

- To: Development Permit Panel
- From: Wayne Craig Director of Development

Date: December 12, 2016 File: DV 16-733949

Re: Application by MQN Architects for a Development Variance Permit at 9580 Williams Road (Formerly 9580 & 9600 Williams Road & 10140 Gower Street) and 10060 Gower Street

Staff Recommendation

That a Development Variance Permit be issued which would vary the following provisions of Richmond Zoning Bylaw 8500:

- a) Increase the maximum permitted lot coverage from 45% to 48%;
- b) Reduce the minimum side yard setback from 6.0 m to 2.2 m for the west side yard and 4.7 for the east side yard; and
- c) Revise Transportation related requirements to:
 - i. Increase the maximum on-site parking reduction with transportation demand management measures from 10% to 13%;
 - ii. Reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck; and
 - iii. Reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces;

to permit the construction of a 199 bed residential intermediate care facility at 9580 Williams Road on a site zoned "Health Care (HC)" with associated existing garden at 10060 Gower Street.

Wayne Craig Director of Development

WC:sb Att.

Staff Report

Origin

MQN Architects has applied to the City of Richmond for permission to vary the provisions of Richmond Zoning Bylaw 5800 to:

- Increase the maximum permitted lot coverage from 45% to 48%.
- Reduce the minimum side yard setback from 6.0 m to 2.2 m for the west side yard and 4.7 for the east side yard.
- Revise Transportation related requirements to: (i) increase the maximum on-site parking reduction with transportation demand management measures from 10% to 13%; (ii) reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck; and (iii) reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces.

There is no rezoning application associated with the subject application. The requested variances would permit the redevelopment of the existing 101 bed residential intermediate care facility into a new 199 bed residential intermediate care facility at 9580 Williams Road on a site zoned "Health Care (HC)". The main garden space for the existing facility is located on the adjacent property at 10060 Gower Street on a site zoned "Single Detached (RS1/E)". The garden will be retained and will continue to be available for the use of residents of the proposed facility.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

The site was recently consolidated from three lots into one development lot addressed as 9580 Williams Road with a total site area of 9,083 square meters. In addition, the existing main garden open space for the existing facility is located on an adjacent lot addressed as 10060 Gower Street. The garden is proposed to be retained for the proposed facility and will be secured by a legal agreement to be registered on title.

Background

Development surrounding the subject site is as follows:

To the north, across Williams Road are single-family homes on lots zoned "Single Detached (RS1/E)" and "Compact Single Detached (RC1)";

To the east are single-family homes on a lots zoned "Single Detached (RS1/E)"; duplexes on lots zoned "Two-Unit Dwellings (RD1)"; and an approximate 4,388 square meter assembly of Williams Road lots zoned "Single Detached (RS1/E)" under application for an arterial road townhouse development;

To the south are a single-family home on a lot zoned "Single Detached (RS1/E)" and a duplex on a lot zoned "Two-Unit Dwellings (RD1)"; and

To the west, abutting the subject site and across Gower Street are single-family homes on lots zoned "Single Detached (RS1/E)".

Neighbour Consultation

On October 26, 2016, the applicant went door to door to visit homes in the vicinity of the subject site, available to answer any questions in English, Mandarin or Cantonese. They spoke with 24 residents and delivered a copy of the development proposal by hand or mailbox to 78 homes located within 50 m of the subject site or along the local street portion of the truck delivery route to the facility. A summary report of the neighbourhood consultation is attached (Attachment 2). The summary report indicates that the following comments regarding the application were received from the residents. The applicant response is indicated in *'bold italics'*.

- Concern that existing on-site trees and hedges adjacent to 9560 Williams Road are too tall and require trimming. *There is existing on-site hedging located along the west edge of the proposed parking area, adjacent to a single-family lot to the west.* Roughly one third of the hedge close to Williams Road is proposed to be removed and replaced with new emerald green cedar hedging. The remaining roughly two-thirds of the on-site hedge will be retained and trimmed for the health and maintenance of the hedge. The owner has entered into a contract with an arborist to ensure the health of all on-site trees and hedges identified for retention. The owner will follow up with the neighbour prior to commencing hedge trimming work.
- Request to maintain the height of the existing hedge adjacent to 9711 and 9731 Swansea Drive. *The on-site hedge adjacent to the neighbouring properties will be retained and the owners will work with their arborist to ensure its health.*
- Request tree planting along Gower Street frontage at an adequate size to screen building. Significant tree planting is proposed on-site in a mix of sizes and five of the six existing cherry trees in the Gower Street boulevard will be retained.
- Request to continue pest control program. A pest control program is currently in place and will continue to be part of the owner's operating model.
- Request delivery and landscaping hours be not too early. Construction and landscaping work activity is required to comply with the City's Noise Regulation Bylaw No. 8856. The owner has agreed to enter into a legal agreement to limit truck activity on Gower Street, including:(i) no more than six trucks per week with maximum 9.1 m truck length and loading activity to occur on-site; (ii) no more than 8 trucks with maximum 10 m truck length and truck turnaround to occur on-site; (iii) limited delivery hours of 8 am to 5 pm Monday through Friday and no deliveries on weekends; and (iv) provision of an on-site loading and turnaround area.
- Supportive of proposed removal of driveway on Gower Street.
- Supportive of proposal.

Staff Comments

The proposed variances comply with the intent of the applicable sections of the Official Community Plan and the proposal is generally in compliance with the Richmond Zoning Bylaw 8500 with the exception of the requested variances noted below. The proposed siting, architectural and landscape designs are provided in the attached plans.

Zoning Compliance/Variances (staff comments in **bold**)

The applicant requests to vary the following provisions of Richmond Zoning Bylaw 8500:

1) Increase the maximum permitted lot coverage from 45% to 48%.

(Staff support the proposed variance as it allows for a needed expansion and renovation to the existing intermediate care facility on an overall site that includes generous outdoor garden area on an adjacent property. The site consists of two separate properties with separate zoning. Lot coverage is required to be calculated against the area of the Williams Road property only and does not include the Gower Street garden property. The coverage would only be 44% if it were able to be considered across the overall facility site area including the garden. The applicant has agreed to register a legal agreement on title to 10060 Gower Street to ensure there is no future development of the site, and retention of the outdoor open space garden with structures for the use of care facility residents.)

2) Reduce the minimum side yard setback from 6.0 m to 2.2 m for the west side yard and 4.7 for the east side yard.

(Staff supports the proposed variance as it allows for a needed expansion to an existing intermediate care facility that has been designed to minimize the impact to adjacent homes to west and east through breaking up building massing with height and set back variations.

The existing facility does not comply with the required 6 m side yards (Attachment 3). The two single-storey north wings have an existing 4.6 m setback to the east. The two-storey south wing has an existing east setback of 4.6 m with localized areas of 3.6 m setback and has an existing west setback of 2.2 m to Gower Street at the service area.

The central kitchen and service area in the existing two storey building is required to be retained to meet operational needs of the existing and future facility. The construction will be carefully phased as the existing care facility residents will remain on-site throughout construction.

The proposed facility includes a two-storey improved central portion and new three-storey wings to the north and south of the site. The north wing is designed as far to the west as possible to minimize potential impacts on the neighbouring homes to the east. Along the east edge of the site, the interior side yard would be reduced to a 5.7 m east setback for the north wing, and a 4.7 m east setback for the central portion. The south wing would comply with the required 6 m side and rear yards. The east and south building set back areas are proposed to be treated with 1.8 m height solid wood privacy fencing, shrubs, perennials, ground covers as well as walkways, benches and measures to protect two existing on-site hedges and existing neighbouring trees. No new tree planting is permitted in the sanitary sewer SRWs located east and north of the proposed building.

Along the west edge of the site, a reduced 3.6 m west setback would be provided at the north wing which is adjacent to the facility's Gower Street garden property and Gower Street. The existing reduced 2.2 m west setback would be maintained along Gower Street for the retained kitchen and service area. The south wing would comply with the required 6 m setback to Gower Street.)

- 3) Revise Transportation related requirements to:
 - i. Increase the maximum on-site parking reduction with transportation demand management measures from 10% to 13%;
 - ii. Reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck; and
 - iii. Reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces.

(Staff supports these proposed transportation related variances as they reflect the anticipated demand for this unique use and the proposal includes Transportation Demand Management features. A Transportation Parking and Loading Study prepared by Bunt & Associates Engineering (BC) Ltd. was submitted in support of the proposal and has been reviewed and accepted by Transportation staff. The study addresses the anticipated demand for vehicle parking, bicycle parking, and truck loading for this care facility use.

As a result of the parking study, 58 parking spaces are proposed to be provided on-site. This represents a reduction from the Zoning Bylaw rate of 0.33 spaces per bed to 0.29 spaces per bed, which is consistent with the current parking supply of 0.29 spaces per bed for the existing facility. All parking spaces will be located in the surface parking area accessed from Williams Road for the shared use of visitors and staff. The applicant has agreed to register a legal agreement on title to ensure no parking spaces are assigned.

Transportation Demand Management features associated with the proposal include voluntary contribution of \$25,000 for the installation of a bus shelter in the vicinity of the subject site, 5 scooter parking spaces with 120 volt receptacles for charging, end of trip change room with shower for employees.

The applicant has also agreed to register a legal agreement on title to restrict truck loading locations, size and number of trucks, and loading activity hours of operation.)

Analysis

Flood Construction Level

- The existing kitchen and service area facing Gower Street is proposed to be retained and the new facility built around it. The floor elevation of the existing portion of the building that is being retained is 0.83 m GSC. The proposal has been reviewed and is acceptable to Engineering staff.
- The site is located in Area A which requires a Flood Construction Level for new construction minimum 0.3 m above highest crown of road. The site fronts both Williams Road and Gower Street and the proposed building is set back from Williams Road behind a surface parking area. Engineering staff have reviewed the proposal and confirm that the minimum flood construction level for the new construction is a minimum of 0.3 m above the crown of adjacent Gower Street. The applicant has agreed to register a flood plain covenant on title.

Conditions of Adjacency

- The subject site is adjacent to Williams Road. The proposed building would be set back from Williams Road behind a surface parking area, which is proposed to be screened from Williams Road with landscape buffers including yew hedging, tree planting and retention of existing on-site trees. Proposed screening on the west edge of the parking area includes the retention of the existing on-site trees and hedging along with new cedar hedge planting and solid wood privacy fencing. Proposed screening on the east edge of the parking area includes the planting of five new trees in a landscape buffer and solid wood privacy fencing.
- The subject site is adjacent to Gower Street. The existing garden and the width of Gower Street would provide an adequate separation between the proposed building and the homes to the west.
- The interior side and rear yards of the proposed building would be adjacent to back yards of neighbouring duplexes and single-family homes. The applicant has requested side yard variances as discussed above. The proposed interior side and rear yards would be treated with privacy fencing, landscaping, walkways and hedge retention and protection of existing trees on neighbouring properties. Unfortunately no new trees are permitted to be planted in the sanitary sewer SRW area.

Site Planning, Architectural Form and Character

- The proposed facility includes a retained and improved two-storey central portion and new three-storey wings to the north and south of the site.
- The massing of the proposed building mitigates adjacency to existing homes to the east by breaking up the three-storey height with a lower two-storey central section and breaking up the long façade into north, central and south areas, including an inset courtyard area; adding residential character and visual relief with horizontal siding, sloped roof forms and gable roof dormer bay elements; and using a subdued colour palette. The same architectural design approach is used on all facades, with a simpler south façade.
- The proposed pedestrian and vehicle access to the subject site is from Williams Road. The proposed central pedestrian entry leads through a surface parking area to the building's main entrance. There is an on-site truck loading bay in the surface parking area north of the building and an on-site truck turn around area off Gower Street at the existing kitchen and service area to accommodate limited truck loading activity on Gower Street.

Landscape Design and Open Space Design

- The landscape design includes retention of trees and hedges and the proposed planting of a variety of trees, shrubs, vines, ornamental grasses, perennials and ground cover for visual interest. Benches are proposed throughout the site and bicycle lockers and racks are proposed at the north edge of the proposed building.
- The Williams Road pedestrian entry design includes a bench, trellis and a raised concrete walkway to the main building entry. The parking area will be screened from Williams Road with a yew hedge. The entry and parking area will be treated with the retention of two mature trees, the planting of ten new trees and a variety of shrubs and lower planting.

- The existing Gower Street garden is designed in a circular pattern to encourage walking and proposed walkways connect the garden with the proposed building. The garden is proposed to be retained for the proposed facility and will be secured by a 'no development' legal agreement to be registered on title.
- Additional secure walking path garden areas with seating opportunities are proposed along the entire east and south edges of the building and a portion of the Gower Street edge.
- All outdoor areas for resident use will be secured with tall fencing and gates in compliance with Vancouver Coastal Health licensing requirements.
- Three interior courtyards provide natural light and views for central rooms, and a secure outdoor area adjacent to indoor amenity areas.
- To ensure that retention trees are protected and landscaping is installed as per the permit drawings, the applicant has agreed to provide a landscaping and tree survival security in the amount of \$222,814.74.

Tree Retention and Replacement

The applicant has submitted a Certified Arborist's Report; which identifies on-site and off-site tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The Report assesses 28 bylaw-sized trees on the subject property, 9 trees on City property, and 13 trees on neighbouring properties.

The City's Tree Preservation Coordinator has reviewed the Arborist's Report and has the following comments:

- Nine trees (tag #286, 287, 310, 311, 331, 332, 333, 334 and 335) located on-site are in suitable condition for retention and not expected to be impacted by any proposed new construction. These trees are to be retained as per City of Richmond Tree Protection Information Bulletin Tree-03 or as per Arborist report recommendations. The two trees (tag #286 and 287) along the Williams Road frontage will require project arborist supervision during construction.
- Three hedge rows (tag# 289, 309 and 314) located on-site are in suitable condition for retention as impacts from proposed construction is expected to be minimal. These trees are to be retained as per City of Richmond Tree Protection Information Bulletin Tree-03 or as per Arborist report recommendations.
- 16 trees (tag #288, 290, 291, 292, 293, 294, 295, 312, 315, 322, 323, 324, 325, 326, 303 and 328) located on-site have been identified as unsuitable for retention. These trees are not good candidates for retention and should be replaced. Four trees (tag# 312, 322, 323 and 328) are in poor structural condition. Nine trees (tag #288, 290, 291, 292, 293, 294, 295, 315 and 326) are in marginal or poor condition with poor structural condition or in poor health and would be in conflict with proposed new construction. Three trees (tag# 324, 325 and 303) are in moderate condition but located within the middle of the proposed building envelope.
- Eight trees (tag# 316, 317, 318, 319, 320, 327, 329 and 330) located off-site along Gower Street on City property are to be protected as per Arborist report recommendations. Parks arborist staff have reviewed these trees and are in agreement.
- One tree (tag# 321) located off-site along Gower Street on City property is in very poor condition due to structural defects, decay and declining health and conflicts with sidewalk

works. As a result, this tree is not a good candidate for retention and should be removed. Parks arborist staff have reviewed the tree and are in agreement. The applicant has agreed to provide a voluntary contribution of \$650 for tree compensation planting elsewhere in the City.

- 13 trees (tag# 296, 297, 298, 299, 300, 301, 302, 304, 305, 306, 307, 308 & 313) located on neighbouring properties are identified to be retained and protected as per City of Richmond Tree Protection Information Bulletin Tree-03 or as per Arborist report recommendations.
- Replacement trees should be specified at 2:1 ratio as per the OCP.

Tree Replacement

The applicant wishes to remove 16 on-site trees (tag #288, 290, 291, 292, 293, 294, 295, 312, 315, 322, 323, 324, 325, 326, 303 and 328). The 2:1 OCP replacement ratio would require a total of 32 replacement trees, which the applicant has agreed to plant. As noted above, a landscaping and tree survival security letter of credit will be provided.

Tree Protection

Off-site, 13 trees on neighbouring properties and 8 trees in the City boulevard are to be retained and protected. The tree management plan included in the Development Variance Permit drawings identifies the trees to be retained and the measures taken to protect them during development stage. To ensure that the trees identified for retention are protected at development stage, the applicant is required to complete the following items:

- Prior to Development Variance Permit issuance, submission to the City of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones. The contract must include the scope of work required, the number of proposed monitoring inspections at specified stages of construction, any special measures required to ensure tree protection, and a provision for the arborist to submit a post-construction impact assessment to the City for review.
- Prior to demolition or construction activity on the subject site, installation of tree protection fencing around all trees to be retained. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin Tree-03 prior to any works being conducted on-site, and remain in place until construction and landscaping on-site is completed.

Engineering Works

The applicant has agreed to enter into a Servicing Agreement prior to future Building Permit issuance for the design and construction of frontage improvements and engineering infrastructure (Attachment 4). The works include frontage improvements along Williams Road and Gower Street and a water system upgrade through the site. Along Williams Road, new sidewalk and boulevard with street trees are proposed along the site frontage. Along Gower Street, new sidewalk and boulevard with street trees are proposed along the site frontage, connecting to the existing sidewalk at the cul-de-sac and a new sidewalk is proposed beyond the site frontage to Swansea Drive to the south. A new water main is proposed to connect the Williams Road and Gower Street water mains in a new proposed utilities statutory-right-of-way through the site.

Residential Intermediate Care Facility Requirements

Vancouver Coastal Health staff advise that the proposal was reviewed through a thorough evaluation process and is one of the successful projects for new/renovated beds for Vancouver Coastal Health in Richmond. This project aims to replace an aging facility that can no longer meet standards for the delivery of quality residential care. The new facility will meet or exceed standards, is in compliance with Vancouver Coastal Health Design Guidelines and licensing regulations.

The existing facility will be redeveloped, replacing 101 existing beds with 199 new beds of which 176 will be funded through a contract with Vancouver Coastal Health and 23 will be available for the private sector.

Vancouver Coastal Health staff advise that the garden on Gower Street is required for the provision of outdoor space for the residents and all outdoor spaces must be entirely secured with tall fencing and gates for the safety of residents in care, as the majority can suffer from moderate to severe dementia.

Conclusions

The proposal will provide an upgraded intermediate residential care facility with 98 additional beds addressing a need in our community and providing an improved facility for the residents in the existing facility. The variances have been satisfactorily addressed with the treatment of building massing, landscaping and the provision of parking, loading, Transportation Demand Management measures. The applicant has agreed to provide Development Variance Permit considerations and to enter into a Servicing Agreement for frontage improvements and infrastructure upgrades (Attachment 3). On this basis, staff recommend that the Development Variance Permit variance Permit be endorsed and issued by Council.

Sam Badyal.

Sara Badyal Planner 2

SB:rg

Attachment 1: Development Application Data Sheet Attachment 2: Neighbourhood consultation summary Attachment 3: Existing Facility Ground Floor Plan and Aerial Photo Attachment 4: Development Variance Permit Considerations



Development Application Data Sheet

Development Applications Division

Attachment 1

DV 16-733949

Address: 9580 Williams Road and 10060 Gower Street

Applicant: MQN Architects

Owner: Fraserview Retirement Community Ltd.

Planning Area(s): Broadmoor

	Existing		Proposed
Site Area	9580 Williams Rd (10060 Gower St)	9,083.3 m ² (795 m ²)	No change
Land Uses	Single-family resic Care Facility, M Vacant Lanc (Garden at 10060 G	ajor d	Care Facility, Major (Garden maintained at 10060 Gower St)
OCP Designation	Apartment Resid (Neighbourhood Res 10060 Gower	idential at	Complies
Zoning	Health Care (H (Single Detached (R 10060 Gower	S1/E) at	No change Variances to HC zone noted below
Number of Units	1 single-family h 101 bed care fa		199 bed care facility

9580 Williams Road	Bylaw Requirement	Proposed	Variance
Floor Area Ratio (FAR)	Max. 1.0 Max. 0.4 Amenity	1.0 0.24	None permitted
Lot Coverage	ot Coverage Max. 45%		3% increase
Setbacks: Williams Rd Gower St Side Yard (East) Rear Yard (South)	Min. 6 m Min. 6 m Min. 6 m Min. 6 m	50.7 m 2.2 m to 6 m 4.7 m to 6 m 6 m	From 6 m to 2.2 m From 6 m to 4.7 m
Height	Max. 12 m	11.95 m	None
Off-street Parking Spaces 61 with TDMs		58 with TDMS	3 space reduction
Accessible Parking Spaces 2%		2%	None
Small Car Parking Spaces Max. 50%		47%	None
Tandem Parking Spaces	None permitted	None	None
Loading Spaces	2 Medium SU-9 1 Large WB-17	1 Medium SU-9 & Manoeuvring for SU-9/MSU	Providing 1 SU-9 & SU-9/MSU manoeuvring
Bicycle Parking Class 1 secure Class 2 outdoor	31 31	8 11	23 space reduction 20 space reduction



Fraserview Neighbourhood Consultation

16.11.04

Overview

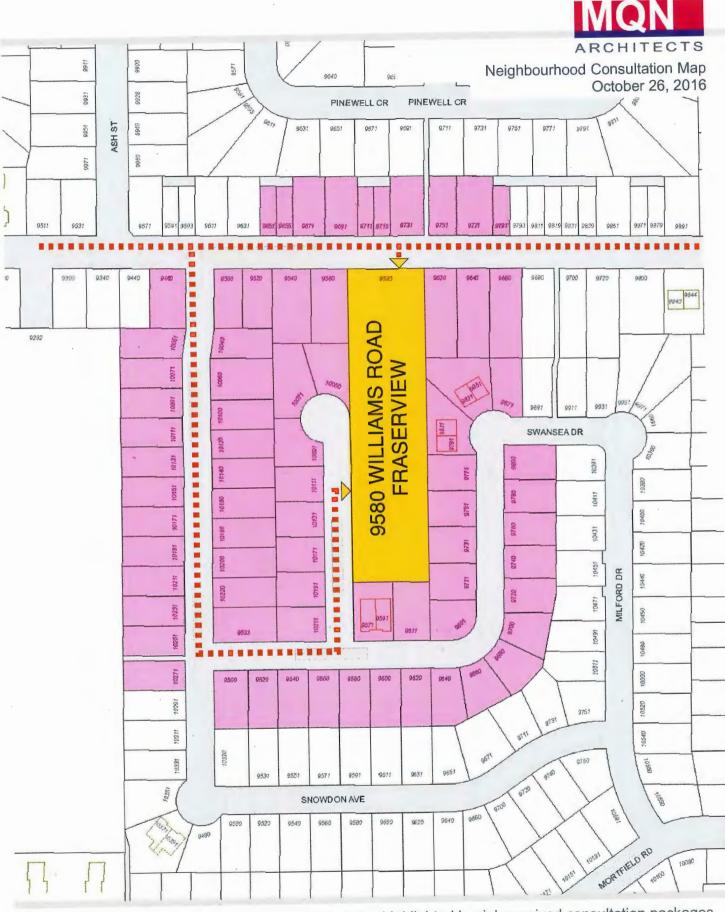
On October 26, 2016 Kevin Svoboda, President, and Sharlene Liang, Administrative Assistant, Fraserview Retirement Community Ltd., walked door to door to all houses within 50 meters of the proposed project. A detailed summary of all houses visited and if there were any comments by owners is provided on the attached schedule.

Sharlene speaks both Mandarin and Cantonese and this was helpful in explaining details of the proposal to a variety of neighbours.

One follow up email was received from Hitoshi Yamamoto (9731 Swansea Drive) the evening of October 26th and it is attached. Sharlene and Dash (10191 Gower Street) bumped into each other on Gower Street on November 1st and Dash asked if it could be mentioned that he is unhappy about garbage trucks making noise at 7 am on most Friday's and driving unprofessional.

All deliveries and private contracted garbage services for the facility are being informed that they are only to deliver between 08:00 and 17:00. The client has contacted the private garbage contractor and conveyed the neighbour's concern about the unprofessional driving.

No other correspondence or phone calls were received by Kevin Svoboda or Roger Green, Architect.



Properties highlighted in pink received consultation packages Dotted orange line represents delivery routes to property

Fraserview Neighbourhood Consultation - October 26, 2016

House Address	Time	Package Delivered		Comments/Discussion with the home owner
		In Person	Mailbox	
Williams Rd				
9791	9:45am		V	·
9771	9:47am		V	
9751	9:49am		V	
9731	9:51am		V	
9715	9:53am	v		Owner's name: Sunny Family of Fraserview resident , happy with things and looking forward to the new building
9711	9:54am		V	
9691	9:56am		V	
9671	9:57am		V	
9655	9:59am		V	Spoke over the intercom. Asked to leave information in mailbox
9651 .	10:00am		V	
9500	10:01am		V	
9520	10:02am	V		After providing an overview of proposal owner joked, please keep a room for me as I am getting older
9540	10:06am		V	
9560	10:07am	V		 Was happy to hear driveway entrance is being moved to other side or property Complained the trees and the hedge are too tall as they block the second floor view and squirrels and pine needles get on to their property. Would like to see those trees trimmed. Note: Will follow up with property owner prior to trimming hedge to confirm height.
9620	10:14am		V	
9640	10:16am	V		Thank you. If I have any questions I will contact you
9660	10:18am		V	
9460	10:23am	V		Thank you
Severn Dr, W	/			
10051	10:24am		V	
10071	10:25am	1	V	
10091	10:26am	V		Owner only speaks mandarin. Sharlene explained about the project and they will contact her if have any questions
10111	10:29am	V		Thank you, no questions at this point
10131	10:33am	V		Thank you, will review it
10151	10:34am		V	
10171	10:35am	V		Thank you, will review it
10191	10:36am		V	
10211	10:37am		V	
10231	10:38am		V.	
10251	10:39am	V	1	questions

		1	1	Explained project details and after reviewing the schematics,
10271	10:42am	N		commented very beautiful facility
10271	10:42am	V		
Swansea Dr.				
		8 8 8 8 8 8 8		Owner invited us in the house and we explained project. He was
				surprised at the amount of soil being trucked away. We reviewed
				construction plan, timelines and building details. He was happy to see
				the facility upgrading.
	1			He did mention that when the equipment is working he can feel the
				ground shaking and it makes you realize how fluid the Richmond soil is
				He asked if we would be able to mention that the Harvest
	1			composting/recycling facility causes a really bad smell in the air around
		- 1		the community and everybody is complaining about it and something
9500	10:47am	v		needs to be done
9520	10:54am		V	
9540	10:55am		V 	
9560	10:56am		V	i Owner's name: Dharam I
				have no concerns, it is good for the seniors. Good for kitchen access
				and main entrance access to be separate. This is a good area for a
9580	10:58am	V		seniors home.
9600	11:05am		V	
9620	11:06am		V	•
9640	11:07am		V	
9660	11:08am		V	••••••••••••••••••••••••••••••••••••••
9680	11:09am		V	
9700	11:10am		V	•
			1	I like the facility very much. I heard about the expansion and I am
				happy about it. I appreciate that you, as an owner, inform us door to
				door making all this effort. When will it be finished as my in laws will
9720	11:12am	V		need spots in Fraserview.
9740	11:17am	V		Thank you no questions
9760	11:18am		V	
9780	11:19am	V		Thank you will leave it for my parents
9800	11:22am	V		Thank you, will review it
9871	11:25am		ļ٧	
9851A	11:26am	<u>v</u>	Ļ	Ļ
9851B	11:26am		V	ļ
9831A	11:27am		٧	
9831B 9811	11:27am		V	
	11:28am		٧	ļ
9791	11:29am		V	ļ
9771	11:32am		٧	
9751	11:33am	<u> </u>	<u>.</u> √	

	1			
				Thank you. Please note Kevin went back at 4:00 pm and met wit property owner Hitoshi as well as Valencia the neighbour from 9
				Swansea. One hour was spent talking about the proposal as wel
				details of operations, including memory care and activities provi
				Main items - Maintain the hedge as high as possible, continue w
				control as not done by previous owner and deliveries and garde
				should not be too early (had an issue with a neighbours gardene
				fence is to be replaced Fraserview will cover the cost. Valencia jo about having a gate through the fence so her and her family cou
				enjoy the walkways and garden area. Hitoshi also provided infor
9731	11:34am	V		on a water filter that he could sell to Fraserview.
9711	11:35am			
9691	11:36am		V	
9611	11:39am		V	
9591	11:40am	•	V	
9571	1:21pm	1		Thank vou. will review it
<u> </u>	1.21011			
Gower St.				
10091	1.04000	V		Owner only speaks mandarin, will contact sharlene if have any questions about proposal
10091	1:04pm	V		duestions about proposal
10111	1:06pm		V	
	1:08pm	1	V	
10171	1:10pm		V	
				Owner's name : Dash
				Asked about timelines and was happy to hear that preloading w
				6-8 weeks and not months. Was also happy that there was no dr
				on Gower as there currently is one on the empty lot.
10101	1.10	.1		Asked to plant more nice size trees and have more nice landscap
10191 10211	1:12pm 1:19pm	V		he does not only see building from his upstairs.
10211	1.13011			
Severn Dr. E				
9533	1:23pm		V	
10220	1:25pm		V	
10200	1:27pm		√	
10180	1:28pm		V	
10160	1:30pm		V	
10140	1:31pm	V		questions
				Owner's name : Eliza
				After explaining project she had the following comments: I supp
				is no nice and so close to our home. I would like to have beds for
				laws. It is good no residents need to move during construction. I
10120	1:32pm	V		have a job in the facility for me as I am a stay at home mom.
10100	1:38pm		V	
10080	1:39pm		V	
10060	1:39pm		V	
10040	1:40pm		V	

	4.0	
Williams:	18	
Severn:	23	
Gower:	6	
Swansea:	31	
Total in mailbox	delivery	54 (69% of total house visited)
Total Mandarin	speaker:	4 (5% of total house visited)

Roger Green

From:	Hitoshi Yamamoto <yamayama@shaw.ca></yamayama@shaw.ca>
Sent:	Wednesday, October 26, 2016 7:52 PM
To:	Kevin Svoboda
Subject:	Re: Fraserview Retirement Community
Follow Up Flag:	Follow up

Completed

Hi Kevin,

Flag Status:

It was please to meet you today at my home. It will be an exciting 3 years to come. If any thing I notice, I will inform you.

By the way,

Here are some information about water pipe that I showed you today.

This is our company video. https://www.youtube.com/watch?v=5JI2kG8P4to

This is why we need Hydrogen, please watch the video http://www.molecularhydrogenfoundation.org/videos/

Here are some testimonials http://newg7.com/en/

This is Mindfulness video, Tameshite-Gatten https://www.youtube.com/watch?v=nh8jqdtUPYA

This is Japanese main company's site http://crystal-gaia.com/index.php?syohin

Please contact me for any question.

Best Regards,

Hitoshi Yamamoto

From: Kevin Svoboda Sent: Wednesday, October 26, 2016 12:06 PM To: yamayama@shaw.ca Subject: Re: Fraserview Retirement Community

Hi Hitoshi

I just dropped an information package off at your house and would be available to meet earlier if that works for you as it would help me out.

Please let me know if you are available. If not I will meet you at 4:30.

Regards Kevin

Sent from my iPhone

On Oct 26, 2016, at 10:46 AM, "yamayama@shaw.ca" <yamayama@shaw.ca> wrote:

9731 Swansea drive. Richmond Thank you Sent from my BlackBerry[®] phone powered by Koodo Mobile[®].

From: Kevin Svoboda <KSvoboda@kaigo.ca> Date: Wed, 26 Oct 2016 15:30:04 +0000 To: Hitoshi Yamamoto<yamayama@shaw.ca> Subject: Re: Fraserview Retirement Community

Hi Hitoshi

I can't seem to find your address. If you could please provide.

I look forward to meeting you this afternoon.

Kevin

Sent from my iPhone

On Oct 25, 2016, at 8:05 PM, Hitoshi Yamamoto <yamayama@shaw.ca> wrote:

I will meet you at 430 pm. Hitoshi

From: Kevin Svoboda Sent: Tuesday, October 25, 2016 4:42 PM To: Hitoshi Yamamoto Subject: RE: Fraserview Retirement Community

Hi Hitoshi:

4:30 tomorrow afternoon would work. Please confirm your address.

I was hoping to meet individually with the neighbours to spend more personal time answering questions and providing an overview of the project.

Look forward to meeting.

Regards,

Kevin Svoboda President Kaigo Senior Living Group #303-1055 West Broadway Vancouver, B.C. V6H 1E2 Tel: 604-733-6229 #101

Fax: 604-733-6228

This email may contain confidential or privileged information. If you are not the intended recipient please delete this email and notify us immediately. Thank you.

From: Hitoshi Yamamoto [mailto:yamayama@shaw.ca] Sent: Tuesday, October 25, 2016 4:32 PM To: Kevin Svoboda <KSvoboda@kaigo.ca> Subject: Re: Fraserview Retirement Community

Hi Kevin,

Did you invite neighbours? I think we should all get together in one area to talk instead of individually.

I don't know neighbour's schedules.

I can be home around 4 30 pm tomorrow unless I get emergency call.

Thank you

Hitoshi

From: Kevin Svoboda Sent: Tuesday, October 25, 2016 3:54 PM To: HITOSHI YAMAMOTO Subject: RE: Fraserview Retirement Community

Hello Hitoshi:

I know it is short notice but tomorrow I will be in the area and hope to meet the neighbours to provide some information about the project. Please let me know if there is a good time I could come by your house.

Regards,

Kevin Svoboda President Kaigo Senior Living Group #303-1055 West Broadway Vancouver, B.C. V6H 1E2 Tel: 604-733-6229 #101 Fax: 604-733-6228

This email may contain confidential or privileged information. If you are not the intended recipient please delete this email and notify us immediately. Thank you.

From: HITOSHI YAMAMOTO [mailto:yamayama@shaw.ca] Sent: Friday, September 09, 2016 1:15 PM To: Kevin Svoboda <KSvoboda@kaigo.ca> Subject: Re: Fraserview Retirement Community

Hi Kevin,

Thank you for your reply.

I forwarded your answers to my both side of neighbors. I will wait their responses and talk to them. I am looking forward to meet you soon.

Thank you

Hitoshi Yamamoto

From: "Kevin Svoboda" <KSvoboda@kaigo.ca> To: "Hitoshi Yamamoto" <yamayama@shaw.ca> Cc: "Lawrence Chiu" <Lawrence.Chiu@wspgroup.com>, "Steven Case" <Steven.Case@wspgroup.com>, RGreen@mqn.ca, SBadyal@richmond.ca Sent: Friday, September 9, 2016 11:00:48 AM Subject: RE: Fraserview Retirement Community

Hi Hitoshi:

Thank you for your questions. Please see answers below.

Also to share that in the next couple weeks I plan to walk the area to try and meet with the neighbour's to review the plans and answer any questions. If you like I can email you when I know the date so we could meet and review the items?

Regards,

Kevin Svoboda President Kaigo Senior Living Group #303-1055 West Broadway Vancouver, B.C. V6H 1E2 Tel: 604-733-6229 #101 Fax: 604-733-6228

This email may contain confidential or privileged information. If you are not the intended recipient please delete this email and notify us immediately. Thank you.

From: Hitoshi Yamamoto [mailto:yamayama@shaw.ca]
Sent: Sunday, September 04, 2016 9:04 AM
To: Kevin Svoboda <KSvoboda@kaigo.ca>
Cc: Lawrence.Chiu@wspgroup.com; Steven.Case@wspgroup.com; RGreen@mqn.ca;
SBadyal@richmond.ca
Subject: Re: Fraserview Retirement Community

Hi Kevin,

We had a couple of gentlemen from WSP to assess my house and property. They took many pictures for evidences before construction begins.

I would like to have those pictures with explanations for my record.

I asked a few questions to them but they are not in position to answer me.

- if I ask a copy of those reports, who is going to pay for it? I would be happy to provide a copy of the section of the report that outlines your property. I would cover the cost.

- if I find new cracks or existing cracks get bigger, wider, longer than original on walls, that is not difficult to repair,

but why cracks get bigger or so, because the house foundation is shifting, who will fix this shifting foundation, how? This is difficult to answer without knowing details of any possible pre-existing condition and construction quality. I have retained engineers to plan, oversee, and assess construction throughout the building process to mitigate any potential damage. Now I can say that if there was something that was clearly due to the contractors actions I would repair the damage.

- when you dig your side deep for new building foundation close to the fence, you are cutting off Roots of trees which may lead to killing of trees

how can you prevent this? On the south lot there is a 6 meter setback. An Arborist has also been retained and will oversee the process.

Your previous answer regarding trees said "in bad shape" but I don't see any bad shape trees from my yard. Did arborist come to my yard to exam? Sorry for the confusion I was referring to some trees that are on my vacant lot. The Arborist did not enter your yard.

Thank you

Hitoshi Yamamoto

From: Kevin Svoboda

Sent: Wednesday, August 31, 2016 10:26 AM To: yamayama@shaw.ca Cc: Lawrence.Chiu@wspgroup.com ; mailto:Steven.Case@wspgroup.com ; mailto:RGreen@mqn.ca ; mailto:SBadyal@richmond.ca Subject: Fraserview Retirement Community

Hello Mr. Yamamoto:

I am the owner of Fraserview and was forwarded your email that was sent to Lawrence at WSP. Below, please find answers to your questions:

-what kind of heavy machineries to be used for this project? - An excavator, bulldozer and compactor will be used during construction.

-are you piling spikes to ground for postings? - No this is not anticipated. -how many story is this new building? - A mix of 2 and 3 stories

-how close new building to the fence? - The new building is 4.7m to 6m away from the east property line.

-are you going to cut trees between your property and my backyard? – We are still finalizing details of the arborist report but the hedge that is along the East property line is in bad shape and may need to be removed. If this is the case a new hedge will be planted.

-any commercial kitchen is in new building? – The existing kitchen will be upgraded and retained at the original location along Gower St.

-any kitchen exhaust fan? - Yes, a new exhaust fan will be installed.

-any odour control is used, (UV system?) – This is not necessary as we don't have heavy effluent as we do not have a deep fryer or char broiler. All cooking is done in pots, the oven or steamer.

-any rodents control applied? - Yes. We have a contract with PCO for pest control and this will be maintained during and after construction.

Thank you for contacting us and should you have any further questions please do not hesitate contacting me.

Regards,

Kevin Svoboda President Kaigo Senior Living Group #303-1055 West Broadway Vancouver, B.C. V6H 1E2 Tel: 604-733-6229 #101 Fax: 604-733-6228

This email may contain confidential or privileged information. If you are not the intended recipient please delete this email and notify us immediately. Thank you.

Fraserview Retirement Community Ltd.

Fraserview has been an integral part of the Richmond community for 45 years, providing complex care to 101 residents in private and semi-private furnished rooms. Over these 45 years the facility has grown and changed with the needs of its residents however the existing building is no longer capable of meeting the demand and client needs. In order to continue providing care in Richmond, Fraserview is proposed to undergo an exciting redevelopment.

Over the next three years a new two/three-storey residence is proposed to be constructed on site to replace the current aging facility. This proposed redevelopment will be done in stages to ensure that residents are not displaced. When complete, the new facility will be equipped to care for 199 residents with 176 government-subsidized complex care beds to meet the community's growning needs.

The new Fraserview facility will provide a higher standard of living for residents including the following complex care services:

- 24-hour professional staff supervision
- Medical coordinator
- Dietician
- Recreation therapist
- Occupational therapist
- Physical therapist
- Social worker
- Music / art therapist
- Dementia / memory care specialist

So what does this all mean to you?

As neighbours of this proposed redevelopment project you are likely curious as to how this project will affect your neighbourhood. To enable this project to proceed a Development Variance Permit is required to request a reduction to the Gower Street and east setbacks and parking requirements (refer to City of Richmond DV 16-733949) which are further described on the following pages. Attached to this letter are a set of drawings showing the proposed new facility.

In preparation for construction the project has engaged a company to video-analyze the adjacent city pipes. A second company has been engaged to conduct a pre-construction building assessment of adjacent properties and has contacted neighbours and is finalizing their report. The property currently has a number of trees on it, a certified arborist has been engaged to assess the condition of the existing trees. Should you like a copy of the arborist report and pre-construction building assessment please contact the owner.



Fraserview Retirement Community Ltd.

Fraserview Retirement Community Ltd.

The site is currently Zoned Health Care (HC). The proposed facility will conform to the requirements as set out in Richmond's Zoning & Development Bylaw 8500 except for the Variances outlined below. The facility is classified as a Community Care Facility, Major.

This project is applying for the following variances to achieve the Vancouver Coastal Health Authority's design guidelines:

1. Lot Coverage: The zoning for this project allows for 45% maximum lot coverage. Currently the facility design is at 47.8%. We are proposing to mitigate this 2.8% overage on site coverage by incorporating permeable surfaces. Although coverage exceeds the maximum, this facility also utilizes 10060 Gower Street as gardens for the residents. 10060 Gower is not included in the lot coverage calculation as it is zoned differently, however it is required for the operation and includes and additional 795m2 of outdoor area. If the area of 10060 Gower was included the lot coverage would be 44.0%.

2. Setbacks: The zoning requires minimum front, side and rear yard's = 6.0m

i) North Building (Houses A & B) – West setback (House A) - The existing House A has a West setback = 5.99m. The new proposed House A has a West setback = 3.6m. The west setback has been reduced to enable an increase in the east setback from the existing 4.6m to 5.7m. This reduction in setback is required because the New VCH Design Guidelines require larger resident rooms than what currently exist in the demolished Existing House A. We would point out that a large portion of this House A fronts onto the existing outdoor garden located on the adjacent lot which is also owned by Fraserview Retirement Community Ltd. This garden has been in existence for many years and is the primary outdoor amenity space for the entire facility.

ii) Centre Building (House C) – East setback - The existing House C has an East setback ranging from 3.5m to 4.7m. The new proposed House C has an East setback = 4.7m. The new East setback is an improved condition. The height of the proposed House C is 2 stories which is consistent with the existing.

West setback - The existing House C has a West setback = 2.2m. The setback remains the same as this portion of the existing building is being incorporated into the new facility.



Fraserview Retirement Community Ltd.

Project Information

Development Variance Permit Application - DV 16-733949

Development Address - 9580 & 9600 Williams Rd, 10060 & 10140 Gower St, Richmond, BC (Addresses may change through combining of lots)

Applicant: MQN Architects

Should you have any questions or comments please feel free to contact Architect Roger Green (250) 542-1199 or the Owner Representative Kevin Svoboda (604) 733-6229.

Architect:

Roger Green MQN Architects (250)542-1199 rgreen@mqn.ca

Owner:

Kevin Svoboda Fraserview Retirement Community Ltd. (604)733-6229 ksvoboda@kaigo.ca

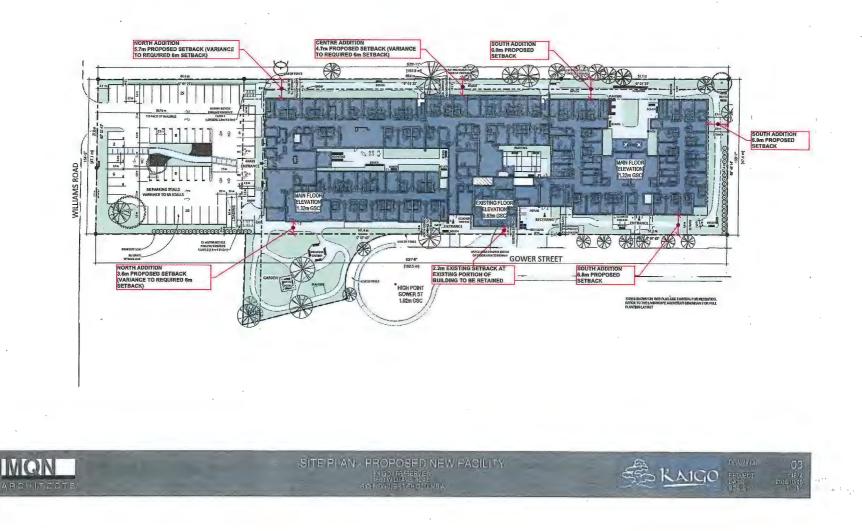
City of Richmond Planning Department:

Sara Badyal - Planner 2 Development Applications Department City of Richmond (604)276-4282 sbadyal@richmond.ca



Fraserview Retirement Community Ltd.





z(



ZH

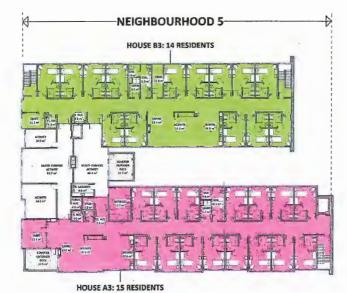




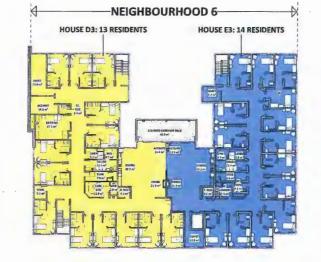


z(_)





IMQN



z()





NOTE: MAIN FLOOR ELEVATION 0.00m = 1.32m GSC THE HIGH POINT OF GOWER STREET = 1.02m GSC

WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION





ARCHITECTS



PERSPECTIVE - SOUTHWEST VIEW - HOUSES DAE

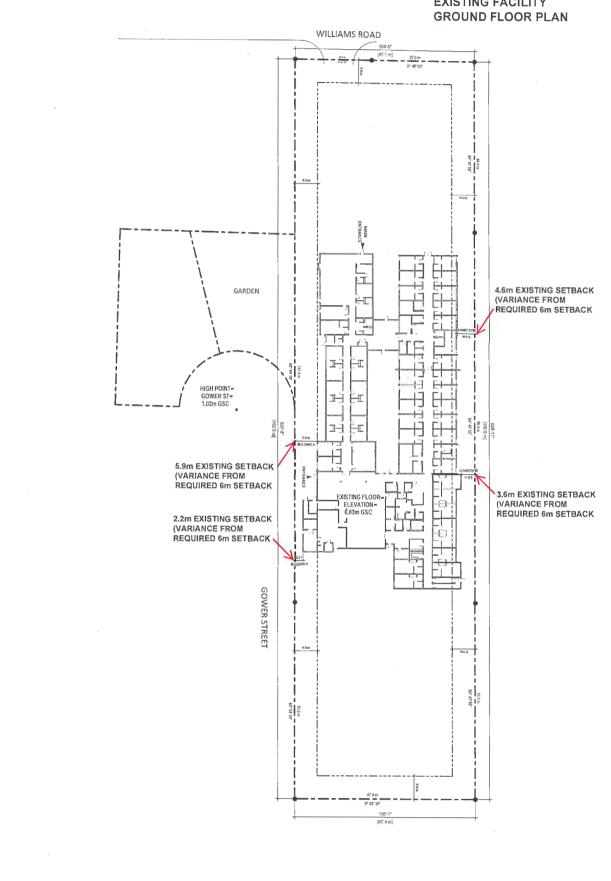




ATTACHMENT 3

N





STATE SETTAT

ARCHITECTS

E

EXISTING SITE PLAN

KAIGO - FRASERVIEW RICHMOND, BRITISH COLUMBIA

KAIGO

PROJEC DATE: SCALE:

14874 \$/06/15 1 : 250 4



Attachment 4

File No.: DV 16-733949



Development Variance Permit Considerations Development Applications Department 6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 9580 Williams Road and 10060 Gower Street

Prior to final approval of the Development Variance Permit, the developer is required to complete the following:

- 1. Registration of a flood plain covenant on title (Area A with Flood Construction Level for new construction minimum 0.3 m above highest crown of Gower Street as per Director of Engineering).
- 2. Registration of a legal agreement on title to 10060 Gower Street to prohibit future development and to ensure the provision of the outdoor open space garden with structures for the use of care facility residents.
- 3. Registration of a legal agreement on title to restrict truck access to and egress from the site to/from Gower Street to: (i) a maximum of 6 Single Unit (SU9) or smaller trucks per week with maximum 9.1 m truck length and loading activity to occur on-site; (ii) a maximum of 8 Medium Single Unit (MSU) or smaller trucks with maximum 10 m truck length and truck turnaround to occur on-site; (iii) limited loading hours of 8am to 5pm Monday through Friday only, no weekend deliveries; and (iv) specified on-site loading and turnaround area free and clear of any obstructions.
- 4. Registration of a legal agreement on title to prohibit parking space assignment.
- 5. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the 9 on-site trees and 3 on-site hedges to be retained, 8 off-site trees in the Gower Street City boulevard to be protected, and 13 trees on neighbouring residential properties to be protected. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections (no less than 4), and a provision for the Arborist to submit a post-construction assessment report to the City for review. Tree protection fencing is to be installed on-site prior to any construction activities occurring on-site.
- 6. City acceptance of the developer's offer to voluntarily contribute \$650.00 to the City's Tree Compensation Fund for the planting of replacement trees within the City in compensation for the removal of one cherry tree from the City's Gower Street boulevard.
- 7. City acceptance of the developer's offer to voluntarily contribute \$25,000.00 towards a bus shelter near the vicinity of the site on Williams Road.
- 8. Receipt of a Letter of Credit for landscaping and tree survival in the amount of \$222,814.74. Letter-of-Credit will not be released until the Letter of Assurance from the Landscape Architect confirming that landscaping has been installed as per Development Variance Permit, as well as the Post Construction Impact Assessment Report from the Arborist; confirming that the protected trees survived the construction, are reviewed by staff.

Prior to Building Permit Issuance, the developer must complete the following requirements:

- 1. Incorporation of the following measures in Building Permit (BP) plans as determined via development design and legal agreements via the Development Variance Permit process: vehicle and bicycle parking; truck loading and manoeuvring; 5 dedicated scooter parking spaces with electrical outlets for charging; and end of trip washrooms with showers for male and female employees.
- Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management
 Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and
 proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of
 Transportation) and MMCD Traffic Regulation Section 01570.
- 3. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
- 4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

- 5. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements and grant any statutory public rights of passage and utilities rights-of-way to accommodate the works as needed. Works include, but may not be limited to, the following frontage improvements and servicing upgrades:
 - a. Road Works:
 - i. <u>Williams Road</u>: provide minimum 1.5 m wide grass boulevard with street trees behind barrier curb; provide 1.5 m wide concrete sidewalk at property line with transitions tying into existing sidewalk east and west of the development site; meander sidewalk onsite to avoid conflict with existing hydro pole if the pole cannot be relocated; and provide bike lane green bike paint and stencil at drive way crossing.
 - ii. <u>Gower Street</u>: provide 1.5 m wide concrete sidewalk behind barrier curb tying into existing sidewalk at the cul-de-sac and Swansea Drive to the south of the development site; provide grass boulevard with street trees between sidewalk and property line; and meander sidewalk onsite to avoid conflict with tree protection zone of the 5 cherry trees to be retained in the Gower Street boulevard.
 - iii. Granting of statutory public rights of passage and utilities rights-of-way (PROP and utilities SRW) for the purposes of City sidewalk and City utilities meandering onto the development site along the Williams Road and Gower Street property lines. The works are to be built by the developer and are to be maintained by the City. A functional plan based on survey is required to the satisfaction of the City to confirm new sidewalk/SRW alignment along Williams Road and Gower Street.
 - b. Water Works:

Using the OCP Model, there is currently 86 L/s of water available at 20 psi residual at the hydrant on Gower Street and 652 L/s of water available at 20 psi residual at the Williams Road frontage. Based on the proposed development, the site requires a minimum fire flow of 250 L/s.

- i. The Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
 - Install approximately 110m of 200mm watermain connecting Gower Street and Williams Road watermains to satisfy fire flow requirements at the Gower Street frontage.
 - Grant a 6.0 m wide statutory utilities rights-of-way (utilities SRW) through the development site to accommodate the new required watermain.
 - Connect all on-site fire hydrants necessary to meet Fire Department requirements internally to the sites water service connection. On-site fire hydrants shall not connect directly to City watermains.
- ii. At the Developer's cost, the City will:
 - Cut and cap at main, the existing water service connections to lots 9580 and 9600 Williams Road.
 - Install a single new water service connection off of the existing 300mm PVC watermain on Williams Road. Meter to be placed onsite (i.e. mechanical room). Alternatively, the proposed water service may be installed off of the proposed watermain to be located within the proposed SRW parallel to Gower Street if that helps with phasing.
 - Perform all tie-ins of proposed works to existing City infrastructure.
- c. Storm Sewer Works:
 - i. The Developer is required to:
 - Direct all onsite drainage to the Williams Road frontage to be picked up by the newly installed service connection. Alternatively, connection to the sewer system on Gower Street may be permitted; however, upgrades to the system downstream, to be determined via a capacity analysis by the developer, may be required beyond the site's frontage.
 - ii. At the Developer's cost, the City will:
 - o Install a new storm service connection complete with inspection chamber at the Williams Road frontage.
 - Cut and cap all existing storm service connections to the development site and remove inspection chambers STIC48840 at the Williams Road frontage, STIC52931 and STIC38532 at the Gower Street frontage.

o If required, re-connect storm service connections of all affected lots to the newly upgraded storm sewer.

d. Sanitary Sewer Works:

- i. The Developer is required to:
 - Video inspect the existing sanitary sewer along the entire east property line of the development site and the sewer running within the site to confirm the condition both prior to and post preload and soil densification works. Any portions of the sanitary sewer impacted by the pre-load, soil densification, or other site preparations shall be replaced at the developer's cost.
- ii. At the Developer's cost, the City will:
 - Cut and cap all existing sanitary service connections to the development site and remove inspection chambers SIC16502, SIC2942 and SIC16478.
 - Install three new sanitary service leads, complete with inspection chambers, to service the development site throughout the three phases. Provided that hydraulic requirements are met, the existing manholes may serve as inspection chambers, re-benched as needed.
- e. Third Party Utilities Works:
 - i. The Developer is required to:
 - Coordinate with BC Hydro, Telus, and other private communication providers when modifying or relocating poles, anchors, or overhead lines along the developments frontage.
 - Relocate the existing BC Hydro kiosk on the Gower Street frontage to the ultimate location on-site as required to facilitate installation of the proposed frontage upgrades (sidewalk, boulevard, etc.). The developer should coordinate with BC Hydro early to identify a location within the development site if relocation is necessary. Any relocation works to be at the developer's cost.
 - Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be provided for design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:

BC Hydro PMT	4 m x 5 m	(width x depth)
BC Hydro LPT	3.5 m x 3.5 m	(width x depth)
Street light kiosk	1.5 m x 1.5 m	(width x depth)
Traffic signal kiosk	1 m x 1 m	(width x depth)
Traffic signal UPS	2 m x 1.5 m	(width x depth)
Shaw cable kiosk	1 m x 1 m	(width x depth) – show possible location in functional plan
Telus FDH cabinet	1.1 m x 1 m	(width x depth) – show possible location in functional plan

f. General Items:

- i. The Developer is required to:
 - Provide, prior to pre-load installation, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting or within the development site (e.g., existing sanitary main to the east and within the site, watermain to the west of the site), proposed utility installations, the existing houses surrounding the site, and provide mitigation recommendations. The mitigation recommendations shall be incorporated into the first SA design submission or if necessary to be implemented prior to pre-load.
 - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants
 of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.



To the Upider

Development Variance Permit

No. DV 16-733949

To the holder.	MQN ARGITLEGTS
Property Address:	9580 WILLIAMS ROAD AND 10060 GOWER STREET
Address:	ROGER GREEN MON ARCHITECTS 3313 32ND AVENUE, UNIT 100 VERNON, BC V1T 2M7
	`

MON ADOUTEOTS

- 1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
- 2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
- 3. The "Richmond Zoning Bylaw 8500" is hereby varied as follows:
 - a) Increase the maximum permitted lot coverage from 45% to 48%.
 - b) Reduce the minimum side yard setback from 6.0 m to 2.2 m for the west side yard and 4.7 for the east side yard.
 - c) Revise Transportation related requirements to:
 - i. Increase the maximum on-site parking reduction with transportation demand management measures from 10% to 13%;
 - ii. Reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck; and
 - iii. Reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces.
 - d) The dimension and siting of buildings and structures on the land shall be as shown on Plans #1 to 11 attached hereto.
 - e) The siting of off-street parking and loading facilities shall be as shown on Plan #2 attached hereto.
- 4. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

Development Variance Permit No. DV 16-733949

To the Holder:

MQN ARCHITECTS

Property Address: 9580 WILLIAMS ROAD AND 10060 GOWER STREET

Address:

ROGER GREEN MQN ARCHITECTS 3313 32ND AVENUE, UNIT 100 VERNON, BC V1T 2M7

5. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

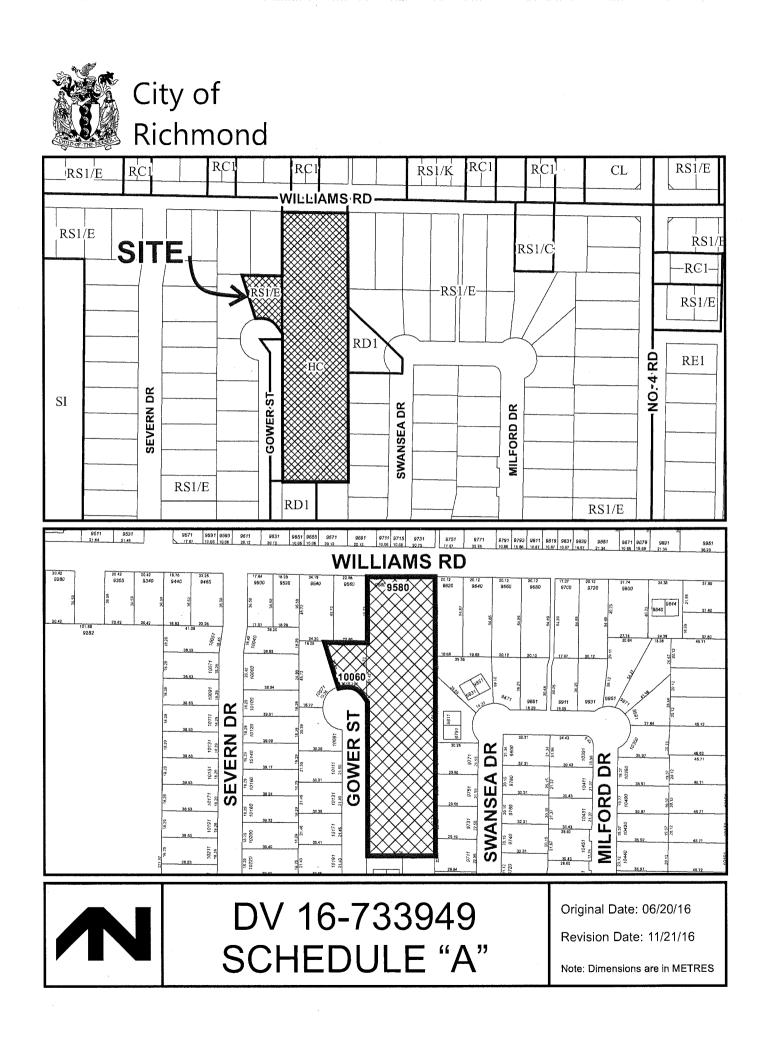
This Permit is not a Building Permit.

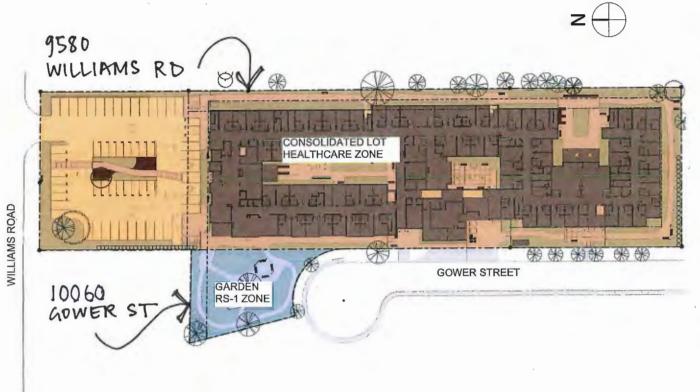
AUTHORIZING RESOLUTION NO. DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR





Notes:

- Variances included to:
 - o Increase the maximum permitted lot coverage from 45% to 47.8% (Zoning Bylaw Section 13.4.5).
 - o Reduce the minimum side yard setback from 6.0 m to a range of 2.2 m to 6.0 m (Zoning Bylaw Section 13.4.6). o Increase the maximum on-site parking reduction from 10% to 13% (Zoning Bylaw Section 7.4.4).

 - o Reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck (Zoning Bylaw Section 7.13.6).
 - o Reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces (Zoning Bylaw Section 7.14.9).
- Existing tree and hedge protection as per Tree Management DV Plan. 9 trees and 3 hedges required to be protected on-site. 8 trees in . Gower Street boulevard to be protected off-site. 13 trees on neighbouring properties to south and east required to be protected onsite. Tree protective fencing and contract for Certified Arborist supervision required.
- Flood Construction Level for new construction minimum 0.3 m above highest crown of Gower Street via legal agreement.
- Existing garden at 10140 Gower Street required to be retained for care facility outdoor open space via legal agreement. .
- Truck access and egress to the site from Gower Street restricted via legal agreement to: • (i) maximum 6 Single Unit (SU9) or smaller trucks per week and loading activity to occur on-site; (ii) maximum 8 Medium Single Unit (MSU) or smaller trucks and truck turnaround to occur on-site; (iii) limited loading hours of 8am to 5pm Monday through Friday; and (iv) specified on-site loading and turnaround area free and clear of any obstructions. Assignment of parking spaces is prohibited via legal agreement. •
- 2 accessible parking spaces required. .
- End of trip washrooms with showers for male and female employees required. •
- Retaining walls are not permitted in right-of-way areas or tree protection zones without prior written approval from the City. .
- Off-site works via separate required Servicing Agreement for frontage, water system and service connection work. .

ZONING AMMENITY FLOOR AREA / 2,173.8 m² HOUSE D1 12 TOTAL STALLS: 58 MAIN FLOOR HOUSE D1 ZONE HC AMMENITY FLOOR AREA RATIO 0.40 (MAX) 2,173.8/9,083.3 = 0.24 HOUSE D1 14 MAIN FLOOR HOUSE D1 HOUSE E1 14 MAIN FLOOR HOUSE E1 MAIN FLOOR HOUSE E1 HOUSE E1 14 MAIN FLOOR HOUSE E1 MAIN FLOOR HOUSE E1 HOUSE	GROSS FLOOR AREA		
ADDRESS 9580 WILLIAMS ROAD, RICHMOND, BC P.I.D. 008-115-320, LOT 1, PLAN 75272, SE 34-4-6 P.I.D. 008-115-320, LOT 1, PLAN 75272, SE 34-4-6 ZONING ZONE HC PROPOSED USE: COMMUNITY CARE FACILITY, MAJOR TEM REQUIRED REQUI	E AREA (m ²)	AREA (SF)	
ADDRESS STAIR / ELEVATOR AREA EXCLUDED / 270.7 m² HOUSE A1 15 90° - SMALL - 2.3mx4.6m 19 MAIN FLOOR HOUSE A1 9580 WILLIAMS ROAD, RICHMOND, BC / 0.00 (MAX) 9,083.3m² HOUSE B1 14 90° - SMALL - 2.3mx4.6m 6 MAIN FLOOR HOUSE B1 100 (MAX) 9,083.3m² HOUSE B1 12 90° - STANDARD - 2.65mx5.5m 31 MAIN FLOOR HOUSE B1 12 90° - STANDARD - 2.65mx5.5m 31 MAIN FLOOR HOUSE B1 12 90° - STANDARD - 2.65mx5.5m 31 MAIN FLOOR HOUSE B1 12 90° - STANDARD - 2.65mx5.5m 31 MAIN FLOOR HOUSE B1 HOUSE B1 12 90° - STANDARD - 2.65mx5.5m 31 MAIN FLOOR HOUSE B1 HOUSE B1 </td <td>REA 7407 m²</td> <td>8,045 SF</td>	REA 7407 m ²	8,045 SF	
9580 WILLIAMS ROAD, RICHMOND, BC Ind REA (NET) / 908.3 m ² HOUSE B1 14 90° - SMALL - 2.65mx5.0m 6 MAIN FLOOR HOUSE B1 P.I.D. 008-115-320, LOT 1, PLAN 75272, SEC 34-4-6 Ind REA (NET) 1.00 (MAX) 9064.8/9,083.3 = 0.99 HOUSE B1 100 Sec 11 100 Sec 11 </td <td>706 m²</td> <td>7,604 SF</td>	706 m ²	7,604 SF	
P.I.D. 008-115-320, LOT 1, PLAN 75272, SEC 34-4-6 FLOOR AREA RATIO 1.00 (MAX) 9,064.8/9,083.3 = 0.99 HOUSE C1 12 90° - STANDARD - 2.65mx3.5m 31 MAIN FLOOR HOUSE C1 ZONING AMMENITY FLOOR AREA / 2,173.8 m² HOUSE C1 12 TOTAL STALLS: 58 MAIN FLOOR HOUSE C1 ZONE HC AMMENITY FLOOR AREA RATIO 0.40 (MAX) 2,173.8/9,083.3 = 0.24 HOUSE E1 14 MAIN FLOOR HOUSE E1 HOUSE E1 14 MAIN FLOOR HOUSE E1	679 m²	7,306 SF	
ZONTING AMMENTY FLOOR AREA / 2,173.011 HOUSE E1 14 MAIN FLOOR HOUSE E1 ZONE HC AMMENTY FLOOR AREA RATIO 0.40 (MAX) 2,173.8/9,083.3 = 0.24 HOUSE E1 14 MAIN FLOOR HOUSE E1 PROPOSED USE: COMMUNITY CARE FACILITY, MAJOR 1.40 (MAX) 1.24 HOUSE E1 14 MAIN FLOOR MAIN FLOOR ALLOWABLE USE: HEALTH SERVICE (MAJOR/MINOR), CONGREGATE HOUSING, COMMUNITY CARE FACILITY, MAJOR 1.40 (MAX) 1.24 HOUSE E1 14 MAIN FLOOR TEM REQUIRED PROVIDED / AULUDING COVERAGE / 4,340.2 m² HOUSE B2 14 SECOND FLOOR HOUSE A2	718 m²	7,727 SF	
ZONE HC AMMENITY FLOOR AREA RATIO 0.40 (MAX) 2,173.8/9,083.3 = 0.24 HOUSE E1 14 PROPOSED USE: COMMUNITY CARE FACILITY, MAJOR COMBINED FLOOR AREA RATIO 1.40 (MAX) 1.24 67 MAIN FLOOR MAIN FLOOR ALLOWABLE USE: HEALTH SERVICE (MAJOR/MINOR), CONGREGATE HOUSING, COMMUNITY CARE FACILITY, MAJOR I.40 (MAX) 1.24 67 SECOND FLOOR SECOND FLOOR TEM REQUIRED TOTAL BUILDING COVERAGE / 4,340.2 m² HOUSE B2 14 SECOND FLOOR SECOND FLOOR SECOND FLOOR HOUSE A2 15	715 m ²	7,694 SF	
PROPOSED USE: COMMUNITY CARE FACILITY, MAJOR COMBINED FLOOR AREA RATIO 1.40 (MAX) 1.24 67 ALLOWABLE USE: HEALTH SERVICE (MAJOR/MINOR), CONGREGATE HOUSING, COMMUNITY CARE FACILITY, MAJOR A. BUILDING LOT COVERAGE HOUSE A2 15 ITEM PROVIDED / TOTAL BUILDING COVERAGE / Common and an an an and an an an and an an and an an an and an and an and an an and an an and an an and an	642 m ²	6,911 SF	
ALLOWABLE USE: HEALTH SERVICE (MAJOR/MINOR), CONGREGATE HOUSING, COMMUNITY CARE FACILITY, MAJOR ITEM REQUIRED PROVIDED <u>4. BUILDING LOT COVERAGE</u> TOTAL BUILDING COVERAGE / 4,340.2 m ² HOUSE B2 14 SECOND FLOOR HOUSE B2 14	4207 m ²	45,287 SF	
ITEM REQUIRED PROVIDED PROVIDED / 4,340.2 m ² HOUSE A2 15 SECOND FLOOR COMMON AI			
ITEM REQUIRED FLOOR HOUSE A2		3,464 SF	
	717 m ²	7,715 SF	
HOUSE C2 20 SECOND FLOOR HOUSE B2	684 m ²	7,363 SF	
(HEIGHT 12.0 m (MAX) 11.6 m (4/12/PTICH) PERSOND FLOOR (HOUSE C2	1002 m ²	10,790 SF	
LOT AREA (GROSS) / 9,083.3 m ² 5. PARKING HOUSE E2 14 SECOND FLOOR HOUSE D2	772 m²	8,309 SF	
LOT AREA (NET) / 9,083.3 m ² COMMUNITY CARE FACILITY, MAJOR 199 BEDS x (1/3 BEDS) = 67 58 SPACES* 76 SECOND FLOOR HOUSE E2	667 m²	7,178 SF	
FLOOR AREA RATIO 1.00 (MAX) 0.99 SMALL CAR PARKING 62 SPACES * 50% = 31 SPACES (MAX) 25 SPACES THIRD FLOOR SECOND FLOOR	4164 m ²	44,818 SF	
BUILDING SITE COVERAGE 45.0% (MAX) 47.8%* STANDARD CAR PARKING 31 SPACES HOUSE A3 15 1. SETBACKS HANDICAP PARKING 67 x (1/50) = 2 SPACES 2 SPACES HOUSE B3 14			
1. SETBACKS 67 x (1/50) = 2 SPACES 2 SPACES 14 THIRD FLOOR COMMON AL		1,736 SF	
Instrument 6.0 m 50.9 m 6. LOADING House D3 13 FRONT YARD (NORTH) 6.0 m 50.9 m 6. LOADING 1 + 11.455.1 m³ x (1/5.000m² over 1.15PACES 14 THIRD FLOOR HOUSE B3 Store yable (rest) a) NORTH ADDITION 6.0 m 5.7 m° NON-RESIDENTIAL (OADING SPACES 1 + 11.455.1 m³ x (1/5.000m² over 1.15PACES 14 THIRD FLOOR HOUSE B3	754 m ²	8,121 SF	
	760 m²	8,176 SF	
- b) CENTRE ADDITION 6.0 m 4.7 m* 1,860m ² GLFA) = 2 SPACES 56 THIRD FLOOR HOUSE D3	742 m²	7,989 SF	
- c) SOUTH ADDITION 6.0 m 6.0 m 7. BICYCLE PARKING 199 TOTAL BEDS 199	667 m ²	7,178 SF	
SIDE YARD (WEST) a) NORTH ADDITION 6.0 m 3.6 m* COMMUNITY CARE FACILITY, MAJOR (CLASS I) 11455.1 m ² x (0.27 / 100m ² GLFA 8*	3084 m²	33,201 SF	
- b) EXISTING CENTRE 6.0 m 2.2 m [EMPLOYEE - WATERPROOF] over 100m ²] = 31 SPACES GROSS FLOOR AREA	11455 m²	123,305 SF	
- c) SOUTH ADDITION 6.0 m 6.0 m 6.0 m 6.0 m COMMUNITY CARE FACILITY, MAJOR (CLASS II) 11455.1 m ² x (0.27 / 100m ² GLFA 11*			
REAR YARD (SOUTH) 6.0 m 6.3 m [GUEST - OUTDOOR] over 100m²) = 31 SPACES			
2. LANDSCAPE BUFFERS			
FRONT YARD (NORTH) 3.0 m 3.0 m 3.0 m			
SIDE YARD (EAST) 1.5 m 1.5 m			
SIDE YARD (WEST) 1.5 m 1.9 m			



0.0 m

6.3 m

REAR YARD (SOUTH)

SITE PLAN - ZONING

KAIGO - FHASERVIEW RICHMOND, BRITISH COLUMBIA

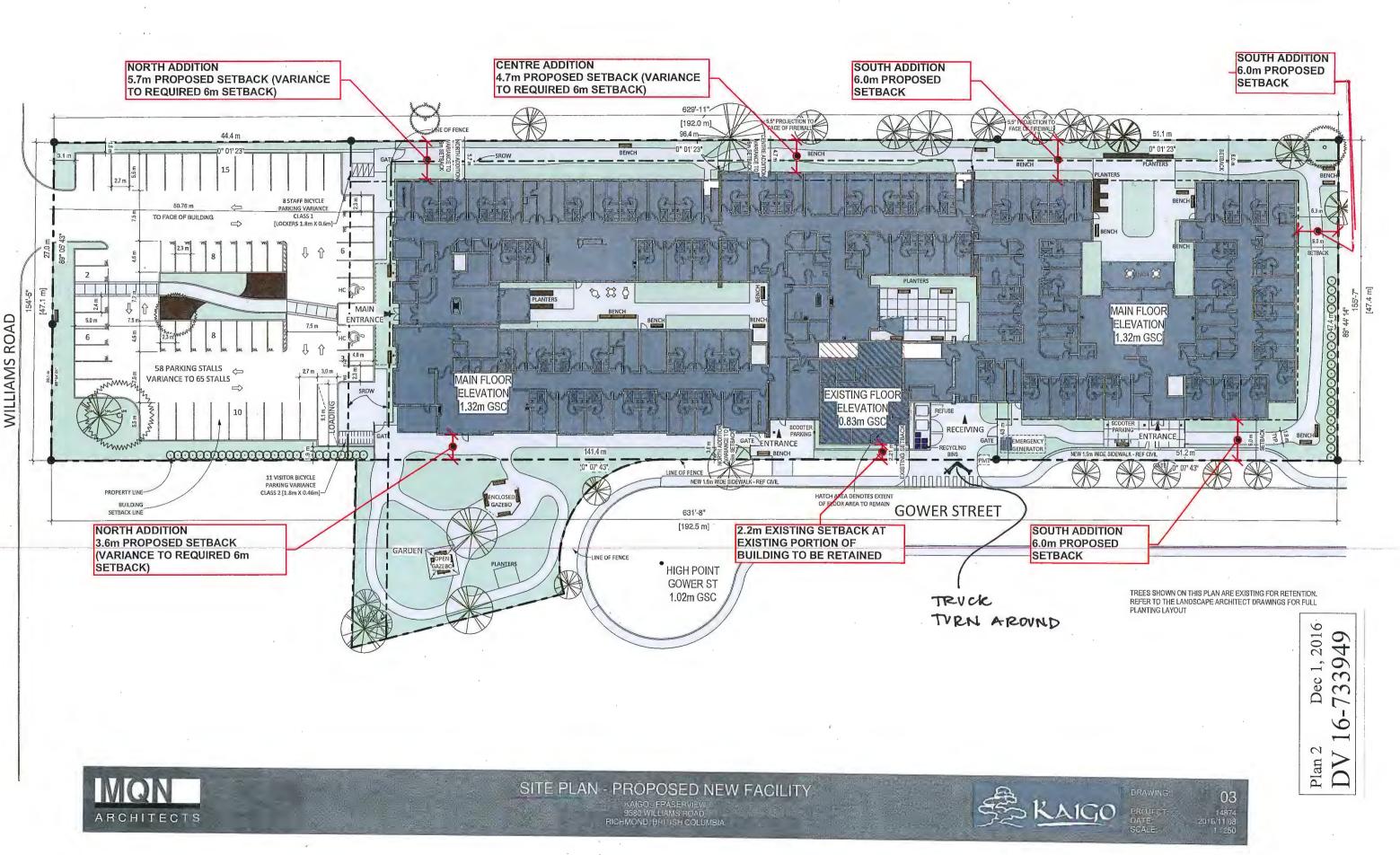




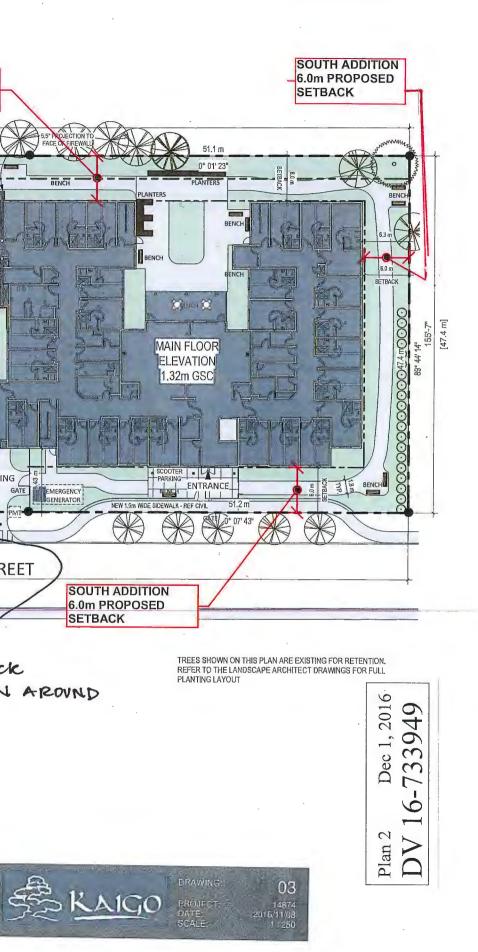
PROJECT DATE: SCALE:

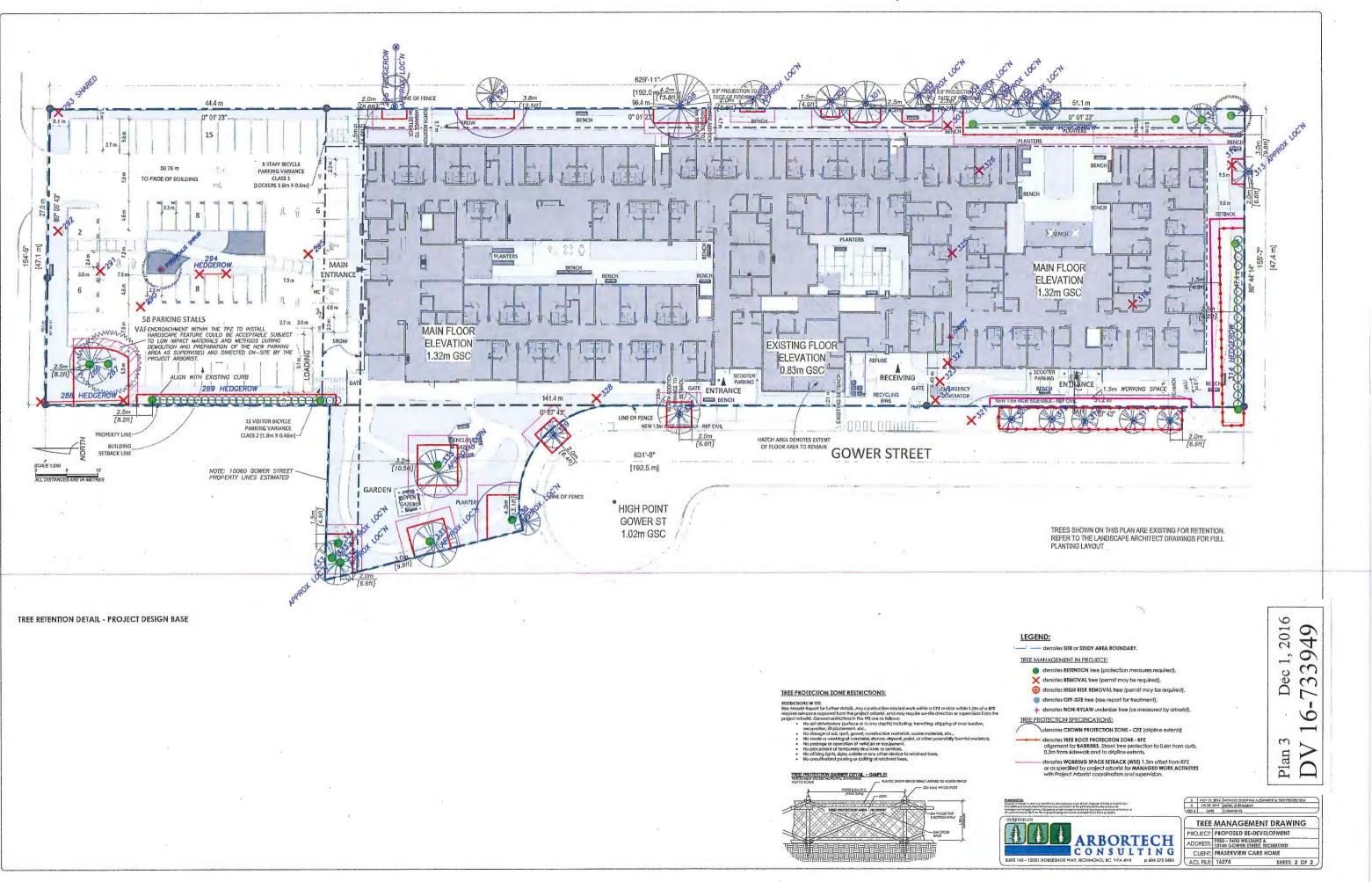
.190

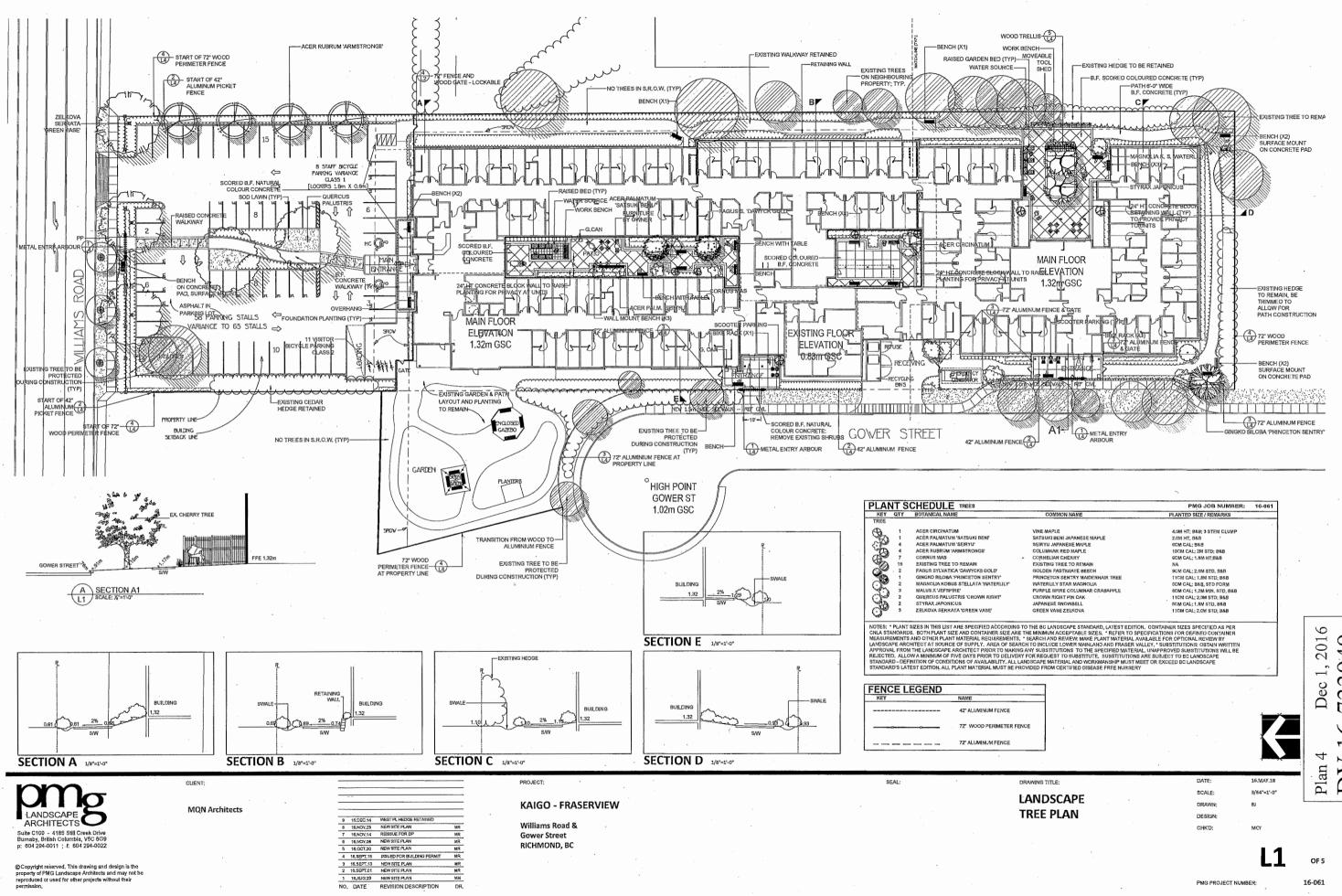
02 14874



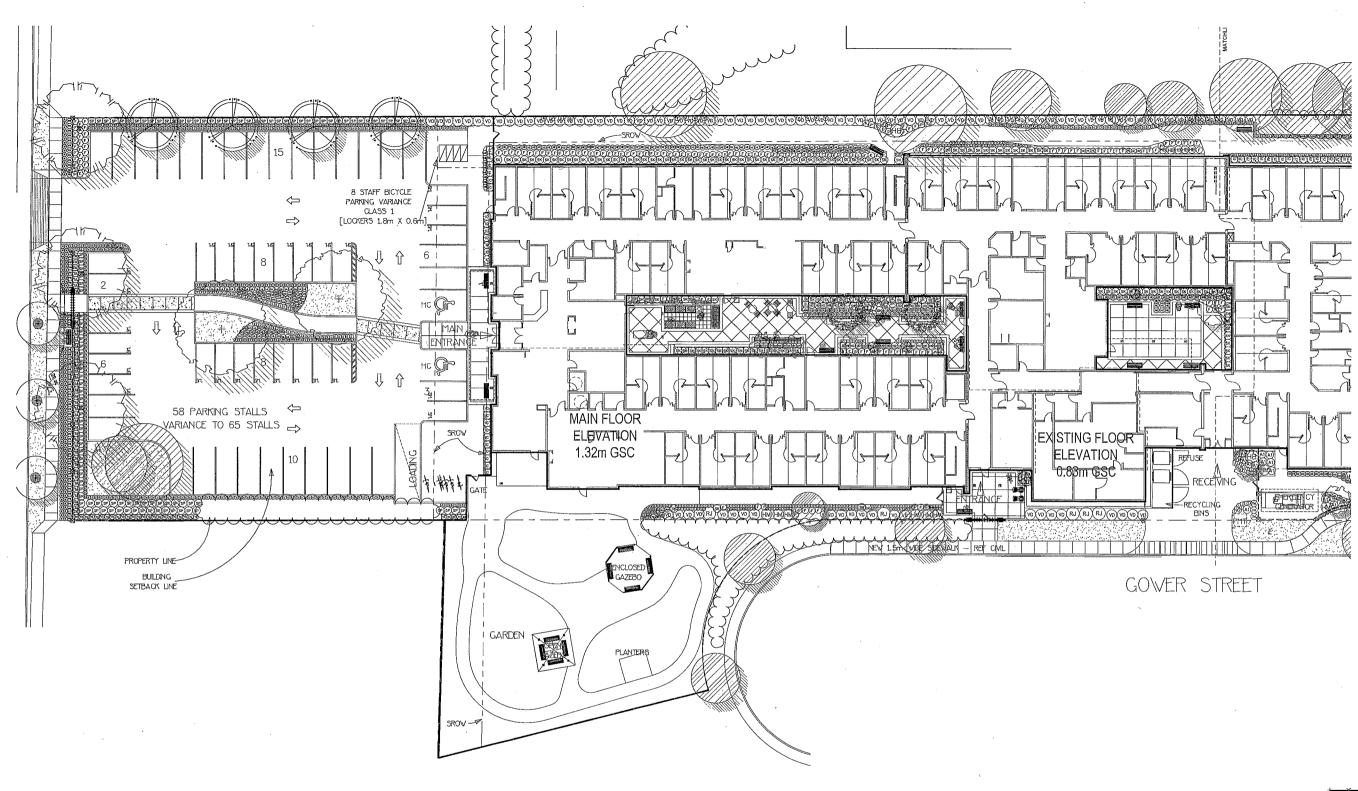








3949 3 Ó -----DV





CLIENT:

MQN Architects

9	16.DEC.14	WEST PL HEDGE RETAINED	
8	15,NOV.23	NEW SITE PLAN	MR
7	15,NOV,14	REISSUE FOR DP	MR
6	15.NOV.08	NEW SITE PLAN	MR
5	16.OCT.20	NEW SITE PLAN	MR
4	15.SEPT.15	ISSUED FOR BUILDING PERMIT	MR
3	16.SEPT.13	NEW SITE PLAN	MR
2	16.SEPT.01	NEW SITE PLAN	MR
1	16,AUG,23	NEW SITE PLAN	MM
NO,	DATE	REVISION DESCRIPTION	DR

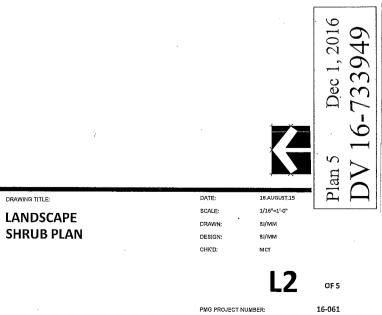
PROJECT:

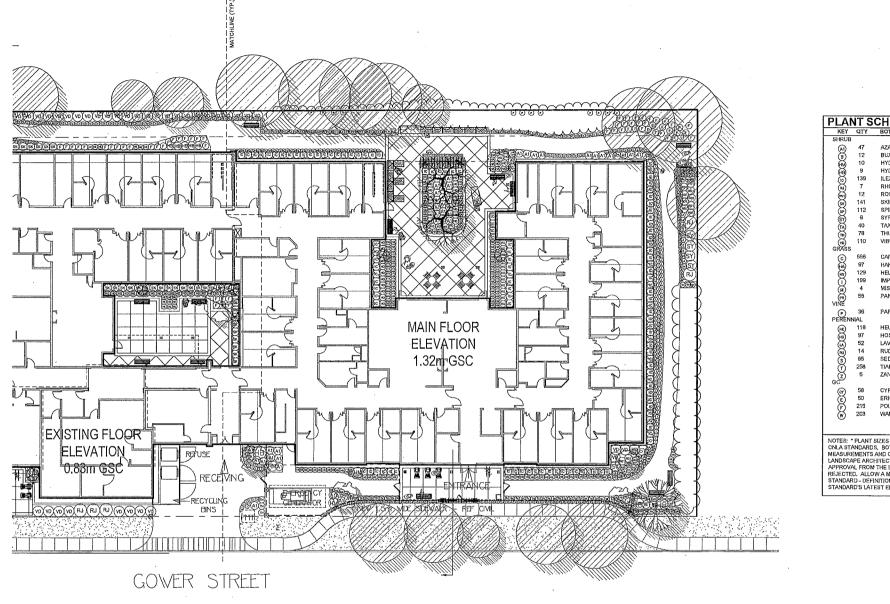
KAIGO - FRASERVIEW

Williams Road & Gower Street RICHMOND, BC

SEAL:

©Copyright reserved, This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission,





		PMG JOB NUMBER:	16-06
BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
AZALEA JAPONICA 'PURPLE SPLENDOUR'	AZALEA; RED-VIOLET	#2 POT; 25CM	
	LITTLE-LEAF BOX	#2 POT; 25CM	
HYDRANGEA MACROPHYLLA 'MASJA'	BIGLEAF HYDRANGEA; RED	#3 POT; 80CM	
HYDRANGEA QUERCIFOLIA DHARUMA	DHARUMA HYDRANGEA;DWARF	#3 POT; 60CM	
ILEX CRENATA 'GREEN THUMB'	HOLLY; COMPACT	#2 POT; 30CM	
RHODODENDRON 'KEN JANECK'	RHODODENDRON; LIGHT PURPLE; MAY	#3 POT; 30CM	
ROSA MEIDELAND 'BONICA'	MEIDILAND ROSE; PINK	#2 POT; 40CM	
SKIMMIA JAPONICA 'RUBELLA'	RUBELLA SKIMMIA	#2 POT; 30CM	
SPIRAEA X BUMALDA 'NEON FLASH'	NEON FLASH SPIRAEA	#2 POT; 40CM	
SYRINGA PATULA 'MISS KIM'	MIDD KIM COMPACT LILAC	#3 POT; 60CM	
TAXUS X MEDIA 'HICKSII'	HICK'S YEW	1.5M B&B	
THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.2M HT; B&B	
VIBURNUM DAVIDI	DAVID'S VIBURNUM	#3 POT; 50CM	
CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT	
HAKONECHLOA MACRA 'AUREOLA'	GOLD VARIEGATED JAPANESE FOREST GRASS	#1 POT	
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT	
IMPERATA CYLINDRICA 'RED BARON'	BLOOD GRASS	#1 POT	
MISCANTHUS SINENSIS 'ADAGIO'	MAIDEN GRASS	#1 POT	
PANICUM VIRGATUM 'ROTSTRAHLBUSCH'	RED SWITCH GRASS	#1 POT	
PARTHENOCISSUS TRICUSPIDATA 'VEITCHII'	BOSTONIVY	#2 POT; 60CM; STAKED	
ZANTEDESCHIA AETHIOPICA CROWBOROUGH	HARDT WHITE AROM LILY	#1 POT	
CYRTOMIUM FORTUNE	FORTUNE'S COLD HARDY HOLLY FERN	#1 POT; 25CM	
ERICA x DARLEYENSIS 'KRAMER'S RED'	WINTER HEATH; RED	#1 POT	
POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT: 25CM	
WALDSTEINIA TERNATA	BARREN STRAWBERRY	#1 POT; 20CM	
	BUXUS MICROPHYLLA WINTER GEM' HYDRANGEA MACROPHYLLA WAINTER GEM' HYDRANGEA QUERCIFOLIA DHARUMA ILEX CREMATA 'GREEN THUM9' RHODODENDRON 'KEN JANECK' ROSA MEIDELAND 'BONICA' SYIMMA APONICA' WIBELLA' SYIRNA PATULA MISS NM' THUA OCCIDENTALIS 'SMARAGO' VIBURNUM DAVIDI CAREX OSHIMENSIS 'EVERBOLD' HAKONEC'HOA MACRA 'AUREOLA' HELICTOTRICHON SEMFERVIRENS IMPERATA CYLINDRICA'RED BARON' MISCANTHUS SINENSIS 'ADAGIO' PANICUM VIRGATUM 'ROTSTRAHLBUSCH' PARTHENOCISSUS TRICUSPIDATA 'VEITCHIP' HEUCHERA X HEUCHERELLA 'SWEET TEA' HOSTA UNDULATA LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE' RUDBECKIA FULGIDA VAR SULLIVANTI' 'GOLDSTN SEDUM REFLEWI 'ANOLELIA' TARELLA CORDIFOLIA	BUXUS MIGROPHYLLA VINITER GEM LITTLE-LEAF BOX HYDRANGEA MACROPHYLLA VINITER GEM LITTLE-LEAF BOX HYDRANGEA AURCOLIA DHARUMA DIARAUMA HYDRANGEA, DWARF ILEX CRENATA 'GREEN THUMB' HOLLY, COMPACT RHODDENDRN KEJ JANECK' RHODDOENDRON, LIGHT PURPLE; MAY ROSA MEIDELAND TRONK KEJ JANECK' RHODDOENDRON, LIGHT PURPLE; MAY ROSA MEIDELAND TRONK KEJ JANECK' RHODDOENDRON, LIGHT PURPLE; MAY ROSA MEIDELAND TRONK KEJ JANECK' RHODDOENDRON, LIGHT PURPLE; MAY ROSA MEIDELAND TRONK KEJ JANECK' RHOBDIAND ROSE; PINK SYRINGA PATULA 'NEON FLASH' NEDELAND ROSE; PINK SYRINGA PATULA 'NEON FLASH' NEDELAND ROSE; PINK SYRINGA PATULA 'NEON FLASH' NEDELAND ROSE; PINK THUJA OCCIDENTALIS 'SMARAGO' EMERALD GREEN CEDAR VIBURNUM DAVIDII DAVID'S VIBURNUM CAREX OSHIMENSIS 'EVERGOLD' EVERGOLD JAPANESE SEDGE HAXONECHLOA MACRA AUREOLA' GOLD VARIEGATED JAPANESE FOREST GRASS HELCTOTRICHON SEMPERVIRENS BLUE OAT GRASS PANICUM VIRGATUM 'ROTSTRAHLBUSCH' RED SWITCH GRASS PARTHENOCISSUS TRICUSPIDATA 'VEITCHIJ' BOSTON IVY HEUCHERELLA 'SWEET TEA' SWEET TEA HEUCHERELLA VANULA ANGUSTIFOLIA HIDCOTE BLUE' ENGLISH LAVENBER; COMPACT, DEEP PURPLE RUDBERCHA FLUGHERELLA' SWEET TEA' SWEET TEA HEUCHERELL	BUXUS MICROPHYLLA WINTER GEM LITTLE-LEAF BOX #2 001; 250M HYDRANGEA MACROPHYLLA WASJAPI BIGLEAF HYDRANGEA, RED #3 P01; 300M HYDRANGEA GLERC/FOLLA WASJAPI BIGLEAF HYDRANGEA, RED #3 P01; 300M HYDRANGEA GLERC/FOLLA DHARUMA DHARUMA HYDRANGEA, QWARF #3 P01; 300M ILEX CRENATA 'GREEN THUMB' HOLLY; COMPACT #2 P01; 300M RHODOBENDRON KEN JANECK' RHODODENDRON; LIGHT PURPLE; MAY #3 P01; 300M SKIMMA JAPONCA RUBELLA' RHOBODENDRON; LIGHT PURPLE; MAY #3 P01; 300M SKIMMA JAPONCA RUBELLA' RUBELLAS KIMMIA #2 P01; 400M SKIMMA JAPONCA RUBELLA' RUBELLAS KIMMIA #2 P01; 400M SYRAGA ATULA MISK KIM' MIDD KIM COMPACT LILAC #3 P01; 500M SYRINGA PATULA MISK KIM' MIDD KIM COMPACT LILAC #3 P01; 500M SYRINGA PATULA MISK KIM' MIDD KIM COMPACT LILAC #3 P01; 500M YIBURNUM DAVIDII DAVID'S VIBURNUM #3 P01; 500M CAREX OSHIMENSIS 'EVERGOLD' EVERGOLD JAPANESE SEDGE #1 P0T HAXONECHLOA MACRA AUREOLA' GOLD VARIEGARED JAPANESE FOREST GRASS #1 P0T HELCTOTRICHON SEMPERVIRENS BLUE OAT GRASS #1 P0T HELCTOTRICHON SEMPERVIRENS BLUE OAT GRASS #1 P0T HELCTOTRICHON SEMPERVIRENS BLUE OAT GRASS #1 P0T

LANDSCAPE S Suite C100 - 4185 Still Creek Drive Burnaby, British Columbia, V5C 6G9 p: 604 294-0011 ; f: 604 294-0022 CLIENT:

MQN Architects

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their

 9
 18.DEC.14
 WEST PL. HEDGE RETAINED

 5
 16.NOV.23
 NEW SITE PLAN

 7
 16.NOV.14
 REISSUE FOR DP

 6
 16.NOV.24
 NEW SITE PLAN

 5
 16.CC.20
 NEW SITE PLAN

 4
 16.SEPT.15
 ISSUED FOR BULLDING PERMIT

 9
 26.SEPT.15
 ISSUED FOR BULLDING PERMIT
 MR
 3
 18.5EFT.13
 NEW SITE PLAN

 2
 16.5EFT.01
 NEW SITE PLAN

 1
 18.AUG.23
 NEW SITE PLAN

 NO.
 DATE
 REVISION DESCRIPTION
 MR MR MM DR,

PROJECT:

KAIGO - FRASERVIEW

Williams Road & Gower Street RICHMOND, BC

SEAL:

DRAWING TITLE:

2016 3949 Dec 1, 2 3 Plan 6 DV

0

LANDSCAPE SHRUB PLAN

DATE: SCALE: DRAWN: DESIGN: CHK'D:

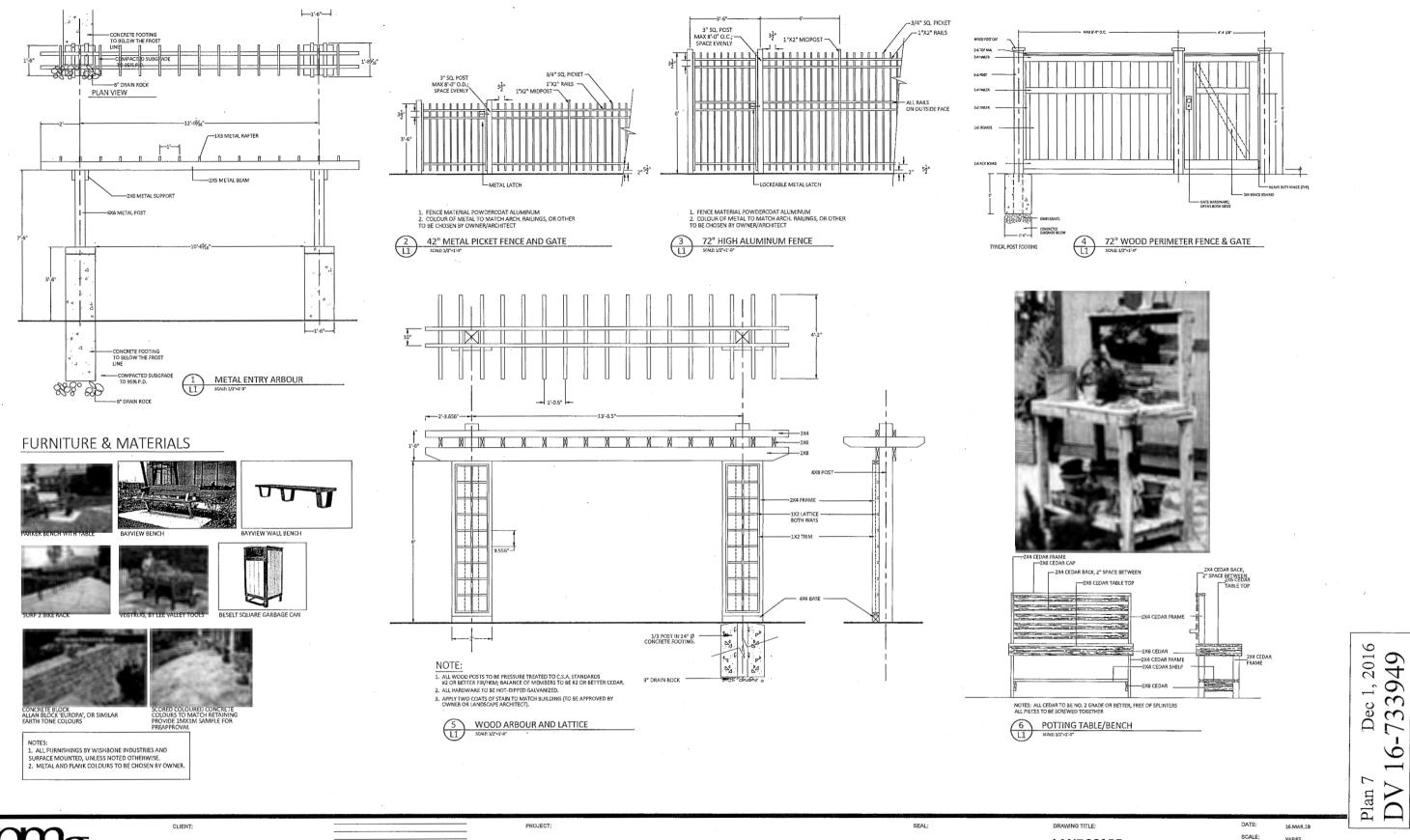
16.AUG.15 1/16" = 1'0" вј/мм вј/ММ мсү



OF 5

PMG PROJECT NUMBER:

16-061





MQN Architects

©Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

 8
 15,NOV.23
 NEW SITE PLAN

 7
 16,NOV.14
 REISSUE FOR DP

 5
 16,NOV.08
 NEW SITE PLAN

 5
 16,OCT,29
 NEW SITE PLAN
 MR MR 4 15.SEPT.15 ISSUED FOR BUILD
 3
 15,SEPT,13
 NEW SITE PLAN

 2
 16,SEPT.01
 NEW SITE PLAN

 1
 15,AUG,23
 NEW SITE PLAN
 MM DR. NO. DATE REVISION DESCRIPTION

KAIGO - FRASERVIEW

Williams Road & Gower Street RICHMOND, BC

LANDSCAPE **DETAILS & IMAGES**

DRAWN: DESIGN: CHK'D:

VARIES BJ

L4



Dec 1,

 \sim \geq

Plan

3

9

. . .

PMG PROJECT NUMBER:

16-061

PART ONE GENERAL REQUIREMENTS	PART THREE SOFT LANDSCAPE DEVELOPMENT	PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT	PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT
11 REFERENCES	31 PETERTINE OF EVICTOR TOPTS		3.11 ESTABLISHXENT MARTENANCE (Previde a separate price for this section)
.1 CDC Dec 22004 Comply with all articles in the General Conditions of Contract in conjunction with this section unless supermeded by other Contract Documents.	2) Point may act an all - pretect holdout letes or plant groupop indicated as retained on indicage plans to regulation televise area. 1) Point may act an all - pretect holdout letes or plant groupop indicated as retained on indicage plans to regulation televise. 1) in some indicates the Landsupe Arabited will be trees or areas to remain. Discons tree retaining areas at a start-up seeding with the Landsupe Arabited.	3.3 PLANTS AND PLANING .1 Conferent or planking layout as showe on Landsrage Plans.	1. Intenti The intert of "establishment" maintenance is to provide sufficient care to servi includie the long time success of the planting. The subjective in the adoptation of plants is a new site is not failure and unsectosary work associated with inproper establishment. Establishment of maintenance haring as a more a time and actuals.
2. B.C. Landscape Studierd, 2022 editor, proposed by the B.C. Society of Landscape Architects and the B.C. Landscape & harvery Arcacipiton, pinity, 641 work, and majorists shall need standards as sait and in the B.C. Landscape Standard outers approveded by this specification or as Gracinel by Landscape Architect with written instruction.	2 A physical barrier was be installed to delineate stearing boundaries. Refler to physical barrier delail. If delait nat perioded, couply with local monicipal requirements. 3 No machine travel itrough or willie requiristion colonial massa or under cravers of travel to be relatived is allowed.	2. Obtain approval of Landscape Architect for layout and preparation of plunling prior to commencement of planting operations.	falluré and unnecessary vork associated with improper establishment. Establishment of maintenance hurtgrass areas and new trees and skrobs.
3 HASTER MUNICIPAL SPECIFICATIONS & STANDARD DETALS, 2018 edition, prepared by the Consulting Engineers of British Columbia, Routholders and Heavy Construction	3 no metamini eine ile vogene mene regenerate erenne a vas an anne tradus ei singe is spreterne a custera. 4 Do net stodquit sol, construction materials, or extension metanika velipian regenikan arens.	3 Hake edge of bee's with smooth clean defined lines.	2 Heinfenance Period: Provide maintenance of installed landscaping for Q months following subst
Association, and the Hundipal Engineers Whitian A STANDARD FOR LANESCOPE RESEATION SYSTEM, 2006 Prepared by the brigation industry Association of British Columbia,	5 Do zot park, Nel er service vehicles vitible regetation relection areas.	4. Thre at Planting. A.1. Real liters, brings and provideness only during purishs that are narreal for such work as determined by local weather conditions when seesonal conditions are Usery to more accessible deplation of plants to their new location.	J Related Standards and Legislatians B.C. Landscape Standard, Jatest edition, Fortiker Cole, S.C. A Site Berlev: In addition to the imprections at substantial completion, at Jinzi programs draw appl
5 MUNICIPAL BYLANS AND ENCNEERING SPECIFICATIONS WHERE NOTED.	. Ko dabris fires, clearing fires at Irrsh berning shall be permitted within vegetation releasion areas,	ensure successful eduptation of plants to their new localitien.	reviews shiring the nontravial and the expectation is an an an exclusion of the program of the program of the Ort designaled representative.
12 TESTINS	.7 No excavalions, drain or service brenches nor any other discuplion shall be permitted within regelation releation areas without a review of the proposed encroadment by the Landscepe Architect.	5.1 All plant autorial shall conform to the requirements of the B.C. Lundscope Standard, Thin Edition 2014, urless esceeded by drawing Plant Scheduler of his appellituation. 5.11 All plant autorial shall conform 10 the requirements of the B.C. Lundscope Standard, Thin Edition 2014, urless esceeded by drawing Plant Scheduler of his appellituation.	.5 Scheduling: Prepare a schedule of anticipated visity and subnit to designated representative at the graving season between Narch 1st and Stenender 34(h, however visits at other lines of the year
3 A current has not than one most bits for all graving notions to be used on this site is required. Provide and pay for testing by unindependent leading helity pre-agreented by the Linkcope Andries. Desires graving notions test results to Lindscope Architect for review and approval prior to phonework. Refer to Section 34 Graving Median Testing for procession.	al Do not on branches or roots of retained trees without the approval of the Landscape Architect.	 All Miller in BL Ladouge Should, Beilin J, Harris V, Ming and Balling and Balling U. 2014 States of the latent of solution in sequences. Miller in BL Ladouge Should, Beilin J, Harris V, Ming and Balling U. 2014 Should of the Chalar from Handback. Harris H, Harris M, Balling M, Ba	S Naintenance Lenel: Comply with B. C. Landscope Standard, Section W. Table W.Z. Maintenance Lenel
2. Oner reserves the right to test or re-test naturalist. Contractor responsible to pay for testing it naturals do not need apacification.	3 Any damage to existing reget tion indexided for preservation will be subject to evaluation by an ISA. Certified Arbonist using the "Gode for Plant Approxim", Eighth Edition, 1992.	.6. Review at the source of supply and/ar collection point does not prevent subsequent rejection of any or all planting stoch at the site.	 Historiuts: Couply with Part Two of Unis specification. To Fortilizers: To the requirements of the B.C. Landscape Standard. Formulations and rates as req
13 SUBHITTALS	.3.1 Replacement planting of equivalent value in the disturbance will be required, the cost of the evaluation and of the replacement planting will be the responsibility of the General Contractor and or the personial responsible for the disturbance.	7 Augustu	· Martine and a contract of the second se
 Any eligensite products of friends from that contained in the contract documents must be pre-approved by the Landscape Architect. Submitting to exacting a product sample as manufacturer's product description. 	.13 In muzicipalities ville specific tree referilenverplacement bylavs ensure compliance la bylavs.	. A new any provide the tower Hainland and Frazer Valley. Refer to Plant Schedde for any extension of area. .12. Supply provid of the analysistic of the specified planet material within 30 days of the second of the Contract.	.4.1 Walarship: During the first growing season, water new plants at least every ten (16) days below and September 15th. Hiniowa 25 gallous per tree per application. During the second growing stason,
	.11 In situations where required construction may disturb existing regetation intended for preservation, contact Lacturage Architect for review grier to consending construction.	d. Solutionise A1 (Bish within approved at the tookseps Archited prior to asking any substitutions to the specified and with. Non-approved underlifedings will be enjoyed at A1 Allow a unisous of Soly prior to defiring for request its substitution.	1.1. Validating the barries for the gravity scene, where we plank at last even that the plank and the second scene of the second scene
b. a. La construction of the indexequence provided Control within the Annu and deve the indexeque Antibiet is the devent the indexeque feedback of the indexeque feedback of the indexeque feedback of the end	32 GADES 3. Emare subgrade is propared to teniem to depths specified to Section 35, Graving Netion Supply, Adors. Where planting is indicated done to existing trees, prepare sublidet planting pockets for autival indicated on the specified to Section 25, Graving Netion Supply, Adors. Where planting is indicated done to existing and datage plan.		.12 Holds: Heinfahmelders in the original areas and to the original depites. .1.3 Keed Control: Remore all veeds from all areas an least once per north during the growing sear measures for the use of familiation.
spropriste lines. Allow her days notice. Observation schedde wy include but will not be limited to the following LL Start Up Site Kelling, Gowrik Contracti Princ to any site Galantance, a meeting with the general contractor to reniev free preservation issues, general landscape issues and environ incomment:	a unaxe presing powers we output receive as me powering pow. Soupe suggest in communicate statung water are common to me are graving and crasting power. 2. On slopes in excess of 31 trench subgrave across slope to 50 mm (in mixture at Use 5 ft) intervals mixture.	3 Plant Species & Location 3.1 Plants shall be true to area and of the height, caliper and size of root ball as shown on the landsceparable give plant schedule. Geiper of trees is to be below 1° (Seu) above rows.	
.12. She'l by Dile Heeling, Luedscape Contrect IV separately. At the start of work with Owner's Representative, Site Superiatendent and Lundscape Contractors, a recting is to be held to review expected work and to verify the acceptability of the subgrade and general site, conditions to the Lundscape Contractors. Provide growing medium test results	J Sumify the units subgrate investigation prior to placing graving action. Re-collinate where relations traffic results in compaction during the construction procedures. Ensure that all placing areas are saveling contracted after Gpd compaction to Grinder grades.	.9.2. Plant all specified species in the localion as shown on the landscape drawings. Holidy Londscape Arthitect is conflicting roots or underground/overhead services are	.1.5 Tree Support: Maintain stakes, guy vires and first one full growing season. Oreck first all least back toosen, repair or replace lines as necessary. Renewe all stakes guy wires and line after the fir the amiliar of the configure at the state of the first and the state of the first and the state of the first and the state of the state
Let our retree registerers new energy in a conjunction on a surger an argument and constants on or analysis with a section of the section of	A contract of proving a set of a series of vision of or or or opposite or a same province. A Christale standary while first all firsted or yokes. Frontial a surveit, firm and eres surface and confarm to grapher shown on the Landstepe Bravings. Do not assend automate and indivision provides to firm by the standards back and the same standard and confarm to grapher shown on the Landstepe Bravings. Do not assend	necessing ex. .3.2 Deviation of given planting location will only be allowed after review of the proposed deviation by the Landsrape Architect. 	3. The set output control inspire is power entrol for point and power providenty and it. 3.5 The foreign of the set o
Plating -plant antienth belocking negatiations with supplier, nervery impections, plant sizes, quality, quantity, planting practice and topon), here support, Mathy trigations Systems: Play Exponent. She furnitures and other demonis of the site development where the Landscape Architect is the designeted teriever such as Pedeatrian Paving.	auxinum and minime products defined by the B.C. Londscape Slandard. 5 Construct swates true to line and grade, smooth and free of sage or high points. Herimon slope 2X, excision side slopes 10%. Assure positive drainage to callective points.	.19.1 Treat may large shruts: Excervice a seven shaped free pit to the depth of the notball and to al least twice the width of the notball. Assure that fielded grade is at the might grade the tree was proven at.	II a a statut s
14 Substantial Performance Benits of all work, according of all substitutions, delations, plant counts, preparations of deficiency list, and recommendations for completion. 15 Certificate of Conditions the delatable of Substantial Performance, a recommendation for the insurance of the Certificate of Condition will be used to the Parameter.	A Single zol for enzieled the falleving maximums Recept Grans 34, Lawn 44, Lawdscape planlays 24.	.1 Oraitage of Pauling States .11 Provide drainage of Stating alls, where remained is an almost consilient, break and the side of the almoster of its allow drainage down draw, and is (1a) conditions, now of	3 - Orisi Area Listencement 3.1 Vieties Destants and spinders, ringstem systems are other mithods in apply value to Use and Grounds Just Min Teyrors to minimised as in legit cardinals. Sping existing early with value in a fract report in its trans. Apply and temperating and grounds minimised theory. Apply value at leaf cardy with the Min Teyror and State State State State State State State State 2.2 Mini State State and a state Sta
Certifier as defined to the contract. .15 Deficiency Review Prior to the completion of the holdsack period, thech for completion of deficiencies. Once completed, a Schedule "C" will be issued where required.	.7 Fizished zol/witch eleration of building to comply with municipal requirements.	. 11 Provide drainess of planting pills where requires is, on sloped conditions, break not the side of the planting pill to allow drainess eaven shope, and in flat conditions, mound for nice the realized above importance. Halfly the Landscope Architect where the drainess of planting bates is tailed.	al no expense is the swater. Apply water to prevent packing or erosion of the soil. Apply water at a field capacity to the full apply of the growing notion. Apply water again when the water control re- 17. More broad to an interaction for an interaction apply water again when the water control re-
3.2 Marmally Review Prime to the completion of the warranty partial 1-/- 18 months after insurance of the Certificate of Completion, ceries all warranty material and report recommendations for warranty replacement.	J suferm Landscape Architect of completion of finish grade prior to placement of seed, sod, plants or nuklu.	2. Planting and feedback procedures: .2.3 Plant at larges and shares with the reales placed in their national growing position. It hardupped, losses meaned the log of the built and ed areay ar field under. Do not put, built from under the built. Candidy remore conditions without placing the conditions. All ar settled in place, not trives. For vire built-built, glorard ensures by the processor of the built.	manual nethods, or by the use of chemicals is compliance with the BCSLA/BELNA Landscape Stan application of a suitable hertikite if the weed population exceeds to Broadeast weeds or 50 annual we
15 WORDENSEP .1 Utiess otherwise instructed in the Contract Documents, the preparables of the subgrade shall be the responsibility of the Geopera Centracture. Placement of proving medium	33 LANDSCAPE ORANAADE 3. Related Murke Growing netion and Finish Grading, Geass areas, Trees Shrubs and Grownbarrers, Plasters, Grb Malls.	vice. 	.9.3 Ferfilinings According to soit analysis.
.1 Utars otherwise inducted in the Contract Decomment, the properties of the polyrole shall be the requestibly of the General Contractor. Proceeds of yrolog and/or constitutes exceptions of the onlyrole by the Landscape Contractor. Any subsequent Contractor is to be endpointed for the track exception of and the contractor.	 Work inductor: Sile links grading and surface drainage. Installation of any drainage systems detailed on fandscape plans. Note: Catch basins shown on Landscape plans for coordination only, confirm scope of work prior to bid. 	grade, Lasse on de valet, Minn 201 of the Inputti has been placed, apply fertiliteer on reconnerded by the required sat least at the specified rates. 2023 Where planting is indicated explanation building traces, not specific and distributions of the root appleare mathematic sate in the res. 2024 March Here are in latent and provide a latent of molecol from 00 March March and the from the rest on the res.	.8.5 Newley and Trioxing - All areas. The first four cuts shall be a sharp rotary type newer. Excer- with a sharp reel or rotary mover when the geass reaches a beight of Glow. Now to a beight of Glow
2. All work and superintendence shall be performed by personnel skilled in backscape confractions. In addition, all personnel applying her bioles and/or perilodes what hold a current license issued by the appropriate authorities.	21 Controls 20 Index prices provides of our dock dougs first for the registering docking not sufficient to revealings and allow do sings well. 22 Detailed and controls of all distributions of the advectory and distribution in the revealings and allow do sings and 23 Detailed and the advectory and allowed and advectory and distribution in the revealing and a local do sings and consist wells as an inprenet interpreted in service in sings 16 MeV. Protect advings with this protects and de responsible for design const. 23 Protect dock and the data backing 18 MeV/sing interpreted softwards and single advectory and advectory and advectory and advectory and 23 Protect dock and the data backing 18 MeV/sing interpreted softwards.	.1. Staling of Yrees: .1.1. Staling of Yrees: .1.1. Un ber 222/27 stalies, wiezs supermedel by enrichal requirements. Set stales rivinur 2 fl. is soil. Ba vel dive stale for supervoltabil.	Kenere all grass clippings after each rut. .3.6 Aeration: Aeration not required in the first graving season. If necessary, in the second graving .forth at Minn: (1) and moreous creas
.) A sile visil is required to become family with vite conflown before bidding and before start of work. A Confirm tocalism of all services before proceeding with any work.	23 Placter drins on alche Refer to Section 3.14, Installing Landscapes on Strectures.	 was was now as a superconduction of manipulation represents and straight and the state of the st	3.7 Repairs: Re-grade, re-seed or re-sod when necessary to restore damaged or failing grass area throughout the growing stasson. Re-seed between April 551 and April 55th or between September 551
. Continu treation of all services before proceeding with any work. 5 Notly Landscope Activited of any disconsencies. Defain approval from Landscope Architect prior to deviating from the places.	J. Execution 31. Do tractifieg and bochfilling in accordence with explorering details and specifications. 32. Lay device appropriet bed, tract is fine and grade with invertis second and free of sags or high points. Ensure barrel of each pipe is in central with bed throughout full.	3.22 Learning for carding restard. 3.31 Learning for carding restard. 3.32 Learning for carding restard. 3.33 Learning response downses, if it have a polycopytion for the for carding restard. 3.43 Learning restard. 3.43 Learning restard. 3.43 Learning restard. 3.44 Learning restard.<	
6 Table proprietate neurose o zvoid entironmental danage. Do not dang any veste neterials into vater bodes. Conform vitib all federal, provincial and local statutes and notationer.		.K Praha	
guttimes. .7 - Collect and Gapase of all debris and/or excess valuabiliting lingiscape operations. Keep pared surfaces dean and repair damage resulting from landscape work. Repairs	33 Community (pp pp at and/or and/or anges (parture direction, 31 Cut participation physics (participation) and para del para position, 35 Meia pianis (pip in accutatores villa subscitzatores) dender anges anges participation (participation) and 36 Guera atta value for film for theory the pipel and granutation encoper as approved by Englatens.	. K. 1 with pruning to the minimum excession to recover deal or injured branches. Preserve the natural character of the plante, do not out the feeder. Use only clean, sharp toda, their all outs clean and out to the branch colling feedback and the standard at the standard colling on a tida. Shape affected areas so as not to rectain water, Remove damaged natural.	
me to be completed prior to final acceptance. A vibore new work connects with resisting and where existing work is altered, make good to natch existing consistenced constitue.	 Decomptible watter blir Uniterhaph begive skript analisationen en operative part per polytome. Rever prefits premission is entity begives parties and analysis and analysis and analysis and analysis. Rever prefits prevention of the previous structure of the previous structure previous and analysis. Rever prefits blir definition of the previous structure of the previous structure of the previous structure. Rever prefits blir definition of the previous structure structure. Rever prefits blir definition of the previous structure structure. Rever prefits blir definition of the previous structure structure. Rever prefits definition of the previous structure. 	.15 Hiddings .151 Hidding wess with an even layer of mitch to Z-VZ - 37 165 - 13amil depite. Confirm piecement of mitch in avers labeled "Grandcover Area" on drawings, Heich a	
. A where new work connects with existing, and where existing work is UDEred, where good to match existing underlying conditions.	 - ana source and were the pre-train neutron neutron commutations in encour ceptits is there in defaits, methods totand. - And Construction and with non-weren filter data hap all edges and seams minimum TSInna. - Anter a positive data segue. 	3 (1. 1944an) dianeter circle around Icres in Iown areas, leave a clean edge.	
16 WARRANTES 1. Guarantee all materials and vortananship for a minimum period of one full year from the date of Cortificate of Corpletion.	TO HANGI DOO NG AND AND AND OD AND AND OD AND AND AND AND AND AND AND AND AND AN	.16 Acceptance .16. The establishment of all plant material is like responsibility of the Landscape Contractor.	
2 Refer to indvidual sections for specific varranties.	34 GROWNE HEDRETESTING 1. Solid representative studies of graving under proposed for use on this project to an independent laboratory. A write text results in Landscape Architect prior to priority. Text results include	T. T. Flash Andreik Kniemence T. T. Flash Andreik Knie Jack State Landscope work have received a Cartilizate of Cooptain. T. T. Flash Andreik Andreik State State State States 32.2 Valeining and generally as follow: T. T. Flash Andreik States States 32.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. T. Flash Andreik States 12.2 Valeining and generally as follow: T. Flash Andreik States 12.2 Valeining and generally as follow: T. Flash Andreik States 12.2 Valeining and generally as follow: T. Flash Andreik States 12.2 Valeining and generally as follow: T. Flash Andreik States 12.2 Valeining and generally as follow: T. Flash Andreik States 12.2 Valeining and generally as follow: T. Flash Andreik States 12.2 Valeining and generally as follow: T. Flash Andreik States 12.2 Valeining and	
PART TWO SCOPE OF WORK		.1.1. Water by control to C.C. Bergorge at more a result of the sense of the sen	
2.1 SCOPE OF WORK .1 Other conditions of Contract may mpty. Continu Scope of Mark at time of tender.	 In physical productions, accussed on grades, based, suit, Life et an explose. Addy Mit the devalitible of the or subject registed in their synchron specified range. Herbitmit Intels of physicality and if year advantation and resonancelebious for required and associatests. Constructioning section. 	The Source is responsible to supply value at an outror call faith Contract, Cardina source of value prior habityping work. 13. Use a prior habityping work and prior for discass damping plant natural. Confy with all local generate plantes and quietings for daminal contract. 3. Part instead which this is source and the projection the contract appropriate sectors as defended by the landscare of bottled. 3. Part instead works which was some as the projection to the contract appropriate sectors as defended by the landscare of bottled.	
2 Work includes supply of all related items and performing all operations processary to consider the work in accordance with the drawines and swerifications and severality	35 GROWING KEESING SUPPLY AND PLACEMENT 1 Supply all growing actions required for the purformance of the Contract. Up not load, transport or spreed growing andium when it is so wet that its structure is likely to be	. 115 Repti fire gaurde, tildere and syn wire, bei reste start in the spectrum and the birth of the anticipa e dented. . 115 Health areas reliablish week free logen mote level 2,6 L landscape 51 meterd, (Sapler D). . 117 Health and in specified lepts.	
consists of the following.	danaged. 2. Supply all proving median administeres as required by the soil less. Amended graving median much meet the specification for graving nestion as defined in Table One for the	. 38 - Real Marriely: . 32.1 - Replace all manifold stray plant material accept these designated "Specinan" for a period of one [0] year other the Certificate of Completion. Replace all unsatisfactory	
23 Revealing of Lange Term, Anna and Anna Carloys. 23 Staffa Charles Landersch Pringe. 23 Staffa and Landersch Pringe. 25 Staffa and Landersch Prinze Bank. 25 Staffa and Landersch Prinze Bank. 25 Staffa and Landersch Bank. 26 Transmitt of Landersch Bank. 27 Staffa and Landersch Bank. 28 Staffa and Landersch Bank. 29 Staffa and Landersch Bank. 20 Staffa and Landersch Bank.	rations acces. 21 The wright six required exercised is into the fall depth of the growing medium. 22 Specific into says at required for ratious site later. Rate is de avoing medium.	plant material designated. Specines: for a period of few ID years after the Certificitie of Completion. Replace at unsufficient every trees and shouls and continue to replace	
24. Texting of inported growing netion and/or site topool, 25. Supply and incorporation of additions to meet requirements of soft text and Table One. 26. Demonstrain of device the constant of addition and add device.	22 Special mass may be required for various ultrations. Ration to draving notes for instructions. 3 Place the amended graving medium is all grans and planting areas. Special graving anclus in unitarul layers not exceeding 6" (Siland, over unitarum subgrade free of	specified for the original planting, and shall not constitute an eatra to the Contract. 19.2 These Plants, identified as herey within one zone of the Canada Department of Agricollave lensit class for the area, specified by the Landscape Architect and installed by the Landscape Contract within the Inflant Memory and Department of Agricollave lensit class for the area, specified by the Landscape Architect and installed by the Landscape Contract within the Inflant Memory and Department of Agricollave lensit class for the area, specified by the Landscape Architect and installed by the Landscape Contract within the Inflant Memory and Department of Agricollave lensit class for the area, specified by the Landscape Architect and Installed by the Landscape Contract within the Inflant Memory and Department of Agricollave lensit class for the area, specified by the Landscape Architect and Installed by the Landscape Inflant and Inflant Agricollave lensits of the Agricollave lensit of the Agricollave lensity of the Inflant Memory and Inflant Memory and Inflant Agricollave lensity of the Inflant Memory and Inflant Agricollave lensity of the Inflant Memory and Inflant Agricollave lensity of the Inflant Memory and Inf	
2.3 Preparation of Leven areas, supply of materials and seeking. 2.4 Preparation of Leven areas, supply of materials and seeking. 2.5 Preparation of Leven areas, supply of materials and sedding.	staxing value.	specified on the special particle and and an eventile in a control that followed. 3.2. This refers to the special particle and an event in the followed. 3.3. This refers the special particle and the specific particle and the	
	Kalinum emplon of graving median platest and compacted to BNA: A.1 Encyclode A.15 September and another larger	men to passion over.	
1. To SEPROTE PRICE Exhibition France. Section 31. 21. SEPROTE PRICE Exhibitions Mailmanne. Section 31. 22. Other work: Hork other Han This Lot, and specified by Landauge Architect.	4.12. Mass plunded struktu 6. groundererz	and you's not solidate the standard over which is not solid to be the solid to be an an and the solid to be an an and the solid to be an an and the solid to be an and the solid to be an and the solid to be and the solid to be an and the solid to be an and the solid to be and the solid to be an and the sol	
2.2 MATERIALS 1. Graving Medium Conform to BC Landscope Standard for definitions of imported and on-site topool. Refer to Table Dae balance	uiten. A 2 0n-State	The landscape-balance dual formion whellow maintenance to be an alternativity of the BL Charlos Scheler Steelen U, Maintenance as the pole. The regarder of the Sacina U, Sacina U, Maintenance as the pole. The regarder of the Sacina U, Sacina U, Maintenance as the pole. The regarder of the Sacina U, Sacina	
TABLE ONE - PROPERTES OF GROWING HEART FOR LEVEL 2 GROUND AND LEVEL 3 MOORPARE AREAS Canadan System of Sai Chandrachan Calanz "Lange Sant" to "Sandy Loan".	A21 hrightef lava	the contraction competens. .18.7 Deniation from the specifications may require extension of the Werranty Period as determined by the Eurodscape Architect.	
Applications Low Forth Areas. High Traffic Prenting Areas Trees and Large Strubs Law Areas and Planters	3.24 Strub 6 groundener trens		
Groving Itadium Types 2L 2H 2P	128 Cepit mie Linduker V for 725-Sinel sand sen filler (bir). 127 Nationa 15 depit yr vieg nedine except where monded for trees over colone points.		
Terfore Portent Of Dry Hoght of Told Growing Hodown General Genetic Terro Development Company Statement Company Statemen	5 Hanvally spread graving medium/planting soil around existing liness, should and obstantes.		
Larger Han Zörnt 6 - 32 0 - 12 All Grandi 0 - 55 0 - 55	6 In perimeter meeted grans mean, feather greening medium out to outhing at edges and blood hole coaling grades. 7. Norkhold grades shall conferen to the edge allows shown on involvage and site grans.		
væger nan over Percent 0/ Dry Weight of Growing Hedun Excluding Granel	Reshed griefts shall confirm to the elevations shown on landscape and site glans. Ja LANN AREAS - SOCIONG		
Sands (anger Taba N.Sonn 59 - 2025 26 - 1905 4.9 - 1176 sandler than 2.Fon	A General Treat all areas defined as favor areas on the landscape plan between all property lines of the project indusing all tooleo and to edge of roods and lanes.		
Shi large Man 600an 9-ZX 1-55 9-ZX -	2 Growing Netiam Couply with Section 7.2.1, Growing Nation. Prior to codding, request an impection of the firit/set grade, and depth and condition of growing medium by the Landmapp Architect.		
Can	.3 Time of Sodding: Sed from April hit to October hit. Parther collections may be obtained as concurrence of the Landscape Architect.		
smaller than 1.502ma 0 - 25% 1 - 65% 0 - 25% (Lip and SIP Combined stationar 35% stationar 15% numbers 25%	A Sed Supply: Conferent a Ul contilions of B.C. Landscope Simderd, Section 8, 8.C. Simofard for Turfgrees Sod, C. Constitut Turfgrees for more States In Table 7 Internet		
Opprix Control Name 3 - 10% 3 - 5% 10 - 20% Opprix Control Number 3 - 5% 3 - 5% 15 - 20%	S Specifica Turfyres by wee Refer to Table 2 beinn. TABLE 2 SPECIFIC TURFGRASS BY ANEA		
Addin (49 - 1.9 6.9 - 1.0 4.5 - 65	Area Description Duality Grade National Services		
Drainages Percetation shall be such that no standing water is visible 60 nimeles after at fault. It windex of noterale to heavy rain or brigation.	CLASS 1 Lon, all areas noled on drawings as iten it what Gate and the set of th		
2. Fartilizer: An organic and/or horganic compand containing Nitrogen Dil, Phosphale (22) and Polash builded: 2) in proportions required by soil test.	Q. ASS 3 Rough Grazs set by desired and a set of the se		
3 Line: Ground apricultural Unsatione, Heef requirements of the BC Landscape Standard. A Briganic Addition: Conversity compart product to the requirements of the BC Landscape Standard, 6th edition and pre-expressed by the Landscape Architect. Recommender	6 Line: The line shall be as defined in Section 22.3, Halewills. Apply at reles reconnended in required soil lest. Refer to Section 3.6 for method.		
A trapped Addition Connected interpret product in the requirements of the EC Londong: Alternative Methods and pre-expressed by the Londonge Architect. Sciencenoded suppliers: The Assocret Carden Product, Freeze Robinsol Sala & Fare, Threen Cargonics Management. S Such Care, validations pand I and requirements of the EL Londonge Strutture.	J FortNeen: Refer to Section 22.2 Malerials. And/r usekiled (mitiber at rates shown in the resolved set) test. And/r with a varianced servader. Officiale integravity		
5 Computed Back Hulds: New GV/PT when Fr /Newlock hard when and form free of churks and all chard beam in colour and free of all sall, stress, reals or other	medium 6.8 hours prior to souding. Apply separately from line.		
extraneous nutter. Fresh orange in colour bark will be rejected.	3 Sodding Prepara zworkh, fan, enn sarfara far laying sel. Lay sed alagared with sections disaly botted, without mertaphing or gaps, search and een with bifjairing reast and rel. Episty, Water tradition misilure ponetration of 3" to 4" 12 - Soni. Compty with requirements of BL Instance Handrard Section 8, 65 Standard for Performs Sod.		
J. Herdiolex mod Peallislew II ward, must continue to bill federal, provincial and local statutes. Appliers must had current licenses issued by the appropriate authorities in the area	9 Wintenance: Repin maintenance investiglety after sodding and continue for 60 days after Substantial Completion and wn12 accepted by the Owner. Protect sodded areas from danage with Inserver wire or twise forces complete with Source with levels in televine or to the Owner. Water to address address of 3" to 4" (1-40m) at the other source of the other sources of the Owner. The Owner with levels of the Owner. Water to address address address of 3" to 4" (1-40m) at the other sources of the Owner. The Owner with Source with levels the other other the Owner. Water to address address address of 3" to 4" (1-40m) at the other sources of the Owner. The Owner other sources of the Owner. Water to address address address of the Owner.		
.# File Fabric A not biologicalize blanted or other file originentrane that will vilov the passage of value but not fire and particles. (Such as MRAF) NOM, (EDLIN BC4 OR AMXIO 5555 or allemaile product pre-approved by the Landscope Architect.)	internals necessary to univalue sufficient growth. Keep gross cut at height at between 5-02" (Keul and 2" (Scal. Previde adequate protection of societ areas against damage unit the lust has been taken over by Owner. Repair asy damaged areas, re-grade as necessary. As allon may be required if in the Landacape Architect's opinion, drainage		
.) Brairuge Reing ift required Schedule 40 FM constrat witta	Procept the sod base neglion is lepsized. 31 Acceptance of Laws Arcess: The Part shall be reasonably well established, with no apparent dead spots or bare spots and shall be reasonably free of versits (10 B.C.		
.10 Drain States O eau, result, burt, durable, and have a maximum size of them and containing on material smaller than Storm	31 Acceptance of Law Reset: The Part Stability of the Areasonably will assign and the second start and any associated will be reasonably when a guaranti dark guaranti dark guaranti dark guaranti dark associated as a second start associated as a second start as a second start as a second start associated as a second start associated as a second start		
.1. Plant Naturida Te the requirements of the B.C. Landscope Standard. Refer to 33, Plants and Planting. All plant material must be presided from a certified disease free massery. Preside proof of certification.			
. Q Sade Refer to individual sections in this specification.			
.0 Supplier and inclutions of sequential block walls to previde regimeered drawings for all walls signed and sealed drawings for all walls, individually, in excess of LDa, or constantions of walls collectionly in access of LDa. Institutions work be reviewed and Signed of by Centified Professional Engineer, individually, in excess of LDa, and Trender mice.			
rever proc. N- Moscilianova: Any other naterial necessary to complete the project as shown on the drawings and described herein.			

LANDSCAPE ARCHITECTS Suite C100 - 4185 Still Creek Drive Burnaby, British Columbia, VSC 6G9 p: 604 294-0011 ; f. 604 294-0022

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

CLIENT:

MQN Architects

·			
_			
-	i		
_			
B	16.NOV.23	NEW SITE PLAN	MR
7	15.NOV.14	REISSUE FOR DP	MR
6	16, NOV.08	NEW SITE PLAN	MR
5	16,OCT,20	NEW SITE PLAN	MR
4	16,SEPT.15	ISSUED FOR BUILDING PERMIT	MR
3	15.SEPT.13	NEW SITE PLAN	MB
2	16 SEPT 01	NEW SITE PLAN	MR

 1
 15.AUG.23
 NEW SITE PLAN
 MM

 NO.
 DATE
 REVISION DESCRIPTION
 DR.

PROJECT:

KAIGO - FRASERVIEW

Williams Road & Gower Street RICHMOND, BC

SEAL:

sufficient tare to reavly instative plant material for a relatively short period of time to ensure a ins of plants to a new site is order to obtain the desired effect from the planting while reducing at, Establishment of matchemane procedures upply for all new and related resetation involved

ing for 12 months following substantial completion.

atest edition, Fertilizer Code, S.C. Pesticide Control Act.

ction, at final progress draw application, and at the end of the generanize period, there should be th guiled representative of the Orner. Hisiataina legicols and reporting procedures and sobiel to the

t to designaled representative at start-up. Hunters r vivils at other lines of the year may be required. ion W. Table W.Z. Haintenance Level Z "Groomed".

d. Farmulations and rates as required by soil testing.

elween April 1st and July 31st, and on, water new plants at least ever

pply and irrigate with wal 1 of the soil. Apply water in when the water content y appropriat by a general shall reduce

r a sharp retury type nower. Excess grass cipping shak be removed atter each cut. Hew all grassed areas of 60m, How to a beight of 40m. Edge with a mechanical vertical cutting edger ence per year in March. If necessary, in the second growing season, werate in carty Kay with a suitable mechanical corer. Core to a

Jare danaged or Jaling grass areas. Heich the grass sciences in the surrainding area. Re-sod, if required, ni 15th or between September 1st and September 1sth. Protect re-seeded areas and keep mist with the Cest

DRAWING TITLE: LANDSCAPE SPECIFICATIONS

DATE: SCALE: DRAWN: DESIGN:

CHK'D:



16.AUG.15

OF 5

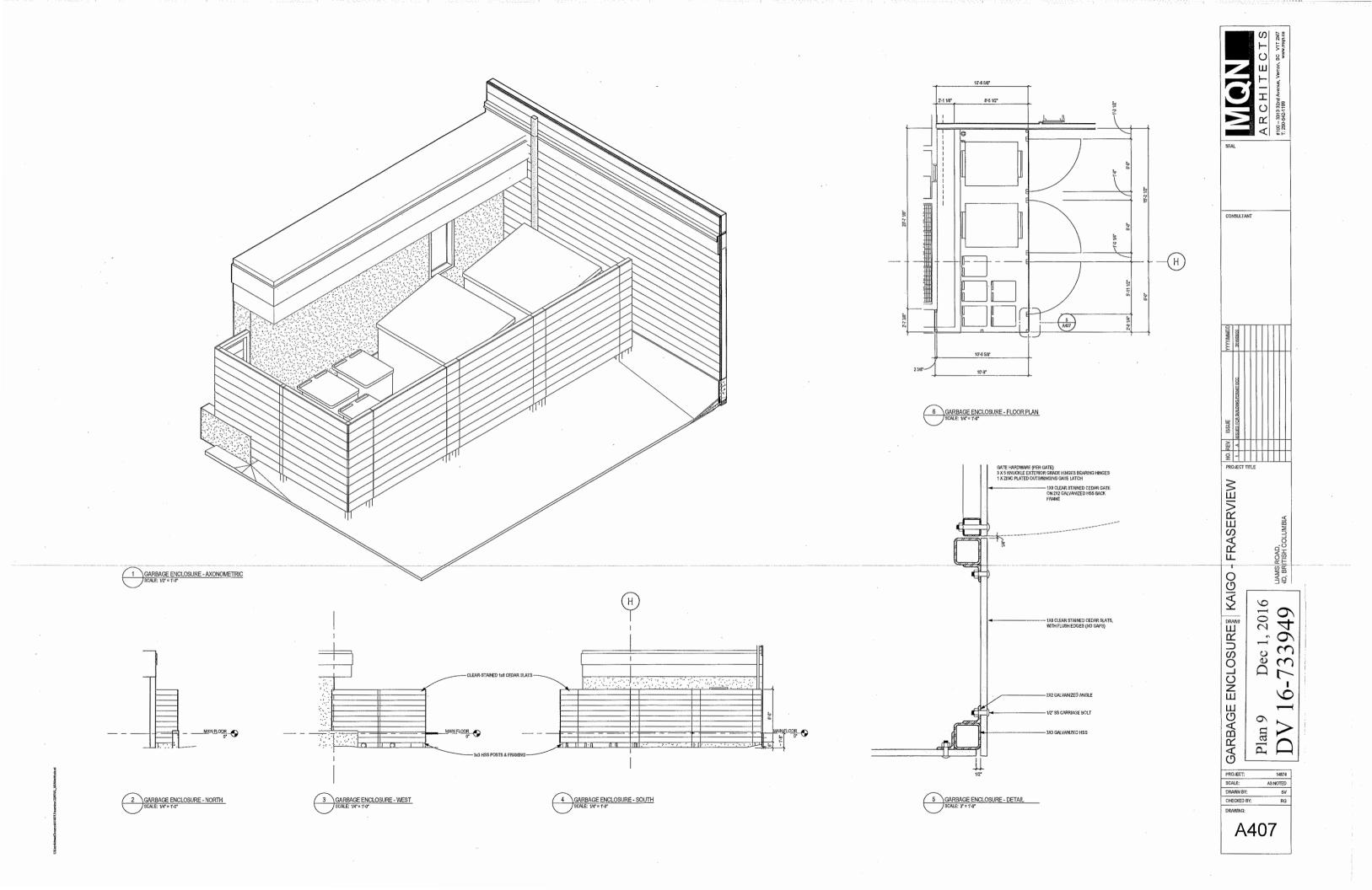
Plan 8 DN

Dec 1, 2016 6-733949

, ```

PMG PROJECT NUMBER:

16-061



5 - Siding: Vinyl 4" Lap Siding, Mitten "Sandcastle"

8 - Trim, Fascia & Belly Bands: Fibre Cement Flat Trim, James Hardie "Arctic White"



4 - Siding: Fibre Cement 7" Lap Siding, James Hardie "Evening Blue"

Vinyl Windows, White

11 - Glazing:

6 - Siding: Fibre Cement Board & Batt Siding, James Hardie "Boothbay Blue" 19 - Roofing: 3-Tab Asphalt Shingle, IKO "Charcoal Grey"



& Downspouts: Aluminum, White



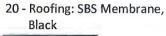
2 - Siding: Cultured Stone, **Boral Country Ledgestone** "Hudson Bay'



ARCHITECTS

C:\Users\shawn\Documents\14874.Frasenview.C DRAWN BY: Author - CHECKED BY: Checker

MATERIAL BOARD KAIGO - FRASERVIEW 9580 WILLIAMS ROAD, RICHMOND, BRITISH COLUMBIA





17 - Flashing: White

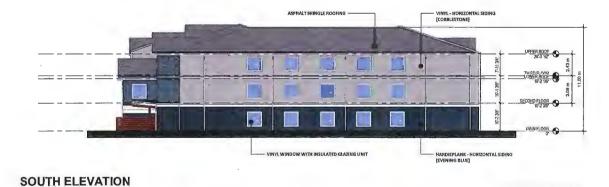






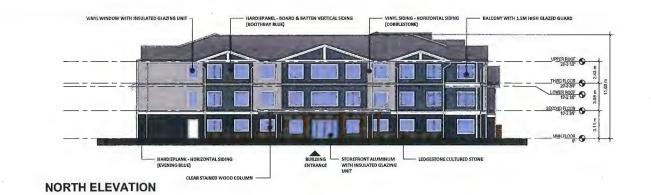






WEST ELEVATION







NOTE: MAIN FLOOR ELEVATION 0.00m = 1.32m GSC THE HIGH POINT OF GOWER STREET = 1.02m GSC

UPER INCL STORE STORE





PERSPECTIVE - SOUTHWEST VIEW - HOUSES D&E



PERSPECTIVE - TYPICAL HOUSE LIVING / DINING / ACTIVITY AREA

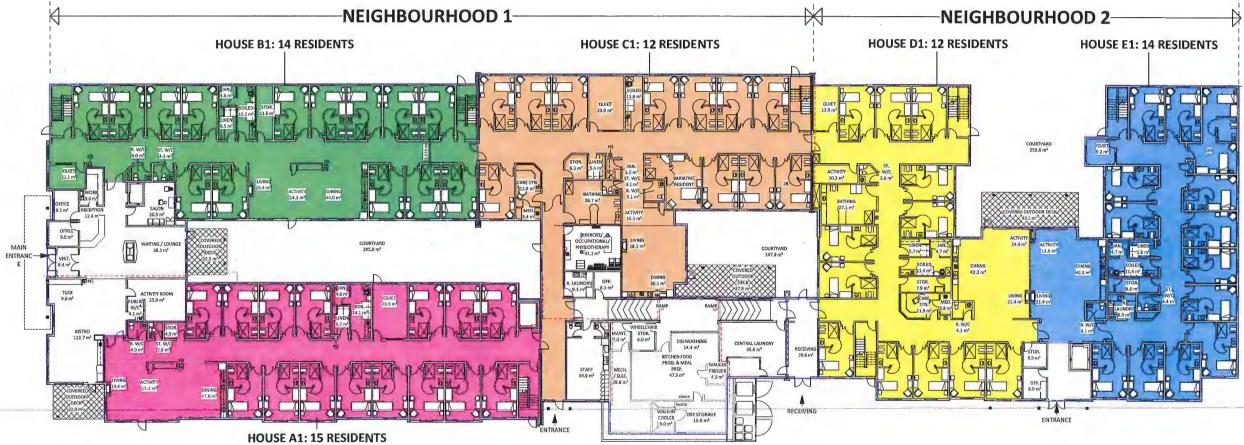


PERSPECTIVE VIEWS



KAIGO - FRASERVIEW RICHMOND, BRITISH COLUMBIA.





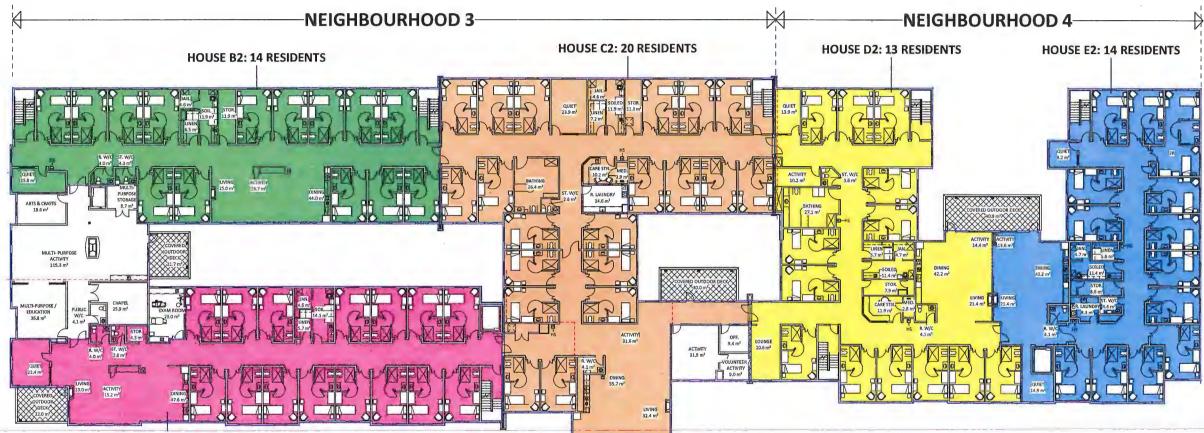


MAIN FLOOR PLAN KAIGO - FRASERVIEW 9580 WILLIAMS ROAD, RICHMOND, BRITISH COLUMBIA









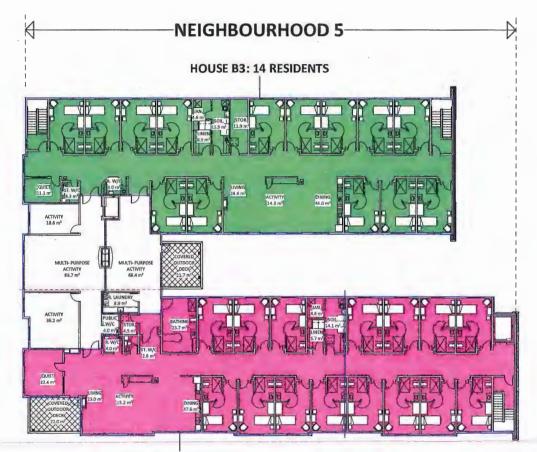
HOUSE A2: 15 RESIDENTS

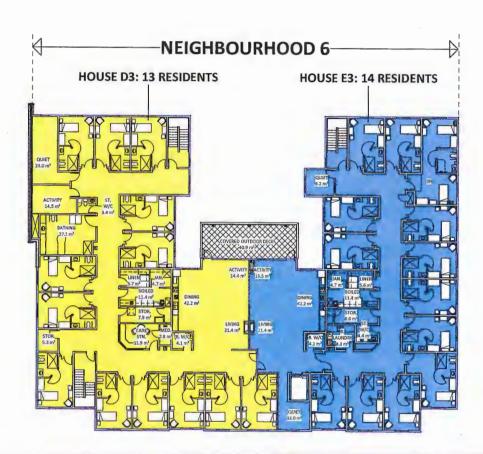


SECOND FLOOR PLAN KAIGO - FRASERVIEW S550 WILLIAMS ROAD, RICHMOND BRITISH COLUMBIA









HOUSE A3: 15 RESIDENTS



THIRD FLOOR PLAN KAIGO - FRASERVIEW 9580 WILLIAMS ROAD, RICHMOND, BRITISH COLUMBIA











CONTEXT SITE PLAN KAIGO - FRASERVIEW 9580 WILLIAMS ROAD, RICHMOND, BRITISH COLUMBIA



 $\frac{\text{Reference Plan}}{DV} \frac{\text{Dec 1, 2016}}{16-733949}$



PROJECT: DATE: SCALE:

14874 14874 2016/10/06 NTS



NORTH SIDE WILLIAMS ROAD





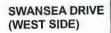
EAST SIDE OF SITE



WEST SIDE GOWER STREET









CONTEXT PHOTOS KAIGO - FRASFRVIEW 9580 WILLIAMS ROAD, RICHMOND, BRITISH COLUMBIA



NORTH END GOWER STREET



13 14874 2016/10/06 NTS

