



City of Richmond
Planning and Development Department

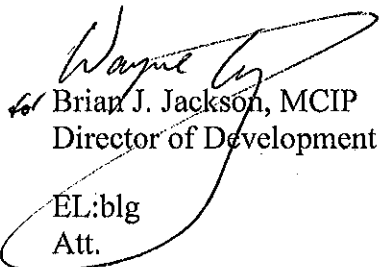
Report to Development Permit Panel

To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: April 20, 2010
File: DP 09-486487
Re: Application by Fortuna Development Inc. for a Development Permit at
4071, 4091, 4111 and 4131 No. 4 Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 26 three-storey townhouse units at 4071, 4091, 4111 and 4131 No. 4 Road on a site zoned "Town Housing (ZT67)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum lot size from 0.5 ha. (1.24 ac.) to 0.45 ha. (1.11 ac.); and
 - b) Reduce the minimum south side yard setback from 3.0 m to 1.62 m to allow a freestanding garbage and recycling enclosure to encroach into the side yard setback.


for Brian J. Jackson, MCIP
Director of Development
EL:blg
Att.

Staff Report

Origin

Fortuna Development Inc. has applied to the City of Richmond for permission to develop 26 three-storey townhouse units at 4071, 4091, 4111 and 4131 No. 4 Road. The site is being rezoned from Single Detached (RS1/F) to Town Housing (ZT67) for this project under Bylaw 8497 (RZ 07-381074). The zoning district names have changed as the rezoning application was submitted under the former Zoning & Development Bylaw No. 5300 to rezone the site from "Single-Family Housing District, Subdivision Area F (R1/F)" to "Comprehensive Development District (CD/185)".

The site is currently vacant. Road and infrastructure improvements were secured through the rezoning and will be constructed through the separate required Servicing Agreement (SA 09-502425). Works including but not limited to sanitary sewer from Odlin Road to the subject site along the proposed Right of Way on the Tomsett School property, water and storm improvements, road widening (2.83 m road dedication along No. 4 Road), and frontage improvements along the entire No. 4 Road frontage.

Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

The site is located within the Alexandra Neighbourhood of the West Cambie Area Plan, Schedule 2.11A of the Official Community Plan (OCP). The Alexandra Neighbourhood Land Use Map designates this area as "Character Area 5 – Low Density Housing" for "2 & 3-storey Townhouses." Development surrounding the subject site is as follows:

To the North: A single-family home fronting No. 4 Road and a neighbourhood commercial building at the corner of No. 4 Road and Cambie Road, in an area designated Convenience Commercial;

To the East: Across No. 4 Road, existing single-family homes in the Odlinwood neighbourhood;

To the South: Existing single-family homes fronting No. 4 Road in an area designated for Townhouses; and

To the West: Tomsett Elementary School.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on July 20, 2009. No concerns regarding the rezoning were expressed at the Public Hearing.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with Town Housing (ZT67) except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum lot size from 0.5 ha. (1.24 ac.) to 0.45 ha. (1.11 ac.);

(Staff supports the proposed variance as the proposed development will not restrict development of lands to the south of the subject site. In keeping with the Area Plan livability and urban design objectives, a development concept for the neighbouring development parcels has been prepared and reviewed by staff, and is on file. Although the proposed parcel size does not meet the minimum requirement, the applicant has demonstrated that this block could be developed in a unified approach).

- 2) Reduce the minimum south side yard setback from 3.0 m to 1.62 m to allow freestanding garbage and recycling enclosure.

(Staff supports the proposed variance, as it is a minor variance, which allows for a single-storey freestanding garbage and recycling enclosure to encroach into the south side yard setback. The enclosure has solid roof cover, but building is left open for ventilation as well as visibility for security purposes. It will be screened to adjacent property by landscaping and a fence at the property line. Project signage is also incorporated at the east elevation of the enclosure as an entry feature).

Advisory Design Panel Comments

The Advisory Design Panel supported the project and changes have been incorporated in line with comments made by Panel members. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Wednesday, October 7, 2009 is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '**bold italics**'.

Analysis

Conditions of Adjacency

- This project is the first townhouse development on the block. The proposed height, siting and orientation of the buildings respect the massing of the surrounding establishments. The proposed three-storey height of units is appropriate within this sub-area to achieve intended urban character envisioned for this area.
- Cross-access drive aisle and townhouse unit back yard conditions are provided at the interface to the existing single-family lots to the north and south. The increased setbacks (4.5 m) minimizes overlook and overshadowing to the adjacent existing single-family homes, and potential future townhouse developments.

- The applicant has addressed privacy for the adjacent single-family homes to the north and south through the provision of 1.8 m height solid wood privacy fencing and the planting of new trees and hedging.
- Direct access to the adjacent school site is provided through a private locked pedestrian gate at the east end of the internal walkway between Buildings #5 and #6, linked to the amenity area onsite.
- The applicant is proposing to raise the site grade. The adjacent older single-family lots will also likely raise their sites through redevelopment anticipated in the area plan. Perimeter drainage will be installed as part of the Building Permit to ensure the proposed grade change does not adversely impact the surrounding sites.

Urban Design and Site Planning

- The proposed site layout provides for an attractive pedestrian-oriented streetscape of townhouses fronting No. 4 Road, complete with a landscaped edge, a low retaining wall, low wood fencing, and gates to individual townhouse unit front doors.
- All units along No. 4 Road have direct access from the sidewalk to the first habitable level (2nd floor) of the units.
- Vehicle access is proposed at the south end of the development site on No. 4 Road. This driveway will facilitate future vehicle access to the adjacent lots to the south. A Public Rights-of-Passage (PROP) Right-of-Way (ROW) agreement, allowing access to/from the future residential development sites to the south is secured at rezoning.
- A separate pedestrian entrance to the development site is proposed between Buildings #2 and #3.
- The site layout includes 26 three-storey townhouse units. The townhouses are provided in seven (7) buildings containing three (3) or four (4) units each.
- With the provision of a two-car (tandem parking) garage in each townhouse unit, resident parking exceeds the bylaw requirement. A total of 52 resident parking spaces are provided. Registration of a legal agreement prohibiting conversion of parking area into habitable area is required.
- The provision of visitor parking meets the bylaw requirement with six (6) spaces provided, including one (1) accessible parking space. The visitor parking has been broken up in individual single car parking spaces and located throughout the site.
- The size and location of the outdoor amenity space, within the central portion of the site, is appropriate in providing open landscape and amenity convenient to all of the units. Mailboxes and short-term bicycle parking spaces are also located at a central location next to the outdoor amenity area.

Architectural Form and Character

- The architecture is a change from the numerous craftsman-revival townhouses seen in the City and in the Alexandra Neighbourhood, and as such, may help to set the tone for this block, which is on a major arterial road and is located adjacent to the existing/future commercial uses at No. 4 and Cambie Roads.
- Individual units are well articulated and buildings facing onto No. 4 Road appear to be 2-1/2 storeys to encourage interaction with the pedestrian realm.

- Visual interest has been incorporated with a variety of roof elements, projecting bays, and a range of materials and colour finishes.
- The proposed exterior finish materials (narrow exposure (4 inch) horizontal vinyl siding, wide exposure (6 inch) horizontal Hardie plank siding, Hardie panel, painted wood trim and fascia, and asphalt roof shingles) are generally consistent with the OCP Guidelines.
- The impact of blank garage doors has been mitigated with narrow width (all garages are tandem), transom windows, overhanging decks, planting islands, and pedestrian entries.
- One (1) convertible unit has been incorporated into the design. An alternate floor plan demonstrating simple conversion potential to accommodate a person in a wheelchair is provided (see alternative floor plan for the “Ba” unit where an elevator may be installed; the base and framing of the opening for installation of an hydraulic elevator is provided in this unit).
- Accessibility features that allow for aging in place have been incorporated into this development (i.e., blocking in all bathrooms for grab-bars, level handle for all doors, and lever faucet in all bathrooms and powder rooms).

Landscape Design and Open Space Design

- The applicant is proposing to remove all of the 43 bylaw-sized trees and a row of hedge on-site identified for removal at the rezoning stage; 86 replacement trees are required.
- The applicant is proposing to plant 65 replacement trees on-site and provide cash-in-lieu (\$10,500) for off-site planting of the balance of the replacement trees (21 trees) prior to issuance of the Development Permit.
- The applicant has applied for a Tree Cutting Permit after the rezoning application for the development proposal achieves Third Reading. A Tree Cutting Permit was issued for the removal of four (4) trees (out of the 43 trees identified for removal) due to impeding of demolition. All other bylaw-sized trees are retained and protected on-site. The balance of bylaw-sized trees on-site identified for removal (39 trees) will be retained on-site until the Development Permit is issued.
- Six (6) bylaw-sized trees on the adjacent properties to the south (4151 No. 4 Road) along the common property line were identified for removal at the rezoning stage in order to allow for the construction of the entrance driveway. The applicant has made an effort in retaining these trees by setting the proposed entry driveway 1.0 m away from the south property line and shifting the front buildings north accordingly.
- The applicant has committed to the protection of one (1) tree located on the adjacent property to the north at 4051 No. 4 Road, one (1) tree located on the adjacent property to the west at 9780 Cambie Road, and 21 trees on the adjacent property to the south at 4151 No. 4 Road. Tree protection fencing on-site around the driplines of all trees to be retained on the neighbouring properties will be required prior to any construction activities, including building demolition, occurring on-site. A contract with a certified arborist to oversee site preparation activities on-site, oversee and inspect tree protection fencing, and supervise any tree removals and tree well constructions is required.
- The landscape design includes the planting of trees (including large calliper and ornamental species) and a variety of shrubs and ground covers, which meets the Official Community Plan (OCP) guidelines for tree replacement and landscaping. The proposed lot coverage for landscaping with live plant materials is 24.7%.

- Outdoor amenity space is proposed within the site at a central location, and satisfies the OCP requirements for size, location, visual surveillance and access. It includes an area to be designed for active children's play (a children's play equipment is proposed on rubberized surface) and an area for passive recreation.
- Permeable pavers are proposed at the vehicle entry, on the internal north-south drive aisle, pedestrian walkway to No. 4 Road, visitor parking areas, and private patio areas to improve the permeability of the site. The proposed lot coverage for permeable surface is 21.05%; the total lot coverage for porous surfaces is therefore increased to 45.75%.
- The proposed Allan Block retaining wall, capstones stairs, 36" high wood fence with gates, as well as 11 Magnolia trees along the No. 4 Road frontage are located within a new 3.0m right-of-way (ROW). An encroachment agreement is required prior to Building Permit issuance.
- Cash-in-lieu (\$33,000) for indoor amenity has been provided as a condition of rezoning approval (RZ 07-381074).

Crime Prevention Through Environmental Design

- Natural surveillance opportunities are provided for the central outdoor amenity space and visitor parking spaces.
- Natural surveillance opportunities are provided for the front entries which face the internal drive aisles and No. 4 Road.
- Low planting is proposed along edges of buildings to keep the entry area open and visible.
- Effective lighting of buildings, open spaces, and along the pedestrian walkways and drive aisles are proposed.

Sustainability

- The applicant advises that the project includes the following sustainability features:
 - energy efficient low E windows to improve building envelope performance;
 - energy efficient Energy Star certified appliances and low flow fixtures;
 - drought tolerant and native planting;
 - enhanced site permeability;
 - dedicated walkways to adjacent school site and No. 4 Road to encourage pedestrian activity; and
 - smaller unit types to increase the affordability of these units to young families/seniors.

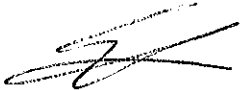
Aircraft Noise Sensitive Land Use Policy

- In consideration for rezoning, the developer has agreed to sign a Restrictive Covenant, agreeing to have the building designed to incorporate adequate sound measures against aircraft noise before obtaining a rezoning.
- The developer has submitted a report on recommended acoustic sound insulation measures prepared by a registered professional qualified in acoustics.

- The developer has submitted a report identifying measures to incorporate central air conditioning in the construction of the building in order to maintain the acoustic integrity of the building envelope, essential to maintain a highly livable interior environment when windows are shut, particularly during warm summer months.
- The developer has agreed to retain a registered professional to certify that any required noise insulation measures have been installed according to the report recommendations, before obtaining the Occupancy Permit.

Conclusions

The applicant has satisfactorily addressed issues that were identified through the rezoning process, as well as staff's comments regarding conditions of adjacency, urban design and site planning, architectural form and character, landscape and open space design, and crime prevention through environmental design. The subject proposal complies with City-wide and Alexandra Neighbourhood Sub-Area objectives for development and population growth. On this basis, staff supports the proposal and recommends that the Development Permit be issued.



Edwin Lee
Planning Technician – Design
(Local 4121)

EL:blg

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$82,818.00 (based on total floor area of 41,409 ft²).
- Registration of a covenant prohibiting the conversion of parking area into habitable space.
- City acceptance of the developer's offer to voluntarily contribute \$10,500 to the City's Tree Compensation Fund in-lieu of planting 21 replacement trees on-site.
- Submission of a contract with a certified arborist to oversee on-site works conducted on the subject site close to the protected trees on the adjacent properties. The contract should include provisions for completion of a post-impact assessment report (if applicable) to be reviewed by the City.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Registration of an encroachment agreement to allow the proposed Allan Block retaining wall, capstones stairs, 36 in. high wood fence with gates, and 11 Magnolia trees be located within a new 3.0 m right-of-way (ROW) along the No. 4 Road frontage.
- Payment of City-wide Development Cost Charges (DCCs) and Supplementary Local Area DCCs for the Alexandra Neighbourhood.
- Payment of this site's portion of the Alexandra Neighbourhood Development Agreement, at the Townhouse rate of \$3,307.47/unit. The application indicates there are 26 dwellings units proposed, so the amount owing will be \$85,994.22.
- Certification by a registered professional that the Building Permit includes any required noise attenuation measures in accordance with the required acoustic engineering report.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

Development Application Data Sheet

Development Applications Division

DP 09-486487

Attachment 1

Address: 4071, 4091, 4111 and 4131 No. 4 Road

Applicant: Fortuna Development Inc.

Owner: Fortuna Development Inc.

Planning Area(s): West Cambie Area Plan (Schedule 2.11A)

Floor Area Gross: 3,846.9 m² (41,409.0 ft²)

Floor Area Net: 2641.8 m² (28,436.6 ft²)

	Existing	Proposed
Site Area:	4,290 m ²	4,058 m ²
Land Uses:	Single-Family Residential	Multiple-Family Residential
Area Plan Designation:	Residential Area 2 - 0.65 base FAR (maximum 0.75 FAR with density bonusing for affordable housing). 2 & 3-storey Townhouses	No Change
Zoning:	Single Detached (RS1/F)	Town Housing (ZT67)
Number of Units:	4 single-family dwellings	26 townhouse units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.65	0.65	none permitted
Lot Coverage:	Max. 40%	34.1%	none
Setback – Front Yard:	Min. 5.0 m	6.11 m	none
Setback – Side Yard (north):	Min. 3.0 m	3.85 m	none
Setback – Side Yard (south):	Min. 3.0 m	1.62 m	variance requested
Setback – Rear Yard:	Min. 3.0 m	3.0 m	none
Height (m):	Max. 12.0 m	11.87 m	none
Lot Size:	5,000 m ²	4,058 m ²	variance requested
Off-street Parking Spaces – Resident/Visitor:	39 and 6	52 and 6	none
Off-street Parking Spaces – Accessible:	1	1	none
Total off-street Spaces:	45	58	none
Tandem Parking Spaces	permitted	52	none
Bicycle Parking – Class 1/2	33 / 6	33 / 6	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	\$37,000 cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 26 units = 156 m ²	158 m ²	none

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, October 7 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

The comments of the Panel were as follows:

1. Consider further design development of the garbage and recycling area;
Garbage/recycling area revised, signage incorporated and design changed to reflect design of complex.
2. Consider further investigation of the technical aspects of the flat roofs;
Flat roofs revised to inward shed roofs.
3. Consider providing direct access to the patios from the living spaces;
Floodplain requirements prohibit direct access from patios to living spaces.
4. Consider providing direct access to the school site;
Access proposed at end of pedestrian walkway between buildings 5 and 6.
5. Consider further articulation of the west elevation facing the school ground;
Additional windows added on west elevations to enhance appearance of development from school ground.
6. Consider increasing massing along No. 4 Road frontage to allow for larger internal outdoor amenity space;
Preference for units in the interior of the project due to livability. Outdoor amenity space satisfies bylaw requirements.
7. Consider an apron of feature paving around the amenity area; and
Revised per comment.
8. Consider providing a focal point with landscaping features at the end of the pedestrian entry walkway.
Trellis added to end of the pedestrian entry walkway.



No. DP 09-486487

To the Holder: FORTUNA DEVELOPMENT INC.
Property Address: 4071, 4091, 4111 AND 4131 NO. 4 ROAD
Address: C/O KAREN MA
2386 OAK STREET
VANCOUVER, BC V6H 4J1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) reduce the minimum lot size from 0.5 ha. (1.24 ac.) to 0.45 ha. (1.11 ac.); and
 - b) reduce the minimum south side yard setback from 3.0 m to 1.62 m to allow a freestanding garbage and recycling enclosure to encroach into the side yard setback.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$82,818.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 09-486487

To the Holder: FORTUNA DEVELOPMENT INC.
Property Address: 4071, 4091, 4111 AND 4131 NO. 4 ROAD
Address: C/O KAREN MA
2386 OAK STREET
VANCOUVER, BC V6H 4J1

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. _____
DAY OF _____, _____

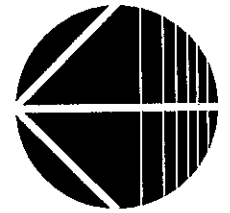
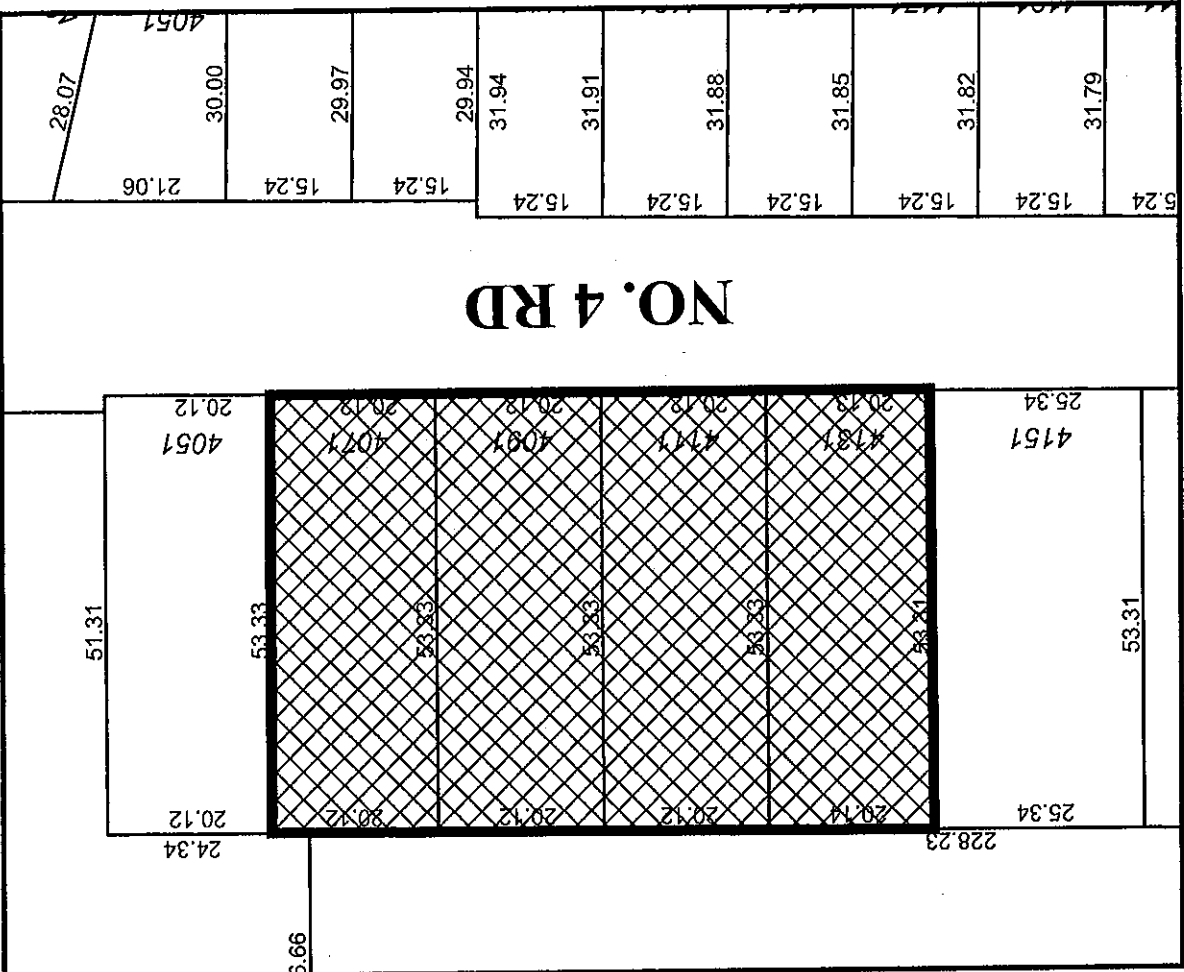
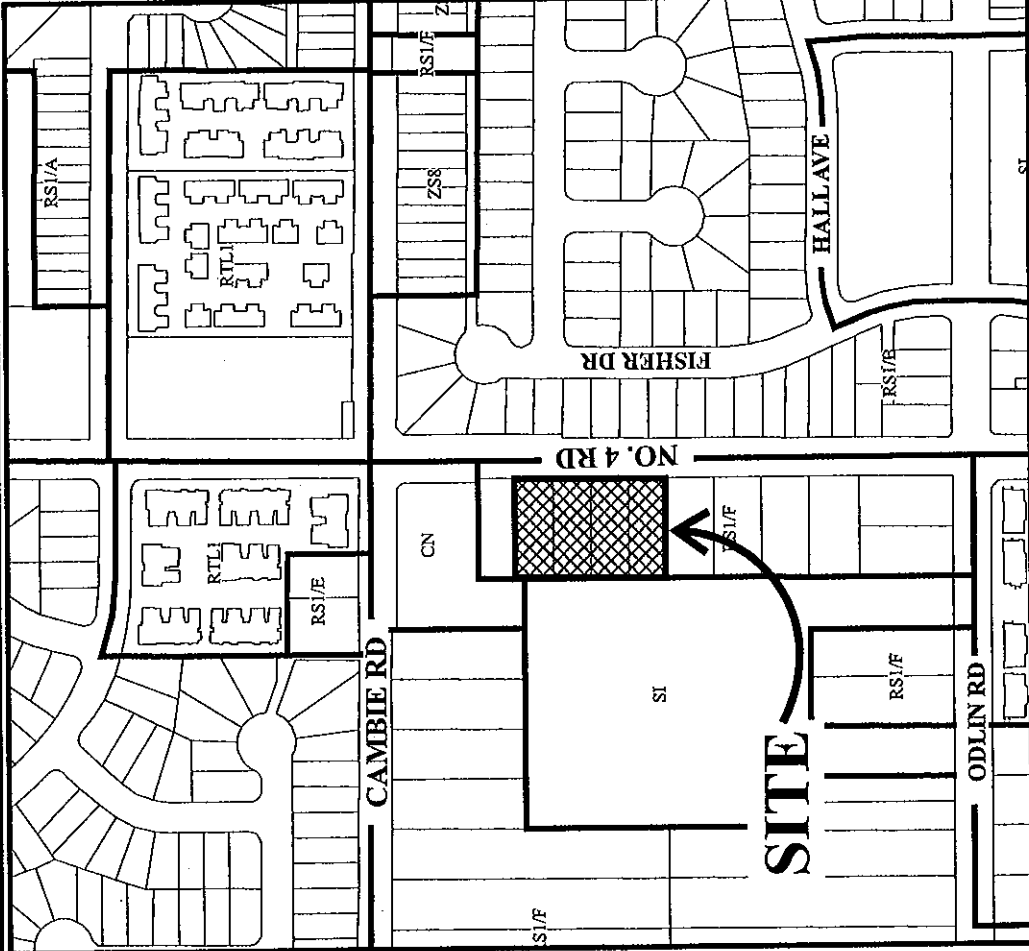
ISSUED BY THE COUNCIL THE

DELIVERED THIS _____ DAY OF _____, _____

MAYOR



City of Richmond

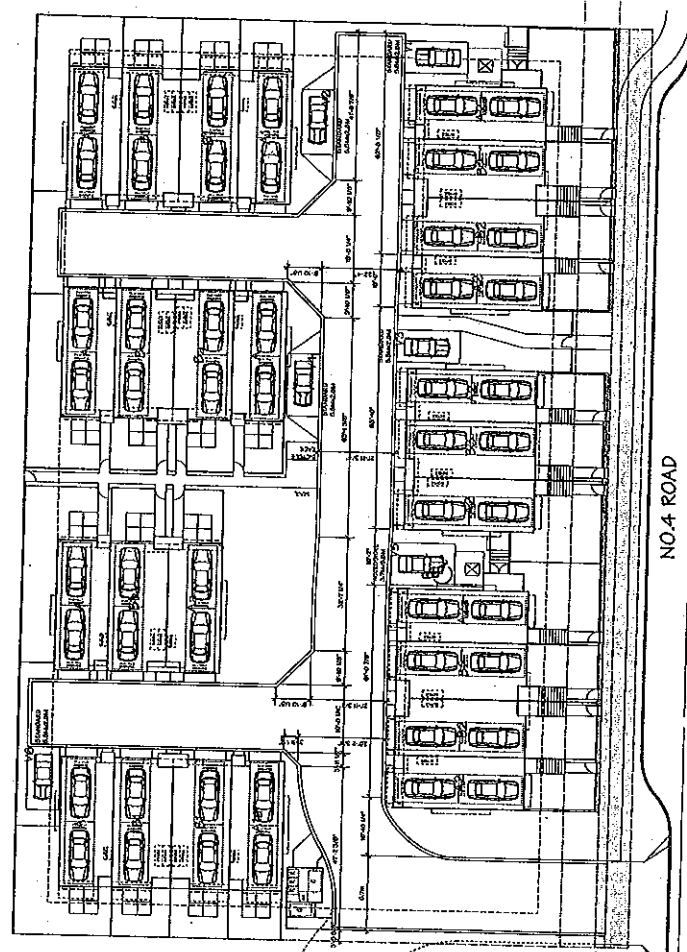


DP 09-486487 SCHEDULE "A"

Original Date: 08/27/09

Revision Date: 04/15/10

Note: Dimensions are in METRES



APR 20 2010 PLAN #2
 DP 09486487

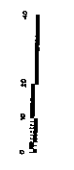
28 UNIT TOWNHOUSE DEVELOPMENT

477 4th Ave, 4th Fl, New York, NY 10016
 YORK, NY 10016

Yamamoto
 Architecture Inc.

SCALE	1/8" = 1'-0"	DRAWN BY	WJ
DATE	APRIL 20, 2010	CHECKED BY	WJ
PROJECT TITLE		PARKING PLAN	
PROJECT NO.		09486487	

PARKING PLAN
 SCALE: 1/8" = 1'-0"



PARKING:
 REQUIRED:
 PROVIDED:
 CLASS 1 UNITS
 PARKING SPACES REQUIRED:

13 SPACES TO MEET
 13 SPACES PROVIDED
 (1% OF ALL SPACES TO BE ACCOMMODATED)

10 SPACES - 10' x 20' CAR GARAGE
 3 SPACES - 10' x 20' VAN GARAGE
 0 SPACES - 10' x 20' MOTORCYCLE GARAGE

MIN. TOTAL NUMBER OF SPACES TO BE PROVIDED FOR DEVELOPER USE:
 PROVIDED - 38 SPACES
 REQUIRED - 38 SPACES

MIN. TOTAL NUMBER OF SPACES TO BE PROVIDED FOR VISITOR USE:
 PROVIDED - 125 SPACES
 REQUIRED - 125 SPACES

MIN. TOTAL NUMBER OF SPACES TO BE PROVIDED FOR FIRE FIGHTER USE:
 PROVIDED - 8 SPACES
 REQUIRED - 8 SPACES



PLAN #2



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1	DATE	10/12/10	REVISED
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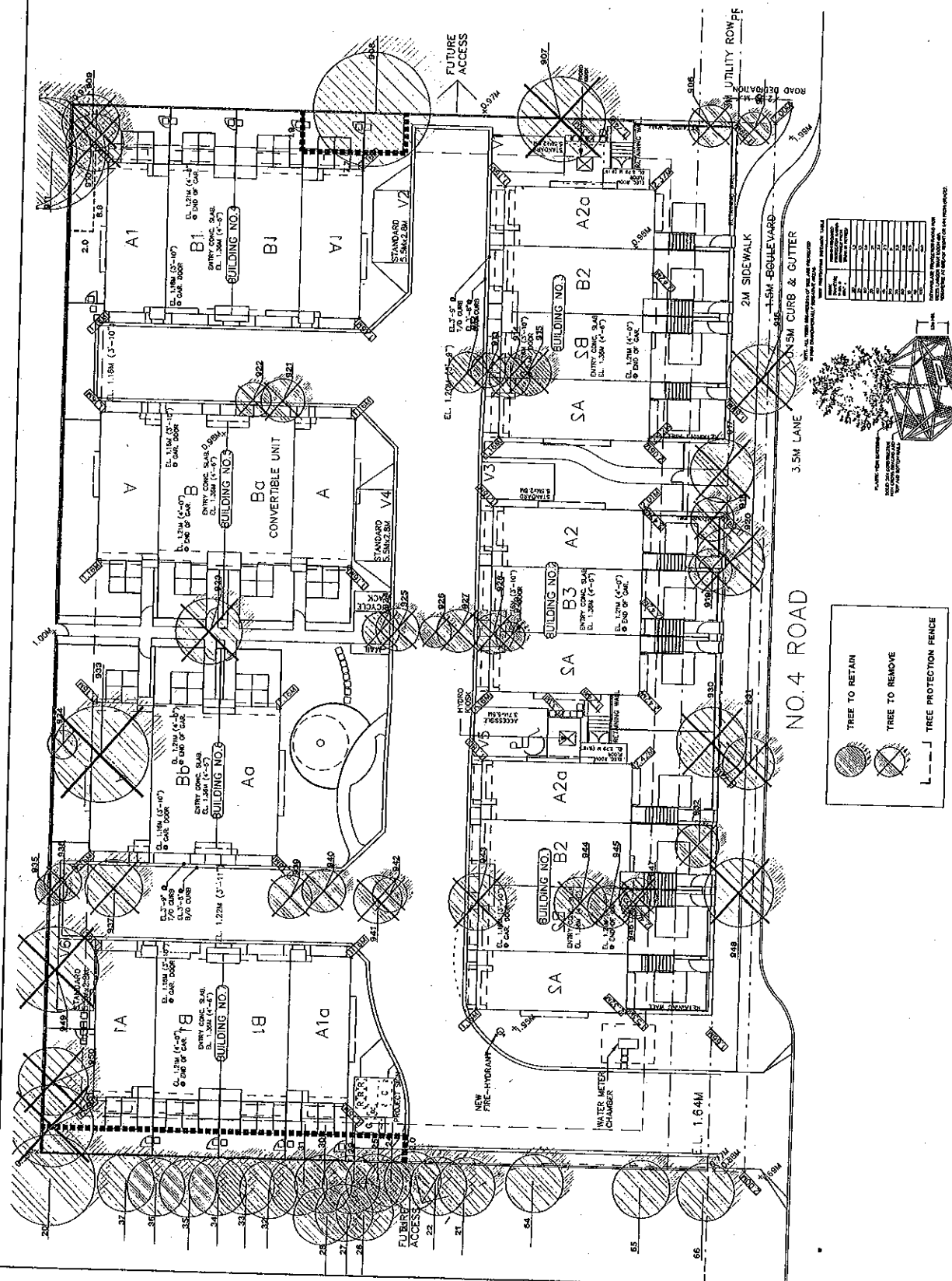
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Fax: 919.486.1812
www.dmg-la.com

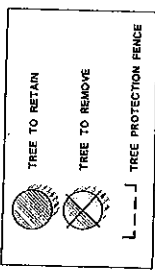
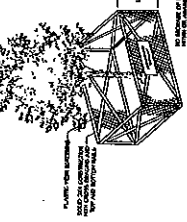
PROJECT: 26 UNIT TOWNHOUSE DEV.
4077, 4079, 4081, 4083 NO. 4 ROAD
DURHAM, NC

DRAWING TITLE: TREE MANAGEMENT PLAN

DATE: 10/12/10	DRAWING NUMBER: L1
SCALE: 1/4"=1'-0"	
DRAWN BY: DMG	
CHECKED BY: DMG	
DATE: 10/12/10	OF 6
DMG PROJECT NUMBER: 09-486181	



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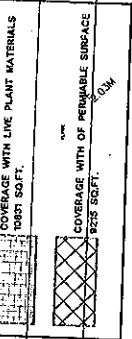
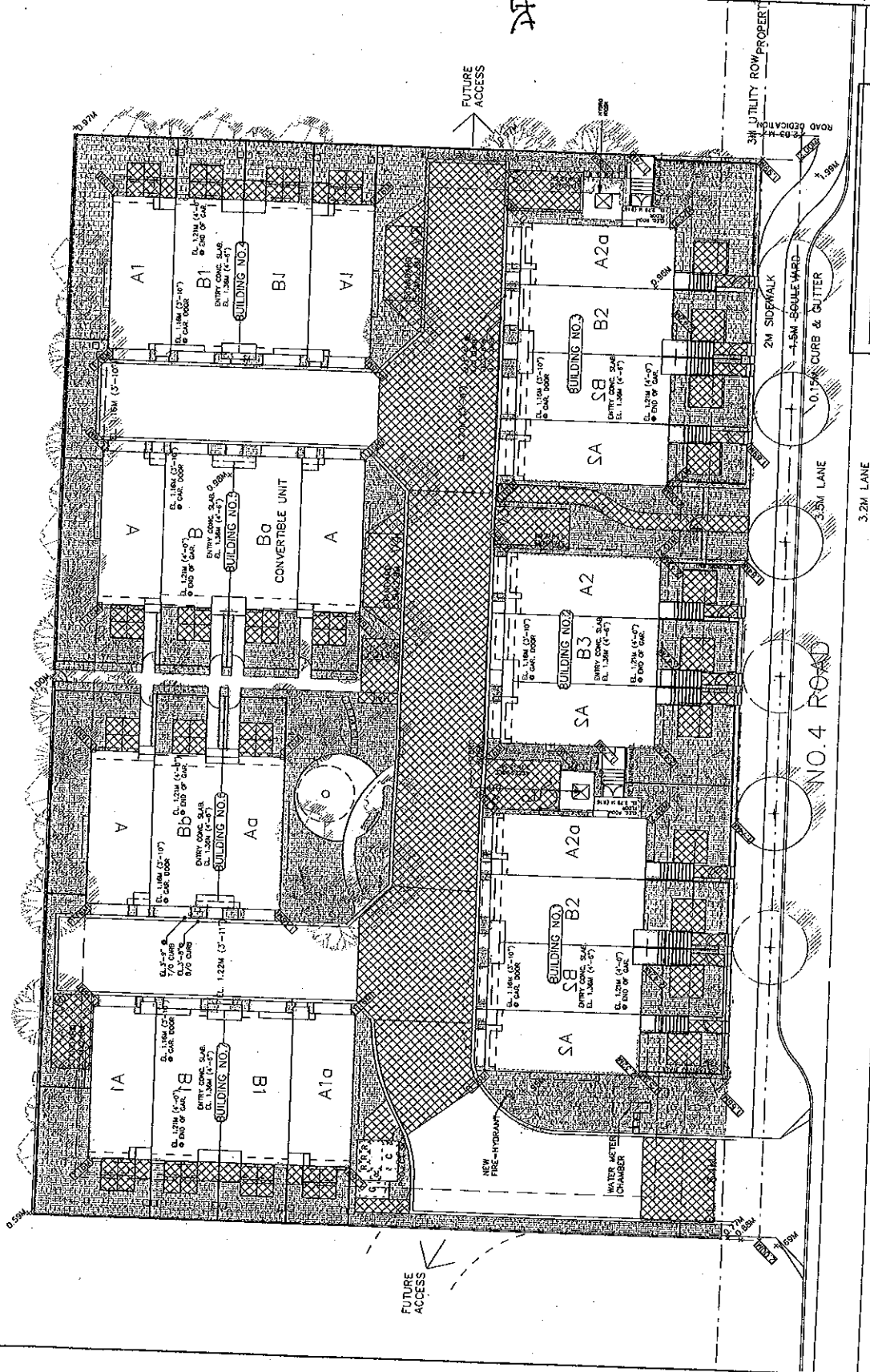
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APR 20 2010 PLAN #31
09486481

DMG
landscape architects
1111 University of
Parkway, Suite 100
Atlanta, Georgia 30309
Phone: 404-525-8888
Fax: 404-525-8889

PROJECT:
26 UNIT TOWNHOUSE DEV.
4071 40th AVE, NEZ NO. 4 ROAD
ATLANTA, GA

DRAWING NUMBER	
DATE: 03/11/10	L2
DRAWN BY: [blank]	
CHECKED BY: [blank]	
DATE: 03/11/10	
DWG PROJECT NUMBER: 09-016	



3.2M LANE
3.3M LANE
3.2M LANE

PROPOSED NO. 4 ROAD E.L. 2.0M

3.7M

APPROXIMATE

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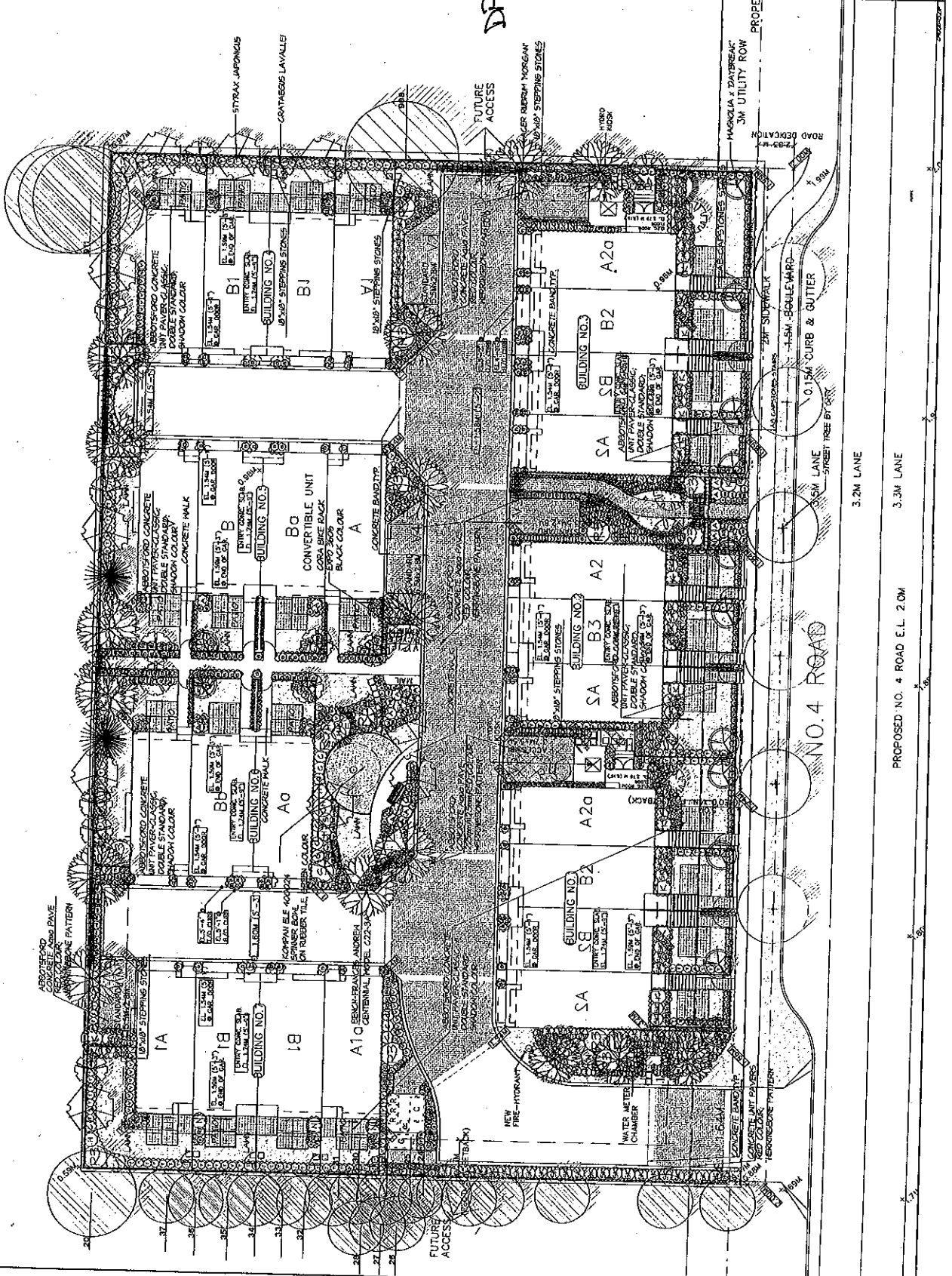
APR 20 2010 PLAN #3C
 09486487

DMG
 Landscape Architects
 125 ...
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 ...

PLOT: 26 UNIT TOWNHOUSE DEV.
 4071 4TH ST. 3RD NO. 4 ROAD
 ...

LANDSCAPE PLAN

DATE: 05/11/10	DRAWING NUMBER: L3
SCALE: 1/8"=1'-0"	
DRAWN BY: ...	
CHECKED BY: ...	
DATE: 05/11/10	OF 6
DWG. PROJECT NUMBER: 09-002	



PROPOSED NO. 4 ROAD E.L. 2.0M

3.2M LANE

3.3M LANE

NO. 4 ROAD

0.15M CURB & GUTTER

0.15M LANE

STREET TREE BY CURB

1.5M BOULEVARD

2M SIDEWALK

3M UTILITY ROW

PROPE

ROAD DEDICATION

1.5M

1.5M

1.5M

1.5M

1.5M

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APR 20 2018 PLAN #35
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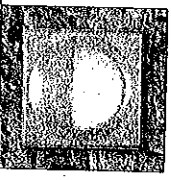
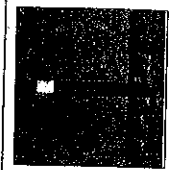
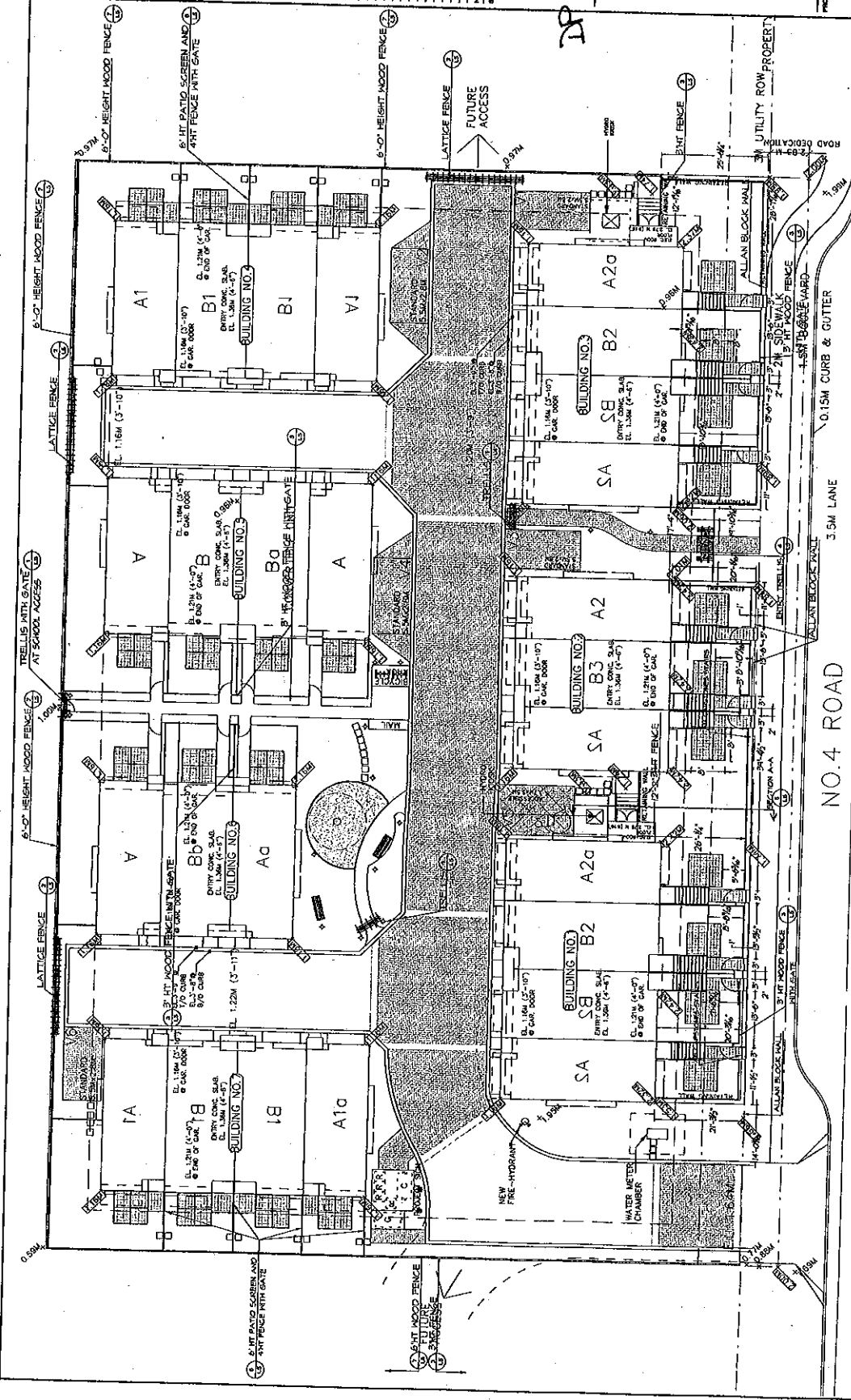
DMG landscape architects
 11111 University Blvd
 Suite 100
 Houston, TX 77036
 P: 281.486.4877
 F: 281.486.4878

26 UNIT TOWNHOUSE DEV.
 4071 40th Ave, Apt. 20, 4 Road
 Richmond, BC

DRAWING TITLE
FENCE AND LIGHTING PLAN

DATE ISSUED	PROJECT NUMBER
SCALE: 1/8"=1'-0"	
DRAWN BY	
CHECKED BY	
DATE: 04	
DMG PROJECT NUMBER	09-008

L4



SYMBOL	SCHEDULE	DESCRIPTION
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■	EXTERIOR LANDSCAPING LIGHT	

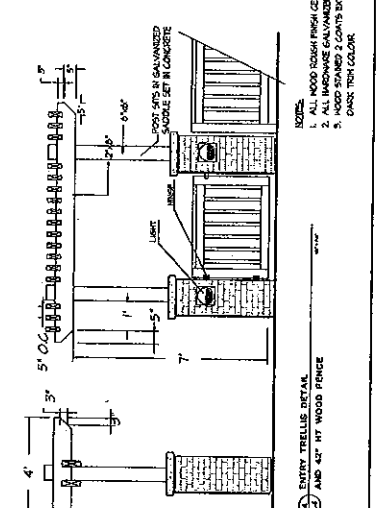
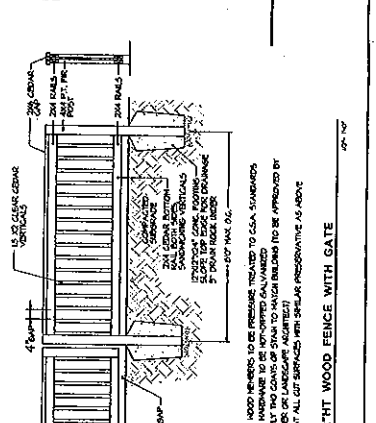
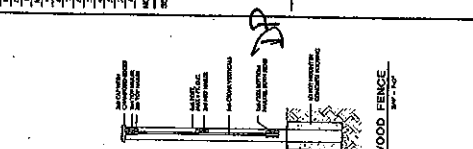
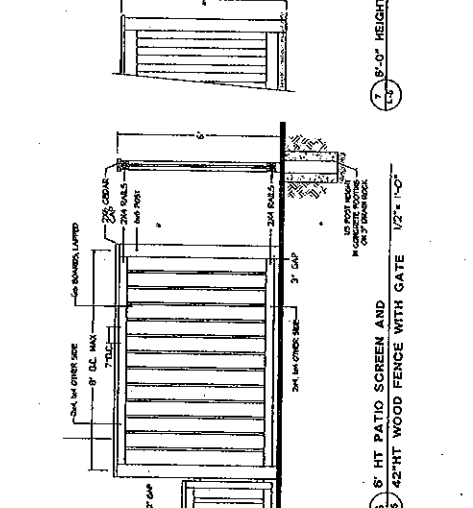
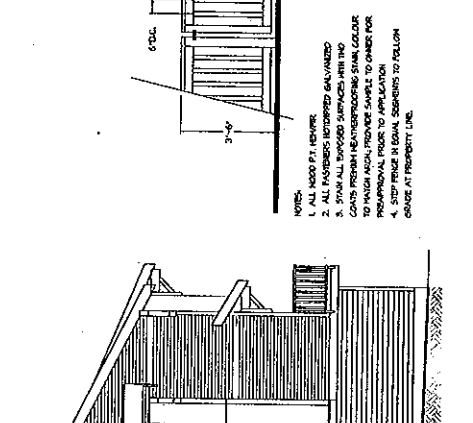
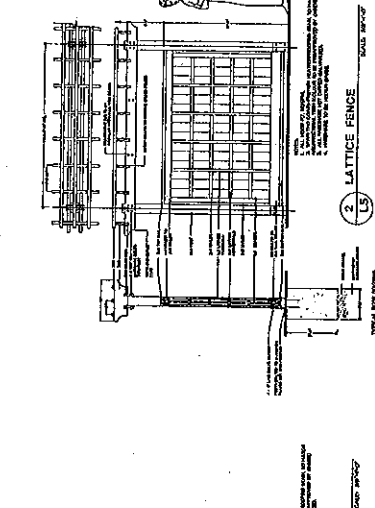
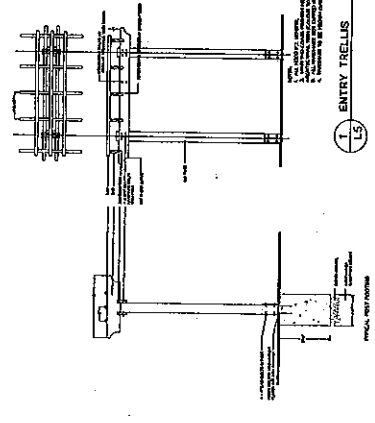
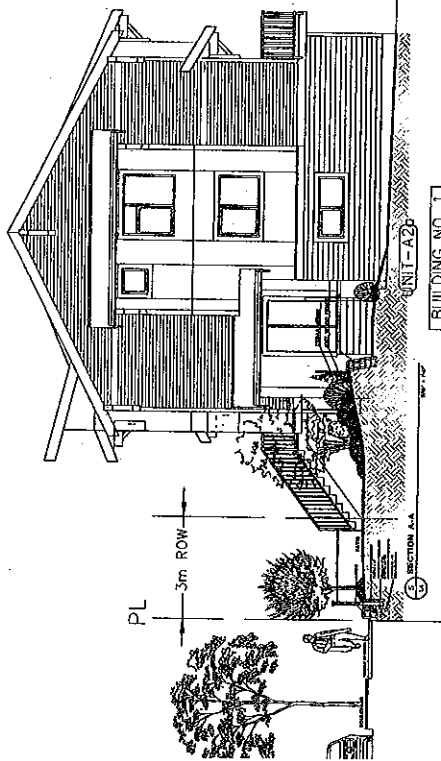
BOLLARD LIGHT 1800-L
 COLOR-CITY SILVER

STEP LIGHT 2335-SQ
 COLOR-CITY SILVER

09/24/23

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APR 20 2010 PLAN 31
09486487

DMG
LANDSCAPE ARCHITECTS

A Partnership of
DMG LANDSCAPE ARCHITECTS LLC
4071 45TH AVENUE, SUITE 400
RICHMOND, VA 23221
TEL: 804.771.1111
WWW.DMGARCHITECTS.COM

PROJECT: 26 UNIT TOWNHOUSE DEV.
4071 45TH AVENUE, SUITE 400
RICHMOND, VA

DATE: 04/20/10
SCALE: AS SHOWN
DRAWN BY: DMG
CHECKED BY: DMG
DATE: 04/20/10

LANDSCAPE DETAILS
L5
OF 6
09-000

© Copyright Reserved. This drawing and design to be used for the project and not to be reproduced without the written consent of the architect.

PART ONE: GENERAL REQUIREMENTS

- 1. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
- 2. The contractor shall maintain access to all existing utilities and structures on the site.
- 3. The contractor shall be responsible for the safety of all workers and the public during the construction process.
- 4. The contractor shall maintain the site in a neat and clean condition at all times.
- 5. The contractor shall be responsible for the removal and disposal of all debris and waste materials.
- 6. The contractor shall be responsible for the protection of all existing trees and vegetation on the site.
- 7. The contractor shall be responsible for the installation and maintenance of all irrigation systems.
- 8. The contractor shall be responsible for the installation and maintenance of all lighting systems.
- 9. The contractor shall be responsible for the installation and maintenance of all drainage systems.
- 10. The contractor shall be responsible for the installation and maintenance of all retaining walls and structures.

PART TWO: SPT LANDSCAPE DEVELOPMENT - CONT.

- 1. The contractor shall be responsible for the installation and maintenance of all landscape plants and materials.
- 2. The contractor shall be responsible for the installation and maintenance of all landscape structures and features.
- 3. The contractor shall be responsible for the installation and maintenance of all landscape lighting and irrigation systems.
- 4. The contractor shall be responsible for the installation and maintenance of all landscape drainage and retaining walls.
- 5. The contractor shall be responsible for the installation and maintenance of all landscape structures and features.
- 6. The contractor shall be responsible for the installation and maintenance of all landscape lighting and irrigation systems.
- 7. The contractor shall be responsible for the installation and maintenance of all landscape drainage and retaining walls.
- 8. The contractor shall be responsible for the installation and maintenance of all landscape structures and features.
- 9. The contractor shall be responsible for the installation and maintenance of all landscape lighting and irrigation systems.
- 10. The contractor shall be responsible for the installation and maintenance of all landscape drainage and retaining walls.

PART THREE: SPT LANDSCAPE DEVELOPMENT - CONT.

- 1. The contractor shall be responsible for the installation and maintenance of all landscape plants and materials.
- 2. The contractor shall be responsible for the installation and maintenance of all landscape structures and features.
- 3. The contractor shall be responsible for the installation and maintenance of all landscape lighting and irrigation systems.
- 4. The contractor shall be responsible for the installation and maintenance of all landscape drainage and retaining walls.
- 5. The contractor shall be responsible for the installation and maintenance of all landscape structures and features.
- 6. The contractor shall be responsible for the installation and maintenance of all landscape lighting and irrigation systems.
- 7. The contractor shall be responsible for the installation and maintenance of all landscape drainage and retaining walls.
- 8. The contractor shall be responsible for the installation and maintenance of all landscape structures and features.
- 9. The contractor shall be responsible for the installation and maintenance of all landscape lighting and irrigation systems.
- 10. The contractor shall be responsible for the installation and maintenance of all landscape drainage and retaining walls.

PART FOUR: SPT LANDSCAPE DEVELOPMENT - CONT.

- 1. The contractor shall be responsible for the installation and maintenance of all landscape plants and materials.
- 2. The contractor shall be responsible for the installation and maintenance of all landscape structures and features.
- 3. The contractor shall be responsible for the installation and maintenance of all landscape lighting and irrigation systems.
- 4. The contractor shall be responsible for the installation and maintenance of all landscape drainage and retaining walls.
- 5. The contractor shall be responsible for the installation and maintenance of all landscape structures and features.
- 6. The contractor shall be responsible for the installation and maintenance of all landscape lighting and irrigation systems.
- 7. The contractor shall be responsible for the installation and maintenance of all landscape drainage and retaining walls.
- 8. The contractor shall be responsible for the installation and maintenance of all landscape structures and features.
- 9. The contractor shall be responsible for the installation and maintenance of all landscape lighting and irrigation systems.
- 10. The contractor shall be responsible for the installation and maintenance of all landscape drainage and retaining walls.

NO.	REVISION/DESCRIPTION	DATE
1	ISSUED FOR PERMITS	01/15/10
2	REVISED PERMITS	02/15/10
3	REVISED PERMITS	03/15/10
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100	REVISED PERMITS	04/15/18

APR 20 2010 PLAN #31
DPO9486487



PROJECT:
26 UNIT TOWNHOUSE DEV.
4071, 4091, 4111, 4131 NO. 4 ROAD
RICHMOND, BC

DRAWING TITLE:
LANDSCAPE SPECIFICATION

DATE: 04/15/10	DRAWING NUMBER: L6
SCALE: AS SHOWN	
DRAWN BY: [Name]	
CHECKED BY: [Name]	
DATE: 04/15/10	
PROJECT NUMBER: [Number]	

APR 20 2010 PLAN # 41
 DP 09486487

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Yamamoto
 Architecture Inc.

1000 N. W. 10TH AVENUE, SUITE 100
 MIAMI, FL 33136

ELEVATIONS

SCALE: 1/8" = 1'-0"

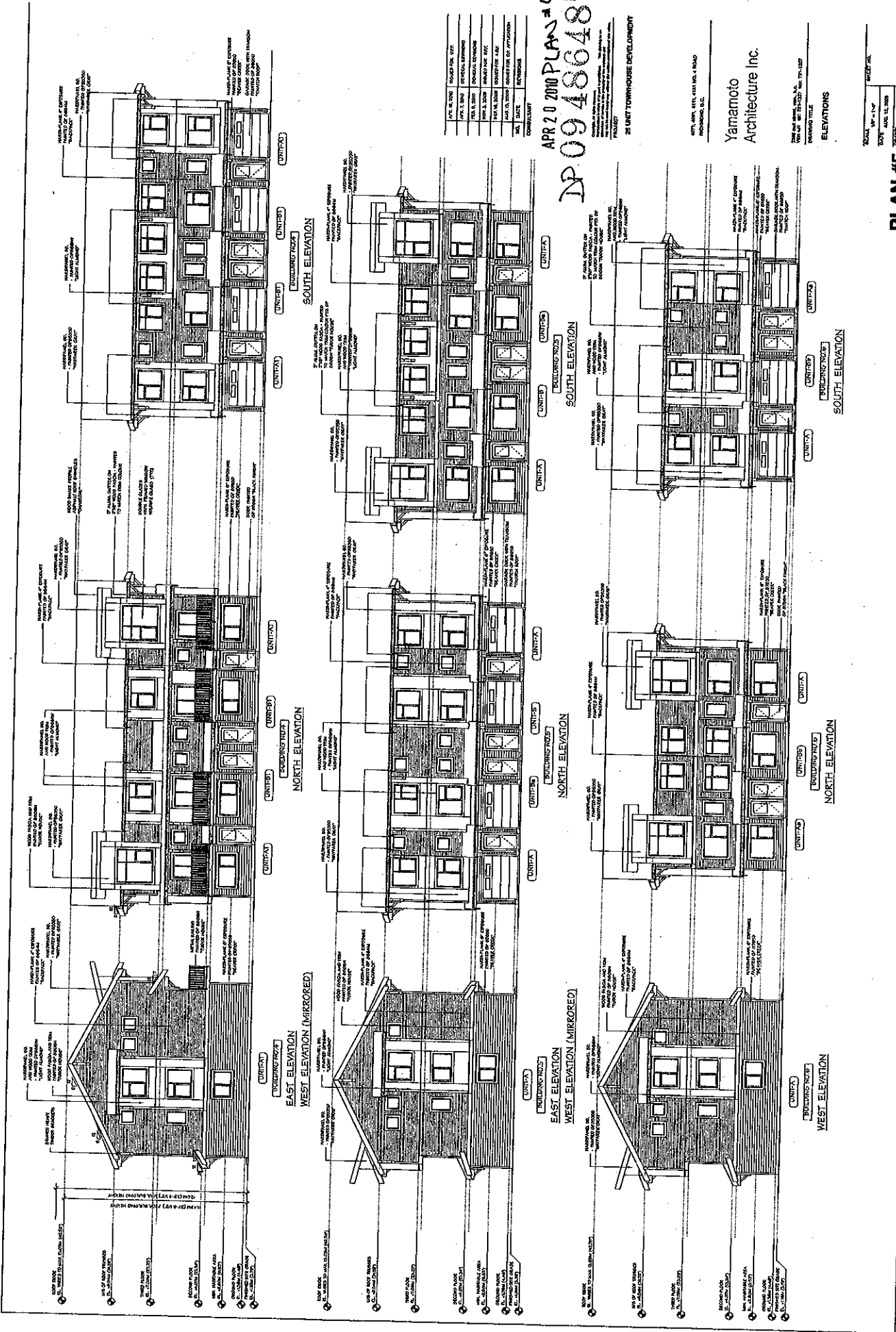
DATE: 04/20/10

PROJECT: 09486487

DESIGNED BY: YAMAMOTO ARCHITECTURE INC.

CHECKED BY: YAMAMOTO ARCHITECTURE INC.

PLAN #5



PLAN #5

APR 20 2010 PLAN 44
 DP 09486487

NO.	DATE	DESCRIPTION
1	APR 16, 2010	ISSUED FOR IFC
2	MAY 13, 2010	ISSUED FOR PERMITS
3	MAY 13, 2010	ISSUED FOR PERMITS
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28 UNIT TOWNHOUSE DEVELOPMENT

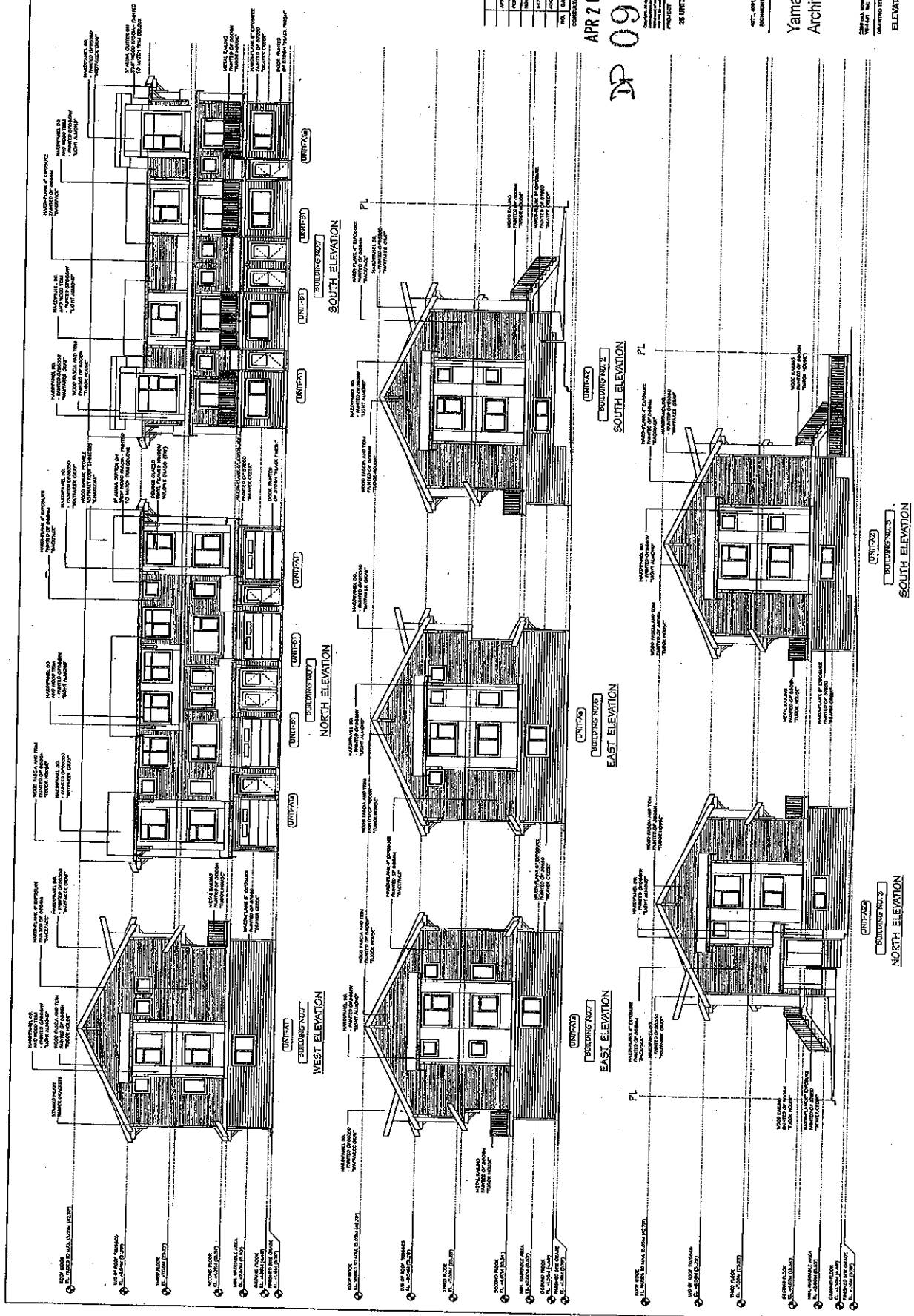
4575 W. 14TH AVE. UNIT 101 & 102
 BIRMINGHAM, AL

Yamamoto
 Architecture Inc.

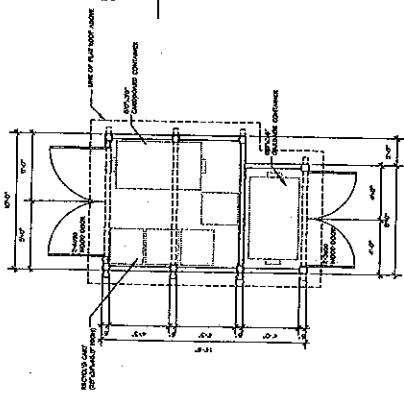
DATE: APR. 16, 2010
 DRAWING TITLE: ELEVATIONS

SCALE: 1/8" = 1'-0"	SHEET NO.
DATE: APR. 16, 2010	TOTAL SHEETS
DRAWN BY: JRM	PROJECT NO.
CHECKED BY: JRM	PROJECT NAME

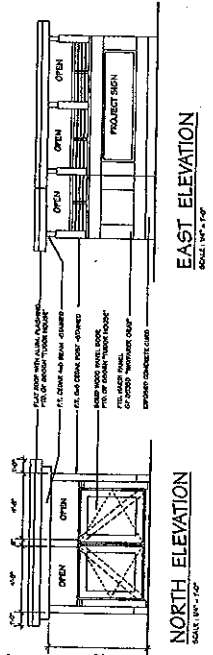
PLAN #6



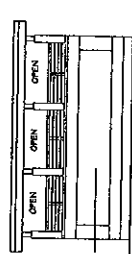
PLAN #6



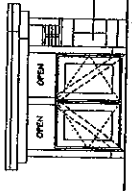
**CARDBOARD, RECYCLING & GARBAGE
CART ENCLOSURE PLAN**
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

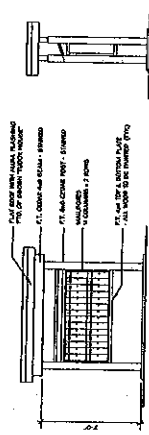


EAST ELEVATION
SCALE: 1/8" = 1'-0"

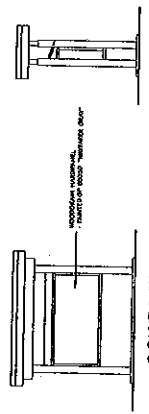


SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

WEST ELEVATION
SCALE: 1/8" = 1'-0"



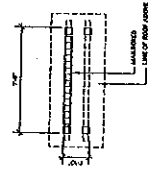
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

WEST ELEVATION
SCALE: 1/8" = 1'-0"



MAILBOX STRUCTURE
SCALE: 1/8" = 1'-0"



DATE	DESCRIPTION
APR 20 2010	REVISIONS
NO.	DATE
09486487	04/20/10
DRAWN BY: [Name]	
CHECKED BY: [Name]	
PROJECT: 28 UNIT TOWNHOUSE DEVELOPMENT	

DP

1971 HWY. 437, BOX 11 ROAD
ROCKWELL, NC

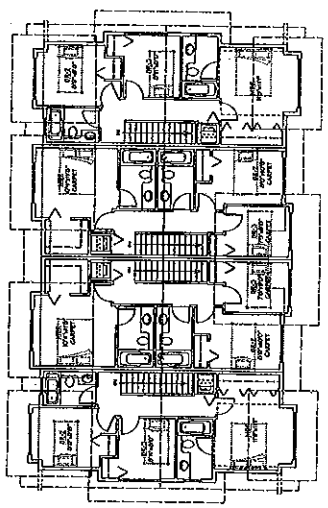
**Yamamoto
Architecture Inc.**

2800 HWY. 437, BOX 11 ROAD
ROCKWELL, NC 28152

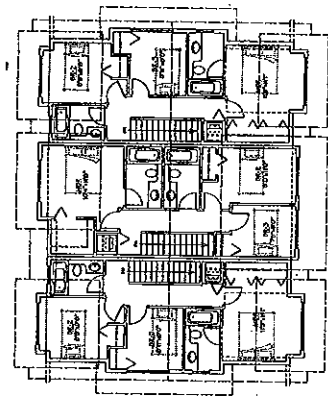
DRAWING TITLE
**ELEVATIONS AND
DETAILS**

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DRAWN BY: [Name]	CHECKED BY: [Name]
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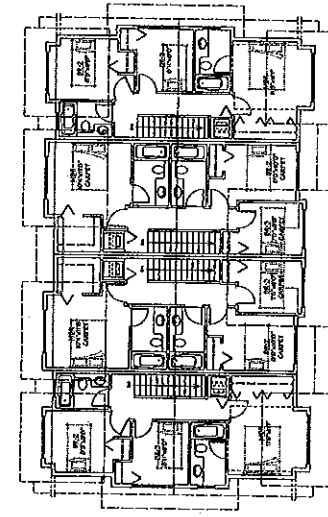
PLAN #7



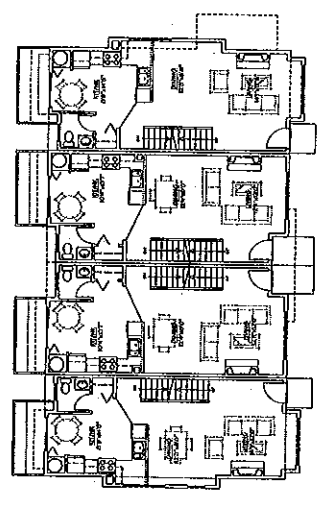
UNIT 101
THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"



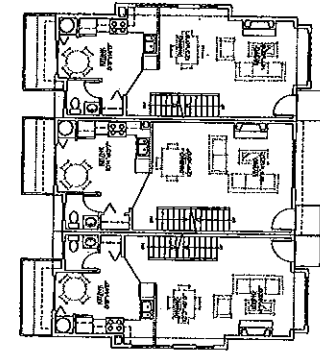
UNIT 102
THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"



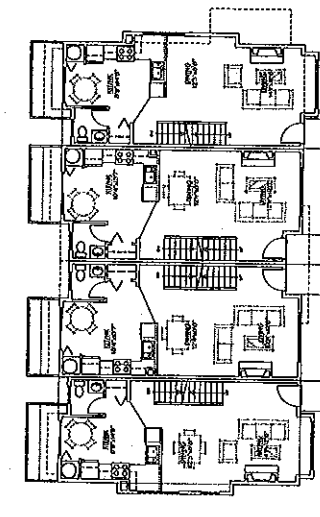
UNIT 103
THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"



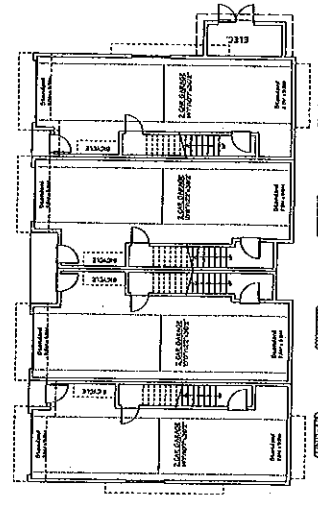
UNIT 101
SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



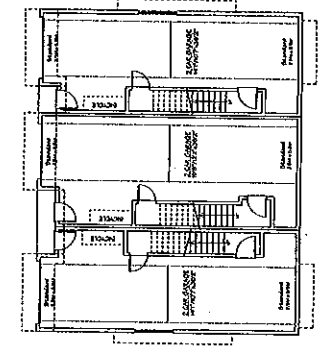
UNIT 102
SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



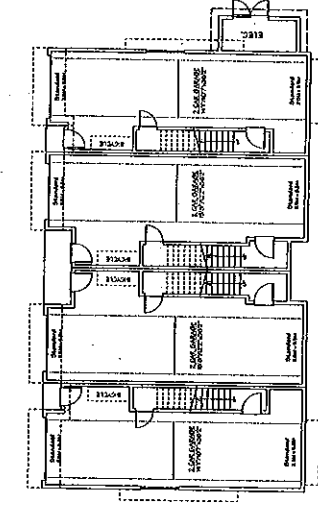
UNIT 103
SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



UNIT 101
GROUND FLOOR PLAN
SCALE 1/8" = 1'-0"



UNIT 102
GROUND FLOOR PLAN
SCALE 1/8" = 1'-0"



UNIT 103
GROUND FLOOR PLAN
SCALE 1/8" = 1'-0"

AGING IN PLACE FEATURES
 TO BE PROVIDED IN ALL UNITS:
 1. WALK-IN SHOWER
 2. WALK-IN CLOSET
 3. WALK-IN PANTRY
 4. WALK-IN LINEN CLOSET
 5. WALK-IN STORAGE CLOSET
 6. WALK-IN BATH CLOSET
 7. WALK-IN HALL CLOSET
 8. WALK-IN ENTRY CLOSET
 9. WALK-IN LAUNDRY CLOSET
 10. WALK-IN GARAGE CLOSET
 11. WALK-IN PORCH CLOSET
 12. WALK-IN PATIO CLOSET
 13. WALK-IN TERRACE CLOSET
 14. WALK-IN DRIVEWAY CLOSET
 15. WALK-IN DRIVEWAY PORCH CLOSET
 16. WALK-IN DRIVEWAY PATIO CLOSET
 17. WALK-IN DRIVEWAY TERRACE CLOSET
 18. WALK-IN DRIVEWAY PORCH PATIO CLOSET
 19. WALK-IN DRIVEWAY PATIO TERRACE CLOSET
 20. WALK-IN DRIVEWAY PATIO TERRACE PORCH CLOSET

NO.	DATE	REVISION
1	04/20/2010	ISSUED FOR PERMIT
2	04/20/2010	ISSUED FOR PERMIT
3	04/20/2010	ISSUED FOR PERMIT
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19	04/20/2010	ISSUED FOR PERMIT
20	04/20/2010	ISSUED FOR PERMIT

APR 20 2010 REFERENCE PLAN
 DP 09486487

PROJECT
 20 UNIT TOWNHOUSE DEVELOPMENT

400 W. 4TH ST. #100
 RICHMOND, VA

Yamamoto
 Architecture Inc.

DATE: MAR 12 2010
 DRAWING TITLE: FLOOR PLANS

SCALE	DATE	BY	CHKD	APP'D
1/8" = 1'-0"	MAR 12 2010	YAMAMOTO	YAMAMOTO	YAMAMOTO

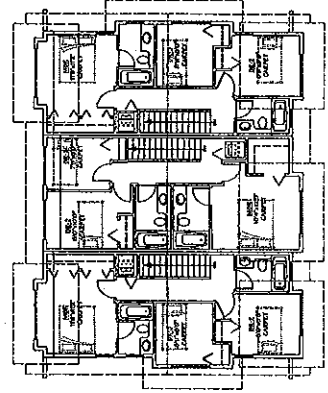
PLAN #8

APR 20 2000 REFERENCE PLAN
 DP 09486487

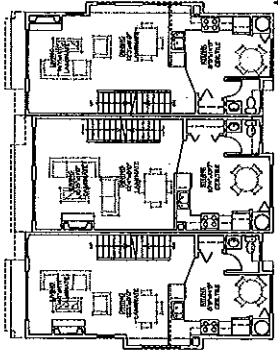
**AGING IN PLACE FEATURES
 TO BE PROVIDED IN ALL UNITS:**
 - WALK-BEhind DOOR OPENERS
 - 1/2" CLEARANCE UNDER ALL DOORS
 - 5/8" DIA. HANDLES ON ALL DOORS
 - 5/8" DIA. HANDLES ON ALL RAILS
 - 5/8" DIA. HANDLES ON ALL RAILS
 - 5/8" DIA. HANDLES ON ALL RAILS

NO.	DATE	REVISION	BY	CHK'D
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100	04/15/00	ISSUED FOR RFP		

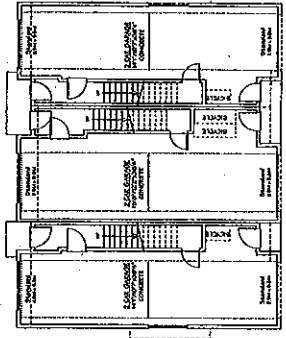
PROJECT: 20 UNIT TOWNHOUSE DEVELOPMENT
 ARCHITECT: YAMAMOTO ARCHITECTURE INC.
 4711 W. 14TH ST. SUITE 100
 DENVER, CO 80202
 DATE: APRIL 15, 2000
 DRAWING TITLE: FLOOR PLANS
 SHEET NO.: 01
 TOTAL SHEETS: 01
 DRAWING NO.: DP 09-486487
 PROJECT NO.: 074



UNIT 101
 THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

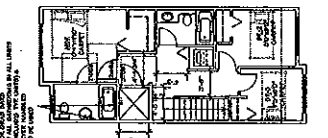


UNIT 101
 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

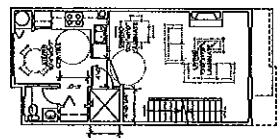


UNIT 101
 GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

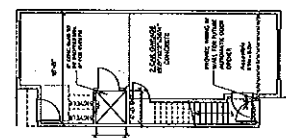
PLAN #9



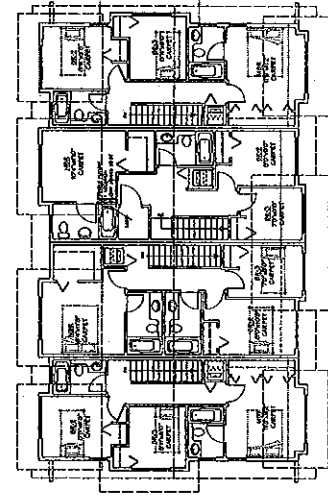
UNIT 102
 THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"



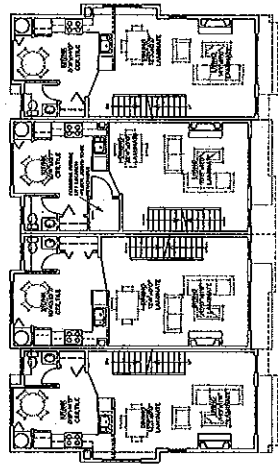
UNIT 102
 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



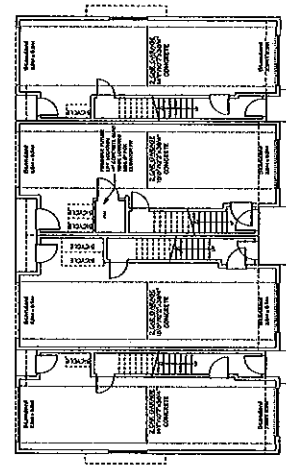
UNIT 102
 GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



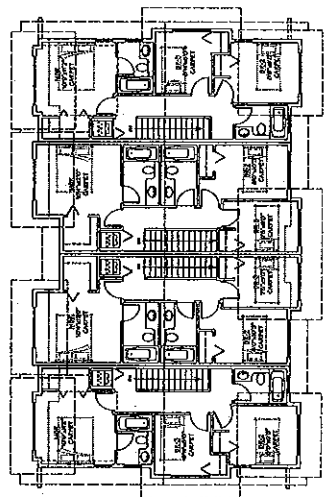
UNIT 103
 THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"



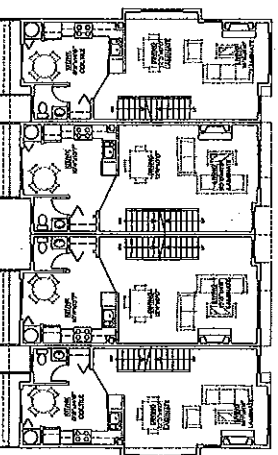
UNIT 103
 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



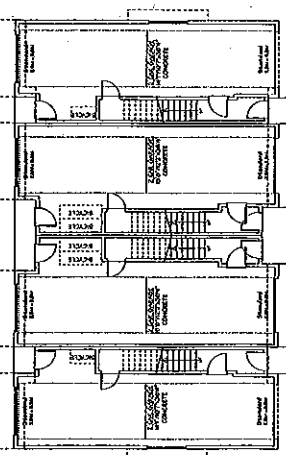
UNIT 103
 GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



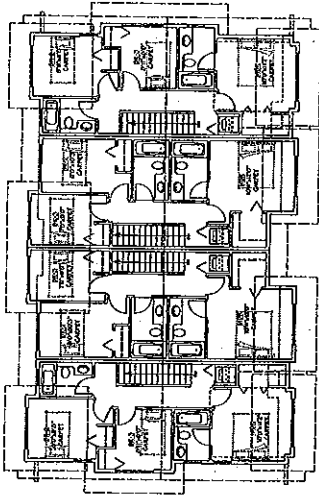
UNIT 104
 THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"



UNIT 104
 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

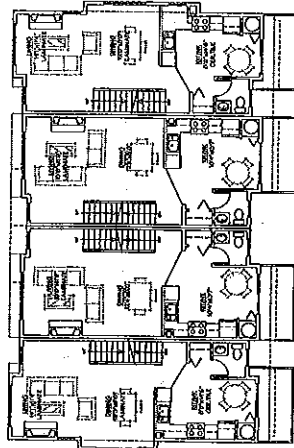


UNIT 104
 GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



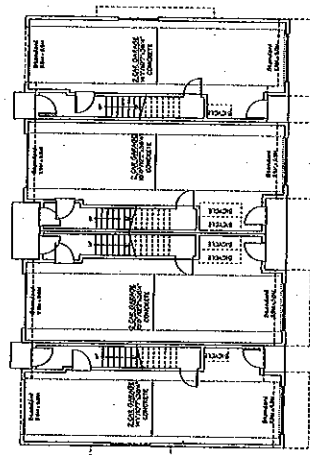
UNIT 101 UNIT 102 UNIT 103 UNIT 104

THIRD FLOOR PLAN
SCALE 1/8\"/>



UNIT 201 UNIT 202 UNIT 203 UNIT 204

SECOND FLOOR PLAN
SCALE 1/8\"/>



UNIT 301 UNIT 302 UNIT 303 UNIT 304

GROUND FLOOR PLAN
SCALE 1/8\"/>

AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):
- 5/8\"/>

NO.	DATE	DESCRIPTION
1	APR 10, 2010	ISSUED FOR RFP
2	MAY 10, 2010	CONTRACT SIGNATURE
3	MAY 18, 2010	GENERAL PERMITS
4	MAY 21, 2010	ISSUED FOR BIDD
5	SEP 14, 2010	ISSUED FOR ADJ
6	MAY 13, 2010	ISSUED FOR 2ND APPROVAL
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APR 20 2010 REFERENCE PLAN
DP 09486487

PROJECT
28 UNIT TOWNHOUSE DEVELOPMENT

4771 HWY. 4711, BOX 4 ROAD
MONTGOMERY, AL

Yamamoto
Architecture Inc.

28 UNIT TOWNHOUSE DEVELOPMENT
4771 HWY. 4711, BOX 4 ROAD
MONTGOMERY, AL 36117

FLOOR PLANS

NO.	DATE	DESCRIPTION
1	APR 10, 2010	ISSUED FOR RFP
2	MAY 10, 2010	CONTRACT SIGNATURE
3	MAY 18, 2010	GENERAL PERMITS
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PLAN #10