



**City of Richmond**  
Planning and Development Department

## Report to Development Permit Panel

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**To:** Development Permit Panel  
**From:** Brian J. Jackson, MCIP  
Director of Development  
**Date:** October 28, 2009  
**File:** DP 09-494545  
**Re:** **Application by Fairchild Developments Ltd. for a Development Permit at  
4000 No. 3 Road**

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### Staff Recommendation

That a Development Permit be issued, which would:

1. Permit the construction of a six-storey, 22,057.3 m<sup>2</sup> (237,423 ft<sup>2</sup>) addition to the existing Aberdeen Centre consisting of restaurant, retail and office uses and parking for the property located at 4000 No. 3 Road, to be coordinated with the existing Canada Line - Aberdeen Station on a site zoned Comprehensive Development District (CD/183) for Zoning and Development Bylaw No. 5300 and High Rise Office Commercial (ZC27) for Zoning Bylaw 8500; and
2. Vary the provisions of the Zoning and Development Bylaw No. 5300 and Zoning and Development Bylaw 8500 to:
  - a) Permit 36 tandem parking stalls on Level 4, to be designated and signed for non-transient/employee parking use only.

Brian J. Jackson, MCIP  
Director of Development

BG:cas  
Att.

## Staff Report

### Origin

Fairchild Developments Ltd., has applied to the City of Richmond for permission to develop a six-storey, 22,057.3 m<sup>2</sup> (237,423 ft<sup>2</sup>) addition to the existing Aberdeen Centre consisting of restaurant, retail and office uses and parking for the property located at 4000 No. 3 Road, to be coordinated with the existing Canada Line - Aberdeen Station on a site zoned Comprehensive Development District (CD/183). The site currently has the foundations for the previous Development Permit (DP 07-367240) and Building Permit (07373747), which have lapsed. The developer is in the process of completing interim transit station plaza improvements that straddle the west property line including paving, lighting, large tree planting and street furniture. There is a separate Servicing Agreement associated with this Development Permit application that encompasses utility infrastructure and road frontage improvement along Cambie Road.

### Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant bylaw requirements.

### Background

Development surrounding the subject site is as follows:

- To the north, is an existing hotel (Aberdeen Residences) and across Cambie Road, is an existing hotel (Radisson President Hotel and Suites);
- To the east, the existing Aberdeen Centre parking structure and hotel (Aberdeen Residences);
- To the south, is an existing one-storey and two-storey multi-tenant retail/commercial/office complex (4140 and 4160 No. 3 Road); and
- To the west, straddling the property line, is the existing Canada Line – Aberdeen Station and across No. 3 Road, is an existing gas station (Domo) and restaurant (Tim Horton's).

### Rezoning and Public Hearing Results

The Public Hearing for this site was held on May 22, 2007 and the rezoning of this site from "Automobile-Oriented Commercial District (C6)" to "Comprehensive Development District (CD/183)" under Bylaw No. 8229 (RZ 06-355420) was adopted June 25, 2007.

### Staff Comments

As a condition of rezoning, various legal documents were filed at the Land Title Office. Some of these documents had termination clauses and/or specifically refer to the lapsed Development Permit (DP 07-367240). The applicant has agreed to provide a "No Development Covenant" registered at the Land Title Office prior to Council consideration of the Development Permit application and that all associated legal agreements will be reviewed and updated reflecting the proposed development.

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the existing "Comprehensive Development District (CD/183)", except for the zoning variances noted below.

**Zoning Compliance/Variations (staff comments in bold)**

The applicant requests to vary the provisions of the Zoning and Development Bylaw No. 5300 to:

- 1) Permit 36 tandem parking stalls on Level 4, to be designated and signed for non-transient/employee parking use only.

*(Staff supports the proposed variance as these tandem parking spaces are designated for non-transient/employee use only).*

**Advisory Design Panel Comments**

The rezoning application (RZ 06-355420) was presented to the Advisory Design Panel (ADP) on February 21, 2007, and Development Permit application (DP 07-367240) was also presented to the ADP on May 2, 2007. At that time, the Panel recommended that the project move forward to the Development Permit Panel without conditions. Since then, Development Permit (DP 07-367240) has lapsed, but given the similarities of the previously approved Development Permit to the current application, we do not believe it was necessary to the ADP to review the project again.

**Analysis****Conditions of Adjacency**

1. General Form and Massing: *The building has a height of 25.5 m (83.5 ft.), which is less than the permitted 40 m (131 ft). The built form complies with the development guidelines as a six-storey building mass with continuous but varied curtain wall glazing along both No. 3 Road and Cambie Road. Parking is concealed behind a continuous retail frontage at-grade and setback behind office spaces and a landscape buffer on level 4. The transit exchange (HandyDart and Kiss-n-Ride) parking is along the Cambie Road frontage.*
2. Setbacks and Adjacencies: *The proposed development conforms with the existing zoning setbacks. The building is set back from No. 3 Road to permit space for the transit plaza while the north façade along Cambie Road cantilevers 3 m above the ground floor providing visual interest and pedestrian weather protection. The proposed double glazed curtain wall system will reduce sound transfer and an Aircraft Noise Sensitive Use Covenant has been registered on Title. The wall along the south property line is proposed to be concrete block construction with white grouting accent, similar to the UBC Chan Centre (Attachment 2). The accent grouting will help break the mass of this blank wall, creating visual interest for the adjacent development. A concrete block infill wall is proposed since the majority this wall construction can occur on the subject site.*

**Urban Design and Site Planning**

1. Access: *Vehicle access is from Cambie Road through the existing Aberdeen Centre parking structure but the main pedestrian entry is on No. 3 Road adjacent to the Canada Line – Aberdeen Station. The routing plans (Attachment 3) show the proposed pedestrian routes between the linked developments. Cross-access legal agreements are registered at the Land Title Office and will be updated, if necessary, to reflect the current proposal.*

2. **Parking:** *The proposed parking fulfills the zoning bylaw requirements in combination with the existing Aberdeen Centre (i.e. surplus parking from the existing Aberdeen Centre is utilized by the proposed development). The proposed development provides a total of 194 new parking spaces.*
3. **Loading:** *The loading dock on Cambie Road is for maximum SU-9 or smaller vehicles with appropriate safety measures required (Attachment 4).*
4. **Urban Design:** *The angle of the glass facade at the entry to the building atrium on No. 3 Road has been rotated eastward to widen the pedestrian passage between the building entry vestibule and the Canada Line station. To aid in expanding this area for pedestrians, sliding doors are proposed in the glass entry facade on street level, which will remain open in summer months during building opening hours. The southwest corner of the building along the east side of Canada Line Station, which is in the same location as the previous scheme, will have multiple doors entering into the retail units. This will allow fluid pedestrian movement from the street into the units and will relieve the feeling of congestion along the public walkway. Pedestrians on the street will see into transparent storefronts, visually opening this portion of the building façade. The main building entrance parallel to No. 3 Road will appear open to pedestrians as it connects to a three-storey atrium with a transparent glass façade.*

#### **Architectural Form and Character**

1. **Form and Character:** *The northwest corner of the facade is curved along the full height of the building, which relates to the surrounding building context. The building atrium, which will be open to pedestrians, is also curvilinear in design. The ground level retail frontages and the three-storey atrium will incorporate transparent glazing to help animate the adjacent plaza, to invite and entertain pedestrian traffic while providing informal security through 'more eyes on the street' and the building conforms with Richmond's "Garden City Expressions" by incorporating green areas with planting on levels 3 and 4.*
2. **Views:** *The view of transit riders has been taken into consideration given the proximity of the Canada Line station. Reflective coating is proposed for sections of the glass façade to animate the building façade with the reflected movement of the trains. Pedestrians on the street will see the train approaching or departing, visually connecting the street and the elevated platform. The elevated riders will see the train's reflection gliding across the building. Trees are located on the fourth level of the building along No. 3 Road, to enhance the view of the riders, briefly stopped at the station.*

#### **Building Code**

1. **Code Analysis and Alternative Solutions:** *The Applicant has agreed to provide a preliminary code analysis and has also agreed to the following:*
  - a) *The previously submitted Code Analysis and Alternative Solutions Report will be revised and registered at the Land Title Office to reflect the new proposal, including high building requirements.*
  - b) *All legal issues regarding this development are to be resolved prior to the issuance of the respective permits.*
  - c) *Relocating the main fire response point from No 3 Road to Cambie Road.*

- d) The proximity and spatial separation of the west wall of the proposed development in relation to the existing Canada Line station must be addressed.*
- e) The flood construction elevation for the ground floor, excluding areas used for vehicle parking, is to be minimum 0.3 m (12 in.) above highest point of the centerline of the roads abutting the site.*
- f) The completion of the sanitary sewer line.*
- g) The alternative solution report must be registered on title prior to strata titling the property.*
- h) There must be legal agreements with alternative solutions for exiting from the proposed expansion into the adjacent building or onto the adjacent property prior to issuance of any permits.*

### ***Landscape and Open Space Design***

- 1. Landscape: The Canada Line Station plaza will be enhanced with basalt and granite paving and extended towards the proposed building façade. The plaza paving will also be extended into the building atrium to allow the continuity of the public plaza into the building creating an indoor/outdoor space. The building frontage is oriented towards the plaza providing direct pedestrian access to retail spaces along the street. Large trees and street furnishings will be provided in the transit plaza. The building façade is set back at a distance greater 6 m from the east side of the Canada Line Aberdeen Station to form a comfortable pedestrian walkway corridor. The landscape will give priority to the use of native species and an automatic irrigation system will be provided.*
- 2. Universal Design Principles: The public spaces will all be accessible by design for baby strollers, small children and persons with disabilities. Bike storage racks will be provided in the Level 1 parkade and will conform to the bylaw requirement. Office users will be given access to existing end of trip shower/change-room facilities in the Aberdeen Centre.*
- 3. Public Realm Pedestrian Amenities: Glass canopies will be installed above the level 1 main building entry and continuously along the street to provide weather protection for pedestrians while still allowing light to penetrate onto the plaza.*
- 4. Way-finding: The paving pattern will enhance way-finding by directing pedestrian circulation with a curved line to the main entrance of the building on No. 3 Road, which also will pull pedestrians toward the street level entrance of the transit station. Access granite paving bands will lead pedestrians around the east side of the transit station to retail storefronts and the continuation of the public sidewalk south of the transit station. Signage will be considered as an integral part of the project design. No conventional back-lit sign panel boxes will be used.*
- 5. Circulation and Parking: Car-sharing will be encouraged by designating parking spaces for visitors using car-share vehicles. The proposed building will provide a pedestrian bridge, which will connect people from the station to the Aberdeen Centre.*
- 6. Roof Deck Landscape: The level 3 green area will connect the condominium residence to the proposed building. The level 4 parking will have planter boxes at the northeast perimeter of the building. A green area complete with tree planting is also proposed in the southwest corner of the building, which will be visible to riders on the platform of the Canada Line Station and also from street level.*

### ***Transportation and Traffic***

1. ***Transportation Demand Management (TDM): The applicant has agreed to the provision of \$100,000 for the purchase of 2-zone faresaver transit tickets for use by both employees and customers, to provide details for this program and a letter agreement as confirmation. The proximity to the new Canada Line station has already achieved significant reduction of automobile trips in the City and the region. Staff in the proposed development will be provided access to the existing end of trip bicycle facilities (i.e. showers and change-rooms) in the Aberdeen Centre. Other TDM measures to be considered include:***
  - i. Provision of one (1) bus shelter at a cost of approximately \$15,000.00;***
  - ii. Distribution to staff and customers awareness information on health and environmental benefits of alternative transportation modes;***
  - iii. Organize biking and walking workshops;***
  - iv. Provide preferential parking for carpoolers;***
  - v. Consideration of pay parking (validated or un-validated by merchants) to encourage use of alternative transportation modes; and***
  - vi. Discourage illegal park-and-ride use on this site.***
  
2. ***Canada Line/Transit Integration: The location of the future Canada Line Traction Power Sub-station is at ground level, in the southwest corner of the building within the leased retail space. The connection bridge will service only northbound Canada Line pedestrian traffic; hence will not significantly reduce street level activity. All passengers arriving from the north or entering the station to travel south will still need to enter and exit from street level. It is expected that the bridge connections will be used predominantly as an exit from the station for pedestrians whose destination is Aberdeen Centre. The majority of the Canada Line users will still enter the station from the street. The walls of the pedestrian bridge will be open to the street, which will visually connect the street and bridge users. For street users, the bridge and building façade will be animated with the movement of pedestrians on the elevated walkway. The proposed location for the HandyDart and Kiss-n-Ride parking is along Cambie Road (Attachment 4). No Commercial Retail Unit is proposed to be located under the Canada Line station.***
  
3. ***Sustainability: This project has leveraged proximity to the Canada Line as a means to focus a number of strategies around transportation. Connections are made to the Canada Line at two (2) levels, seamlessly integrating the proposed development into the new Aberdeen Station. Both on street and dedicated bicycle parking are included and access will be provided to end of trip facilities in the existing Aberdeen Centre. Preferential parking will be provided for carpools/vanpools, hybrid vehicles and smart cars. Further green design components will be incorporated as the building detailed design proceeds.***

### ***Engineering***

***Servicing Agreement: The previously completed servicing capacity analysis is still applicable from the previous application, however the applicant has not yet completed the Servicing Agreement, which was and still remains a prior condition to issuance of a Building Permit.***

***Crime Prevention Through Environmental Design (CPTED)***

***Measures for visibility and security will be provided consistent with the standards of the existing Aberdeen Centre parkade including transparency, glazing to elevators/stairs, security gate(s), adequate lighting levels, white paint on walls and ceilings to reflect light. Effective lighting will be provided and glazing will be placed in stairwells and vestibules on the level 1 and 4 parking areas. Further CPTED measures will be explored as the design is developed.***

***Waste and Recycling***

***Waste/recycling removal will be handled by separate contract with a private hauler. The waste/recycling layout and operations have been determined to be acceptable by BFI Canada. A cart-room will be provided for restaurants' organic waste collection. The loading bay will be closed off from the street with a swing gate to shield views and reduce odours along the street.***

**Conclusion**

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other staff comments identified as part of the review of the subject Development Permit application. Staff supports this application.



Brian Guzzi, MCIP, MCSLA  
Urban Design Coordinator  
(604) 276-4393

BG:cas

- Attachment 1 – Development Permit Application Data Sheet
- Attachment 2 - Example of Proposed Concrete Block Wall proposed along South Property Line
- Attachment 3 - Pedestrian Routes Connecting Proposed Development with Aberdeen Centre
- Attachment 4 - Loading Bay Truck Manoeuvring and Supplemental Loading Diagram
- Attachment 5 - Re-Routing of Sanitary Sewer Plan (along North & East Property Lines)

**Development Permit (DP 09-494545) and future Building Permit Considerations Concurrence**

1. The City of Richmond retains a Letter of Credit for Landscape from the previously lapsed development permit (DP 07-367240) in the amount of \$480,070.00 (based on previous total floor area of 240,035 ft<sup>2</sup>) and will continue to hold this security for the current development permit application since the proposed floor space in the new development permit application is comparable.
2. The City of Richmond has accepted the developer's voluntary payment for identified Water, Storm, and Sanitary Sewer upgrades, totalling \$515,442.07. It has been determined that no additional Development Cost Charges (DCC's) are applicable to this application.

3. Prior to forwarding this application to Council for Development Permit approval, the developer is required to register a "No Development Covenant" securing the provision of the following legal agreements prior to issuance of a Building Permit complete the following:
- a) Registration of an Aircraft Noise Sensitive Use Covenant on title.
  - b) Registration of a Flood Indemnity Covenant on title.
  - c) Registration of legal agreements to provide the required rights-of-way for utility services, as determined by City Engineering Department and the Director of Engineering in conjunction with the Servicing Agreement.
  - d) Registration of legal agreements on title of 4000 No. 3 Road to allow encroachment of TransLink transit station and elevated guideway onto No. 3 Road.
  - e) Registration of legal agreements to the satisfaction of the Director of Transportation for the proposed off-site parking located at the existing Aberdeen Mall at 4151 Hazelbridge Way for users of the mall expansion.
  - f) Registration of legal agreements to the satisfaction of the Director of Transportation to limit the use of thirty-six (36) tandem parking spaces on the subject site (4000 No. 3 Road) to non-transient use only.
  - g) Registration of legal agreements to the satisfaction of the Director of Transportation for the cross-access between the parkades of the two buildings including end of trip bicycle facilities.
  - h) Registration of legal agreements to the satisfaction of the Director of Development and the Director of Engineering to design, construct and secure Public-Rights-of-Passage along No. 3 Road frontage (public plaza) and assumption of liabilities.
  - i) Registration of legal agreements on title, for cross-access from the new addition at the subject site (4000 No. 3 Road) to the existing Aberdeen Mall at 4151 Hazelbridge Way and the Aberdeen Residences at 8080 Cambie Road to allow free pedestrian movement to and from the exiting mall through the designated corridor on Level 2.
  - j) Written commitment from Fairchild Development Ltd., to the satisfaction of the Director of Development, ensuring the provision of up to \$100,000.00 for the purchase of 2-zone faresaver tickets for use by both employees and customers of the proposed development.
4. Prior to future Building Permit issuance, the developer is required to complete the following:
- a) Registration of legal agreements on title of 4151 Hazelbridge Way to allow encroachment of a portion of the proposed building on the subject lands to encroach onto 4151 Hazelbridge Way.
  - b) Registration of legal agreements on title regarding the Building Code and Alternative Solutions including 'High Building' requirements that reflect the current development proposal.
  - c) The developer is required to enter into a Servicing Agreement\*, in addition to the Servicing Agreement for frontage work along No. 3 Road and Cambie Road, to the satisfaction of the Director of Engineering, for the relocation of sanitary sewer serving 4151 Hazelbridge Way. Separate easements may be required. This process is addressed under its own separate Servicing Agreement because the construction of these works will precede the balance of the off-site requirements, by a significantly time frame.
  - d) The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.
  - e) Submission of a construction traffic and parking management plan to the satisfaction of the City' Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).
  - f) Registration of reciprocal access agreement between TransLink, Fairchild Developments Ltd., and the City of Richmond for access to and from the Aberdeen Station to the proposed development in advance of when this connection would be constructed.

General Notes:

1. \* This requires a separate application.
2. Notwithstanding the foregoing, legal agreements must be secured to the satisfaction of the City Solicitor and, where deemed necessary by the City Solicitor, must be fully registered in the Land Title Office prior to issuance of the Development Permit or applicable permit.

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Signed

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Date





**City of Richmond**

6911 No. 3 Road  
 Richmond, BC V6Y 2C1  
 www.richmond.ca  
 604-276-4000

**Development Application  
 Data Sheet**  
 Development Applications Division

**DP DP 09-494545**

**Attachment 1**

Address: 4000 No. 3 Road

Applicant: Fairchild Developments Ltd.

Owner: Fairchild Developments Ltd.

Planning Area(s): Richmond City Centre

Floor Area Gross: 22,330 m<sup>2</sup> (240,363 ft<sup>2</sup>)

Floor Area Net: 15,924 m<sup>2</sup> (171,400 ft<sup>2</sup>)

	Existing	Proposed
<b>Site Area:</b>	7458.4 m <sup>2</sup> (80,282 ft <sup>2</sup> )	7458.4 m <sup>2</sup> (80,282 ft <sup>2</sup> )
<b>Land Uses:</b>	Vacant (except foundations) & Canada Line – Aberdeen Station (partial)	Commercial, Offices, Parking
<b>OCP Designation:</b>	Richmond City Centre Area	Richmond City Centre Area
<b>Zoning:</b>	CD/183	CD/183
<b>Number of Units:</b>	N/A	N/A

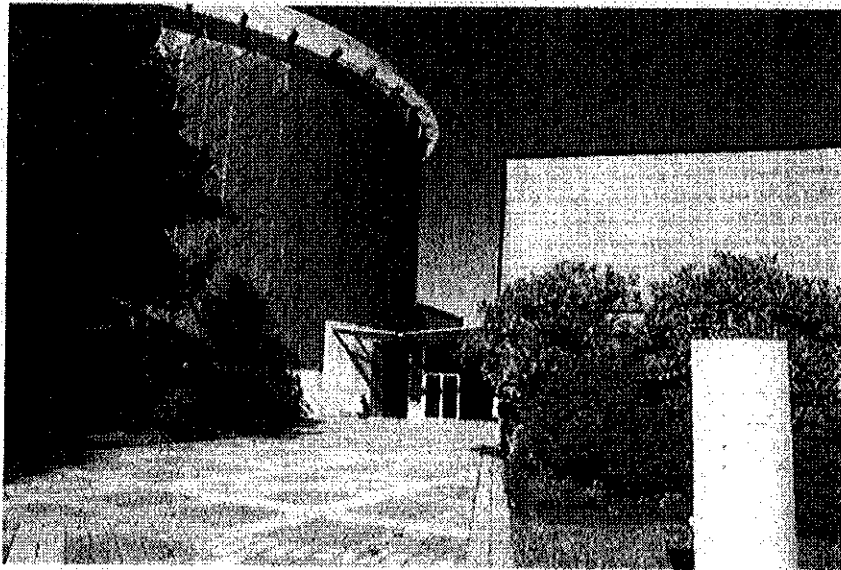
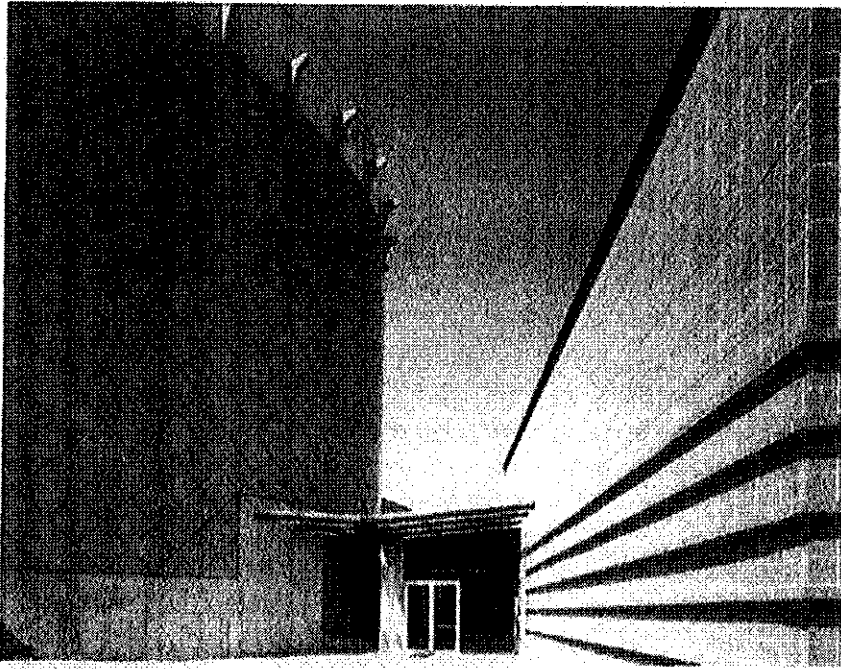
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 3.0	3	none permitted
Lot Coverage:	Max. 90%	75%	None
Setback – Front Yard (No. 3 Road):	Min. 3 m	8.8m-19.8m (29 - 65ft)	None
Setback – Side Yard (Cambie Road):	Min. 3 m	4.1m (13.6 ft)	None
Setback – Side & Rear Yard:	Min. 0 m	0m	None
Setback – Rear Yard:	Min. 0 m	0m	None
Height (m):	Max. 40 m	25.5 m (83.5 ft)	None
Lot Size:	N/A	7,461 m <sup>2</sup>	None
Off-street Parking Spaces – Residential/Commercial:	N/A and 565	N/A and 565	* No Variance required
Off-street Parking Spaces – Accessible:	4	4	None
Total off-street Spaces:	1632*	1572	* No Variance required
Tandem Parking Spaces	not permitted	36 non- transient and/or employee use only	variance supported
Amenity Space – Indoor:	Min. 70 m <sup>2</sup>	N/A	None
Amenity Space – Outdoor:	N/A	Station Plaza Level 1	None

\* See summary of parking calculations (page 4 of DP 09-494545 Report)

**Example of Proposed Concrete Block Wall proposed along South Property Line**

**ABERDEEN STATION LANDS 2009  
Part of Aberdeen Station Lands Development Permit  
October 27, 2009**

**Example of concrete block wall proposed for the south wall of Aberdeen Station**





# Development Permit

**City of Richmond**  
Planning and Development Department

## Development Permit

**No. DP 09-494545**

To the Holder: FAIRCHILD DEVELOPMENTS LTD.

Property Address: 4000 NO. 3 ROAD

Address: C/O MR. DANNY LEUNG  
#130 - 4400 HAZELBRIDGE WAY  
RICHMOND, BC V6X 3R8

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" and "Richmond Zoning and Development Bylaw No. 8500" is hereby varied to:
  - a) Permit thirty-six (36) tandem parking stalls on Level 4, to be designated and signed for non-transient/employee parking use only.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$480,070.00 (based on previous total floor area of 240,035 ft<sup>2</sup>) to ensure that development is carried out in accordance with the terms and conditions of this Permit and \$515,442.07 for infrastructure up-grades. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**

**No. DP 09-494545**

To the Holder: FAIRCHILD DEVELOPMENTS LTD.

Property Address: 4000 NO. 3 ROAD

Address: C/O MR. DANNY LEUNG  
#130 - 4400 HAZELBRIDGE WAY  
RICHMOND, BC V6X 3R8

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

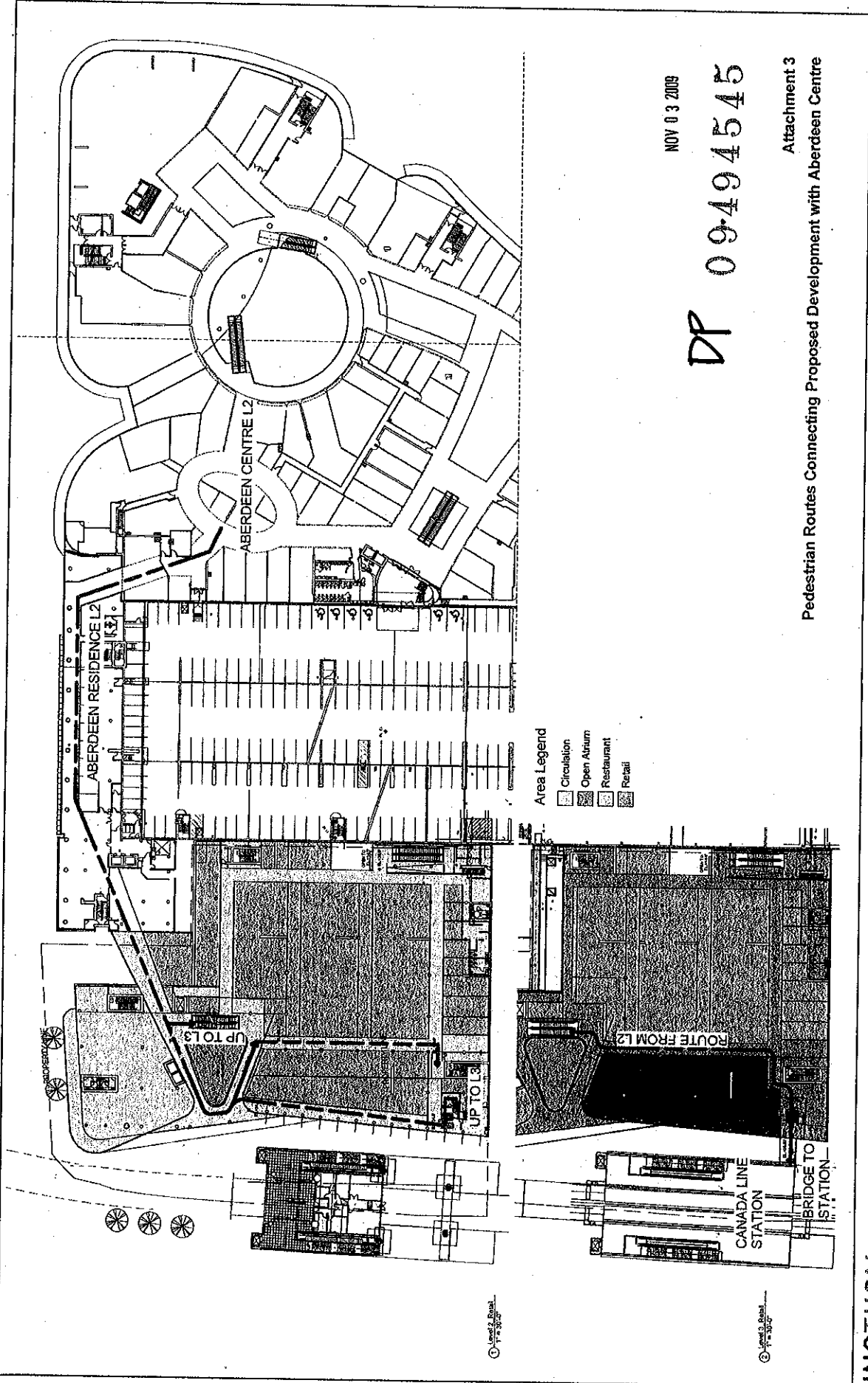
AUTHORIZING RESOLUTION NO.  
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

\_\_\_\_\_  
MAYOR





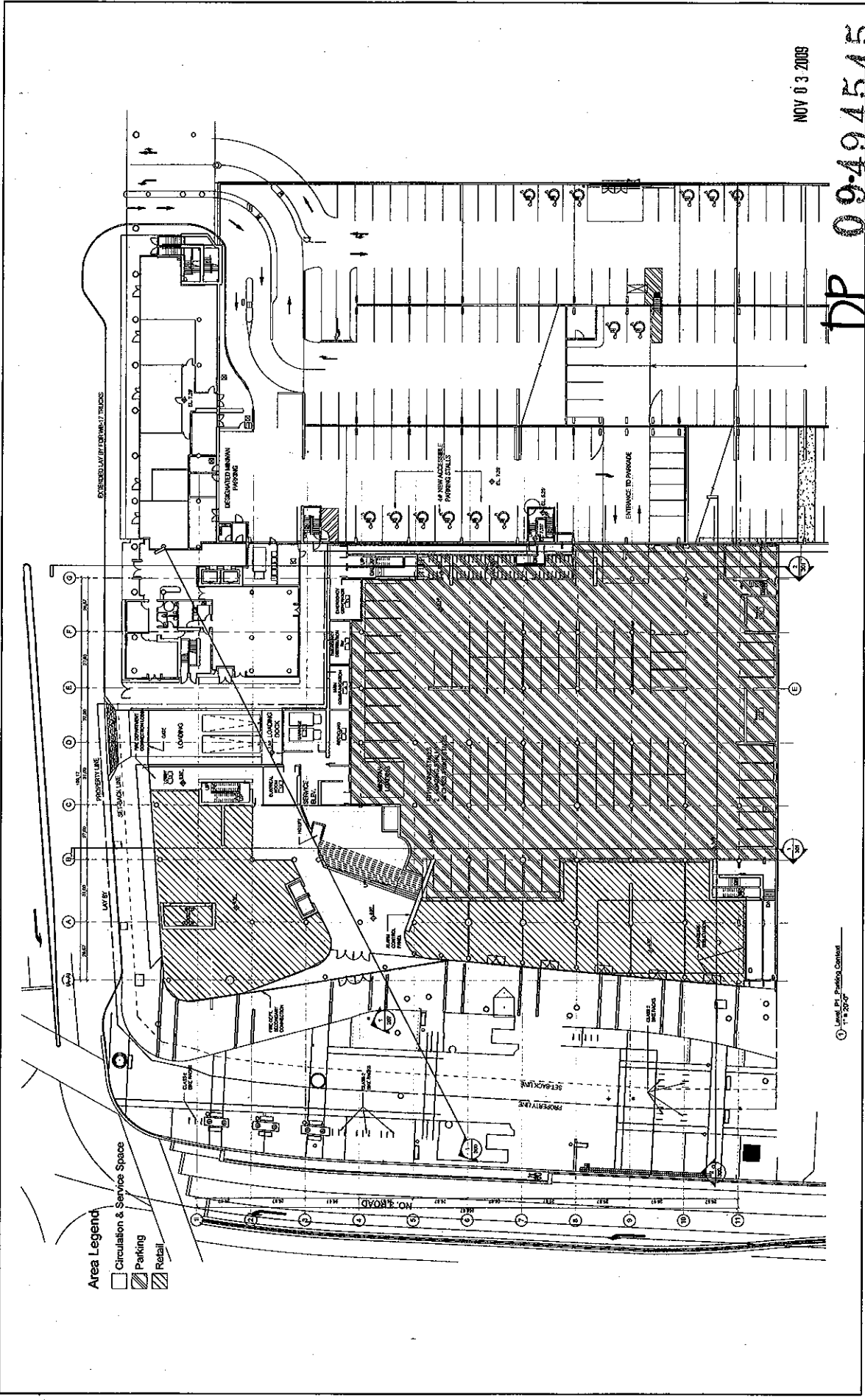
**BINGTHOM**  
ARCHITECTS

ABERDEEN STATION LAND 2009  
Route Plan

Pedestrian Routes Connecting Proposed Development with Aberdeen Centre  
Attachment 3

Level 2 & 3  
10/27/09





**Area Legend**

- Circulation & Service Spaces
- Parking
- Retail

NOV 03 2009

DP 09494545

Site/Parking & Partial Level 1 Floor Plan  
 PLAN # 1 & 2 11/03/09 A201

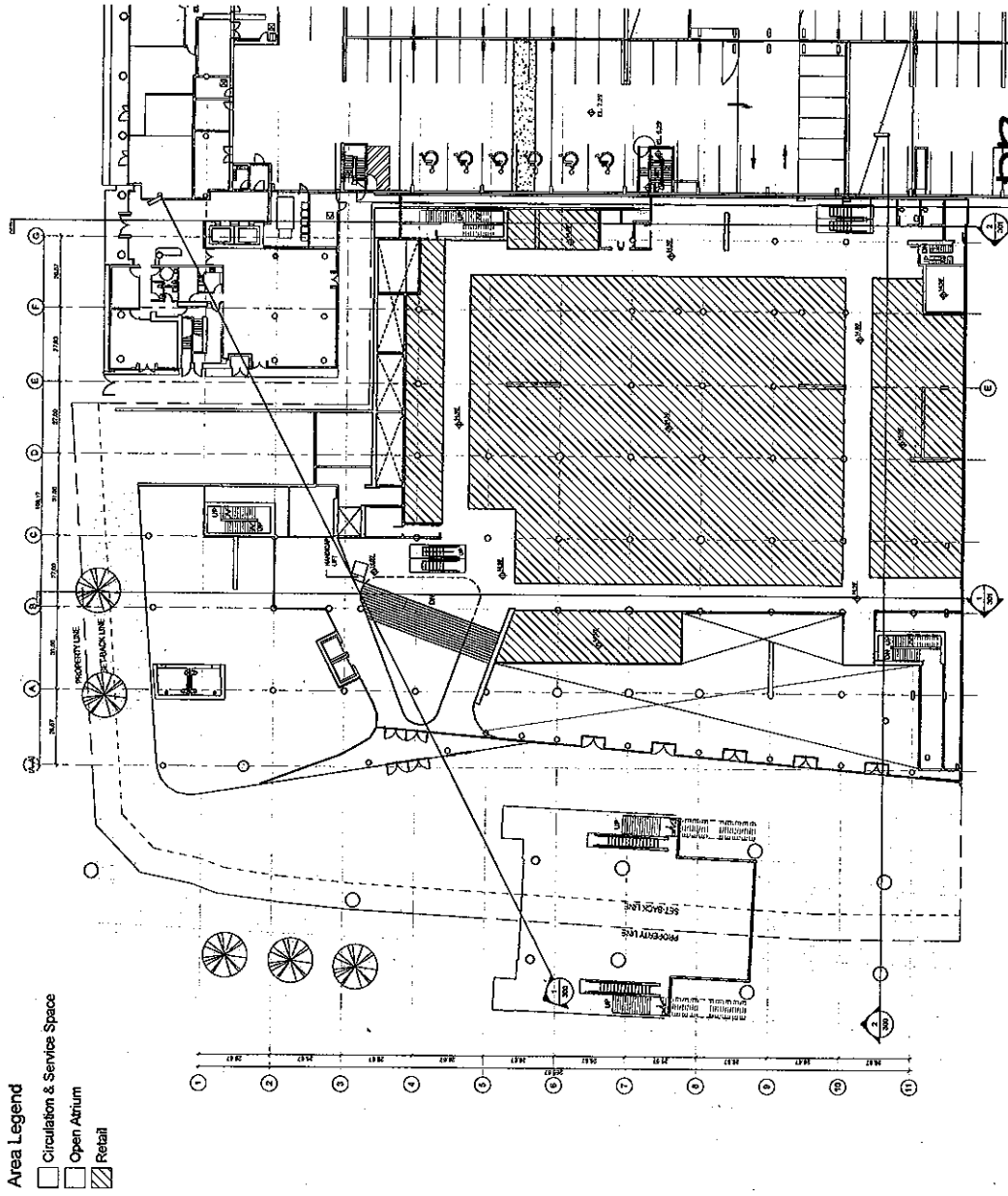
ABERDEEN STATION LAND 2009  
 Issued for Development Permit

**BINGTHOM**  
 ARCHITECTS

**PLAN No. 1A**

① Level 1st. Partial Context  
 1" = 20'0"





**Area Legend**

- Circulation & Service Space
- Open Atrium
- Retail

DP 09494545  
 NOV 03 2009

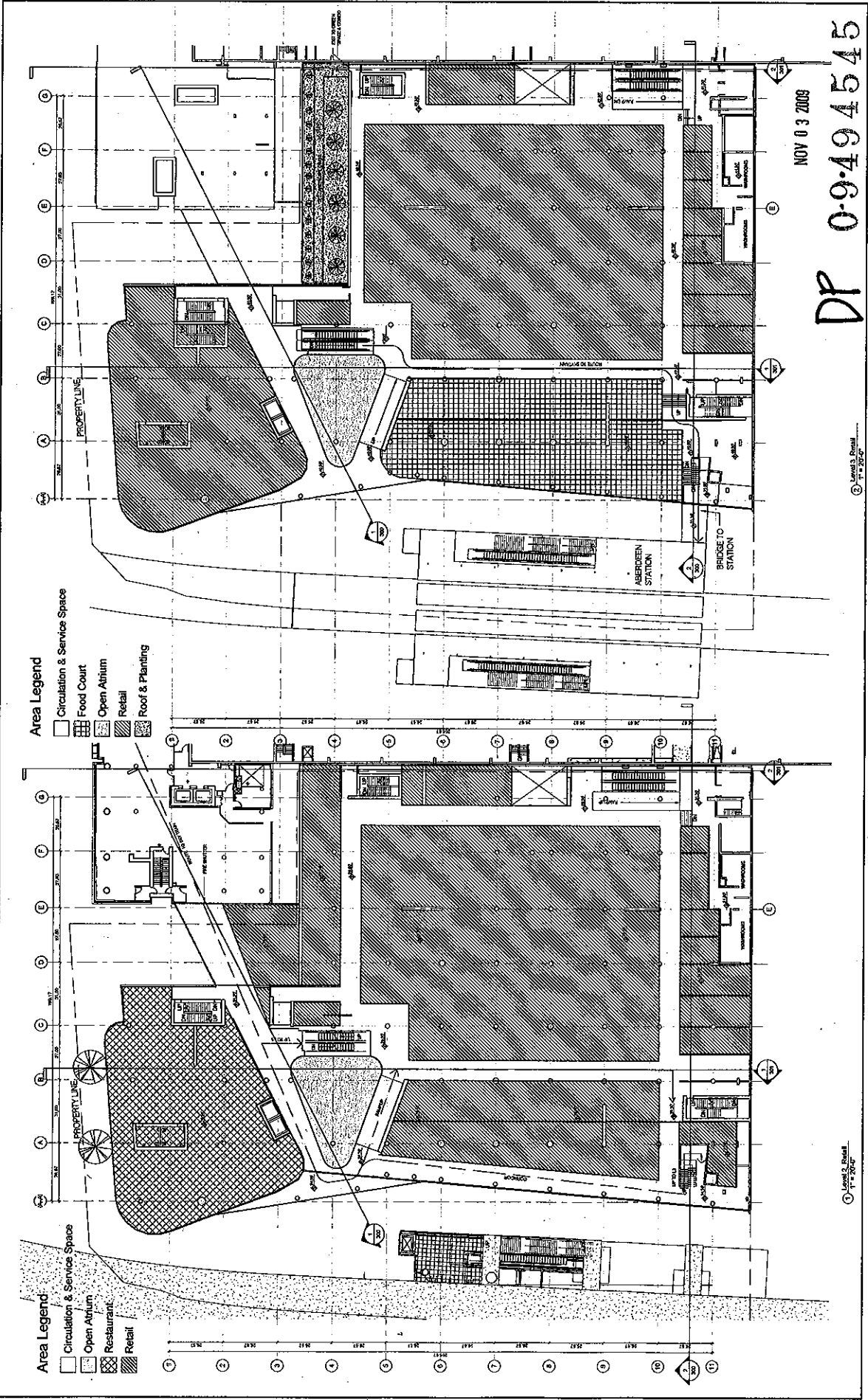
Level 1 Floor Plan  
 11/03/09 A202

ABERDEEN STATION LAND 2009  
 Issued for Development Permit

PLAN No. 1B

**BINGTHOM**  
 ARCHITECTS

1 Level 1 with Plaza  
 1/4" = 1'-0"



**Area Legend**

- Circulation & Service Space
- ▨ Food Court
- ▩ Open Atrium
- ▧ Retail
- ▦ Roof & Planting

**Area Legend**

- Circulation & Service Space
- ▨ Open Atrium
- ▩ Restaurant
- ▧ Retail

NOV 03 2009

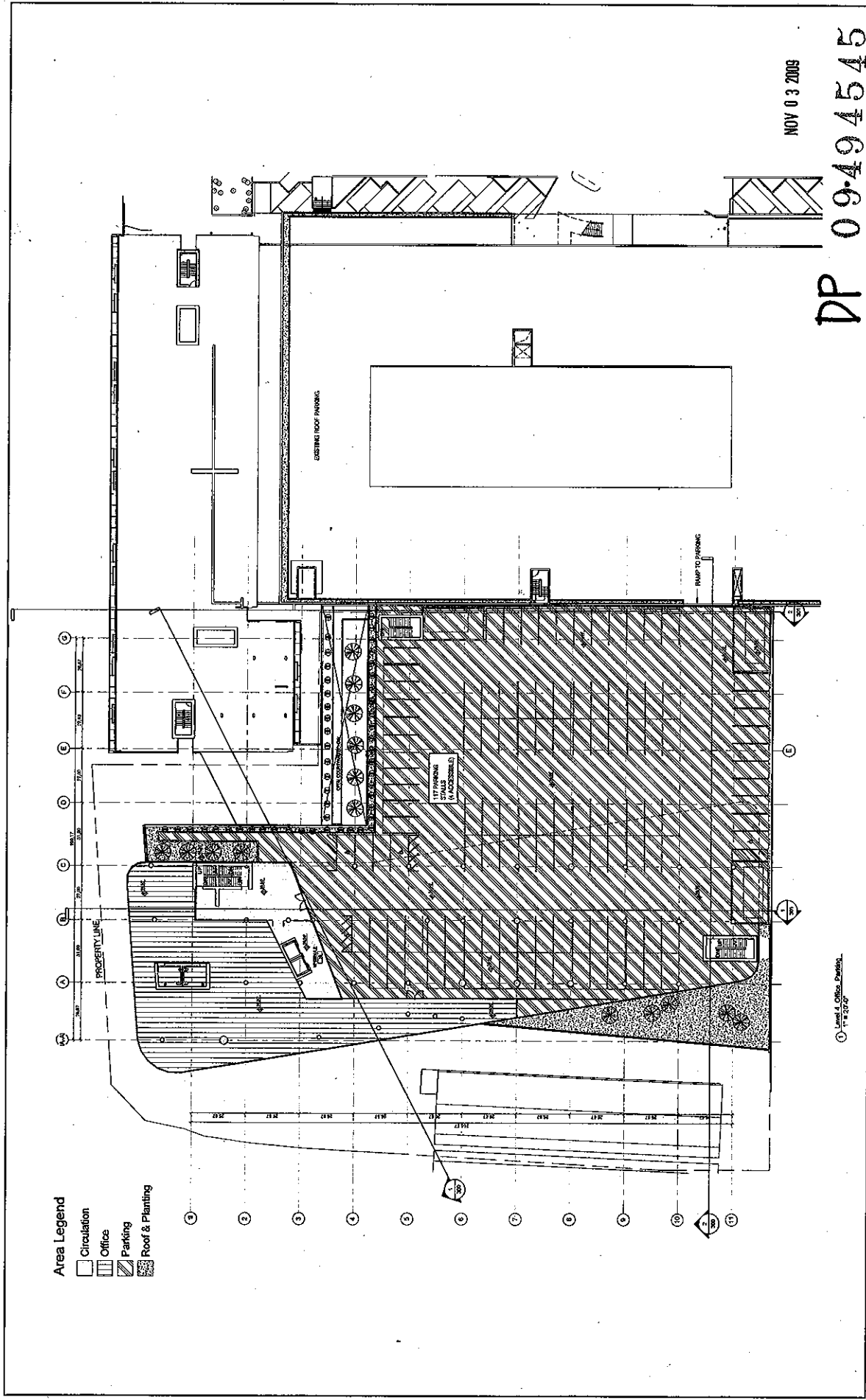
DP 0-9-494545

ABERDEEN STATION LAND 2009  
 Issued for Development Permit

Level 2 + 3 Floor Plan  
 10/30/09 A203

PLAN No. 10

BINGTHOM  
 ARCHITECTS



- Area Legend**
- Circulation
  - Office
  - Parking
  - Roof & Planting

NOV 03 2009

DP 09-494545

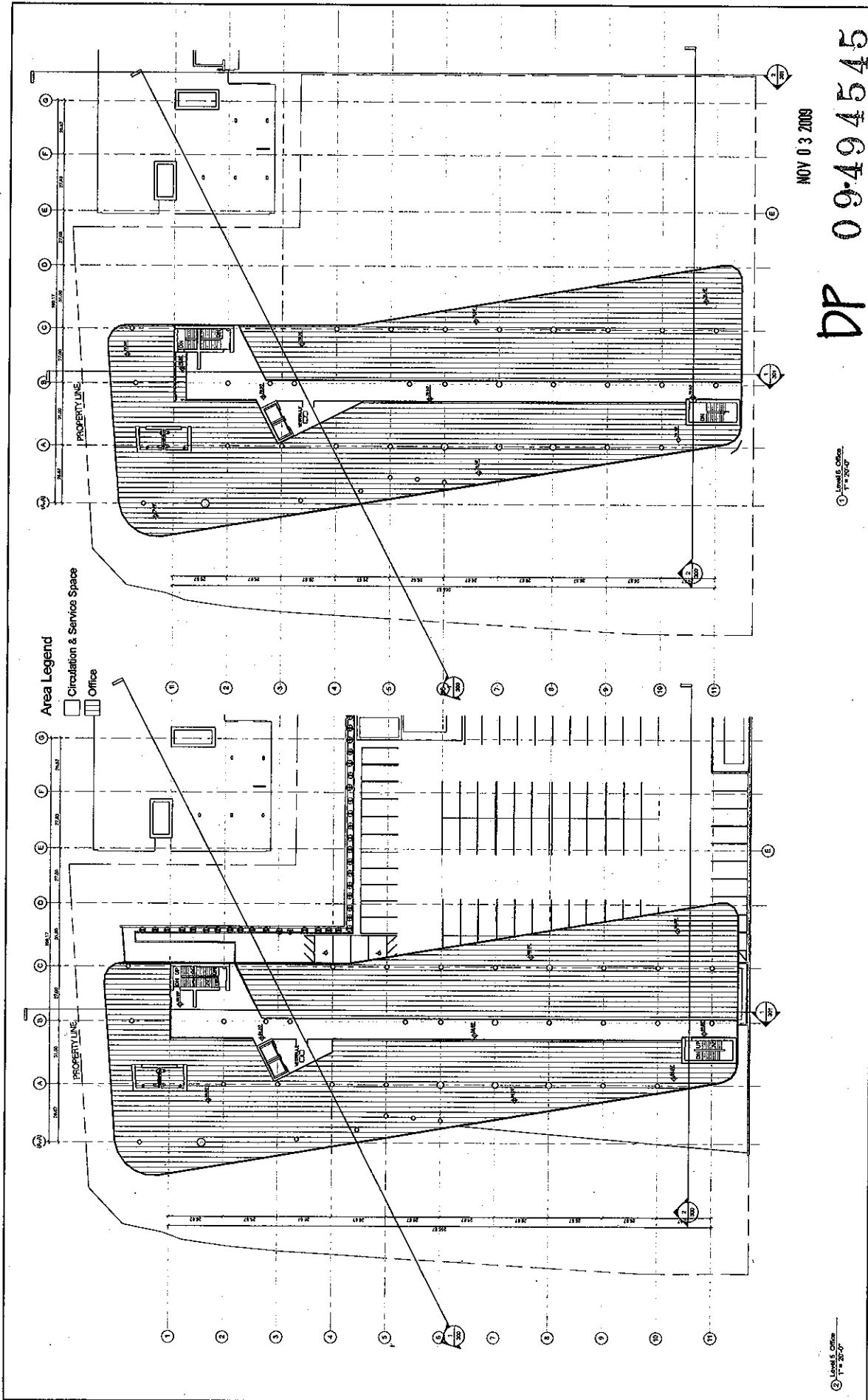
ABERDEEN STATION LAND 2009  
 Issued for Development Permit

Level 4 Floor Plan  
 11/03/09 A204

PERM No. 1D

① Level 4 Office Parking  
 1" = 20'-0"

**BINGTHOM**  
 ARCHITECTS



**Area Legend**

- Circulation & Service Space
- Office

NOV 03 2009

DP 09.494545

Level 5, Office  
11/3/2009

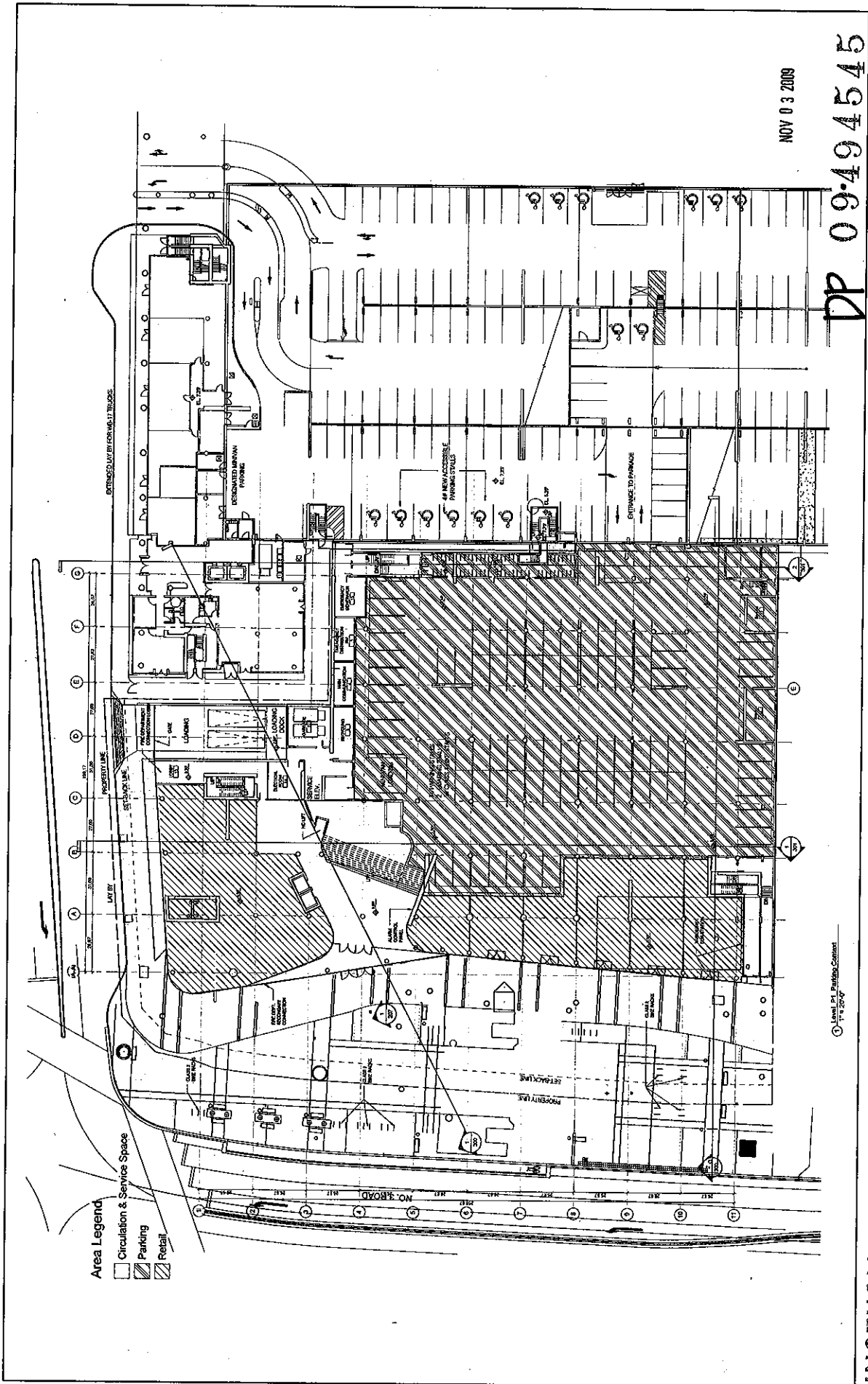
ABERDEEN STATION LAND 2009  
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**BINGTHOM**  
ARCHITECTS

DRAWING NO. 15

Level 5 + 6 Floor Plan  
11/03/09 A205





**Area Legend**

- Circulation & Service Space
- ▨ Parking
- ▩ Retail

NOV 03 2009

DP 09:494545

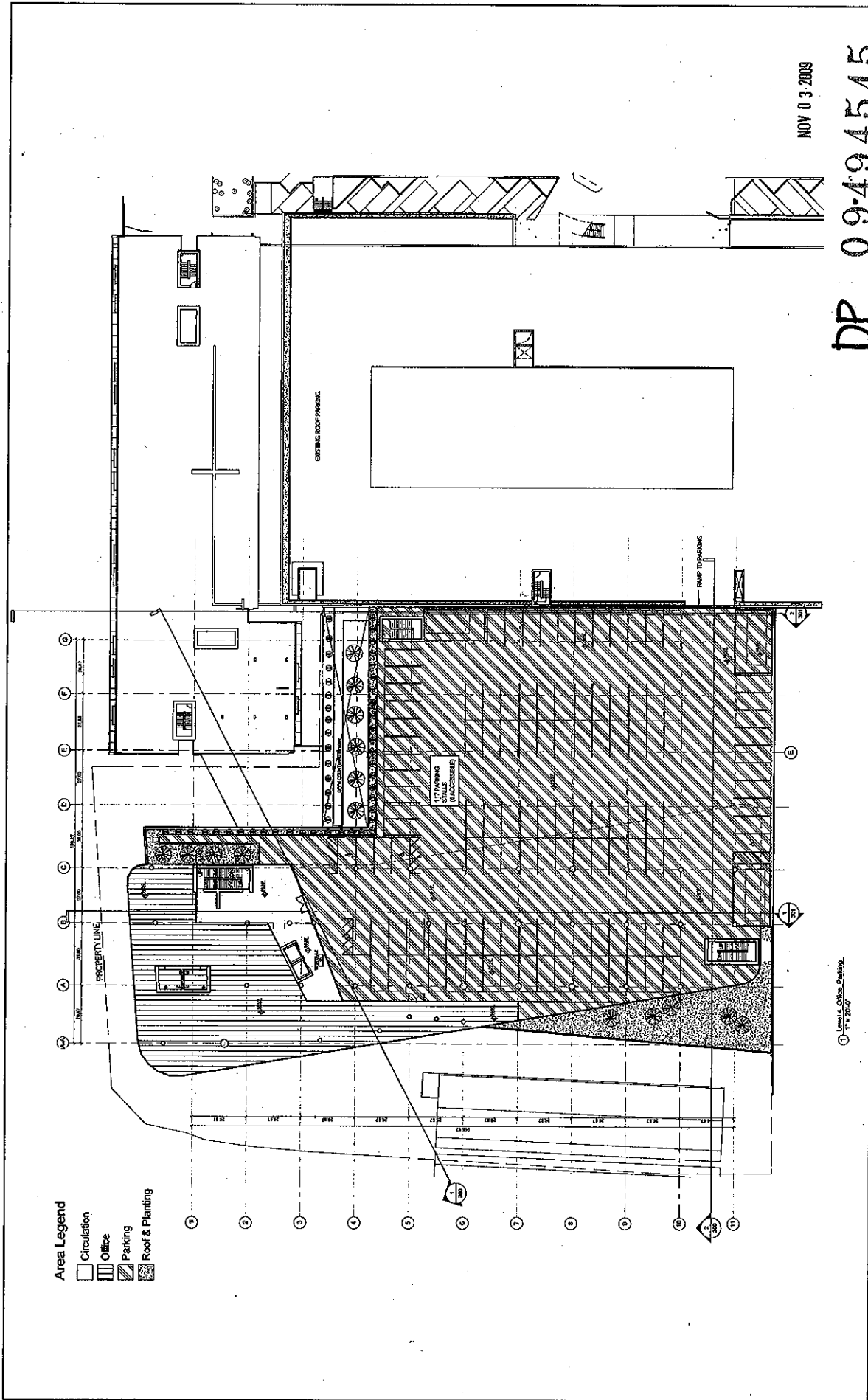
Site/ Parking & Partial Level 1 Floor Plan  
 PLAN # 1 & 2 11/03/09 A201

PLAN No. 2B

ABERDEEN STATION LAND 2009  
 Issued for Development Permit

**BINGTTON**  
 ARCHITECTS

① Level 1 - Partially Covered  
 11/2/09



**Area Legend**

- Circulation
- ▨ Office
- ▧ Parking
- ▩ Roof & Planting

NOV 03 2009

DP 09-494545

Level 4 Floor Plan  
11/03/09 A204

ABERDEEN STATION LAND 2009  
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**BINGTHOM**  
ARCHITECTS

TEAM No. 20

① Level 4, Office, Parking  
1" = 20'-0"







IBI  
 Incorporated  
 18 County Architects  
 18 County Engineers  
 18 County Surveyors  
 18 County Land Surveyors  
 18 County Professional Engineers  
 18 County Professional Geologists  
 18 County Professional Planners  
 18 County Professional Accountants  
 18 County Professional Actuaries  
 18 County Professional Chemists  
 18 County Professional Civil Engineers  
 18 County Professional Electrical Engineers  
 18 County Professional Environmental Engineers  
 18 County Professional Fire Protection Engineers  
 18 County Professional Industrial Engineers  
 18 County Professional Mechanical Engineers  
 18 County Professional Metallurgical Engineers  
 18 County Professional Nuclear Engineers  
 18 County Professional Petroleum Engineers  
 18 County Professional Safety Engineers  
 18 County Professional Structural Engineers  
 18 County Professional Surveyors  
 18 County Professional Telerigraphers  
 18 County Professional Transportation Engineers  
 18 County Professional Water Resources Engineers  
 18 County Professional Woodwork Engineers

BING THOM ARCHITECTS  
 1000 Broadway Street, Suite 1000, San Francisco, CA 94107  
 Tel: 415.774.1000  
 Fax: 415.774.1001  
 Website: www.bingthom.com

PROJECT NO. 09494545  
 SHEET NO. 3P  
 DATE: 11/03/2009

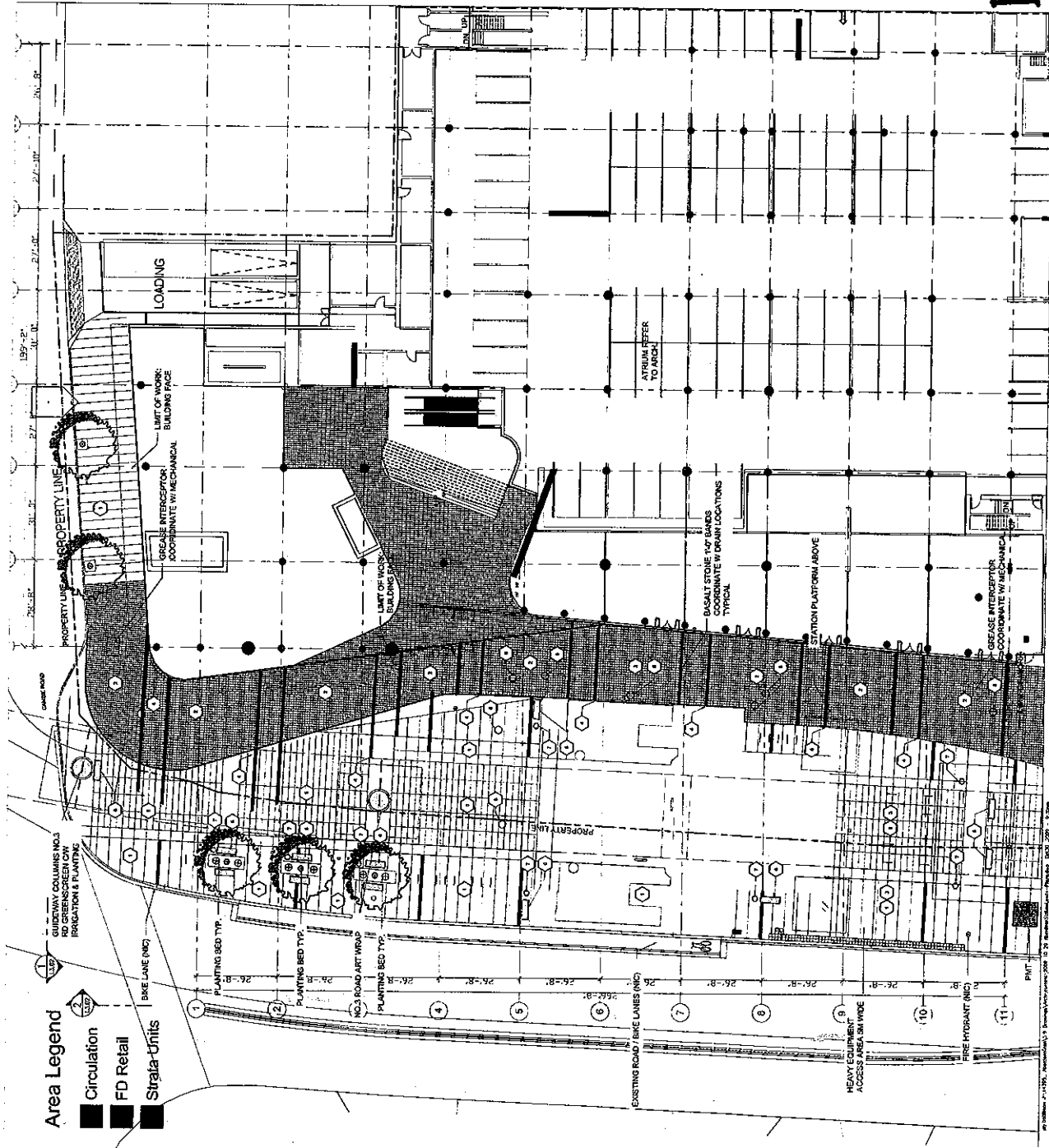
PLAZA MATERIALS PLAN

ABERDEEN STATION LANDS

IBL-L1.01

KEY	DESCRIPTION	DETAIL SYMBOL
1	Concrete Slab (8" Thick)	1
2	Grass (1" Thick)	2
3	Grass (2" Thick)	3
4	Grass (3" Thick)	4
5	Grass (4" Thick)	5
6	Grass (5" Thick)	6
7	Grass (6" Thick)	7
8	Grass (7" Thick)	8
9	Grass (8" Thick)	9
10	Grass (9" Thick)	10
11	Grass (10" Thick)	11

NOTE THAT THE POSITION OF THE PLAZA IS CONSIDERED AND ADJUSTED WITHIN THE PROPERTY LINE WITH THE PROPERTY LINE. THE PROPERTY LINE IS SHOWN AS A DASHED LINE. THE PROPERTY LINE IS SHOWN AS A DASHED LINE. THE PROPERTY LINE IS SHOWN AS A DASHED LINE.



TECHN. 3P

NOV 03 2009

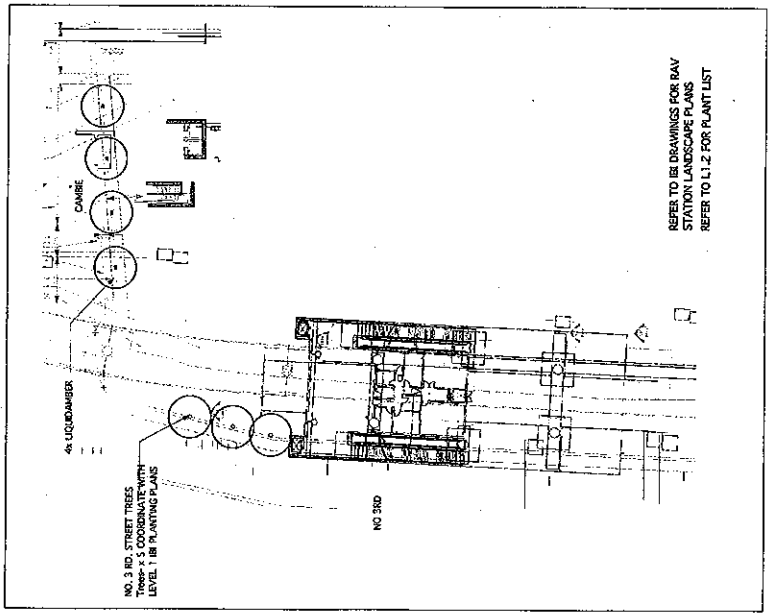
DP 09494545

Area Legend  
 Circulation  
 FD Retail  
 Strata Units

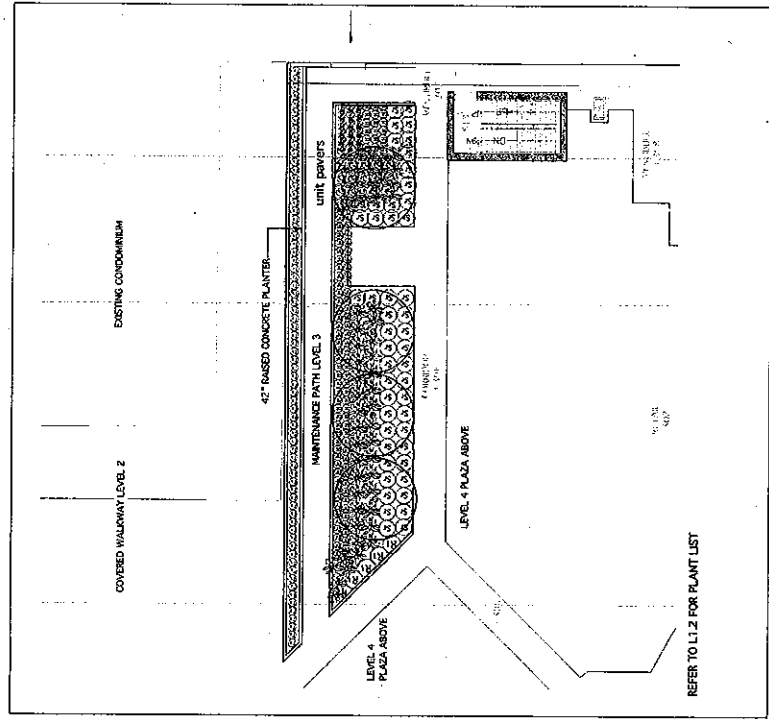
DATE: 11/03/2009

**Planting notes:**

- 1) Contractor responsible to obtain and be familiar with the relevant project specifications.
- 2) Excavation notes: All existing and landscape materials to be removed to exceed the BOLA/ODWA landscape criteria.
- 3) As a minimum acceptable practice:
  - a) All trees to be removed to be removed to the root collar.
  - b) All trees to be removed to be removed to the root collar.
  - c) All trees to be removed to be removed to the root collar.
- 4) Contractor to ensure all plant material delivered is in full health condition. Checked to be free from the presence of any pests, diseases or other plant health issues. Replacement of plant material should be done in accordance with the relevant project specifications.
- 5) **Watering:**
  - a) The contractor shall supply of plant materials shown on all drawings.
  - b) No watering of green stock will be undertaken if it is not needed at all.
  - c) Watering shall be undertaken in accordance with the relevant project specifications.
  - d) Contractor shall ensure that the contractor removed and the material be evenly spaced two weekly intervals.
- 6) Contractor to submit a representative sample of all specimens required for testing. Contractor is responsible for sampling and forwarding of all analysis and reports. Contractor to ensure that the contractor removed and the material be evenly spaced two weekly intervals.
- 7) All plants to be delivered thoroughly watered during the last 24 hours period before planting. All plants to be delivered thoroughly watered during the last 24 hours period before planting.
- 8) The contractor shall refer to the contract specifications for additional requirements.



STREET TREES LEVEL 1  
SCALE 1:360/ 1"=30'



LANDSCAPED TERRACE LEVEL 3  
SCALE 1:120/ 1"=10'

KEY



**BING THOM ARCHITECTS**

REVISIONS

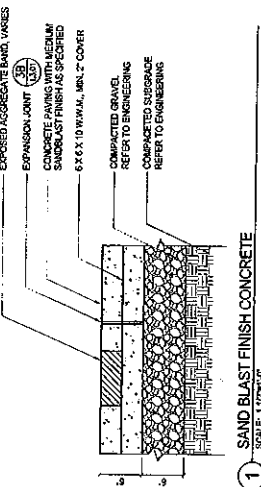
NO.	DATE	DESCRIPTION
1	10/27/09	ISSUED FOR PERMITS
2	11/10/09	ISSUED FOR PERMITS
3	11/10/09	ISSUED FOR PERMITS
4	11/10/09	ISSUED FOR PERMITS
5	11/10/09	ISSUED FOR PERMITS
6	11/10/09	ISSUED FOR PERMITS
7	11/10/09	ISSUED FOR PERMITS
8	11/10/09	ISSUED FOR PERMITS
9	11/10/09	ISSUED FOR PERMITS
10	11/10/09	ISSUED FOR PERMITS
11	11/10/09	ISSUED FOR PERMITS
12	11/10/09	ISSUED FOR PERMITS
13	11/10/09	ISSUED FOR PERMITS
14	11/10/09	ISSUED FOR PERMITS
15	11/10/09	ISSUED FOR PERMITS
16	11/10/09	ISSUED FOR PERMITS
17	11/10/09	ISSUED FOR PERMITS
18	11/10/09	ISSUED FOR PERMITS
19	11/10/09	ISSUED FOR PERMITS
20	11/10/09	ISSUED FOR PERMITS

PROJECT: ABERDEEN STATION LANDS  
TITLE: LANDSCAPE LEVEL 1 & 3  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: AS NOTED  
DRAWING DATE: [Date]

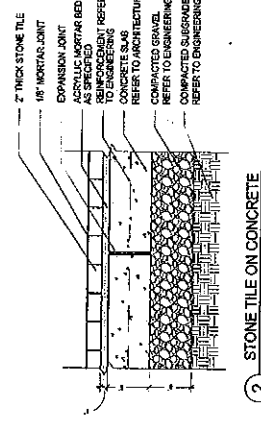
**ITEM No. 30**

DP 09494545  
NOV 03 2009  
L1.1

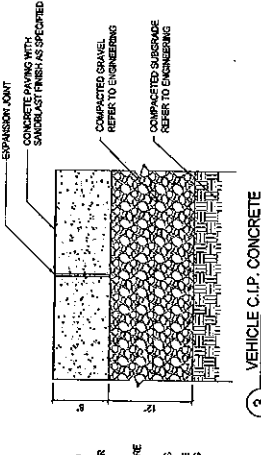




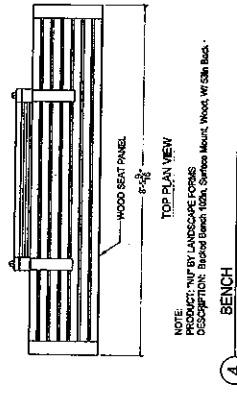
1 SAND BLAST FINISH CONCRETE  
SCALE: 1/2"=1'-0"



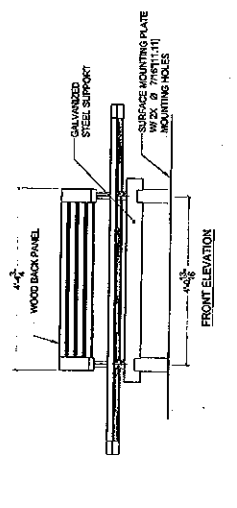
2 STONE TILE ON CONCRETE  
SCALE: 1/2"=1'-0"



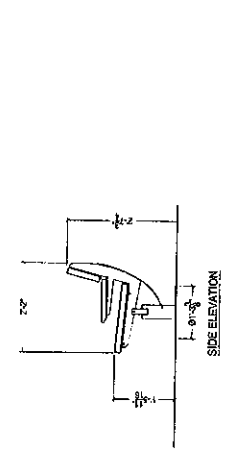
3 VEHICLE C.I.P. CONCRETE  
SCALE: 1/2"=1'-0"



4 BENCH  
SCALE: 3/4"=1'-0"



5 TRASH RECEPTACLE  
SCALE: 3/4"=1'-0"



6 RECESSED TRAY COVER  
SCALE: 1/2"=1'-0"

KEY	DESCRIPTION	DETAIL	SYMBOL
1	Concrete (See Concrete Schedule)	1.01	1.01
2	Concrete (See Concrete Schedule)	2.01	2.01
3	Concrete (See Concrete Schedule)	3.01	3.01
4	Concrete (See Concrete Schedule)	4.01	4.01
5	Concrete (See Concrete Schedule)	5.01	5.01
6	Concrete (See Concrete Schedule)	6.01	6.01

NOTE: THE PORTION OF THE PLANS IN CONCRETE SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.

BING THOM ARCHITECTS  
1400 Avenue of the Americas, 14th Floor, New York, NY 10105  
Tel: 212-692-1000  
Fax: 212-692-1001  
www.bingthom.com

ABERDEEN STATION LANDS  
PROJECT  
SITE DETAILS

TEAM No. 3E

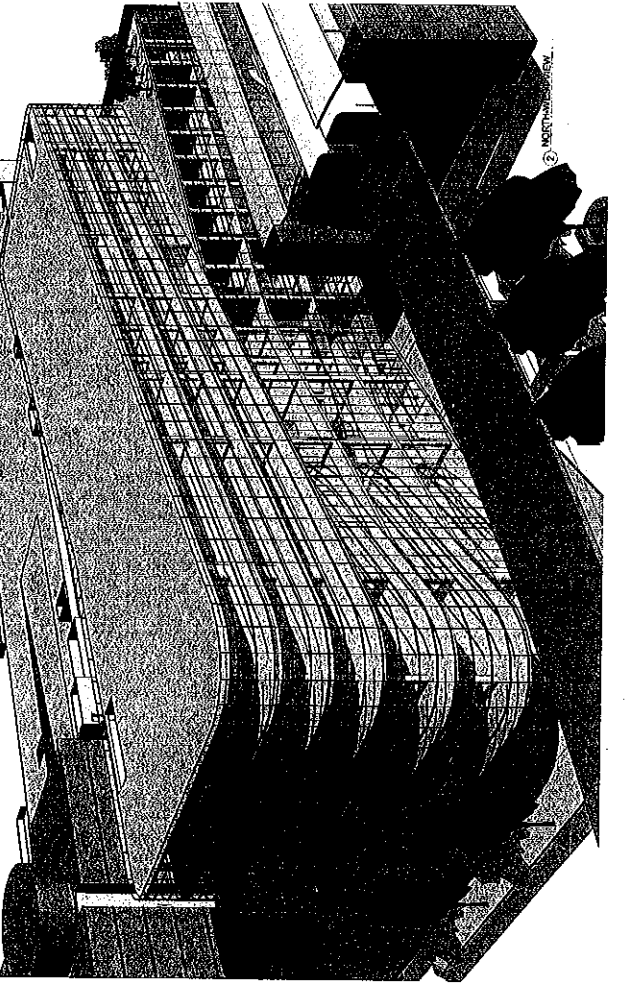
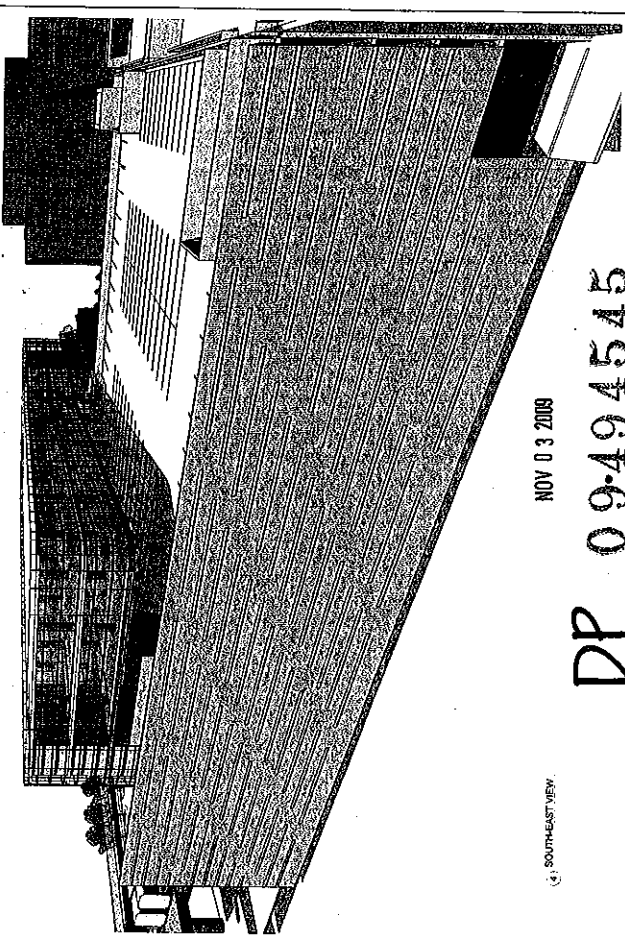
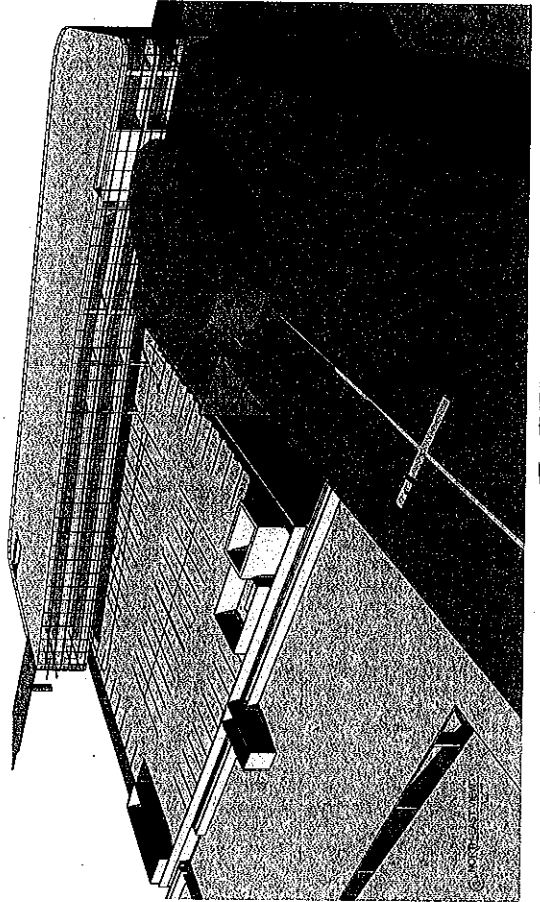
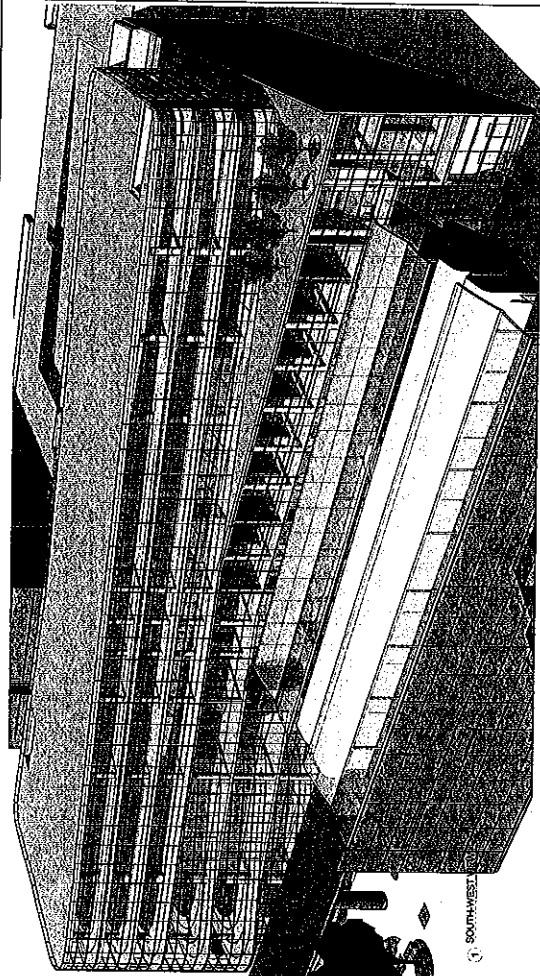
NOV 03 2009

DP 09:194545

IBI-L3.01

**MHC - 7200 Series**  
Heavy Duty Recycled Steel Lockset.  
This lockset is designed for use on exterior doors. It features a heavy-duty zinc-plated steel body and a stainless steel handle. The lockset is available in two finishes: chrome and brushed nickel. It is suitable for use on doors up to 1 1/2\"/>





NOV 03 2009

1 SOUTHWEST VIEW

2 NORTHWEST VIEW

3 SOUTHEAST VIEW

4 NORTHEAST VIEW

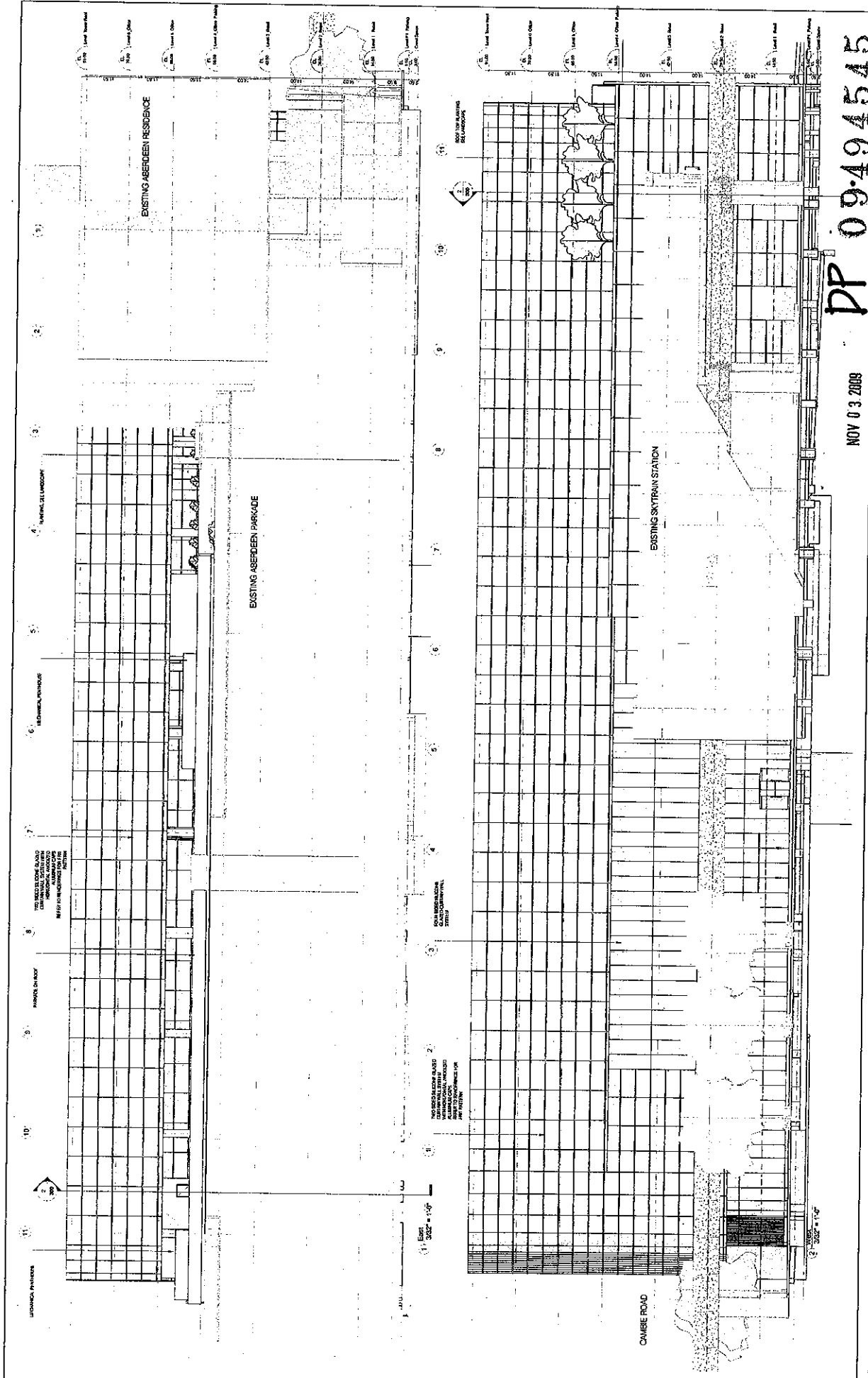
DP 09-494545

BINGTHOM  
ARCHITECTS

ABERDEEN STATION LAND 2009  
Issued for Development Permit

ITEM No. 4A

Exterior 3D Views 1  
10/30/09 A500



DP 09-494545

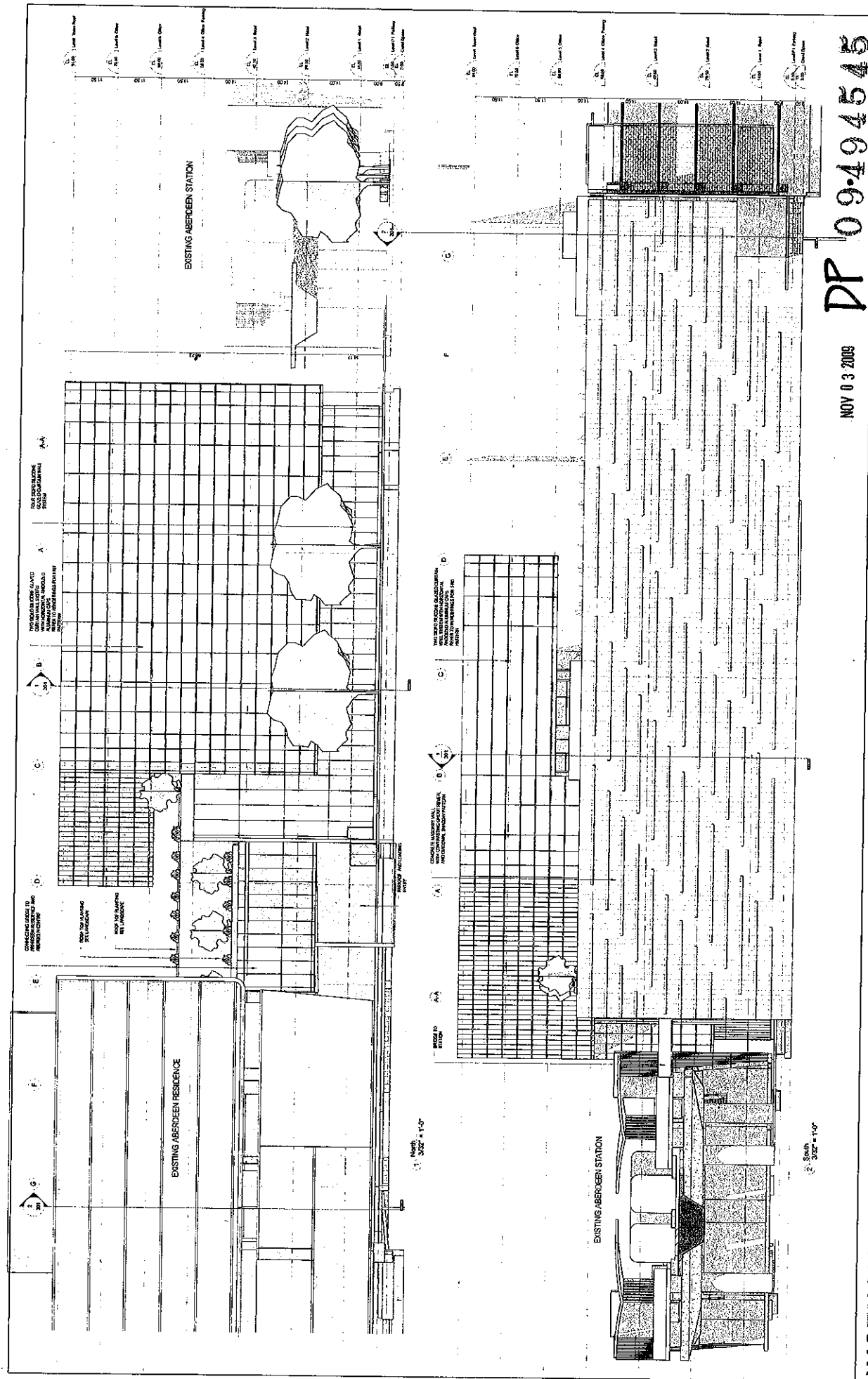
NOV 03 2009

ABERDEEN STATION LAND 2009  
 Issued for Development Permit

East + West Elevations  
 10/30/09 A400

PLAN No. 4B

BINGTHOM  
 ARCHITECTS



DP 09494545

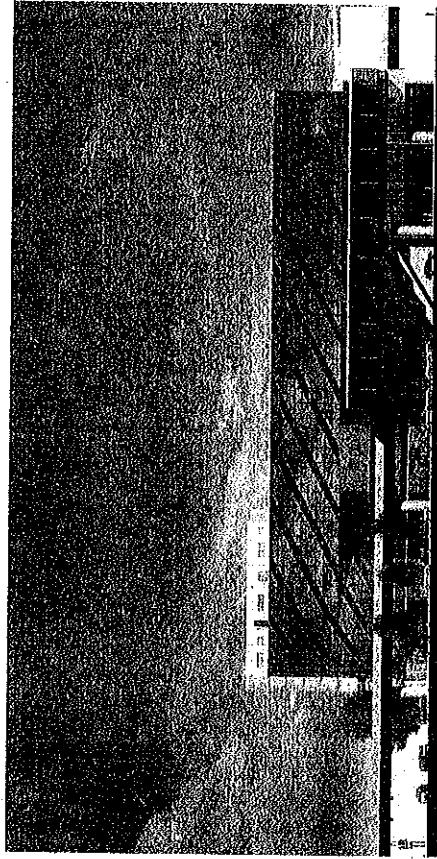
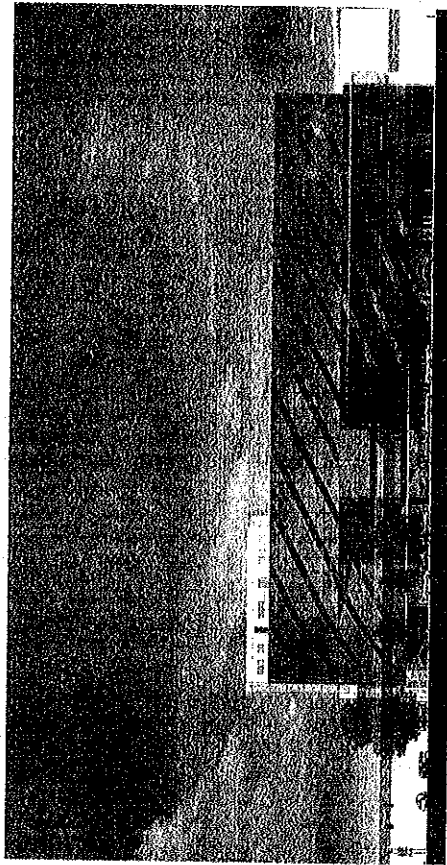
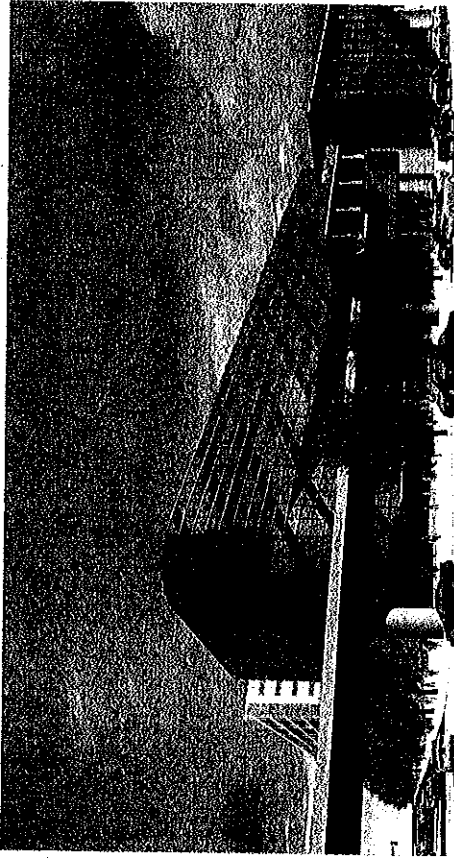
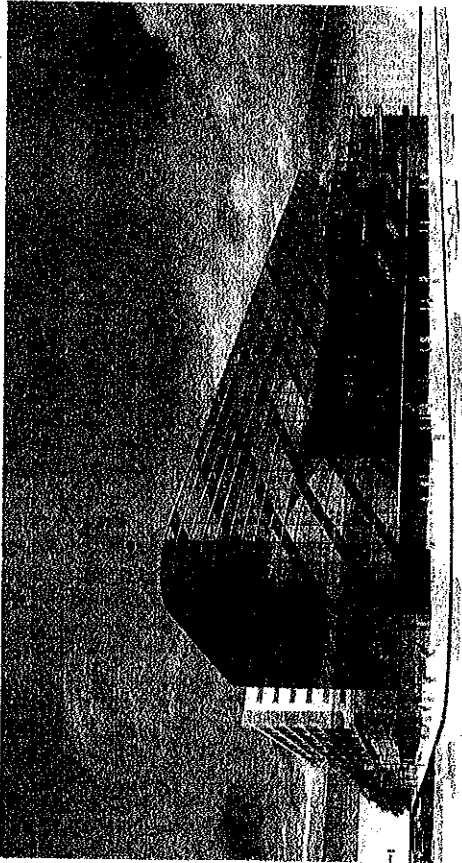
NOV 03 2009

ABERDEEN STATION LAND 2009  
 Issued for Development Permit

BINGTHOM  
 ARCHITECTS

ITEM No. 4C

North + South Elevations  
 10/30/09 A401



**BINGTHOM**  
ARCHITECTS

ABERDEEN STATION LAND 2009  
Issued for Development Permit

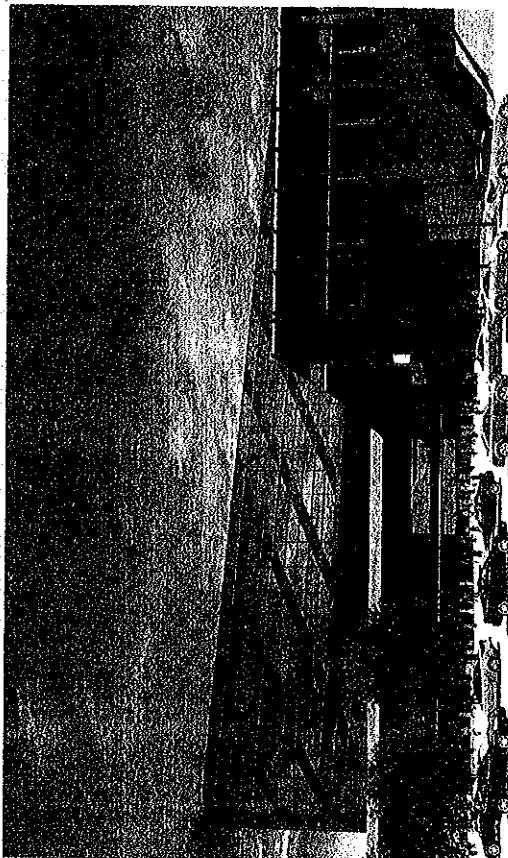
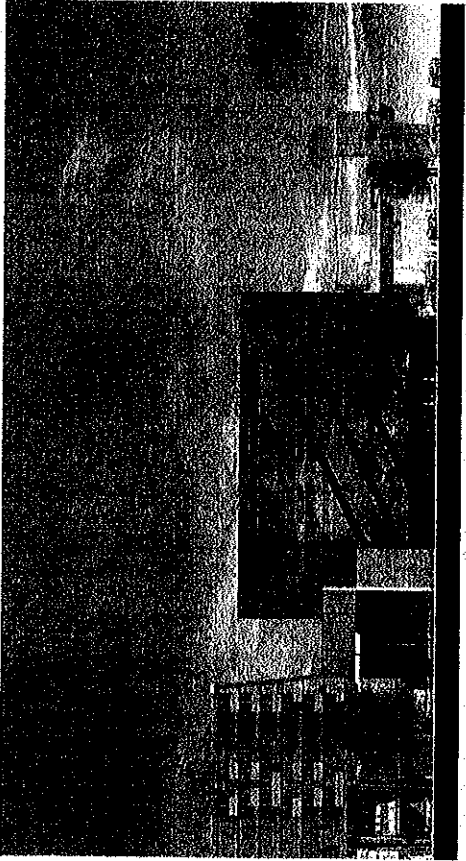
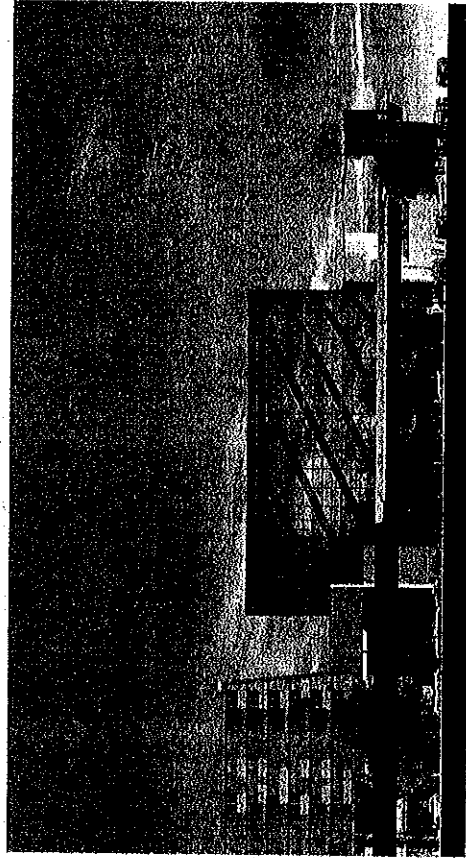
NOV 03 2009

**ITEM No. 4D**

**DP 09-494545**

Exterior 3D Views 3  
10/30/09 A502





NOV 03 2009

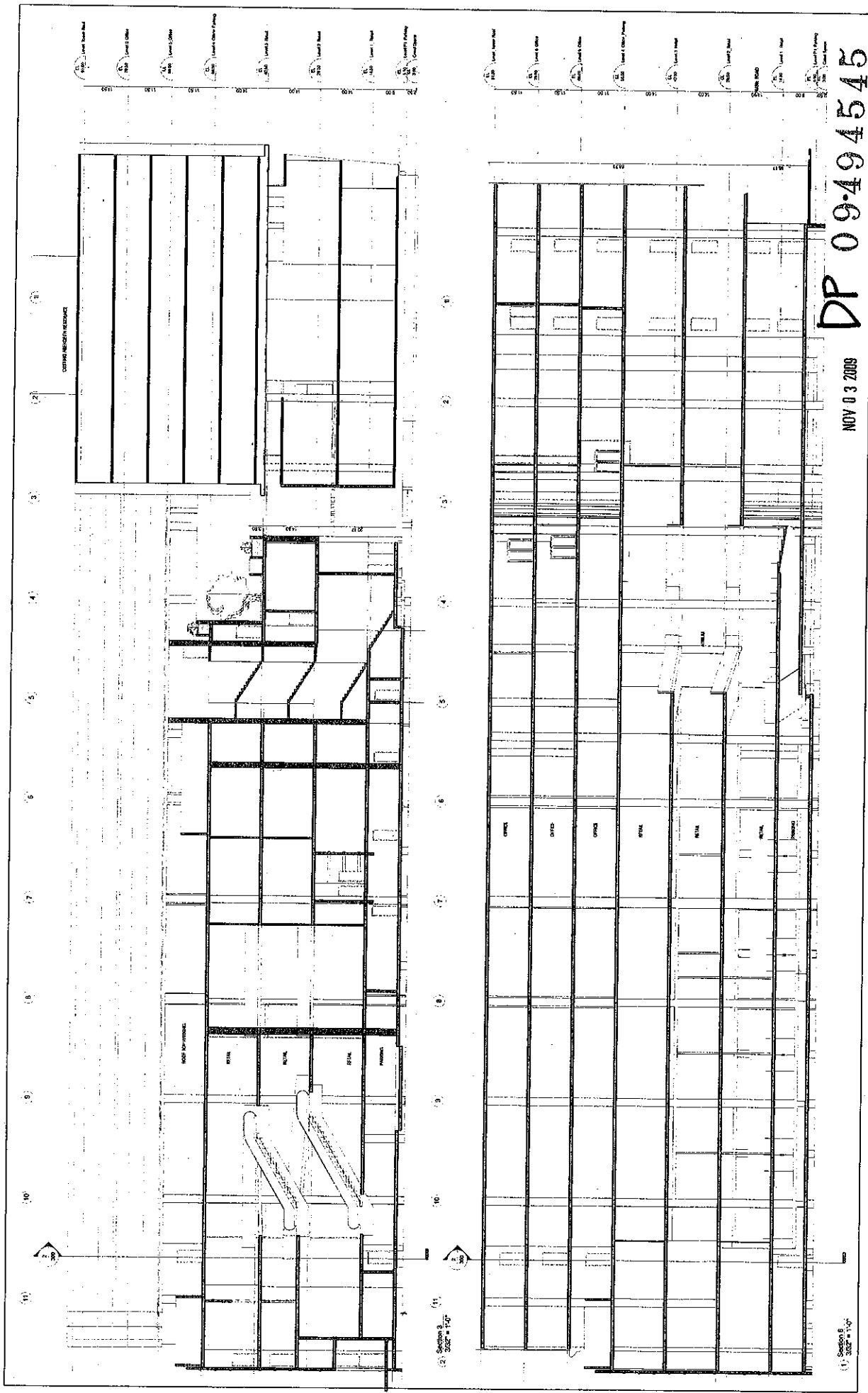
DP 09-494545

ABERDEEN STATION LAND 2009  
Issued for Development Permit

ITEM No. 4E

Exterior 3D Views 2  
10/30/09 A501

BINGTHOM  
ARCHITECTS



DP 09-494545

NOV 03 2009

ABERDEEN STATION LAND 2009  
 Issued for Development Permit

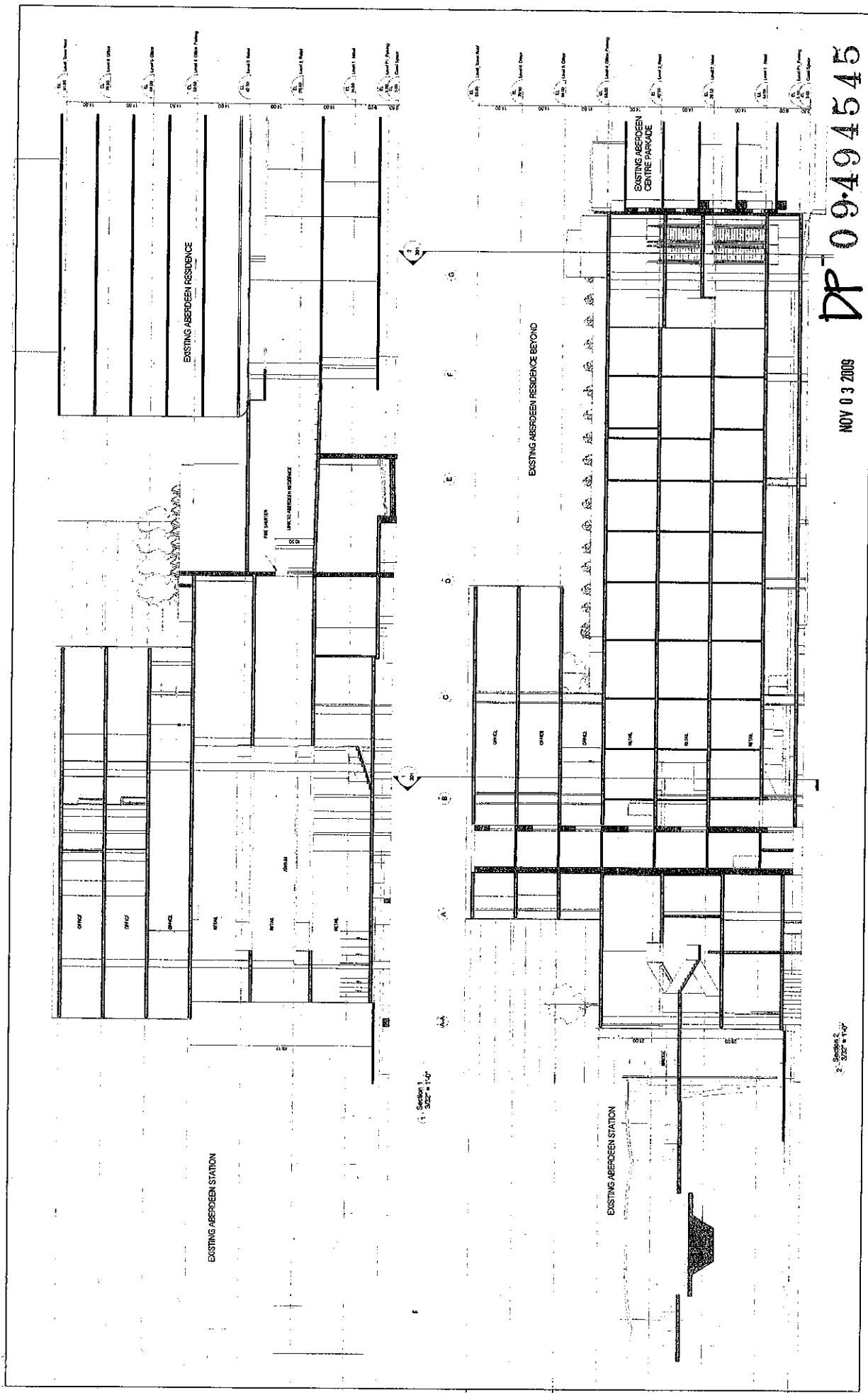
PLAN No. 4F

Section 3 + 4  
 10/30/09 A301

BINGTHOM  
 ARCHITECTS

Section 3  
 1:200 w 1/4"

Section 4  
 1:200 w 1/4"



DP 09494545

NOV 03 2009

ABERDEEN STATION LAND 2009  
 Issued for Development Permit

PERMIT NO. 46

Sections 1 + 2  
 10/27/09 A300

BINGTHOM  
 ARCHITECTS

Section 1  
 1/8" = 1'-0"

Section 2  
 1/8" = 1'-0"