED FOR REZONING 5	JAN 28, 2022
REVISED FOR REZONING 5	FEB 4, 2022
REVISED FOR REZONING 5	FEB 7, 2022
ISSUED FOR DP APPLICATION	APR 19, 2022
RE-ISSUED FOR DP APPLICATION	FEB 27, 2023
RE-ISSUED FOR DP APPLICATION	AUG 11, 2023
ISSUED FOR ADP	SEP 1, 2023
ISSUED FOR BP	SEP 15, 2023
RE-ISSUED FOR DP APPLICATION	NOV 17, 2023
ISSUED FOR TENDER	JAN 31, 2024
RE-ISSUED FOR DP APPLICATION	FEB 8, 2024
RE-ISSUED FOR DP APPLICATION	FEB 28, 2024



x 685-2076

ROJECT

8800 SPIRES ROAD

8800 SPIRES ROAD RICHMOND, BC

DRAWING

C O S H I	
SCALE	SHEET
N T S D A T E FEBRUARY 28, 2024	A0.00

	ADDITIONAL OUTDOOR AMENITY (10% SITE AREA) (COR City Centre Area Plan 3.1.8 8)	3,509 SF	(326 m²)	834.5 SF 1,081.7 SF	1,597.6 SF 160.4 SF		3,674.2 SF	(341.3 m²)
DD 00 04000	PRIVATE OPEN SPACE (37 m ² /UNIT) R City Centre Area Plan 3.1.8 8)	14,338 SF	(1,332 m²)	2,385.0 SF	6,415.8 SF	6,466.4 SF	15,267.2 SF	(1,418.3m ²)
DP 22-01308	TALOUTDOOR AR March 6 2	20.7 .57	(1,874 m²)	4 200	028.6 SF	6 6.4 :	21 B2.3 SF	(1 86.4 m²)
							-	

	3	BO (4 DED/S DAIR)		1333 302.FT.	GROSS	1,630.6.5P	2,2/2.035	2.271.1 35	1,317.4 36	
	4	B6A (4 BED/2 BATH)	1	1459 SQ.FT.	EXCLUSIONS WALL	28.6 SF	62.1 SF	71.7 SF	57.6 SF	
	1	B6 (4 BED/2 BATH)	1	1476 SQ.FT.	EXCLUSIONS STAIRS EXCLUSIONS BUH UNIT	0.0 SF 20.0 SF	364.1 SF 0.0 SF	142.2 SF 0.0 SF	136.4 SF 0.0 SF	
(MUIA	1 (MEDIUM)	B7 (3 BED+DEN/2 BATH)	4	1282 SQ.FT.	NET	1.602.2 SF	1,846.6 SF	2.077.2 SF	1,123,4 SF	6,
		A1 (2 BED/2 BATH/BUH)	1	764 SQ.FT.	BUILDING 3					
		A1E (2 BED/2 BATH/BUH)	1	757 SQ.FT.	GROSS	2,238.7 SF	2,985.8 SF	3,198.4 5	1,680.1 SF	10,
		A2 (2 BED/2 BATH)	2	718 SQ.FT.	EXCLUSIONS WALL	46.1 SF	84.7 SF	92.6 SF	72.6 SF	
MIN.	45	A2C (2 BED/2 BATH/BUH)	2	718 SQ.FT.	EXCLUSIONS STAIRS	0.0 SF	323.8 SF	241.8 SF	226.8 SF	
MIN.	30				EXCLUSIONS BUH UNIT	60.0 SF	0.0 SF	0.0 SF	0.0 SF	
AAX.	15		36		NET	2132.6 SF	2.577.3 SF	2.864.0 SF	1,580.7 SF	9,
		OUTDOOR AREA CALCULAT								
				LATIONS	REQUIR	ED			PROPOSED	
		OUTDOOR AREA CALCULAT				ED	LEVEL 1	LEVEL 2	PROPOSED LEVEL 4	
		OUTDOOR AREA CALCULAT NUMBER OF UNITS PROPOSED	ION SUMMARY	36		ED (216 m²)	LEVEL 1 586.1 SF	LEVEL 2 435.6 SF 1,419.2 SF		
		OUTDOOR AREA CALCULAT NUMBER OF UNITS PROPOSED SITE AREA REQUIRED OUTDOOR AMENITY (6 m	TON SUMMARY	36	n²			435.6 SF		
		OUTDOOR AREA CALCULAT NUMBER OF UNITS PROPOSED SITE AREA REQUIRED OUTDOOR AMENITY (6 m (COR OCP 14.4.5.D) CHILD'S PLAY AREA (3 m ² /U (COR OCP 14.4.5.D)	TON SUMMARY nª/UNIT)	36	n ^a 2,325 \$F 1,163 SF	(216 m²) (108 m²)	586.1 SF	435.6 SF 1,419.2 SF 1,013.1 SF 406.1 SF		
		OUTDOOR AREA CALCULAT NUMBER OF UNITS PROPOSED SITE AREA REQUIRED OUTDOOR AMENITY (6 m (COR OCP 14.4.5.D) CHILD'S PLAY AREA (3 m ² /L (COR OCP 14.4.5.D) ADDITIONAL OUTDOOR AMENITY (1	TON SUMMARY nª/UNIT)	36	2,325 SF	(216 m²)	586.1 SF 834.5 SF	435.6 SF 1,419.2 SF 1,013.1 SF 406.1 SF 1,597.6 SF		
		OUTDOOR AREA CALCULAT NUMBER OF UNITS PROPOSED SITE AREA REQUIRED OUTDOOR AMENITY (6 m (COR OCP 14.4.5.D) CHILD'S PLAY AREA (3 m ² /U (COR OCP 14.4.5.D)	TON SUMMARY nª/UNIT)	36	n ^a 2,325 \$F 1,163 SF	(216 m²) (108 m²)	586.1 SF	435.6 SF 1,419.2 SF 1,013.1 SF 406.1 SF		
		OUTDOOR AREA CALCULAT NUMBER OF UNITS PROPOSED SITE AREA REQUIRED OUTDOOR AMENITY (6 m (COR OCP 14.4.5.D) CHILD'S PLAY AREA (3 m ² /L (COR OCP 14.4.5.D) ADDITIONAL OUTDOOR AMENITY (1	TON SUMMARY n=/UNIT) UNIT) 10% SITE AREA)	36	n ^a 2,325 \$F 1,163 SF	(216 m²) (108 m²)	586.1 SF 834.5 SF	435.6 SF 1,419.2 SF 1,013.1 SF 406.1 SF 1,597.6 SF		

1327 SQ.FT.

1738 SQ.FT.

1535 SQ.FT.

DEVELOPMENT DATA	MIN. REQ'D / MAX. ALLOWED	PROPOSED
CIVIC ADDRESS 8800 SPIRES ROAD RICHMOND. BC		
LEGAL DESCRIPTION LOTS 40-43, SECTION 9 & 10 BLOCK 4 NOTH, BANGE & MEST NEW WESTMINSTER DISTRICT, PLAN 21489		
LOT AREA LOT AREA (Ha.) LOT AREA (SF)	-	0.326 Ha (35.087 SF)
LOT COVERAGE BUILDING & STRUCTURES COVERAGE AREA BUILDING & STRUCTURES COVERAGE RATIO FOR MAN 4541	17.543 SF 50 % MAX.	16.968 SF 48.4 %
NON-POROUS COVERAGE AREA NON-POROUS COVERAGE RATIO	26.315 SF 75 % MAX.	25.480 SF 72.6 %
(COR 3500 F 9 ST) LIVE PLANTING COVERAGE AREA LIVE PLANTING COVERAGE RATIO (COR 1500 E 9 AST)	7,017 SF 20 % MIN.	7.041 SF 20.1 %
SETBACKS FRONT (SPIRES RD)	3.00 M 1.50 M	3.00 M
REAR (LANE/SOUTH PROPERTY LINE) LEVEL 1 AT PARKADE LEVEL 1 AT BULDING 3 ABOVE LEVEL 1		3.15 M 3.05 M 3.05 M
SIDE #1 (COOK GATE) SIDE #2 (WEST PROPERTY LINE)	3.00 M 1.50 M	3.00 M 1.50 M
BUILDING HEIGHT BUILDING HEIGHT	15.00 M	<15.00 M" "REFER TO ELEVATIONS
NUMBER OF RESIDENTIAL UNITS TWO-BEDROOM UNITS		6
THREE-BEDROOM UNITS THREE-BEDROOM UNITS W/ LOCK OFF		23
FOUR-BEDROOM UNITS FOUR-BEDROOM UNITS TOTAL NUMBER OF UNITS	-	4 2 36
TOTAL BUILDING FLOOR AREA TOTAL GROSS FLOOR AREA		46,775.0 SF
WALL EXCLUSIONS STAIRS EXCLUSIONS HC UNITS EXCLUSIONS TOTAL EXCLUSIONS		1,370.1 SF 3,660.3 SF 80.0 SF 5,110.4 SF
TOTAL NET FLOOR AREA DENSITY		41,664.6 SF
NO. OF UNITS PER HECTARE FLOOR SPACE RATIO (FAR)	1.2	1.2
VEHICULAR PARKING	52 MIN.	
TOTAL SPACES (EXCL. LOADING) STANDARD SIZE (50% MIN. OF PROVIDED = 62 8 50% = 31)	31 MIN.	62 44
(COR 5007513.4.131) SMALL CAR (62-31 MIN, STANDARD - 2 MIN, ACCESSIBLE = 29]	29 MAX.	13
ACCESSIBLE [2% MIN. OF REQUIRED = 52 @ 2% = 1.02 ROUNDED UP] [COR 8500 75.14 & 7.5.16]	2 MIN.	5
RESIDENT SPACES (1.2 STALLS / UNIT MIN. @ 36 UNITS = 43.2 ROUNDED UP) (COR 55007 9:3 1)	44 MIN.	54
TANDEM (54 PROVIDED - 36 UNITS = 18 AVAIL. AS 2ND STALLS) (COR 1500 7 5.4)	18 MAX.	18
EV CHARGING (100% MIN, OF RES. PROVIDED = 54 @ 100% = 54) (COR 5007151)	54 MIN.	54
STANDARD SIZE SMALL CAR		41
ACCESSIBLE VISITOR SPACES (0.2 STALLS / UNIT MIN, @ 36 UNITS = 7.2 ROUNDED UP)	8 MIN.	4
(CON 1500 / 73 3 1) STANDARD SIZE		3
SMALL CAR ACCESSIBLE		4
LOADING SPACES (11-80 UNITS = 1 MED. @36 UNITS = 1 MED.) (COM \$5007134.)	1 (MEDIUM)	1 (MEDIUM)
BICYCLE STORAGE		
CLASS I: (1.25/UNIT MIN. @ 36 UNITS = 45) (Colt 85007 14.7.1)	45 MIN.	45
HORIZONTAL VERTICAL (33% MAX. OF PROVIDED = 45 @ 33% = 14.85 ROUNDED U	30 MIN.	30 15
(COR 5500 7.14.3)	P) 15 MAX. 8 MIN.	8
CLASS 2 (0.2/UNIT MIN. @ 36 UNITS = 7.2 ROUNDED UP) [COR85071471]	o MIN.	8

PROJECT DATA

CONTEXT PLAN
SPIRES ROAD (PROPOSED SITE)
B900 Spire

UNITAREA CALCULATIONS

B4E (3 BED+DEN/3 BATH/LO)

B5 (4 BED/3 BATH)

UNIT TYPE # OF UNITS

GROSS AREA B1 (3 BED+DEN/2 BATH) B1E (3 BED+DEN/2 BATH) 1329 SQ.FT. 10 1345 SQ.FT. 3 B2 (4 BED/3 BATH) 1379 SQ.FT. B3 (4 BED/3 BATH/LO) B4 (3 BED+DEN/2 BATH) 1935 SQ.FT. 1

6

2

1

BUILDING FLOOR AREA CALCULATIONS

LE	VEL 1 SQ FT	LEVEL 2 SQ FT	LEVEL 3 SQ FT	LEVEL 4 SQ FT	TOTAL	LEVE	EL 1 SQ FT
BUILDING 1						BUILDING 4	
GROSS	2.163.3 SF	3.008.2 SF	3.219.7 SF	1,816.8 SF	10.208.0 SF	GROSS	0.0 SF
EXCLUSIONS WALL	45.1 SF	84.1 SF	90.5 SF	70.4 SF	290.1 SF	EXCLUSIONS WALL	0.0 SF
EXCLUSIONS STAIRS	0.0 SF	321.6 SF	241.8 SF	226.8 SF	790.2 SF	EXCLUSIONS STAIRS	0.0 SF
EXCLUSIONS BUH UNIT	0.0 SF	0.0 SF	0.0 SF	0.0 SF	0.0 SF	EXCLUSIONS BUH UNIT	0.0 SF
NET	2.118.2 SF	2.602.5 \$F	2.887.4 SF	1.519.6 SF	9,127.7 \$F	NET	0.0 SF
BUILDING 2						BUILDING 5	
GROSS	1,650.8 SF	2,272.8 SF	2.291.1 SF	1,317.4 SF	7,532.1 SF	GROSS	0.0 SF
EXCLUSIONS WALL	28.6 SF	62.1 SF	71.7 SF	57.6 SF	220.0 SF	EXCLUSIONS WALL	0.0 SF
EXCLUSIONS STAIRS	0.0 SF	364.1 SF	142.2 SF	136.4 SF	642.7 SF	EXCLUSIONS STAIRS	0.0 SF
EXCLUSIONS BUH UNIT	20.0 SF	0.0 SF	0.0 SF	0.0 SF	20.0 SF	EXCLUSIONS BUN UNIT	0.0 58
NET	1,602.2 SF	1,846.6 SF	2.077.2 SF	1,123,4 SF	6,649.4 SF	NET	0.0 \$8
BUILDING 3						TOTAL:	
GROSS	2,238.7 SF	2.985.8 SF	3,198.4 SF	1,680.1 SF	10,303.1 SF	TOTAL GROSS	
EXCLUSIONS WALL	46.1 SF	84.7 SF	92.6 SF	72.6 SF	296.0 SF	TOTAL EXCLUSIONS	
EXCLUSIONS STAIRS	0.0 SF	323.8 SF	241.8 SF	226.8 SF	792.4 SF	TOTAL NET	
EXCLUSIONS BUH UNIT	60.0 SF	0.0 SF	0.0 SF	0.0 SF	60.0 SF	TOTAL SITE AREA	
NET	2.132.6 SF	2.577.3 SF	2.864.0 SF	1,580.7 SF	9,154.7 SF	TOTAL FAR	

TOTAL 2,440.9 SF (226.8 m²)

1,419.2 SF (131.8 m²)

COVER SHEET	A
DESIGN RATIONALE & PRECEDENT PHOTOS	A
CONTEXT ANALYSIS	A
CONTEXT PLAN	A
CONTEXT PHOTOS	A
EXISTING STREETSCAPES	A
SHADOW ANALYSIS PERSPECTIVES	A
ACCESSIBILITY STRATEGY LEVEL I	
ACCESSIBILITY STRATEGY LEVEL 2	
EXTERIOR LIGHTING STRATEGY LEVEL 1	A
EXTERIOR LIGHTING STRATEGY LEVEL I	A
SUSTAINABILITY STRATEGY	^
DATA SHEET	
SITE PLAN LEVEL 1	
SITE PLAN LEVEL 2	A
SITE AREA PLAN	A
LEVEL 1 PLAN	^
LEVEL 2 PLAN	A
LEVEL 3 PLAN	A A
LEVEL 4 PLAN ROOF PLAN	
ROOF PLAN FIRE ACCESS PLAN LEVEL 1	A A
FIRE ACCESS PLAN LEVEL 2	
SITE SECTIONS	
SITE SECTIONS	
SITE SECTIONS	
STREETSC APES	A
STREETSCAPES	A
BUILDING 1 PLANS	
BUILDING 1 ELEVATIONS	A
BUILDING 2 PLANS	A A
BUILDING 2 ELEVATIONS BUILDING 3 PLANS	
BUILDING 3 FLANS BUILDING 3 ELEVATIONS	~
BUILDING 4 PLANS	
BUILDING & ELEVATIONS	
BUILDING 5 PLANS	
BUILDING 5 ELEVATIONS	
COLOUR SCHEME BUILDINGS 183	A
COLOUR SCHEME BUILDING 2	A
COLOUR SCHEME BUILDINGS 4&5	^
UNIT TYPES AT AND ATE PLANS	A
UNIT TYPES A2-A2C PLANS	A
UNIT TYPE B1 PLANS	A
UNIT TYPE B1E PLANS UNIT TYPE B2 PLANS	A A
UNIT TYPE B3 PLANS	
UNIT TYPE B3 PLANS	2
UNIT TYPE B4E PLANS	
UNIT TYPE B5 PLANS	
UNIT TYPE B6 PLANS	
UNIT TYPE BGA PLANS	
UNIT TYPE B7 PLANS	^
OUTDOOR AREA OVERLAY L1	C
OUTDOOR AREA OVERLAY L2	C
OUTDOOR AREA OVERLAY L4	C
FAR OVERLAY BUILDING 1	C
FAR OVERLAY BUILDING 2	C
FAR OVERLAY BUILDING 3	0
FAR OVERLAY BUILDING 4	0
FAR OVERLAY BUILDING 5	0
LOT COVERAGE BUILDING & STRUCTURES OVERLAY	r c

LEVEL 2 SQ FT	LEVEL 3 SQ FT	LEVEL 4 SQ FT	TOTAL	
3,497.9 SF	3,755.4 SF	2.121.2 SF	9.374.5 SF	
94.2 SF	100.3 SF	58.0 SF	282.5 SF	
269.5 SF	233.8 SF	214.2 SF	717.5 SF	
0.0 SF	0.0 SF	0.0 SF	0.0 SF	
3.134.2 SF	3,421.3 SF	1,819.0 SF	8.374.5 SF	
3.497.9 SF	3,738.3 SF	2,121.2 SF	9,357.4 SF	
94.2 SF	99.3 SF	68.0 SF	281.5 SF	
269.5 SF	233.8 SF	214.2 SF	717.5 3F	
0.0 SF	0.0 SF	0.0 SF	0.0 SF	
3,134,2 SF	3,405.2 SF	1,819.0 SF	8,358.4 SF	
			46.775.1 SF	

5,110.4 SF 41,664.7 SF 35,087.0 SF 1.2 COPYRIGHT RESERVED

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REVISIÓNS R E V I S I O N S ISSUED FOR REZONING RESSUED FOR REZONING S RESSUED FOR REZONING 3 RESSUED FOR REZONING 4 REVISED FOR REZONING 4 REVISED FOR REZONING 5 REVISED FOR REZONING 5 REVISED FOR REZONING 5 ISSUED FOR REZONING 5 ISSUED FOR REZONING 5 ISSUED FOR DP APPLICATION RESSUED FOR DP APPLICATION JULY 31, 2019 JULY 15, 2020 MAR 8, 2021 MAR 31, 2021 SEP 24, 2021 NOV 3, 2022 FEB 4, 2022 FEB 4, 2022 FEB 4, 2022 FEB 7, 2022 ARR 19, 2022 SEP 15, 2023 SEP 15, 2023 JAN 31, 2024 FEB 28, 2024



1625 West 5th Ave., Vancouver, BC V6J 1N5 Fax 685-2076 Phone 683-5441

PROJECT

8800 SPIRES ROAD

8800 SPIRES ROAD RICHMOND, BC

DRAWING

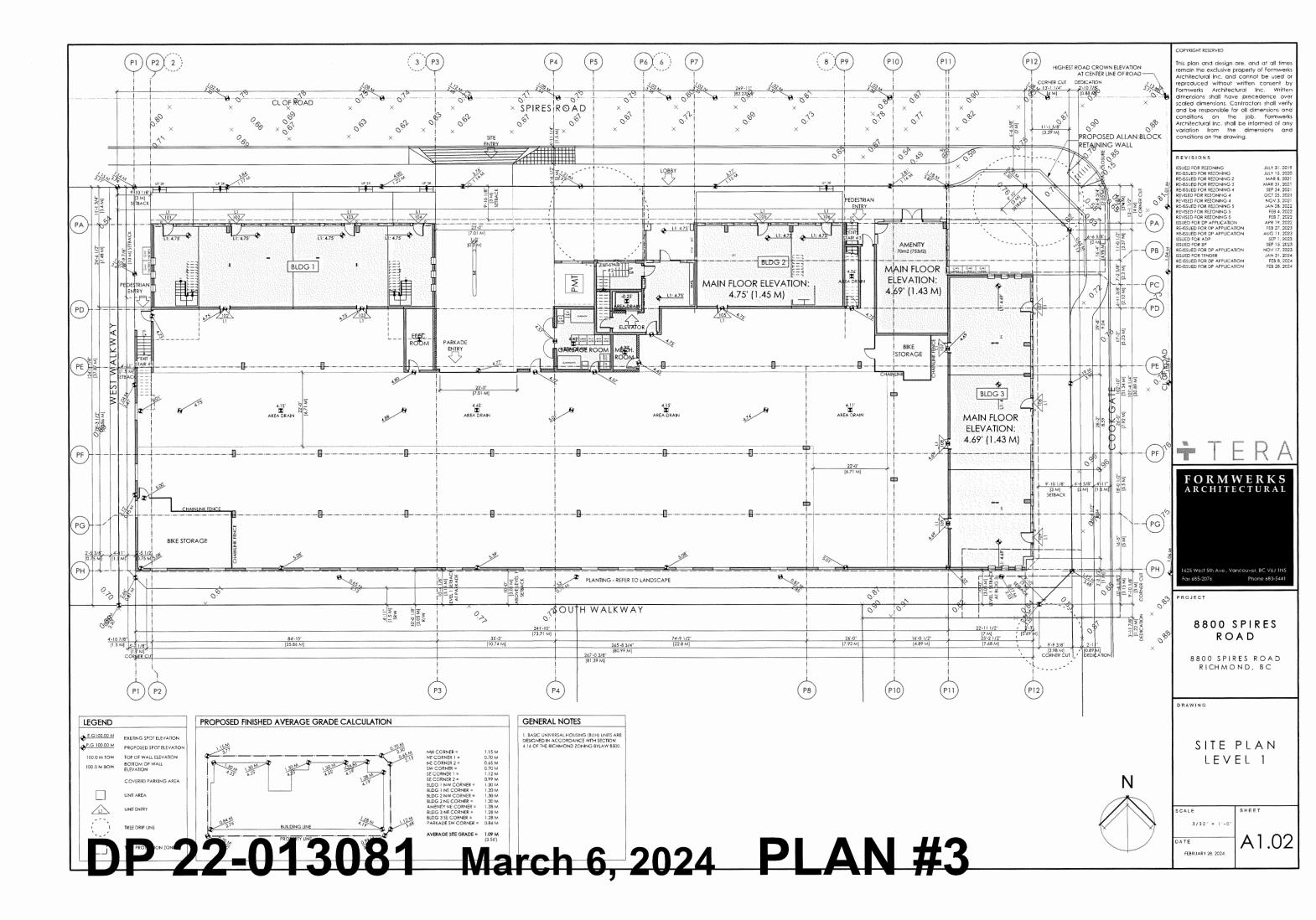
DATA SHEET

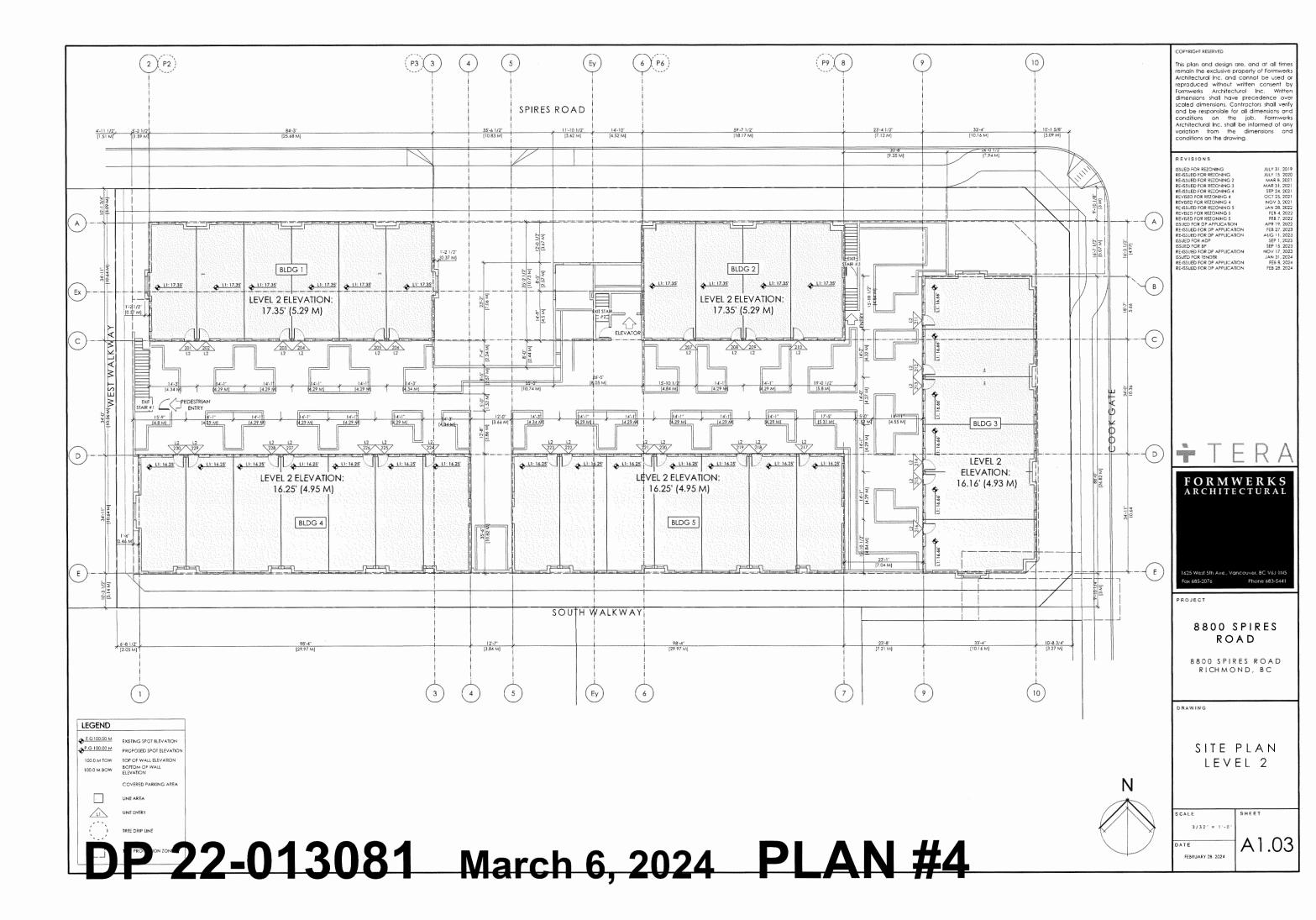
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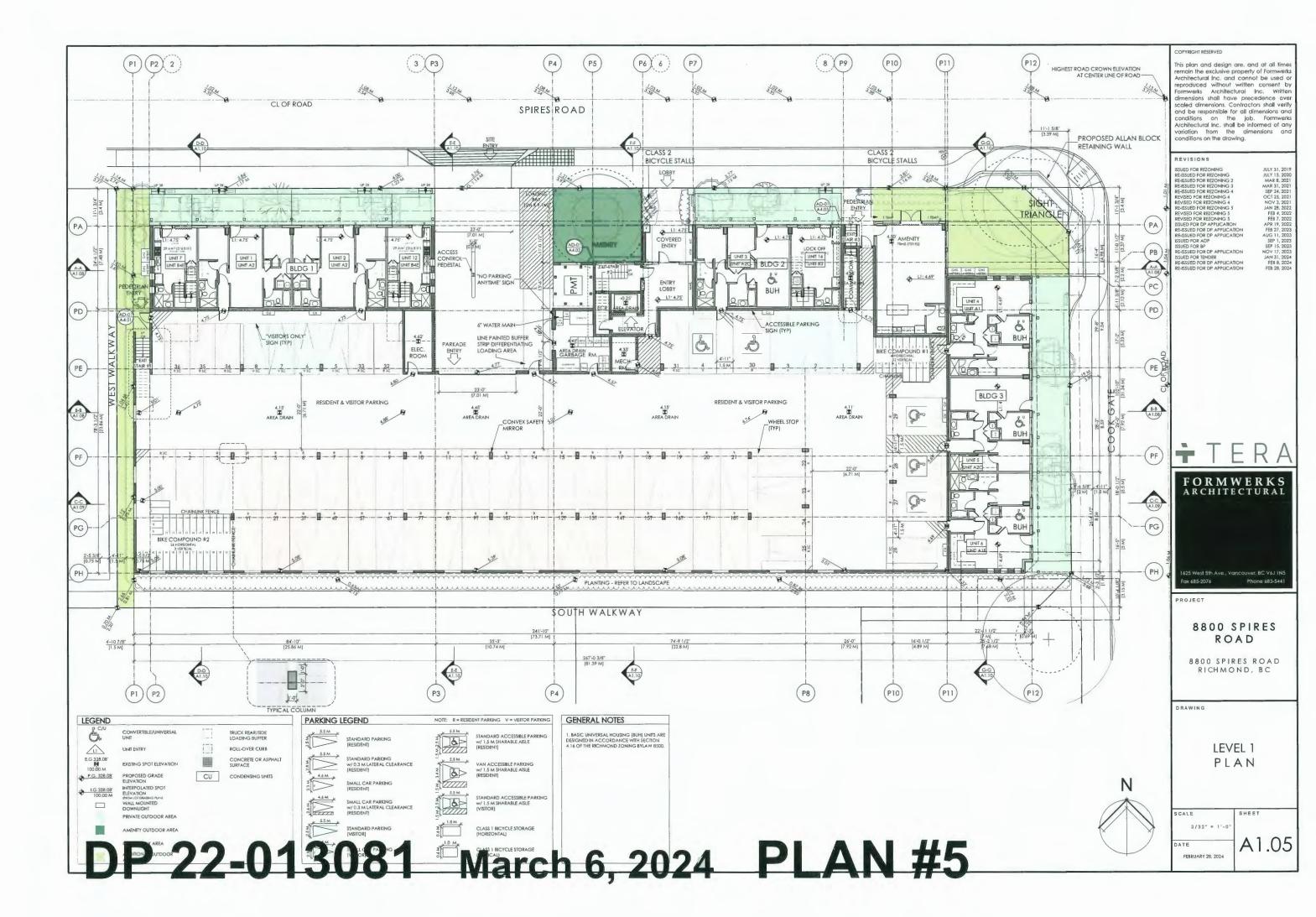
SCALE

DATE FEBRUARY 28, 2024 A1.01

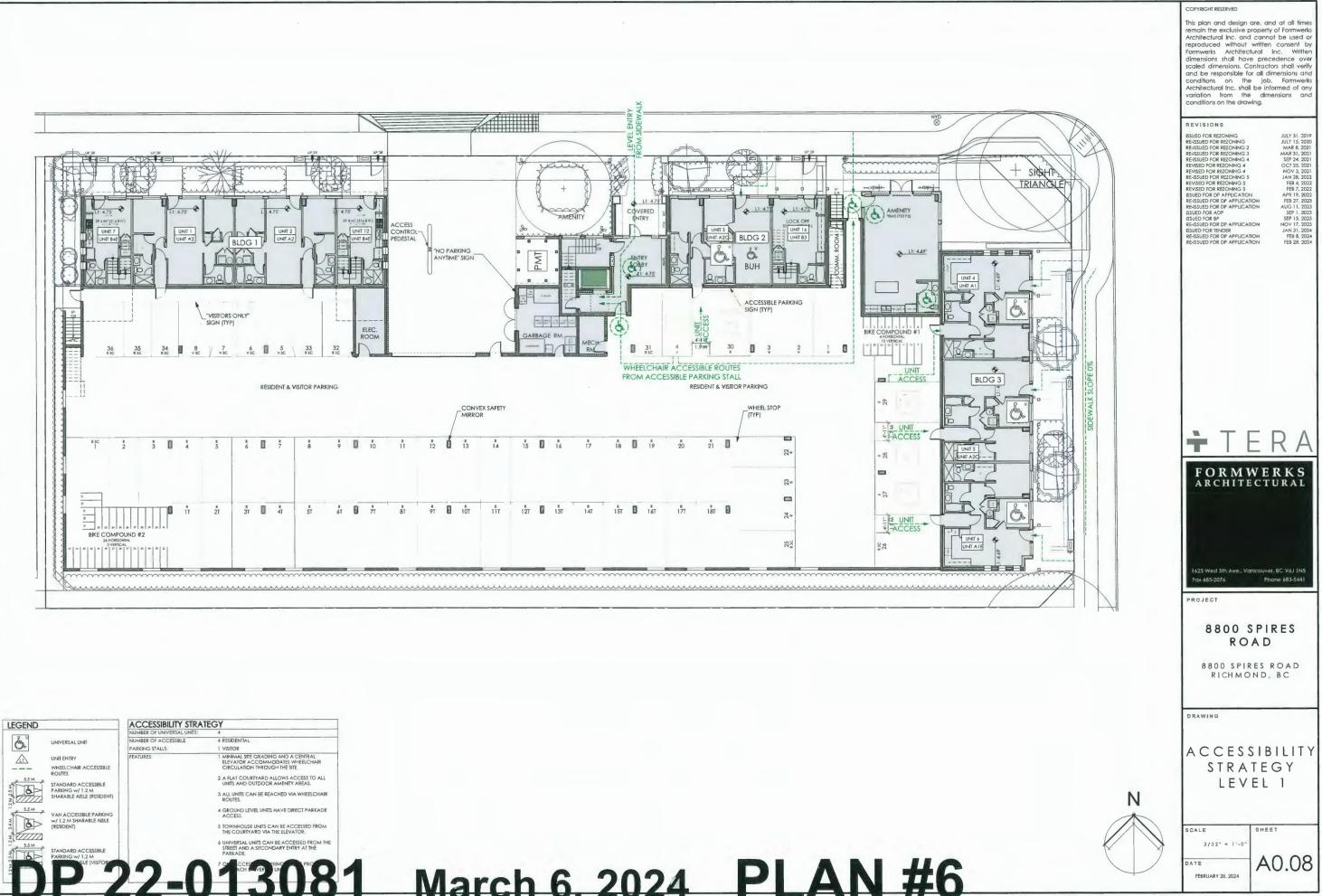
SHEET



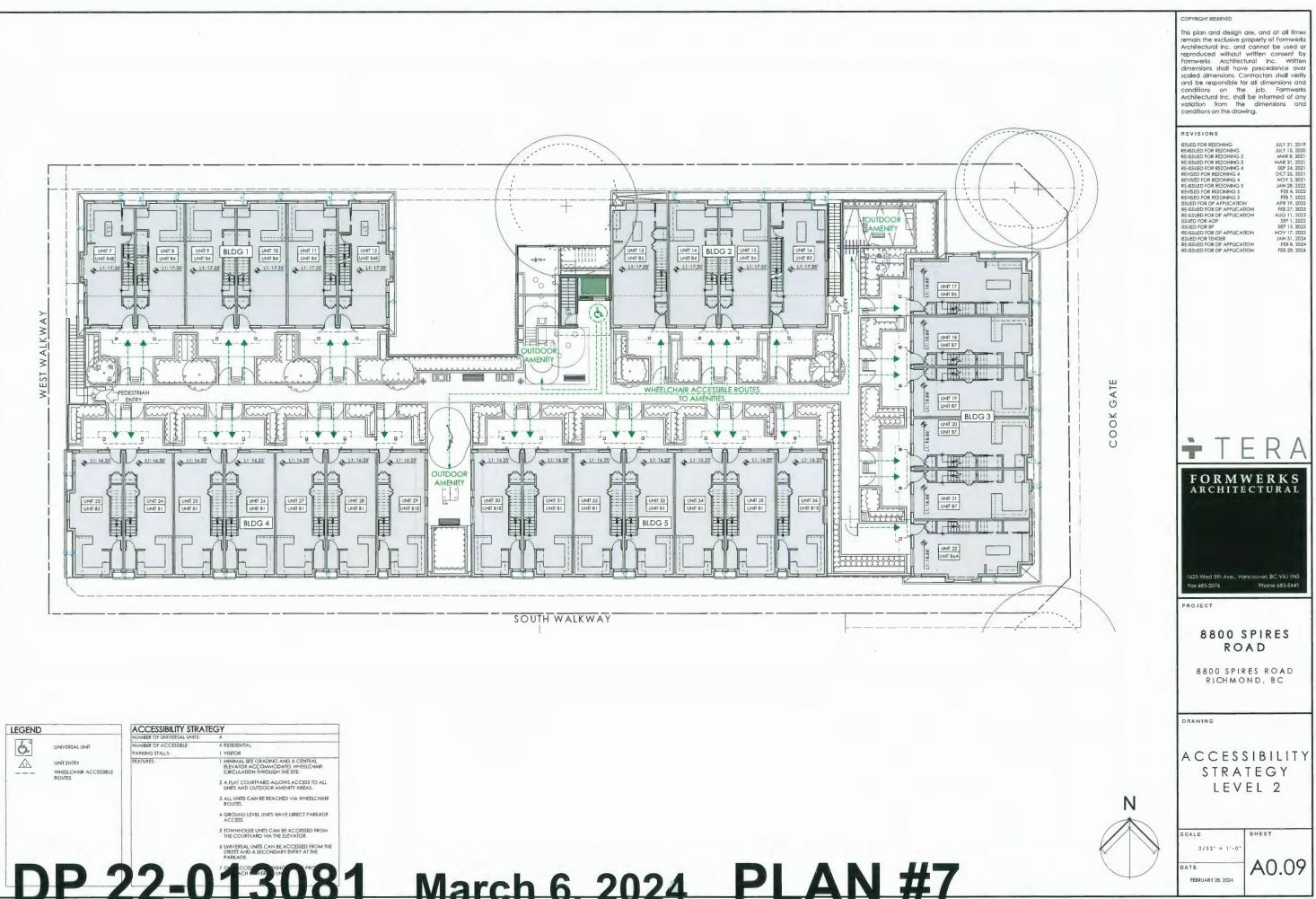


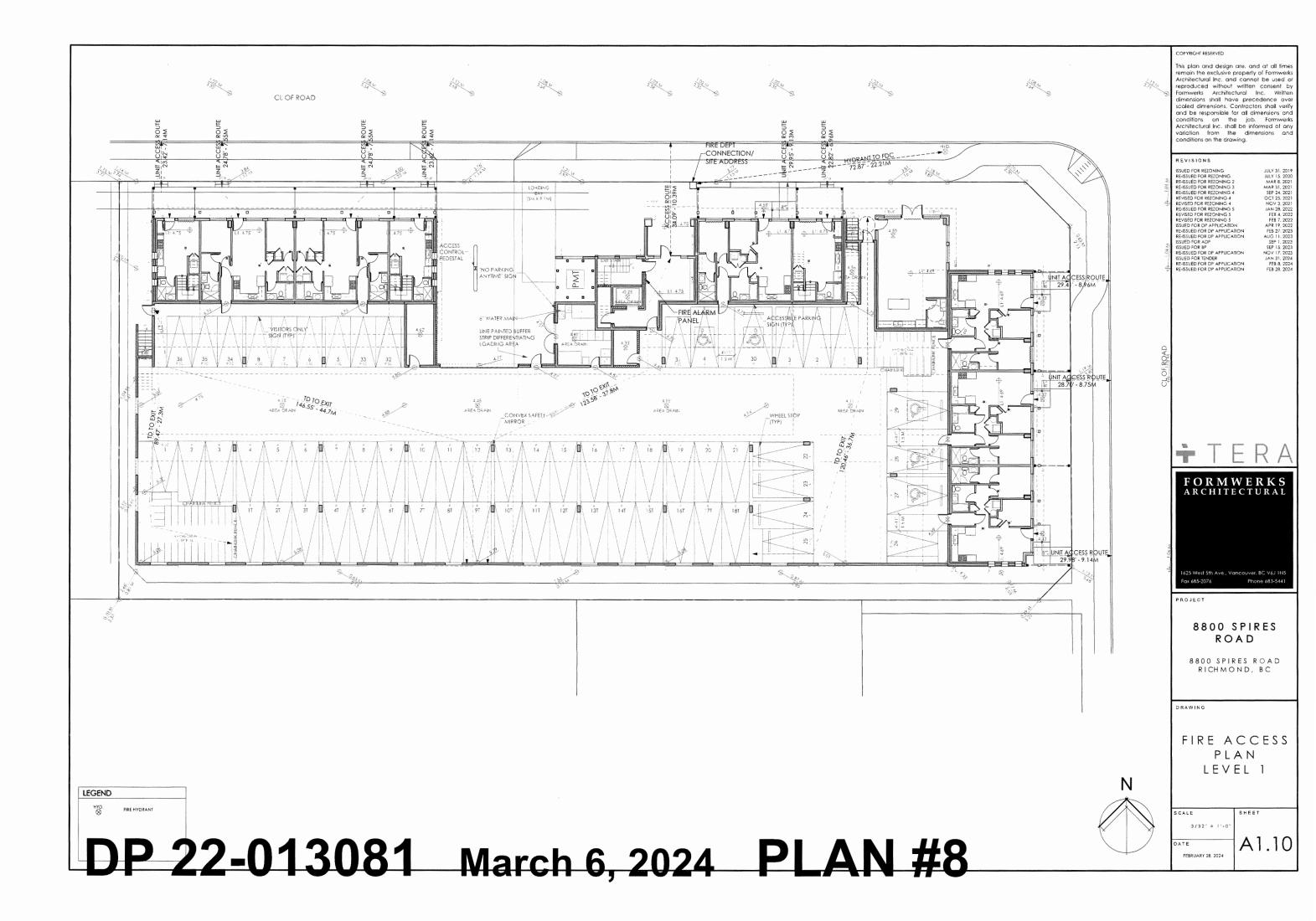


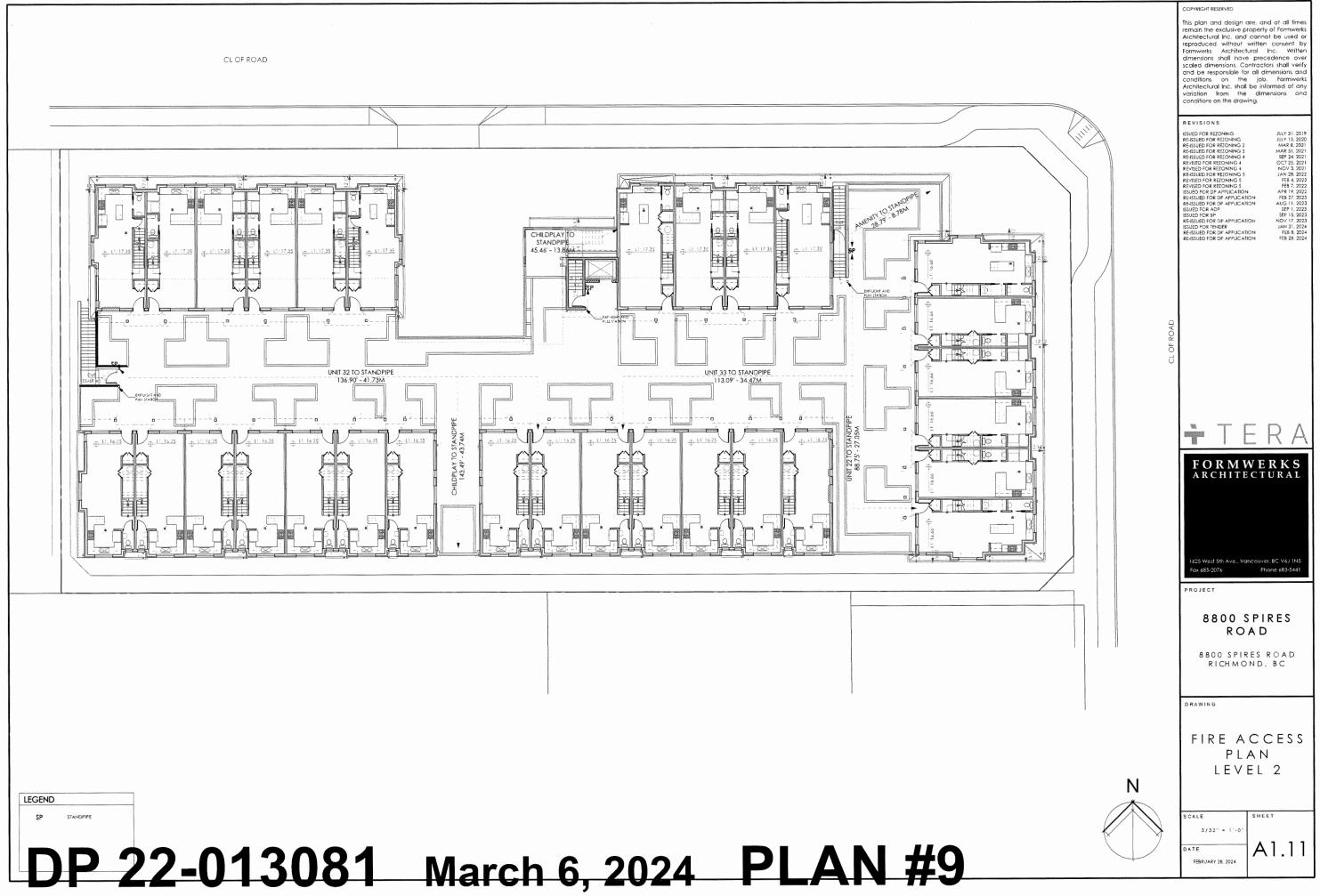
5.5 M 6 UNIVERSAL UNITS CAN BE ACCESSED FROM THE STREET AND A SECONDARY ENTRY AT THE PARKADE. STANDARD ACCESSIBLE PARKING w/ 1.2 M PARCING W/ 1.2 M PARCIN March 6, 2024 PLAN #6

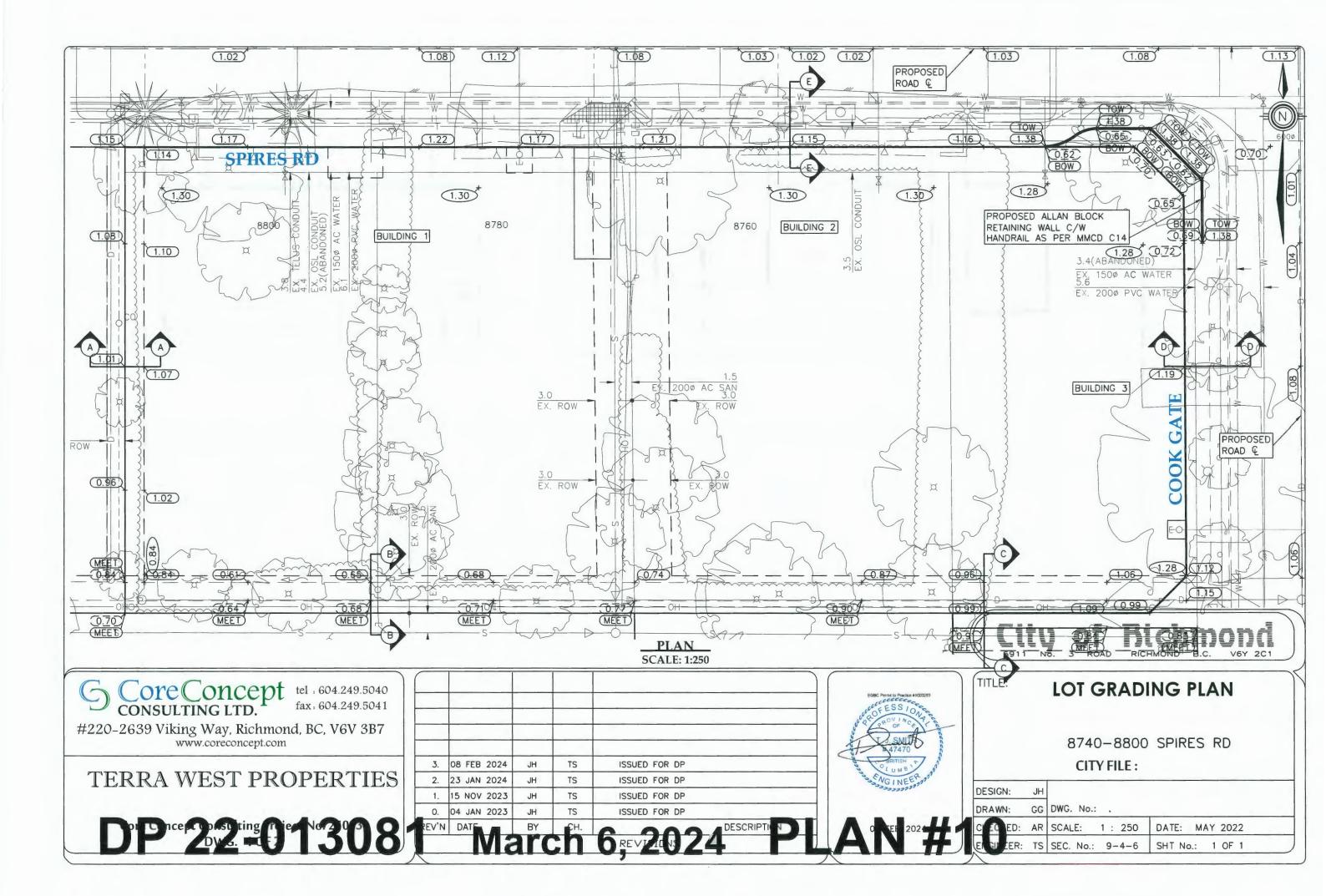


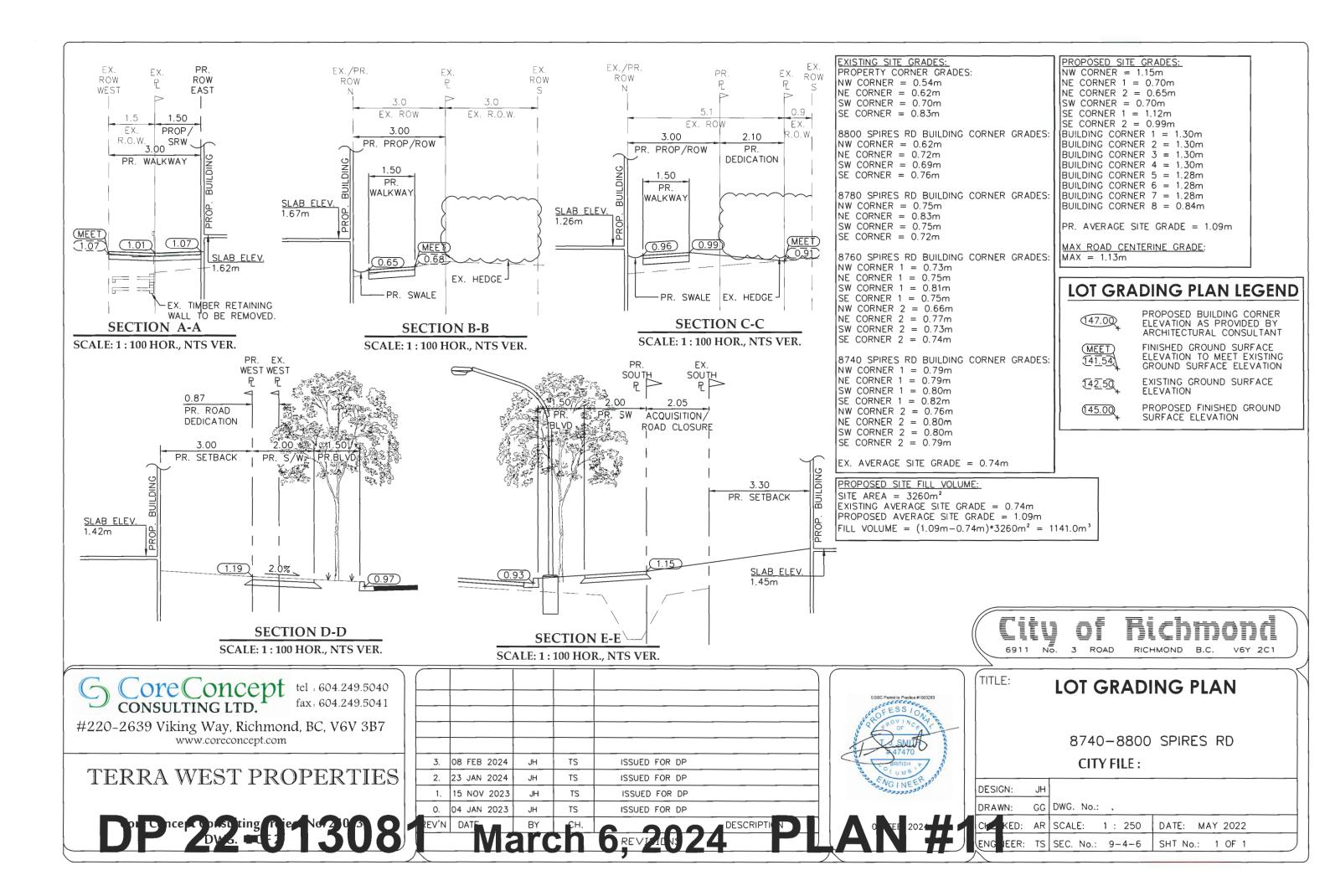
DP 22-013081 March 6, 2024 PLAN #7

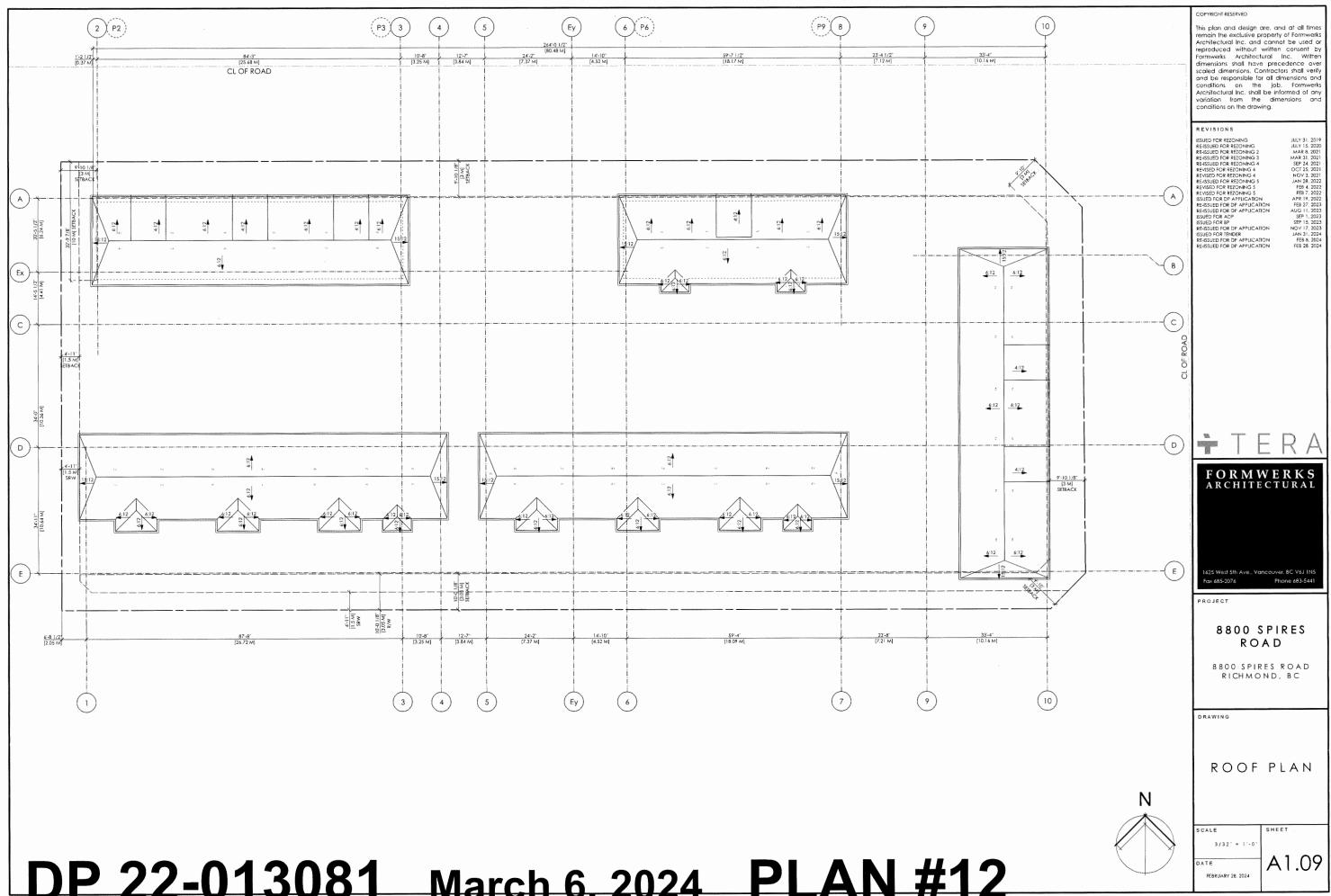




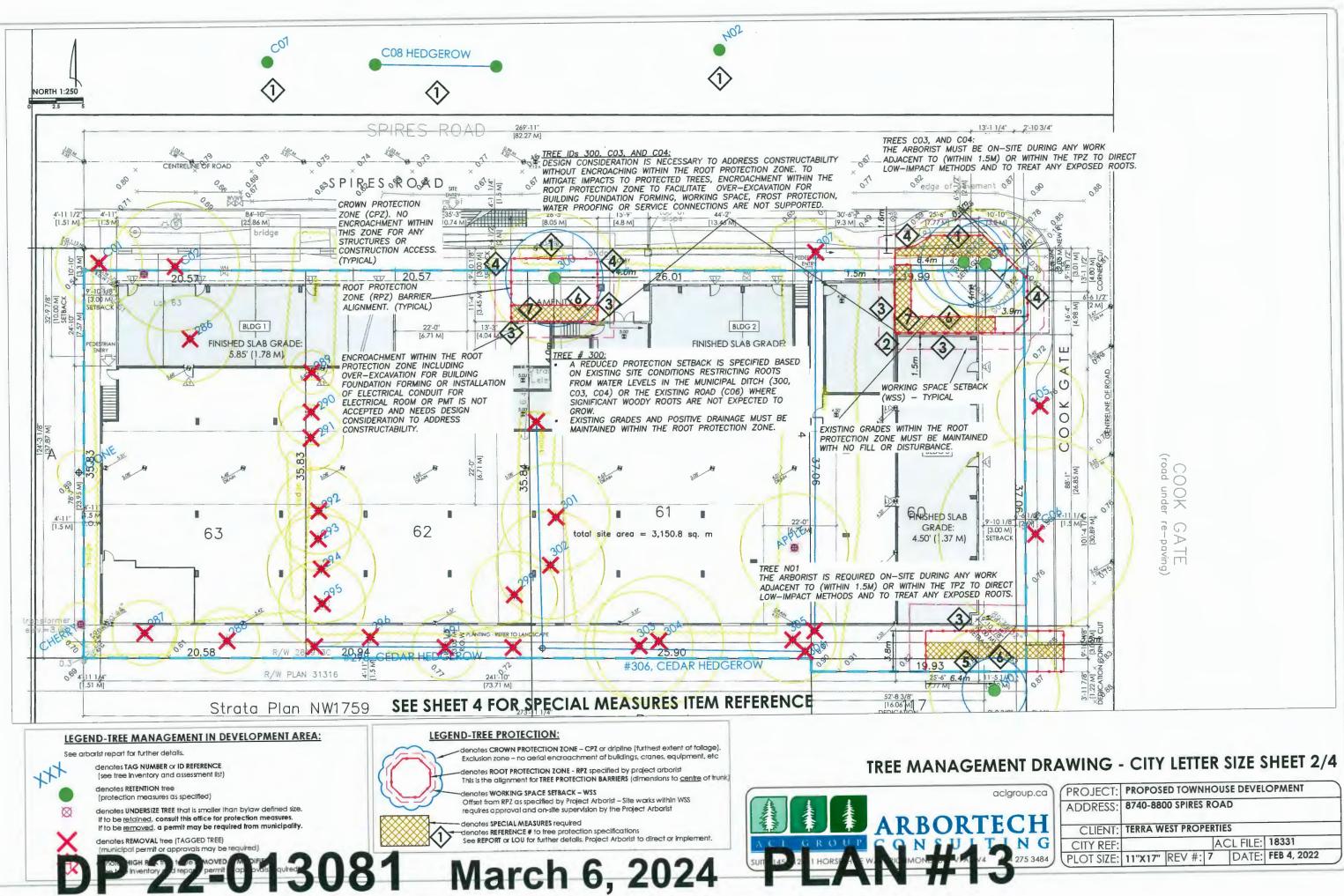








DP 22-013081 March 6, 2024 PLAN #12



group.ca	PROJECT:	PROPOSED TOWNHOUSE DEVELOPMENT
	ADDRESS:	8740-8800 SPIRES ROAD
CH	CLIENT	TERRA WEST PROPERTIES
NG	CITY REF:	ACL FILE: 18331
275 3484		11"X17" REV #: 7 DATE: FEB 4, 2022

TREE PROTECTION STANDARD MEASURES:

The project arborist must be called to attend and review, approve, direct and/or supervise certain works from time to time during the demolition, site preparation, construction and landscaping, at critical milestones or activities. To schedule reviews or site visits as described above, we require a minimum of 3 business days advance notice.

A. Tree Protection Barrier Installation:

Prior to site works commencing, to direct and inspect the installation of tree protection barriers. We will sign off once they are approved, so that city approvals can be enabled.

B. Tree Health Management Treatments:

Prior to construction, the project arborist will undertake or direct the installation of soil protection and enhancement treatments where deemed necessary or appropriate, such as but not limited to;

- a. Soil amender may be applied within TPZ (i.e. 10mm-minus well composted bark mulch, Nutri-Mulch, or equivalent) to a depth of 100 mm (or as directed by the Project Arborist).
- b. Interim watering program and system (i.e. manual sprinkler on a timer, temporary irrigation, or truck delivery) by developer/owner or by the project arborist. Note that log books of the watering may be required. The watering shall achieve even coverage within the RPZ to deliver the equivalent of up to 5 cm (2 inches) depth on a twice monthly schedule in April through June and September, and to a weekly schedule for July and August. Watering events will be exempted by the project arborist when natural rainfall for a period is sufficient to sustain the tree.
- C. Access within TPZ:
 - Whenever access into the tree protection zone (TPZ) is contemplated or desired for any reason.
- D. Work within TPZ:

Whenever any grading, trenching, excavation or landscape work occurs within a TPZ, including the root protection zone (RPZ) and the working space setback (WSS) offset from a RPZ as specified by the project arborist.

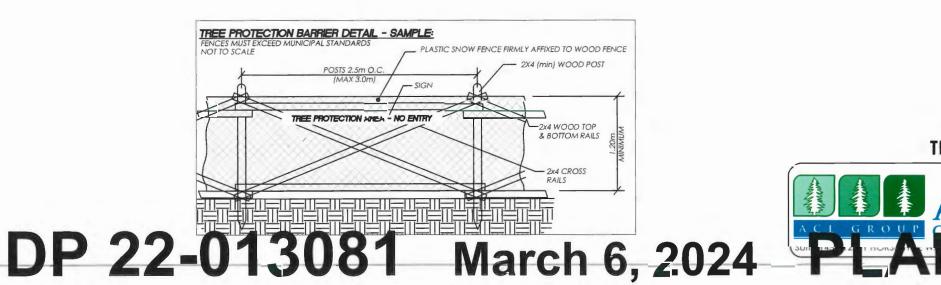
E. Pruning:

Certain retained trees may require pruning as recommended by the project arborist to treat one or more of the following: restoration of form, aesthetics, mitigation of defect(s), building clearance, sight lines, crown raising clearance for vehicles or pedestrians and/or construction access. All tree pruning work is to be carried under the direction of the project arborist from this office and by an ISA Certified Arborist employed by a qualified tree service firm working in conformance with applicable ANSI standards (A300 and Z133), and meeting the city, contractor and/or developer/owner insurance and licensing requirements. Low Impact Tree or Stump Removal.

- For any tree removal or stump removal from within a RPZ or WSS.
- G. Landscape Finishing:

All landscaping activities must be reviewed by this office in advance of commencing and on-site direction and guidance from the project arborist planned accordingly, such as but not limited to;

- a. Preparation works and construction of landscape finishing works including but not limited to; sidewalks, paths, patios, decks, retaining walls, fencing, irrigation, conduit, benches, patio pavers, soil placement, grass or turf installation, planting or other landscape items.
- b. Turf within TPZ's is discouraged, however if desired we may support it as long as a suitable mulch zone setback is implemented around the base of the tree.
- c. Certain landscape features may be excluded or will require specific materials and methods to be utilized that meet tree root protection compliance requirements.
- d. Note that the planting of any plants, shrubs or hedges within the TPZ is restricted to small pot sizes (i.e. #1 or #2 depending on species) and using "pocket planting" standards. Planting holes are minimized in size, dug into existing grade to avoid damage to woody roots, and backfilled with minimal addition of growing medium.



TREE PROTECTION SPECIAL MEASURES:

The following items within a TPZ require project arborist direction, treatment or supervision/monitoring. See the Tree Management Drawing for additional references to locations where special measures are required.



Stripping and excavating for storm pipe and manhole installations, as well as backfilling the ditch, will require low impact methods to protect the roots growing along the slope of the ditch and otherwise within the TPZ. Supervision from the project arborist is required. The upper soil strata within the ditch is to be backfilled using growing medium meeting the specifications of the project arborist so that root regeneration is enabled. Upon completion of this work, tree protection barriers are to be expanded to protect the new growing space.

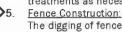
Building Site Preparation:

The project arborist must be on site concurrently with the excavation (site stripping) activities adjacent to the tree protection zones to identify tree roots, provide root protection measures and/or undertake root pruning treatments as necessary. Also when pre-load or fill placement is planned, the project arborist must be contacted to review any measures, including temporary retaining walls and/or drainage. Root Pruning for Site Excavation:



The project arborist must be on site concurrently with any excavation adjacent to the tree protection zone to identify tree roots, provide root protection measures and/or undertake root pruning treatments as necessary. Over-excavation for shoring, forming of building foundations and installation of drainage or other infrastructure are not supported by this office. Special measures are required for construction (i.e., shot-crete, blind forming.) to accept a proposed building aligned with the root protection zone. Root Pruning for Services Adjacent to TPZ:

The project arborist must approve the method of excavation (i.e. excavator, hydro-vac, air-vac, air spade etc) and also must be on site concurrent with trenching to identify tree roots, provide root protection measures and/or undertake root pruning treatments as necessary.

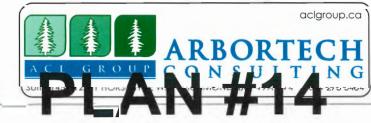


The digging of fence posts and construction of a fence must be reviewed in advance by the project arborist. Low impact digging methods and siting of fence posts may require adjustment depending on the scope of root impacts. Landscape Works:

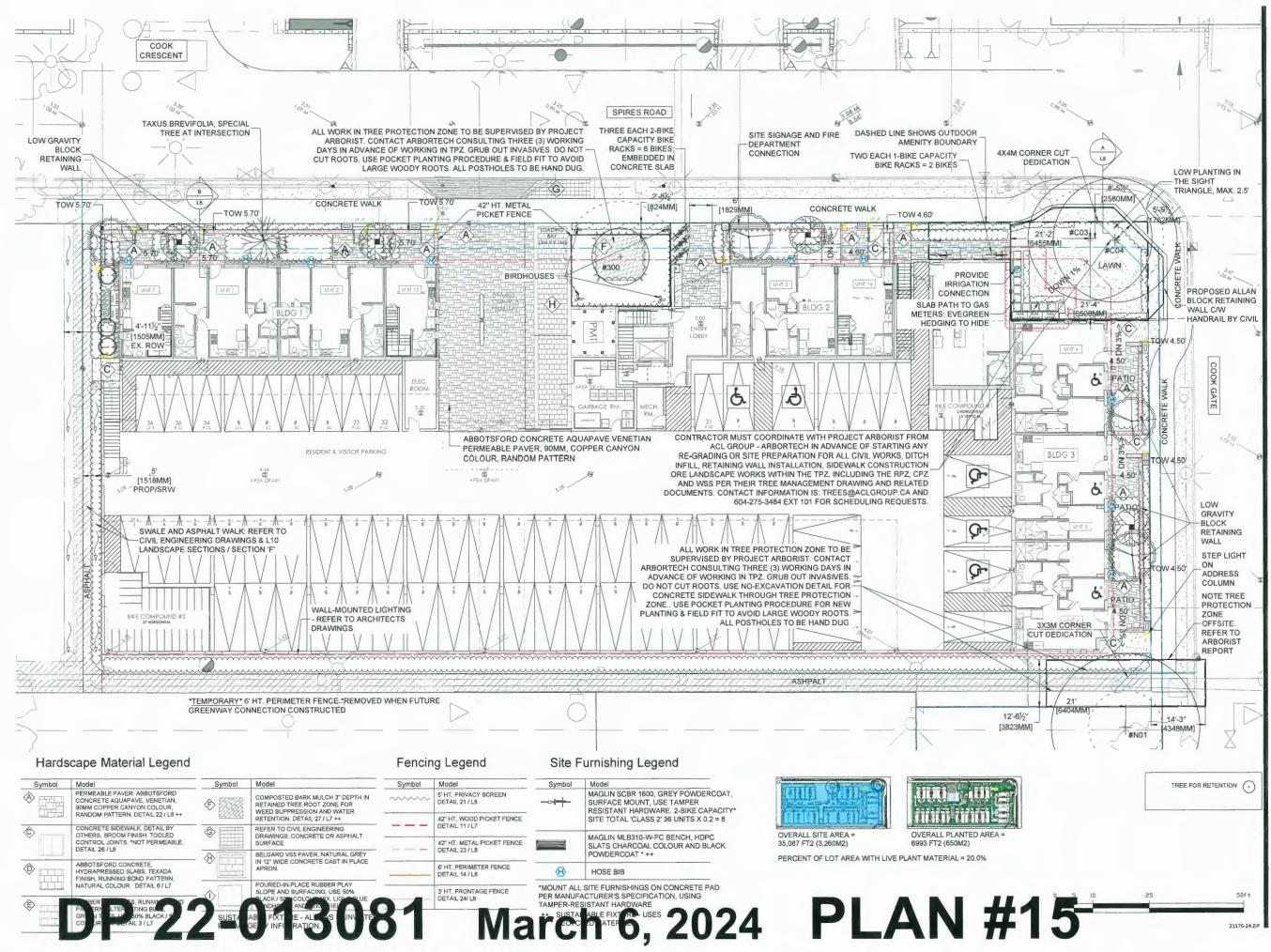
Coordination with this office is required to review any proposed works (i.e. planting, installation of any growing medium or materials, pruning, excavation of any scope, installation of any hardscape features including irrigation, fencing and retaining walls), within and directly adjacent to the tree protection zone(s) to approve those works and to provide low impact method and material recommendations. Any hardscape feature proposed within root protection zones will require a no-excavation and no-compaction of existing soils for preparation and installation.

Worker Access Within Root Protection Zone for Construction: Temporary soil armoring measures are required for worker access within the root zone during construction to mitigate soil compaction. An elevated boardwalk is required to be installed and maintained to accept limited worker access and egress within the root protection zone directly adjacent to the building. All other root protection zone specifications apply: Machine operation within root protection zones remains restricted.

TREE MANAGEMENT DRAWING - CITY LETTER SIZE SHEET 4/4



PROJECT:						OPMENT
ADDRESS:						
CLIENT:	TERRA W	EST PR	OP	ERTIE	S	
CITY REF:					L FILE:	
PLOT SIZE:	11"X17"	REV	#:	7	DATE:	FEB 4, 2022



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24 23 22	24.FEB.02 24.JAN.26 24.JAN.16	ISSUED FOR TENDER REVIEW REVISED ENTRY ISSUE FOR DP	CW CW CLG
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CLIENT

PROJECT:

SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT 8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:

GROUND LEVEL LANDSCAPE PLAN

DATE:	20.06.04	DRAWING NUMBER:
SCALE:	3/32" = 1'-0"	1.4
DRAWN:	MC	
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PMG PROJECT NUMBER

21-176

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KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
SQ.	4	CERCIS CANADENSIS 'COVEY'	LAVENDER TWIST REDBUD	8CM CAL; 1.8M STD; B&B NATIVE; CLIMATE RESILIENT
sor.) 3	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEEPING NOOTKA CYPRESS	4M HT; B&B NATIVE
A	4	PRUNUS VIRGINIANA 'SCHUBERT'	SCHUBERT CHOKE CHERRY	8CM CAL; 1.8M STD; B&BNATIVE;BIRD-FRIENDLY;CLIMATE RESILIE
-	\$ 1	TAXUS BREVIFOLIA	WESTERN YEW	4.0M HT; B&B NATIVE; BIRD-FRIENDLY; CLIMATE RESILIENT
SHRUB	R			
(8)	150	BUXUS SEMPERVIRENS	COMMON BOXWOOD	#3 POT; 40CM
(L1)	180	LONICERA PILEATA	BOXLEAF HONEYSUCKLE; GOLD	#3 POT; 50CM
(M1)	22	MAHONIA AQUIFOLIUM	OREGON GRAPE HOLLY	#3 POT; 50CM; BIRD-FRIENDLY; NATIVE
(ka)	14	PIERIS JAPONICA 'CAVATINE'	DWARF LILY OF THE VALLEY BUSH	#2 POT; 30CM; MATURE HT: 900MM
(SA)	102	SARCOCOCCA HOOKERANA VAR. HUMILIS	HIMALAYAN SWEET BOX	#3 POT; 35CM
(SK)	42	SKIMMIA JAPONICA	JAPANESE SKIMMIA	#3 POT; 50CM
EGGEE	32	TAXUS X MEDIA HICKSII	HICK'S YEW	1.5M B&B
GRASS				
(0)	123	CAREX ELATA 'AUREA'	BOWLE'S GOLDEN SEDGE	#1 POT
CHA	14	HAKONECHLOA MACRA 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	#1 POT
VINE				
Ð	18	HYDRANGEA PETIOLARIS SUBSP ANOMALA	CLIMBING HYDRANGEA	#2 POT; 40CM; STAKED; SHADE TOLERANT
GC				
PO	157	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 20CM

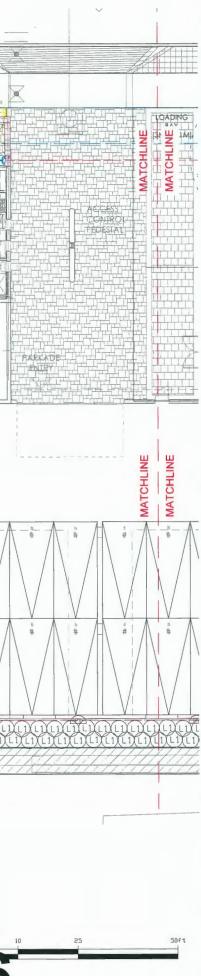
PMG PROJECT NUMBER: 21-176

PLANT SCHEDULE - GROUND LEVEL

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW. MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAILAND AND RAVIEW. MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO BELIVERY FOR REQUEST TO SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO BELIVERY FOR REQUEST TO SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FOR DAYS PRIOR TO BELIVERY FOR REQUEST TO SUBSTITUTIONS AND CANADIAN LANDSCAPE STANDARD AND CONDING OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD AND CONDINGS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD AND SCANDARD AND CANADIAN LANDSCAPE STANDARD AND SCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD AND SCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD AND SCANDARD AND CANADIAN LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL ARCHITECT.

Note: IRRIGATION SYSTEM TO BE DESIGN-BUILD, PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO CONSTRUCTION. INSTALL PER ILABC STANDARDS. USE HIGH EFFICIENCY. DP 222-013081 March 6, 2024 PLAN #16

STRUCTURAL SOIL, ROOT PERMEABLE BASE COURSE - REFER TO DETAIL 16 / L8 AND SPECIFICATION



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24	24.FEB.02	ISSUED FOR TENDER REVIEW	CW
23	24JAN.26	REVISED ENTRY	CW
22	24.JAN.16	ISSUE FOR DP	CLO
21	24.JAN.10	INCREASE PLANTING TO 20% LOT AREA	SA
20	23.NOV.14	REVISE PER COMMENTS	Wa
	23.NDV.03	UPDATE PER COMMENTS	CLE
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CLIENT:

PROJECT:

SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT 8800, 8780, 8760 SPIRES GATE

AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:

GROUND LEVEL SHRUB PLAN

DATE:
SCALE:
DRAWN:
DESIGN:
CHK'D:

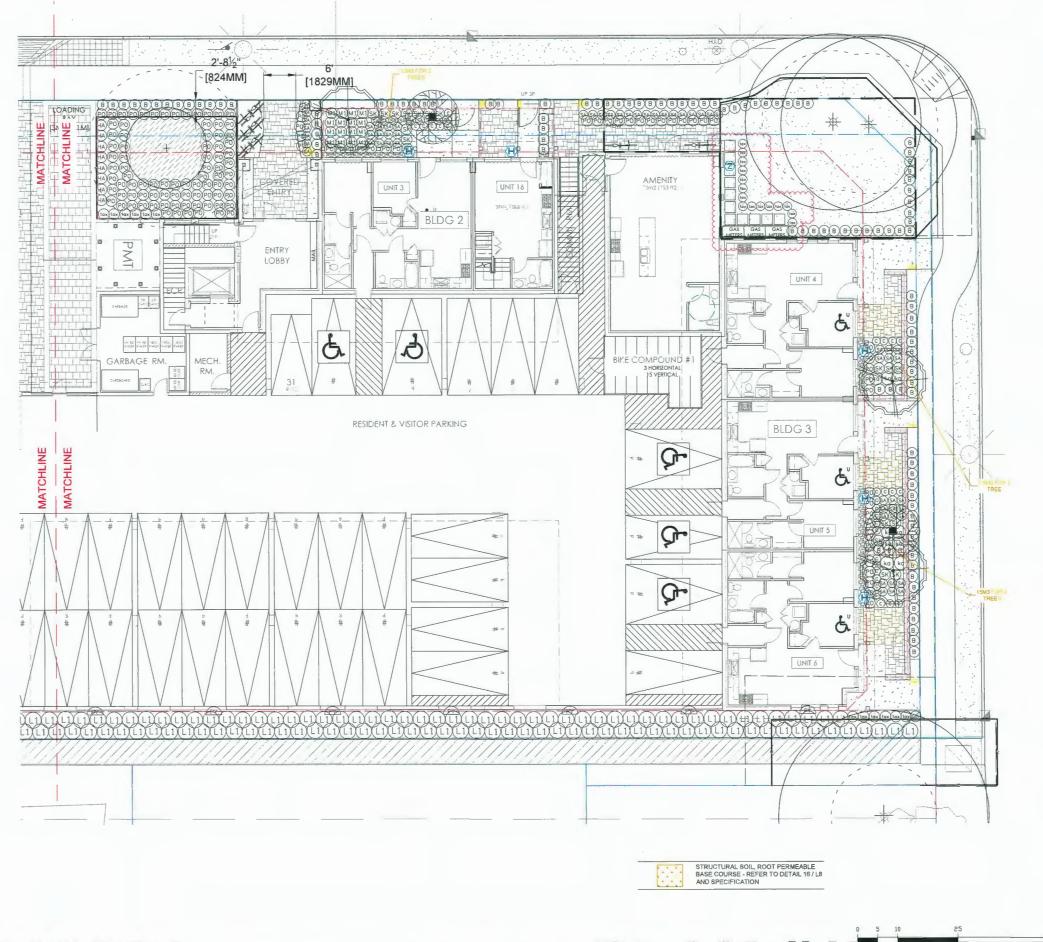
20.06.04 1/8" = 1'-0" MC MC PC

DRAWING NUMBER

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21176-24.ZIP PMG PROJECT NUMBER:

21-176



DP 22-013081 March 6, 2024 PLAN #17

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20	23.NOV.14	REVISE PER COMMENTS	WZ
19	23.NOV.03	UPDATE PER COMMENTS	CLG
NC	DATE	REVISION DESCRIPTION	DR

CLIENT:

PROJECT:

SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT

8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:

GROUND LEVEL SHRUB PLAN

20.06.04

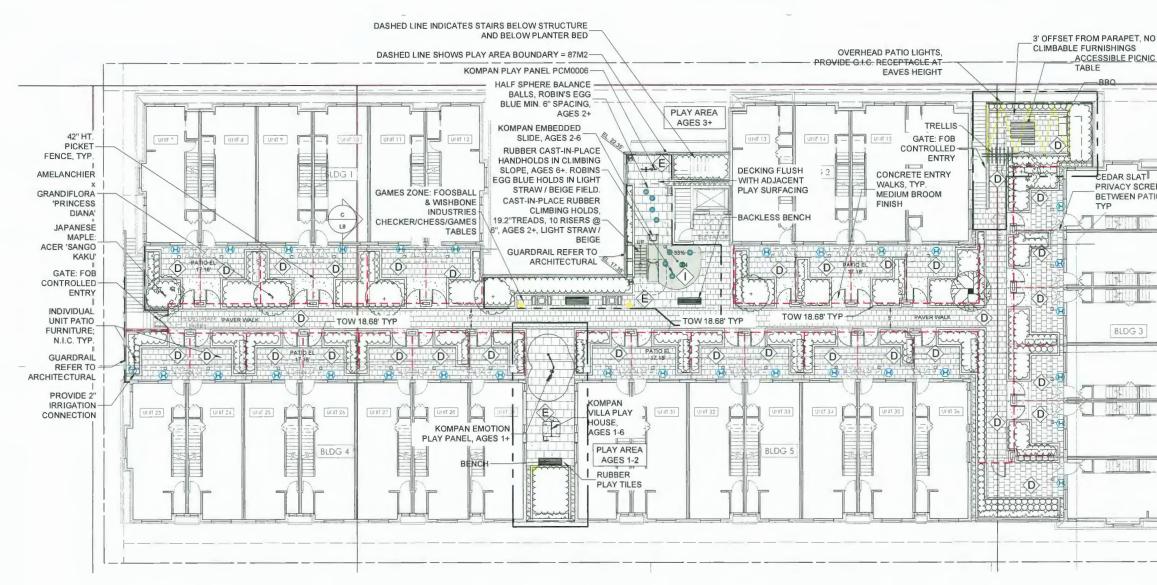
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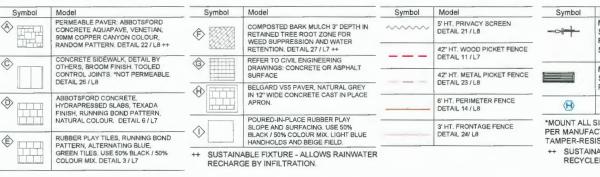


Hardscape Material Legend

C)

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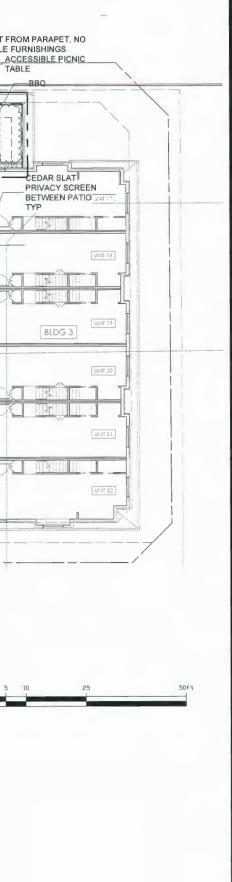


Fencing Legend

Site Furnishing Legend

ymbol	Model	1
	MAGLIN SCBR 1600, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE. 2-BIKE CAPACITY* SITE TOTAL 'CLASS 2' 36 UNITS X 0.2 = 8	
	MAGLIN MLB310-W-PC BENCH, HDPC SLATS CHARCOAL COLOUR AND BLACK POWDERCOAT * ++	
$\langle \mathbf{H} \rangle$	HOSE BIB	
MANUFA	SITE FURNISHINGS ON CONCRETE PAD CTURER'S SPECIFICATION, USING ISTANT HARDWARE IABLE FIXTURE - USES ED MATERIALS	

March 6, 2024 PLAN #18 **DP 22-013081**



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PROJECT

SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT 8800, 8780, 8760 SPIRES GATE

AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE

LEVEL 2 LANDSCAPE PLAN

DATE:
SCALE:
DRAWN:
DESIGN:
CHK'D:

20.05.04 3/32" = 1'-0'



21176-24.ZIP PMG PROJECT NUMBER



WISHBONE BAYVIEW GAMES TABLE: WALNUT SLATS AND NORDIC LICHEN POWDERCOAT



KOMPAN 'EMOTION' PLAY PANEL





KOMPAN EMBEDDED SLIDE

RUBBER SLOPE WITH HANDHOLDS





PALASON FOOSBALL TABLE - COMMERCIAL OUTDOOR GRADE: 'SOC TBL LO STORM F3'

KOMPAN 'MANIPULATIVE' PLAY PANEL



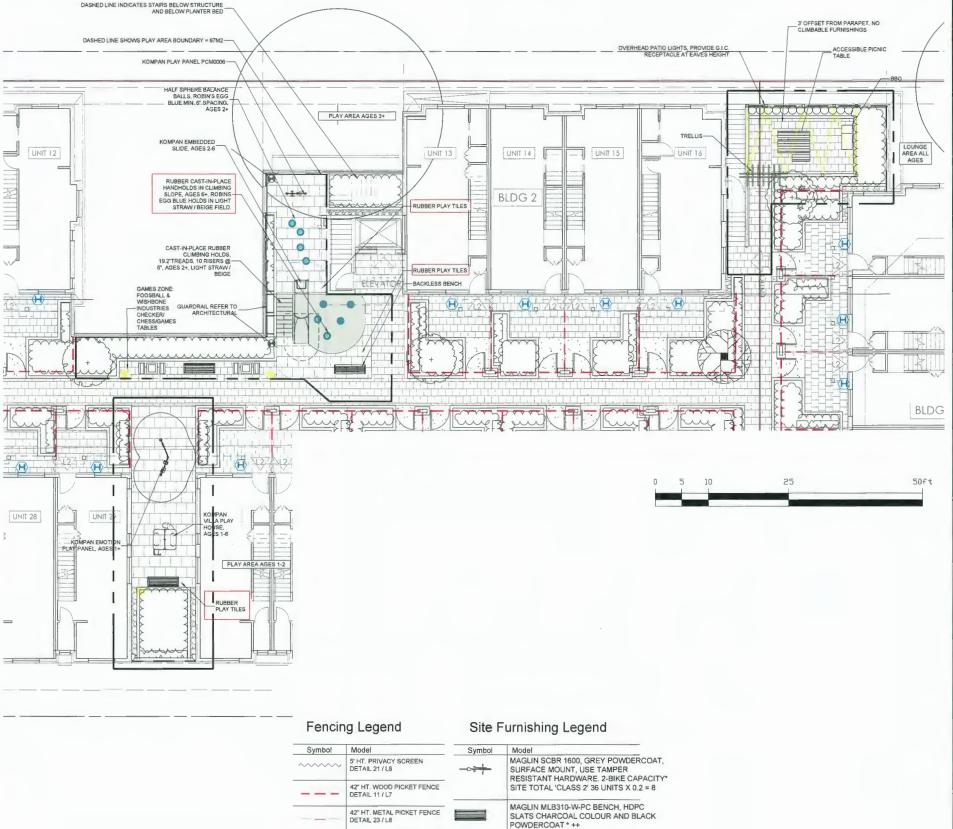


MAGLIN MBR 350 BIKE RACK: BLACK POWDERCOAT





DP 22-013081 March 6, 2024



 $\langle \mathbf{H} \rangle$

HOSE BIB

TAMPER-RESISTANT HARDWARE

++ SUSTAINABLE FIXTURE - USES RECYCLED MATERIALS

*MOUNT ALL SITE FURNISHINGS ON CONCRETE PAD PER MANUFACTURER'S SPECIFICATION, USING

PLAN #19

6' HT. PERIMETER FENCE DETAIL 14 / L8

3' HT. FRONTAGE FENCE

DETAIL 24/ L8

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22	24JAN.16	ISSUE FOR DP	CLG
21	24.JAN.10	INCREASE PLANTING TO 20% LOT AREA	SA
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NO	DATE	REVISION DESCRIPTION	DR

CLIENT

PROJECT:

SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT

8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE.

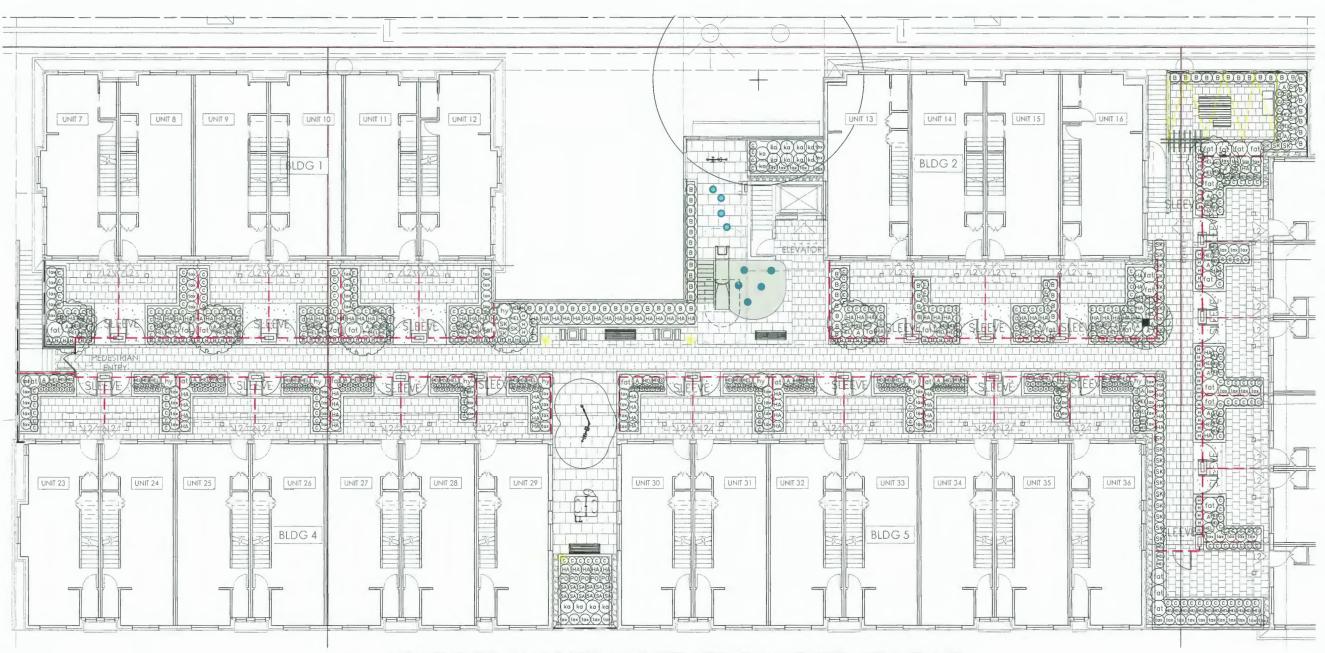
LEVEL 2 AMENITY DETAIL PLAN

DATE: 20.06.04 SCALE: DRAWN DESIGN: CHK'D:

1/8" = 1'-0' MC PC

L6 OF 13

DRAWING NUMBER



KEY	OTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	qri	BOTANICAE NAME	COMMON NAME	PEANTED SIZE / REMARKS
0	4	AMELANCHIER x GRANDIFLORA 'PRINCESS DIANA'	PRINCESS DIANA SERVICEBERRY	8CM CAL: 1.5M STD: 8&B:NATIVE: BIRD-FRIENDLY: CLIMATE RESILIEN
Solo De	1	CERCIS CANADENSIS 'COVEY'	LAVENDER TWIST REDBUD	8CM CAL: 1.8M STD; B&B: NATIVE: CLIMATE RESILIENT
00	2	CRATAEGUS DOUGLASII	BLACK HAWTHORN	8CM CAL:1.5M STD:B&B:NATIVE:BIRD-FRIENDLY:CLIMATE RESILIEN
SHRUB	-			
(8)	61	BUXUS SEMPERVIRENS	COMMON BOXWOOD	#3 POT: 40CM
S	30	FATSIA JAPONICA	JAPANESE ARALIA	#2 POT: 40CM MULTISTEM
E COREE	9	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA; BLUE	#2 POT; 50CM
X	14	PIERIS JAPONICA 'CAVATINE'	DWARF LILY OF THE VALLEY BUSH	#2 POT; 30CM; MATURE HT: 900MM
SA	12	SARCOCOCCA HOOKERANA VAR. HUMILIS	HIMALAYAN SWEET BOX	#3 POT; 35CM
SK	31	SKIMMIA JAPONICA	JAPANESE SKIMMIA	#3 POT; 50CM
(lax)	96	TAXUS X MEDIA 'HICKSII'	HICK'S YEW	1.5M B&B
GRASS				
\bigcirc	248	CAREX ELATA 'AUREA'	BOWLE'S GOLDEN SEDGE	#1 POT
HA	98	HAKONECHLOA MACRA 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	#1 POT
E	100	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT
8	176	OPHIOPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	#1 POT
PERENN	IAL			
A	29	ADIANTUM PEDATUM	NORTHERN MAIDENHAIR FERN	#1 POT
HEL	52	HELLEBORUS x HYBRIDUS	LENTEN ROSE	15CM POT
C E E C	83	HEUCHERA MACRANTHA 'PALACE PURPLE'	CORAL BELLS; PURPLE-RED	15CM POT
GC				
PO	7	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 20CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CIALS STANDARD, BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW. MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT FOR REQUEST TO SUBSTITUTIONS TO THE SPECIFIED MATERIAL UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

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23	24.JAN.26	REVISED ENTRY	CW
22	24.JAN.15	ISSUE FOR DP	CLG
21	24.JAN.10	INCREASE PLANTING TO 20% LOT AREA	S,A
20	23.NOV.14	REVISE PER COMMENTS	WZ
19	23.NOV.03	UPDATE PER COMMENTS	CLG
NC	DATE	REVISION DESCRIPTION	DR

CLIENT:

PROJECT:

SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT

8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:

LEVEL 2 SHRUB PLAN

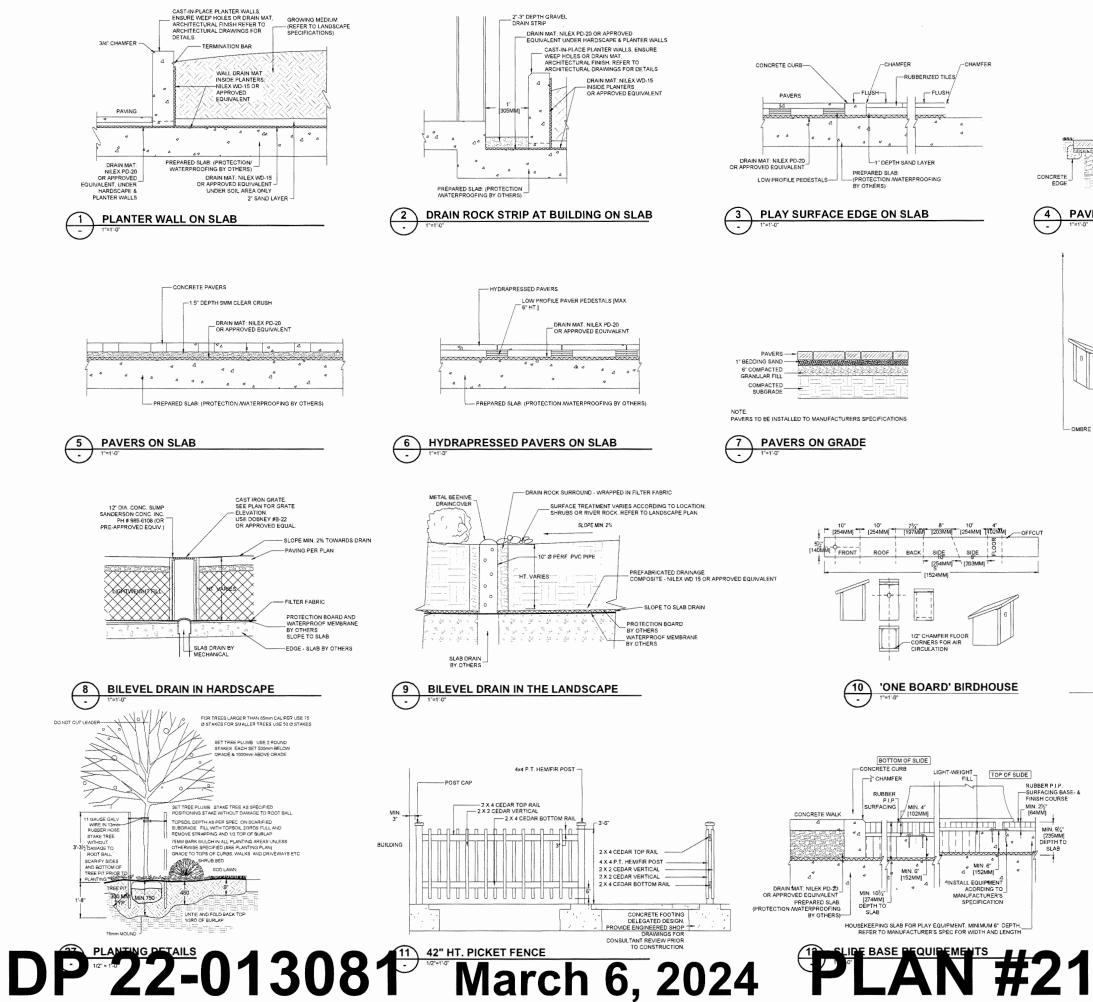
20.06.04 1/8" = 1'-0" MC MC

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21176-24.ZIP PMG PROJECT NUMBER

50ft



ANDSCAP ARCHITECTS Suite C100 - 4185 Still Creek Driv Burnaby, British Columbia, V5C 6G9 p: 604 294-0011 ; f: 604 294-0022 -60 mm UNIT PAVER 25 mm BEDDING SAND SEAL - 150 mm GRANULAR FILI 120 ----- COMPACTED SUBGRADE 4 PAVERS EDGE LIGHT (SKY) BLUE PAINTED BIRDHOUSE MID-BLUE PAINTED ARK BLUE PAINTED BLUE-BLACK PAINTED WHITE POWDERCOATED METAL POST 10'-6" (3201MM) 5'-117%" [1825MM] 24.FEB.03 ISSUED FOR TENDER REVIEW REVISED ENTRY 24JAN 26 24.JAN. ISSUE FOR D 24 JAN 10 INCREASE PLANTING TO 20% LOT ARE 23.NOV 1 REVISE PER COMMENTS NO. DATE REVISION DESCRIPTION CLIENT PROJECT: SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT 8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:

LANDSCAPE DETAILS

SCALE: DRAWN: DESIGN CHK'D:

20.06.04 DRAWING NUMBER AS SHOWN M

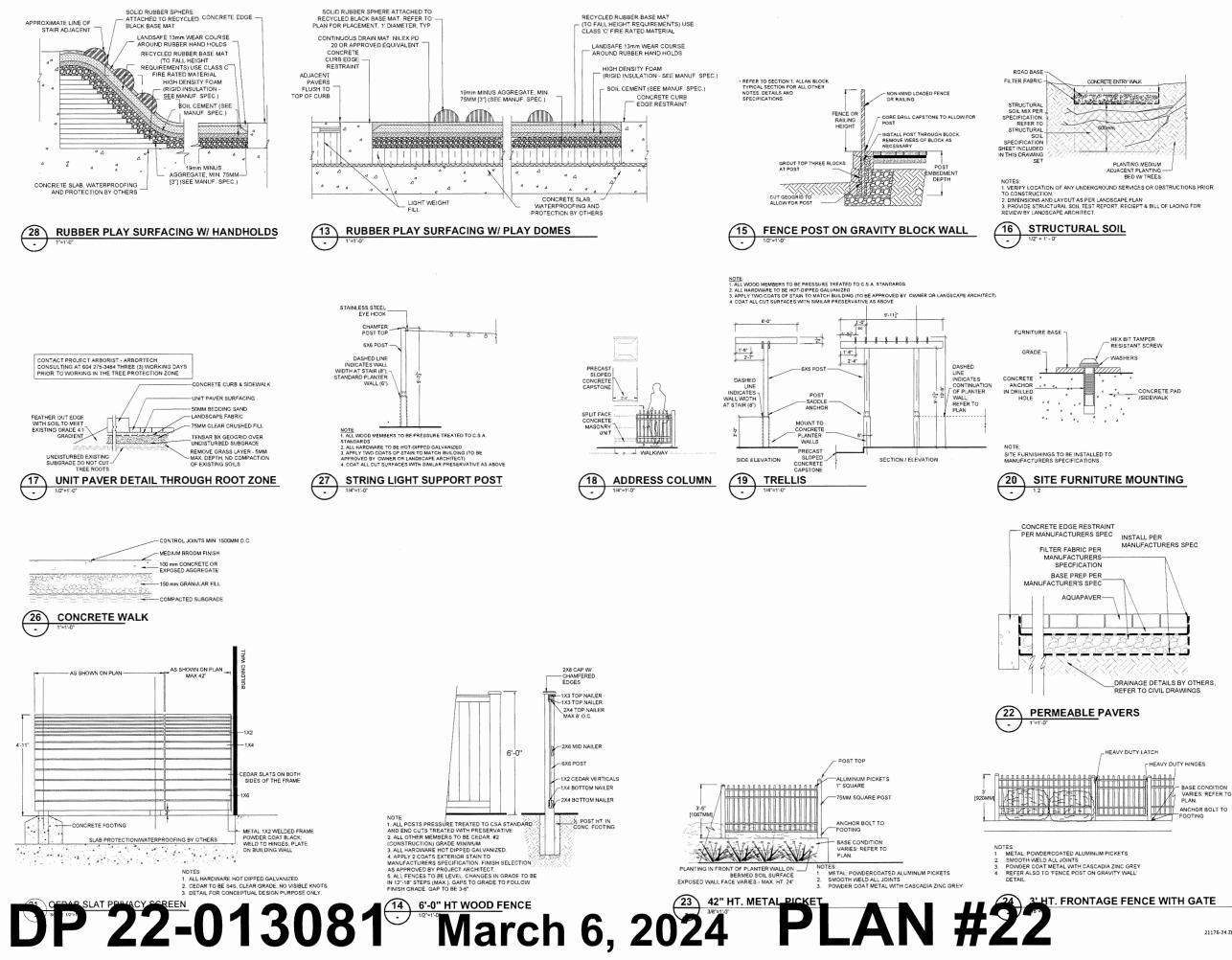
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OF 13

21176-24.ZIF

PMG PROJECT NUMBER



21176-24.ZIP PMG PROJECT NUMBER:

DATE:	20.06.04	DRAWING NUMBER
SCALE:	AS SHOWN	10
DRAWN:	MC	L9
DESIGN:		
CHK'D:	PC	OF 1

21-176

LANDSCAPE DETAILS

DRAWING TITLE

8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT

PROJECT

CLIENT

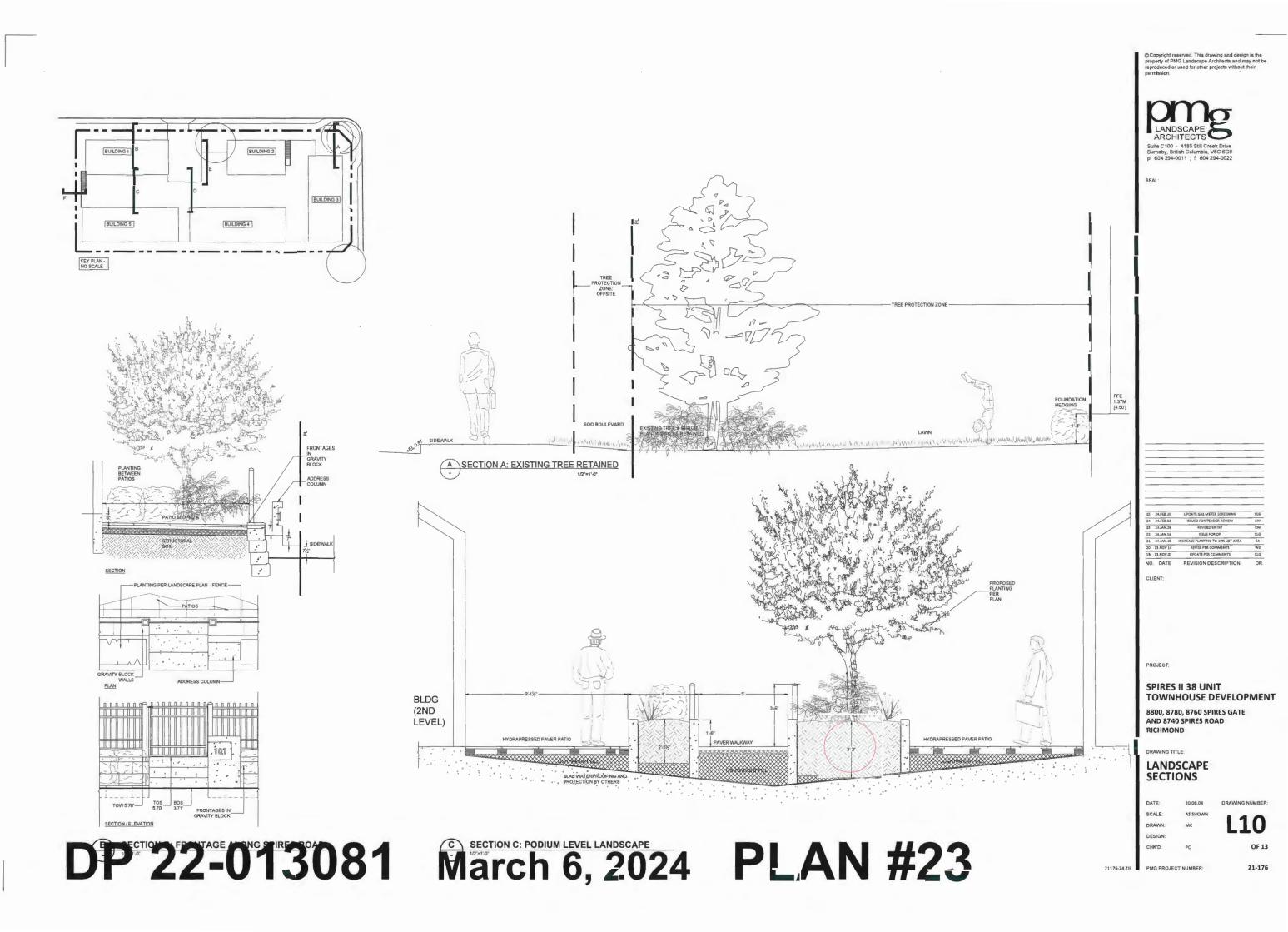
25	24.FEB 20	UPDATE GAS METER SCREENING	ÇLG
24	24.FEB 02	ISSUED FOR TENDER REVIEW	CW
23	24.JAN.26	REVISED ENTRY	CW
22	24.JAN.16	ISSUE FOR DP	CLG
21	24.JAN.10	INCREASE PLANTING TO 20% LDT AREA	ŞA
20	23.NOV.14	REVISE PER COMMENTS	wz
19	23.NOV.03	UPDATE PER COMMENTS	CLG
NO	DATE	REVISION DESCRIPTION	DR.

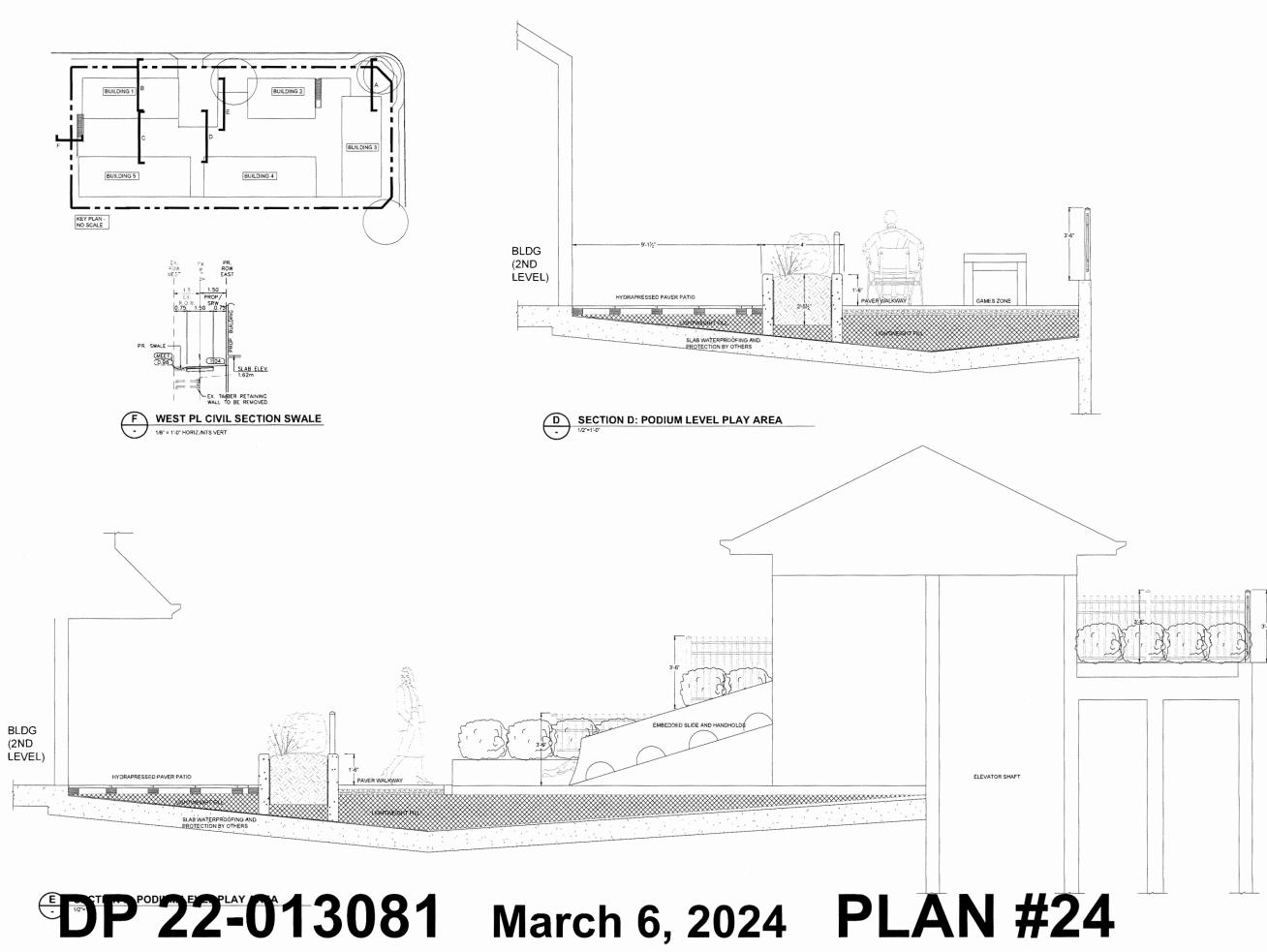
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SEAL

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SEAL

	3.NOV 14 3.NOV 03	REVISE PER COMMENTS UPDATE PER COMMENTS	WZ
20 2	3. NOV 14	REVISE PER COMMENTS	wz
21	4.JAN.10	INCREASE PLANTING TO 20% LDT AREA	5.A
22 2	4 JAN.16	ISSUE FOR OP	CLG
23 2	3.JAN.36	REVISED ENTRY	ĊW
24	24.FEB.02	ISSUED FOR TENDER REVIEW	CW
25	24.FEB.20	UPDATE GAS METER SCREENING	CLG

CLIENT



SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT

8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:

LANDSCAPE SECTIONS

DATE:
SCALE:
DRAWN:
DESIGN:
CHK'D:

20.05.04 DRAWING NUMBER



21176-24.ZIP PMG PROJECT NUMBER:

PART ONE - GENERAL	PART TWO - PRODUCTS	
PARI ONE - GENERAL	21 GROWING MEDIUM	PART THREE - EXECUTION (cont)
1 The Structural Sol specification is provided as an instrument of service and remains the property of PMG landscape Architects. The information provided in this specification	1 TABLE ONE	 PLACEMENT Subgrade shall be approved by the Consultant prior to placement of the structural sol micture.
is for exclusive use by our client for the specific project noted. This information contained in this document may not be reproduced or distributed, in whole or in part, without the promission of PMG landscape Architects.	 Provide all graving medium request to complete the work Comply with the requestents of Table 1, below Organize material in the growing medium must be well decomposed to prevent oxygen consumption caused as a result of decomposition of the organic matter in the soil 	 Subgrade shall be approved by the closultant prior to platement of the structural sea mettine. Structural sea shall be most, but not saturated with water when placed. Platement shall be handled to avoid damage to dramage structures, irrigation equipment, concrete structura or pavened.
12 SCOPE OF WORK	metore TABLE ONE	3. Place Stone moture in 300mm lifts through enline area of structural soil muture
1 The work of this section shall govern the supply of all equipment, materials and labour necessary for the preparing and placing and compacting Structural. Soli Mix on a propared sub-grade	PROPERTIES GROWING MEDIUM FOR GAP-GRADED MIXTURE	.4 Compact each lift of structural soil material with vibrating drum roller to the satisfaction of the civil engineer
2. It is the intent that the structural soil mixture will provide the necessary load bearing characteristics for light load hard surface paying areas while allowing and promoting	1EXTURE Particle size classes by the Canadian System of Sol Classification	5 Provide Geotechnical Report to confirm compaction. Test to ensure uniform, acceptable compaction rates have been achieved for each lift and in all areas of structural soil
the development of tree roots. The long term goals the promotion of healthy, long lived trees while reducing the potential negative implications of large scale root development under hard surface areas	Gravel: graler than Zom - Less than Tomm 0	mixture Refer to Quality Assurance, section 1.5
3. Refer to drawings for location and dimension of structural soil mixture	Sand: grader than 0.000 m. Issis than 2m. maximum 60%. Sitt-grader than 0.000 m. Issis than 2.000 m. maximum 35%.	6 Provide a uniformity firm and level surface allowing for specified depths of road base and / or growing medium to meet finished design grade
4. All other related work as described in the drawings and/or this specification	Sair greater rina o voz na – ress inan o uz ma Clay- less than 0.022 na – maximum 15%	7 Installation of structural soil in the location of the tree is not recommended. Various techniques such as reinforced wood boxes, steel boxes, large diameter PVC pipe, etc
13 RELATED WORK	Clay and Sill Combined maximum 40%	have been employed to allow for sand to be installed at the tree location with the compacted structural soil surrounding the hole. At the time of tree installation, the sand is removed and growing medium (as per Section 2 I) added to surround the root ball.
1 – Section D2100, Landscape Requirements 2 – Section 02710, Landscape Drainage	ACOTY (Ph) 60 - 70	38 INSTALLATION OF FILTER FABRIC
3 Section 02810, Irrigalian System 4 Section 02933, Sodding (Seeding)	DRANACE Minimum saturated hydraulic conductionly (cn/hr) in place 30	.1 After approval of structural soil mixture compaction, install Filter Fabric
5 Section 02986, Planting Trees, Shrubs, and Groundcover	SALINI'Y Saturalind exitract conductivity shall nat exceed 30 mitimizer'im ai 75°C ORGANG CONTENT Percent of Dry Weight 102 8% - 12%	2 - Ensure munimum 60cm overlap of all fabric seams and beyond edge of structural soil
14 RELATED MASTER MUNICIPAL SPECIFICATIONS		39 GRANULAR BASE MATERIAL
1 Contractor to report all conflicts with civil engineering to Landscape Architect 2 Section 02210, Site Grading	2.2 AGGREGATE 1. Clean inert stone of high angularity is preferred over washed gravel	1 Place mnimum 75 mm granular base on top of filter fabric over structural soli layer
3 - Section 02223, Excavaling, Trenching, and Backfilling A - Section 02226, Aggregates and Granular Materialis	2 Stone dimension aspect ratio should approach 111 with a maximum of 211 length, width depth	2 Compact granular base to 95% Modified Proctor Density Compaction must be consistent with other surrounding granular base materials
5 – Sertion D2666, Waterworks 6 – Sertion D271, Storm Sewers	3 Single size stone, 75mm clear sieve designation. Blasted Quarry Rock	3 All areas shall be graded too the contours and elevations indicated on the contract drawings. Ensure positive drawage
7 Serhon 02775, Manhules and Catch Basins	4. Aggregate to be used for structural soil shall be free of any foreign elements or material Provide samples and test reports as described in section 1.5 and 1.8	3 to PROTECTION
15 STANDARDS	5 Aggregate quality. Material shall be sound hard, durable, free from soft, thin, elongated or taminated particles, organic material, clay lumps or material, or other substances	1 Protect existing conditions from damage or stammg and make good any damage
1 BCSLA/BCLNA Landscape Standard (most current edition)	that would act in a deletenous manner or use intended	2 All damage will be repared at the expense of the installation contractor
2 Canadran System of Soil Classification	23 SDL STABILIZER	311 TREE PLANING
16 QUALITY ASSURANCE	1. A non-toxi organic binder Producti: Stabilizer, The Original Natural Binder, as available from Veratec, Aldergrove, BC. 604-607-3802. 10r approved equal	1. Remove structural soil or other backfill material (sand, see comments in section 3.7.7) from the full dimensions of the free grate area (1.2m x 1.2m x depth of root ball)
 Att structural soil material used in street tree planting shall be from a source approved by the Consultant and all smiar materials supplied to the sile shall be of similar nature and from a ungle source. It days prior to supplying any material to the sile, inform the Consultant of proposed source and provide a copy of an analysis underfaken by a 	2 4. GRANULAR BASE	2 Re compact all material below root ball to original specified density to prevent setting of the root ball in the hole
neure and row is wright source in copy process suppring any material to the site, micro interconsultant or proposed source and provide a copy of an analysis undercated by a recognized asling agency approved by the owner, at the Contractor's expense and indicating the particle size characteristics of the proposed material in written form as lad out in 2 T16 this section	1 To Master Municipal Specification 02226, Aggregates and Granular Materials	3. Ensure free is planted in the exact centre of the specified planting station straight and true
in e it as into section. 2 All nutritive admitures to structural soil material supplied to the site shall be from a source approved by the Consoltant and all similar nutritive admitures supplied to the	25 PAVING MATERIALS	4 Install tree in accordance with BCSLA Landscape Standard. Cut away synthetic root ball twine, cut back improperly sized wire baskets, pull back burlap from around trunk
a here in the second se	1. Refer to architectural drawings	etc.
anerps source ranning ar recognized resing agency approved by ine owner. The resire part shall quantify and quality the following characteristics or me proposed mutritive admitutive 21. Gravel, sand and fines content each as a X of dry weight inneral.	26 FULTER FABRIC	5 Backfill with Growing Medium as per Section 2.1 Ensure the same proving medium used in the structural soil mix is installed as backfill material
2.2. Organic material content as a percentage of dry weight 2.3. Acidity (pH)	1 Non Woven fitter fabric shall be installed as a separation layer directly above the compacted structural soil mixture. Do not install fabric until adequate compaction of the	6 Place Stomm depth composted fir/hem back mulch over the top of the open tree pit area
2.5 Actuary sprin 2.4 Salinity on milimbus/cm at 25 degrees C 2.5 Basic fertility Hotal nitrogen available K, Ca, Mg, P.)	structural soil mixture has been confirmed 2 - Filter fabric shall be selected and designed to withstand wear and tear-during construction	3 12 TREE GRATES
2.6 Recommendation for incorporation of necessary amendments	2 The Product Strength and the sequence of which and wear and teal during (unstruction) without deterioration of its strength and filtering properties. Conform to the following ASTM designations: - Grab Tensile Strength ASTM-0-4632, 408 AH	 Site Furniture and to contract drawings for free grates, frames and footings
3 Provide and pay for all required testing of materials proposed for use on this project. At the Consultant's discretion, all materials may be re-tested. Contractor will be responsible for costs of re-testing if materials do not meet specification and for correction of the deficiency.	- Green Ferning - And Antonio Carlow Kin - Tensite Elangation ASTM-D-4632 50% - Static GB Puncture test ASTM D-6241	3 13 ACCEPTANCÉ
4 Cost of imported materials shall include cost of modifications from source to ensure that these materials meet specifications	- Flow Rate ASTN-0-4491 610 U/mn/m ²	1 Consultant shall inspect structural soli "in place" and determine acceptance of material, and finish grading prior to paving
5 Acceptance of material at source does not preclude future rejection if material fails to conform to requirements specified.	3 Fabric shall be Amoco 4545 or approved equivalent	2 Finish grade shall be to within 15mm of proposed grades within 3.6m of any adjacent fixed elevation and to within 15mm of proposed grades over any other 3.8 length. Enish grades shall not be uniformly high or low.
6 Confirm compaction of subgrade and structural soil by Geotechnical Reports from qualified Geotechnical Engineer		
7 Aggregate Test		3 IG SURPLUS MATERIAL 1 Remove all excess fill solls and mix stack piess and dispose of all waste materials, trash and debris from the site
.71 Provide source and sieve designation of intended aggregate material prior to ordering 72 At the Landscape Architect's discretion, materials may be retested. Contractor is responsible for costs of testing if sample does meet specification and for cerrection of	PART THREE - EXECUTION	2 Clean up any soil or drt spilled on any paved surface at the end of each working day
any deficiency 7.3 Submit 25kk sample of stone to Landscape Architect prior to mixing. Sample should be labelled to include source of material submitted	31 SUBGRADE 1 Excavate sub grade to establish free pit / trench as indicated on contract drawings. Place the structural sol under the paying adjacent to the planning pits, NOT in the	3 Upon completion of the structural soft mixture installation. Leave area broom-clean. Avoid washing the area until all of the paving has been completed
8 Structural Soil Mix Design	planing pits themselves. 2 Areas designated as structural soil tree pits for street tree planting shall be prepared to ninety-five percent (95%) Modified Practar Density and shall be free of stones,	
81 Prepare sample of structural soil mix with proposed mix raisos for approval by Landscape Architect a minimum of 14 days prior to placement. Notify Landscape Architect minimum 2 days prior to mixing samples.	debris, root branches, toxic materials, building materials and other deleterous materials to the approval of the civil engineer.	
8.2 Landscape Architects may request additional samples of Structural Soil mixture to be tested in the event that further refinement of the mixture is necessary	3.2 PREPARATION OF EXISTING GRADE 1 Verify that igrades are correct. If discrepancies occur, notify Consultant and do not commence work unfil directed	
17 SCHEDULWG	 Pering inter genetic are control in uniterpendies action, wenny consistent wind out not commence work wind on exceed Eccavate internet to Master Municipal Specification Section B2223, Trenching, Eccavatien and Conpaction allowing for design depth and width of structural sail mix 	
 Obtain approval from Consultant of schedule 14 days in advance of structural soil preparation or delivery of material to site. Co-ordination of the structural soil micture is critical. Ensure scheduling has been co-ordinated with all consultants and related contractors. 	2.1 Refer to contract drawings for areas to be treated and to details for dimensions 2.2 Compact to 95% Modified Proctor Density	
2 Schedule to include,	23 Subgrade elevations shall slope parallel to the finished grades and/or toward the subsurface drain lines as indicated on the civil engineering drawings	
21 date for commencement of preparation of structural soil at source 22 sub grade preparation at site	4. Do not proceed with the installation of the structural soil material with all walls, curbs, and withly work in the area has been installed. Structural elements or design features that are dependent on the structural elements or design.	
23 shipping dates 24 arrivat dates on site 25 installation dates	5 Re-compact disturbed subgrade to requirements of master municipal specifications and civil engineering drawings	
 instaution pares Schedule work to co-ordinate with installation of any dramage, irrigation, tree grate footings, lighting, paving etc. 		4
 Schedde war in com unite with installation of any oranizer, in ignition, it ends in a non-indigin, igniting, parting etc. Complete work to ensure Tree planting will occur under optimum conditions 	33 SUB DRAINS 1 install to requirements of Master Municipal Specifications Refer to Section 02666, Waterworks, Section 02721, Storm Sewers, and Section 02725, Manholes and Catch Basins	
5 Do not handle er place structural soll mix in rain	 In the receive control in a set of the set	
	 Construiner and vinit and via analyze work with uncell adapted on site Confirm location of storm sever connections with civil engineer. 	
18 FELD REVEW		4
1. Start up meeting with Consultant is required to confirm the areas of installation and mixing. If not previously submitted, ensure growing nedium sample and test report, aggregate stone sample and structural soil sample and report are supplied all the Start-up Meeting.	34. IRRGATION 1. Install to requirements of Section 02810, Irrigation System Refer also to Irrigation Drawings	
2 Co-ordinate site meeting with Consultant at the following times	i install to requestments of Section (2000, Irrigation System Releval as to frigation Drawings 111 Install urrigation mum lines in co-ordination with installation of the structural sol. Confirm liming at start-up meeting 12 (Sc-ordinate all Confirm Frigation warms with other civil engineering and deriviliage on wite	
21 dranage nstallation and connection 22 mrgation isstallation	12. Co-ordinate all contract inrigation wark with other civil engineering and dramage on-site 13. Confirm location of irrigation connections with civil engineer	
23 moxing of structural soit mixture 24. Installation of Structural soit mixture	35 MIXING STRUKTURAL SOIL MATERIAL	
2.5 sub grade preparation and tayout 2.6 installation of trees	Ensure consistent even distribution of all components by thorough mixing. The ratio of components will vary and may require adjustment to ensure the soil volume is	
3 Where materials are installed in phases, it is the contractors responsibility to inform the Consultant of critical installation times for each phase as noted in Section 182	adequate to fill all voids in the stone.	
19 SAMPLES	2 Base Ratio of Materials - 4 cumetre of aggregate steme section 2.2 135 cumetre of aggregate atom section 2.1	
1. Prowde 2 kg samples of all materials required for the preparation of structural soil minimum 14 days prior to commencement of installation. Samples of all material shall be	- 125 cuinetre al Graving Medium section 2.1 - 2 kg Stabiliser section 2.3 - Matter section 2.3	
submitted with test report from approved testing agency as per section 132, and 133	 Water as required The amount of water required will vary according to moisture present in growing medium 	
1 N PRODUCT HANDLING	3 Contine the store, growing medium and Stabilizer product into a thorough, homogeneous mixture. Moisten muture with fine spray of clean potable water while mixing to activate Stabilizer and did.	
.1 All materials used in the composition of structural soil shall not be prepared, worked or traveled upon when in a wet or frozen condition	atmate snaketer produtt	1
 Supply and handle dolomite lime, fertilizer, stabilizer and other chemical amendments in standard, sealed, waterproof containers with net weight and product analysis clearly marked on exterior of package 	35 MXXNG 1 Do not OVER MIX, DVER HANDLING can result in separation of the growing medium from the stone. Further and final mixing will occur during the placement of the material	
	2 All numer shall be performed on a flat hard, level surface approved by the consultant, using the appropriate soil music equipment	
	· · · · · · · · · · · · · · · · · · ·	1
111 DELIVERY, STORAGE AND PROTECTION	3 Prepare sample Structural Soil Mixes to determine ratio of mix components. Submit sample with test results for approval.	
1.11 DELIVERY, STORAGE AND PROTECTION 1. For structural soil prepared af source and delivered to site, deliver all materials to site in such a manner as to prevent damage to or separation of all materials used in the preparation of structural soil	3 Prepare sample Structural Sol Mixes to determine ratio of mix components. Submit sample with test results for approval.	
.1 For structural soil prepared af source and delivered to site, deliver all materials to site in such a manner as to prevent damage to or separation of all materials used in the	3 Prepare sample Structural Soit Mixes to determine ratio of mix components. Submit sample with test results for approval.	
 For structural soil prepared at source and delivered to site, deliver all materials to site in such a manner as to prevent damage to or separation of all materials used in the preparation of structural soil On-site storage of prepared structurals ool shall be undertaken in such a manner as to prevent damage or separation of any materials Structural soils to be installed as soon as practicable after mixing any structural soits stored overnight whether on-site or at source shall be covered with targaulin of 		
 For structural soil prepared at source and delivered to site, deliver all materials to site in such a manner as to prevent damage to or separation of all materials used in the preparation of structural soil On-site storage of prepared structural soil shall be undertaken in such a manner as to prevent damage or separation of any materials Structural solars to be installed as soon as practicable after mixing any structural solars proven downohit whether on-site or at source shall be covered with targaulin of 		
 For structural soil prepared at source and delivered to site, deliver all materials to site in such a manner as to prevent damage to or separation of all materials used in the preparation of structural soil On-site storage of prepared structural soil shall be undertaken in such a manner as to prevent damage or separation of any materials Structural solars to be installed as soon as practicable after mixing any structural solars proven downohit whether on-site or at source shall be covered with targaulin of 	³ Prepare sample Structural Sol Mixes to determine ratio of mix components. Submit sample with test results for approval.	ΡΙ ΔΝ #25

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SEAL:

25	74 FEB 20	UPDATE GAS METER SCREENING	CLG.
24	24.FEB.02	ISSUED FOR TENDER REVIEW	CW
23	24.JAN.26	REVISED ENTRY	CW
22	24.JAN.16	ISSUE FOR DP	CLG
21	24.1AN.10	INCREASE PLANTING TO 20% LOT AREA	S/A
20	23.NOV 14	REVISE PER COMMENTS	WZ
19	23.NOV.03	UPDATE PER COMMENTS	CLG
NO	DATE	REVISION DESCRIPTION	DR

CLIENT

PROJECT:

SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT

8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:

STRUCTURAL SOIL SPECIFICATIONS

DATE: 20.05.04 SCALE: AS SHOWN DRAWN: MC DESIGN: CHK'D: PC

DRAWING NUMBER:

L12

21176-24.ZIP PMG PROJECT NUMBER:

21-176

OF 13

PART ONE GENERAL REQUIREMENTS	PART THREE SOFT LANDSCAPE DEVELOPMENT	PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT	PART THREE SOFT LANDSCAPE DEVELOPMENT
11 REFERENCES	31 RCTENTION OF EXISTING TREES 1 Phor tra any work on site - protect individual trees or plant groupings indicated as relianted on landscape plans as vegetal on relention areas. 11 In some existences the candicape Architect will also trees or areas to remain. Discuss free meterican areas at a start-up meeting with the Landscape Architect	8 Application Rate 8 1 Seed Matture 35 kpp/ha 1125 lbs:/acrel	.18.4. For all plant material, the Landscape Architect reserves the right to evient and growth is not sufficient to ensure future satisfactory growth.
Comply with all articles in the General Conditions of Contract in conjunction with this section wiless supersected by other Contract Documents 2. Canadian Landscape Strandard, tateset edition, prepared by the Canadian Saniety of Landscape Architects and the Canadian Landscape & Nersery Association, junity. All work	2 A physical barrier must be installed to delineate clearing boundaries. Refer to physical barrier detail. If defail not provided, comply with local nuncipal requirements	8.2. Fertilizer: 112 lagrona 1040 loc/arrel 8.3. Casula Widdhowr Ma: Where specified, apply (3) tos/acrel 10/4 (0:: 110; of grass seeed) 8.4. Notes:	185 Where the Quere is responsible for plant maintenance and has not provided The Landscape Architect shall determine whether maintenance has been saisfacto maintenance standard is a minimum of Level There - Medium. Refer to Section 3.11,
and materials shall meet standards as set out in the Canadan Ladscape Standard unless superseded by this specification or as directed by Landscape Architect with written instruction	3. No machine travel through or within vegetation releation areas or under crawis of trees to be retained is allowed.	8.4.1. At the time of Fonder provide a complete shart of all components of the new proposed including mulch, task-leer, water etc. Sloped sites require task-leer. 8.4.2. Fertilizee: 8.4.2. Revold press (f a sea analysis is available, comply with results.	18.6 The Landscape Contractor is responsible to replace any plant material or rep the Certificate of Completion U8.7 Devailable from the specifications may require extension of the Warranty Per U8.7 Devailable from the specifications may require extension of the Warranty Per
3 MASTER MUNCEPAL SPECIFICATIONS & STANDARD DETACS, 2000 edition, propared by the Consulting Engineers of British Columbia, Roadbuilders and Heavy Construction Association, and the Municipal Engineers Division	4. De not storkpile soll, construction materials, or excavated materials within vegetation retention areas	84.2.2 Lawn Where hydroseeding is approved, camply with usi analysis recommendations	1.0 J Deviated from the specifications may require excession of the warrance per 3 to INSTALLING CANDSCAPE ON STRUCTURES
4 STANDARD FOR LANDSCAPE (RRIGATION SYSTEM, 2008 Prepared by the Irrigation Industry Association of British Calumbia	5. Da not park, fuyl or service enticles within vegetation retention areas 6. No debris fires, clearing fires or trash buring shall be permitted within vegetation retention areas	9 Actuately measure the quantities of each of the materials to be charged into the rank either by mass or by a commonly accepted system of mass-calibrated volume measurements. The materials shall be added to the task which all is being filled with water, is the following sequence, used, test faces. Therewayily nix into a homogeneous slurty.	In this include carbocare on since runes Verify that dramage and protection material is completely installed and accept
S MUNICIPAL BYLAWS AND ENGINEERING SPECIFIC ATIONS WHERE NOTED	7 No extavations, drain or service Trenches nor any other disruption shall be permitted within vegetation retention areas without a review of the proposed encruachment by	After tharging, add on water or other material to the excurs. Do not leave skierry in the task for more toon four KJ hours. M. Distribute skierry-uniformly over the surface of the area to be hydroskeeded. Blend application mit previous applications and existing grass areas to form uniform surfaces.	2 Coordinate work with construction of planters and planter drainage 21. Verify that planter drains are in place and positive drainage to roof drains is
12 TESTING 1. A current final nore than one monthitest for all growing medium to be used on this site is required. Provide and pay for festing by an independent festing facility	The Landscape Architect B. Do not cut branches or roots of reflamed trees without the approval of the Landscape Architect	11 Clean up. Renove all materials and other debris resulting from seeding operations from the job sile	3 Provide clean out at all through-slab drain locations. Use 300mm min dia PVC
pre-approved by the Landscape Architect. Deliver growing medium test results to Landscape Architect for review and approval prior to placement. Refer to Section 31. Growing Nedium Testing for procedure	9 Any damage to existing vegetation intended for preservation will be subject to evaluation by as iSA. Certified Arborist using the "Guide for Plant Appraise", Eighth Edvion,	12 Muintenance Begin maintenance inmediately after seeding and continue for 60 days after Substantial Completion and unfit accepted by the Owner. Re-seed at three week intervals where germisstom has failed. Protect seeded areas from damage with lemparary were or twee fences complete with signage until grass area is taken over by the	L Install draw rock evenly to a minimum depth of L° (100mm)or alternate sheet dr
2 Owner reserves the right to test or ce-test materials. Contractor cesponsible to pay for testing if materials do not meet specification	1972 epigacement planting of equivalent value to the disturbance will be required. The cost of the evaluation and of the replacement planting will be the responsibility of the General Contextor and of the responsibility of the General Contextor and of the responsibility of the disturbance.	Owner: Water in sufficient quantities to ensure deep penetration and at frequent intervals to maintain ingorous growth until grass is taken over by the Owner: It is the Owner's responsibility to supply water at in extra cash to the Contract	 Cover draw rock for alternate sheet draw if specified on drawing detailst with placing growing medium
13 SUBHITALS 1. Any alternate products differing from that contained in the contract documents must be pre-approved by the Landsrape Architect	10 In municipalities with specific tree retenion/replatement bylaws ensure compliance to bylaws	.13 Arceptance of the Rough Grass Areas. Proper germothon of all specified grass species is the responsibility of the Landscape Contractor. The grass shall be reasonably well established, with no apparent dead or bare spots and shall be reasonably free of weeds the Canadian Landscape Standard. Section 13 Handmance Level 1. (Diper space)	6 Place an even layer of 25 - 50nm clean washed pump sand over filler fabric.
2 Submittalis to consist of product sample or manufacturer's product description	III In situations where required construction may disturb existing vegetation intended for preservation, contact Landscape Architect for review prior to commencing construction.	Sixly days after substantial completion, areas meeting the conditions above will be taken over by the Dunier. Areas seeded in Fall will be accepted in Spring one nonth after start of growing season, provided that the above conditions for acceptance are fulfilled.	 Place growing medium to depths specified in Section 35 above for various surfation a Use Styrafoam block over drain rock shaped to provide smooth surface transition a migrating downward.
E4: STE REVEW 1: Under the Lams of the Landscape Architect's Contract with the Owner and where the Landscape Architect is the designated reviewer, the Landscape Architect will observe	32 GRADES 1 Enture subgrate is presared to conform to depths specified in Section 35. Graving Medium Supply, below. Where planting is indicated clase to existing trees, prepare	38 LAWN AREAS - SODDING	mgraing downward 311 ESTABLISHMENT MAINTENANCE (Provide a separate price for this section)
construction as it necessary in their opinion to confirm conformance to the plans and specifications. Contact Owners Representative to arrange for site observation all the appropriate times. Allow two days notice. Observation schedule may include boil will not be finited to the following	sultable planting pockets for material indicated on the planting plan. Shape subgrade to eliminate free standing water and conform to the site grading and orianage plan	1 General. Treat all areas defined as lawn areas on the landscape plan between all property loes of the project including all boulevards to edge of roads and lands	3 In E31 HBLARMER'S HARVERHALE WEARING BESTALE PICE FOR THIS SECTION. 1 Intent. The intent of "establishment" maintenance is to provide sufficient care the long term success of the planting. The objective is the adaptation of plants to the long term success of the planting. The objective is the adaptation of plants to the long term success of the planting. The objective is the adaptation of plants to the long term success of the planting. The objective is the adaptation of planting the success of the planting term success of the planting. The objective is the adaptation of planting term success the planting term success of the planting. The objective is the adaptation of planting term success the planting term success of the planting term success of the planting term success term success term success term success term success term success term succ
11 Start Up Site Petering, General Confract. Prior to any site disturbance, a meeting with the general contractor to review tree prevervation issues, general landscape issues and municipal requirements 12 Start Up Site Neeling, Landscape Contract & Gropparate). At the start of vork with Ovien's Representative, Site Superintendent and Landscape Exotractor, a meeting is to 13 Start Up Site Neeling. Landscape Contract & Gropparate). At the start of vork with Ovien's Representative, Site Superintendent and Landscape Exotractor, a meeting is to	2 On slopes w excess of 31 trench subgrade across slope to 150mm (61) nomum at 15m (5 ft) intervals momum	2 Groung Median. Lanpity with Section 2.2.1, Growing Median. Prior to solding, request an inspection of the firished grade, and depth and condition of growing redium by the Landscape Architect.	failure and unnecessary work associated with improper establishment (stabilishme failure and unnecessary work associated with improper establishment (stabilishme furfprass areas and new trees and shrutus
be held to review expected work and to venify the acceptibility of the subgrade and general site conditions to the Landscape Contractor. Provide growing medium test results for this meeting.	3 Starly the eners subgrade one-callely point to graced growing making. Re-call rule where velocidar tradic results in compaction during the construction procedures. Ensure that all planting areas are smoothy contoured after light compaction to finished grades.	3 Time al Sodding Sod fram April Ist to October 1st. Further extensions may be ablanced on concurrence of the Landscape Architect	.2 Mantenance Period - Provide mantenance of installed landscaping for 12 month
13 Progress Site Values To observe materials and warmapsologias necessary through the caucie of the wark. Reveward: different appects of the wark may be deall with an any single work. Such elements may include Site Layoul, Revelop Grading, Groups Medium - youlity, depths, finiting grading, Drainage and Demange Materials, Laws or Grass weess. Printing - within material including negotiations with sources, nurvers programs, planter, and with, quantity, stanting practice and layout, the support. Multity, prayinin and and applications with sources constraints and and applications and sources constraints and applications and sources.	4. Elimitate standing water from all finished grades. Provide a smooth, firm and even surface and conform to grades shown on the Landscape Drawings. Do not exceed maximum and minimum gradients defined by the Canadian Landscape Standard.	 See Supply: Conform to all conditions of Canadam Landscape Standard, Section 8, BC. Standard for Turfgrass Sod Specified Turfgrass by area. Refer to Table 2 below. 	3 Related Standards and Legislation. Canadian Landscape Standard, latest editio
Systems, Play Edupment, Site Formfure, and other elements of the site development where the Landscape Architect is the designated reviewer such as Pedestrian Pavoig, Fencing, Non-structural walls and stabs, Unit Paving	S Construct swales true to two and grade, smooth and free of sags or high points. Minimun slope ZX, maximum side slopes IXX. Assure positive dramage to collection points	TABLE 2 SPECIFIED TURFGRASS BY AREA	L Site Review. In addition to the inspections at substantial completion, at final previews during the 12 months attended by the Contractor and a designated represendance designated representative
14 Substantial Performance Review of all work, accounting of all substitutions, deteloins, plant counts, preparations of deficiency list, and recommendations for completion 15. Certificate of Completions Upon the declaration of Substantial Performance, a recommendation for the second of the Certificate of Completion with be made to the Payment Certificate as defined in the content on the Substantial Performance, a recommendation for the second of the Certificate of Completion with be made to the Payment	6 Slope not to exceed the following nairmuns: Rough Grass 31, Lawn 4 L Landscape plantings 21 7 Finished solfmulch Herzelan at building to concile with municipal reduirements	Area Description Quality Grade Mayor Species CLASS 1 Lawn, all areas noted on drawings as lawn nurban No 1Prenium Kentucky Blue for sun, Fescues for shade	5 Scheduling Prepare a schedule of anticipated visits and submit to designated in
16 Defenency Review Prior to the completion of the holdback period, check for completion of delicencies. Doce completed, a Schedule 'C' will be issed where required 17 Warranty Review Prior to the completion of the warranty period 1-7-11 months after issuance of the Centrificate of Completion), review all varranty material and report	 rimiting sourmutin relevation of downing to compare with monotopic requirements Inform Landscape Architect of completion of finish grade prior to placement of seed, sod, plants or mulch 	development inter-including bulever digrass (LASS 2 Grass - public parks, industrial and estificitional inters No. 2 Standard Same (LASS 3 Branch Grass See Standard Same	the growing season between March 1s1 and November 30th, however visits all other 6 Mantenance Level. Conply with B.C. Landscape Standard, Section 14, Table 14.2
recommendations for warvery replacement	33 LANDSCAPE DRANAGE 1. Retailed Wark. Growing medium and Frieh Grading, Grass areas, Trees Smids and Graundzovers, Planters, Crò Walls	CLASS 3 Rough Grass see hydroseeding SPECIAL	7 Haterials. Comply with Part Two of this specification
I. Unless atherwise instructed in the Contract Document's, the preparation of the subgrade shall be the responsibility of the General Contractor. Placement of growing medium constructed as acceptance of the subgrade by the Landscape Contractor. Any subsequent corrections to this subgrade reported are the responsibility of the Landscape Contractor.	 New kiral waw. Undweng medium and rivan urtaning, urtaks areas, incess and urbanditowers, incluments, urba waits Work instuded. Site functs grading and surface drainage. Installation of any drainage systems defailed on landscape plans. Net (astro-basins shown on landscape plans for 	6 Line The line shall be as defined in Section 2.2.3. Materials. Apply at rates recommended in required soil test. Refer to Section 3.4 for method	71 Fertilizers. To the requirements of the Lanadian Landscape Standard. Formul. 8 Plant Material Establishment
2 All work and superintendence shall be performed by personnel skilled in landscape contracting. In addition, all personnel applying herbicides and/or pesticides shall hald a	coordinal ion only, confirm scope of work prior to bid 21. Coordinate all Bandscape doamage work with rest of site dramage. Refer to enconcerning drawnes and specifications for connections and other dramage work	 Fertilizer: Refer to Section 2.2.2 Materials. Apply specified tertilizer at rates shown in the required soil test. Apply with a nechanical spreader. Cultivate into growing medium 48 hours prior to sodding. Apply separately from time. 	B1 Watering During the first growing season, water new plants at least every t and September 15th. Miximum 25 gallons per tree per application. During the secon
turrent litense issued by the appropriate automities. 3 A sile visil is required to become familiar with site conditions before bidding and before start of work.	22 Determine exect location of all existing utilities and structures and underground utilities prior to commoning with, which may not be located on drawings and conduct work can to prevent interruption of servers or dispage to them. Protect insuring structures and utility services and be responsible for damage caused 23 Planter means on size. Reserver 5 Service 39, description of structures and the responsible for damage caused	8 Soding Propare a smooth, few, even surface for laying cod. Lay cod staggered with sections closely but led, without overlapping or gaps, smooth and even with adjoining arras, and mit tightly. Water to adpain most use poertration of 3° to 4° 10°. Newl. Comply with reportenents of Canadoan Landscape Scandard Section 8, 85 Standard for	and once between August Ist and September 31s1. Apply water at a rate and durat medium. Apply water again when the water content reaches 25% of field capacity or has not been completely installed. Scheduled applications of water shall be mus-
4 Confirm location of all services before proceeding with any work	3 Execution 31 De trenching and basisfilling in accordance with engineering defauls and specifications.	Turfgrass Sod	8.2 Mulch. Hantain nuclehes in the original areas and to the original depths. 8.3 Weed Control: Remove all weeds from all areas at least once per month durin.
5 Notify Landscape Architect of any discrepancies. Obtain approval from Landscape Architect prior to deviating from the plans	32 Lay draws on prepared bed, true to line and grade with inverts smooth and free of sags or high points. Ensure barrel of each poe is in contact with bod throughout full length	9 Hantemate: Begin maintenance-inhedulary after stadiong and continue for 10 days after Substantial Completions and unit accepted by the Quere Protect stadees areas from damage with temperatry were or how feetess complete with sugged unit Liven is taken over by the Quere Visitarie to data an outcare performance of 15 is C ⁺ (-). Note at inferration executive from the advectory taken temperature of Deliveren 1777 United 275 Sml Proteine deliverent execution and 255 Sml Protection and sectore areas against change	necessary, by the use of metorodes 84. Pest and Disease Control. Inspect all planted areas for pests and diseases p person Carey and revainent for pests or diseases promptly and consistently for m
6 Take appropriate neasures to avoid ensironmental damage. Do not dump any waste naterials into water bodies. Conform with all federal, provincial and local statutes and guidelines.	33 Connexte laying pape al outliet and proceed in upstream direction 34. Lay perforated papes with perforations at Byth and Gyn passions 35. Mike upsis I gain a reactions with Bundfardure's directions	mervas necessary in nanonan sononem gravam neep grass cur ar magni no verseen in rz. Ekin anic cistan, ir vone auceace proesinan ni sonor die agensi savage until het ruch as ben takawar by Owner. Ropar any danaged areas, re-grade as necessary. Aeratan nay to required in the Landscape Architett's opnion, dramage through the sud base nedum is inpared	85 Tree Support: Maintain stakes, guy wires and ties one full growing season. O bark: Loosen, repair or replace ties as necessary. Remove all stakes guy wires and
7 Callect and dispose of all debris and/or extensi material from landscape operations. Keep paved surfaces clean and repair damage resulting from landscape work. Repairs are to be completed prior to final acceptance.	3.6 Do nel allow water to flow through the poes during construction except as upproved by Engineer 3.7 Make waterlight connections to existing drains, new or existing monoles or catchoasis where indicated or as directed by Landscape Architect	10 Acceptance of Lawn Areas. The furl shull be reasonably well established, with no apparent dead spots or bare spots and shall be reasonably free of weeds the Canadaan Landscape Standard, Section 31 Hamlemmer Level 7 Maperancel. Use herbolies if necessary for weeds removal unless other conditions of contract forbid their use. After the	the opmion of the Landscape Architect. All flagging of guy wires shall be visible an 86. Prunng, inspect all trees and strudis at least every two months during the of the plant. Carry out clipping estabanis only if required in the maintenance contr
8 Where new work connects with existing, and where existing work is attered, make good to match existing undisturbed condition	38 Plug vortream hans of pipe with watertraph (case not caps. 39 Surround and cover pipe with drain rokin, muniform Solma layers to various depths as shown in details, minimum 100m 310 Caseva drain roki with nas-went Mitre (tolling all delogs and seans minimum 150m.	Lewayaye a amonto, accuse to remember every hyperbases was networked and every accused and emotion on contract republicer use. Area are lawn has been cut at least fuice, areas meeting the conditions above will be taken over by the Owner.	8.7 Fertilizing Brie during the twelve month period of establishment maintenance
15 WASRANIES	3.11 Assure positive dramage 312 Bank fill remander of trench as indicated	39 PLANTS AND PLANTING	9 Grass Areas Establishment 91 Watering Use hoses and spinklers, irrigation systems or other methods to a Uakers and Grassect such that the grass is maintained in a turgid condition. Supply
1. Guarantee all materials and workmanship for a minimum period of one full year fram the date of Certificate of Congletion 2. Refer to individual sections for specific vaeranties	313 Pratest subdrains from Floefellon during installation. 34 GROwing HCDUM TESTING	1 Canform to planking layout as shown in Lindscope Pisans	installiation at no expense to the owner. Apply water to prevent packing or erosion medium reaches field capacity to the full depth of the growing medium. Apply water
PART TWO SCOPE OF WORK	3. Submit representative sample of growing induit proposed for use on this project to an independent laboratory. Provide test results to Landscape Architect prior to planing. Test results to nuclobe 11. Physical properties, X content of gravet, said, stil, clay and organics.	2. Obtain approval of Landscape Architet i fair (ayout and properation of planning prior to commercement of planning operations 3. Nake edge of beds with storasth clean defined lines	9.2 Weed, have and Direase Control: inspect grass mass each line they are no nanual methods, or by the use of chemicals in complease with the 8 CSLA /8 CLN application of a suitable herbic/de if the weed population exceeds 10 Broadeal weed
	12 Actisity PH and quantities of time or sulptur required to bring within specified range 13 Nutrient Levels of procepte and trace elements and recommendations for required self amendments	4. Time of Planting 4.1. Plant trees, shrubs and groundcovers only during periods that are normal for such work as determined by locill weather conditions when seasonal conditions are liably to	the weed population to zero 93 Feethizzng According to soil analysis 94. Limmig According to soil analysis
1. Other candilians of Cantract may apply. Confirm Scope of Work at time of tender	14 Carbon/Nirrogen level 35 GROWING HEDUH SUPPLY AND PLACENENT	ensure successful adaptation of plants to their new location	95 Howing and Trimming - All areas. The first four cuts shall be a sharp rotary with a sharp reel or rotary nover when the grass reaches a height of 60nm. How to a sharp reel or rotary nover when the grass reaches a height of 60nm. How to
2. Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generality consists of the following.	 Supply all growing medium required for the performance of the Contract. Do not load, transport or spread growing medium when it is so wet that its structure is lakely to be damaged. 	5 Standards 51 All plater material shall conform to the requirements of the Canadian Landscape Standard, Vatest ophina, unless exceeded by drawing Platel Schedule or this specification 511. Refer to Quadam Landscape Standard, Section 3, Plants and Platining and in Section 12, BLMA Standard for Continner Grown Plants for minimum standards.	Remove all grass clippings after each cul 96. Aceration: Acration not required in the first growing season if necessary, in 1 depth of Nution. (1-1) and remove cores
21 Retention of Existing Trees where shown on trawings 22 Firith Grading and Laotstape Draimage	 Supply all growing medium administres as required by the soil test. Anended growing medium nust meet the specification for growing medium as defined in Table One for the various areas. 	512 Refer to Plant Schedule for specific plant and container sizes and comply with requirements. 52 Plant material obtained from areas with less severe climatic conditions shall be grown to withstand the site climate	9.7 Repairs' Re-grade, re-sed at re-sod when necessary to restore damaged or throughout the growing season. Re-sed between April 1st and April 15th or betwee
 Supply and pixeement of growing nedium Texing of imparted growing nedium Supply and neutroparties of additives to meet requirements of soil test and Table One 	21 Thoroughly mix requeed amendments into the full depth of the graving medium. 22 Special mixes may be required for various situations. Befer to drawing males for instructions	6 Review \$1. Review at the source of supply and/ar collection point does not prevent subsequent rejection of any or all planting stack at the site	newing
26 Preparation of planting beds, supply of plant material and planting 27 Preparation of rough grass areas, supply of materials and seeding	 Place the amended growing medium in all grass and planting areas. Spread growing medium in uniform layers not exceeding 6" (ISOne), over unfrozen subgrade free of standing water. 	7 Availability	
28 Proparation of laws brans, supply of materials and sodding 29 Supply and placement of a brans muldit 210 Nationament of planted out extend/soldied areas with accepted by Dunner	4. Minimum depths of growing medium placed and compacted to 80%. 11. Dngrade	21 Area at search includes the Lower Hanland and Fraser Valley. Refer to Plant Schedule for any extension of area. 25 Supply proof of the availability of the specified plant material within 30 days of the avail of the Contract	
211 SEPARATE PRICE Establishment Manishmere, Section 3.11. 212 Other work Work other than this list, not specified by Landscape Architect	4.11 Seeded and studed save: 4.12 Mass planted shrvas & groundovers	8 Substitution 81 Obtain written approval of the Landscape Artificies prior co-moking any substitutions to the specified material. Non-approved substitutions will be rejected 82. Alloys a minimo of S gave prior to delivery for request to substitute.	
22 MATERIALS	4.14 Tree & large shrub pits depth to conform to depth of rootball - width shall be at least twice the width of the root ball with saucer shaped sides	83 Substitutions are subject to Canadian Landscope Standard - definition of Conditions of Availability	
1 Growing Medium Conform to Canadian Landscape Standard for definitions of imported and on-site topsoil. Refer to Table One below TABLE DNE: PROVERTIES OF GROWING MEDIAM FOR LEVEL 2 GOLDMED AND LEVEL 3 MODERATE ARE AS	4.2 On-Siai 4.21 Irrigated Javen	9 Plant Species & Constant 91 - Plants shallbe intrue to name and of the height, calger and size of rost ball as shown so the tandscape/site plan plant schedule. Calger of trees is to be taken 6" (ISco) above or active above or active	
Canadan System of Sol Classification Textural Class: "Loany Sand" to "Sandy Loan" Applications Low Traffic Areas High Traffic Planning Areas	4.2.3 Lawn without automatic impation	92 Plant all specifies species in the location as struum on the landscape drawings. Natrly Landscape Architect if smillering rock or underground/overhead services are encountered 33 Generation of given planting location will only be alloved after review of the proposed deviation by the Landscape Architect.	
Trees and Large Strubs Lawn Areas and Platters Growing Medium Types 2L 2H 2P	4.25 Trees and specimens schudzy	10 Excavation	
Texture Percent Of Dry Weght of Tetal Growing Medium Cource Growei:	5 Nanually spread growing medium/planting sell around existing trees, shrubs and obstactes	W1. Trees and large struds: Excavate a sawter shaped tree pit to the depth of the rootball and to at least twice the width of the rootball. Assure that finished grade is at the original grade the tree was grown at	
Larger than 25mm 0 - 112 0 - 122 0 - 122	6 In permeter seeded grass areas, feather growing medium out to nothing at edges and blend into existing grades	11. Dramage of Planting Holes 111. Provide dramage of planting pils where required is no sloped conditions, break out the side of the planting pil to allow dramage down slope, and in flat conditions, mound	
iarger than 2km 0 - 2% 0 - 2% 0 - 3% Percent 01 Dry Weght of Growing Hexium Extuding Gravel	7 Finished grades shall conform to the elevations shown on Landscape and site plans 35 ROUGH GRASS AREA - SEEDING	to raise the rootball above impervious layer. Notify the Landscape Architect where the drawage of planting holes is limited 12 - Planting and Fertilizing Procedures	
Sand. Larger Iban 605nm 58 - 80X 78 - 96X 4.8 - 80X	1 General: Rough grass areas are noted on the drawings as "Rough Grass". Treat all areas defined as rough grass between all property lines of the project including all boulevards to edge of rough sing and sing tanks.	12.1 Plant all trees and shrubs with the roots placed in their natural growing position. If burlapped, lossen around the top of the ball and cut away or fold under. Do not pull burlap from under the ball. Carefully remove containers without nyiring the rootballs. After settled in place, cut twine. For wire baskets, rip and remove top three rows of	
sealart totar umn Sill: target han 4002nn 10 - 75% 0 - 15% 9 - 25%	2 Preparation of Surfaces : To Canoclan Landscape Standard Class 3 Aceas (Rough gross) Section 7.113 2.1 : Clean easting soil by mechanical means of dearies over \$50mm in any dimension.	wre Fillibe glawling bales by gently firming the grawing medium around the real system in &" (Sizm) Layers. Settle the sont with water - Add soit as required to meet finish grade. Leave no ar words. When 273 of the topsni has been placed, apply forthizer as recommended by the required soit last at the specified rates	
smäller i han öllömin Tilar	2.2 Roughly grade surfaces to allow for maintenance specified and for positive drainage	12.3 Where planking is indicated adjustril to existing trees, use special care to avoid disturbance of the root system or natural grades of such trees 12.4. Where trees are in town areas, provide a clean cut multimed 900mm 13 f1 i diameter circle centered on the tree	
Lity 0 55X 0 55X 0 25X sanitier than 0.022nm 0 75X 0 75X 0 75X Usg and Sail (undered maximum 35X maximum 35X maximum 35X maximum 35X	3 The of Second Second from early upring Igenerally April 1st1 to Late Fall (September 1Sth1 of each year. Further extensions may be obtained on consurrence of the Landscape Architect	 Staking at Trees Use tvg 2*42*55 stakes, unless superseded by municipal requirements. Set stakes momum 2 ft. in soit. Da nat drive stake through realizabil. 	
(Brganic Content (coast)) 3 - 10% 3 - 5% 10 - 20%	4 Seed Supply & Testing. All seed must be obtained from a recognized seed supplier and shall be the Tigrass mixture delivered in containers bearing the following information 4.1. Analysis of the seed muture.	13.2 Leave the tree carefully vertical 13.3 The with pre-approved commercial, flat waven polypropylene fabric belt, invitium width 19mm 13/471. Approved product: AnaorTie - available from DeepRoot	
Grganz Content Internet: 3 - 5X 3 - 5X 15 - 20X Acadry (ph) 6.0 - 7.0 4.5 - 6.5 4.5 - 6.5	4.2. Porcentage al each seed type 5. Seed Muture. All vanotes shall be raited as strong performers in the Pacific Northyest and are subject to client approval	134. Canforms Trees over 6 th height. Guy with three 2-strand wires ITI gauget. Drive three stakes equilistant around the tree completely below grade 135. Trees 6 ff on Nood or Concrete Decks. Guy as above using hirree deadmention. 2 v2 v4T buried to the neurour possible depth-netreal of stakes 136. Marks 10 grunners with valued Flagong natural.	
Dramage Percelation shall be such that no standing water is visible 64 minutes after at least 10 minutes of moderate to beavy rain or irrigation	76% (reeping Red Fescue 20% Annual Rye	14. Pruning 14. Tuni pruning to the sminium necessary for renove dead or injured practices. Preserve the natural character of the planets, do not cut the leader. Use only clean, sharp	
2 Fertilizer An arganic and/or morganic compound containing Nitrogen 680, Phosphale (25), and Potash (soluble 2) in proportions required by soil test	SX Salum Parennik Rye SX Kehtuky Buegrass For Wildhuer Areas on a micium of Wildlingers with Hard Fescues ITerralius Cassial Wildlingerst with Hard Fescue or pre-approved alternate	. (c) Using putting to the summain increasing or traversized on injurior or administry in receiver the neural stata at the interpretation of the reduction o	
Line: Ground apricitized intestone: Heet requirements of the Canadian Landscape Standard Deganic Additive: Commercial compost product to the requirements of the Canadian Landscape Standard, tatest existent and pre-approved by the Landscape Architect	6 Ferlinzer Methanical seeding Apply a confere synthetic slow-release fertilizer with maximum 35X water soluble introgen and a formulation ratio of 18-18-18 - 505	15 Nucleon 151 Mulch all planting areas with an even layer of mulch to 2-1/2 - 3" 165 - 75mml depth. Confirm placement of mulch in areas labeled "Groundcover Area" on drawings Mulch a 31 ft 198mml opaneter corcle around trees in Lawe areas, leave a clean edge.	
Recommended suppliers. The Answer Garden Products, Fraxer Richmond Sols & Fibre, Strean Organics Management	sulphur une coated, 102 kg/hait000s/armi using a methanical spreader. 7 – Seeding: Appiy seed at a rate of 110x/H1000s /screl with a methancai spreader - Incorporate seed into the top 114° (domit of soci and lightly compact	16 Acceptance	
 Sand: Clean, washed pump sand to meet requirements of the Canadaan Landscape Standard Composited Bark Multity: Mann (3/43) minus Fir/Henlixk bark thops and fores of thurks and stucks, dark birown in colour and free of all sal, stores, reals or other 	8 Acceptance Provide adequete protection of the seeded areas until conditions of acceptance have been met. Comply with Section 37 Hydroseeding.	161 The establishment of all plant national is the responsibility of the Landscape Contractor 17 Plant Material Mantenance	
extraneous matter. Fresh orange in colour bark will be rejected. 1. Herbicides and Pesticides. If used, must conform to all federal, provincial and local stativites. Appliers must hold current licenses usued by the appropriate authomies in	3.7 HYDROSEEDING 1 May be vued as an Alternate to nechanical seeling in rough grass areas	171 - Maintain attipiant material for 60 days after landscape work has received a Certificate of Completion 172 - Watering: Conform to Canadain Landscape Standard, Soction 1332 - Watering and generally as follows:	
the area	Kay not be used in areas of lawn unless pre-approved by the Landscape Architest prior to bidding.	17.2.1 Water to suggement obtrain realisti such that the soll nearline control of kept to 50% to 100% of field capacity. Water to the full depth of the root zone each time The Owner is responsible to supply water at his exits cost to the Contract. Continue source of value prior to beginning work. 17.3 Use supprovient nearcosing to conside parts is deceased amenging plant Material. Comply with ell force generating statules and guidelines for chemical control.	
8 Fater Fabric. A non-bodegradule blanket or other fatering memorane hait will allow the passage of water but not files soll particles. (Such as MRAF) 168 ML, 600,001 NG6 GR 4MICO 555 or alternate product pre-approved by the Landscape Architect 1.	3. Preparation and Growing Medium. 31. In ureas of Rough Grass Cooply with Section 36 Rough Grass.	17.4. Plant material which Talls to survive shall be replaced in the next appropriate season as determined by the Landscape Architect 17.5. Repair tree guards, stakes, and guy wires, when necessary	
9 Dramage Piping if required. Schedule 40 PVC nonmal sizes	32 Where approved for use in areas of lawn, comply with Section 38 Lawn Areas. Soudding	. 175 Mantain aress reistinety veed free. Jappearaine level 2, Canadian Landscape Standard, Chapter 181. 177 Mantain mach to specified deptilis.	
10 Drain Rock. Clean, round, mert, durable, and have a maintum size of 19mm and containing no malerial smaller than 10mm. 11 Plant Malerial. To the resumment of the Cassian Lundrians Clandric. Balance 3 & Plants in ePhysics. All plant palance that the second of from a control of disasce.	4. Protections (Ensure that feetilizer in solution cases not come is contact with the folginge of any trees, stroby, or other susceptible vegatation. On one spery veed or much an objects and expected to grow grass. Prostett existing site equipment, readvays, landscapan, reference points, manuments, markers and structures from damage. Where contained and notices, remove seeding sitery to assistation of and provide any approach of the Landscape Architect.	18 Plant Warranty 18 1. Replace all unsafisfactory plant material except those designated "Specimen" for a period of one (10 year after the Certificate of Completion. Replace all unsafisfactory	
 Plant Material. To the requerements of the Canadam Landscape Standard. Refer to 3.9, Plants and Planting. All plant material must be provided from a certified disease free nursery. Provide proof of certification. 	5 Hulch shall consist of wrgh wood fore or resycled paper flore designed for hydrawki seeding and dyad for ease of monitoring application if using recycled paper material	plain meterial disspated "Specine" for a period of two Riyeurs after the Certificate of Completion. Replace all unsatisfactory trees and strubs and continue to replace these unly the specified number is contained, and statery is non Landscape Architer. Such replacement shall be subject to the notification, inspection and approval as specified for the original planning, and shall not account of the Correct Section 2010 of the specified and state states and strubs a section of the original planning.	
12 Sed. Refer In individual sections in this specification. 19 Some and installer of comparison that you will be invested anneared drawmer. For all wills - intered and scalar drawmer for all wills - individually in average of 12m av	fer wood fare substitute use 195% by weight). Conform to Canadian Landscape Standard for nuch requerements 6. Water: Shall be free of any oppuntes that may have an nyunous effect on the success of seeding or may be hamful to the etworoament.	18.2 Those Plants, identified as hardy within one zone of the Canada Department of Agriculture tonal class for the area, specified by the Landscape Architect and installed by the Landscape Contractor which are killed through below normal temperatures (below the average of the extreme minium temperatures officially recorded in the area	
	7 receive any any any and the register of multiple register with the task volume certified by an dentification plate or struker affired in plan way on the	cascerned, in the last W years), will not be replaced without cost of replacement barne by the Guerer 183 - A review replace requested during the latter part of the warranty growing season. All plant may be developed and the season of the	
16 Micrellaneous An ormaterial issar	7 er in te internet et hydrauen krinkisker exponent with the task solute carified by an dentification plate ar stoker affreid o plane new on the er in a transference of the destination of the solution of t		
			N TTZU
		·, — • — • — • • • • • • • • • • • • • •	

NT - CONT

extend the Contractor's responsibility for another growing season if, in two opinion, leaf developmen avided adequate maintenance, the plant replacement section of the contract may be declared void ofactory using the Canadian Lundscape Standard, Section 13, Muintenance as the guide. The required in 31 Establishment Ruleinance k or replair any construction excluded in the Contract that is damaged or stoles until the issuance of

nty Period as determined by the Landscape Architect

acceptable before beginning work. Contact Landscape Architect for instructions if not in place

rains is present prior to placing any drain rock or soil.

a PVC Pipe filled with drain rack unless specific drawing detail shown

sheet drain if specified install sheet drain as per manufacturer's recommendation

sl with fitter fabric lapping 6" (150mm) at sit edges. Obtain approval of drainage system prior to

is surface treatments. Refer to Orawing details for any light weight filler required to aller grade wition at edges. Butt each piece lightly lagetber and cover with filter fabric to prevent soil from

nl care to newly installed plant material for a relatively short period of time to ensure or increase antis to a new site in order to obtain the desired effect from the planting while reducing the rate of bishment of maintenance procedures apply to all new and retained vegetation including rultivated

months failowing substantial completion

il edition, Fertilizer Code , B.C. Pesticide Control Act

Final progress draw application, and at the end of the gwarantee period, there should be three other representative of the Owner. Maintain a legbook and reporting procedures and submit to the

gnated representative at start-up. Haintenance operations shall be carried out predominately during I ather times of the year may be required. Table 16 2, Maintenance Level 2 "Groomed"

Formulations and rates as required by soli testing

every ten 10% days beliveen April tol and buy 35%, and every livestly 120 days beliveen August tol is scrond growing season, water new plants at lasst every livestly days beliveen April 1 and July 31 die Julians schult hier water content schules. Indid appat of the ful dappat die growing guidy. Provide and engels with water on the event that ary subtantic regiones spatem malfunctions be minister subjects and have an event and the schult days at landic transform schulections.

s th during the growing season by honing of cultivation to a maximum depth of 80mm, hand-pulling, or, if seases periodically and all least every law norths during the growing season by an expensence ifly for maximum effectiveness. Camply with all 82 Cestricit Center Act and maxima responses that and the sease sease the sease that the year can clausing advectation and version and test stere the first growing season accept under large trees require continuing suggest in visible and on safet users and maximum sease and sease and sease sease the ring the growing season, pours to reverse all dead, version of sease dead. Haintain the valural shape rise context for significational season accept and sease of sease and ways requirements and endance feetage sharabilities.

nds to apply water to Class. Land Class. 2 grossed areas Ranation Landscape Standard, Section 7, Siggly and ergatar with water in the event of any origination system antifactions, necesspiter results of the side system of a visit and actions to that the visit contert in the ground by water appendent results. Side of inter capacity is are manaed for water, and the provided state of the two provided states and RT L NA Landscape States and the side state and the states water by a generative effects of a states of the side of the side states of the states and the side states of the application and in these states are states and water and the side states and the side states water by a generative by application and in the states and states and the side water systems of 4 signer metrics. The application and in these

retary lype mower. Excess grass clipping shall be removed after each cut. Mow all grassed areas . Mow to sheight of 40mm. Edge with a mechanical vertical cutting edger once per year in March sary, in the second growing season, aerate in early May with a suilable mechanical corer. Core to a

naged or failing grass areas. Match the grass varieties in the surrounding area. Re-sod, if required, r between September 1st and September 15th. Protect re-seeded areas and keep noist until the first

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Suite C100 - 4185 Still Creek Drive Burnaby, British Columbia, VSC 6G9 p: 604 294-0011 ; f. 604 294-0022

SEAL:



CLIENT:

PROJECT:

SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT,

8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:

LANDSCAPE SPECIFICATIONS

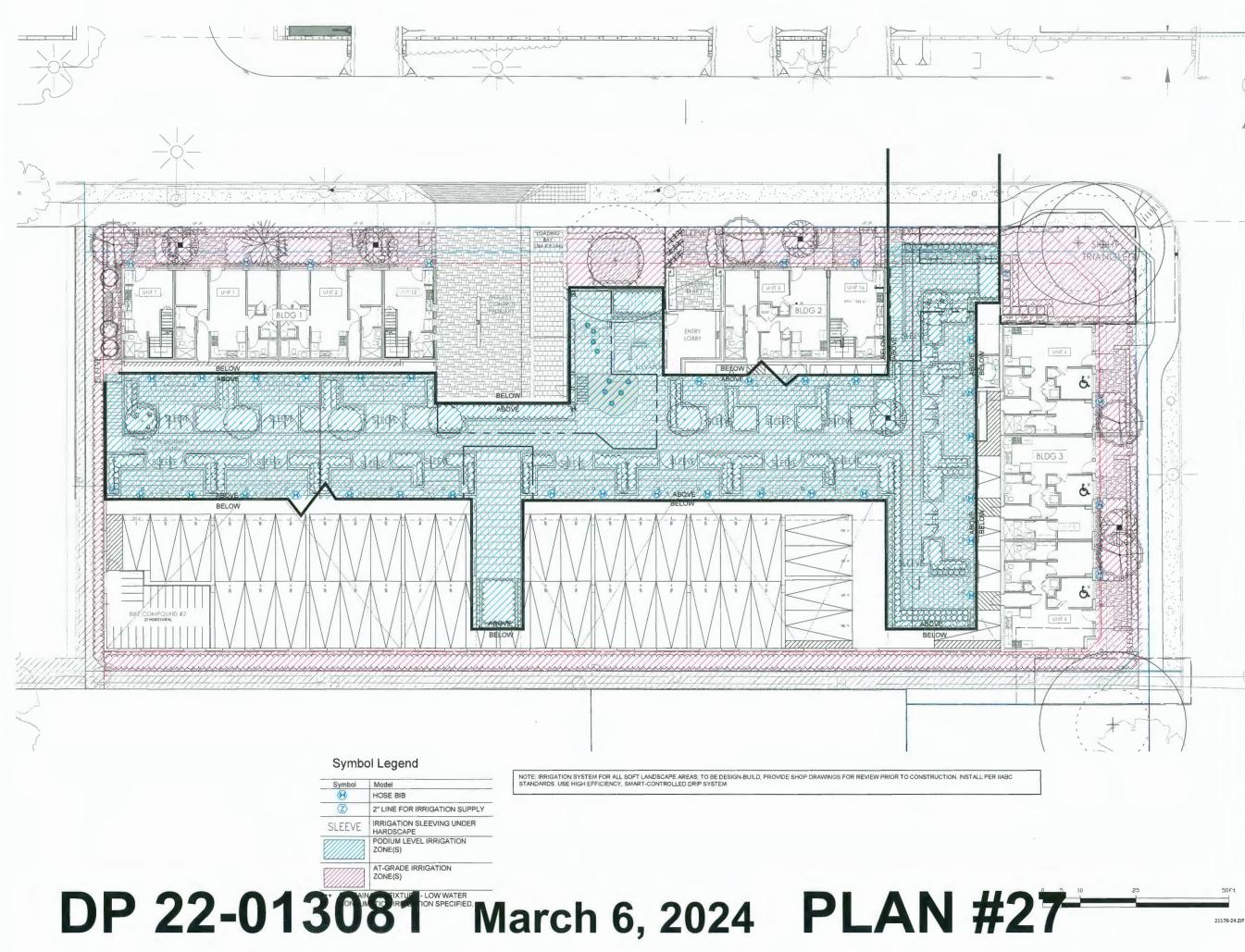
PC

DATE: SCALE: DRAWN: DESIGN: CHK'D:





21176-24.ZIP PMG PROJECT NUMBER:



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SEAL:



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-	-		
-			
-			
		LINE AND A LE LANDER REPORTATION.	0.0
25	24.FEB 20	UPDATE GAS METER SCREENING	CLG
_	24.FEB.20 24.FEB.02	UPDATE GAS METER SCREENING ISSUED FOR TENDER REVIEW	
24			CW
24	24.FEB.02	ISSUED FOR TENDER REVIEW	CW
24 23 22	24.FEB.02 24.JAN.26	ISSUED FOR TENDER REVIEW REVISED ENTRY	CW
25 24 23 22 21 20	24.FEB.02 24.JAN.26 24.JAN.16	ISSUED FOR TENDER REVIEW REVISED ENTRY ISSUE FOR DP	CW CW CLG SA
24 23 22 21	24.FEB.02 24.JAN.26 24.JAN.16 24.JAN.10	ISSUED FOR TENDER REVIEW REVISED ENTRY ISSUE FOR DP INCREASE PLANTING TO 20% LOT AREA	CW CW CLG

CLIENT:

PROJECT:

SPIRES II 38 UNIT TOWNHOUSE DEVELOPMENT

8800, 8780, 8760 SPIRES GATE AND 8740 SPIRES ROAD RICHMOND

DRAWING TITLE:

SITE IRRIGATION CONCEPT PLAN

DATE: SCALE: DRAWN: DESIGN: CHK'D:

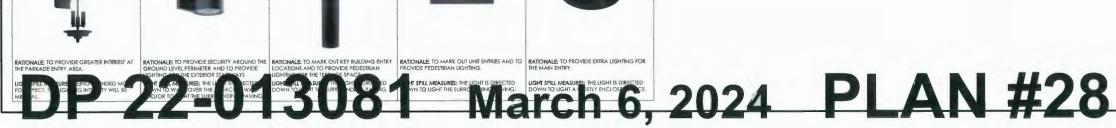
20.06.04 DRA 3/32" = 1'-0" MC MC



PMG PROJECT NUMBER

OF 13 21-176

PMG PR



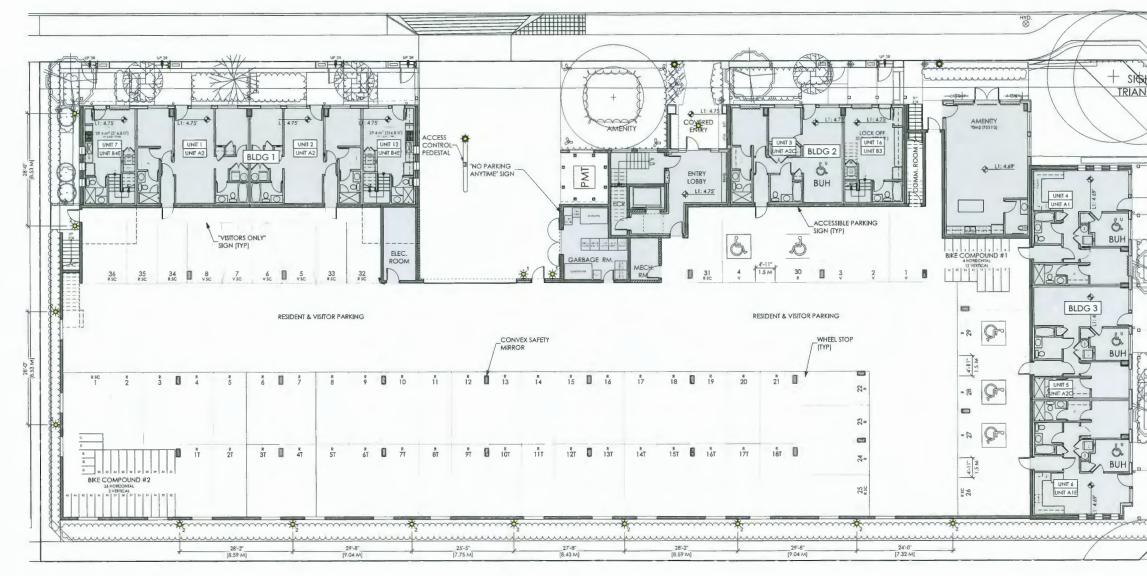
- RECESSED LED LIGHT

LED STEP LIGHT

- LED BOLLARD LIGHT

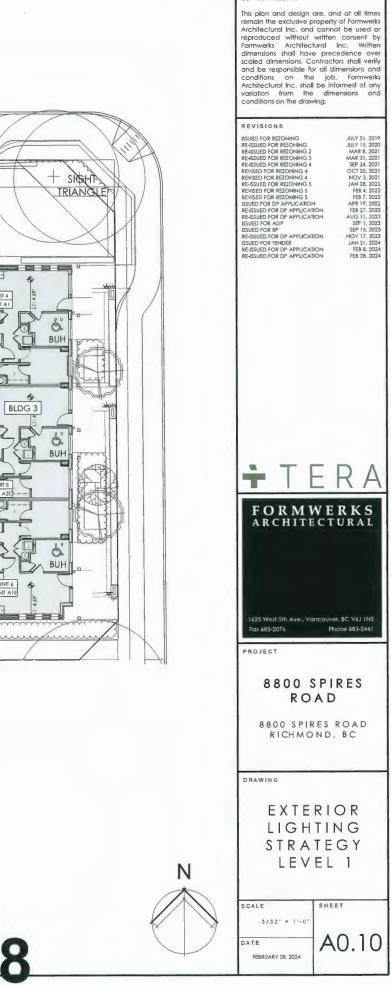
NOTE: ALL EXTERIOR UGHT STANDARDS ARE TO BE DARK SKY CERTIFIED BY THE INTERNATIONAL DARK SKY ASSOCIATION.

BT TREINIERRAIDARL DARK SK ASSOLATION. NOTE: THE UGHT FRUIRES ROE THE SRW ALONG THE WEST AND SOUTH PROPERTY LINES ARE IN ACCORDANCE WITH CYTED STANDARDS. HAVING A TYPECAL SPACING OF 28-32 Ff WITH SOME MINOR VARIATION], THE CALCULATION IS 0.64FC MIN. AND 12FC. MAX. WITH AN AVERAGE OF 3.5PC (33 LUX), THE RECOMMENDED AVERAGE IS 20 LUX.



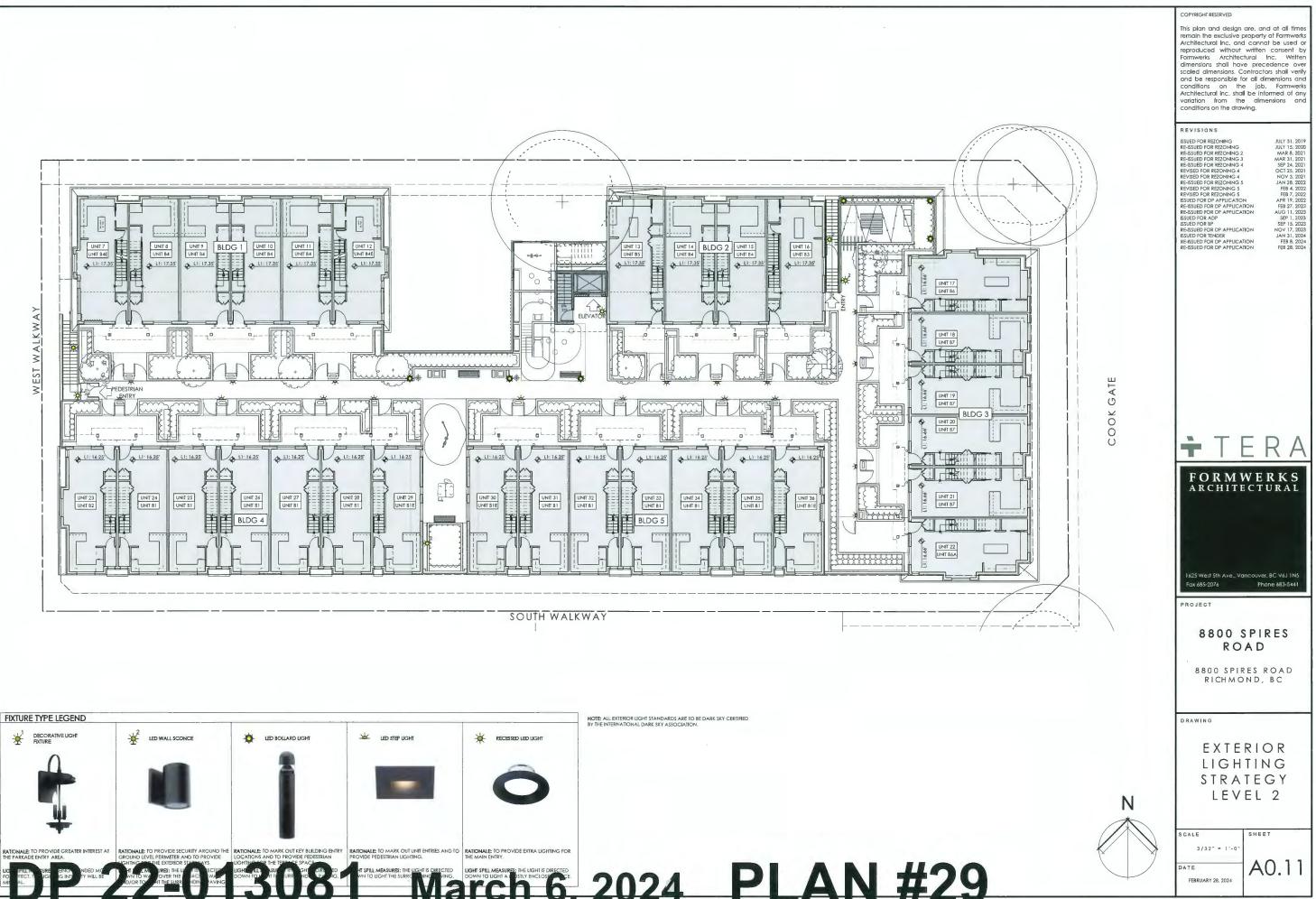
FIXTURE TYPE LEGEND

LED WALL SCONCE



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DP 22-013081 March 6, 2024 PLAN #30

SPIRES ROAD & COOK GATE LOOKING SOUTH WEST







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REVISIONS	
ISSUED FOR REZONING	JULY 31. 2019
RE-ISSUED FOR REZONING	JULY 15, 2020
RE-ISSUED FOR REZONING 2	MAR 8, 2021
RE-ISSUED FOR REZONING 3	MAR 31, 2021
RE-ISSUED FOR REZONING 4	SEP 24, 2021
REVISED FOR REZONING 4	OCT 25, 2021
REVISED FOR REZONING 4	NOV 3, 2021
RE-ISSUED FOR REZONING 5	JAN 28, 2022
REVISED FOR REZONING 5	FEB 4, 2022
REVISED FOR REZONING 5	FEB 7, 2022
ISSUED FOR DP APPLICATION	APR 19, 2022
RE-ISSUED FOR DP APPLICATION	FEB 27, 2023
RE-ISSUED FOR DP APPLICATION	AUG 11, 2023
ISSUED FOR ADP	SEP 1, 2023
ISSUED FOR BP	SEP 15, 2023
RE-ISSUED FOR DP APPLICATION	NOV 17, 2023
ISSUED FOR TENDER	JAN 31, 2024
RE-ISSUED FOR DP APPLICATION	FEB 8, 2024
RE-ISSUED FOR DP APPLICATION	FEB 28, 2024



625 West 5th Ave., Vancouver, BC V6J 11

8800 SPIRES ROAD

8800 SPIRES ROAD RICHMOND, BC

PERSPECTIVES

NT:

A0.07

SHEET

1111

MAN: GENTEK COL: BLACK NUMBER: 525 COL: ANTIQUE BLACK COL: FOREST BROWN NUMBER: 2105-10 COL: BLACK COL: BALBOA MIST NUMBER: 1549 COL: GRAYSTONE NUMBER: 1475 COL: LA PALOMA GREY NUMBER: 1551 NUMBER: HC-166 **DP 22-013081** March 6, 2024 PLAN #31

MAN: PABCO

FIBFREGLASS

SHINGLES

BRICK

FIBREGLASS SHINGLES

GUTTERS AND DOWNSPOUTS

PAINTED WOOD GABLE FINIAL MAN: BENJAMIN MOORE COLOUR: KENDALL CHARCOAL NUMBER: HC-166

PAINTED FIBRE CEMENT BOARD/PANEL

PAINTED WOOD TRIM AND BRACKETS

MAN: PABCO COLOUR: ANTIQUE BLACK

MAN: BENJAMIN MOORE COLOUR: KENDALL CHARCOAL NUMBER: HC-166

MAN: PABCO COLOUR: ANTIQUE BLACK

ENTRY DOOR

MAN: BENJAMIN MOORE COLOUR: FOREST BROWN NUMBER: 2105-10

FIBREGLASS SHINGLES

MAN: BENJAMIN MOORE COLOUR: KENDALL CHARCOAL NUMBER: HC-166

MAN: GENTEK COLOUR: 525 BLACK

MAN:

COL: BLACK

ALUMINUM RAILING

ALUMINUM GUTTERS AND DOWNSPOUTS

ENTRY DOORS

MAN: BENJAMIN MOORE

WINDOW FRAMES

MAN:

SOUTH ELEVATION

BUILDING 1 (WEST ELEVATION BUILDING 3 SIMILAR)

PAINTED FIBRE

CEMENT SIDING

MAN: BENJAMIN MOORE

PAINTED FIBRE PAINTED FIBRE CEMENT SIDING MAN: BENJAMIN MOORE

CEMENT SIDING MAN: BENJAMIN MOORE

PAINTED FIBRE CEMENT BRICK WALL AND BOARDS AND PANELS COLUMN BASE

MAN' BEN JAMIN MOORE COL: KENDALL CHARCOAL

MAN: INTERSTATE BRICK COL: PEWTER NUMBER: -

NORTH ELEVATION BUILDING 1 (EAST ELEVATION BUILDING 3 SIMILAR)



GUTTERS AND DOWNSPOUTS MAN: GENTEK COLOUR: 525 BLACK PAINTED WOOD GABLE FINIAL MAN: BENJAMIN MOORE COLOUR: KENDALL CHARCOAL NUMBER: HC-166 PAINTED FIBRE CEMENT BOARD MAN: BENJAMIN MOORE COLOUR: KENDALL CHARCOAL NUMBER: HC-166 PAINTED WOOD TRIM AND BRACKETS MAN: BENJAMIN MOORE COLOUR: KENDALL CHARCOA NUMBER: HC-166 PAINTED ALUMINUM GUARDRAIL COLOUR: BLACK 4.5" HORIZONTAL FIBRE CEMENT PLANK MAN: BENJAMIN MOO COLOUR: GRAYSTONE VINYL WINDOW FRAMES COLOUR: BLACK

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8	REVISIONS	
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	RE-ISSUED FOR REZONING	JULY 15, 2020 MAR 8, 2021
1	RE-ISSUED FOR REZONING 2	MAR 8, 2021
1	RE-ISSUED FOR REZONING 3	MAR 31, 2021
1	RE-ISSUED FOR REZONING 4	SEP 24, 2021
1	REVISED FOR REZONING 4	OCT 25, 2021
1	REVISED FOR REZONING 4	NOV 3, 2021
1	RE-ISSUED FOR REZONING 5	JAN 28, 2022
1	REVISED FOR REZONING 5	FEB 4, 2023
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1	ISSUED FOR DP APPLICATION	APR 19, 2022
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1	RE-ISSUED FOR DP APPLICATION	AUG 11, 2023
1	ISSUED FOR ADP	SEP 1, 2023
ĥ	ISSUED FOR BP	SEP 15, 2023
i	RE-ISSUED FOR DP APPLICATION	
1	SSUED FOR TENDER	JAN 31, 2024
- i	RE-ISSUED FOR DP APPLICATION	FEB 8, 2024
1	RE-ISSUED FOR DP APPLICATION	FEB 28, 2024

ER -----



625 West 5th Ave., Vancouver, BC V63 1N5 Phone 683-544 ax 685-2076

PROJECT

8800 SPIRES ROAD

8800 SPIRES ROAD RICHMOND, BC

DRAWING

COLOUR SCHEME BUILDINGS 1&3

SHEET

A2.11

SCALE 1/8" = 1'-0

ATE FEBRUARY 28, 2024

FIBREGLASS SHINGLES MAN: PABCO COLOUR: ANTIQUÉ BLACK

WINDOW TRIM MAN: BENJAMIN MOUNE COLOUR: LA PALOMA GREY NUMBER: 155

3" HORIZONTAL FIBRE CEMENT PLANK MAN: BENJAMIN MOORE COLOUR: LA PALOMA GREY NUMBER: 1551

4.5" HORIZONTAL FIBRE CEMENT PLANK MAN: BENJAMIN MOURE COLOUR: BALBOA MIST

> FIBREGLASS SHINGLES COLOUR: ANTIQUE BLACK

PAINTED ENTRY COLUMNS MAN: BENJAMIN MOORI COLOUR: KENDALL CHARCOAI NUMBER: HC-166

> ENTRY DOOR MAN: BENJAMIN MOORE COLOUR: FOREST BROWN NUMBER: 2105-10

WINDOW TRIM MAN: BENJAMIN MOORE COLOUR: GRAYSTONE NUMBER: 1475

WINDOW TRIM

MAN: BENJAMIN MOORE COLOUR: LA PALOMA GREY

3" HORIZONTAL FIBRE CEMENT PLANK MAN: BEN JAMIN MOORE COLOUR: LA PALOMA GREY NUMBER: 1551

4.5" HORIZONTAL FIBRE CEMENT PLANK MAN: BENJAMIN MOORE COLOUR: BALBOA MIS NUMBER: 1549

VINYL WINDOW FRAMES

WINDOW TRIM MAN: BENJAMIN MOORE COLOUR: BALBOA MIST NUMBER: 1549

BRICK MAN: INTERSTATE BRICK COLOUR: PEWTER



PAINTED BOARD FORMED CONCRETE

MAN: BENJAMIN MOORE COL: CEMENT GREY NUMBER: 2112-60



MAN: BENJAMIN MOOI COLOUR: FOREST BROW NUMBER: 2105-10





March 6, 2024 -0

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REVISIONS

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RE-ISSUED FOR REZONING	JULY 15, 202
RE-ISSUED FOR REZONING 2	MAR 8, 202
RE-ISSUED FOR REZONING 3	MAR 31, 20
RE-ISSUED FOR REZONING 4	SEP 24, 202
REVISED FOR REZONING 4	OCT 25, 202
REVISED FOR REZONING 4	NOV 3, 202
RE-ISSUED FOR REZONING 5	JAN 28, 202
REVISED FOR REZONING 5	FEB 4, 202
REVISED FOR REZONING 5	FEB 7, 202
ISSUED FOR DP APPLICATION	APR 19, 203
RE-ISSUED FOR DP APPLICATION	FEB 27, 20
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ISSUED FOR BP	SEP 15, 202
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ISSUED FOR TENDER	JAN 31, 202
RE-ISSUED FOR DP APPLICATION	FEB 8, 202
RE-ISSUED FOR DP APPLICATION	FEB 28, 202

+ TERA FORMWERKS ARCHITECTURAL

Fax 685-2076

PROJECT

8800 SPIRES ROAD

Phone 683-5441

8800 SPIRES ROAD RICHMOND, BC

DRAWING

COLOUR SCHEME BUILDING 2 SCALE SHEET

A2.12

DATE

1/8" = 1'-(

FEBRUARY 28, 2024

FIBREGLASS SHINGLES MAN: PABCO COLOUR: ANTIQUE BLACK

> WINDOW TRIM COLOUR: LA PALOMA GREY NUMBER: 1551

3" HORIZONTAL FIBRE CEMENT PLANK COLOUR: LA PALOMA GREY NUMBER: 1551

4.5" HORIZONTAL FIBRE CEMENT PLANK COLOUR: BALBOA MIST NUMBER: 1549

> FIBREGLASS SHINGLES MAN: PABCO COLOUR: ANTIQUE BLACK

> > WINDOW TRIM MAN: BENJAMIN MOORE COLOUR: GRAYSTONE NUMBER: 1475

METAL SECURITY MESH COLOUR: BLACK

GLASS ENTRY DOOR TRIM COLOUR: BALBOA MIST NUMBER: 1549

PAINTED ENTRY COLUMNS MAN: BENJAMIN MOOR COLOUR: BALBOA MIS NUMBER: 154

> WINDOW TRIM MAN: BENJAMIN MOORE COLOUR: LA PALOMA GREY NUMBER: 1551

3" HORIZONTAL FIBRE CEMENT PLANK MAN: BENJAMIN MOORE COLOUR: LA PALOMA GREY NUMBER: 1551

4.5" HORIZONTAL FIBRE CEMENT PLANK MAN: BENJAMIN MOOR COLOUR: BALBOA MIS

VINYL WINDOW FRAME COLOUR: BLACK

WINDOW TRIM

MAN: BENJAMIN MOORE COLOUR: BALBOA MIST NUMBER: 1549

BRICK MAN: INTERSTATE BRICK COLOUR: PEWTER

ENTRY DOOR MAN: BENJAMIN MOORE COLOUR: FOREST BROWN NUMBER: 2105-10



FORMED CONCRETE MAN: BENJAMIN MOORE COL: CEMENT GREY NUMBER: 2112-60

PAINTED BOARD

DP 22-013081 March 6, 2024 PLAN #33

MAN: PABCO COL: ANTIQUE BLACK NUMBER: -

FIBFREGLASS

SHINGLES

MAN: COL: BLACK NUMBER: -

ALUMINUM RAILING

MAN: GENTEK COL: BLACK

NUMBER: 525

ALUMINUM GUTTERS AND DOWNSPOUTS

ENTRY DOORS

MAN: BENJAMIN MOORE COL: FOREST BROWN

NUMBER: 2105-10

WINDOW FRAMES

MAN: -COL: BLACK

NUMBER: -

PAINTED FIBRE CEMENT SIDING

MAN: BENJAMIN MOORE COL: BALBOA MIST

NUMBER: 1549

CEMENT SIDING

PAINTED FIBRE

MAN: BENJAMIN MOORE COL: GRAYSTONE

NUMBER: 1475

PAINTED FIBRE CEMENT SIDING

NUMBER: 1551

MAN: BENJAMIN MOORE COL: LA PALOMA GREY

PAINTED FIBRE CEMENT BRICK WALL AND BOARDS AND PANELS COLUMN BASE

NUMBER: HC-166

MAN: BENJAMIN MOORE COL: KENDALL CHARCOAL

NUMBER: -

PAINTED WOOD TRIM AND BRACKETSл SOUTH ELEVATION BUILDING 4



NORTH ELEVATION BUILDING 4

PAINTED FIBRE CEMENT BOARD MAN: BENJAMIN MOORE COLOUR: KENDALL CHARCOAL NUMBER: HC-166 WINDOW TRIM MAN: BENJAMIN MOORI COLOUR: BALBOA MIST NUMBER: 1549 ENTRY DOOR MAN: BENJAMIN MOORE COLOUR: FOREST BROWN NUMBER: 2105-10

GUTTERS & DOWNSPOUTS MAN: GENTEK COLOUR: 525 BLACK

COLOUR: BALBOA MIST NUMBER: 1549

MAN: BENJAMIN MOORE COLOUR: KENDALL CHARCOAL NUMBER: HC-166

MAN; BENJAMIN MOORE COLOUR: KENDALL CHARCOAL NUMBER: HC-166

METAL SECURITY MESH COLOUR: BLACK

4.5" HORIZONTAL FIBRE CEMENT PLANK

PAINTED FIBRE CEMENT BOARD

MAN: BENJAMIN MOORE COLOUR: KENDALL CHARCOAL NUMBER: HC-166 PAINTED WOOD TRIM AND BRACKETS. COLOUR: KENDALL CHARCOAL NUMBER: HC-166

GUTTERS AND DOWNSPOUTS

PAINTED WOOD GABLE FINIAL

COLOUR: 525 BLACK

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REVISIONS R E VI 3 I ON S ISSUED FOR REZONING RE-ISSUED FOR REZONING 3 RE-ISSUED FOR REZONING 3 RE-ISSUED FOR REZONING 4 RE-ISSUED FOR REZONING 4 REVISED FOR REZONING 5 REVISED FOR REZONING 5 ISSUED FOR REZONING 5 ISSUED FOR REZONING 5 ISSUED FOR DP APPLICATION RE-ISSUED FOR DP APPLICATION RE-ISSUED FOR DP APPLICATION ISSUED FOR REP REVISED FOR RDP APPLICATION ISSUED FOR RDP APPLICATION ISSUED FOR RDP APPLICATION RE-ISSUED FOR DP APPLICATION ISSUED FOR RDP APPLICATION JULY 31, 2015 JULY 15, 2020 MAR 8, 2021 SEP 24, 2021 SEP 24, 2021 NOV 3, 2021 JAN 28, 2022 FEB 4, 2022 FEB 7, 2022 FEB 7, 2022 APR 19, 2022 FEB 27, 2023 SEP 1, 2023 SEP 1, 2023 SEP 15, 2023 NOV 17, 2023 JAN 31, 2024 FEB 8, 2024 FEB 28, 2024



625 West 5th Ave., Vancouver, BC V6J 1N Phone 683-544

PROJECT

8800 SPIRES ROAD

8800 SPIRES ROAD RICHMOND, BC

DRAWING

COLOUR SCHEME BUILDINGS 4&5 SHEET SCALE

A2.13

ATE

VINYL WINDOW FRAMES

WINDOW TRIM

MAN: BENJAMIN MOORE COLOUR: LA PALOMA GREY NUMBER: 1551 FIBREGLASS SHINGLES MAN: PABCO COLOUR: ANTIQUE BLACK

3" HORIZONTAL FIBRE CEMENT PLANK MAN: BENJAMIN MOORE COLOUR: LA PALOMA GREY NUMBER: 155

> FIBREGLASS SHINGLES MAN: PABCO COLOUR: ANTIQUE BLACK

4.5" HORIZONTAL FIBRE CEMENT PLANK MAN: BENJAMIN MOORE COLOUR: BALBOA MIST NUMBER: 1549

BRICK MAN: INTERSTATE BRICK COLOUR: PEWTER

PAINTED ENTRY COLUMNS MAN: BENJAMIN MOOR COLOUR: KENDALL CHARCOA NUMBER: HC-160

> WINDOW TRIM COLOUR: LA PALOMA GRE

3" HORIZONTAL FIBRE CEMENT PLANK MAN: BENJAMIN MOORE COLOUR: LA PALOMA GREY NUMBER: 1551

> FIBREGLASS SHINGLES MAN: PABCO COLOUR: ANTIQUE BLACK

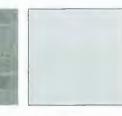
PAINTED WOOD GABLE FINIAL MAN: BENJAMIN MOORE COLOUR: KENDALL CHARCOAL NUMBER: HC-166

> VINYL WINDOW FRAMES COLOUR: BLACK

> > WINDOW TRIM COLOUR: BALBOA MIST

PAINTED ALUMINUM GUARDRAIL COLOUR: BLACI

PAINTED BOARD FORMED CONCRETE



MAN: INTERSTATE BRICK COL: PEWTER

PAINTED BOARD

FORMED CONCRETE

MAN: BENJAMIN MOORE COL: CEMENT GREY NUMBER: 2112-60

1/8" = 1'-0

FEBRUARY 28, 2024



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PROJECT

8800 SPIRES ROAD

8800 SPIRES ROAD RICHMOND, BC

DRAWING

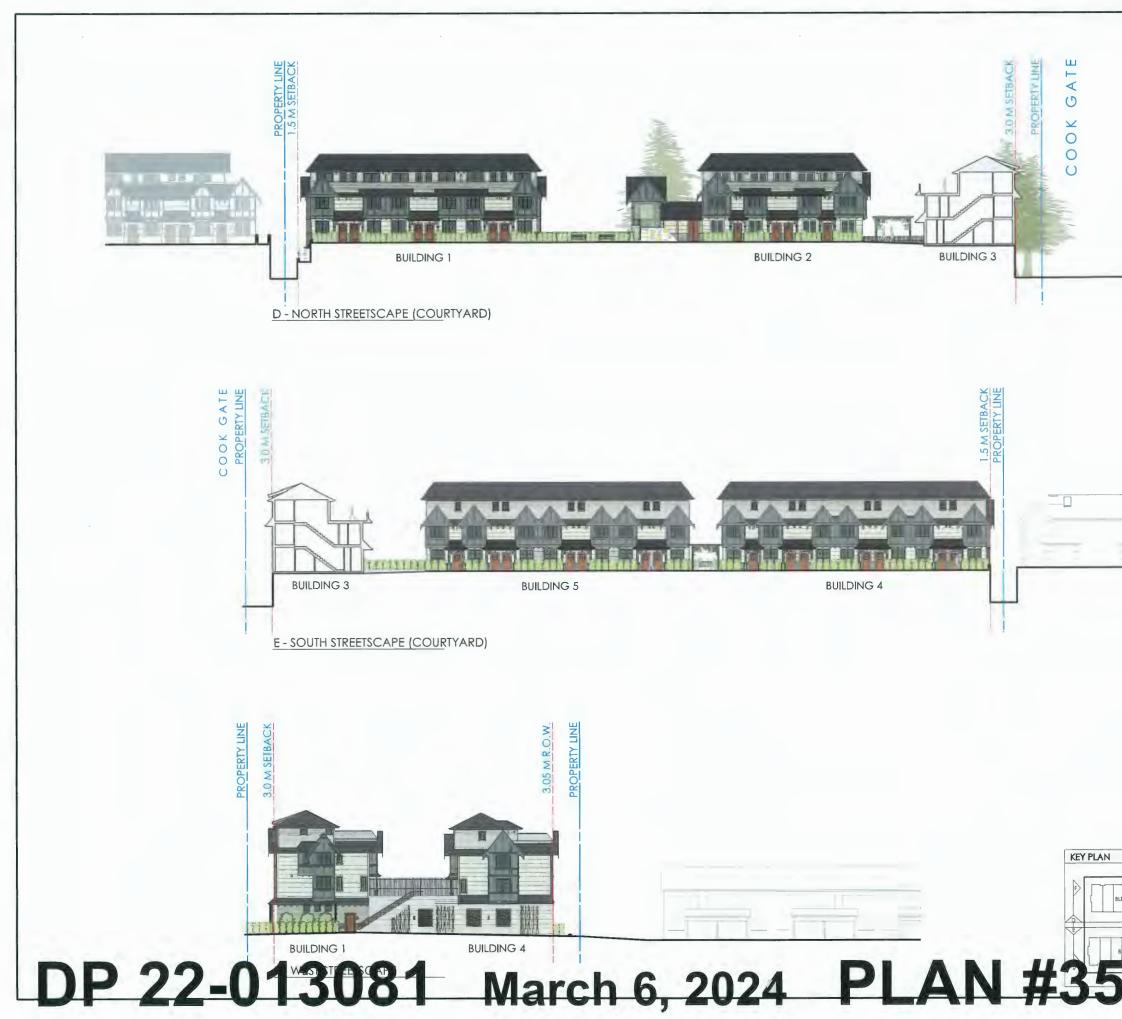
STREETS CAPES

SCALE SHEET 1/16" = 1'-

A1.15

DATE FEBRUARY 28, 2024

G 1	BLDG 2	
		-BLDG-3-
.DG 4	8.DG 5	



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	FORMWERKS ARCHITECTURAL
BLDG 1 BLDG 2 BLDG 3 S	8800 SPIRES ROAD 8800 SPIRES ROAD RICHMOND, BC DRAWING DRAWING STREETSCAPES SCALE 1/16" = 1'-0" DATE FEBRUARY 28, 2024

51.6	ाइ ह ह ह			(III)	50.16'	
44.27 N 43					(13.49 M) (13.49 M) (14.27) (15.29 M) (15.29 M	
23 M)					(36.18) (11.03.M) (11.03.M) (11.03.M) (11.03.M) (10.02.M) (1	
					27 27 (8.31 M) (8.31 M) (8.31 M) (9.31 M)	
awin 					(17.35) (17.35	
A dia		menni		ni-	(5.29 M)	
ASIM RECEIPT AVERAGE GRADE					4.75 1.45 M 3.56 1.09 M	
THE PROPERTY AVERAGE DRADE	NORTH ELEVA BUILDING 1	TION		- Ale	[1.09 M]	WEST ELEVATION BUILDING 1
	2			3		¢
437)					11/24 MI	
MAN						
					(2/2/) (2/2/) (2/2/) (2/2/)	
9.07 9.07						
2117)						HI HIT
	<u> </u>	PARKING	, 	145		
THE HED AVELAGE GRADE	SOUTH ELEVA	TION			TEM THAT AVERAGE DAALE	
	BUILDING 1					BULDING 1
OUR LEGEND	FINISH SCH	EDULE		7		KEY
BM 1551 LA PALOMA G	2 DOUBLE PAN UNIT VINYL W	ED SEALED IO PAINTED WOOD 2X6 TUDOR TRIM 18 PA	INTED WOOD BRACKETS 26 GLASS LOBBY DOORS			
BM 1549 BALBOA MIST BM 1475 GRAYSTONE	3 INSULATED M PANEL DOOR 4 SUDING DOO 5 BRICK	DR 12 PAINTED 2X12 BELLY BOARD 20 CC	INTED 2X12 BELLY BOARD TH IX6 PROJECTED TRIM 27 GLASS AMENITY DOORS ONCRETE CAP 28 LED WALL SCONCE UMINUM RAILING			
BM HC-166 KENDALL CI	HARCOAL	E CEMENT PLANK 14 METAL PANEL DOOR 22 PR	EFINISHED 4X4 SECURITY MESH PUNCHED OPENING			
5P ⁵⁻¹⁰ F2F2F2F2F2F1C1C1	Z 4.5" EXPOSED	E CEMENT PLANK IS BRICK PATTERNED W/ SOLDIER 23 BO	HARD FORMED CONCRETE	6, 2024		

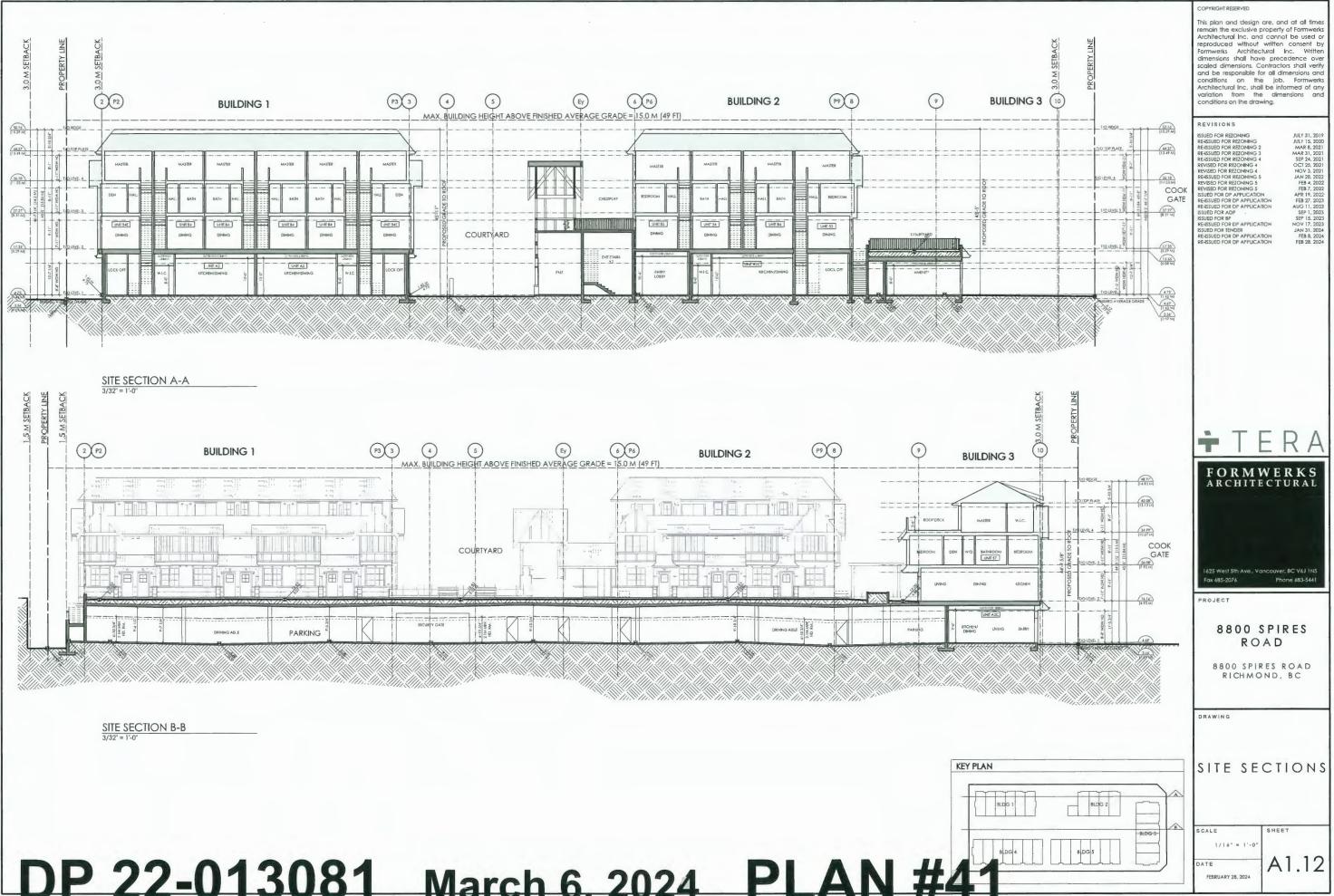




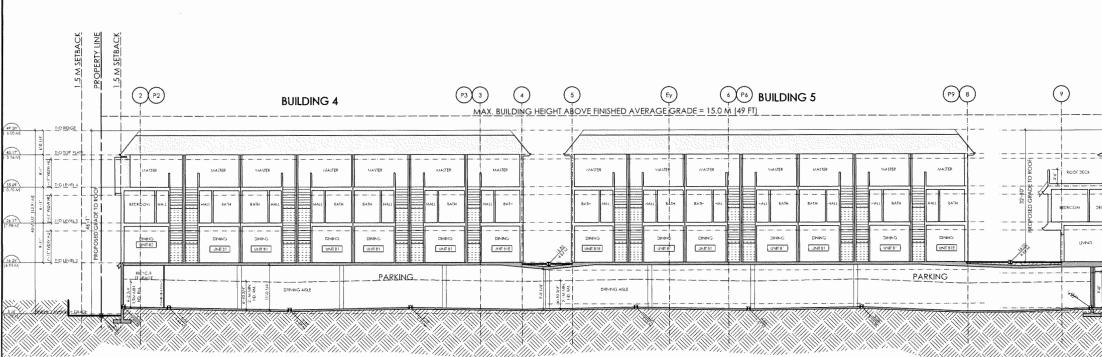








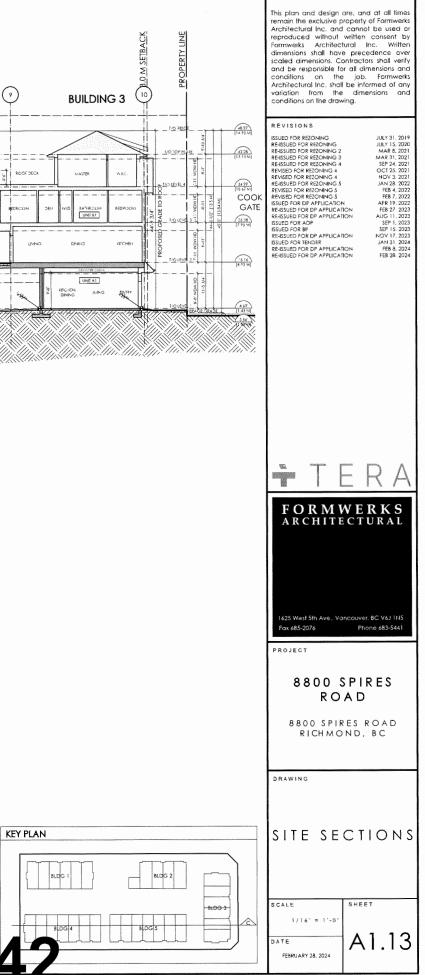
DP 22-013081 March 6, 2024 PLAN #41



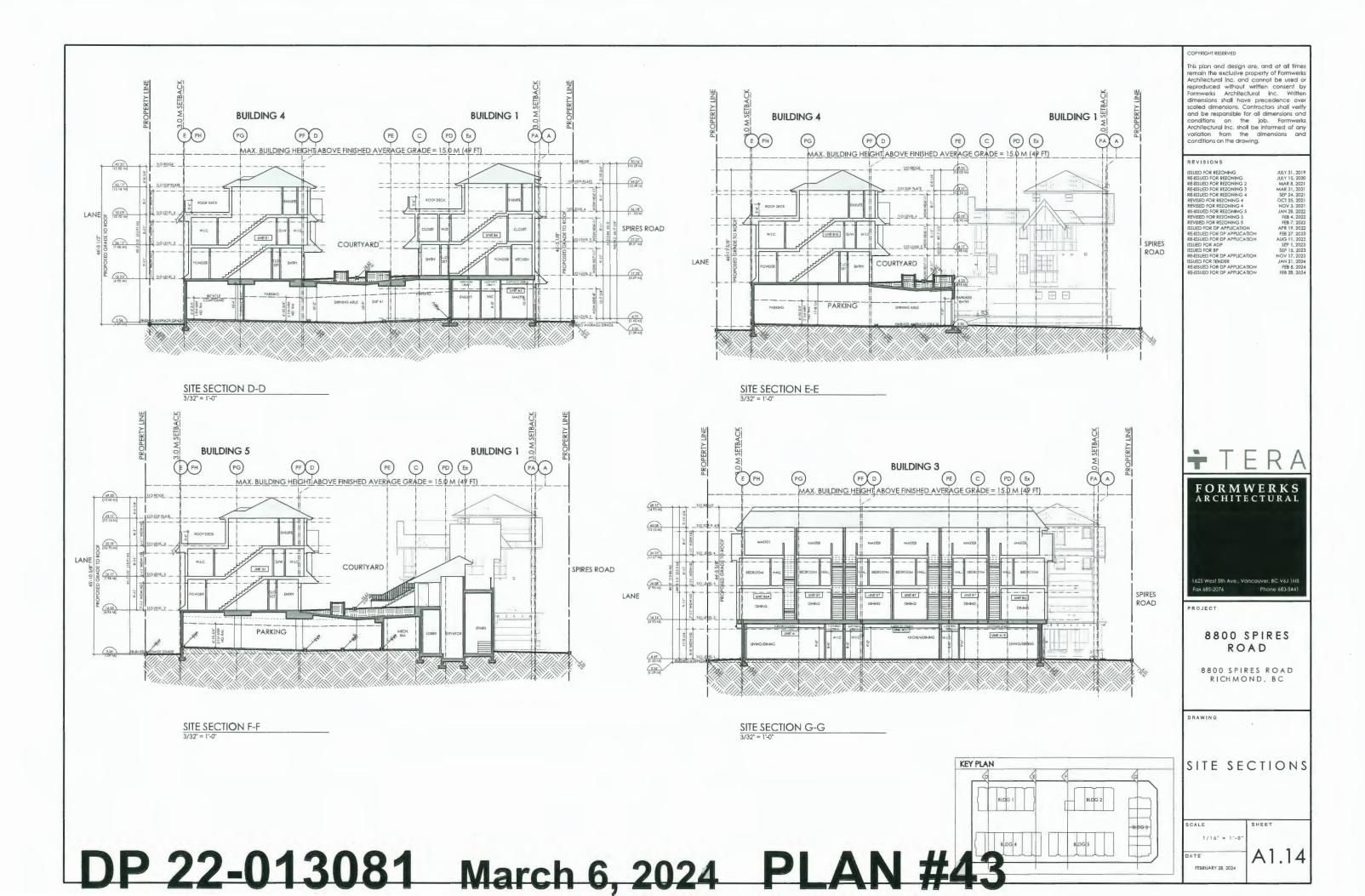
SITE SECTION C-C

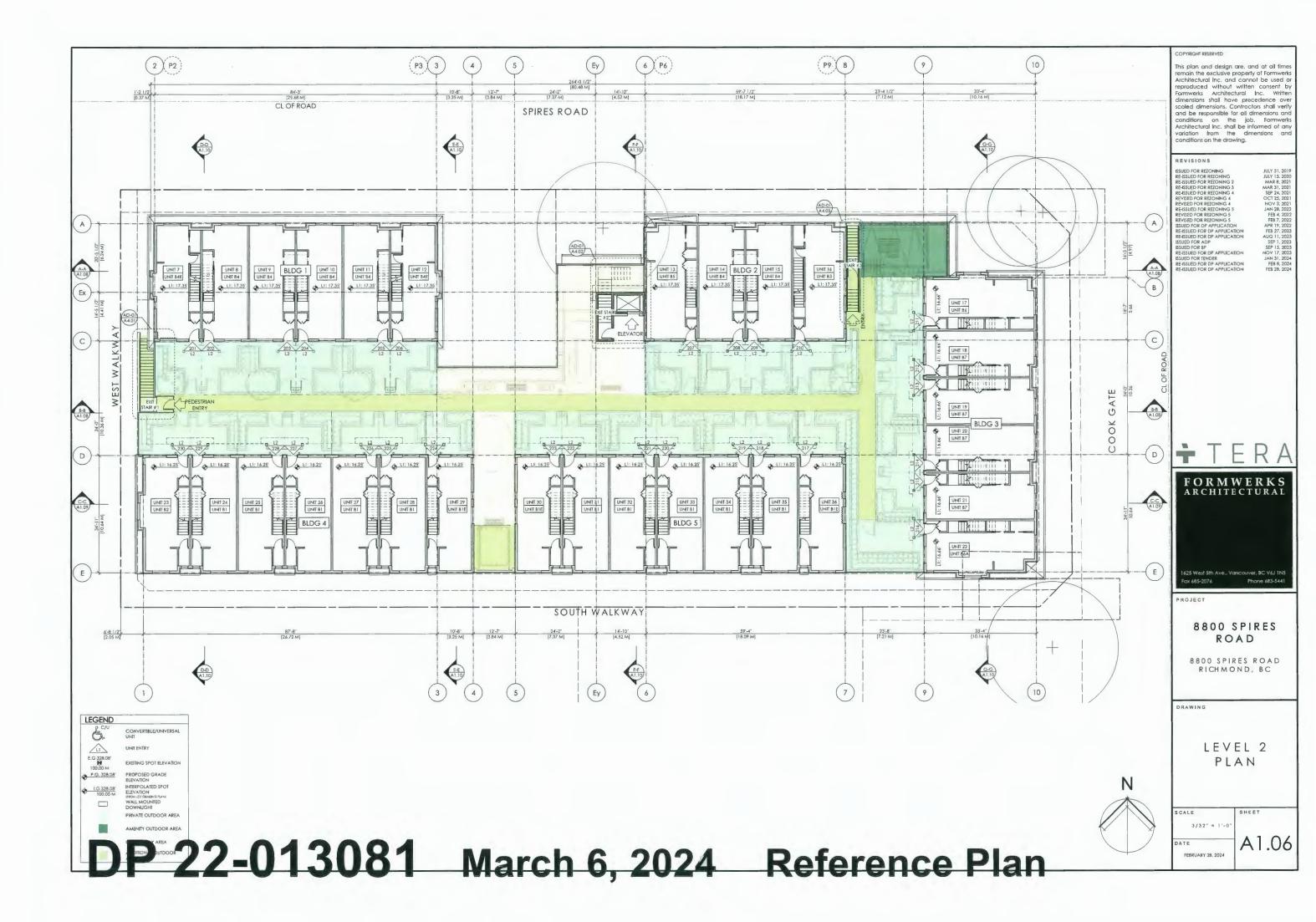


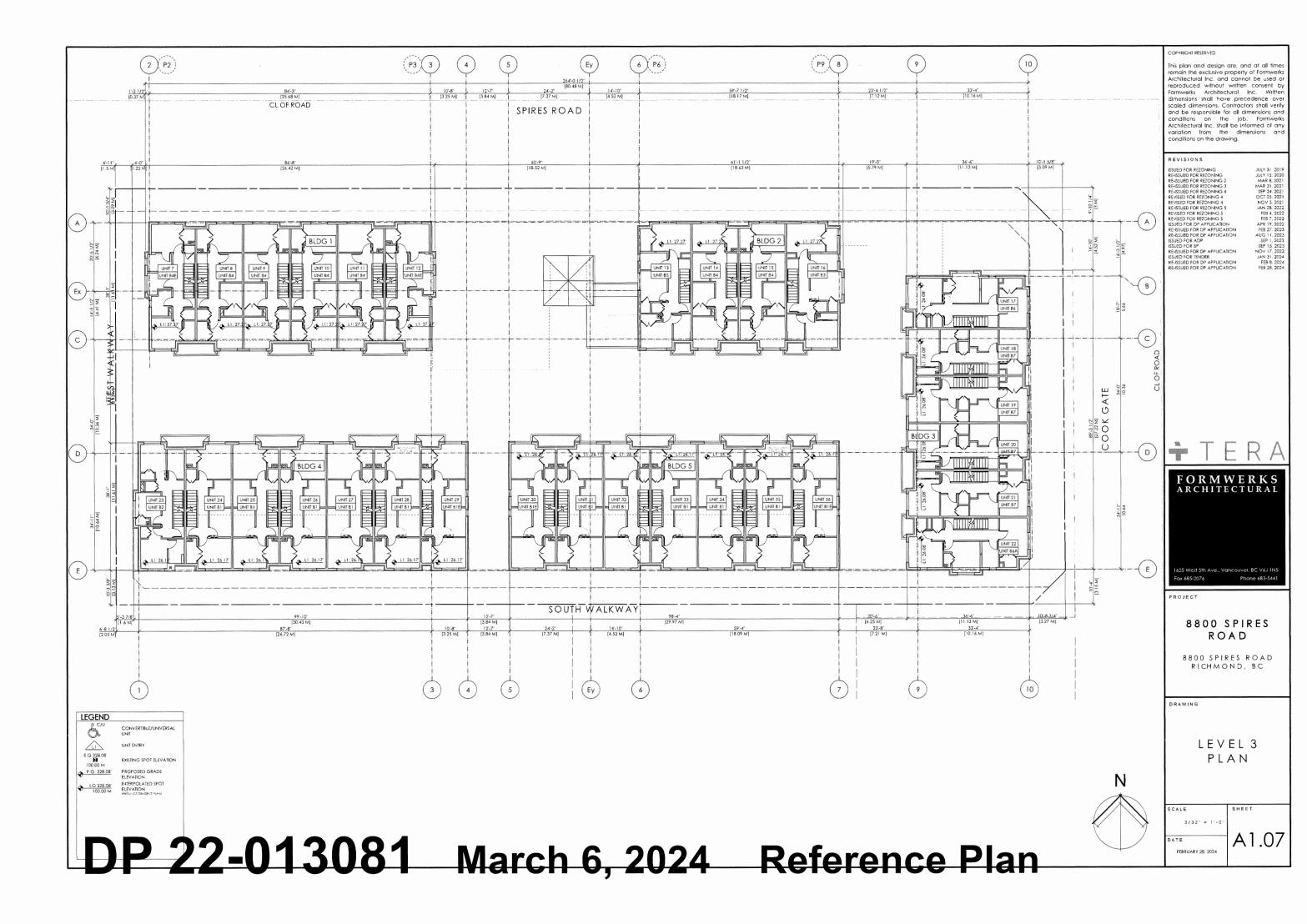
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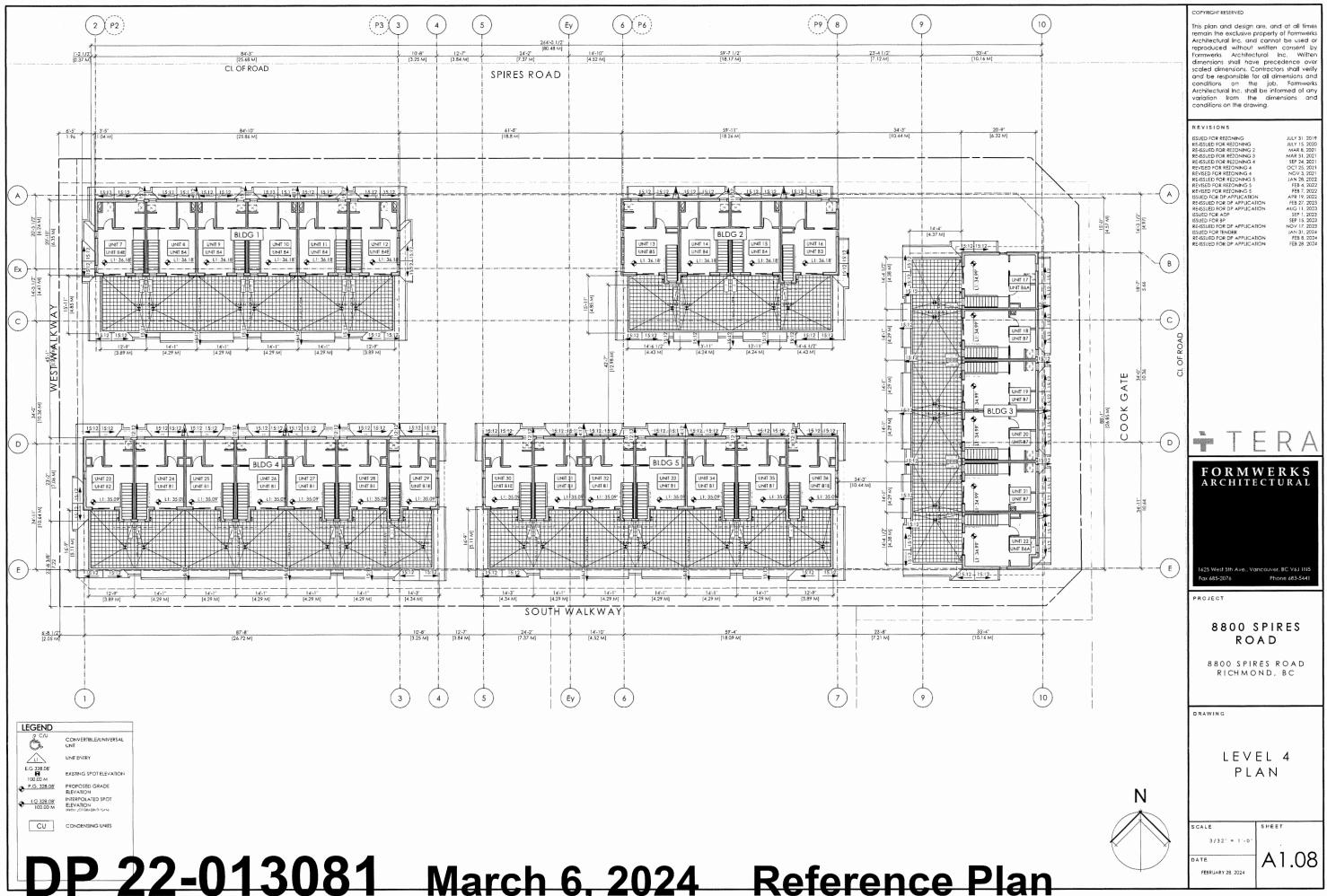
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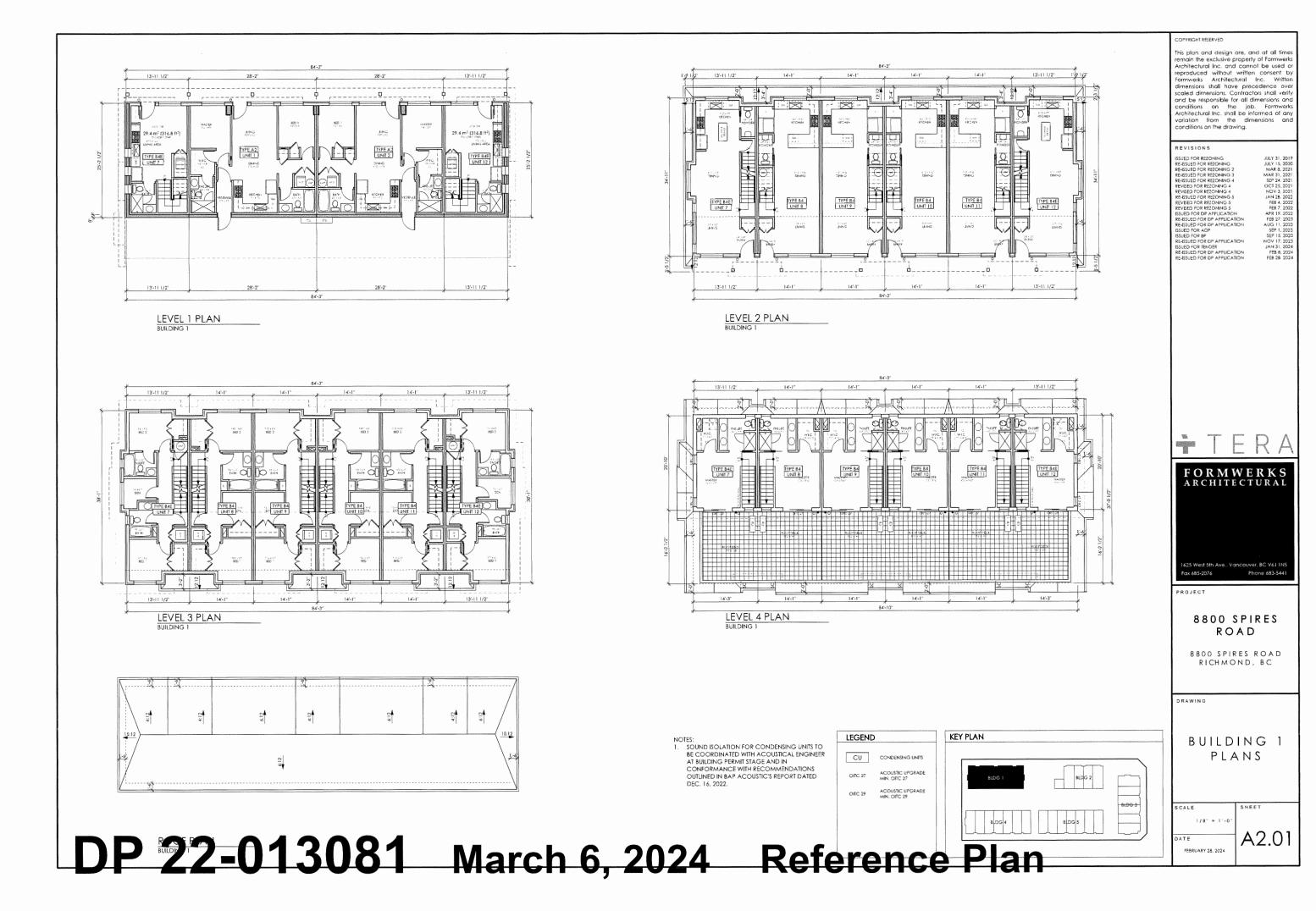


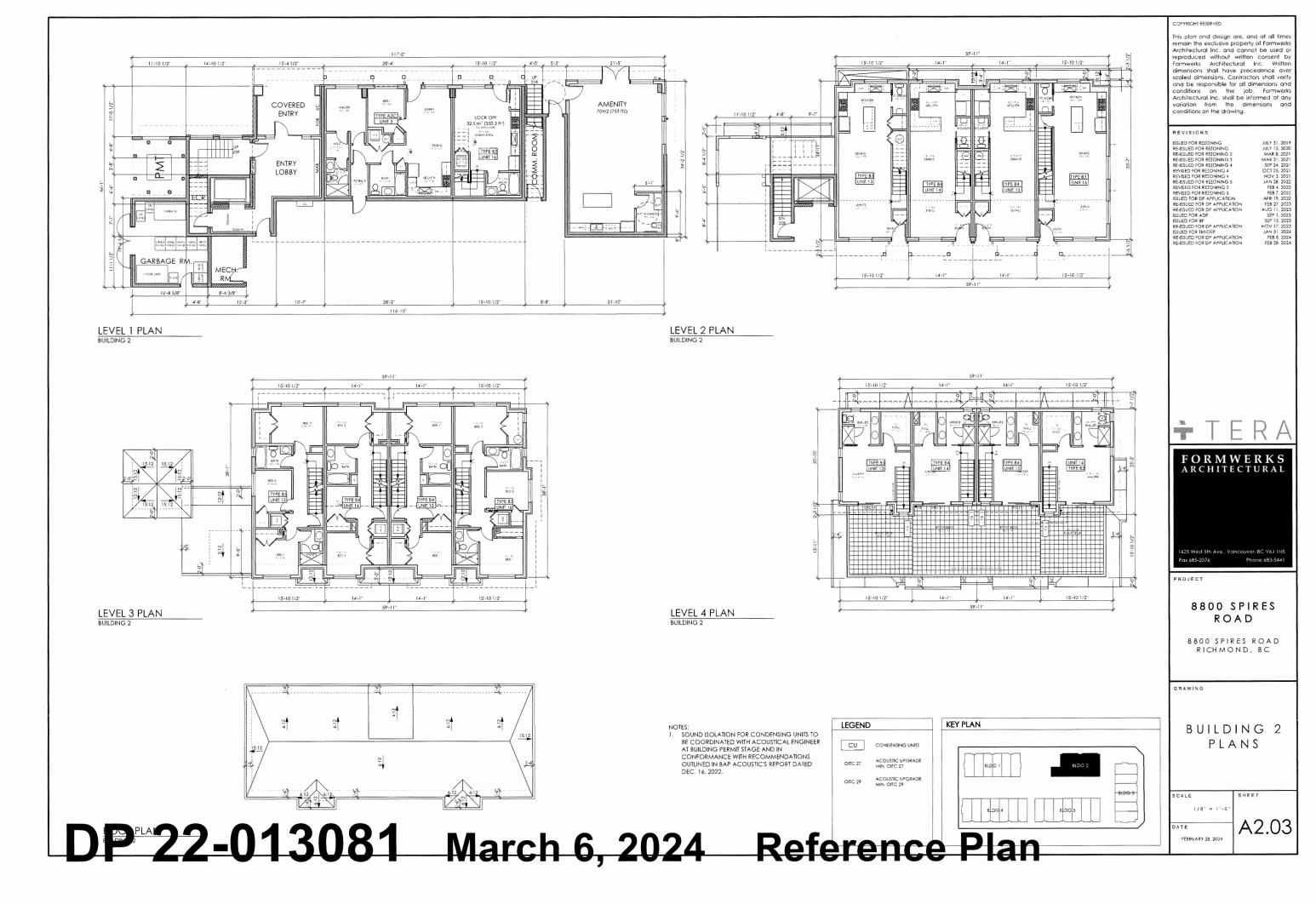




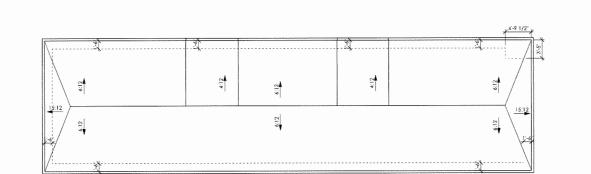


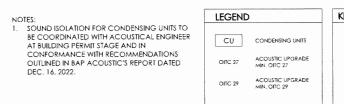


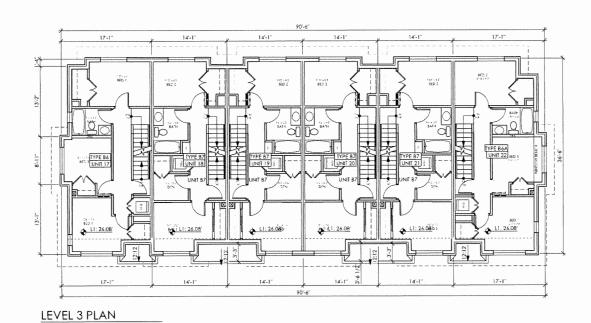




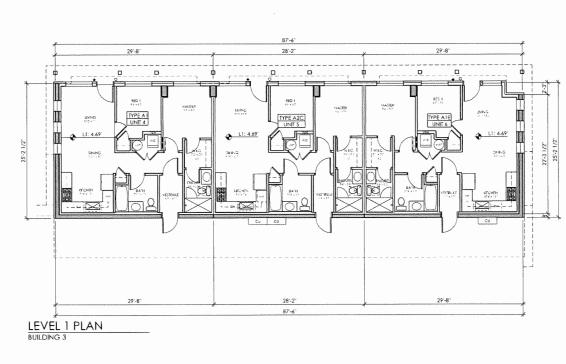
DP-22-013081 March 6, 2024 Reference Plan

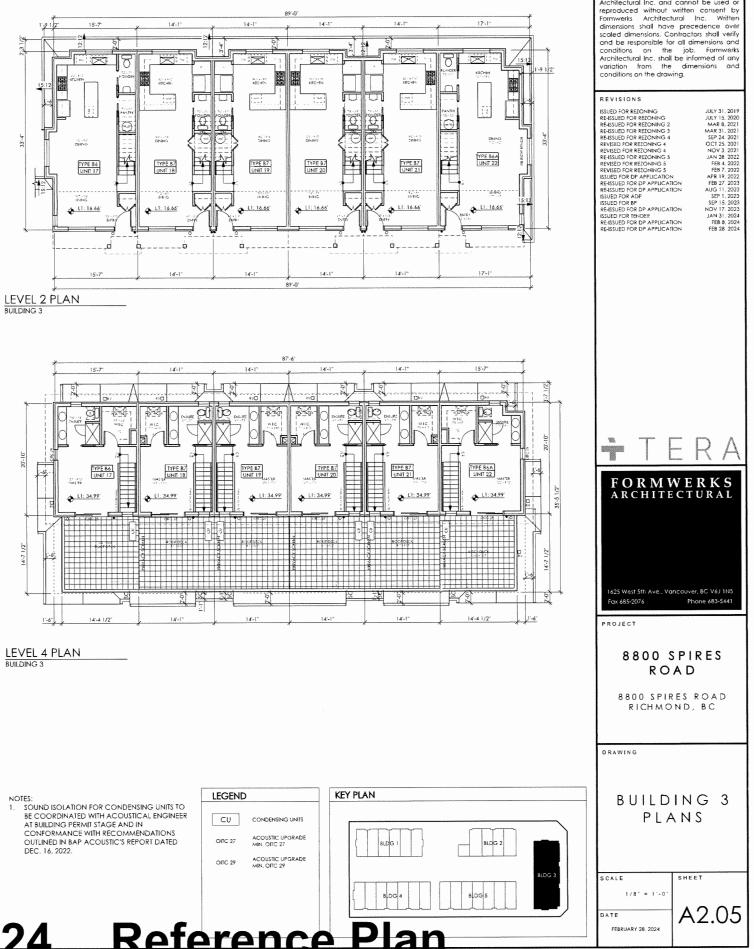






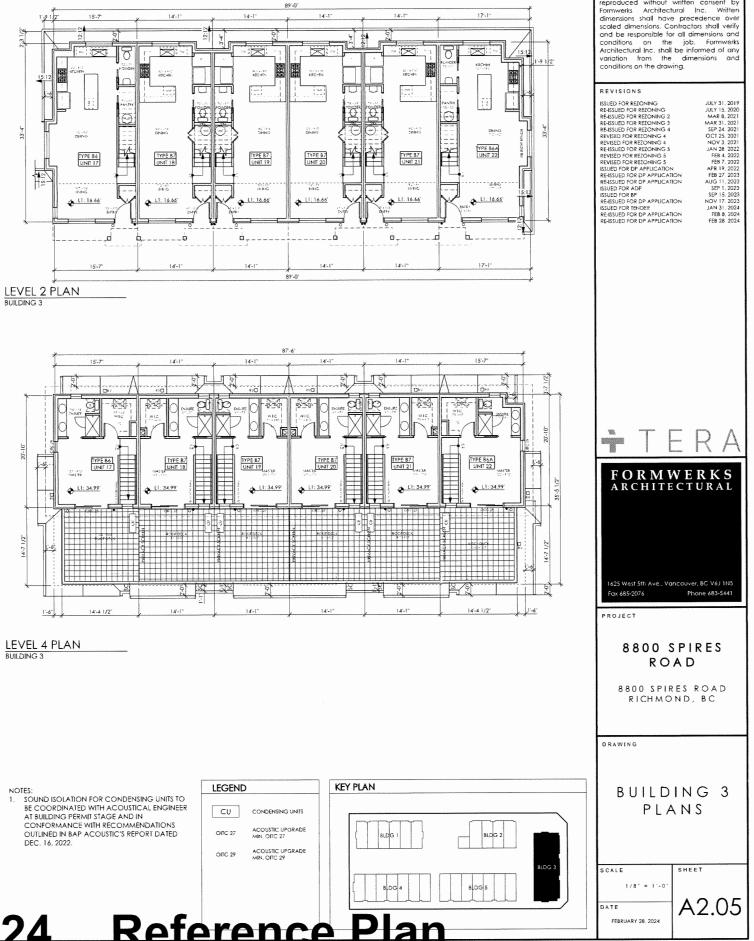
BUILDING 3

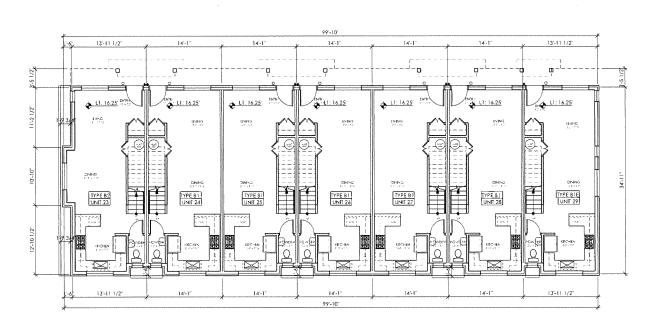


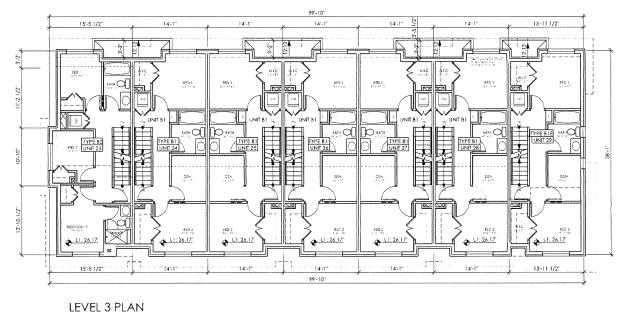


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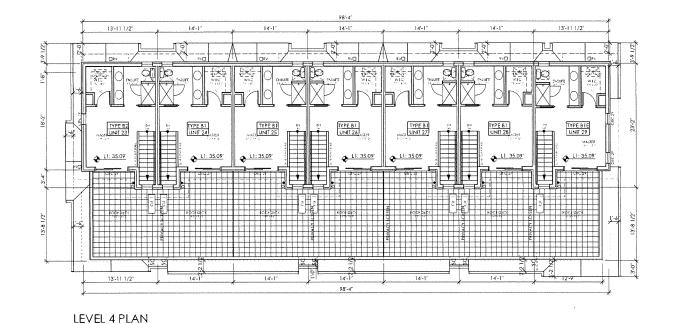


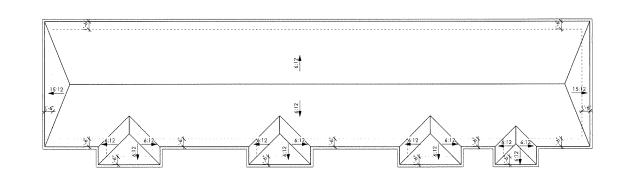


BUILDING 4

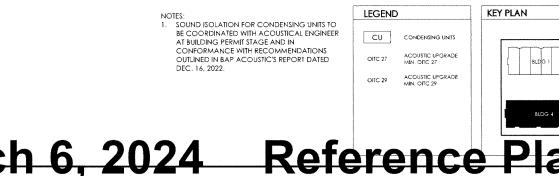
LEVEL 2 PLAN BUILDING 4

BUILDING 4





ROOF PLAN BUILDING 4



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REVISIONS	
ISSUED FOR REZONING	JULY 31, 2019
RE-ISSUED FOR REZONING	JULY 15, 2020
RE-ISSUED FOR REZONING 2	MAR 8, 2021
RE-ISSUED FOR REZONING 3	MAR 31, 2021
RE-ISSUED FOR REZONING 4	SEP 24. 2021
REVISED FOR REZONING 4	OCI 25, 2021
REVISED FOR REZONING 4	NOV 3, 2021
RE-ISSUED FOR REZONING 5	JAN 28. 2022
REVISED FOR REZONING 5	FEB 4, 2022
REVISED FOR REZONING 5	FEB 7, 2022
ISSUED FOR DP APPLICATION	APR 19, 2022
RE-ISSUED FOR DP APPLICATION	FEB 27. 2023
RE-ISSUED FOR DP APPLICATION	AUG 11, 2023
ISSUED FOR ADP	SEP 1, 2023
ISSUED FOR BP	SEP 15. 2023
RE-ISSUED FOR DP APPLICATION	NOV 17, 2023
ISSUED FOR TENDER	JAN 31, 2024
RE-ISSUED FOR DP APPLICATION	FEB 8, 2024
RE-ISSUED FOR DP APPLICATION	FEB 28. 2024



PROJECT

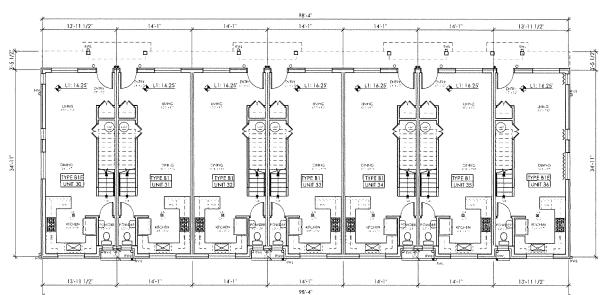
8800 SPIRES ROAD

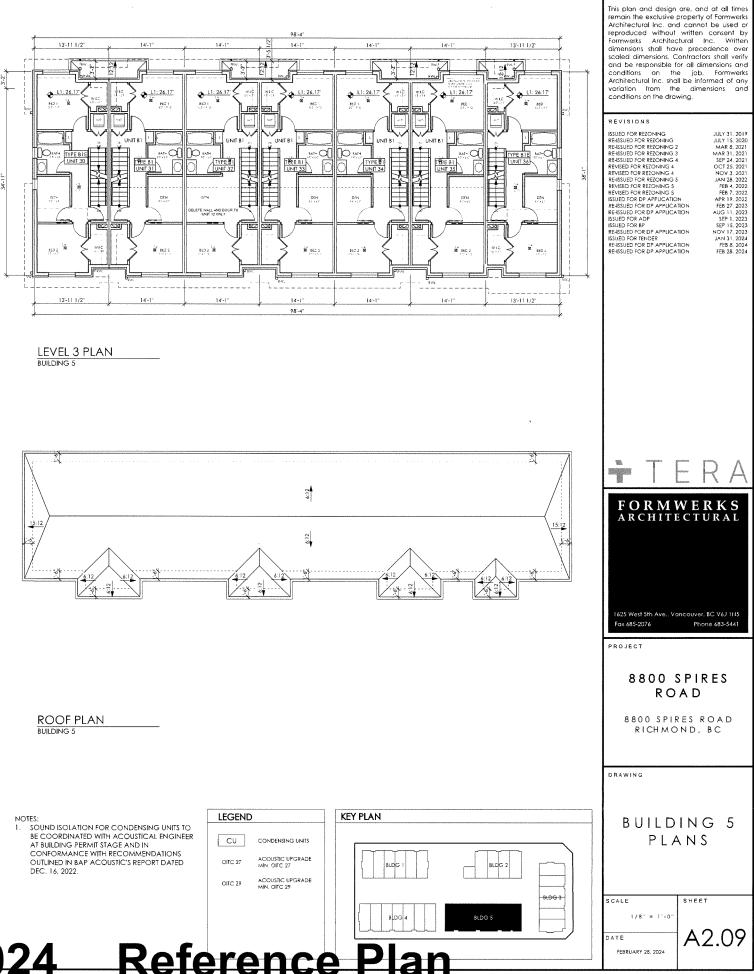
8800 SPIRES ROAD RICHMOND, BC

DRAWING

...... BLDG 2 BLDG ATE FEBRUARY 28, 2024

BUILD PLA	ING 4 NS
ALE	SHEET
1/8" = 10-	
ΓE	A2.07

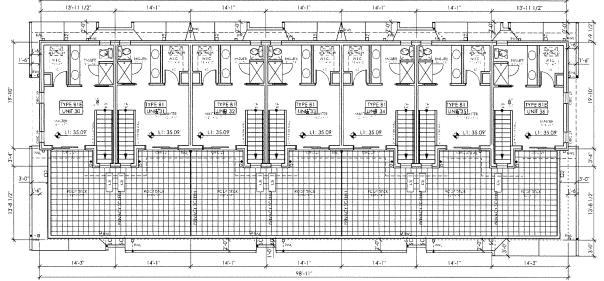


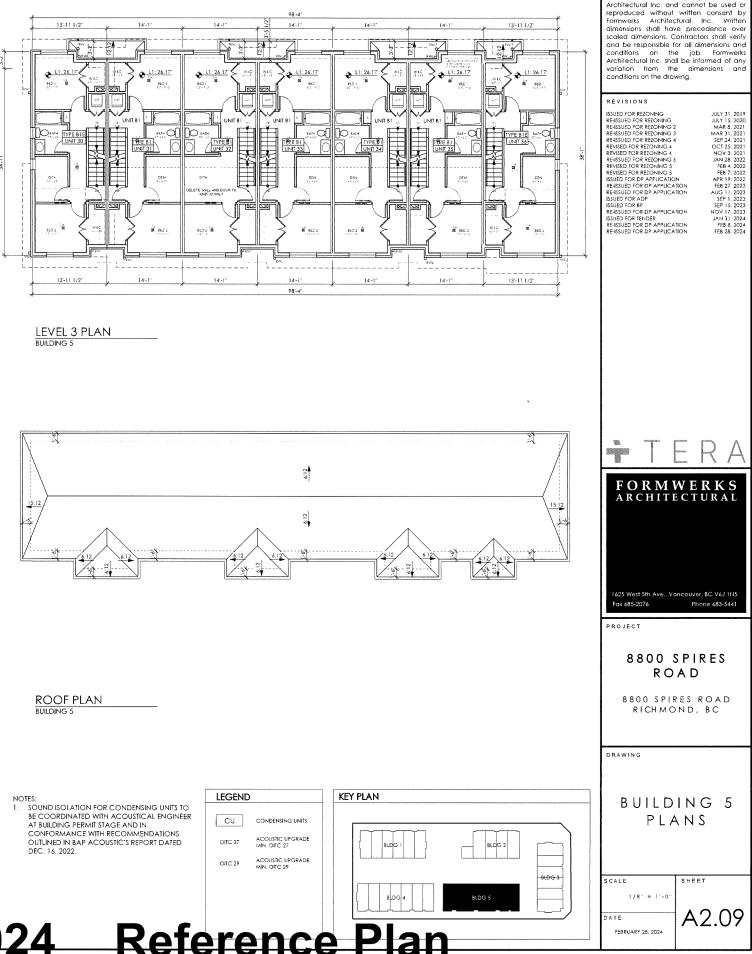


LEVEL 2 PLAN BUILDING 5

LEVEL 4 PLAN

BUILDING 5





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