



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: January 8, 2020

From: Wayne Craig
Director, Development

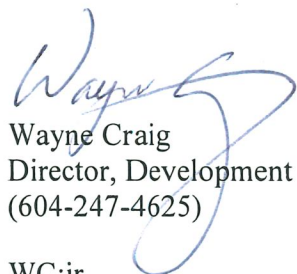
File: DP 19-864104

Re: Application by Eric Stine Architect Inc. for a Development Permit at 8600, 8620, 8640 and 8660 Francis Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 18 townhouse units at 8600, 8620, 8640 and 8660 Francis Road on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the front yard setback to Francis Road from 6.0 m to 5.8 m.



Wayne Craig
Director, Development
(604-247-4625)

WC:jr
Att. 3

Staff Report

Origin

Eric Stine Architect Inc. has applied to the City of Richmond for permission to develop 18 townhouse units at 8600 8620, 8640, and 8660 Francis Road. The subject site is being rezoned from “Single Detached (RS1/E)” to “Low Density Townhouses (RTL4)” under Bylaw 9986 (RZ 18-814702), which received third reading following the Public Hearing on March 18, 2019. The site currently contains four single-family dwellings.

A Servicing Agreement is required as a condition of Building Permit issuance and includes, but is not limited to, the following improvements:

- New concrete sidewalk and landscaped boulevard along the Francis Road frontage; and
- Upgrades to water and storm sewer service mains in the Francis Road frontage.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the North, across Francis Road: Four single-family dwellings with coach houses on lots zoned “Coach Houses (RCH)”, and a lot undergoing redevelopment to create two single-family dwellings with coach houses as per the adopted rezoning (RZ 11-587257).
- To the South: Single-family dwellings on lots zoned “Single Detached (RS1/E)”, with vehicle access from Wagner Drive.
- To the East and West: Are single-family dwellings on lots zoned “Single Detached (RS1/E)”, with vehicle access from Francis Road. These lots are designated for townhouse development in the Arterial Road Policy.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on March 18, 2019. At the Public Hearing, the following concerns about rezoning the property were expressed:

- Overlook from upper storey windows to the property west of the subject site.
- Building height casting shadows on the property to the west of the subject site.

Staff worked with the applicant to address these issues in the following ways:

- Units 1 and 11 are both two-storeys. West-facing second-storey windows in both units are minimized, with the upper storey living spaces oriented primarily to the north and south.

- More intensive landscaping is provided in the side yard between Unit 1 and the neighbouring property. Specifically, three Pin Oak trees are proposed, which will provide additional screening above the fence line.
- Two Arnold Sentinel Austrian Black Pine trees are proposed in the side yard between Unit 1 and the adjacent property.
- To avoid shifting the overlook concern from one property to another, the second storey south-facing windows and balconies of the rear units, which face the rear yards of the adjacent single-family dwellings, are set back 6.94 m and 6.05 m, respectively.

Informational signage has been installed on the property and no additional correspondence has been received regarding the proposal.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Low Density Townhouses (RTL4)” zone except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in ***bold italics***)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the front yard setback to Francis from 6.0 m to 5.8 m.

Staff supports the proposed variance as it is a direct result of providing a 0.2 m road dedication to widen the sidewalk on Francis Road to 1.5 m. This road dedication was not identified in the rezoning, however the applicant has agreed to provide the dedication as a condition of this Development Permit.

The reduced setback is requested for Units 1 and 10 only. The remaining units have setbacks of 6.31 m and 6.61 m, adding articulation and visual interest to the streetscape. The existing curb would remain in place, and the distance from back-of-curb to the nearest building face would be approximately 8.95 m.

Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the proposal on September 18, 2019. A copy of the relevant excerpt from the ADP Minutes from September 18, 2019 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘***bold italics***’.

Analysis

Conditions of Adjacency

- The subject site abuts single-family dwellings on three sides, which has informed the height and massing of the buildings. Units sharing a side yard with a single-family dwelling are two storeys in height to provide a sensitive transition and add visual interest to the long-term

streetscape. These units are oriented to reduce the number and size of windows overlooking the neighbouring properties to the east and west.

- The buildings at the rear of the subject site are all two storeys, and contain either one or two townhouse units. Rear yard building setbacks of 4.84 m and 6.05 m are provided on the ground floor, and 6.05 m and 6.94 m on the second storey. A 1.8 m (6 ft.) privacy fence and new landscaping are proposed in the rear yard for added screening and privacy.
- Portions of the subject site will be raised with fill to achieve the required flood construction level. Finished site grade along the west and south property lines will be equivalent to the neighbouring properties. Finished site grade along the east property line will be 0.6 m (2 ft.) higher than the adjacent property, so a retaining wall with perimeter drainage will be required as part of the Building Permit to ensure storm water is managed appropriately.

Urban Design and Site Planning

- Vehicular access to the proposed development is from a single driveway from Francis Road located in the centre of the site. Units are arranged on a T-shaped drive aisle.
- A statutory right-of-way (SRW) allowing access through the subject site to future developments to the east and west has been secured through the rezoning application.
- The design of the drive aisle includes visual cues to both indicate potential future extension and mark the transition to future development sites, including decorative pavers at each end, easily removable landscaping on the west end and no landscaping on the east end, and notification signage on each end.
- Units along Francis Road will have direct pedestrian access from the street, and rear units will have access from the drive aisle.
- Each unit has two parking spaces in a garage, which includes energized outlets for EV charging as per Richmond Zoning Bylaw 8500. Vehicle parking for the eight three-storey units is proposed in a tandem arrangement, for a total of 16 parking spaces (44% of the total required residential parking spaces), which is consistent with the maximum 50% contained in Richmond Zoning Bylaw 8500. A restrictive covenant to prohibit the conversion of the tandem parking garage area into habitable space has been secured through the rezoning application.
- Four visitor parking spaces are provided, including one accessible visitor parking space, which will be located on either end of the drive aisle. The number of visitor parking spaces proposed is in compliance with the minimum requirements found in Richmond Zoning Bylaw 8500.
- Class 1 bicycle parking is provided inside the garage of each unit. Class 2 bicycle parking for visitor is provided in bike racks located near the site entrance, across from the common outdoor amenity area.
- The shared outdoor amenity area is centrally located at the “T”-intersection, which maximizes sunlight penetration, provides an attractive view through the site, and allows for casual surveillance from adjacent units and the site entry. The amenity area is 136.2 m² (1,466 ft²), which is in excess of the minimum 6 m² per unit established in the OCP.
- Cash-in-lieu of indoor amenity space was secured through the rezoning application consistent with OCP policy.
- The required waste management enclosures and covered mailbox kiosk have been incorporated into the design of the buildings to minimize visual impact and add to the streetscape. Both are located on either side of the entry driveway.

Architectural Form and Character

- The proposed building form contains projecting window boxes, covered entry porches, gable roofs, and partially recessed balconies to provide articulation of the building façade and reinforce the residential scale.
- Street fronting units include steeply sloped roof elements to reduce the appearance of the third storey. A variety of projections and building articulation break up the massing and provide visual interest from the street.
- Buildings along the rear of the site have low sloped dormer roofs and contain either one or two townhouse units, suggesting a collection of smaller dwellings.
- The proposed cladding materials include red brick, white board and batten, black trim, and wood trellis structures. This combination of materials is used to give each building a distinct top, middle, and base.

Landscape Design and Open Space Design

- Tree preservation was reviewed at rezoning stage, where 15 on-site trees were identified for removal. Based on a 2:1 replacement ratio contained in the OCP, 30 new trees are required. The applicant is proposing to plant 30 trees in the development, which include a variety of deciduous and coniferous species consistent with the Arterial Road Land Use Policy.
- Three trees located on 8751 Wagner Drive to the south are to be retained and protected.
- The proposal provides a pedestrian-oriented streetscape along Francis Road, including landscaped front yards for each unit, new trees, and trellis structures framing some of the walkways.
- Two pedestrian walkways from the sidewalk to the internal drive aisle are provided at the west and centre of the site. The west walkway includes landscaping and a trellis, while the central walkway is parallel to the vehicle drive way.
- Units accessed via the internal drive aisle have paired entries that include a small landscaped area with a fastigiata tree, softening the appearance of the drive aisle and providing some visual interest.
- Private outdoor space is provided for each unit in the form of a landscaped area with patio on the ground floor, and additional balcony space located off upper storey living spaces.
- A children's play area is proposed in the shared outdoor amenity area, and includes a play house and ping pong table to provide different play opportunities for different age groups. Seating is provided next to the play equipment for caregivers.
- The vehicle entrance, intersection in front of the shared outdoor amenity area, visitor parking stalls, and each end of the drive aisle will be treated with permeable pavers for better water infiltration and variety in paving surfaces.
- Irrigation is provided for all planted areas.
- To ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security in the amount of \$123,665 prior to issuance of the Development Permit.
- A \$28,800 contribution towards the development of City facilities in lieu of providing indoor amenity space was secured through the rezoning application.
- A \$20,137.35 contribution to the City's Public Art Fund was secured through the rezoning application.

Crime Prevention Through Environmental Design

- Low permeable fencing and low landscaping are provided in the front yard to distinguish public and private space, while allowing for casual surveillance opportunities.
- New 1.8 m (6 ft.) fencing is proposed around the perimeter of the site to provide privacy and screening.
- The trees proposed between rear unit entries are a columnar species, so will not obstruct sightlines down the walkways.

Sustainability

- The proposed development is required to achieve Step 3 of the BC Energy Step Code.

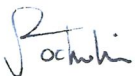
Accessible Housing

- The proposed development includes two convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of an elevator from the garage to the second floor and/or a chair lift in the staircase of Units 1 and 10.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

The list of Development Permit Considerations is included in Attachment 3, which has been agreed to by the applicant (signed concurrence on file).



Jordan Rockerbie
Planning Technician – Design
(604-276-4092)

JR:blg

Attachments:

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the Meeting Minutes of the ADP (September 18, 2019)

Attachment 3: Development Permit Considerations



DP 19-864104

Attachment 1

Address: 8600, 8620, 8640 and 8660 Francis Road

Applicant: Eric Stine Architect Inc.

Owner: Mavic Properties Ltd.

Planning Area(s): Broadmoor

Floor Area Gross: 3,359.9 m² (36,166 ft²) Floor Area Net: 2,196.3 m² (23,641 ft²)

	Existing	Proposed
Site Area:	3,668.28 m ²	3,660.51 m ²
Land Uses:	Single-family residential	Multiple-family residential
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
Number of Units:	Four single detached dwellings	18 townhouse dwellings

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	0.60	None permitted
Buildable Floor Area (m ²):*	Max. 2,196.3 m ² (23,641 ft ²)	2,196.3 m ² (23,641 ft ²)	None permitted
Lot Coverage (% of lot area):	Building: Max. 40% Non-porous Surfaces: Max. 65% Landscaping: Min. 25%	Building: 37.1% Non-porous Surfaces: 60.9% Landscaping: 30.3%	None
Lot Size:	N/A	3,660.51 m ²	None
Lot Dimensions (m):	Width: 50.0 m Depth: 35.0 m	Width: 80.42 m Depth: 45.72 m	None
Setback – Front Yard (North):	Min. 6.0 m	5.8 m	Vary by 0.2 m
Setback – Side Yard (East)	Min. 3.0 m	4.04 m	None
Setback – Side Yard (West)	Min. 3.0 m	3.45 m	None
Setback – Rear Yard (South)	Min. 3.0 m	4.73 m	None
Height (m):	Max. 12.0 m (3 storeys)	11.14 m (3 storeys)	None
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.22 (V) per unit	None
Off-street Parking Spaces – Total:	36 (R) and 4 (V)	36 (R) and 4 (V)	None
Tandem Parking Spaces:	Permitted – Maximum of 50% of required residential spaces	16 (i.e. 44%)	None

	Bylaw Requirement	Proposed	Variance
Small Car Parking Spaces:	Permitted – Maximum of 50% of total required spaces	12 (i.e. 33 %)	None
Bicycle Parking Spaces – Class 1:	1.25 per unit (i.e. 23)	24	None
Bicycle Parking Spaces – Class 2:	0.2 per unit (i.e. 4)	4	None
Amenity Space – Indoor:	Min. 50 m ² or \$1,600/unit cash-in-lieu (i.e. \$28,800)	\$28,800 cash-in-lieu	None
Amenity Space – Outdoor:	6 m ² per unit (i.e. 108 m ²)	136.2 m ²	None

Other: Tree replacement compensation required for loss of significant trees.

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, September 18, 2019 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

DP 19-864104 – 18-UNIT TOWNHOUSE DEVELOPMENT

ARCHITECT: Eric Stine Architect Inc.
LANDSCAPE ARCHITECT: PMG Landscape Architects Ltd.
PROPERTY LOCATION: 8600, 8620, 8640, 8660 Francis Road

Applicant's Presentation

Architects Eric Stine and Jason Skladan, and Denitsa Dimitrova, PMG Landscape Architects, presented the project and together with Stanford Siu, Admiral Operations, answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members were as follows:

- consider a softer treatment to the internal drive aisle so it would read as a space for shared vehicular and pedestrian use, e.g., internal drive aisle could also be used as play area, and a social and gathering place; consider extending the permeable surface paving treatment across the entire driveway and internal drive aisle to achieve this;

Response: Additional planting added at the intersection between driveway and internal drive aisle. Permeable paving revised to provide distinct zones along the internal driveway to facilitate play areas. Proposed trees between the rear units, and planting between the garage doors of front units soften the appearance of the drive aisle.

- appreciate the separation of the rear townhouse units; however, applicant could have installed more windows and the floor layout designed to provide more daylighting to the bedrooms on the second floor; actual gain in terms of additional glazing for the rear units as a result of separation is offset by the lack of screening and landscaping of the visitor parking stalls adjacent to the east and west property lines;

Response: Additional windows added to sides of rear units, taking advantage of spatial separation.

- appreciate the applicant's presentation and organization of materials; form and character of the project is well handled;
- size of play area around the proposed children's play equipment is inadequate; consider moving the ping-pong table up north to create more play space; consider a different surface treatment around the ping-pong table as the proposed grass surface could quickly deteriorate due to constant activities around the equipment;

Response: Amenity area has been revised as per ADP comments.

- consider an additional bench on the outdoor amenity area to facilitate more social interaction among residents; also consider installing a small tree adjacent to the bench to provide shading but not pose a potential CPTED issue;

Response: A second bench and small tree adjacent to the bench have been proposed

- proposed planting of viburnum shrub at the northeast and northwest corners of the outdoor amenity area could pose a potential CPTED concern as these could potentially grow more than one meter high;

Response: Viburnum has been deleted from north side of Amenity Area

- appreciate the applicant contributing to the City's Public Art Reserve Fund; however, the applicant is encouraged to incorporate public art into the project to improve the public realm;

Response: Public art is not proposed on site, given the limited site area fronting Francis Road which is not dedicated as private outdoor space for the townhouse units. A grass boulevard will be added along Francis Road complete with street trees, adding to the public realm.

- different paving colours and textures for pedestrian circulation areas around the project help enhance the pedestrian character of these areas; support the Panel comment to enhance the pedestrian character of the entire internal drive aisle;

Response: Planting is proposed where possible along the internal drive aisle: Small trees proposed between the rear units, and planting along the south face of the front buildings (between garage doors). Zones have created with the use of permeable paving to help break up the length of the internal drive aisle.

- consider adequate buffering at the east and west terminus of the internal drive aisle as these are adjacent to existing single-family dwellings;

Response: Planting is proposed at the west terminus of the internal drive aisle. There is limited space at the east terminus for planting. 6'-0" tall wood fencing, including a 1-2" trellis top is proposed to buffer the drive aisle on the east side. There is the potential for future townhouse projects to the east and west to use this drive aisle as well.

- height of planting and other landscape features to be installed along the south property line adjacent to the children's play area should be appropriate to provide adequate screening to existing single-family dwellings to the south;

Response: Bigger shrubs have been proposed at the south end of the play area

- appreciate the provision of two convertible units in the project;
- design of convertible unit ground floor access from the garage is supported; however, exit to the garage could be widened to open the door for a person in a wheelchair;

Response: Layout revised to have clear space beside the door to garage.

- consider a pocket door or outward swinging door in lieu of an inward swinging door for the powder room on the ground floor of the convertible unit to enhance its accessibility;

Response: Powder room door revised to be a pocket door.

- appreciate the second floor ensuite design for the convertible unit; consider an outward swinging door for the walk-in closet and a pocket door for the second bathroom to enhance their usability and accessibility;

Response: Layout revised to eliminate walk-in closet. A standard closet with sliding door is provided, to increase accessibility. Pocket doors are now being used of entry door to bedroom and ensuite.

- [ch]airlift usability would require a wheelchair or a walker on each floor;

Response: Understood, blocking is provided for chairlift should this be the most appropriate mobility upgrade for a disabled resident. Future elevator location is also provided, from garage to send floor closet above.

- stacked storage spaces on the first and second floors could permit the future installation of a vertical lift which would be more useful to people with various types of disabilities; installation of a Garaventa lift is suggested with appropriate dimensions;

Response: Future elevator location proposed from garage to upper floor closet.

- proposed river rock paving treatment for walkways between rear townhouse units is not appropriate for people in wheelchairs and strollers; also, stepping stones with big gaps will impede accessibility;

Response: Proposed river rock with stepping stones is for maintenance purposes only, not regular access to rear yard. There is a solid surface pathway to the front doors of each unit.

- consider installing weather protection over the mail boxes;

Response: Revised to include a wood arbor with solid roof for weather protection over the mail boxes.

- support Panel comments regarding the project's accessibility features;

- proposed architectural design is appropriate for the scale of the project; however, design development is needed for the blank east façade of the end townhouse unit (i.e., Unit 5) on the west side of the driveway to enhance visual interest to the project's entry; consider an exterior cladding treatment using more brick at the base similar to the west façade treatment of the unit on the opposite side of the driveway where garbage and recycling facilities are located (i.e., Unit 6); and

Response: Additional windows have been added to the east facade of Unit 5, with arbor roof over mailboxes added. Brick cladding has been extended further on the end (west facade).

- applicant needs to clarify the details of the curb elevations and treatments along the internal drive aisle, e.g. there are areas where two curbs converge at the radius; include labels for curb treatments in the drawings.

Response: Curb design has been simplified. Note, there is some flush concrete edging adjacent to permeable paving brick. This is flush with drive aisle, not a curb.

- *The following comments of Jubin Jalili were read into the record by Sara Badyal:*
- the project is required to meet or exceed BC Energy Step Code 3 requirements; could be achieved with higher insulation value, better windows and a high efficiency HRV; and

Response: BC Energy Step Code 3 will be achieved. We are working with Capital Home Energy to achieve this.

- applicant is considering to install airconditioning in the project; however, proposed location of outdoor units is not clear and needs consideration.

Response: Proposed outdoor location for air-conditioning units are now shown on site plan (see sheet A0.1)

Panel Decision

It was moved and seconded

That DP 19-864104 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 8600, 8620, 8640, 8660 Francis Road

File No.: DP 19-864104

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Final adoption of the Zoning Amendment Bylaw 9986.
2. 0.2 m road dedication along the entire Francis Road frontage.
3. Receipt of a Letter of Credit for landscaping in the amount of \$123,665.00. The Letter-of-Credit will not be returned until a Letter of Assurance prepared by the Landscape Architect confirming the landscaping has been installed as per the Development Permit is reviewed by staff.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site. Should the developer wish to begin site preparation work after third reading of the rezoning bylaw, but prior to final adoption of the rezoning bylaw and issuance of the Development Permit, the applicant will be required to obtain a Tree Removal Permit (Rezoning in Process – T3).
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.
5. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements. A Letter of Credit or cash security for the value of the works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to, the following:

Water Works:

- Using the OCP Model, there is 483.0 L/s of water available at a 20 psi residual at the Francis Road frontage. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
- At Developer's cost, the Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage Building designs.
 - Replace approximately 90 m of 300 mm AC water main with PVC in the roadway on Francis Road, complete with fire hydrants per City spacing requirements.
 - Remove the existing AC water main and legally dispose offsite.
 - Provide a right-of-way for the water meter and meter chamber (unless meter is to be located in a mechanical room), at no cost to the City. Exact right-of-way dimensions to be finalized during the servicing agreement process.

- At Developer's cost, the City is to:
 - Reconnect all existing water service connections and hydrant leads to the new water main.
 - Cut, cap, and remove all existing water service connections and meters to the development site.
 - Install one new water service connection, meter to be located onsite in a right of way.
 - Complete all tie-ins for the proposed works to existing City infrastructure.

Storm Sewer Works:

- At Developer's cost, the Developer is required to:
 - Perform a capacity analysis to size the proposed storm sewer in Francis Road. The analysis shall consider both the existing condition and the 2041 OCP condition. Storm sewers shall be interconnected where possible. Minimum pipe size shall be 600 mm.
 - Install approximately 95 m of new storm sewer in Francis Road, sized via the required capacity analysis. The new storm sewer shall be located in the roadway.
 - Remove the existing 300 mm storm sewer.
 - Install one new storm service connection, complete with inspection chamber. Inspection chamber to be located in a right-of-way onsite.
 - Provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the servicing agreement.
- At Developer's cost, the City is to:
 - Cut and cap all existing storm service connections to the development site and remove inspection chambers.
 - Reconnect all existing storm connections, catch basins, and lawn basins to the proposed storm sewer.
 - Complete all tie-ins for the proposed works to existing City infrastructure.

Sanitary Sewer Works

- At Developer's cost, the Developer is required to:
 - Not start onsite excavation or foundation construction prior to completion of rear-yard sanitary works by City crews.
- At Developer's cost, the City is to:
 - Install one new sanitary service connection, complete with inspection chamber.
 - Cut and cap all existing service connections to the development site, and remove inspection chambers.

Frontage Improvements:

- At Developer's cost, the Developer is required to:
 - Return the existing Hydro lease lights and replace with City standard street lighting.
 - Coordinate with BC Hydro, Telus and other private communication service providers:
 - To relocate/underground the existing overhead lines and poles to prevent conflict with the proposed sidewalk.
 - To underground overhead service lines.
 - To pre-duct for future hydro, telephone and cable utilities along all road frontages.
 - To locate all proposed underground structures (e.g. junction boxes, pull boxes, service boxes, etc.) outside of bike paths and sidewalks.
 - Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - To locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the

Initial: _____

locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the functional plan and registered prior to SA design approval:

- BC Hydro PMT – 4.0 x 5.0 m
- BC Hydro LPT – 3.5 x 3.5 m
- Street light kiosk – 1.5 x 1.5 m
- Traffic signal kiosk – 1.0 x 1.0 m
- Traffic signal UPS – 2.0 x 1.5 m
- Shaw cable kiosk – 1.0 x 1.0 m
- Telus FDH cabinet – 1.1 x 1.0 m
- Provide other frontage improvements as per Transportation's requirements, including
 - Removal of the existing sidewalk and boulevard and replacement with new 1.5 m wide concrete sidewalk at the property line, min. 1.5 m wide landscaped boulevard with street trees and lighting, and 0.15 concrete curb;
 - Removal of the four existing driveways and replacement with frontage works as described above;
 - Construction of a new driveway to the development site; and
 - All works to tie-in to existing condition to the east and west of the development site.

General Items:

- At Developer's cost, the Developer is required to:
 - Not encroach into the rear-yard sanitary right-of-way with proposed trees, retaining walls, non-removable fences, or other non-removable structures. No fill may be placed within the right-of-way without the City's review and approval.
 - Provide, prior to start of site preparation works or within the first servicing agreement submission, whichever comes first, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting the development site and provide mitigation recommendations.
 - Provide a video inspection report of the existing storm and sanitary sewers along the development's frontages prior to start of site preparation works or within the first servicing agreement submission, whichever comes first. A follow-up video inspection report after site preparation works are complete (i.e. pre-load removal, completion of dewatering, etc.) is required to assess the condition of the existing utilities and provide recommendations. Any utilities damaged by the pre-load, de-watering, or other development-related activity shall be replaced at the Developer's cost.
 - Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per a geotechnical engineer's recommendations, and report the settlement amounts to the City for approval.
 - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

Initial: _____

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



City of Richmond

Development Permit

No. DP 19-864104

To the Holder: ERIC STINE ARCHITECT INC.
Property Address: 8600, 8620, 8640 AND 8660 FRANCIS ROAD
Address: C/O 1 - 1864 WEST 1ST AVENUE
VANCOUVER, BC V6J 1G5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the front yard setback to Francis Road from 6.0 m to 5.8 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #27 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$123,665.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 19-864101

To the Holder: ERIC STINE ARCHITECT INC.
Property Address: 8600, 8620, 8640 AND 8660 FRANCIS ROAD
Address: C/O 1 - 1864 WEST 1ST AVENUE
VANCOUVER, BC V6J 1G5E

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

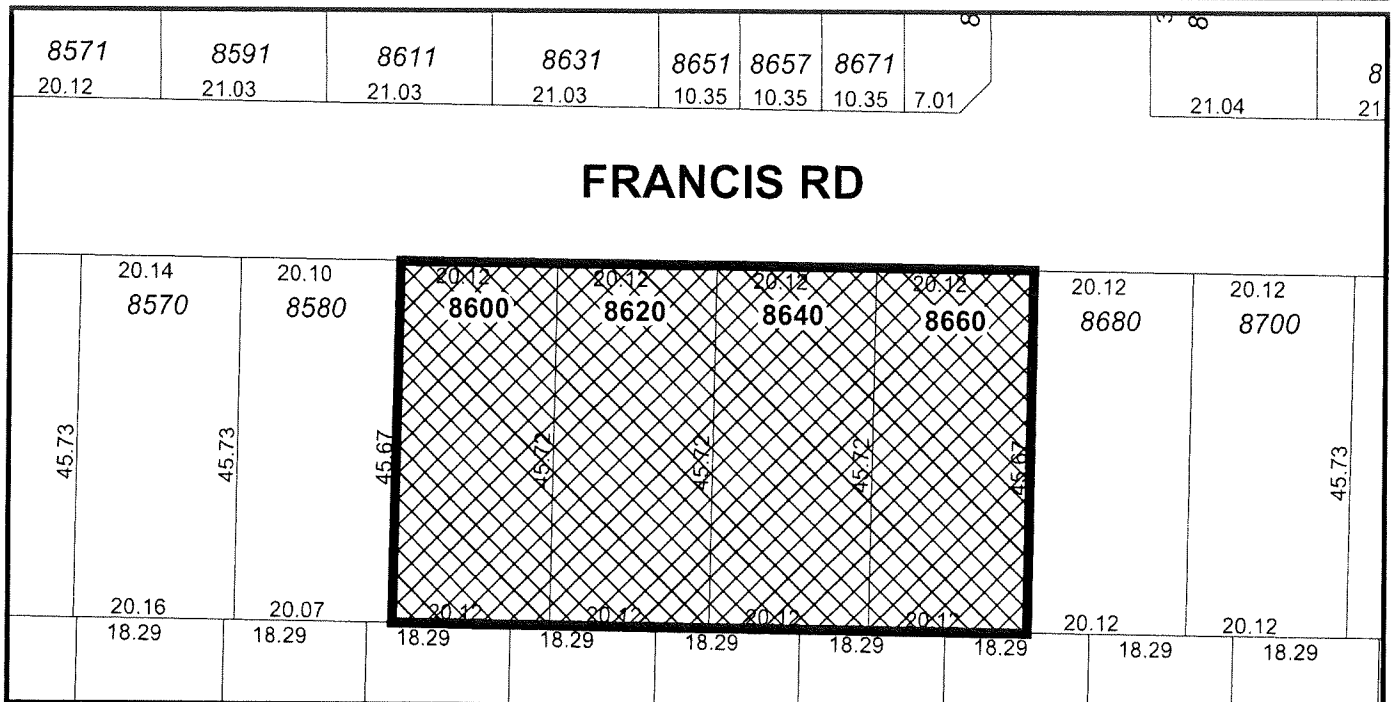
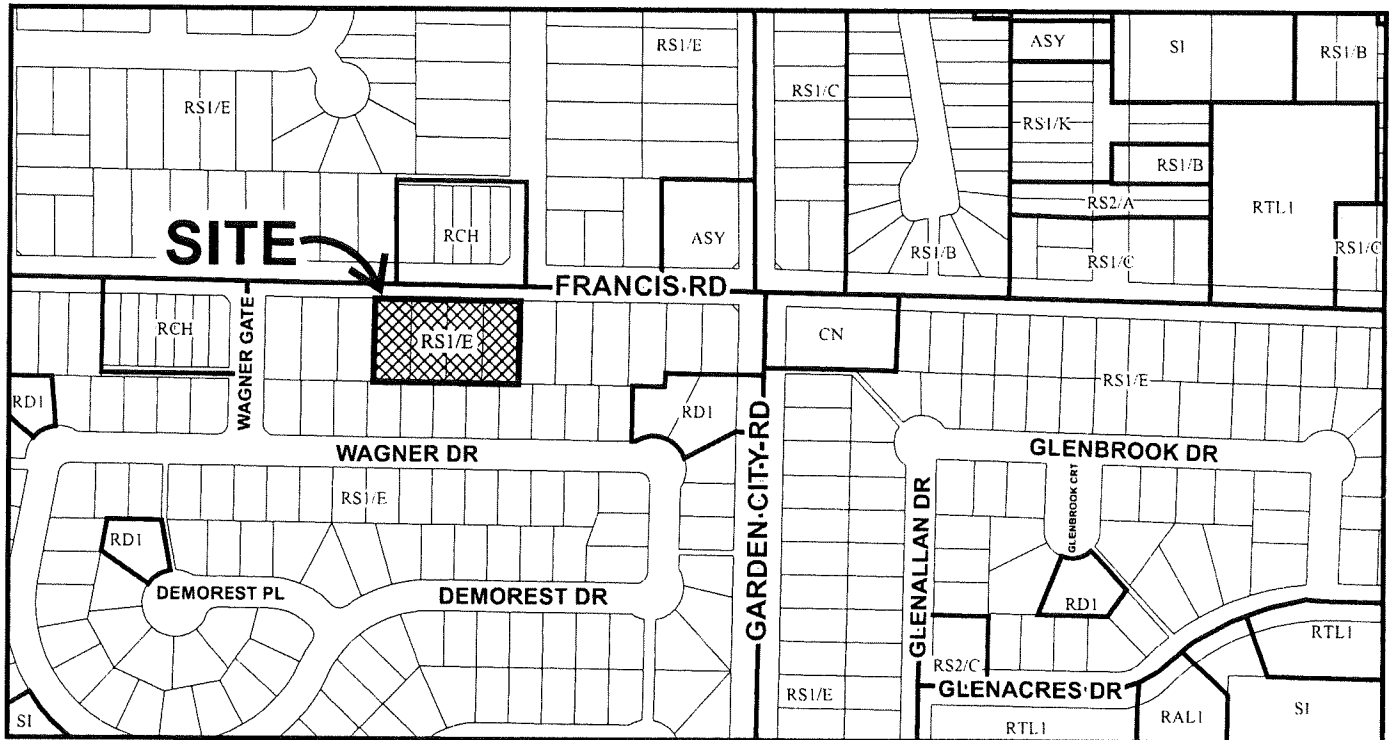
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 19-864104
SCHEDULE "A"

Original Date: 06/12/19

Revision Date:

Note: Dimensions are in METRES

LIST OF ARCHITECTURAL DRAWINGS:

0.00	COVER PAGE
0.01	3D VIEWS
0.02	3D VIEWS
A0.0	STATISTICS
A0.1	SITE PLAN - GROUND FLOOR
A0.1-#1	SITE PLAN #1 - SETBACK SITE PLAN
A0.1-#2	SITE PLAN #2 - PARKING PLAN
A0.2	SITE PLAN - SECOND FLOOR
A0.3	SITE PLAN - THIRD FLOOR
A0.4	FSR PLAN - GROUND FLOOR
A0.5	FSR PLAN - SECOND FLOOR
A0.6	FSR PLAN - THIRD FLOOR
A0.7	LOT GRADING PLAN
A1.1	UNITS 1-5 GROUND FLOOR
A1.2	UNITS 1-5 SECOND FLOOR
A1.3	UNITS 1-5 THIRD FLOOR
A1.4	UNITS 1-5 ROOF PLAN
A1.5	UNITS 11-14 GROUND FLOOR
A1.6	UNITS 11-14 SECOND FLOOR
A1.7	UNITS 11-14 ROOF PLAN
A1.8	UNIT TYPES
A1.9	CONVERTIBLE (ACCESSIBLE) UNITS
A2.1	UNITS 1-5 ELEVATIONS
A2.2	UNITS 1-5 ELEVATIONS
A2.3	UNITS 6-10 ELEVATIONS
A2.4	UNITS 6-10 ELEVATIONS
A2.5	UNIT 11 ELEVATIONS
A2.6	UNITS 12-13 ELEVATIONS
A2.7	COLOURED ELEVATIONS
A3.1	OVERALL SECTIONS
A3.2	UNIT 1-5 SECTIONS
A3.3	UNIT 1-5 SECTIONS
A3.4	UNIT 11-14 SECTIONS
A3.5	UNIT 11-14 SECTIONS
A4.1	DETAILS
A5.1	WINDOW SCHEDULE

8600 / 8660 FRANCIS ROAD
New Townhouse Development
(DP-19-864104)



DEC 04 2019



1 Aerial From Street



REF 1

2 Aerial From Backyard

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

NO.	ISSUE	DATE
ERIC STINE ARCHITECT INC 1 - 1864 W. 1ST AVE. VANCOUVER, BC CANADA V6J 1G5 TEL: (604) 732-4545 FAX: (604) 736-9493		
<small>This drawing, as an instrument of service, is the property of the architect and may not be reproduced without the permission of the architect, and unless the drawing carries the name of the architect. All designs and other information shown on this drawing are for use on the specified project only, and shall not be used otherwise without the written permission of the architect. Written dimensions on this drawing shall have precedence over scaled dimensions. This Drawing is not to be used for construction purposes until signed & sealed or specifically issued for that purpose.</small>		

PERMIT NUMBER		DP-2019-864101	
DRAWN	JS	DATE	JULY 2018
SCALE		Not To Scale	
NEW TOWNHOUSES			
REZONING			
AT			
8600 / 8660 Francis Road			
JOB DESCRIPTION			
JOB NUMBER			
COVER PAGE			
DRAWING TITLE			
0.00			
DRAWING NUMBER		REVISION	

8600 / 8660 FRANCIS ROAD(DP-19-864104)



1 Front Building - Streetfront



2 Front Building - Sideyard



3 Front Building, Driveway Access



4 Front Building - Drive Aisle



DEC 04 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

NO.	ISSUE	DATE
-----	-------	------

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ARCHITECT INC

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VANCOUVER, BC
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PERMIT NUMBER DP-2019-864101

DRAWN JS DATE JULY 2018

SCALE Not To Scale

NEW TOWNHOUSES
REZONING

AT

8600 / 8660 Francis Road

JOB DESCRIPTION

JOB NUMBER

3D VIEWS

DRAWING TITLE

0.01

DRAWING NUMBER REVISION

REF 2

8600 / 8660 FRANCIS ROAD(DP-19-864104)



1 Rear Buildings - Amenity Area Sideyard



2 Rear Building Backyards



3 Rear Building Entrances



4 Rear Buildings - Drive Aisle



DEC 04 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

NO.	ISSUE	DATE
-----	-------	------

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PERMIT NUMBER DP-2019-864101

DRAWN JS DATE JULY 2018

SCALE Not To Scale

NEW TOWNHOUSES
REZONING
AT
8600 / 8660 Francis Road

JOB DESCRIPTION

JOB NUMBER

3D VIEWS

DRAWING TITLE

0.02

DRAWING NUMBER REVISION

REF 3

8600 / 8660 FRANCIS ROAD(DP-19-864104)

LIST OF ARCHITECTURAL DRAWINGS:

0.00 COVER PAGE
0.01 3D VIEWS
0.02 3D VIEWS

A0.0 STATISTICS
A0.1 SITE PLAN - GROUND FLOOR
A0.1-#1 SITE PLAN #1 - SETBACK SITE PLAN
A0.1-#2 SITE PLAN #2 - PARKING PLAN
A0.2 SITE PLAN - SECOND FLOOR
A0.3 SITE PLAN - THIRD FLOOR
A0.4 FSR PLAN - GROUND FLOOR
A0.5 FSR PLAN - SECOND FLOOR
A0.6 FSR PLAN - THIRD FLOOR
A0.7 LOT GRADING PLAN

A1.1 UNITS 1-5 GROUND FLOOR
A1.2 UNITS 1-5 SECOND FLOOR
A1.3 UNITS 1-5 THIRD FLOOR
A1.4 UNITS 1-5 ROOF PLAN
A1.5 UNITS 11-14 GROUND FLOOR
A1.6 UNITS 11-14 SECOND FLOOR
A1.7 UNITS 11-14 ROOF PLAN
A1.8 UNIT TYPES
A1.9 CONVERTIBLE (ACCESSIBLE) UNITS

A2.1 UNITS 1-5 ELEVATIONS
A2.2 UNITS 1-5 ELEVATIONS
A2.3 UNITS 6-10 ELEVATIONS
A2.4 UNITS 6-10 ELEVATIONS
A2.5 UNIT 11 ELEVATIONS
A2.6 UNITS 12-13 ELEVATIONS
A2.7 COLOURED ELEVATIONS

A3.1 OVERALL SECTIONS
A3.2 UNIT 1-5 SECTIONS
A3.3 UNIT 1-5 SECTIONS
A3.4 UNIT 11-14 SECTIONS
A3.5 UNIT 11-14 SECTIONS

A4.1 DETAILS
A5.1 WINDOW SCHEDULE

STATISTICS:

CIVIC ADDRESS:
LEGAL DESCRIPTIONS:

8600 // 8620 // 8640 // 8660 Francis Road
Lot 24, Plan 25175, 42395 // Lot 81, Plan 25175 // Lot 79, Plan 24547. // Lot 25 Except: Firstly part subdivided by Plan 24547, Secondly: Part subdivided by Plan 42395, Plan 12559 All of Section 28 Block 4, North Range 6 West, New Westminster District

ZONING:
SITE AREA (After Road Dedication):

Rezoning from Single Detached (RS1/E) to Low Density Townhouses (RTL4)
39,401.4 sq ft
[3,660.51 sq m]

SITE COVERAGE :

	PERMITTED	PROPOSED (Imperial Units)	PROPOSED (Metric Units)	NOTES
SITE COVERAGE	40.00 %	37.11 %	37.11 %	
Main Floor and Garages	15,760.6 sq ft	14,621.3 sq ft	1,358.4 sq m	Based on RTL4
IMPERMEABLE AREA	(65.00 %)	13,710.00 sq ft	1,273.70 sq m	Buildings
House, Garage and Exterior Stairs, Pathways, Driveway	25,610.9 sq ft	10,288.00 sq ft	955.79 sq m	Paving / Pathways
		23,998.00 sq ft	2,229.5 sq m	TOTAL
		(60.9%)		

F.A.R. :

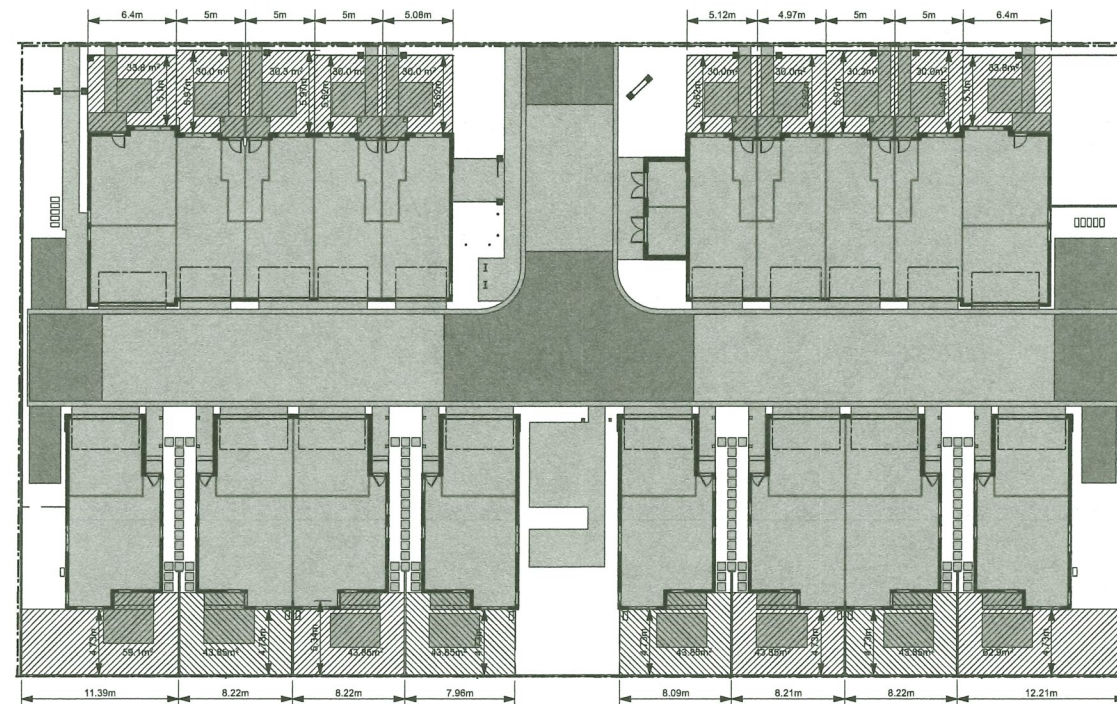
	PERMITTED	PROPOSED (Imperial Units)	PROPOSED (Metric Units)	NOTES
OVERALL AREA FAR	0.6 FAR	(0.60 FAR)	(0.60 FAR)	
	23,640.9 sq ft	23,640.8 sq ft	2,196.3 sq m	
MAIN FLOOR		5,745.09 sq ft	533.74 sq m	
SECOND FLOOR		12,918.5 sq ft	1,200.2 sq m	
THIRD FLOOR		4,977.16 sq ft	462.39 sq m	
GARAGES		8,104.89 sq ft	752.97 sq m	
BALCONIES		1,366.29 sq ft	126.93 sq m	
GARBAGE / RECYCLE ROOM		245.20 sq ft	22.78 sq m	Excluded from FAR

DWELLING UNIT AREAS

UNIT #	Balcony	Main Floor		Second Floor	Third Floor	Total Interior Space
		Garage	Living Space			
1	63 sq ft (5.9 sq m)	400 sq ft (37.2 sq m)	484 sq ft (44.9 sq m)	840 sq ft (78.0 sq m)		1323 sq ft (122.9 sq m)
2	66 sq ft (6.1 sq m)	548 sq ft (50.9 sq m)	96 sq ft (9.0 sq m)	638 sq ft (59.2 sq m)	698 sq ft (64.9 sq m)	1433 sq ft (133.1 sq m)
3	66 sq ft (6.1 sq m)	548 sq ft (50.9 sq m)	96 sq ft (9.0 sq m)	641 sq ft (59.5 sq m)	555 sq ft (51.6 sq m)	1292 sq ft (120.1 sq m)
4	67 sq ft (6.2 sq m)	548 sq ft (50.9 sq m)	96 sq ft (9.0 sq m)	641 sq ft (59.5 sq m)	691 sq ft (64.2 sq m)	1428 sq ft (132.7 sq m)
5	43 sq ft (4.0 sq m)	563 sq ft (52.3 sq m)	96 sq ft (9.0 sq m)	653 sq ft (60.6 sq m)	697 sq ft (64.7 sq m)	1446 sq ft (134.3 sq m)
6	67 sq ft (6.2 sq m)	563 sq ft (52.3 sq m)	96 sq ft (8.9 sq m)	653 sq ft (60.6 sq m)	697 sq ft (64.7 sq m)	1446 sq ft (134.3 sq m)
7	66 sq ft (6.1 sq m)	548 sq ft (50.9 sq m)	96 sq ft (9.0 sq m)	641 sq ft (59.5 sq m)	691 sq ft (64.2 sq m)	1428 sq ft (132.7 sq m)
8	66 sq ft (6.1 sq m)	548 sq ft (50.9 sq m)	97 sq ft (9.0 sq m)	640 sq ft (59.5 sq m)	555 sq ft (51.6 sq m)	1292 sq ft (120.1 sq m)
9	63 sq ft (5.9 sq m)	548 sq ft (50.9 sq m)	96 sq ft (9.0 sq m)	638 sq ft (59.2 sq m)	698 sq ft (64.9 sq m)	1432 sq ft (133.1 sq m)
10	43 sq ft (4.0 sq m)	400 sq ft (37.2 sq m)	484 sq ft (44.9 sq m)	840 sq ft (78.0 sq m)		1323 sq ft (122.9 sq m)
11	96 sq ft (8.8 sq m)	362 sq ft (33.6 sq m)	597 sq ft (55.5 sq m)	831 sq ft (77.2 sq m)		1429 sq ft (132.7 sq m)
12	95 sq ft (8.8 sq m)	361 sq ft (33.5 sq m)	597 sq ft (55.5 sq m)	830 sq ft (77.1 sq m)		1427 sq ft (132.6 sq m)
13	95 sq ft (8.8 sq m)	361 sq ft (33.5 sq m)	597 sq ft (55.5 sq m)	830 sq ft (77.1 sq m)		1427 sq ft (132.6 sq m)
14	93 sq ft (8.7 sq m)	362 sq ft (33.6 sq m)	597 sq ft (55.5 sq m)	831 sq ft (77.2 sq m)		1429 sq ft (132.7 sq m)
15	95 sq ft (8.8 sq m)	362 sq ft (33.6 sq m)	597 sq ft (55.5 sq m)	831 sq ft (77.2 sq m)		1429 sq ft (132.7 sq m)
16	95 sq ft (8.8 sq m)	361 sq ft (33.5 sq m)	597 sq ft (55.5 sq m)	830 sq ft (77.1 sq m)		1427 sq ft (132.6 sq m)
17	95 sq ft (8.8 sq m)	361 sq ft (33.5 sq m)	597 sq ft (55.5 sq m)	830 sq ft (77.1 sq m)		1427 sq ft (132.6 sq m)
18	95 sq ft (8.8 sq m)	362 sq ft (33.6 sq m)	597 sq ft (55.5 sq m)	831 sq ft (77.2 sq m)		1429 sq ft (132.7 sq m)
TOTAL	1,366 sq ft (127 sq m)	8,105 sq ft (753 sq m)	6,516 sq ft (605 sq m)	13,468 sq ft (1251 sq m)	5,283 sq ft (491 sq m)	25,268 sq ft (2347 sq m)



3 CONTEXT PLAN
Not To Scale



1 IMPERMEABLE AREA & AMMENITY AREAS
Scale: 1:250

LEGEND	
	IMPERMEABLE AREA
	PERMEABLE PAVING (NOT COUNTED TOWARDS IMPERMEABLE AREA) 3,431 sq ft TOTAL
	PRIVATE OUTDOOR SPACE 8.88m



BUILDING SETBACKS

UNITS 1 - 5
FRONT (NORTH)
SIDE (WEST)

PROPOSED
5.8 m
4.84 m

UNITS 6-10
FRONT (NORTH)
SIDE (EAST)

PROPOSED
5.8 m
5.74 m

UNITS 11-18
REAR (SOUTH)
REAR (SOUTH)
SIDE (WEST)
SIDE (EAST)

PROPOSED
5.45 m
6.05 m
3.42 m
4.06 m
(less than 50% of building)
(more than 50% of building)

BUILDING HEIGHT

NOTE: CROWN OF ROAD IS
MINIMUM MAIN FLOOR

1.23 m
1.53 m
(0.3m above road crown)

UNITS 1 - 5
EXISTING AVERAGE GRADE
MAIN FLOOR ELEVATION
ROOF PEAK (2 STOREY)
ROOF PEAK (3 STOREY)

PROPOSED
0.88 m
1.55 m
8.97 m
12.69 m
8.09 m Building Height
11.81 m Building Height

UNITS 6-10
EXISTING AVERAGE GRADE
MAIN FLOOR ELEVATION
ROOF PEAK (2 STOREY)
ROOF PEAK (3 STOREY)

PROPOSED
0.82 m
1.55 m
9.07 m
12.79 m
8.25 m Building Height
11.97 m Building Height

UNIT 11
EXISTING AVERAGE GRADE
MAIN FLOOR ELEVATION
ROOF PEAK

PROPOSED
0.92 m
1.55 m
9.49 m
8.57 m Building Height

UNITS 12-13
EXISTING AVERAGE GRADE
MAIN FLOOR ELEVATION
ROOF PEAK

PROPOSED
0.82 m
1.55 m
9.49 m
8.67 m Building Height

UNIT 14
EXISTING AVERAGE GRADE
MAIN FLOOR ELEVATION
ROOF PEAK

PROPOSED
0.78 m
1.55 m
9.49 m
8.71 m Building Height

UNIT 15
EXISTING AVERAGE GRADE
MAIN FLOOR ELEVATION
ROOF PEAK

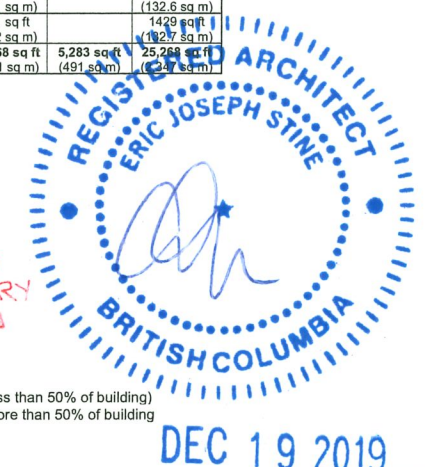
PROPOSED
0.80 m
1.55 m
9.49 m
8.69 m Building Height

UNITS 16-17
EXISTING AVERAGE GRADE
MAIN FLOOR ELEVATION
ROOF PEAK

PROPOSED
0.75 m
1.55 m
9.49 m
8.74 m Building Height

UNIT 18
EXISTING AVERAGE GRADE
MAIN FLOOR ELEVATION
ROOF PEAK

PROPOSED
0.64 m
1.55 m
9.49 m
8.85 m Building Height



A REVISOR FOR REZONING 18-11-29
B REVISOR FOR REZONING 19-01-21
C REVISOR FOR DP 19-11-26

4 ISSUED FOR DP 19-06-07
3 FOR REZONING 18-9-16

NO. ISSUE DATE

ERIC STINE
ARCHITECT INC

1 - 1864 W.1ST AVE.
VANCOUVER, BC
CANADA V6T 1G5
TEL: (604) 732-4545
FAX: (604) 736-9493

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PROJECT NUMBER DP-2019-864101

DRAWN JS DATE JULY 2018

SCALE AS NOTED

NEW TOWNHOUSES
REZONING

AT

8600 / 8660 Francis Road

NO. DESCRIPTION

NO. NUMBER

STATISTICS

DRAWING TITLE

A0.0

DRAWING NUMBER REVISION

PLAN 1

8600 / 8660 FRANCIS ROAD(DP-19-864104)

VEHICLE PARKING			
RESIDENT PARKING 2 per unit (per table 7.7.2.1)	# of Units	REQUIRED	PROVIDED
	18 Units	36 Spaces	Standard Size: 24 Spaces Small Car: 12 Spaces
			Total Resident Parking 36 Spaces
VISITOR PARKING 0.2 per unit (per table 7.7.2.1)	# of Units	REQUIRED	PROVIDED
	18 Units	4 Spaces	Standard Size: 2 Spaces Small Car: 1 Space Accessible: 1 Space
			Total Visitor Parking 4 Spaces
NOTE: Level 2 EV charging to be provided to all required residential spaces as per Zoning Bylaw 8500			

LOADING
Residential On-Site Loading (per Table 7.13.6.1)
Designated space not required provided that the (designated) loading vehicle would be able to manoeuvre on-site and not impact the public road (i.e., vehicles would manoeuvre via the drive aisle to reach the area intended to be served, as approved by the Director of Transportation).

BICYCLE PARKING			
Class 1 Bicycle Spaces 1.25 per dwelling (per table 7.14.9.1) 18 Dwelling Units	REQUIRED	PROVIDED	
	23 Spaces	16 Horizontal (63 %) 8 Vertical (33 %)	
		24 Total (100 %)	
Class 2 Bicycle Spaces 0.2 per dwelling (per table 7.14.9.1) 18 Dwelling Units	REQUIRED	PROVIDED	
	4 Spaces	4 Spaces	



DEC 04 2019

- A REVISED FOR REZONING 18-11-29
- B REVISED FOR DP 19-08-19
- C REVISED FOR DP 19-11-26

- 4 ISSUED FOR DP 19-06-07
- 3 FOR REZONING 18-9-16

NO. ISSUE DATE

ERIC STINE
ARCHITECT INC

1-1864 W. 1ST AVE.
VANCOUVER, BC
CANADA V6J 1G5
TEL: (604) 732-4545
FAX: (604) 736-9493

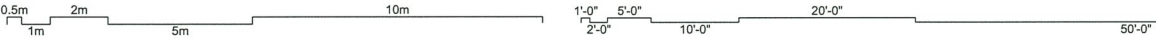
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PERMIT NUMBER	DP-2019-864101
DRAWN	JS
DATE	JULY 2018
SCALE	1:120 OR 1"=10'-0"
NEW TOWNHOUSES REZONING AT 8600 / 8660 Francis Road	
JOB DESCRIPTION	
JOB NUMBER	

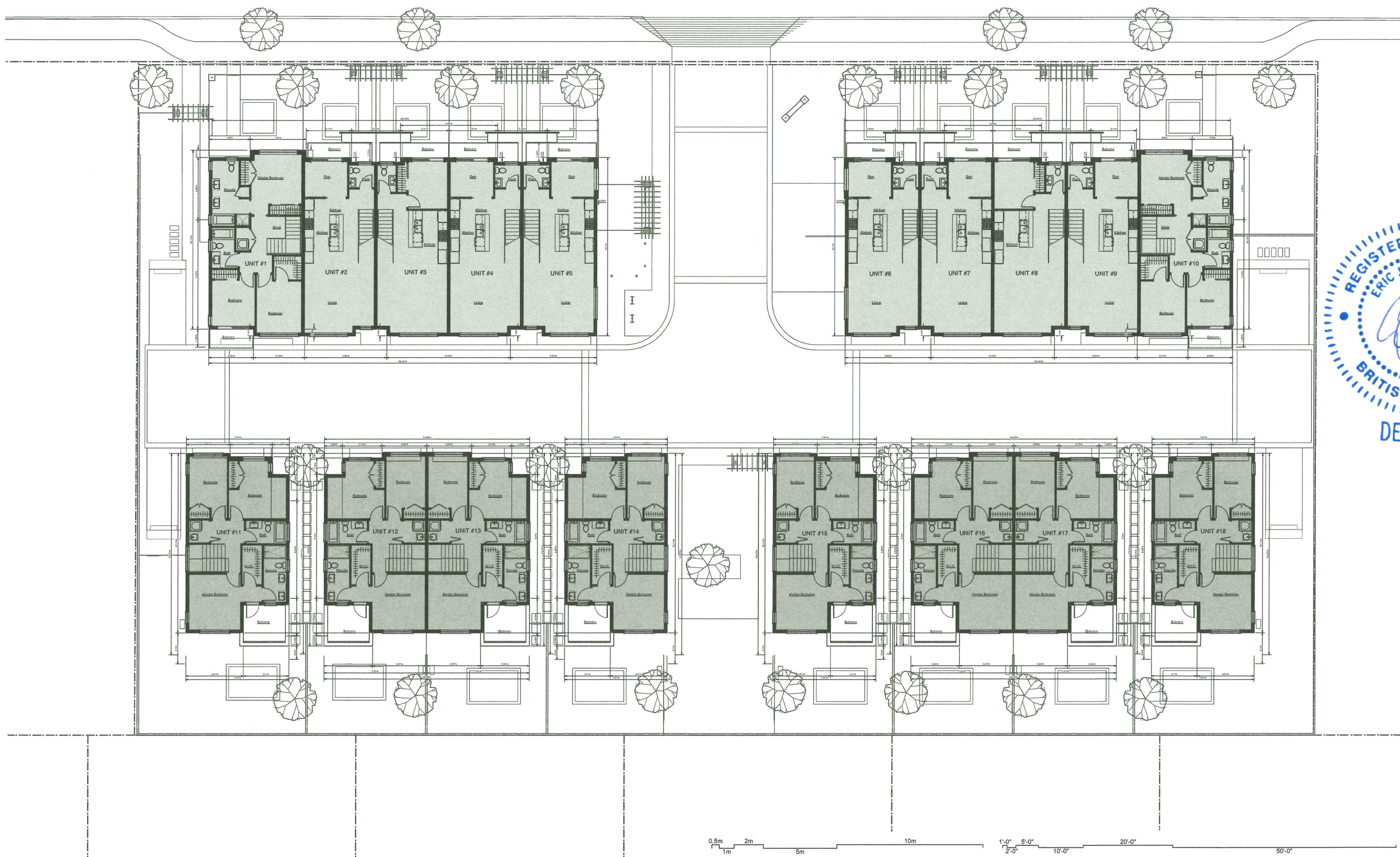
SITE PLAN #2
PARKING PLAN

DRAWING TITLE	A0.1-#2
DRAWING NUMBER	REVISION

PLAN 3



8600 / 8660 FRANCIS ROAD



DEC 19 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

NO.	ISSUE	DATE
-----	-------	------

ERIC STINE
ARCHITECT INC

1 - 1864 W. 1ST AVE.
VANCOUVER, BC
CANADA V6J 1G5
TEL: (604) 732-4545
FAX: (604) 736-9493

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PROJECT NUMBER: DP-2019-864101

DRAWN: JS DATE: JULY 2018

SCALE: 1:120 OR 1"=10'-0"

NEW TOWNHOUSES
REZONING
AT
8600 / 8660 Francis Road

NO. DESCRIPTION

NO. NUMBER

SITE PLAN - SECOND FLOOR

DRAWING TITLE

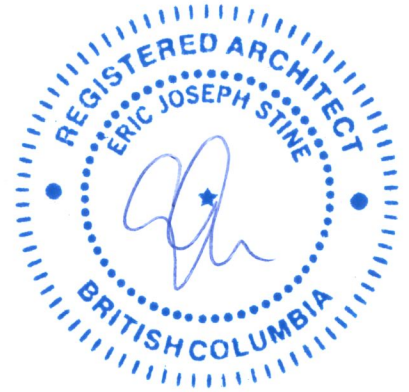
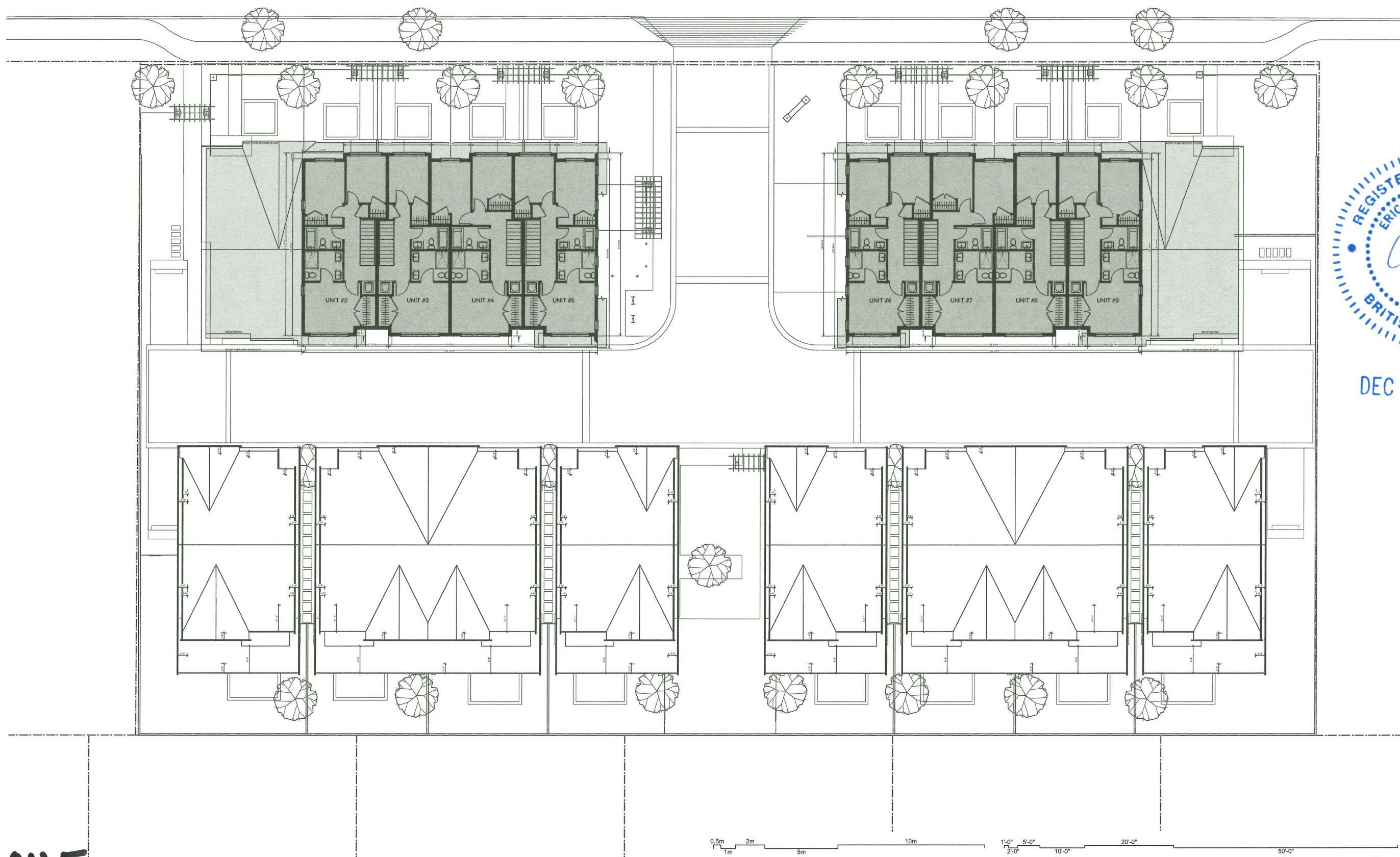
A0.2

DRAWING NUMBER

REVISION

PLAN 4

8600 / 8660 FRANCIS ROAD



DEC 10 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-10
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

ERIC STINE
ARCHITECT INC
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VANCOUVER, BC
CANADA V6J 1G5
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PROJECT NUMBER DP-2019-864101

DRAWN JS DATE JULY 2018

SCALE 1:120 OR 1"=10'-0"

**NEW TOWNHOUSES
REZONING
AT
8600 / 8660 Francis Road**

JOB DESCRIPTION

JOB NUMBER

SITE PLAN - THIRD FLOOR

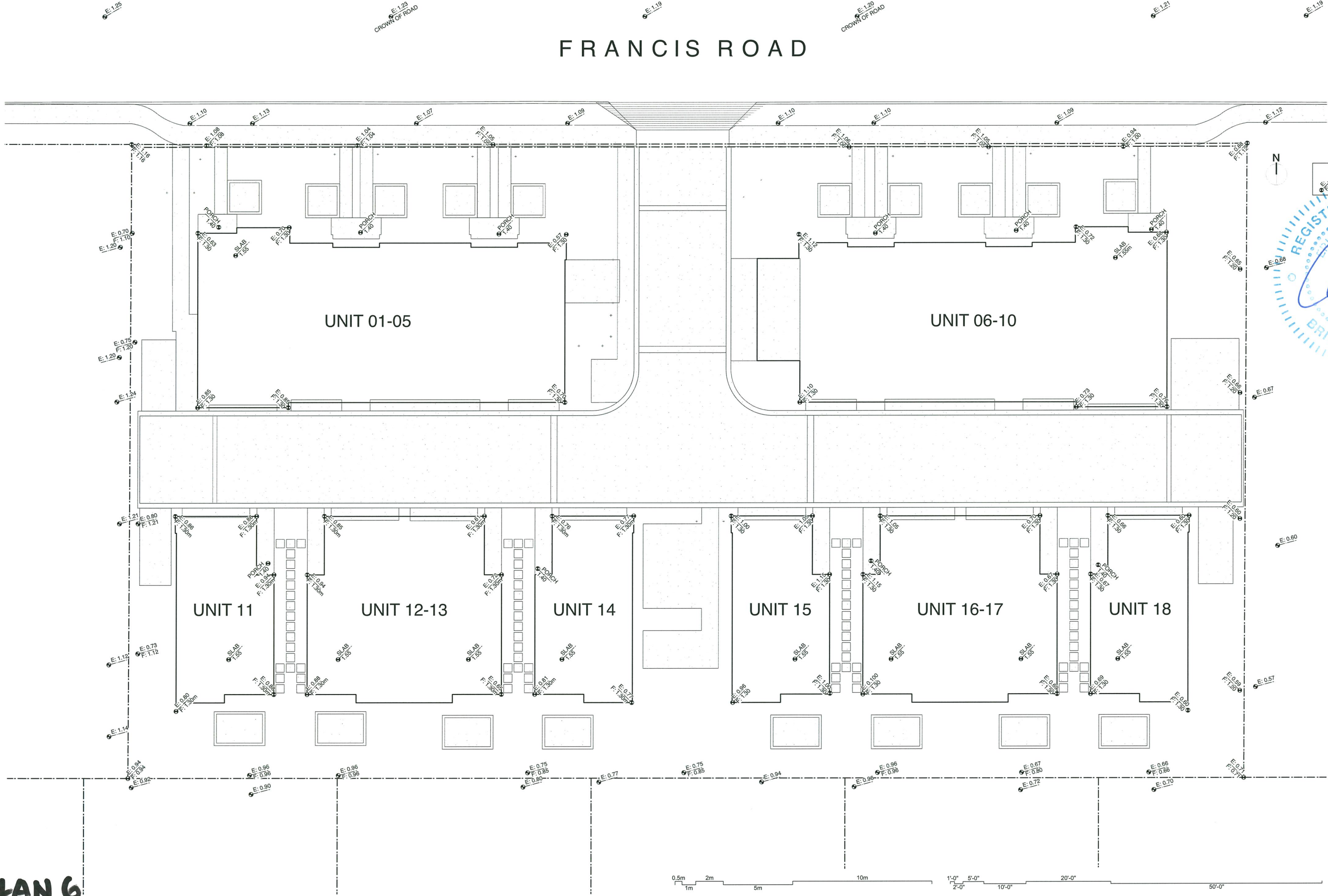
DRAWING TITLE

A0.3

DRAWING NUMBER REVISION

PLAN 5

FRANCIS ROAD



DEC 04 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26
4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

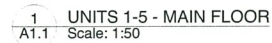
NO. ISSUE DATE

ERIC STINE
ARCHITECT INC
1-1864 W.1ST AVE.
VANCOUVER, BC
CANADA V6J 1G5
TEL: (604) 732-4545
FAX: (604) 736-9493

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PERMIT NUMBER	DP-2019-864101
DRAWN	JS
DATE	JULY 2018
SCALE	1:120 OR 1"=10'-0"
NEW TOWNHOUSES REZONING AT 8600 / 8660 Francis Road	
JOB DESCRIPTION	
JOB NUMBER	
LOT GRADING PLAN	
DRAWING TITLE	
A0.7	
DRAWING NUMBER	REVISION

PLAN 6

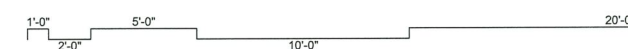


NO.	ISSUE	DATE
<p>ERIC STINE ARCHITECT INC</p> <p>1 - 1864 W.1ST AVE. VANCOUVER, BC CANADA V6J 1G5 TEL: (604) 732-4545 FAX: (604) 736-9493</p>		

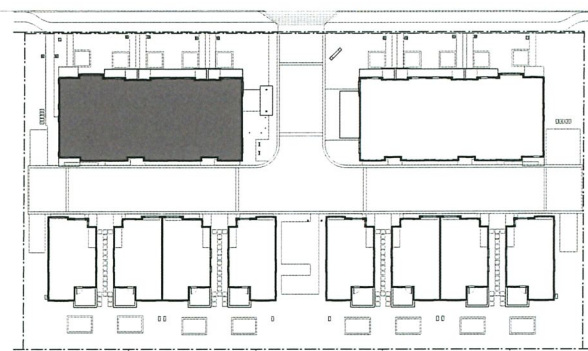
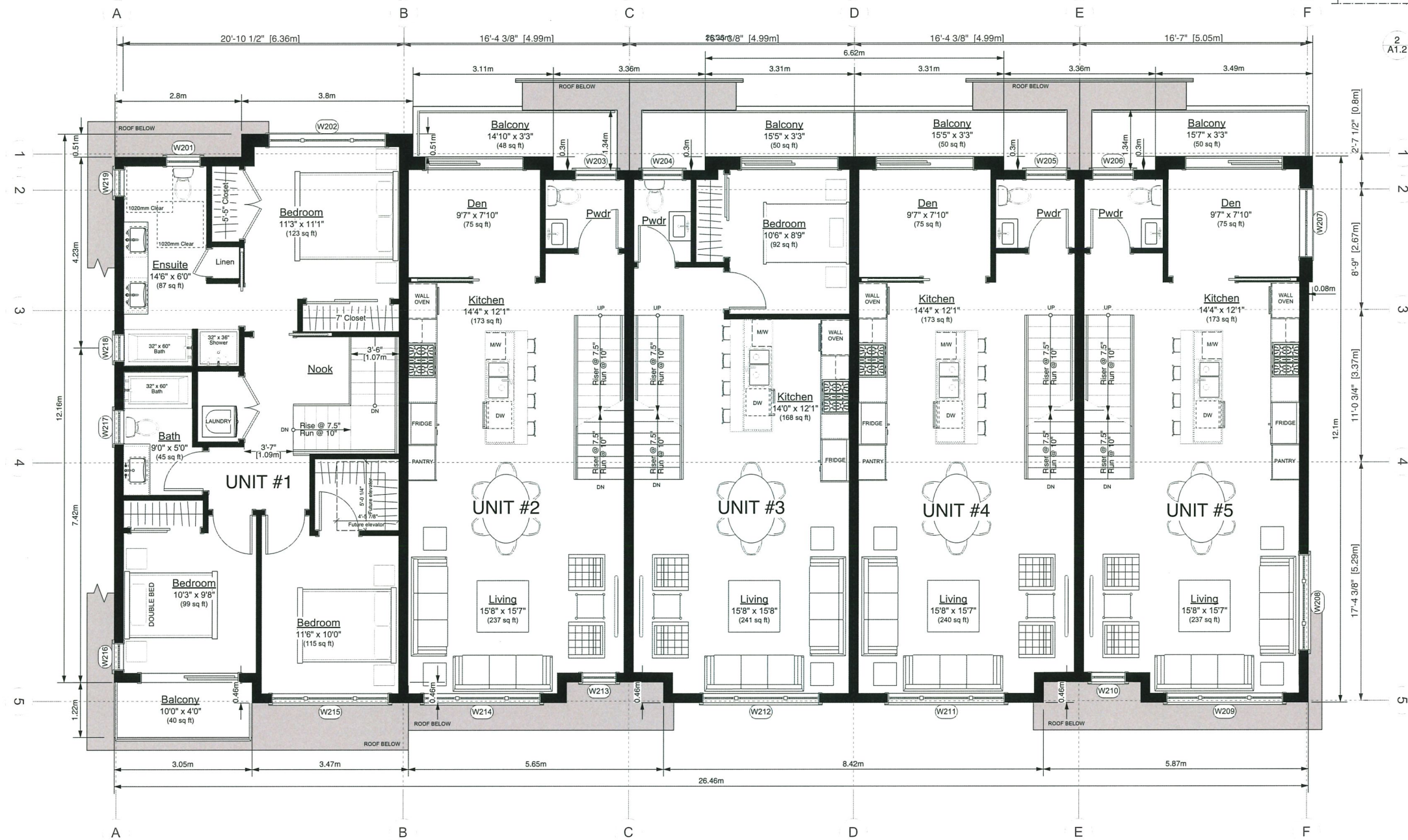
This drawing, as an instrument of service, is the property of the architect and may not be reproduced without the permission of the architect, and unless the drawing carries the name of the architect. All designs and other information shown on this drawing are for use on the specified project only, and shall not be used otherwise without the written permission of the architect. Written dimensions on this drawing shall have precedence over scaled dimensions. This Drawing is not to be used for construction purposes until signed & sealed or specifically issued for that purpose.

<p>UNITS 1-5 GROUND FLOOR</p>	
<p>DRAWING TITLE</p>	<p>DRAWING NUMBER</p>
<p>A1.1</p>	<p>REVISION</p>

NOTE: UNITS 6-10 ARE MIRROR IMAGE
Dimensions are to face of cladding unless otherwise noted



PLAN 7

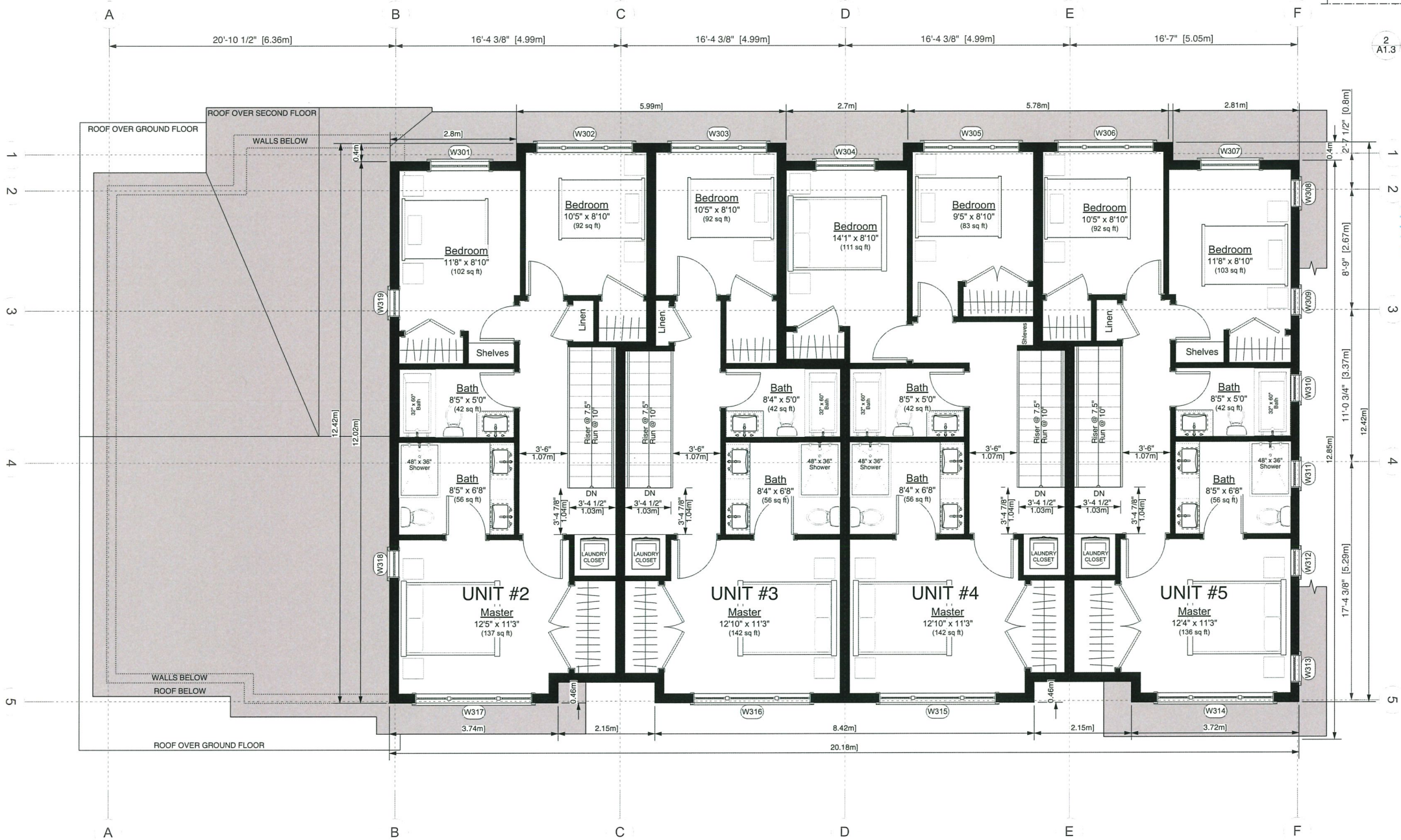


DEC 04 2019

A	REVISED FOR REZONING	18-12-11
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26
4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

NO.	ISSUE	DATE
<div>ERIC STINE</div> <div>ARCHITECT INC</div> <div>1 - 1864 W.1ST AVE.</div> <div>VANCOUVER, BC</div> <div>CANADA V6J 1G5</div> <div>TEL: (604) 732-4545</div> <div>FAX: (604) 736-9493</div>		
<p><small>This drawing, as an instrument of service, is the property of the architect and may not be reproduced without the permission of the architect, and unless the drawing carries the name of the architect. All designs and other information shown on this drawing are for use on the specified project only, and shall not be used otherwise without the written permission of the architect. Written dimensions on this drawing shall have precedence over verbal dimensions. This drawing is not to be used for construction purposes until signed & sealed or specifically issued for that purpose.</small></p>		
PERMIT NUMBER	DP-2019-864101	
DRAWN	JS	DATE JULY 2018
SCALE	1:50	
<div>NEW TOWNHOUSES</div> <div>REZONING</div> <div>AT</div> <div>8600 / 8660 Francis Road</div>		
JOB DESCRIPTION		
JOB NUMBER		
UNITS 1-5 SECOND FLOOR		
DRAWING TITLE		
A1.2		
DRAWING NUMBER	REVISION	





DEC 04 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

NO.	ISSUE	DATE
ERIC STINE ARCHITECT INC 1 - 1864 W. 1ST AVE. VANCOUVER, BC CANADA V6J 1G5 TEL: (604) 732-4545 FAX: (604) 736-9493		

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PERMIT NUMBER	DP-2019-864101
---------------	----------------

DRAWN	JS	DATE	JULY 2018
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SCALE	1:50
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NEW TOWNHOUSES REZONING AT 8600 / 8660 Francis Road

JOB DESCRIPTION

JOB NUMBER

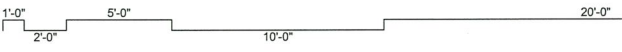
UNITS 1-5 THIRD FLOOR

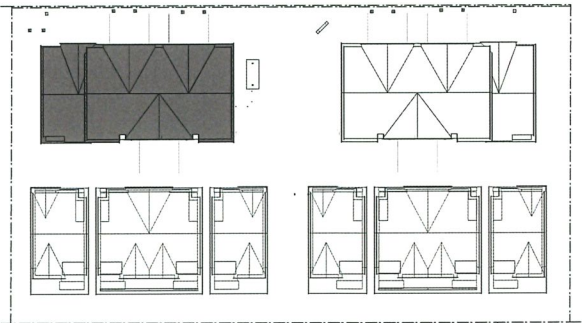
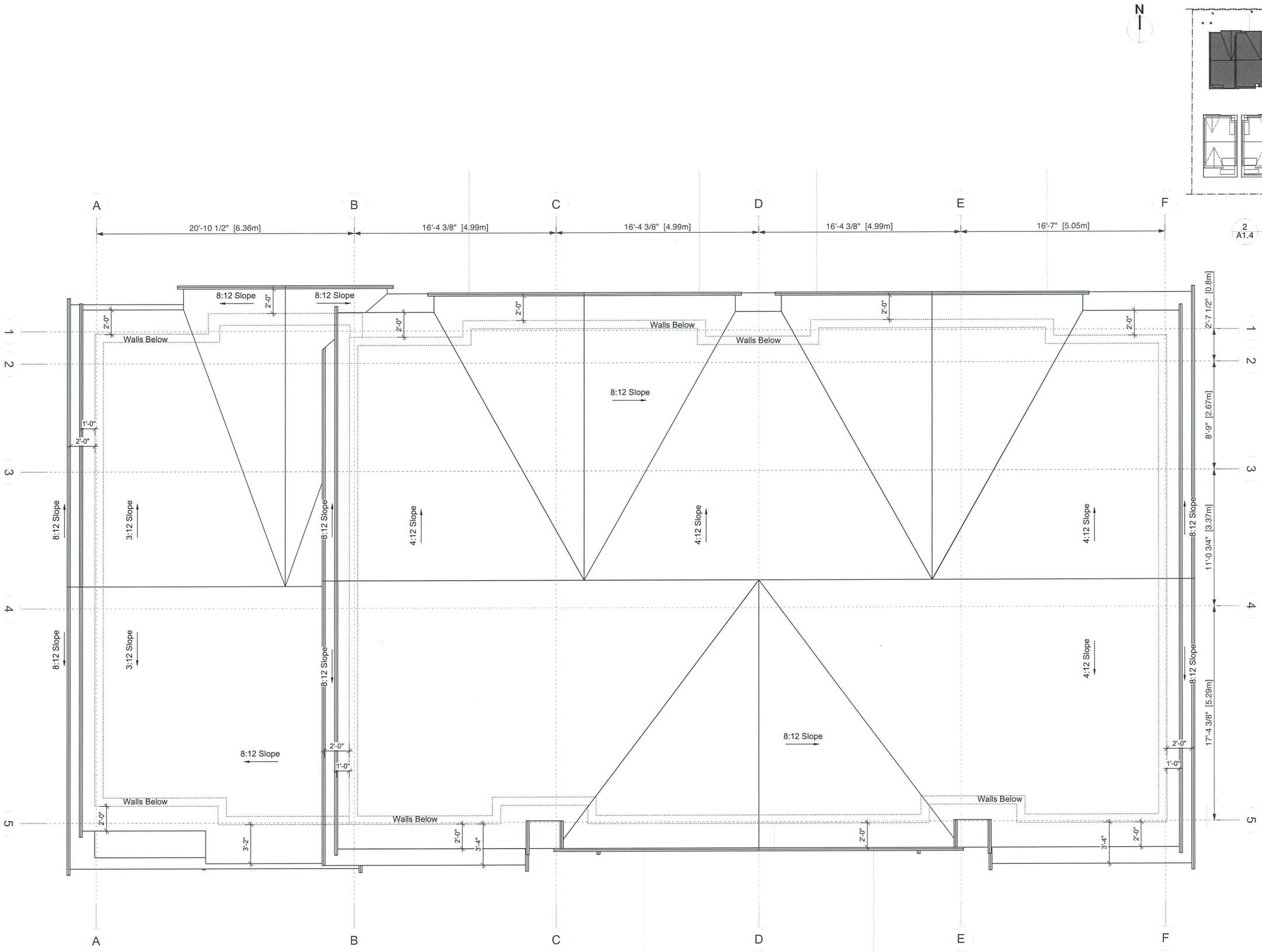
DRAWING TITLE

A1.3

DRAWING NUMBER	REVISION
----------------	----------

NOTE: UNITS 6-10 ARE MIRROR IMAGE
Dimensions are to face of cladding unless otherwise noted





2
A1.4 MAIN FLOOR KEY PLAN
Scale: 1:500



DEC 04 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

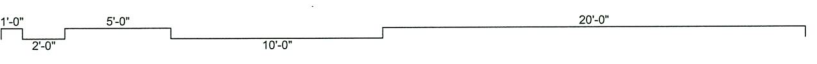
4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

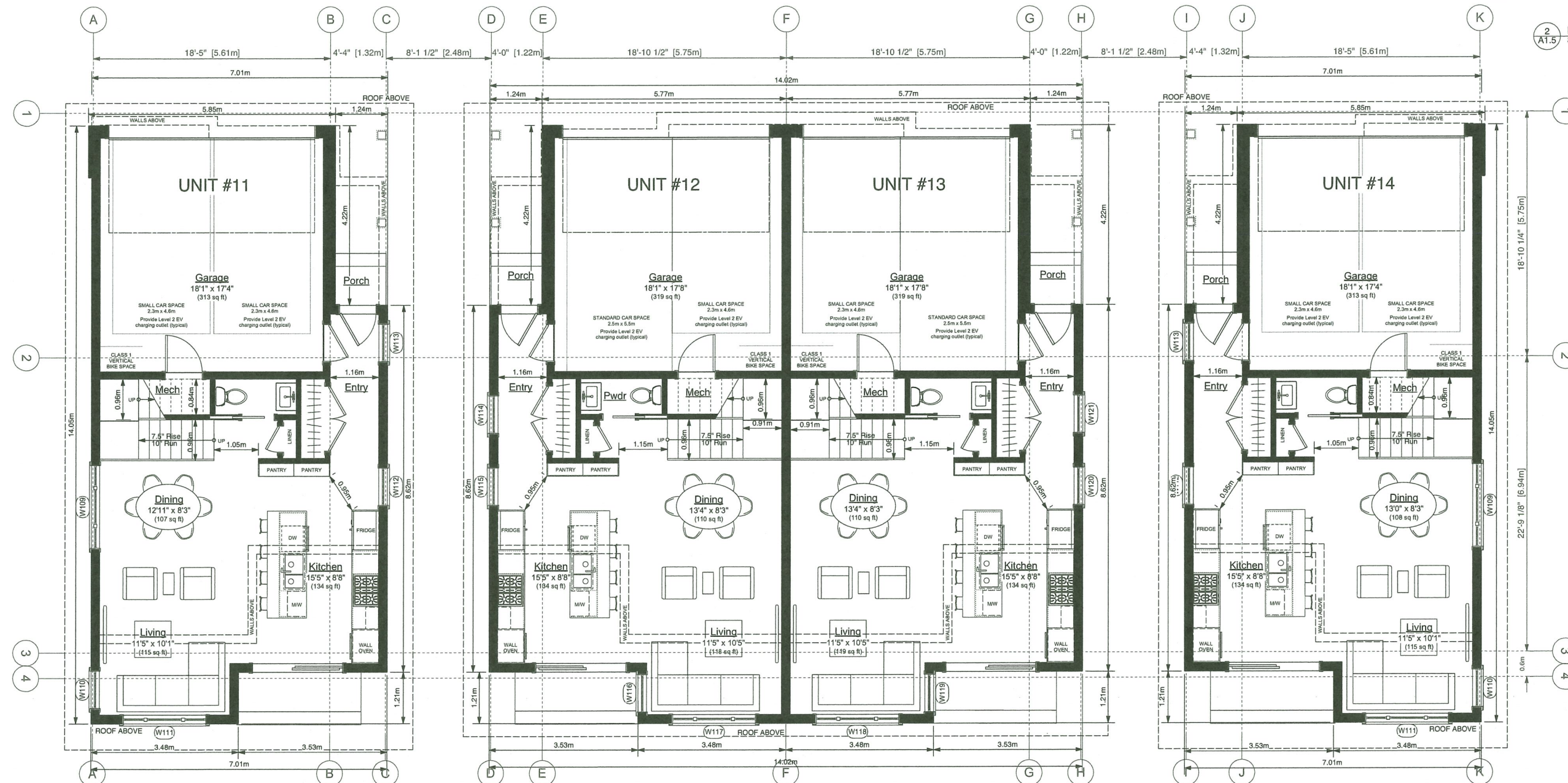
NO.	ISSUE	DATE
ERIC STINE ARCHITECT INC 1 - 1864 W. 1ST AVE. VANCOUVER, BC CANADA V6J 1G5 TEL: (604) 732-4545 FAX: (604) 736-9493		
<small>This drawing, as an instrument of service, is the property of the architect and may not be reproduced without the permission of the architect, and unless the drawing carries the name of the architect. All designs and other information shown on this drawing are for use on the specified project only, and shall not be used otherwise without the written permission of the architect. Written dimensions on this drawing shall have precedence over scaled dimensions. This Drawing is not to be used for construction purposes until signed & sealed or specifically issued for that purpose.</small>		

PERMIT NUMBER		DP-2019-864101	
DRAWN	JS	DATE	JULY 2018
SCALE		1:50	
NEW TOWNHOUSES			
REZONING			
AT			
8600 / 8660 Francis Road			
JOB DESCRIPTION			
JOB NUMBER			
UNITS 1-5 ROOF PLAN			
DRAWING TITLE			
A1.4			
DRAWING NUMBER			
REVISION			

1
A1.4 UNITS 1-5 - ROOF PLAN
Scale: 1:50

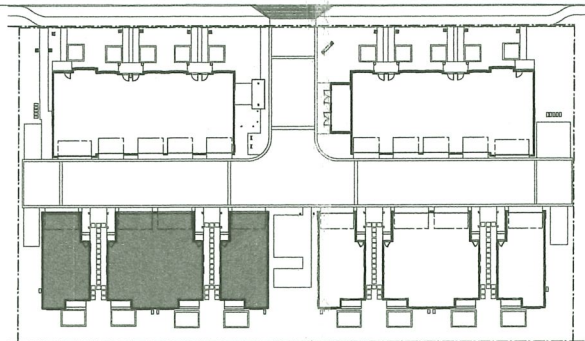
NOTE: UNITS 6-10 ARE MIRROR IMAGE
Dimensions are to face of cladding unless otherwise noted



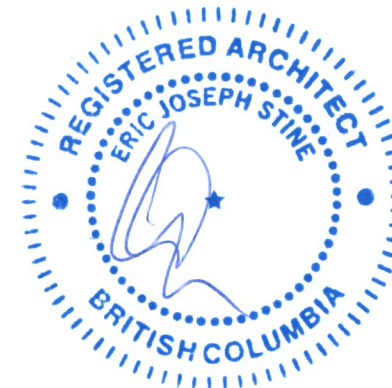


1 UNITS 11-14 / 15-18 - GROUND FLOOR
Scale: 1:50

NOTE: UNITS 15-18 ARE IDENTICAL TO UNITS 11-14
Dimensions are to face of cladding unless otherwise noted



2 KEY PLAN
Scale: 1:500



DEC 19 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-08-07
3	FOR REZONING	18-9-16

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PROJECT NUMBER DP-2019-864101

DRAWN JS DATE JULY 2018

SCALE 1:50

NEW TOWNHOUSES
REZONING
AT
8600 / 8660 Francis Road

JOB DESCRIPTION

JOB NUMBER

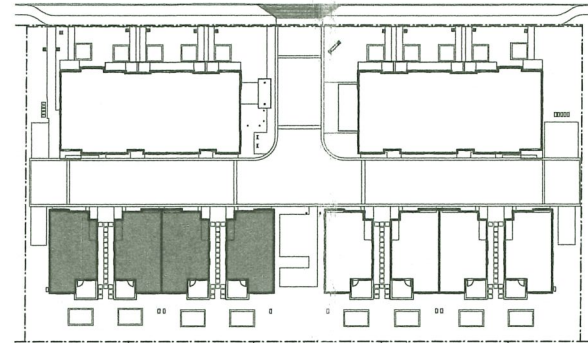
UNITS 11-14 GROUND FLOOR

DRAWING TITLE

A1.5

DRAWING NUMBER

REVISION



2 KEY PLAN
Scale: 1:500



DEC 19 2019

A REVISED FOR REZONING 18-11-29
B REVISED FOR DP 19-08-19
C REVISED FOR DP 19-11-26

4 ISSUED FOR DP 19-06-07
3 FOR REZONING 18-9-16

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ARCHITECT INC

1 - 1864 W.1ST AVE.
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PROJECT NUMBER DP-2019-864101

DRAWN JS DATE JULY 2018

SCALE 1:50

NEW TOWNHOUSES
REZONING
AT

8600 / 8660 Francis Road

JOB DESCRIPTION

JOB NUMBER

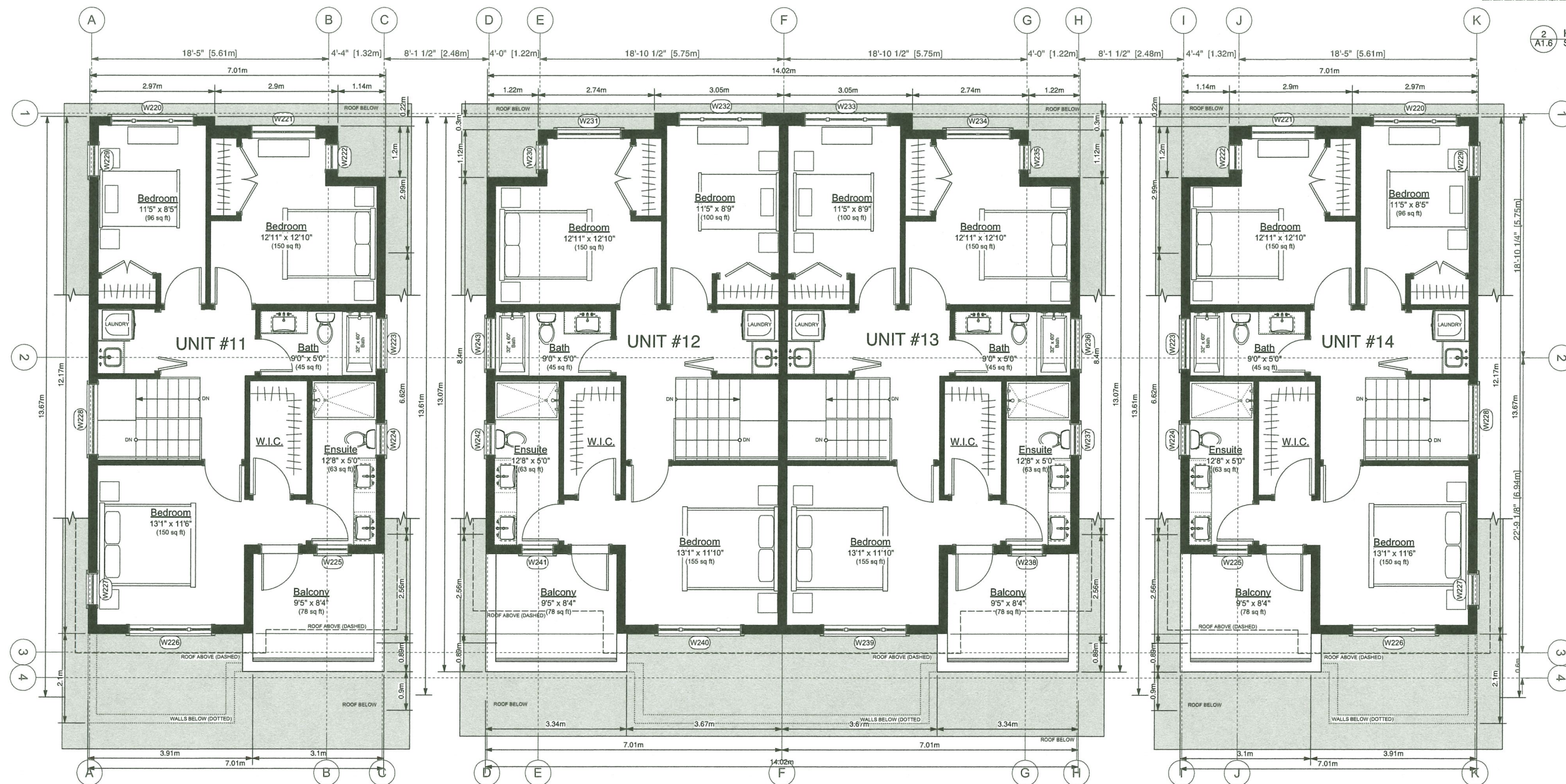
UNITS 11-14 SECOND FLOOR

DRAWING TITLE

A1.6

DRAWING NUMBER

REVISION

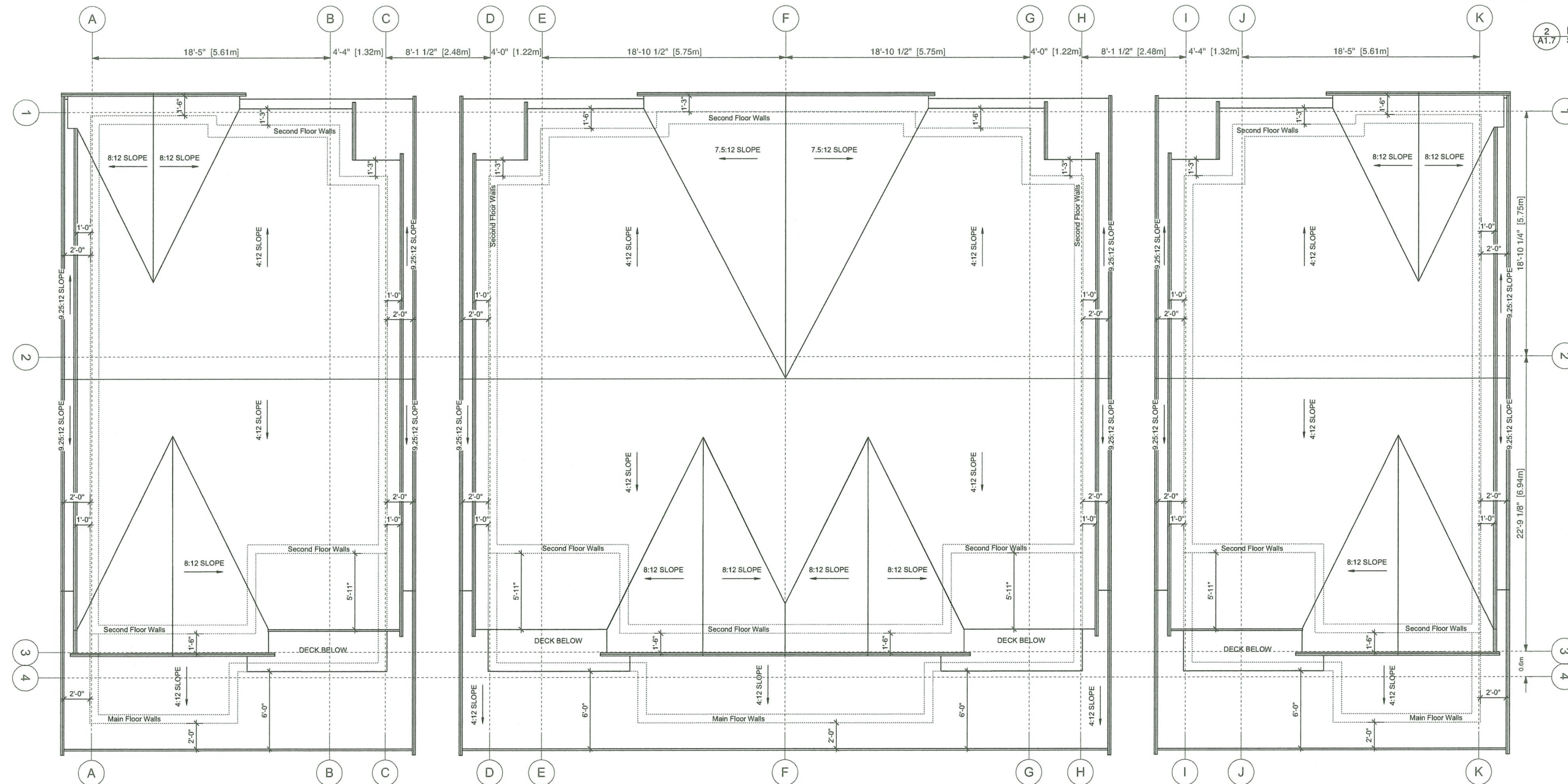


1 UNITS 11-14 / 15-18 - SECOND FLOOR
A1.6 Scale: 1:50

NOTE: UNITS 15-18 ARE IDENTICAL TO UNITS 11-14
Dimensions are to face of cladding unless otherwise noted

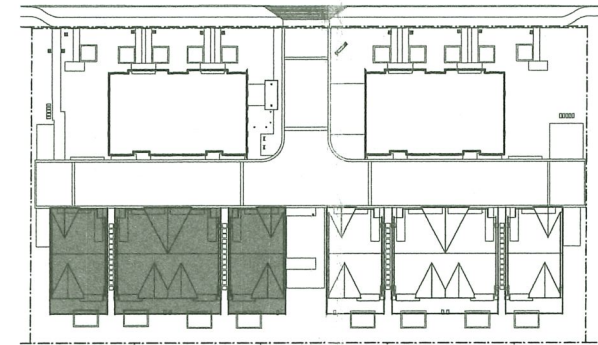
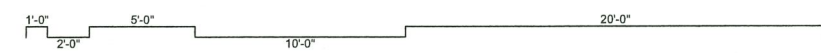
PLAN 12





1 UNITS 11-14 / 15-18 - ROOF PLAN
Scale: 1:50

NOTE: UNITS 15-18 ARE IDENTICAL TO UNITS 11-14
Dimensions are to face of cladding unless otherwise noted



2 KEY PLAN
Scale: 1:500



DEC 19 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-08-07
3	FOR REZONING	18-9-16

NO.	ISSUE	DATE
1	ISSUED FOR DP	18-9-16

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PROJECT NUMBER	DP-2019-864101
DRAWN	JS
DATE	JULY 2018
SCALE	1:50
NEW TOWNHOUSES	
REZONING	
AT	
8600 / 8660 Francis Road	
JOB DESCRIPTION	
JOB NUMBER	
UNITS 11-14 ROOF PLAN	
DRAWING TITLE	
A1.7	
DRAWING NUMBER	
REVISION	

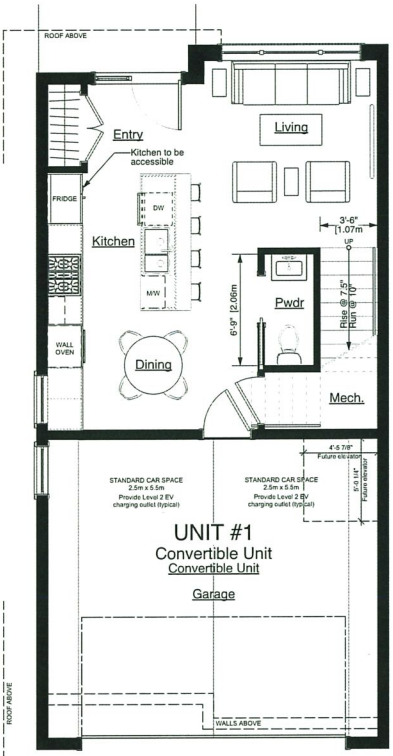
UNIT TYPE A (CONVERTABLE UNIT)

UNIT TYPE C

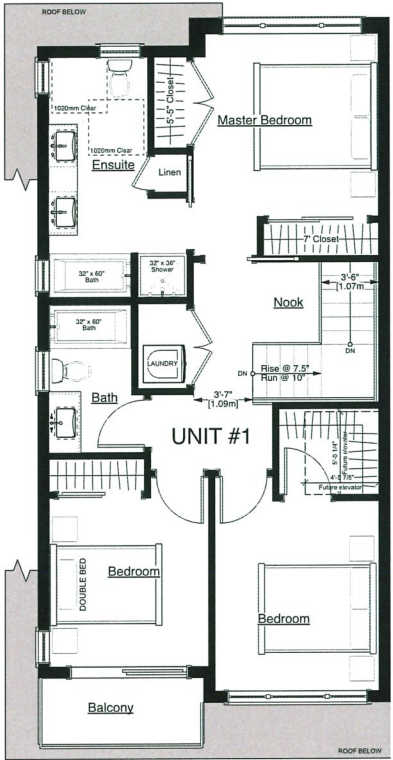


DWELLING UNIT AREAS

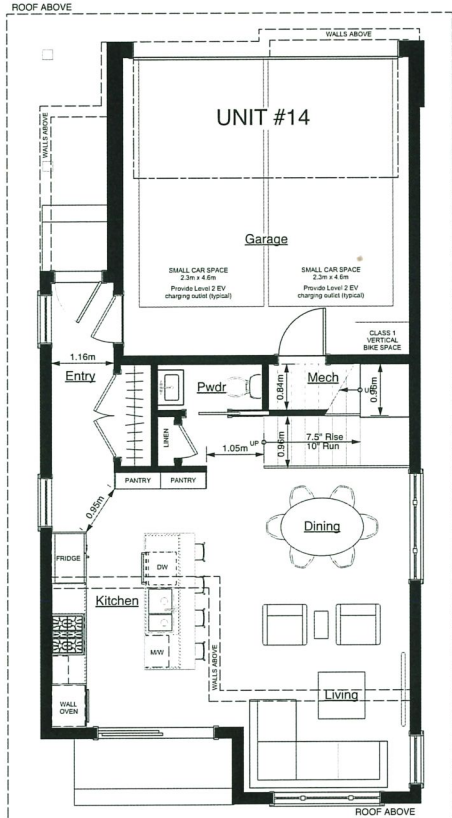
UNIT #	Balcony	Main Floor		Second Floor	Third Floor	Total Interior Space
		Garage	Living Space			
1	63 sq ft (5.9 sq m)	400 sq ft (37.2 sq m)	484 sq ft (44.9 sq m)	840 sq ft (78.0 sq m)		1323 sq ft (122.9 sq m)
2	66 sq ft (6.1 sq m)	548 sq ft (50.9 sq m)	96 sq ft (9.0 sq m)	638 sq ft (59.2 sq m)	698 sq ft (64.9 sq m)	1433 sq ft (133.1 sq m)
3	66 sq ft (6.1 sq m)	548 sq ft (50.9 sq m)	96 sq ft (9.0 sq m)	641 sq ft (59.5 sq m)	555 sq ft (51.6 sq m)	1292 sq ft (120.1 sq m)
4	67 sq ft (6.2 sq m)	548 sq ft (50.9 sq m)	96 sq ft (9.0 sq m)	641 sq ft (59.5 sq m)	691 sq ft (64.2 sq m)	1428 sq ft (132.7 sq m)
5	43 sq ft (4.0 sq m)	563 sq ft (52.3 sq m)	96 sq ft (9.0 sq m)	653 sq ft (60.6 sq m)	697 sq ft (64.7 sq m)	1446 sq ft (134.3 sq m)
6	67 sq ft (6.2 sq m)	563 sq ft (52.3 sq m)	96 sq ft (9.0 sq m)	653 sq ft (60.6 sq m)	697 sq ft (64.7 sq m)	1446 sq ft (134.3 sq m)
7	66 sq ft (6.1 sq m)	548 sq ft (50.9 sq m)	96 sq ft (9.0 sq m)	641 sq ft (59.5 sq m)	691 sq ft (64.2 sq m)	1428 sq ft (132.7 sq m)
8	66 sq ft (6.1 sq m)	548 sq ft (50.9 sq m)	97 sq ft (9.0 sq m)	640 sq ft (59.5 sq m)	555 sq ft (51.6 sq m)	1292 sq ft (120.1 sq m)
9	63 sq ft (5.9 sq m)	548 sq ft (50.9 sq m)	96 sq ft (9.0 sq m)	638 sq ft (59.2 sq m)	698 sq ft (64.9 sq m)	1432 sq ft (133.1 sq m)
10	43 sq ft (4.0 sq m)	400 sq ft (37.2 sq m)	484 sq ft (44.9 sq m)	840 sq ft (78.0 sq m)		1323 sq ft (122.9 sq m)
11	95 sq ft (8.8 sq m)	362 sq ft (33.6 sq m)	597 sq ft (55.5 sq m)	832 sq ft (77.3 sq m)		1429 sq ft (132.8 sq m)
12	95 sq ft (8.8 sq m)	361 sq ft (33.5 sq m)	597 sq ft (55.5 sq m)	830 sq ft (77.1 sq m)		1428 sq ft (132.6 sq m)
13	95 sq ft (8.8 sq m)	361 sq ft (33.5 sq m)	597 sq ft (55.5 sq m)	830 sq ft (77.1 sq m)		1428 sq ft (132.6 sq m)
14	93 sq ft (8.7 sq m)	362 sq ft (33.6 sq m)	597 sq ft (55.5 sq m)	832 sq ft (77.3 sq m)		1429 sq ft (132.8 sq m)
15	95 sq ft (8.8 sq m)	362 sq ft (33.6 sq m)	597 sq ft (55.5 sq m)	832 sq ft (77.3 sq m)		1429 sq ft (132.8 sq m)
16	95 sq ft (8.8 sq m)	361 sq ft (33.5 sq m)	597 sq ft (55.5 sq m)	830 sq ft (77.1 sq m)		1428 sq ft (132.6 sq m)
17	95 sq ft (8.8 sq m)	361 sq ft (33.5 sq m)	597 sq ft (55.5 sq m)	830 sq ft (77.1 sq m)		1428 sq ft (132.6 sq m)
18	95 sq ft (8.8 sq m)	362 sq ft (33.6 sq m)	597 sq ft (55.5 sq m)	832 sq ft (77.3 sq m)		1429 sq ft (132.8 sq m)
TOTAL	1,366 sq ft (127 sq m)	8,105 sq ft (753 sq m)	6,516 sq ft (605 sq m)	13,471 sq ft (1252 sq m)	5,283 sq ft (491 sq m)	25,271 sq ft (2,348 sq m)



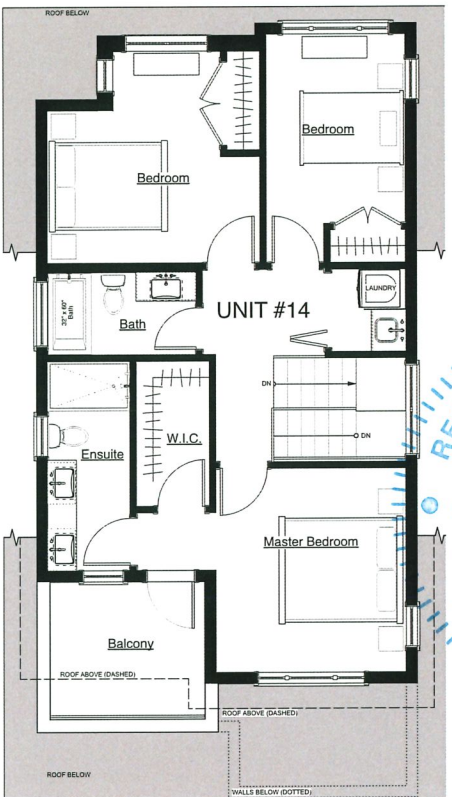
A-1 UNIT TYPE A - GROUND FLOOR
Scale: 3/16" = 1'-0"



A-2 UNIT TYPE A - SECOND FLOOR
Scale: 3/16" = 1'-0"



C-1 UNIT TYPE C - GROUND FLOOR
Scale: 3/16" = 1'-0"

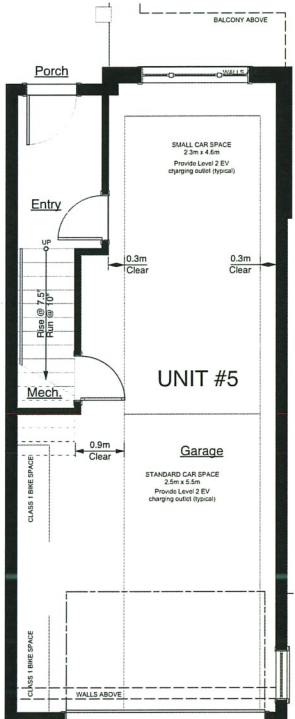


C-2 UNIT TYPE C - SECOND FLOOR
Scale: 3/16" = 1'-0"

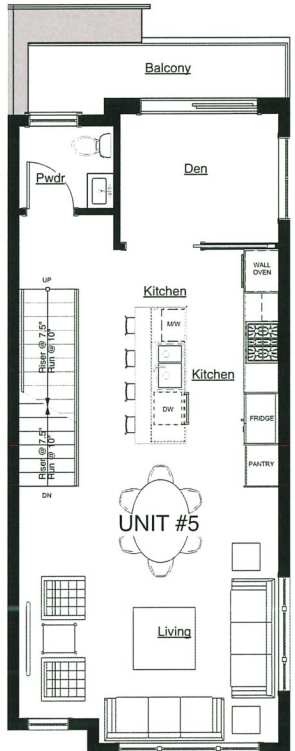


DEC 04 2019

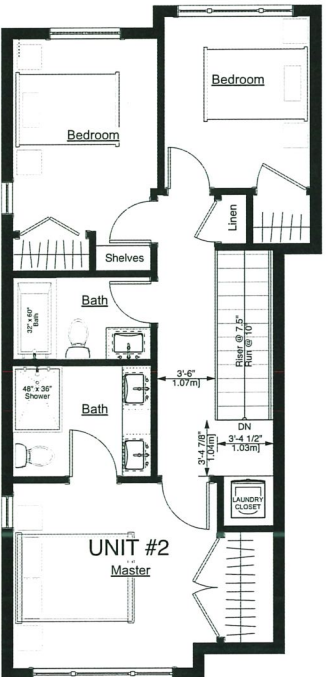
UNIT TYPE B
(4 DIFFERENT TYPES OF THE THIRD FLOOR OF UNIT B
GROUND AND SECOND FLOORS REMAIN THE SAME IN ALL)



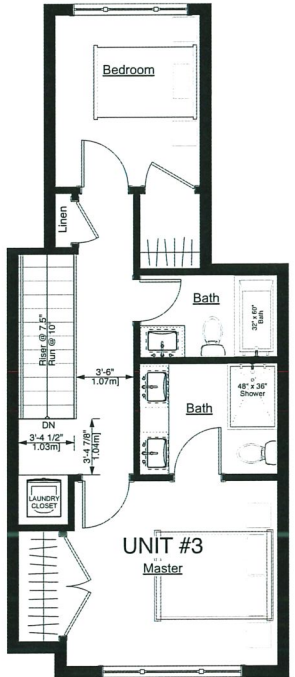
B-1 UNIT TYPE B1 - GROUND FLOOR
Scale: 3/16" = 1'-0"



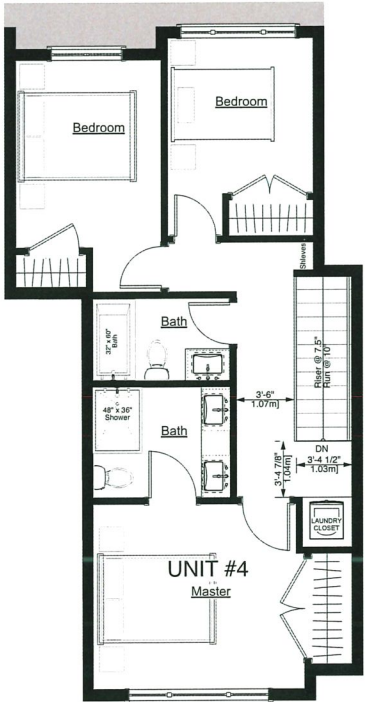
B-2 UNIT TYPE B1 - SECOND FLOOR
Scale: 3/16" = 1'-0"



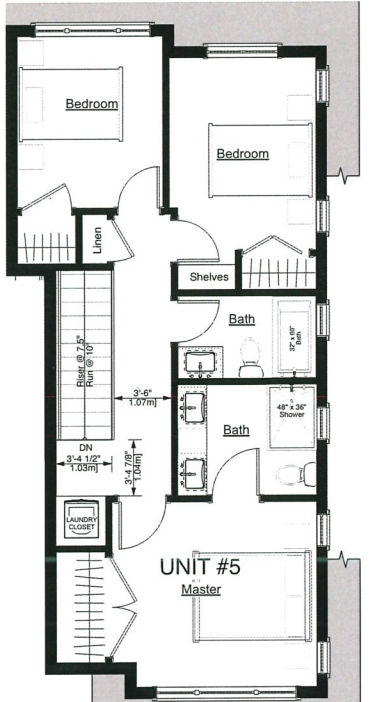
B-3(a) UNIT TYPE B(a) - THIRD FLOOR
Scale: 3/16" = 1'-0"



B-3(b) UNIT TYPE B(b) - THIRD FLOOR
Scale: 3/16" = 1'-0"

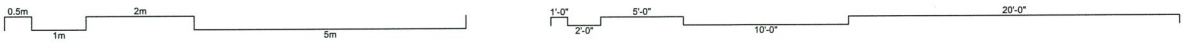


B-3(c) UNIT TYPE B(c) - THIRD FLOOR
Scale: 3/16" = 1'-0"



B-3(d) UNIT TYPE B(d) - THIRD FLOOR
Scale: 3/16" = 1'-0"

PLAN 14



A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

NO.	ISSUE	DATE
ERIC STINE ARCHITECT INC		
1 - 1864 W. 1ST AVE. VANCOUVER, BC CANADA V6J 1G5 TEL: (604) 732-4545 FAX: (604) 736-9493		

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PERMIT NUMBER	DP-2019-864101
---------------	----------------

DRAWN	JS	DATE	JULY 2018
-------	----	------	-----------

SCALE	3/16"=1'-0"
-------	-------------

NEW TOWNHOUSES REZONING AT 8600 / 8660 Francis Road
--

JOB DESCRIPTION

JOB NUMBER

UNIT TYPES

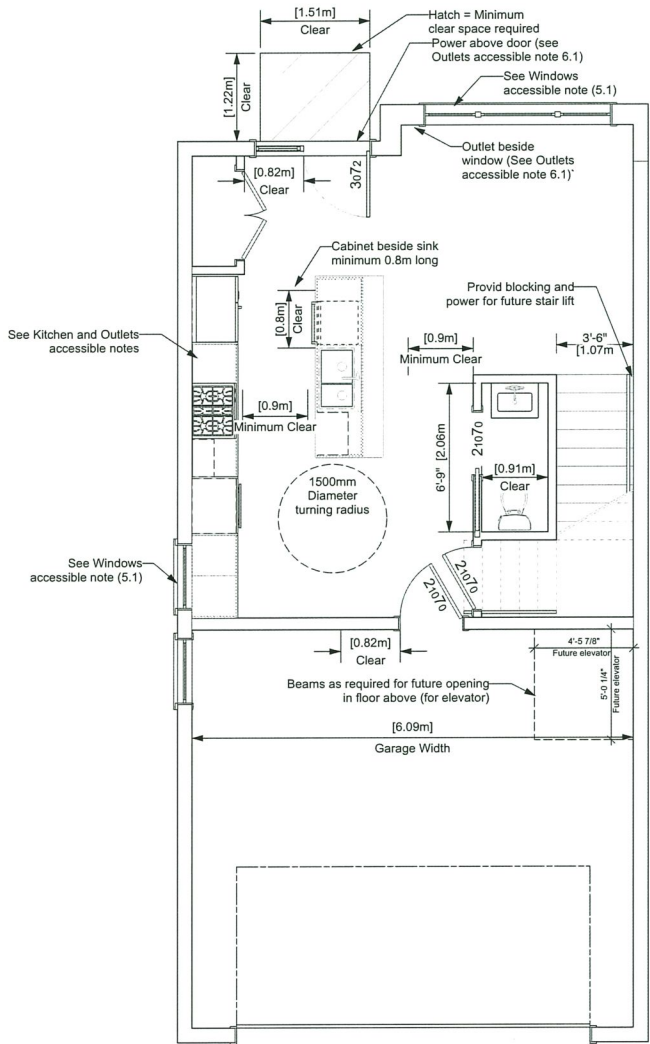
DRAWING TITLE

A1.8

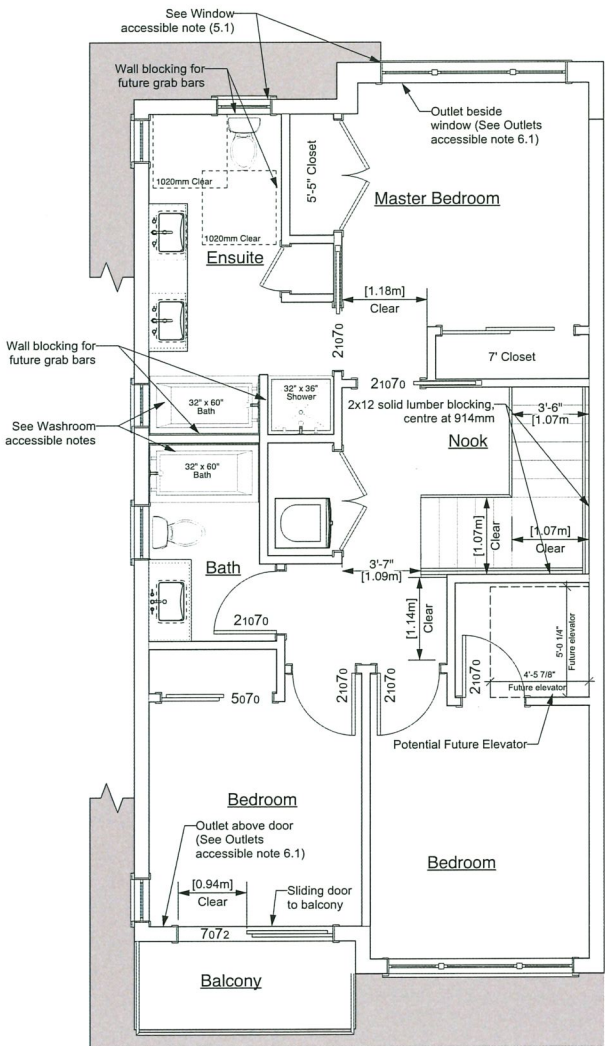
DRAWING NUMBER	REVISION
----------------	----------



UNIT TYPE A (CONVERTABLE UNIT)



1 UNIT 1 - GROUND FLOOR
Scale: 1/4" = 1'-0"



2 UNIT 1 - SECOND FLOOR
Scale: 1/4" = 1'-0"

ACCESSIBLE (CONVERTIBLE) UNITS 1 & 10

- Doors & Doorways**
- 1.1 All interior thresholds within the unit to comply to BCBC 2018 where the threshold is not flush with the floor, the threshold shall be not more than 13mm, and where it is higher than 6mm shall be beveled to a slope no steeper than 1 in 2
 - 1.2 All door handles to be lever type
 - 1.3 All interior doors minimum 2'-10" leaf
- Vertical Circulation**
- 2.1 Staircase width, framing support and landings to accommodate future stair lift (by Acron Stairlifts Canada - or similar)
 - 2.2 Floor joists structured to allow for future elevator from garage to second floor
- Bathrooms**
- 3.1 Master Ensuite
 - Install 2x12 blocking for future grab bars at toilet and shower
 - Cabinets below sink to be easily removable
 - Pressure and temperature control valves on shower faucet
 - 3.2 All bathrooms
 - lever type handles for all plumbing fixtures
- Kitchen**
- 4.1 Plumbing and gas pipes (in-wall and in-floor) below sink, stove, and cabinet adjacent to sink, to be no higher than 304mm to 355mm to the centre of the pipe from the floor level.
 - 4.2 Cabinets below sink to be easily removable
 - 4.3 Lever-type handles on all plumbing fixtures
- Windows**
- 5.1 Minimum one window that can be opened with a single hand (in master ensuite, kitchen and living room)
- Outlets**
- 6.1 electrical outlets to be provided beside windows, bottom of stairs, beside toilet, above external doors (outside and inside), on front face of kitchen counter, and within proximity of control centre for smart home options.

ALL UNITS ACCESSIBLE NOTES

- Doors & Doorways**
- 7.1 All door handles to be lever type
- Plumbing & Washrooms**
- 8.1 All plumbing fixtures to be lever type
 - 8.2 • Install 2x12 blocking for future grab bars at ensuite toilet and shower



DEC 04 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

NO.	ISSUE	DATE
ERIC STINE ARCHITECT INC 1-1864 W. 1ST AVE. VANCOUVER, BC CANADA V6J 1G5 TEL: (604) 732-4545 FAX: (604) 736-9493		

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PERMIT NUMBER: DP-2019-864101

DRAWN: JS DATE: JULY 2018

SCALE: 3/16"=1'-0"

NEW TOWNHOUSES
REZONING
AT
8600 / 8660 Francis Road

JOB DESCRIPTION:
JOB NUMBER:

CONVERTIBLE UNITS

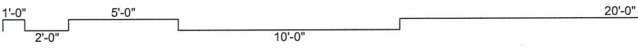
DRAWING TITLE:

A1.9

DRAWING NUMBER: REVISION:

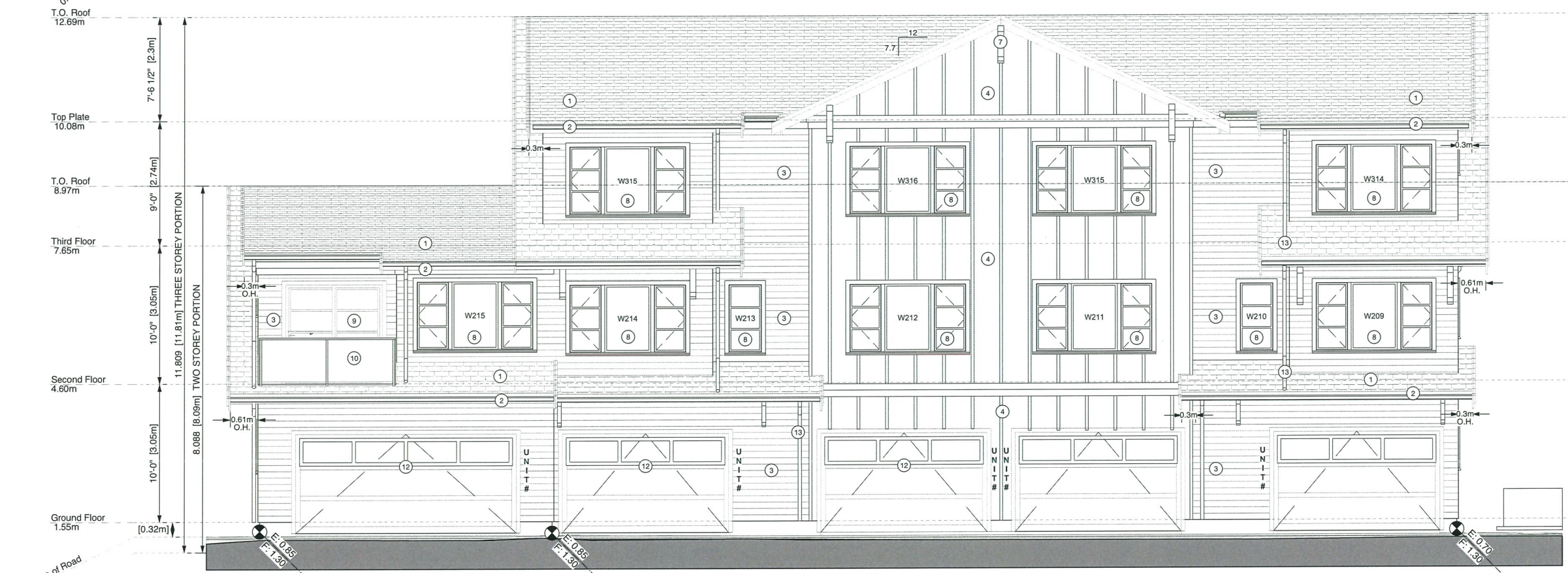
NOTE: UNITS 10 IS A MIRROR IMAGE OF UNIT 1
Dimensions are to face of drywall inside

PLAN 15

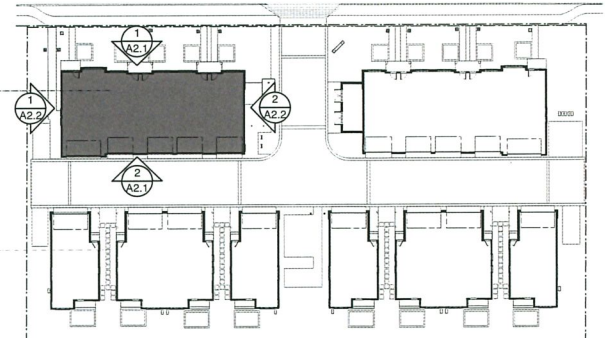




1 (FRONT) NORTH ELEVATION
Scale: 1:50



2 (REAR) SOUTH ELEVATION
Scale: 1:50



3 MAIN FLOOR KEY PLAN
Scale: 1:500

EXTERIOR FINISHES

- 1 ASPHALT ROOFING SHINGLES
- 2 ALUMINUM GUTTER
- 3 PLANK CLADDING
- 4 BOARD & BATTEN CLADDING
- 5 BRICK CLADDING
- 6 PAINTED TRIM & FASCIA BOARDS
- 7 PAINTED WOOD BRACKETS
- 8 VINYL WINDOWS
- 9 EXTERIOR DOORS
- 10 METAL AND GLASS RAILINGS
- 11 WOOD COLUMNS
- 12 GARAGE DOORS
- 13 RAIN WATER LEADER



DEC 04 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

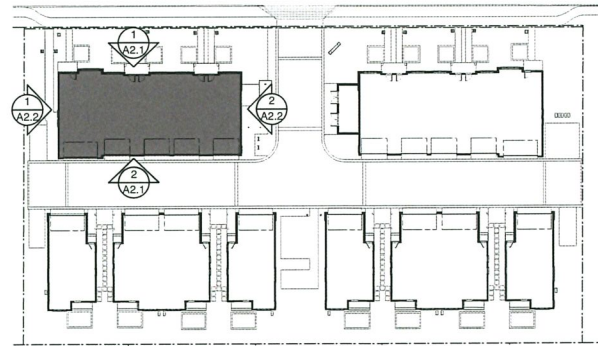
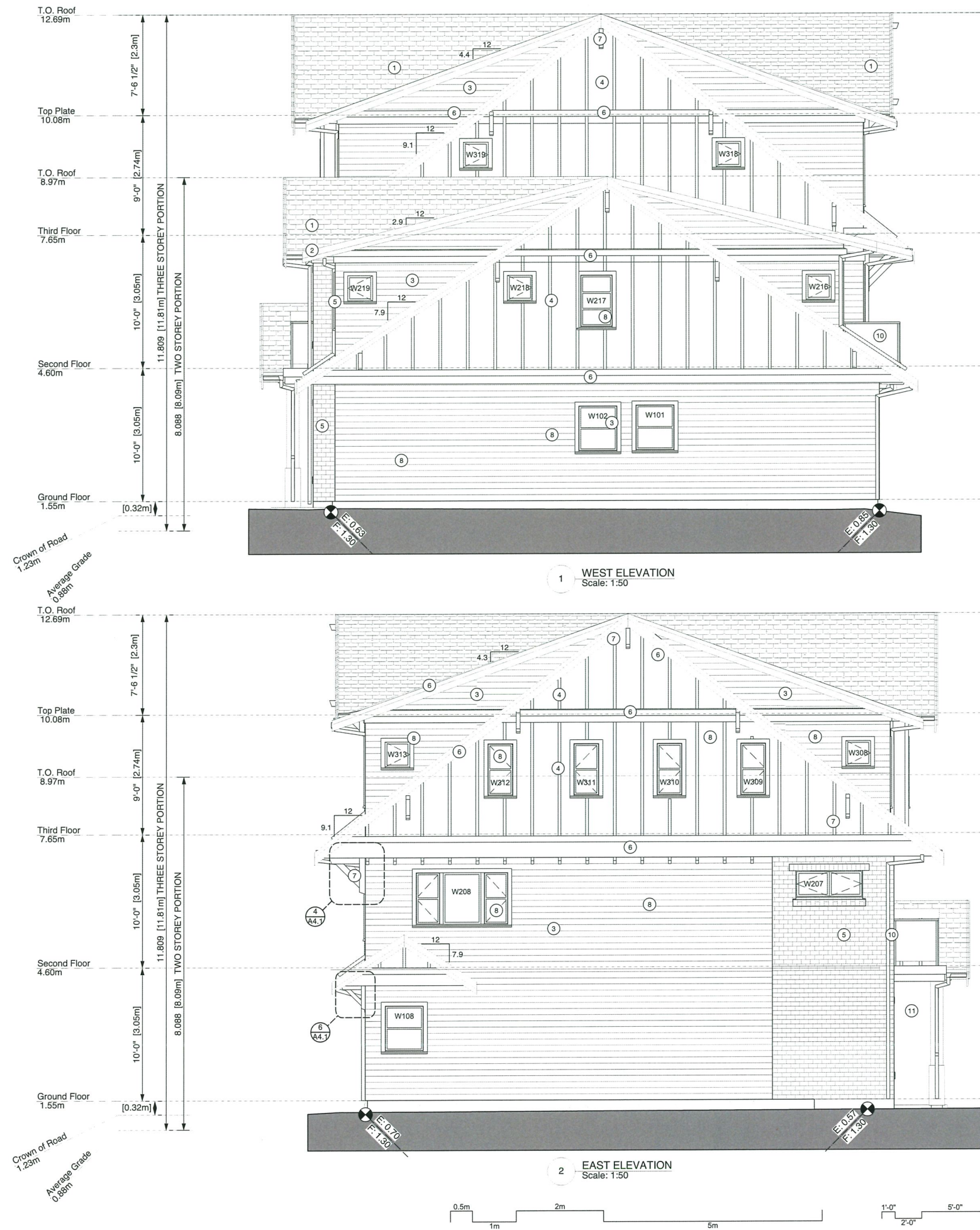
4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

NO.	ISSUE	DATE
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PERMIT NUMBER: DP-2019-864101		
DRAWN: JS		DATE: JULY 2018
SCALE: 1:50		
NEW TOWNHOUSES REZONING AT 8600 / 8660 Francis Road		
JOB DESCRIPTION:		
JOB NUMBER:		
UNITS 1-5 - ELEVATIONS		
DRAWING TITLE:		
A2.1		REVISION:
DRAWING NUMBER:		

NOTE: UNITS 6-10 ARE MIRROR IMAGE

PLAN 16





3 MAIN FLOOR KEY PLAN
A2.2 Scale: 1:500

EXTERIOR FINISHES

- 1 ASPHALT ROOFING SHINGLES
- 2 ALUMINUM GUTTER
- 3 PLANK CLADDING
- 4 BOARD & BATTEN CLADDING
- 5 BRICK CLADDING
- 6 PAINTED TRIM & FASCIA BOARDS
- 7 PAINTED WOOD BRACKETS
- 8 VINYL WINDOWS
- 9 TRUE DIVIDE LITES AND BALANCED SASHES
- 10 EXTERIOR DOORS
- 11 METAL AND GLASS RAILINGS
- 12 WOOD COLUMNS
- 13 GARAGE DOORS
- 14 RAIN WATER LEADER



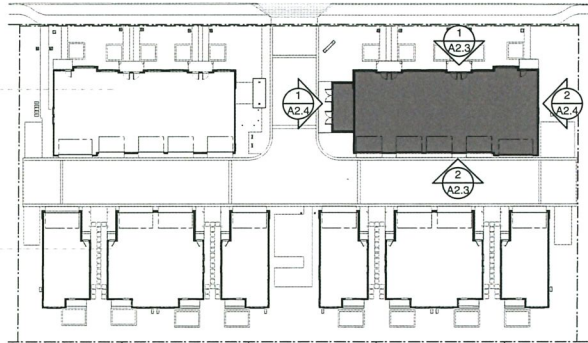
DEC 04 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

NO.	ISSUE	DATE
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PERMIT NUMBER DP-2019-864101		
DRAWN	JS	DATE JULY 2018
SCALE 1:50		
NEW TOWNHOUSES REZONING AT 8600 / 8660 Francis Road		
JOB DESCRIPTION		
JOB NUMBER		
UNITS 1-5 - ELEVATIONS		
DRAWING TITLE		
A2.2		
DRAWING NUMBER		
REVISION		

NOTE: UNITS 6-10 ARE MIRROR IMAGE



3 MAIN FLOOR KEY PLAN
Scale: 1:500

EXTERIOR FINISHES

- 1 ASPHALT ROOFING SHINGLES
- 2 ALUMINUM GUTTER
- 3 PLANK CLADDING
- 4 BOARD & BATTEN CLADDING
- 5 BRICK CLADDING
- 6 PAINTED TRIM & FASCIA BOARDS
- 7 PAINTED WOOD BRACKETS
- 8 VINYL WINDOWS
- 9 TRUE DIVIDE LITES AND BALANCED SASHES
- 10 EXTERIOR DOORS
- 11 METAL AND GLASS RAILINGS
- 12 WOOD COLUMNS
- 13 GARAGE DOORS
- 14 RAIN WATER LEADER



DEC 04 2018
REVISED FOR REZONING 18-11-29
REVISED FOR DP 19-08-19
REVISED FOR DP 19-11-28

4 ISSUED FOR DP 19-06-07
3 FOR REZONING 18-9-16

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VANCOUVER, BC
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FAX: (604) 736-9493

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PERMIT NUMBER DP-2019-864101

DRAWN JS DATE JULY 2018

SCALE 1:50

NEW TOWNHOUSES
REZONING
AT
8600 / 8660 Francis Road

JOB DESCRIPTION

JOB NUMBER

UNITS 6-10 - ELEVATIONS

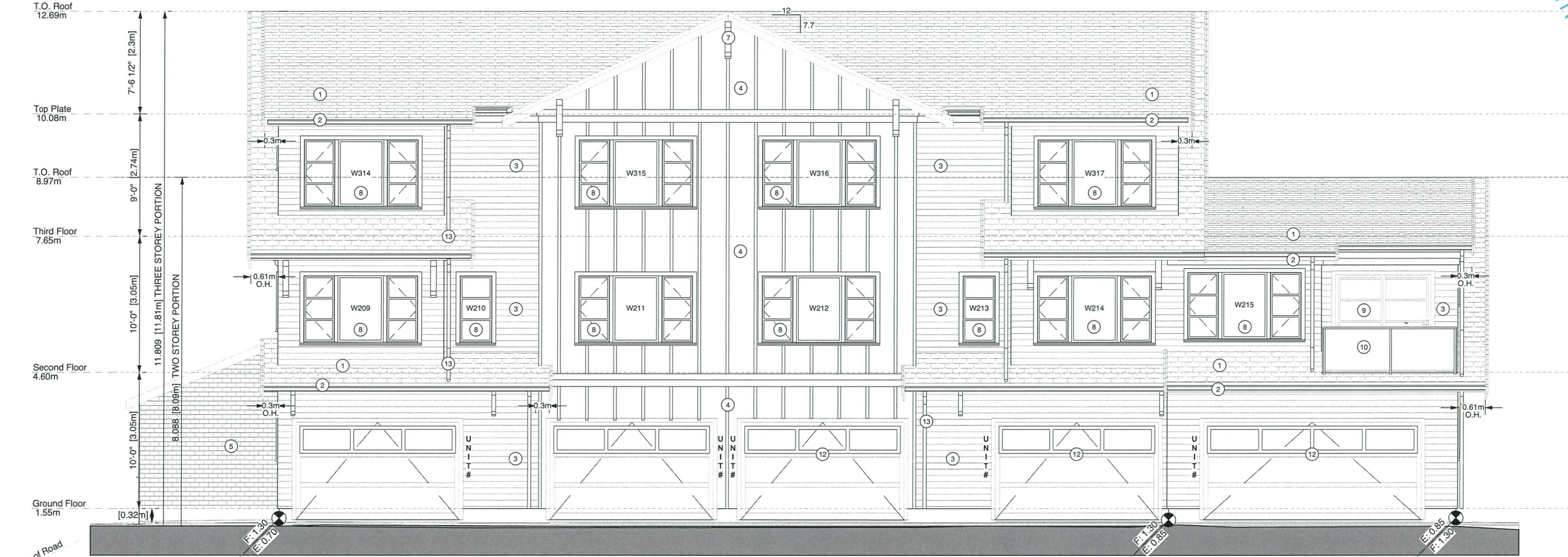
DRAWING TITLE

A2.3

DRAWING NUMBER REVISION



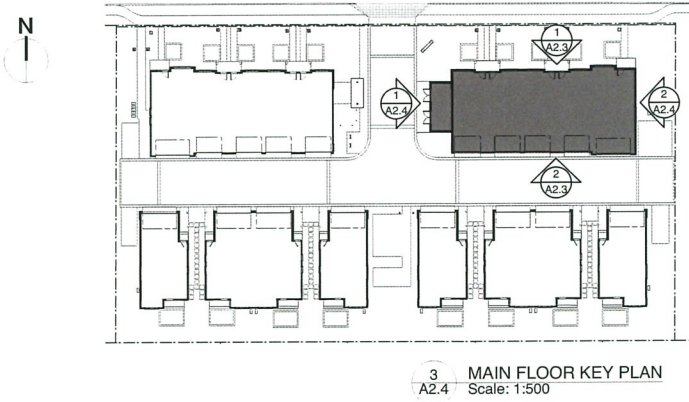
1 (FRONT) NORTH ELEVATION
Scale: 1:50



2 (REAR) SOUTH ELEVATION
Scale: 1:50



PLAN 18



EXTERIOR FINISHES

- 1 ASPHALT ROOFING SHINGLES
- 2 ALUMINUM GUTTER
- 3 PLANK CLADDING
- 4 BOARD & BATTEN CLADDING
- 5 BRICK CLADDING
- 6 PAINTED TRIM & FASCIA BOARDS
- 7 PAINTED WOOD BRACKETS
- 8 VINYL WINDOWS
- 9 EXTERIOR DOORS
- 10 METAL AND GLASS RAILINGS
- 11 WOOD COLUMNS
- 12 GARAGE DOORS
- 13 RAIN WATER LEADER

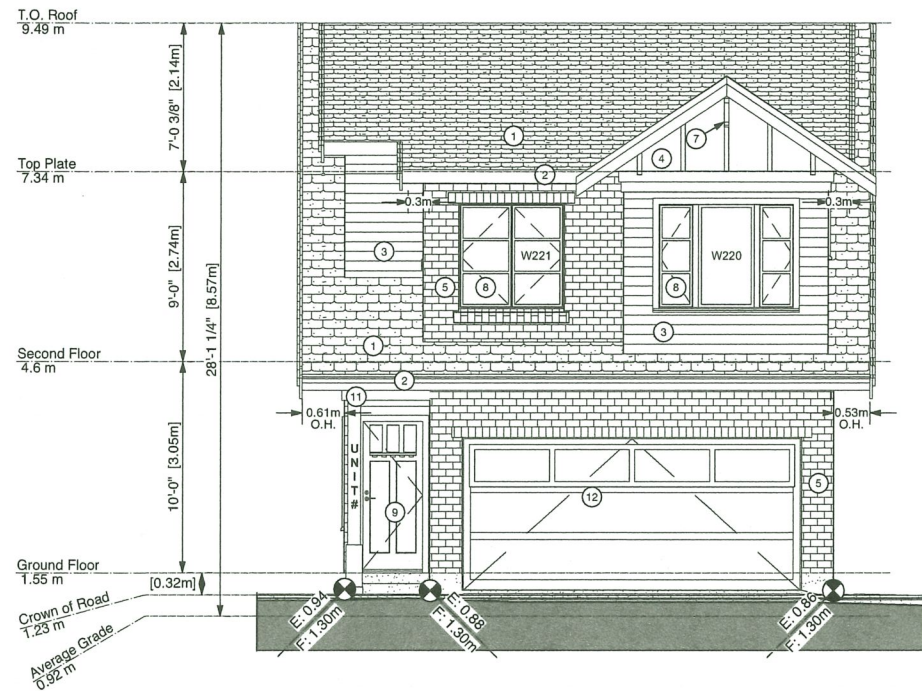


DEC 04 2019

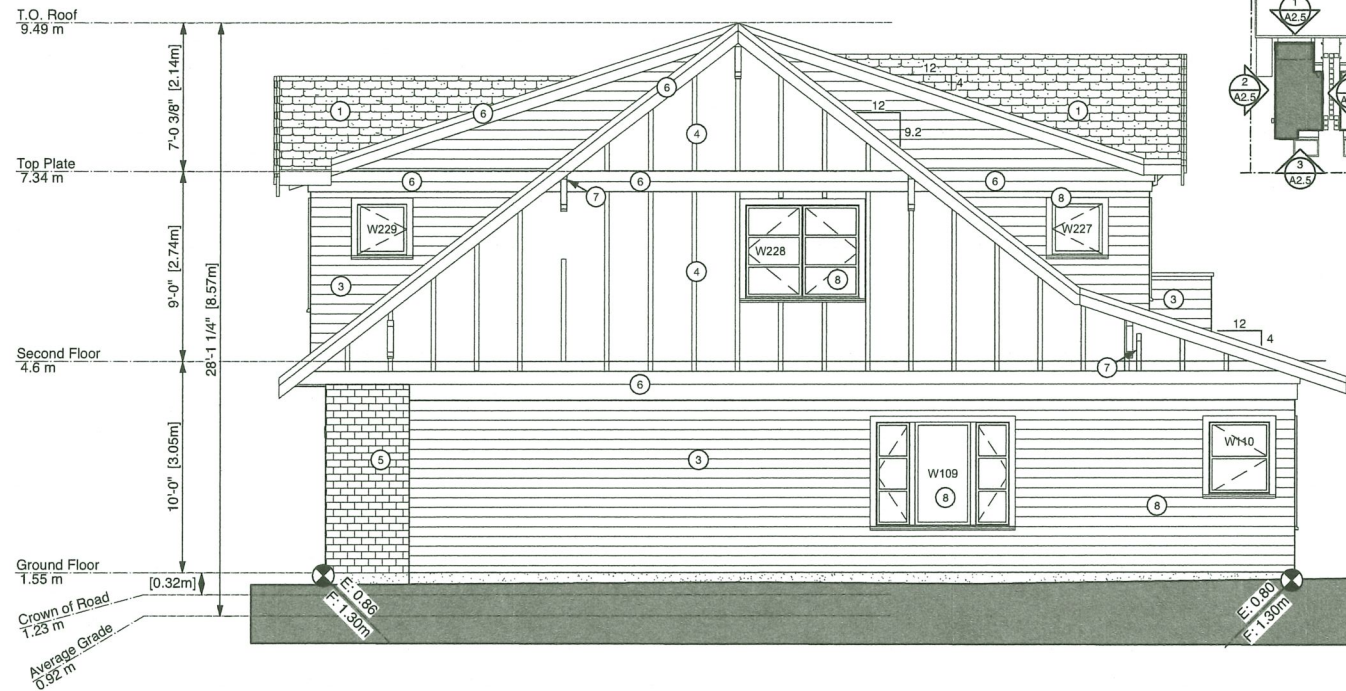
A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

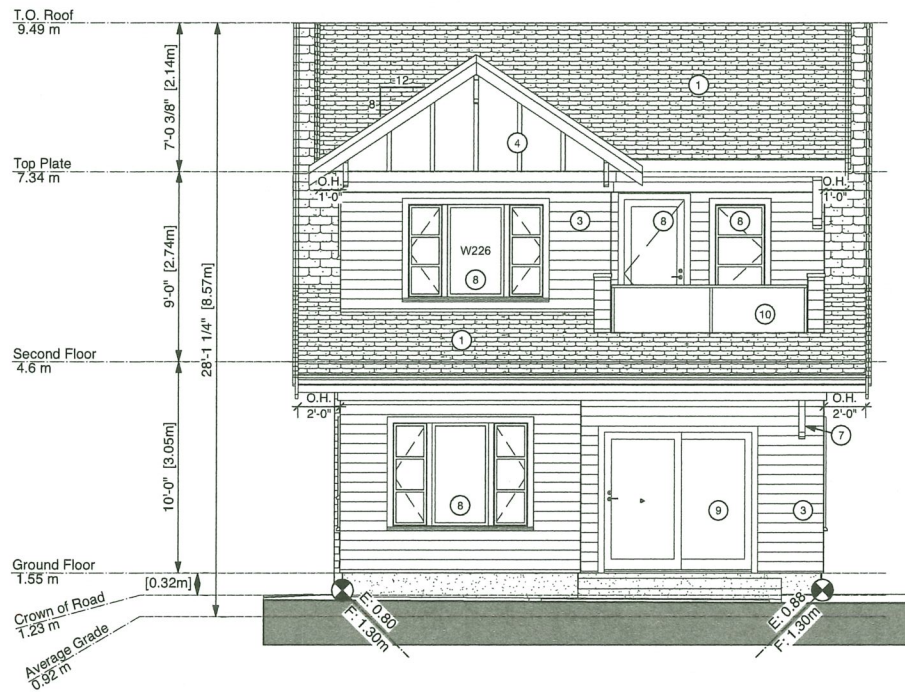
NO.	ISSUE	DATE
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1 - 1864 W. 1ST AVE. VANCOUVER, BC CANADA V6J 1G5 TEL: (604) 732-4545 FAX: (604) 736-9493		
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PERMIT NUMBER DP-2019-864101		
DRAWN JS DATE JULY 2018		
SCALE 1:50		
NEW TOWNHOUSES REZONING AT 8600 / 8660 Francis Road		
JOB DESCRIPTION		
JOB NUMBER		
UNITS 6-10 - ELEVATIONS		
DRAWING TITLE		
A2.4		
DRAWING NUMBER REVISION		



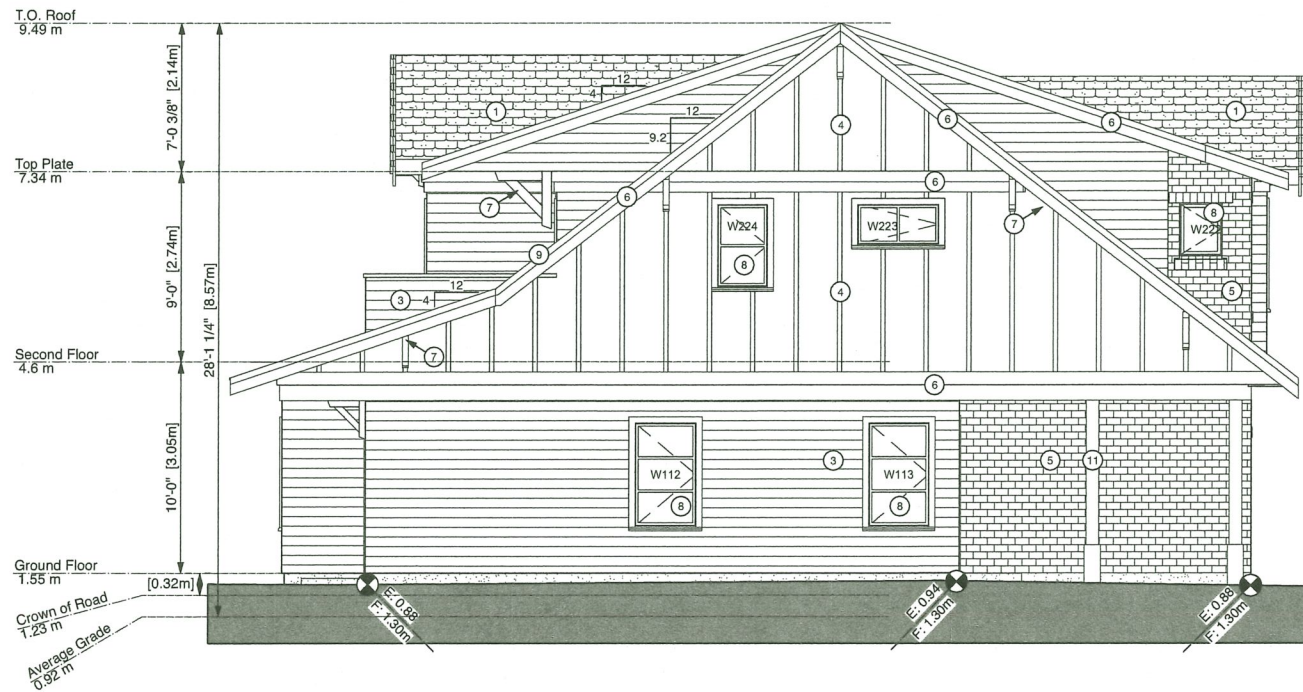
1 UNIT 11 - NORTH ELEVATION
Scale: 1:50



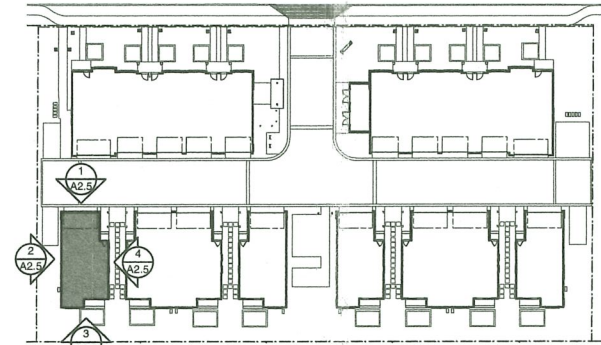
2 UNIT 11 - WEST SIDE
Scale: 1:50



3 UNIT 11 - SOUTH ELEVATION
Scale: 1:50



4 UNIT 11 - EAST SIDE (ENTRY SIDE)
Scale: 1:50



EXTERIOR FINISHES

- 1 ASPHALT ROOFING SHINGLES
- 2 ALUMINUM GUTTER
- 3 PLANK CLADDING
- 4 BOARD & BATTEN CLADDING
- 5 BRICK CLADDING
- 6 PAINTED TRIM & FASCIA BOARDS
- 7 PAINTED WOOD BRACKETS
- 8 VINYL WINDOWS
- 9 TRUE DIVIDE LITES AND BALANCED SASHES
- 10 EXTERIOR DOORS
- 11 METAL AND GLASS RAILINGS
- 12 WOOD COLUMNS
- 13 GARAGE DOORS
- 14 RAIN WATER GUTTER



DEC 19 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

NO.	ISSUE	DATE
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PROJECT NUMBER DP-2019-864101

DRAWN JS DATE JULY 2018

SCALE 1:50

NEW TOWNHOUSES
REZONING
AT
8600 / 8660 Francis Road

JOB DESCRIPTION

JOB NUMBER

UNIT 11 ELEVATIONS

DRAWING TITLE

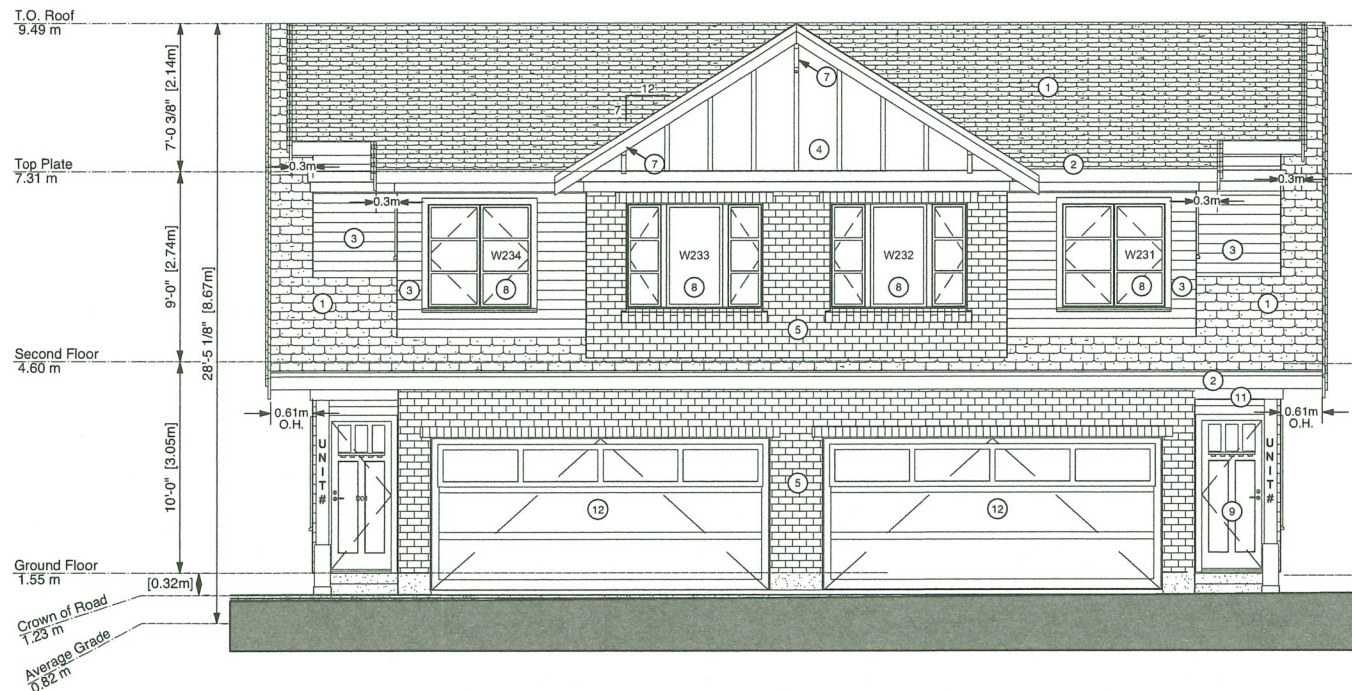
A2.5

DRAWING NUMBER REVISION

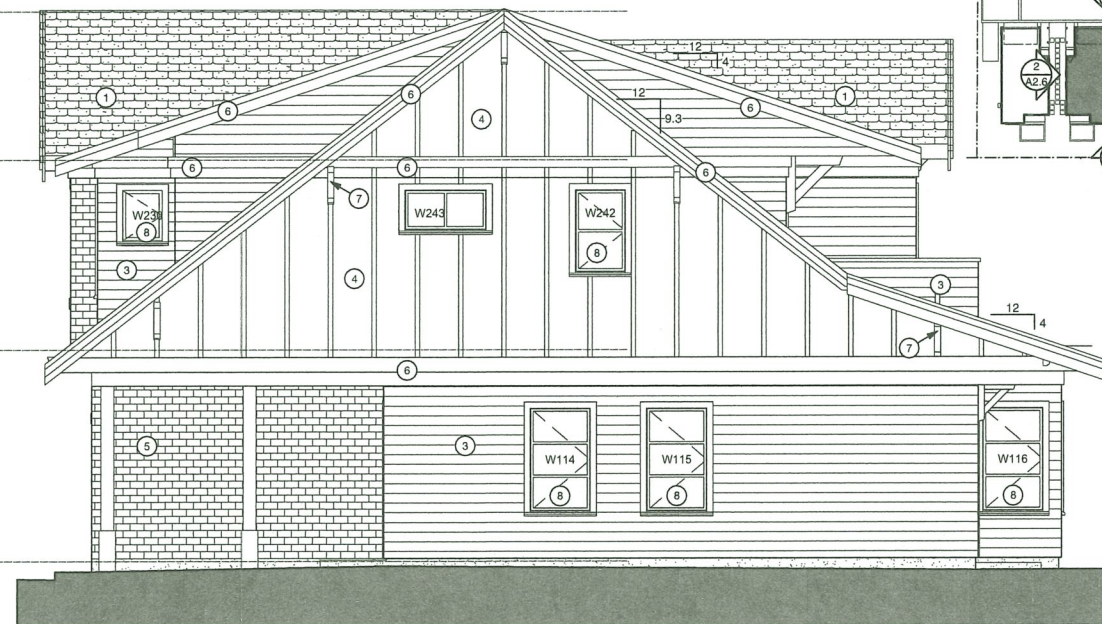
PLAN 20

NOTE: UNIT 15 IS IDENTICAL, UNITS 14 & 18 ARE MIRROR IMAGES OF UNIT 11





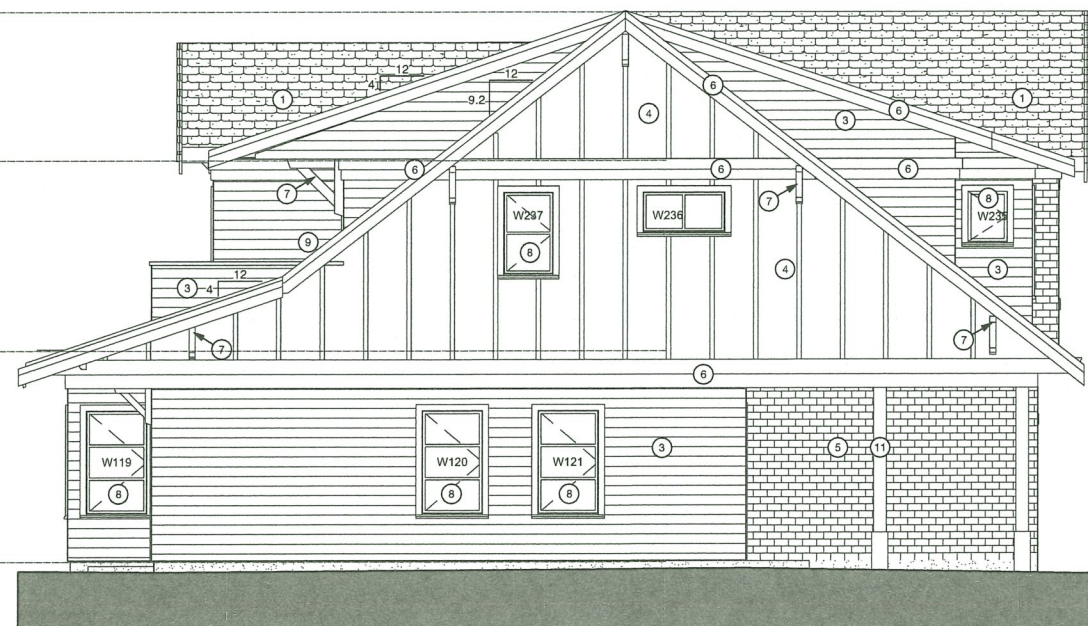
1 UNITS 12-13 - NORTH ELEVATION (GARAGE / ENTRY)
Scale: 1:50



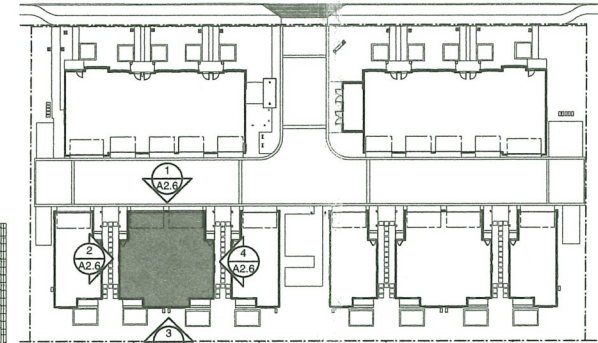
2 UNITS 12-13 - WEST ELEVATION
Scale: 1:50



3 UNITS 12-13 - SOUTH ELEVATION (REAR)
Scale: 1:50



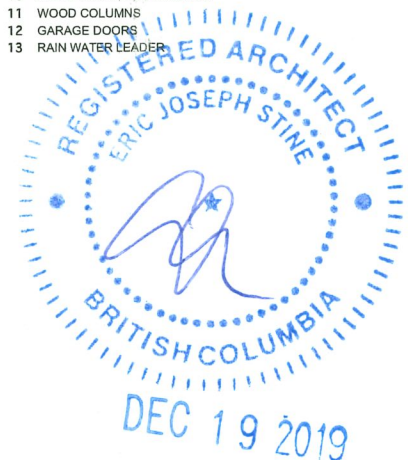
4 UNITS 12-13 - EAST SIDE
Scale: 1:50



5 MAIN FLOOR KEY PLAN
Scale: 1:500

EXTERIOR FINISHES

- 1 ASPHALT ROOFING SHINGLES
- 2 ALUMINUM GUTTER
- 3 PLANK CLADDING
- 4 BOARD & BATTEN CLADDING
- 5 BRICK CLADDING
- 6 PAINTED TRIM & FASCIA BOARDS
- 7 PAINTED WOOD BRACKETS
- 8 VINYL WINDOWS
TRUE DIVIDE LITES AND BALANCED SASHES
- 9 EXTERIOR DOORS
- 10 METAL AND GLASS RAILINGS
- 11 WOOD COLUMNS
- 12 GARAGE DOORS
- 13 RAIN WATER LEADER



A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-06-07
5	FOR REZONING	18-9-16

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PROJECT NUMBER DP-2019-864101

DRAWN JS DATE JULY 2018

SCALE 1:50

**NEW TOWNHOUSES
REZONING
AT
8600 / 8660 Francis Road**

1010 DESCRIPTION

1010 NUMBER

UNITS 12-13 ELEVATIONS

DRAWING TITLE

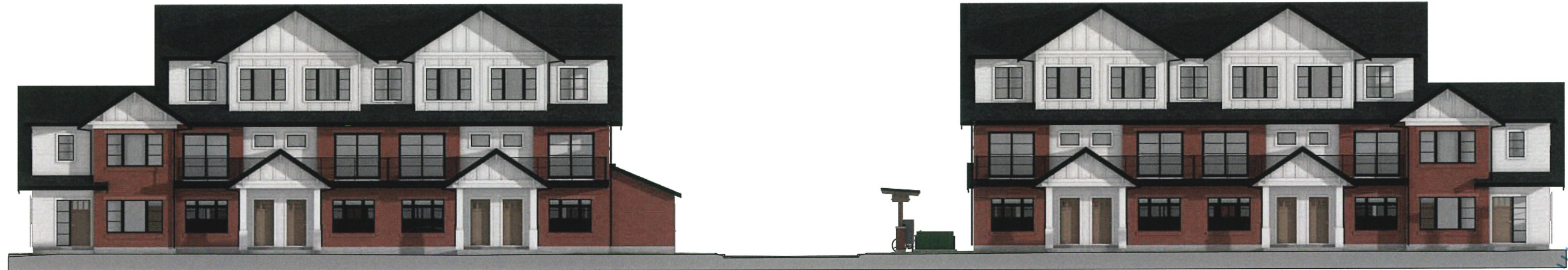
A2.6

DRAWING NUMBER REVISION

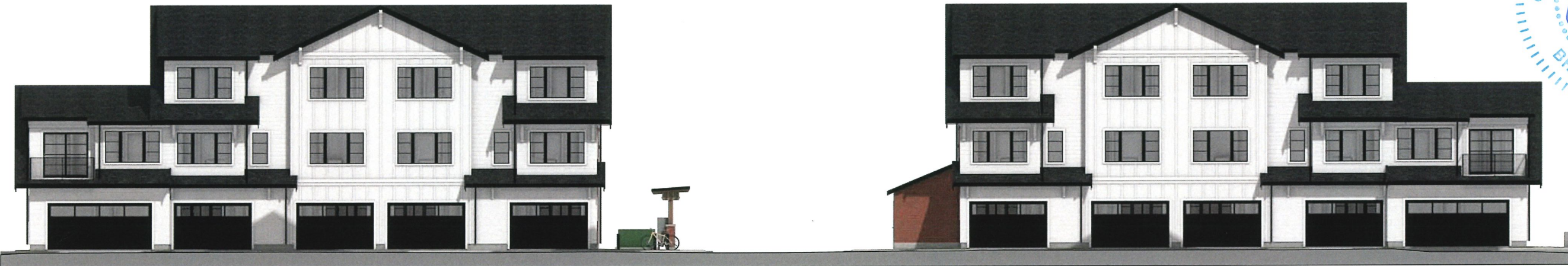
PLAN 21



NOTE: UNITS 16-17 DENTICAL TO UNITS 12-13



1 FRONT BUILDING - NORTH ELEVATION
Scale: 1/8" = 1'-0"



2 FRONT BUILDING - SOUTH ELEVATION
Scale: 1/8" = 1'-0"



3 REAR BUILDINGS - NORTH ELEVATION
Scale: 1/8" = 1'-0"



4 REAR BUILDINGS - SOUTH ELEVATION
Scale: 1/8" = 1'-0"



DEC 04 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

NO.	ISSUE	DATE
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PERMIT NUMBER: DP-2019-864101

DRAWN: JS DATE: JULY 2018

SCALE: 1/8"=1'-0"

NEW TOWNHOUSES
REZONING
AT
8600 / 8660 Francis Road

JOB DESCRIPTION:

JOB NUMBER:

COLOURED ELEVATIONS

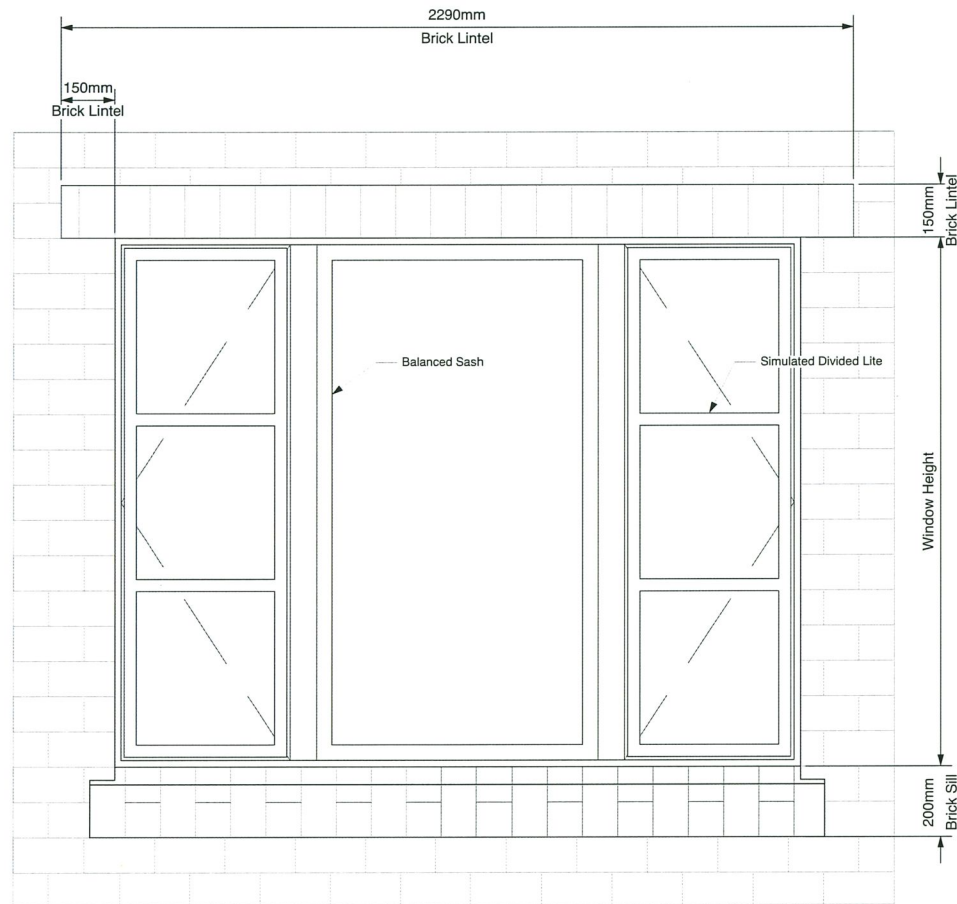
DRAWING TITLE:

A2.7

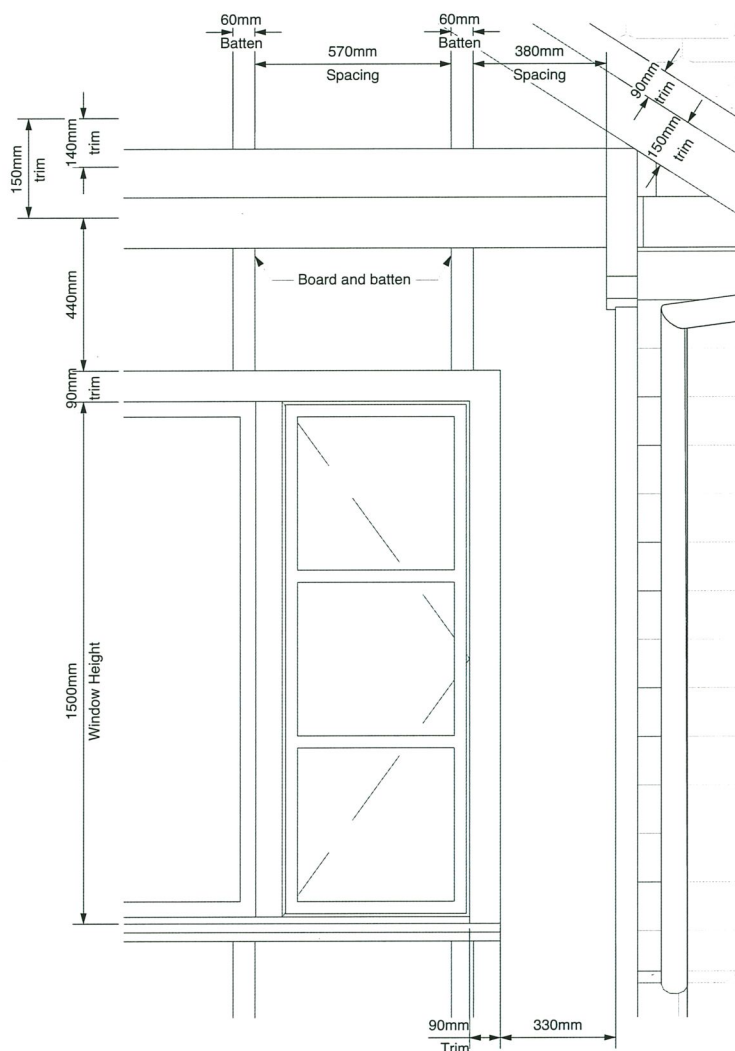
DRAWING NUMBER: REVISION:

PLAN 22

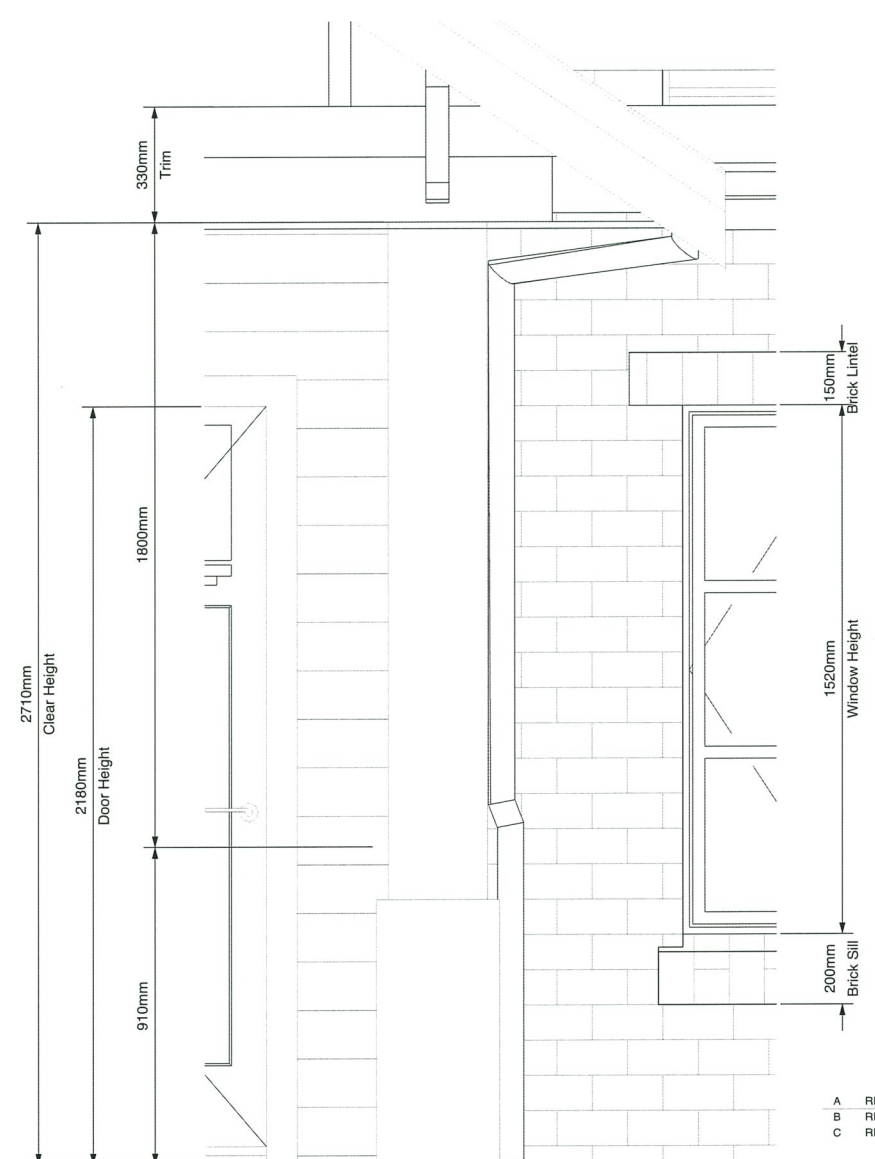




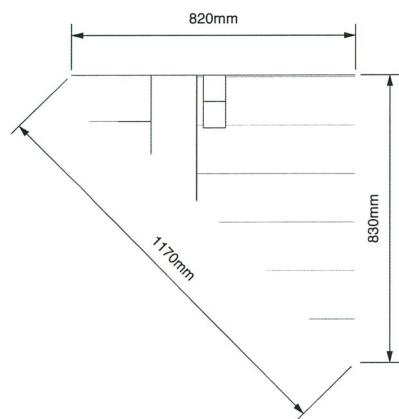
1 WINDOW/LINTEL DETAIL
Scale: 1:10



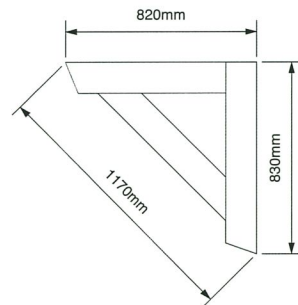
2 WINDOW & TRIM ON BATTEN DETAIL
Scale: 1:10



3 (FRONT) NORTH ELEVATION
Scale: 1:10



4 BRACKET DETAIL
Scale: 1:10



5 BRACKET DETAIL
Scale: 1:10



DEC 04 2019

A	REVISED FOR REZONING	18-11-29
B	REVISED FOR DP	19-08-19
C	REVISED FOR DP	19-11-26

4	ISSUED FOR DP	19-06-07
3	FOR REZONING	18-9-16

NO.	ISSUE	DATE
ERIC STINE ARCHITECT INC 1 - 1864 W.1ST AVE. VANCOUVER, BC CANADA V6J 1G5 TEL: (604) 732-4545 FAX: (604) 736-9493 <small>This drawing, as an instrument of service, is the property of the architect and may not be reproduced without the permission of the architect, and unless the drawing carries the name of the architect. All designs and other information shown on this drawing are for use on the specified project only, and shall not be used otherwise without the written permission of the architect. Written dimensions on this drawing shall have precedence over scaled dimensions. This Drawing is not to be used for construction purposes until signed & sealed or specifically issued for that purpose.</small>		
PERMIT NUMBER	DP-2019-864101	
DRAWN	JS	DATE JULY 2018
SCALE	As Noted	
NEW TOWNHOUSES REZONING AT 8600 / 8660 Francis Road		
JOB DESCRIPTION		
JOB NUMBER		
DETAILS		
DRAWING TITLE		
A4.1		
DRAWING NUMBER	REVISION	

PLAN 23

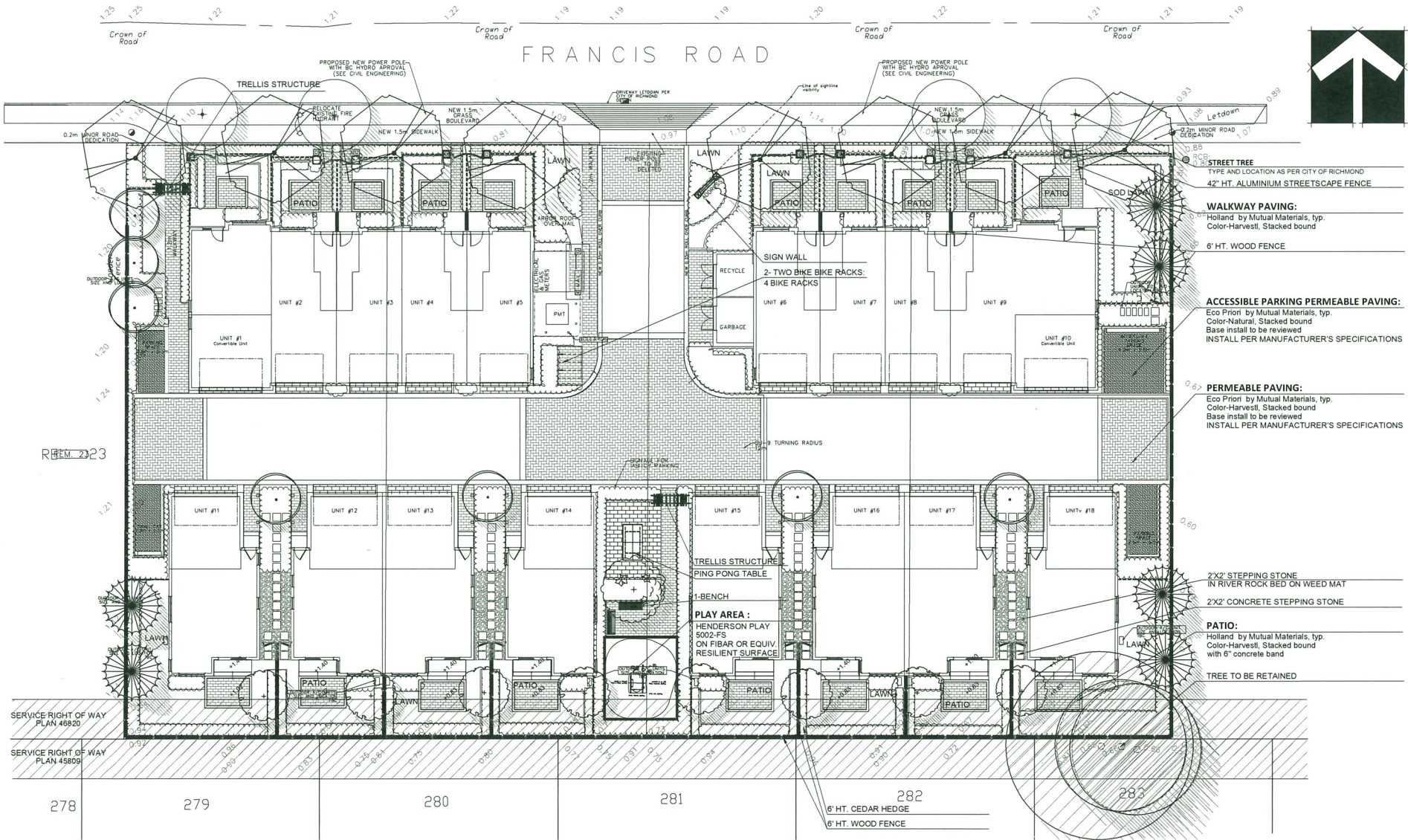
DP 19-864104

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LANDSCAPE
ARCHITECTS

Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:



FURNITURE



MAGLIN Bike Rack, MBR500-S
METAL-MATTE FINISH;
BLACK COLOR, POWDER COATED
MOUNTED ON SLAB MANUFACTURER
SPECIFICATIONS



MAGLIN Bench, MLB510
METAL-MATTE FINISH;
BLACK COLOR, POWDER COATED
MOUNTED ON SLAB MANUFACTURER
SPECIFICATIONS

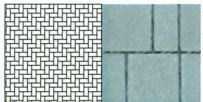


Henderson Protecting Playground Fun
PlayTots; Model PT5002
Ph.: 1-800-265-5462 ext.302



PING PONG TABLE

PAVER



Eco Priori by Mutual Materials, typ.
Color-Natural, Stacked bound



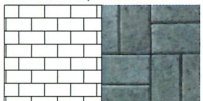
Eco Priori by Mutual Materials, typ.
Color-Harvest, Stacked bound



Holland by Mutual Materials, typ.
Color-Harvest, Stacked bound



River rock



Holland by Mutual Materials, typ.
Color-Charcoal, Stacked bound

NO.	DATE	REVISION DESCRIPTION	DR.
9	20.JAN.05	REVISION AS PER CITY COMMENTS	DD
8	19.NOV.26	NEW SITE PLAN	DD
7	19.NOV.21	NEW CIVIL PLAN	DD
6	19.OCT.29	REVISION AS PER CITY COMMENTS	DD
5	19.AUG.15	NEW SITE PLAN / CITY COMMENTS	DD
4	19.JUN.7	ISSUED FOR DP	RJ
3	18.DEC.14	NEW SITE PLAN	RJ
2	18.OCT.01	NEW SITE PLAN	DD
1	18.OCT.01	NEW SITE PLAN	DD

CLIENT: MAVIC PROPERTIES LTD.

PROJECT:
**18 UNIT TOWNHOUSE
DEVELOPMENT**

**8600 - 8680 FRANCIS ROAD
RICHMOND**

DRAWING TITLE:
**LANDSCAPE
PLAN**

DATE: July 31, 2018

DRAWING NUMBER:

SCALE: 1/16"=1'-0"

DRAWN: DD

DESIGN: DD

CHK'D: PCM

L1

OF 4

18139-9.2IP

PMG PROJECT NUMBER:

18-139

PLAN 24

PLANT SCHEDULE-STREET TREE ONLY			
KEY	QTY	BOTANICAL NAME	COMMON NAME
○	4	STREET TREE TYPE AND LOCATION BY CITY OF RICHMOND	OCM CAL B&B

PMG PROJECT NUMBER: 18-139

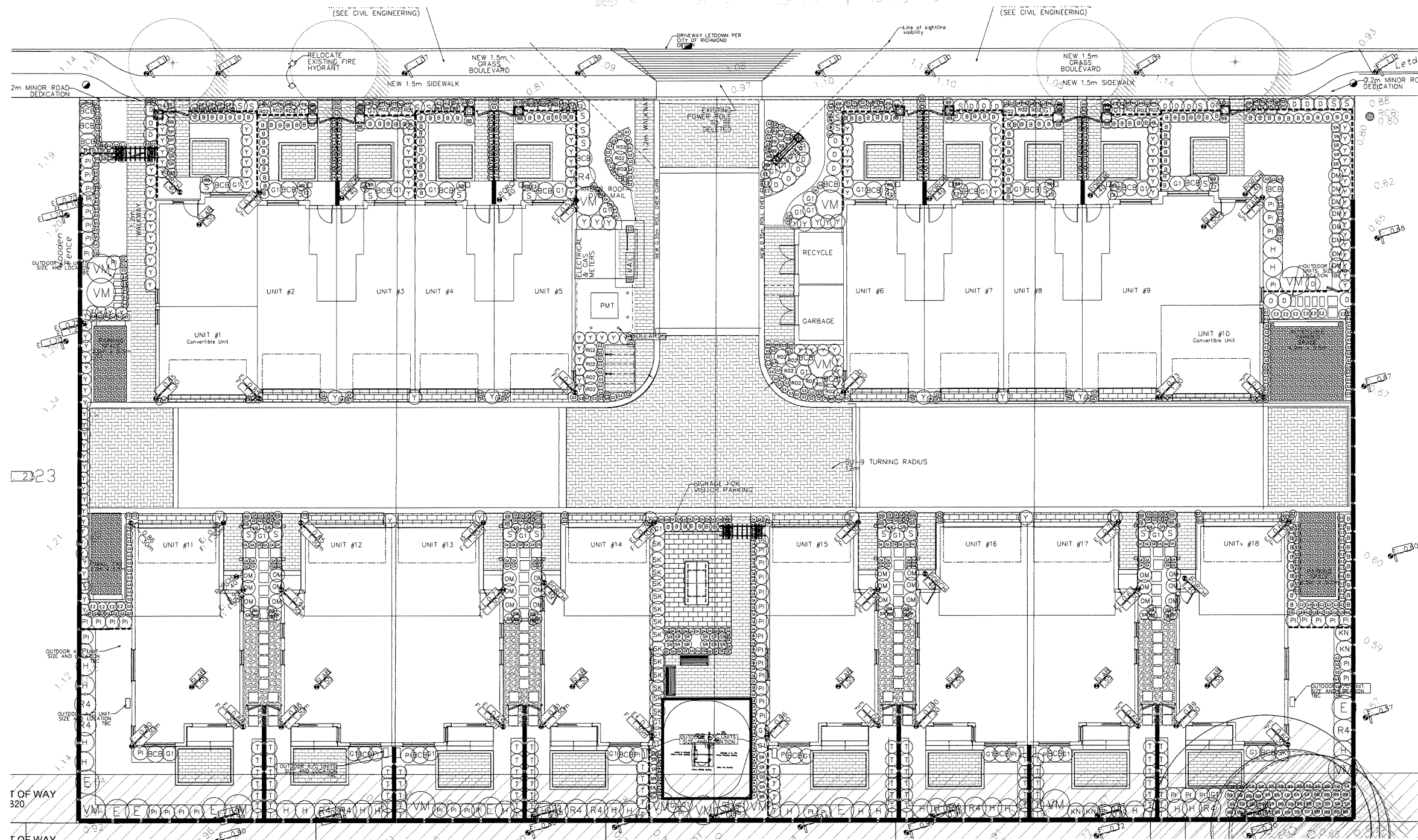
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

PLANT SCHEDULE			
KEY	QTY	BOTANICAL NAME	COMMON NAME
○	8	ACER RUBRUM RED SUNSET	RED SUNSET MAPLE
○	1	CORNUS KOUSA SATON	PINK KOUSA DOGWOOD
○	8	FAGUS SYLVATICA DAWYCK	FASTIGIATE OR DAWYCK BEECH
○	8	PINUS NIGRA ARNOLD SENTINEL	ARNOLD SENTINEL AUSTRIAN BLACK PINE
○	7	QUERCUS PALUSTRIS GREEN PILLAR	GREEN PILLAR PIN AK

PMG PROJECT NUMBER: 18-139

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE:
- All soft landscape areas to be irrigated with automatic irrigation to I.I.A.B.C. Standards, latest edition.



PLANT SCHEDULE			PMO PROJECT NUMBER: 18-139	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
	26	BERBERIS 'THUNBERGII' 'MONOMIE'	CHERRY BOMB BARBERRY	#2 POT
	137	YUKONIA MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF CUMQUITT	#2 POT: 30CM
	2	EUCUNYUS ALATA 'COMPACTUS'	COMPACT SUMMER BURNING BUSH	#2 POT: 25CM
	20	HORAXANA M. 'ENDLESS SUMMER'	ENDLESS SUMMER GIGALFUE HYDRANGEA	#2 POT: 30CM
	60	PIERIS APIRONA 'VALLEY FIRE'	PIERIS	#2 POT: 60CM
	11	RHOODODENDRON 'CHRISTMAS CHEER'	CHRISTMAS CHEER RHOODODENDRON	#2 POT: 30CM
	35	RHOODODENDRON ELIZABETH	SCARLET DWARF RHOODODENDRON	#2 POT: 60CM
	4	ROSA 'KNOCKOUT' RADRAZZ	RADRAZZ KNOCKOUT ROSE	#2 POT
	15	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#2 POT: 30CM
TREES	61	SKIMMIA REVEJANA	DWARF SKIMMIA	#2 POT: 30CM
	31	SPIRAEA X BUMALDA 'LIMEGLOUND'	LIMEGLOUND SPIREA	#2 POT: 40CM
	140	TAXUS X MEDIA 'HICKSII'	HICKS VEW	1.2M BAB
	13	'TULJA OCCIDENTALIS' 'SUNRAED'	EMERALD GLOW CEDAR	1.8M HT. BAB
	23	VIBURNUM DAVIDI	DAVID'S VIBURNUM	#2 POT: 30CM
	14	VIBURNUM P.T. 'MARIESII'	MARIE'S DOUBLE FILE VIBURNUM	1.0M HT. BAB
	315	CAREX COLUCHOSTACHYA 'KAGA NISHIKI'	GOLD FOUNTAINS SEDGE	#1 POT: FULL
	49	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP SILVER GRASS	#1 POT: HEAVY
	290	PENNISTELM ALBOFLUORESCENS 'HALIM'	DWARF FOUNTAIN GRASS	
PERENNIAL				
	105	BERGENIA GRANDIFOLIA	HEART-LEAF BERGENIA	15CM POT
	32	MATTEUCCIA STRUTHIOPTERIS	OSTRICH FERN	#2 POT
B&B				
	46	EUCUNYUS JAPONICA 'EMERALD GAIETY'	EUCUNYUS SILVER VARIEGATED	#2 POT: 25CM

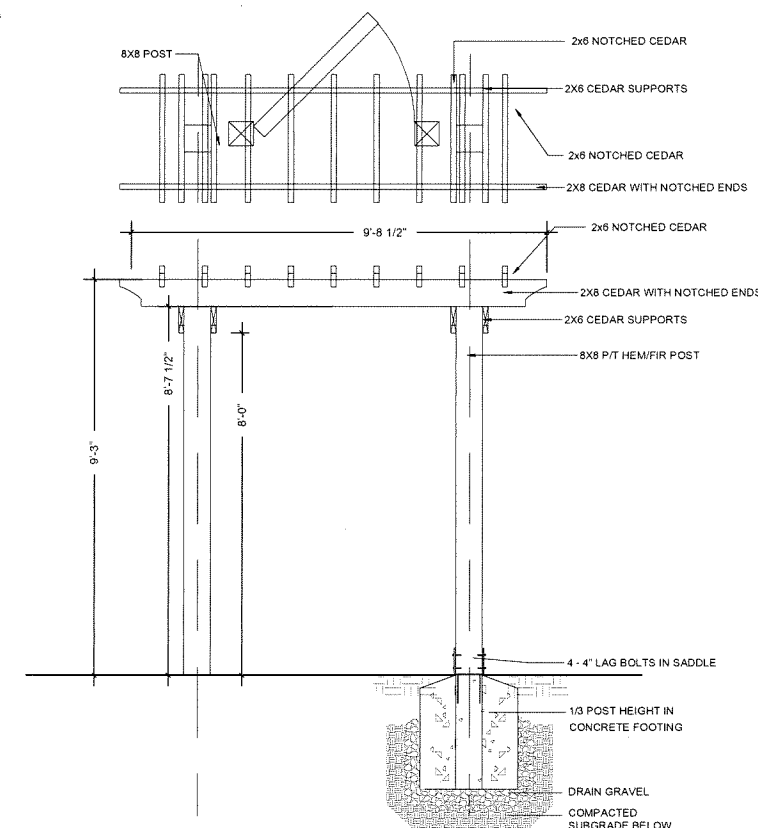
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED ARE PER C/NLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW NAME PLANT MATERIAL AVAILABLE FOR OPTIMUM REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF PURCHASE. * FOR LOWER MAINLAND AND VICTORIA PLANT MATERIAL, SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * UNDER CONDITIONS OF AVAILABILITY, ALL LANDSCAPE MATERIAL AND WORMSHARMING MUST MEET EXISTING BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIA UNLESS AUTHORIZED BY LANDSCAPE

NOTE:
- All soft landscape areas to be irrigated with automatic installation to I.L.A.B.C. Standards, latest edition

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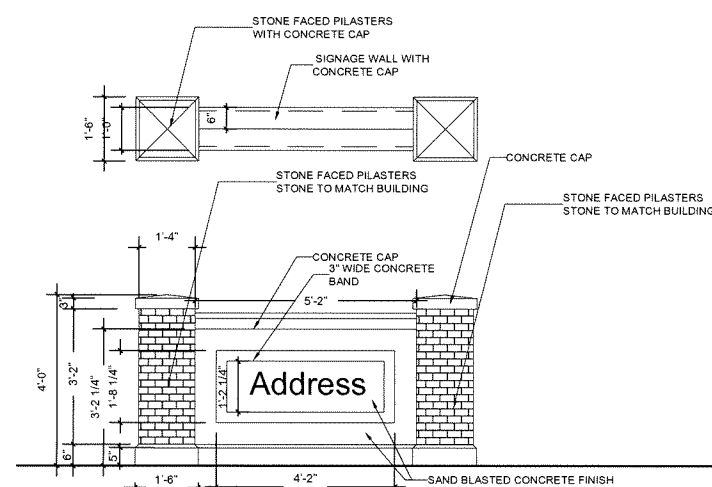
SEAL:



SCALE: 1/2"=1'-0"

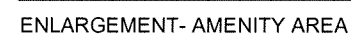
SCALE: 1/2"=1'-0"

1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL POSTS PRESSURE TREATED OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION.
5. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
6. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.).
7. GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/8".



SCALE: 1/2"=1'-0"

SCALE: 1/2"=1'-0"



1/ 8"= 1'-0"

PLAN 26

DRAWING TITLE:

LANDSCAPE DETAILS

DATE: July 31, 2018

SCALE:

DRAWN: DC

DESIGN: DE

CHK'D: PCM

DRAWING NUMBER:

10

13

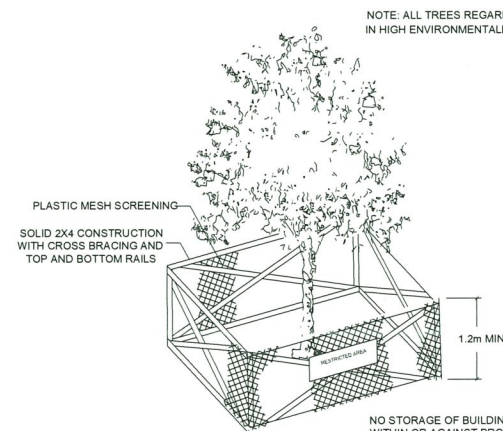
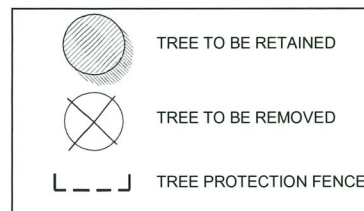
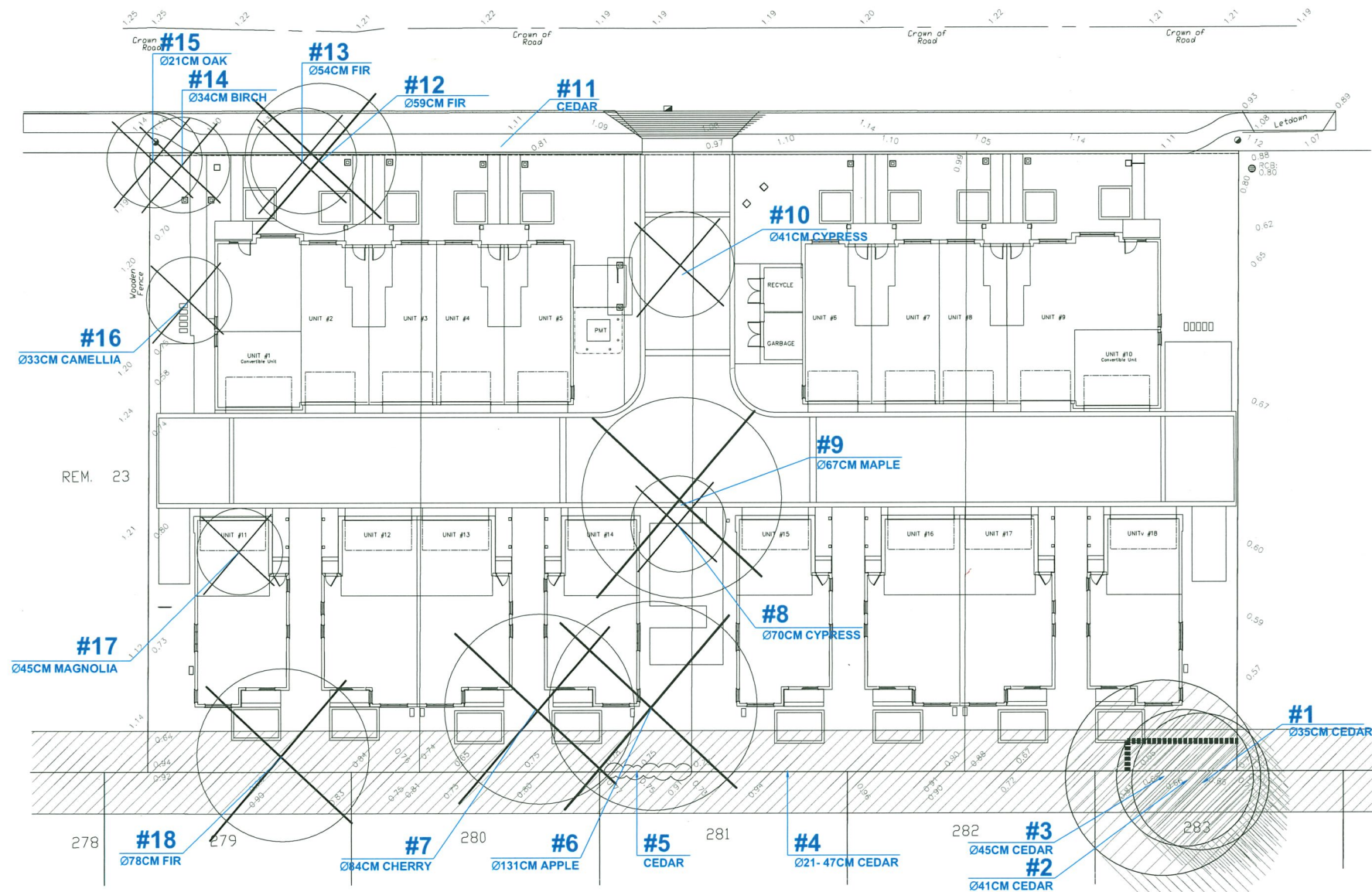
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OF 4

18139-9.Z/P

PMG PROJECT NUMBER:

18-139



NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

TREE PROTECTION DISTANCE TABLE

TRUNK DIAMETER in cm @ dbh.	MINIMUM REQUIRED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5
100	6.0

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100cm dbh. (DIAMETER AT BREAST HEIGHT OR 1.4M FROM GRADE)

#	SPECIES (Botanical name)	DBH (cm)	SPREAD radius (m) est.
1	Cedar (<i>Thuja plicata</i>)	35 per survey	4.7m
2	Cedar (<i>Thuja plicata</i>)	41 per survey	4.8m
3	Cedar (<i>Thuja plicata</i>)	45 per survey	7.2m
4	Cedar (<i>Thuja plicata</i>)	21 - 47 est.	5m
5	Cedar (<i>Thuja occidentalis</i>)	-	1m
6	Apple (<i>Malus sp.</i>)	131	7.4m
7	Cherry (<i>Prunus sp.</i>)	84	6.8m
8	Cypress (<i>Chamaecyparis sp.</i>)	70	3.6m
9	Japanese Maple (<i>Acer palmatum sp.</i>)	67	7.2m
10	Cypress (<i>Chamaecyparis sp.</i>)	41	4m
11	Cedar (<i>Thuja occidentalis</i>)	-	1.8m
12	Douglas fir (<i>Pseudotsuga menziesii</i>)	59	5.3m
13	Douglas fir (<i>Pseudotsuga menziesii</i>)	54	3.5m
14	Birch (<i>Betula sp.</i>)	34	3.3m
15	Oak (<i>Quercus sp.</i>)	21	3.3m
16	Camellia (<i>Camellia sp.</i>)	33 per survey	2.5m
17	Magnolia (<i>Magnolia sp.</i>)	45 combined	2.7m
18	Douglas fir (<i>Pseudotsuga menziesii</i>)	78	6.3m

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
9	20 JAN. 06	REVISION AS PER CITY COMMENTS	DD
8	19 NOV. 26	NEW SITE PLAN	DD
7	19 NOV. 21	NEW CIVIL PLAN	DD
6	19 OCT. 29	REVISION AS PER CITY COMMENTS	DD
4	19 AUG. 15	NEW SITE PLAN/ CITY COMMENTS	DD
3	19 JUN. 7	ISSUED FOR DP	RJ
2	18 DEC. 14	NEW SITE PLAN	RJ
1	18 OCT. 01	NEW SITE PLAN	DD

CLIENT: MAVIC PROPERTIES LTD.

PROJECT:
**18 UNIT TOWNHOUSE
DEVELOPMENT**

**8600 - 8680 FRANCIS ROAD
RICHMOND**

DRAWING TITLE:

**TREE MANAGEMENT
PLAN**

DATE: July 31, 2018

SCALE: 1/16"=1'-0"

DRAWN: DD

DESIGN: DD

CHK'D: PCM

DRAWING NUMBER:

L4

OF 4