



To: Development Permit Panel

Date: December 12, 2016

From: Wayne Craig
Director of Development

File: DV 16-733949

Re: Application by MQN Architects for a Development Variance Permit at 9580 Williams Road (Formerly 9580 & 9600 Williams Road & 10140 Gower Street) and 10060 Gower Street

Staff Recommendation

That a Development Variance Permit be issued which would vary the following provisions of Richmond Zoning Bylaw 8500:

- a) Increase the maximum permitted lot coverage from 45% to 48%;
- b) Reduce the minimum side yard setback from 6.0 m to 2.2 m for the west side yard and 4.7 for the east side yard; and
- c) Revise Transportation related requirements to:
 - i. Increase the maximum on-site parking reduction with transportation demand management measures from 10% to 13%;
 - ii. Reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck; and
 - iii. Reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces;

to permit the construction of a 199 bed residential intermediate care facility at 9580 Williams Road on a site zoned "Health Care (HC)" with associated existing garden at 10060 Gower Street.


Wayne Craig
Director of Development

WC:sb
Att.

Staff Report

Origin

MQN Architects has applied to the City of Richmond for permission to vary the provisions of Richmond Zoning Bylaw 5800 to:

- Increase the maximum permitted lot coverage from 45% to 48%.
- Reduce the minimum side yard setback from 6.0 m to 2.2 m for the west side yard and 4.7 for the east side yard.
- Revise Transportation related requirements to: (i) increase the maximum on-site parking reduction with transportation demand management measures from 10% to 13%; (ii) reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck; and (iii) reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces.

There is no rezoning application associated with the subject application. The requested variances would permit the redevelopment of the existing 101 bed residential intermediate care facility into a new 199 bed residential intermediate care facility at 9580 Williams Road on a site zoned "Health Care (HC)". The main garden space for the existing facility is located on the adjacent property at 10060 Gower Street on a site zoned "Single Detached (RS1/E)". The garden will be retained and will continue to be available for the use of residents of the proposed facility.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

The site was recently consolidated from three lots into one development lot addressed as 9580 Williams Road with a total site area of 9,083 square meters. In addition, the existing main garden open space for the existing facility is located on an adjacent lot addressed as 10060 Gower Street. The garden is proposed to be retained for the proposed facility and will be secured by a legal agreement to be registered on title.

Background

Development surrounding the subject site is as follows:

To the north, across Williams Road are single-family homes on lots zoned "Single Detached (RS1/E)" and "Compact Single Detached (RC1)";

To the east are single-family homes on a lots zoned "Single Detached (RS1/E)"; duplexes on lots zoned "Two-Unit Dwellings (RD1)"; and an approximate 4,388 square meter assembly of Williams Road lots zoned "Single Detached (RS1/E)" under application for an arterial road townhouse development;

To the south are a single-family home on a lot zoned "Single Detached (RS1/E)" and a duplex on a lot zoned "Two-Unit Dwellings (RD1)"; and

To the west, abutting the subject site and across Gower Street are single-family homes on lots zoned "Single Detached (RS1/E)".

Neighbour Consultation

On October 26, 2016, the applicant went door to door to visit homes in the vicinity of the subject site, available to answer any questions in English, Mandarin or Cantonese. They spoke with 24 residents and delivered a copy of the development proposal by hand or mailbox to 78 homes located within 50 m of the subject site or along the local street portion of the truck delivery route to the facility. A summary report of the neighbourhood consultation is attached (Attachment 2). The summary report indicates that the following comments regarding the application were received from the residents. The applicant response is indicated in '*bold italics*'.

- Concern that existing on-site trees and hedges adjacent to 9560 Williams Road are too tall and require trimming. *There is existing on-site hedging located along the west edge of the proposed parking area, adjacent to a single-family lot to the west. Roughly one third of the hedge close to Williams Road is proposed to be removed and replaced with new emerald green cedar hedging. The remaining roughly two-thirds of the on-site hedge will be retained and trimmed for the health and maintenance of the hedge. The owner has entered into a contract with an arborist to ensure the health of all on-site trees and hedges identified for retention. The owner will follow up with the neighbour prior to commencing hedge trimming work.*
- Request to maintain the height of the existing hedge adjacent to 9711 and 9731 Swansea Drive. *The on-site hedge adjacent to the neighbouring properties will be retained and the owners will work with their arborist to ensure its health.*
- Request tree planting along Gower Street frontage at an adequate size to screen building. *Significant tree planting is proposed on-site in a mix of sizes and five of the six existing cherry trees in the Gower Street boulevard will be retained.*
- Request to continue pest control program. *A pest control program is currently in place and will continue to be part of the owner's operating model.*
- Request delivery and landscaping hours be not too early. *Construction and landscaping work activity is required to comply with the City's Noise Regulation Bylaw No. 8856. The owner has agreed to enter into a legal agreement to limit truck activity on Gower Street, including: (i) no more than six trucks per week with maximum 9.1 m truck length and loading activity to occur on-site; (ii) no more than 8 trucks with maximum 10 m truck length and truck turnaround to occur on-site; (iii) limited delivery hours of 8 am to 5 pm Monday through Friday and no deliveries on weekends; and (iv) provision of an on-site loading and turnaround area.*
- Supportive of proposed removal of driveway on Gower Street.
- Supportive of proposal.

Staff Comments

The proposed variances comply with the intent of the applicable sections of the Official Community Plan and the proposal is generally in compliance with the Richmond Zoning Bylaw 8500 with the exception of the requested variances noted below. The proposed siting, architectural and landscape designs are provided in the attached plans.

Zoning Compliance/Variances (staff comments in **bold**)

The applicant requests to vary the following provisions of Richmond Zoning Bylaw 8500:

- 1) Increase the maximum permitted lot coverage from 45% to 48%.

(Staff support the proposed variance as it allows for a needed expansion and renovation to the existing intermediate care facility on an overall site that includes generous outdoor garden area on an adjacent property. The site consists of two separate properties with separate zoning. Lot coverage is required to be calculated against the area of the Williams Road property only and does not include the Gower Street garden property. The coverage would only be 44% if it were able to be considered across the overall facility site area including the garden. The applicant has agreed to register a legal agreement on title to 10060 Gower Street to ensure there is no future development of the site, and retention of the outdoor open space garden with structures for the use of care facility residents.)

- 2) Reduce the minimum side yard setback from 6.0 m to 2.2 m for the west side yard and 4.7 for the east side yard.

(Staff supports the proposed variance as it allows for a needed expansion to an existing intermediate care facility that has been designed to minimize the impact to adjacent homes to west and east through breaking up building massing with height and set back variations.

The existing facility does not comply with the required 6 m side yards (Attachment 3). The two single-storey north wings have an existing 4.6 m setback to the east. The two-storey south wing has an existing east setback of 4.6 m with localized areas of 3.6 m setback and has an existing west setback of 2.2 m to Gower Street at the service area.

The central kitchen and service area in the existing two storey building is required to be retained to meet operational needs of the existing and future facility. The construction will be carefully phased as the existing care facility residents will remain on-site throughout construction.

The proposed facility includes a two-storey improved central portion and new three-storey wings to the north and south of the site. The north wing is designed as far to the west as possible to minimize potential impacts on the neighbouring homes to the east. Along the east edge of the site, the interior side yard would be reduced to a 5.7 m east setback for the north wing, and a 4.7 m east setback for the central portion. The south wing would comply with the required 6 m side and rear yards. The east and south building set back areas are proposed to be treated with 1.8 m height solid wood privacy fencing, shrubs, perennials, ground covers as well as walkways, benches and measures to protect two existing on-site hedges and existing neighbouring trees. No new tree planting is permitted in the sanitary sewer SRWs located east and north of the proposed building.

Along the west edge of the site, a reduced 3.6 m west setback would be provided at the north wing which is adjacent to the facility's Gower Street garden property and Gower Street. The existing reduced 2.2 m west setback would be maintained along Gower Street for the retained kitchen and service area. The south wing would comply with the required 6 m setback to Gower Street.)

- 3) Revise Transportation related requirements to:
- i. Increase the maximum on-site parking reduction with transportation demand management measures from 10% to 13%;
 - ii. Reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck; and
 - iii. Reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces.

(Staff supports these proposed transportation related variances as they reflect the anticipated demand for this unique use and the proposal includes Transportation Demand Management features. A Transportation Parking and Loading Study prepared by Bunt & Associates Engineering (BC) Ltd. was submitted in support of the proposal and has been reviewed and accepted by Transportation staff. The study addresses the anticipated demand for vehicle parking, bicycle parking, and truck loading for this care facility use.

As a result of the parking study, 58 parking spaces are proposed to be provided on-site. This represents a reduction from the Zoning Bylaw rate of 0.33 spaces per bed to 0.29 spaces per bed, which is consistent with the current parking supply of 0.29 spaces per bed for the existing facility. All parking spaces will be located in the surface parking area accessed from Williams Road for the shared use of visitors and staff. The applicant has agreed to register a legal agreement on title to ensure no parking spaces are assigned.

Transportation Demand Management features associated with the proposal include voluntary contribution of \$25,000 for the installation of a bus shelter in the vicinity of the subject site, 5 scooter parking spaces with 120 volt receptacles for charging, end of trip change room with shower for employees.

The applicant has also agreed to register a legal agreement on title to restrict truck loading locations, size and number of trucks, and loading activity hours of operation.)

Analysis

Flood Construction Level

- The existing kitchen and service area facing Gower Street is proposed to be retained and the new facility built around it. The floor elevation of the existing portion of the building that is being retained is 0.83 m GSC. The proposal has been reviewed and is acceptable to Engineering staff.
- The site is located in Area A which requires a Flood Construction Level for new construction minimum 0.3 m above highest crown of road. The site fronts both Williams Road and Gower Street and the proposed building is set back from Williams Road behind a surface parking area. Engineering staff have reviewed the proposal and confirm that the minimum flood construction level for the new construction is a minimum of 0.3 m above the crown of adjacent Gower Street. The applicant has agreed to register a flood plain covenant on title.

Conditions of Adjacency

- The subject site is adjacent to Williams Road. The proposed building would be set back from Williams Road behind a surface parking area, which is proposed to be screened from Williams Road with landscape buffers including yew hedging, tree planting and retention of existing on-site trees. Proposed screening on the west edge of the parking area includes the retention of the existing on-site trees and hedging along with new cedar hedge planting and solid wood privacy fencing. Proposed screening on the east edge of the parking area includes the planting of five new trees in a landscape buffer and solid wood privacy fencing.
- The subject site is adjacent to Gower Street. The existing garden and the width of Gower Street would provide an adequate separation between the proposed building and the homes to the west.
- The interior side and rear yards of the proposed building would be adjacent to back yards of neighbouring duplexes and single-family homes. The applicant has requested side yard variances as discussed above. The proposed interior side and rear yards would be treated with privacy fencing, landscaping, walkways and hedge retention and protection of existing trees on neighbouring properties. Unfortunately no new trees are permitted to be planted in the sanitary sewer SRW area.

Site Planning, Architectural Form and Character

- The proposed facility includes a retained and improved two-storey central portion and new three-storey wings to the north and south of the site.
- The massing of the proposed building mitigates adjacency to existing homes to the east by breaking up the three-storey height with a lower two-storey central section and breaking up the long façade into north, central and south areas, including an inset courtyard area; adding residential character and visual relief with horizontal siding, sloped roof forms and gable roof dormer bay elements; and using a subdued colour palette. The same architectural design approach is used on all facades, with a simpler south façade.
- The proposed pedestrian and vehicle access to the subject site is from Williams Road. The proposed central pedestrian entry leads through a surface parking area to the building's main entrance. There is an on-site truck loading bay in the surface parking area north of the building and an on-site truck turn around area off Gower Street at the existing kitchen and service area to accommodate limited truck loading activity on Gower Street.

Landscape Design and Open Space Design

- The landscape design includes retention of trees and hedges and the proposed planting of a variety of trees, shrubs, vines, ornamental grasses, perennials and ground cover for visual interest. Benches are proposed throughout the site and bicycle lockers and racks are proposed at the north edge of the proposed building.
- The Williams Road pedestrian entry design includes a bench, trellis and a raised concrete walkway to the main building entry. The parking area will be screened from Williams Road with a yew hedge. The entry and parking area will be treated with the retention of two mature trees, the planting of ten new trees and a variety of shrubs and lower planting.

- The existing Gower Street garden is designed in a circular pattern to encourage walking and proposed walkways connect the garden with the proposed building. The garden is proposed to be retained for the proposed facility and will be secured by a 'no development' legal agreement to be registered on title.
- Additional secure walking path garden areas with seating opportunities are proposed along the entire east and south edges of the building and a portion of the Gower Street edge.
- All outdoor areas for resident use will be secured with tall fencing and gates in compliance with Vancouver Coastal Health licensing requirements.
- Three interior courtyards provide natural light and views for central rooms, and a secure outdoor area adjacent to indoor amenity areas.
- To ensure that retention trees are protected and landscaping is installed as per the permit drawings, the applicant has agreed to provide a landscaping and tree survival security in the amount of \$222,814.74.

Tree Retention and Replacement

The applicant has submitted a Certified Arborist's Report; which identifies on-site and off-site tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The Report assesses 28 bylaw-sized trees on the subject property, 9 trees on City property, and 13 trees on neighbouring properties.

The City's Tree Preservation Coordinator has reviewed the Arborist's Report and has the following comments:

- Nine trees (tag #286, 287, 310, 311, 331, 332, 333, 334 and 335) located on-site are in suitable condition for retention and not expected to be impacted by any proposed new construction. These trees are to be retained as per City of Richmond Tree Protection Information Bulletin Tree-03 or as per Arborist report recommendations. The two trees (tag #286 and 287) along the Williams Road frontage will require project arborist supervision during construction.
- Three hedge rows (tag# 289, 309 and 314) located on-site are in suitable condition for retention as impacts from proposed construction is expected to be minimal. These trees are to be retained as per City of Richmond Tree Protection Information Bulletin Tree-03 or as per Arborist report recommendations.
- 16 trees (tag #288, 290, 291, 292, 293, 294, 295, 312, 315, 322, 323, 324, 325, 326, 303 and 328) located on-site have been identified as unsuitable for retention. These trees are not good candidates for retention and should be replaced. Four trees (tag# 312, 322, 323 and 328) are in poor structural condition. Nine trees (tag #288, 290, 291, 292, 293, 294, 295, 315 and 326) are in marginal or poor condition with poor structural condition or in poor health and would be in conflict with proposed new construction. Three trees (tag# 324, 325 and 303) are in moderate condition but located within the middle of the proposed building envelope.
- Eight trees (tag# 316, 317, 318, 319, 320, 327, 329 and 330) located off-site along Gower Street on City property are to be protected as per Arborist report recommendations. Parks arborist staff have reviewed these trees and are in agreement.
- One tree (tag# 321) located off-site along Gower Street on City property is in very poor condition due to structural defects, decay and declining health and conflicts with sidewalk

works. As a result, this tree is not a good candidate for retention and should be removed. Parks arborist staff have reviewed the tree and are in agreement. The applicant has agreed to provide a voluntary contribution of \$650 for tree compensation planting elsewhere in the City.

- 13 trees (tag# 296, 297, 298, 299, 300, 301, 302, 304, 305, 306, 307, 308 & 313) located on neighbouring properties are identified to be retained and protected as per City of Richmond Tree Protection Information Bulletin Tree-03 or as per Arborist report recommendations.
- Replacement trees should be specified at 2:1 ratio as per the OCP.

Tree Replacement

The applicant wishes to remove 16 on-site trees (tag #288, 290, 291, 292, 293, 294, 295, 312, 315, 322, 323, 324, 325, 326, 303 and 328). The 2:1 OCP replacement ratio would require a total of 32 replacement trees, which the applicant has agreed to plant. As noted above, a landscaping and tree survival security letter of credit will be provided.

Tree Protection

Off-site, 13 trees on neighbouring properties and 8 trees in the City boulevard are to be retained and protected. The tree management plan included in the Development Variance Permit drawings identifies the trees to be retained and the measures taken to protect them during development stage. To ensure that the trees identified for retention are protected at development stage, the applicant is required to complete the following items:

- Prior to Development Variance Permit issuance, submission to the City of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones. The contract must include the scope of work required, the number of proposed monitoring inspections at specified stages of construction, any special measures required to ensure tree protection, and a provision for the arborist to submit a post-construction impact assessment to the City for review.
- Prior to demolition or construction activity on the subject site, installation of tree protection fencing around all trees to be retained. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin Tree-03 prior to any works being conducted on-site, and remain in place until construction and landscaping on-site is completed.

Engineering Works

The applicant has agreed to enter into a Servicing Agreement prior to future Building Permit issuance for the design and construction of frontage improvements and engineering infrastructure (Attachment 4). The works include frontage improvements along Williams Road and Gower Street and a water system upgrade through the site. Along Williams Road, new sidewalk and boulevard with street trees are proposed along the site frontage. Along Gower Street, new sidewalk and boulevard with street trees are proposed along the site frontage, connecting to the existing sidewalk at the cul-de-sac and a new sidewalk is proposed beyond the site frontage to Swansea Drive to the south. A new water main is proposed to connect the Williams Road and Gower Street water mains in a new proposed utilities statutory-right-of-way through the site.

Residential Intermediate Care Facility Requirements

Vancouver Coastal Health staff advise that the proposal was reviewed through a thorough evaluation process and is one of the successful projects for new/renovated beds for Vancouver Coastal Health in Richmond. This project aims to replace an aging facility that can no longer meet standards for the delivery of quality residential care. The new facility will meet or exceed standards, is in compliance with Vancouver Coastal Health Design Guidelines and licensing regulations.

The existing facility will be redeveloped, replacing 101 existing beds with 199 new beds of which 176 will be funded through a contract with Vancouver Coastal Health and 23 will be available for the private sector.

Vancouver Coastal Health staff advise that the garden on Gower Street is required for the provision of outdoor space for the residents and all outdoor spaces must be entirely secured with tall fencing and gates for the safety of residents in care, as the majority can suffer from moderate to severe dementia.

Conclusions

The proposal will provide an upgraded intermediate residential care facility with 98 additional beds addressing a need in our community and providing an improved facility for the residents in the existing facility. The variances have been satisfactorily addressed with the treatment of building massing, landscaping and the provision of parking, loading, Transportation Demand Management measures. The applicant has agreed to provide Development Variance Permit considerations and to enter into a Servicing Agreement for frontage improvements and infrastructure upgrades (Attachment 3). On this basis, staff recommend that the Development Variance Permit be endorsed and issued by Council.



Sara Badyal
Planner 2

SB:rg

- Attachment 1: Development Application Data Sheet
- Attachment 2: Neighbourhood consultation summary
- Attachment 3: Existing Facility Ground Floor Plan and Aerial Photo
- Attachment 4: Development Variance Permit Considerations



DV 16-733949

Attachment 1

Address: 9580 Williams Road and 10060 Gower Street

Applicant: MQN Architects

Owner: Fraserview Retirement Community Ltd.

Planning Area(s): Broadmoor

	Existing	Proposed
Site Area	9580 Williams Rd (10060 Gower St) 9,083.3 m ² (795 m ²)	No change
Land Uses	Single-family residential Care Facility, Major Vacant Land (Garden at 10060 Gower St)	Care Facility, Major (Garden maintained at 10060 Gower St)
OCP Designation	Apartment Residential (Neighbourhood Residential at 10060 Gower St)	Complies
Zoning	Health Care (HC) (Single Detached (RS1/E) at 10060 Gower St)	No change Variances to HC zone noted below
Number of Units	1 single-family home 101 bed care facility	199 bed care facility

9580 Williams Road	Bylaw Requirement	Proposed	Variance
Floor Area Ratio (FAR)	Max. 1.0 Max. 0.4 Amenity	1.0 0.24	None permitted
Lot Coverage	Max. 45%	48%	3% increase
Setbacks: Williams Rd Gower St Side Yard (East) Rear Yard (South)	Min. 6 m Min. 6 m Min. 6 m Min. 6 m	50.7 m 2.2 m to 6 m 4.7 m to 6 m 6 m	From 6 m to 2.2 m From 6 m to 4.7 m
Height	Max. 12 m	11.95 m	None
Off-street Parking Spaces	61 with TDMS	58 with TDMS	3 space reduction
Accessible Parking Spaces	2%	2%	None
Small Car Parking Spaces	Max. 50%	47%	None
Tandem Parking Spaces	None permitted	None	None
Loading Spaces	2 Medium SU-9 1 Large WB-17	1 Medium SU-9 & Manoeuvring for SU-9/MSU	Providing 1 SU-9 & SU-9/MSU manoeuvring
Bicycle Parking Class 1 secure Class 2 outdoor	31 31	8 11	23 space reduction 20 space reduction



Fraserview Neighbourhood Consultation

16.11.04

Overview

On October 26, 2016 Kevin Svoboda, President, and Sharlene Liang, Administrative Assistant, Fraserview Retirement Community Ltd., walked door to door to all houses within 50 meters of the proposed project. A detailed summary of all houses visited and if there were any comments by owners is provided on the attached schedule.

Sharlene speaks both Mandarin and Cantonese and this was helpful in explaining details of the proposal to a variety of neighbours.

One follow up email was received from Hitoshi Yamamoto (9731 Swansea Drive) the evening of October 26th and it is attached. Sharlene and Dash (10191 Gower Street) bumped into each other on Gower Street on November 1st and Dash asked if it could be mentioned that he is unhappy about garbage trucks making noise at 7 am on most Friday's and driving unprofessional.

All deliveries and private contracted garbage services for the facility are being informed that they are only to deliver between 08:00 and 17:00. The client has contacted the private garbage contractor and conveyed the neighbour's concern about the unprofessional driving.

No other correspondence or phone calls were received by Kevin Svoboda or Roger Green, Architect.



Properties highlighted in pink received consultation packages
Dotted orange line represents delivery routes to property

Fraserview Neighbourhood Consultation - October 26, 2016

House Address	Time	Package Delivered		Comments/Discussion with the home owner
		In Person	Mailbox	
Williams Rd				
9791	9:45am		√	
9771	9:47am		√	
9751	9:49am		√	
9731	9:51am		√	
9715	9:53am	√		Owner's name: Sunny Family of Fraserview resident , happy with things and looking forward to the new building
9711	9:54am		√	
9691	9:56am		√	
9671	9:57am		√	
9655	9:59am		√	Spoke over the intercom. Asked to leave information in mailbox
9651	10:00am		√	
9500	10:01am		√	
9520	10:02am	√		After providing an overview of proposal owner joked, please keep a room for me as I am getting older
9540	10:06am		√	
9560	10:07am	√		Owner's name: Raymond Contact: 778-865-3822 1. Was happy to hear driveway entrance is being moved to other side of property 2. Complained the trees and the hedge are too tall as they block the second floor view and squirrels and pine needles get on to their property. Would like to see those trees trimmed. Note: Will follow up with property owner prior to trimming hedge to confirm height.
9620	10:14am		√	
9640	10:16am	√		Thank you. If I have any questions I will contact you
9660	10:18am		√	
9460	10:23am	√		Thank you
Severn Dr, W				
10051	10:24am		√	
10071	10:25am		√	
10091	10:26am	√		Owner only speaks mandarin. Sharlene explained about the project and they will contact her if have any questions
10111	10:29am	√		Thank you, no questions at this point
10131	10:33am	√		Thank you, will review it
10151	10:34am		√	
10171	10:35am	√		Thank you, will review it
10191	10:36am		√	
10211	10:37am		√	
10231	10:38am		√	
10251	10:39am	√		questions

10271	10:42am	✓		Explained project details and after reviewing the schematics, commented very beautiful facility
Swansea Dr.				
				Owner invited us in the house and we explained project. He was surprised at the amount of soil being trucked away. We reviewed construction plan, timelines and building details. He was happy to see the facility upgrading. He did mention that when the equipment is working he can feel the ground shaking and it makes you realize how fluid the Richmond soil is. He asked if we would be able to mention that the Harvest composting/recycling facility causes a really bad smell in the air around the community and everybody is complaining about it and something needs to be done
9500	10:47am	✓		
9520	10:54am		✓	
9540	10:55am		✓	
9560	10:56am		✓	
				Owner's name: Dharam have no concerns, it is good for the seniors. Good for kitchen access and main entrance access to be separate. This is a good area for a seniors home.
9580	10:58am	✓		
9600	11:05am		✓	
9620	11:06am		✓	
9640	11:07am		✓	
9660	11:08am		✓	
9680	11:09am		✓	
9700	11:10am		✓	
				I like the facility very much. I heard about the expansion and I am happy about it. I appreciate that you, as an owner, inform us door to door making all this effort. When will it be finished as my in laws will need spots in Fraserview.
9720	11:12am	✓		
9740	11:17am	✓		Thank you no questions
9760	11:18am		✓	
9780	11:19am	✓		Thank you will leave it for my parents
9800	11:22am	✓		Thank you, will review it
9871	11:25am		✓	
9851A	11:26am	✓		
9851B	11:26am		✓	
9831A	11:27am		✓	
9831B	11:27am		✓	
9811	11:28am		✓	
9791	11:29am		✓	
9771	11:32am		✓	
9751	11:33am		✓	

				Thank you. Please note Kevin went back at 4:00 pm and met with this property owner Hitoshi as well as Valencia the neighbour from 9711 Swansea. One hour was spent talking about the proposal as well as details of operations, including memory care and activities provided. Main items - Maintain the hedge as high as possible, continue with pest control as not done by previous owner and deliveries and garden work should not be too early (had an issue with a neighbours gardener). If fence is to be replaced Frasersview will cover the cost. Valencia joked about having a gate through the fence so her and her family could enjoy the walkways and garden area. Hitoshi also provided information on a water filter that he could sell to Frasersview.
9731	11:34am	✓		
9711	11:35am		✓	
9691	11:36am		✓	
9611	11:39am		✓	
9591	11:40am		✓	
9571	1:21pm	✓		Thank you, will review it
Gower St.				
10091	1:04pm	✓		Owner only speaks mandarin, will contact sharlene if have any questions about proposal
10111	1:06pm		✓	
10131	1:08pm		✓	
10171	1:10pm		✓	
				Owner's name : Dash Asked about timelines and was happy to hear that preloading was only 6-8 weeks and not months. Was also happy that there was no driveway on Gower as there currently is one on the empty lot. Asked to plant more nice size trees and have more nice landscaping so he does not only see building from his upstairs.
10191	1:12pm	✓		
10211	1:19pm		✓	
Severn Dr. E				
9533	1:23pm		✓	
10220	1:25pm		✓	
10200	1:27pm		✓	
10180	1:28pm		✓	
10160	1:30pm		✓	
10140	1:31pm	✓		questions
				Owner's name : Eliza After explaining project she had the following comments: I support it, it is no nice and so close to our home. I would like to have beds for my in-laws. It is good no residents need to move during construction. Do you have a job in the facility for me as I am a stay at home mom.
10120	1:32pm	✓		
10100	1:38pm		✓	
10080	1:39pm		✓	
10060	1:39pm		✓	
10040	1:40pm		✓	

Summary

Total house visited	78	
Williams:	18	
Severn:	23	
Gower:	6	
Swansea:	31	
Total in person delivery	24	(31% of total house visited)
Total in mailbox delivery	54	(69% of total house visited)
Total Mandarin speaker:	4	(5% of total house visited)

Roger Green

From: Hitoshi Yamamoto <yamayama@shaw.ca>
Sent: Wednesday, October 26, 2016 7:52 PM
To: Kevin Svoboda
Subject: Re: Fraserview Retirement Community

Follow Up Flag: Follow up
Flag Status: Completed

Hi Kevin,

It was please to meet you today at my home.
It will be an exciting 3 years to come.
If any thing I notice, I will inform you.

By the way,
Here are some information about water pipe that I showed you today.

This is our company video.
<https://www.youtube.com/watch?v=5Jl2kG8P4to>

This is why we need Hydrogen, please watch the video
<http://www.molecularhydrogenfoundation.org/videos/>

Here are some testimonials
<http://newg7.com/en/>

This is Mindfulness video, Tameshite-Gatten
<https://www.youtube.com/watch?v=nh8jgdtUPYA>

This is Japanese main company's site
<http://crystal-gaia.com/index.php?syohin>

Please contact me for any question.

Best Regards,

Hitoshi Yamamoto

From: Kevin Svoboda
Sent: Wednesday, October 26, 2016 12:06 PM
To: yamayama@shaw.ca
Subject: Re: Fraserview Retirement Community

Hi Hitoshi

I just dropped an information package off at your house and would be available to meet earlier if that works for you as it would help me out.

Please let me know if you are available. If not I will meet you at 4:30.

Regards Kevin

Sent from my iPhone

On Oct 26, 2016, at 10:46 AM, "yamayama@shaw.ca" <yamayama@shaw.ca> wrote:

9731 Swansea drive. Richmond
Thank you
Sent from my BlackBerry® phone powered by Koodo Mobile®.

From: Kevin Svoboda <KSvoboda@kaigo.ca>
Date: Wed, 26 Oct 2016 15:30:04 +0000
To: Hitoshi Yamamoto <yamayama@shaw.ca>
Subject: Re: Fraserview Retirement Community

Hi Hitoshi

I can't seem to find your address. If you could please provide.

I look forward to meeting you this afternoon.

Kevin

Sent from my iPhone

On Oct 25, 2016, at 8:05 PM, Hitoshi Yamamoto <yamayama@shaw.ca> wrote:

I will meet you at 430 pm.
Hitoshi

From: Kevin Svoboda
Sent: Tuesday, October 25, 2016 4:42 PM
To: Hitoshi Yamamoto
Subject: RE: Fraserview Retirement Community

Hi Hitoshi:

4:30 tomorrow afternoon would work. Please confirm your address.

I was hoping to meet individually with the neighbours to spend more personal time answering questions and providing an overview of the project.

Look forward to meeting.

Regards,

Kevin Svoboda
President
Kaigo Senior Living Group
#303-1055 West Broadway
Vancouver, B.C. V6H 1E2
Tel: 604-733-6229 #101

Fax: 604-733-6228

This email may contain confidential or privileged information. If you are not the intended recipient please delete this email and notify us immediately. Thank you.

From: Hitoshi Yamamoto [mailto:yamayama@shaw.ca]
Sent: Tuesday, October 25, 2016 4:32 PM
To: Kevin Svoboda <KSvoboda@kaigo.ca>
Subject: Re: Fraserview Retirement Community

Hi Kevin,

Did you invite neighbours? I think we should all get together in one area to talk instead of individually.

I don't know neighbour's schedules.

I can be home around 4 30 pm tomorrow unless I get emergency call.

Thank you

Hitoshi

From: Kevin Svoboda
Sent: Tuesday, October 25, 2016 3:54 PM
To: HITOSHI YAMAMOTO
Subject: RE: Fraserview Retirement Community

Hello Hitoshi:

I know it is short notice but tomorrow I will be in the area and hope to meet the neighbours to provide some information about the project. Please let me know if there is a good time I could come by your house.

Regards,

Kevin Svoboda
President
Kaigo Senior Living Group
#303-1055 West Broadway
Vancouver, B.C. V6H 1E2
Tel: 604-733-6229 #101
Fax: 604-733-6228

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From: HITOSHI YAMAMOTO [mailto:yamayama@shaw.ca]
Sent: Friday, September 09, 2016 1:15 PM
To: Kevin Svoboda <KSvoboda@kaigo.ca>
Subject: Re: Fraserview Retirement Community

Hi Kevin,

Thank you for your reply.

I forwarded your answers to my both side of neighbors.

I will wait their responses and talk to them.

I am looking forward to meet you soon.

Thank you

Hitoshi Yamamoto

From: "Kevin Svoboda" <KSvoboda@kaigo.ca>
To: "Hitoshi Yamamoto" <yamayama@shaw.ca>
Cc: "Lawrence Chiu" <Lawrence.Chiu@wspgroup.com>, "Steven Case" <Steven.Case@wspgroup.com>, RGreen@mqn.ca, SBadyal@richmond.ca
Sent: Friday, September 9, 2016 11:00:48 AM
Subject: RE: Fraserview Retirement Community

Hi Hitoshi:

Thank you for your questions. Please see answers below.

Also to share that in the next couple weeks I plan to walk the area to try and meet with the neighbour's to review the plans and answer any questions. If you like I can email you when I know the date so we could meet and review the items?

Regards,

Kevin Svoboda
President
Kaigo Senior Living Group
#303-1055 West Broadway
Vancouver, B.C. V6H 1E2
Tel: 604-733-6229 #101
Fax: 604-733-6228

This email may contain confidential or privileged information. If you are not the intended recipient please delete this email and notify us immediately. Thank you.

From: Hitoshi Yamamoto [mailto:yamayama@shaw.ca]
Sent: Sunday, September 04, 2016 9:04 AM
To: Kevin Svoboda <KSvoboda@kaigo.ca>
Cc: Lawrence.Chiu@wspgroup.com; Steven.Case@wspgroup.com; RGreen@mqn.ca; SBadyal@richmond.ca
Subject: Re: Fraserview Retirement Community

Hi Kevin,

We had a couple of gentlemen from WSP to assess my house and property. They took many pictures for evidences before construction begins. I would like to have those pictures with explanations for my record. I asked a few questions to them but they are not in position to answer me.

- if I ask a copy of those reports, who is going to pay for it? [I would be happy to provide a copy of the section of the report that outlines your property. I would cover the cost.](#)

- if I find new cracks or existing cracks get bigger, wider, longer than original on walls, that is not difficult to repair,

but why cracks get bigger or so, because the house foundation is shifting, who will fix this shifting foundation, how? This is difficult to answer without knowing details of any possible pre-existing condition and construction quality. I have retained engineers to plan, oversee, and assess construction throughout the building process to mitigate any potential damage. Now I can say that if there was something that was clearly due to the contractors actions I would repair the damage.

- when you dig your side deep for new building foundation close to the fence, you are cutting off Roots of trees which may lead to killing of trees

how can you prevent this? On the south lot there is a 6 meter setback. An Arborist has also been retained and will oversee the process.

Your previous answer regarding trees said "in bad shape" but I don't see any bad shape trees from my yard. Did arborist come to my yard to exam? Sorry for the confusion I was referring to some trees that are on my vacant lot. The Arborist did not enter your yard.

Thank you

Hitoshi Yamamoto

From: Kevin Svoboda

Sent: Wednesday, August 31, 2016 10:26 AM

To: yamayama@shaw.ca

Cc: Lawrence.Chiu@wspgroup.com ; mailto:Steven.Case@wspgroup.com ;
mailto:RGreen@mqn.ca ; mailto:SBadyal@richmond.ca

Subject: Fraserview Retirement Community

Hello Mr. Yamamoto:

I am the owner of Fraserview and was forwarded your email that was sent to Lawrence at WSP. Below, please find answers to your questions:

-what kind of heavy machineries to be used for this project? - **An excavator, bulldozer and compactor will be used during construction.**

-are you piling spikes to ground for postings? - **No this is not anticipated.**

-how many story is this new building? - **A mix of 2 and 3 stories**

-how close new building to the fence? - **The new building is 4.7m to 6m away from the east property line.**

-are you going to cut trees between your property and my backyard? - **We are still finalizing details of the arborist report but the hedge that is along the East property line is in bad shape and may need to be removed. If this is the case a new hedge will be planted.**

-any commercial kitchen is in new building? - **The existing kitchen will be upgraded and retained at the original location along Gower St.**

-any kitchen exhaust fan? - **Yes, a new exhaust fan will be installed.**

-any odour control is used, (UV system?) - **This is not necessary as we don't have heavy effluent as we do not have a deep fryer or char broiler. All cooking is done in pots, the oven or steamer.**

-any rodents control applied? - **Yes. We have a contract with PCO for pest control and this will be maintained during and after construction.**

Thank you for contacting us and should you have any further questions please do not hesitate contacting me.

Regards,

Kevin Svoboda
President
Kaigo Senior Living Group
#303-1055 West Broadway
Vancouver, B.C. V6H 1E2
Tel: 604-733-6229 #101
Fax: 604-733-6228

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Fraserview

Retirement Community Ltd.

Fraserview has been an integral part of the Richmond community for 45 years, providing complex care to 101 residents in private and semi-private furnished rooms. Over these 45 years the facility has grown and changed with the needs of its residents however the existing building is no longer capable of meeting the demand and client needs. In order to continue providing care in Richmond, Fraserview is proposed to undergo an exciting redevelopment.

Over the next three years a new two/three-storey residence is proposed to be constructed on site to replace the current aging facility. This proposed redevelopment will be done in stages to ensure that residents are not displaced. When complete, the new facility will be equipped to care for 199 residents with 176 government-subsidized complex care beds to meet the community's growing needs.

The new Fraserview facility will provide a higher standard of living for residents including the following complex care services:

- 24-hour professional staff supervision
- Medical coordinator
- Dietician
- Recreation therapist
- Occupational therapist
- Physical therapist
- Social worker
- Music / art therapist
- Dementia / memory care specialist

So what does this all mean to you?

As neighbours of this proposed redevelopment project you are likely curious as to how this project will affect your neighbourhood. To enable this project to proceed a Development Variance Permit is required to request a reduction to the Gower Street and east setbacks and parking requirements (refer to City of Richmond DV 16-733949) which are further described on the following pages. Attached to this letter are a set of drawings showing the proposed new facility.

In preparation for construction the project has engaged a company to video-analyze the adjacent city pipes. A second company has been engaged to conduct a pre-construction building assessment of adjacent properties and has contacted neighbours and is finalizing their report. The property currently has a number of trees on it, a certified arborist has been engaged to assess the condition of the existing trees. Should you like a copy of the arborist report and pre-construction building assessment please contact the owner.



Fraserview
Retirement Community Ltd.

MQN
ARCHITECTS

Fraserview

Retirement Community Ltd.

The site is currently Zoned Health Care (HC). The proposed facility will conform to the requirements as set out in Richmond's Zoning & Development Bylaw 8500 except for the Variances outlined below. The facility is classified as a Community Care Facility, Major.

This project is applying for the following variances to achieve the Vancouver Coastal Health Authority's design guidelines:

1. **Lot Coverage:** The zoning for this project allows for 45% maximum lot coverage. Currently the facility design is at 47.8%. We are proposing to mitigate this 2.8% overage on site coverage by incorporating permeable surfaces. Although coverage exceeds the maximum, this facility also utilizes 10060 Gower Street as gardens for the residents. 10060 Gower is not included in the lot coverage calculation as it is zoned differently, however it is required for the operation and includes an additional 795m² of outdoor area. If the area of 10060 Gower was included the lot coverage would be 44.0%.

2. **Setbacks:** The zoning requires minimum front, side and rear yard's = 6.0m

i) **North Building (Houses A & B) – West setback (House A)** - The existing House A has a West setback = 5.99m. The new proposed House A has a West setback = 3.6m. The west setback has been reduced to enable an increase in the east setback from the existing 4.6m to 5.7m. This reduction in setback is required because the New VCH Design Guidelines require larger resident rooms than what currently exist in the demolished Existing House A. We would point out that a large portion of this House A fronts onto the existing outdoor garden located on the adjacent lot which is also owned by Fraserview Retirement Community Ltd. This garden has been in existence for many years and is the primary outdoor amenity space for the entire facility.

ii) **Centre Building (House C) – East setback** - The existing House C has an East setback ranging from 3.5m to 4.7m. The new proposed House C has an East setback = 4.7m. The new East setback is an improved condition. The height of the proposed House C is 2 stories which is consistent with the existing.

West setback - The existing House C has a West setback = 2.2m. The setback remains the same as this portion of the existing building is being incorporated into the new facility.



Fraserview

Retirement Community Ltd.

Project Information

Development Variance Permit Application - DV 16-733949

Development Address - 9580 & 9600 Williams Rd, 10060 & 10140 Gower St, Richmond, BC
(Addresses may change through combining of lots)

Applicant: MQN Architects

Should you have any questions or comments please feel free to contact Architect Roger Green (250) 542-1199 or the Owner Representative Kevin Svoboda (604) 733-6229.

Architect:

Roger Green
MQN Architects
(250)542-1199
rgreen@mqn.ca

Owner:

Kevin Svoboda
Fraserview Retirement Community Ltd.
(604)733-6229
ksvoboda@kaigo.ca

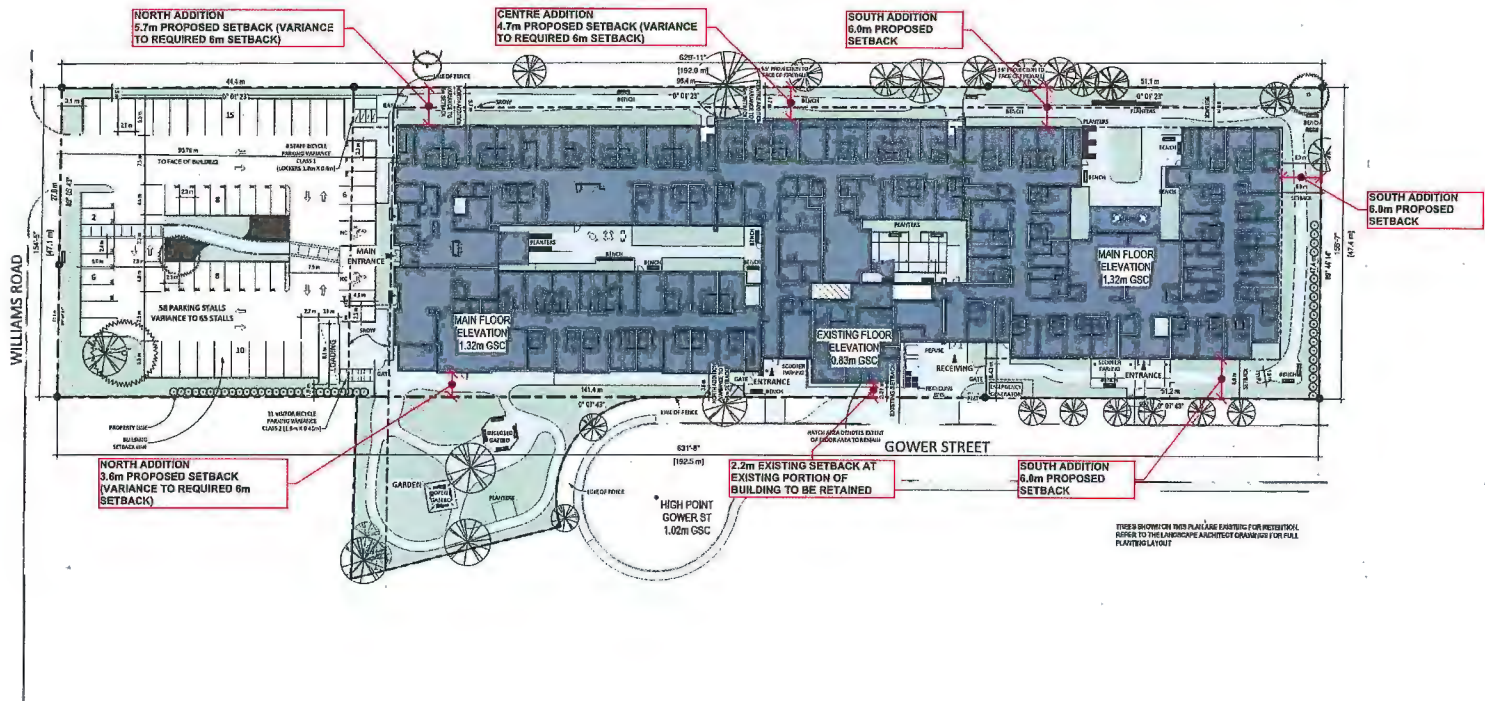
City of Richmond Planning Department:

Sara Badyal - Planner 2
Development Applications Department
City of Richmond
(604)276-4282
sbadyal@richmond.ca

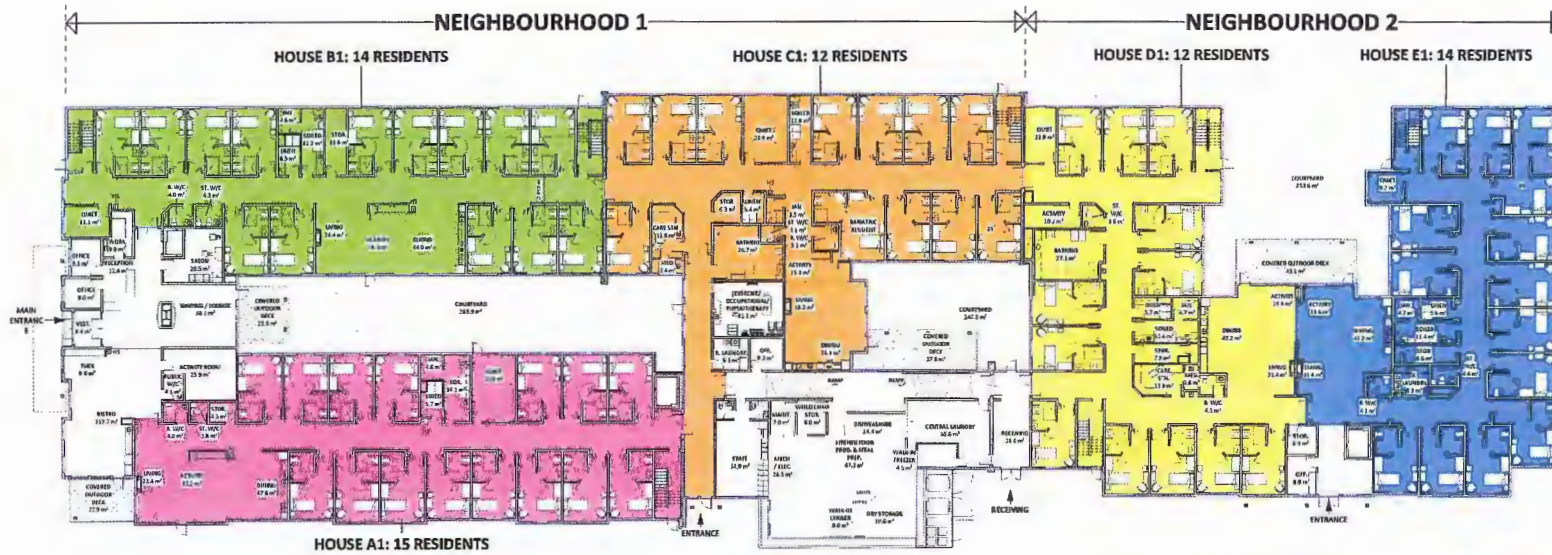


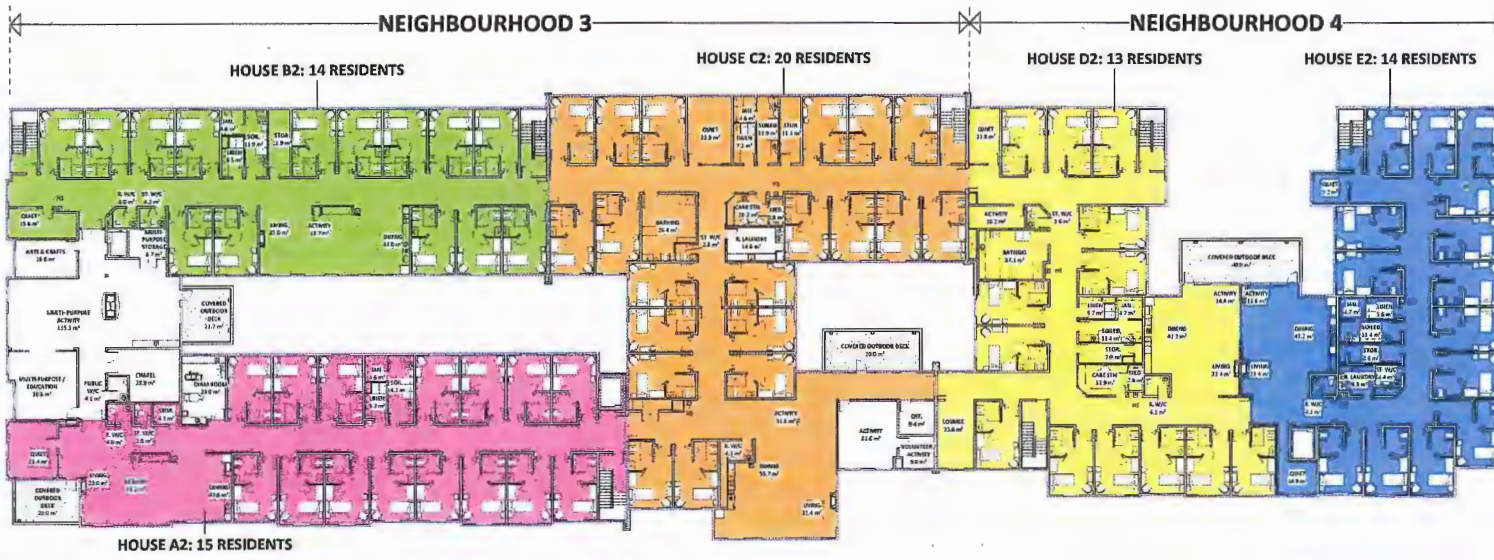
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TREES SHOWN ON THIS PLAN ARE EXISTING FOR REFERENCE. REFER TO THE LANDSCAPE ARCHITECT DRAWINGS FOR FULL PLANTING LAYOUT.





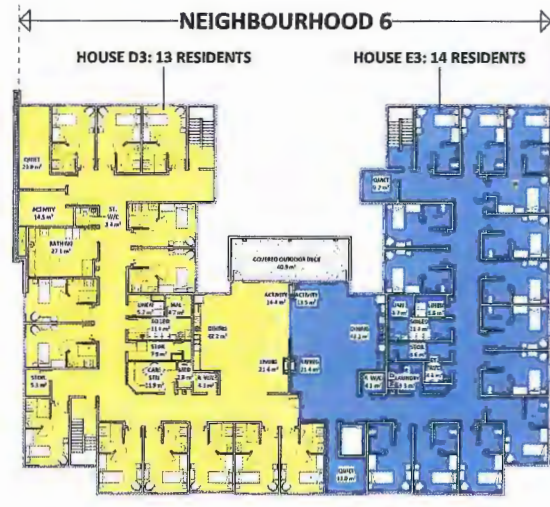
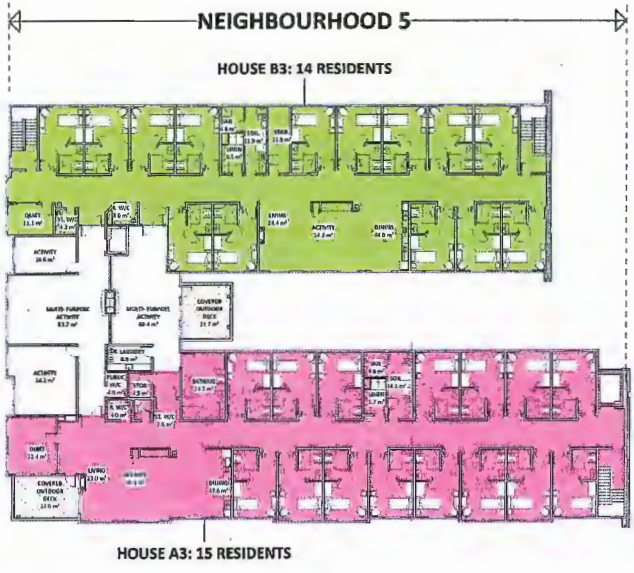
10/20/2014 10:00 AM

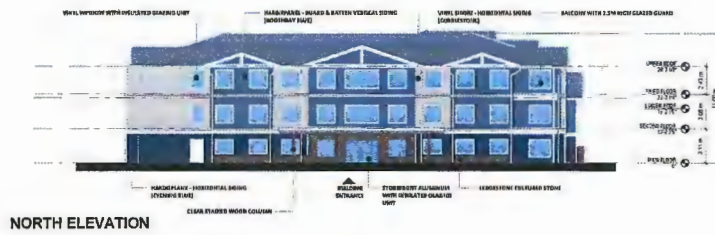


SECOND FLOOR PLAN
KUNO - FRASER EV
PMT ALI LANE ROAD
KUNO WONG BUILDING



DRAWING **05**
PROJECT 11871
DATE 30/11/2014
SCALE 1:100





NORTH ELEVATION

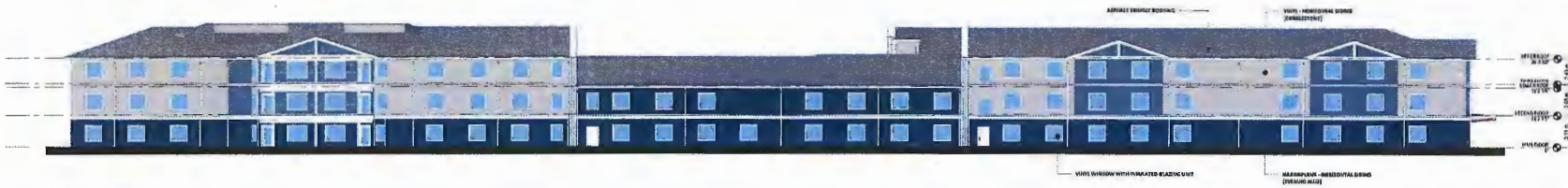


WEST ELEVATION



SOUTH ELEVATION

NOTE: MAIN FLOOR ELEVATION 0.00m = 1.32m GSC
THE HIGH POINT OF GOWER STREET = 1.02m GSC



EAST ELEVATION



PERSPECTIVE - NORTHWEST VIEW - MAIN ENTRY

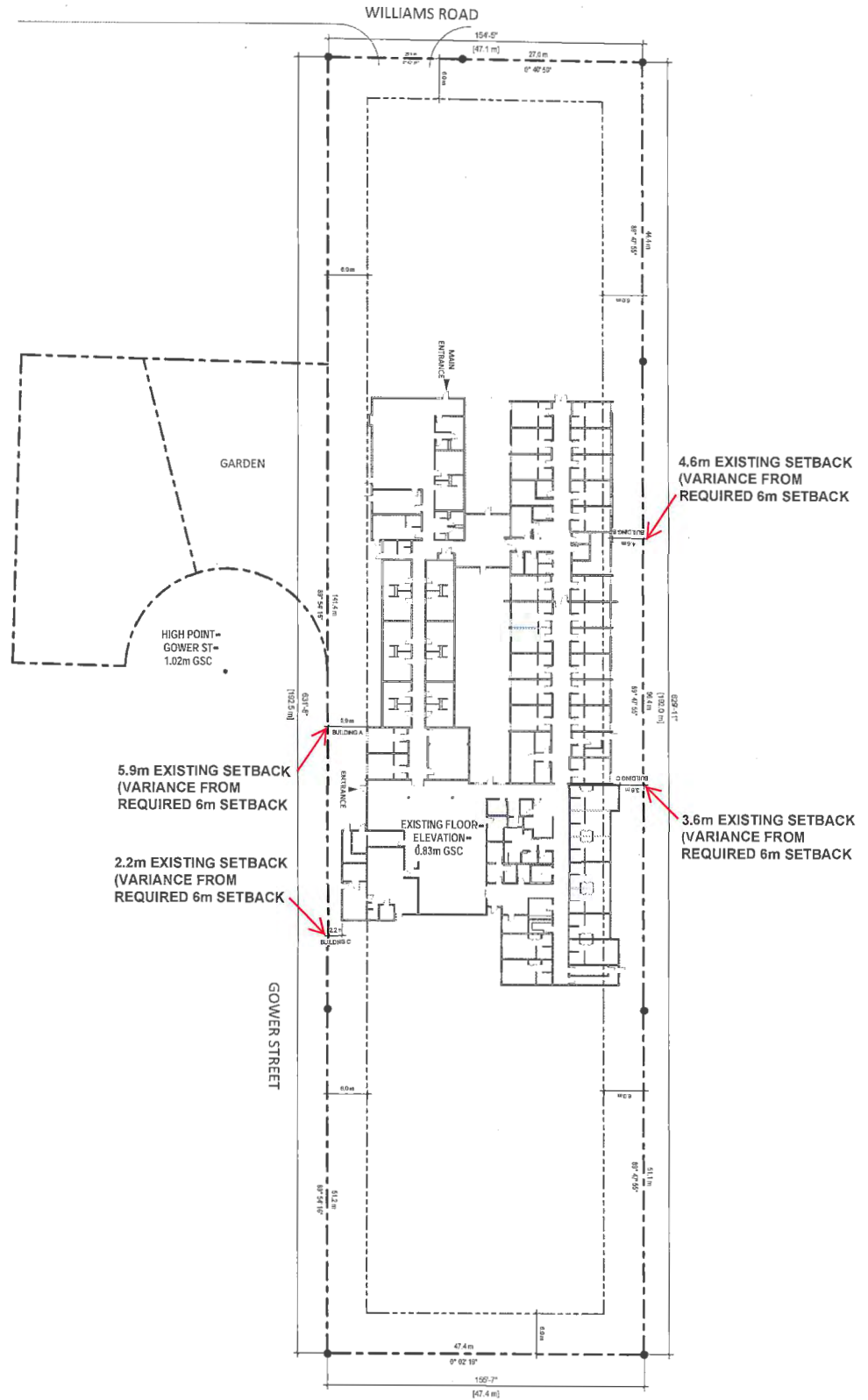


PERSPECTIVE - SOUTHWEST VIEW - HOUSES D&E



PERSPECTIVE - TYPICAL HOUSE LIVING / DINING / ACTIVITY AREA

EXISTING FACILITY
GROUND FLOOR PLAN





EXISTING FACILITY
AERIAL PHOTO



Address: 9580 Williams Road and 10060 Gower Street

File No.: DV 16-733949

Prior to final approval of the Development Variance Permit, the developer is required to complete the following:

1. Registration of a flood plain covenant on title (Area A with Flood Construction Level for new construction minimum 0.3 m above highest crown of Gower Street as per Director of Engineering).
2. Registration of a legal agreement on title to 10060 Gower Street to prohibit future development and to ensure the provision of the outdoor open space garden with structures for the use of care facility residents.
3. Registration of a legal agreement on title to restrict truck access to and egress from the site to/from Gower Street to:
(i) a maximum of 6 Single Unit (SU9) or smaller trucks per week with maximum 9.1 m truck length and loading activity to occur on-site; (ii) a maximum of 8 Medium Single Unit (MSU) or smaller trucks with maximum 10 m truck length and truck turnaround to occur on-site; (iii) limited loading hours of 8am to 5pm Monday through Friday only, no weekend deliveries; and (iv) specified on-site loading and turnaround area free and clear of any obstructions.
4. Registration of a legal agreement on title to prohibit parking space assignment.
5. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the 9 on-site trees and 3 on-site hedges to be retained, 8 off-site trees in the Gower Street City boulevard to be protected, and 13 trees on neighbouring residential properties to be protected. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections (no less than 4), and a provision for the Arborist to submit a post-construction assessment report to the City for review. Tree protection fencing is to be installed on-site prior to any construction activities occurring on-site.
6. City acceptance of the developer's offer to voluntarily contribute \$650.00 to the City's Tree Compensation Fund for the planting of replacement trees within the City in compensation for the removal of one cherry tree from the City's Gower Street boulevard.
7. City acceptance of the developer's offer to voluntarily contribute \$25,000.00 towards a bus shelter near the vicinity of the site on Williams Road.
8. Receipt of a Letter of Credit for landscaping and tree survival in the amount of \$222,814.74. Letter-of-Credit will not be released until the Letter of Assurance from the Landscape Architect confirming that landscaping has been installed as per Development Variance Permit, as well as the Post Construction Impact Assessment Report from the Arborist; confirming that the protected trees survived the construction, are reviewed by staff.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Incorporation of the following measures in Building Permit (BP) plans as determined via development design and legal agreements via the Development Variance Permit process: vehicle and bicycle parking; truck loading and manoeuvring; 5 dedicated scooter parking spaces with electrical outlets for charging; and end of trip washrooms with showers for male and female employees.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

5. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements and grant any statutory public rights of passage and utilities rights-of-way to accommodate the works as needed. Works include, but may not be limited to, the following frontage improvements and servicing upgrades:

a. Road Works:

- i. Williams Road: provide minimum 1.5 m wide grass boulevard with street trees behind barrier curb; provide 1.5 m wide concrete sidewalk at property line with transitions tying into existing sidewalk east and west of the development site; meander sidewalk onsite to avoid conflict with existing hydro pole if the pole cannot be relocated; and provide bike lane green bike paint and stencil at drive way crossing.
- ii. Gower Street: provide 1.5 m wide concrete sidewalk behind barrier curb tying into existing sidewalk at the cul-de-sac and Swansea Drive to the south of the development site; provide grass boulevard with street trees between sidewalk and property line; and meander sidewalk onsite to avoid conflict with tree protection zone of the 5 cherry trees to be retained in the Gower Street boulevard.
- iii. Granting of statutory public rights of passage and utilities rights-of-way (PROP and utilities SRW) for the purposes of City sidewalk and City utilities meandering onto the development site along the Williams Road and Gower Street property lines. The works are to be built by the developer and are to be maintained by the City. A functional plan based on survey is required to the satisfaction of the City to confirm new sidewalk/SRW alignment along Williams Road and Gower Street.

b. Water Works:

Using the OCP Model, there is currently 86 L/s of water available at 20 psi residual at the hydrant on Gower Street and 652 L/s of water available at 20 psi residual at the Williams Road frontage. Based on the proposed development, the site requires a minimum fire flow of 250 L/s.

i. The Developer is required to:

- o Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
- o Install approximately 110m of 200mm watermain connecting Gower Street and Williams Road watermains to satisfy fire flow requirements at the Gower Street frontage.
- o Grant a 6.0 m wide statutory utilities rights-of-way (utilities SRW) through the development site to accommodate the new required watermain.
- o Connect all on-site fire hydrants necessary to meet Fire Department requirements internally to the sites water service connection. On-site fire hydrants shall not connect directly to City watermains.

ii. At the Developer's cost, the City will:

- o Cut and cap at main, the existing water service connections to lots 9580 and 9600 Williams Road.
- o Install a single new water service connection off of the existing 300mm PVC watermain on Williams Road. Meter to be placed onsite (i.e. mechanical room). Alternatively, the proposed water service may be installed off of the proposed watermain to be located within the proposed SRW parallel to Gower Street if that helps with phasing.
- o Perform all tie-ins of proposed works to existing City infrastructure.

c. Storm Sewer Works:

i. The Developer is required to:

- o Direct all onsite drainage to the Williams Road frontage to be picked up by the newly installed service connection. Alternatively, connection to the sewer system on Gower Street may be permitted; however, upgrades to the system downstream, to be determined via a capacity analysis by the developer, may be required beyond the site's frontage.

ii. At the Developer's cost, the City will:

- o Install a new storm service connection complete with inspection chamber at the Williams Road frontage.
- o Cut and cap all existing storm service connections to the development site and remove inspection chambers STIC48840 at the Williams Road frontage, STIC52931 and STIC38532 at the Gower Street frontage.

- If required, re-connect storm service connections of all affected lots to the newly upgraded storm sewer.
- d. Sanitary Sewer Works:
 - i. The Developer is required to:
 - Video inspect the existing sanitary sewer along the entire east property line of the development site and the sewer running within the site to confirm the condition both prior to and post preload and soil densification works. Any portions of the sanitary sewer impacted by the pre-load, soil densification, or other site preparations shall be replaced at the developer's cost.
 - ii. At the Developer's cost, the City will:
 - Cut and cap all existing sanitary service connections to the development site and remove inspection chambers SIC16502, SIC2942 and SIC16478.
 - Install three new sanitary service leads, complete with inspection chambers, to service the development site throughout the three phases. Provided that hydraulic requirements are met, the existing manholes may serve as inspection chambers, re-benched as needed.
- e. Third Party Utilities Works:
 - i. The Developer is required to:
 - Coordinate with BC Hydro, Telus, and other private communication providers when modifying or relocating poles, anchors, or overhead lines along the developments frontage.
 - Relocate the existing BC Hydro kiosk on the Gower Street frontage to the ultimate location on-site as required to facilitate installation of the proposed frontage upgrades (sidewalk, boulevard, etc.). The developer should coordinate with BC Hydro early to identify a location within the development site if relocation is necessary. Any relocation works to be at the developer's cost.
 - Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be provided for design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:

BC Hydro PMT	4 m x 5 m	(width x depth)
BC Hydro LPT	3.5 m x 3.5 m	(width x depth)
Street light kiosk	1.5 m x 1.5 m	(width x depth)
Traffic signal kiosk	1 m x 1 m	(width x depth)
Traffic signal UPS	2 m x 1.5 m	(width x depth)
Shaw cable kiosk	1 m x 1 m	(width x depth) – show possible location in functional plan
Telus FDH cabinet	1.1 m x 1 m	(width x depth) – show possible location in functional plan
- f. General Items:
 - i. The Developer is required to:
 - Provide, prior to pre-load installation, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting or within the development site (e.g., existing sanitary main to the east and within the site, watermain to the west of the site), proposed utility installations, the existing houses surrounding the site, and provide mitigation recommendations. The mitigation recommendations shall be incorporated into the first SA design submission or if necessary to be implemented prior to pre-load.
 - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.



No. DV 16-733949

To the Holder: MQN ARCHITECTS

Property Address: 9580 WILLIAMS ROAD AND 10060 GOWER STREET

Address: ROGER GREEN
MQN ARCHITECTS
3313 32ND AVENUE, UNIT 100
VERNON, BC V1T 2M7

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied as follows:
 - a) Increase the maximum permitted lot coverage from 45% to 48%.
 - b) Reduce the minimum side yard setback from 6.0 m to 2.2 m for the west side yard and 4.7 for the east side yard.
 - c) Revise Transportation related requirements to:
 - i. Increase the maximum on-site parking reduction with transportation demand management measures from 10% to 13%;
 - ii. Reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck; and
 - iii. Reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces.
 - d) The dimension and siting of buildings and structures on the land shall be as shown on Plans #1 to 11 attached hereto.
 - e) The siting of off-street parking and loading facilities shall be as shown on Plan #2 attached hereto.
4. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

Development Variance Permit

No. DV 16-733949

To the Holder: MQN ARCHITECTS
Property Address: 9580 WILLIAMS ROAD AND 10060 GOWER STREET
Address: ROGER GREEN
MQN ARCHITECTS
3313 32ND AVENUE, UNIT 100
VERNON, BC V1T 2M7

5. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

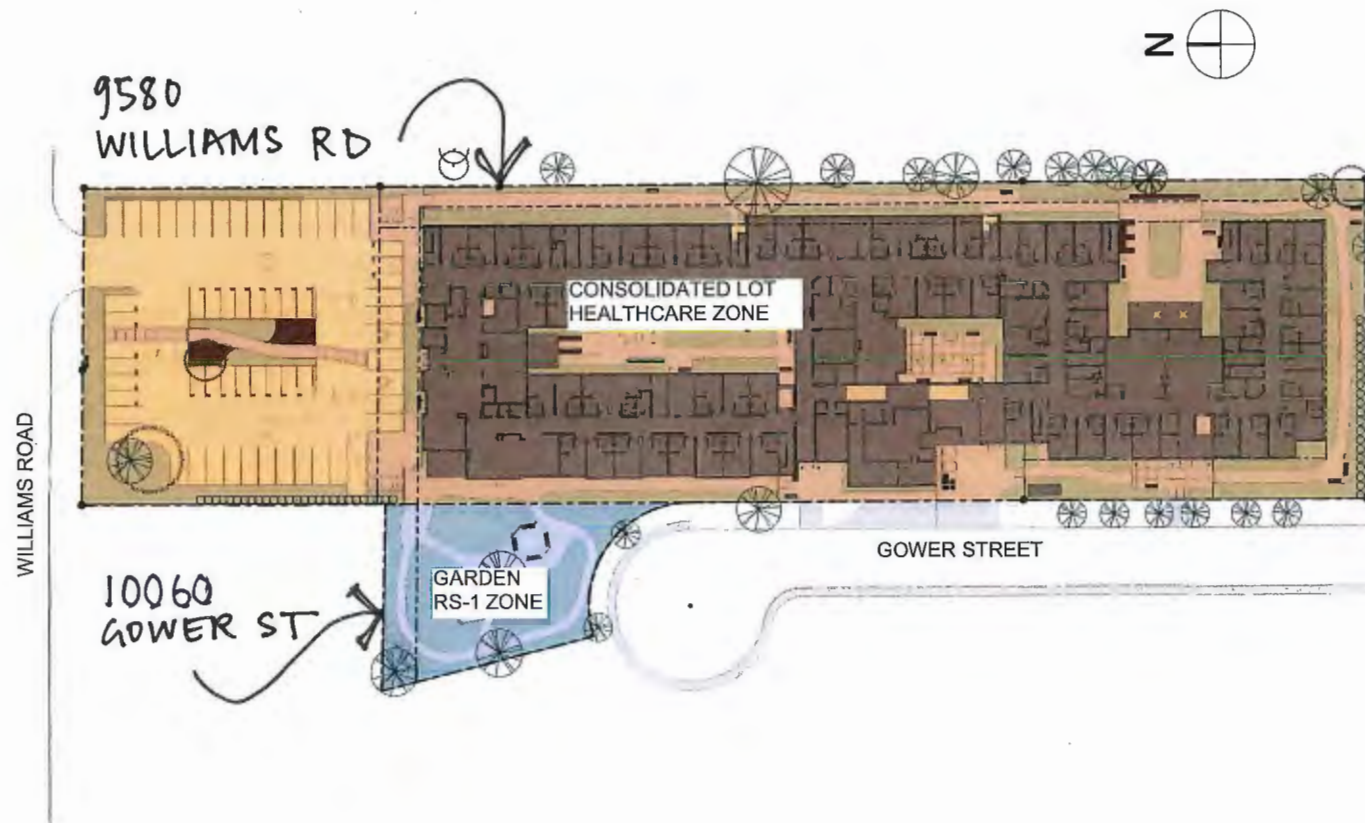
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



Notes:

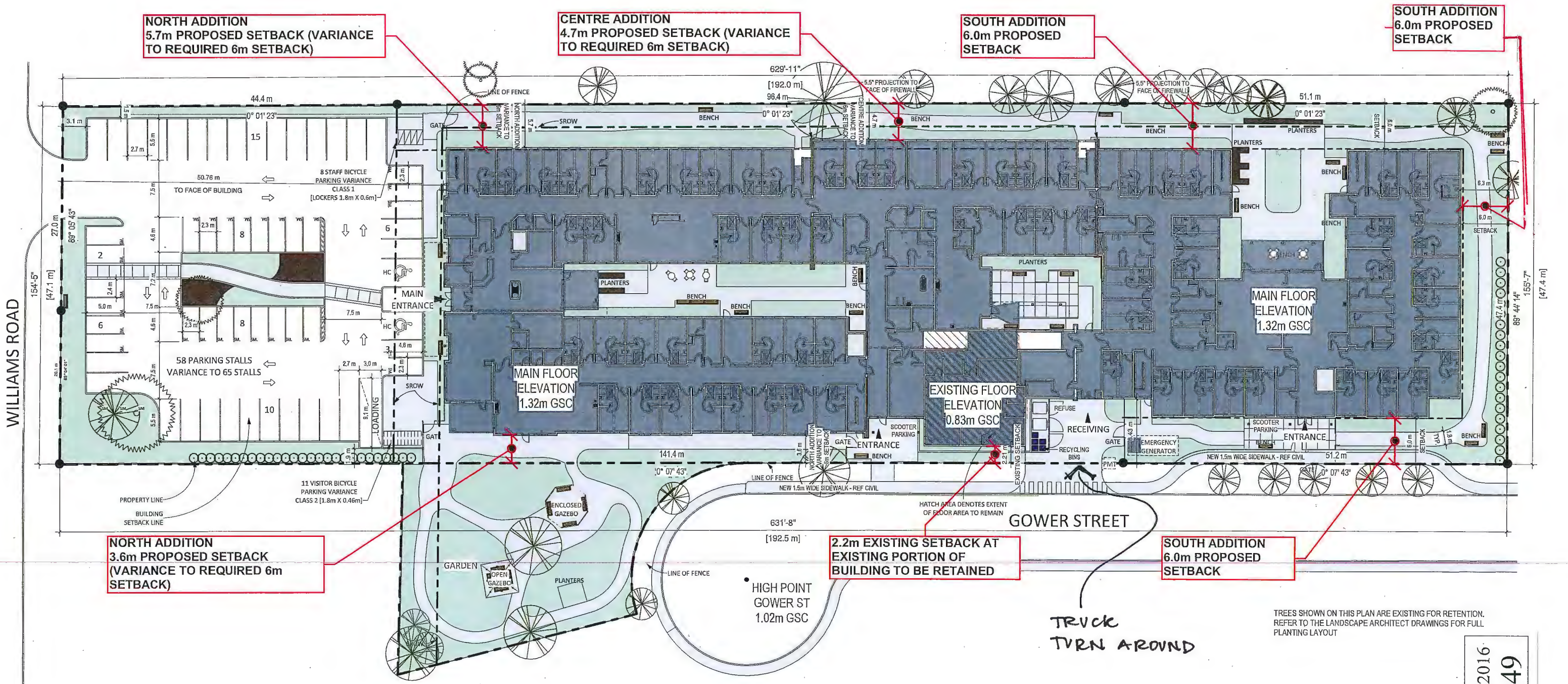
- Variances included to:
 - Increase the maximum permitted lot coverage from 45% to 47.8% (Zoning Bylaw Section 13.4.5).
 - Reduce the minimum side yard setback from 6.0-m to a range of 2.2 m to 6.0 m (Zoning Bylaw Section 13.4.6).
 - Increase the maximum on-site parking reduction from 10% to 13% (Zoning Bylaw Section 7.4.4).
 - Reduce the minimum number of on-site loading spaces from 2 medium size and 1 large size loading spaces to 1 medium size loading space and manoeuvring for an additional medium size truck (Zoning Bylaw Section 7.13.6).
 - Reduce the minimum number of on-site bicycle parking spaces from 31 to 8 Class 1 spaces and from 31 to 11 Class 2 spaces (Zoning Bylaw Section 7.14.9).
- Existing tree and hedge protection as per Tree Management DV Plan. 9 trees and 3 hedges required to be protected on-site. 8 trees in Gower Street boulevard to be protected off-site. 13 trees on neighbouring properties to south and east required to be protected on-site. Tree protective fencing and contract for Certified Arborist supervision required.
- Flood Construction Level for new construction minimum 0.3 m above highest crown of Gower Street via legal agreement.
- Existing garden at 10140 Gower Street required to be retained for care facility outdoor open space via legal agreement.
- Truck access and egress to the site from Gower Street restricted via legal agreement to:
 - (i) maximum 6 Single Unit (SU9) or smaller trucks per week and loading activity to occur on-site;
 - (ii) maximum 8 Medium Single Unit (MSU) or smaller trucks and truck turnaround to occur on-site;
 - (iii) limited loading hours of 8am to 5pm Monday through Friday; and
 - (iv) specified on-site loading and turnaround area free and clear of any obstructions.
- Assignment of parking spaces is prohibited via legal agreement.
- 2 accessible parking spaces required.
- End of trip washrooms with showers for male and female employees required.
- Retaining walls are not permitted in right-of-way areas or tree protection zones without prior written approval from the City.
- Off-site works via separate Servicing Agreement for frontage, water system and service connection work.

PROJECT STATISTICS		
ADDRESS		
9580 WILLIAMS ROAD, RICHMOND, BC		
P.I.D. 008-115-320, LOT 1, PLAN 75272, SEC 34-4-6		
ZONING		
ZONE HC		
PROPOSED USE: COMMUNITY CARE FACILITY, MAJOR		
ALLOWABLE USE: HEALTH SERVICE (MAJOR/MINOR), CONGREGATE HOUSING, COMMUNITY CARE FACILITY, MAJOR		
ITEM	REQUIRED	PROVIDED
HEIGHT	12.0 m (MAX)	11.6 m [4/12 PITCH]
LOT AREA (GROSS)	/	9,083.3 m ²
LOT AREA (NET)	/	9,083.3 m ²
FLOOR AREA RATIO	1.00 (MAX)	0.99
BUILDING SITE COVERAGE	45.0% (MAX)	47.8%*
1. SETBACKS		
FRONT YARD (NORTH)	6.0 m	50.9 m
SIDE YARD (EAST)		
- a) NORTH ADDITION	6.0 m	5.7 m*
- b) CENTRE ADDITION	6.0 m	4.7 m*
- c) SOUTH ADDITION	6.0 m	6.0 m
SIDE YARD (WEST)		
- a) NORTH ADDITION	6.0 m	3.6 m*
- b) EXISTING CENTRE	6.0 m	2.2 m
- c) SOUTH ADDITION	6.0 m	6.0 m
REAR YARD (SOUTH)	6.0 m	6.3 m
2. LANDSCAPE BUFFERS		
FRONT YARD (NORTH)	3.0 m	3.0 m
SIDE YARD (EAST)	1.5 m	1.5 m
SIDE YARD (WEST)	1.5 m	1.9 m
REAR YARD (SOUTH)	0.0 m	6.3 m

ITEM	REQUIRED	PROVIDED
3. FLOOR AREA RATIO		
TOTAL FLOOR AREA (EXCLUDING AMMENITY)	/	9,064.8 m ²
STAIR / ELEVATOR AREA EXCLUDED	/	270.7 m ²
LOT AREA (NET)	/	9,083.3 m ²
FLOOR AREA RATIO	1.00 (MAX)	9,064.8/9,083.3 = 0.99
AMMENITY FLOOR AREA	/	2,173.8 m ²
AMMENITY FLOOR AREA RATIO	0.40 (MAX)	2,173.8/9,083.3 = 0.24
COMBINED FLOOR AREA RATIO	1.40 (MAX)	1.24
4. BUILDING LOT COVERAGE		
TOTAL BUILDING COVERAGE	/	4,340.2 m ²
LOT AREA (NET)	/	9,083.3 m ²
LOT COVERAGE	45.0% (MAX)	47.8%
5. PARKING		
COMMUNITY CARE FACILITY, MAJOR	199 BEDS x (1/3 BEDS) = 67	58 SPACES*
SMALL CAR PARKING	62 SPACES * 50% = 31 SPACES (MAX)	25 SPACES
STANDARD CAR PARKING	/	31 SPACES
HANDICAP PARKING	67 x (1 / 50) = 2 SPACES	2 SPACES
6. LOADING		
NON-RESIDENTIAL LOADING SPACES	1 + 11,455.1 m ² x (1/5,000m ² over 1,860m ² GLFA) = 2 SPACES	1 SPACES
7. BICYCLE PARKING		
COMMUNITY CARE FACILITY, MAJOR (CLASS I) [EMPLOYEE - WATERPROOF]	11455.1 m ² x (0.27 / 100m ² GLFA over 100m ²) = 31 SPACES	8*
COMMUNITY CARE FACILITY, MAJOR (CLASS II) [GUEST - OUTDOOR]	11455.1 m ² x (0.27 / 100m ² GLFA over 100m ²) = 31 SPACES	11*
* NOTE: LINE ITEMS HIGHLIGHTED IN GREY REPRESENT VARIANCES SOUGHT FOR THIS PROJECT		

BED COUNT		PARKING COUNT		GROSS FLOOR AREA			
HOUSE	#	STALL TYPE	#	LEVEL	AREA TYPE	AREA (m ²)	AREA (SF)
MAIN FLOOR				MAIN FLOOR	COMMON AREA	7407 m ²	8,045 SF
HOUSE A1	15	90° - SMALL - 2.3mx4.6m	19	MAIN FLOOR	HOUSE A1	706 m ²	7,604 SF
HOUSE B1	14	90° - SMALL - 2.65mx5.0m	6	MAIN FLOOR	HOUSE B1	679 m ²	7,306 SF
HOUSE C1	12	90° - STANDARD - 2.65mx5.5m	31	MAIN FLOOR	HOUSE C1	718 m ²	7,727 SF
HOUSE D1	12	TOTAL STALLS:	58	MAIN FLOOR	HOUSE D1	715 m ²	7,694 SF
HOUSE E1	14			MAIN FLOOR	HOUSE E1	642 m ²	6,911 SF
	67			MAIN FLOOR		4207 m ²	45,287 SF
SECOND FLOOR				SECOND FLOOR	COMMON AREA	322 m ²	3,464 SF
HOUSE A2	15			SECOND FLOOR	HOUSE A2	717 m ²	7,715 SF
HOUSE B2	14			SECOND FLOOR	HOUSE B2	684 m ²	7,363 SF
HOUSE C2	20			SECOND FLOOR	HOUSE C2	1002 m ²	10,790 SF
HOUSE D2	13			SECOND FLOOR	HOUSE D2	772 m ²	8,309 SF
HOUSE E2	14			SECOND FLOOR	HOUSE E2	667 m ²	7,178 SF
	76			SECOND FLOOR		4164 m ²	44,818 SF
THIRD FLOOR				THIRD FLOOR	COMMON AREA	161 m ²	1,736 SF
HOUSE A3	15			THIRD FLOOR	HOUSE A3	754 m ²	8,121 SF
HOUSE B3	14			THIRD FLOOR	HOUSE B3	760 m ²	8,176 SF
HOUSE D3	13			THIRD FLOOR	HOUSE D3	742 m ²	7,989 SF
HOUSE E3	14			THIRD FLOOR	HOUSE E3	667 m ²	7,178 SF
	56			THIRD FLOOR		3084 m ²	33,201 SF
TOTAL BEDS	199			GROSS FLOOR AREA		11455 m ²	123,305 SF

Plan 1 Dec 1, 2016
DV 16-733949



NORTH ADDITION
5.7m PROPOSED SETBACK (VARIANCE TO REQUIRED 6m SETBACK)

CENTRE ADDITION
4.7m PROPOSED SETBACK (VARIANCE TO REQUIRED 6m SETBACK)

SOUTH ADDITION
6.0m PROPOSED SETBACK

SOUTH ADDITION
6.0m PROPOSED SETBACK

NORTH ADDITION
3.6m PROPOSED SETBACK (VARIANCE TO REQUIRED 6m SETBACK)

2.2m EXISTING SETBACK AT EXISTING PORTION OF BUILDING TO BE RETAINED

SOUTH ADDITION
6.0m PROPOSED SETBACK

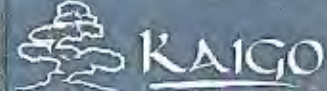
TRUCK TURN AROUND

TREES SHOWN ON THIS PLAN ARE EXISTING FOR RETENTION. REFER TO THE LANDSCAPE ARCHITECT DRAWINGS FOR FULL PLANTING LAYOUT



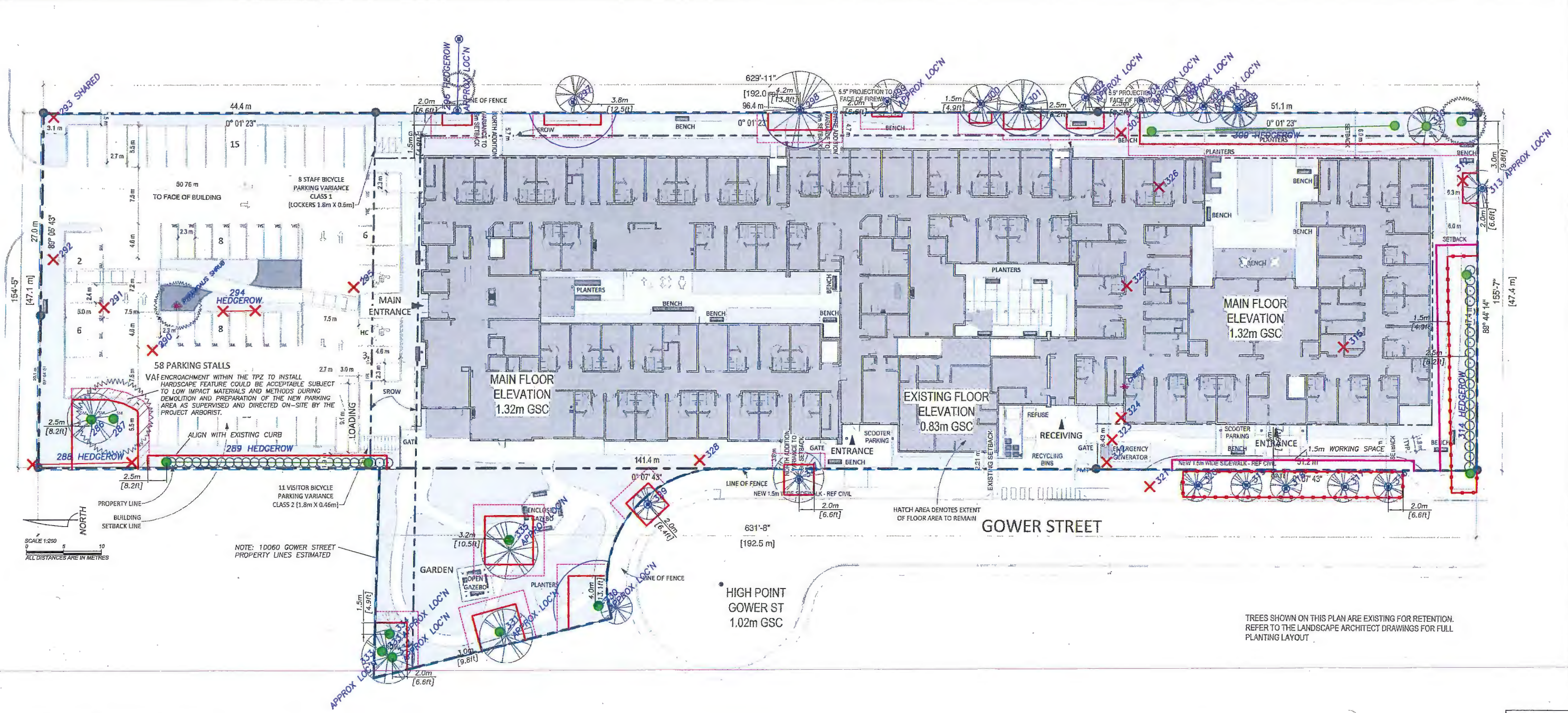
SITE PLAN - PROPOSED NEW FACILITY

KAIGO - FRASERVIEW
9530 WILLIAMS ROAD
RICHMOND, BRITISH COLUMBIA



DRAWING: 03
PROJECT: 14874
DATE: 2016/11/08
SCALE: 1:250

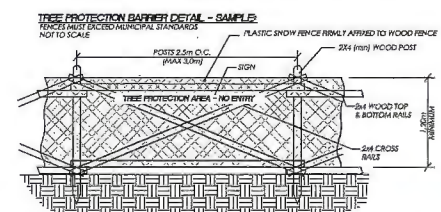
Plan 2 Dec 1, 2016
DV 16-733949



TREE RETENTION DETAIL - PROJECT DESIGN BASE

- LEGEND:**
- denotes SITE or STUDY AREA BOUNDARY.
 - TREE MANAGEMENT IN PROJECT:**
 - denotes RETENTION tree (protection measures required).
 - ⊗ denotes REMOVAL tree (permit may be required).
 - ⊕ denotes HIGH RISK REMOVAL tree (permit may be required).
 - ⊙ denotes OFF-SITE tree (see report for treatment).
 - ⊕ denotes NON-BY-LAW underside tree (as measured by arborist).
 - TREE PROTECTION SPECIFICATIONS:**
 - denotes CROWN PROTECTION ZONE - CPZ (dipline extent)
 - denotes TREE ROOT PROTECTION ZONE - RPZ alignment for BARRIERS. Steel tree protection to 0.6m from curb, 0.3m from sidewalk and to dipline extent.
 - denotes WORKING SPACE SETBACK (WSS) 1.5m offset from RPZ or as specified by project arborist for MANAGED WORK ACTIVITIES with Project Arborist coordination and supervision.

- TREE PROTECTION ZONE RESTRICTIONS:**
- RESTRICTIONS IN TPZ:**
See Arborist Report for further details. Any construction related work within a CPZ and/or within 1.0m of a RPZ requires advance approval from the project arborist, and may require on-site direction or supervision from the project arborist. General restrictions in the TPZ are as follows:
- No soil disturbance (surface or to any depth) including: trenching, shoring, slipping of over-burden, excavation, fill placement, etc.
 - No storage of soil, rock, gravel, construction materials, waste materials, etc.
 - No waste or washing of concrete, stucco, drywall, paint, or other potentially harmful materials.
 - No passage or operation of vehicles or equipment.
 - No placement of temporary structures or services.
 - No erecting lights, signs, cables or any other device to retained trees.
 - No unauthorized pruning or cutting of retained trees.



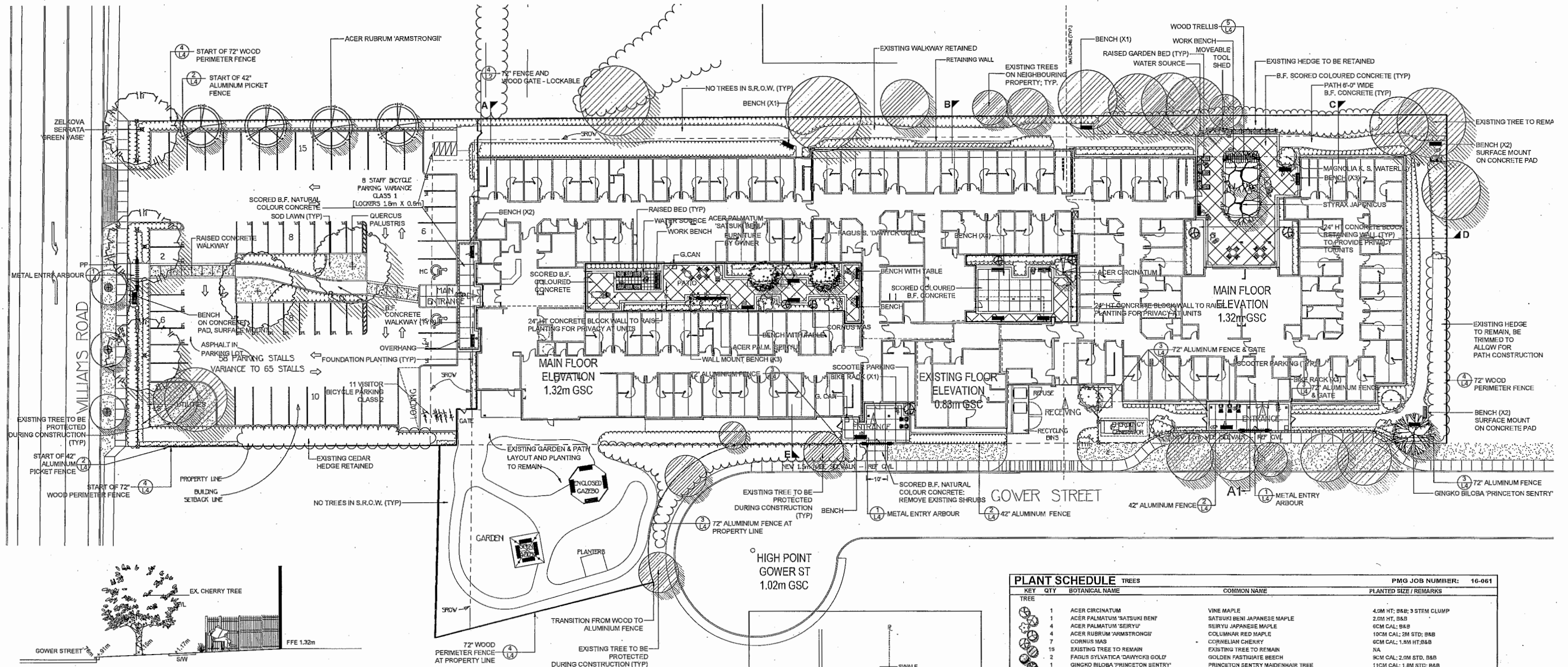
ARBORTECH CONSULTING
SUITE 145 - 12051 HORSESHOE WAY, RICHMOND, BC V7A 4V4 p 604 275 3484

REV #	DATE	COMMENTS
1	NOV 17, 2016	UPDATED SITE PLAN ALIGNMENT & TREE PROTECTION
0	JUN 25, 2016	INITIAL SUBMISSION

TREE MANAGEMENT DRAWING

PROJECT: PROPOSED RE-DEVELOPMENT
ADDRESS: 9580 - 9600 WILLIAMS & 10140 GOWER STREET, RICHMOND
CLIENT: FRASERVUE CARE HOME
ACL FILE: 16275 SHEET: 2 OF 2

Plan 3 Dec 1, 2016
DV 16-733949



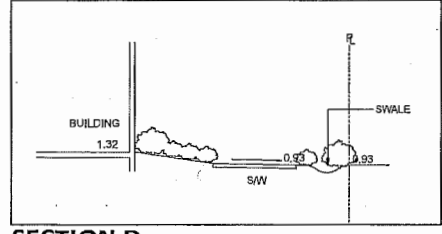
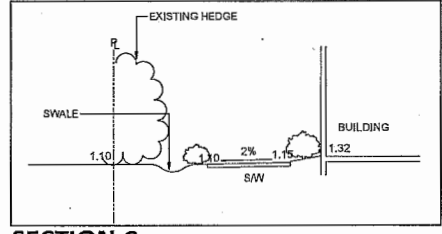
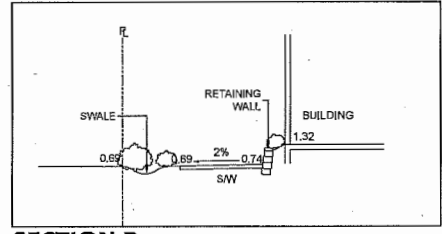
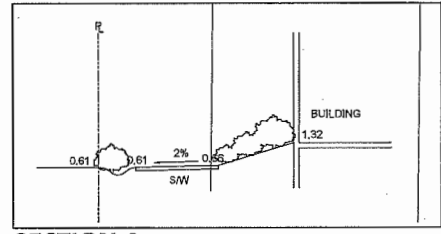
PLANT SCHEDULE TREES				PMG JOB NUMBER: 16-061
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
1	1	ACER CIRCINATUM	VINE MAPLE	4.0M HT; 8B8; 3 STEM CLUMP
1	1	ACER PALMATUM 'SATSUMI BENT'	SATSUKI BENT JAPANESE MAPLE	2.0M HT; 8B8
4	4	ACER PALMATUM 'SEIRYU'	SEIRYU JAPANESE MAPLE	6CM CAL; 8B8
4	4	ACER RUBRUM 'ARMSTRONGII'	COLUMNAR RED MAPLE	10CM CAL; 2M STD; 8B8
7	7	CORNUS MAS	CORNELIAN CHERRY	6CM CAL; 1.8M HT; 8B8
15	15	EXISTING TREE TO REMAIN	EXISTING TREE TO REMAIN	NA
2	2	FAGUS SYLVATICA 'DAWYCKI GOLD'	GOLDEN FASTIGIATE BEECH	9CM CAL; 2.0M STD; 8B8
1	1	GINGKO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	11CM CAL; 1.8M STD; 8B8
2	2	MAGNOLIA KOBUS STELLATA 'WATERLILY'	WATERLILY STAR MAGNOLIA	6CM CAL; 8B8; STD FORW
3	3	MALUS X 'JEFFSPUR'	PURPLE SPIRE COLUMNAR CRABAPPLE	8CM CAL; 1.2M WIK. STD; 8B8
2	2	QUERCUS PALUSTRIS 'CROWN RIGHT'	CROWN RIGHT PIN OAK	11CM CAL; 2.0M STD; 8B8
2	2	STYRAX JAPONICUS	JAPANESE SNOWBELL	8CM CAL; 1.8M STD; 8B8
3	3	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	11CM CAL; 2.0M STD; 8B8

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

FENCE LEGEND	
KEY	NAME
---	42" ALUMINUM FENCE
—●—	72" WOOD PERIMETER FENCE
---	72" ALUMINUM FENCE

SECTION A1
SCALE: 1/8"=1'-0"

SECTION E
SCALE: 1/8"=1'-0"



SECTION A 1/8"=1'-0"

SECTION B 1/8"=1'-0"

SECTION C 1/8"=1'-0"

SECTION D 1/8"=1'-0"

pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 8G9
p: 604 294-0011 ; f: 604 294-0022

CLIENT:
MQN Architects

NO.	DATE	REVISION DESCRIPTION	DR.
9	18.DEC.14	WEST PL HEDGE RETAINED	
8	16.NOV.23	NEW SITE PLAN	MR
7	16.NOV.14	REISSUE FOR DP	MR
6	16.NOV.08	NEW SITE PLAN	MR
5	16.OCT.20	NEW SITE PLAN	MR
4	16.SEPTE.15	ISSUED FOR BUILDING PERMIT	MR
3	16.SEPTE.13	NEW SITE PLAN	MR
2	16.SEPTE.01	NEW SITE PLAN	MR
1	16.AUG.23	NEW SITE PLAN	MM

PROJECT:
KAIGO - FRASERVIEW
Williams Road &
Gower Street
RICHMOND, BC

SEAL:

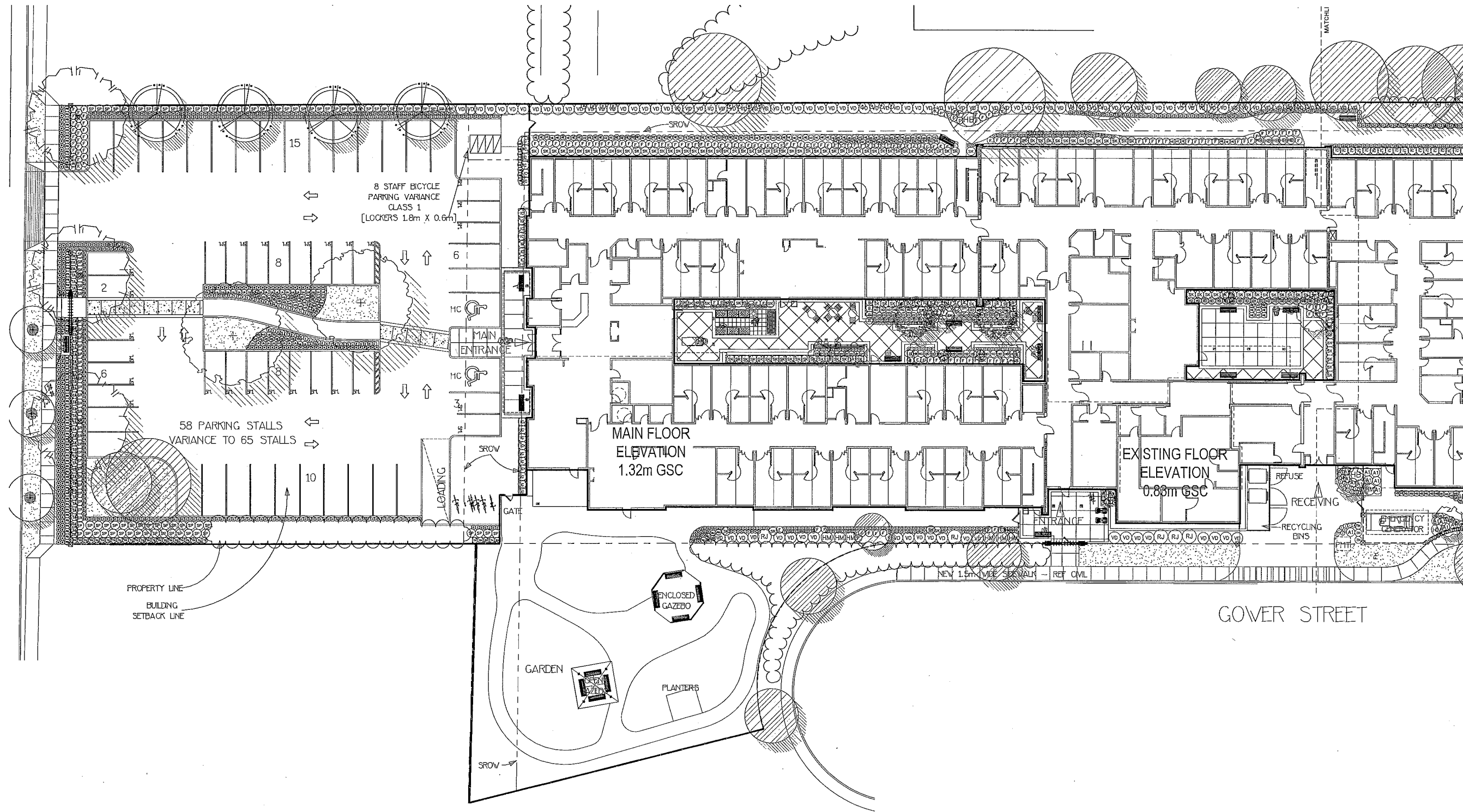
DRAWING TITLE:
LANDSCAPE TREE PLAN

DATE: 16.MAY.18
SCALE: 3/64"=1'-0"
DRAWN: BJ
DESIGN: MCT
CHKD: MCT

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Plan 4 Dec 1, 2016
DV 16-733949





Plan 5 Dec 1, 2016
 DV 16-733949



Suite C100 - 4185 Still Creek Drive
 Burnaby, British Columbia, V5C 8G9
 p: 604 294-0011 ; f: 604 294-0022

CLIENT:
 MQN Architects

NO.	DATE	REVISION DESCRIPTION	DR.
9	18.DEC.14	WEST PL. HEDGE RETAINED	
8	16.NOV.23	NEW SITE PLAN	MR
7	16.NOV.14	REISSUE FOR DP	MR
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5	16.OCT.20	NEW SITE PLAN	MR
4	16.SEP.15	ISSUED FOR BUILDING PERMIT	MR
3	16.SEP.13	NEW SITE PLAN	MR
2	16.SEP.01	NEW SITE PLAN	MR
1	16.AUG.23	NEW SITE PLAN	MM

PROJECT:
KAIGO - FRASERVIEW
 Williams Road &
 Gower Street
 RICHMOND, BC

SEAL:

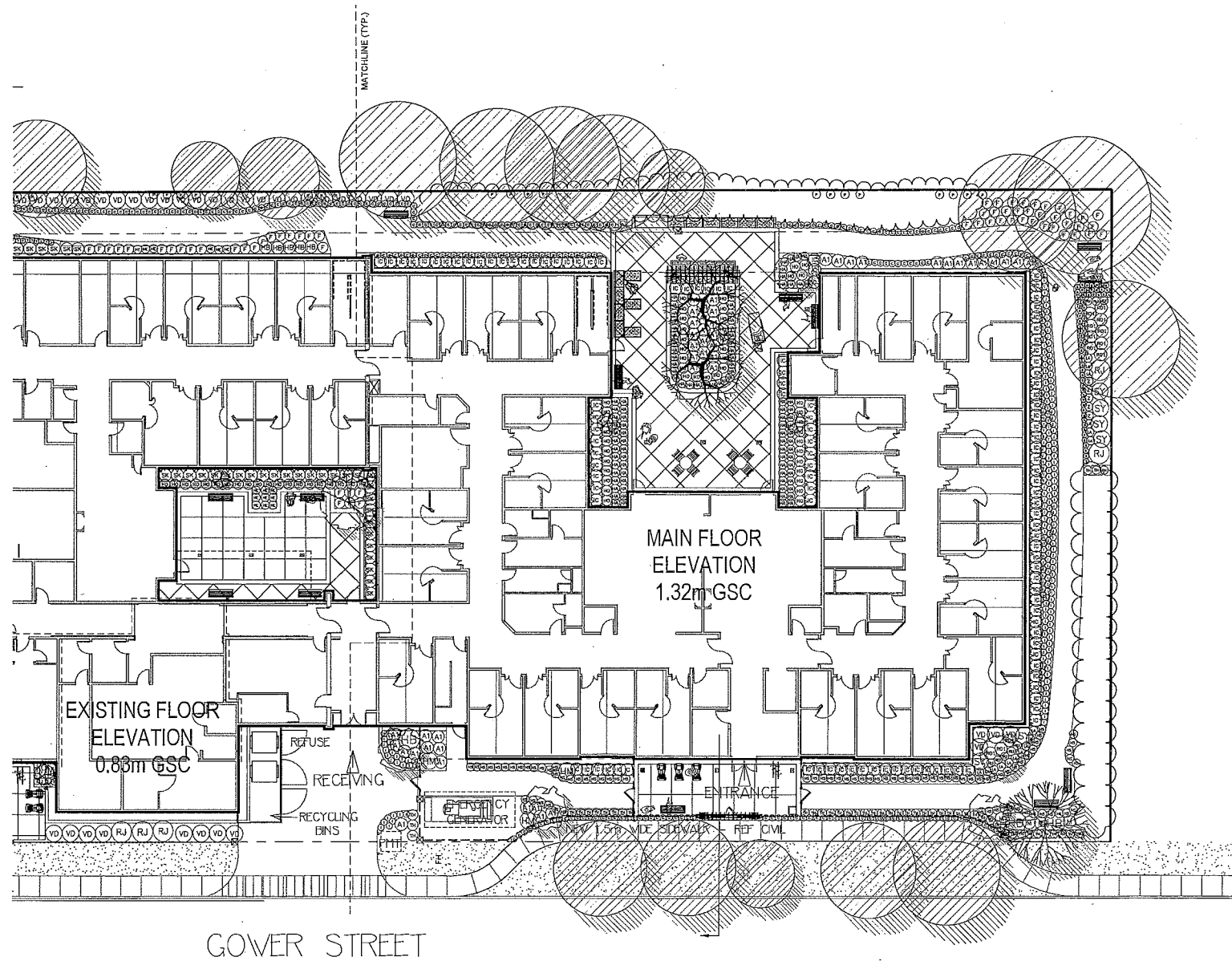
DRAWING TITLE:
LANDSCAPE SHRUB PLAN

DATE: 16.AUGUST.15
 SCALE: 1/16"=1'-0"
 DRAWN: BJ/MM
 DESIGN: BJ/MM
 CHK'D: MCT

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L2 OF 5

PMG PROJECT NUMBER: 16-061



PLANT SCHEDULE				SHRUBS	PMG JOB NUMBER: 16-061
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
(A)	47	AZALEA JAPONICA 'PURPLE SPLENDOR'	AZALEA; RED-VIOLET	#2 POT; 25CM	
(B)	12	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT; 25CM	
(C)	10	HYDRANGEA MACROPHYLLA 'MAGJA'	BIG-LEAF HYDRANGEA; RED	#3 POT; 80CM	
(D)	9	HYDRANGEA QUERCIFOLIA DHARUMA	DHARUMA HYDRANGEA; DWARF	#3 POT; 60CM	
(E)	139	ILEX CRENATA 'GREEN THUMB'	HOLLY; COMPACT	#2 POT; 30CM	
(F)	7	RHOODENDRON 'KEN JANECK'	RHOODENDRON; LIGHT PURPLE; MAY	#3 POT; 30CM	
(G)	12	ROSA MEIDELAND 'BONICA'	MEIDELAND ROSE; PINK	#2 POT; 40CM	
(H)	141	SKIMMIA JAPONICA 'RUBELLA'	RUBELLA SKIMMIA	#2 POT; 30CM	
(I)	112	SPIRAEA X BUMALDA 'NEON FLASH'	NEON FLASH SPIRAEA	#2 POT; 40CM	
(J)	6	SYRINGA PATULA 'MISS KIM'	MISS KIM COMPACT LILAC	#3 POT; 60CM	
(K)	40	TAXUS X MEDIA 'HICKSII'	HICKS YEW	1.5M B&B	
(L)	78	THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN CEDAR	1.2M HT; B&B	
(M)	110	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#3 POT; 50CM	
GRASS					
(N)	598	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT	
(O)	97	HAKONECHLOA MACRA 'AUREOLA'	GOLD VARIEGATED JAPANESE FOREST GRASS	#1 POT	
(P)	129	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT	
(Q)	199	IMPERATA CYLINDRICA 'RED BARON'	BLOOD GRASS	#1 POT	
(R)	4	MISCANTHUS SINENSIS 'ADAGIO'	MANDEN GRASS	#1 POT	
(S)	55	PANICUM VIRGATUM 'ROTSTRAHLBUSCH'	RED SWITCH GRASS	#1 POT	
VINE					
(T)	36	PARTHENOCISSUS TRICUSPIDATA 'VEITCHII'	BOSTON IVY	#2 POT; 60CM; STAKED	
PERENNIAL					
(U)	119	HEUCHERA x HEUCHERELLA 'SWEET TEA'	SWEET TEA HEUCHERELLA	15CM POT	
(V)	97	HOSTA UNDULATA	WAVY LEAF HOSTA	#1 POT; 1 EYE	
(W)	52	LAVENDULA ANGUSTIFOLIA 'HIDCO TE BLUE'	ENGLISH LAVENDER; COMPACT; DEEP PURPLE	#1 POT	
(X)	14	RUDBECKIA FULGIDA VAR SULLIVANTII 'GOLDSTURM'	RUDBECKIA; YELLOW	15CM POT	
(Y)	85	SEDUM REFLEUM 'ANGELIA'	STONECROP	9CM POT	
(Z)	256	TIARELLA CORDIFOLIA	HEART-LEAF FOAMFLOWER	15CM POT	
(AA)	5	ZANTEDESCHIA AETHIOPICA 'CROWBOROUGH'	HARDY WHITE ARUM LILY	#1 POT	
C.C.					
(AB)	58	CYRTOMIUM FORTUNEI	FORTUNE'S COLD HARDY HOLLY FERN	#1 POT; 25CM	
(AC)	53	ERICA x DARLEYENSIS 'KRAMER'S RED'	WINTER HEATH; RED	#1 POT	
(AD)	215	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM	
(AE)	203	WALDSTEINIA TERNATA	BARREN STRAWBERRY	#1 POT; 20CM	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



CLIENT: MQN Architects

NO.	DATE	REVISION DESCRIPTION	DR.
9	18.DEC.14	WEST PL. HEDGE RETAINED	
8	16.NOV.14	NEW SITE PLAN	MR
7	16.NOV.14	REISSUE FOR DP	MR
6	16.NOV.08	NEW SITE PLAN	MR
5	18.OCT.20	NEW SITE PLAN	MR
4	16.SEPT.15	ISSUED FOR BUILDING PERMIT	MR
3	18.SEPT.13	NEW SITE PLAN	MR
2	16.SEPT.01	NEW SITE PLAN	MR
1	18.AUG.23	NEW SITE PLAN	MM

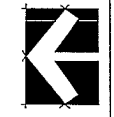
PROJECT: KAIGO - FRASERVIEW
Williams Road & Gower Street
RICHMOND, BC

SEAL:

DRAWING TITLE: LANDSCAPE SHRUB PLAN

DATE: 16.AUG.15
SCALE: 1/16" = 1'0"
DRAWN: BJ/MM
DESIGN: BJ/MM
CHKD: MCT

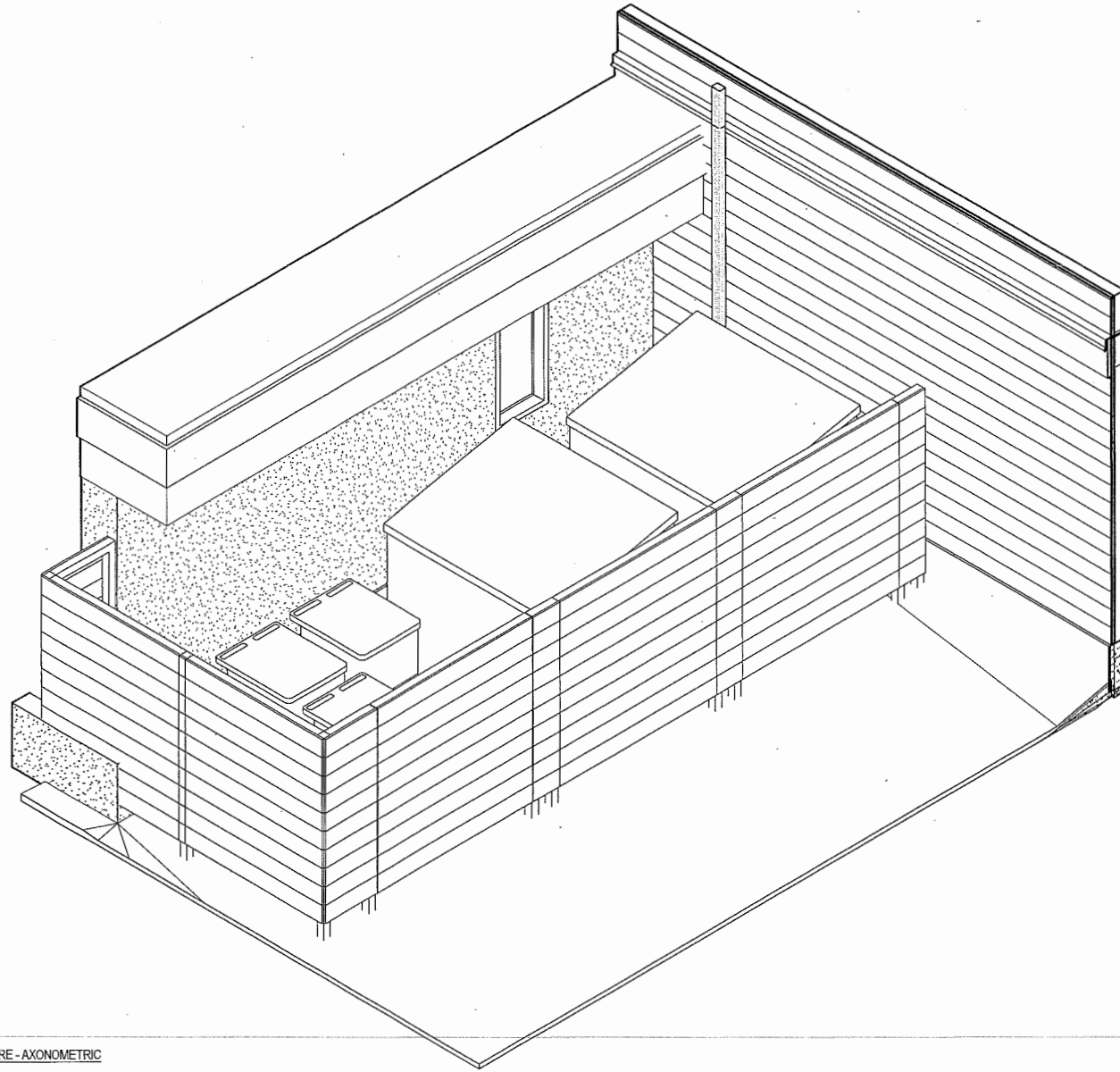
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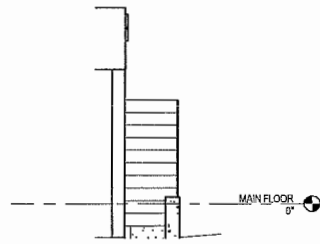
Plan 6 Dec 1, 2016
DV 16-733949

L3 OF 5

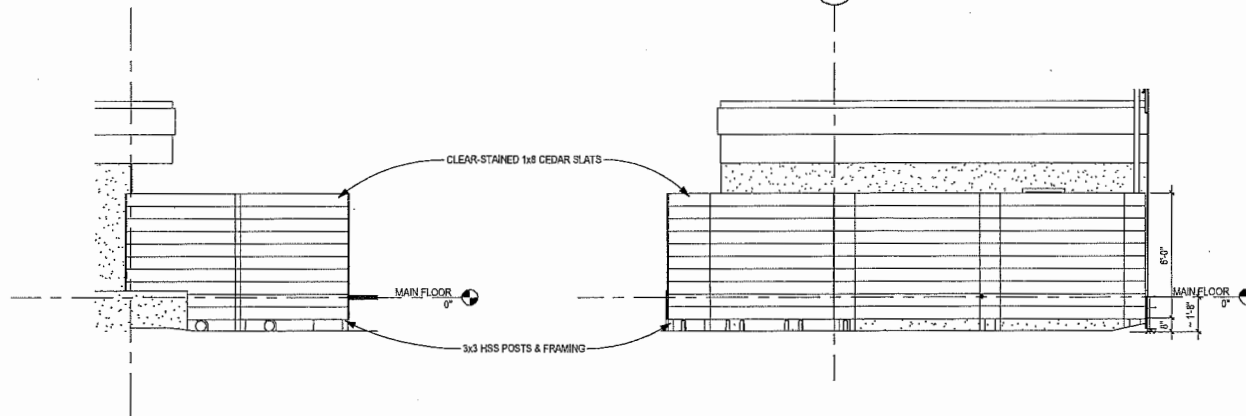
PMG PROJECT NUMBER: 16-061



1 GARBAGE ENCLOSURE - AXONOMETRIC
SCALE: 1/2" = 1'-0"

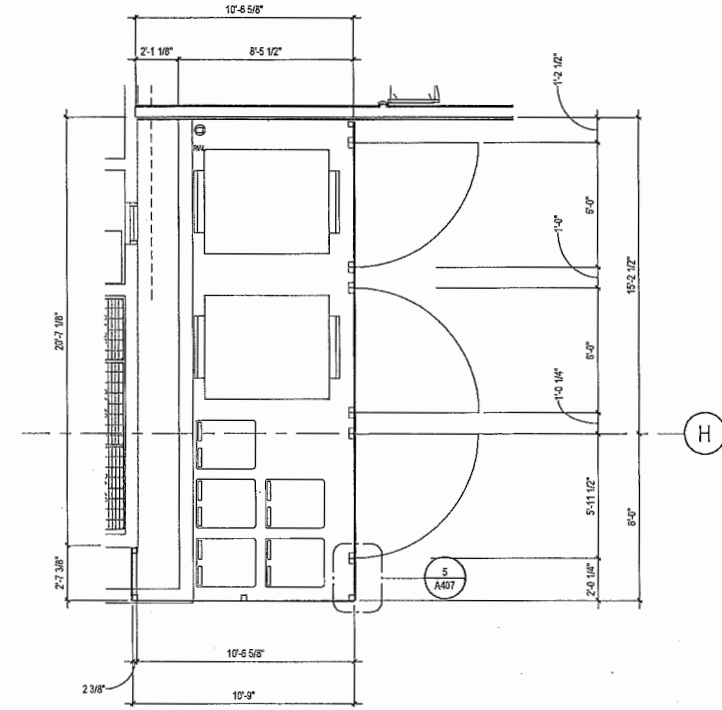


2 GARBAGE ENCLOSURE - NORTH
SCALE: 1/4" = 1'-0"

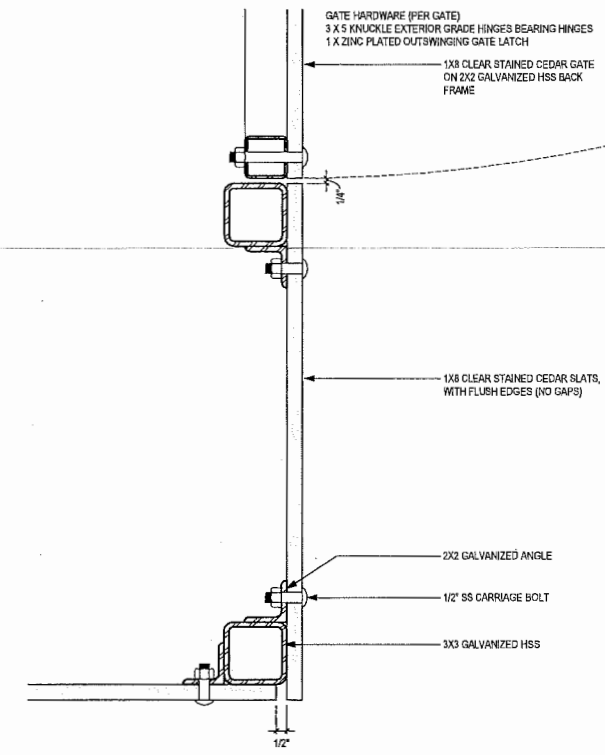


3 GARBAGE ENCLOSURE - WEST
SCALE: 1/4" = 1'-0"

4 GARBAGE ENCLOSURE - SOUTH
SCALE: 1/4" = 1'-0"



6 GARBAGE ENCLOSURE - FLOOR PLAN
SCALE: 1/4" = 1'-0"



5 GARBAGE ENCLOSURE - DETAIL
SCALE: 3" = 1'-0"

SEAL

CONSULTANT

NO.	REV.	ISSUE
1	A	ISSUED FOR BUILDING PERMIT DOC.

PROJECT TITLE
GARBAGE ENCLOSURE - KAIGO - FRASERVIEW
LUMAS ROAD,
V1, BRITISH COLUMBIA

Plan 9 Dec 1, 2016
DV 16-733949

PROJECT:	14874
SCALE:	AS NOTED
DRAWN BY:	SV
CHECKED BY:	RG
DRAWING:	

A407

5 - Siding: Vinyl 4" Lap Siding, Mitten "Sandcastle"

8 - Trim, Fascia & Belly Bands: Fibre Cement Flat Trim, James Hardie "Arctic White"



4 - Siding: Fibre Cement 7" Lap Siding, James Hardie "Evening Blue"

11 - Glazing: Vinyl Windows, White



6 - Siding: Fibre Cement Board & Batt Siding, James Hardie "Boothbay Blue"

19 - Roofing: 3-Tab Asphalt Shingle, IKO "Charcoal Grey"

20 - Roofing: SBS Membrane, Black



15 - Soffits, Gutters & Downspouts: Aluminum, White

17 - Flashing: White



12 - Glazing: Storefront, Anodized Aluminum

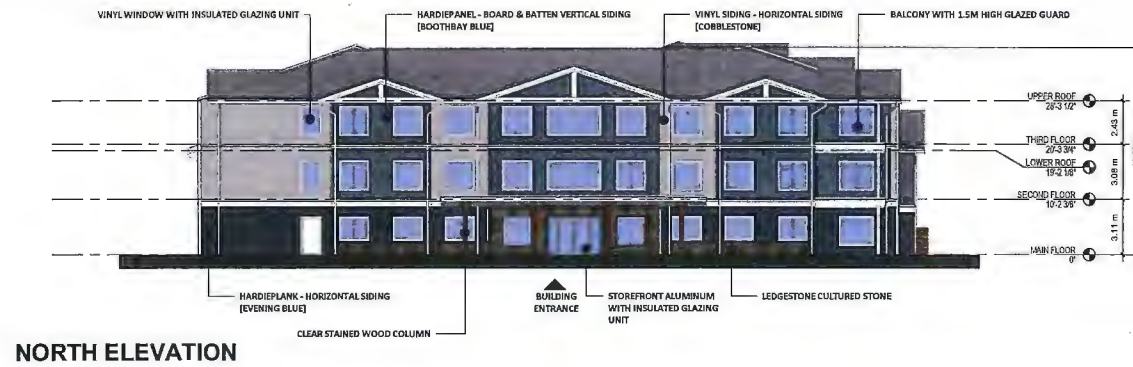
2 - Siding: Cultured Stone, Boral Country LedgeStone "Hudson Bay"



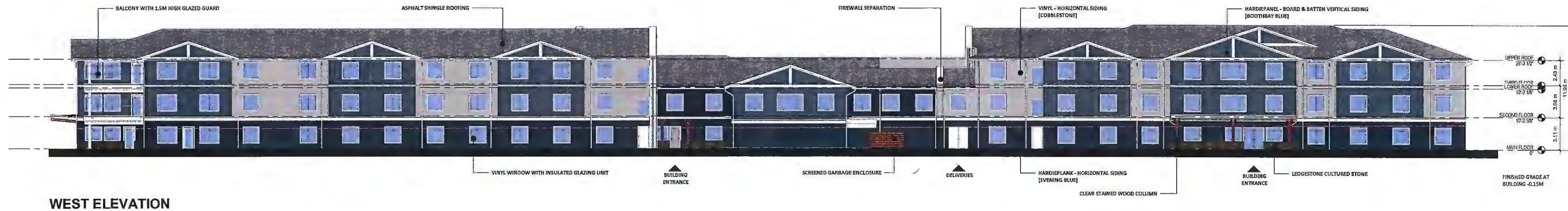
7 - Timbers: Stained Fir, Light Walnut



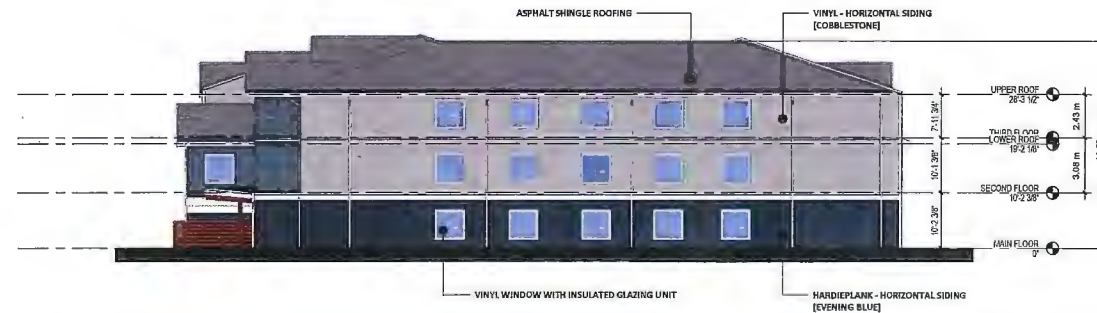
Plan 10 Dec 1, 2016
DV 16-733949



NORTH ELEVATION

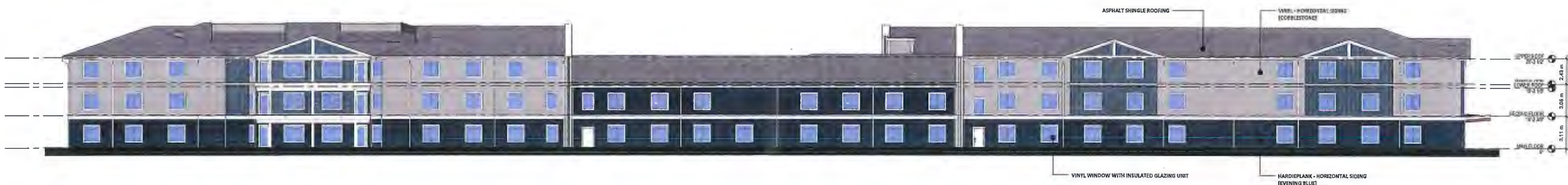


WEST ELEVATION



SOUTH ELEVATION

NOTE: MAIN FLOOR ELEVATION 0.00m = 1.32m GSC
THE HIGH POINT OF GOWER STREET = 1.02m GSC



EAST ELEVATION

Plan 11 Dec 1, 2016
DV 16-733949



BUILDING ELEVATIONS
KAIGO - FRASERVIEW
9580 WILLIAMS ROAD,
RICHMOND, BRITISH COLUMBIA



DRAWING: 10
PROJECT: 14874
DATE: 2016/10/06
SCALE: 1 : 150



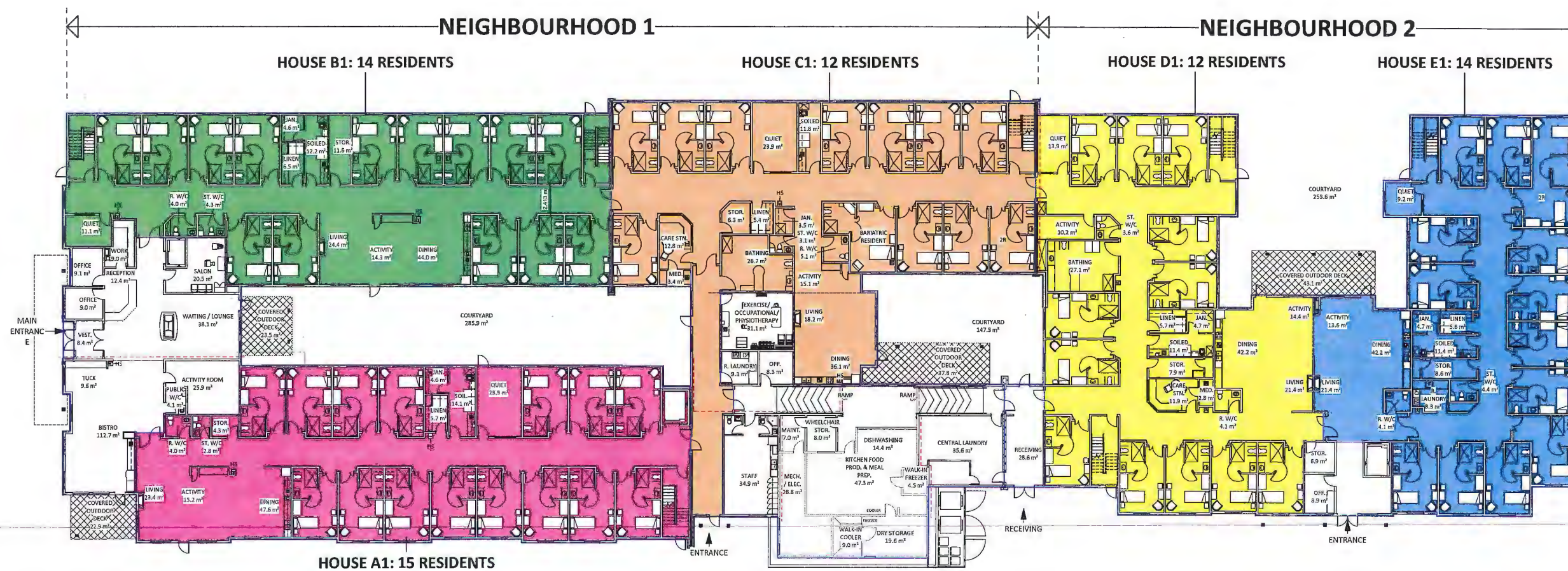
PERSPECTIVE - NORTHWEST VIEW - MAIN ENTRY

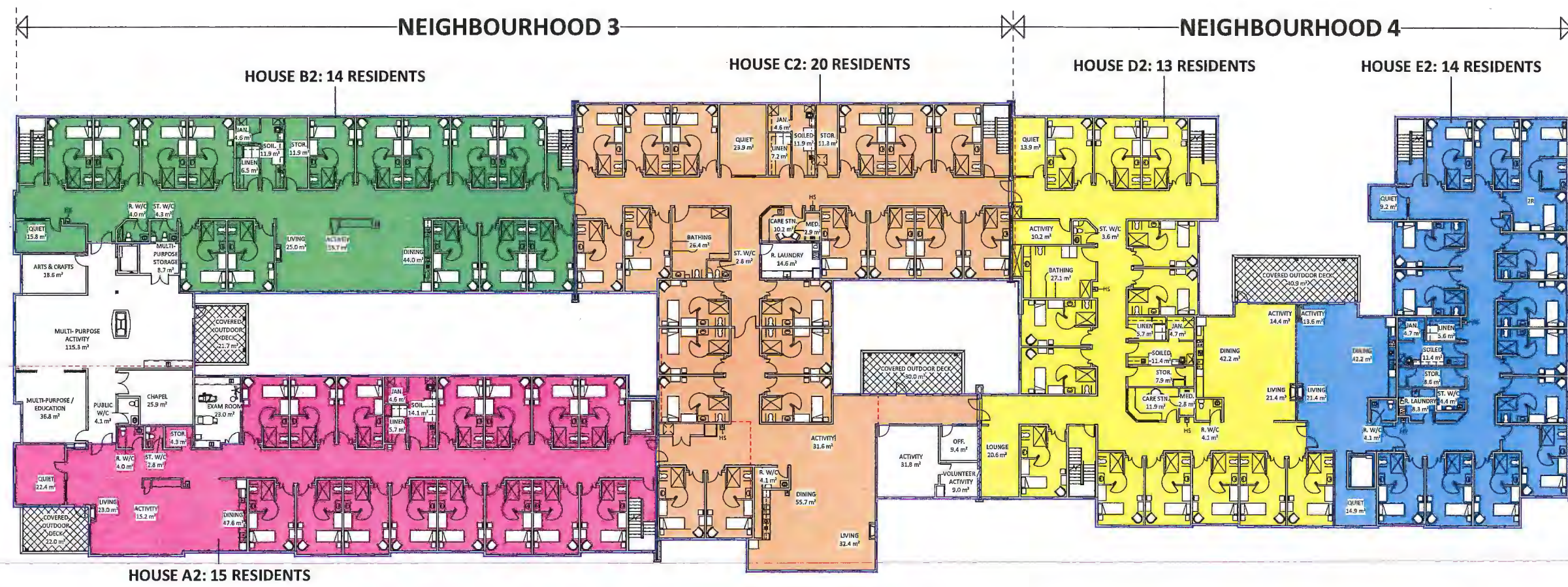


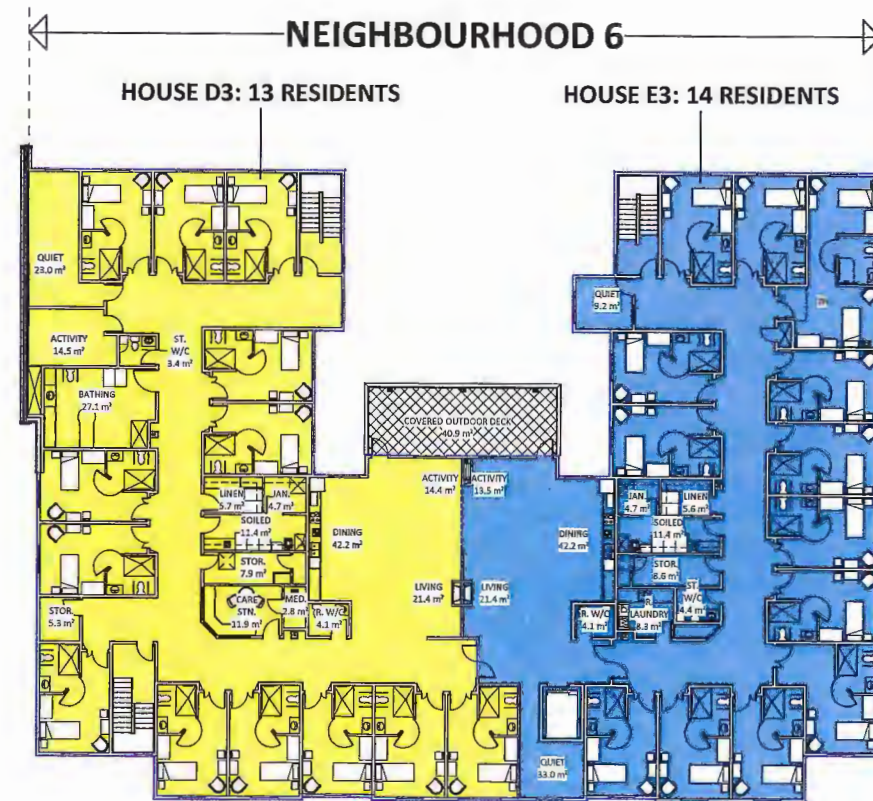
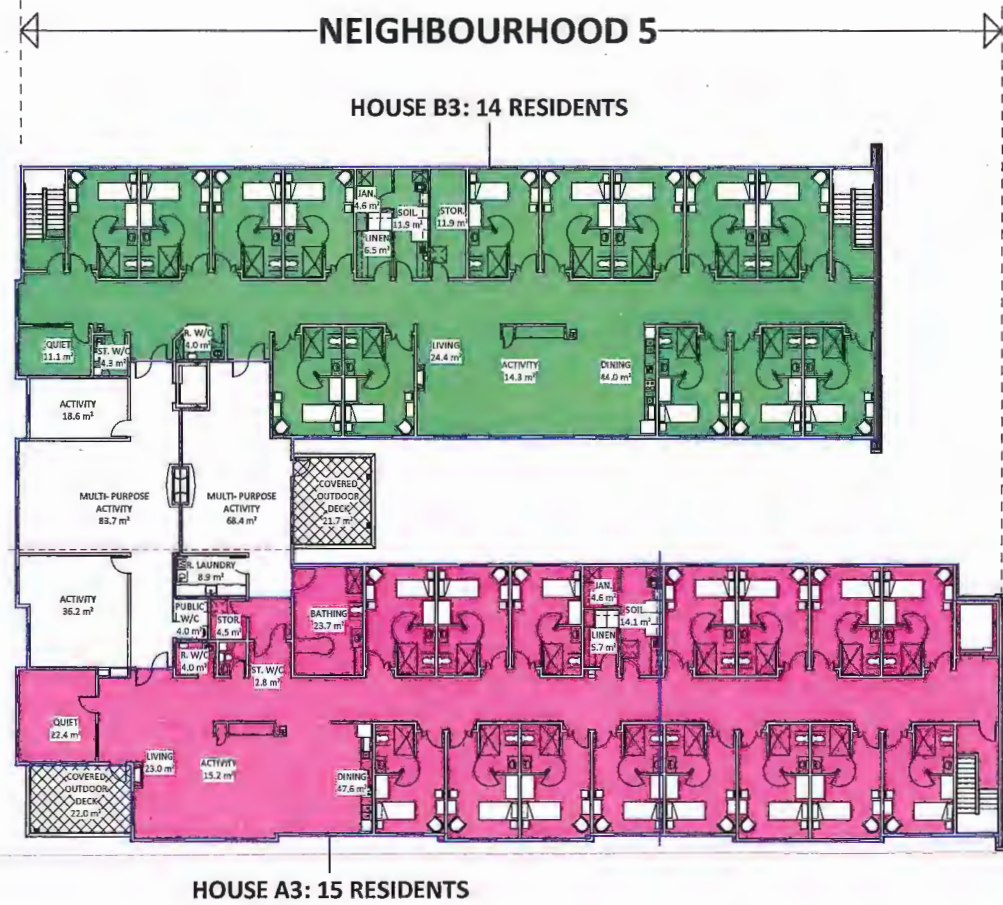
PERSPECTIVE - SOUTHWEST VIEW - HOUSES D&E

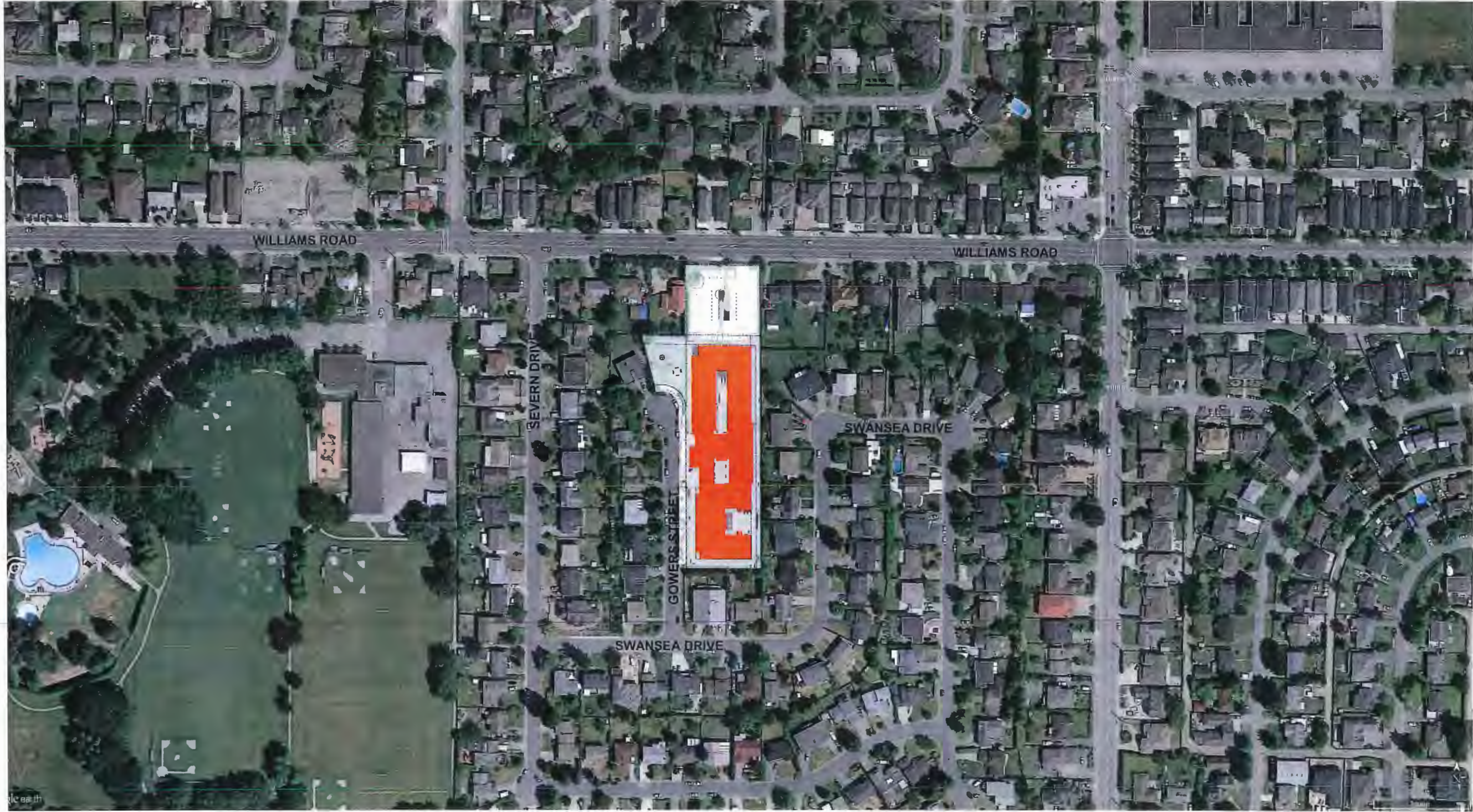


PERSPECTIVE - TYPICAL HOUSE LIVING / DINING / ACTIVITY AREA









MQN
ARCHITECTS

CONTEXT SITE PLAN
KAIGO - FRASERVUE
9580 WILLIAMS ROAD,
RICHMOND, BRITISH COLUMBIA



DRAWING: 12
PROJECT: 14874
DATE: 2016/10/06
SCALE: NTS

Reference Plan Dec 1, 2016
DV 16-733949

NORTH SIDE WILLIAMS ROAD



EAST SIDE OF SITE



NORTH END GOWER STREET

WEST SIDE GOWER STREET



ORIGINAL SITE (SOUTH END)



SWANSEA DRIVE (NORTH SIDE)

SWANSEA DRIVE (WEST SIDE)



Reference Plan Dec 1, 2016
DV 16-733949