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**To:** Planning Committee **Date:** October 20, 2010  
**From:** Brian J. Jackson, MCIP **File:** ZT 10-517847  
Director of Development  
**Re:** **Application by The Church In Richmond for a Zoning Text Amendment at 4460 Brown Road to the Religious and Education (ZIS4) – Aberdeen Village (City Centre) to change the minimum Front, Rear and Sideyard Setbacks to Allow the Construction of a Two (2) Storey Church Building**

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**Staff Recommendation**

That Bylaw No. 8662, for a zoning text amendment to “Religious and Education (ZIS4) – Aberdeen Village (City Centre)” to change the minimum Front, Rear and Sideyard Setbacks, be introduced and given First Reading.

Brian J. Jackson, MCIP  
Director of Development

TB:cas  
Att. 5

FOR ORIGINATING DEPARTMENT USE ONLY

CONCURRENCE OF GENERAL MANAGER

## Staff Report

### Origin

“The Church In Richmond” (with Interface Architecture Inc.) has applied to the City of Richmond for a zoning text amendment to “Religious and Education (ZIS4) – Aberdeen Village (City Centre)” at 4460 Brown Road (**Attachment 1**) to amend the minimum Front, Rear and Sideyard Setbacks to allow the development of a 1,875 m<sup>2</sup> two (2) storey church with 62 parking stalls (**Attachment 2**).

### Findings of Fact

The subject site, 4460 Brown Road, is situated in the City Centre’s Aberdeen District, adjacent to the former Richmond International High School and College. The Church In Richmond rezoned the property from “Single-Family Housing District, Subdivision Area E (R1/E)” to “Comprehensive Development District (CD/131)” in 2002 for the purpose of developing it with a place of worship, as a permanent site for their congregation. At that time, development was not anticipated for two (2) to five (5) years.

The church now proposes to develop a two-storey place of worship with classrooms, assembly hall, resident custodian’s suite and support functions (e.g., kitchen). A single vehicular access will be provided to Brown Road with an internal statutory right-of-way (mid-site) for pedestrian access to the east. Parking requirements have been fulfilled with 62 spaces.

The development proposal will contribute toward the area’s transition in accordance with the City Centre Area Plan (CCAP) by introducing a two (2) storey place of worship with classrooms, assembly hall and resident custodian’s suite.

A Development Application Data Sheet providing details about the development proposal is attached (**Attachment 3**).

### Surrounding Development

This parcel was rezoned to Religious and Education (ZIS4) – Aberdeen Village (City Centre), formerly Comprehensive Development District (CD/131) in 2002. The former single-family dwelling has been demolished. The adjacent parcel to the north at 4420 Brown Road is also owned by The Church and is presently vacant. The immediate context surrounding the development site is as follows:

- To the North: A vacant parcel zoned Single Detached (RS1/E);
- To the East: An unused private school site zoned Assembly (ASY);
- To the South: Single-family dwellings zoned Single Detached (RS1/E); and
- To the West: Retail stores and offices zoned Auto-Oriented Commercial (CA) flanked by single-family dwellings zoned Single Detached (RS1/E) to the north and south across Brown road from the subject site.

## Background

- In 2002, 4460 Brown Road was rezoned to ZIS4 (formerly CD/131). Subsequently:
  - In 2004, an application was submitted to rezone the adjacent parcel to the north, consolidate the two (2) parcels (4420 and 4460 Brown Road), and develop a more substantial Church building.
  - In 2009, the updated CCAP was adopted.
  - In 2010, the previous 2004 rezoning application was withdrawn and an application was received for a zoning text amendment to amend the yards and setbacks section of the site specific zone (ZIS4) at 4460- Brown Road.
- To bring ZIS4 into conformity with the revised CCAP, the following amendments are proposed:
  - Road (West) Setback to be amended from 6m to 3m;
  - South Setback to be amended from 7.5m to 3m;
  - Rear (East) Setback to be amended from 7.5m to 3m; and
  - North Setback amended to be from 7.5m to 3m.
  - Note: See Analysis below for detailed rationale for the changes to the minimum setback requirements.
- Landscaped areas to the North and East Property Lines: Minimum of 1-1.5 m to provide sufficient planting area for a fence, hedge and trees; and
- Landscaped areas to the West Property Line (Brown Road): Minimum 3 m separation between parking and asphalt path/sidewalk to be achieved to plant trees, shrubs and grass.

## Related Policies & Studies

### *Official Community Plan (OCP) - City Centre Area Plan (CCAP):*

- The subject site is designated “Business and Industry” in the *Official Community Plan (OCP)*.
- The *City Center Area Plan (CCAP)* designates the subject site “General Urban T4 (15 m)” in the Aberdeen Village Specific Land Use Map (**Attachment 4**). The designation permits density up to a maximum of 1.2 Floor Area Ratio (FAR) for Non- Residential Uses including “Institution” with The Church In Richmond’s location and use indicated on the Specific Land Use Map.
- The proposed development complies with the land use designation as “Institution” (from the rezoning in 2002) in the Specific Land Use Map.
- The applicant proposes a density of 0.46 FAR and complies with CCAP density (less than 1.2 FAR) and CCAP design guidelines.
- The proposal complies with the intention of the CCAP with respect to building form, land uses and terms outlined in the Sub-Area Guidelines (Sub-Area A.2: Industrial Reserve – Limited Commercial) applicable to this area. Specific guidelines addressed include:
  - Statutory right-of-way to maintain pedestrian linkage through the site along the north “Main Entry” façade;
  - Coordinated urban image presented through the planar massing, fenestration and detail of (particularly) the Brown Road (West) Elevation and the Entry (North) Elevation;
  - Effective landscaping of the site including disposition of large-growing street trees (deciduous) and onsite landscaping designed to provide both security and an attractive pedestrian and cyclist-friendly image;

- Solid fence 1.8 m in height adjacent to the neighbouring residential use at the south property line with fully landscaped setback; and
- Large areas of permeable paving in the parking lot so that storm water run-off and other environmental issues commonly associated with such areas are mitigated.

*Aircraft Noise Sensitive Development (ANSD) Policy:*

- As the site is affected by OCP Airport Noise Contours, the applicant is required to register an *Aircraft Noise Indemnity Covenant* prior to final adoption of the Zoning Text Amendment Bylaw.

*Floodplain Management Bylaw:*

- A Flood Indemnity Covenant is required.
- The minimum Flood Control Level must be a minimum of 0.3 m above the crown of the Brown road as per the Flood Control Bylaw.
- The application fulfills this requirement.

**Public Input**

- The site sign has been posted on-site.
- Staff did not receive any telephone calls or written correspondence expressing concerns in association with the subject application.

**Advisory Design Panel**

- The Advisory Design Panel (ADP) reviewed the proposal informally at their meeting of May 5, 2010.
- The panel supported the application with comments including:
  - Design development to enhance quality of elevation's composition and fenestration.
  - Design development to increase landscaping and trees in parking areas.
  - Design development to increase permeability and porosity for surface run-off.
- The applicant has worked collaboratively with Staff to address these comments and achieve support for this proposal.

**Staff Comments**

*Form of Development:*

- The Church proposes to develop a two-storey place of worship with an assembly hall, classrooms, resident custodian's suite and support functions (e.g., kitchen).
- Design development has been incorporated to achieve urban design goals suggested by ADP such as:
  - Simplification of colour and texture in cladding materials.
  - Coordination of fenestration types to maintain consistency (e.g., square proportions) and effect (e.g., punched openings to the wall plane).
- Sustainability measures are to be incorporated at Building Permit stage as per the Zoning Text Considerations to address CCAP objectives for environmentally conscious building design by passive environmental strategies (e.g., interior daylighting, energy efficiency, stormwater management, fenestration, plantings, mass to offset thermal loss or gain).
- Design development has been incorporated to ensure that the complex fully enables enhanced accessibility including (e.g., adequate corridor widths, a wheelchair-accessible bathrooms and full range of barrier-free measures).

- A sample board has been provided to illustrate the simplicity of the exterior colour palette. This palette was chosen to provide a contrasting background with the stained glass details of the Entry Foyer.

#### *Site Planning*

- Parking (vehicle and bicycle) complies with the Zoning Bylaw.
- One (1) access on Brown Road is provided and located in close proximity to the north property line of 4460 Brown Road. This is to provide adequate queuing area for pick-up/drop-off activities.
- A minimum of 4.5 m land dedication along the west property line of 4460 Brown Road is required prior to adoption of the zoning text amendment.
- Requirements for garbage and recycling have been accommodated.
- Garbage and recycling have been indicated on the site plan as follows:
  - to be located at the north-east corner of the property.
  - provides sufficient capacity.
  - accommodates garbage/recycling trucks manoeuvring.
- Views from Brown Road have been maintained across the parking lot to the school field (i.e., avoiding solid fencing or high hedging along the common property line with the school field).

#### *Tree Preservation:*

- The Arborist Report's recommendations are supported.
- The majority of trees on site have been previously topped and have been identified as in "very poor condition".
- Seven (7) bylaw-sized coniferous trees identified by the Arborist's Report as "very poor condition" at the north property line will be removed;
- One (1) bylaw sized deciduous tree will be relocated on-site from within the proposed building footprint;
- The feasibility of relocating this tree (#227) has been confirmed in writing by a Tree Moving Company (i.e. Maple leaf Tree Movers) prior;
- Two (2) neighbouring coniferous specimen trees will be protected during pre-load and construction. The applicant proposes to remove these trees due to very poor to fair condition, and potential construction impacts. The applicant will seek the neighbouring owner's permission to remove the trees.
- The tree replacement ratio is almost 10:1 and exceeds the required minimum 2:1 tree replacement ratio.
- Existing hedges are recommended for removal as their condition ("fair") and substantial size would limit site redevelopment.

#### *Site Servicing*

- Capacity analyses have been completed to review existing site servicing and utilities by the applicant's Engineering consultant.
- The analyses have been reviewed by the City's Engineering Department and approved. Required upgrades have been described in the *Rezoning Considerations, 8 (c-e) Servicing Agreement*.
- Frontage improvements (also detailed in the Servicing Agreement for this project) include:
  - *Brown Road*: Provision of 4.5 m land dedication along the west property line with a 2.0 m sidewalk up to the new property line, and a 1.5 m grass and treed boulevard behind the curb altering the street lighting necessary.

- *Registration of a 3.0 m Statutory Right-of-Way:* Completion of a 3.0m east-west SRW landscaped pedestrian walkway running from Brown Road to the neighboring former school site. Note: The SRW is relocated to the north façade of the proposed Church building from the south property line.

*Existing Statutory Right of Way's (SRW) & Covenants:*

Two (2) Statutory Right-of-Ways and two (2) Covenants (required by the previous rezoning in 2002) are currently filed on title and must be discharged:

- A 6 m utilities SRW (BT330977, BCP01046) to the east (rear) property line running north is to be discharged as all City utilities will now be located in Brown Road;
- A 3 m pedestrian SRW (BT330975, BCP01045) to the south property line is to be discharged as access across the subject site to the former school playing field is now provided by shifting this SRW to mid-site along the north façade of the proposed building. A new SRW will be secured prior to adoption of the Zoning Text Amendment.
- A "No Build" Covenant (BCT330979) is to be discharged as a Servicing Agreement for these works is a condition of this application.
- A "Restricted Vehicular Access Point" Covenant (BCT 330978) that maintained the existing site access (as of 2002) is to be discharged.

*Sustainability:*

Sustainability features (listed below) will be referenced in the Zoning Text Amendment

Considerations for inclusion during the Building Permit stages:

- Landscaping and permeable paving that will assist in diverting storm water run-off from the storm sewer system and reducing the urban heat island effect.
- Reduction of fresh water use by specifying low-flow fixtures and water efficient appliances, dual-flush toilets, low-flow faucets and showerheads.
- Motion sensors and timers in public areas to reduce electricity consumption; efficient fixed lights, fans and heating equipment, with increased occupant control (heating zones within functional areas) to decrease energy consumption.
- Low-e glazing to reduce heat gain; demolition/construction waste management to be implemented to divert waste from landfills; products made out of recycled material or with recycled content to be used where applicable and concrete with fly ash content to be specified where possible; locally/regionally harvested and manufactured products to be preferred throughout the project.
- Low emitting materials sealants, adhesives, paints, carpets and composite wood to be used where applicable.
- Operable windows specified to contribute to the quality of the indoor environment.

## **Analysis**

*Amendments To the Minimum Yards & Setbacks:*

- To bring ZIS4 into conformity with the updated CCAP, the following amendments are proposed:
  - Front (West) Setback to be amended from 6.0 m to 3.0 m (amended to enable frontage improvements to Brown Road with a 4.5 m land dedication, and bring the Church building closer to Brown Road to create a more pedestrian friendly development);

- Sideyard (South) Setback to be amended from 7.5 m to 3.0 m (amended to discharge and relocate a pedestrian SRW from the prior rezoning in 2002, improve CPTED issues along a formerly isolated pedestrian SRW, and allow for increased planting to the sideyard adjacent to the single-family dwelling);
- Sideyard (North) Setback to be amended from 7.5 m to 3.0 m (amended to allow for increased planting to the parking area perimeter);
- Rear (East) Setback to be amended from 7.5 m to 3.0 m to discharge a 6 m utilities SRW, locate utilities into Brown Road, and allow for enhanced landscaping to the yard).
- The amendments to the yards and setbacks allow the building to be repositioned to the south-east corner of the property. Greater efficiencies may be achieved in the disposition of parking, access, and landscaping.

*Form of Development:*

- The Advisory Design Panel supported the form of development with comments described above.
- The applicant has worked collaboratively with Staff to address these comments and achieve support for this proposal.

*Landscaping:*

- Design development has been incorporated to include:
  - Provision of significantly enhanced plantings to the Parking Lot and perimeter.
  - Provision of permeable “green” paving (e.g., grasscrete) to the north, one third of the Parking Lot.
  - Provision of a much more densely planted South Sideyard with relocation of the pedestrian access ROW to the north side of the Church building. This relocation minimizes CPTED issues in the isolated in south side yard.
- The tree replacement rationale is almost 10:1 and exceeds the required minimum 2:1 tree replacement ratio.
- A small grove of site-appropriate coniferous specimen trees has been proposed for the north-east corner, and supplementary broad-leaved evergreen shrubs have been provided to front, side and rear yards to ensure “all season” greening of the site.

*Adjacent Parcel (4420 Brown Road):*

- The Church owns the adjacent parcel to the north at 4420 Brown Road.
- This parcel will remain as a Single Detached (RS1/E).
- No trees will be removed from this parcel.
- No buildings will be constructed on the parcel under this application.
- Members of the Church will landscape and maintain the plantings.

*Servicing Agreement:*

- A strong pedestrian connection has been maintained from Brown Road to the former School field. The required pedestrian Statutory Right of Way (along south Property Line of 4460 Brown Road) is to be discharged and relocated to mid-site along the north façade of the current application proposal for 4460 Brown Road.
- The design, construction and maintenance of the Statutory Right of Way/Pedestrian Walkway will be secured under the Servicing Agreement. Key details include:
  - approximately 3.0m SRW is to include 1.2m planters and 1.8m walkway.

- paving of walkway and adjacent surfaces is to be precast "Old Country" stone.
  - precast concrete bollards are to be provided to the main entrance of Assembly Hall.
  - approximately fifteen (15) columnar beech trees are to be provided to landscaped planters along the walkway.
  - design and installation are to City of Richmond specifications at the sole cost of the developer.
  - ongoing maintenance of the walkway and plantings with associated infrastructure is to be the responsibility and cost of the owner.
  - ongoing liability coverage acceptable to the City of Richmond is to be maintained by the owner.
- Site servicing and frontage works are as detailed in **Attachment 5**.

*Crime Prevention Through Environmental Design (CPTED):*

- The pedestrian SRW has been relocated to the north side of the Church building to minimize CPTED issues arising from the isolated south side yard.
- The disposition of fenestration provides good unobtrusive surveillance and overview to the streets, outdoor amenity spaces and parking areas;
- As part of the Building Permit Submission, a lighting plan for pedestrian entrances, access walkways (including pedestrian SRW) and parking access aisles will be required via the Zoning Text Amendment Considerations to ensure uniform levels of coverage and security. All lighting fixtures are to be hooded and downcast to prevent ambient light pollution and located to minimise conflict with neighbouring single family dwellings.

**Financial Impact or Economic Impact**

None

**Conclusion**

Technical requirements associated with the proposed Zoning Text Amendment application have been satisfactorily addressed. The proposed use is consistent with the current OCP – City Centre Aberdeen Village Specific Land Use Map, and the form of development responds to policies and guidelines regarding height, mass, character and vehicle access of the Industrial Reserve-Limited Commercial Sub-Area a-2. The proposed development conforms to the Floodplain Management Strategy and the Tree Protection Bylaw.

For these reasons, staff recommends support for this rezoning application.



Terry Brunette  
Planner 2

TCB:cas



**Attachments**

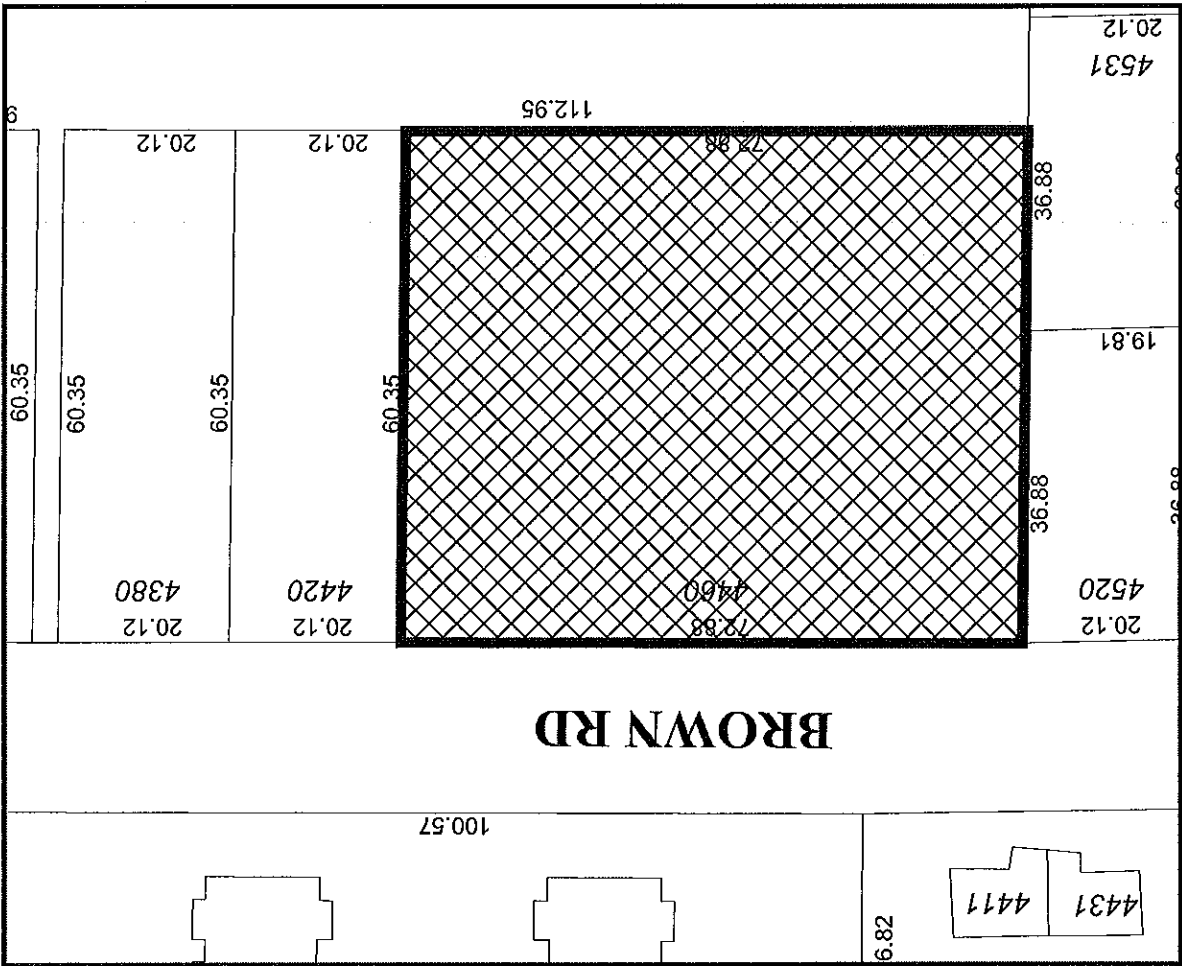
Attachment 1: Location Maps

Attachment 2: Conceptual Development Plans

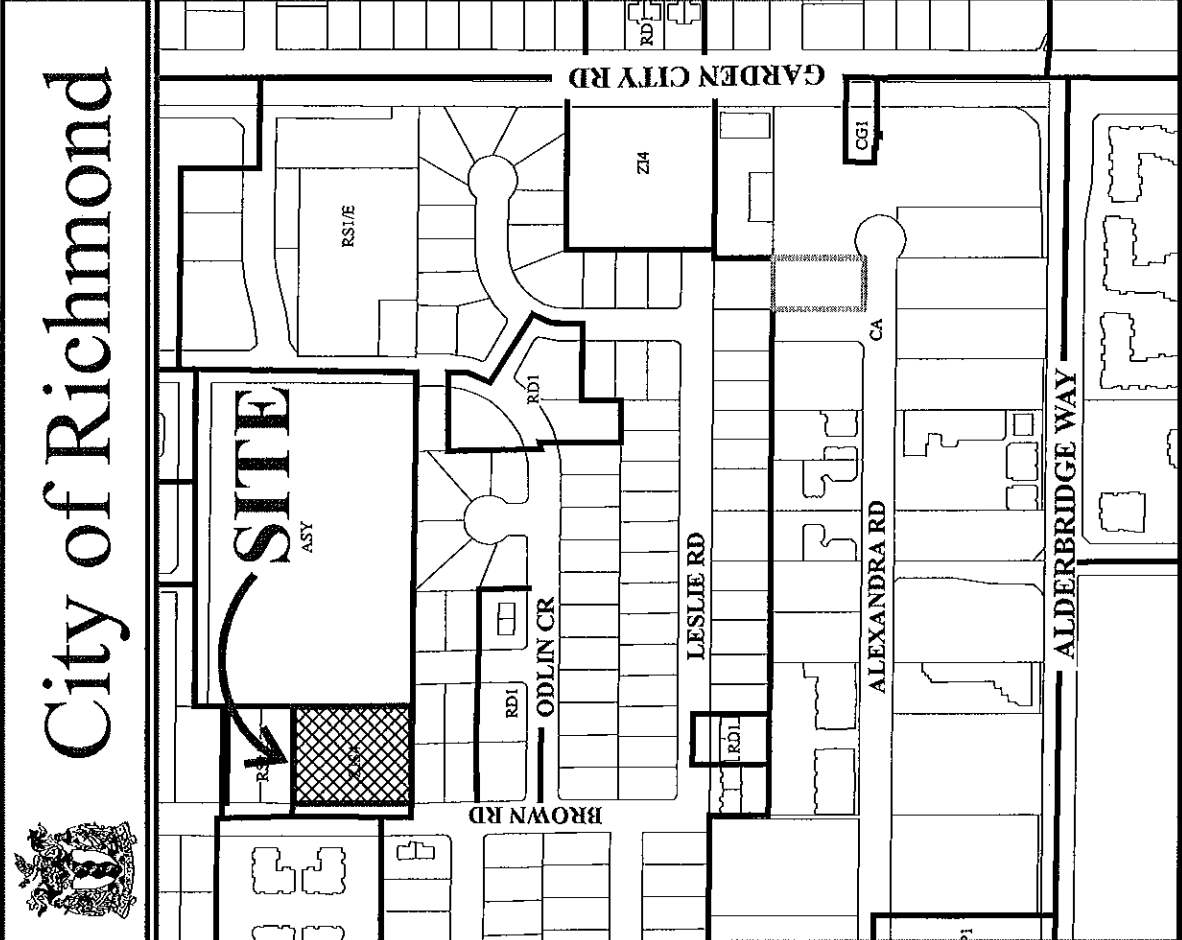
Attachment 3: Development Application Data Sheet

Attachment 4: Aberdeen Village Specific Land Use Map - CCAP

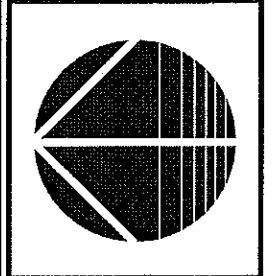
Attachment 5: Zoning Text Amendment Considerations

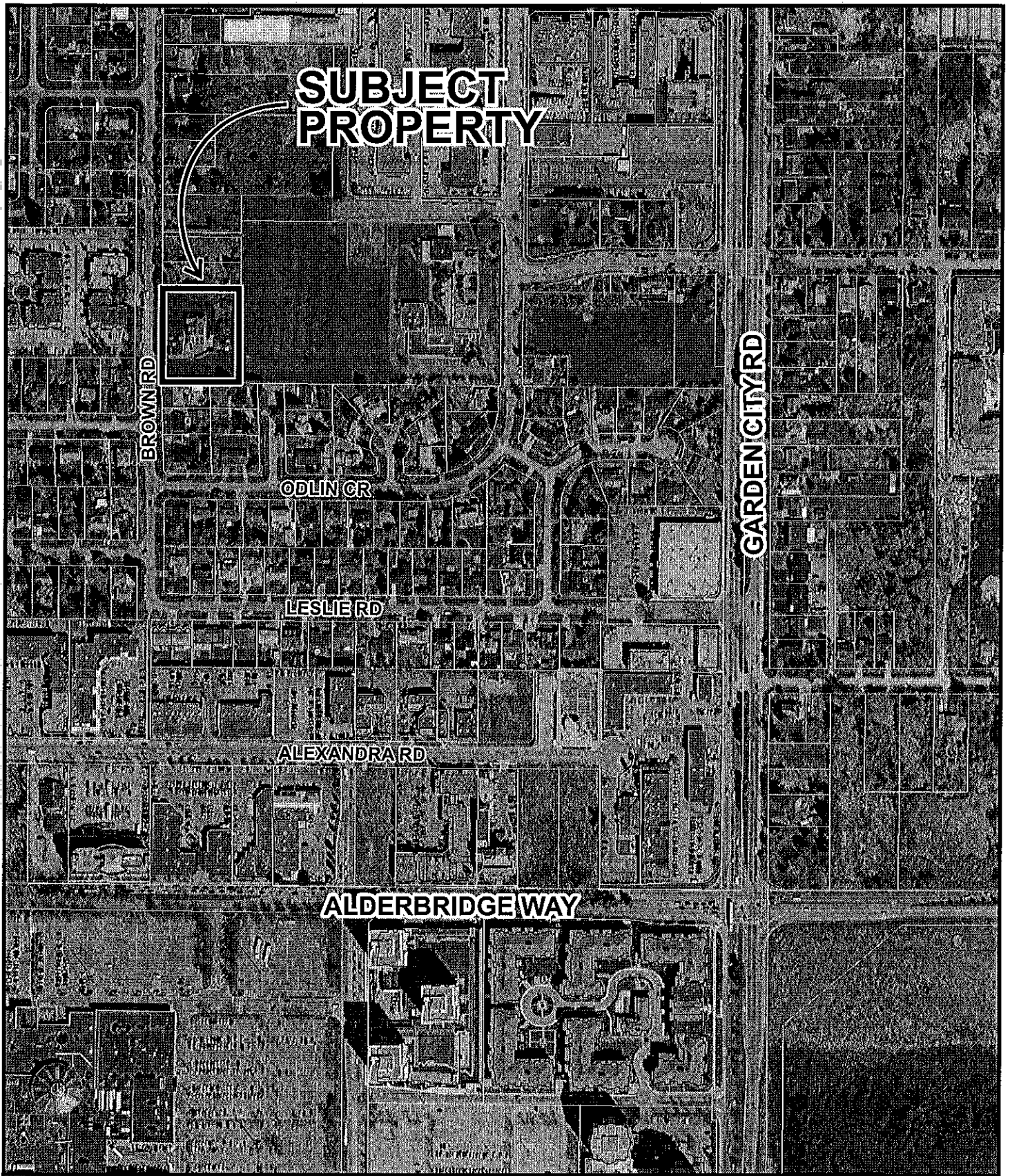


Original Date: 03/03/10  
 Revision Date: 10/20/10  
 Note: Dimensions are in METRES



ZT 10-517847





**SUBJECT  
PROPERTY**

BROWN RD

GARDEN CITY RD

ODLIN CR

LESLIE RD

ALEXANDRA RD

ALDERBRIDGE WAY



ZT 10-517847

Original Date: 03/03/10

Amended Date:

Note: Dimensions are in METRES

NO.	REVISION
1	REVISION: 02/15/2012
2	REVISION: 02/15/2012
3	REVISION: 02/15/2012
4	REVISION: 02/15/2012
5	REVISION: 02/15/2012
6	REVISION: 02/15/2012
7	REVISION: 02/15/2012
8	REVISION: 02/15/2012
9	REVISION: 02/15/2012
10	REVISION: 02/15/2012

**INTERFACE ARCHITECTURE**  
 403 N. 102nd Street  
 Tallahassee, FL 32309  
 Tel: 904.691.1162  
 Fax: 904.691.1163  
 www.interfacearchitecture.com

<b>THE CHURCH IN RICHMOND</b> 4460 BROWN ROAD RICHMOND, FL
DATE: 02/15/12
DRAWN BY: JMSL
CHECKED BY: JMSL
PROJECT DATA & CONTEXT
PROJECT TEAM
DATE
NO.
REVISION
A.1.0

**CITY BYLAW SUMMARY**  
 City of Richmond Zoning & Development Bylaw  
 No. 5809 (2008)

**Owner Address:**  
 4460 Brown Road, Richmond, FL 32309

**Project Name:**  
 SECONDARY (PARCEL 7), SUPPLEMENTARY PLANS (MS) SECTION 31, BLOCK 5 NORTH, RANGE 8 WEST, NW/4 PLAIN 3718

**Proposed:**  
 2,000 sq ft, 2-3 stories

**Use:**  
 C-1, C-2, C-3

**Setbacks:**  
 Front: 5.0 m  
 Side: 3.0 m  
 Rear: 3.0 m

**Proposed Building**  
 Building Height: 2.25 m  
 Building Footprint: 2,000 sq ft  
 Total Floor Area: 6,000 sq ft  
 Maximum Height: 8.25 m  
 Maximum Width: 20.0 m

**Other Requirements:**  
 1. Maximum lot coverage: 50%  
 2. Maximum number of units: 20  
 3. Maximum number of stories: 3

**LOADING**  
 1. Minimum 2.5m clear height  
 2. Minimum 2.5m clear height

**BIKEWAYS**  
 1. Minimum 2.5m clear height

**BUILDING CODE SUMMARY (Preliminary)**  
 B.C. Building Code 2006

**Approved:**  
 Proposed Building: 2,000 sq ft, 2-3 stories  
 Occupancy Type: C-1, C-2, C-3  
 Construction Type: Masonry  
 Foundation: Precast concrete  
 Fire Protection: 1.5 hr fire rating

**Architectural**  
 1.00 1.01 1.02 1.03 1.04 1.05 1.06 1.07 1.08 1.09 1.10 1.11 1.12 1.13 1.14 1.15 1.16 1.17 1.18 1.19 1.20 1.21 1.22 1.23 1.24 1.25 1.26 1.27 1.28 1.29 1.30 1.31 1.32 1.33 1.34 1.35 1.36 1.37 1.38 1.39 1.40 1.41 1.42 1.43 1.44 1.45 1.46 1.47 1.48 1.49 1.50 1.51 1.52 1.53 1.54 1.55 1.56 1.57 1.58 1.59 1.60 1.61 1.62 1.63 1.64 1.65 1.66 1.67 1.68 1.69 1.70 1.71 1.72 1.73 1.74 1.75 1.76 1.77 1.78 1.79 1.80 1.81 1.82 1.83 1.84 1.85 1.86 1.87 1.88 1.89 1.90 1.91 1.92 1.93 1.94 1.95 1.96 1.97 1.98 1.99 2.00

**DRAWING LIST**

Architectural:  
 A.1.0 SCHEDULE, PART 1: GENERAL  
 A.2.0 SITE & FLOOR PLAN, SITE DETAILS  
 A.3.0 FLOOR PLANS  
 A.4.0 ELEVATIONS  
 A.5.0 SECTION THROUGH USE FOR 4460 BROWN ROAD  
 A.6.0 ARCHITECTURAL ELEVATIONS  
 A.7.0 ROOF PLAN  
 A.8.0 FLOOR LOAD CALCULATION OVERLAY  
 A.9.0 FOUNDATION PLAN  
 A.10.0 FOUNDATION CALCULATION OVERLAY  
 A.11.0 FOUNDATION DETAIL

**Architect**  
 Interface Architecture  
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**Structural**  
 1.00 1.01 1.02 1.03 1.04 1.05 1.06 1.07 1.08 1.09 1.10 1.11 1.12 1.13 1.14 1.15 1.16 1.17 1.18 1.19 1.20 1.21 1.22 1.23 1.24 1.25 1.26 1.27 1.28 1.29 1.30 1.31 1.32 1.33 1.34 1.35 1.36 1.37 1.38 1.39 1.40 1.41 1.42 1.43 1.44 1.45 1.46 1.47 1.48 1.49 1.50 1.51 1.52 1.53 1.54 1.55 1.56 1.57 1.58 1.59 1.60 1.61 1.62 1.63 1.64 1.65 1.66 1.67 1.68 1.69 1.70 1.71 1.72 1.73 1.74 1.75 1.76 1.77 1.78 1.79 1.80 1.81 1.82 1.83 1.84 1.85 1.86 1.87 1.88 1.89 1.90 1.91 1.92 1.93 1.94 1.95 1.96 1.97 1.98 1.99 2.00

**HVAC & Plumbing**  
 1.00 1.01 1.02 1.03 1.04 1.05 1.06 1.07 1.08 1.09 1.10 1.11 1.12 1.13 1.14 1.15 1.16 1.17 1.18 1.19 1.20 1.21 1.22 1.23 1.24 1.25 1.26 1.27 1.28 1.29 1.30 1.31 1.32 1.33 1.34 1.35 1.36 1.37 1.38 1.39 1.40 1.41 1.42 1.43 1.44 1.45 1.46 1.47 1.48 1.49 1.50 1.51 1.52 1.53 1.54 1.55 1.56 1.57 1.58 1.59 1.60 1.61 1.62 1.63 1.64 1.65 1.66 1.67 1.68 1.69 1.70 1.71 1.72 1.73 1.74 1.75 1.76 1.77 1.78 1.79 1.80 1.81 1.82 1.83 1.84 1.85 1.86 1.87 1.88 1.89 1.90 1.91 1.92 1.93 1.94 1.95 1.96 1.97 1.98 1.99 2.00

**Electrical**  
 1.00 1.01 1.02 1.03 1.04 1.05 1.06 1.07 1.08 1.09 1.10 1.11 1.12 1.13 1.14 1.15 1.16 1.17 1.18 1.19 1.20 1.21 1.22 1.23 1.24 1.25 1.26 1.27 1.28 1.29 1.30 1.31 1.32 1.33 1.34 1.35 1.36 1.37 1.38 1.39 1.40 1.41 1.42 1.43 1.44 1.45 1.46 1.47 1.48 1.49 1.50 1.51 1.52 1.53 1.54 1.55 1.56 1.57 1.58 1.59 1.60 1.61 1.62 1.63 1.64 1.65 1.66 1.67 1.68 1.69 1.70 1.71 1.72 1.73 1.74 1.75 1.76 1.77 1.78 1.79 1.80 1.81 1.82 1.83 1.84 1.85 1.86 1.87 1.88 1.89 1.90 1.91 1.92 1.93 1.94 1.95 1.96 1.97 1.98 1.99 2.00

**PROJECT TEAM**

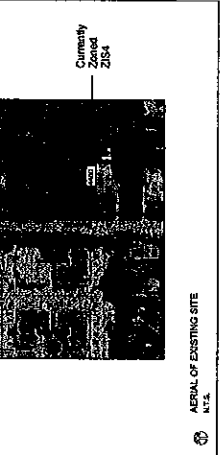
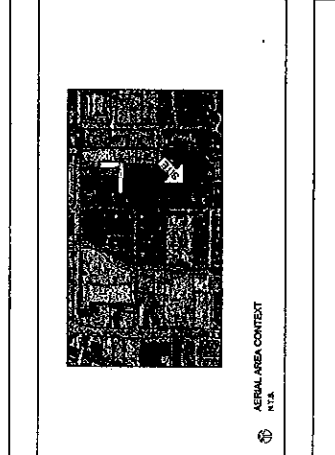
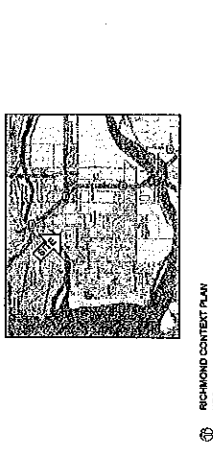
**Owner**  
 THE CHURCH IN RICHMOND  
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 RICHMOND, FL 32309

**Architect**  
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**Mechanical: HVAC & PLUMBING**  
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**Electrical**  
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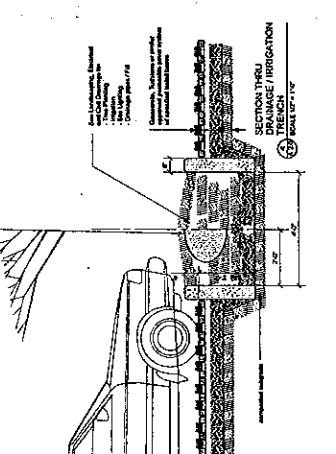
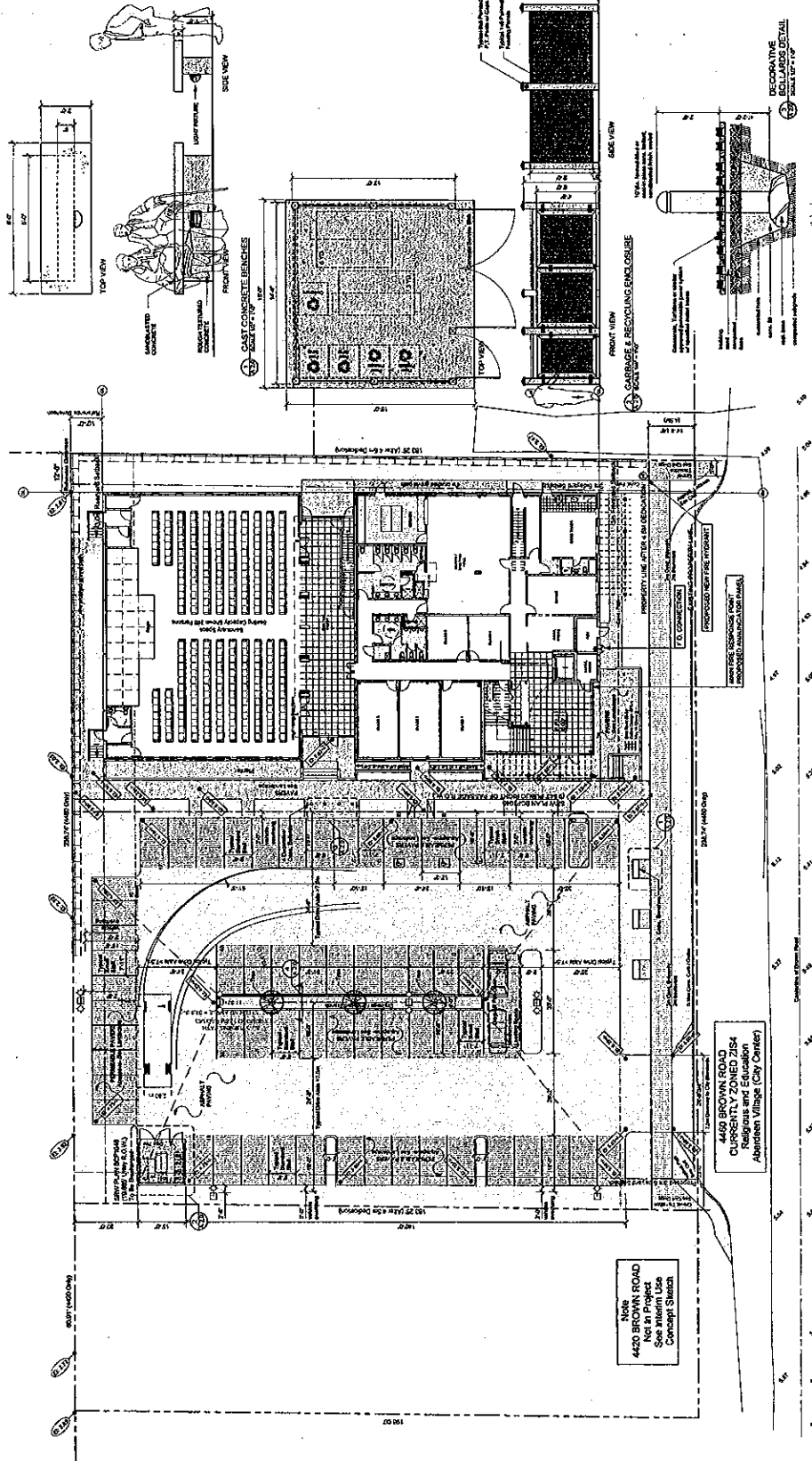


**PROJECT DESCRIPTION**  
 The Church in Richmond is a non-profit organization that provides spiritual support and community services to the residents of Richmond, Florida. The Church is currently located on 4460 Brown Road, Richmond, FL 32309. The Church is a two-story brick building with a total floor area of approximately 6,000 sq ft. The Church is currently undergoing a major renovation project. The proposed renovation includes the addition of a new entrance, the renovation of the interior, and the addition of a new parking lot. The proposed renovation is being undertaken to improve the Church's facilities and to provide a better environment for the Church's members and the community.

DATE	DESCRIPTION
01/22/13	PRELIMINARY
02/22/13	REVISED
03/22/13	REVISED
04/22/13	REVISED
05/22/13	REVISED
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12/22/25	REVISED

**INTERFACE ARCHITECTURE**  
 2222 BROWN ROAD  
 RICHMOND, B.C. V6X 2S5  
 TEL: 604.273.1111  
 FAX: 604.273.1112  
 WWW: INTERFACEARCHITECTURE.COM

**THE CHURCH IN RICHMOND**  
 4420 BROWN RD.  
 RICHMOND, B.C.  
 PROJECT NO. 2013-01  
 SHEET NO. 11/17 - 1/17  
 DATE: 11/17/17  
 SCALE: AS SHOWN  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT: [Name]



**SITE PLAN**

SEE LANDSCAPE PLAN, ARBORIST REPORT & SURVEY FOR EXISTING TREES. TREE REMOVAL REPLACEMENT US SITE SERVICES. DETAILED GRADING PLAN & OFF-SITE WORK.

SCALE: 1/8" = 1'-0"

TABLE 1: ELEVATIONS, BASED ON AN ASSUMED SEA LEVEL

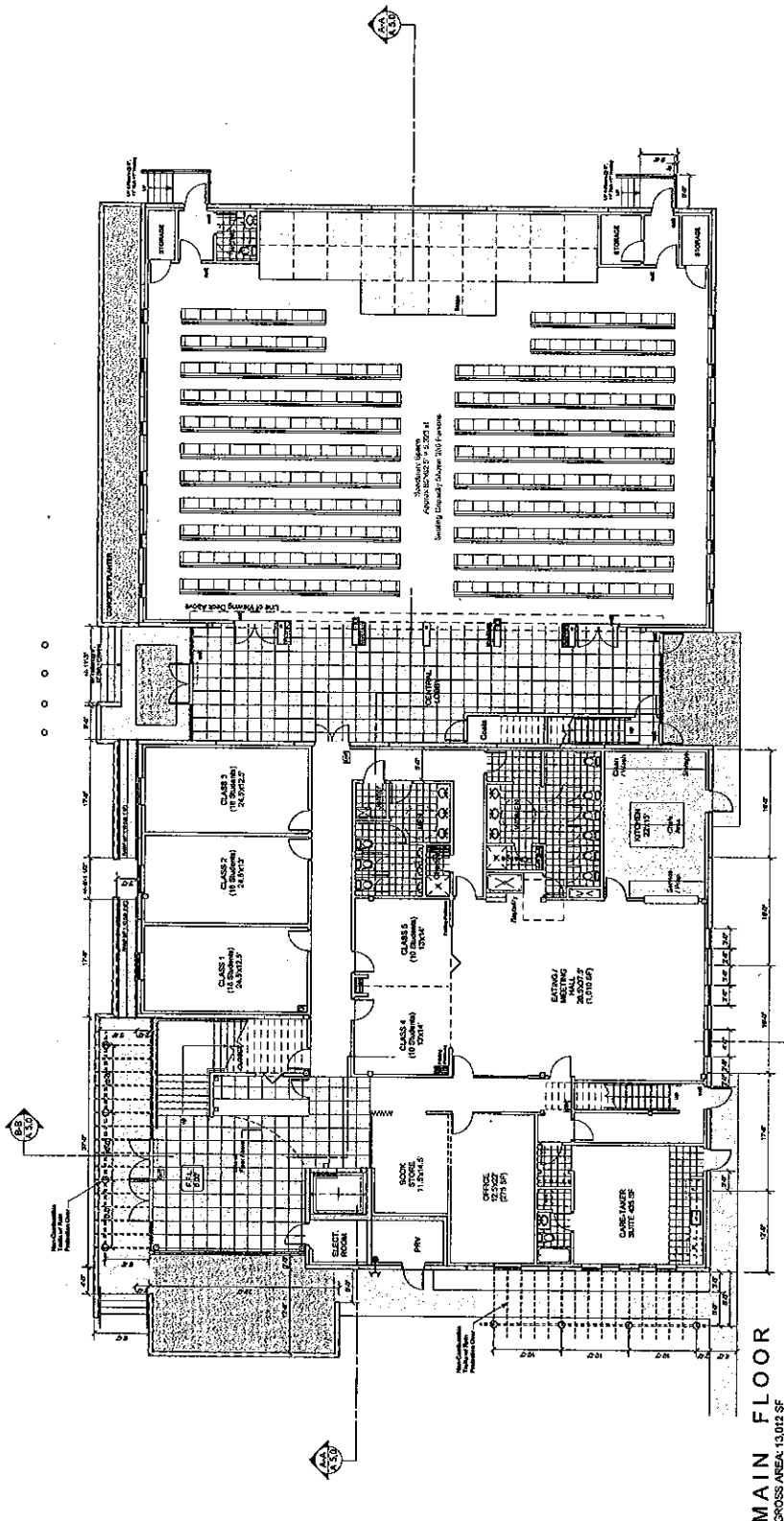
ELEVATIONS	NORTH		EAST		SOUTH		WEST	
	MIN	MAX	MIN	MAX	MIN	MAX	MIN	MAX
PROPOSED BUILDING	280.13A	281.13A	282.13A	283.13A	284.13A	285.13A	286.13A	287.13A
EXISTING BUILDING	280.13B	281.13B	282.13B	283.13B	284.13B	285.13B	286.13B	287.13B
PROPOSED DRIVEWAY	280.13C	281.13C	282.13C	283.13C	284.13C	285.13C	286.13C	287.13C
PROPOSED SIDEWALK	280.13D	281.13D	282.13D	283.13D	284.13D	285.13D	286.13D	287.13D
PROPOSED PARKING	280.13E	281.13E	282.13E	283.13E	284.13E	285.13E	286.13E	287.13E
PROPOSED DRIVEWAY	280.13F	281.13F	282.13F	283.13F	284.13F	285.13F	286.13F	287.13F
PROPOSED SIDEWALK	280.13G	281.13G	282.13G	283.13G	284.13G	285.13G	286.13G	287.13G
PROPOSED PARKING	280.13H	281.13H	282.13H	283.13H	284.13H	285.13H	286.13H	287.13H
PROPOSED DRIVEWAY	280.13I	281.13I	282.13I	283.13I	284.13I	285.13I	286.13I	287.13I
PROPOSED SIDEWALK	280.13J	281.13J	282.13J	283.13J	284.13J	285.13J	286.13J	287.13J
PROPOSED PARKING	280.13K	281.13K	282.13K	283.13K	284.13K	285.13K	286.13K	287.13K
PROPOSED DRIVEWAY	280.13L	281.13L	282.13L	283.13L	284.13L	285.13L	286.13L	287.13L
PROPOSED SIDEWALK	280.13M	281.13M	282.13M	283.13M	284.13M	285.13M	286.13M	287.13M
PROPOSED PARKING	280.13N	281.13N	282.13N	283.13N	284.13N	285.13N	286.13N	287.13N
PROPOSED DRIVEWAY	280.13O	281.13O	282.13O	283.13O	284.13O	285.13O	286.13O	287.13O
PROPOSED SIDEWALK	280.13P	281.13P	282.13P	283.13P	284.13P	285.13P	286.13P	287.13P
PROPOSED PARKING	280.13Q	281.13Q	282.13Q	283.13Q	284.13Q	285.13Q	286.13Q	287.13Q
PROPOSED DRIVEWAY	280.13R	281.13R	282.13R	283.13R	284.13R	285.13R	286.13R	287.13R
PROPOSED SIDEWALK	280.13S	281.13S	282.13S	283.13S	284.13S	285.13S	286.13S	287.13S
PROPOSED PARKING	280.13T	281.13T	282.13T	283.13T	284.13T	285.13T	286.13T	287.13T
PROPOSED DRIVEWAY	280.13U	281.13U	282.13U	283.13U	284.13U	285.13U	286.13U	287.13U
PROPOSED SIDEWALK	280.13V	281.13V	282.13V	283.13V	284.13V	285.13V	286.13V	287.13V
PROPOSED PARKING	280.13W	281.13W	282.13W	283.13W	284.13W	285.13W	286.13W	287.13W
PROPOSED DRIVEWAY	280.13X	281.13X	282.13X	283.13X	284.13X	285.13X	286.13X	287.13X
PROPOSED SIDEWALK	280.13Y	281.13Y	282.13Y	283.13Y	284.13Y	285.13Y	286.13Y	287.13Y
PROPOSED PARKING	280.13Z	281.13Z	282.13Z	283.13Z	284.13Z	285.13Z	286.13Z	287.13Z



DATE: 12/20/2011	PROJECT: THE CHURCH IN RICHMOND
BY: J. W. HARRIS	SCALE: 1/8" = 1'-0"
CHECKED: J. W. HARRIS	DATE: 12/20/2011
APPROVED: J. W. HARRIS	PROJECT NO: 11-0001
DATE: 12/20/2011	PROJECT: THE CHURCH IN RICHMOND
BY: J. W. HARRIS	SCALE: 1/8" = 1'-0"
CHECKED: J. W. HARRIS	DATE: 12/20/2011
APPROVED: J. W. HARRIS	PROJECT NO: 11-0001
DATE: 12/20/2011	PROJECT: THE CHURCH IN RICHMOND
BY: J. W. HARRIS	SCALE: 1/8" = 1'-0"
CHECKED: J. W. HARRIS	DATE: 12/20/2011
APPROVED: J. W. HARRIS	PROJECT NO: 11-0001

**INTERFACE  
ARCHITECTURE  
INC.**  
2010 W. BROADWAY  
RICHMOND, S.C. 29203  
TEL: (803) 251-1192  
FAX: (803) 251-1198  
WWW.INTERFACEDENVER.COM

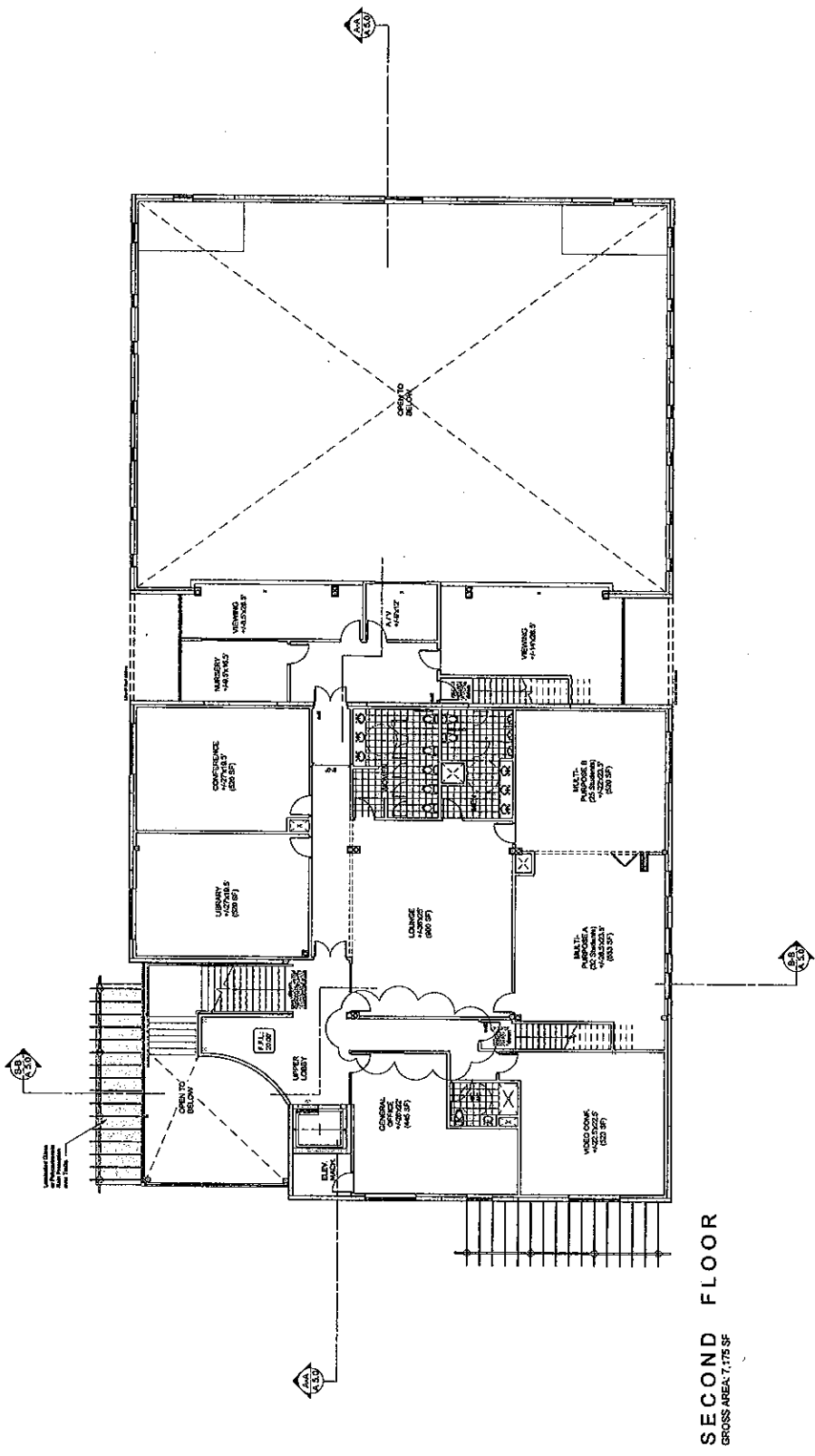
PROJECT:	THE CHURCH IN RICHMOND
ADDRESS:	4460 BROWN ROAD RICHMOND, S.C.
DATE:	12/20/2011
SCALE:	1/8" = 1'-0"
PROJECT NO:	11-0001
DATE:	12/20/2011
PROJECT:	THE CHURCH IN RICHMOND
ADDRESS:	4460 BROWN ROAD RICHMOND, S.C.
DATE:	12/20/2011
SCALE:	1/8" = 1'-0"
PROJECT NO:	11-0001
DATE:	12/20/2011
PROJECT:	THE CHURCH IN RICHMOND
ADDRESS:	4460 BROWN ROAD RICHMOND, S.C.
DATE:	12/20/2011
SCALE:	1/8" = 1'-0"
PROJECT NO:	11-0001
DATE:	12/20/2011



**MAIN FLOOR**  
GROSS AREA: 13,012 SF

DATE	10/15/2008
BY	JHS
PROJECT	THE CHURCH IN RICHMOND
DESCRIPTION	Second Floor Plan
SCALE	1/8" = 1'-0"
PROJECT NO.	4460
CLIENT	THE CHURCH IN RICHMOND
ARCHITECT	INTERFACE ARCHITECTURE, P.C.
ADDRESS	4460 BROWN ROAD, RICHMOND, VA 23226
PHONE	(804) 621-1100
FAX	(804) 621-1102
WEBSITE	www.interfacearch.com

PROJECT	THE CHURCH IN RICHMOND
ADDRESS	4460 BROWN ROAD, RICHMOND, VA 23226
DATE	10/15/2008
BY	JHS
PROJECT NO.	4460
CLIENT	THE CHURCH IN RICHMOND
ARCHITECT	INTERFACE ARCHITECTURE, P.C.
ADDRESS	4460 BROWN ROAD, RICHMOND, VA 23226
PHONE	(804) 621-1100
FAX	(804) 621-1102
WEBSITE	www.interfacearch.com



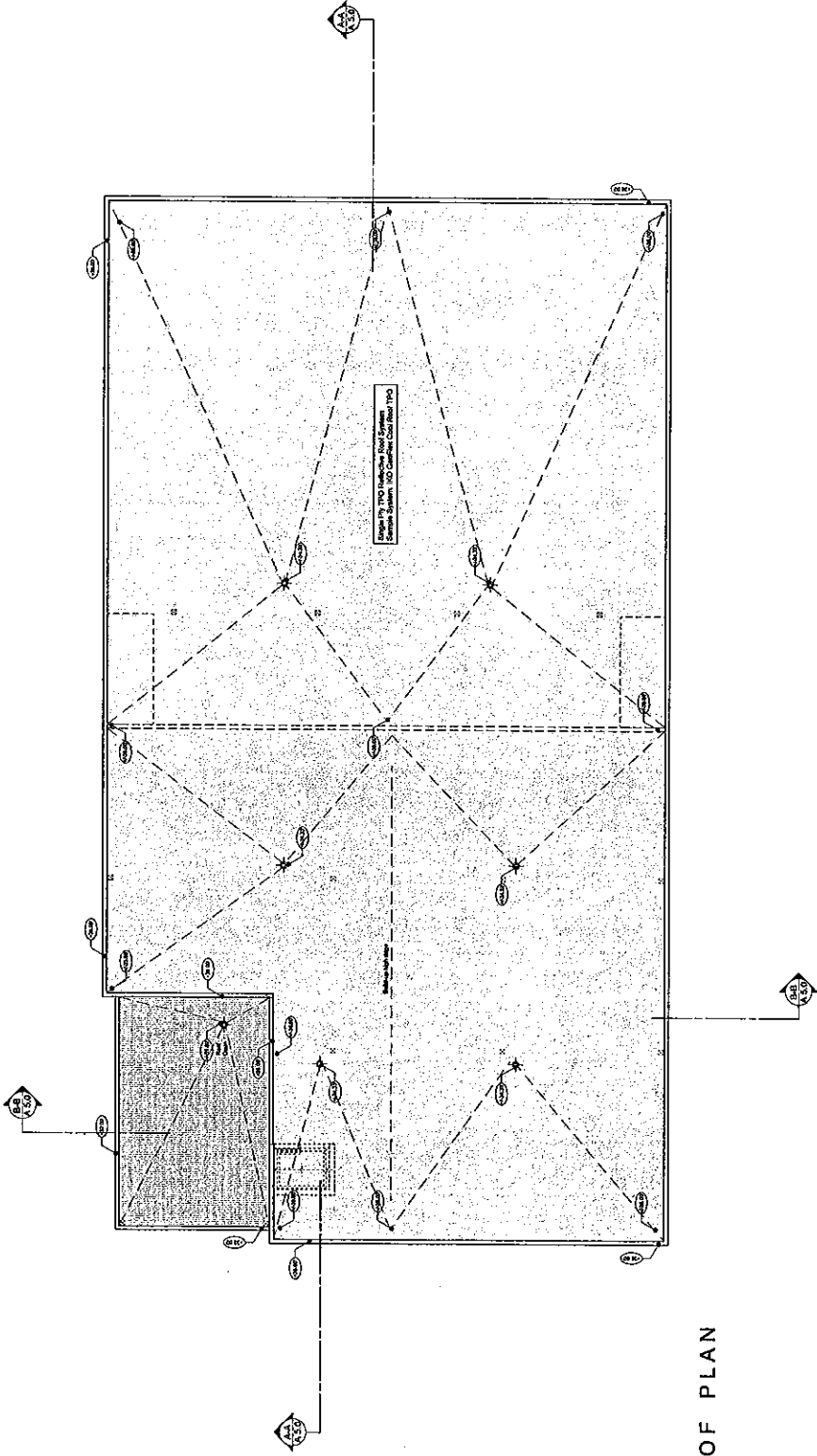
**SECOND FLOOR**  
GROSS AREA: 7,175 SF



DATE:	
BY:	
REVISIONS:	
1. 11/18/11	ADD FINISHES TO ROOF PLAN
2. 11/18/11	ADD FINISHES TO ROOF PLAN
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INTERFACE  
ARCHITECTURE  
INC.  
2801 HIGHWAY 28  
RICHMOND, B.C. V6X 3S5  
TEL: 604.271.1182  
FAX: 604.271.1181  
info@interface.ca  
www.interface.ca

PROJECT:	THE CHURCH IN RICHMOND
ADDRESS:	4400 BROWN ROAD RICHMOND, B.C.
SCALE:	1/8" = 1'-0"
DATE:	
DESIGNER:	J.A.S.
CHECKER:	
DATE:	
TITLE:	Roof Plan
NO.	A 3.3

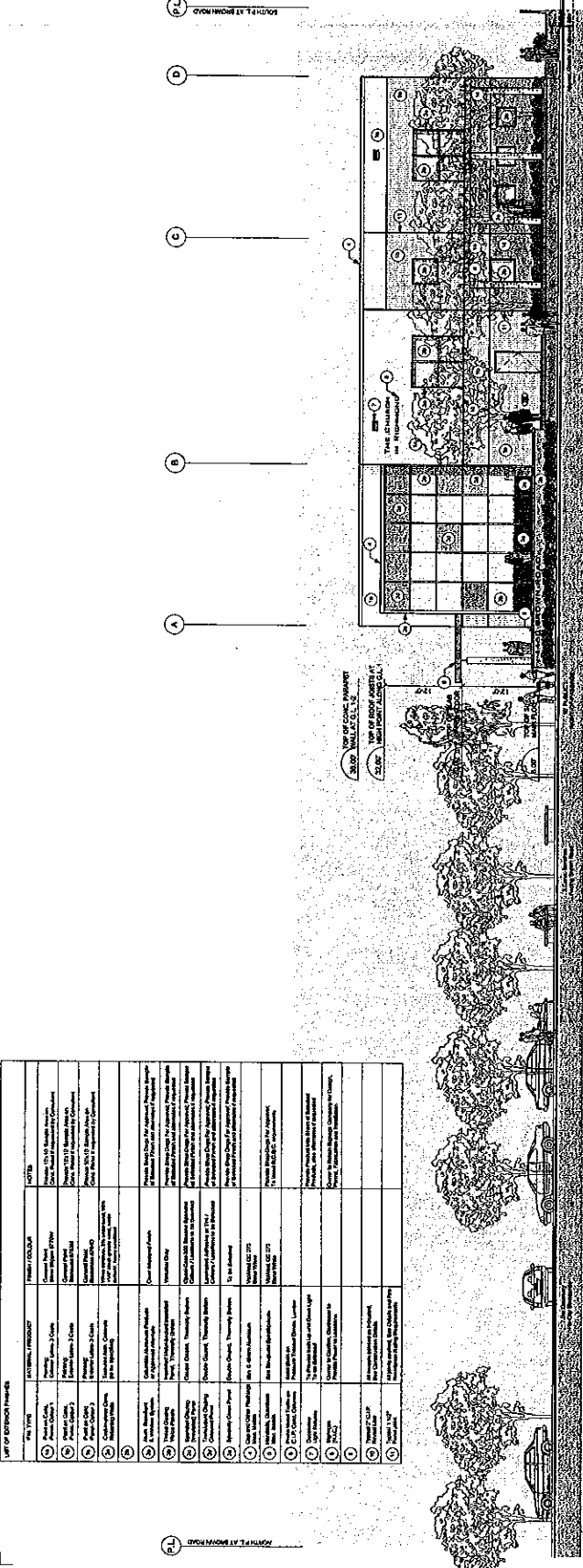


ROOF PLAN

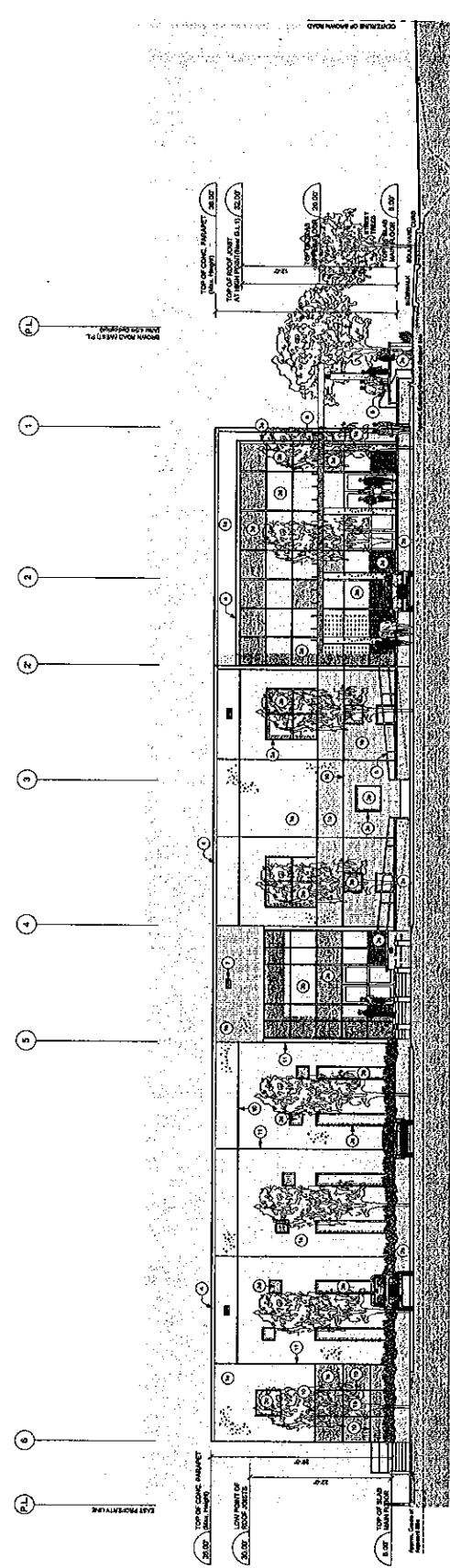
DATE	10/15/2024
PROJECT	THE CHURCH IN RICHMOND
CLIENT	4488 BROWN ROAD, RICHMOND, B.C.
SCALE	1/8" = 1'-0"
DESIGNED BY	JMSL
DRAWN BY	MSL
CHECKED BY	MSL
DATE	
DESCRIPTION	FRONT & PARKING LOT ELEVATIONS
SCALE	A 4.1

INTERFACE ARCHITECTURE INC.  
 6030 WILSON ROAD, SUITE 100  
 RICHMOND, B.C. V6X 3K6  
 TEL: 604.273.1182  
 FAX: 604.273.1182  
 WWW: INTERFACEARCHITECTURE.COM

DATE	10/15/2024
PROJECT	THE CHURCH IN RICHMOND
CLIENT	4488 BROWN ROAD, RICHMOND, B.C.
SCALE	1/8" = 1'-0"
DESIGNED BY	JMSL
DRAWN BY	MSL
CHECKED BY	MSL
DATE	
DESCRIPTION	FRONT & PARKING LOT ELEVATIONS
SCALE	A 4.1



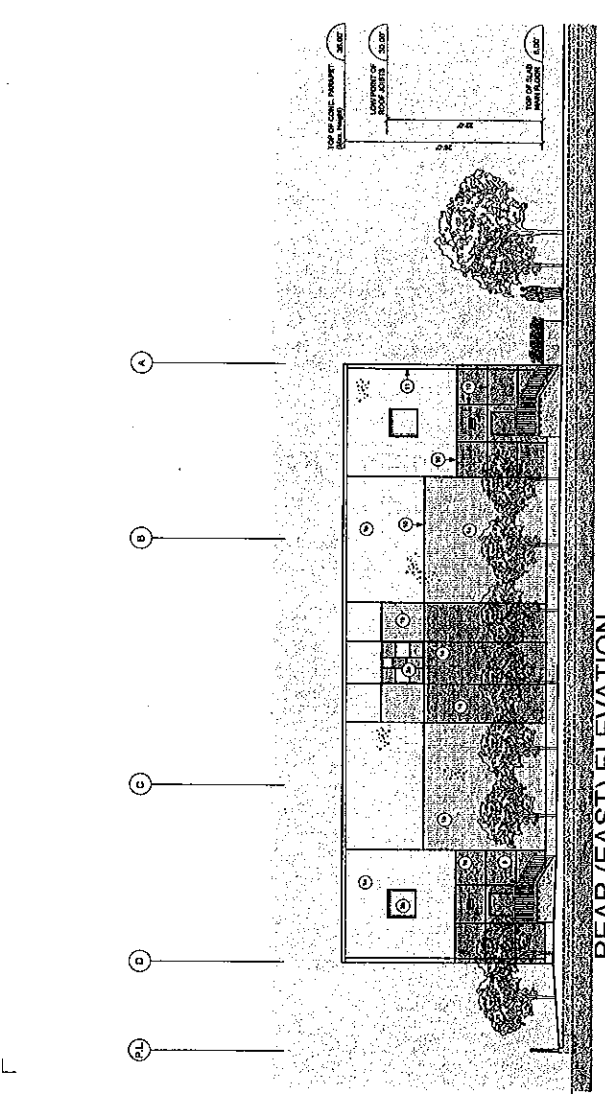
FRONT (WEST - BROWN RD.) ELEVATION  
 SECTION B-B THRU FRONTAGE CURB



PARKING LOT (NORTH) ELEVATION  
 SECTION A-A THRU DRIVEWAY

NO.	REVISION/DESCRIPTION	DATE
1	Issue for Review	10/15/2024
2	Revised Elevation	10/15/2024
3	Final Elevation	10/15/2024

F



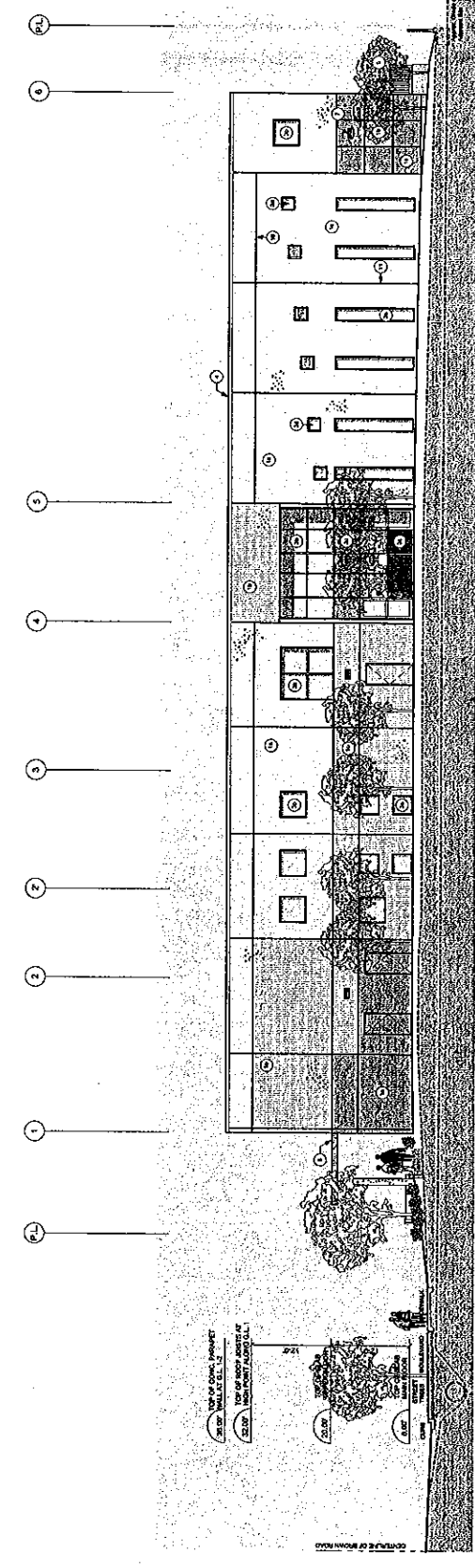
LIST OF SUBMITTALS/REVISED

REV. NO.	DATE	DESCRIPTION	BY	CHKD.
01	11/11/2014	PERMITS	...	...
02	11/11/2014	...	...	...
03	11/11/2014	...	...	...
04	11/11/2014	...	...	...
05	11/11/2014	...	...	...
06	11/11/2014	...	...	...
07	11/11/2014	...	...	...
08	11/11/2014	...	...	...
09	11/11/2014	...	...	...
10	11/11/2014	...	...	...
11	11/11/2014	...	...	...

DATE	11/11/2014
PROJECT	...
ARCHITECT	INTERFACE ARCHITECTURE INC.
SCALE	1/8" = 1'-0"
DATE	11/11/2014
PROJECT	...
ARCHITECT	...
SCALE	...
DATE	...

INTERFACE ARCHITECTURE INC.  
 400 W. LEXINGTON AVENUE  
 SUITE 200  
 RICHMOND, VA 23220  
 TEL: (804) 781-1100  
 FAX: (804) 781-1100  
 WWW.INTERFACEDENVER.COM

PROJECT	THE CHURCH IN RICHMOND
ADDRESS	1488 BROWN ROAD RICHMOND, VA
PROJECT NO.	...
SCALE	1/8" = 1'-0"
DATE	...
PROJECT	...
ARCHITECT	...
SCALE	...
DATE	...



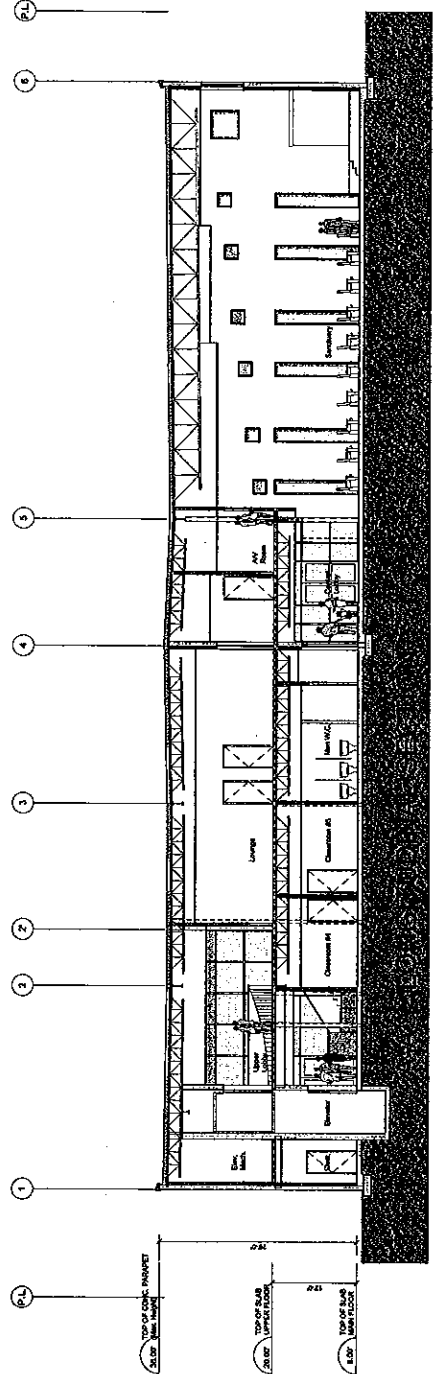
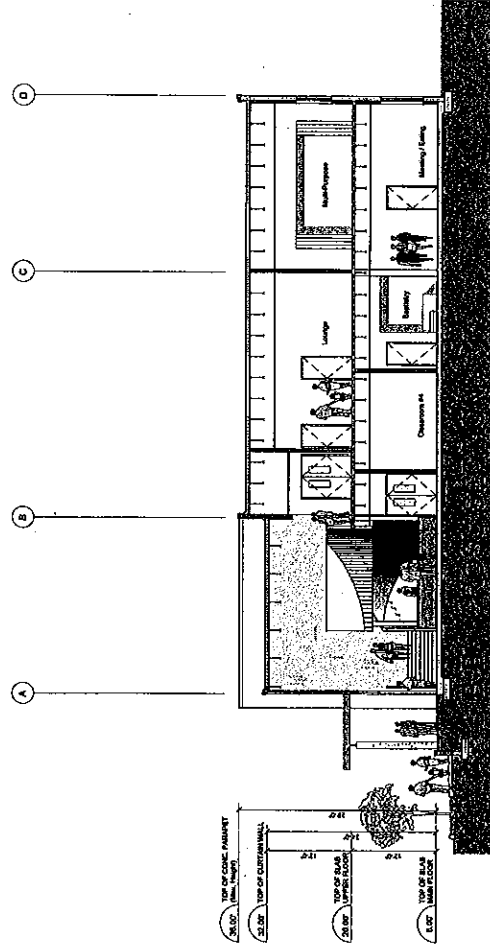
REAR (SOUTH) ELEVATION

L

DATE	
PROJECT	
ARCHITECT	
OWNER	
SCALE	
DESCRIPTION	
REVISIONS	
DATE	
BY	
CHECKED	
APPROVED	

**INTERFACE ARCHITECTURE**  
 INC.  
 4435 BOYD ROAD  
 RICHMOND, VA 23226  
 TEL: (804) 271-1102  
 FAX: (804) 271-1103  
 WWW: www.interfaceva.com

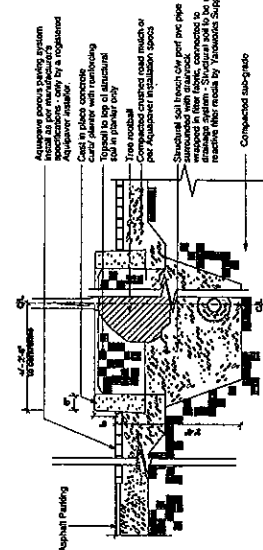
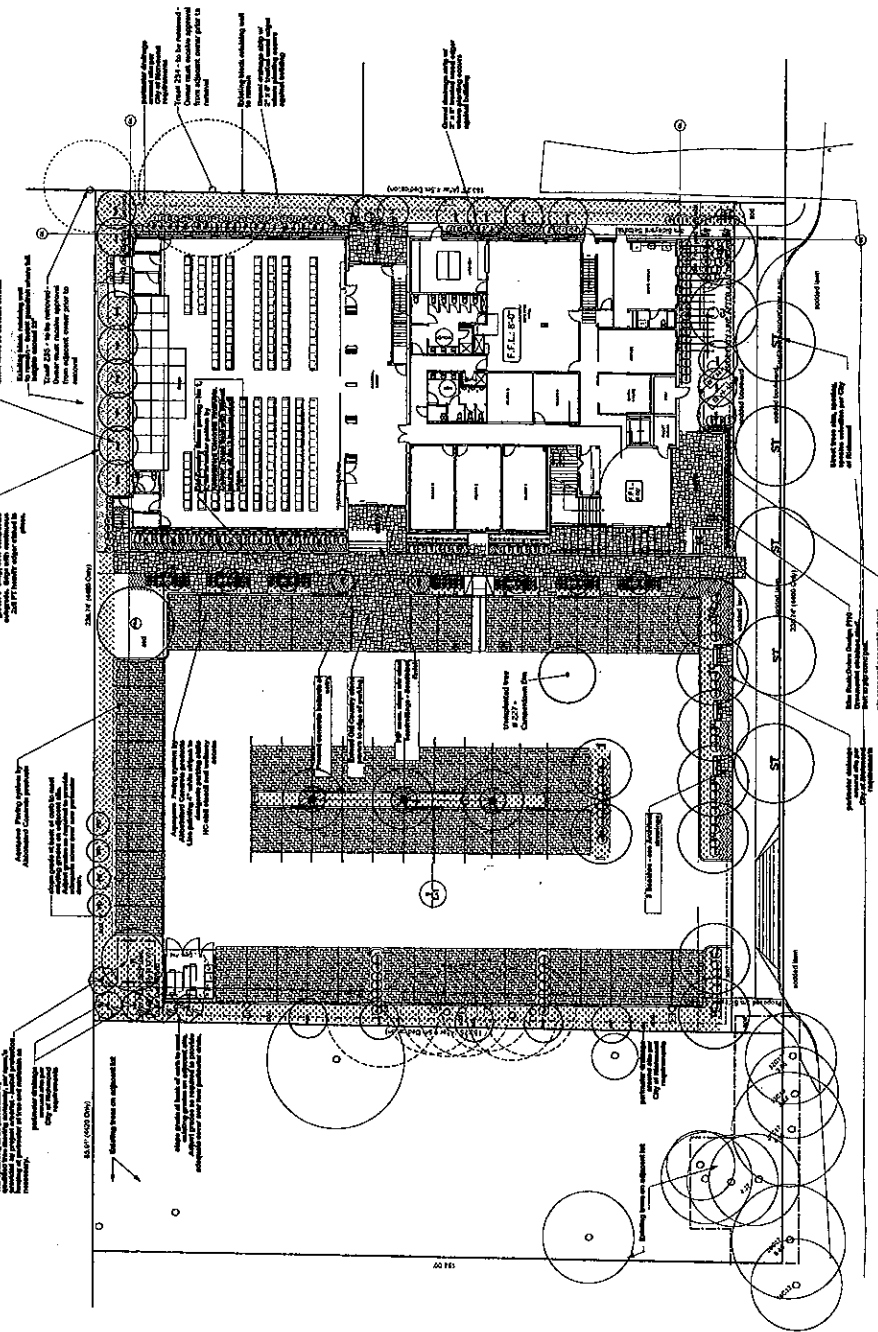
PROJECT	<b>THE CHURCH IN RICHMOND</b>
ARCHITECT	INTERFACE ARCHITECTURE, INC.
OWNER	4435 BOYD ROAD, RICHMOND, VA
SCALE	1/8" = 1'-0"
DATE	
BY	
CHECKED	
APPROVED	
DESCRIPTION	BUILDING SECTIONS
DATE	
BY	
CHECKED	
APPROVED	



GENERAL NOTES	MATERIALS KEY
Existing items to be removed	1. 4" x 6" x 12" concrete blocks
Existing items to be replaced	2. 4" x 6" x 12" concrete blocks
Existing items to be replaced	3. 4" x 6" x 12" concrete blocks
Existing items to be replaced	4. 4" x 6" x 12" concrete blocks
Existing items to be replaced	5. 4" x 6" x 12" concrete blocks
Existing items to be replaced	6. 4" x 6" x 12" concrete blocks
Existing items to be replaced	7. 4" x 6" x 12" concrete blocks
Existing items to be replaced	8. 4" x 6" x 12" concrete blocks
Existing items to be replaced	9. 4" x 6" x 12" concrete blocks
Existing items to be replaced	10. 4" x 6" x 12" concrete blocks
Existing items to be replaced	11. 4" x 6" x 12" concrete blocks
Existing items to be replaced	12. 4" x 6" x 12" concrete blocks
Existing items to be replaced	13. 4" x 6" x 12" concrete blocks
Existing items to be replaced	14. 4" x 6" x 12" concrete blocks
Existing items to be replaced	15. 4" x 6" x 12" concrete blocks
Existing items to be replaced	16. 4" x 6" x 12" concrete blocks
Existing items to be replaced	17. 4" x 6" x 12" concrete blocks
Existing items to be replaced	18. 4" x 6" x 12" concrete blocks
Existing items to be replaced	19. 4" x 6" x 12" concrete blocks
Existing items to be replaced	20. 4" x 6" x 12" concrete blocks
Existing items to be replaced	21. 4" x 6" x 12" concrete blocks
Existing items to be replaced	22. 4" x 6" x 12" concrete blocks
Existing items to be replaced	23. 4" x 6" x 12" concrete blocks
Existing items to be replaced	24. 4" x 6" x 12" concrete blocks
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Existing items to be replaced	36. 4" x 6" x 12" concrete blocks
Existing items to be replaced	37. 4" x 6" x 12" concrete blocks
Existing items to be replaced	38. 4" x 6" x 12" concrete blocks
Existing items to be replaced	39. 4" x 6" x 12" concrete blocks
Existing items to be replaced	40. 4" x 6" x 12" concrete blocks
Existing items to be replaced	41. 4" x 6" x 12" concrete blocks
Existing items to be replaced	42. 4" x 6" x 12" concrete blocks
Existing items to be replaced	43. 4" x 6" x 12" concrete blocks
Existing items to be replaced	44. 4" x 6" x 12" concrete blocks
Existing items to be replaced	45. 4" x 6" x 12" concrete blocks
Existing items to be replaced	46. 4" x 6" x 12" concrete blocks
Existing items to be replaced	47. 4" x 6" x 12" concrete blocks
Existing items to be replaced	48. 4" x 6" x 12" concrete blocks
Existing items to be replaced	49. 4" x 6" x 12" concrete blocks
Existing items to be replaced	50. 4" x 6" x 12" concrete blocks
Existing items to be replaced	51. 4" x 6" x 12" concrete blocks
Existing items to be replaced	52. 4" x 6" x 12" concrete blocks
Existing items to be replaced	53. 4" x 6" x 12" concrete blocks
Existing items to be replaced	54. 4" x 6" x 12" concrete blocks
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Existing items to be replaced	57. 4" x 6" x 12" concrete blocks
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Existing items to be replaced	59. 4" x 6" x 12" concrete blocks
Existing items to be replaced	60. 4" x 6" x 12" concrete blocks
Existing items to be replaced	61. 4" x 6" x 12" concrete blocks
Existing items to be replaced	62. 4" x 6" x 12" concrete blocks
Existing items to be replaced	63. 4" x 6" x 12" concrete blocks
Existing items to be replaced	64. 4" x 6" x 12" concrete blocks
Existing items to be replaced	65. 4" x 6" x 12" concrete blocks
Existing items to be replaced	66. 4" x 6" x 12" concrete blocks
Existing items to be replaced	67. 4" x 6" x 12" concrete blocks
Existing items to be replaced	68. 4" x 6" x 12" concrete blocks
Existing items to be replaced	69. 4" x 6" x 12" concrete blocks
Existing items to be replaced	70. 4" x 6" x 12" concrete blocks
Existing items to be replaced	71. 4" x 6" x 12" concrete blocks
Existing items to be replaced	72. 4" x 6" x 12" concrete blocks
Existing items to be replaced	73. 4" x 6" x 12" concrete blocks
Existing items to be replaced	74. 4" x 6" x 12" concrete blocks
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Existing items to be replaced	79. 4" x 6" x 12" concrete blocks
Existing items to be replaced	80. 4" x 6" x 12" concrete blocks
Existing items to be replaced	81. 4" x 6" x 12" concrete blocks
Existing items to be replaced	82. 4" x 6" x 12" concrete blocks
Existing items to be replaced	83. 4" x 6" x 12" concrete blocks
Existing items to be replaced	84. 4" x 6" x 12" concrete blocks
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Existing items to be replaced	86. 4" x 6" x 12" concrete blocks
Existing items to be replaced	87. 4" x 6" x 12" concrete blocks
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Existing items to be replaced	92. 4" x 6" x 12" concrete blocks
Existing items to be replaced	93. 4" x 6" x 12" concrete blocks
Existing items to be replaced	94. 4" x 6" x 12" concrete blocks
Existing items to be replaced	95. 4" x 6" x 12" concrete blocks
Existing items to be replaced	96. 4" x 6" x 12" concrete blocks
Existing items to be replaced	97. 4" x 6" x 12" concrete blocks
Existing items to be replaced	98. 4" x 6" x 12" concrete blocks
Existing items to be replaced	99. 4" x 6" x 12" concrete blocks
Existing items to be replaced	100. 4" x 6" x 12" concrete blocks

PLANT LIST	COMMON NAME	REMARKS
1. Japanese Maple	2. 2.5' x 1.5'	3. 40
2. Japanese Maple	3. 2.5' x 1.5'	41
3. Japanese Maple	4. 2.5' x 1.5'	42
4. Japanese Maple	5. 2.5' x 1.5'	43
5. Japanese Maple	6. 2.5' x 1.5'	44
6. Japanese Maple	7. 2.5' x 1.5'	45
7. Japanese Maple	8. 2.5' x 1.5'	46
8. Japanese Maple	9. 2.5' x 1.5'	47
9. Japanese Maple	10. 2.5' x 1.5'	48
10. Japanese Maple	11. 2.5' x 1.5'	49
11. Japanese Maple	12. 2.5' x 1.5'	50
12. Japanese Maple	13. 2.5' x 1.5'	51
13. Japanese Maple	14. 2.5' x 1.5'	52
14. Japanese Maple	15. 2.5' x 1.5'	53
15. Japanese Maple	16. 2.5' x 1.5'	54
16. Japanese Maple	17. 2.5' x 1.5'	55
17. Japanese Maple	18. 2.5' x 1.5'	56
18. Japanese Maple	19. 2.5' x 1.5'	57
19. Japanese Maple	20. 2.5' x 1.5'	58
20. Japanese Maple	21. 2.5' x 1.5'	59
21. Japanese Maple	22. 2.5' x 1.5'	60
22. Japanese Maple	23. 2.5' x 1.5'	61
23. Japanese Maple	24. 2.5' x 1.5'	62
24. Japanese Maple	25. 2.5' x 1.5'	63
25. Japanese Maple	26. 2.5' x 1.5'	64
26. Japanese Maple	27. 2.5' x 1.5'	65
27. Japanese Maple	28. 2.5' x 1.5'	66
28. Japanese Maple	29. 2.5' x 1.5'	67
29. Japanese Maple	30. 2.5' x 1.5'	68
30. Japanese Maple	31. 2.5' x 1.5'	69
31. Japanese Maple	32. 2.5' x 1.5'	70
32. Japanese Maple	33. 2.5' x 1.5'	71
33. Japanese Maple	34. 2.5' x 1.5'	72
34. Japanese Maple	35. 2.5' x 1.5'	73
35. Japanese Maple	36. 2.5' x 1.5'	74
36. Japanese Maple	37. 2.5' x 1.5'	75
37. Japanese Maple	38. 2.5' x 1.5'	76
38. Japanese Maple	39. 2.5' x 1.5'	77
39. Japanese Maple	40. 2.5' x 1.5'	78
40. Japanese Maple	41. 2.5' x 1.5'	79
41. Japanese Maple	42. 2.5' x 1.5'	80
42. Japanese Maple	43. 2.5' x 1.5'	81
43. Japanese Maple	44. 2.5' x 1.5'	82
44. Japanese Maple	45. 2.5' x 1.5'	83
45. Japanese Maple	46. 2.5' x 1.5'	84
46. Japanese Maple	47. 2.5' x 1.5'	85
47. Japanese Maple	48. 2.5' x 1.5'	86
48. Japanese Maple	49. 2.5' x 1.5'	87
49. Japanese Maple	50. 2.5' x 1.5'	88
50. Japanese Maple	51. 2.5' x 1.5'	89
51. Japanese Maple	52. 2.5' x 1.5'	90
52. Japanese Maple	53. 2.5' x 1.5'	91
53. Japanese Maple	54. 2.5' x 1.5'	92
54. Japanese Maple	55. 2.5' x 1.5'	93
55. Japanese Maple	56. 2.5' x 1.5'	94
56. Japanese Maple	57. 2.5' x 1.5'	95
57. Japanese Maple	58. 2.5' x 1.5'	96
58. Japanese Maple	59. 2.5' x 1.5'	97
59. Japanese Maple	60. 2.5' x 1.5'	98
60. Japanese Maple	61. 2.5' x 1.5'	99
61. Japanese Maple	62. 2.5' x 1.5'	100

1. Sizes on the planting plan shall be considered minimum sizes.
2. All landscape construction to meet the current edition of the Bulch County Landscape Standards as a minimum acceptable standard. Exceed standards for plant material in Washington, Oregon, California, and B. C.
3. Root balls to be free of particulate wastes.
4. Top soil (nutrient) for the project shall be tested for particle size, pH, and to meet levels and recommendations provided and amendments added to meet the project requirements. Top soil, mix, and amended soil shall be tested for pH, nutrients, and to meet the project requirements. Install 1 inch of composted organic mulch on all shrub beds after planting and tree amount.
5. Provide positive grades away from buildings and forward from driveway. Prepared sub-grade shall be approved by the Consultant prior to the installation of all materials and finish grading. Slope towards lawn.
6. Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain 15 level 2 "Growth" as per Bulch County Landscape Standards. Contractor to provide a one year maintenance schedule.
7. Protection of existing trees shall include: install temporary tree protection fencing at 4' x 4' x 4' x 4' of existing trees, trees, and shrub beds which are to remain in place during construction. No work shall be performed within the protection zone during construction work unless the protection zone during construction will result in damage to the existing trees in the vicinity. Temporary protection fencing and landscape as approved.
8. Paving material on City Boulevard to base the approval of the Parks Dept. prior to installation. Size, spaced and location require approval at Dept. of Installation.



1 Section thru planter and structural soil trench



**City of Richmond**

6911 No. 3 Road  
 Richmond, BC V6Y 2C1  
 www.richmond.ca  
 604-276-4000

**Development Application  
 Data Sheet**

**ZT 10-517847**

**Attachment 3**

Address: 4460 Brown Road

Applicant: The Church In Richmond

Planning Area(s): City Centre – Aberdeen Village

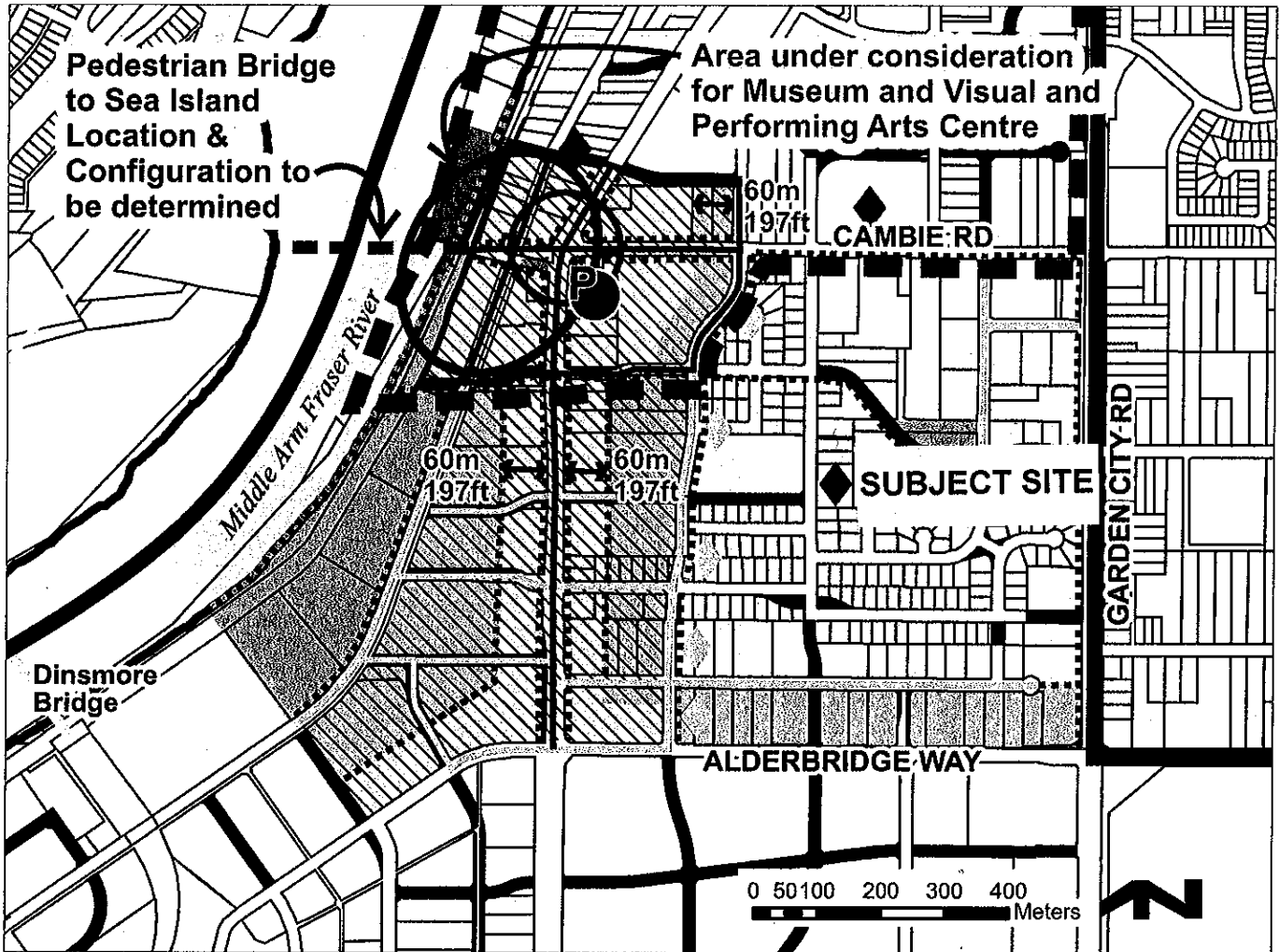
	Existing	Proposed
<b>Owner:</b>	The Church In Richmond	The Church In Richmond
<b>Site Size (m<sup>2</sup>):</b>	4,391.7 m <sup>2</sup>	4,064.2 m <sup>2</sup>
<b>Land Uses:</b>	Religious Assembly & Educational	Religious Assembly & Educational
<b>OCP Designation:</b>	General Urban T-4	General Urban T-4
<b>Area Plan Designation:</b>	Aberdeen Village -Institution	Aberdeen Village -Institution
<b>702 Policy Designation:</b>	N/A	N/A
<b>Zoning:</b>	Religious & Education (ZIS4) – Aberdeen Village (City Centre)	Religious & Education (ZIS4) – Aberdeen Village (City Centre)
<b>Number of Units:</b>	N/A	N/A
<b>Other Designations:</b>	N/A	N/A

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
<b>Density (units/acre):</b>	N/A	N/A	None
<b>Floor Area Ratio:</b>	0.50	0.496	None
<b>Lot Coverage – Building:</b>	35%	25%	None
<b>Lot Size (min. dimensions):</b>	0.405 ha	0.56 ha	None
<b>Setback – Front Yard (m):</b>	6.0 m	3.0 m	Required
<b>Setback – Side &amp; Rear Yards (m):</b>	Side – 7.5 m Rear – 7.5 m	Side – 3.0 m Rear 3.0 m	Required
<b>Height (m):</b>	12.0 m	11.9 m	None
<b>Off-street Parking Spaces – Regular (R) / Visitor (V):</b>	62	62	None
<b>Off-street Parking Spaces – Total:</b>	62	62	None

<b>On Future Subdivided Lots</b>	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
<b>Tandem Parking Spaces:</b>	Permitted	N/A	None
<b>Amenity Space – Indoor:</b>	N/A	N/A	None
<b>Amenity Space – Outdoor:</b>	N/A	N/A	None

Other: \_\_\_\_\_

**Specific Land Use Map: Aberdeen Village (2031)**



General Urban T4 (25m)	Non-Motorized Boating & Recreation Water Area	Proposed Streets
Urban Centre T5 (35m)	Marina (Residential Prohibited)	Pedestrian-Oriented Retail Precincts-High Street & Linkages
Urban Centre T5 (25m)	Village Centre Bonus	Pedestrian-Oriented Retail Precincts-Secondary Retail Streets & Linkages
Park	Institution	Richmond Arts District
Park-Configuration & location to be determined	Pedestrian Linkages	Canada Line Station
Village Centre: No.3 Road & Cambie Road Intersection	Waterfront Dyke Trail	Transit Plaza



## Zoning Text Amendment Considerations

4460 Brown Road

ZT 10-517847

Prior to final adoption of Zoning Text Amendment Bylaw 8662, the developer is required to complete the following:

1. 4.5m road dedication along the entire 4460 Brown Road frontage.
2. Submission of a Landscape Plan, prepared by a Registered Landscape Architect, to the satisfaction of the Director of Development, and deposit of a Landscaping Security Letter of Credit based on 100% of the cost estimate provided by the Landscape Architect, including installation costs (approximately \$102,7000.76). The Landscape Plan should:
  - include a mix of coniferous and deciduous trees, and broad-leaved ever green shrubs;
  - include the dimensions of tree protection fencing as illustrated on the Tree Retention Plan attached to this report; and
  - include the 69 required replacement trees with the following minimum sizes:

No. of Replacement Trees	Minimum Caliper of Deciduous Tree		Minimum Height of Coniferous Tree
69	6 cm	or	2m

3. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
4. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
5. Registration of an aircraft noise indemnity covenant on title.
6. Registration of a flood indemnity covenant on title.
7. Discharge of two (2) Statutory Right of Ways and two (2) Covenants (required by the previous rezoning in 2002) currently filed on title:
  - 6m utilities SRW (BT330977, BCP01046 to the east (rear) property line running north. Note: all site servicing is now to be located in Brown Road;
  - 3m pedestrian SRW (BT330975, BCP01045) to the south property line. Note: access across the subject site to the former school playing field is now provided by shifting this SRW to mid-site along the north façade of the proposed building.
  - “No Build” Covenant (BCT330979) to be discharged;
  - “Restricted Vehicular Access Point” Covenant (BCT 330978) to be discharged.
8. Enter into a Servicing Agreement\* for the design and construction of the following. All works are to be at the developer’s sole cost with no credits. Works include, but may not be limited to:
  - a) *Pedestrian Statutory Right of Way*: The design, construction and maintenance of the Statutory Right of Way/Pedestrian Walkway is to be secured under the Servicing Agreement. Key details include:
    - approximately 3.0m SRW is to include 1.2m planters and 1.8m walkway;
    - paving of walkway and adjacent surfaces is to be precast “Old Country” stone;
    - precast concrete bollards are to be provided to the main entrance of Assembly Hall;
    - approximately fifteen (15) columnar beech trees are to be provided to landscaped planters along the walkway;
    - design and installation are to City of Richmond specifications at the sole cost of the developer;
    - ongoing maintenance of the walkway and plantings with associated infrastructure is to be the responsibility and cost of the owner; and
    - ongoing liability coverage acceptable to the City of Richmond is to be maintained by the owner.
  - b) *Improvements to Brown Road*: Widening on the eastern half of Brown Road to accommodate the following ultimate cross-section (from east to west):
    - 2m wide concrete sidewalk
    - 1.5m wide boulevard
    - 0.15m wide concrete curb/gutter
    - 1.8m wide bike lane
    - 3.25m wide curb lane

- 3.15m wide centre lane
  - 3.25m wide turning lane / landscaped median
  - Note that the above would be mirrored on the western half of Brown Road (except for the turning lane). Also note that proper tie-in's are to be provided as part of this project to existing Brown Road north and south the site.
- c) *Sanitary Sewer Upgrades:*
- This project will be required to construct a new 200mm diameter sanitary sewer from the existing manhole EXS06 (SMH4892) to the north property line of 4460 Brown Road (approximate 105m north of SMH 4892).
  - The capacity analysis of the existing sanitary sewer system from EXS06 (SMH 4892) to the Leslie Pump Station has adequate capacity under the "Existing + In-Stream + Proposed" and "OCP" scenario.
  - No upgrades to the existing sanitary sewer are required.
  - The City requires that this design and related calculations are included in the Servicing Agreement design drawings.
- d) *Storm Sewer Upgrades:*
- The existing downstream storm sewer section from STMH 5550 (EXF1 in the analysis) located at the northeast corner of Brown Road and Odlin Crescent to STMH 5543 (EXD7 in the analysis) located at the northwest corner of Brown Road and Odlin Crescent on Brown Road does not have capacity to provide service to the development under the 'Existing + In Stream + Proposed Development'. There is no theoretical downstream property and roadway flooding.
  - The developer is required to provide the installation of a 600 mm diameter storm sewer along the Brown Road frontage from north property line of 4460 Brown Road to existing manhole STMH 5550, EXD7 in the analysis, located at the northeast corner of Brown Road and Odlin Crescent.
  - The developer is required to provide the upgrade of the storm sewer to 900mm diameter along Brown Road from existing manhole STMH 5550 to existing manhole STMH 5543 (refer to item 1 for manhole locations).
  - The City requires that the storm sewer capacity analysis be included on the Servicing Agreement Design Drawings.
- e) *Water Analysis:*
- The site's frontage pipe is 150mm diameter.
  - Using the OCP 2021 Maximum Day Model, there is 161 L/s available at 20 psi residual located at 4360 Brown Road. Based on zoning, the City's minimum fire flow requirement for the proposed development is 250 L/s. Based on the capacity analysis your site has a maximum day demand of 0.37 L/s and a fire flow demand of 117.0 L/s for a total site water demand of 117.4 L/s.
  - The City accepts this conclusion that the proposed development has adequate water flow available to meet the FUS fire flow requirements combined with the maximum day demand and that no upgrades are required.
  - The City requires these calculations to be included on the Servicing Agreement design drawings. At the Building Permit stage, ensure that all fire flow calculations, signed and sealed by an engineer, based on the Fire Underwrite Survey to confirm that there is adequate available flow, are included with the Building Permit submission.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. As part of the Building Permit Submission, Sustainability features (listed below) are to be detailed and included in the drawings during the Building Permit stage:
  - Landscaping and permeable paving that may assist in diverting storm water run-off from the storm sewer system and reducing the urban heat island effect;
  - Reduction of fresh water use by specifying low flow fixtures and water efficient appliances, dual-flush toilets, low-flow faucets and shower heads;
  - Motion sensors and timers in public areas to reduce electricity consumption; efficient fixed lights, fans and heating equipment, with increased occupant control (heating zones within functional areas) to decrease energy consumption;
  - Low-e glazing to reduce heat gain; demolition/construction waste management to be implemented to divert waste from landfills; products made out of recycled material or with recycled content to be used where applicable and concrete with fly ash content to be specified where possible; locally/regionally harvested and manufactured products to be preferred throughout the project;
  - Low emitting materials sealants, adhesives, paints, carpets and composite wood to be used where applicable; and

- Operable windows specified to contribute to the quality of the indoor environment.
- 2. As part of the Building Permit Submission, a lighting plan for pedestrian entrances, access walkways (including pedestrian SRW) and parking access aisles will be required to ensure uniform levels of coverage and security. All lighting fixtures are to be hooded and downcast to prevent ambient light pollution and located to minimise conflict with neighbouring single family dwellings.
- 3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- 4. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Zoning Text Amendment process.
- 5. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

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Signed

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Date



Richmond Zoning Bylaw 8500
Amendment Bylaw 8662 (ZT 10-517847)
4460 BROWN ROAD

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

- 1. Richmond Zoning Bylaw 8500 is amended by repealing "Section 24.4.6 Yards & Setbacks" in "Religious and Education (ZIS4) Aberdeen Village (City Centre)" and replacing it with the following text:
"24.4.6 Yards & Setbacks
1. The minimum front and rear yard is 3.0 m.
2. The minimum interior side yard is 3.0 m."
2. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 8662".

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

NOV 08 2010

CITY OF RICHMOND
APPROVED by
APPROVED by Director or Solicitor

MAYOR

CORPORATE OFFICER