



City of Richmond
Planning and Development Department

Report to Development Permit Panel

To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: June 3, 2011
File: DP 10-556148
Re: **Application by Gagan Chadha for a Development Permit at 9131 and
9151 Williams Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of nine (9) townhouse units at 9131 and 9151 Williams Road on a site zoned Low Density Townhouses (RTL4); and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to allow six (6) tandem parking spaces in three (3) of the nine (9) townhouse units.

Brian J. Jackson, MCIP
Director of Development

EL:blg
Att.

Staff Report

Origin

Gagan Chadha has applied to the City of Richmond for permission to develop nine (9) townhouse units at 9131 and 9151 Williams Road. This site is being rezoned from Single Detached (RS1/E) to Low Density Townhouses (RTL4) for this project under Bylaw 8656 (RZ 08-423193). The site is currently vacant. Road and infrastructure improvements were secured through the rezoning and will be constructed through the separate required Servicing Agreement (SA 10-532605). Works include, but are not limited to upgrades to the existing storm and sanitary systems, replacement of concrete sidewalk, and relocation of existing street trees.

Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: Existing single-family dwellings on lots zoned "Single Detached" (RS1/E);

To the East: Existing single-family dwellings on lots zoned Single Detached (RS1/E);

To the South: Across Williams Road, existing single-family dwellings on lots zoned Single Detached (RS1/E) and South Arm Community Centre; and

To the West: One (1) existing single-family dwelling on a Single Detached (RS1/E) zoned lot (9111 Williams Road) and then a recently developed nine (9) unit townhouse development (9071 Williams Road). It is noted that a cross-access easement to 9111 Williams Road from 9071 Williams Road is secured at rezoning for 9071 Williams Road.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Opportunities to enlarge the outdoor amenity space;
- Opportunities to maximize permeable surface areas; and
- Opportunities to share the garbage/recycling facilities with future adjacent developments.

Staff worked with the applicant to address these issues in the following ways:

- The outdoor amenity area has been widened and enlarged. The size of the amenity area has been increased from 88 m² to 93.8 m² (only 54 m² is required in accordance with the OCP).
- The lot coverage of permeable surfaces including landscaping has been increased from 40% to 41.7%.

- It is noted that 9171 Williams Road contains an older, small single-family dwelling and has potential for redevelopment. On the contrary, 9191 Williams Road contains a newer single-family dwelling and the possibility of redevelopment in the near future is much lower. Therefore, it is envisioned that 9171 Williams Road will be developed as an extension to the subject development in the future. Due to the small size of developable area of 9171 Williams Road, the applicant has agreed to share the garbage/recycling facilities at the subject site with the future development at 9171 Williams Road. A cross-access easement/agreement is required to be registered on Title to facilitate this arrangement.

The Public Hearing for the rezoning of this site was held on November 15, 2010. The following concerns were expressed during the Public Hearing. The response to the concern is provided in *italics*.

1. Concern that the proposed townhouse development would reduce privacy and sunlight to the existing single-family homes to the north, as well as increase noise and activities in the area.

A row of existing Maple trees on the adjacent property to the north, the proposed new trees in the rear yard, and the proposed 1.8 m (6 ft.) high fence along the rear property line would protect the privacy and reduce the activity/traffic noise to the neighbouring homes to the north. The back units are carefully designed with 2-storey massing; shadow casting will not be a critical issue as the proposed rear yard setback of 4.5 m is greater than the requirement under the RTL4 zone (3.0 m).

2. Concern that the proposed townhouse development would create an orphan lot at 9111 Williams Road and lessen the development potential of that property.

The applicant's architect confirmed that 9111 Williams Road is large enough to accommodate two (2) duplex buildings with an average unit size of 1450 ft² (based on 0.6 FAR). The access will be provided from adjacent townhouse development to the west at 9071 Williams Road (a cross-access easement has been secured). A development concept plan is on file.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the Low Density Townhouses (RTL4) zone except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to allow six (6) tandem parking spaces in three (3) of the nine (9) townhouse units.

(Staff supports the proposed tandem parking arrangement on the basis that the tandem parking arrangement is generally accepted in small developments to reduce the site coverage. A restrictive covenant to prohibit the conversion of the garage area into habitable space will be required as a condition of the Development Permit.)

Advisory Design Panel Comments

The subject application was not presented to the Advisory Design Panel on the basis that the project generally met all the applicable Development Permit Guidelines, and the overall design and site plan adequately addressed staff comments.

Analysis

Conditions of Adjacency

- The proposed height, siting and orientation of the buildings respect the massing of the existing single-family homes adjacent to the site.
- The three-storey units proposed on-site are centrally located. All end units in the street fronting building (adjacent to the neighbouring single-family house to the west, as well as adjacent to the entry driveway along the east edge of the site) have been stepped down from three (3) storeys to two (2) storeys.
- Two-storey duplex units are proposed on the northern portion of the site in recognition of the adjacent existing single-family rear yards, and to minimize privacy and overlook concerns. The proposed rear yard setback of 4.5 m exceeds the requirements of the RTL4 zone (3.0 m) and is consistent with the guidelines in the Arterial Road Redevelopment Policy (4.5 m).
- Adjacent properties to the east and west are expected to be redeveloped into townhouse complexes in the future. A conceptual development of these sites for illustration purposes is on file. Future development at the adjacent property to the west (9111 Williams Road) will be accessed through the driveway at 9071 Williams Road. A cross-access agreement, allowing access to/from the future development site to the east (9171 Williams Road, and consolidation thereof) via the subject site has been secured at rezoning.

Urban Design and Site Planning

- The layout of the townhouse units is organized around one (1) driveway providing access to the site from Williams Road and an east-west drive aisle providing access to all unit garages.
- The proposed drive aisle arrangement does not allow for on-site truck turning. The arrangement is accepted as an interim arrangement as trucks will be able to turn on-site at the time the adjacent property to the east, at 9171 Williams Road, redevelops.
- All units have two (2) vehicle parking spaces. Tandem parking spaces are proposed in three (3) of the street fronting units.
- A total of two (2) standard visitor parking spaces are provided. All of the visitor parking spaces are located within the side yard setback. Accessible visitor parking space is not required for this small development.
- Outdoor amenity space is provided in accordance with the OCP and is designed to promote both active and passive use. The outdoor amenity is proposed at the northeast corner of the site opposite to the entry driveway and is visible from Williams Road. It is envisioned that the outdoor amenity area for the future development at the adjacent property to the east is to be located along the shared property line to create a wider amenity space.

Architectural Form and Character

- A pedestrian scale is achieved along the public street and internal drive aisle with the inclusion of variation in building height, projections, recesses, entry porches, varying material combinations, a range of colour finishes, landscape features, and individual unit gates. All units along Williams Road have direct access from the street.
- A mix of gable roofs and hip roofs reinforces change in massing towards the cluster ends to facilitate scale transition to existing single-family dwelling to the east and west.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, secondary unit entrances, and planting islands.
- The proposed building materials (Hardie-Plank siding, Hardie-Panel, wood grain vinyl siding, wood trim, and asphalt roof shingles) are generally consistent with the Official Community Plan (OCP) Guidelines and compatible with both the existing single-family character of the neighbourhood and multi-family character being introduced along Williams Road.
- A visual contrast is achieved by the use of darker coloured trims on lighter coloured siding. The gables are accented with roasted pepper colour shingle siding that further breaks down the overall scale of the building.
- One (1) convertible unit has been incorporated into the design. In addition, accessibility features that allow for aging in place have been incorporated into all units in this development (i.e. blocking in all bathrooms for grab-bars, level handle for all doors, and lever faucet in all bathrooms and powder rooms).

Landscape Design and Open Space Design

- The developer has agreed to protect four (4) trees located on the adjacent property to the north (9211 Pinewell Crescent) and four (4) trees on the adjacent property to the east (9171 Williams Road). A contract with a Certified Arborist to monitor all works to be done near or within all tree protection zones must be submitted prior to Development Permit issuance.
- All nine (9) bylaw-size trees noted on-site were identified for removal at rezoning stage due to the poor condition, as well as proposed change of site grade and conflicts with the proposed building footprints. 18 replacement trees are required.
- After the rezoning application for the development proposal achieved Third Reading, a Tree Permit was issued to allow for the removal of all bylaw-sized trees on-site due to impeding of building demolition.
- The applicant is proposing to plant 13 replacement trees on-site and provide cash-in-lieu in the amount of \$2,500 for off-site planting of the balance of the replacement trees (5 trees) prior to issuance of the Development Permit.
- Two (2) conifer and 11 deciduous trees are proposed on-site; hedges, an assortment of shrubs and ground covers, and perennials and grasses have been selected to ensure the landscape treatment remains interesting throughout the year.
- A low metal fence, punctuated by masonry columns at individual gate entrances, will be introduced to demarcate private space and individual grade level unit entrances along the street frontage.

- Fence along the street frontage is 0.45 m setback from the property line to allow for a landscaped area between the fence and the edge of the public sidewalk.
- Children's play equipment intended to develop experimenting and pretending skills as well as engaging interactions between children is proposed in the outdoor amenity area.
- Benches are proposed adjacent to the children's play area to create an opportunity for passive surveillance of the outdoor amenity area.
- Indoor amenity space is not proposed on-site. A \$9,000 cash-in-lieu contribution has been secured as a condition of rezoning approval.

Crime Prevention Through Environmental Design

- The site plan and individual unit design create opportunity for passive surveillance of both of the street frontage, outdoor amenity space, and internal drive aisle.
- Individual unit entrances are visible from either the public street or the internal drive aisle.
- Space differentiation (public, semi public, private) is achieved through the use of fences, gates, and landscape features.
- Low planting is proposed along edges of buildings to keep the entry area open and visible.
- Windows overlook the outdoor amenity space is integrated in the design of Building No. 1 to increase surveillance opportunity.

Sustainability

- Drought tolerant and native planting materials are incorporated into the landscaping design.
- Permeable pavers are proposed on portions of the internal driveway to improve the permeability of the site and reduce volume of storm water discharge to the domestic utility services. The lot coverage for permeable area (including landscaping) is 41.7%.
- Black top surface area is minimized to reduce Heat Island Effect on the site.
- All large windows on the south façade are protected by roof eaves, which will shut the strong sunlight in summer but allow natural light to come in winter.
- Energy efficient lighting fixture, water efficient toilet, temperature controller in each room will be provided to conserve energy and water.

Conclusions

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. Therefore, staff recommend support of this Development Permit application.



Edwin Lee
Planning Technician – Design
(604-276-4121)

EL:blg

The following are to be met prior to forwarding this application to Council for approval:

- Registration of a cross-access easement to allow future development at 9171 Williams Road to use the garbage/recycling facilities at the subject site;
- Registration of a covenant prohibiting the conversion of parking area into habitable space;
- Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of trees to be retained on adjacent properties. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
- City acceptance of the developer's offer to voluntarily contribute \$2,500 to the City's Tree Compensation Fund for the planting of five (5) replacement trees within the City; and
- Receipt of a Letter-of-Credit for landscaping in the amount of \$31,818 (based on total floor area of 15,909 ft²).

Prior to future Building Permit issuance, the developer is required to complete the following:

- Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- Incorporation of accessibility measures in Building Permit (BP) plans as determined via the rezoning and/or Development Permit processes.
- Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.



City of Richmond

6911 No. 3 Road
Richmond, BC V6Y 2C1
www.richmond.ca
604-276-4000

Development Application Data Sheet

Development Applications Division

DP 10-556148

Attachment 1

Address: 9131 and 9151 Williams Road

Applicant: Gagan Chadha

Owner: 0896280 BC Ltd.

Planning Area(s): Broadmoor

Floor Area Gross: 1,478 m² (15,909 ft²)

Floor Area Net: 1,067 m² (14,485 ft²)

	Existing	Proposed
Site Area:	1,778.3 m ² (19,142 ft ²)	No change
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Low-Density Residential	No Change
Zoning:	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
Number of Units:	2	9

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6	0.6	none permitted
Lot Coverage – Building:	Max. 40%	38.8%	none
Lot Coverage – Non-porous Surfaces	Max. 70%	58.3%	none
Lot Coverage – Landscaping:	Min. 30%	32%	none
Setback – Front Yard (m):	Min. 6 m	6.0 m	none
Setback – Side Yard (East) (m):	Min. 3 m	5.3 m	none
Setback – Side Yard (West) (m):	Min. 3 m	3.0 m	none
Setback –Rear Yard (m):	Min. 3 m	4.5 m	none
Height (m):	12.0 m (3 storeys)	10.5 m	none
Lot Size (min. dimensions):	min. 40 m wide x 30 m deep	min. 40.2 m wide x 42.0 m deep	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	20	20	none
Tandem Parking Spaces:	not permitted	6	variance requested
Off-street Parking Spaces - Accessible	0	0	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.25 (Class 1) and 0.2 (Class 2) per unit	none
Off-street Parking Spaces – Total:	12 (Class 1) and 2 (Class 2)	12 (Class 1) and 2 (Class 2)	none

Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	\$9,000 cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 9 units = 54 m ²	93.8 m ²	none



No. DP 10-556148

To the Holder: GAGAN CHADHA
Property Address: 9131 AND 9151 WILLIAMS ROAD
Address: #113 – 6033 LONDON ROAD
RICHMOND, BC V7E 0A7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to allow six (6) tandem parking spaces in three (3) of the nine (9) townhouse units.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$31,818.00. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 10-556148

To the Holder: GAGAN CHADHA
Property Address: 9131 AND 9151 WILLIAMS ROAD
Address: #113 – 6033 LONDON ROAD
RICHMOND, BC V7E 0A7

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. _____
DAY OF _____,

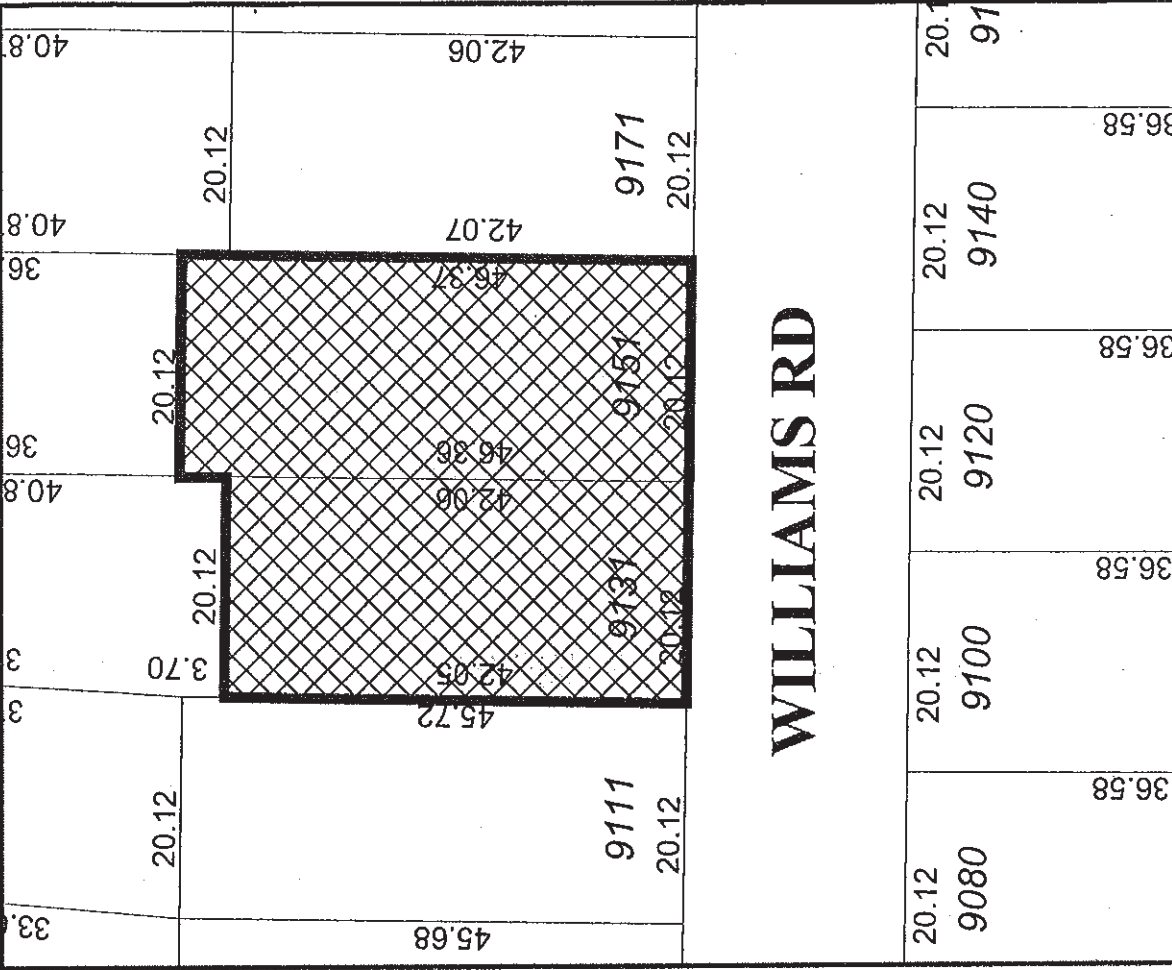
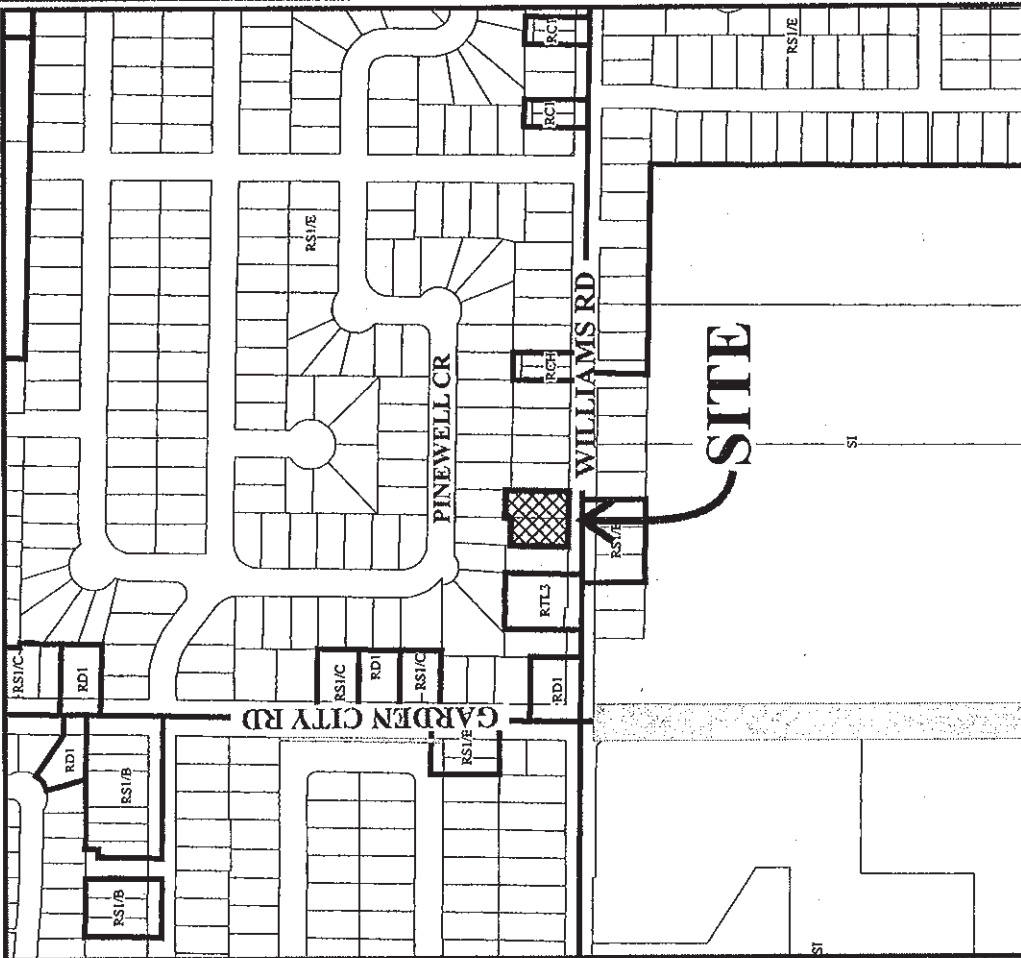
ISSUED BY THE COUNCIL THE

DELIVERED THIS _____ DAY OF _____,

MAYOR



City of Richmond



DP 10-556148 SCHEDULE "A"

Original Date: 01/05/11

Revision Date:

Note: Dimensions are in METRES

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF ATLANTA ZONING ORDINANCES AND ALL APPLICABLE CODES.
 2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ATLANTA.
 3. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE SPECIFIED.
 5. THE DEVELOPER SHALL MAINTAIN ALL EXISTING TREES UNLESS OTHERWISE SPECIFIED.
 6. THE DEVELOPER SHALL MAINTAIN ALL EXISTING DRIVEWAYS AND SIDEWALKS UNLESS OTHERWISE SPECIFIED.
 7. THE DEVELOPER SHALL MAINTAIN ALL EXISTING FENCES UNLESS OTHERWISE SPECIFIED.
 8. THE DEVELOPER SHALL MAINTAIN ALL EXISTING SIGNAGE UNLESS OTHERWISE SPECIFIED.
 9. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE SPECIFIED.
 10. THE DEVELOPER SHALL MAINTAIN ALL EXISTING TREES UNLESS OTHERWISE SPECIFIED.
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 12. THE DEVELOPER SHALL MAINTAIN ALL EXISTING FENCES UNLESS OTHERWISE SPECIFIED.
 13. THE DEVELOPER SHALL MAINTAIN ALL EXISTING SIGNAGE UNLESS OTHERWISE SPECIFIED.

STATISTICS:

1. TOTAL GROSS FLOOR AREA: 1,100,000 SQ. FT.
 2. TOTAL GROSS VOLUME: 11,000,000 CU. FT.
 3. TOTAL NUMBER OF UNITS: 100
 4. TOTAL NUMBER OF PARKING SPACES: 100
 5. TOTAL NUMBER OF BICYCLE SPACES: 100
 6. TOTAL NUMBER OF AMENITY SPACES: 100
 7. TOTAL NUMBER OF CONVERTIBLE UNITS: 100

F.A.R.:

1. F.A.R. 1.0
 2. F.A.R. 2.0
 3. F.A.R. 3.0
 4. F.A.R. 4.0
 5. F.A.R. 5.0
 6. F.A.R. 6.0
 7. F.A.R. 7.0
 8. F.A.R. 8.0
 9. F.A.R. 9.0
 10. F.A.R. 10.0

PARKING:

1. 100 SPACES REQUIRED
 2. 100 SPACES PROVIDED
 3. 100 SPACES AVAILABLE

BICYCLE:

1. 100 SPACES REQUIRED
 2. 100 SPACES PROVIDED
 3. 100 SPACES AVAILABLE

AMENITY AREA:

1. 100 SPACES REQUIRED
 2. 100 SPACES PROVIDED
 3. 100 SPACES AVAILABLE

CONVERTIBLE UNIT:

1. 100 SPACES REQUIRED
 2. 100 SPACES PROVIDED
 3. 100 SPACES AVAILABLE

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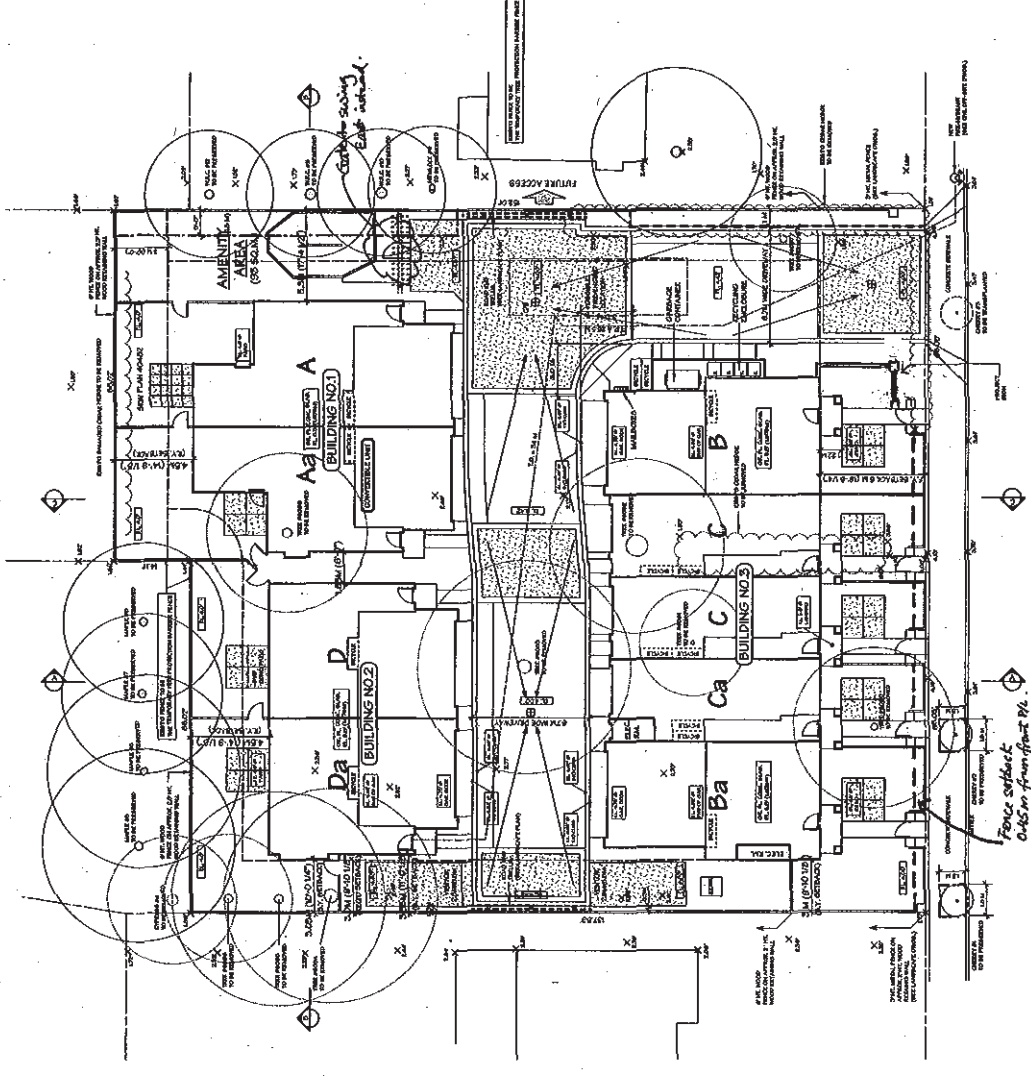
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CONVERTIBLE UNIT:

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 3. 100 SPACES AVAILABLE

CONVERTIBLE UNIT:

1. 100 SPACES REQUIRED
 2. 100 SPACES PROVIDED
 3. 100 SPACES AVAILABLE



LEGEND:

- AMENITY AREA
- CONVERTIBLE UNIT
- PARKING SPACE
- BICYCLE SPACE
- STREET
- UTILITY
- SETBACK

SITE PLAN
SCALE: 1/8" = 1'-0"

WILLIAMS ROAD

GARDEN CITY ROAD

PHENIX COLLEGE

SUMMIT SITE

CONVERTIBLE UNIT

AMENITY AREA

PARKING SPACE

BICYCLE SPACE

STREET

UTILITY

SETBACK

Force setback 6.5m from front Pt.

AMENITY AREA

CONVERTIBLE UNIT

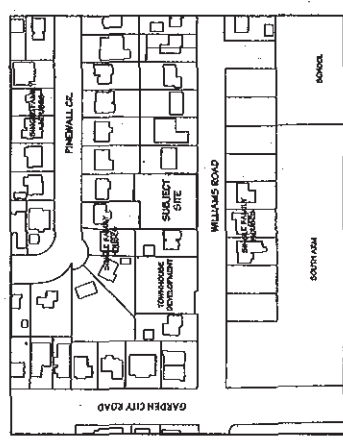
PARKING SPACE

BICYCLE SPACE

STREET

UTILITY

SETBACK



DP 10556148

JUN 03 2011

PLAN #1

AREA PLAN
SCALE: 1/8" = 1'-0"

STATISTICS
SITE PLAN

Yamamoto Architecture Inc.
1111 A ST. WILLIAMS ROAD
MARIETTA, GA

9 UNIT TOWNHOUSE DEVELOPMENT

1

GENERAL NOTES:

ALL WORK SHOWN SHALL BE INSTALLED IN ACCORDANCE WITH THE
FACILITY PUBLIC WORKS INSTALLATION (PWI)
LATEST TYPE CODE MANUALS AND PLUMBING FIXTURES TO BE USED IN ALL UNITS.

2-3 SPACES @ 4 UNITS	18 SPACES (RESERVED)
2-2 SPACES @ 4 UNITS	2 SPACES (UNRESERVED)
TOTAL	20 SPACES
2 CAR GARAGE @ 4 UNITS	18 SPACES (RESERVED)
2-2 SPACES @ 4 UNITS	2 SPACES (UNRESERVED)
TOTAL	20 SPACES

2-2 SPACES @ 4 UNITS	18 SPACES
2-2 SPACES @ 4 UNITS	2 SPACES
TOTAL	20 SPACES
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TOTAL	20 SPACES

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TOTAL	20 SPACES
2-2 SPACES @ 4 UNITS	18 SPACES
2-2 SPACES @ 4 UNITS	2 SPACES
TOTAL	20 SPACES

PARKING

RESERVED
UNRESERVED

BICYCLE:

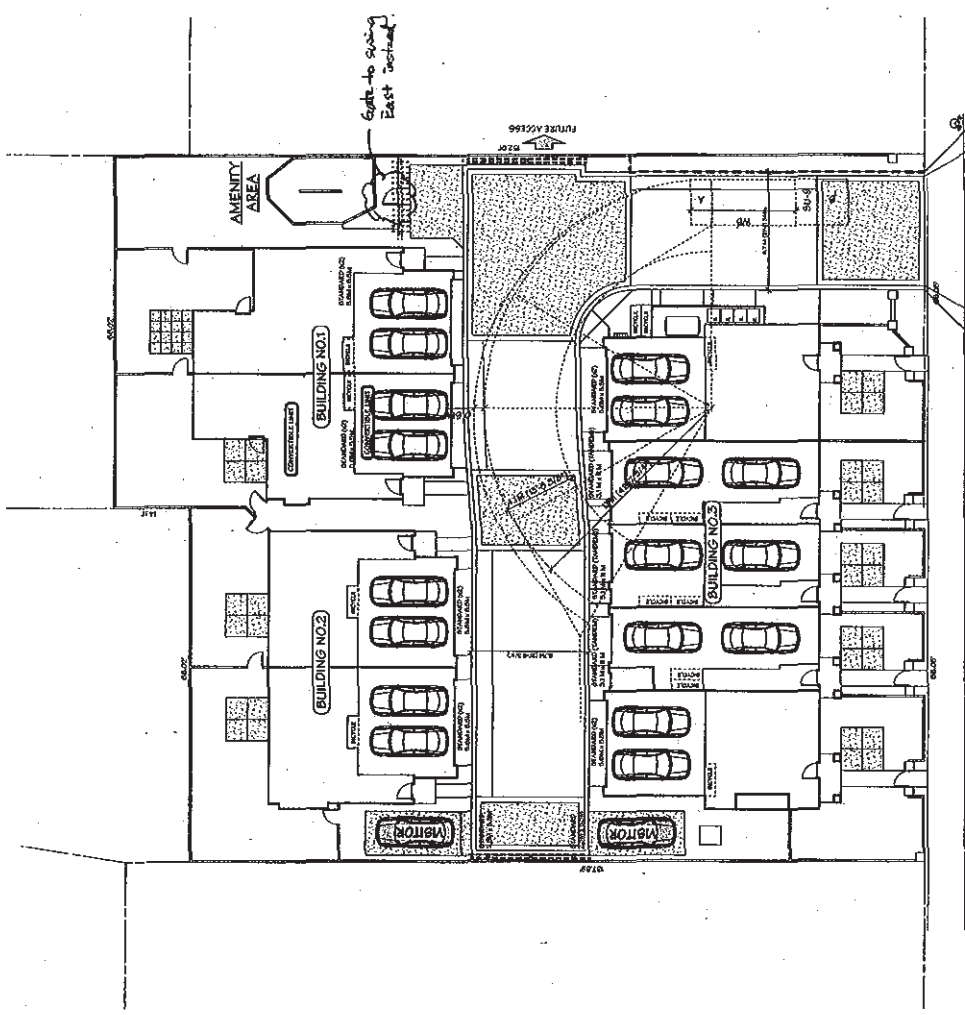
RESERVED
UNRESERVED

AMENITY AREA:

RESERVED
UNRESERVED

CONVERTIBLE UNIT:

RESERVED
UNRESERVED



PARKING PLAN
SCALE: 1/8" = 1'-0"

0 10 20 40

WILLIAMS ROAD

DATE	10/12/2011
PROJECT	9 UNIT TOWNHOUSE DEVELOPMENT
CLIENT	YAMAMOTO ARCHITECTURE INC.
NO.	101
DATE	10/12/2011
REVISION	
CONTRACT NO.	

YAMAMOTO ARCHITECTURE INC.
101 N. 10TH ST.
COLUMBIA, SC 29201
TEL: 803.733.1111
WWW.YAMAMOTOARCH.COM

9 UNIT TOWNHOUSE DEVELOPMENT
101 N. 10TH ST.
COLUMBIA, SC 29201

Yamamoto
Architecture Inc.

101 N. 10TH ST.
COLUMBIA, SC 29201
TEL: 803.733.1111
WWW.YAMAMOTOARCH.COM

PARKING PLAN

JUN 03, 2011 PLAN # 2
DP 10556148

SCALE	1/8" = 1'-0"
DATE	10/12/2011
PROJECT	9 UNIT TOWNHOUSE DEVELOPMENT
NO.	101
DATE	10/12/2011
REVISION	
CONTRACT NO.	

Feb 11 2011
 New York, NY, JWC, drawings for site
 Review for DP
 May 28 2011
 New York, NY, JWC
 Review for DP
 May 27 2011
 New York, NY, JWC
 Review for DP
 Sep 14 2010
 New York, NY, JWC
 Review for DP
 July 28 2010
 New York, NY, JWC
 Review for DP
 May 19 2010
 New York, NY, JWC
 Review for DP
 Apr 7 2010
 New York, NY, JWC
 Review for DP
 REVISIONS / REVISIONS

ITO
& ASSOCIATES
 Landscape Architects
 1945 East 59 Avenue
 Vancouver, BC
 TEL: (604) 253 5000
 Email: info@itoandmac.com

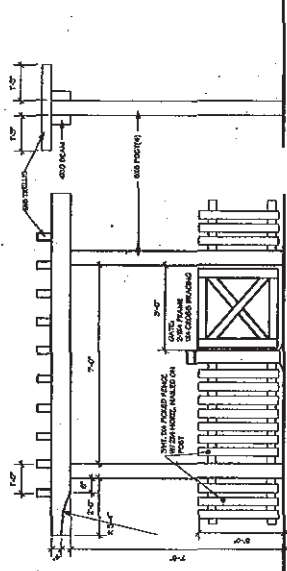
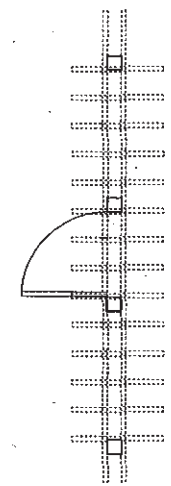
Project:
 5181/161
 14150 161st Rd
 Richmond, B.C.

Drawing Title:
 DETAIL PLANT LIST

Author:	JWC/JCF
Checker:	JWC
Designer:	JWC
Date:	Apr 25 2010
Scale:	As Shown

3.1

JUN 03 2011 PLAN # 3A
 DP 10556148

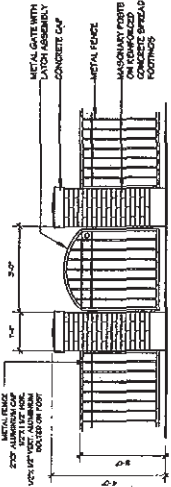


4 AMENITY GATE STRUCTURE
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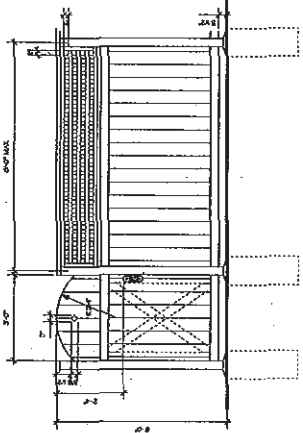
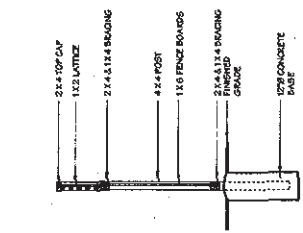
PLAY EQUIPMENT:
 COMPAN MSC5409P

NOTE:
 ALL WOOD USED FOR DETAILS IN THIS DRAWING SET SHALL BE S.A.S. REDWOOD DRY KILN DRIED TO A MOISTURE CONTENT OF 12% OR LESS. ALL WOOD SHALL BE GRADE D OR BETTER. ALL WOOD SHALL BE TREATED WITH AN APPROPRIATE PRESERVATIVE. ALL METAL SHALL BE GALVANNEAL. ALL METAL AND OTHER METAL COMPONENTS SHALL BE GALVANNEAL.

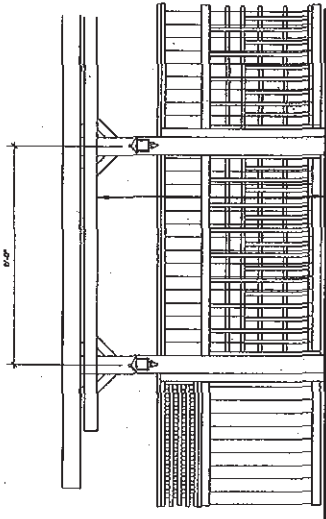
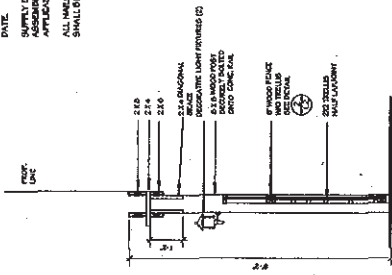


SEE STRUCTURAL ENGINEER FOR CONCRETE REINFORCEMENT AND FOUNDATION DETAILING

1 METAL FENCE
 SCALE: 1/2" = 1'-0"



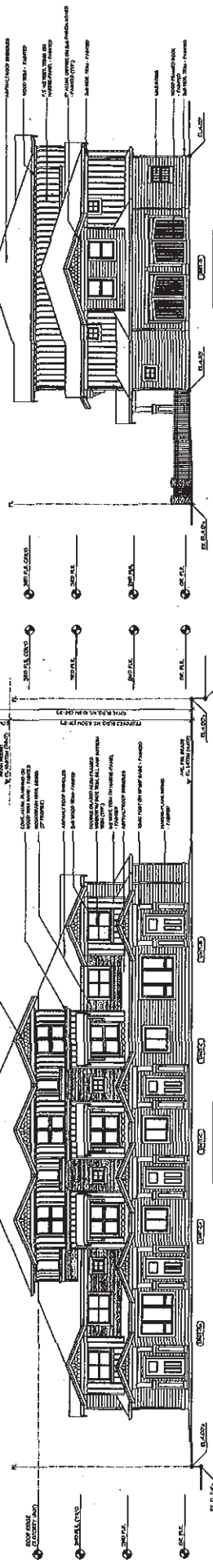
2 6" HT WOOD FENCE
 SCALE: 1/2" = 1'-0"



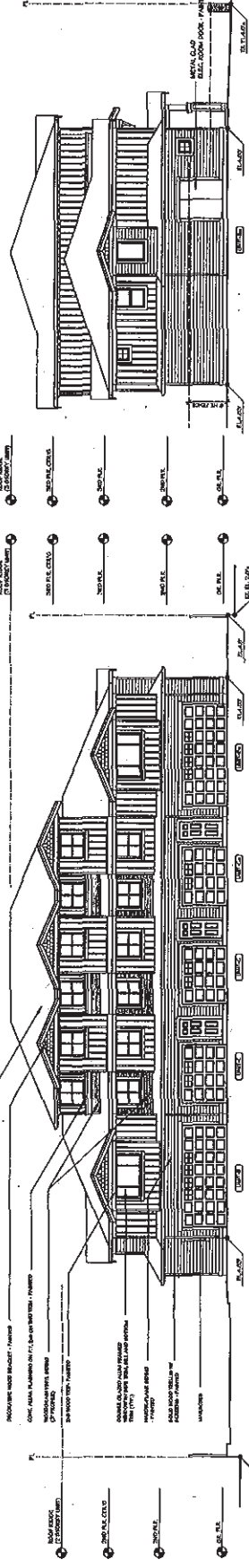
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 SCALE: 1/2" = 1'-0"

JUN 03 2011 PLAN # 3A
 DP 10556148

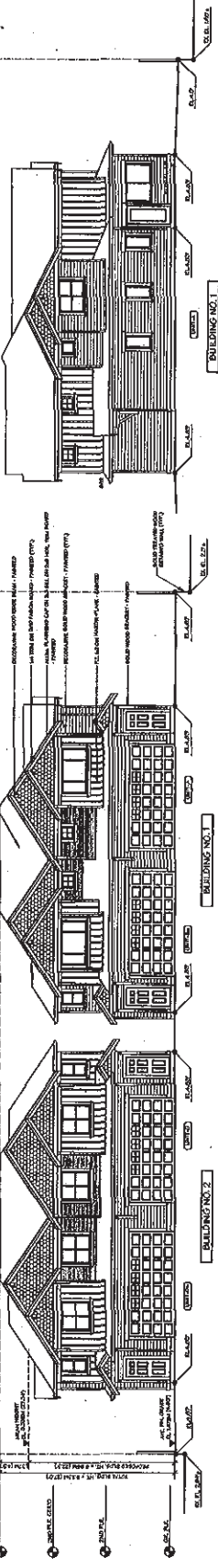
DP 10-556148



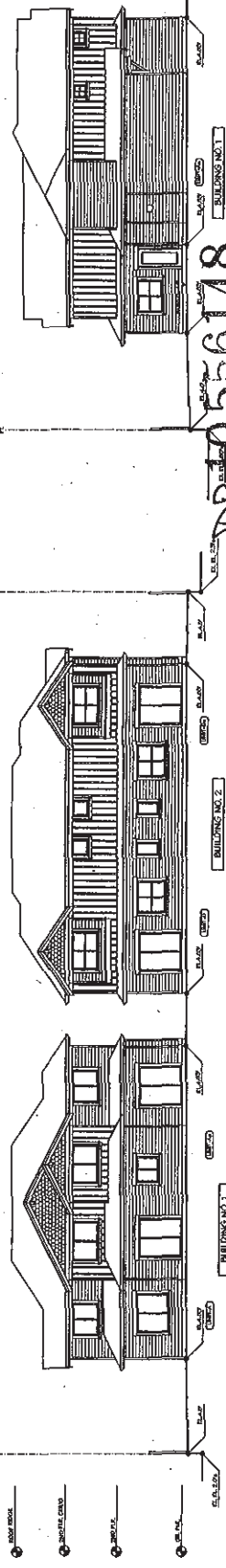
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EAST ELEVATION



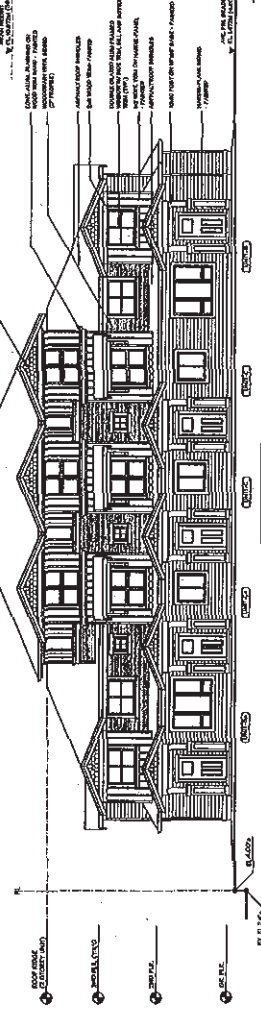
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WEST ELEVATION



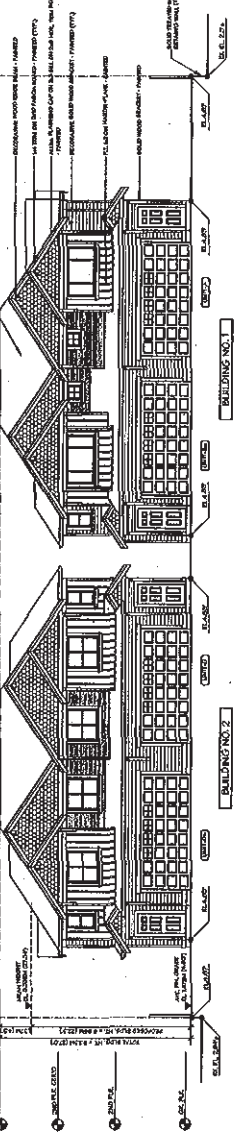
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EAST ELEVATION



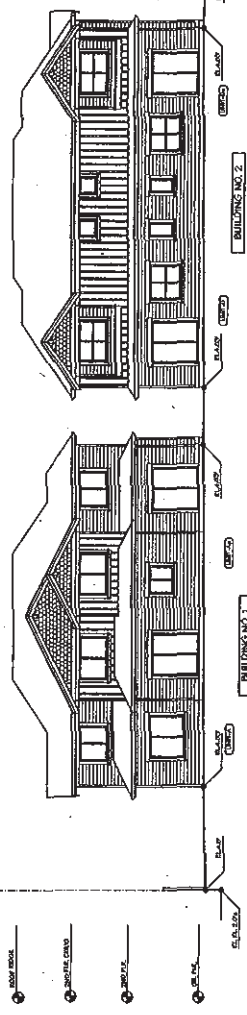
BUILDING NO. 1
WEST ELEVATION



BUILDING NO. 3
NORTH ELEVATION



BUILDING NO. 2
SOUTH ELEVATION



BUILDING NO. 1
NORTH ELEVATION

DP 10-556148
JUN 03 2011 PLAN # 4

DATE	2/20/11
DESIGNER	YAMAMOTO ARCHITECTURE INC.
DRAWN BY	J. YAMAMOTO
CHECKED BY	J. YAMAMOTO
PROJECT	9 UNIT TOWNHOUSE DEVELOPMENT
CLIENT	YAMAMOTO ARCHITECTURE INC.
SCALE	AS SHOWN
PROJECT NO.	10-556148
DATE	2/20/11
SCALE	AS SHOWN
PROJECT	9 UNIT TOWNHOUSE DEVELOPMENT
CLIENT	YAMAMOTO ARCHITECTURE INC.

YAMAMOTO ARCHITECTURE INC.
1125 WEST WILLIAMS ROAD
PORTSMOUTH, VA

**Yamamoto
Architecture Inc.**

FLOOR PLANS

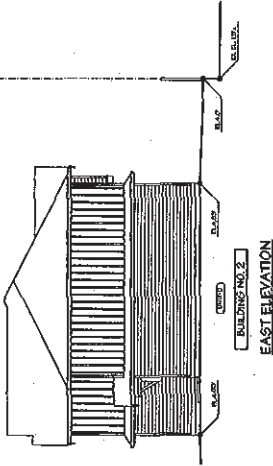
SCALE	1/8" = 1'-0"
DATE	JUN 03 2011
DRAWN BY	J. YAMAMOTO
CHECKED BY	J. YAMAMOTO
PROJECT	9 UNIT TOWNHOUSE DEVELOPMENT
CLIENT	YAMAMOTO ARCHITECTURE INC.

4.0

- ROOF LINE
- FINISH FLOOR
- FINISH CEILING
- FINISH EAVE



BUILDING NO. 2 WEST ELEVATION



BUILDING NO. 2 EAST ELEVATION

SCALE
 1/8" = 1'-0"

NOT TO SCALE
 SEE DRAWING NO. CHA001
 EXTERIOR WALLS: BRICK
 INTERIOR WALLS: GYPSUM BOARD
 FLOORING: HARDWOOD
 CEILING: POP
 ROOFING: ASPH/FLT
 FINISH FLOOR: POLISHED CONCRETE
 FINISH CEILING: POP
 FINISH EAVE: METAL
 FINISH ROOF: METAL



NORTH ELEVATION

SOUTH ELEVATION

JUN 03 2011 P 10:44
 DP 10556148

DATE	10/12/2010	PROJECT	3 UNIT TOWNHOUSE DEVELOPMENT
DRAWN	Y. YAMAMOTO	CLIENT	MARSHALL MCGEE
DATE	10/12/2010	PROJECT	3 UNIT TOWNHOUSE DEVELOPMENT
DRAWN	Y. YAMAMOTO	CLIENT	MARSHALL MCGEE
DATE	10/12/2010	PROJECT	3 UNIT TOWNHOUSE DEVELOPMENT
DRAWN	Y. YAMAMOTO	CLIENT	MARSHALL MCGEE

PROJECT: 3 UNIT TOWNHOUSE DEVELOPMENT
 CLIENT: MARSHALL MCGEE
 ARCHITECT: Yamamoto Architecture Inc.
 4911 STE WILLOW ROAD
 VANCOUVER, BC

Yamamoto
 Architecture Inc.

DATE: JUN 03 2011
 TIME: 10:44
 DRAWING TITLE: FLOOR PLANS
 SHEET NO.: 4.1

DATE	10/12/2010	PROJECT	3 UNIT TOWNHOUSE DEVELOPMENT
DRAWN	Y. YAMAMOTO	CLIENT	MARSHALL MCGEE
DATE	10/12/2010	PROJECT	3 UNIT TOWNHOUSE DEVELOPMENT
DRAWN	Y. YAMAMOTO	CLIENT	MARSHALL MCGEE
DATE	10/12/2010	PROJECT	3 UNIT TOWNHOUSE DEVELOPMENT
DRAWN	Y. YAMAMOTO	CLIENT	MARSHALL MCGEE



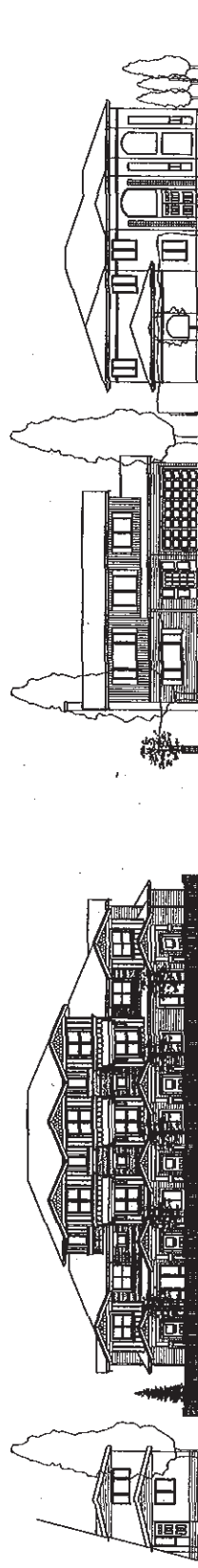
9071

9111

9131 & 9151

9171

SOUTH ELEVATION - WILLIAMS ROAD



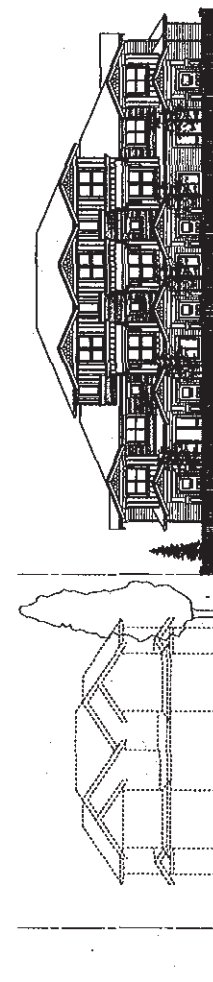
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9131 & 9151

9171

9191

SOUTH ELEVATION - WILLIAMS ROAD

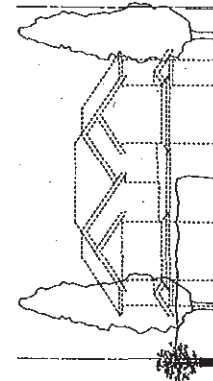


9111

9131 & 9151

9171

SOUTH ELEVATION WITH FUTURE DEVELOPMENT



JUN 03 2011

PLAN # 48

DP 10556148

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DATE	12/17/15	REVISION	97
DATE	01/18/16	REVISION	98
DATE	02/18/16	REVISION	99
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9 UNIT TOWNHOUSE DEVELOPMENT

401 911 WILLIAMS ROAD
NORFOLK, VA

**Yamamoto
Architecture Inc.**

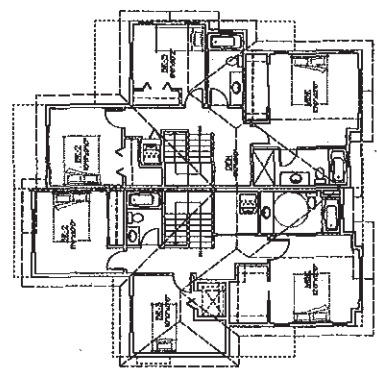
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DATE: APR. 11, 2008
DRAWN: JAM
CHECKED: JAM
SCALE: AS SHOWN

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DATE	APR. 11, 2008
DRAWN	JAM
CHECKED	JAM
SCALE	AS SHOWN
PROJECT NO.	10556148

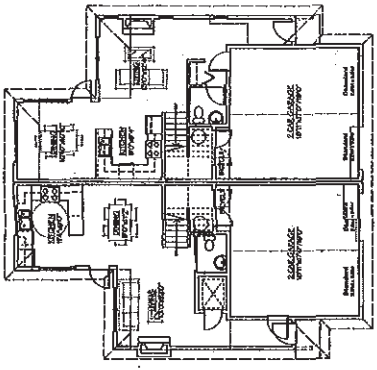
DP 10-556148

GENERAL NOTES:

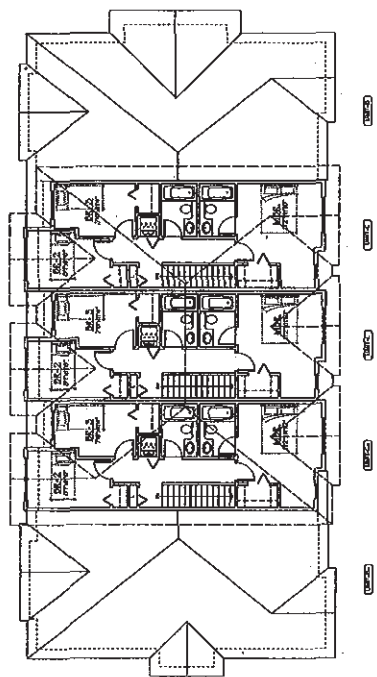
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3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL PLUMBING AND MECHANICAL FIXTURES CODE AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL FIRE AND SAFETY CODE AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL ENERGY CONSERVATION CODE AND ALL APPLICABLE LOCAL ORDINANCES.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL SWEET'S CATALOG AND ALL APPLICABLE LOCAL ORDINANCES.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL ROOFING AND FLASHING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL WOOD PRESERVATION CODE AND ALL APPLICABLE LOCAL ORDINANCES.
11. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL CONCRETE AND Masonry CODE AND ALL APPLICABLE LOCAL ORDINANCES.
12. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL GLAZING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
13. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL ALUMINUM AND ALLOY METALS CODE AND ALL APPLICABLE LOCAL ORDINANCES.
14. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL STEEL ERECTORS CODE AND ALL APPLICABLE LOCAL ORDINANCES.
15. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL WELDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
16. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL CAST IRON PIPE AND FITTINGS CODE AND ALL APPLICABLE LOCAL ORDINANCES.
17. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL CAST IRON RAINWATER PIPE AND FITTINGS CODE AND ALL APPLICABLE LOCAL ORDINANCES.
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21. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL CAST IRON WATER PIPE AND FITTINGS CODE AND ALL APPLICABLE LOCAL ORDINANCES.
22. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL CAST IRON GAS PIPE AND FITTINGS CODE AND ALL APPLICABLE LOCAL ORDINANCES.
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24. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL CAST IRON HEATING PIPE AND FITTINGS CODE AND ALL APPLICABLE LOCAL ORDINANCES.
25. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL CAST IRON AIR CONDITIONING PIPE AND FITTINGS CODE AND ALL APPLICABLE LOCAL ORDINANCES.
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36. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL CAST IRON UNDERSEA PIPE AND FITTINGS CODE AND ALL APPLICABLE LOCAL ORDINANCES.
37. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL CAST IRON SPACE STATION PIPE AND FITTINGS CODE AND ALL APPLICABLE LOCAL ORDINANCES.
38. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL CAST IRON PLANETARY PIPE AND FITTINGS CODE AND ALL APPLICABLE LOCAL ORDINANCES.
39. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL CAST IRON GALACTIC PIPE AND FITTINGS CODE AND ALL APPLICABLE LOCAL ORDINANCES.
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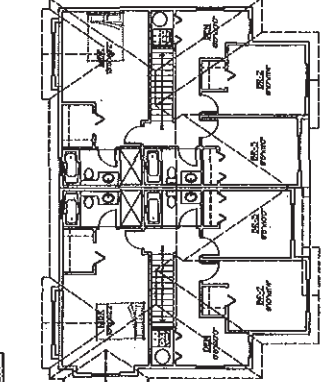
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SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



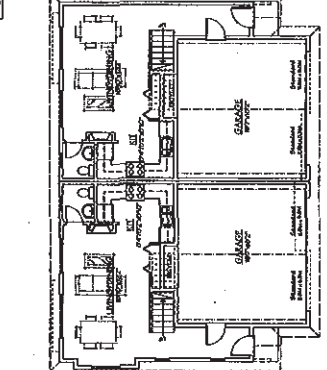
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GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



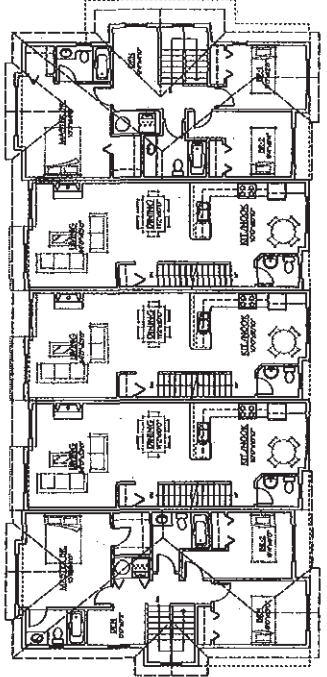
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THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



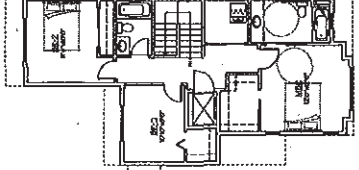
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SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



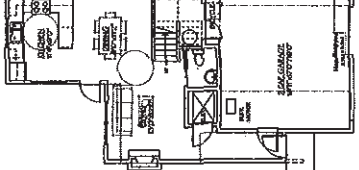
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GROUND FLOOR PLAN
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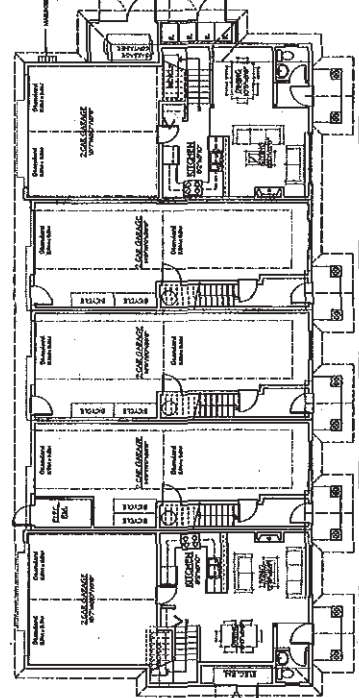
BUILDING NO. 3
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING NO. 3
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING NO. 3
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



BUILDING NO. 3
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

Table with columns: NO., DATE, DESCRIPTION, COMMENTS. It lists project milestones and dates.

PROJECT: 9 UNIT TOWNHOUSE DEVELOPMENT

1011 WEST WILLIAMS ROAD, FORT WORTH, TEXAS 76102

Yamamoto Architecture Inc.

2009 WEST WILKINS, INC. 1011 WEST WILLIAMS ROAD, FORT WORTH, TEXAS 76102

FLOOR PLANS

JUN 03 2011 REFERENCE PLAN

DP 10556148

UNITS (BLDG. NO. 1) CONVERTIBLE UNIT PLAN

GROUND FLOOR PLAN

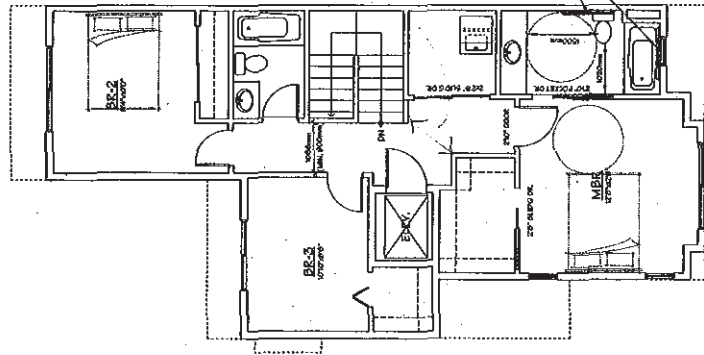
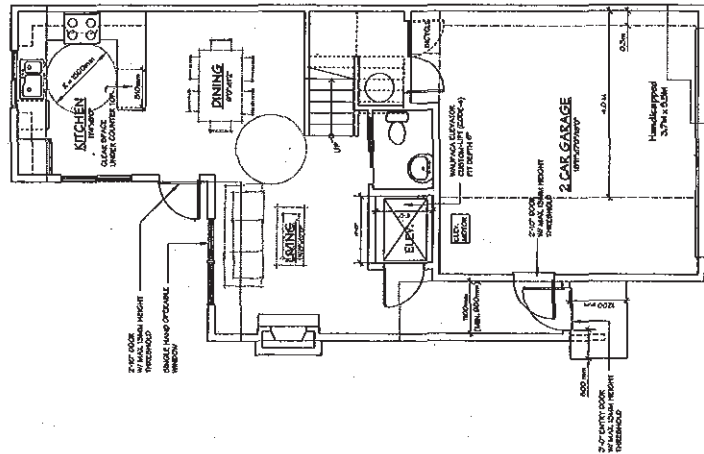
BUILDING NO. 3

DP 10-556148

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND ALL APPLICABLE LOCAL ORDINANCES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.

**CONVERTIBLE UNIT PLAN
 UNIT Aa (BLDG. NO. 1)**



in kitchen for appearance of 11' x 11' area

FOUR MORE BRIDGES TO BE INSTALLED AT THE BRIDGE WITH ALL INTERMEDIATE BRIDGE HANDLES TO BE USED

PROJECT NO.	10-556148
DATE	APRIL 1, 2009
DESIGNER	YAMAMOTO ARCHITECTURE INC.
CHECKED	[Signature]
DATE	APRIL 1, 2009
PROJECT	9 UNIT TOWNHOUSE DEVELOPMENT
CONSULTANT	YAMAMOTO ARCHITECTURE INC.

9 UNIT TOWNHOUSE DEVELOPMENT
 1111 WILLIAMSBURG ROAD
 RICHMOND, VA 23227

1111 WILLIAMSBURG ROAD
 RICHMOND, VA 23227

**Yamamoto
 Architecture Inc.**

1111 WILLIAMSBURG ROAD
 RICHMOND, VA 23227

CONVERTIBLE UNIT PLAN

JUN 03 2011 REFERENCE PLAN

DP 10556148

SCALE	1/4" = 1'-0"
DATE	APR. 1, 2009
DESIGNER	YAMAMOTO ARCHITECTURE INC.
CHECKED	[Signature]
DATE	APR. 1, 2009
PROJECT	9 UNIT TOWNHOUSE DEVELOPMENT
CONSULTANT	YAMAMOTO ARCHITECTURE INC.