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**To:** Development Permit Panel  
**From:** Brian J. Jackson, MCIP  
Director of Development  
**Date:** November 2, 2009  
**File:** DP 09-471540  
**Re:** **Application by Am-Pri Construction Ltd. for a Development Permit at 7340 and 7360 Garden City Road**

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**Staff Recommendation**

That a Development Permit be issued which would:

1. Permit the construction of 24 Townhouse units at 7340 and 7360 Garden City Road from the information submitted as **Attachment 3** from Yamamoto Architecture Inc., on a site zoned "Comprehensive Development District (CD/128)" for Zoning and Development Bylaw No. 5300 and "Town Housing – South McLennan (City Centre) (ZT50) for Zoning Bylaw No. 8500; and
2. Vary the provisions of the Zoning and Development Bylaw No. 5300 and Zoning Bylaw 8500 to:
  - a) Vary the site coverage from 40% to 41.5%.
  - b) Vary the minimum lot size requirement of 786.3m<sup>2</sup>.
  - c) Vary 0.5 m for a covered porch projection to the front yard setback off Turnill Street.
  - d) Permit resident parking to allow a tandem parking configuration for 15 units (30 stalls) (Zoning Bylaw 8500 only).

Brian J. Jackson, MCIP  
Director of Development

DJ:blg  
Att.

## Staff Report

### Origin

Am-Pri Construction Ltd. has applied to the City of Richmond for permission to develop a 24-unit unit townhouse project at 7340 and 7360 Garden City Road on a site currently zoned "Single- Family Housing District, Subdivision Area F (R1/F)". The site currently contains a single-family house on each lot.

The site is being rezoned from "Single-Family Housing District, Subdivision Area F (R1/F)" to "Comprehensive Development District (CD/128)" for this project under Bylaw 8503 (RZ 08-430370).

### Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

Development surrounding the subject site is as follows:

To the North: An existing 35-unit townhouse complex by Am-Pri Construction Ltd.;

To the East: Across Turnill Street, a 54-unit townhouse complex at 7233 Heather Street; as well as a 54-unit townhouse complex at 7331 Heather Street;

To the South: Under construction, a 45-unit townhouse project by Am-Pri Construction Ltd.; and

To the West: Across Garden City Road, an existing 27-unit townhouse complex at 8780 Bennett Road; as well as an 84-unit apartment complex at 8751 Garden City Road.

### Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage (staff comments are provided in *bold italics*):

1. Design of the play area.

*The children's play area is located within the amenity space along the central, southern half of the property. The structure allows children to swing, climb and slide on a rubberized surface. It is similar to other play structures in other recent developments.*

2. Overall appropriateness of the landscaping plan.

*The applicant is proposing a wide variety of tree types in the numbers acceptable to the replacement requirement. The arrangement provides sufficient landscaping along both frontages of Garden City Road and Turnill Street, as well as along the edges of the side yard. One exception is the north-south drive aisle where access requirements to the adjacent properties prevented more extensive landscaping.*

*The applicant and staff have worked toward providing a very open image and access to the central amenity area. The landscaping here provides good separation to the drive aisle and good edge features to separate the space from the adjacent property to the south and the adjacent buildings.*

The Public Hearing for the rezoning of this site was held on September 9, 2009, and there were no concerns expressed about the rezoning of this property.

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the Zoning and Development Bylaw 5300 and Zoning Bylaw 8500 except for the zoning variances noted below.

### **Zoning Compliance/Variations (staff comments in *bold*)**

The applicant requests to vary the provisions of the Zoning and Development Bylaw No. 5300 and Zoning Bylaw 8500 to:

1. Vary the site coverage from 40% to 41.5%.  
*Staff supports the proposed variance as a technical requirement given the adjacent properties to the north and south have created an orphaned lot on these subject sites. The extent of the variance is also due to the road dedication requirements for both Garden City Road and Turnill Street.*
2. Vary the minimum lot size requirement of 786.3m<sup>2</sup>.  
*Staff supports the proposed variance as relatively minor (1.5%) and results from the provision of the 2 storey unit along Garden City Road.*
3. Vary a 0.5 m for a covered porch projection to the front yard setback off Turnill Street.  
*Staff supports the proposed variance as a minor variance given to improve the appearance of the frontage building off Turnill Street.*
4. Permit resident parking to allow a tandem parking configuration for 15 units (30 stalls) (Zoning Bylaw 8500 only).  
*Staff supports the proposed variance as it only affects the individual units where the tandem configuration occurs and not visitor parking. It has also been used in similar developments with no noted concerns. A covenant will be required to prevent the tandem space being converted to habitable space.*

## Advisory Design Panel Comments

The Advisory Design Panel Meeting was held on October 7, 2009. A copy of the relevant excerpt from the Advisory Design Panel Minutes from this meeting is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

### Analysis

#### *Conditions of Adjacency*

- The subject site is located in the South McLennan Area and mid-block with Garden City Road to the west, Turnill Street to the east and between Bennett Road to the north, General Currie Road to the south.
- This portion of South McLennan has gone through some recent redevelopment over the years; with two-storey to three-storey townhouses being the dominant form.
- The proposed 24-unit development is predominately three-storey townhouses, with one (1) two-level unit fronting Garden City Road. The proposal is situated in the South McLennan area and will front both Garden City Road to the west and Turnill Street to the east. An existing 35-unit townhouse to the north was completed a few years ago and a 45-unit townhouse development is currently under construction to the south. Both of these were approved with the same zoning as what is being proposed; Comprehensive Development District (CD/128) and therefore will be of similar density, site coverage and height.
- This proposal is intended to differ from the adjacent developments to the north and south in architectural style and height to provide variety along the streetscape.

#### *Urban Design and Site Planning*

- As shown as **Attachment 3**, the site is rectangular, with vehicular access off of Turnill Street. The internal drive aisle splits down the middle of the site in an east-west direction before coming to a 'T' intersection at the last quarter-length of the site. This north-south aisle directs vehicles to the garages of building Number 3 that fronts Garden City Road, as well as providing emergency access to the development to the south and potential access to the north.
- The building locations of the proposal have five (5) three-storey units and one (1) two-storey unit fronting Garden City Road. The remaining units front the internal drive aisle, with the exception of the units that face Turnill Street. The units along the north half of the site contain two (2) clusters of five (5) three-storey units each, separated by a visitor parking lot and a hydro kiosk. The units to the south are in two (2) clusters of four (4) units each, separated by the amenity area and a visitors parking stall.
- The amenity area is of appropriate size and contains a child's play area, benches and open lawn space. Access to the space is provided off the internal drive aisle.
- Pedestrian access to the site is provided off Garden City Road with direct access to each of the units fronting the street, as well as access along the southern property line leading to the rest of the site. Pedestrian access is also provided off Turnill Street, but is shared with the internal drive aisle.
- All the units are provided private outdoor space with back yard space along the north and south property lines that benefit the building clusters fronting the internal drive aisle. A similar type of outdoor space is provided in the front of the units fronting Garden City Road.
- Vehicle parking is provided in separate garages in each unit. While most units provide space for two (2) vehicles in a tandem configuration, some are only large enough to fit one (1)

vehicle. Visitor parking is provided in various outdoor locations throughout the site. Overall, the number of stalls for vehicles complies with the requirements outlined in the zoning bylaw.

- Bicycle parking is provided in separate garages for long-term storage and an outdoor bike rack for short-term parking. The number of stalls for both cases conforms to the Zoning Bylaw requirements.

***Architectural Form and Character***

- The overall appearance of the proposal is of conventional design and conforms to the design guidelines of the South McLennan area.
- The applicant has proposed a project that should work well with the surrounding area. The overall scale and massing is similar to the surrounding area and, through the provision of articulation and finishing material, will provide a townhouse complex that will generate interest.
- The choice of finishing materials range from stone work at the base of units fronting the streets to horizontal hardi-board siding to vertical board and batten siding at the top. The pitched roof uses asphalt in a wood shake profile. Colour choice is neutral with different types of grey-brown which do conform to the muted colour comment outlined in the area plan.
- The six (6) units fronting Garden City Road are articulated at both ends by shifting the footprint to the northern two (2) units to the stepping down of the one (1) unit at the south end by making it a two-level unit. This unit is also identified, as one that could be easily converted for universal access should it be needed.
- Wood trim separate the direction and material type of the façade, and a pitched roof extension from the wall above the first level provide a break in the vertical massing of the building.

***Landscape Design and Open Space Design***

- An arborist report was submitted at the rezoning application stage and was reviewed by City staff. The report called for the removal of 17 on-site trees. In accordance with City policy, the applicant must provide at least 34 trees to meet the 2:1 replacement ratio. In response, the applicant is proposing to exceed this requirement with the planting of 36 trees according to the attached landscaping plan. The trees are of a variety of species and are to be spread throughout the site.

Number of trees to be removed	Required number of trees to be replaced	Proposed number of trees to be planted	Surplus/Deficit
17	34	36	2 (surplus)

- The applicant is to provide security for landscaping and is secured through the rezoning process.
- The submitted landscape plan identifies a mixture of soft and hard landscaping to help identify edge treatments through out the site.
- A mixture of plantings are shown along both front yards of the site to provide pleasant sight lines.

- The outdoor amenity area is located between Buildings 4 and 5 and includes lawn space between concrete pavers to access a visitor parking stall and access to the play and lawn area, as well as the central mailbox. There are landscaping buffers along the building edge used to help define the play area space.
- The applicant has chosen to provide cash-in-lieu of providing an indoor amenity space in the amount of \$29,000. Payment is secured through the rezoning stage.
- Perimeter fencing is provided through black metal fencing with brick posts along the frontages of Garden City Road and Turnill Street. Wood fencing is provided along the north and south property lines, as well as the entry to the amenity area.
- The applicant has provided a lighting plan to illustrate how the site is to be illuminated during evening hours. The fixtures themselves will provide downward casting illumination to avoid illumination to adjacent properties.
- Entry signage is provided at the vehicle entrance of the site and consists of a brick finish with a concrete base.

#### ***Affordable Housing***

- According to the Affordable Housing Strategy, there are no required affordable units to be constructed for developments under 80 units.
- The applicant is making a voluntary contribution of \$56,206 to affordable housing in accordance to the Affordable Housing Strategy. It is payable prior to the formal adoption of the rezoning application.

#### ***Universal Access***

- The two-level unit in Building Number 3 is identified for conversion for Universal Access.

#### ***Sustainability indicators***

- The proposed plan is reusing an existing site to increase living density that will serve the neighbourhood in the long run.
- The applicant is proposing a pedestrian scale streetscape to both Garden City Road and Turnill Street to add value to neighbourhood by extensive landscaping that will improve over time as the vegetation matures.
- The proposed lighting plan will focus on illuminating the subject site and not add unnecessary illumination to adjacent properties and reduce light pollution.
- The residential units will provide energy efficient appliances and water saving faucets.
- The applicant is providing a permeable paving system in the concrete paver areas of the drive aisle and visitor parking locations.

#### ***Crime Prevention Through Environmental Design***

- The proposed plan provides good edge features along the site to separate public and private space, giving the site a good sense of territoriality to residents and visitors.
- The submitted lighting plan should provide good evening illumination, as well as not extending unwanted light onto adjacent properties.
- Building orientation and landscaping features provide good sight lines and view angles throughout the site.
- The units adjacent to the amenity area have windows at the ground and upper levels to provide casual surveillance to the area.

## Conclusions

Am-Pri Construction Ltd. has applied to the City of Richmond for permission to develop a 24-unit townhouse project at 7340 and 7360 Garden City Road. The design has gone through some modifications with staff and has now come up with a design that is satisfactory to the design guidelines for the area. Staff supports the recommendation of approving this Development Permit application, as the proposed design will fit well within the streetscape and the rest of the neighbourhood.



David Johnson  
Planner  
(604-276-4193)

DJ:blg

The following are to be met prior to forwarding this application to Council for approval:

- Payment of cash in-lieu of on-site indoor amenity space in the amount of \$29,000.00;
- Receipt of a Letter-of-Credit for landscaping in the amount of \$55,652.20 (based on total floor area of 27,826.1 ft<sup>2</sup>); and
- Registration of a covenant to prevent tandem parking areas to be converted to habitable space.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285; and*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



**City of Richmond**

6911 No. 3 Road  
 Richmond, BC V6Y 2C1  
 www.richmond.ca  
 604-276-4000

**Development Application  
 Data Sheet  
 Development Applications Division**

**DP 09-471540** **Attachment 1**

Address: 7340 and 7360 Garden City Road  
 Applicant: Am-Pri Construction Ltd. Owner: Am-Pri Construction Ltd.  
 Planning Area(s): City Centre (McLennan South Sub-Area Plan) Schedule 2.10D

	Existing	Proposed
<b>Site Area:</b>	3,532.4 m <sup>2</sup>	3,263.7 m <sup>2</sup>
<b>Land Uses:</b>	One Single-Family home on each site	24-unit townhouses
<b>OCP Designation:</b>	Townhouse up to 3 storeys over 1 parking level, Triplex, Duplex, Single-Family 0.75 base F.A.R.	No change
<b>Zoning:</b>	Single-Family Housing District / Subdivision Area F (R1/F)	Comprehensive Development District 128 (CD/128)
<b>Number of Units:</b>	2 Single-Family Houses	24 Townhouse units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.8 F.A.R.	0.797	none permitted
Lot Coverage:	Max. 40%	41.5%	1.5% (48.7 m <sup>2</sup> )
Setback – Front Yard:	Min. 6.0 m	7.5 m	None
Setback – Side Yard:	Min. 3.0 m	4.5 m	None
Setback – Side Yard:	Min. 3.0 m	4.5 m	None
Setback – Rear Yard:	Min. 4.57 m	4.57 m	None
Height (m):	Max. 12.0 m	11.74 m	None
Lot Size:	0.405 ha	0.326 ha (after dedication)	0.079 ha (786.3 m <sup>2</sup> )
Off-street Parking Spaces – Regular/Commercial:	36 resident and 5 visitor	39 resident and 5 visitor	None
Off-street Parking Spaces – Accessible:	1	1	None
Total off-street Spaces:	41 spaces	44 spaces	None
Tandem Parking Spaces	Permitted (Bylaw 5300) Not Permitted (Bylaw 8500)	15 tandem spaces	15 tandem spaces (Bylaw 8500 only)
Amenity Space – Indoor:	Min. 70 m <sup>2</sup>	None	Secured through rezoning
Amenity Space – Outdoor:	Min. 144m <sup>2</sup>	175m <sup>2</sup>	None



**Excerpt from the Minutes from  
The Design Panel Meeting**

**Wednesday, October 7, 2009 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall**

**1. DP 09-471540– 24-UNIT TOWNHOUSE DEVELOPMENT**

ARCHITECT: Taizo Yamamoto, Yamamoto Architecture Inc.

PROPERTY LOCATION: 7340/60 Garden City Road

**Panel Discussion**

*Comments from the Panel were as follows:*

- integrate patios with living spaces;
- would have been nice to see streetscape to demonstrate fit of development with neighbouring projects;
- site planning and building form work despite the narrowness of the site; concern on the amenity area – relocate accessible parking stall, electrical closet, and garbage and recycling area to make the amenity area a nice and pleasant open outdoor space; consider further design development of adjacent building elevations;
- unit C adaptable unit is very well done; explore possibility for additional adaptable unit types if there are stacked floor spaces available;
- well-developed project; commend the retention of trees along the walkway;
- present location of bike rack results in more paved area; could be relocated and have the vacated area planted; vegetable garden plots are supported, but not in private yards as not everyone will garden and they could turn into muddy patches; recommend lawn in yards instead and garden plots relocated to communal area; screening of BC Hydro kiosk between Buildings 1 and 2 is inadequate; consider more diversity of the genus of trees;
- architecturally, a very nice project; buildings are well-resolved; recommend the shortening of the drive aisle; move Buildings 1 and 2 further to the west; relocate the bike rack to the amenity area; double walkway at the north end of Building 3 could be made into a single walkway; and
- a fine development; use of site and massing is good; agree with comments on widening the amenity area; vegetable garden plots have a social aspect; could be relocated in a public area such as the amenity area and then could provide lawn treatment in private yards.

## Panel Decision

It was moved and seconded

***That DP 09-471540 move forward to the Development Permit Panel taking into consideration the following comments of the Advisory Design Panel:***

1. *consider stronger connection of the patios from the interior living spaces;*  
***Patio space access is connected at 2-storey unit (unit-C). Patios accessible by set of stairs from living space typically otherwise.***
2. *provide streetscape to demonstrate fit of development with neighbouring projects;*  
***Provided.***
2. *consider relocating the accessible parking stall, electrical closet, and garbage and recycling enclosure away from the amenity area to create a more open outdoor space;*  
***Parking space V2 (standard size) is located at amenity area in order to 'avoid having the bulk of visitor parking at the west end of the site.' Garbage/recycling is located at the west side of building No. 4. Electrical closet, bicycle rack and mailboxes located on west side of building No. 5.***
3. *consider further design development of building elevations adjacent to the amenity area;*  
***Bay windows have been increased in size.***
4. *consider additional adaptable unit types;*  
***Only the 2-storey unit will be possible for conversion in this development.***
5. *consider relocating bike racks to reduce the amount of paving in the site and create more green space;*  
***Bike racks have been relocated to amenity area to increase green space next to Building 4.***
6. *consider more vigorous screening of BC Hydro kiosk between Buildings 1 and 2;*  
***Hedge has been added to screen the hydro kiosk.***
7. *consider more genus diversity of trees;*  
***Large diversity of trees incorporated into landscape plan.***
8. *consider shortening of the drive aisle with parking, planting or alternative pavement treatment;*  
***Drivable shortening is not possible due to future access easement to the north and south.***
9. *consider moving Buildings 1 and 2 farther to the west;*  
***Buildings 1 & 5 setback is the same as neighbouring developments. This will create a synergetic streetscape with the other buildings.***

10. *consider making the double walkway at the north end of Building 2 into a single walkway;*

*Double walkway reduced to single walkway.*

11. *consider relocating the vegetable plots to the amenity area.*

*Vegetable plots removed from backyards and possible community (strata) garden plot indicated in the amenity area, on the landscape drawings.*

**CARRIED**



**No. DP 09-471540**

To the Holder: AM-PRI CONSTRUCTION LTD.  
Property Address: 7340 AND 7360 GARDEN CITY ROAD  
Address: C/O MS. KAREN MA  
YAMAMOTO ARCHITECTURE INC.  
2386 OAK STREET  
VANCOUVER, BC V6H 4J1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300 and Zoning Bylaw No. 8500" is hereby varied to:
  - a) Variance of 48.7 m<sup>2</sup> to the total site coverage (maximum 40% - 41.5% proposed).
  - b) Variance of 786.3 m<sup>2</sup> to the minimum lot size requirement of 4050 m<sup>2</sup>.
  - c) A 0.5 m variance to a covered porch projection to the front yard setback off Turnill Street.
  - d) Variance to permit resident parking to allow a tandem parking configuration (Zoning Bylaw 8500 only).
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #12 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$55,652.20 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

# Development Permit

No. DP 09-471540

To the Holder: AM-PRI CONSTRUCTION LTD.  
Property Address: 7340 AND 7360 GARDEN CITY ROAD  
Address: C/O MS. KAREN MA  
YAMAMOTO ARCHITECTURE INC.  
2386 OAK STREET  
VANCOUVER, BC V6H 4J1

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF

ISSUED BY THE COUNCIL THE

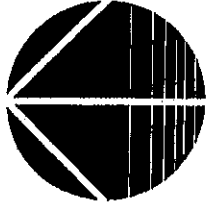
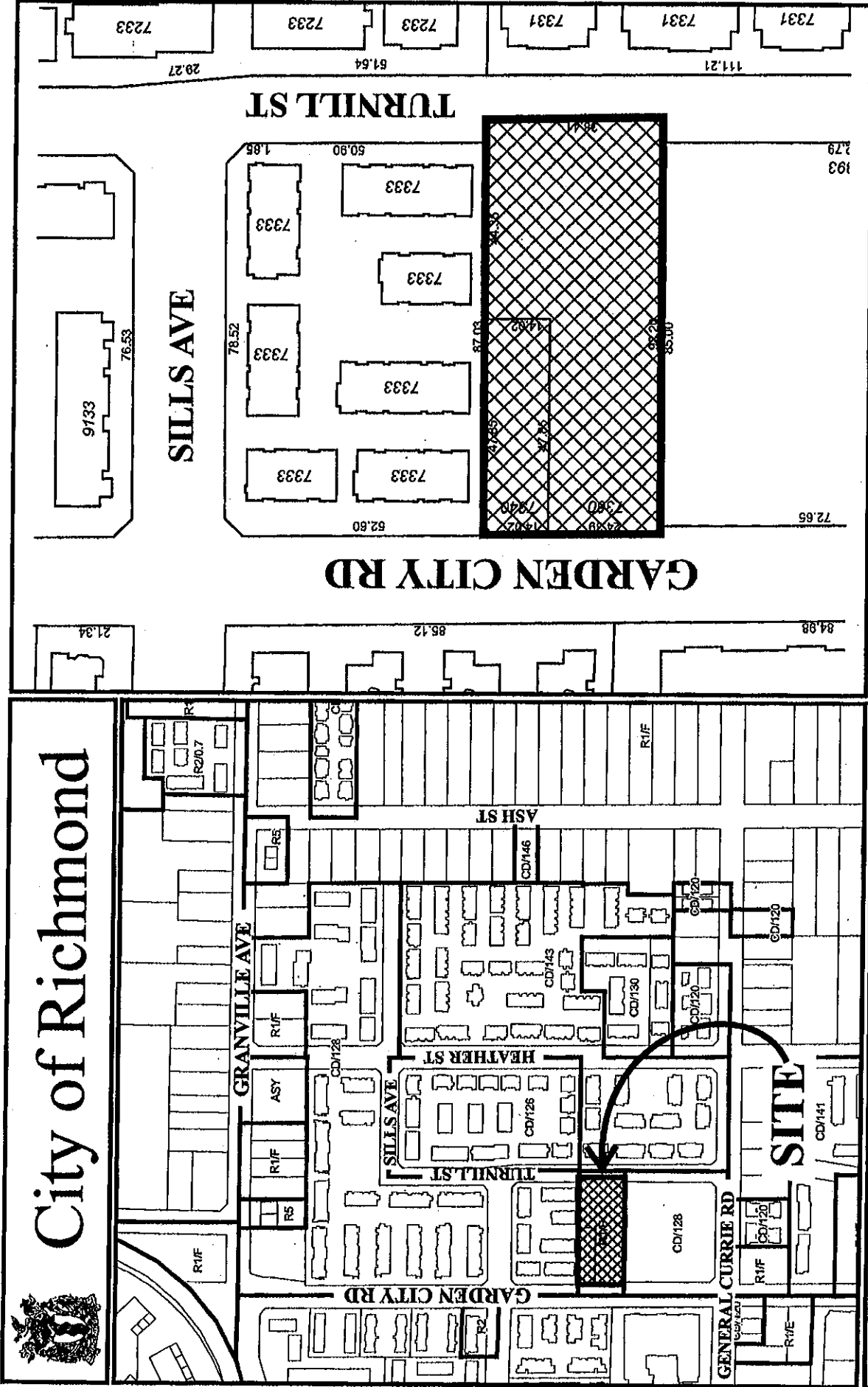
DELIVERED THIS DAY OF

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MAYOR



# City of Richmond



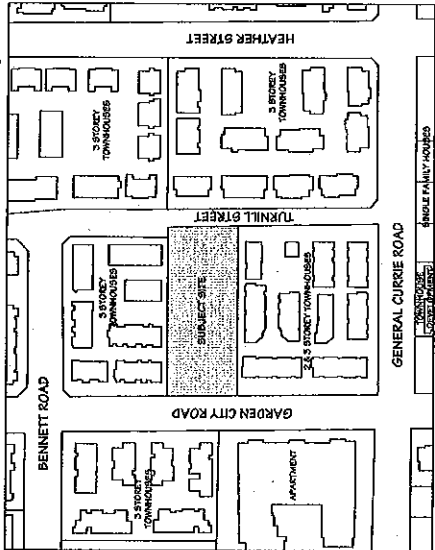
## DP 09-471540 SCHEDULE "A"

Original Date: 05/28/09

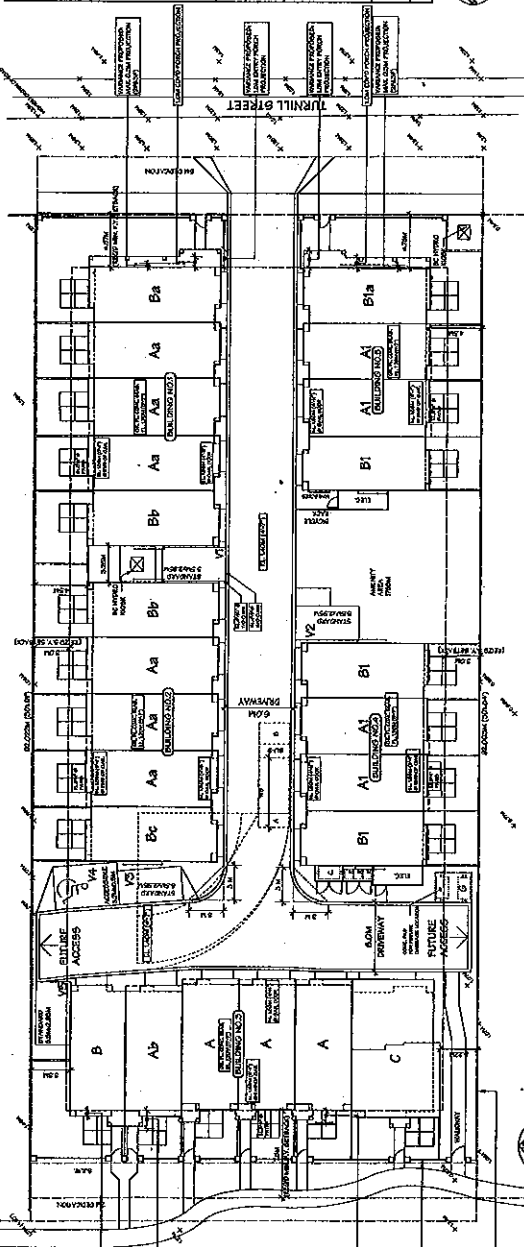
Revision Date:

Note: Dimensions are in METRES

ATTACHMENT 3



CONTEXT PLAN  
SCALE: 1"=100'



SITE PLAN  
SCALE: 1/8"=1'-0"

STATISTICS:

CWC ADDRESS: 7540 & 7560 GARDEN CITY ROAD  
 LEGAL DESCRIPTION: LOT 152, PLAN 69240 & LOT 8, EXCEPT PLAN 69240, BLOCK "A", BOTH OF SEC. 15, B.A.N., R.A.W., N.W. 1/4.  
 ZONING: C702B  
 LOT AREA: 310,022.8 SQ. FT. (7,142.0' x 43,410.1') BEFORE ROAD DEDICATION  
 310,022.7 SQ. FT. (6,283.7' x 49,341.1') AFTER ROAD DEDICATION  
 MAX. LOT COVERAGE: 35,023.7 SQ. FT. x 40.3% = 14,021.9 SQ. FT.  
 PROPOSED: 148,055.0 SQ. FT. (BUILDINGS)  
 375,450.0 SQ. FT. (PORCHES)  
 74,253.0 SQ. FT. (GARAGE/RETEL ENCL.)  
 146,002.9 SQ. FT. (41.9%)  
 TOTAL

F.A.R.:

MAX. ALLOWED FLOOR AREA (0.40): 35,023.7 SQ. FT. x 0.6 = 21,014.2 SQ. FT.  
 MAX. ALLOWED PORCH AREA (0.03): 35,023.7 SQ. FT. x 0.03 = 1,050.7 SQ. FT.  
 MAX. ALLOWED GARAGE AREA (0.33): 35,023.7 SQ. FT. x 0.33 = 11,557.8 SQ. FT.

PROPOSED FLOOR AREA:

UNIT #	AREA (SQ. FT.)	AREA (SQ. FT.)	PORCH AREA (SQ. FT.)
UNIT-A (3 BED)	1166.050	1	22.950
UNIT-A (2 BED)	1668.050	1	6.940
UNIT-A (3 BED)	1530.650	1	0.050
UNIT-A (3 BED)	1530.650	1	0.050
UNIT-A (3 BED)	1530.650	1	0.050
UNIT-B (3 BED)	1166.050	1	22.950
UNIT-B (3 BED)	1166.050	1	22.950
UNIT-B (3 BED)	1166.050	1	22.950
UNIT-B (3 BED)	1166.050	1	22.950
UNIT-B (3 BED)	1166.050	1	22.950
UNIT-C (3 BED)	1072.550	1	18.550
UNIT-C (3 BED)	1072.550	1	18.550
UNIT-C (3 BED)	1072.550	1	18.550
UNIT-C (3 BED)	1072.550	1	18.550
UNIT-C (3 BED)	1072.550	1	18.550
TOTAL	175,350.0	24	175,350.0

PARKING:

REQUIRED: 12 SPACES (RESIDENTS)  
 22 SPACES (VISITORS)  
 TOTAL: 34 SPACES  
 PROVIDED: 2 CAR GARAGES x 15 UNITS  
 1 CAR GARAGE x 9 UNITS  
 OPEN VISITOR PARKING  
 TOTAL: 44 SPACES  
 NOTE: 1 ACCESSIBLE PARKING SPACE IS PROVIDED.

REQUIRED BICYCLE: 125 SPACES (CLASS 1)  
 22 SPACES (CLASS 2)  
 TOTAL: 147 SPACES  
 PROVIDED BICYCLE: 2 SPACES x 9 GARAGES  
 1 SPACE x 10 GARAGES  
 BICYCLE RACK  
 TOTAL: 30 SPACES

REQUIRED AMENITY AREA: MIN. 70 SQ.M. (263.5 SQ.FT.)  
 PROVIDED AMENITY AREA: 144 SQ.M. (320.0 SQ.FT.)  
 PROVIDED IN LIEU: 179 SQ.M. (398.6 SQ.FT.)

AMENITY AREA

REQUIRED: INDOOR  
 OUTDOOR  
 PROVIDED: INDOOR  
 OUTDOOR

VARIANCES:  
 1. PROPOSED SITE COVERAGE OF 45%.  
 2. PROPOSED SITE COVERAGE OF 43.4% MAX. INTO FLY DECK.  
 3. BUILDINGS W/ 3.3:1 ENTRY POUGH PROJECTION OF 1.8M MAX INTO FLY DECK.

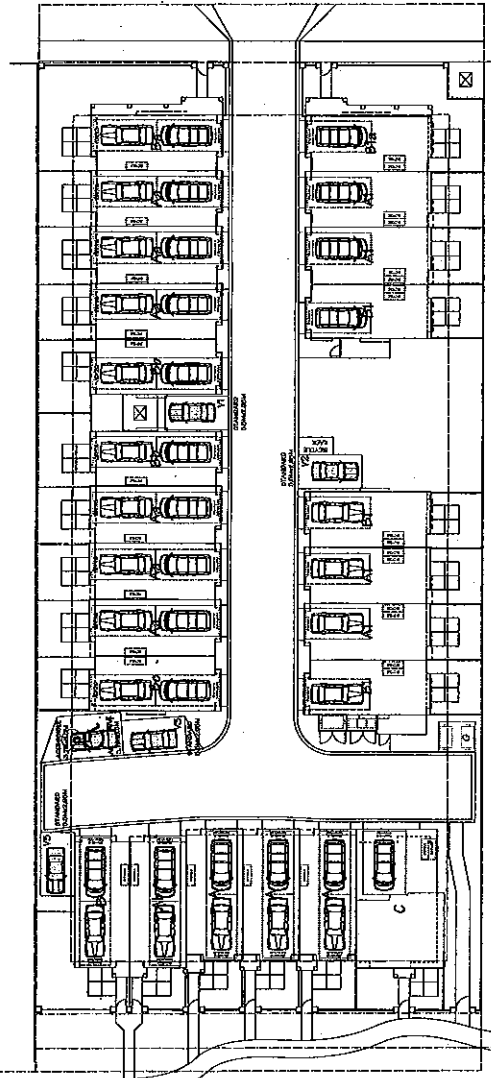
DP 09471540

Pa. 1

PLAN #1  
 DATE: FEB 1, 2008  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: 1/8"=1'-0"

Yamamoto  
 Architecture Inc.

24 UNIT TOWNHOUSE DEVELOPMENT  
 148,055.0 SQ. FT. (BUILDINGS)  
 375,450.0 SQ. FT. (PORCHES)  
 74,253.0 SQ. FT. (GARAGE/RETEL ENCL.)  
 146,002.9 SQ. FT. (41.9%)  
 TOTAL



**PARKING PLAN**  
SCALE: 1/8" = 1'-0"

<b>REQUIRED:</b>	16 SPACES x 24 UNITS	=	384 SPACES (RESIDENTS)
	02 SPACES x 24 UNITS	=	48 SPACES (VISITORS)
<b>TOTAL</b>		=	432 SPACES
<b>PROVIDED:</b>	2 CAR GARAGES x 45 UNITS	=	90 SPACES (RESIDENTS)
	1 CAR GARAGES x 9 UNITS	=	9 SPACES (RESIDENTS)
	OPEN VISITORS PARKING	=	5 SPACES (VISITORS)
<b>TOTAL</b>		=	104 SPACES
<b>NOTE: 1 ACCESSIBLE PARKING SPACE IS PROVIDED.</b>			
<b>REQUIRED BICYCLE:</b>	128 SPACES x 24 UNITS	=	3072 SPACES (CLASS 1)
	02 SPACES x 24 UNITS	=	48 SPACES (CLASS 2)
<b>TOTAL</b>		=	3120 SPACES
<b>PROVIDED BICYCLE:</b>	2 SPACES x 9 GARAGES	=	18 SPACES (CLASS 1)
	1 SPACE x 15 GARAGES	=	15 SPACES (CLASS 1)
	BICYCLE RACK	=	5 SPACES (CLASS 2)
<b>TOTAL</b>		=	38 SPACES

DATE: 08/13/2009	PROJECT: 24 UNIT TOWNHOUSE DEVELOPMENT
DATE: 08/13/2009	CLIENT: YAMAMOTO ARCHITECTURE INC.
DATE: 08/13/2009	DESIGNER: YAMAMOTO ARCHITECTURE INC.
DATE: 08/13/2009	CONTRACTOR: YAMAMOTO ARCHITECTURE INC.

24 UNIT TOWNHOUSE DEVELOPMENT  
YAMAMOTO ARCHITECTURE INC.  
1000 W. GARDEN CITY ROAD  
ROCKFORD, ILL. 61103

Yamamoto  
Architecture Inc.

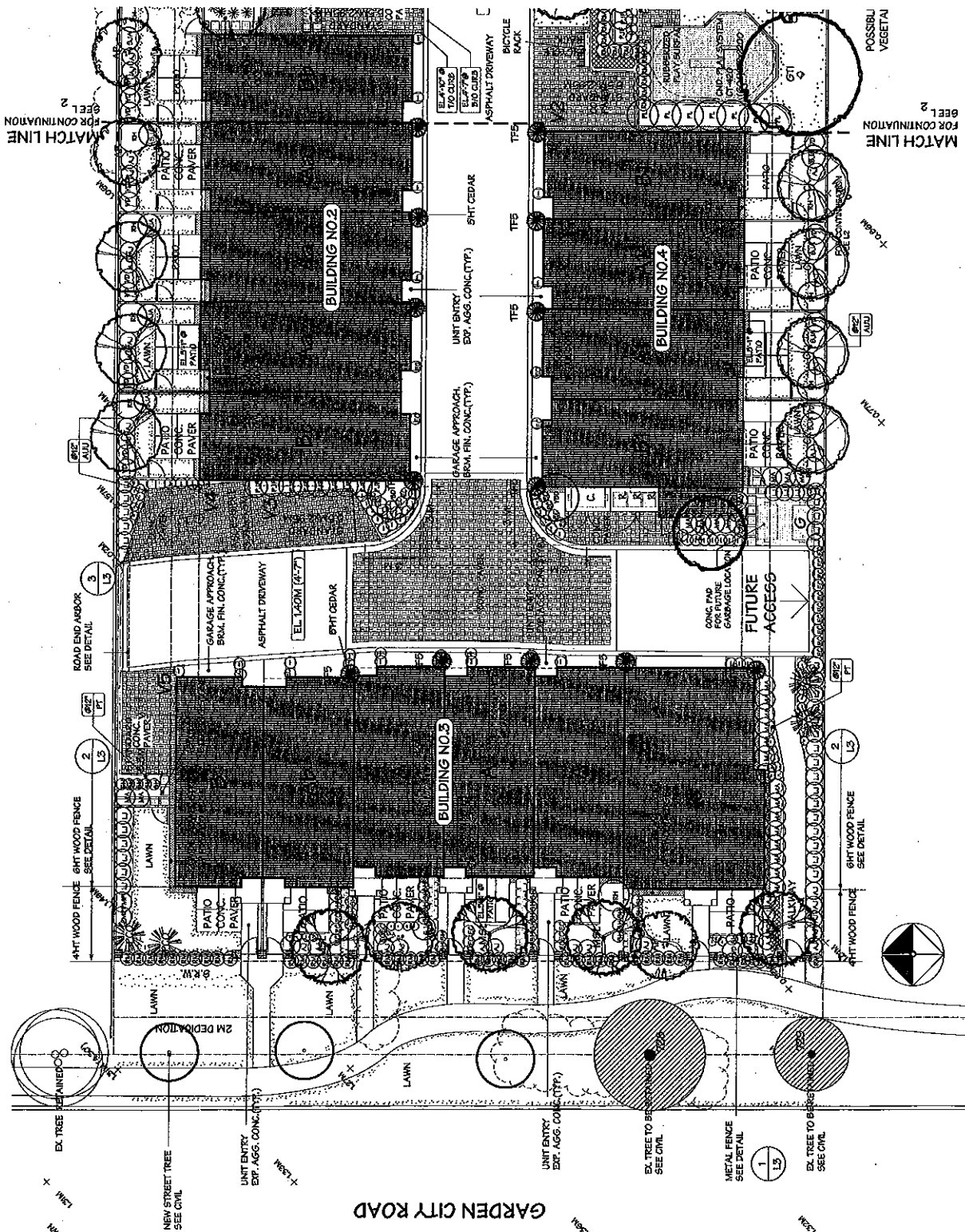
PARKING PLAN  
DATE: 08/13/2009  
DRAWN BY: YAMAMOTO ARCHITECTURE INC.  
PROJECT NO.: 09471540

TOTAL	104 SPACES	38 SPACES
DATE	08/13/2009	08/13/2009
PROJECT	24 UNIT TOWNHOUSE DEVELOPMENT	09471540
CONTRACTOR	YAMAMOTO ARCHITECTURE INC.	09471540

09471540

Pg. 2





GARDEN CITY ROAD



**ITO**  
 & ASSOCIATES  
 Landscape Architects  
 2180 West Street  
 Richmond, B.C. V6E 2L4  
 Phone: (604) 272-2912  
 Fax: (604) 272-2913  
 Email: info@ito.ca

Project:  
 GARDEN CITY RD,  
 7280-7220,  
 RICHMOND, B.C.

Drawing Title:  
 LANDSCAPE PLAN

Plan #3  
 DP 05-471540

DATE	REVISED
2005.05.17	1
2005.05.17	2
2005.05.17	3
2005.05.17	4
2005.05.17	5
2005.05.17	6
2005.05.17	7
2005.05.17	8
2005.05.17	9
2005.05.17	10
2005.05.17	11
2005.05.17	12
2005.05.17	13
2005.05.17	14
2005.05.17	15
2005.05.17	16
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2005.05.17	45
2005.05.17	46
2005.05.17	47
2005.05.17	48
2005.05.17	49
2005.05.17	50

DP 09471540 pg. 3

L1 of 3

PLANT LIST

7340-7350 GARDEN CITY RD, RICHMOND

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TR	1	AGER ORNAMENTUM	YR K. MAPLE	2.5m HT. 50.0 CAL. 3 STEMS (MINI-TOTAL BLOCK CAL)
AF	6	ACER PALMATUM	JAPANESE MAPLE	6.0m CAL. 50.0
AF	3	ACER FLORIDA TURKEY	JAPANESE MAPLE	6.0m CAL. 50.0
CF	1	ACER FLORIDA TURKEY	JAPANESE MAPLE	6.0m CAL. 50.0
PF	1	AGAVE PARVIFLORA	SPIDER PLANT	6.0m CAL. 50.0
GT	1	AGAVE PARVIFLORA	SPIDER PLANT	6.0m CAL. 50.0
MG	3	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	6.0m CAL. 50.0
MBL	6	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	6.0m CAL. 50.0
PCD	6	PERSEA BALAUZE	PERSEA BALAUZE	6.0m CAL. 50.0
PEF	1	PERSEA BALAUZE	PERSEA BALAUZE	6.0m CAL. 50.0
PT	3	PERSEA BALAUZE	PERSEA BALAUZE	6.0m CAL. 50.0
PA	2	PERSEA BALAUZE	PERSEA BALAUZE	6.0m CAL. 50.0
TR	2	PERSEA BALAUZE	PERSEA BALAUZE	6.0m CAL. 50.0
TR	20	PERSEA BALAUZE	PERSEA BALAUZE	6.0m CAL. 50.0

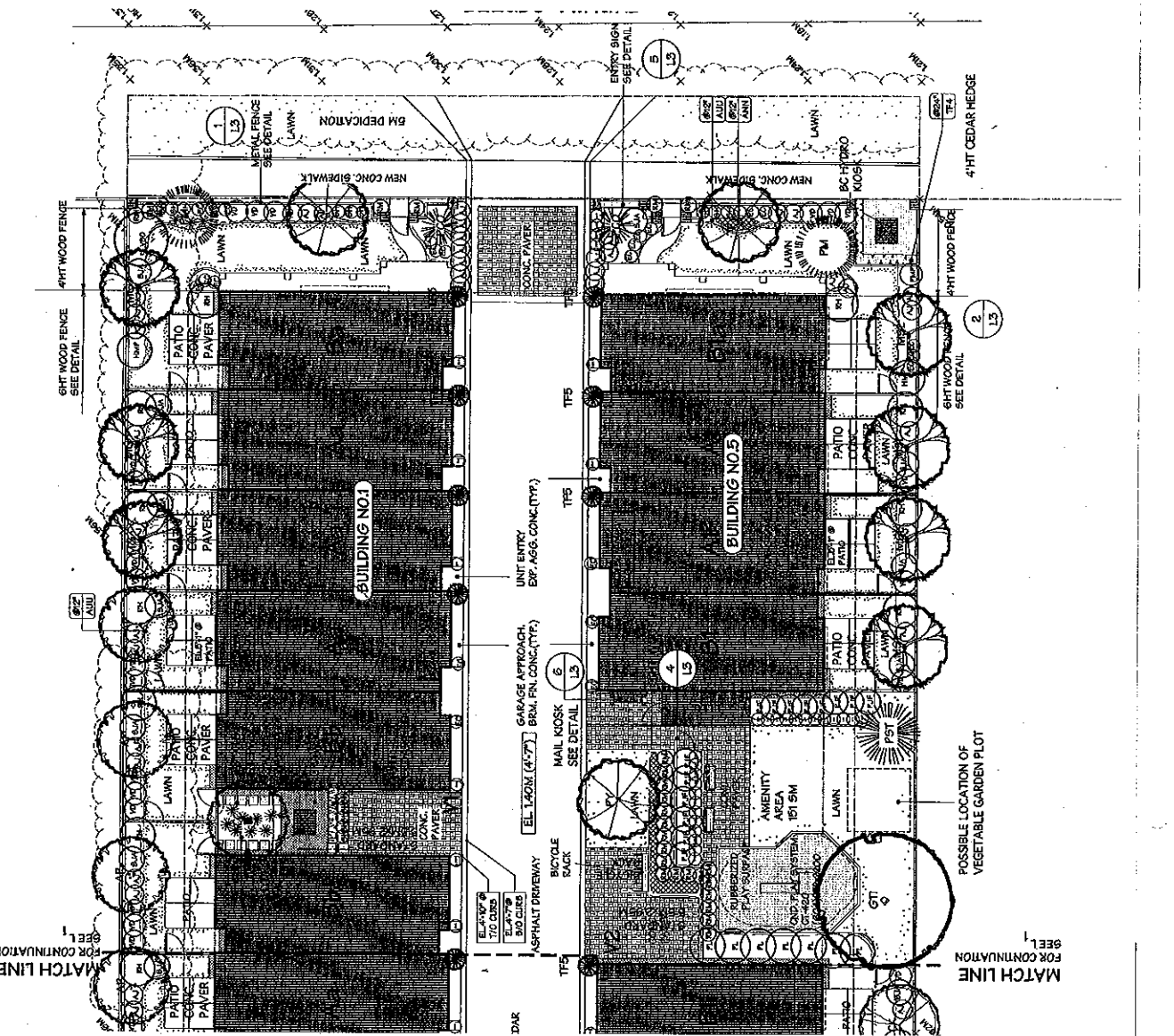
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AJ	67	ADONIS JAPONICA	JAPANESE AZALEA	42 POT
WH	6	ADONIS JAPONICA	JAPANESE AZALEA	42 POT
LI	3	ADONIS JAPONICA	JAPANESE AZALEA	42 POT
MA	27	MANDARIN ARISTOLIUM	MANDARIN ORANGE	42 POT
PLF	25	PERSEA BALAUZE	PERSEA BALAUZE	42 POT
PLF	3	PERSEA BALAUZE	PERSEA BALAUZE	42 POT
PLF	7	PERSEA BALAUZE	PERSEA BALAUZE	42 POT
PLF	9	PERSEA BALAUZE	PERSEA BALAUZE	42 POT
PLF	60	PERSEA BALAUZE	PERSEA BALAUZE	42 POT
PLF	58	PERSEA BALAUZE	PERSEA BALAUZE	42 POT
PLF	58	PERSEA BALAUZE	PERSEA BALAUZE	42 POT
PLF	58	PERSEA BALAUZE	PERSEA BALAUZE	42 POT
PLF	58	PERSEA BALAUZE	PERSEA BALAUZE	42 POT
PLF	58	PERSEA BALAUZE	PERSEA BALAUZE	42 POT
PLF	58	PERSEA BALAUZE	PERSEA BALAUZE	42 POT
PLF	58	PERSEA BALAUZE	PERSEA BALAUZE	42 POT
PLF	58	PERSEA BALAUZE	PERSEA BALAUZE	42 POT
PLF	58	PERSEA BALAUZE	PERSEA BALAUZE	42 POT
PLF	58	PERSEA BALAUZE	PERSEA BALAUZE	42 POT

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ANN	20	ANNUALS	ANNUALS	42 POT

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ALU	50	ALU	ALU	42 POT
PT	60	PT	PT	42 POT

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ALU	50	ALU	ALU	42 POT
PT	60	PT	PT	42 POT

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ALU	50	ALU	ALU	42 POT
PT	60	PT	PT	42 POT



MATCH LINE FOR CONTINUATION

MATCH LINE

POSSIBLE LOCATION OF VEGETABLE GARDEN PLOT

4HT CEDAR HEDGE

8HT WOOD FENCE

8HT WOOD FENCE

8HT WOOD FENCE

8HT WOOD FENCE

8HT WOOD FENCE

8HT WOOD FENCE

8HT WOOD FENCE

8HT WOOD FENCE

REPLACEMENT TREE PLAN

7340-7350 GARDEN CITY RD, RICHMOND

REPLACEMENT TREE PLAN

REPLACEMENT TREE PLAN

REPLACEMENT TREE PLAN

REPLACEMENT TREE PLAN

REPLACEMENT TREE PLAN

REPLACEMENT TREE PLAN

REPLACEMENT TREE PLAN

REPLACEMENT TREE PLAN

REPLACEMENT TREE PLAN

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ANN	20	ANNUALS	ANNUALS	42 POT

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ANN	20	ANNUALS	ANNUALS	42 POT

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ANN	20	ANNUALS	ANNUALS	42 POT

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ANN	20	ANNUALS	ANNUALS	42 POT

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
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KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
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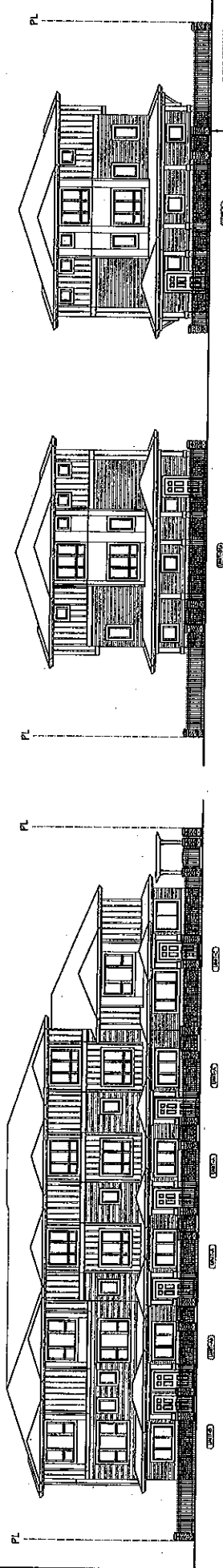
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KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
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KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ANN	20	ANNUALS	ANNUALS	42 POT

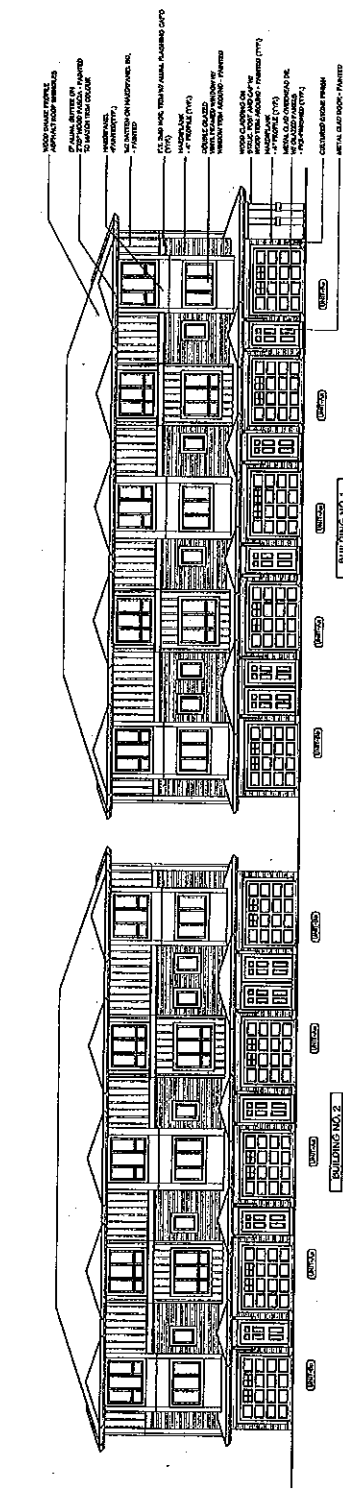




WEST ELEVATION - GARDEN CITY ROAD

EAST ELEVATION - TURNMILL STREET

- 1. ROOF FINISH: 1/2" POLYSTYRENE INSULATION ON 2" X 4" JOISTS
- 2. WALL FINISH: 5/8" BRICK WITH 1/2" POLYSTYRENE INSULATION ON EXTERIOR
- 3. FLOOR FINISH: 1/2" POLYSTYRENE INSULATION ON 2" X 4" JOISTS
- 4. CEILING FINISH: 1/2" POLYSTYRENE INSULATION ON 2" X 4" JOISTS
- 5. EXTERIOR WALL FINISH: 5/8" BRICK
- 6. INTERIOR WALL FINISH: 1/2" GYP BOARD
- 7. FLOOR FINISH: 1/2" POLYSTYRENE INSULATION ON 2" X 4" JOISTS
- 8. CEILING FINISH: 1/2" POLYSTYRENE INSULATION ON 2" X 4" JOISTS



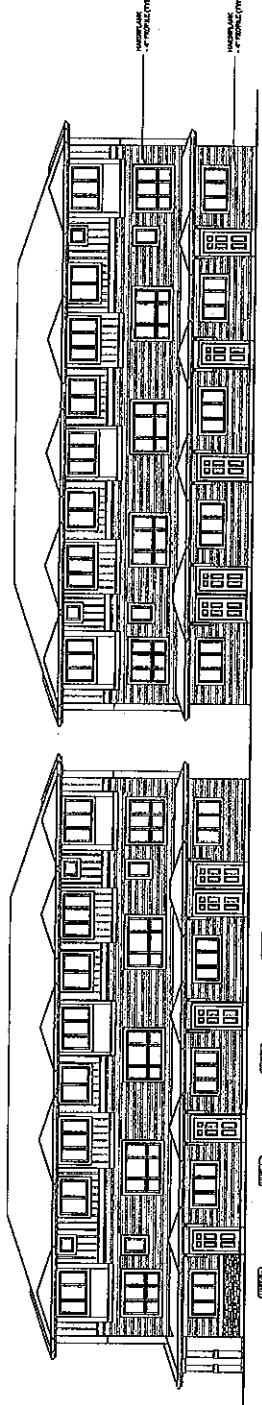
SOUTH ELEVATION

SOUTH ELEVATION

NO.	DATE	DESCRIPTION
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3	12/15/08	REVISED DRAWING
4	01/15/09	REVISED DRAWING
5	02/15/09	REVISED DRAWING
6	03/15/09	REVISED DRAWING
7	04/15/09	REVISED DRAWING
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19	04/15/10	REVISED DRAWING
20	05/15/10	REVISED DRAWING
21	06/15/10	REVISED DRAWING
22	07/15/10	REVISED DRAWING
23	08/15/10	REVISED DRAWING
24	09/15/10	REVISED DRAWING

24 UNIT TOWNHOUSE DEVELOPMENT  
 2407 THE GARDEN CITY ROAD  
 ROBINSON, N.C.  
 Yamamoto Architecture Inc.  
 2804 W. BIRCH RD., SUITE 100  
 WASHINGTON, N.C. 27888  
 PHONE: 704.885.1111  
 FAX: 704.885.1112  
 WWW.YAMAMOTOARCH.COM

- 1. ROOF FINISH: 1/2" POLYSTYRENE INSULATION ON 2" X 4" JOISTS
- 2. WALL FINISH: 5/8" BRICK WITH 1/2" POLYSTYRENE INSULATION ON EXTERIOR
- 3. FLOOR FINISH: 1/2" POLYSTYRENE INSULATION ON 2" X 4" JOISTS
- 4. CEILING FINISH: 1/2" POLYSTYRENE INSULATION ON 2" X 4" JOISTS
- 5. EXTERIOR WALL FINISH: 5/8" BRICK
- 6. INTERIOR WALL FINISH: 1/2" GYP BOARD
- 7. FLOOR FINISH: 1/2" POLYSTYRENE INSULATION ON 2" X 4" JOISTS
- 8. CEILING FINISH: 1/2" POLYSTYRENE INSULATION ON 2" X 4" JOISTS



SOUTH ELEVATION

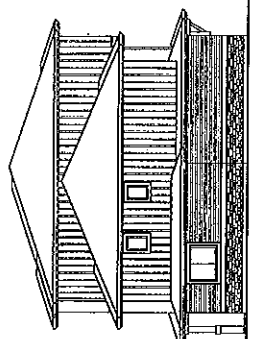
SOUTH ELEVATION

NO.	DATE	DESCRIPTION
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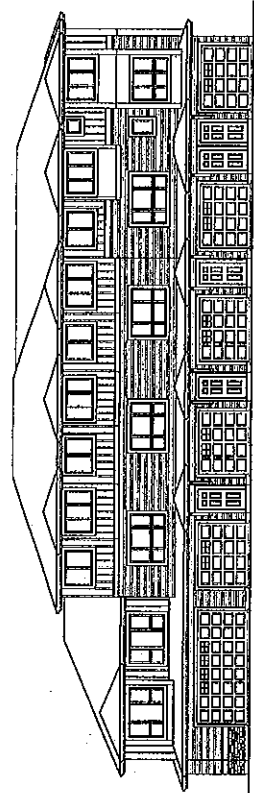
24 UNIT TOWNHOUSE DEVELOPMENT  
 2407 THE GARDEN CITY ROAD  
 ROBINSON, N.C.  
 Yamamoto Architecture Inc.  
 2804 W. BIRCH RD., SUITE 100  
 WASHINGTON, N.C. 27888  
 PHONE: 704.885.1111  
 FAX: 704.885.1112  
 WWW.YAMAMOTOARCH.COM

DR 09471540 PG. 0

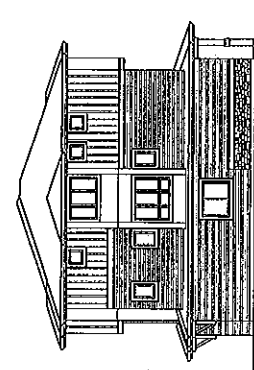
- 1. ROOF RISE
- 2. ROOF RISE
- 3. ROOF RISE
- 4. ROOF RISE
- 5. ROOF RISE



BUILDING NO. 3  
SOUTH ELEVATION

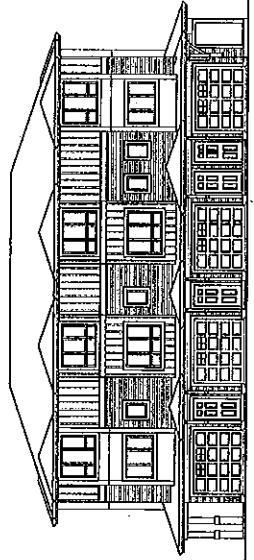


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EAST ELEVATION

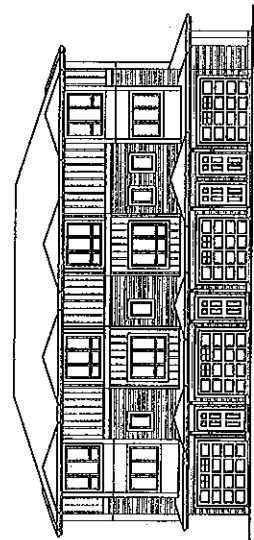


BUILDING NO. 3  
NORTH ELEVATION

- 1. ROOF RISE
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- 3. ROOF RISE
- 4. ROOF RISE
- 5. ROOF RISE

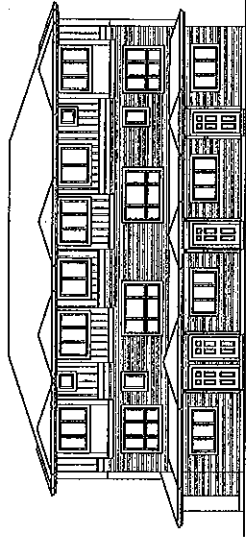


BUILDING NO. 3  
NORTH ELEVATION

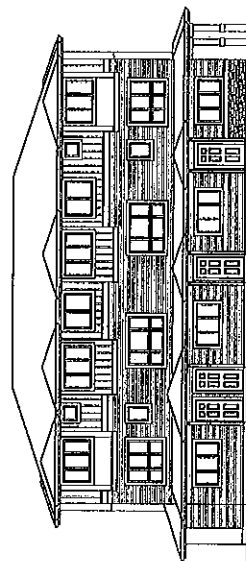


BUILDING NO. 3  
NORTH ELEVATION

- 1. ROOF RISE
- 2. ROOF RISE
- 3. ROOF RISE
- 4. ROOF RISE
- 5. ROOF RISE



BUILDING NO. 3  
SOUTH ELEVATION



BUILDING NO. 3  
SOUTH ELEVATION

NO.	DATE	REVISIONS
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2	08/15/2000	ISSUED FOR PERMIT
3	08/15/2000	ISSUED FOR PERMIT
4	08/15/2000	ISSUED FOR PERMIT
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24 UNIT TOWNHOUSE DEVELOPMENT

7000 THE HAMMER CITY ROAD  
DALLAS, TEXAS 75249

Yamamoto  
Architecture Inc.

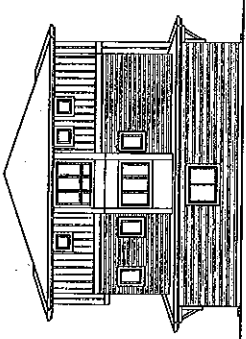
DATE: 08/15/2000  
DRAWN BY: J. YAMAMOTO  
CHECKED BY: J. YAMAMOTO  
SCALE: AS SHOWN

NO.	DATE	REVISIONS
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2	08/15/2000	ISSUED FOR PERMIT
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5	08/15/2000	ISSUED FOR PERMIT

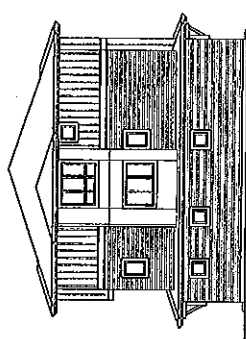
09471540  
SOUTH ELEVATION  
Pg. 7

Plan #5  
09-09-471540

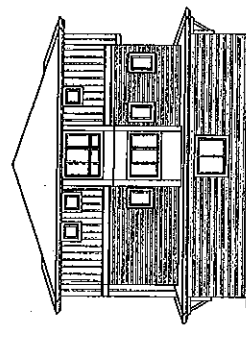
- 1. ROOF FINISH: 1/2" ASPHALT/FLUTE SHINGLES
- 2. 1" x 4" SIPS
- 3. 2" x 4" SIPS
- 4. 2" x 6" SIPS
- 5. 2" x 8" SIPS
- 6. 2" x 10" SIPS



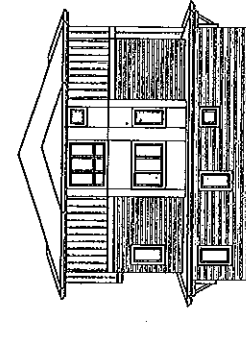
BUILDING NO. 1  
WEST ELEVATION



BUILDING NO. 2  
WEST ELEVATION

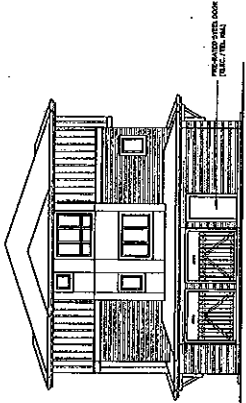


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EAST ELEVATION

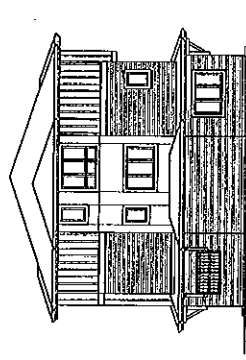


BUILDING NO. 3  
EAST ELEVATION

- 1. ROOF FINISH: 1/2" ASPHALT/FLUTE SHINGLES
- 2. 1" x 4" SIPS
- 3. 2" x 4" SIPS
- 4. 2" x 6" SIPS
- 5. 2" x 8" SIPS
- 6. 2" x 10" SIPS



BUILDING NO. 3  
WEST ELEVATION



BUILDING NO. 3  
WEST ELEVATION

NO.	DATE	REVISIONS
1	10/15/2009	CONCEPT
2	10/15/2009	CONCEPT
3	10/15/2009	CONCEPT
4	10/15/2009	CONCEPT
5	10/15/2009	CONCEPT
6	10/15/2009	CONCEPT
7	10/15/2009	CONCEPT
8	10/15/2009	CONCEPT
9	10/15/2009	CONCEPT
10	10/15/2009	CONCEPT

PROJECT: 24 UNIT TOWNHOUSE DEVELOPMENT  
 DEVELOPER: YAMAMOTO ARCHITECTURE INC.  
 ARCHITECT: YAMAMOTO ARCHITECTURE INC.  
 PROJECT LOCATION: 7942 PARKWAY CITY ROAD, WASHINGTON, D.C.

7942 PARKWAY CITY ROAD  
 WASHINGTON, D.C.

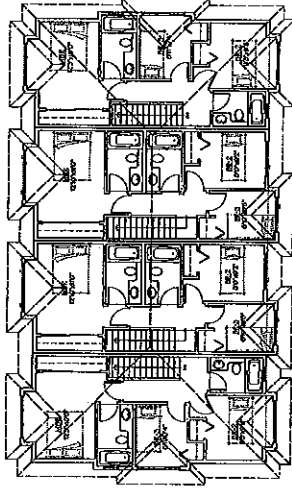
Yamamoto  
 Architecture Inc.

DATE: 10/15/2009  
 DRAWING TITLE: ELEVATIONS

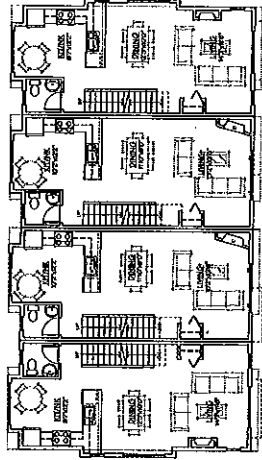
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1/8" = 1'-0"	Plan #6
DATE: 10/15/2009	DP 09-471540
DRAWN BY: JH	PROJECT NO.
CHECKED BY:	NO.

DP 09471540 Pg. 8

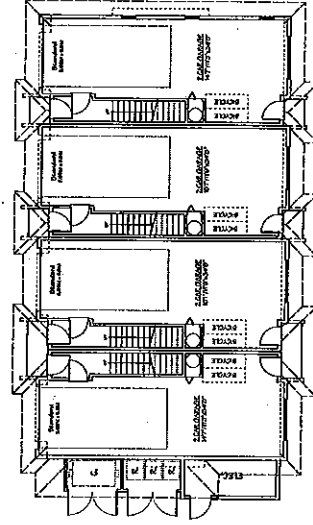




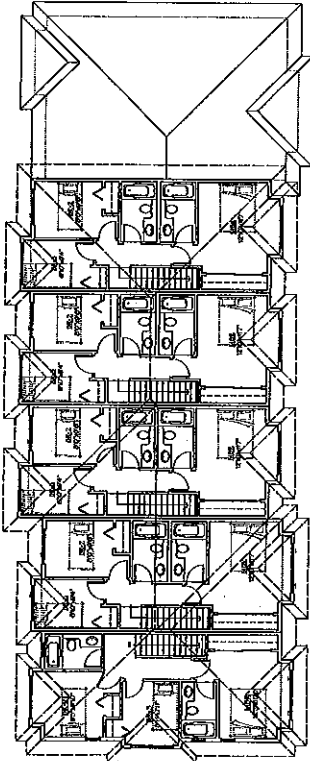
UPPER FLOOR PLAN  
SCALE 1/8" = 1'-0"



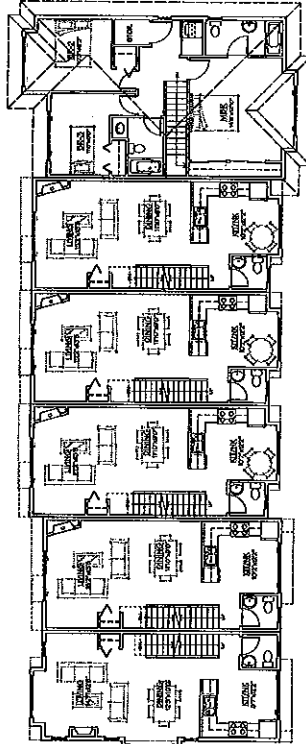
UPPER FLOOR PLAN  
SCALE 1/8" = 1'-0"



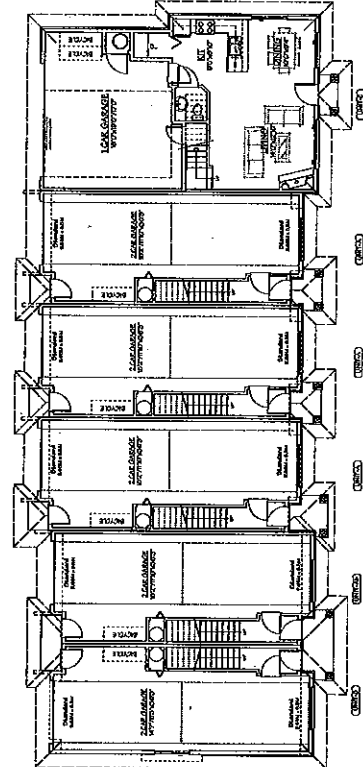
SECOND FLOOR PLAN  
SCALE 1/8" = 1'-0"



UPPER FLOOR PLAN  
SCALE 1/8" = 1'-0"



UPPER FLOOR PLAN  
SCALE 1/8" = 1'-0"



GROUND FLOOR PLAN  
SCALE 1/8" = 1'-0"

GROUND FLOOR PLAN  
SCALE 1/8" = 1'-0"

PROJECT	24 UNIT TOWNHOUSE DEVELOPMENT
DATE	REVISIONS
NO.	DESCRIPTION

24 UNIT TOWNHOUSE DEVELOPMENT

2740 TWIN LAKES CITY ROAD  
MICHIGAN, B.L.

Yamamoto Architecture Inc.

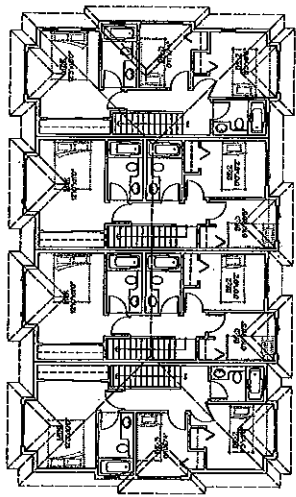
CONTACT: YAMAMOTO ARCHITECTURE INC.  
ADDRESS: 1000 W. HENRI ST., SUITE 1000  
ANN ARBOR, MI 48106-1500  
PHONE: (313) 963-1122  
FAX: (313) 963-1123

FLOOR PLANS

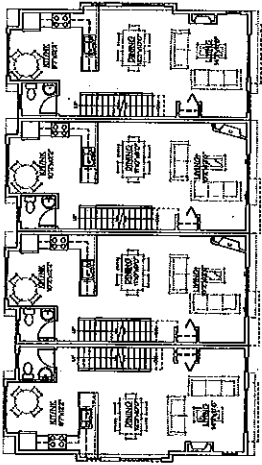
DATE	SCALE	PROJECT NO.	PLAN #8
FLOOR PLAN	1/8" = 1'-0"	DP 09-471540	
DATE	SCALE	PROJECT NO.	PLAN #8
FLOOR PLAN	1/8" = 1'-0"	DP 09-471540	

GROUND FLOOR PLAN  
SCALE 1/8" = 1'-0"  
BUILDING NO. 2 DP 09 4 7154 09.10  
BUILDING NO. 3

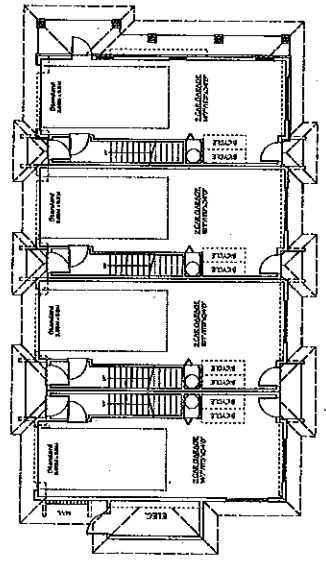




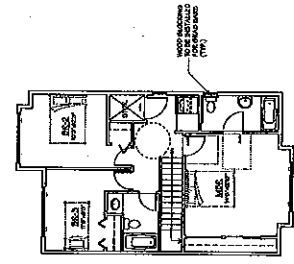
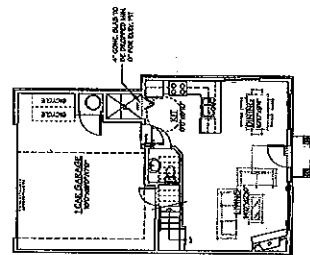
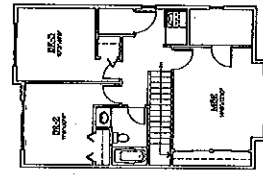
UPPER FLOOR PLAN  
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



UNIT C (BLDG. NO. 3) POSSIBLE ACCESSIBLE UNIT CONVERSION  
SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

DP 09471540

PG. 11

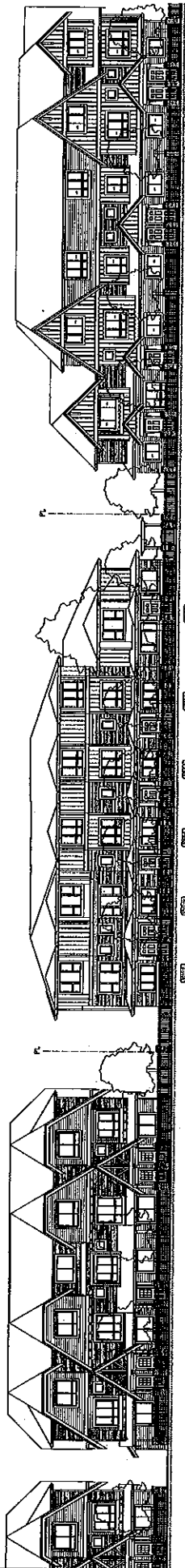
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10/15/08	ISSUED FOR PERMITS
08/15/08	ISSUED FOR PERMITS
08/15/08	ISSUED FOR PERMITS
08/15/08	ISSUED FOR PERMITS
08/15/08	ISSUED FOR PERMITS
08/15/08	ISSUED FOR PERMITS
08/15/08	ISSUED FOR PERMITS
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08/15/08	ISSUED FOR PERMITS
08/15/08	ISSUED FOR PERMITS

24 UNIT TOWNHOUSE DEVELOPMENT

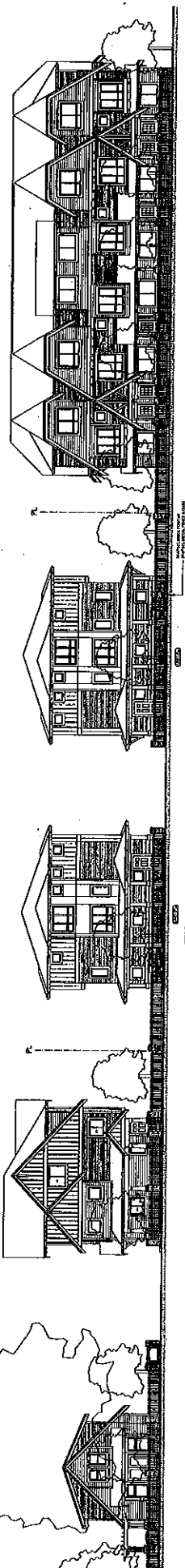
Yamamoto Architecture Inc.

FLOOR PLANS

PROJECT NO.	DP 09471540
DATE	10/15/08
SCALE	1/8" = 1'-0"
PROJECT NAME	24 UNIT TOWNHOUSE DEVELOPMENT
PROJECT NO.	DP 09471540



WEST ELEVATION - GARDEN CITY ROAD



EAST ELEVATION - TURNMILL STREET

DP 09471540 Pg. 12

PROJECT	24 UNIT TOWNHOUSE DEVELOPMENT
CLIENT	YAMAMOTO ARCHITECTURE INC.
DATE	07/18/09
SCALE	1/8" = 1'-0"
DRAWN BY	YAMAMOTO ARCHITECTURE INC.
CHECKED	YAMAMOTO ARCHITECTURE INC.
PROJECT NO.	DP 09471540
DATE	07/18/09

Yamamoto  
Architecture Inc.

PROJECT	24 UNIT TOWNHOUSE DEVELOPMENT
CLIENT	YAMAMOTO ARCHITECTURE INC.
DATE	07/18/09
SCALE	1/8" = 1'-0"
DRAWN BY	YAMAMOTO ARCHITECTURE INC.
CHECKED	YAMAMOTO ARCHITECTURE INC.
PROJECT NO.	DP 09471540
DATE	07/18/09

DATE	07/18/09	ISSUED FOR PERMIT
DATE		REVISED
DATE		REVISED
DATE		REVISED
DATE		REVISED