



City of Richmond
Planning and Development Department

Report to Development Permit Panel

To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: July 14, 2008
File: DP 07-374744
Re: **Application by Iredale Group Architecture for a Development Permit at 6760, 6780, 6800, 6820 Cooney Road, 8371, 8411 Anderson Road, and 6771, 6811, 6831 Eckersley Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of a multifamily residential complex consisting of 211 units (170 market apartment units, 35 rental apartment units and 6 townhouse units) and associated amenity space over two (2) levels of parking on a site zoned "Comprehensive Development District (CD/195)".

Brian J. Jackson, MCIP
Director of Development

DN:blg
Att.

Staff Report

Origin

Iredale Group Architecture has applied to the City of Richmond for permission to develop a multifamily residential complex consisting of 211 units (170 market apartment units, 35 rental apartment units [13 of which are affordable low end of market rental dwellings with an associated maximum permitted rental rate], and 6 townhouse units) and associated amenity space over two (2) levels of parking (**Schedule A**). The site is currently vacant.

The site is in the process of being rezoned from “Single-Family Housing District, Subdivision Area E (R1/E)” to “Comprehensive Development District (CD/195)” under Bylaw No. 8316 (RZ 06-322803).

A Servicing Agreement is identified as a consideration of rezoning (RZ 06-322803). The agreement includes road improvements (including dedication of a 4 m width at Anderson Road tapering to 2.4 m at the north edge of 6760 Cooney Road, and a corner cut at the intersection of Anderson Road and Eckersley Road) and site servicing upgrades (including upgrades to the existing storm and sanitary sewer, and water mains).

Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north: Existing single-family dwellings zoned “Single-Family Housing District, Subdivision Area E (R1/E)”;
- To the east (across Eckersley Road): Existing single-family dwellings zoned “Single-Family Housing District, Subdivision Area E (R1/E)” that are under application for redevelopment. 6860 Eckersley Road is in the process of introducing 16 three-storey townhouse units connected by a common outdoor courtyard located at the second level (RZ 06-342074/DP 06-352750). 6780/6760 Eckersley Road and 8500 Park Road are included in a current development application (RZ 07-397063) consisting of a larger consolidation that proposes to rezone the site to develop approximately 300 apartment dwelling units on a level of parking;
- To the south (across Anderson Road): A four-storey residential apartment consisting of 43 units over a parking level is currently being constructed (RZ 04-272735/DP 05-312751) zoned “Comprehensive Development District (CD/170)”;
- To the west: Cooney Road, and established townhouses zoned “Townhouse District (R2) and Land Use Contract 102”.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on March 17, 2008. Neither written submissions nor submissions from the floor were received during the Public Hearing.

During the rezoning process, staff identified the following issues to be resolved at the Development Permit stage. The applicant's response follows in italics:

- Develop integration between the tower buildings and the townhouse and rental building.
Visual continuity between the buildings has been improved by extending the brick façade treatment to the second level of the townhouse units to align with the elevation of the brick treatment on the Emerald and Jade buildings.
- Update the parking elevations to ensure the number of parking stalls provided does not exceed the minimum required on-site to permit the structure to be further setback from the property line.
The building setbacks comply with the requirements of Comprehensive Development District (CD/195). 294 parking stalls are provided on-site in accordance with CD/195.
- Maximize opportunity to drape landscaping elements over the podium and the series of retaining walls.
The retaining walls are terraced and landscaped with a variety of shrubs including colourful and flowering Pink Meidilan Rose, Lilac, Privet Honeysuckle, Pink Abelia, David's Viburnum, and Otto Luyken Laurel.
- Demonstrate accessibility to the outdoor and indoor amenity space.
The outdoor amenity space and the indoor amenity space, which are located on the parking podium, are accessed through the lobby of one of the three multifamily residential buildings on-site or one of three pedestrian staircases located at the south west, south east and north east portion of the site. A private staircase connects the second level townhouse patios and outdoor courtyard area.
- Continue development of connectivity between the podium level and the street frontage.
Lowering the minimum elevation of the parking level to approximately 1.4 m (4.6 ft.) below the elevation of the sidewalk substantially reduces the impact of the two-storey parking structure on the street frontage. By lowering the minimum elevation of the parking, the relationship between the individual townhouses and the street frontage is strengthened and the height of landscaped retaining walls is reduced.
- Reduce the width of the drive aisle access to the site via Eckersley Road that is currently at the top threshold referenced in the design guidelines at approximately 13 m (44 ft.) in width.
The width of the drive aisle access has been reduced to 8.1 m (27 ft.). An overhead gate, which is substantially setback from the property line, screens the drive aisle and the two (2) SU-9 parking stalls located at the end of the drive aisle.
- Update elevations that currently show enclosed patio spaces.
Elevations have been amended and enclosed patio spaces are no longer proposed.
- Consider a narrower tower floor plate.
Tower floor plates remain unchanged at approximately 650 m² (6,960 ft²) in area, which is referenced in the proposed City Centre Area Plan (CCAP). By permitting the proposed floor plate area, the building heights are less than if the floor plates were

reduced, the building heights contribute toward the diversity of building height proposed on-site, and the variation of building heights contribute toward achieving the overall CCAP urban design objectives.

- Further design development of the angular diversity at the ground level façade.
The location and geometry of retaining walls along the perimeter of the site have been adjusted to minimize irregular angles and spaces. The podium overhang above the entrance to the second parking level has been adjusted to reference the angle of the drive aisle ramp.
- Incorporate more transparency at the main level of the buildings particularly the area adjacent to the lobby and the bike storage space.
By lowering the building elevation and increasing glazing at the building entrances, the impact of the first parking level is minimized.
- Resubmit for review by the Advisory Design Panel and respond to Panel comments.
The development proposal was reviewed for the second time by the Richmond Advisory Design Panel (ADP) on May 7, 2008. The associated section of the minutes and the applicant's response is attached (Attachment 2).
- Substantiate that the sustainability features proposed can be achieved.
The applicant proposes energy conservation and design measures in accordance with a LEED Silver rating and is actively investigating the inclusion of a geothermal heating and cooling system. A checklist that was provided by the applicant outlining the proposed building features is attached to this report (Attachment 3).
- Substantiate whether the development will be constructed in phases.
The applicant intends to construct the development in a single phase.
- Demonstrate that garbage and recycling facilities comply with City requirements.
The garbage and recycling facilities have been updated to include enclosed facilities and an uncovered holding area to facilitate on-site collection. Further, clearance and manoeuvring provisions comply with City requirements.

Staff Comments

The proposed scheme attached to this report has addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with "Comprehensive Development District (CD/195)".

Advisory Design Panel Comments

The development proposal was reviewed by the Advisory Design Panel on both June 6, 2007 and again on May 7, 2008. A copy of the relevant excerpt from the May 7, 2008 Advisory Design Panel Minutes is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in *'italics'*.

Analysis

Background

- The applicant proposes to develop 211 units (170 market apartment units, 35 rental apartment units [13 of which are affordable low end of market rental dwellings with an associated maximum permitted rental rate and 22 market rental units], and 6 townhouse units) and associated indoor amenity space over two (2) levels of parking providing 294 parking stalls (**Schedule A**).
- The development application commenced close to the time the City Centre Area Plan (CCAP) review process began. The building form and density was undertaken with consideration of the Land Use and Density plan included in the draft CCAP (**Attachment 4**), which has since been superseded.
- The proposed updated CCAP Land Use and Density Plan and Brighthouse Village Specific Land Use Map propose to designate the site as Urban Centre T5, which suggests a maximum density of 2.0 floor area ratio (FAR) and 25 m (82 ft.) height (**Attachment 5**).
- The total density proposed on-site is 2.0 FAR, with an additional 0.3 FAR permitted conditional to the owner entering into a Housing Agreement with the City to secure 35 rental housing units, 13 of which are affordable low end of market rental units. The rental element of the development proposal accounts for the increase in density. The density proposed is associated with significant public benefit.
- Three (3) building typologies are proposed on-site, including an 11-storey (the Jade) and 15-storey (the Emerald) residential tower, a mid-rise apartment (the Opal), and two-storey townhouses, which facilitates transition in a changing neighbourhood, and responds to the City's objective of providing a variety of housing options within the City Centre.
- The 15-storey building (The Emerald) and the 11-storey building (The Jade), are approximately 43 m (140 ft.) and 30 m (100 ft.) in height respectively, which is greater than the height referenced in the proposed Brighthouse Village Specific Land Use Map. However, the CCAP includes provisions for flexibility in contexts in which the building form contributes toward a varied, attractive skyline. The introduction of varying building heights within the development and unique architectural treatment of the roof lines is responsive to the terms of the plan. Further, the separation between the subject development and the existing "Palms" high-rise development (7080 St. Albans Road), located on the south side of Granville Avenue is approximately 90 m (295 ft.), which substantially exceeds the 24 m (79 ft.) to 35 m (115 ft.) tower separation proposed by the CCAP.
- In this case, the site's date of review commencement, and incorporation of rental units on-site informed the site's development and supports the proposed building form and density.

Conditions of Adjacency

- The siting of the buildings has been undertaken with consideration of the adjacencies, the context, and the Land Use and Density plan included in the draft CCAP (**Attachment 4**), which has since been superseded.
- The six-storey mid-rise building along Eckersley Road provides transition between the taller building forms on the western portion of the site and the lower building typologies being introduced along Eckersley Road.
- The 11-storey (the Jade) and 15-storey (the Emerald) buildings are located on the western portion of the site taking into consideration the higher densities envisioned along No. 3 Road, and the impact of sun penetration on neighbouring residential units.

- Two-storey townhouse units along Anderson Road and Cooney Road, with individual unit access from the street, lowering the parking level elevation, and low landscaped terraced retaining walls contribute toward an animated street frontage and minimize the impact of residential uses above two levels of parking; instead of residential uses at street level.
- The impact of the proposal on future development within the area has been considered. The applicant has provided a conceptual development scheme for the adjacent northern properties (6740 Cooney Road, 6731, 6751 Eckersley Road). The concept demonstrates the potential for development consisting of a combination of row houses and an apartment building fronting the future expansion of Park Road that achieves a density of approximately 2.0 FAR.
- Park Road is intended to be connected between Cooney Road and Eckersley Road. At the time this road continuation is established, Anderson Road will be converted to an emergency only access. The Servicing Agreement associated with rezoning (RZ 06-322803) is to consider an effective boulevard treatment along the Anderson Road frontage that responds to both the existing interim and long term function of Anderson Road, and to its relationship with south facing units in the Emerald building and the townhouses fronting Anderson Road. Conceptual treatment is shown in ghostliness in the landscape plans (**Schedule A**); ultimate design will be determined by the City.
- Comprehensive Development District (CD/195) permits the parking structure to encroach into the building setback provided a minimum 2 m (6.5 ft.) setback is maintained along the public road frontage and that the space is adequately treated. The building setbacks proposed comply with the requirements of CD/195; these building setbacks vary, reflecting changes to the overall site geometry resulting from required road dedications. The building setbacks proposed regularly exceed the bylaw minimum requirements.

Urban Design and Site Planning

- Vehicle access to the site is provided via Eckersley Road within close proximity of the northern edge of the site. Access is not permitted via Cooney Road, which is a local arterial road, and Anderson Road will be converted to an emergency only access at the time Park Road connects Cooney Road and Eckersley Road.
- A single access services all on-site vehicle movement. The three (3) SU-9 parking spaces and on-site garbage and recycling facilities are situated en route to the first level of parking, which has an access that is perpendicular to Eckersley Road. Access to the second level of parking is via an angled access drive aisle.
- The first parking level is secured by a metal overhead gate, which also screens the SU-9 parking stalls from the Eckersley Road street frontage. Visitor parking stalls are located on the first parking level; a speaker phone entry system has been incorporated into the security system to permit entry. Residential parking stalls located on the first level of parking are separated from the visitor stalls by a second overhead gate. Similarly, the second level parking stalls are secured by an overhead gate at the top of the access ramp.
- A total of 294 off-street parking stalls will be provided on-site. This total includes 43 visitor parking stalls located on the first parking level that are secured by an overhead gate. 34 residential stalls are in a tandem arrangement; a legal agreement is required in association with the rezoning (RZ 06-322803) to ensure tandem parking stalls are assigned to a single dwelling unit. One (1) accessible visitor parking stall and six (6) accessible residential stalls are proposed on-site and are located within proximity of lobby entrances. Resident parallel parking stalls are a minimum 7 m (23 ft.) in length in accordance with the bylaw. The parking requirement specified in CD/195 was based on consideration of the site's proximity

to the downtown core and future Canada Line Station (Saba Station), existing transit service and amenities, and the provision of on-site affordable housing units.

- Subsequent to CD/195 being forwarded for consideration, the City Centre parking requirements were amended. The site is located within Zone 2, which is characterized as area generally between 400 metres and 800 metres of the Canada Line stations and No. 3 Road corridor. Required residential parking within this area is 1.2 spaces for residents per dwelling unit and 0.2 spaces for visitors; and 0.9 spaces per affordable housing unit and 0.2 spaces for visitors. The parking provided on-site is consistent with amended parking requirements within the City Centre.
- Garbage and recycling facilities are located on-site and are shared between the buildings. The facilities, including the holding area, are screened from public view. On-site manoeuvring for collection is accommodated.
- Secure bicycle storage is provided in accordance with the City's commitment to support alternative modes of transportation. Bicycle storage is primarily located within proximity of building lobbies within the first level of parking.
- Situating the vehicle access at the north east corner of the site maximizes separation between the northern adjacent property and subject development. Further, architectural treatment of this elevation includes brick façade treatment and accent wood posts (**Schedule A**).
- Townhouse units have individual private pedestrian access both from the second parking level and from their respective street frontages via individual staircases that interrupt the landscaped retaining walls. The first level is approximately 1.2 m (3.9 ft.) above the elevation of the sidewalk. The landscaped terraced retaining walls leading to a private patio maintain a physical and visual link between the units and the street frontage.
- A building lobby entrance is located on each of the three road frontages at an elevation approximately 1.2 m (4ft.) above the height of the sidewalk. Entrances include provisions for weather protection. Similar to the townhouse units, landscaping terraced retaining walls and inclusion of residential units with private patios facing the street promote an active interface.
- Access to the outdoor amenity area and detached indoor amenity building, which is located on the parking podium, is through the lobby of one of the three multifamily residential buildings on-site or pedestrian staircases that connect the street elevation and the courtyard level. Inclusion of a ramp connecting the street frontage and the second storey outdoor amenity space was not pursued based on the length of the ramp run required to achieve a slope that complies with accessibility standards.
- Units F, E and E3 have been designed as accessible units (**Schedule A**). Two (2) F units are proposed on the first residential storey of both the Jade and the Emerald building. An E or E3 unit is included on each subsequent level of both the Jade and the Emerald building, with the exception of the penthouse level. A total of 22 units incorporate turning radii, corridor width, and washroom configuration to facilitate accessibility. Further, to assist aging in place, issuance of the Building Permit will require substantiation that blocking will be incorporated inside the walls in washrooms to facilitate the potential future installation of grab bars/handrails.

Architectural Form and Character

- A modern urban building design is proposed. The buildings incorporate both a punched window appearance, and window wall treatment for recessed upper levels. The slightly concave roof that extends beyond the building edge and is further enhanced by the incorporation of wood soffits introduces a distinctive and varied skyline.

- Blending three (3) tones of brick cladding on the first three levels and landscaped retaining walls contributes to the evolving urban character within the neighbourhood and promotes connectivity between the base of the building and the street.
- The high-rise buildings (the Jade and the Emerald) will be painted in a neutral shade that is complementary to the hues of the brick cladding used at the lower portion of the buildings. The mid-rise building (the Opal) will incorporate brick façade throughout.
- The townhouse units include generous window treatment and the same assemblage of neutral shades of brick used throughout the development on lower portion of the buildings; thereby strengthening unifying characteristics between the various buildings proposed on-site.
- The indoor amenity space structure is a single storey building characterized by its simple design and use of glass walls.
- Gray mullion and glass balconies will be incorporated throughout the development. Mullion and fascia in a dark brown hue will be used as an accent material. Further, wood posts, and Cedar soffits are proposed in feature locations.
- Development signage is incorporated into the parking elevation wall adjacent to the parking access. Anodised brush aluminum letters will be placed on the brick façade behind a landscaped area featuring two (2) Douglas Firs and a Sweetgum tree.

Landscape Design and Open Space Design

- The associated rezoning (RZ 06-322803) considered the retention/removal of on-site trees, and trees located on City property and adjacent properties.
- 180 trees, 31 of which are conifer species, are proposed on-site in accordance with the 2:1 replacement referenced in the OCP for the removal of 88 on-site trees affected by the proposed development scheme. The calliper size of replacement trees has been selected to ensure the ability of each tree species to adapt to its new environment and encourage growth. **(Schedule A)**.
- Serbian Spruce, Austrian Pine, and Douglas Fir represent almost 17% of the on-site replacement trees. Additional conifers could not be accommodated on-site due to growing space constraints.
- In addition to the introduction of new trees on-site, the landscape plan includes an assortment of shrubs, ground covers, and hard surface treatment, which have been selected to ensure the landscape treatment remains interesting throughout the year.
- The podium level landscaping treatment provides active and passive outdoor space for use by residents.
- Approximately 60 cm (24") of soil depth permits an intensive landscaping treatment of the podium level, which includes a variety of trees (including Little Leaf Linden, Green Japanese Maple, Magnolia, Serbian Spruce, Evergreen Magnolia), shrubs, ground covers, and pathways to accommodate a range of users. Further, a berm that is no greater than 60 cm (24") in height is proposed within the courtyard to introduce variety to the topography.
- The applicant advises that a children's play structure will not be included; instead the intention is to provide open space that facilitates children's active play throughout. Further, active children's play structures are located nearby at Cook Elementary School.
- Townhouse units, and courtyard oriented ground level apartments have private outdoor spaces demarcated by a low metal picket fence (1 m (42") in height) punctuated by individual gates. Emerald Cedars are planted on the internal side of the fence and Day Lilies or Pink Potentilla are planted along the external edge of the fence. The enclosed area includes a private hard surface patio, and soft landscaping. The outdoor space associated with townhouse units is generous and includes a Redbud, Green Japanese Maple, or Lilac.

- The pathway system provides access to/from the street at the corner of Cooney Road and Anderson Road, Anderson Road and Eckersley Road, and Eckersley Road above the drive aisle access. Pedestrian movement between the street, internal courtyard, indoor amenity building, and residential dwellings includes feature elements. Two (2) varieties of accent pavers, low level illumination, and Mt. Fuji Cherry trees planted in alignment with the pathway contribute to the pedestrian experience.
- An extensive garden, with a soil medium that is approximately 10 cm (4") in depth, facilitates landscaping of a portion of the outdoor space on the townhouse rooftops with drought tolerant plant species. Further, the rooftop space includes cedar planters, wood decking, and a decorative gravel path to facilitate maintenance and access throughout the rooftop. Each townhouse rooftop includes a L-shaped pergola to provide some visual screening, as the space is visible to tower residents.
- The rooftop patio space on the mid-rise building (the Opal) is similarly landscaped. Redbud and Shore Pine trees, shrubs, and low bollard illumination are included in the rooftop treatment.
- The terraced retaining walls along the perimeter of the site are landscaped with a variety of trees (Chinese Stewartia, Green Japanese Maple, Golden Leaf Black Locust, Sweetgum, Redbud, and Magnolia), and shrubs, and integrate benches into the design, which contributes to the street level experience and defines a separation between the street, first level residential units, and private outdoor space.
- Sandblast finished concrete is used for the drive aisle access that is visible from the street.
- 475 m² (5,112.9 ft²) of indoor amenity space is proposed in a free standing building located above the parking level, which includes a lap pool and associated hot tub, a fitness centre, change rooms, a meeting room, kitchen facilities, and a manager's office space. Wheelchair access to the indoor amenity space and courtyard level located above the parking podium is through the lobby of one of the three multifamily residential buildings on-site. A covenant to secure this space for the use of all residents of the development is a requirement of the associated rezoning (RZ 06-322803).
- 1,377 m² (14,822 ft²) of outdoor amenity space is provided on-site, which exceeds the 1,266 m² (13, 627 ft²) required in accordance with the OCP.

Parking Structure Minimum Elevation

- To minimize the impact of the two-storey parking structure on the street frontage and adjacencies, the applicant will work with the Engineering and Building Departments to demonstrate the feasibility of lowering the minimum elevation of the parking level approximately 1.4 m (4.6 ft.) below the elevation of the sidewalk.
- In order to install the membrane that will protect the structure from Richmond's high water table, dewatering of the site is required during the construction process. There are water quantity and quality considerations associated with the dewatering process. Issuance of the Development Permit is subject to the applicant substantiating the feasibility of dewatering the site in accordance with the following conditions.
- The applicant is to confirm how the water will be removed from the site, options include the water entering the storm or sanitary system or being otherwise removed from the site. To permit water to enter the storm system or the sanitary system, the applicant is required to demonstrate through capacity analysis that the existing system is sufficient to accommodate the increased proposed flows. If the applicant proposes that the water enter the sanitary system, then concurrence from Metro Vancouver is required.

- In addition to demonstrating that the flows can be accommodated by the existing system, the quality of the water being removed from the site must be assessed by an Environmental Consultant retained by the applicant and submitted to the City for consideration. The Environmental Consultant must confirm that water removed from the site complies with Federal, Provincial and Municipal water quality requirements for the duration of the dewatering process, and that required approvals have been obtained.
- In association with the Building Permit, the applicant's Geotechnical Engineer is required to demonstrate safety in a flood event according to the City's assessment methodology and that the construction dewatering process has no effect on adjacent properties.

Crime Prevention Through Environmental Design

- The building design incorporates opportunities for passive surveillance of both the street frontages and the internal semi-private space.
- An overhead gate is located at the entrance of both parking levels and visitor/residential parking areas are separated by an overhead gate. Lobby access from the parking level incorporates glass walls and doors to maximize visual permeability.
- Pedestrian entry into the building will be secured and individual mailboxes are located within the building lobbies.
- Low level illumination, consisting of low bollards or wall mounted fixtures, is located adjacent to the internal pathway and within stairways to individual units to increase safety while minimizing light pollution.

Sustainability

- The applicant continues to investigate the feasibility of incorporating a geo-exchange system, which was initially discussed in association with the rezoning (RZ 06-322803). Two separate quotes from local companies contacted by the applicant are included in the file. The process of confirming the feasibility of including a geo-exchange system necessitates on-site test holes, which requires the removal of on-site trees. The applicant is working with the City to secure the required Tree Cutting Permits to confirm the feasibility of incorporating a geo-exchange system within the development.
- Attached to this report is a spreadsheet, provided by the applicant, highlighting the energy conservation and design measures proposed, which would be in accordance with a high silver or low gold LEED rating for the project (**Attachment 3**).

Affordable Housing

- The mid-rise building (the Opal) consists of 35 rental units. As a condition of rezoning (RZ 06-322803), 13 of the units, located on the first two (2) residential levels, will be secured by a Housing Agreement as affordable low end of market rental units with a defined maximum rental rate for a 25-year term. The remaining 22 units will be secured by a Housing Agreement as market rental units for a 25-year term.

Public Art

- In association with the rezoning (RZ 06-322803), the applicant has committed to a voluntary contribution of \$101,093 towards public art and undertakes to work with the City Public Art Planner to develop a program to be introduced on-site or adjacent to the site.

Roads and Transportation Upgrades

- Through the Servicing Agreement, the applicant is required to undertake improvements to Cooney Road, Anderson Road and Eckersley Road.
- Road dedication is required along the full length of Cooney Road (including a 4 m width at Anderson Road, tapering to 2.4 m at the north edge of 6760 Cooney Road). Road dedication also includes a 4 m x 4 m corner cut at the intersection of Anderson Road and Eckersley Road.
- In association with the rezoning (RZ 06-322803), the applicant has committed to a voluntary contribution of \$919,897 toward the continuation of Park Road between Cooney Road and Eckersley Road.

Servicing Capacity


- Through the Servicing Agreement, the applicant is required to undertake improvements to the watermains and storm and sanitary systems.

Flood Indemnity Covenant

- In association with the rezoning (RZ 06-322803), the applicant will register a Flood Indemnity Covenant on title referencing the minimum habitable elevation for the area (0.9 m geodetic).

Conclusions

The development as proposed responds to Council's emphasis on the provision of affordable and rental housing within the City of Richmond, to general guiding principles of the City Centre Area Plan, and to the evolving urban character of the neighbourhood. The applicant has responded to staff comments in the associated rezoning report and the Advisory Design Panel comments. Staff recommend approval of this Development Permit application.


for Diana Nikolic, MCIP
Planner II (Urban Design)
(Local 4040)

DN:blg

- Attachment 1: Development Data Sheet
- Attachment 2: ADP Minutes Including Applicant's Responses
- Attachment 3: LEED Checklist – Provided by Project Architect
- Attachment 4: Superseded CCAP Land Use and Density Plan
- Attachment 5: Brighthouse Village Specific Land Use Map

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$ 608,368.27;

- Confirmation to the City whether inclusion of a geo-exchange system may be incorporated into the development;
- Confirmation that dewatering of the site will occur only during the construction phase and that continued on-going dewatering of the site is not required;
- Demonstrate to the satisfaction of Engineering Planning, through a capacity analysis, that the existing storm or sanitary system has sufficient capacity to accommodate increased proposed flows to facilitate the dewatering process, or demonstrate the feasibility of an alternative method to dewater the site; and
- Demonstrate to the satisfaction of Engineering Planning that the quality of water entering the system complies with Federal, Provincial, and Municipal water quality requirements throughout the process, and that any required approvals from regulatory bodies have been secured.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285;*
- Incorporation of accessibility measures for aging in place in Building Permit drawings for all units including lever handles for doors and faucets and blocking in all washroom walls to facilitate future potential installation of grab bars/handrails.
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>); and
- Demonstrate to the satisfaction of the Building Department that land may be used safely for the use intended and protected from a flood of the magnitude used for modelling purposes in the Lower Fraser River Hydraulic Model, 2006 and that it can be achieved through an engineered design without reliance on a standard dike. Registration of a covenant to indemnify the City is also required.



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

**Development Application
 Data Sheet**
 Development Applications Division

DP 07-374744 **Attachment 1**

Address: 6760, 6780, 6800, 6820 Cooney Road, 8371, 8411 Anderson Road, and 6771, 6811, 6831 Eckersley Road

Applicant: Iredale Group Architecture Owner: KKBL No. 430 Ventures Ltd.

Planning Area(s): City Centre Area Plan, City Centre Area Plan Update Study

	Existing	Proposed
Site Area:	gross: approximately 0.82 ha (2.0 acre)	net: 0.7828 ha (1.9 acres)
Land Uses:	Residential	Residential high-rise, mid-rise and townhouses
OCP Designation:	Neighbourhood Residential	Neighbourhood Residential
Zoning:	Single-Family Housing District, Subdivision Area E (R1/E)	Comprehensive Development District (CD/195)
Number of Units:	9 single-family homes	211 units (170 market apartment units, 35 rental apartment units (13 affordable low end of market rental and 22 market rental), 6 townhouse units)

	C/D 195 Requirement	Proposed	Variance
Floor Area Ratio:	Max. 2.0 Additional 0.30 FAR for secured rental housing	1.99 Additional 0.30 FAR for secured rental housing	none permitted
Lot Coverage:	Max. 38%	36.7%	none
Road Setbacks	Anderson Road: 4.4 m Cooney Road: 3.5 m Eckersley Road: 3.5 m With the exception of the parking structure which may project into the public road setback but shall be no closer to a public road than 2 m, and must be landscaped or screened by a combination of trees, shrubs, ornamental plants or lawn.	Anderson Road: 4.4 m Cooney Road: 3.5 m Eckersley Road: 3.5 m With the exception of the parking structure which may project into the public road setback but shall be no closer to a public road than 2 m, and must be landscaped or screened by a combination of trees, shrubs, ornamental plants or lawn	none
Setback – Rear and Side yard:	Min. 4.0 m	4.0 m	none
Height (m):	Max. 45 m 8 m for accessory buildings and structures	42.47 m 7.8 m accessory building	none

Lot Size (min. dimensions):	0.7 ha (1.8 acres)	0.7828 ha (1.9 acres)	none
Off-street Parking Spaces – Regular/Visitor	294 (Residential: 238 residential stalls, 13 stalls for affordable low end market rental units, and 43 visitor parking stalls)	294 (Residential and low end of market rental: 251, and 43 visitor parking stalls)	none
Off-street Parking Spaces – Accessible:	6	7 (1 visitor, 6 residential)	
Total off-street Spaces:	294	294	none
Tandem Parking Spaces	permitted	34 stalls in tandem arrangement	none
Amenity Space – Indoor:	100 m ² (1,076 ft ²)	487 m ² (5,240 ft ²)	none
Amenity Space – Outdoor:	1,266 m ² (13,950 ft ²)	1,377 m ² (14,822 ft ²)	none

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, May 7th – 4:00 p.m.
Richmond City Hall**

DEVELOPMENT PERMIT 07-374744 (FORMAL)

APPLICANT: Iredale Group Architecture

PROPERTY LOCATION: 6760, 6780, 6800, 6820 Cooney Road, 8371, 8411 Anderson Road, 6771, 6811, 6831 Eckersley Road

Staff Comments

Diana Nikolic, Planner II (Urban Design) reviewed the site context and advised that this project was initially reviewed by the Advisory Design Panel last summer and since, the submission has been substantially revised. Ms. Nikolic further advised that:

- nine lots are being consolidated;
- the project surpasses the density targets set out in the unadopted draft City Centre Area Plan; the additional density consists of rental units, some of which have a maximum rental rate that will be secured through registration of a Housing Agreement;
- in the future, Park Road will be extended between Cooney Road and Eckersley Road;
- Anderson Road will be converted to an emergency access only; access to the site will be off of Eckersley Road; and
- the minimum elevation of the proposed two-level parking structure will be approximately 4.5 feet below the sidewalk elevation; thus, the impact of the parking structure will be minimized.

Ms. Nikolic further advised that primary changes that have been undertaken since the project was first reviewed by the ADP in June 2007 include: (i) lowering the minimum elevation of the parking level; (ii) omitting the sidewalk that was proposed along the northern property line; and (iii) changes to the location of vehicle access to the site.

Applicant's Comments

Richard Iredale of Iredale Group Architecture highlighted the following information:

- the walkway linking Cooney Road to Eckersley Road has been eliminated due to CPTED concerns;
- the concept of a penthouse level with a dramatic roof form has been carried through both high-rises; however, the bay windows and detailing of the double height windows are different;
- in order to relate the detail of the brick and painted concrete to the proposed town homes, the level of brick cladding has been raised to align with the town homes' roof lines;

- the lobby levels have been revised and are now on the second level;
- the proposed Jade building has a simple horizontal canopy and the proposed Emerald building picks up on the roof structure with a curved canopy;
- the buildings' relationship to the sidewalk has been established with planting and by pushing the parkade structure below grade; and
- three different colours schemes and materials will distinguish the proposed buildings.

Landscape Architect Jonathan Losee advised that each building will have its own entrance off of City property and that each townhouse has generous private patio space and access to the open courtyard.

Panel Discussion

Comments from the Panel were as follows:

- the tower entries require design development to improve the transition between the building and the public space; consider additional hard landscaping along the property edges; the tower roofs are very bold requiring care and attention in their building execution; consider further development of the massing of brick portions on the façades as they appear slim and require strengthening in relation to the building height; the mechanical penthouses may require additional space;
- late submission of landscape plans and the small print make full review challenging; animate the lawn area behind the lap pool building; walls and fences are not legible on the plans and details should be provided; consider the height and impact of plants on the massing at the north east corner; consider diversity to the plant palette, as in particular there is no contrast with the shrubs and ensure suitable varieties are selected based on specific context (for example, feature the brick planters versus covering them with *Viburnum Davidii*); plant the small areas where patches of sod are proposed; enjoyed the two sliding panes of Cherry trees; proposed geometries are conflicting in some areas and should be amended; strengthen the curve proposed in the pathway;
- overall, the Panel's previous concerns have been well addressed; consider the privacy of towers overlooking the town homes' roof decks; carefully consider the finishes on the roof features; material and colour information is required to be referenced; articulate the vertical concrete elevations; consider further development of the material and architectural treatment of the base of the development;
- initiate early integration of public art at the Emerald building entrance;
- maximize opportunities to provide accessible units by considering the use of sliding doors where space is limited in order to ease in adapting a unit; galley and "L" shaped kitchens are typically better suited to conversion to an adaptable space; and
- pay attention to the dramatic, yet well done rooflines; the model should be updated to reflect changes.

In response to the Panel's comments, the applicant advised that the elevator mechanical space would not impact the rooflines as the two-storey penthouse units allow for integration of mechanical equipment into the building structure.

Following the discussion, the Chair summarized points raised, and called for additional input prior to consideration of the ensuing motion.

Panel Decision

It was moved and seconded

That Development Permit 07-374744 move forward to the Development Permit Panel, taking into consideration the following comments provided by the Advisory Design Panel:

1. *further design development of entryways;*

Applicant's response: Lobby entrance wall & steps have been shifted back to create more space and hard landscaping at entry. Placing benches at the entries enhances the entries and lends a more welcoming ambience. Having deep entry canopies of different styles at entry steps clearly identify the entries. The turning in of the low level planter walls along the entry edges, frame the entry steps and direct your eye towards the entries.

2. *consider further paving / hard surface treatment to identify the entryways;*

Applicant's response: We have dramatised the entryways to the site and buildings by developing a decorative paving pattern using accent pavers of different colour stones framed in cast-in-place concrete bands. These patterns along with the other elements – benches and canopies – focus your attention and highlight the entries.

3. *further design development of the roof lines;*

Applicant's response: We have introduced a wood soffit at all roof overhangs, and provided a thin 4" thick metal flashing along the edges of the roofs, to provide a thin, articulated roof edge. To avoid providing a thick built-in curb at roof edges, we have sloped the roofs back from the edges to drain at internal downspouts, and we will use a thin-line steel frame roof structure to keep the roof edges within a thin (6") overall vertical dimension. Since rainwater will drain back away from the roof edges we are able to use a minimal 4" edge cant, thus keeping the roof edges thin.

4. *strengthen the tower elevations, particularly by incorporating a more substantive brick treatment;*

Applicant's response: We have strengthened the tower elevations by highlighting the differences between three vertical elements of the towers. The base is brick, the middle is painted concrete, and the top two floors incorporate more glass and mullion treatments. We have accentuated the solid vertical 'prism' elements of the building (the brick and painted concrete components) by using black aluminium window-frames for the punch windows set into these prisms, and silver anodized aluminium at the curtain wall zones that separate the prisms. We have also extended the brick facade treatment up to the third floor at the corner prisms of the buildings, adding complexity to the tower facades and relating to the roof elevation of the adjacent townhouses.

5. *seek opportunities to enliven the small lawn area at the north east corner;*

Applicant's response: We have replaced the lawn with decorative planting in this area to create a more welcoming view from the street and from the amenity building. We have reconfigured the amenity building so that the fitness room overlooks this decorative planting.

6. **review the height of plants in large planting beds in the north east area;**
Applicant's response: The planting heights of the rows of shrubs are appropriate for the use of the shrub bed along the east side of the amenity building. They provide a filigree of deciduous shrub material, a canopy of trees, and an evergreen groundcover.
7. **incorporate greater diversity to the plant palette;**
Applicant's response: The plant palette used for the project is appropriate. We have a variety of flowering deciduous shrubs, evergreen shrubs and trees, and allow for mixed perennials to provide seasonal variety in strategic locations.
8. **consider consolidating the planting in planters to increase its impact;**
Applicant's response: We have massed plant material appropriately for the specific locations to provide strong textural massing.
9. **plant the small areas of sod;**
Applicant's response: We have adjusted the planting so that very small sodded areas are eliminated and are planted with shrubs or ground covers.
10. **reinforce the curve of the proposed pathway by adding planting;**
Applicant's response: We have adjusted tree locations to suit the curvature of the walkway, but have intended to maintain the separation between sidewalk and hedged/fenced yards as a sodded lawn.
11. **consider design development of the geometric forms in the courtyard, and consider whether they are still appropriate;**
Applicant's response: We have adjusted these forms following receipt of revised amenity building layout.
12. **consider the privacy aspect of the roof decks to the town homes;**
Applicant's response: We have added cedar pergolas to the roofs of the townhouses to provide support for climbing plants, and to give privacy screening from adjacent townhouse roofs and from apartments units in the towers.
13. **further design development of concrete tower façades; and**
Applicant's response: We have highlighted the verticality of the towers by bringing the bay windows (on the entry sides) down to the 3rd level, thus articulating the concrete mass on the sides of the glass prism formed by the bay windows. The side balconies have been tied together by placing vertical posts along the railings to read as one lighter mass projecting from the concrete mass background; thus emphasising the geometrical composition of the two masses and materials.
14. **consider increasing the number units with accessibility features.**
Applicant's response: unit F, E and E3 have increased accessibility features, by making the common toilet accessible and incorporating a pocket door entry.

CARRIED



LEED Canada-NC 1.0 Project Checklist

Project Name

City, Province

Yes ? No

8	2	6	Sustainable Sites	14 Points
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Y				Required
1			Prereq 1 Erosion & Sedimentation Control	Required
1			Credit 1 Site Selection	1
1			Credit 2 Development Density	1
		1	Credit 3 Redevelopment of Contaminated Site	1
1			Credit 4.1 Alternative Transportation, Public Transportation Access	1
1			Credit 4.2 Alternative Transportation, Bicycle Storage & Changing Rooms	1
		1	Credit 4.3 Alternative Transportation, Alternative Fuel Vehicles	1
		1	Credit 4.4 Alternative Transportation, Parking Capacity	1
		1	Credit 5.1 Reduced Site Disturbance, Protect or Restore Open Space	1
		1	Credit 5.2 Reduced Site Disturbance, Development Footprint	1
1			Credit 6.1 Stormwater Management, Rate and Quantity	1
		1	Credit 6.2 Stormwater Management, Treatment - part of water feature	1
1			Credit 7.1 Heat Island Effect, Non-Roof	1
1			Credit 7.2 Heat Island Effect, Roof - Roof Gardens on town houses	1
1			Credit 8 Light Pollution Reduction	1

Yes ? No

2	2	3	Water Efficiency	6 Points
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1			Credit 1.1 Water Efficient Landscaping, Reduce by 50%	1
		1	Credit 1.2 Water Efficient Landscaping, No Potable Use or No Irrigation	1
		1	Credit 2 Innovative Wastewater Technologies	1
1			Credit 3.1 Water Use Reduction, 20% Reduction	1
		1	Credit 3.2 Water Use Reduction, 30% Reduction	1

Yes ? No

9	4	3	Energy & Atmosphere	17 Points
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Y				Required
Y			Prereq 1 Fundamental Building Systems Commissioning	Required
Y			Prereq 2 Minimum Energy Performance	Required
Y			Prereq 3 CFC Reduction in HVAC&R Equipment	Required
5	5		Credit 1 Optimize Energy Performance - less than 1kwhr/sqft	1 to 10
		1	Credit 2.1 Renewable Energy, 5% - Solar hot water	1
		1	Credit 2.2 Renewable Energy, 10% - solar hot water	1
1			Credit 2.3 Renewable Energy, 20% - heat recovery on sewage	1
1			Credit 3 Best Practice Commissioning	1
1			Credit 4 Ozone Protection	1
1			Credit 5 Measurement & Verification	1
		1	Credit 6 Green Power	1

Yes ? No

6 2 **Materials & Resources** **14 Points**

Y				Prereq 1	Storage & Collection of Recyclables	Required
			1	Credit 1.1	Building Reuse: Maintain 75% of Existing Walls, Floors, and Roof	1
			1	Credit 1.2	Building Reuse: Maintain 95% of Existing Walls, Floors, and Roof	1
			1	Credit 1.3	Building Reuse: Maintain 50% of Interior Non-Structural Elements	1
1				Credit 2.1	Construction Waste Management: Divert 50% from Landfill	1
1				Credit 2.2	Construction Waste Management: Divert 75% from Landfill	1
			1	Credit 3.1	Resource Reuse: 5%	1
			1	Credit 3.2	Resource Reuse: 10%	1
1				Credit 4.1	Recycled Content: 7.5% (post-consumer + ½ post-industrial)	1
			1	Credit 4.2	Recycled Content: 15% (post-consumer + ½ post-industrial)	1
1				Credit 5.1	Regional Materials: 10% Extracted and Manufactured Regionally	1
1				Credit 5.2	Regional Materials: 20% Extracted and Manufactured Regionally	1
			1	Credit 6	Rapidly Renewable Materials	1
				Credit 7	Certified Wood	1
1	1			Credit 8	Durable Building	1

Yes ? No

11 1 4 **Indoor Environmental Quality** **15 Points**

Y				Prereq 1	Minimum IAQ Performance	Required
Y				Prereq 2	Environmental Tobacco Smoke (ETS) Control	Required
1				Credit 1	Carbon Dioxide (CO₂) Monitoring	1
			1	Credit 2	Ventilation Effectiveness	1
1				Credit 3.1	Construction IAQ Management Plan: During Construction	1
1				Credit 3.2	Construction IAQ Management Plan: Testing Before Occupancy	1
1				Credit 4.1	Low-Emitting Materials: Adhesives & Sealants	1
1				Credit 4.2	Low-Emitting Materials: Paints and Coating	1
1				Credit 4.3	Low-Emitting Materials: Carpet	1
1				Credit 4.4	Low-Emitting Materials: Composite Wood and Laminate Adhesives	1
1				Credit 5	Indoor Chemical & Pollutant Source Control	1
			1	Credit 6.1	Controllability of Systems: Perimeter Spaces	1
			1	Credit 6.2	Controllability of Systems: Non-Perimeter Spaces	1
1				Credit 7.1	Thermal Comfort: Compliance	1
			1	Credit 7.2	Thermal Comfort: Monitoring	1
1				Credit 8.1	Daylight & Views: Daylight 75% of Spaces	1
1				Credit 8.2	Daylight & Views: Views 90% of Spaces	1

Yes ? No

3 2 2 **Innovation & Design Process** **5 Points**

1				Credit 1.1	Innovation in Design - Much higher density	1
1				Credit 1.2	Innovation in Design - Sewage Heat Recovery	1
			1	Credit 1.3	Innovation in Design - High Efficiency Vehical Strata Fee Discount	1
			1	Credit 1.4	Innovation in Design - community gardens - bio intensive agricultur	1
1				Credit 2	LEED® Accredited Professional	1

Yes ? No

39 13 18 **Project Totals (pre-certification estimates)** **70 Points**

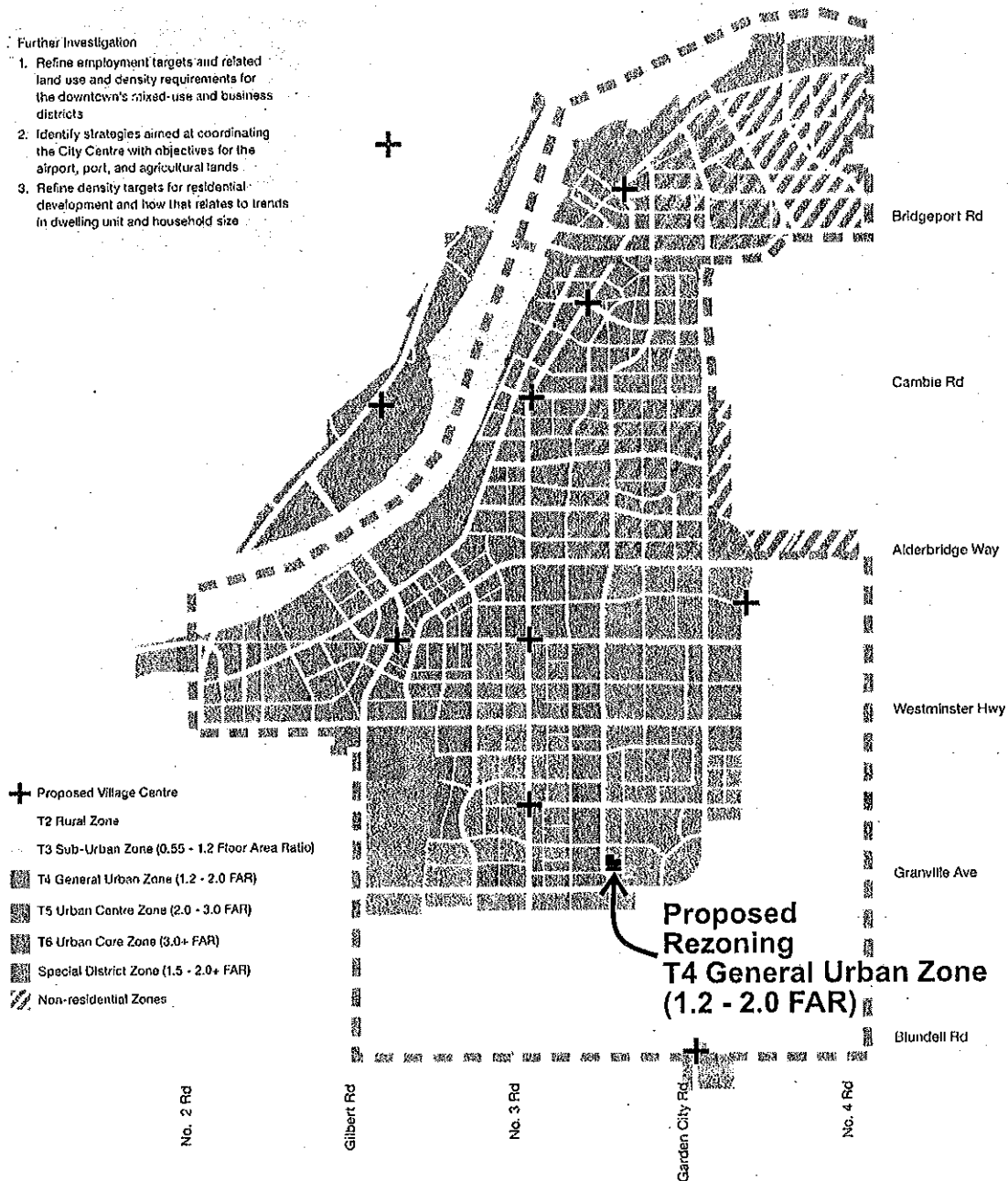
Certified 26-32 points Silver 33-38 points Gold 39-51 points Platinum 52-70 points

A. Land Use & Density

The framework proposes an approach centred on the establishment of a network of distinct, yet complementary, mixed-use transit villages, each of which will provide an attractive, livable environment and together will provide for a dynamic, sustainable downtown.

Further Investigation

1. Refine employment targets and related land use and density requirements for the downtown's mixed-use and business districts
2. Identify strategies aimed at coordinating the City Centre with objectives for the airport, port, and agricultural lands
3. Refine density targets for residential development and how that relates to trends in dwelling unit and household size



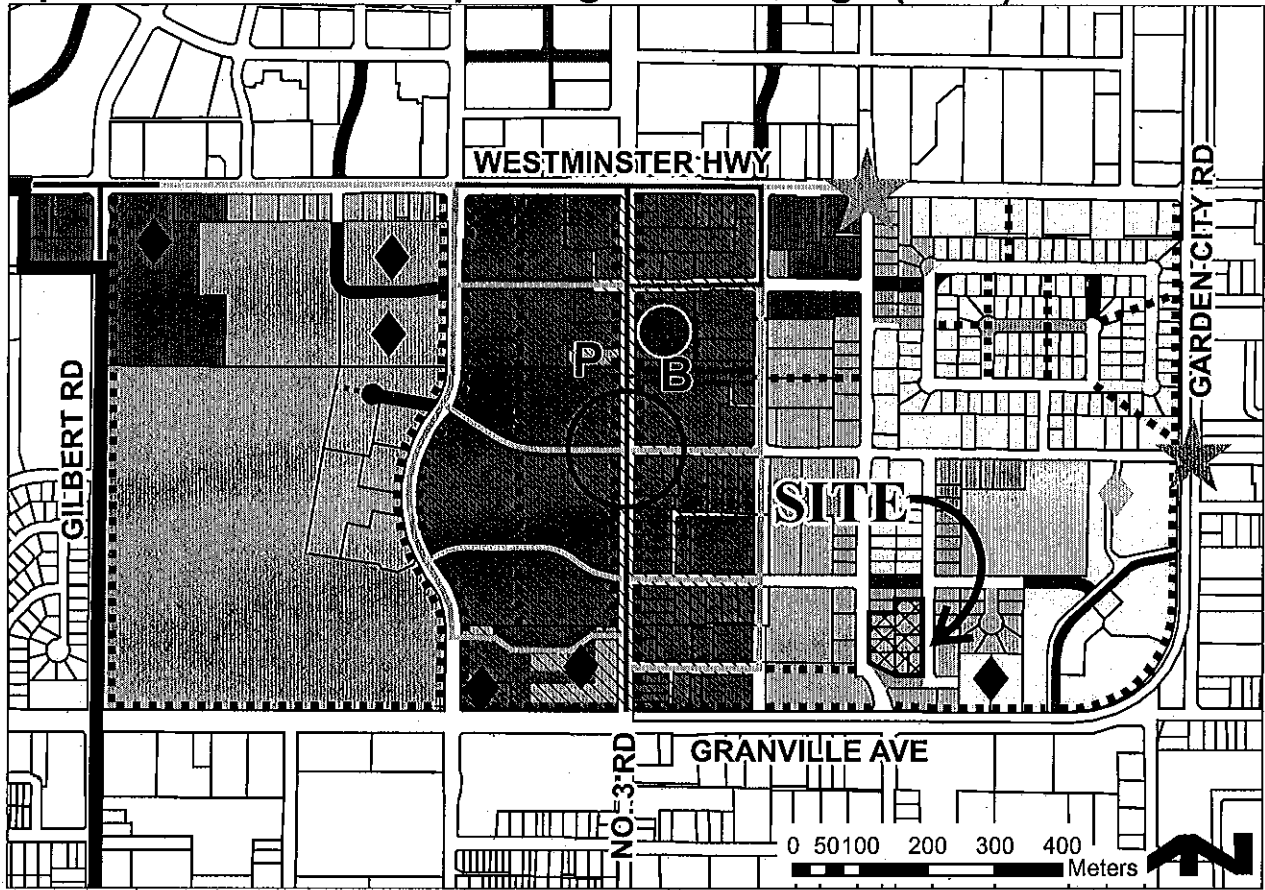
City Centre Area Plan Update Study
 Land Use and Density
 RZ 06-322803

Original Date: 01/08/08

Amended Date:

Note: Dimensions are in METRES

Specific Land Use Map: Brighthouse Village (2031)



	General Urban T4 (15m)		School		Proposed Streets
	Urban Centre T5 (25m)		Village Centre Bonus		Pedestrian-Oriented Retail Precincts-High Street & Linkages
	Urban Core T6 (45m)		Institution		Pedestrian-Oriented Retail Precincts-Secondary Retail Streets & Linkages
	Park		Pedestrian Linkages		Canada Line Station
	Park-Configuration & location to be determined		Enhanced Pedestrian & Cyclist Crossing		Transit Plaza
	Village Centre: No. 3 Road & Cook Road Intersection		Bus Exchange		



No. DP 07-374744

To the Holder: IREDALE GROUP ARCHITECTURE

Property Address: 6760, 6780, 6800, 6820 COONEY ROAD,
8371, 8411 ANDERSON ROAD, AND
6771, 6811, 6831 ECKERSLEY ROAD

Address: C/O RICHARD IREDALE
#202 ONE ALEXANDER STREET
VANCOUVER, BC V6A 1B2

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #11 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$608,368.27. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 07-374744

To the Holder: IREDALE GROUP ARCHTECTURE

Property Address: 6760, 6780, 6800, 6820 COONEY ROAD,
8371, 8411 ANDERSON ROAD, AND
6771, 6811, 6831 ECKERSLEY ROAD

Address: C/O RICHARD IREDALE
#202 ONE ALEXANDER STREET
VANCOUVER, BC V6A 1B2

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

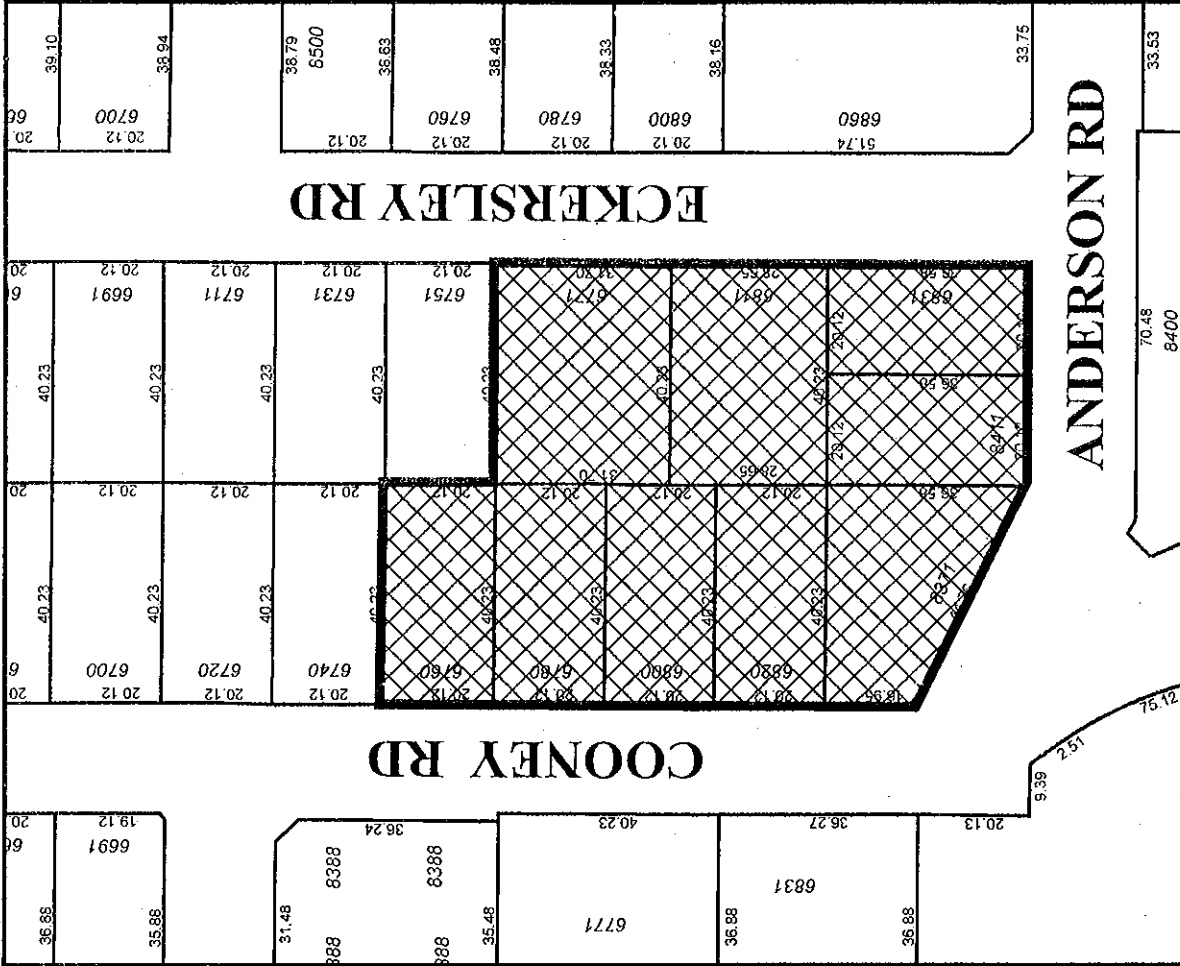
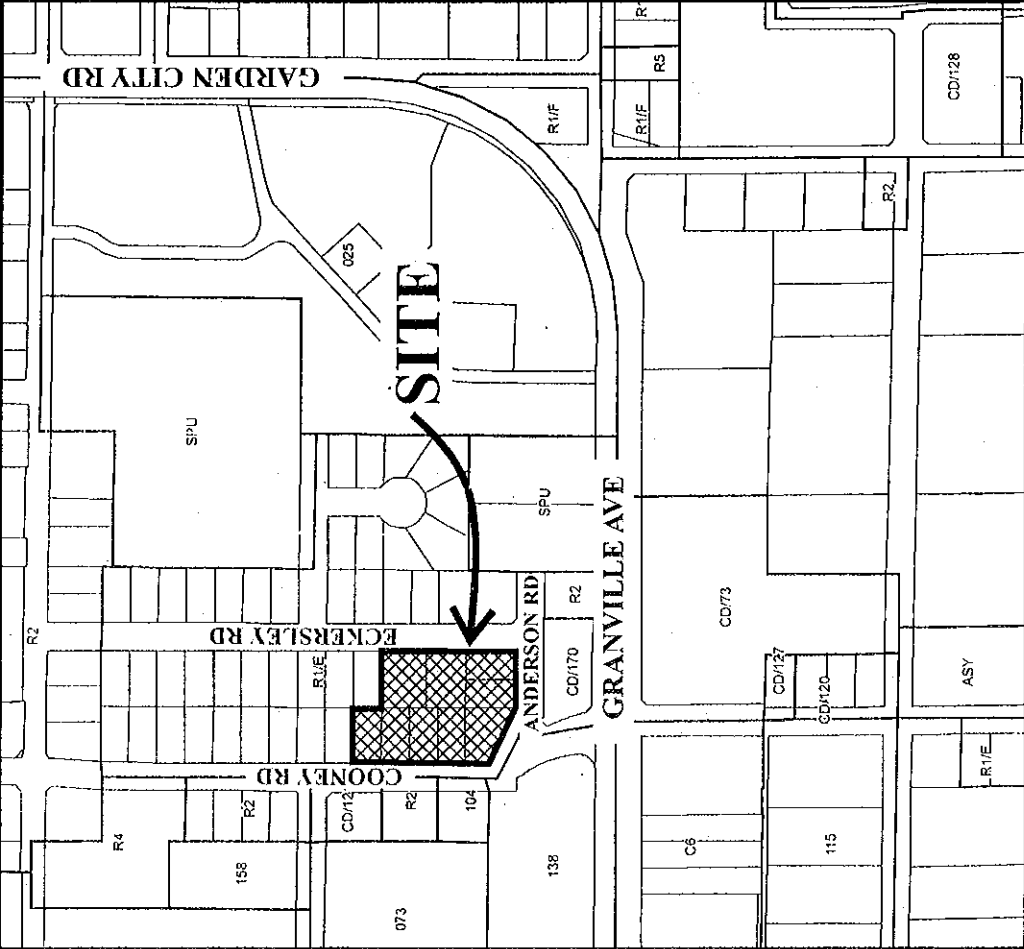
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond

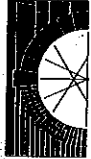



DP 07-374744 SCHEDULE "A"

Original Date: 10/17/07

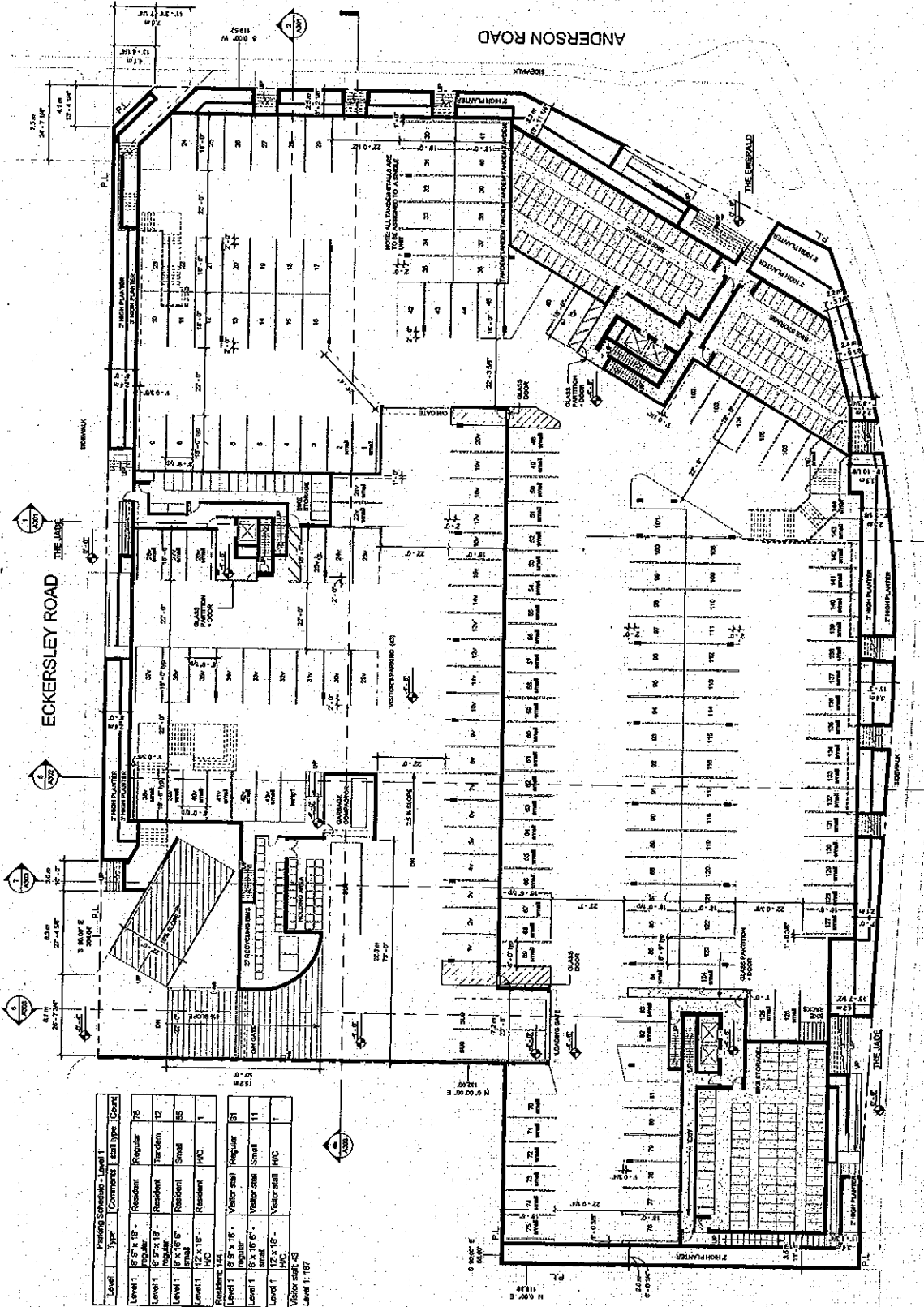
Revision Date:

Note: Dimensions are in METRES

		 <p>IRDALE GROUP ARCHITECTURE Suite 202 - Old Albemarle Street Mechanicsville, VA 23102 Tel: 703-271-3188 www.irdalegroup.com</p>	<p>JUL 25 2008</p>	<p>EMERALD GARDENS 900 COONEY ROAD RICHMOND, VA</p>
			<p>PARKING LEVEL 1 & SITE PLAN</p>	<p>100' x 100' </p>


#1

DP 07327474

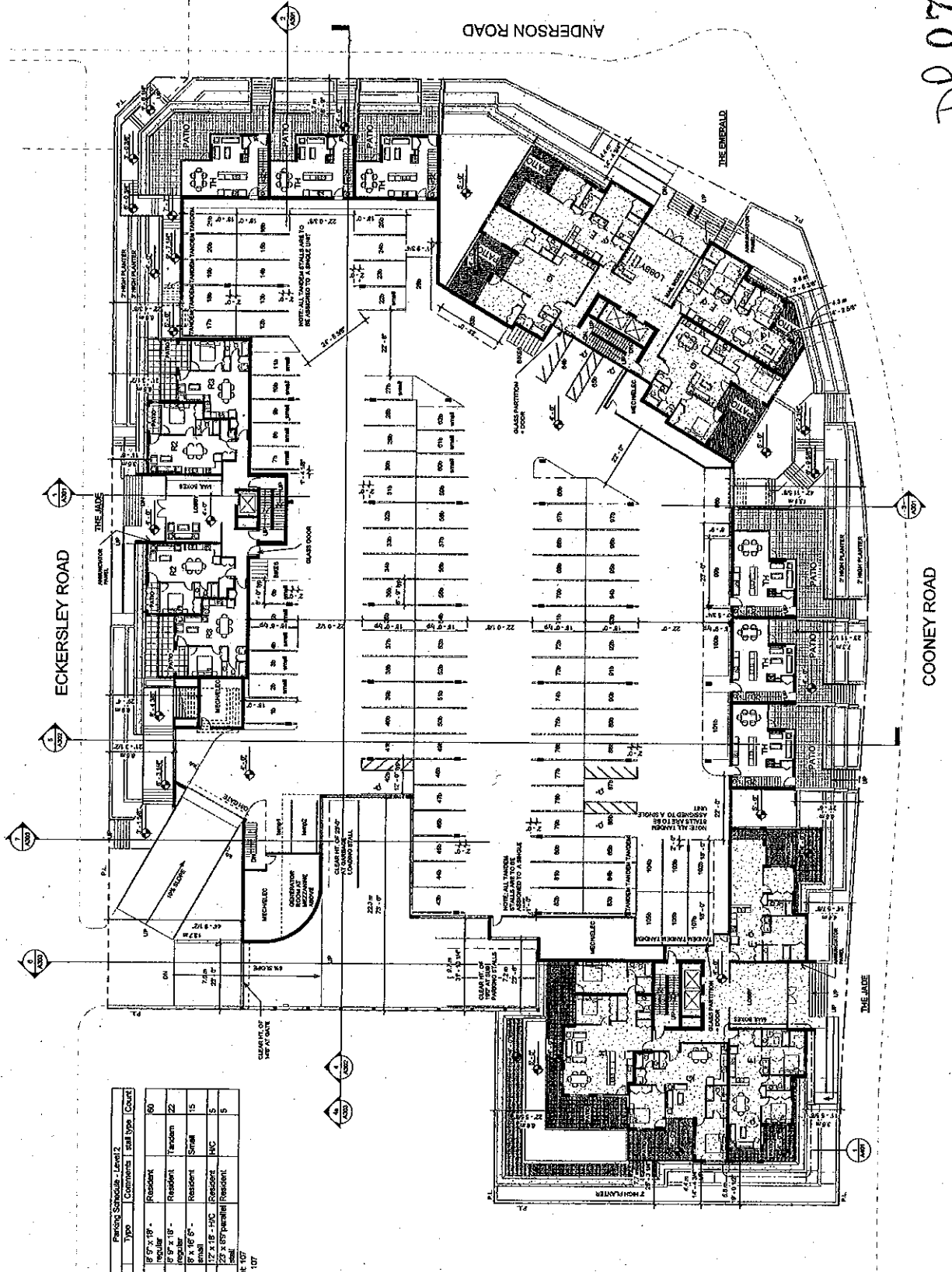


Level	Package	Schedule	Level 1	Comments	Stall Type	Count
Level 1	15' x 18'		Resident	Regular	75	
Level 1	8' x 18'		Resident	Random	12	
Level 1	8' x 18'		Resident	Small	55	
Level 1	14' x 15'		Resident	PHC	1	
Level 1	8' x 18'		Visitor stall	Regular	51	
Level 1	15' x 18'		Visitor stall	Small	11	
Level 1	10' x 18'		Visitor stall	PHC	1	
Level 1	187		Visitor stall	PHC	1	

NOTES:
 ELEVATIONS IN FEET
 ELEVATION OF PROJECT GRADE 0.0' @ 3.00' GEODETIC LEVEL
 LOWEST GEODETIC LEVEL = 2.28' @ C.I. of Anderson Road
 D.M. ELEVATION @ '41' corner of Greenhill Avenue & S. Albemarle road = 6.68'

	 IREDALE GROUP ARCHITECTURE Studio: One Aberdeen Street Suite 200, Alexandria, VA 22304 Tel: 703-231-8100 Fax: 703-231-8101 www.iredale.com	JUL 25 2008	EMERALD GARDENS 980 GARDEN BLVD FORT COLLINS, CO PARKING LEVEL 2 VPP # 127
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DP 0737744
#2



Level	Type	Comments	Ball type	Count
Level 2	8' 0" x 18' - regular	Resident		60
Level 2	8' 9" x 18' - regular	Resident	Random	22
Level 2	8' x 18' - regular	Resident	Small	15
Level 2	12' x 18' - 2-C	Resident	H/C	5
Level 2	23' x 67' Parallel	Resident	Small	5

Resident 127
Level 2, 107

10	20	30	40	50	60	70	80	90	100	110	120	130	140	150	160	170	180	190	200	210	220	230	240	250	260	270	280	290	300	310	320	330	340	350	360	370	380	390	400	410	420	430	440	450	460	470	480	490	500	510	520	530	540	550	560	570	580	590	600	610	620	630	640	650	660	670	680	690	700	710	720	730	740	750	760	770	780	790	800	810	820	830	840	850	860	870	880	890	900	910	920	930	940	950	960	970	980	990	1000
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**IREDALE GROUP
ARCHITECTURE**
 5400 - One Alexander Street
 Toronto, Ontario M4M 1A7
 T: 754-1338 F: 754-1345
 www.iredalegroup.com

JUL 24 2008

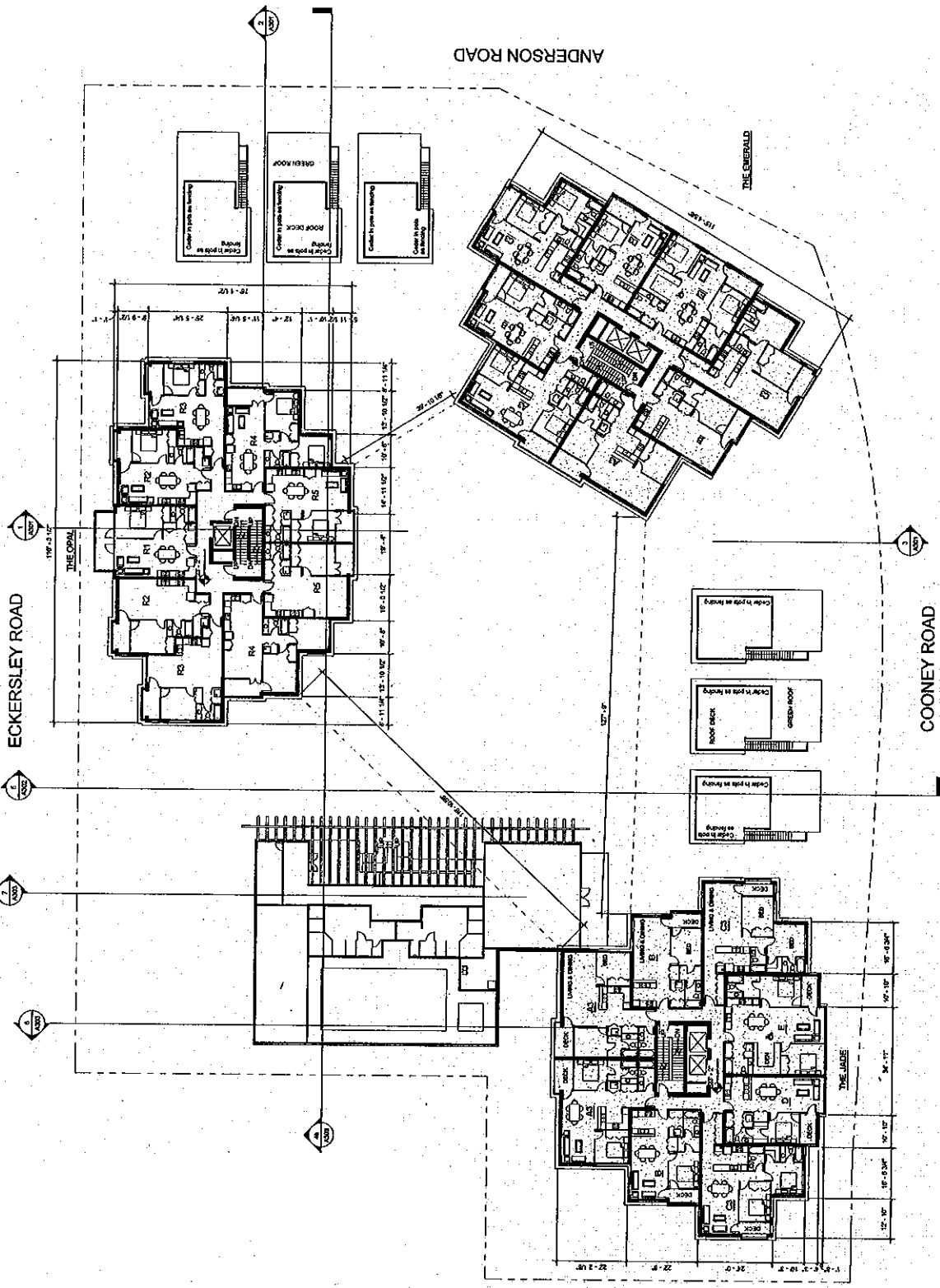
EMERALD GARDENS

400 COONEY ROAD
RICHMOND BC

4th LEVEL PLAN

1/8" = 1'-0"

⊕
 20
 47
 74
 #4
 DC
 20
 47
 74
 #4



ECKERSLEY ROAD

COONEY ROAD

ANDERSON ROAD

THE EMERALD

THE COVE

THE LAKE

1	Site Plan	1/10/08
2	Site Plan	1/10/08
3	Site Plan	1/10/08
4	Site Plan	1/10/08
5	Site Plan	1/10/08
6	Site Plan	1/10/08
7	Site Plan	1/10/08
8	Site Plan	1/10/08
9	Site Plan	1/10/08
10	Site Plan	1/10/08
11	Site Plan	1/10/08
12	Site Plan	1/10/08
13	Site Plan	1/10/08
14	Site Plan	1/10/08
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18	Site Plan	1/10/08
19	Site Plan	1/10/08
20	Site Plan	1/10/08



JUL 2 4 2009

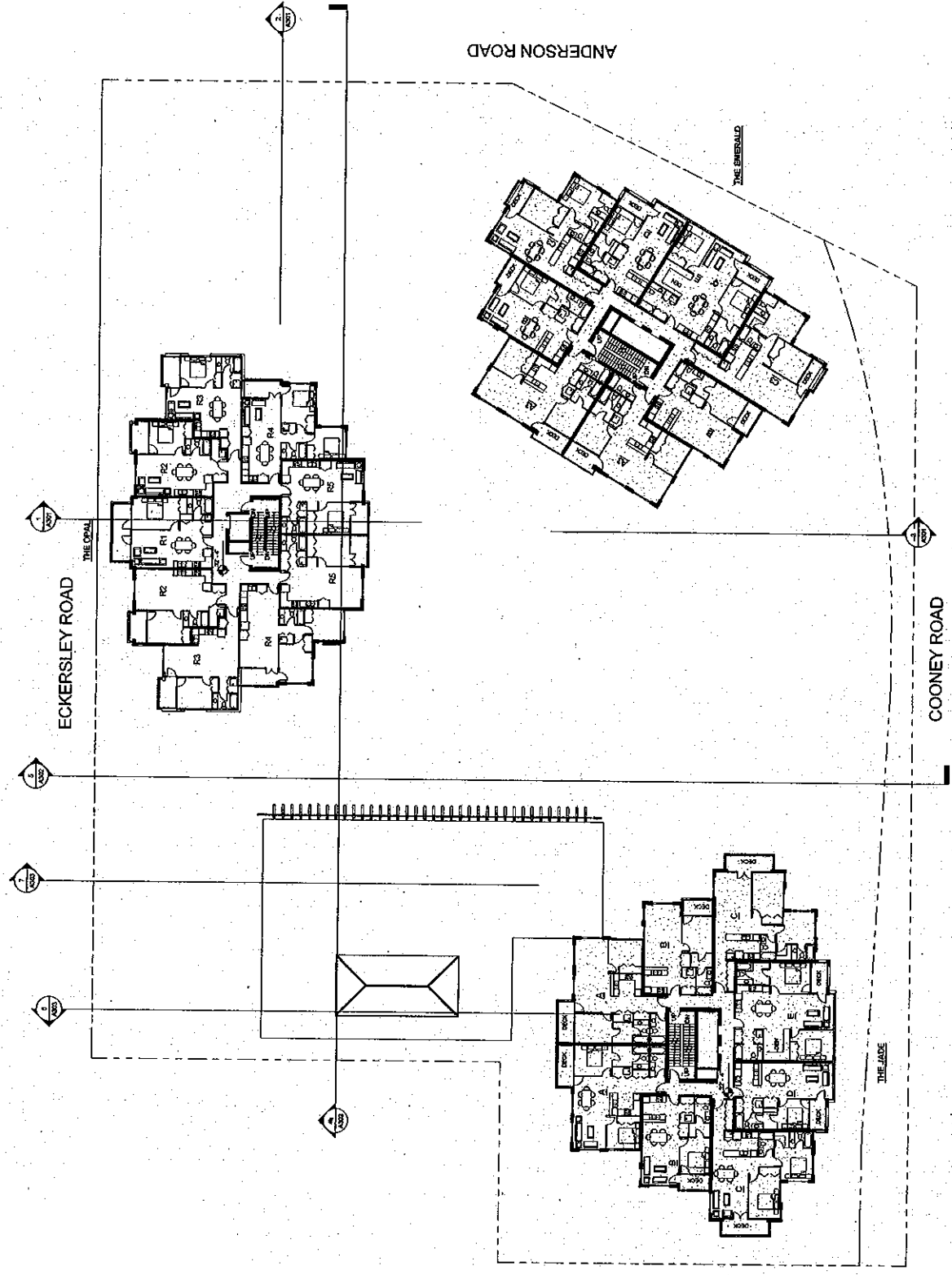
EMERALD GARDENS

99 COONEY ROAD
ROSEMOUNT, IL

5th LEVEL PLAN

1/8" = 1'-0"

DP 0731714 #5



JUL 24 2008

Plant List - Roof Gardens

PLANT CODE	SPYMBOL NAME	COMMON NAME	HEIGHT	ROOT
1	Plant Code	Common Name	Height	Root
2	Plant Code	Common Name	Height	Root
3	Plant Code	Common Name	Height	Root
4	Plant Code	Common Name	Height	Root
5	Plant Code	Common Name	Height	Root
6	Plant Code	Common Name	Height	Root
7	Plant Code	Common Name	Height	Root
8	Plant Code	Common Name	Height	Root
9	Plant Code	Common Name	Height	Root
10	Plant Code	Common Name	Height	Root
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13	Plant Code	Common Name	Height	Root
14	Plant Code	Common Name	Height	Root
15	Plant Code	Common Name	Height	Root
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17	Plant Code	Common Name	Height	Root
18	Plant Code	Common Name	Height	Root
19	Plant Code	Common Name	Height	Root
20	Plant Code	Common Name	Height	Root
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25	Plant Code	Common Name	Height	Root
26	Plant Code	Common Name	Height	Root
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28	Plant Code	Common Name	Height	Root
29	Plant Code	Common Name	Height	Root
30	Plant Code	Common Name	Height	Root
31	Plant Code	Common Name	Height	Root
32	Plant Code	Common Name	Height	Root
33	Plant Code	Common Name	Height	Root
34	Plant Code	Common Name	Height	Root
35	Plant Code	Common Name	Height	Root
36	Plant Code	Common Name	Height	Root
37	Plant Code	Common Name	Height	Root
38	Plant Code	Common Name	Height	Root
39	Plant Code	Common Name	Height	Root
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98	Plant Code	Common Name	Height	Root
99	Plant Code	Common Name	Height	Root
100	Plant Code	Common Name	Height	Root

1. Refer to the planting plan and the construction drawings for details on the roof garden structure, drainage, irrigation, and other technical specifications. The roof garden is to be constructed in accordance with the specifications of the International Building Code, California, and IBC.

2. The roof garden is to be constructed on a reinforced concrete slab. The slab is to be finished with a smooth surface. The roof garden is to be constructed on a reinforced concrete slab. The slab is to be finished with a smooth surface.

3. The roof garden is to be constructed on a reinforced concrete slab. The slab is to be finished with a smooth surface. The roof garden is to be constructed on a reinforced concrete slab. The slab is to be finished with a smooth surface.

4. The roof garden is to be constructed on a reinforced concrete slab. The slab is to be finished with a smooth surface. The roof garden is to be constructed on a reinforced concrete slab. The slab is to be finished with a smooth surface.

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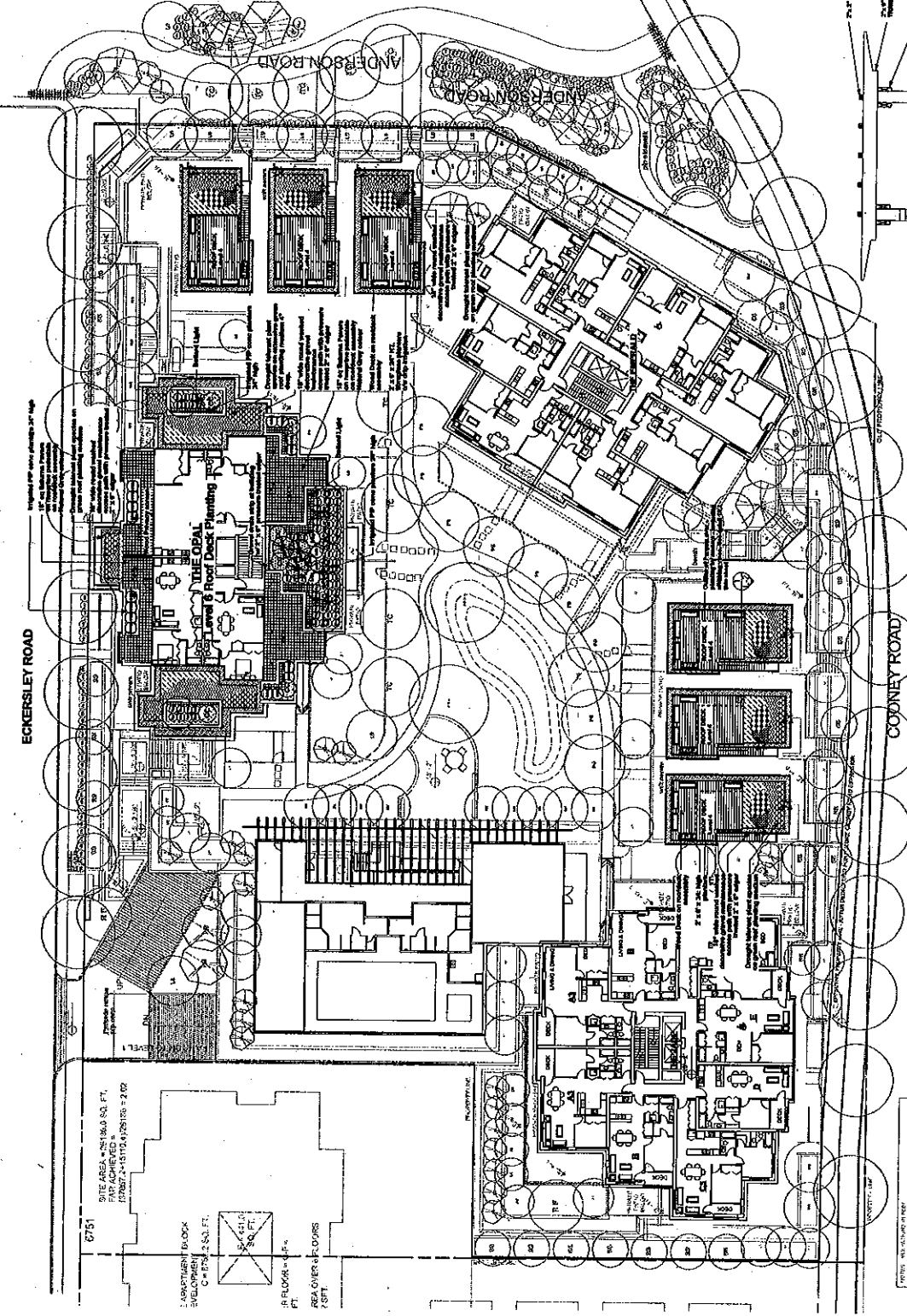
6. The roof garden is to be constructed on a reinforced concrete slab. The slab is to be finished with a smooth surface. The roof garden is to be constructed on a reinforced concrete slab. The slab is to be finished with a smooth surface.

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Lighting Schedule
 + 4' x 4' High Inset Light

7.5' x 7.5' Inset Light
 7.5' x 7.5' Inset Light
 7.5' x 7.5' Inset Light
 7.5' x 7.5' Inset Light
 7.5' x 7.5' Inset Light

2007 IBC (2006) 507.2.1 (2) for mechanical
 2007 IBC (2006) 507.2.2 (2) for mechanical
 2007 IBC (2006) 507.2.3 (2) for mechanical

Jonathan Loose Ltd.
 Landscape Architects
 1001 West 1st Street
 Vancouver, BC
 V6C 1G7
 Tel: 604-681-1100
 Fax: 604-681-1101

Emerald Gardens
 1001 West 1st Street
 Vancouver, BC
 V6C 1G7
 Tel: 604-681-1100
 Fax: 604-681-1101

Sheet 77A
Roof Deck
Landscape Plans
 DP 07 377A
 4
 #86

NOT TO SCALE
 FOR INFORMATION ONLY
 CONSULT THE ARCHITECT FOR ALL DETAILS
 ALL RIGHTS RESERVED
 2008 JUL 24

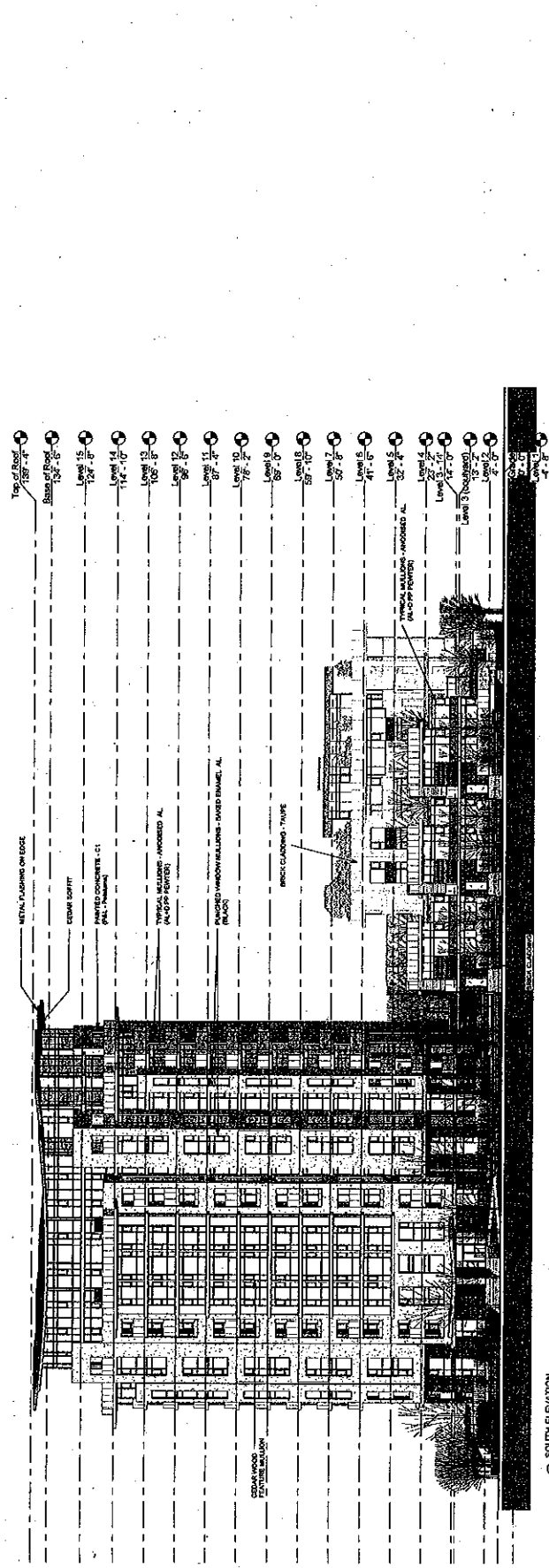
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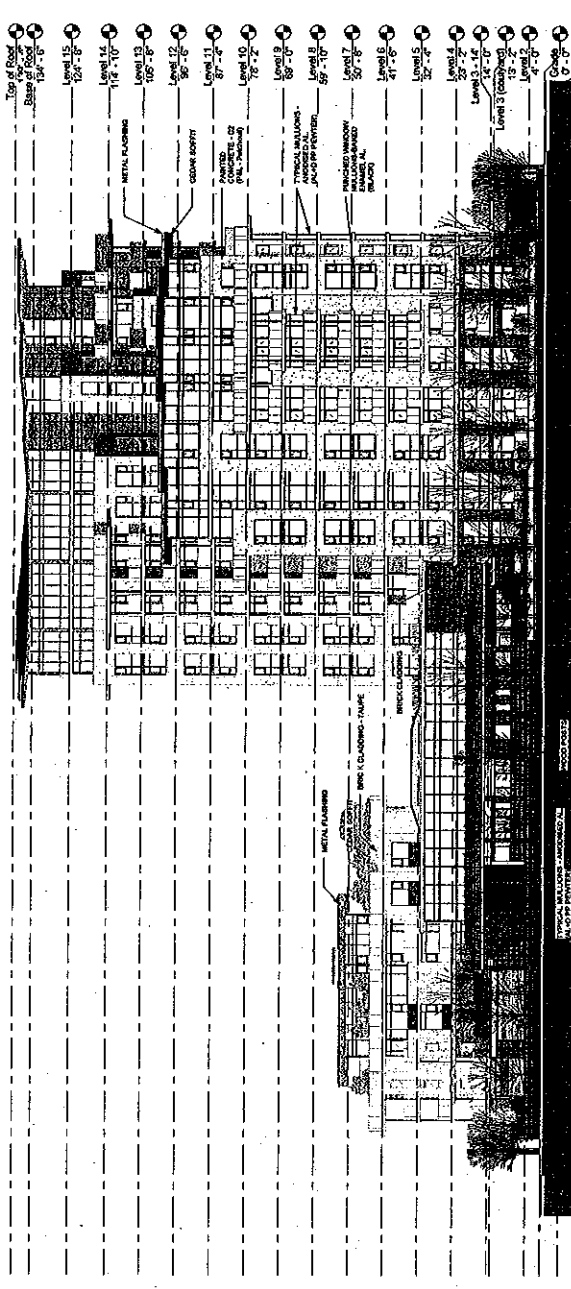
JUL 24 2008

EMERALD GARDENS
 1/16" = 1/8"
 NORTH AND SOUTH ELEVATIONS
 RFP # 107
 1001 WEST 10TH STREET
 VANCOUVER, BC
 V6H 3G9

DP 073747A4 #9



② SOUTH ELEVATION
 1/16" = 1/8"



① NORTH ELEVATION
 1/16" = 1/8"

1	12/10/2007	Issued for Review
2	01/08/2008	Issued for Review
3	02/14/2008	Issued for Review
4	03/04/2008	Issued for Review
5	03/11/2008	Issued for Review
6	03/18/2008	Issued for Review
7	03/25/2008	Issued for Review
8	04/01/2008	Issued for Review
9	04/08/2008	Issued for Review
10	04/15/2008	Issued for Review
11	04/22/2008	Issued for Review
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97	12/15/2009	Issued for Review
98	12/22/2009	Issued for Review
99	12/29/2009	Issued for Review
100	01/05/2010	Issued for Review

TREDALE GROUP ARCHITECTURE
 5400 Old Albemarle Street
 Suite 200, Old Albemarle Station
 Northridge, NC 28124
 Tel: 770-442-1111
 www.tredale.com

JUL 24 2008

EMERALD GARDENS

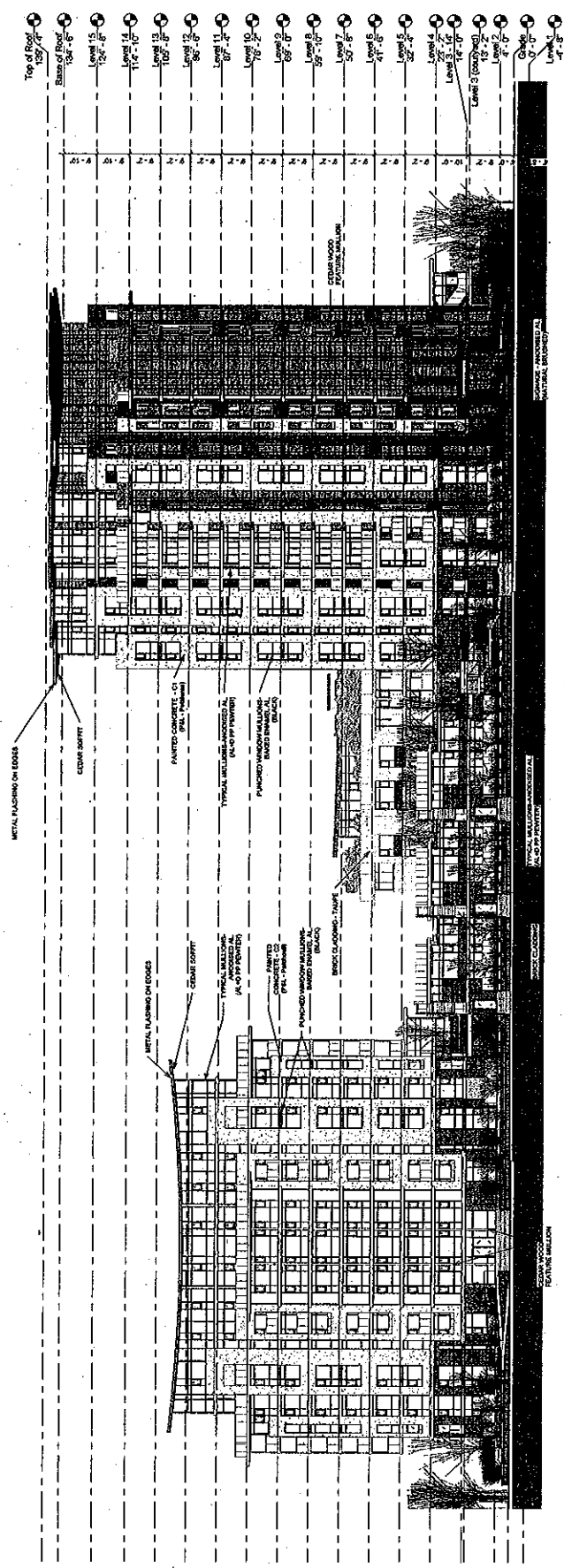
690 COONEY ROAD
RICHMOND, NC

WEST ELEVATION

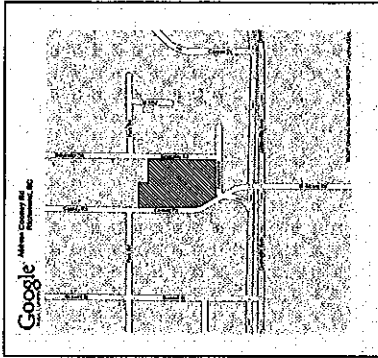
V.P.F. 1/4"

DATE: 06/06

3 A303



DP 07374744
JUL 11



FAR CALCULATIONS - 31st Dec. 07

LEVEL	AREA - EMERALD (sq. ft.)	AREA - JADE (sq. ft.)	AREA - DOWNHOMES (sq. ft.)	SUB-TOTAL - MARKET LIMITS (sq. ft.)	AREA - OPAL (sq. ft.)	AREA - OVERALL (sq. ft.)	AREA - AMENITIES (sq. ft.)
LEVEL 1	1475.04	1605.61		3080.65	1303.89	4384.54	
LEVEL 2	4113.59	4428.01	3331.36	11872.96	2770.12	14643.08	
LEVEL 3	6722.36	6722.36	4896.31	18441.03	6140.50	24581.53	5112.92
LEVEL 4	6946.41	6946.41		13892.82	6248.24	20141.07	
LEVEL 5	6987.35	6987.35		13974.70	6248.24	20222.94	
LEVEL 6	6987.35	6987.35		13974.70	2563.90	16538.60	
LEVEL 7	6987.35	6987.35		13974.70		13974.70	
LEVEL 8	6987.35	6987.35		13974.70		13974.70	
LEVEL 9	6987.35	6987.35		13974.70		13974.70	
LEVEL 10	6987.35	5944.94		12932.29		12932.29	
LEVEL 11	6987.35	5944.94		12932.29		12932.29	
LEVEL 12	6987.35	6987.35		6987.35		6987.35	
LEVEL 13	6987.35	6987.35		6987.35		6987.35	
LEVEL 14	5944.94			5944.94		5944.94	
LEVEL 15	5944.94			5944.94		5944.94	
Area not included in FAR	93833.44	66323.02		8327.66	168450.13	25274.89	5112.92
LOT AREA	84259.89						
FAR ACHIEVED	1.1196	0.7872	0.0888	1.9696	0.3000	2.2996	0.0687

LOT COVERAGE: gross area on level 3 / lot area x 100 = 30635.28/259,894.00 = 36.21%

OUTDOOR AMENITIES AREA: (at level 9) = 1782.2 sq. ft.



IREDALE GROUP ARCHITECTURE
 Suite 202, One Alexander Street
 Vancouver, BC V6A 1R2
 Telephone: 604-681-1000
 Fax: 604-681-1001
 Website: www.iredalegroup.com

JUL 24 2008

REFERENCE PLAN

EMERALD GARDENS
 6900 COONEY ROAD
 RICHMOND, BC

MCDONNEY VIEW AND PROJECT STATISTICS

Drawn	DC	Checked	TM	Reviewed	RHI
Project No.	0566				
Revision	3				
Sheet	A001				

UNIT TYPE ANALYSIS (revised on 31st Dec. 07)

BUILDING	1 BEDROOM	2 BEDROOM	3 BEDROOM	SUB-TOTAL
EMERALD	34	63	4	101
JADE	22	43	4	69
OPAL	30	5	0	35
TOWNHOMES	0	0	6	6
TOTAL	86	111	14	211

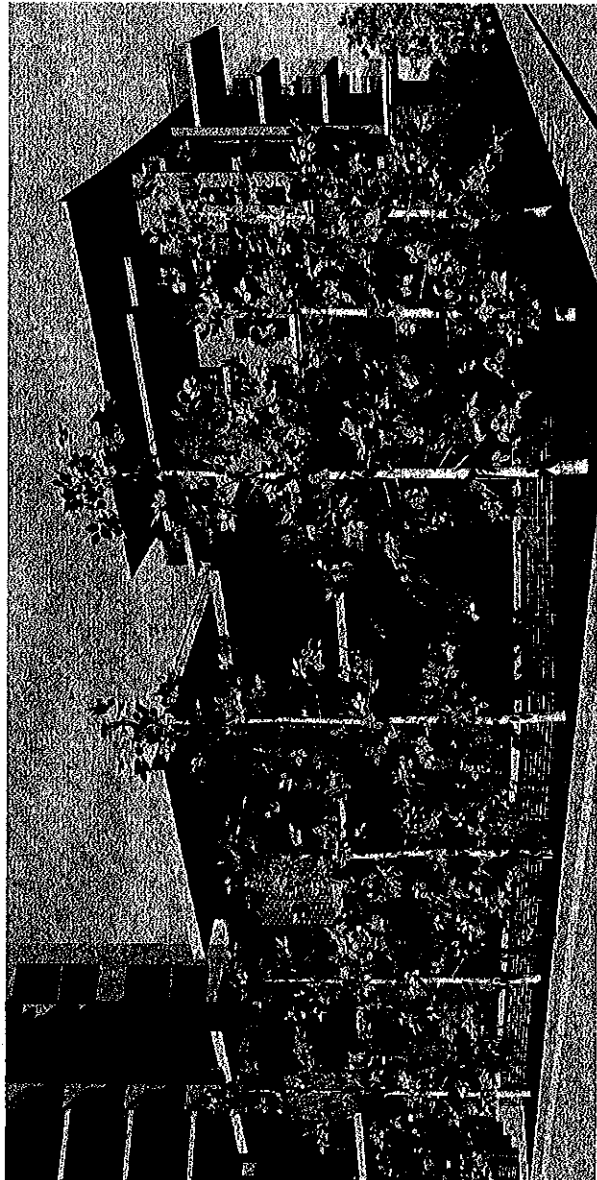
REQUIREMENT CALCULATION (revised on 31st Dec. 07):

Total number of units = 211
 Visitor parking @ 211x0.2 = 43
 Stalls for low and medium rental units = 13
 Thus, total stalls required = 43+13+238=294

PARKING CALCULATIONS (revised on 31st Dec. 07):

REQUIRED	PROVIDED
294	294
43	43
13	13
12	12
251	251
6	6
75	75
57	57
217	217

Thus, stalls for residents per unit = 217 / 211 = 1.03



DP07374744

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100	24-04-000	General Building Plans (GPI)



IREDALE GROUP ARCHITECTURE
 Suite 202, One Alexander Street
 Perth, Western Australia 6000
 T: 9442 5281 F: 9442 5285
 www.iredalegroup.com.au

JUL 24 2009

REFERENCE PLAN

EMERALD GARDENS

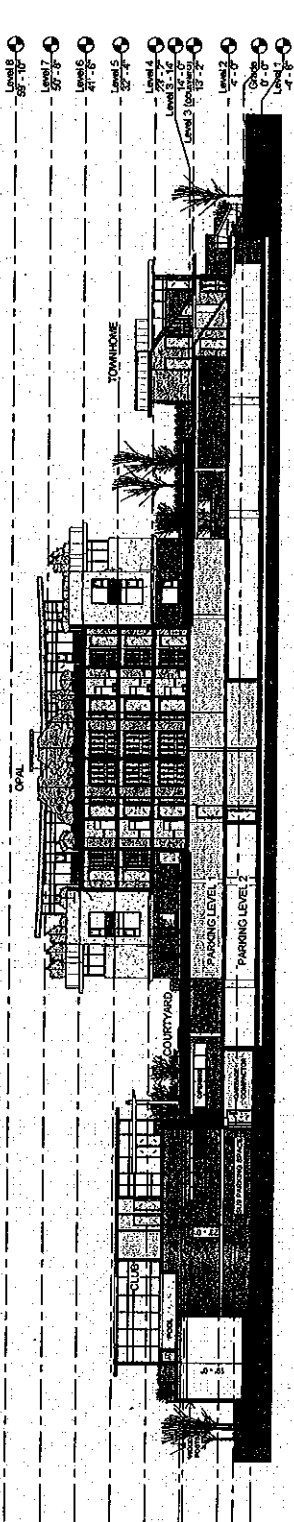
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CROSS SECTIONS 4 & 5

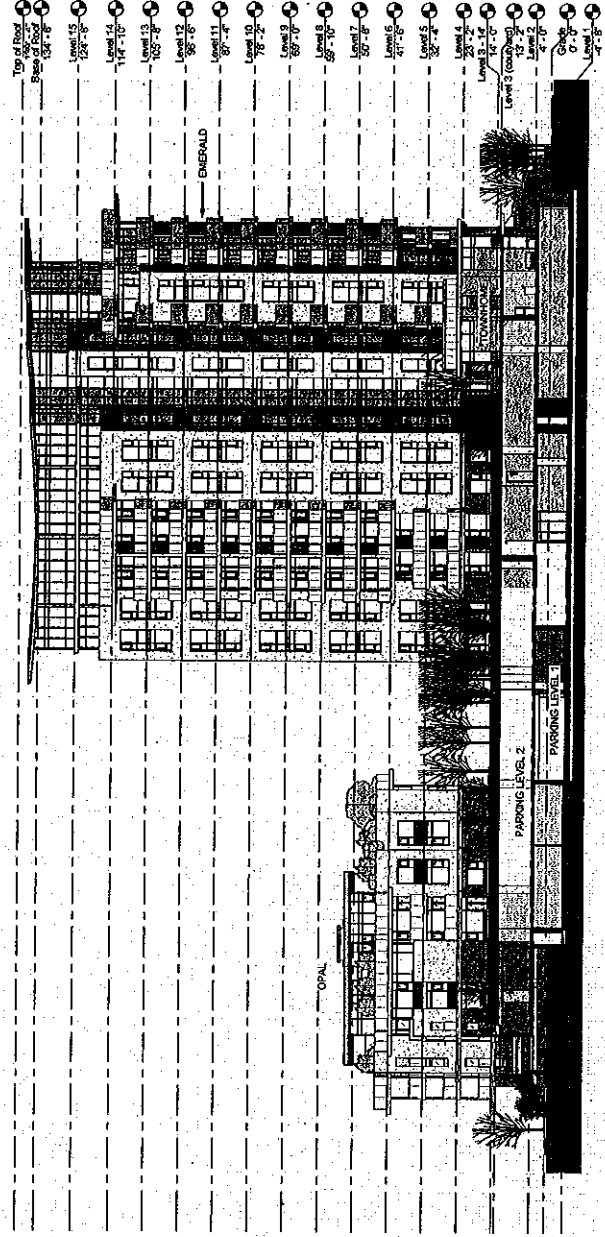
1/16" = 1/2"

TH	RA	DA

DP 0737474




Section 4
1/16" = 1/2"



Section 5
1/16" = 1/2"

1	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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IREDALE GROUP ARCHITECTURE
 Suite 202, One Alameda Street
 San Francisco, CA 94103
 T: 754-2585 F: 754-5585
 www.iredalegroup.com

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REFERENCE PLAN

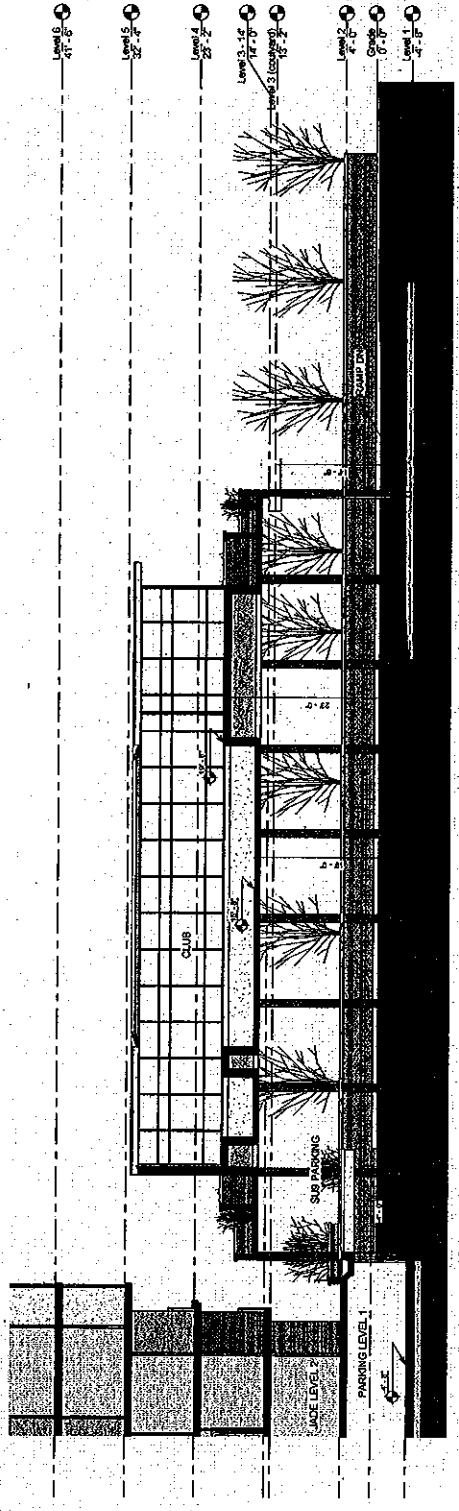
EMERALD GARDENS

REG. COUNTY PLANO
RECORDED 02

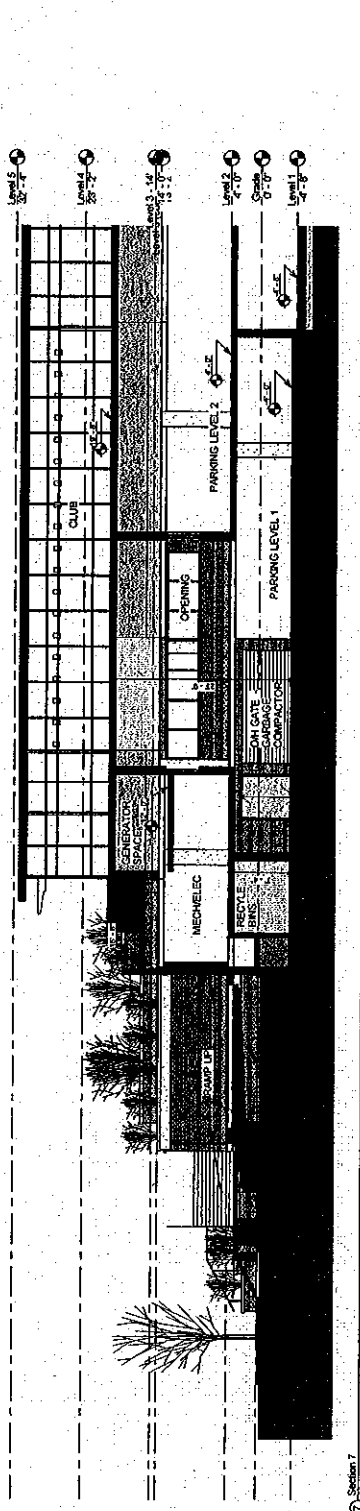
PART SECTIONS - 4a, 6 & 7

1/8" = 1'-0"

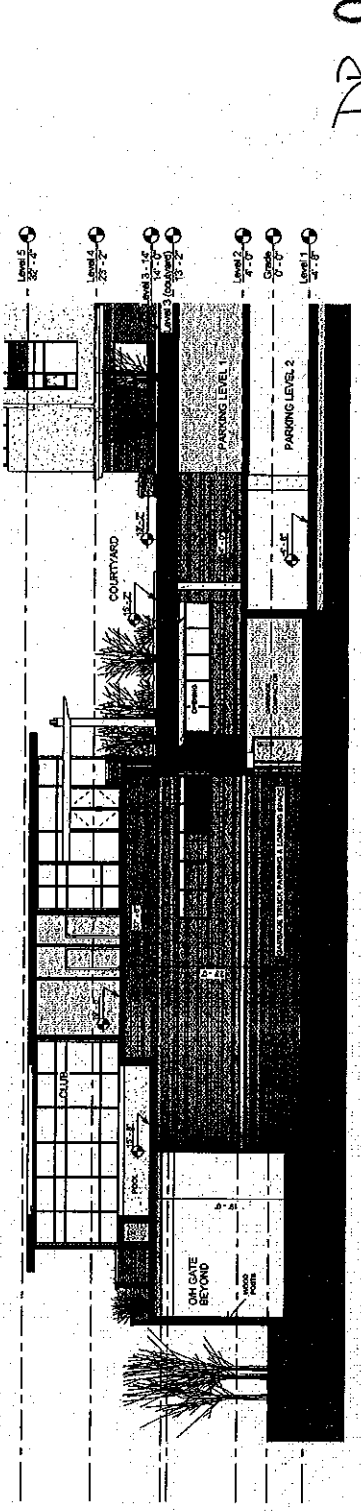
DP 07374744



Section 6
1/8" = 1'-0"



Section 7
1/8" = 1'-0"



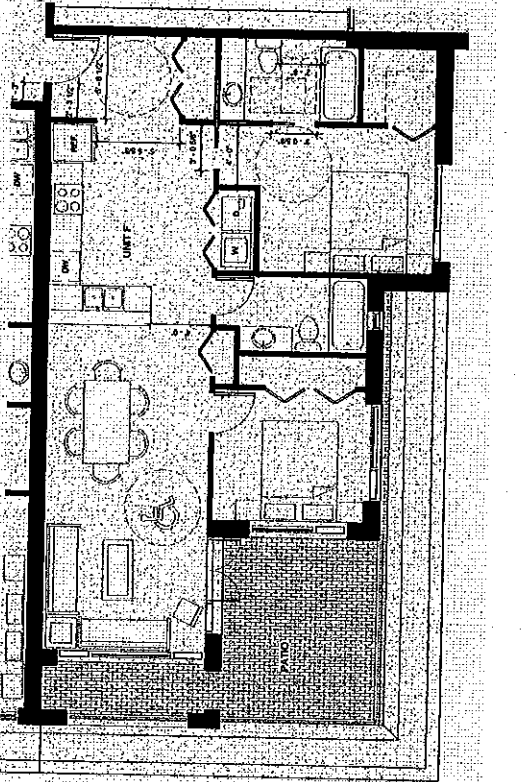
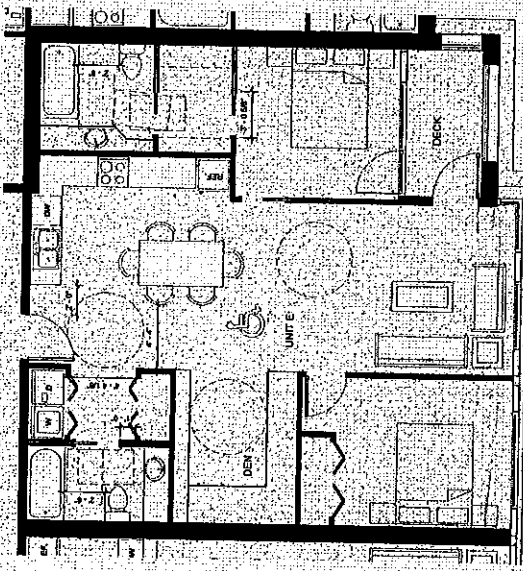
Part Section 4 - extended
1/8" = 1'-0"

No.	Date	Revisions
1	12/14/07	Issue Unit Plans - E2/E3



TREDALE GROUP ARCHITECTURE
 Suite 202 One Alexander Street
 T: 714-2581 T: 714-2583
 www.tredalegroup.com

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(MIRROR IMAGE OF UNIT E3)

JUL 24 2008


REFERENCE PLAN

EMERALD GARDENS
 690 COOKS ROAD
 RICHMOND, BC

ACCESSIBLE UNIT PLANS
 ENLARGED
 1/4" = 1'-0"

DP 079374-17A
 17A
 17A

4	12/14/08	Revised Section Plans - 0912
3	12/14/08	Revised Section Plans - 0911
2	12/14/08	Revised Section Plans - 0907
1	12/14/08	Revised Section Plans - 0828
Rev.	Date	Description



REDALE GROUP ARCHITECTURE
 Suite 202, One Alexander Street
 Milwaukee WI 53233
 Tel: 414-224-1111
 www.redalegroup.com

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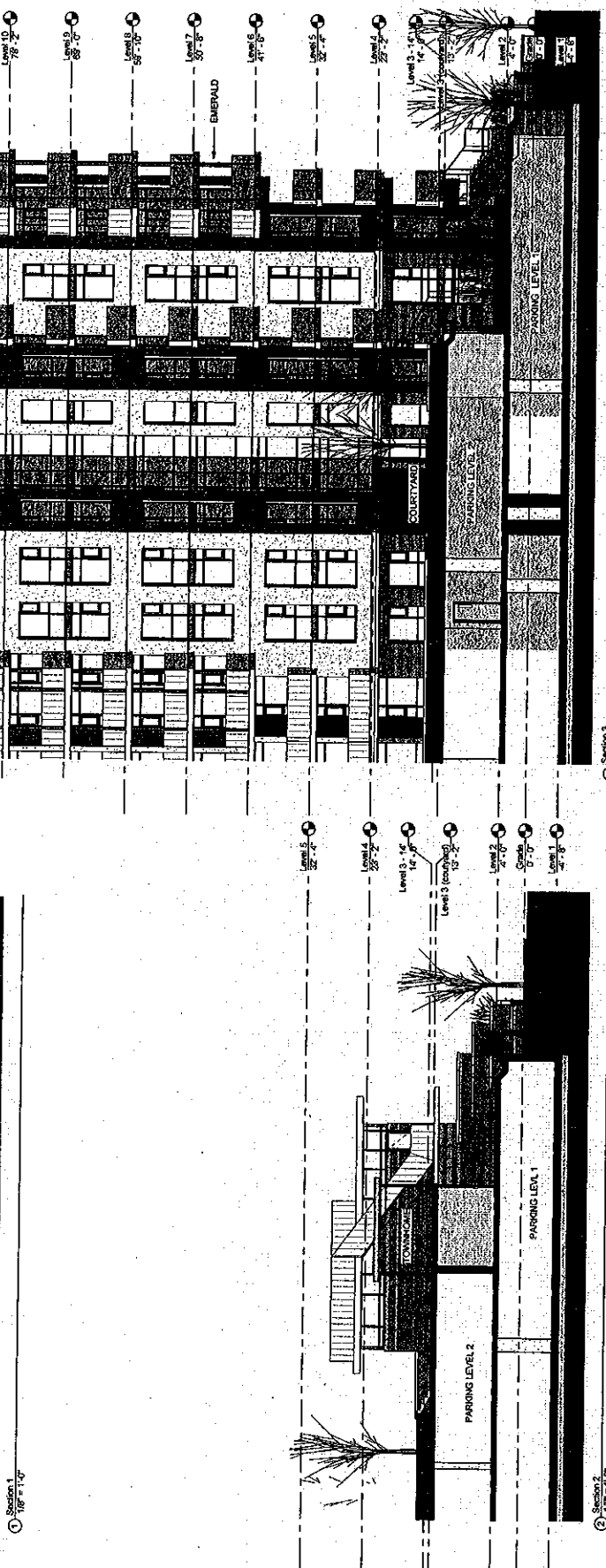
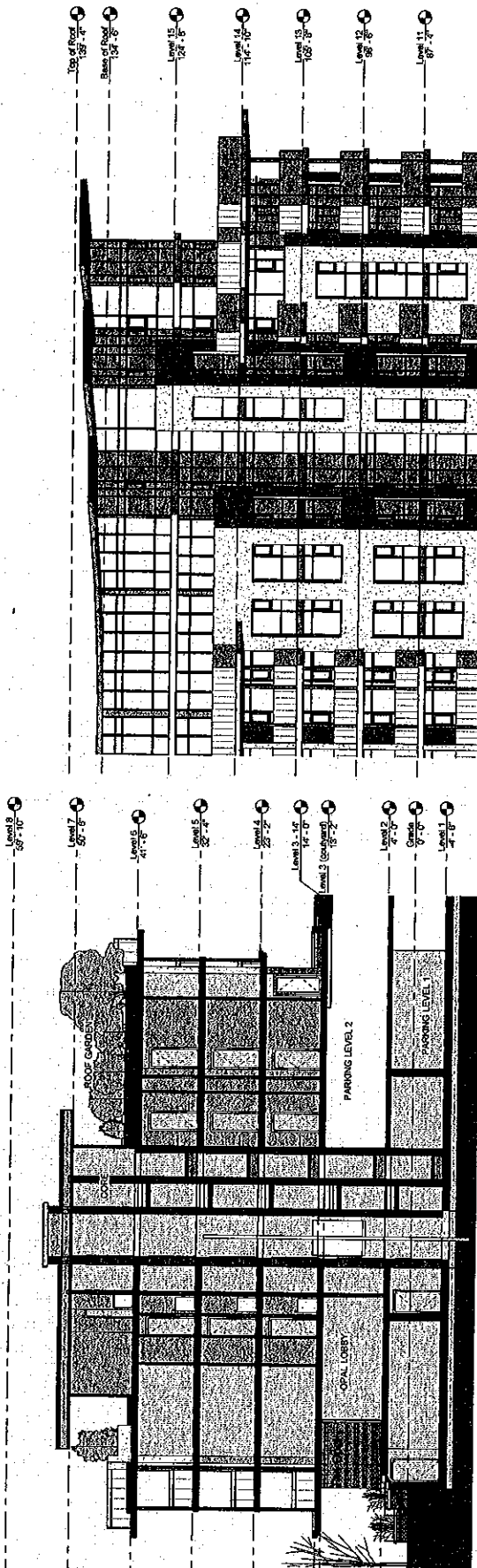
REFERENCE PLAN

EMERALD GARDENS

6000 COUNTY ROAD
TICKINGO, IL

PART SECTIONS - 1, 2 & 3

1/8" = 1'-0"



DP 073747A