



To: Development Permit Panel

Date: July 31, 2024

From: Joshua Reis
Director, Development

File: DP 21-934620

Re: **Application by Zhao XD Architect Ltd. for a Development Permit at 8031, 8051, 8071 No. 2 Road and 5760, 5780, 5786 Blundell Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 25 townhouse units at 8031, 8051, 8071 No. 2 Road and 5760, 5780, 5786 Blundell Road on a site zoned “Medium Density Townhouses (RTM3)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum front yard (north yard) and exterior side yard (east yard) from 6.0 m to 5.5 m.
 - b) Reduce the minimum lot width from 50.0 m to 43.0 m.

Joshua Reis, MCIP, RPP, AICP
Director, Development
(604-247-4625)

JR:cl
Att. 3

Staff Report

Origin

Zhao XD Architect Ltd. has applied on behalf of 1085796 BC Ltd., 1209136 BC Ltd., and XWJ Enterprises Ltd. (Directors: Jia Xun Xu, Hua Han and Jie Xu, respectively) to the City of Richmond for permission to develop 25 townhouse units at 8031, 8051, 8071 No. 2 Road and 5760, 5780, 5786 Blundell Road, on a site zoned “Medium Density Townhouses (RTM3)”. A location map of the subject site is provided in Attachment 1.

The site is being rezoned from the “Small-Scale Multi-Unit Housing (RSM/L)” zone to the “Medium Density Townhouses (RTM3)” zone for this project under Richmond Zoning Bylaw 8500, Amendment Bylaw 10378 (RZ 18-829337). The Bylaw was given third reading at the Public Hearing held May 16, 2022, and the applicant is working to complete all of the rezoning requirements.

A Servicing Agreement is required as a condition of rezoning bylaw adoption for servicing and frontage improvements, including construction of new sidewalks and treed/grass boulevards along No. 2 Road and Blundell Road, and widening of the existing driveway crossing to be shared with 8091 No. 2 Road to a width of 7.5 m, consistent with the City’s Engineering Design Specifications.

Development Information

Please refer to attached Development Application Data Sheet for a comparison of the proposed development data with the relevant Bylaw requirements (Attachment 2).

Background

The subject site is located on the southwest corner of the intersection of No. 2 Road and Blundell Road. The site currently consists of six properties, each containing an existing single-detached dwelling and each having an individual driveway crossing to either No. 2 Road or Blundell Road. Existing development immediately surrounding the subject site is as follows:

- To the north: Immediately across Blundell Road, are lots zoned “Small-Scale Multi-Unit Housing (RSM/L)”, each containing single-detached dwellings and which are designated for “Arterial Road Townhouse” development under the Arterial Road Land Use Policy in the Official Community Plan (OCP).
- To the east: Immediately across No. 2 Road, are lots zoned “Community Commercial (CC)”, “Community Commercial (ZC14) – Blundell Road”, and “Neighbourhood Commercial (CN)”, which are occupied by the Blundell Plaza shopping centre.
- To the south: A lot zoned “Medium Density Townhouses (RTM1)”, containing 10 townhouses fronting No. 2 Road.
- To the west: Are lots zoned “Small-Scale Multi-Unit Housing (RSM/L)”, fronting Cantley Road, one of which contains a duplex and the other contains a single-detached dwelling. To the west, fronting Blundell Road, is a lot zoned “Medium Density Townhouses (RTM1)”, containing 16 townhouses.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on May 16, 2022. At the Public Hearing, concerns about the development proposal were expressed both in person and via written submissions. The nature of the concerns was primarily as follows:

- Comments respecting the proposed form of development with a preference to see apartment housing, which may be more affordable and have a lower lot coverage to enable tree and wildlife retention.
- The residents of the existing neighbouring townhouse site to the south at 8091 No. 2 Road were opposed to the proposed use of the shared driveway for vehicle access to the subject site due to cost-sharing and maintenance concerns, increased volume of traffic and parking, and traffic safety.

The proposed use is in compliance with the Official Community Plan land use designation and the Arterial Road Land Use Policy, and the applicant is proposing a townhouse development consistent with that designation. The retention of existing healthy trees was determined as part of the Rezoning Application and replacement of trees proposed for removal is proposed to be provided at a greater than 2:1 ratio.

In response to the concerns raised about the driveway use, staff have confirmed that there is an existing Statutory Right-of-Way (SRW) for Public-Right-of-Passage registered on Title of the townhouse site to the south at 8091 No. 2 Road for shared use of the driveway to access the subject site and that the driveway crossing will be widened and frontage improvements undertaken consistent with the City's current design standards. This approach serves to reduce the number of driveway crossings which can otherwise contribute to vehicle and pedestrian conflicts. Staff have continued to work with the applicant to encourage them to come to an agreement with the owners of the neighbouring townhouse site on the cost-sharing and maintenance of the driveway. To-date the applicant has advised that their efforts to engage their neighbours on this matter are ongoing and that the two parties are close to finalizing the terms of the agreement. The applicant has advised that the two parties will finalize the agreement as the proposal moves forward to construction stage.

During the rezoning process, staff also identified the following design issues to be resolved at the Development Permit (DP) stage:

- Detailed design review for compliance with the DP Guidelines for townhouses in the OCP.
- Review of the size and species of proposed new trees to ensure an appropriate mix of deciduous and coniferous tree species.
- Refinement of the common outdoor amenity space design and programming.
- Review of accessibility features, including the provision of Convertible Units and aging-in-place features in all units.
- Review of the sustainability features proposed as part of the development.

- Review of any necessary noise attenuation features to be incorporated into the design to mitigate impacts from traffic noise, as well as confirmation that the noise generated by any proposed exterior mechanical systems complies with City bylaws.

Through the review of this DP Application, staff worked with the applicant to address these issues to staff's satisfaction and to ensure that the proposed architectural form and character is consistent with the intent of the applicable design guidelines contained within the OCP. The applicant has made revisions to the proposal to address the design issues identified, including:

- Revising the Landscape Plan to increase tree sizes and provide a greater variety of tree species throughout the site, as well as to refine the common outdoor amenity space design to provide for greater shrub and tree planting.
- Demonstrating on the plans that all applicable accessibility features are incorporated into the design of the four Convertible Housing units and that all units contain aging-in-place features.
- Describing the sustainability features proposed as part of the development, including confirmation that the proposed design will comply with the Energy Step Code.
- Incorporating noise attenuation features into the building design to mitigate traffic noise impacts consistent with the report recommendations by a registered Acoustic Engineer in order to meet the City's noise standards for interior living spaces, such as upgraded glazing and exterior wall assemblies (wall and glass type/thickness) for specific areas of the buildings, as shown on the drawings.
- Providing confirmation that noise associated with operation of the proposed exterior mechanical system (e.g., heat pump condenser units) will comply with the City's noise regulation bylaw and the City's guidelines for interior noise standards.

Staff Comments

The proposed scheme attached to this report (Plans # 1 to 4.I) has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject DP Application. In addition, it complies with the intent of the applicable sections of the OCP and is generally in compliance with the "RTM3" zone, with the exception of the zoning variances noted below.

Zoning Compliance/Variations (staff comments in *bold*)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Reduce the minimum front yard (north yard) and exterior side yard (east yard) from 6.0 m to 5.5 m.

Staff supports the proposed variance for the following reasons:

- *It assists with off-setting the reduced lot dimensions resulting from road dedication to accommodate the required frontage improvements along both No. 2 Road and Blundell Road. Furthermore, the distance between the proposed buildings and the curb of the road remains at approximately 9.0 m despite the technical variance.*

- *Although the setback is reduced, the proposal maintains consistency with the minimum private outdoor space guidelines in the OCP (30 m² per unit) through the provision of a combination of yards at grade as well as secondary balconies along the drive-aisle on the second level of the three-storey units.*
- *Due to its location on an arterial roadway, the applicant has submitted an acoustic report and documentation by registered Acoustical and Mechanical Engineers, which confirm that the proposal will comply with the standards for interior noise levels and thermal comfort conditions in the OCP. Prior to DP issuance, a traffic noise covenant is to be registered on Title for public awareness and to ensure construction complies with the City's standards.*

This variance was identified as part of the Rezoning Application and no concerns on this matter were raised by members of the public at that time.

- b) Reduce the minimum lot width from 50.0 m to 43.0 m.

Staff supports this as it is a technical variance due to the resulting lot geometry after land assembly and the lot width measurement being derived using the shorter frontage on a corner lot. The proposal demonstrates that a functional site plan that meets the design guidelines in the OCP is achievable for this townhouse proposal despite the technical variance.

Advisory Design Panel Comments

The Advisory Design Panel review of the proposal was held on October 5, 2023, and received support to move forward to the DP Panel subject to the applicant giving consideration to the comments identified by the Panel members. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The proposed townhouses at the subject site have been designed with consideration of the existing surrounding housing context and are consistent with the design guidelines in the OCP for townhouses on arterial roads.
- Three-storey units are proposed along No. 2 Road consistent with that of townhouses to the south, and three-storey units proposed along Blundell Road step down to two-storeys next to existing two-storey townhouse end units to the west.
- Two-storey units in duplex form, with wider than minimum setbacks to the ground and second floors, are proposed along the rear yard interface with existing single-detached housing to the west, consistent with the design guidelines for Arterial Road Townhouses in the OCP (i.e., minimum 4.5 m and 6.0 m, respectively).

Site Planning, Access, and Parking

- The proposed development is for 25 townhouse units on a site that will be approximately 4,040 m² in area after the required road dedication along No. 2 Road and Blundell Road.

- The site layout consists of seven buildings located on either side of a drive-aisle that runs parallel to No. 2 Road and then west to run parallel to Blundell Road, as follows:
 - Two three-storey buildings are proposed fronting No. 2 Road, on the east side of the north-south leg of the drive-aisle, each of which contain six units (Buildings 1 and 2).
 - Two three-storey buildings are proposed fronting onto Blundell Road, on the north side of the east-west leg of the drive-aisle, one of which is a fourplex and the other a triplex (Buildings 3 and 4). The end unit at the west end of Building 4 steps down to two-storeys consistent with that of the existing adjacent townhouse end unit to the west.
 - Three two-storey duplex buildings are proposed on the west side of the north-south leg of the drive-aisle, along the rear yard interface with existing single-detached housing (Buildings 5 to 7).
- Vehicle access to the subject site was reviewed as part of the Rezoning Application and supported by the City's Transportation Department. Vehicle access to the site is proposed from No. 2 Road via the existing adjacent driveway crossing to the south at 8091 No. 2 Road, over which is secured a SRW for Public-Right-of-Passage for shared access to the subject site and which is to be widened to a total of 7.5 m as part of this development. As part of the Rezoning Application for the subject site, the applicant is required to register a reciprocal SRW for Public-Right-of-Passage on Title allowing residents and visitors of both sites to cross over the shared drive-aisles.
- Pedestrian access to the site is proposed from both No. 2 Road and Blundell Road via pathways between buildings, as well as via the shared driveway. The dual use of the shared driveway by both vehicles and pedestrians is highlighted by its decorative surface treatment at the entry.
- On-site parking is provided consistent with Richmond Zoning Bylaw 8500. Resident vehicle parking spaces are proposed in individual garages, while surface parking spaces are provided at various locations on-site for visitors. Bike parking is also proposed within individual garages, while a bike rack for visitors is proposed at the pedestrian access to the site between Buildings 2 and 3.
- A centralized storage room that is adequately sized to accommodate the required waste and recycling bins is incorporated into the south end of Building 1 near the entrance to the site for ease of servicing.

Architectural Form and Character

- The proposed building massing and height is intended to be sympathetic to and compatible with that of the existing surrounding context of varied development such as three-storey townhouses along the arterial roads, two-storey housing to the west and commercial development immediately across the street and on the northeast corner of No. 2 Road and Blundell Road.
- The proposed architectural character is inspired by the "French style" with an integration of the main mansard roof with the upper floor windows, creating a dormer-like expression that reflects a traditional residential character and assists with breaking down the apparent building height.

- The design employs repetition of typical residential façade components such as covered unit entries or entries accentuated with architectural detailing (e.g., pilasters and cornices) that are in alignment with upper floor windows, which assist to define each individual townhouse unit and to create a rhythm of expression along the street, while appropriate façade and colour variations are also provided to minimize monotony.
- Façade articulation and the proposed material and colour palette assist with providing visual interest and breaking down the buildings into smaller components. Masonry veneer cladding is proposed for portions of the ground floor walls while stucco and metal roofing in varying shades of the colour palette is proposed on upper stories.

Open Space & Landscape Design

- Common outdoor amenity space is centrally located on-site and is sized in accordance with the design guidelines in the OCP (150 m²). The space contains bench seating, a children's play structure that provides for climbing, jumping, sliding and imaginative play, a lawn area, as well as a variety of plant material and a Katsura Tree.
- Private outdoor space for each of the units is provided consistent with the size guidelines in the OCP (min. 30 m² per unit) and is primarily in the form of yards at grade, with secondary balconies along the internal drive-aisles for the street-fronting units.
- On-site tree retention and removal was assessed as part of the Rezoning Application, at which time it was identified that:
 - One tree on the subject site, as well as one shared tree, a hedge and five trees on the neighbouring property to the west at 8080 Cantley Road, are to be retained and protected (Trees # 385, 391, A to E). To ensure that retained trees are protected and maintained, the applicant is required to submit a Tree Survival Security in the amount of \$10,000.00 prior to final adoption of the rezoning bylaw.
 - 12 trees, including two significant trees, are to be removed and 26 replacement trees are required to be planted and maintained on-site.
- The Landscape Plan shows the trees that are to be retained and removed, and also shows that a mix of 31 deciduous and coniferous replacement trees are proposed to be planted and maintained on-site, which exceeds the required number of replacement trees (i.e., Columnar Bowhall Maple, Katsura Tree, Dawyck Gold Beech, Vanderwolf's Pyramidal Limber Pine, and Pink Flowered Japanese Snowbell).
- A variety of shrubs, grasses, perennial plants, and groundcovers are also proposed on-site, including (but not limited to): Azalea, Boxwood, Hydrangea, Skimmia, Viburnum, Evergold Japanese Sedge, Dwarf Fountain Grass, False Spirea, and Western Sword Fern.
- The Landscape Plan indicates that all soft landscaped areas are to be equipped with a high-efficiency automatic irrigation system designed to industry standards.
- To define the street edge and clearly distinguish between public and private space along the street frontages, low fencing with pedestrian gates is proposed, while solid wood privacy fencing is proposed around the perimeter of the site.

- A concept for exterior lighting is provided and includes low bollard lighting at pedestrian access points, pathways and in the common outdoor amenity space, as well as downward-oriented building-mounted lighting at unit entries, along the drive-aisle and between buildings.
- To ensure that the Landscape Plan is adhered to, the applicant is required to submit a Landscaping Security in the amount of \$206,124.58, which is based on 100 per cent of the landscape cost estimate prepared by the Registered Landscape Architect (including installation and a 10 per cent contingency) prior to DP issuance. The applicant must also enter into a legal agreement to accompany the Landscaping Security, which sets the terms for use and release of the security.

Indoor Amenity Space

- Consistent with the OCP, and as considered as part of the Rezoning Application, the applicant proposes to submit a contribution in the amount of \$55,961.00 to the City's Leisure Facilities Reserve Fund prior to rezoning bylaw adoption in-lieu of the provision of common indoor amenity space on-site.

Accessible Housing

- The proposed development includes four Convertible Units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair or with mobility constraints. The potential conversion of these units will require the installation of a stair lift.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell handrails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Sustainability

- The applicant has submitted written confirmation from their certified Energy Advisor that the proposed design will meet BC Energy Step Code 3 with a low carbon energy system. The key technical elements that enable this performance target to be achieved include additional insulation in building assemblies (walls, ceilings, roof, floors, slab), electric hot water tank, air source heat pumps for both heating and cooling and a heat recovery ventilation system. To minimize visual impact, the heat pump condenser units for the three-storey buildings are proposed to be located on the second-floor balconies along the internal drive-aisle while the condenser units for the two-storey buildings are proposed to be tucked into the articulated rear building façades. The applicant has provided a report from an acoustical engineer confirming that the heat pumps will comply with the City's Noise Regulation Bylaw.

- The proposed energy performance target is consistent with the provisions for in-stream applications that were submitted to the City prior to October 31, 2023, subject to the DP application being considered and endorsed by the DP Panel and a complete Building Permit application being submitted prior to October 31, 2024. Should the applicant be unable to meet these deadlines, the proposal must be updated to meet the current BC Energy Step Code performance targets (e.g., Step 3 + EL-4).
- Additional environmentally sustainable features of the proposal identified by the applicant include:
 - Energized outlets to support electric vehicle (EV) charging for all resident parking spaces, as required by Richmond Zoning Bylaw 8500.
 - Stucco made from all natural ingredients to be used as the primary cladding material.
 - Permeable pavers to maximize stormwater infiltration potential.

Crime Prevention Through Environmental Design

- The applicant has identified that the proposal responds to the following principles of CPTED, as encouraged in the design guidelines contained within the OCP:
 - Natural access control is demonstrated through a clearly-defined vehicle access point and individual unit entries, along with low fencing and landscaping to differentiate between public and private space without impeding natural surveillance.
 - Natural surveillance is also facilitated by the centralized location of the common outdoor amenity space, and windows and balconies overlooking the internal drive-aisle, pathways, spaces between buildings, and providing “eyes on the street” along No. 2 Road and Blundell Road. Lighting and clear sightlines provide unobstructed views throughout the site.
 - To ensure that the site is seen as a defensible space, the future strata council will need to ensure that landscaping, lighting and equipment is maintained and kept operable so that spaces are used for their intended purpose.

Site Servicing and Off-site Improvements

- Servicing and off-site improvements to support the proposed development were identified during the Rezoning Application review process and are required to be designed and constructed through a Servicing Agreement. The scope of the required works includes:
 - Design and construction of potential storm sewer upgrades, removal of a portion of an existing sanitary sewer line, as well as replacement of a portion of an existing water main that may be impacted by construction and the required upgrades.
 - Replacement of the existing boulevard condition with a new 2.0 m wide sidewalk at the new property line and minimum 1.5 m wide treed/grass boulevard along both No. 2 Road and Blundell Road, as well as widening of the existing driveway crossing at 8091 No. 2 Road to a width of 7.5 m consistent with the City’s design specifications.
- To accommodate the required works and potential future road widening, road dedication ranging from approximately 0.9 m to 2.75 m is required along No. 2 Road and Blundell Road as secured through the Rezoning Application.

Conclusion

This proposal is for a 25-unit townhouse development on a land assembly involving six lots at 8031, 8051, 8071 No. 2 Road and 5760, 5780, 5786 Blundell Road.

The applicant has addressed the design issues identified through the Rezoning Application review process, as well as additional staff comments regarding site planning, urban design, architectural form and character and landscape design identified as part of the DP Application review process. The proposal provides an appropriate response to the surrounding townhouse and low-density housing context and conforms to the applicable policies and design guidelines contained within the OCP.

The proposed development complies with the requirements of the “RTM3” zone, with the exception of the variances discussed.

On this basis, staff recommend that the DP be endorsed, and issuance by Council be recommended.



Cynthia Lussier
Planner 2
(604-276-4108)

CL:he

- Att. 1. Location Map
- 2. Development Application Data Sheet
- 3. Excerpt from the October 5, 2023 Advisory Design Panel meeting minutes and the Applicant’s design response

The following are to be met prior to forwarding this application to Council for issuance:

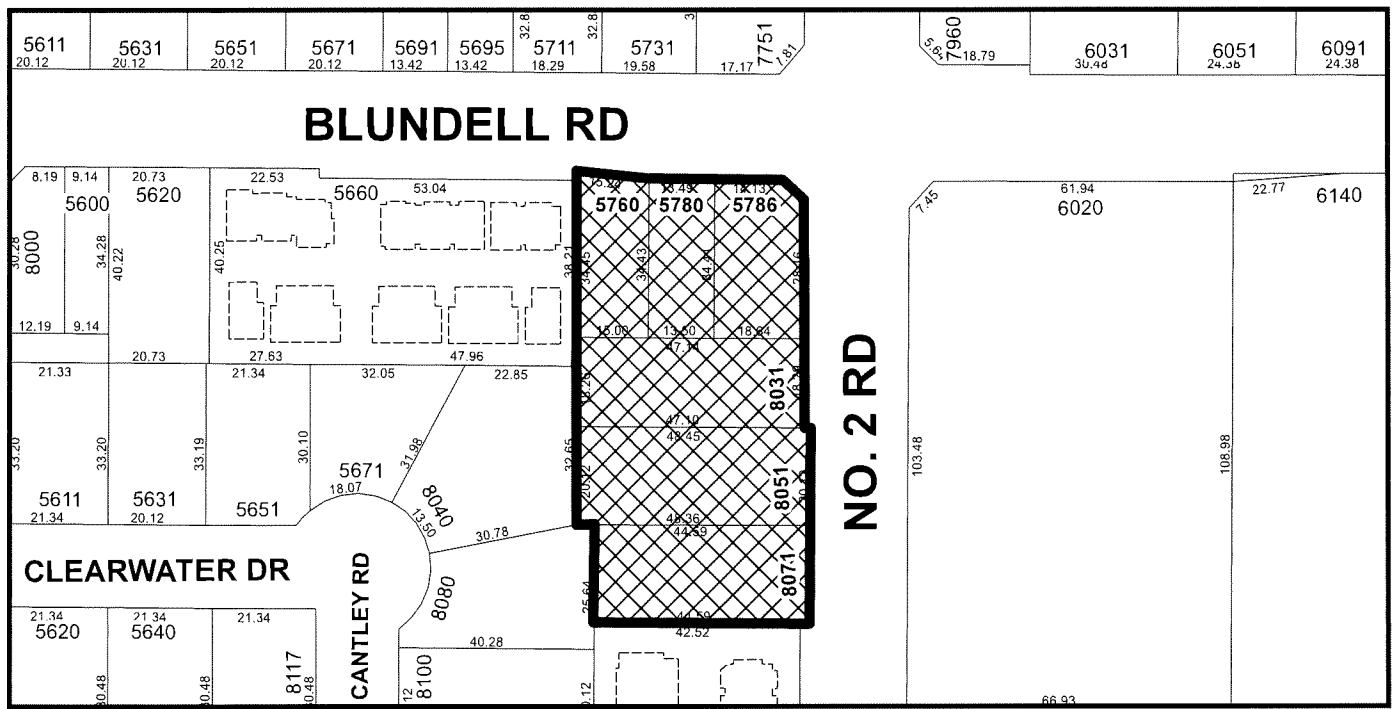
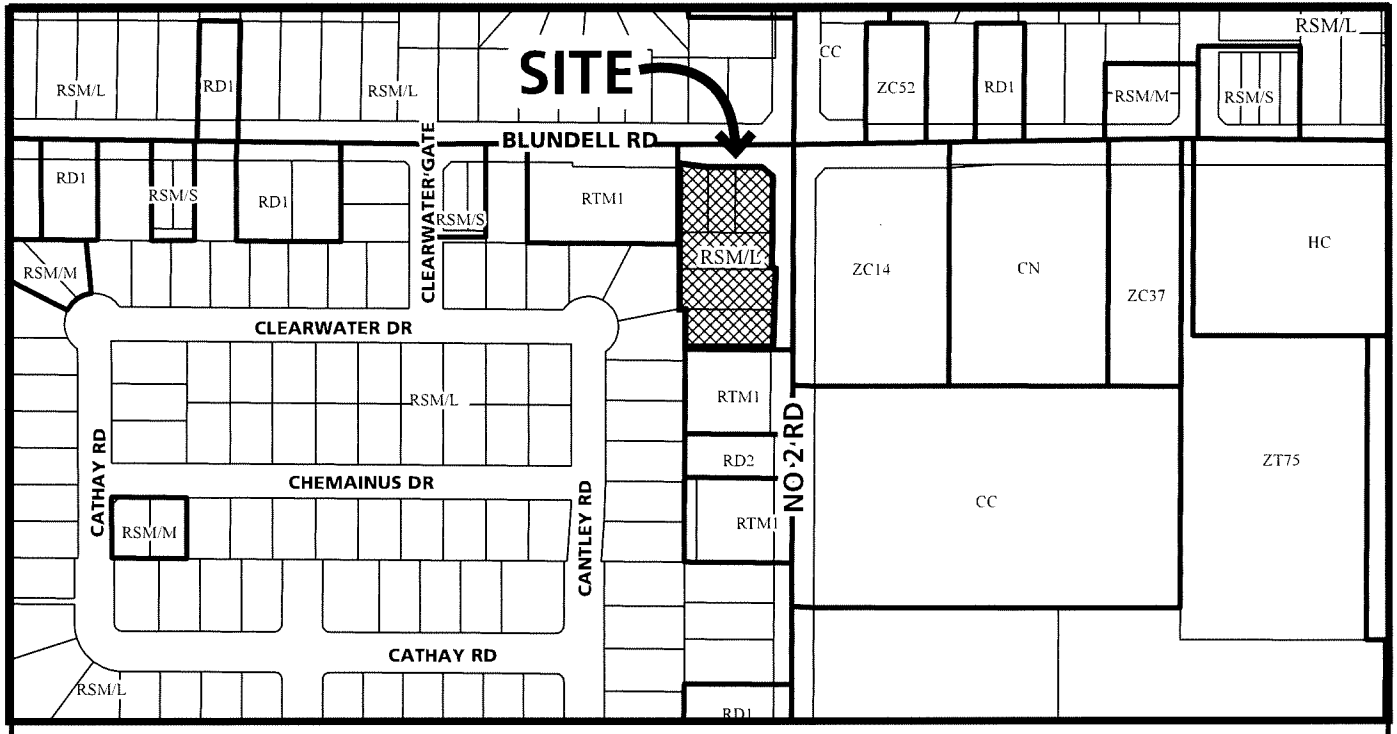
- 1. Final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 10378.
- 2. Receipt of a Letter of Credit or other form of security acceptable to the City for landscaping in the amount of \$206,124.58 (100% of the cost estimate provided by the Registered Landscape Architect, including all materials, installation, and a 10% contingency). To accompany the landscaping security, a legal agreement that sets the terms for use and release of the security must be entered into between the applicant and the City.
- 3. Registration of a legal agreement on title identifying that the proposed development must be designed and constructed in a manner that mitigates the impacts of traffic noise to the proposed dwelling units while still enabling appropriate interior thermal conditions to be met. Dwelling units must be designed and constructed to achieve:
 - a) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b) the ASHRAE 55-2004 “Thermal Environmental Conditions for Human Occupancy” standard for interior living spaces, and subsequent updates as they may occur.
4. Payment of all fees in full for the cost associated with the Development Permit Panel Meeting Notices, consistent with the City’s Consolidated Fees Bylaw No 8636, as amended.

Prior to future Building Permit issuance, the applicant is required to complete the following:

- Incorporation of accessibility measures in Building Permit plans and construction, as determined via the Rezoning and Development Permit applications (e.g., Aging-in-place features in all units and four Convertible Units).
- Incorporation of energy efficiency measures in Building Permit plans and construction to meet or exceed the applicable Energy Step Code performance target.
- Obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).
- If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



DP 21-934620

Original Date: 07/07/21

Revision Date: 07/29/24

Note: Dimensions are in METRES



DP 21-934620

Address: 8031, 8051, 8071 No. 2 Road and 5760, 5780, 5786 Blundell Road

Applicant: Zhao XD Architect Ltd.

Owner: 1085796 BC Ltd.

1209136 BC Ltd.

XWJ Enterprises Ltd.

Planning Area(s): Blundell

	Existing	Proposed
Site Area:	4,272.6 m ² (45,988.8 ft ²)	4,040.1 m ² (43,486.5 ft ²) after road dedication
Land Uses:	Single Detached Residential	Townhouse
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Small-Scale Multi-Unit Housing (RSM/L)	Medium Density Townhouses (RTM3)
Number of Units:	6	25

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.70	0.70	None permitted
Floor Area (Net):	Max. 2,828.07 m ² Max. (30,440.2 ft ²)	2,828.07 m ² (30,440.2 ft ²)	None permitted
Lot Coverage – Buildings:	Max. 40%	39.9%	None
Lot Coverage – Non-porous Surfaces:	Max. 65%	64.8%	None
Lot Coverage – Live Plant Material:	Min. 25%	25%	None
Setback – Front Yard (North):	Min. 6.0 m	5.5 m	To reduce from 6.0 m to 5.5 m
Setback – Exterior Side Yard (East):	Min. 6.0 m	5.5 m	To reduce from 6.0 m to 5.5 m
Setback – Interior Side Yard (West):	Min. 3.0 m	Bldg. 4 – 3.0 m Bldgs. 5 to 7 – min. 4.5 m (50% ground floor) and 6.0 m (50% ground floor & all second floor)	None
Setback – Rear Yard (South):	Min. 3.0 m	3.0 m	None
Building Height:	Max. 12.0 m (3 storeys)	Bldgs. 1 to 4 – 12.0 m Bldgs. 5 to 7 – 9.0 m	None
Minimum Lot Depth:	Min. 35.0 m	90.3 m	None

	Bylaw Requirement	Proposed	Variance
Minimum Lot Width:	Min. 50.0 m	43.8 m (average)	To reduce from 50.0 m to 43.0 m
On-site Vehicle Parking Spaces:	Min. 50 (R) and 5 (V)	50 (R) and 5 (V)	None
Standard Size:	Min. 50% (28)	69% (38)	None
Small Size:	Max. 50% (27)	31% (17)	
Tandem Vehicle Parking Spaces:	Max. 50% (25)	44 % (22)	None
Accessible Vehicle Parking Spaces:	Min. 2% - 1 Van Accessible Parking Space	1 Van Accessible Parking Space	None
Total Vehicle Parking Spaces:	55	55	None
Amenity Space – Indoor:	Min. 70 m ²	Cash-in-lieu	None
Amenity Space – Outdoor:	Min. 6 m ² /unit (i.e., 150 m ²)	150 m ²	None

Excerpt from the Minutes from
The Advisory Design Panel Meeting

Thursday, October 5, 2023 – 4:00 p.m.
Remote (Webex) Meeting

1. **DP 21-934620 – 25-UNIT TOWNHOUSE DEVELOPMENT WITH VEHICLE ACCESS VIA THE ADJACENT SITE TO THE SOUTH**

ARCHITECT: Zhao XD Architect Ltd.

LANDSCAPE ARCHITECT: PMG Landscape Architects

PROPERTY LOCATION: 8031, 8051, 8071 No. 2 Rd and 5760, 5780, 5786
Blundell Road

Applicant's Presentation

Architect Xuedong Zhao, Zhao XD Architect Ltd., and Landscape Designer Denitsa Dimitrova, PMG Landscape Architects, presented the project and answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- consider relocating the proposed accessible parking space from the west of the common outdoor amenity space to an area adjacent to the internal drive aisle at the corner and to make it more centrally located and accessible to residents of the convertible units;

The other visitor parking locations (V1, V2 and V3) are facing the drive aisle with busier traffic, which are less ideal for accessible parking in terms of maneuvering and wheelchair path safety. The suggested location at the corner has the same concern as it would be immediately adjacent to the other two driveways. Since the development site is not very large, the proposed V4 parking space is in an accessible location.

- consider relocating the mail kiosk and visitor bike rack from the main vehicle entrance to the site to the area near Unit A2 in Building 5 and the would be relocated accessible parking space to make them less visible from the street but more accessible to residents;

The mail kiosk and visitor bike rack have been relocated (see revised plans).

- appreciate the provision of aging-in-place features to all of the townhouse units;
Noted.

- consider installing wider doorways to the secondary bedrooms of the four convertible units to accommodate mobility devices;

The doors to other two bedrooms are changed to wider door width per suggestions (see updated Sheet A13).

- not concerned about the proposed colour palette as they don't appear overly monotonous;
- the proposed design of Building 3 at the corner of No. 2 Road and Blundell Road does not incorporate landmarks; agree with staff comment that the applicant needs to incorporate a unique feature into the building design to improve the corner treatment in order to better highlight its presence at the street intersection;

A landscaping option (i.e., a unique on-site planting area) is proposed to provide visual interest at the corner to respond to this ADP comment (see updated site plan with notes and landscape architectural plans).

Furthermore as originally proposed, the east elevation of Building 3 (for the Unit 3 amongst the Unit B series) is specially designed for street frontage exposure with more glazing (windows) and more decorative items (brackets), while the other Unit B series come with simpler articulated façade treatments since they are not facing the No.2 Road and Blundell Road street corner.

The "corner turret" in rectangular shape is designed as a unique feature for the building to improve its corner treatment in order to better highlight a presence at the street intersection.

- appreciate the provision of permeable pavers on certain portions of the subject site; however, consider a regular asphalt or porous asphalt treatment in lieu of permeable pavers at the main vehicle entrance to the site as permeable pavers may not be durable enough and not able to support in the long term the expected heavy use of large garbage and recycling trucks;

For the pavement articulations for the "street front" as well as for the south neighbour (in light of shared driveway use) the proposed permeable pavers are an aesthetically better selection for the driveway than asphalt paving. The proposed permeable pavers are selected to match those on the neighbouring site to the south for its strength and durability to suit the traffic load requirements (see Sheet L-1).

- consider installing gable roofs for the proposed townhouse buildings to make the proposed development fit better into the existing neighbourhood, break down the overall mass of the buildings, and provide more identity to individual units;

Very minor gable roof accents are used in the design. As the architectural form/design for the development is inspired by "French style", with mainly mansard roof (or gambrel-style hip roof), little gable roofs are proposed to fit this type of design intent. As the neighbourhood surrounding the site consists of a variety of different building types and styles, including both hip and gable

roofs, as well as commercial flat buildings across the street, the architectural form and scale/massing as proposed for the development should fit well to the existing neighborhood.

The townhouse design employs such typical façade components to be repeated such as “front door and porch” in alignment with 2nd floor and 3rd floor windows with roof dormer, to make their visibility for individual townhouse units, as well as for their unity within their building complex. They can thus clearly read as “individual units” well embedded in the buildings and building complex.

- the main doors to the two-storey rear units facing the internal drive aisle need further architectural articulation to emphasize the main entries to units and make them more welcoming relative to the amount of garage doors at the back and in order to mitigate the monotony of the mews;

The variations in colour (“Aged Pewter” as chosen from colour palette) on portions of these 3 two-storey buildings are provided as suggested to emphasize the entries. See revised color elevations and perspectives for the entry areas on Buildings 5, 6 & 7 where the different colors are applied.

The colour of the entrance doors is also selected for its prominence, together with the articulated door canopies which are proposed above the doors to emphasize the main entry to townhouse units for the two-story buildings. Differentiation of the entrance door and garage door is further achieved with recessed walls (for both ground and upper stories) and recessed roof lines/eaves for the entrance doors, which also provide more transitional space at door front for functionality. Additional articulations are also employed for the entrance doors, such as the decorative brackets and lighting fixtures. To mitigate “the monotony of the mews”, the building form for Building 7 is designed slightly differently from Buildings 5 and 6.

- consider a north-south orientation for the lane at the back of Buildings 3 and 4 with the open end of the lane facing Blundell Road to create a more arterial face to the Blundell Road frontage of the proposed development;

The development is on a corner lot facing two streets. The intent of City design guidelines is to avoid “side elevation” effects for the street frontage of the buildings as much as possible. Since the property has shorter frontage along Blundell Road than along No. 2 Road, we propose Building 3 with more front façade towards Blundell Road than to No. 2 Road, because we already have Buildings 1 and 2 with good amount of “building frontage” (facades) facing the No. 2 Road. To rotate Building 3 with “side elevation” facing Blundell Road would thus not be beneficial for the design of Blundell Road frontage. In addition, we have already addressed the “side elevation” issue, and the east elevation of Building 3 is designed with modifications for a more front-looking façade (refer to comments/responses for previous items).

- consider wrapping architectural features on the corner of Building 3 at No. 2 Road and Blundell Road to provide more articulation to the building faces highly visible from the street;

As rationalized above, the east elevation of Building 3 (for Unit B series) is specially made for street frontage exposure with more glazing (windows) and more decorative items (brackets), while the other Unit B series come with simpler articulated façade treatments since they are not facing the No. 2 Road and Blundell Road street corner.

The corner “turret” in rectangular shape is used to highlight the building’s presence at the street intersection. The proposed projections and recesses, as well as the breakthrough of the eave line/roof line for the ‘turret’, make it an outstanding architectural feature to achieve the same intent also as suggested by ADP.

- ensure that the proposed stucco exterior wall cladding treatment will achieve its architectural intent for the buildings;

The mix of materials are proposed to break down the apparent use of the stucco. The proposed stucco wall areas are divided and segregated by other building composition elements (such as windows, trims, roof, sills) so that singular oversized stucco wall area is minimized in use. The intent is to mix the stucco wall areas well enough with other building materials, as well as to be applied on walls with recesses/projections in order to avoid a monotony of stucco material concentrated on one or more large exterior wall areas.

- the proposed mail kiosk at the main vehicle entrance to site is overly oriented towards the street; consider relocating to a more central location on the subject site;

The mail kiosk is relocated (see revised Site Plan).

- consider introducing more colour variation to the buildings to visually break down the overall mass of the buildings and prevent the monotonous repetition of architectural expression;

The ADP suggestions are considered and subtle variations have been introduced to the building design.

Since the architectural form/design is inspired by French style, the color variations are mainly the differentiations and interactions between the darker colored roof and the lighter colored building “body”. The vertical projections of window dormers, “chimneys” and “turrets” prevent the architectural composition from being too monotonous as typically presented in the French style. Within the lighter portion of the spectrum of the color palette for the buildings, variations between stucco, trims and stone veneer are introduced for more visual interest. However, additional variations are still added to the street front facades with different stucco colors for the recessed wall portions in the middle of Buildings 1 and 2, and between Building 1 and the garbage/recycling room. A darker colour from within the chosen colour

palette has also been added to portions of Buildings 5 to 7 to better highlight the entries (see revised elevations and perspectives).

- the City could consider installing street trees along the boulevard on No. 2 Road and Blundell Road;

As shown on the landscape plans, Columnar Bowhall Maple trees are proposed on-site in the yards along both frontages, and City street trees are required to be planted in the boulevards along No. 2 Road and Blundell Road.

- consider relocating the BC Hydro kiosk away from the children's play area should the applicant agree to the proposal to shift the children's play area to the west;

The currently proposed BC Hydro kiosk location is relatively hidden and centrally located as intended, as well as in consideration of BC Hydro maintenance requirements for its adjacency to driveway. There appears no better location for the kiosk for site plan design. The children's play area is properly separated from the kiosk for both visual and safety considerations. The children's play area is also well protected by fences and landscaping.

- planting strips fronting Buildings 5, 6 and 7 are very small and in close proximity to the internal drive aisle which could impact their survivability;

Good selections of the plant species are made for survivability of the plants (see landscape plans).

Little-leaf boxwood is proposed at these locations. The species is selected to suit the site condition. Once established this plant is typically quite drought tolerant.

- appreciate the proposed design of the children's play area; the proposed location of the mail kiosk at the main vehicle entrance is preferred by Canada Post as it is close to the road;
- investigate whether the roof overhang on Buildings 1 and 2 along No. 2 Road are over some of the plantings below; consider appropriate measures to ensure survivability of plantings, e.g. installing irrigation;

Good selections of the plant species are made for survivability of the plants (see Landscape Plans). "Valley Fire Pieris" is a plant that also prefers open shade for the best flowering and growth. "Morning Light Japanese Silver Grass" is also a low-maintenance plant. The extent of roof overhang on Buildings 1 and 2 is negligible in comparison of its 2-story height where sunlight and rainwater are accessible.

- support the Panel comment to install street trees along No. 2 Road and Blundell Road due to site's prominent corner location and in order to fit well with the surrounding landscape;

See written response to the item with the same topic above.

- consider revisiting the architectural articulation of Building 3 to better respond to its corner location; and

See two previous written responses to the Item(s) for the same topic.

- consider a terracing treatment for the one-meter high planter wall along No. 2 Road to break down the wall and in order to create a gradual approach to the grade transition along No. 2 Road.

The currently proposed planter also considers the “useable areas” of front yard patio and lawn, where additional layer of planter might make the front yards space less usable. Design revisions are however made for additional layer of the planters (see updated Landscape Plans).

Panel Decision

It was moved and seconded

That DP 21-934620 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



No. DP 21-934620

To the Holder: ZHAO XD ARCHITECT LTD

Property Address: 8031, 8051, 8071 No. 2 Road and
5760, 5780, 5786 Blundell Road

Address: 11181 VOYAGEUR WAY SUITE 255
RICHMOND BC V6X 3N9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the minimum front yard (north yard) and exterior side yard (east yard) from 6.0 m to 5.5 m.
 - b) Reduce the minimum lot width from 50.0 m to 43.0 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4.I attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$206,124.58 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 21-934620

To the Holder: ZHAO XD ARCHITECT LTD

Property Address: 8031, 8051, 8071 No. 2 Road and
5760, 5780, 5786 Blundell Road

Address: 11181 VOYAGEUR WAY SUITE 255
RICHMOND BC V6X 3N9

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

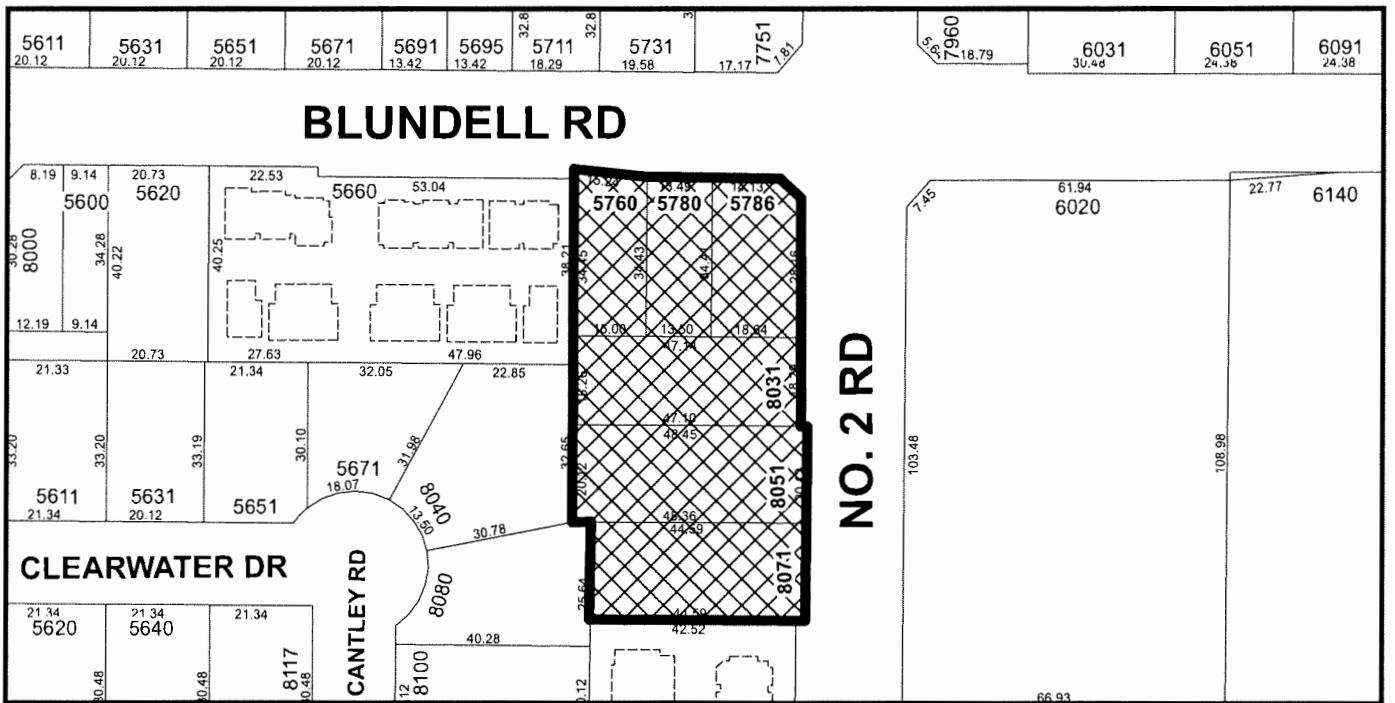
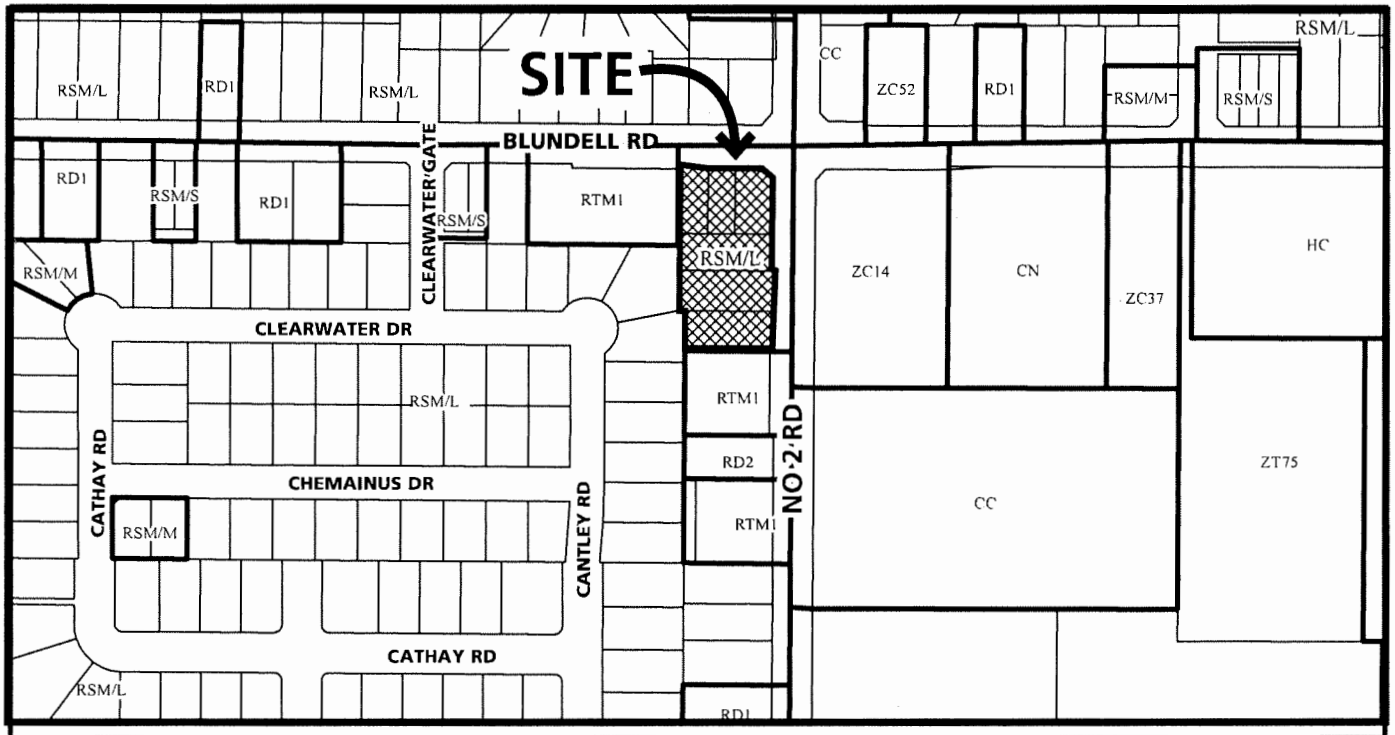
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 21-934620 SCHEDULE "A"

Original Date: 07/07/21

Revision Date: 07/29/24

Note: Dimensions are in METRES



CONTEXT PLAN

SCALE: NTS



F.A.R. CALCULATION: LOT AREA: 43486.0 SQ.FT.

F.A.R. (0.7): FAR (MAX.) = 30440.2 SQ.FT.

UNIT 'A' (COVERTIBLE UNIT)	2X	1239.30	SQ.FT.
UNIT 'A2' (COVERTIBLE UNIT)	2X	1239.30	SQ.FT.
UNIT 'B'		1186.80	SQ.FT.
UNIT 'B2'		1186.80	SQ.FT.
UNIT 'B3'	3X	1186.80	SQ.FT.
UNIT 'B4'	2X	1186.80	SQ.FT.
UNIT 'C'	2X	1236.00	SQ.FT.
UNIT 'C2'	2X	1236.00	SQ.FT.
UNIT 'D'	2X	1160.90	SQ.FT.
UNIT 'D2'	2X	1160.90	SQ.FT.
UNIT 'D3'	2X	1259.10	SQ.FT.
UNIT 'D4'		1259.10	SQ.FT.
UNIT 'E'		1364.70	SQ.FT.
UNIT 'E2'		1298.60	SQ.FT.
UNIT 'F'		1147.2	SQ.FT.

TOTAL PROPOSED = (0.7 FAR) 30440.20 SQ.FT.

F.A.R. CALCULATION: LOT AREA: 4040.10 S.M.

(NUMBERS IN METRIC)

F.A.R. (0.7): FAR (MAX.) = 2828.07 S.M.

UNIT 'A' (COVERTIBLE UNIT)	2X	115.14	S.M.
UNIT 'A2' (COVERTIBLE UNIT)	2X	115.14	S.M.
UNIT 'B'		110.26	S.M.
UNIT 'B2'		110.26	S.M.
UNIT 'B3'	3X	110.26	S.M.
UNIT 'B4'	2X	110.26	S.M.
UNIT 'C'	2X	114.83	S.M.
UNIT 'C2'	2X	114.83	S.M.
UNIT 'D'	2X	107.85	S.M.
UNIT 'D2'	2X	107.85	S.M.
UNIT 'D3'	2X	116.98	S.M.
UNIT 'D4'		116.98	S.M.
UNIT 'E'		126.79	S.M.
UNIT 'E2'		120.65	S.M.
UNIT 'F'		106.58	S.M.

TOTAL PROPOSED = (0.7 FAR) 2828.07 S.M.

AGING IN PLACE FEATURES FOR ALL UNITS.
 -SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS
 BESIDE TOILET, BATHTUB, AND SHOWER;
 -LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES;
 -STAIRWELL HANDRAILS;

NOTE: REQUIREMENTS FOR ELECTRIC VEHICLE (EV) CHARGER SHALL FOLLOW BULLETIN NO. ENGINEERING
 -05 AND BYLAW 8500. ALL RESIDENTIAL PARKING SPACES (EXCLUDING VISITOR PARKING), LEVEL 2 EV
 CHARGING OUTLETS (208V TO 240V AC AND CURRENT OF 16A TO 80A).

NOTE: 4 CONVERTIBLE UNITS ARE PROVIDED FOR THE DEVELOPMENT.

NOTE: MECHANICAL SYSTEMS IN THIS PROJECT WILL MEET THE THERMAL COMFORT REQUIREMENTS AS
 PER THE ASHRAE 55-2004 STANDARD AND SUBSEQUENT UPDATES.

DEVELOPMENT DATA

ADDRESS: #8031- 8071 NO. 2 ROAD, #5760 - 5786 BLUNDELL ROAD
 LEGAL DESCRIPTION: 1) LOT 234 EXCEPT PARCEL E (REFERENCE PLAN LMP40316), PLAN 57659
 2) LOT 235 EXCEPT: PARCEL F (REFERENCE PLAN LMP40316), PLAN 57659
 3) LOT 236 EXCEPT: PARCEL G (REFERENCE PLAN LMP40316), PLAN 57659
 4) SOUTHERLY 60 FEET LOT A EXCEPT; PART ON PLAN LMP43723, PLAN 16911
 5) LOT B PLAN 16911
 6) LOT 2 EXCEPT FIRSTLY; THE SOUTH 72 FEET AND SECONDLY; PART ON PLAN 43278; PLAN 6188
 ALL OF SECTION 24 BLOCK 4 NORTH RANGE 7 WEST NEW WESTMINSTER DISTRICT

P.I.D. NUMBERS: 003-829-529/003-829-731
 003-829-880/004-206-193
 003-644-375/001-931-164

PLANNING AREA(S) - ARTERIAL ROAD POLICY

	EXISTING	PROPOSED
SITE SIZE (SM):	4272.6 (45988.8 SF)	4040.1 (43486.5 SF) AFTER ROAD DEDICATIONS
LAND USES:	SINGLE-FAMILY RESIDENTIAL	TOWNHOUSE
OCP DESIGNATION:	NEIGHBOURHOOD RESIDENTIAL	NEIGHBOURHOOD RESIDENTIAL
AREA PLAN DESIGNATION:	OCP ARTERIAL ROAD POLICY	OCP ARTERIAL ROAD POLICY
ZONING:	SINGLE DETACHED (RS-1E)	MEDIUM-DENSITY TOWN HOUSING (RTM3)
NUMBER OF UNITS:	-	25

	BYLAW REQUIREMENT	PROPOSED	VARIANCE
FLOOR AREA RATIO:	0.7 2828.07 SM (30440.2 SF)	0.7 2828.07 SM (30440.2 SF)	NONE
LOT COVERAGE - BUILDING:	MAX. 40% 1616.1 SM (17394.6 SF)	40% 1613.3 SM (17387.4 SF)	NONE
LOT COVERAGE - LIVE LANDSCAPING:	MIN. 25% 1010.0 SM (10871.5 SF)	25% 1010.0 SM (10871.5 SF)	NONE
LOT COVERAGE - NON-POROUS AREA:	MAX. 65% 2626.1 SM (28265.9 SF)	65% 2620.8 SM (28208.9 SF)	NONE
COVERED AREA (SF):	MAX. 10% OF FSR	<10%	NONE
SETBACK - FRONT YARD (NORTH):	MIN. 6.0M	5.5M (BLDG. 3 & 4)	REQUIRED
SETBACK - EXTERIOR SIDE YARD (EAST):	MIN. 6.0M	5.5M (BLDG. 1, 2 & 3)	REQUIRED
SETBACK - INTERIOR SIDE YARD (WEST):	MIN. 3.0M	3.02M & 7.5M (3rd FL.) (BLDG. 4) 5.56M & 6.94M (50%) (BLDG 5 & 6) 4.5M & 6.0M (50%) (BLDG. 7)	NONE
SETBACK - REAR YARD (SOUTH)	MIN. 3.0M	3.0M (BLDG. 7)* 3.0M (1-STOREY GARBAGE/BLDG. 1)* 7.32M (MAIN BLDG. 1)	NONE
HEIGHT:	12M (3 STOREYS) 9M (2 STOREYS)	12M (3 STOREYS) 9M (2 STOREYS)	NONE
LOT SIZE (MIN. DIMENSIONS):	(MIN. 50M WIDE) (MIN. 35M DEEP)	45.8M WIDE 90.3M DEEP	REQUIRED NONE
RESIDENTIAL PARKING SPACES:	50 SPACES (2/UNIT)	50 SPACES (2/UNIT)	NONE
VISITOR PARKING SPACES	0.2 SPACES/ UNIT= 5	5 SPACES	NONE
OFF-STREET PARKING SPACES-TOTAL:	55 SPACES	55 SPACES	NONE
STANDARD SIZE PARKING SPACES:	50% MIN. = 28 SPACES	38 >28 SPACES	NONE
SMALL SIZE PARKING SPACES:	50% MAX. = 28 SPACES	17 <28 SPACES	NONE
TANDEM PARKING SPACES:	(MAX. 50% OF TOTAL PARKING) = 25 SPACES	22 SPACES	NONE
VAN ACCESSIBLE PARKING SPACES:	2% MIN.(FOR VISITOR) =1 SPACE	1 SPACE	NONE
CONVERTIBLE UNITS:	10% PROPOSED UNITS	4 UNITS	NONE
ELECTRIC VEHICLE (EV) CHARGER REQUIREMENTS:	BULLETIN NO. ENGINEERING-05 AND BYLAW 8500	LEVEL 2 EV CHARGING OUTLETS (208V TO 240V AC AND CURRENT OF 16A TO 80A).	NONE
BICYCLE PARKING SPACE-CLASS-1:	1.25 SPACES PER UNIT	2 SPACES PER UNIT	NONE
BICYCLE PARKING SPACE-CLASS-2:	0.2 SPACES PER UNIT	5 SPACES	NONE
AMENITY SPACE - INDOOR:	MIN. 70 SM OR CASH-IN-LIEU	CASH-IN-LIEU	NONE
AMENITY SPACE - OUTDOOR:	MIN. 6 SM PER UNIT	150 SM (1614.6 SF)	NONE
PRIVATE OPEN SPACE	MIN. 30 SM PER UNIT	MIN. 30 SM PER UNIT	NONE

* WITH PERMITTED GROUND FLOOR ENCROACHMENT (LESS THAN 0.6M)

STEP CODE NOTES:

This project will comply with the City of Richmond's Step Code requirements by meeting
 Energy Step Code 3 + a Low Carbon Energy System.
 Energy efficiency upgrades will include the following as needed:
 - Above grade walls: 2x6@16"oc R22 batt + 1.5" exterior rigid insulation
 - Ceilings: R50 insulation
 - US1-1 40 windows
 - Electric baseboards for space heating or air source heat pump for heating/cooling
 - Electric hot water tank for DHW
 - HRV for principal ventilation



**ZHAO XD
 ARCHITECT
 LTD.**

#255-11181 Voyageur Way,
 Richmond, BC V6X 3N9
 Tel. (604) 275-8882
 Fax (604) 909-1736

Email: info@zhaarch.com
 Web: zhaarch.com



2024-05-17

This drawing shall not be used for construction unless it is countersigned by the CONSULTANT.

**DP 21-934620
 PLAN # 1
 JULY 31, 2024**

19JUN/24	DPP
17MAY/24	DPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DDP
07JUL/21	ROAD DEDICATION
28APR/21	DP APPLICATION
02JULY/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

All drawings, specifications and other related documents are the copyright property of the CONSULTANT and shall be returned upon request. In whole or in part, is forbidden without the written permission of the CONSULTANT.

The contractor shall check and verify all pertinent dimensions and report any discrepancies to the CONSULTANT before proceeding with the work.

Project:
**TOWNHOUSE
 DEVELOPMENT
 @ NO. 2 ROAD &
 BLUNDELL ROAD**

8031-71 No. 2 Rd & 5760-86
 Blundell Rd., Richmond, BC

Drawing Title:
**SITE PLAN,
 CONTEXT PLAN
 & DATA**

Date: 2024-05-08

Scale: AS SHOWN

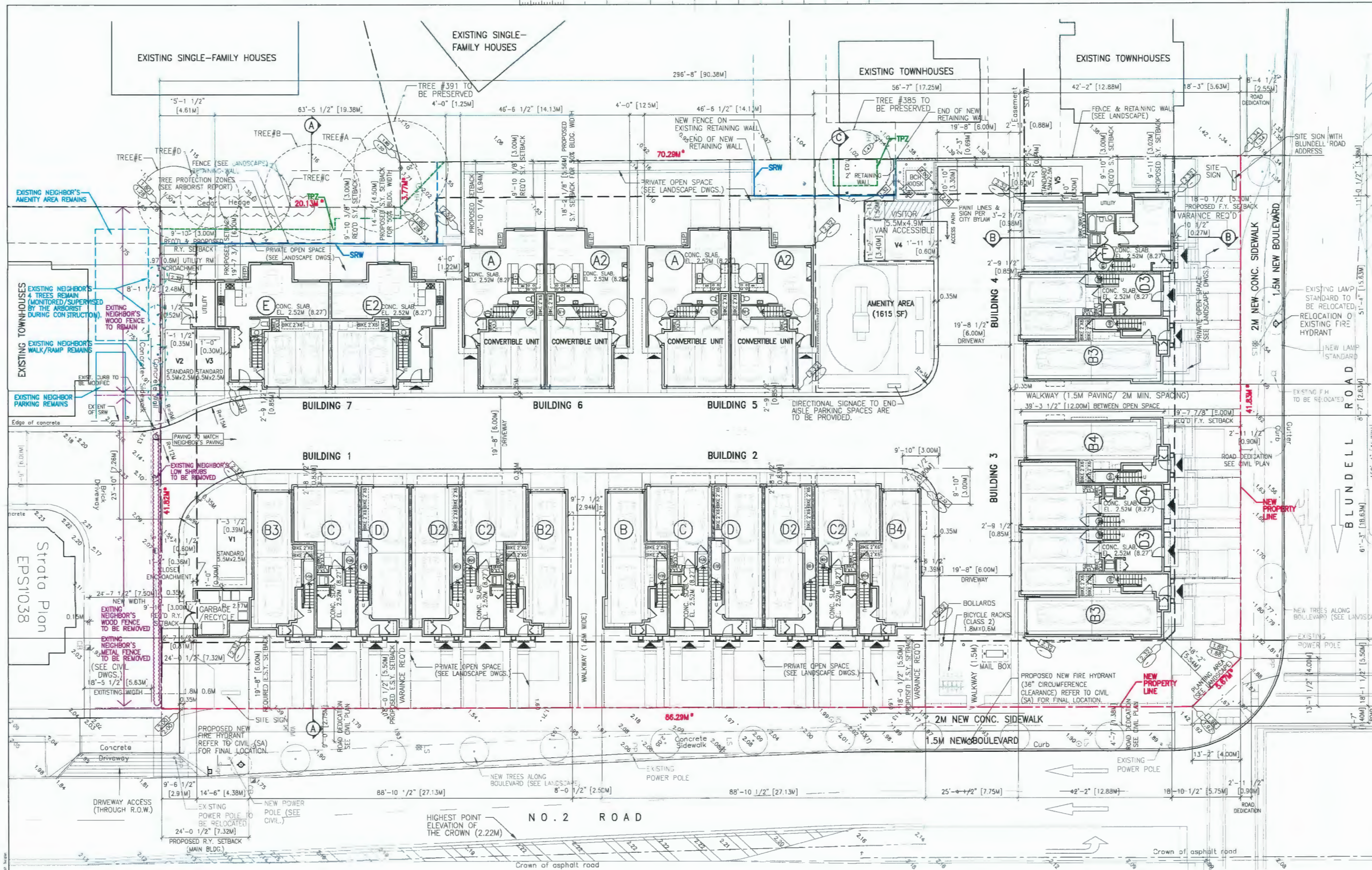
Drawn By: XD ZHAO

Checked By: XD ZHAO

Project No.: DP 21-934620

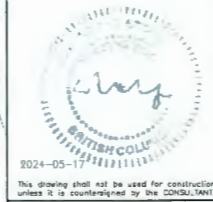
Drawing No.:

A1



ZHAO XD ARCHITECT LTD.

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Web: zhaarch.com



**DP 21-934620
PLAN # 2
JULY 31, 2024**

30JUL/24	OPP
17MAY/24	JPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/3DP
07JUL/21	ROAD DEDICATION
26APR/21	3P APPLICATION
02JULY/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:
**TOWNHOUSE DEVELOPMENT
@ NO. 2 ROAD &
BLUELLEL ROAD**

8031-71 No. 2 Rd & 5760-88
Blundell Rd., Richmond, BC

Drawing Title:
**SITE PLAN,
CONTEXT PLAN
& DATA**

Date:	2024-05-08
Scale:	AS SHOWN
Drawn By:	XD ZHAO
Checked By:	XD ZHAO
Project No.:	DP 21-934620
Drawing No.:	

AGING IN PLACE FEATURES FOR ALL UNITS:
-SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS BESIDE TOILET, BATHTUB, AND SHOWER;
-LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES;
-STAIRWELL HANDRAILS;
BC ENERGY STEP CODE REQUIREMENTS ARE TO BE ACHIEVED FOR THE DEVELOPMENT PROJECT.
PERIMETER DRAINAGE SHALL NOT ENCR OACH INTO SRWS.

LEGEND:
• WALL MOUNTED LIGHT
• HEAT PUMP
• PROPERTY LINE DIMENSIONS
• TO BE VERIFIED BY SURVEYOR

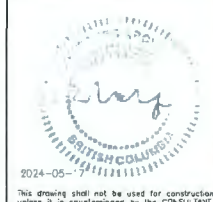
SITE PLAN
SCALE: 1"=12'-0"

LEGEND:
ELEV2 FINISHED GRADE ELEVATION
ELEV3 EXISTING GRADE ELEVATION



ZHAO XD ARCHITECT LTD.

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Web: zhaoarch.com



**DP 21-934620
PLAN # 2.A
JULY 31, 2024**

30JUL/24	OPP
17MAY/24	DPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DDP
07JUL/21	ROAD DEDICATION
26APR/21	DP APPLICATION
02JULY/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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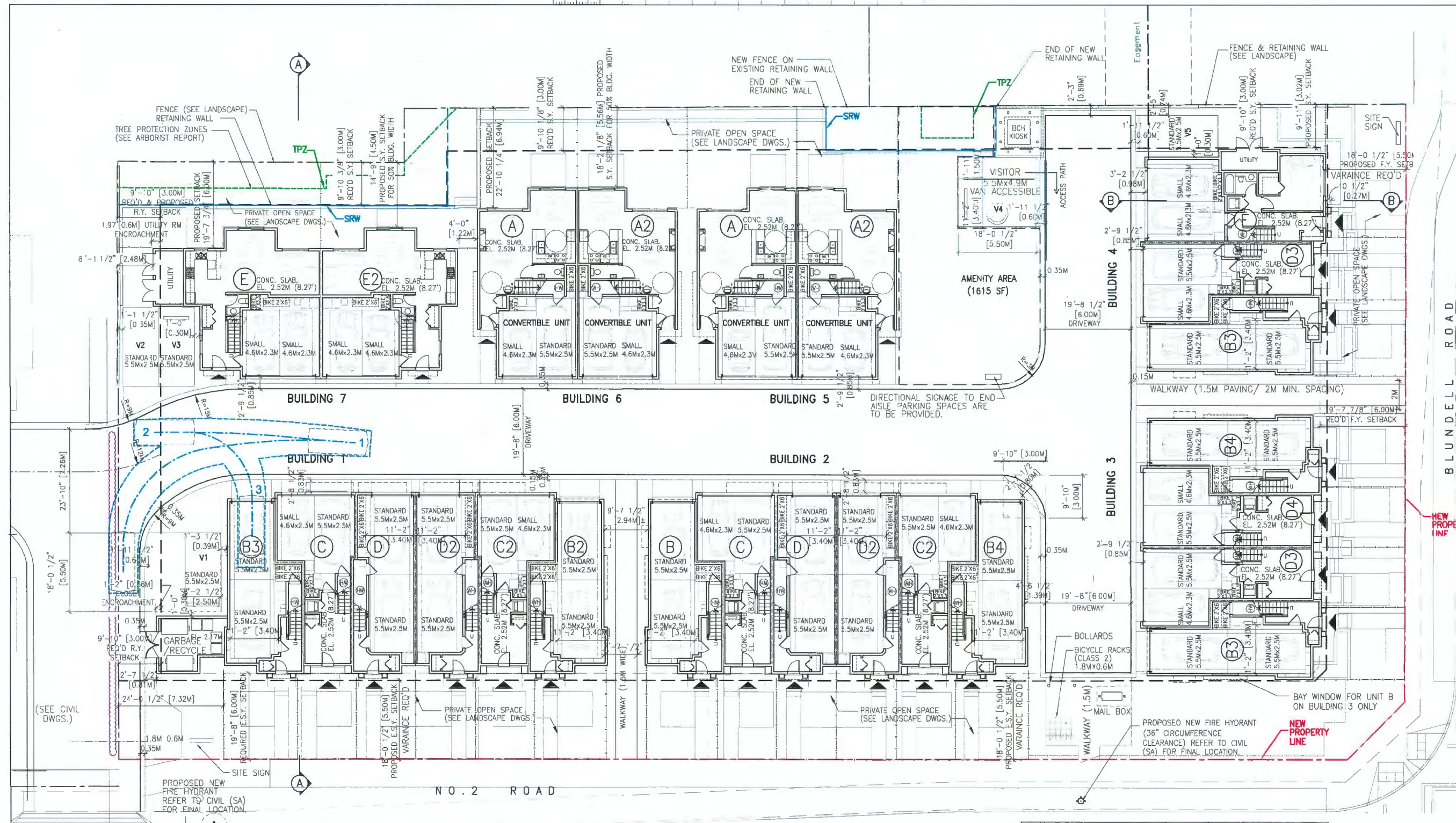
Project:
**TOWNHOUSE DEVELOPMENT
@ NO. 2 ROAD & BLUDELL ROAD**

8031-71 No. 2 Rd & 5760-85
Blundell Rd., Richmond, BC

Drawing Title:
PARKING PLAN

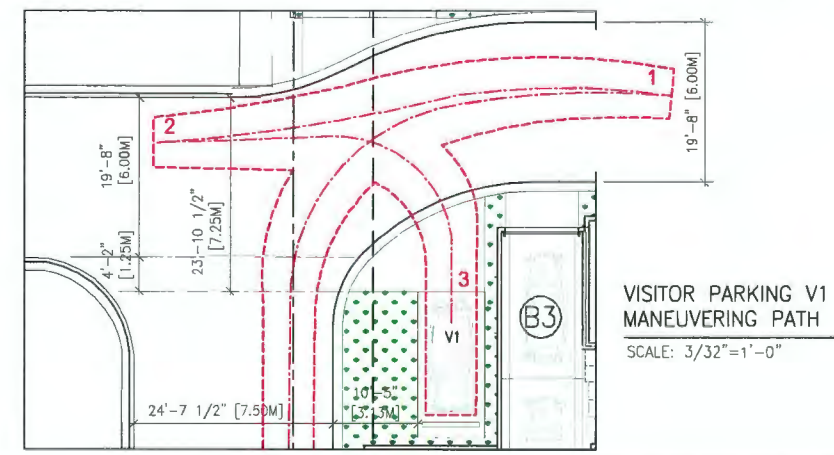
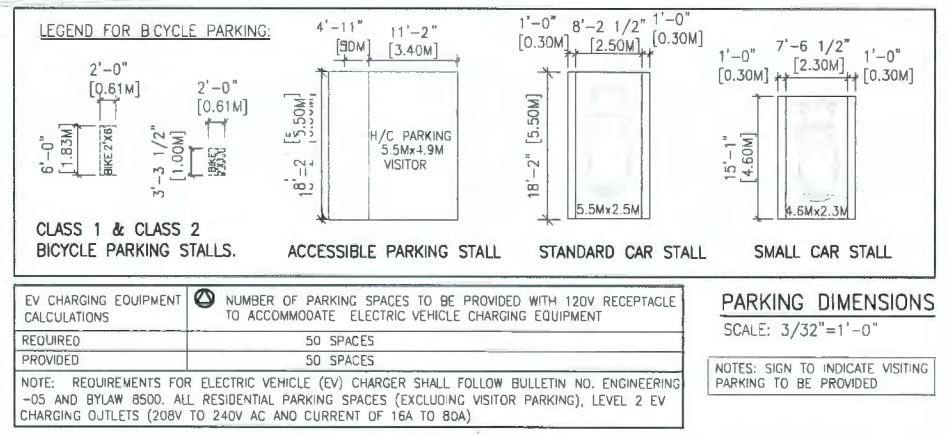
Date:	2024-05-08
Scale:	AS SHOWN
Drawn By:	XD ZHAO
Checked By:	XD ZHAO
Project No.:	OP 21-934620
Drawing No.:	

A2.4



PARKING PLAN
SCALE: 3/32"=1'-0"

LOT COVERAGE - BUILDING:	MAX. 40%	1616.1 SM (17394.6 SF)	40%	1613.3 SM (17387.4 SF)	NONE
LOT SIZE (MIN. DIMENSIONS):	9M (2 STOREYS)	(MIN. 50M WIDE) (MIN 35M DEEP)	9M (2 STOREYS)	45.8M WIDE 90.3M DEEP	REQUIRED NONE
RESIDENTIAL PARKING SPACES:	50 SPACES (2/UNIT)		50 SPACES (2/UNIT)		NONE
VISITOR PARKING SPACES:	0.2 SPACES/ UNIT= 5		5 SPACES		NONE
OFF-STREET PARKING SPACES-TOTAL:	55 SPACES		55 SPACES		NONE
STANDARD SIZE PARKING SPACES:	50% MIN. = 28 SPACES		38 >28 SPACES		NONE
SMALL SIZE PARKING SPACES:	50% MAX. = 28 SPACES		17 <28 SPACES		NONE
VAN ACCESSIBLE PARKING SPACES:	2% MIN.(FOR VISITOR) = 1 SPACE		1 SPACE		NONE
CONVERTIBLE UNITS:	10% PROPOSED UNITS		4 UNITS		NONE

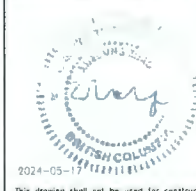




**ZHAO XD
ARCHITECT
LTD.**

255-11181 Voyageur Way,
Richmond, BC V6X 3N9
Tel. (604) 275-8882
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Email: info@zhaarch.com
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**DP 21-934620
PLAN # 3
JULY 31, 2024**

19JUN/24	DPP
17MAY/24	DPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DDP
07JUL/21	ROAD DEDICATION
26APR/21	DP APPLICATION
02JUL/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

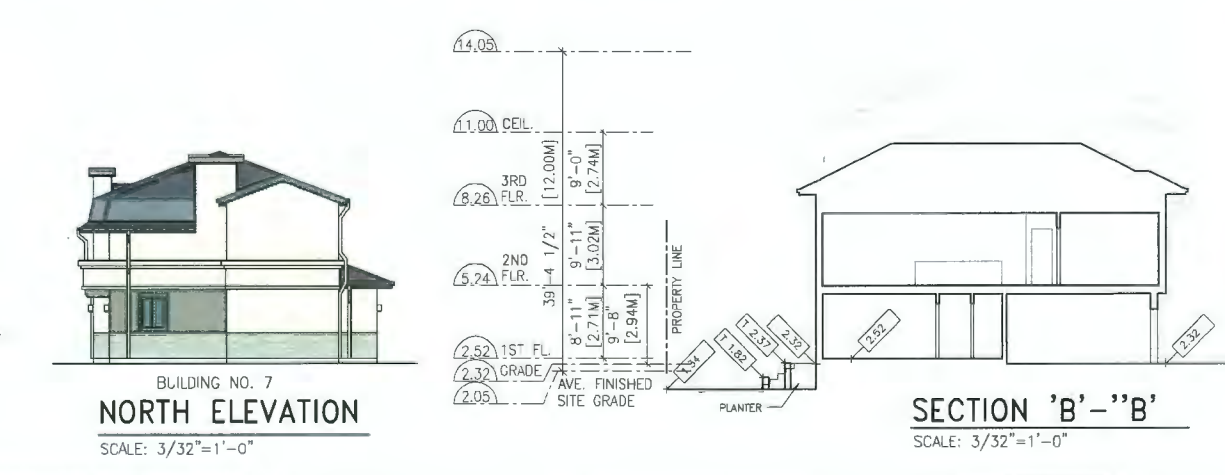
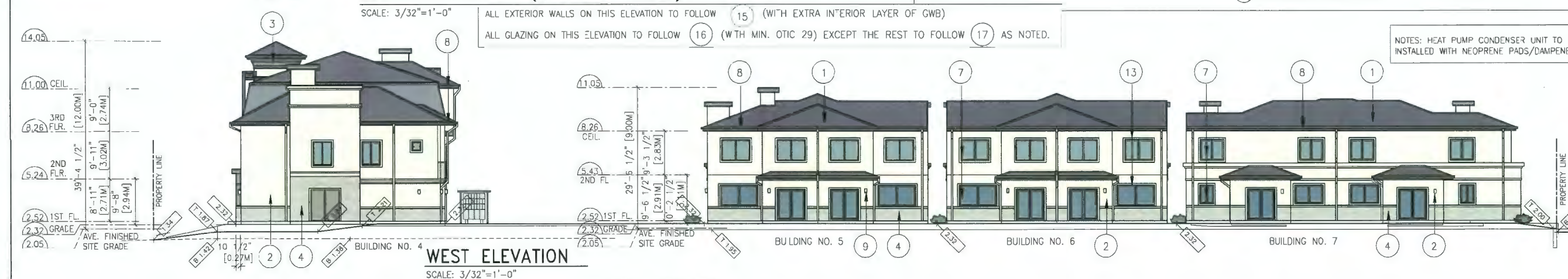
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Project:
**TOWNHOUSE DEVELOPMENT
@ NO. 2 ROAD &
BLUDELL ROAD**

8031-71 No. 2 Rd & 5760-86
Blundell Rd., Richmond, BC

Drawing Title:
STREET ELEVATIONS

Date:	2024-05-08
Scale:	AS SHOWN
Drawn By:	XD ZHAO
Checked By:	XD ZHAO
Project No.:	DP 21-934620
Drawing No.:	A7



- ALL EXTERIOR WALLS ON THIS ELEVATION TO FOLLOW 15 (WITH EXTRA INTERIOR LAYER OF GWB)
ALL GLAZING ON THIS ELEVATION TO FOLLOW 16 (WITH MIN. OTIC 29) EXCEPT THE REST TO FOLLOW 17 AS NOTED.
- EXTERIOR FINISH & COLOR**
- 1 STAND SEAM METAL ROOF - VICWEST (PRESTIGE) SIGNATURE - SMP COATED METAL CHARCOAL 56072
 - 2 STUCCO WALL FINISH - OFF-WHITE BM OC36 NIVEOUS
 - 3 HORIZONTAL TRIM BOARD MOULDING - AGED PEWTER
 - 4 CULTURE STONE - SPAN HEWN STONE TIGHT-FITTED MORTAR JOINTS
 - 5 JAMES HARDIE PANEL (EASYTRIM) AGED PEWTER
 - 6 ALUMN. GUARDRAIL (BLACK)
 - 7 DOUBLE-GLAZED WINDOWS IN VINYL FRAMES C/W 2x4 SILL (SLOPE 15%) & 2x4 SIDE & TOP TRIM C/W FLASHING OVER TRIM PAINTED BM OC40 ALBESCENT
 - 8 5" ALUM. GUTTER ON 2X10 WOOD FASCIA BOARD - PAINTED (TYP.) GREY (COLOR TO MATCH 3)
 - 9 LIGHT FIXTURE (MOTION SENSOR LED)
 - 10 SOLID CORE WOOD DOOR - BM 2080-10 RASPBERRY TRUFFLE
 - 11 GARAGE DOOR: - BM: AF-105 ELKHOM
 - 12 POT LIGHTS AT EACH ENTRY
 - 13 2X4 TRIM AGED PEWTER
 - 14 2X12 HORIZONTAL TRIM BOARD C/W FLASHING OVER - AGED PEWTER
 - 15 EXTRA INTERIOR LAYER OF GWB
 - 16 MIN. OTIC 29 GLAZING
 - 17 MIN. OTIC 31 GLAZING
 - 18 DECORATIVE ACCENT PANEL

NOTES: HEAT PUMP CONDENSER UNIT TO BE INSTALLED WITH NEOPRENE PADS/DAMPENERS



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**DP 21-934620
PLAN # 3.A
JULY 31, 2024**

19 JUN/24	OPP
17 MAY/24	DPP
04 APR/24	CITY COMMENTS/DPP
08 NOV/23	ADP COMMENTS/DPP
15 JUN/22	ADP/DDP
07 JUL/21	ROAD DEDICATION
26 APR/21	DP APPLICATION
02 JULY/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:
**TOWNHOUSE DEVELOPMENT
@ NO. 2 ROAD &
BLUELLE ROAD**

8031-71 No. 2 Rd & 5760-86
Blundell Rd., Richmond, BC

Drawing Title:
STREET ELEVATIONS

Date:	2024-05-08
Scale:	AS SHOWN
Drawn By:	XD ZHAO
Checked By:	XD ZHAO
Project No.:	DP 21-934620

Drawing No.:

A8



EAST ELEVATION (INTERNAL DRIVE AISLE)
SCALE: 3/32"=1'-0"



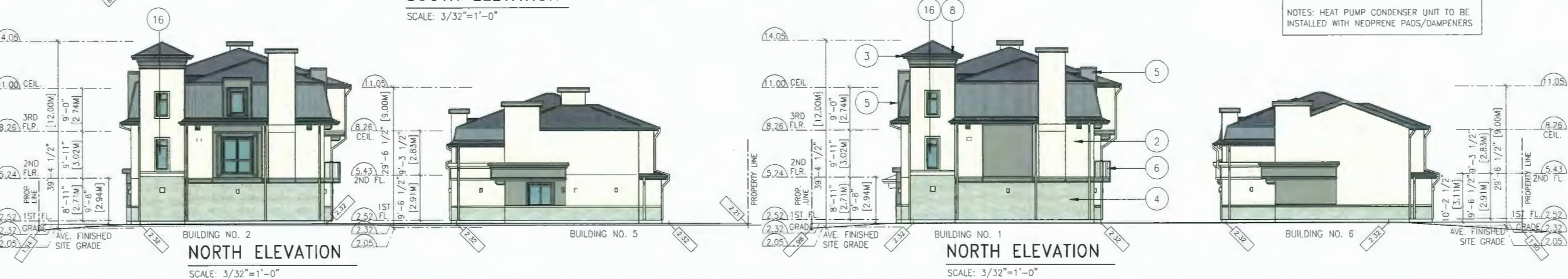
WEST ELEVATION (INTERNAL DRIVE AISLE)
SCALE: 3/32"=1'-0"



SOUTH ELEVATION
SCALE: 3/32"=1'-0"

- EXTERIOR FINISH & COLOR**
- ① STAND SEAM METAL ROOF - VICWEST (PRESTIGE) SIGNATURE -SMP COATED METAL CHARCOAL 56072
 - ② STUCCO WALL FINISH - OFF-WHITE BM OC36 NIVEOUS
 - ③ HORIZONTAL TRIM BOARD MOULDING - AGED PEWTER
 - ④ CULTURE STONE - SPAN HEWN STONE TIGHT-FITTED MORTAR JOINTS
 - ⑤ JAMES HARDIE PANEL (EASYTRIM) - AGED PEWTER
 - ⑥ ALUMN. GUARDRAIL (BLACK)
 - ⑦ DOUBLE-GLAZED WINDOWS IN VINYL FRAMES C/W 2x4 SILL (SLOPE 15%) & 2x4 SIDE & TOP TRIM C/W FLASHING OVER TRIM PAINTED: BM OC40 ALBESCENT
 - ⑧ 5" ALUM. GUTTER ON 2X10 WOOD FASCIA BOARD - PAINTED (TYP.) GREY (COLOR TO MATCH ③)
 - ⑨ LIGHT FIXTURE (MOTION SENSOR LED)
 - ⑩ SOLID CORE WOOD DOOR - BM 2080-10 RASPBERRY TRUFFLE
 - ⑪ GARAGE DOOR: - BM: AF-105 ELKHOM
 - ⑫ POT LIGHTS AT EACH ENTRY
 - ⑬ 2X4 TRIM - AGED PEWTER
 - ⑭ 2X12 HORIZONTAL TRIM BOARD C/W FLASHING OVER - AGED PEWTER
 - ⑮ EXTRA INTERIOR LAYER OF GWB
 - ⑯ MIN. OTIC 29 GLAZING
 - ⑰ MIN. OTIC 31 GLAZING
 - ⑱ DECORATIVE ACCENT PANEL

NOTES: HEAT PUMP CONDENSER UNIT TO BE INSTALLED WITH NEOPRENE PADS/DAMPENERS



NORTH ELEVATION
SCALE: 3/32"=1'-0"

NORTH ELEVATION
SCALE: 3/32"=1'-0"



ZHAO XD ARCHITECT LTD.

25-UNIT TOWNHOUSE DEVELOPMENT

8031- 8071 No. 2 Road, 5760 - 5786 Blundell Road, Richmond, BC

EXTERIAL FINISH - MATERIAL & COLOR

STAND SEAM METAL ROOF - VICWEST (PRESTIGE)
SIGNATURE -SMP COATED METAL CHARCOAL 56072



5" ALUM. GUTTER ON 2X10 WOOD FASCIA BOARD - PAINTED
COLOR MATCH TO "AGED PEWTER"



STUCCO WALL FINISH (OFF-WHITE)
BM OC36 NIVEOUS



HARDIE PANEL (EASYTRIM)
AGED PEWTER



HORIZONTAL TRIM & TRIM BOARD MOULDING
-PAINTED
COLOR MATCH TO "AGED PEWTER"



WINDOW & DOOR TRIM
-PAINTED BM OC40 ALBESCENT



CULTURE STONE - SPAN HEWN STONE
TIGHT-FITTED MORTAR JOINTS



SOLID CORE WOOD DOOR
BJ 1231 WYNWOOD



GARAGE DOOR
BM: AF-105 ELKHOM



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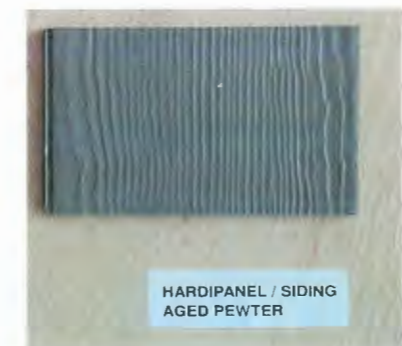
IMAGES OF MATERIALS



56072 Charcoal



OC-36 Niveous
Brand: Benjamin Moore



HARDIPANEL / SIDING
AGED PEWTER

IMAGES OF MATERIALS
STANDING SEAM METAL ROOF
(PRECEDENT SAMPLE)





**ZHAO XD
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LTD.**

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Email: info@zhaarch.com
Web: zhaarch.com

All drawings shall not be used for construction unless they are countersigned by the CONSULTANT

**DP 21-934620
PLAN # 3.C
JULY 31, 2024**

DATE	DESCRIPTION
08MAY/24	DPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DOP
07JUL/21	ROAD DEDICATION
28APR/21	DP APPLICATION
02JULY/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:
**TOWNHOUSE
DEVELOPMENT
@ NO. 2 ROAD &
BLUELLE ROAD**

8031-71 No. 2 Rd & 5760-04
Blundell Rd., Richmond, BC

Drawing Title:
**STREETSCAPE
ELEVATIONS**

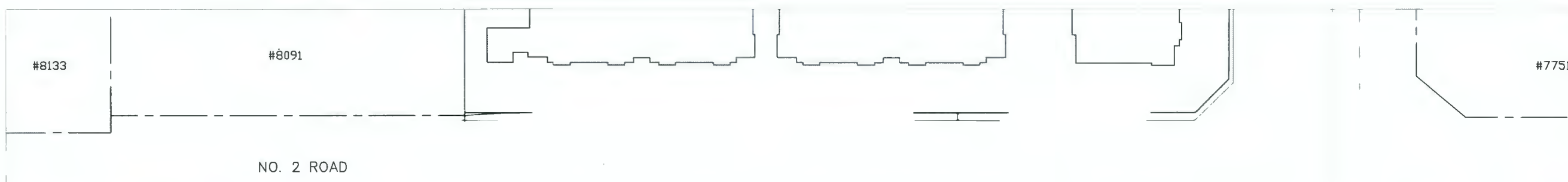
Date: 2024-04-04
Scale: AS SHOWN
Drawn By: XJ ZHANG
Checked By: XJ ZHANG
Project No: DP 21-934620
Drawing No: A-14



6020 BUILDING 3 BUILDING 4 5660

STREET SCAPE – BLUELLE ROAD

SCALE: 1"=20'-0"



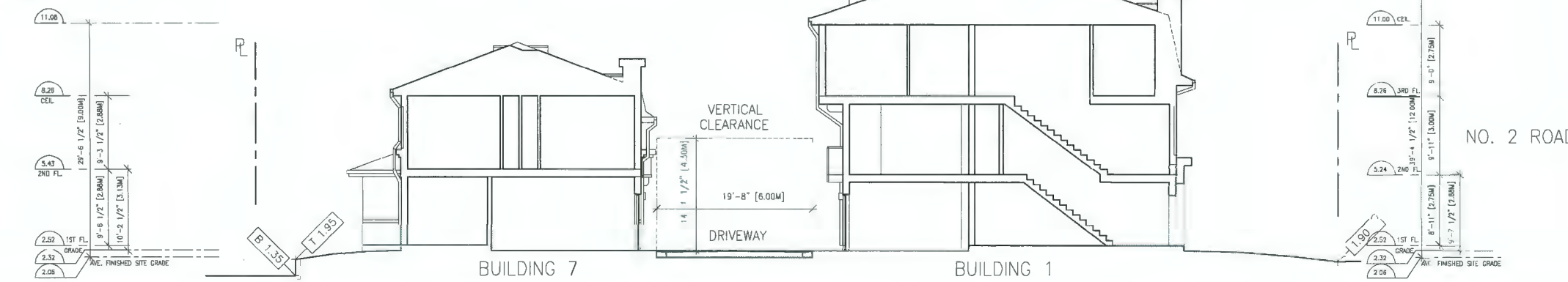
8133 8091 DRIVEWAY ENTRANCE BUILDING 1 BUILDING 2 BUILDING 3 7751

STREET SCAPE – NO. 2 ROAD

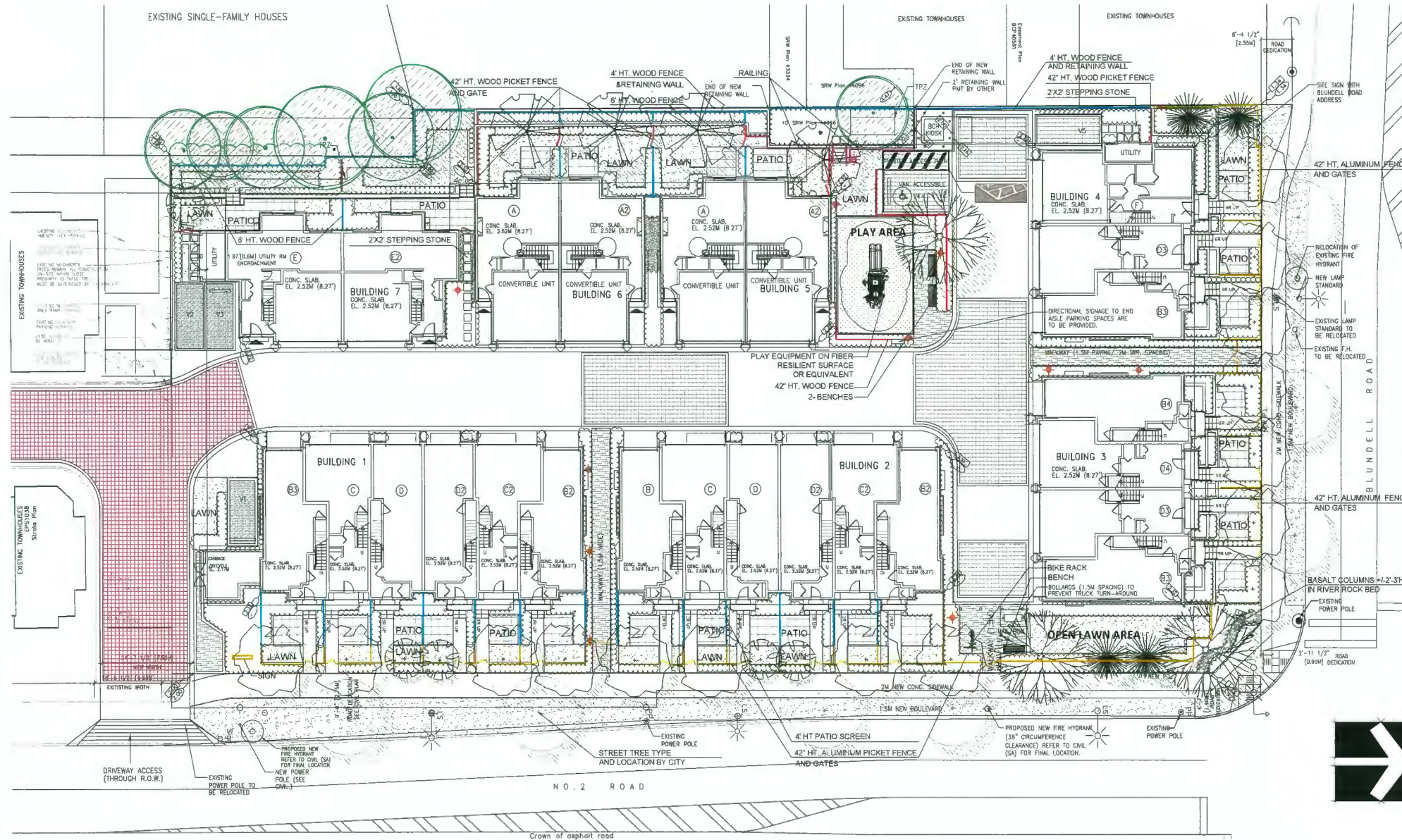
SCALE: 1"=20'-0"

SECTION 'A'-'A'

SCALE: 1"=20'-0"



SEAL:



HARDSCAPE LEGEND	
8"X8" ECO-PRIOA PERMEABLE PAVERS BY MUTUAL MATERIALS WITH #WIDE CONCRETE BAND; GRAY COLOR; INSTALLED PER MANUFACTURER SPECIFICATIONS	
PERMEABLE PAVERS TO MATCH NEIGHBORING SITE AT SOUTH FL.	
2'X2' Vancouver Bay Architectural Slabs COLOR: GRAY; BY MUTUAL MATERIALS	
FIBAR ON PLAYGROUND	
GRAVEL ON A WEED MAT	
HOLLAND PAVERS; BY MUTUAL MATERIALS; HOLLAND COMBINATIONS; PATTERN: CASCADE BLEND	

FENCE LEGEND	
	42' HT. ALUMINUM PICKET FENCE AND GATES
	42' HT. WOOD PICKET FENCE AND GATES
	6' HT. WOOD FENCE
	4' HT. WOOD FENCE
	RETAINING WALL

FURNITURE LEGEND

Playstructure (J3-17287-A) by JAMBETTE
18 months to 5 years old
20 children

MAGLIN BENCH - SCB1600

MAGLIN BIKE RACK - MBR-0400-0007
FOR 5 BIKE RACKS

2'-3' HT BASALT COLUMNS BY
NORTHWEST LANDSCAPE & STONE SUPPLY

NOTE:
ALL BENCHES AND BIKE RACKS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATION ON 3" THICK CONCRETE PAD.

NO.	DATE	REVISION DESCRIPTION	DR.
12	24.AUG.11	REVISION AS PER CITY COMMENTS	DD
11	24.JUL.10	REVISION AS PER CITY COMMENTS	DD
10	24.JUN.03	NEW SITE PLAN & CITY COMMENTS	DD
9	24.MAY.10	NEW SITE PLAN	DD
7	24.APR.25	REVISION AS PER CITY COMMENTS	DD
6	23.NOV.17	NEW SITE PLAN & CITY COMMENTS	DD
5	23.APR.28	NEW SITE PLAN & CITY COMMENTS	DD
4	22.MAR.04	REVISION AS PER CITY COMMENTS	DD
3	22.JAN.21	NEW SITE PLAN	DD
2	21.NOV.04	NEW FH	DD
1	21.AUG.12	NEW SITE PLAN	DD

CLIENT: 1209136 BC LTD.
WITH: ZHAO XD ARCHITECT LTD.

**DP 21-934620
PLAN # 4.A
JULY 31, 2024**

PROJECT:
25 UNIT TOWNHOUSE DEVELOPMENT

8031-8071 NO. 2 ROAD AND
5760-5786 BLUNDELL ROAD
RICHMOND

DRAWING TITLE:
LANDSCAPE PLAN

DATE: March DRAWING NUMBER:

SCALE: 1/16"=1'-0"

DRAWN DD

DESIGN DD

CHKD: PCM

L1

OF 8

PLANT SCHEDULE				PMG PROJECT NUMBER: 21-041
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	15	ACER RUBRUM 'BONHALL'	COLUMNAR BONHALL MAPLE	8CM CAL; 2M STD; B&B
	3	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	8CM CAL; 1.8M STD; B&B
	5	FAGUS SYLVATICA 'DAWYCK GOLD'	DAWYCK GOLD BEECH	8CM CAL; 1.8M STD; B&B
	4	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMIDAL LIMBER PINE	4M HT; B&B
	4	STYRAX JAPONICUS 'PINK CHIMES'	PINK FLOWERED JAPANESE SNOWBELL	8CM CAL; 1.8M STD; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE:
* PROVIDE DESIGNED BUILD HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM TO I.L.A.B.C. STANDARDS TO ALL SOFT LANDSCAPE AREAS.
SHOP DRAWINGS TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

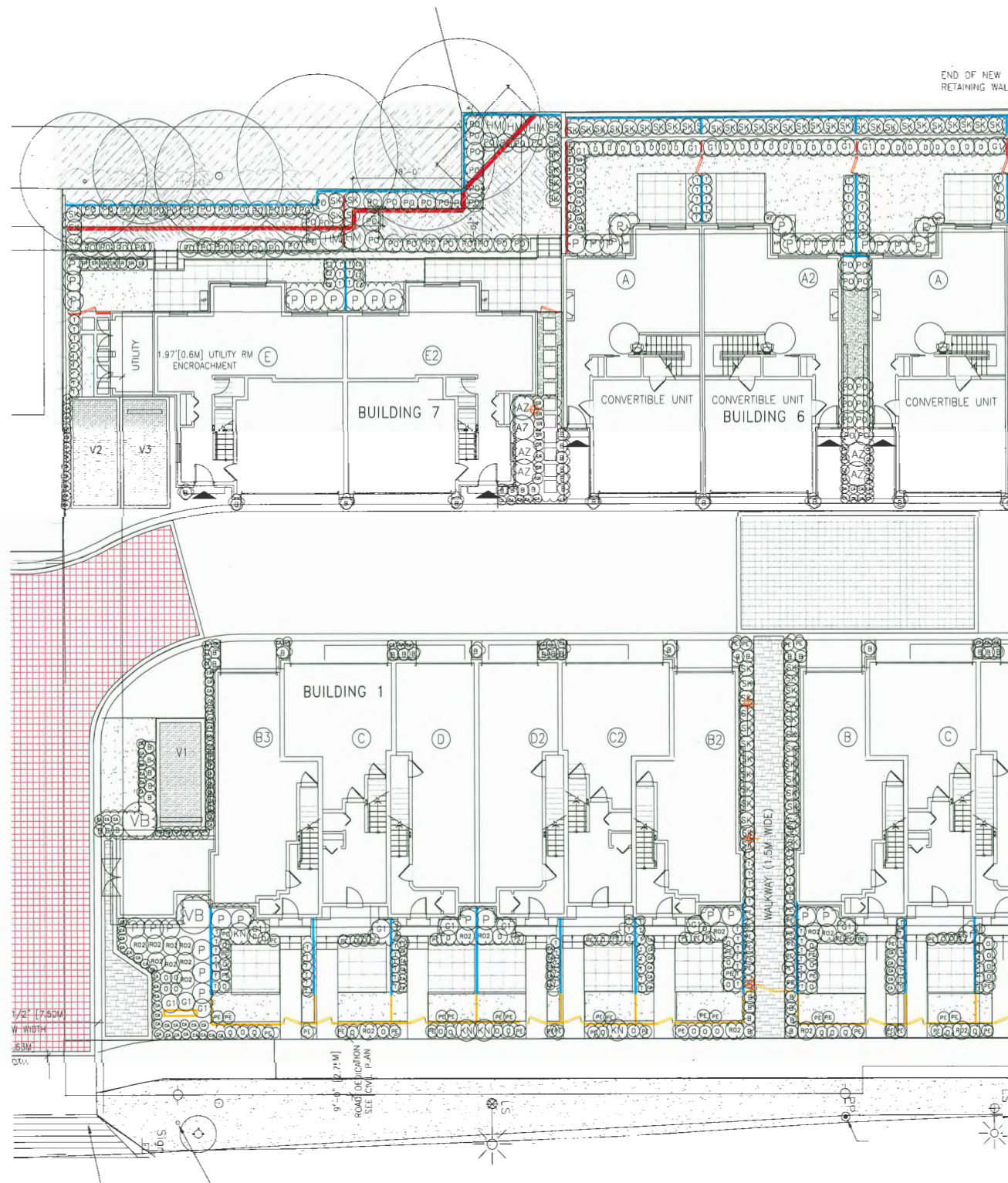
PLANT SCHEDULE				PMG PROJECT NUMBER: 21-041
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	7	STREET TREE	TYPE AND LOCATION BY CITY	7CM CAL; 1.8M STD; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

LIGHTING LEGEND	
SYMBOL	STYLE
	BOLLARD 36" HT. LITHONIA RADEAN LED BOLLARD
	UPLIGHT



SEAL



PLANT SCHEDULE PMG PROJECT NUMBER: 21-041

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
AZ	6	AZALEA MOLLIS HYBRIDS	DECIDUOUS AZALEAS VARIETIES	#3 POT: 40CM
B	244	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT: 50CM
H	5	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	BIGLEAF HYDRANGEA (BLUE)	#3 POT: 80CM
K	4	KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#3 POT: 50CM
P	91	PIERIS JAPONICA 'VALLEY FIRE'	VALLEY FIRE PIERIS	#3 POT: 50CM
M	4	PINUS MUGO 'MOPS'	MOPS DWARF MUGO PINE	#2 POT: 25CM
R	14	ROSA 'KNOCKOUT RADRAZZ'	RADRAZZ KNOCKOUT ROSE	#2 POT
R	19	ROSA 'SCARLET MEIDLAND'	SCARLET MEIDLAND ROSE	#2 POT: 40CM
S	100	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#3 POT: 50CM
S	18	SKIMMIA REEVESIANA	DWARF SKIMMIA	#2 POT: 30CM
T	224	TAXUS X MEDIA 'HICKSII'	HICK'S YEWE	1.00M B&B
V	4	VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	#3 POT: 50CM
GRASS				
C	32	CALAMAGROSTIS X A. 'KARL FOERSTER'	KARL FOERSTER FEATHERED GRASS	#2 POT: HEAVY
C	273	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
M	38	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP. SILVER GRASS	#2 POT
O	67	OPHIOPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	#1 POT
P	132	PENNISETUM ALOPECUROIDES 'HAELIN'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL				
S	6	ASTILBE X ARENSII 'RED SENTINEL'	FALSE SPIREA; RED	#1 POT
S	41	RUDBECKIA FULGIDA VAR SULLIVANTII 'GOLDBLOCK'	RUDBECKIA; YELLOW-ORANGE	15CM POT
GC				
E	66	EUONYMUS JAPONICA 'EMERALD GAIETY'	EUONYMUS; SILVER VARIEGATED	#1 POT: 25CM
P	73	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT: 25CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NO.	DATE	REVISION DESCRIPTION	DR.
12	24 JUL 21	REVISION AS PER CITY COMMENTS	DD
11	24 JUL 21	REVISION AS PER CITY COMMENTS	DD
10	24 JUN 21	NEW SITE PLAN & CITY COMMENTS	DD
9	24 MAY 21	NEW SITE PLAN	DD
8	24 APR 21	REVISION AS PER CITY COMMENTS	DD
7	23 NOV 17	NEW SITE PLAN & CITY COMMENTS	DD
6	23 SEP 18	NEW SITE PLAN & CITY COMMENTS	DD
5	23 APR 21	NEW SITE PLAN & CITY COMMENTS	DD
4	22 MAR 21	REVISION AS PER CITY COMMENTS	DD
3	22 MAR 21	NEW SITE PLAN	DD
2	22 NOV 04	NEW PH	DD
1	15 JUL 17	APR 16 PLAN	DD

CLIENT: 1209136 BC LTD.
WITH: ZHAO XD ARCHITECT LTD.

DP 21-934620
PLAN # 4.B
JULY 31, 2024

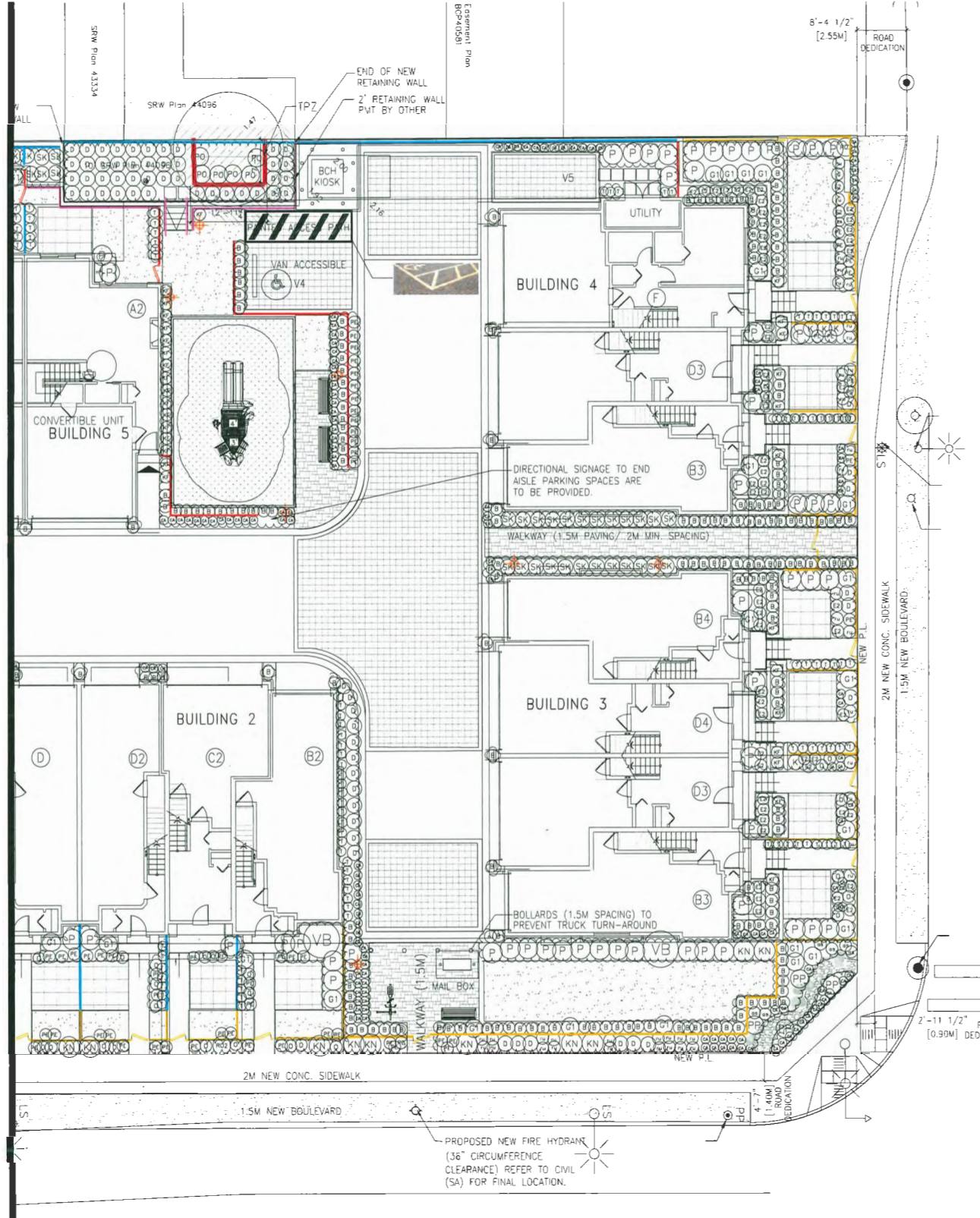
PROJECT:
25 UNIT TOWNHOUSE DEVELOPMENT

8031-8071 NO. 2 ROAD AND
5760-5786 BUNDELL ROAD
RICHMOND

DRAWING TITLE:
SHRUB PLAN

DATE: March DRAWING NUMBER:
SCALE: 1/16"=1'-0"
DRAWN DD
DESIGN DD
CHKD PCM **L2**
OF 8

SEAL



PMG PROJECT NUMBER: 21-041

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
(A)	6	AZALEA MOLLIS HYBRIDS	DECIDUOUS AZALEAS VARIETIES	#3 POT; 40CM
(B)	244	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 50CM
(C)	5	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	BIGLEAF HYDRANGEA (BLUE)	#3 POT; 80CM
(D)	4	KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#3 POT; 50CM
(E)	91	PIERIS JAPONICA 'VALLEY FIRE'	VALLEY FIRE PIERIS	#3 POT; 50CM
(F)	4	PINUS MUGO 'MOPS'	MOPS DWARF MUGO PINE	#2 POT; 25CM
(G)	14	ROSA 'KNOCKOUT RADRAZZ'	RADRAZZ KNOCKOUT ROSE	#2 POT
(H)	19	ROSA 'SCARLET MEIDLAND'	SCARLET MEIDLAND ROSE	#2 POT; 40CM
(I)	100	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#3 POT; 50CM
(J)	18	SKIMMIA REEVESIANA	DWARF SKIMMIA	#2 POT; 30CM
(K)	224	TAXUS X MEDIA 'HICKSII'	HICK'S YEW	1.00M B&B
(L)	4	VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	#3 POT; 50CM
GRASS				
(M)	32	CALAMAGROSTIS X A. 'KARL FOERSTER'	KARL FOERSTER FEATHERED GRASS	#2 POT, HEAVY
(N)	273	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
(O)	38	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP. SILVER GRASS	#2 POT
(P)	67	OPHIPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	#1 POT
(Q)	132	PENNISETUM ALOPECUROIDES 'HAEMELIN'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL				
(R)	6	ASTILBE x ARENDSII 'RED SENTINEL'	FALSE SPIREA, RED	#1 POT
(S)	41	RUDBECKIA FULGIDA VAR SULLIVANTII	GOLDOLOCK RUDBECKIA, YELLOW-ORANGE	15CM POT
GC				
(T)	66	EUONYMUS JAPONICA 'EMERALD GAJET'	EUONYMUS, SILVER VARIEGATED	#1 POT; 25CM
(U)	73	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT, 25CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NO.	DATE	REVISION DESCRIPTION	DR.
12	24 JUL 21	REVISION AS PER CITY COMMENTS	DD
11	24 JUL 21	REVISION AS PER CITY COMMENTS	DD
10	24 JUN 21	NEW SITE PLAN & CITY COMMENTS	DD
9	24 MAY 21	NEW SITE PLAN	DD
8	24 APR 21	REVISION AS PER CITY COMMENTS	DD
7	23 NOV 17	NEW SITE PLAN & CITY COMMENTS	DD
6	23 SEP 18	NEW SITE PLAN & CITY COMMENTS	DD
5	23 APR 21	NEW SITE PLAN & CITY COMMENTS	DD
4	22 MAR 04	REVISION AS PER CITY COMMENTS	DD
3	22 JAN 21	NEW SITE PLAN	DD
2	21 NOV 04	NEW PH	DD
1	18 FEB 17	NEW SITE PLAN	DD

CLIENT: 1209135 BC LTD.
WITH: ZHAG XD ARCHITECT LTD.

DP 21-934620
PLAN # 4.C
JULY 31, 2024

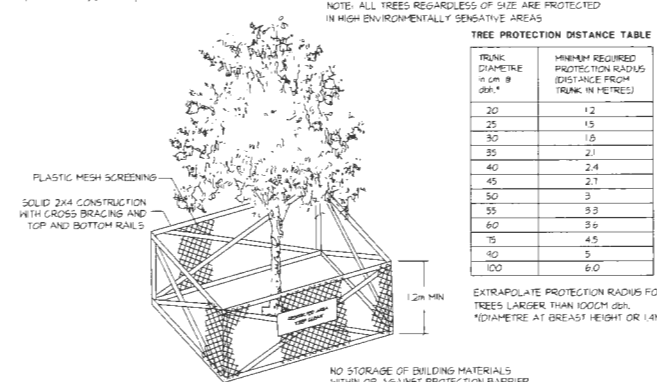
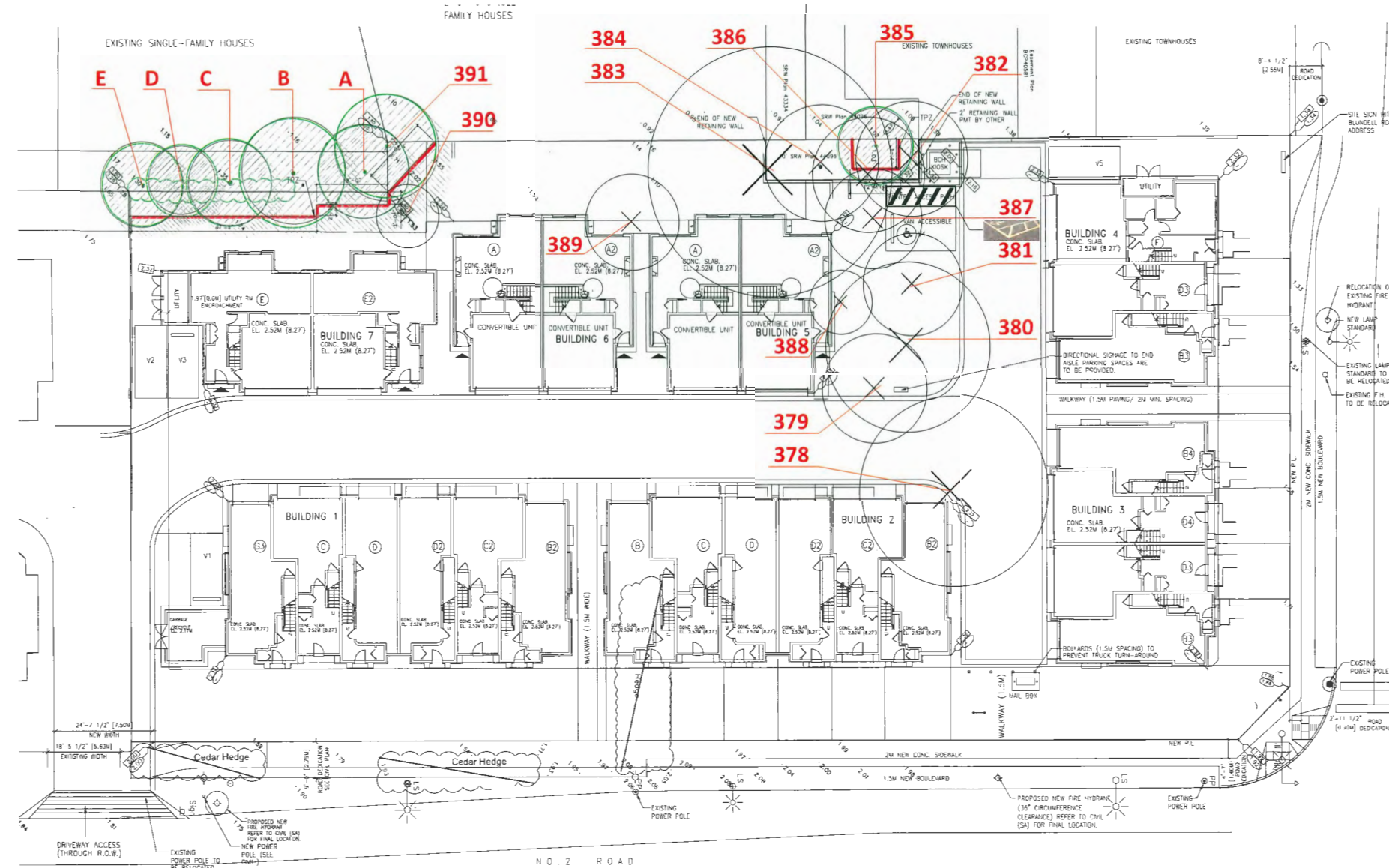
PROJECT:
25 UNIT TOWNHOUSE DEVELOPMENT

8031-8071 NO. 2 ROAD AND
5760-5786 BLUNDELL ROAD
RICHMOND

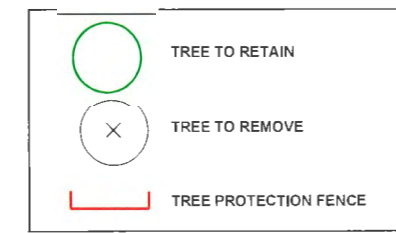
DRAWING TITLE:
SHRUB PLAN

DATE: March
SCALE: 1/16"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: PCM
DRAWING NUMBER:
L3
OF 8

SEAL



1A TREE PROTECTION BARRIER
L-3



NO.	DATE	REVISION DESCRIPTION	DR.
12	24 JUL 21	REVISION AS PER CITY COMMENTS	DD
11	24 JUL 21	REVISION AS PER CITY COMMENTS	DD
10	24 JUN 21	NEW SITE PLAN & CITY COMMENTS	DD
9	24 MAY 21	NEW SITE PLAN	DD
7	24 APR 21	REVISION AS PER CITY COMMENTS	DD
6	23 SEP 20	NEW SITE PLAN & CITY COMMENTS	DD
5	23 APR 20	NEW SITE PLAN & CITY COMMENTS	DD
4	17 MAR 20	REVISION AS PER CITY COMMENTS	DD
3	22 FEB 21	NEW SITE PLAN	DD
2	21 NOV 20	NEW PLAN	DD
1	13 SEP 17	MPL TOP PLAN	DD

CLIENT: 1209136 BC LTD.
WITH: ZHAO XD ARCHITECT LTD.

**DP 21-934620
PLAN # 4.D
JULY 31, 2024**

PROJECT
25 UNIT TOWNHOUSE DEVELOPMENT

8031-8071 NO. 2 ROAD AND
5760-5786 BUNDELL ROAD
RICHMOND

DRAWING TITLE
TREE MANAGEMENT PLAN

DATE: March 1/16"-1'-0" DRAWING NUMBER:
SCALE
DRAWN DD
DESIGN DD
CHKD PCM
DATE: March 1/16"-1'-0" DRAWING NUMBER:
SCALE
DRAWN DD
DESIGN DD
CHKD PCM

L5

OF 8

SEAL

NO.	DATE	REVISION DESCRIPTION	DR.
12	26.JUL.21	REVISION AS PER CITY COMMENTS	DD
11	24.JUL.21	REVISION AS PER CITY COMMENTS	DD
10	24.JUL.21	NEW SITE PLAN & CITY COMMENTS	DD
9	24.MAY.20	NEW SITE PLAN	DD
7	24.APR.21	REVISION AS PER CITY COMMENTS	DD
7	23.NOV.17	NEW SITE PLAN & CITY COMMENTS	DD
6	23.SEP.16	NEW SITE PLAN & CITY COMMENTS	DD
5	23.APR.21	NEW SITE PLAN & CITY COMMENTS	DD
4	22.MAR.04	REVISION AS PER CITY COMMENTS	DD
3	22.JAN.21	NEW SITE PLAN	DD
2	21.NOV.04	NEW PLAN	DD
1	21.OCT.17	NEW SITE PLAN	DD

CLIENT: 1209136 BC LTD.
WITH: ZHAO XD ARCHITECT LTD.

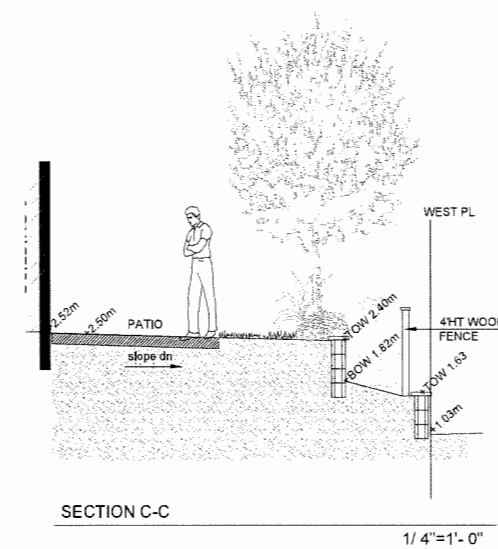
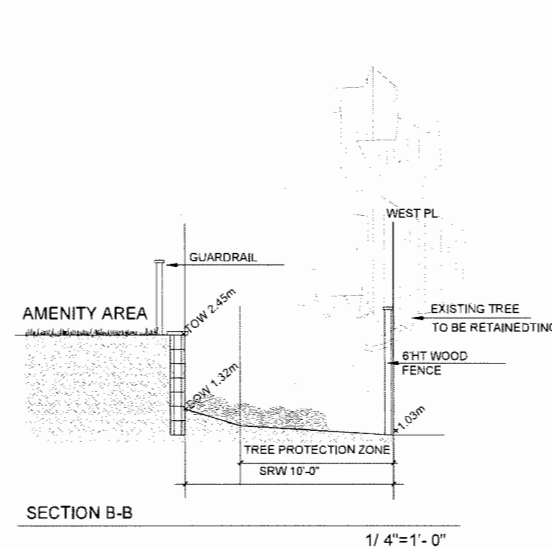
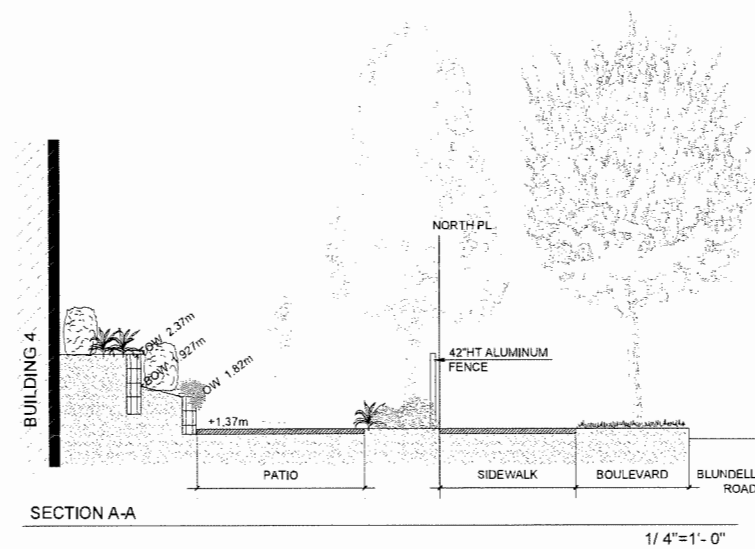
DP 21-934620
PLAN # 4.E
JULY 31, 2024

PROJECT:
25 UNIT TOWNHOUSE DEVELOPMENT

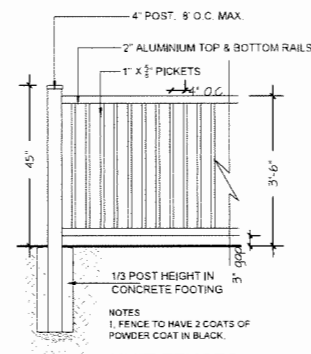
8031-8071 NO. 2 ROAD AND 5760-5786 BLUNDELL ROAD RICHMOND

DRAWING TITLE:
LOT COVERAGE PLAN LANDSCAPE SECTIONS

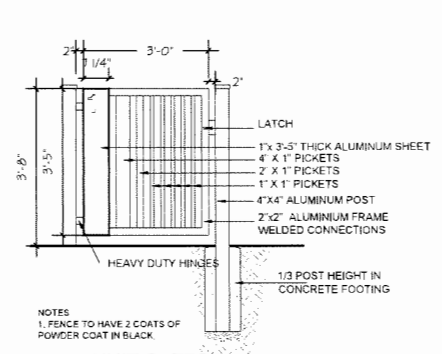
DATE: March 1/16"-1'-0" DRAWING NUMBER:
SCALE:
DRAWN: DD
DESIGN: DD
CHK'D: PCM
L6
OF 8



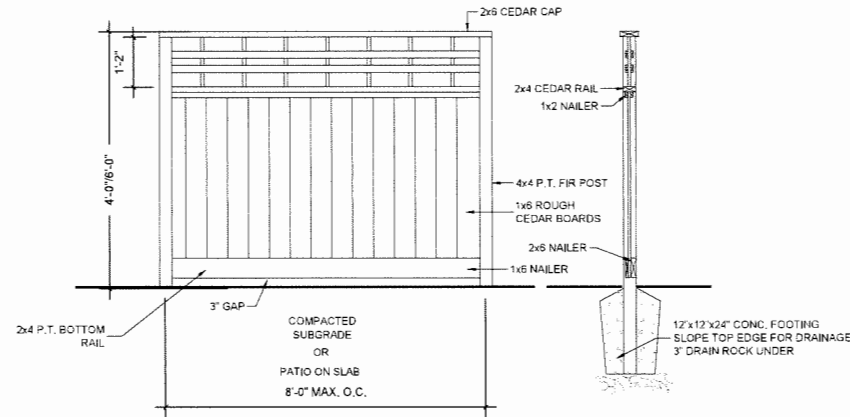
SEAL



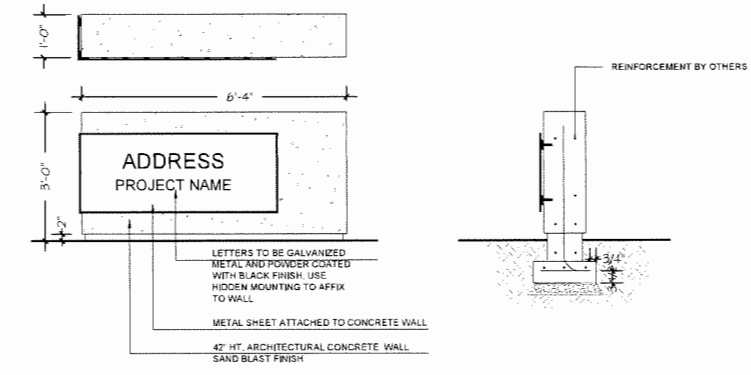
UNIT FENCES



UNIT GATES



4 1/2 FT HT WOOD FENCE

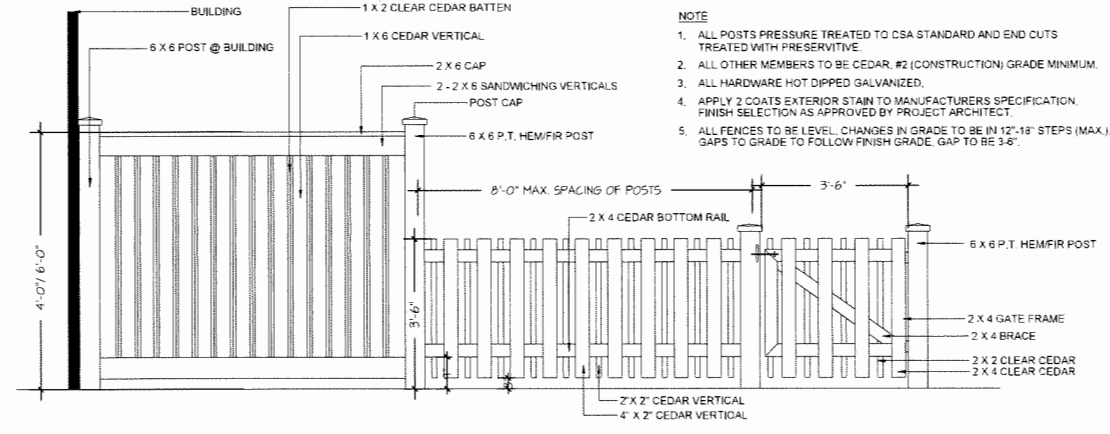


DEVELOPMENT SIGNAGE

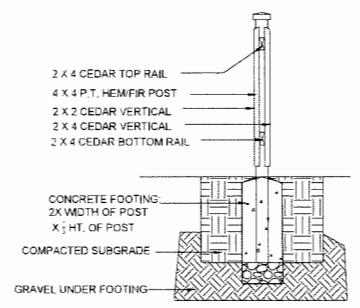
1 1/2" = 1'-0"

2 1/2" = 1'-0"

3 1/2" = 1'-0"

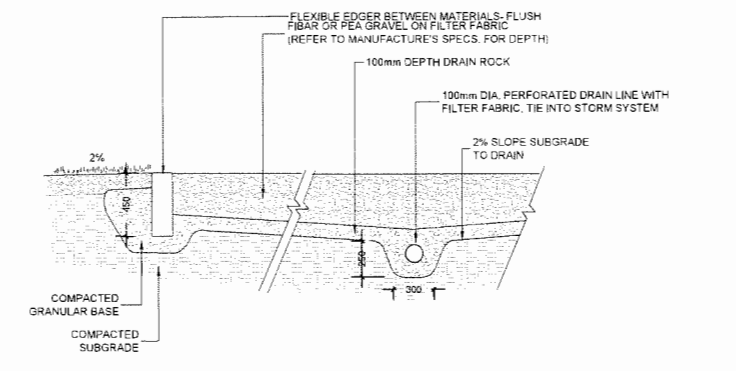


- NOTE**
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/8".

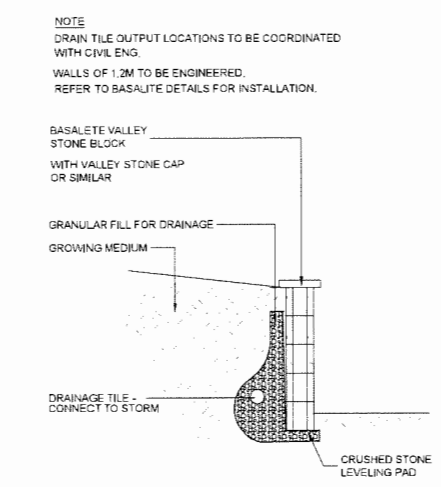


NOTE
SITE FURNISHINGS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS

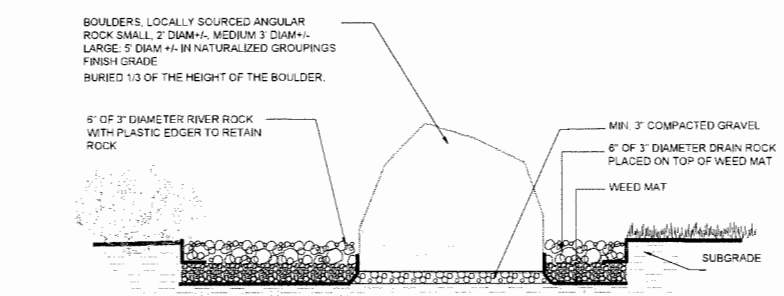
4 1/2" = 1'-0"



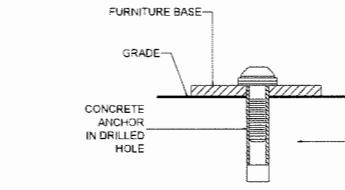
5 1/2" = 1'-0"



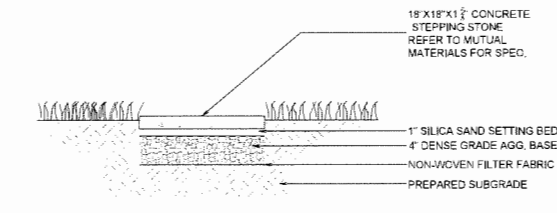
6 BASALITE VALLEYSTONE WALL 1/2" = 1'-0"



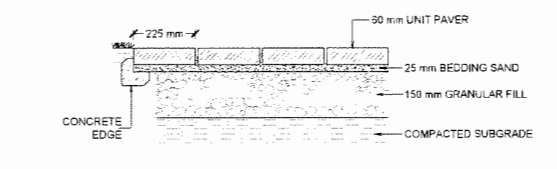
7 BASALT COLUMN +/- 2'-3' HT 1/2" = 1'-0"



8 SITE FURNITURE MOUNTING 1/2" = 1'-0"



9 STEPPING STONE 1" = 1'-0"



10 PAVERS EDGE 1" = 1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
12	24 JUL 21	REVISION AS PER CITY COMMENTS	DD
11	24 JUL 25	REVISION AS PER CITY COMMENTS	DD
10	24 JUN 23	NEW SITE PLAN & CITY COMMENTS	DD
9	24 MAY 20	NEW SITE PLAN	DD
7	24 APR 25	REVISION AS PER CITY COMMENTS	DD
7	23 NOV 17	NEW SITE PLAN & CITY COMMENTS	DD
6	23 SEP 18	NEW SITE PLAN & CITY COMMENTS	DD
5	23 APR 24	NEW SITE PLAN & CITY COMMENTS	DD
4	27 MAR 24	REVISION AS PER CITY COMMENTS	DD
3	23 NOV 21	NEW SITE PLAN	DD
2	23 NOV 24	NEW PLAN	DD
1	11 DEC 17	NEW PLAN	DD

CLIENT: 1209136 BC LTD.
WITH: ZHAO XD ARCHITECT LTD.

DP 21-934620
PLAN # 4.F
JULY 31, 2024

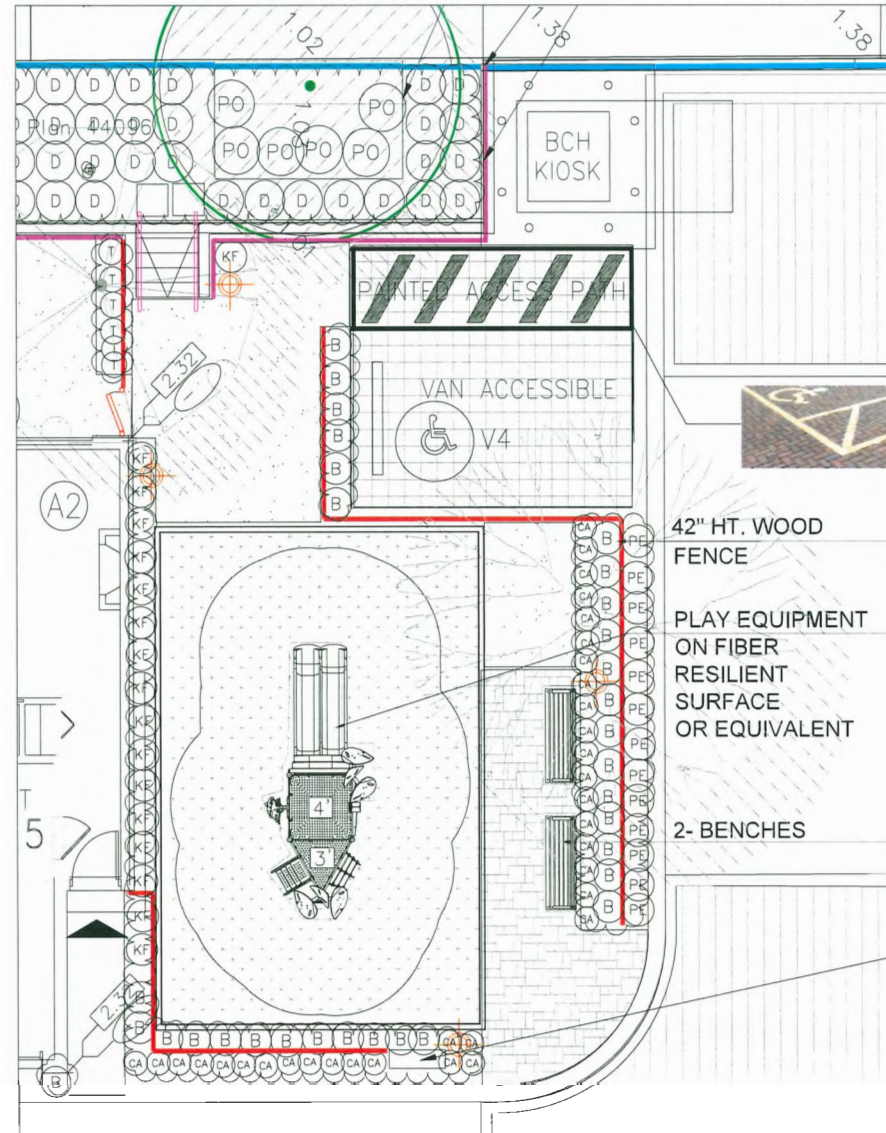
PROJECT:
25 UNIT TOWNHOUSE DEVELOPMENT

8031-8071 NO. 2 ROAD AND 5760-5786 BLUNDELL ROAD RICHMOND

DRAWING TITLE:
LANDSCAPE DETAILS

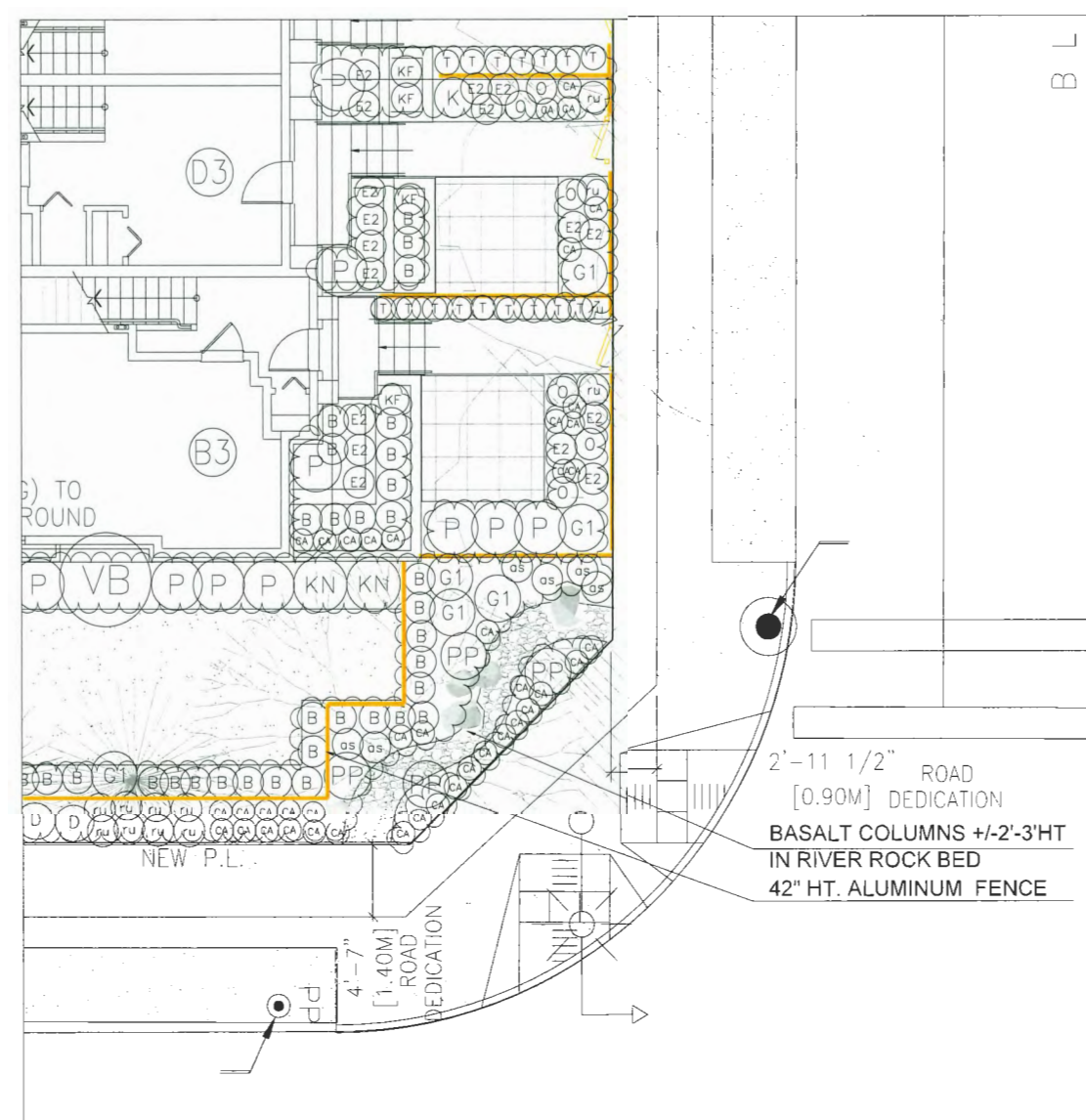
DATE: March A/S DRAWING NUMBER:
SCALE:
DRAWN: DD
DESIGN: DD
CHK'D: PCM
L7
OF 8

SEAL



AMENITY AREA ENLARGEMENT

SCALE 3/16"=1'-0"



NORTH EAST CORNER ENLARGEMENT

SCALE 3/16"=1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
12	24 JUL 21	REVISION AS PER CITY COMMENTS	DD
11	24 JUL 21	REVISION AS PER CITY COMMENTS	DD
10	24 JUL 21	NEW SITE PLAN & CITY COMMENTS	DD
9	24 MAY 20	NEW SITE PLAN	DD
7	24 APR 25	REVISION AS PER CITY COMMENTS	DD
6	23 NOV 17	NEW SITE PLAN & CITY COMMENTS	DD
5	23 NOV 16	NEW SITE PLAN & CITY COMMENTS	DD
4	23 APR 28	NEW SITE PLAN & CITY COMMENTS	DD
3	22 MAR 04	REVISION AS PER CITY COMMENTS	DD
2	22 MAR 21	NEW SITE PLAN	DD
1	21 NOV 04	NEW PH	DD
1	19 JUL 17	NEW SITE PLAN	DD

CLIENT: 1209136 BC LTD.
WITH: ZHAO XD ARCHITECT LTD.

DP 21-934620
PLAN # 4.G
JULY 31, 2024

PROJECT:
25 UNIT TOWNHOUSE DEVELOPMENT

8031-8071 NO. 2 ROAD AND 5760-5786 BLUNDELL ROAD RICHMOND

DRAWING TITLE:
LANDSCAPE ENLARGEMENTS

DATE: March A/5 DRAWING NUMBER:
SCALE:
DRAWN DD
DESIGN DD
CHK'D PCM
L8
OF 8



ZHAO XD ARCHITECT LTD.

#255-11181 Voyageur Way,
Richmond, BC V6X 3N9
Tel. (604) 275-8882
Fax (604) 909-1736

Email: info@zhaarch.com
Web: zhaarch.com



2024-05-
This drawing shall not be used for construction unless it is countersigned by the CONSULTANT.

30JUL/24	OPP
17MAY/24	DPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DDP
07JUL/21	ROAD DEDICATION
26APR/21	DP APPLICATION
02JUL/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION

Date:	Issued For:
A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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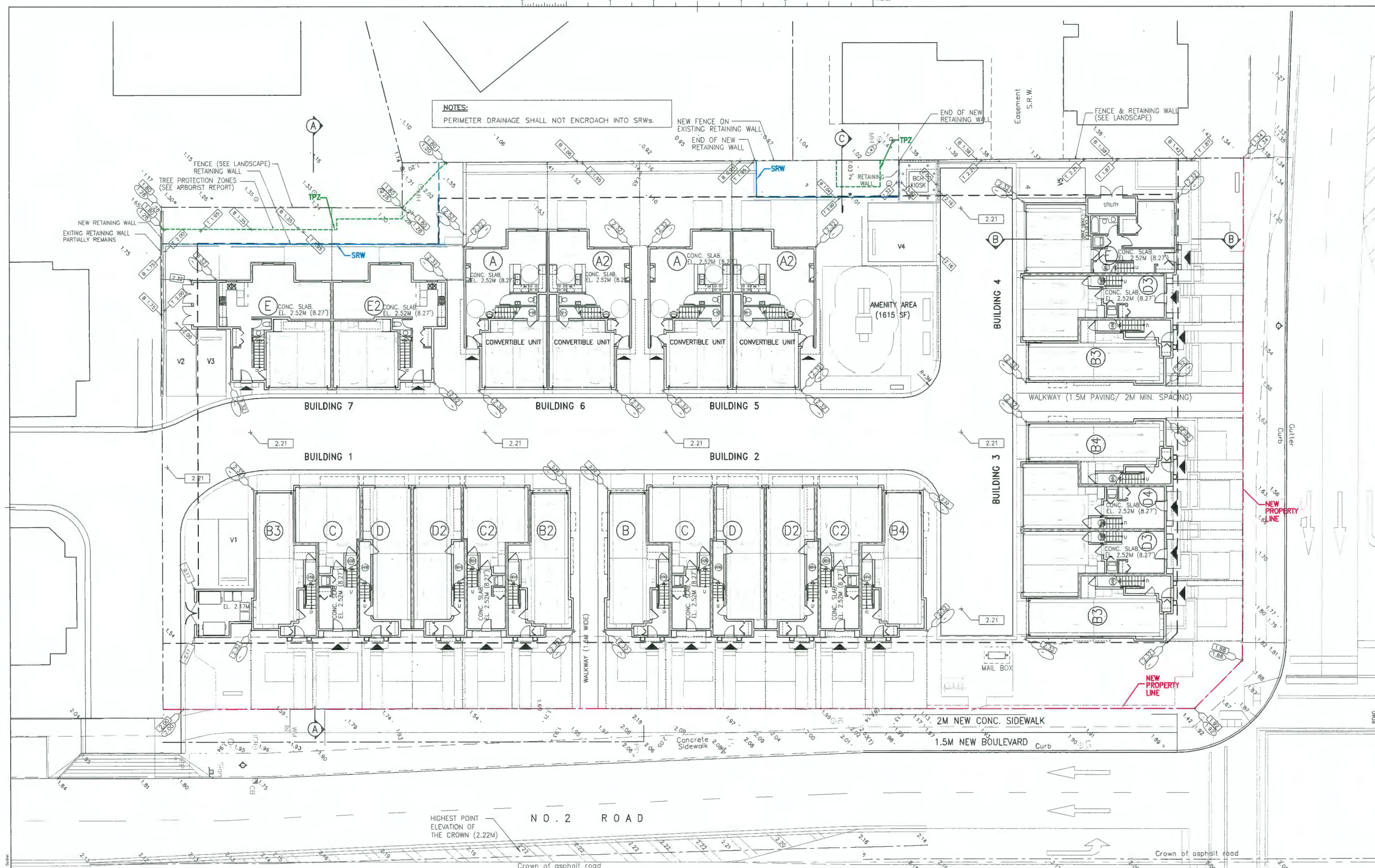
Project:
TOWNHOUSE DEVELOPMENT @ NO. 2 ROAD & BLUDELL ROAD

8031-71 No. 2 Rd & 5760-86 Blundell Rd., Richmond, BC

Drawing Title:
**GRADING PLAN
DP 21-934620
PLAN # 4.H
JULY 31, 2024**

Date: 2024-05-08
Scale: AS SHOWN
Drawn By: XD ZHAO
Checked By: XD ZHAO
Project No.: DP 21-934620
Drawing No.:

A2.2

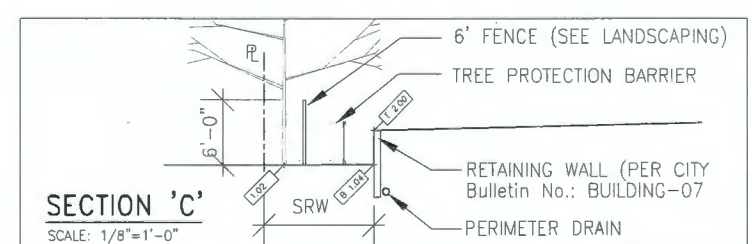


NOTES:
PERIMETER DRAINAGE SHALL NOT ENCRoACH INTO SRWs.
NEW FENCE ON EXISTING RETAINING WALL
END OF NEW RETAINING WALL

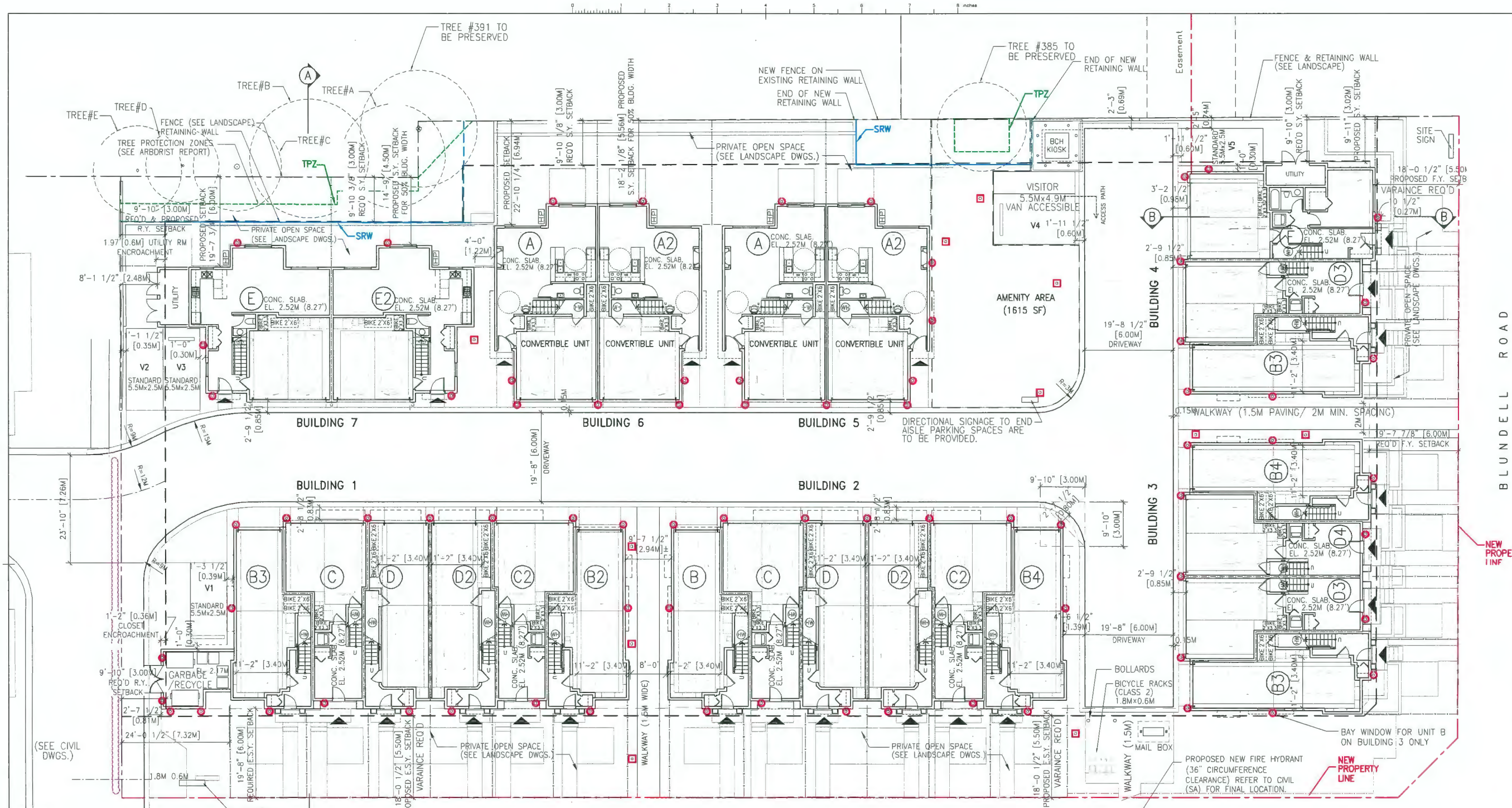
AVERAGE FINISHED GRADE (LOT CORNERS):		AVERAGE FINISHED GRADE (BUILDINGS):			
NW LOT CORNER:	1.34	BLDG.1 NW BUILDING CORNER:	2.32	BLDG.1 NW BUILDING CORNER:	2.32
NE LOT CORNER:	1.88	NE BUILDING CORNER:	2.32	NE BUILDING CORNER:	2.32
SE LOT CORNER:	1.92	SE BUILDING CORNER:	2.32	SE BUILDING CORNER:	2.32
SW LOT CORNER:	2.00	SW BUILDING CORNER:	2.32	SW BUILDING CORNER:	2.32
MID LOT CORNER:	1.80	AVERAGE=	2.28	AVERAGE=	2.32
MID LOT CORNER:	1.80	BLDG.1 NW BUILDING CORNER:	2.32	BLDG.1 NW BUILDING CORNER:	2.32
MID LOT CORNER:	1.80	NE BUILDING CORNER:	2.32	NE BUILDING CORNER:	2.32
AVERAGE:	1.79	SE BUILDING CORNER:	2.32	SE BUILDING CORNER:	2.32
AVERAGE:	1.79	SW BUILDING CORNER:	2.32	SW BUILDING CORNER:	2.32
AVERAGE FINISHED GRADE:	2.05	AVERAGE=	2.32	AVERAGE=	2.32

HIGHEST POINT ELEVATION OF THE CROWN (2.22M)
SLAB ELEVATION: 2.52M
AVERAGE GROUND ELEVATION 2.06M

LEGEND:
ELEV2 FINISHED GRADE ELEVATION
ELEV1 EXISTING GRADE ELEVATION



GRADING PLAN
SCALE: 1"=12'-0"



LIGHTING PLAN

SCALE: 3/32"=1'-0"

NOTES:
 LIGHTING WILL MINIMIZE AND/OR ELIMINATE NIGHTTIME LIGHT POLLUTION AND SPILL ONTO ADJACENT PROPERTIES. SHIELDED, DOWNWARD-FACING LIGHTING TO BE USED AT THE LOCATIONS ADJACENT NEIGHBORING BUILDINGS.

- LEGEND:**
- WALL MOUNTED LIGHTING (MOTION SENSITIVE)
 - BOLLARD LIGHTING
 - ☐ HEAT PUMP

NOTES: HEAT PUMP CONDENSER UNIT TO BE INSTALLED WITH NEOPRENE PADS/DAMPENERS

BC ENERGY STEP CODE REQUIREMENTS ARE TO BE ACHIEVED FOR THE DEVELOPMENT PROJECT



LIGHTING FIXTURE (PRECEDENT)

SCALE: NTS



INTENT OF EXTERIOR LIGHTING

SCALE: NTS



30JUL/24	OPP
17MAY/24	DPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/ODP
07JUL/21	ROAD DEDICATION
26APR/21	DP APPLICATION
02JUL/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

- A A DETAIL NUMBER
- B B LOCATION SHEET
- C C DETAIL SHEET

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Project:
TOWNHOUSE DEVELOPMENT @ NO. 2 ROAD & BLUDELL ROAD

8031-71 No. 2 Rd & 5760-85 Blundell Rd., Richmond, BC

Drawing Title:
**LIGHTING PLAN
 DP 21-934620
 PLAN # 4.1
 JULY 31, 2024**

Date: 2024-05-08
 Scale: AS SHOWN
 Drawn By: XO ZHAO
 Checked By: XO ZHAO
 Project No.: DP 21-934620
 Drawing No.:

BLUNDELL ROAD

NEW PROPERTY LINE

NEW PROPERTY LINE

File Name: ...



(PERSPECTIVE FOR BUILDING ONLY, SEE LANDSCAPE FOR FENCES, GATES & PLANTS)

25-UNIT TOWNHOUSE DEVELOPMENT
#8031- 8071 NO. 2 ROAD & #5760 - 5786 BLUNDELL ROAD
RICHMOND, BC



ZHAO XD ARCHITECT LTD.
www.zhaoarch.com Tel: 604 275-8882

REFERENCE PLANS



**25-UNIT TOWNHOUSE
DEVELOPMENT**
#8031- 8071 NO. 2 ROAD
& #5760 - 5786 BLUNDELL ROAD
RICHMOND, BC



ZHAO XD ARCHITECT LTD.
www.zhaoarch.com Tel: 604 275-8882

REFERENCE PLANS



25-UNIT TOWNHOUSE DEVELOPMENT

#8031- 8071 NO. 2 ROAD & #5760 - 5786 BLUNDELL ROAD, RICHMOND, BC

(PERSPECTIVE FOR BUILDING ONLY, SEE LANDSCAPE FOR FENCES, GATES & PLANTS)



ZHAO XD ARCHITECT LTD.

www.zhaoarch.com Tel: 604 275-8882



REFERENCE PLANS



**ZHAO XD
ARCHITECT
LTD.**

#255-11181 Voyageur Way,
Richmond, BC V6X 3N9
Tel. (604) 275-8882
Fax (604) 909-1736

Email: info@zhaarch.com
Web: zhaarch.com



This drawing shall not be used for construction unless it is countersigned by the CO/SU/TA/ET

29 JUL/24	OPP
17 MAY/24	DPP
04 APR/24	CITY COMMENTS/DPP
08 NOV/23	ADP COMMENTS/DPP
15 JUN/22	ADP/DDP
07 JUL/21	ROAD DEDICATION
26 APR/21	JP APPLICATION
02 JULY/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:
**TOWNHOUSE DEVELOPMENT
@ NO. 2 ROAD &
BLUELLE ROAD**

8031-71 No. 2 Rd & 5760-86
Blundell Rd., Richmond, BC

Drawing Title:
**GROUND FLOOR
PLAN**

Date: 2024-05-08

Scale: AS SHOWN

Drawn By: XD ZI-AO

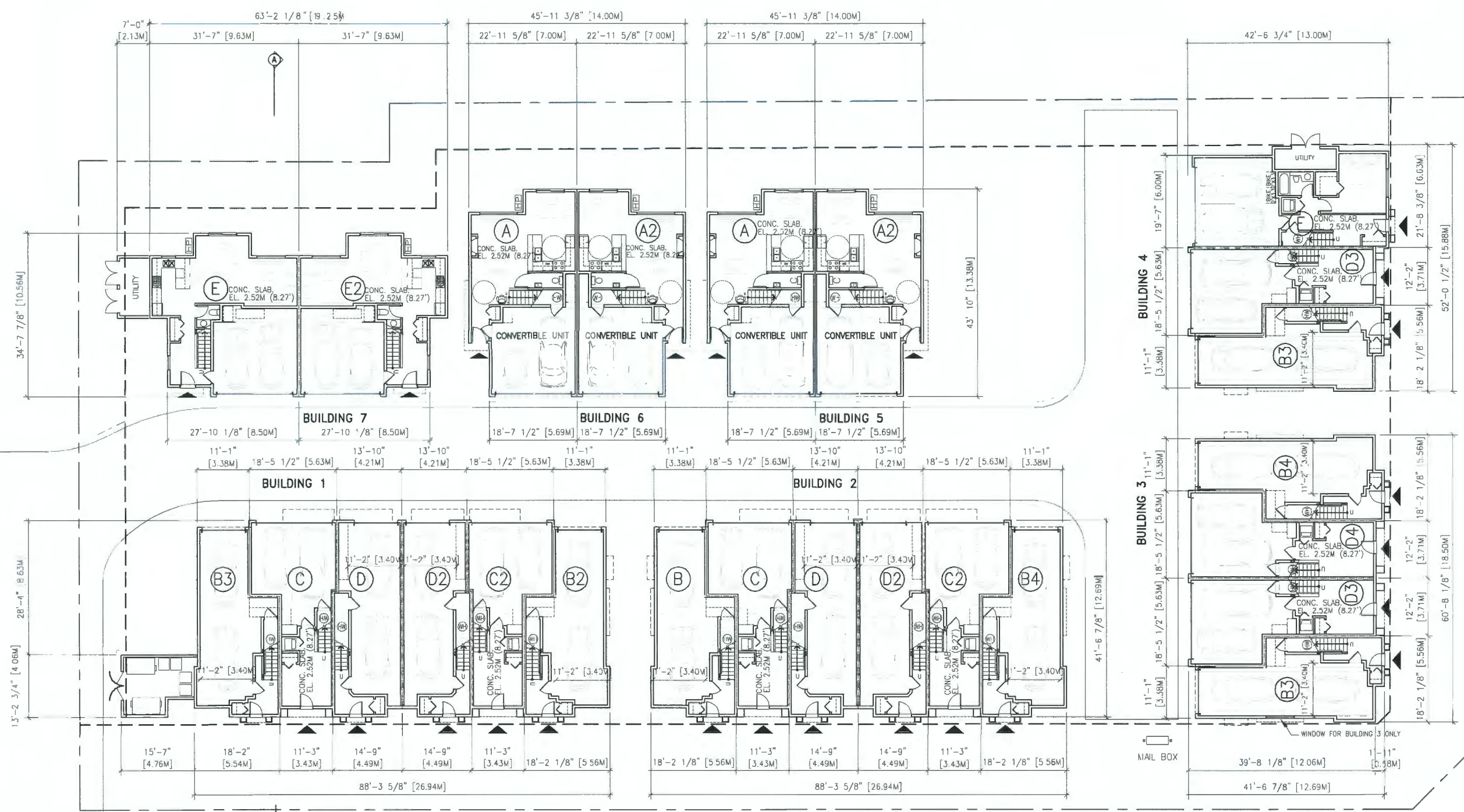
Checked By: XD ZHAO

Project No.: DP 21-934620

Drawing No.:

REFERENCE PLANS

A3



GROUND FLOOR PLAN
SCALE: 3/32"=1'-0"

LEGEND:
[HP] HEAT PUMP
NOTES HEAT PUMP CONDENSER UNIT TO BE INSTALLED WITH NEOPRENE PADS/DAMPENERS

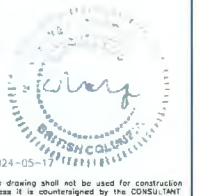
AGING IN PLACE FEATURES FOR ALL UNITS:
-SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS BESIDE TOILET, BATHTUB, AND SHOWER;
-LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES;
-STAIRWELL HANDRAILS;
BC ENERGY STEP CODE REQUIREMENTS ARE TO BE ACHIEVED FOR THE DEVELOPMENT PROJECT.



**ZHAO XD
ARCHITECT
LTD.**

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Email: info@zhaarch.com
Web: zhaarch.com



This drawing shall not be used for construction unless it is countersigned by the ODSU/INT.

29JUL/24	OPP
17MAY/24	JPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DDP
07JUL/21	ROAD DEDICATION
26APR/21	DP APPLICATION
02JULY/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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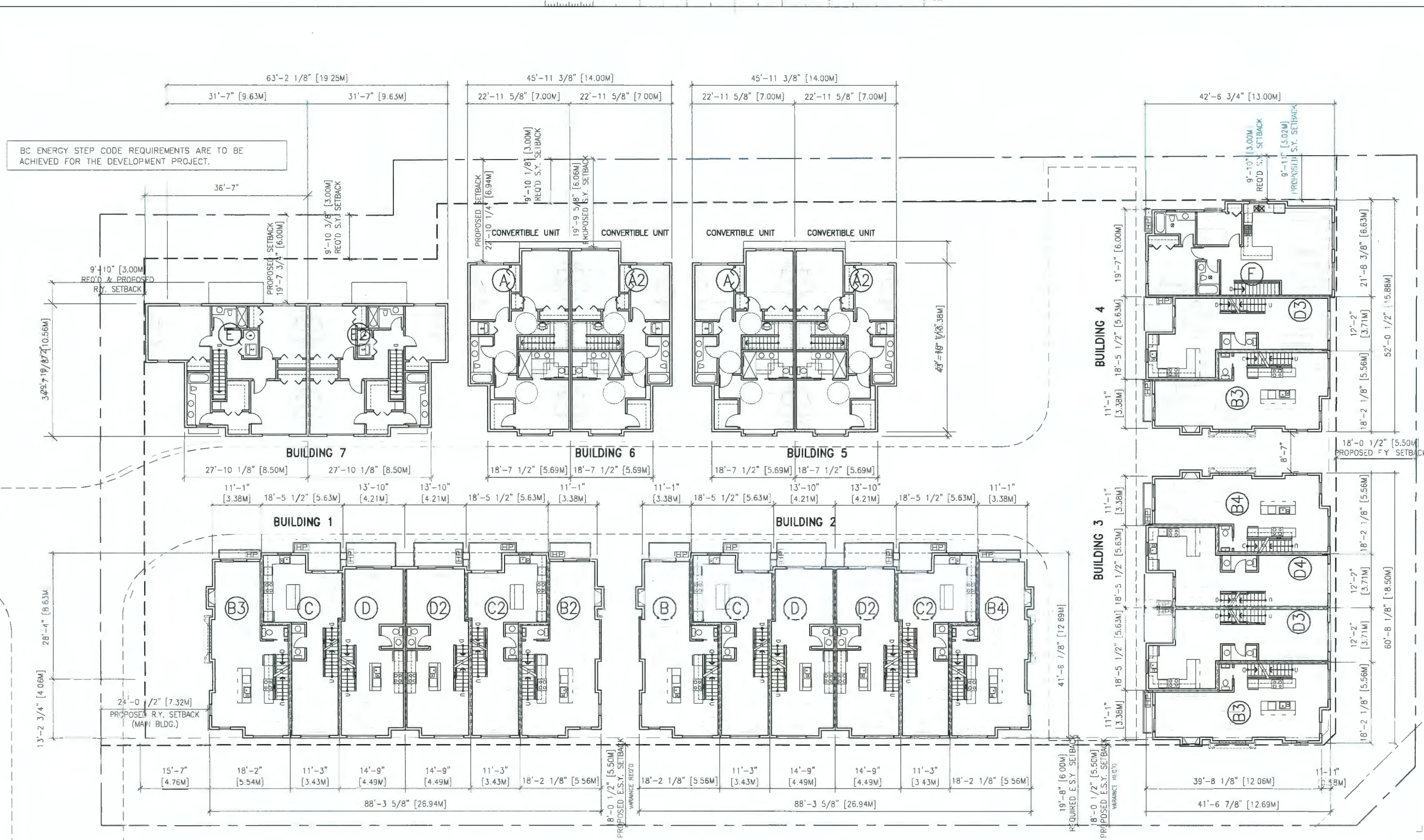
Project:
**TOWNHOUSE DEVELOPMENT
@ NO. 2 ROAD &
BLUELLE ROAD**

8031-71 No. 2 Rd & 5760-86
Blundell Rd., Richmond, BC

Drawing Title:
SECOND FLOOR PLAN

Date:	2024-05-08
Scale:	AS SHOWN
Drawn By:	XD ZHAO
Checked By:	XD ZHAO
Project No.:	DP 21-934620
Drawing No.:	A4

REFERENCE PLANS



BC ENERGY STEP CODE REQUIREMENTS ARE TO BE ACHIEVED FOR THE DEVELOPMENT PROJECT.

SECOND FLOOR PLAN
SCALE: 3/32"=1'-0"

LEGEND:
[HP] HEAT PUMP
NOTES: HEAT PUMP CONDENSER UNIT TO BE INSTALLED WITH NEOPRENE PADS/DAMPENERS

AGING IN PLACE FEATURES FOR ALL UNITS:
-SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS BESIDE TOILET, BATHTUB, AND SHOWER;
-LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES;
-STAIRWELL HANDRAILS;

AGING IN PLACE FEATURES FOR ALL UNITS:
 -SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS
 BESIDE TOILET, BATHTUB, AND SHOWER;
 -LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES;
 -STAIRWELL HANDRAILS;



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19 JUN/24	DPP
17 MAY/24	JPP
04 APR/24	CITY COMMENTS/DPP
08 NOV/23	ADP COMMENTS/DPP
15 JUN/22	ADP/DDP
07 JUL/21	ROAD DEDICATION
28 APR/21	3P APPLICATION
02 JULY/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:
**TOWNHOUSE DEVELOPMENT
 @ NO. 2 ROAD &
 BLUELLE ROAD**

8031-71 No. 2 Rd & 5760-86
 Blundell Rd., Richmond, BC

Drawing Title:
THIRD FLOOR PLAN

Date: 2024-05-08

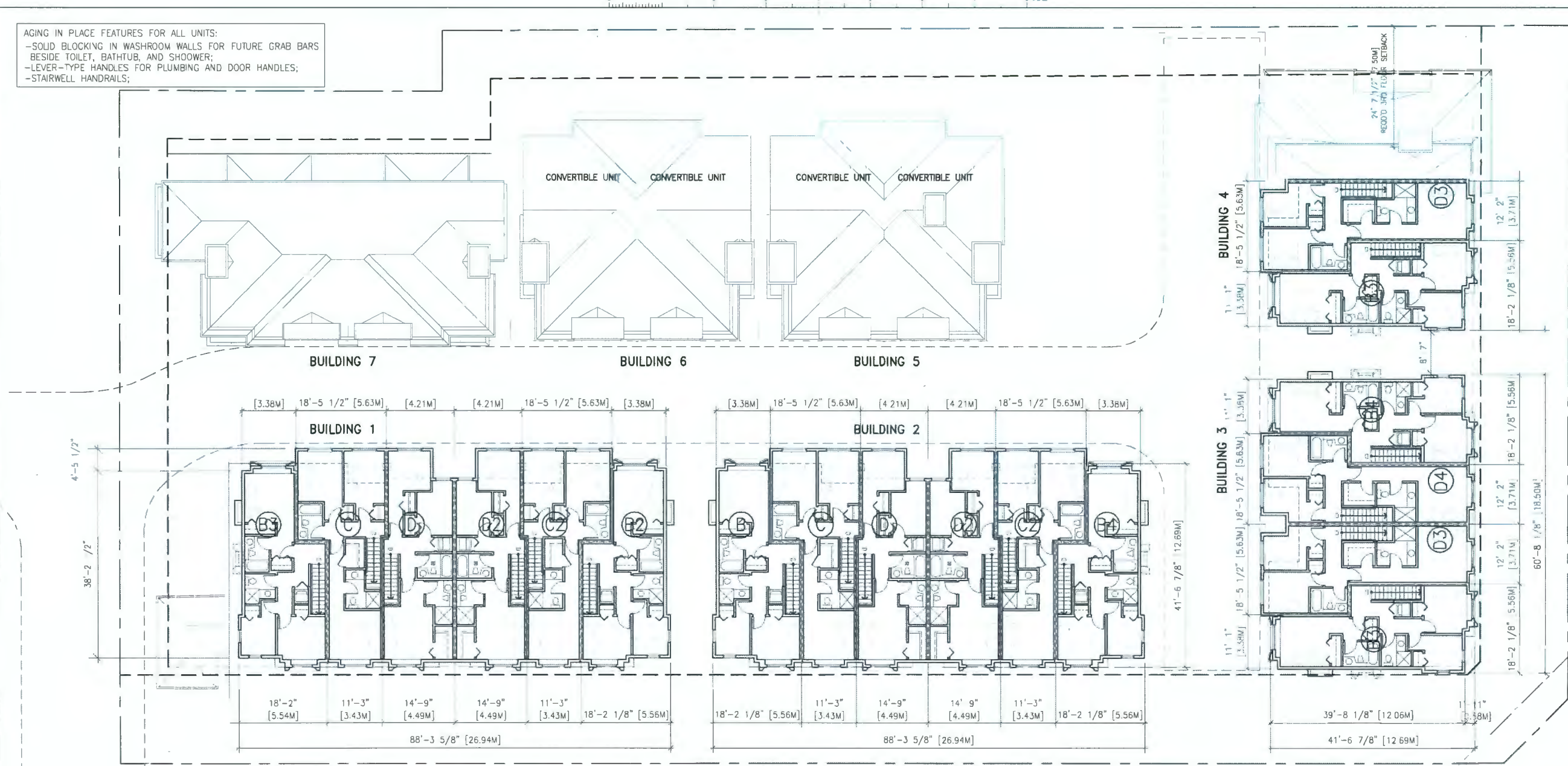
Scale: AS SHOWN

Drawn By: XD ZHAO

Checked By: XD ZHAO

Project No.: DP 21-93462D

Drawing No.: A5



BC ENERGY STEP CODE REQUIREMENTS ARE TO BE ACHIEVED FOR THE DEVELOPMENT PROJECT.

THIRD FLOOR PLAN
 SCALE: 3/32"=1'-0"

UPGRADE EXTERIOR WALL:

- 38 mm Roxul Comfortboard 80
- 13 mm plywood sheathing
- 140 mm wood studs @ 400 mm O.C.
- Fibreglass or mineral wool insulation
- 2 layers of 16 mm type X gypsum wallboard

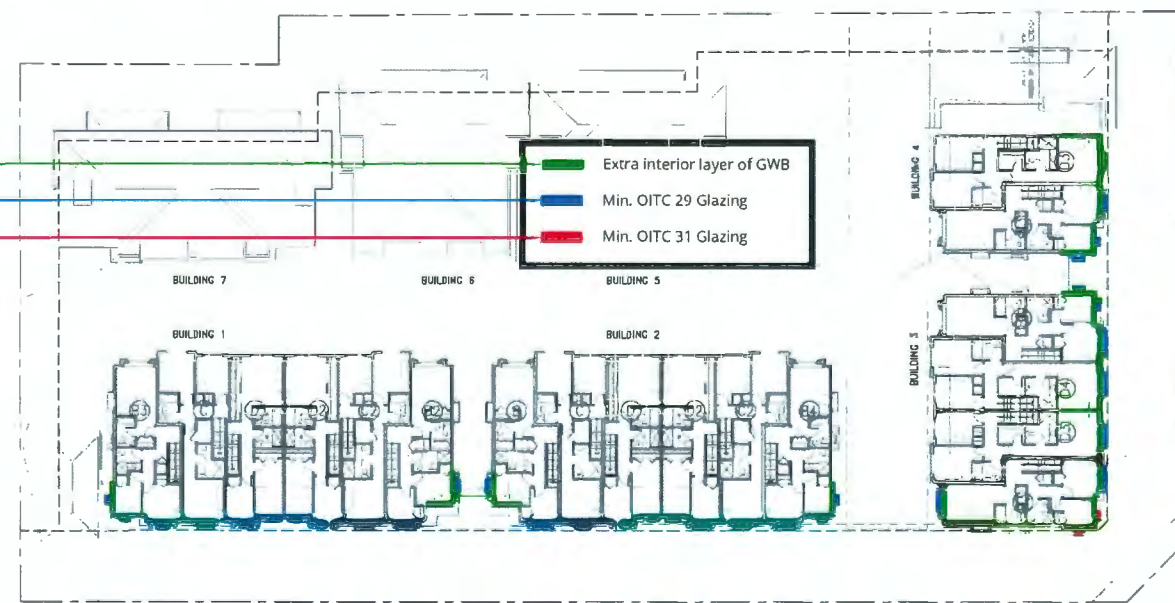
e.g., two panes of 6 mm thick glass separated by a 13 mm airgap (i.e., 6-13-6).

e.g., one pane of 6 mm thick laminated glass separated from one 6 mm pane of glass by a 12 mm airgap (i.e., 6(laminate)-12-6).

- Extra interior layer of GWB
- Min. OITC 29 Glazing
- Min. OITC 31 Glazing

NOTES ON ACOUSTIC REPORT:
 Mechanical noises including in-suite and exterior mechanical equipment noises are controlled per City and governmental requirements (see Acoustic Report)

EXTERIOR WALL/GLAZING UPGRADING FOR ACOUSTIC REQUIREMENTS
 SCALE: NTS



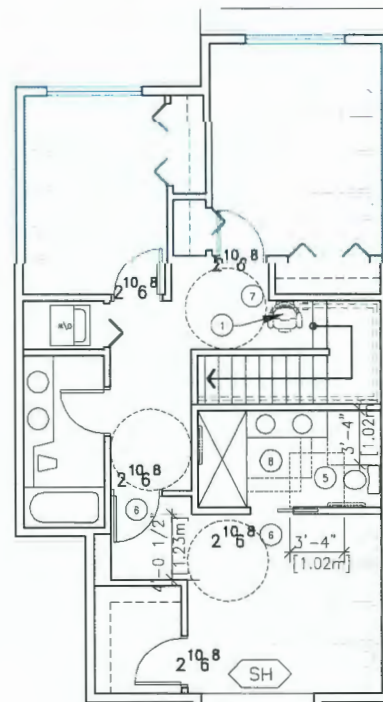
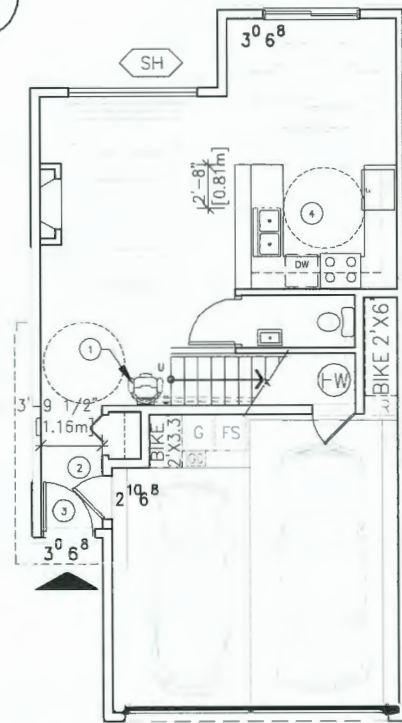
THIRD FLOOR PLAN
 SCALE: 3/32"=1'-0"

REFERENCE PLANS

A

GROUND FLOOR

SECOND FLOOR



UNIT A

GROUND FLOOR

SECOND FLOOR

TOTAL FLOOR AREA: 1239.30 SF 115.1 SM
LOT COVERAGE: 901.7 SF 7.8 SM

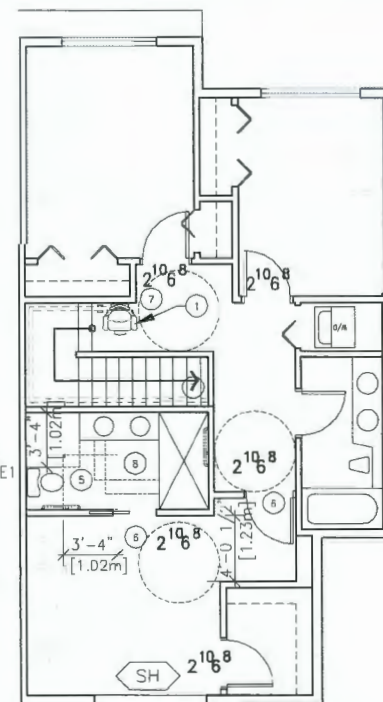
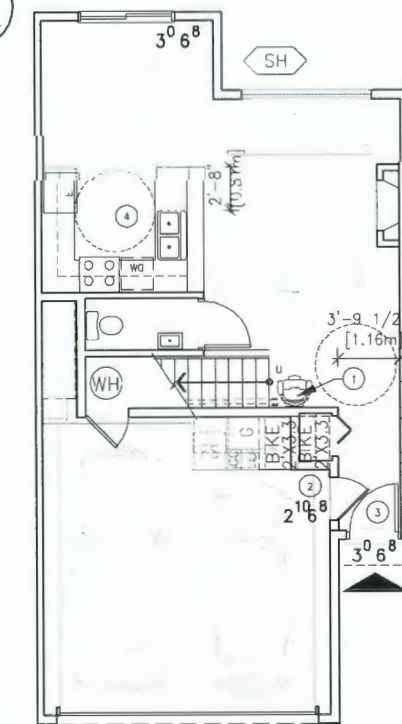
SCALE: 1/8"=1'-0" 427.20 SF 39.70 SM
GARAGE 366.8 SF 34.1 SM
STAIR ENTRY: 107.6 SF 10.0 SM (EXCLUDED)

SCALE: 1/8"=1'-0" 812.1 SF 75.4 SM
STAIRCASE: (EXCLUDED)

GROSS FLOOR AREA: 1713.70 SF 159.2 SM
EXEMPTED FLOOR AREA: 474.40 SF 44.1 SM

SH WINDOW THAT CAN BE OPENED WITH A SINGLE HAND

A2



UNIT A2

GROUND FLOOR

SECOND FLOOR

TOTAL FLOOR AREA: 1239.30 SF 115.1 SM
LOT COVERAGE: 901.7 SF 7.8 SM

SCALE: 1/8"=1'-0" 427.20 SF 39.70 SM
GARAGE 366.8 SF 34.1 SM
STAIR ENTRY: 107.6 SF 10.0 SM (EXCLUDED)

SCALE: 1/8"=1'-0" 812.1 SF 75.4 SM
STAIRCASE: (EXCLUDED)

GROSS FLOOR AREA: 1713.70 SF 159.2 SM
EXEMPTED FLOOR AREA: 474.40 SF 44.1 SM

NOTE 1 : WINDOW ONLY FOR UNIT A2 OF BLDG. 5 ON N. ELEVATION.

AGING IN PLACE FEATURES FOR ALL UNITS:
-SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS BESIDE TOILET, BATHTUB, AND SHOWER;
-LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES;
-STAIRWELL HANDRAILS;

BAY WINDOW NOTES:

BAY WINDOW SEAT MIN. 2' ABOVE FINISHED FLOOR IS STRUCTURALLY PROTRUDED FROM THE WALL. NO FLOORING JOIST EXTENDS BEYOND THE WALL TO PREVENT A CONVERSION TO USABLE FLOOR SPACE. (REFER SECTION DETAIL ON A-10)

LEGEND FOR NOTES

- 1 LIFT CHAIR
2 2'-10" (0.863M) MIN. WIDTH CLEAR FLUSH THRESHOLDS (13MM MAX.)
3 PROVIDE WIRING IN WALL FOR FUTURE AUTOMATIC DOOR 2'-10" (0.863M) WIDTH CLEAR FLUSH THRESHOLDS (13MM MAX.)
4 PLUMBING & GAS PIPES LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE
5 TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT
6 2'-8" (0.8M) MIN. WIDTH CLEAR FOR DOORS TO MASTER BEDROOM & ENSUITE BATH ROOM (2'-8" SLIDING)
7 AT TOP OF ALL STAIRS, WALLS ARE REINFORCED WITH 2X12 SOLID LUMBER @ 3'-0" O.C.
8 SOLID WOOD BLOCK'G TO BE INSTALLED FOR GRAB BARS IN ALL BATHROOMS (INCLUDING TYP. UNITS) & LEVEL HANDLES TO BE USED

CHECKLIST - CONVERTIBLE UNIT FEATURES

DOORS & DOORWAYS

ENTRY DOOR MIN. 863 MM BUT IDEALLY 914MM AND HAVE CLEAR ACCESS. ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER)

INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS.

PATIO/BALCONY MIN. 860MM CLEAR OPENING. (REMOVABLE THRESHOLD RAMP TO BE USED FOR ACCESSIBILITY) ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY BC BUILDING CODE. LEVER-TYPE HANDLES FOR ALL DOORS.

VERTICAL CIRCULATION

CHAIR LIFT (FOR VERTICAL CIRCULATION AS NOTED ON FLOOR PLANS) IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. FRAMING TO ACCOMMODATE CHAIR LIFT INSTALLATION WITHOUT IMPACT TO SURROUNDING STRUCTURE. AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2X12 SOLID LUMBER AT 914MM TO CENTRE.

HALLWAYS

MIN. 900 MM WIDTH

GARAGE

MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH ACCESS FROM GARAGE TO LIVING AREA WITH MIN. 800 MM CLEAR DOOR OPENING (2'-8" SLIDING OR 2'-10" SWINGING DOOR SPEC.) AND FLUSH THRESHOLDS MAX. 13 MM HEIGHT

BATHROOMS (MIN. 1)

TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT. WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2X12 SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS. LEVER-TYPE HANDLES FOR PLUMBING FIXTURES. PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS. CABINETS UNDER SINK(S) ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT). MIN. 800 MM CLEAR DOOR OPENING (2'-8" SLIDING OR 2'-10" SWINGING DOOR SPEC.) WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT

KITCHEN

CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER) ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304MM TO 355MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL. CABINETS UNDER SINK ARE EASILY REMOVED. 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM MIN. 800 MM CLEAR DOOR OPENING (2'-8" SLIDING OR 2'-10" SWINGING DOOR SPEC.) WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT LEVER-TYPE HANDLES FOR PLUMBING FIXTURES

WINDOWS

MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)

OUTLETS & SWITCHES

PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITH PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.



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Table with columns for Date and Description, listing project milestones from 2018 to 2024.

Table with columns for Detail Number, Location Sheet, and Detail Sheet, showing A, B, and C details.

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Project: TOWNHOUSE DEVELOPMENT @ NO. 2 ROAD & BLUDELL ROAD

8031-71 No. 2 Rd & 5760-86 Blundell Rd., Richmond, BC

Drawing Title: UNIT PLAN & OVERLAYS

Date: 2024-05-08 Scale: AS SHOWN Drawn By: XD ZHAO Checked By: XD ZHAO Project No: OP 21-93462D

Drawing No.: