



City of Richmond

Report to Committee Planning and Development Division

To: Planning Committee
From: Wayne Craig
Director, Development

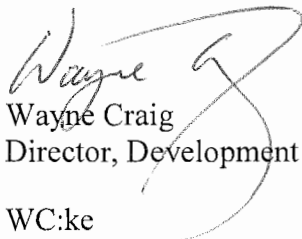
Date: September 22, 2015

File: HA 15-702073


Re: Application by the City of Richmond for a Heritage Alteration Permit at 6540 Gilbert Road (Minoru Chapel)

Staff Recommendation

That a Heritage Alteration Permit be issued to authorize interior and exterior modifications to Minoru Chapel, a heritage designated building at 6540 Gilbert Road and undertake landscape modifications in the area on the north side of the building, as outlined in the staff report dated September 22, 2015 from the Director of Development.


Wayne Craig
Director, Development

WC:ke
Att.

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Parks Services	<input checked="" type="checkbox"/>	
Project Development	<input checked="" type="checkbox"/>	
Arts Culture & Heritage Services	<input checked="" type="checkbox"/>	

Staff Report

Origin

The City of Richmond has applied for a Heritage Alteration Permit (HAP) to undertake maintenance works to the Minoru Chapel building and alter the landscaping north of the Minoru Chapel located at 6540 Gilbert Road (Attachment 1). Minoru Chapel is a city owned protected heritage building that was designated under Heritage Designation Bylaw 3738 in 1979.

Findings of Fact

In October 2014, a separate Heritage Alteration Permit (HA 14-675087) was approved for Phase 1 of the Minoru Chapel works, which involved repairs to the roof structure and like for like replacement of the cedar shake roof. The current proposal under this HAP application is considered Phase 2 works for Minoru Chapel. If approved, works will be generally undertaken from November 2015 through to February 2016.

Surrounding Development

The Minoru Chapel building is located in Minoru Park.

To the North: Existing landscaping followed by parking lot and service areas for the Gateway Theatre and hospital.

To the South: Landscaped areas and pathways associated with Minoru Park.

To the East: Formal garden area (Pierrefonds Gardens) and landscaping/pathways associated with Minoru Park.

To the West: Gateway Theatre and public parking lot.

Related Policies & Studies

Heritage Procedures Bylaw 8400

Minoru Chapel was designated a protected heritage building (Bylaw 3738) in 1979. Bylaw 3738 covers the Minoru Chapel building and front yard area to the immediate north of the Chapel. Under the City's Heritage Procedures Bylaw 8400, any alterations to a designated heritage building and/or land subject to a Heritage Designation Bylaw requires a Heritage Alteration Permit issued by Council prior to any building/site modifications.

Public Consultation – Richmond Heritage Commission

The HAP for the proposed Phase 2 works for Minoru Chapel was reviewed at the September 16, 2015 meeting of the Richmond Heritage Commission. Although there was no quorum for this Commission meeting, members supported the proposed maintenance works, revised access ramp and landscape modifications to Minoru Chapel and commented that it adhered with heritage preservation best practices. Please refer to Attachment 2 for an excerpt of discussion notes from the September 16, 2015 meeting.

Analysis

Proposed Scope of Works to the Building

For the interior of the building, the proposed works involve the following:

- Replace a portion of the existing wood floor (fir) with a new floor to match existing and undertake spot repairs to damaged areas.
- Repair and refurbish wood wainscoting.
- Replace washroom fixtures (toilet, sink, fixtures) and install new vinyl floor.
- Undertake structural upgrades to the crawlspace and sub-floor.

For the exterior of the building, the proposed works involve the following:

- Replace the existing accessible ramp at the north west corner of the building:
 - The new ramp will be concrete and graded to be compliant with BC Building Code. It will also include a secondary set of access stairs.
 - An existing wrought iron hand rail will be extended as needed for the new ramp and access stairs.
- Replace and repair portions of the exterior building cladding to match existing to address existing areas where rot and deterioration were observed.
- Replace exterior light fixtures with fixtures that are consistent with the heritage character of the building.

The architectural consultants have confirmed that all proposed works to the interior and exterior of Minoru Chapel are consistent with the conservation plan (Prepared by Don Luxton – Heritage Consultant) prepared for the building.

Proposed Works by Parks – New Pathway and Landscaping

Parks Department staff, in coordination with the Phase 2 maintenance works proposed for the Minoru Chapel building, proposes to alter the landscaping in the area to the north of the building (front entrance). Although the work proposed by the Parks Department are limited to landscaping and pathway development (with no physical works to the building), the Heritage Designation Bylaw 3738 references both the building and area north of the Chapel. As a result, the landscape work proposed by Parks are included in this HAP.

The following is a summary of the proposed landscaping works by the Parks Department staff.

- Install a new asphalt surface pathway, including low level lighting, that connects the new accessible ramp to the existing asphalt pathway to the entrance of the building.
- An existing conifer at the front of the building is proposed for removal.
- Perennials, shrubs and groundcovers will be planted to complement the pathway to provide variety and color year round.

The landscape plan proposed by Parks Department staff is intended to provide a complementary planting scheme in conjunction with the new pathway connection between the revised accessible ramp and main front entry to the building. The proposed removal of one conifer (approximately 10 m tall, 0.2 m diameter False Cypress tree) is proposed to visually open up the main front entrance elevation (north) of Minoru Chapel as it is currently concealed by the existing conifer. Parks will undertake tree replacement for the conifer proposed for removal at a 3 to 1 replacement ratio to ensure no net loss of trees in City Parks.

Site Servicing and Frontage Improvements

No off-site works or improvements will be required as part of the proposed works for Minoru Chapel.

Conclusion

This Heritage Alteration Permit application is for Phase 2 of proposed interior and exterior works to Minoru Chapel building and landscaping revisions in the area north of the building to complement a new accessible pathway. Repair and replacement works will be done to match existing cladding and materials used in the building. Any new works (i.e., accessible ramp) and new interior and exterior fixtures will be consistent with the heritage character of the building.

It is recommended that the Heritage Alteration Permit for the Minoru Chapel located at 6540 Gilbert Road be approved.



Kevin Eng
Planner 2

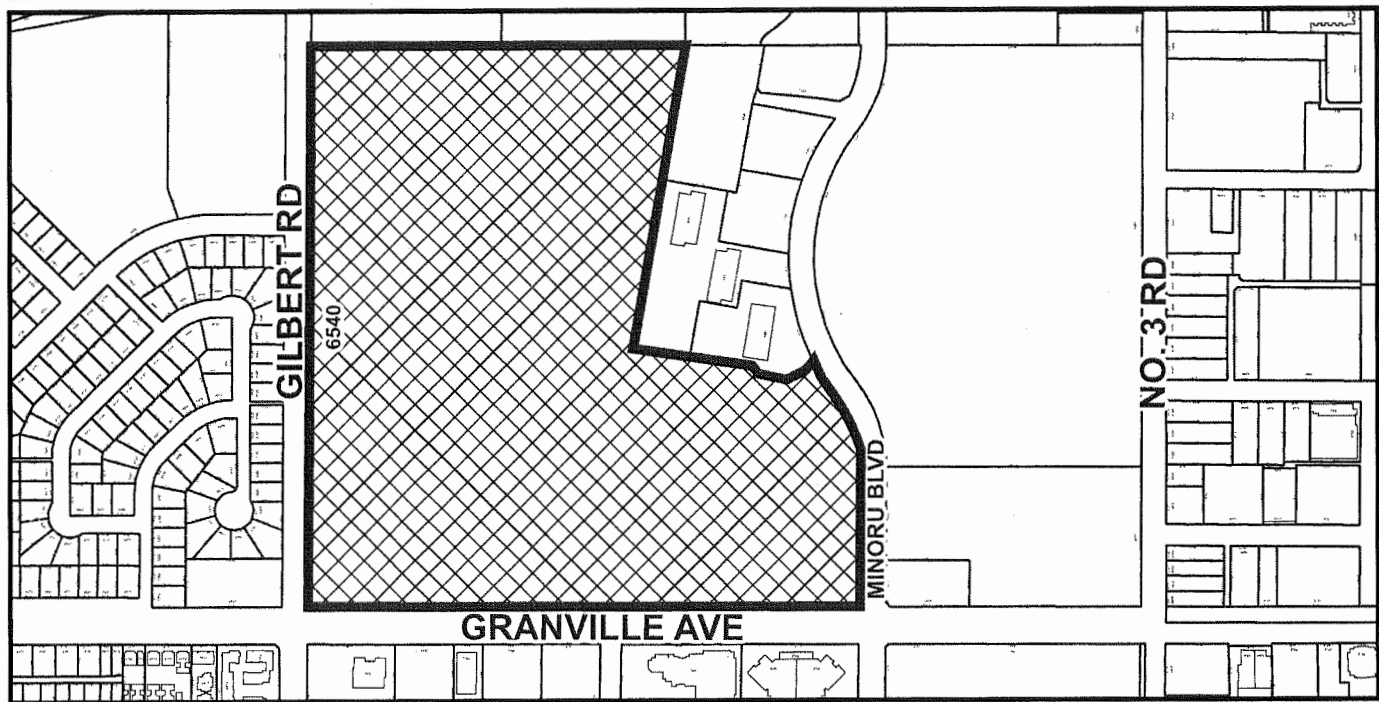
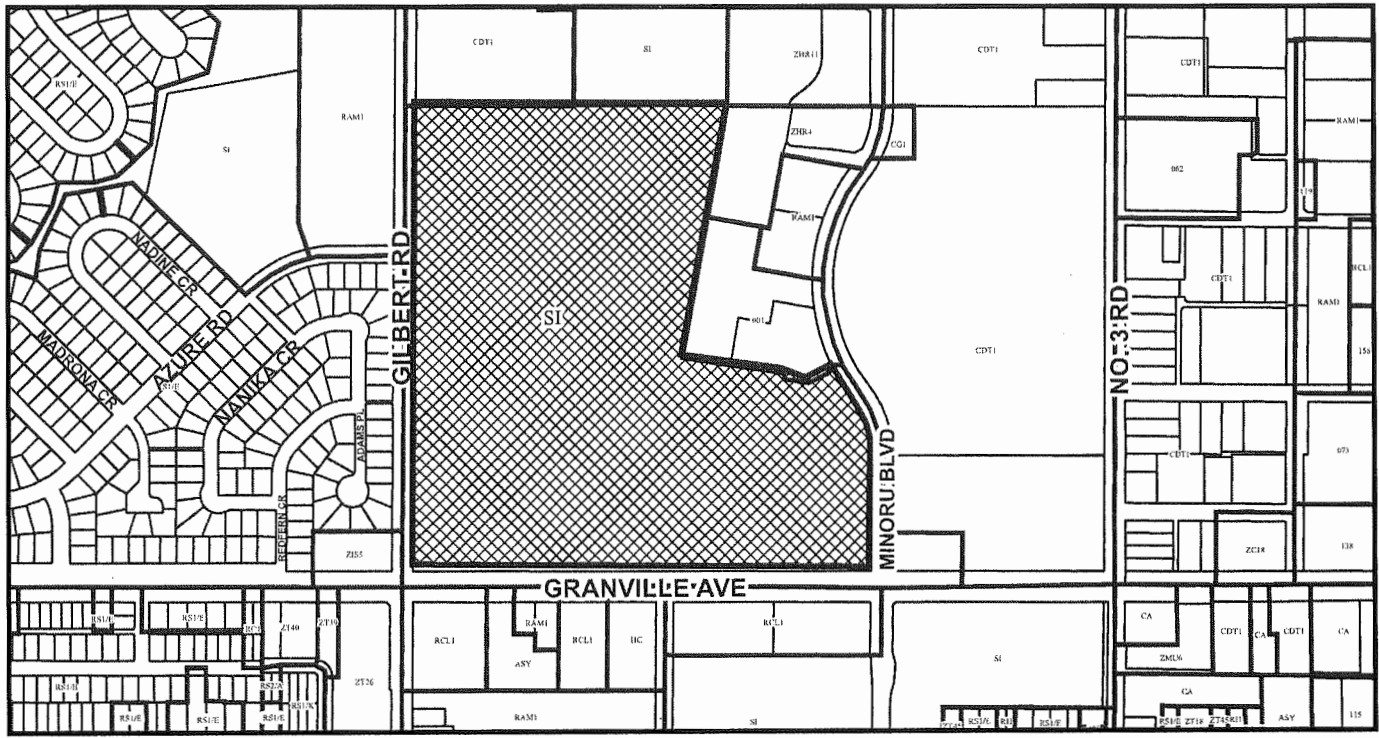
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Attachment 1: Location Map

Attachment 2: September 16, 2015 Richmond Heritage Commission meeting notes



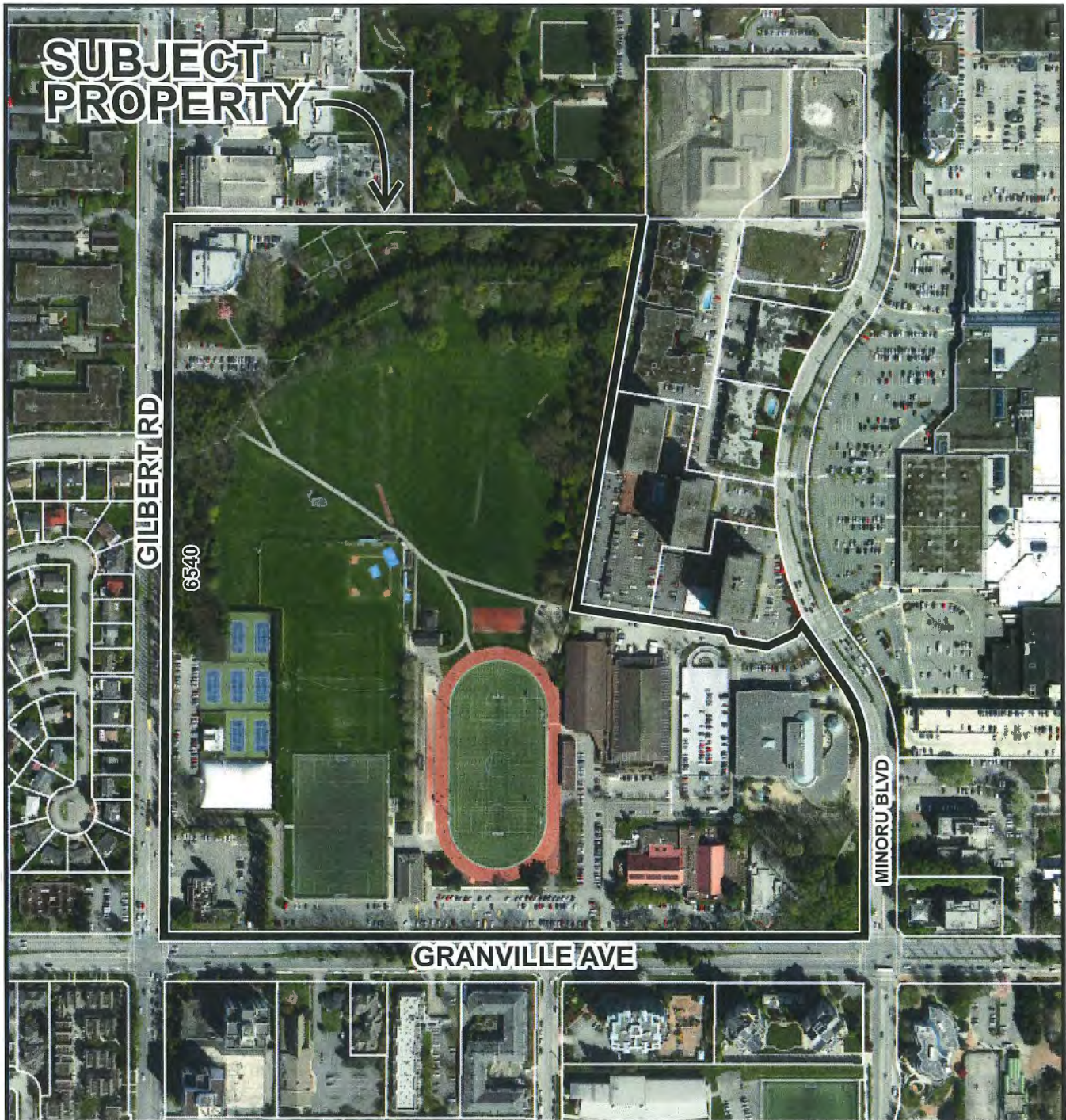
City of Richmond



	<h2>HA 15-702073</h2>	<p>Original Date: 07/16/15 Revision Date: Note: Dimensions are in METRES</p>
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City of
Richmond



HA 15-702073

Original Date: 07/16/15

Revision Date:

Note: Dimensions are in METRES

**Excerpt of Discussion Notes
Richmond Heritage Commission
September 16, 2015**

**DEVELOPMENT PROPOSAL
6540 Gilbert Road (Minoru Chapel)**

The Commission received a presentation on the Heritage Alteration Permit for Phase 2 restoration works to the Minoru Chapel to provide a universally accessible ramp, undertake interior and exterior repairs and restoration work and install complementary landscaping.

Greg and Wendy Andrews (Consultants) and Kevin Connery (Parks Department) joined the Commission to present on the plans for Phase 2. It was noted that Phase 1 of this project involved a roof replacement to the chapel. Phase 2 will work on replacing the existing non-compliant ramp on the west side of the building, replacing damaged flooring and wainscoting, renovating the washroom, updating the outdoor lighting fixtures and repairing exterior cladding.

It was noted that the replacement floorboards will also be fir and will match the current floorboards that do not need to be replaced. The washroom (which is not original to the church) will be updated with new fixtures and a new vinyl floor. The consultants noted that the objective of the works was to choose materials and fixtures in line with the heritage character of the building that are sized correctly, durable and consistent with the conservation plan for the Minoru Chapel.

Discussion ensued on the ramp which currently does not meet code, which will be revised to reduce the slope and connect to a new pathway developed at the front (north) side of the building. Discussion ensued on materials, grade, lighting, continuation of the wrought iron railing and landscaping involved. It was noted that the Heritage Alteration Permit will have to go to Council for consideration and approval.

Mr. Connery provided an update on the landscaping features and noted that they hope to remove a cypress tree to open up the pathway and entrance to the building and improve the front façade. Discussion ensued on landscaping elements that will be retained and changed. It was noted that this landscape area is separate from the heritage designated Pierrefonds Gardens to the east.

Commission members appreciated that this proposal is keeping with best practices and conservation for heritage in Richmond, and support this proposal moving forward. Staff will communicate the scope of this work to the absent members and request any additional comments to pass along to the consultants.



File No.: HA 15-702073

To the Holder: City of Richmond (c/o Michael Chan – Project Development)
Property Address: 6540 Gilbert Road – Minoru Chapel
Legal Description: Lot A Section 8 Block 4 North Range 6 West Plan LMP5323

(s.972, Local Government Act)

1. (Reason for Permit)
 - Designated Heritage Property (s.967)
 - Property Subject to Temporary Protection (s.965)
 - Property Subject to Heritage Revitalization Agreement (s.972)
 - Property in Heritage Conservation Area (s.971)
 - Property Subject to s.219 Heritage Covenant
2. This Heritage Alteration Permit is issued to authorize the following scope of works as outlined in the drawings contained in Attachment 1:
 - a) Replace and repair portions of the fir wooden floor and wainscoting to match existing;
 - b) Replace fixtures and flooring in the accessible washroom;
 - c) Undertake structural upgrades to the building crawlspace;
 - d) Implement a new accessible ramp with railing and supporting stairs at the north west corner of the building;
 - e) Replace and repair portions of the exterior building cladding to match existing;
 - f) Replace existing exterior lights with new heritage character lighting fixtures; and
 - g) Modifications to the landscaping along the north elevation of the building to remove one coniferous tree and accompanying shrubs and groundcovers, install a paved walkway and complementary landscaping around the walkway and north side of the building.
3. This Heritage Alteration Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
5. If the alterations authorized by this Heritage Alteration Permit are not completed within 24 months of the date of this Permit, this Permit lapses.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE DAY OF

DELIVERED THIS DAY OF ,

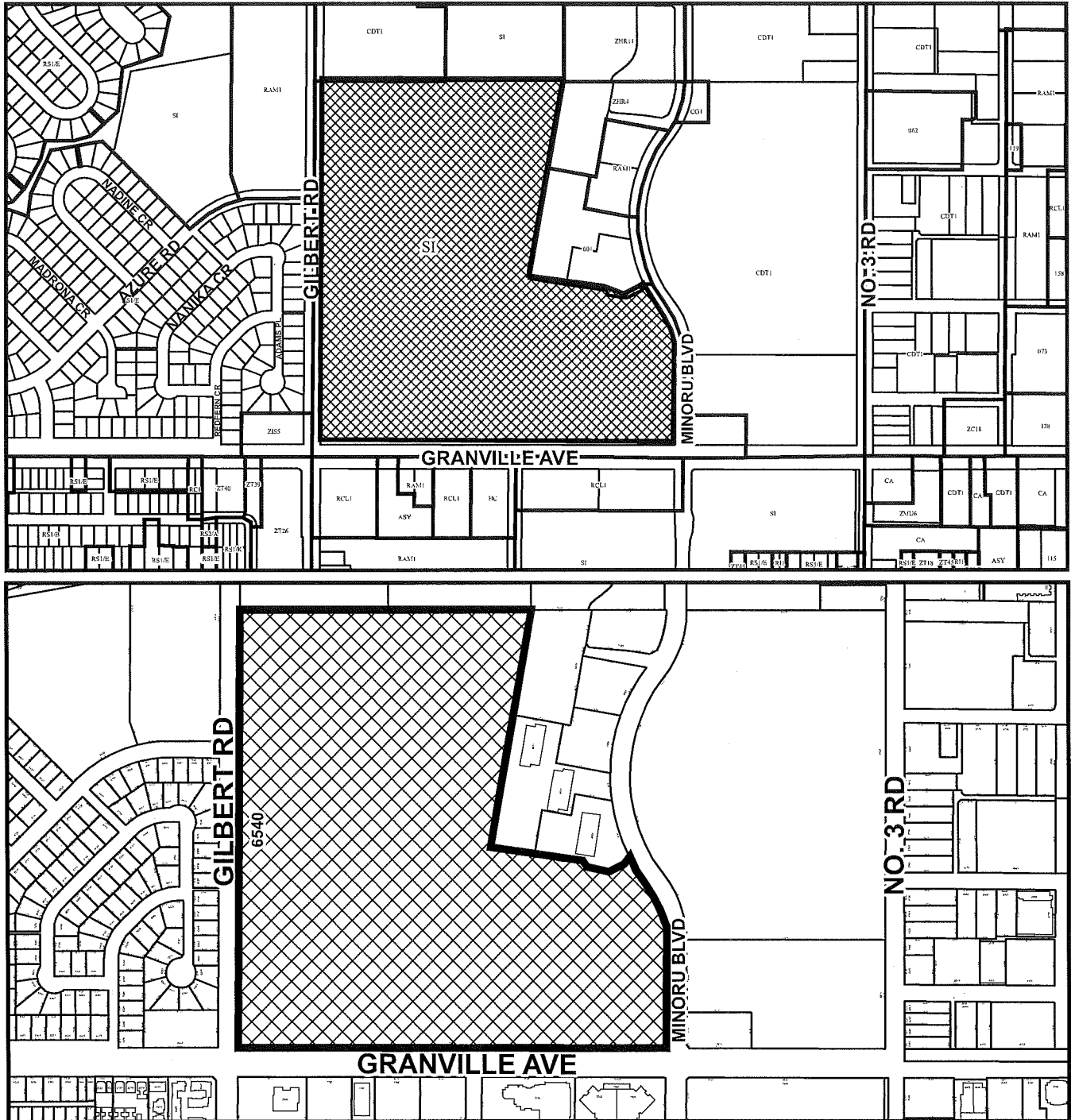
MAYOR

CORPORATE OFFICER

IT IS AN OFFENCE UNDER THE LOCAL GOVERNMENT ACT, PUNISHABLE BY A FINE OF UP TO \$50,000 IN THE CASE OF AN INDIVIDUAL AND \$1,000,000 IN THE CASE OF A CORPORATION, FOR THE HOLDER OF THIS PERMIT TO FAIL TO COMPLY WITH THE REQUIREMENTS AND CONDITIONS OF THE PERMIT.



City of Richmond



HA 15-702073

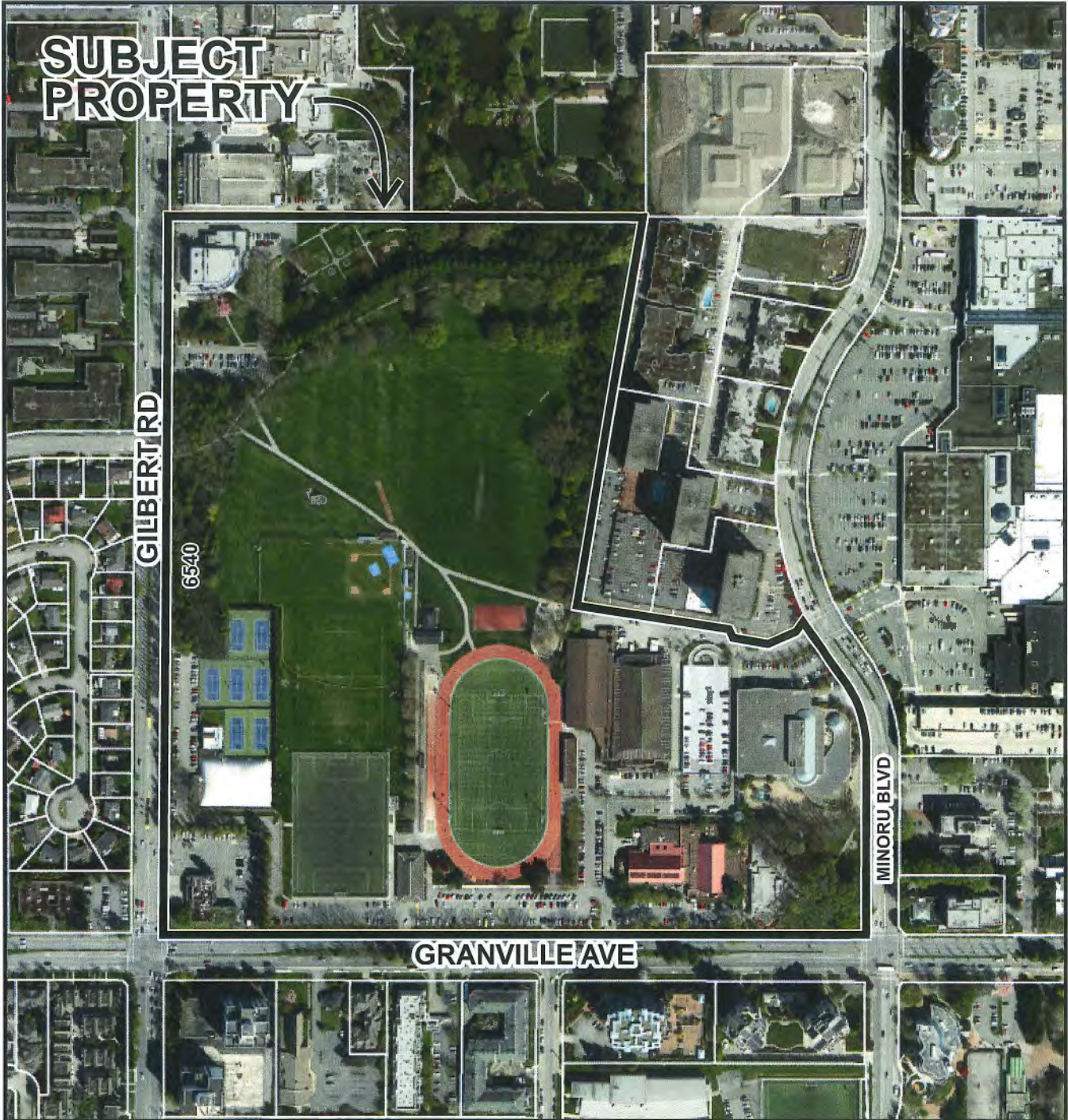
Original Date: 07/16/15

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Note: Dimensions are in METRES



City of
Richmond



HA 15-702073

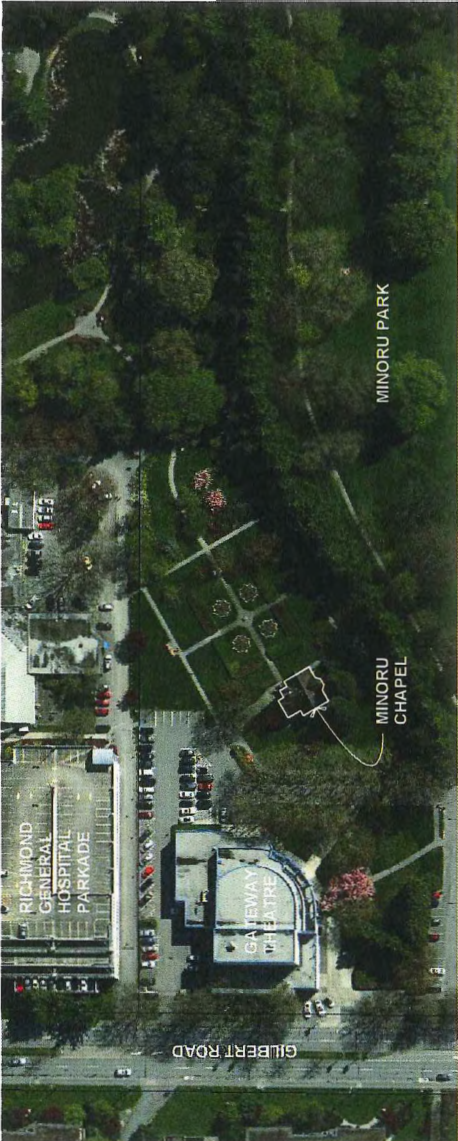
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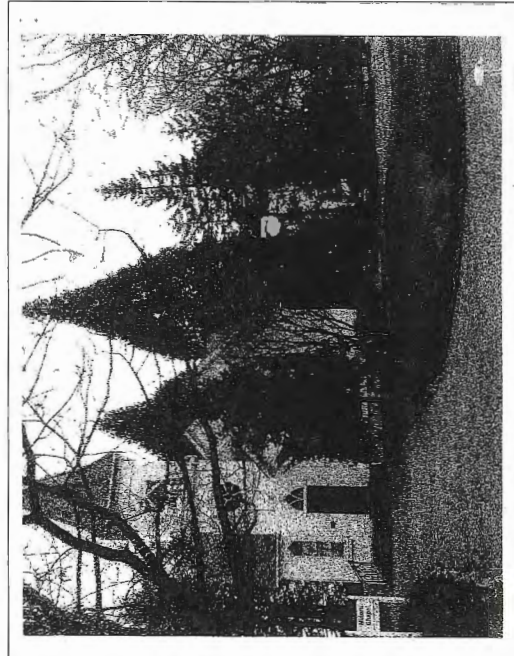
Note: Dimensions are in METRES

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1 CONTEXT PLAN



2 EXG FRONT VIEW OF MINORU CHAPEL

GENERAL REQUIREMENTS

STANDARDS AND MANUFACTURING LITERATURE
 2012, latest edition, in all respects and except Building Regulations.
 2. In the absence of other standards being required by the Contract Documents, it shall be the contractor's responsibility to provide the manufacturer's literature for the materials and equipment to be used in the project. The manufacturer's literature shall be provided to the architect for review and approval.

SAFETY REQUIREMENTS
 The contractor shall be responsible for the safety of all workers and the public. The contractor shall provide and maintain all necessary safety equipment, including but not limited to, fall protection, guard rails, and safety harnesses. The contractor shall also be responsible for obtaining all necessary permits and approvals for the project.

CONTRACTOR'S OBLIGATIONS
 The contractor shall be responsible for the overall management and coordination of the project. This includes obtaining all necessary permits, managing the construction schedule, and ensuring that all work is completed in accordance with the contract documents. The contractor shall also be responsible for providing regular progress reports to the architect.

QUALITY CONTROL
 The contractor shall be responsible for ensuring that all work is completed in accordance with the contract documents. This includes conducting regular quality control inspections and providing documentation of all inspections. The contractor shall also be responsible for addressing any deficiencies identified during the inspections.

COMMUNICATION
 The contractor shall maintain open communication with the architect throughout the project. This includes attending all meetings and providing timely responses to all requests for information. The contractor shall also be responsible for providing regular progress reports to the architect.

PROTECTION OF EXISTING CONDITIONS
 The contractor shall be responsible for protecting all existing conditions that are to be retained. This includes installing appropriate protection measures to prevent damage to the existing conditions. The contractor shall also be responsible for documenting all existing conditions before any work begins.

CONSTRUCTION METHODS
 The contractor shall be responsible for selecting appropriate construction methods for the project. This includes consulting with the architect and other professionals to determine the most effective and efficient methods. The contractor shall also be responsible for documenting all construction methods used.

CONSTRUCTION SCHEDULE
 The contractor shall be responsible for developing and maintaining a realistic construction schedule for the project. This includes identifying all critical path activities and ensuring that all work is completed in a timely manner. The contractor shall also be responsible for providing regular updates on the construction schedule to the architect.

CONSTRUCTION COSTS
 The contractor shall be responsible for providing accurate and detailed cost estimates for all work to be performed. This includes providing a breakdown of all costs, including labor, materials, and overhead. The contractor shall also be responsible for providing regular updates on the construction costs to the architect.

CONSTRUCTION RISK
 The contractor shall be responsible for identifying and managing all risks associated with the project. This includes conducting a thorough risk assessment and implementing appropriate risk mitigation measures. The contractor shall also be responsible for providing regular updates on the construction risks to the architect.

CONSTRUCTION DOCUMENTS
 The contractor shall be responsible for reviewing all construction documents for completeness and accuracy. This includes identifying any errors or omissions and providing timely feedback to the architect. The contractor shall also be responsible for providing regular updates on the construction documents to the architect.

CONSTRUCTION SITE
 The contractor shall be responsible for maintaining a clean and safe construction site at all times. This includes implementing appropriate site access and parking arrangements, and ensuring that all waste is properly disposed of. The contractor shall also be responsible for providing regular updates on the construction site to the architect.

CONSTRUCTION CLOSEOUT
 The contractor shall be responsible for ensuring that all work is completed in accordance with the contract documents. This includes conducting a thorough final inspection and providing documentation of all work completed. The contractor shall also be responsible for providing regular updates on the construction closeout to the architect.

CONSTRUCTION WARRANTY
 The contractor shall be responsible for providing a warranty for all work completed. This warranty shall cover the contractor's workmanship and the materials used in the project. The contractor shall also be responsible for providing regular updates on the construction warranty to the architect.

CONSTRUCTION RECORDS
 The contractor shall be responsible for maintaining accurate and detailed records of all construction activities. This includes keeping a log of all work completed, including dates, quantities, and locations. The contractor shall also be responsible for providing regular updates on the construction records to the architect.

CONSTRUCTION PAYMENT
 The contractor shall be responsible for providing accurate and detailed invoices for all work completed. This includes providing a breakdown of all costs, including labor, materials, and overhead. The contractor shall also be responsible for providing regular updates on the construction payment to the architect.

CONSTRUCTION SCHEDULE
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LIST OF CONSULTANTS

ARCHITECTURAL:
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 T: 604-277-7659
 E: greg@andrewstudio.ca | wendy@andrewstudio.ca

STRUCTURAL:
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 ENNOVA STRUCTURAL ENGINEERS INC.
 7181 RANDOLPH AVENUE
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 E: clinton@ennova.net

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 NEMETZ ISAIA & ASSOCIATES LTD.
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 VANCOUVER BC V6J 1N3
 T: 604-762-2941 | F: 604-644-0544
 E: darren@nemetz.com

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 PARKS DIV, COMMUNITY SERVICES DEPT
 CITY OF RICHMOND
 10100 148TH AVE, RICHMOND BC V7C 5E2
 T: 604-277-4422
 E: KConnery@richmond.ca

ARCHITECTURAL DRAWING LIST

A-1.1 CONTEXT PLAN, GENERAL NOTES
 A-2.2 PLAN - PROPOSED CRAWL SPACE & DETAILS
 A-2.2 PLAN - PROPOSED MAIN FLOOR
 A-3.1 ELEVATIONS - PROPOSED WEST & NORTH
 A-3.2 ELEVATIONS - PROPOSED EAST & SOUTH
 A-3.3 ELEVATIONS - EXISTING (FOR REFERENCE)

THE ANDREWS ARCHITECTS INC.
 PROJECT
 MINORU CHAPEL
 6540 GILBERT ROAD
 RICHMOND, BC

PHASE 2
 RENOVATIONS

CONTEXT PLAN & GENERAL NOTES

DATE: MAR 2, 15
 DRAWN BY: WA
 CHECKED BY: JR
 PROJECT NO: 1419
 DRAWN BY: WA

THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT. NO PART OF THESE DRAWINGS IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN AND DOES NOT INCLUDE THE DESIGN OF STRUCTURAL, MECHANICAL, ELECTRICAL, OR OTHER SPECIALTY SYSTEMS UNLESS SPECIFICALLY NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL FIELD CONDITIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL FIELD CONDITIONS AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

DATE: _____
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 CHECKED BY: _____
 PROJECT NO: _____

HERITAGE ALTIORATIONS PERMIT
 & BIP - 2018 MAY 20

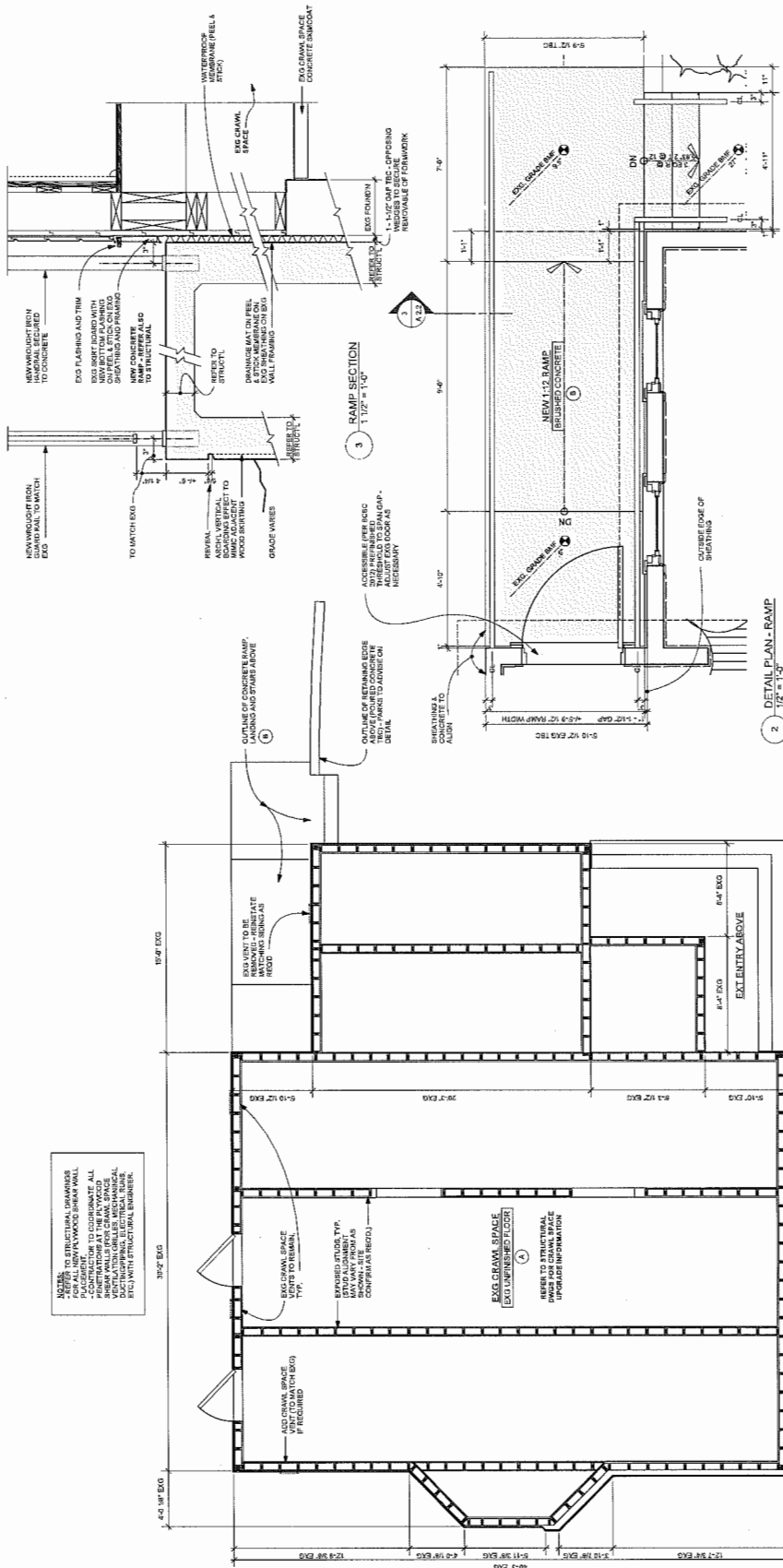
THE ANDREWS ARCHITECTS INC.
 MINORU CHAPEL
 6540 GILBERT ROAD
 RICHMOND, BC

PHASE 2
RENOVATIONS

CRAWL SPACE
PLAN & DETAILS

DATE: MAR 2, 2015
 DRAWN BY: WA
 PROJECT NO: 1418
 CONTRACTOR: _____

A.2.1



- SCOPE OF WORK:**
- A. STRUCTURAL UPDATES FOR RAMP, SPACE AND FLOOR ABOVE. REFER TO STRUCTURAL DRAWINGS S-2-S-5.
 - B. ACCESSIBLE RAMP WITH RAILING & STAIR: NEW CONCRETE RAMP WITH RAILING AS INDICATED.
 - C. DAMAGED WALL ENVELOPE, CLADDING & FLASHING REPAIR: WHERE EXISTING SIGNS, WALL SHINGLES AND SKIRTING BOARD OR SHINGLE (IN SPEEDS AND PROFILES) MATCH EXISTING MATCH EXISTING, WHILE REMOVING CLADDING. CONTRACTOR TO ALSO NOTIFY ARCHITECT OF ANY INTERNAL ENVELOPE DAMAGE TO BE REPAIRED. CONTRACTOR TO CONFIRM EXTENT OF WORK WITH CITY AND REPAIR AS REQUIRED TO "MAKE GOOD".
 - D. INTERIOR FLOORING - REPLACED: OUTLINED AREA WITH FLOORING, WITH PROFILE, GRAIN, STAIN TO MATCH EXISTING.
 - E. INTERIOR WAINSCOTTING - REMOVAL OF EXISTING HARDBOARD COVERING & REFINISHMENT OF ORIGINAL CHARACTER AS EVIDENCED IN SUPPLIED ARCHIVAL PHOTOS.
 - F. UNIVERSAL TOILET ROOM UPDATES: REPLACE EXISTING SINK, TOILET, SENSORS AND RAILING AS NOTED IN FINISHES SCHEDULE. PAINT WALLS AND CEILING.
 - G. EXTERIOR LIGHTING - REPLACES, PROVIDE EXTERIOR LIGHTING ABOVE ENTRANCE AND EXIT AS INDICATED AND SPECIFIED IN THE FINISHES SCHEDULE.
 - H. EXISTING LIGHT SWITCH - UPGRADE: REPLACE EXISTING SWITCH AS SHOWN - REFER TO ELECTRICAL DRAWINGS (REPLACE EXISTING IN SAME LOCATION).
 - I. EXISTING FIRE ALARM SYSTEM - UPGRADE: CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 - J. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.
- ITEMS FOR SEPARATE PRICING:**
- E2. INTERIOR WAINSCOTTING - REMOVAL OF EXISTING HARDBOARD COVERING & REFINISHMENT OF ORIGINAL CHARACTER AS EVIDENCED IN SUPPLIED ARCHIVAL PHOTOS.
 - G. EXTERIOR LIGHTING - REPLACES, PROVIDE EXTERIOR LIGHTING ABOVE ENTRANCE AND EXIT AS INDICATED AND SPECIFIED IN THE FINISHES SCHEDULE.
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 - I. EXISTING FIRE ALARM SYSTEM - UPGRADE: CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.

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THE DESIGN IS TO BE CONSIDERED AS A PRELIMINARY DESIGN. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

DATE: MAR 2, 2015
 DRAWN BY: JWA
 CHECKED BY: JWA
 PROJECT NO: 1419
 SHEET NO: 1419

PHASE 2
 RENOVATIONS

MINORU CHAPEL
 6540 GILBERT ROAD
 RICHMOND, BC

THE ANDREWS ARCHITECTS INC.
 www.andrewsarchitects.com

REQUIRED FOR ALL WORKS PERMIT
 & E.P. - 1000 MAY 20

ELECTRICAL LEGEND
 NEW WALL SWITCH
 SEE NOTES ALSO TO ELECTRICAL DRAWINGS AND FINISHES SPECIFICATION.

PROPOSED PARTIAL - MAIN FLOOR PLAN
 1/4" = 1'-0"

8/10/2014

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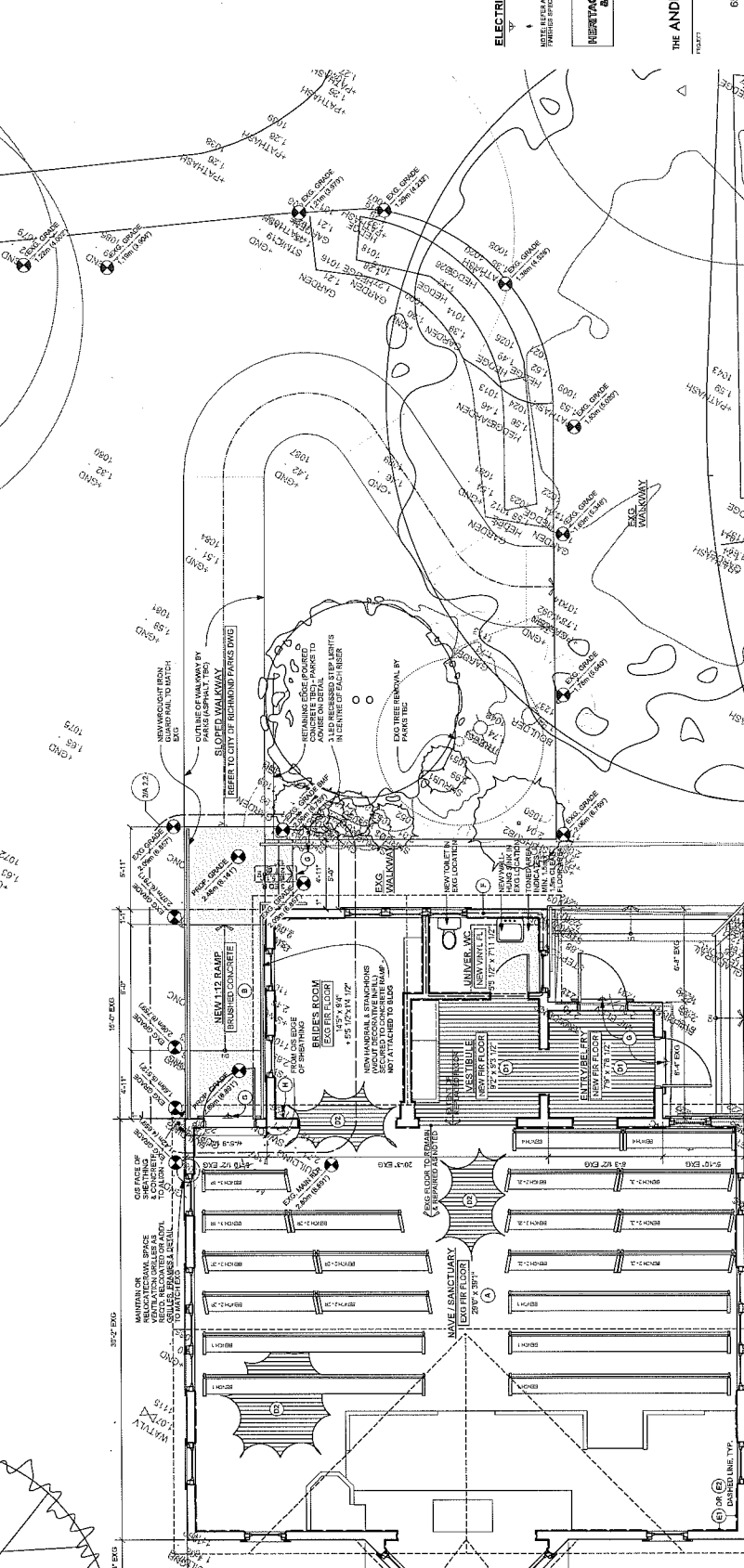
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CNCL - 222

SCOPE OF WORK
 APPROVED ITEMS:
 A. STRUCTURAL UPDATES FOR CRANIAL SPACE AND FLOOR ABOVE. REFER TO STRUCTURAL DRAWINGS S2-S3.
 B. RAMP ACCESS TO STAIRS. REFER TO STRUCTURAL DRAWINGS S2-S3.
 C. DAMAGED WALL ENVELOPE CLADDING & FLASHING REPAIR. WHERE EXISTING SIDING, WALL SHINGLES AND SKirting BOARDS SHOW SIGNS OF ROT, REPLACE WITH SIMILAR WOOD MATCH EXISTING. WHERE REMOVING CLADDING, CONTRACTOR TO ALSO NOTIFY ARCHITECT OF ANY INTERNAL ENVELOPE DAMAGE WINDOW HEAD TRIM FLASHINGS. CONFIRM EXTENT OF WORK WITH CITY AND REPAIR AS REQUIRED TO "MAKE GOOD".
 D. OBSERVE AT THE BASE OF THE SHINGLES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL AFFECTED AREAS PRIOR TO REMEDIATION.
 E. INTERIOR FIRE FLOORING - REPLACED, CUTLINED AREA (WITH FLOORING, WITH PROFILE GRAIN STAIN TO MATCH EXISTING).
 F. INTERIOR FINISHES - REPAIRS MATCHES AREA. FLOORING WHICH REQUIRES FEATHERING IN OF NEW BOARDS AS REPAIR. ENSURE THAT NEW BOARDS MATCH EXISTING BOARDS IN FLOOR SURFACE AND ADVISE CLIENT & ARCHITECT OF ANY ADDITIONAL AREAS THAT REQUIRE SPECIAL ATTENTION.
 G. INTERIOR WAINSCOTTING - REBURNISHMENT OF EXISTING HARDBOARD COVERING. REPLACE ANY HARDBOARD THAT IS IN POOR REPAIR, PARTICULARLY BELOW WINDOWS. NEW HARDBOARD MATCH EXISTING.
 H. UNIVERSAL TOILET FROM UPDATES. REPLACE EXISTING SINK, FLOOR ACCESSORIES AND FLOORING AS NOTED IN FINISHES SCHEDULE. PAINT WALLS AND CEILING.
 I. EXISTING FIRE ALARM SYSTEM - UPGRADE: REPLACE EXISTING SWITCH AS SHOWN - REFER TO ELECTRICAL DRAWINGS (REPLACE EXISTING IN SAME LOCATION).
 J. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 K. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

ITEMS FOR SEPARATE PRICING:
 E2. INTERIOR WAINSCOTTING - REMOVAL OF EXISTING HARDBOARD COVERING & REBURNISHMENT OF ORIGINAL HARDBOARD. CONTRACTOR TO PROVIDE FINISHES TO MATCH CHARACTER AS EVIDENCED IN SUPPLIED ARCHIVAL PHOTOS.
 G. EXTERIOR LIGHTING - REPLACED. PROVIDE EXTERIOR LIGHTING ABOVE ENTRANCE AND EXIT AS INDICATED AND SPECIFIED IN THE FINISHES SCHEDULE.

H. EXISTING LIGHT SWITCH - UPGRADE: REPLACE EXISTING SWITCH AS SHOWN - REFER TO ELECTRICAL DRAWINGS (REPLACE EXISTING IN SAME LOCATION).
 I. EXISTING FIRE ALARM SYSTEM - UPGRADE: REPLACE EXISTING ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.

J. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 K. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

L. EXISTING LIGHT SWITCH - UPGRADE: REPLACE EXISTING SWITCH AS SHOWN - REFER TO ELECTRICAL DRAWINGS (REPLACE EXISTING IN SAME LOCATION).
 M. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.

N. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 O. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

P. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 Q. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

R. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 S. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

T. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 U. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

V. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 W. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

X. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 Y. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

Z. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 AA. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

AB. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 AC. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

AD. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 AE. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

AF. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 AG. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

AH. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 AI. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

AJ. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 AK. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

AL. CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS - NOT IN CONTRACT FINISHES.
 AM. REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

DATE: MAR 2, 2015
 DRAWN BY: JWA
 CHECKED BY: JWA
 PROJECT NO: 1419
 SHEET NO: 1419

PHASE 2
 RENOVATIONS

MINORU CHAPEL
 6540 GILBERT ROAD
 RICHMOND, BC

THE ANDREWS ARCHITECTS INC.
 www.andrewsarchitects.com

REQUIRED FOR ALL WORKS PERMIT
 & E.P. - 1000 MAY 20

ELECTRICAL LEGEND
 NEW WALL SWITCH
 SEE NOTES ALSO TO ELECTRICAL DRAWINGS AND FINISHES SPECIFICATION.

PROPOSED PARTIAL - MAIN FLOOR PLAN
 1/4" = 1'-0"

8/10/2014

1/4" = 1'-0"

1/4" = 1'-0"

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ISSUED FOR HERITAGE ALTERATION PERMIT & CP - 2018 MAY 20

THE ANDREWS ARCHITECTS INC.
www.andrewsarch.com

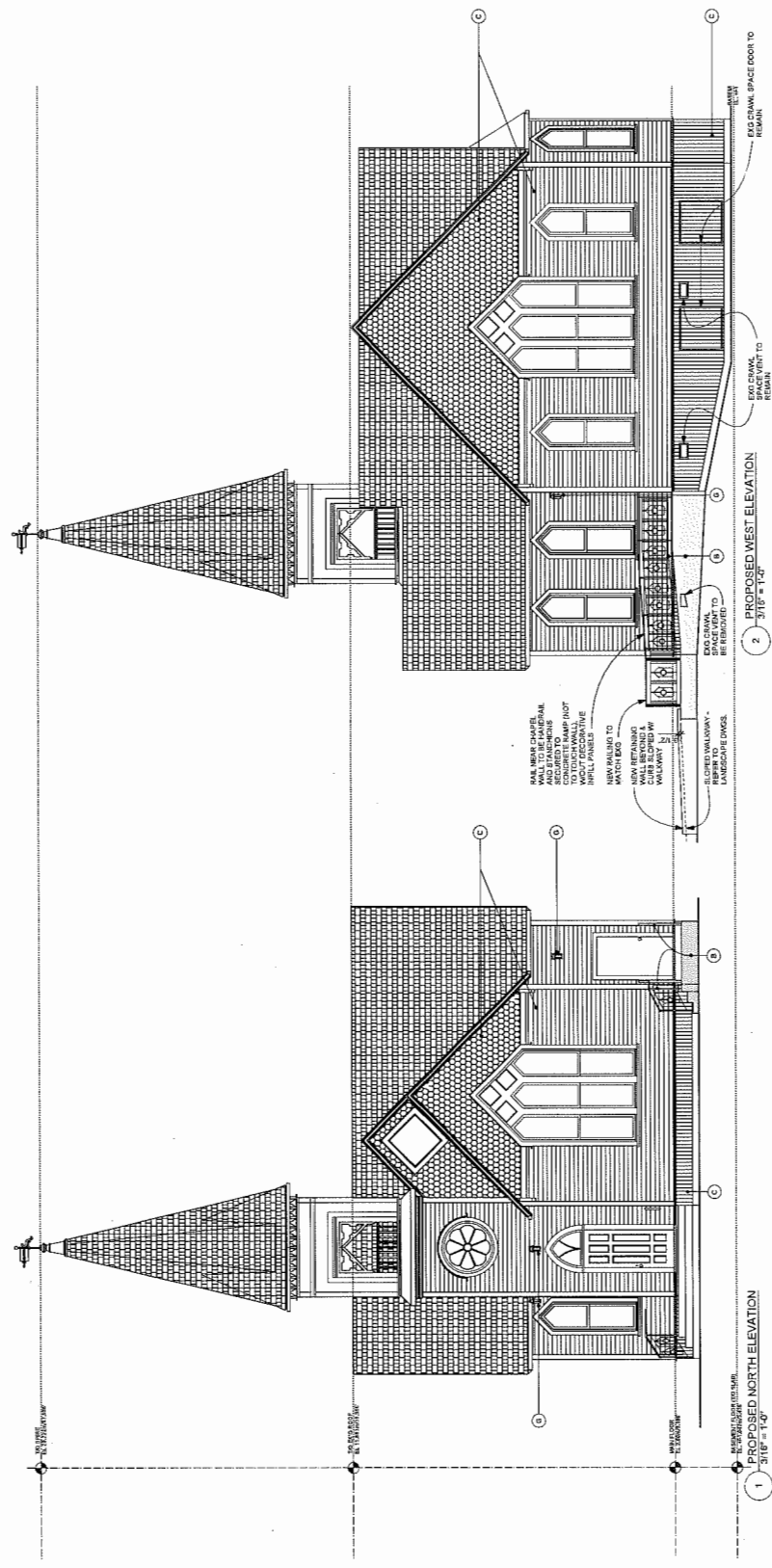
MINDRU CHAPEL
6540 GILBERT ROAD
RICHMOND, BC

PHASE 2 RENOVATIONS

NORTH & WEST ELEVATIONS

DATE: MAR 2, '18
PROJECT: WA
DRAWN BY: JR
CHECKED BY: [blank]
SCALE: 1/8" = 1'-0"
SHEET NO: 1418

A 3.1



SCOPE OF WORK

APPROVED ITEMS:

- A - STRUCTURAL UPGRADES FOR CRAWL SPACE AND FLOOR ABOVE. REFER TO STRUCTURAL DRAWINGS S-2, S-3.
- B - ACCESSIBLE RAMP WITH RAILING & STAIR NEW CONCRETE AND FINISHES. REFER TO ARCHITECTURAL DRAWINGS S-2, S-3.
- C - DAMAGED WALL ENVELOPE, CLADDING & FLASHING REPAIRS. REFER TO ARCHITECTURAL DRAWINGS S-2, S-3.
- D - BOARD OR SHINGLE (IN SPECIES AND PROFILE) TO TRIM FLASHING, MATCH EXISTING, WHILE REMOVING CLADDING. CONTRACTOR TO ALSO NOTIFY ARCHITECT OF ANY INTERNAL ENVELOPE DAMAGE, WHICH MAY BE NECESSARY TO COMPLETE THE WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF VANCOUVER BUILDING DEPARTMENT'S "MAKE GOOD" NOTE. WHILE MOST INSTANCES OF ROT HAVE BEEN OBSERVED AT THE ROOF LINE, CONTRACTOR TO REVIEW ALL CLADDING AND TO REVIEW WITH CLIENT & ARCHITECT ALL AFFECTED AREAS PRIOR TO REMEDIATION.

ITEMS FOR SEPARATE PRICING:

- D1 - INTERIOR FIR FLOORING - REPLACED; OUTLINED AREA WITH LINED HATCHES INDICATED AREA TO RECEIVE NEW FIR STRIP FLOORING, WITH PROFILE, GRAIN, STAIN TO MATCH EXISTING.
- D2 - INTERIOR WALKWAY - REPAIRED; HATCHED AREA INDICATED AREA TO RECEIVE NEW WALKWAY FLOORING WHICH REQUIRES FEATHERING IN OF NEW BOARDS TO EXISTING. CONTRACTOR TO REPAIR, ENSURE THAT NEW BOARDS MATCH EXISTING BOARDS IN PROFILE, SIZE AND FINISH. CONTRACTOR TO REVEAL INTERIOR ADDITIONAL AREAS THAT REQUIRE SIMILAR ATTENTION.
- E1 - INTERIOR WALKWAYS - REPLACEMENT OF EXISTING HARDBOARD COVERINGS; REPLACE ANY HARDBOARD THAT IS IN POOR REPAIR, PARTICULARLY BELOW WINDOWS. NEW HARDBOARD TO MATCH EXISTING IN MATERIAL AND DIMENSION. PAINT TO MATCH EXISTING.
- F - UNIVERSAL TOILET ROOM UPDATE; REPLACE EXISTING SINK, FLOOR, WALLS AND CEILING. REFER TO FINISHES SCHEDULE. PAINT WALLS AND CEILING.

FINISHES:

- E2 - INTERIOR WALKSCOTTING - REMOVAL OF EXISTING HARDBOARD COVERING & REFRESHMENT OF ORIGINAL CHARACTER AS EVIDENCED IN SUPPLIED ARCHIVAL PHOTOS.
- C - EXTERIOR FLASHING, REPAIRS, PROVIDE EXTERIOR SCHEDULED FINISHES AND AS INDICATED IN THE FINISHES SCHEDULE.
- H - EXISTING LIGHT SWITCH - UPGRADE; REPLACE EXISTING SWITCHES AS SHOWN - REFER TO ELECTRICAL DRAWINGS (REPLACE EXISTING IN SAME LOCATION).
- I - EXISTING FIRE ALARM SYSTEM - UPGRADE; CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS. - NOT IN CONTRACT FINISHES.

REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

THE ARCHITECTS: THE ANDREWS ARCHITECTS INC. 6540 GILBERT ROAD RICHMOND, BC V6X 4A9
 PROJECT NO: 2018-001
 DRAWING NO: CNCL - 224
 DATE: 2018 MAY 28

ISSUED FOR
 HERITAGE ALTERATION PERMIT
 & CP - 2018 MAY 28

THE ANDREWS ARCHITECTS INC.
 www.andrews.ca

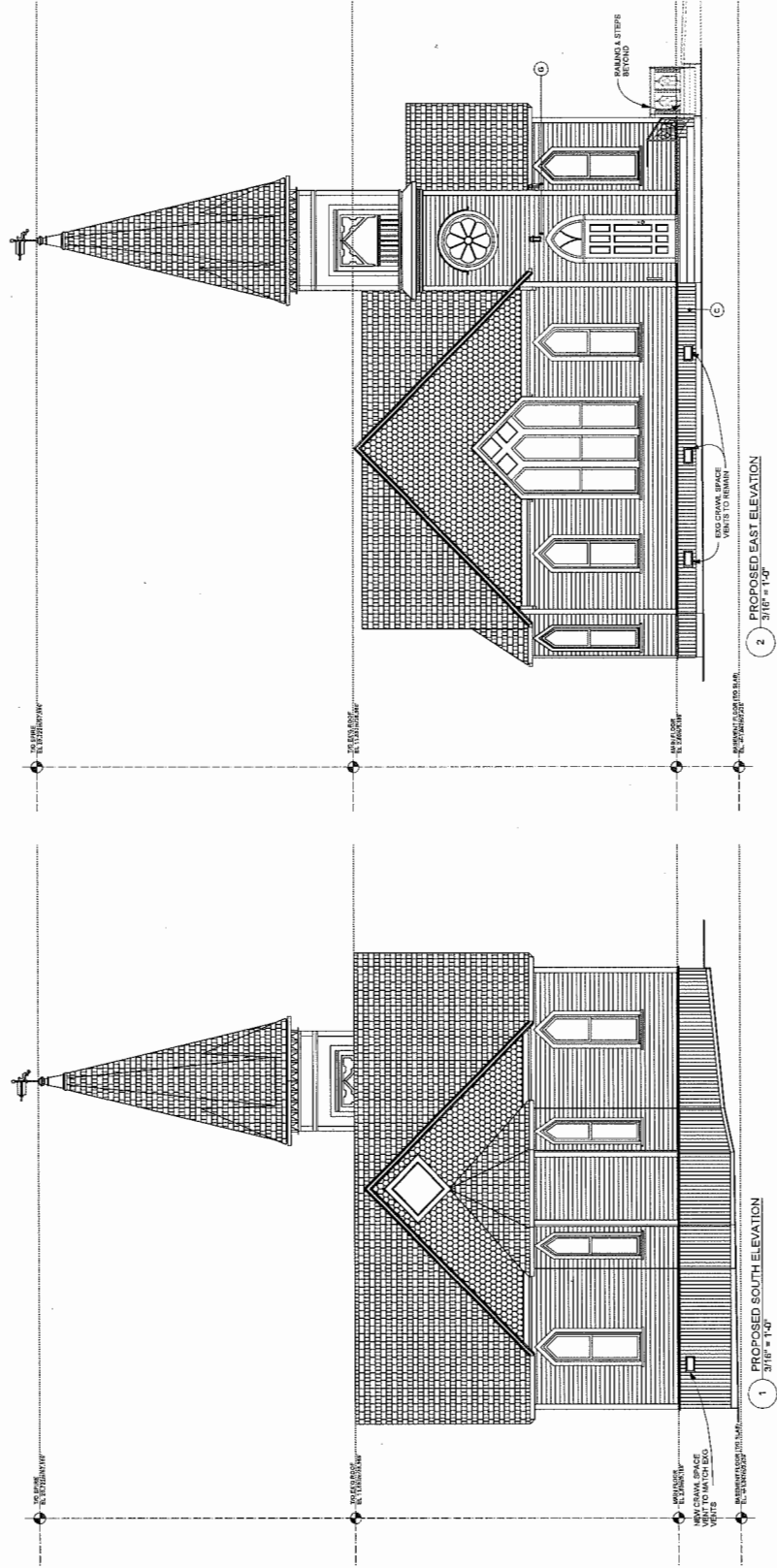
MINORU CHAPEL
 6540 GILBERT ROAD
 RICHMOND, BC

PHASE 2
 RENOVATIONS

SOUTH & EAST
 ELEVATIONS

DATE	MAR 2 '15
CLIENT	VA
PROJECT NO.	1418
CONTRACT NO.	

A 3.2



SCOPE OF WORK

APPROVED ITEMS:

A STRUCTURAL UPDATES FOR CRAWL SPACE AND FLOOR ABOVE. REFER TO STRUCTURAL DRAWINGS S-3.0-3.0.

B ACCESSIBLE RAMP WITH RAILING & STAIR. NEW CONCRETE AND FINISHES. REFER TO FINISHES SCHEDULE AS INDICATED. REFER ALSO TO STRUCTURAL DRAWINGS.

C DAMAGED WALL ENVELOPE, CLADDING & FLASHING REPAIRS. REFER TO FINISHES SCHEDULE AS INDICATED. REFER ALSO TO STRUCTURAL DRAWINGS.

D BOARD OR SHINGLE (IN SPECIES AND PROFILE) TO TRIM FLASHING MATCH EXISTING, WHILE REMOVING CLADDING. CONTRACTOR TO ALSO NOTIFY ARCHITECT OF ANY INTERNAL ENVELOPE DAMAGE TO BE REPAIRED. REFER TO FINISHES SCHEDULE AS INDICATED. WINDOW HEAD TRIM FLASHINGS, CONFIRM EXTENT OF WORK WITH CITY AND REPAIR AS REQUIRED TO "MAKE GOOD".

NOTE: WHILE MOST INSTANCES OF ROT HAVE BEEN OBSERVED AT THE ROOF LINE, CONTRACTOR TO REVIEW ALL CLADDING AND TO REVIEW WITH CLIENT & ARCHITECT ALL AFFECTED AREAS PRIOR TO REMEDIATION.

ITEMS FOR SEPARATE PRICING:

E1 INTERIOR WANSKOTTING - REMOVAL OF EXISTING HARDBOARD COVERING & REFINISHMENT OF ORIGINAL CHARACTER AS EVIDENCED IN SUPPLIED ARCHIVAL PHOTOS.

G EXTERIOR LIGHTING - REFER TO FINISHES SCHEDULE.

H EXISTING LIGHT SWITCH - UPGRADE. REPLACE EXISTING SWITCH AS SHOWN - REFER TO ELECTRICAL DRAWINGS (REPLACE EXISTING IN SAME LOCATION).

I EXISTING FIRE ALARM SYSTEM - UPGRADE: CONTRACTOR TO UPGRADE SYSTEM AS NOTED ON THE ELECTRICAL DRAWINGS. - NOT IN CONTRACT FINISHES.

REFER ALSO TO FINISHES SCHEDULE FOR ALL FINISHES.

D1 INTERIOR FIR FLOORING - REPLACED; OUTLINED AREA WITH LINED MATCH INDICATES AREA TO RECEIVE NEW FIR STRIP FLOORING, WITH PROFILE, GRAIN, STAIN TO MATCH EXISTING.

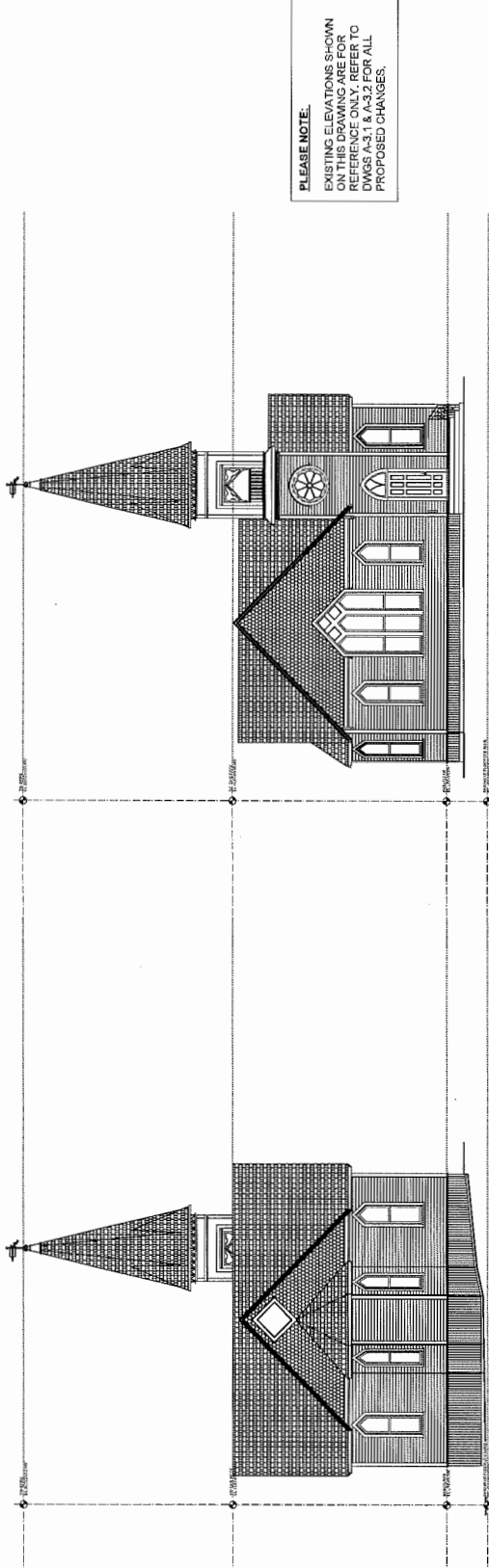
D2 INTERIOR FIR FLOORING - REPAIRED; HATCHED AREA INDICATES AREAS OF FLOORING WHICH REQUIRES REPAIRS IN OF NEW BOARDS AS PROFILE, SIZE AND FINISH. CONTRACTOR TO REVIEW ALL INTERIOR FLOORING TO MATCH EXISTING. REFER TO FINISHES SCHEDULE FOR ANY ADDITIONAL AREAS THAT REQUIRE SIMILAR ATTENTION.

E1 INTERIOR WANSKOTTING - REPAIR/REMOVAL OF EXISTING HARDBOARD COVERING. REPLACE ANY HARDBOARD THAT IS IN POOR REPAIR, PARTICULARLY BELOW WINDOWS. NEW HARDBOARD TO MATCH EXISTING IN MATERIAL AND DIMENSIONAL. PAINT TO MATCH EXISTING.

F UNIVERSAL TOILET ROOM UPDATE: REPLACE EXISTING SINK, TOILET, AND SHOWER AS NOTED IN FINISHES SCHEDULE. PAINT WALLS AND CEILING.

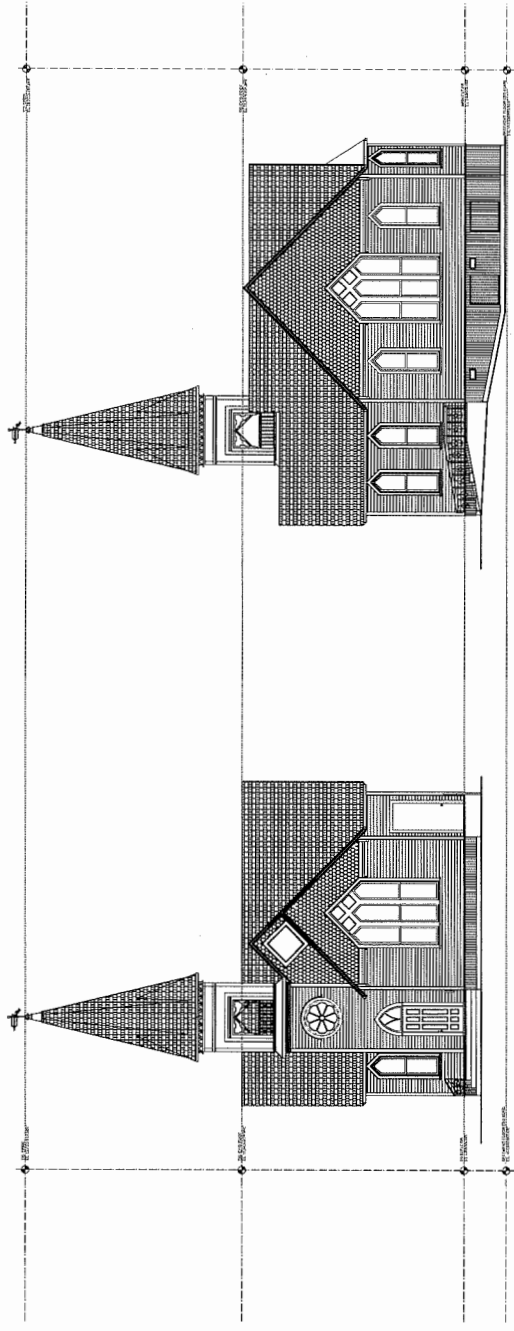
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DATE: 14/03/2018



1 EXISTING SOUTH ELEVATION
1/8" = 1'-0"

2 EXISTING EAST ELEVATION
1/8" = 1'-0"



3 EXISTING NORTH ELEVATION
1/8" = 1'-0"

4 EXISTING WEST ELEVATION
1/8" = 1'-0"

ISSUED FOR
HERITAGE ALTERNATION PERMIT
877 - 2018 MAY 20



THE ANDREWS ARCHITECTS INC.
PROJECT

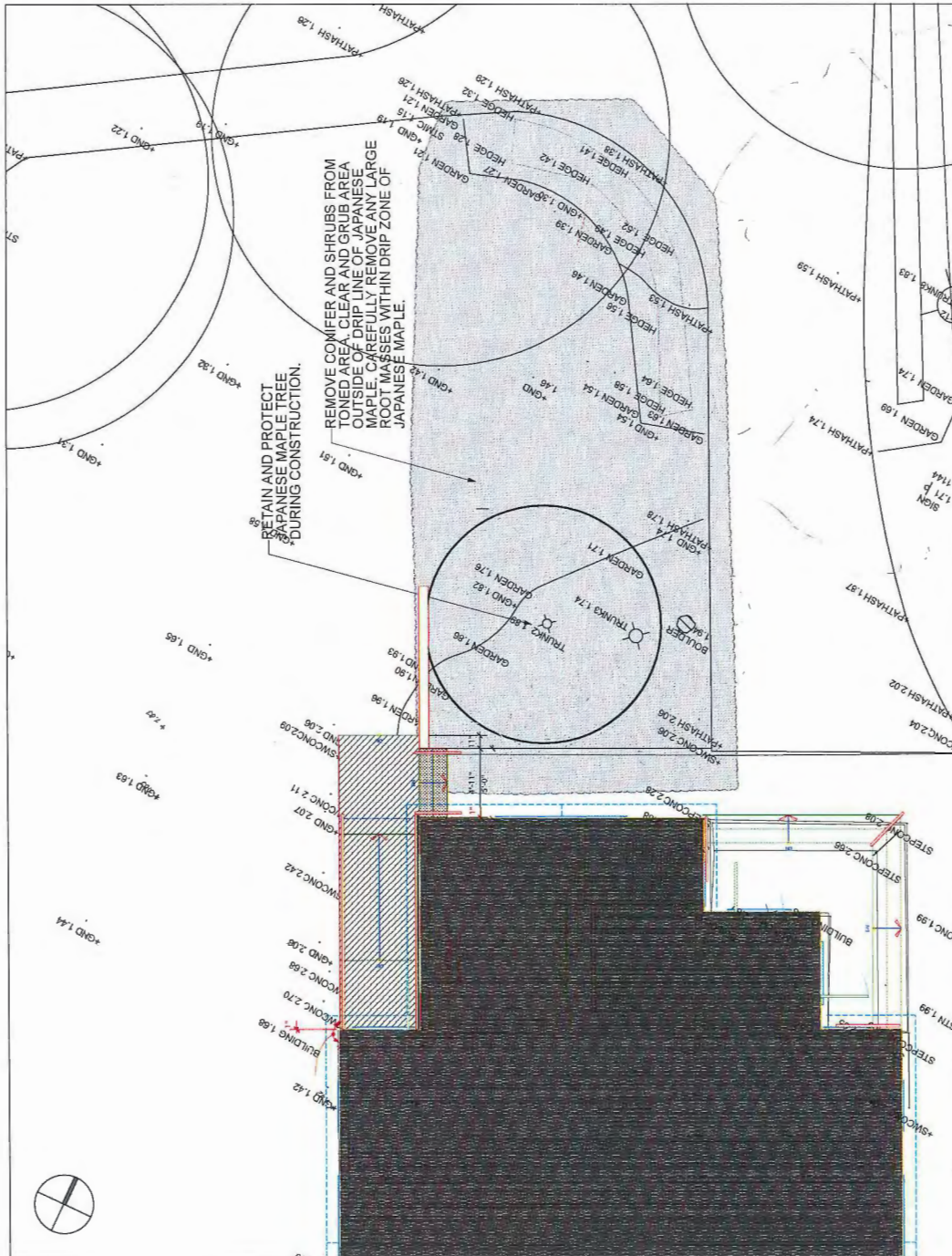
MINORU CHAPEL
6540 GILBERT ROAD
RICHMOND, BC

PHASE 2
RENOVATIONS

EXISTING EXTERIOR
ELEVATIONS

DATE	MAR 2, '18
DESIGNED BY	VJA
CHECKED BY	GR
DATE PLOTTED	14/03/2018
SCALE	AS SHOWN

A 3.3



CNCL - 226

Minoru Chapel Site Preparation Plan

DESIGN NO. L1 OF 3
SCALE: 1/8" = 1'-0"
DATE: MAY 1, 2015

NO.	DATE	BY	CHK.	DESCRIPTION
1	2015-05-01			ISSUED FOR PERMIT

PROPERTY ADDRESS:
171 P. ...

OWNER: ...

DESIGNER: ...

DATE: ...

REFERENCE DRAWINGS:

AS ...

BY ...

DATE ...

SCALE ...

PROJECT ...

DATE ...

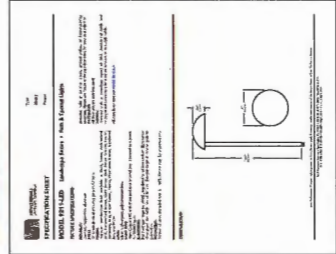
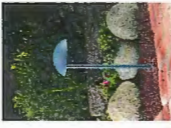
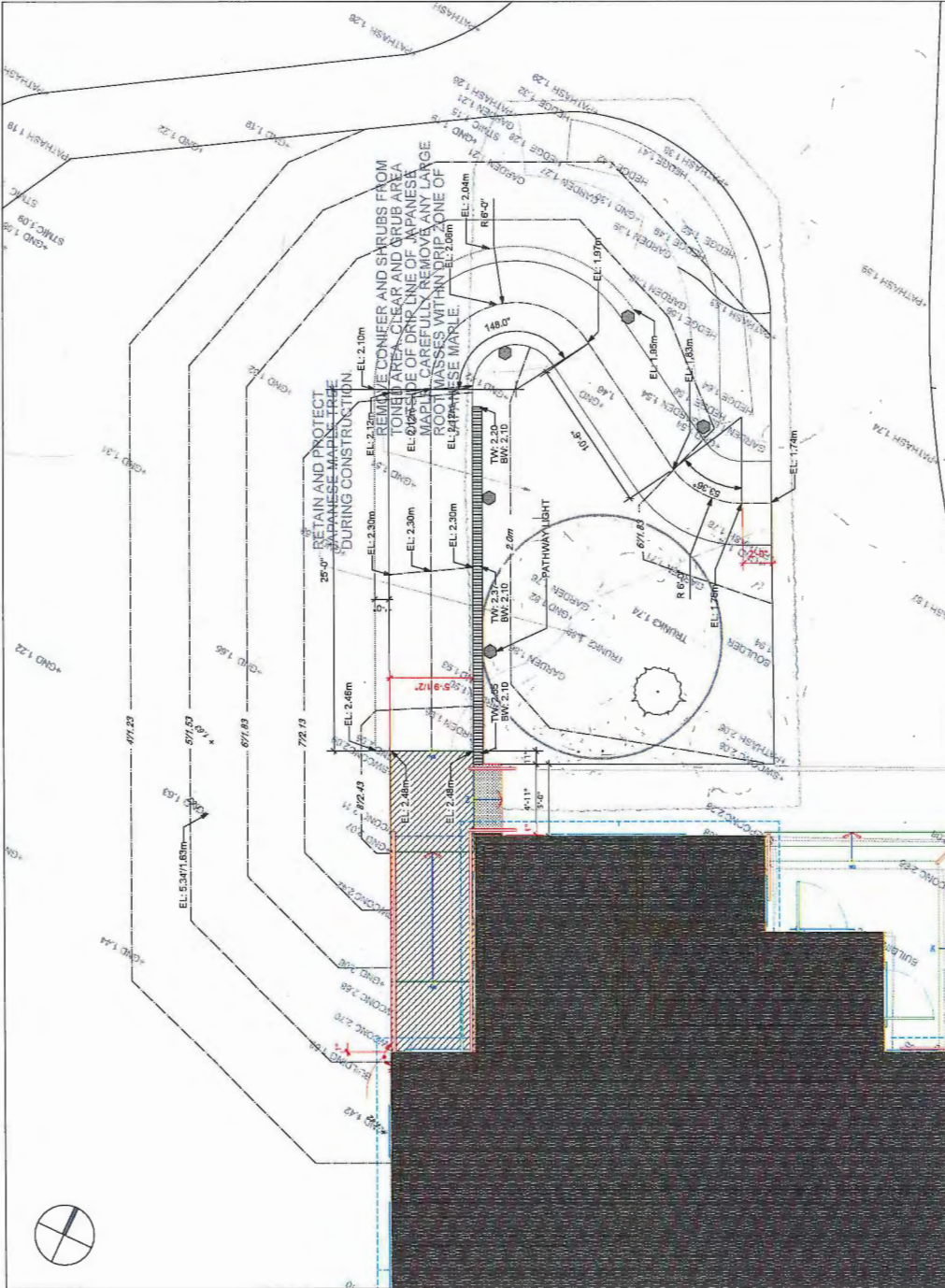
ALL ELEVATIONS ARE TO FINISHED GRADE UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



PATHWAY LIGHTING

D2

RETAINING WALL ASPHALT PAVING DETAIL

D1

GENERAL NOTES

- CONTRACTOR TO VERIFY LAYOUT AND GRADING IN FIELD PRIOR TO PROCEEDING. INFORM CORP PARKS REPRESENTATIVE OF DISCREPANCIES PRIOR TO PROCEEDING.
- ALL CONCRETE WORK IS PER ARCHITECTURAL SPECIFICATIONS.
- ALL CONCRETE SHALL BE 4000 PSI STRENGTH WITH 4% STEEL FIBERS.
- ALL CONCRETE TO BE 72 MPA.

REFERENCE STANDARDS

NO.	DATE	DESCRIPTION	REVISED
1	2015-08-31	REVISED FOR PERMIT	

PROPERTY ACQUISITION

NO.	DATE	DESCRIPTION	REVISED
1	2015-08-31	REVISED FOR PERMIT	

BENCHMARK

ALL ELEVATIONS ARE TO EXISTING BENCHMARK AND REFER TO BENCHMARK DIMENSIONS.

ELEVATION: _____

FIELD BOOK # _____

DATE: _____

PROJECT # _____

ACCOUNT # _____

MINORU CHAPUR LAYOUT & GRADING PLAN

DATE: MAY 7, 2015

SCALE: 1/4" = 1'-0"

SHEET NO. L2 OF 3

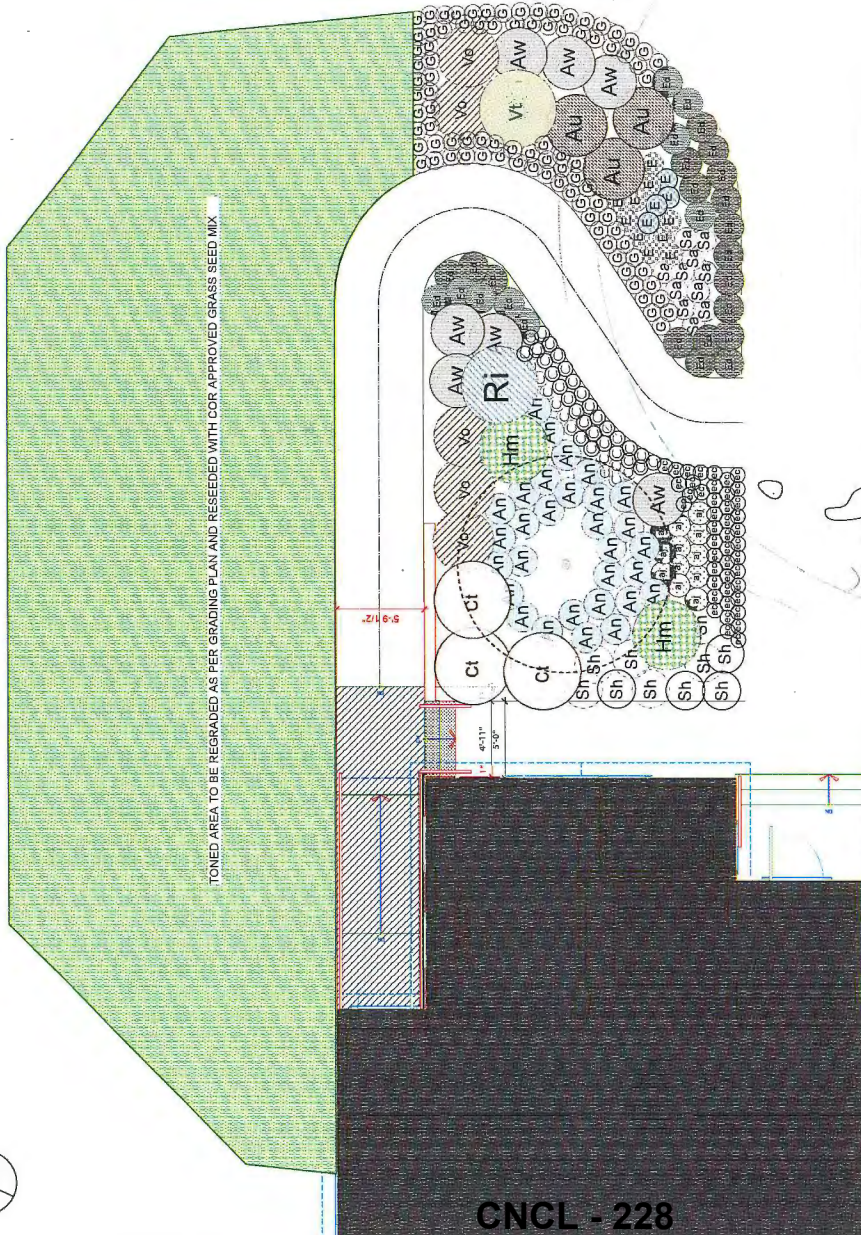
DRAWN: _____

CHECKED: _____

APPROVED: _____

Minoru Chapel Plant List

CD	Symbol	Botanical Name	Common Name	Size	Spacing	Remarks
12	H	Asplenium Platyneuron	Japanese Adiantum	#1 pot	18"	
13	A	Asplenium Platyneuron	Japanese Pteris Fern	#1 pot	15"	
14	C	Chrysanthemum	Delphinium Bellflower	#1 pot	12"	
15	E	Erigeron annuus	White Cornflower	#1 pot	15"	
16	Ec	Erigeron annuus	White Heath	#1 pot	12"	
17	Ed	Erigeron annuus	Medicinal Pink	#1 pot	12"	
18	G	Geranium	Dwarf Cranesbill	#1 pot	15"	
19	Sa	Sedum spectabile	Stonecrop	#1 pot	18"	
20	Aw	Andropogon scoparius	White Flowering Amaranth	#2 pot	30"	Dense, weedy branching
21	Au	Aurea umbrata	Dwarf Strawberry Bush	#2 pot	30"	Dense, weedy branching
22	Ct	Chrysanthemum	Mexican Moss Orange	#2 pot	40"	Dense, weedy branching
23	Hm	Hemerocallis	Blue Water Liliescape	#2 pot	40"	
24	Ri	Rhododendron	Rhododendron	#3 pot	48"	Dense, weedy branching
25	Sh	Shorea	Dwarf Sweetbox	#2 pot	24"	Dense, weedy branching
26	Vo	Veronica	Evergreen Huckleberry	#2 pot	35"	Dense, weedy branching
27	Vt	Viburnum	Double File Viburnum	#2 pot	35"	



CNCL - 228

- PLANTING - GENERAL NOTES**
- SEARCHED FOR PLANT MATERIAL TO BE USED IN THIS PROJECT AND FOUND TO BE AVAILABLE FOR THE PROJECT.
 - PLANTS WILL BE WELL ESTABLISHED AND LINED IN SHAPE.
 - THE CONTRACTOR TO USE COR APPROVED GROWING MEDIUM (www.nwrecess.com) AT THE FOLLOWING DEPTHS AND WIDTHS PER PLANT.
 - TREES - MIN 30MM GIRTH x 2 TIMES ROOT BALL WIDTH
 - LOCATION OF PLANTS IN PLAN ARE APPROXIMATE. ADJUSTMENTS IN THE FIELD BY COR PARKS REPRESENTATIVE MAY BE NECESSARY.
 - CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF LANDSCAPE TREATMENT (INCLUDING WATERING, REPLACEMENT DEAD PLANTS, REMOVAL OF INVASIVE PLANTS) UNTIL FINAL COMPLETION. FINAL COMPLETION WILL OCCUR AT A MINIMUM OF 12 MONTHS FOLLOWING INSTALLATION OF PLANTS AND TREES.
 - REPRESENTATIVE. MAINTENANCE PRACTICES TO FOLLOW CURRENT BC LANDSCAPE STANDARD MAINTENANCE SPECIFICATIONS.

Minoru Chapel Planting Plan

DATE: MAY 1 2015
SCALE: 1/4" = 1' 0"
SHEET: 13 OF 3

DESIGNER: []
DRAWN: []
CHECKED: []
APPROVED: []

NO.	DATE	BY	CHK.	DESCRIPTION	REVISIONS
1	2015-05-01			ISSUED FOR PERMIT	

REFERENCE DRAWINGS

PROPERTY ACQUISITION []
 EXISTING UTILITIES []
 SOILS INVESTIGATION []
 STORM SEWER INVESTIGATION []
 DRAINAGE DESIGN []
 TRAFFIC SIGNALS []
 SIGNAGE DESIGN []
 SITE PLAN []
 UTILITY PLAN []

REVISIONS

ALL REVISIONS ARE TO BE MADE BY THE CONTRACTOR. NO REVISIONS TO BE MADE BY THE ARCHITECT.

REVISION NO. [] FIELD NO. []
 CITY/STATE/ZIP []
 CONTRACTOR'S NAME [] ACCOUNT NO. []

SCALE SERVICES

THE SCALE OF CONTRACT SHALL BE INDICATED FOR ALL DRAWINGS. THE LOCATION OF ALL SERVICE LINES, AND WHERE NECESSARY, THE LOCATION OF ALL UTILITIES SHALL BE INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND SERVICE LINES.

SCALE: 1/4" = 1' 0"
 CONTRACTOR'S NAME [] ACCOUNT NO. []



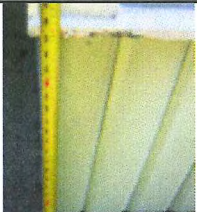





Minoru Chapel

Phase II Rehabilitation

FINISHES SCHEDULE

6540 Gilbert Road, Richmond, BC

Notes: - (OP): Please provide Optional Pricing for these items. For CODES refer also to Scope of Work on Arch'l Drawings.

CODE	PRODUCT / LOC'N	MANUFACTURER	CONTACT	DETAILS	PHOTO
DIV 06 WOOD, PLASTICS, COMPOSITES					
C	CARPENTRY - Siding Repair		Contractor	Repair to damaged Siding, Wall Shingles and Skirting Board as noted on Arch'l Plans - Profile, Material & Finish to Match Exg	
					
DIV 09 FINISHES					
D1	FLOORING - Exg Fir Flooring (Replaced)		Contractor	New/Recycled Fir Floor Boards to Match Exg in Profile, Grain & Stain to Match Exg - Refer to Arch'l Plans for Extent of Work	
D2	FLOORING - Exg Fir Flooring (Repaired)		Contractor	New/Recycled Fir Floor Boards to Match Exg in Profile, Grain & Stain to Match Exg - Refer to Arch'l Plans for Extent of Work	
E1	ARCH'L WOODWORK - Interior Wainscotting (Refurbishment of Existing Hardboard Covering)		Contractor	Replacement and Repair to Match Existing as required to "Make Good" particularly below windows	
E2 (OP)	Provide Optional Pricing for: ARCH'L WOODWORK - Interior Wainscotting (Removal of Existing Hardboard Covering & Refurbishment of Original Boards & Trim)		Contractor	Repair & Refinish Original Wainscotting & Related Trim as required to Restore Original Character	



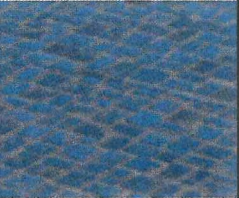

Minoru Chapel

Phase II Rehabilitation

FINISHES SCHEDULE

6540 Gilbert Road, Richmond, BC

Notes: - (OP): Please provide Optional Pricing for these items. For CODES refer also to Scope of Work on Arch'I Drawings.

CODE	PRODUCT / LOC'N	MANUFACTURER	CONTACT	DETAILS	PHOTO
F1	FLOORING - Vinyl Flooring	Karndean Design Flooring	Tara Day Go Resilient Canada 604-678-2712 tara.day@goresilient.ca	12"x12" Vinyl Stone Tile Flooring, Italian Mosaic Collection, Michelangelo, MX98, Adriatic Blue - Contractor to allow for removal of exg floor finish and surface preparation for level application.	
F-2	WALL & CEILING FINISHES - Paint (Universal WC Walls & Ceiling)		Contractor	New Paint to Match Exg (WC only)	
DIV 10 SPECIALTIES					
	INTERIOR SPECIALTIES - Mirror (Universal WC)			Exg to Remain	
DIV's 11 & 12 EQUIPMENT & FURNISHINGS					
	SOAP DISPENSER - (Universal WC)			Exg to Remain	
	GARBAGE - (Universal WC)			Exg to Remain	
	HAND DRYER - (Universal WC)			N/A	
	TOILET TISSUE HOLDER - (Universal WC)			Exg to Remain	
	NAPKIN DISPOSAL - Surface Mounted (Universal WC)			Exg to Remain	
	GRAB BAR - (Universal WC)			Exg to Remain	
DIV 21 FIRE SUPPRESSION					
	SPRINKLERS			No Change	
DIV 22 PLUMBING					
F3	WALL-MOUNTED SINK - (Universal WC)	American Standard		Murro Universal Design with Everclean, Vitreous China, 0954 004EC, 4" Centres, White	



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CODE	PRODUCT / LOC'N	MANUFACTURER	CONTACT	DETAILS	PHOTO
F4	SINK FAUCET - (Universal WC)	Delta		Leland Bath Collection 3 Hole 4" Centerset, 2575LF-RBMPU With Pop-up Drain, Venetian Bronze	
F5	TOILET - (Universal WC)	Mirabelle	Jevons Tang, Kitchen & Bath Classics (Wolsely), 604-873-0004	Provincetown Collection 2-Pce High Efficiency, MIRPR240WH Elongated Bowl, White; MIRPR200WH Tank, White	
DIV 23 HEATING VENTILATION & AIR CONDITIONING					
	AIR DISTRIBUTION			No Change	
DIV 26 ELECTRICAL					
F6	LIGHTING - Under Cabinet - (Universal WC - 2 Under Cabinetry Above Sink)	Alico		LED Puck MLE-101-45 w/ Mounting Ring, Oil Rubbed Bronze	
Ga (OP)	Provide Optional Pricing for: EXTERIOR LIGHTING - (Over Entry/Exit Doors - Refer also to Electrical Dwgs)	Hinkley	Al Kuss, Norburn Lighting & Bath Centre, C: 604-649-7057	St. Moritz Series, 6U874, Black, White Linen Glass, 1 Med 100W Bulb, 12.5"Hx7.5"Wx7.75"D	
Gb (OP)	Provide Optional Pricing for: EXTERIOR LIGHTING - (Step Lights - Refer also to Electrical Dwgs)	WAC Lighting	Al Kuss, Norburn Lighting & Bath Centre, C: 604-649-7057	LEDme Step Light, WL-LED100-(AM Amber or C White TBC), BN Brushed Nickel (to blend w/ concrete steps), 5"Wx3"H Front Plate	
H (OP)	Provide Optional Pricing for: ELECTRICAL LIGHT SWITCH - (Bride's Room - Refer also to Electrical Dwgs)			See Electrical	
I (OP)	Provide Optional Pricing for: FIRE ALARM SYSTEM (Refer also to Electrical Dwgs)			See Electrical	



THE ANDREWS ARCHITECTS INC.
www.andrewsarchitects.ca

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CODE	PRODUCT / LOC'N	MANUFACTURER	CONTACT	DETAILS	PHOTO
	Provide Optional Pricing for: Walkway Bollards			TBC - Refer to Landscape and Electrical Dwgs	