



**Development Permit Panel  
Wednesday, September 27, 2023**

Time: 3:30 p.m.  
Place: Remote (Zoom) Meeting  
Present: Cecilia Achiam, General Manager, Community Safety, Acting Chair  
Peter Russell, Director, Sustainability and District Energy  
James Cooper, Director, Building Approvals

The meeting was called to order at 3:30 p.m.

**MINUTES**

It was moved and seconded  
*That the minutes of the meeting of the Development Permit Panel held on Wednesday, August 23, 2023, be adopted.*

**CARRIED**

**1. DEVELOPMENT PERMIT 21-945828**  
(REDMS No. 7319330)

APPLICANT: Greater Vancouver Sewerage and Drainage District

PROPERTY LOCATION: 900 and 1000 Ferguson Road

INTENT OF PERMIT:

To facilitate upgrades through construction of secondary and tertiary treatment structures and related components for the existing wastewater treatment plant on a site designated Environmentally Sensitive Area.

## Development Permit Panel Wednesday, September 27, 2023

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### Applicant's Comments

Nelson Szeto, Metro Vancouver, with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), introduced the project, noting that (i) the proposed upgrade of the existing facility would accommodate future population growth of serviced areas, and (ii) meet provincial and federal regulatory requirements.

In addition, he spoke about the project goals, the ecological priorities, project stages, and delivery schedules, noting that the project is currently at the preliminary design stage and the secondary plant treatment facility is projected to be completed in 2035.

Sarah Primeau, space2place landscape architects, with the aid of the same visual presentation, briefed the Panel on the project's landscaping and ESA compensation scheme, highlighting the following:

- the proposed project site and design would minimize the ecological impact of the project;
- existing habitats around the project would be enhanced including the disturbed areas;
- an ESA Development Permit is required for the project as the entire site is currently designated as an ESA;
- there are five proposed ESA compensation areas for the project around the island with a total of 26.12 hectares, which is in excess of the required ESA compensation area of 23.08 hectares including previous ESA development permit commitments; and
- the applicant has committed to a monitoring program to ensure the long-term success of the project's proposed ESA compensation scheme and a construction environmental management plan to protect existing habitats during construction .

Matthew Woodruff, Local Practice Architecture + Design Ltd., spoke about the architectural component of the project, noting that (i) the proposed architecture complements the project's ecological restoration and ESA restoration objectives, (ii) the plant's façade will not be highly visible to the public, and (iii) a comprehensive sustainability plan for the whole Iona Island and sustainability strategies for individual building components have been developed.

## **Development Permit Panel**

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#### **Staff Comments**

Wayne Craig, Director, Development, noted that (i) staff are satisfied that the proposed ESA compensation scheme would achieve a net gain and ecological area and ecological function, (ii) the existing structure on the site identified in the City's Heritage Registry was deemed not suitable for retention or repurposing as noted in the letter attached to the staff report, (iii) a legal agreement will be secured as a consideration of this DP indicating the structure shall not be demolished until there is a comprehensive heritage commemoration, salvage and implementation plan prepared by a qualified heritage professional and submitted to and reviewed by City staff and the Richmond Heritage Commission, and (iv) the proposed barge facility that is currently under consideration as a means of getting construction material to/from the site is not part of the subject application.

#### **Panel Discussion**

In reply to queries from the Panel, the applicant noted that (i) the potential exemption of the project from the BC Environmental Assessment Act is yet to be determined, (ii) the proposed project has the capacity to service the projected growth in the number of people serviced without impacting the ESA, (iii) the potential expansion of ESA through habitat banking has not been considered in the scope of the application, (iv) adaptation strategies are included in the flood adaptation plan for the island, and (v) there will be monitoring of the growth of compensation planting and the condition of habitats surrounding the proposed ESA compensation areas.

#### **Correspondence**

None.

#### **Gallery Comments**

None.

#### **Panel Discussion**

The Panel expressed support for the project, noting that (i) the proposed upgrade of the existing wastewater treatment plant is appreciated, (ii) the project is well designed, and (iii) the evolution of the project in the future would be positive based on the current plan.

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**Panel Decision**

It was moved and seconded

*That a Development Permit be issued at 900 and 1000 Ferguson Road to facilitate upgrades through construction of secondary and tertiary treatment structures and related components for the existing wastewater treatment plant on a site designated Environmentally Sensitive Area.*

**CARRIED**

**2. DEVELOPMENT PERMIT 22-011557**  
(REDMS No. 7313233)

APPLICANT: Jacky He

PROPERTY LOCATION: 6531 Francis Road

**INTENT OF PERMIT:**

Permit the construction of two front-to-back duplexes at 6531 Francis Road (one on each lot after subdivision) with shared vehicle access from Francis Road, on lots zoned “Arterial Road Two-Unit Dwellings (RDA)”.

**Applicant’s Comments**

Jiang Zhu, Imperial Architecture, with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 2), provided background information on the proposed development, highlighting the following:

- the proposed development includes two front-to-back duplexes separated by a shared drive-aisle in the middle;
- the central courtyard in the middle of the shared drive-aisle fronting the garages will be used for vehicle manoeuvring;
- the appearance of each duplex building is differentiated through the use of different roof shapes and colour tones, among others;
- each unit is provided with two side-by-side resident parking spaces;
- balconies on the second floor of the front units face the internal drive-aisle; and
- the project includes one convertible unit.

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Eason Li, Homing Landscape Architecture, with the aid of the same visual presentation, briefed the Panel on the main landscaping features of the project, noting that (i) existing trees on the site will be retained and protected, (ii) one existing tree will be relocated, (iii) permeable pavers for the shared drive-aisle and pedestrian pathway are differentiated through the use of different colours, (iv) each unit is provided with a private yard space, (v) wood decking is provided for the rear units to create outdoor patio spaces and in order to maintain the grade, (vi) wood planters with trellises are proposed to separate the front and back units, and (vii) the overall landscape design meets the porous surface area requirement for the project.

#### **Staff Comments**

Mr. Craig noted that (i) there is a Servicing Agreement associated with the project for frontage improvements and site services, (ii) contracts with a certified arborist to supervise tree relocation and tree protection during construction are required, (iii) the project will achieve BC Energy Step Code Level 3 through the use of air source heat pumps, among others, and (iv) the air source heat pumps for heating and cooling have been designed and located to comply with the City's Noise Bylaw requirements.

#### **Panel Discussion**

Discussion ensued regarding potential landscaping treatments to break up the continuous wall along the west and east property lines. As a result of the discussion, the applicant was advised to work with staff to investigate opportunities to incorporate landscaping treatments, e.g. installing a high evergreen hedge on the central portion of the fencing to break up the continuous wall/fencing prior to the application moving forward for Council consideration.

Discussion ensued regarding the need for further differentiation of the front façade of each building. As a result of the discussion, the applicant was advised to work with staff to investigate further opportunities to differentiate the front façade of each duplex building.

#### **Correspondence**

None.

#### **Gallery Comments**

None.

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**Panel Decision**

It was moved and seconded

*That a Development Permit be issued which would permit construction of two front-to-back duplexes at 6531 Francis Road (one on each lot after subdivision) with shared vehicle access from Francis Road, on lots zoned “Arterial Road Two-Unit Dwellings (RDA)”.*

**CARRIED**

**3. DEVELOPMENT PERMIT 22-023105**

(REDMS No. 7288456)

APPLICANT: 6333 Cooney Road Limited Partnership

PROPERTY LOCATION: 6333 Cooney Road

INTENT OF PERMIT:

To permit the construction of a high-rise building containing approximately 81 dwelling units at 6333 Cooney Road on a site zoned “High Rise Apartment (ZHR8) – Brighthouse Village (City Centre)”

**Applicant’s Comments**

Dave Leung, Westbank Corp. and Daniel Hawreluk, Kasian Architecture and Interior Design, with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 3), introduced the project and provided background information on the proposed development, highlighting the following:

- there have been design changes from the previously approved development permit to the current proposal including, among others, improvements in the public realm, architectural expression of the building, landscaping and changes in parking;
- live-work townhouse units are proposed along Cooney Road to provide for an interesting street frontage;
- Transportation Demand Management (TDM) measures are proposed for the project which include, among others, additional bicycle parking and provision of two car-share vehicles;
- the proposal includes 20 adaptable units; and
- penthouse units are located on the tower rooftop.

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Ken Larsson, Connect Landscape Architecture, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) the proposed landscaping has been enhanced to complement the new design of the building, (ii) roof gardens are proposed on different levels of the building; (iii) the common outdoor amenity area on Level 4 has been improved to provide more variety of uses, (iv) the indoor amenity pavilion is located adjacent to the common outdoor amenity area to improve the indoor-outdoor relationship, and (v) the proposed planting palette allows for layered planting and provides visual interest.

#### Staff Comments

Mr. Craig noted that (i) there is a Servicing Agreement associated with the project for frontage works and site services, (ii) the Servicing Agreement includes the construction of the new City lane along the south edge of the building, (iii) the new City lane will be used to provide future access to the neighbouring properties to the south should they redevelop in the future, (iv) the project has been designed to achieve BC Energy Step Code Level 2 with a Low Carbon Energy System, (v) the Low Carbon Energy System has been designed for future connection to the City's District Energy Utility (DEU), (vi) the building has been designed to achieve the City's aircraft noise mitigation requirements and the Canada Mortgage and Housing Corporation (CMHC) interior noise standards, and (vii) the provision of intensive green roofs on various parts of the building is appreciated by staff.

#### Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) the proposed development will use triple low-e glazing system and air source heat pumps for heating and cooling to achieve energy efficiency, (ii) the development includes 81 residential units each provided with a balcony, (iii) modular green screens are installed on the podium walls at the north and west elevations of the building, (iv) green roofs are provided in the project, (v) the small mechanical unit on the tower rooftop is surrounded by landscaped buffers, and (vi) a dog wash area is provided in the parkade.

In reply to a query from the Panel, Mr. Craig noted that the project's TDM measures include, among others, the provision of electric vehicle charging station for car share parking spaces.

#### Correspondence

Ting Ling Wong, 1507-8288 Saba Road ([Schedule 4](#))

In reply to the concerns of Ting Ling Wong, Mr. Craig noted that (i) the density of the proposed development was determined through the rezoning application that was approved by Council, and (ii) the development will have to comply with the BC Building Code, in particular to sections relating to fire prevention and protection.

Thompson Lee and Clara Lee, 1501, 1601, and 1602 Saba Road ([Schedule 5](#))

## **Development Permit Panel**

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In reply to Mr. and Ms. Lee's concerns regarding the potential geotechnical impact of the construction of the proposed development at 6333 Cooney Road on their existing building, Mr. Craig noted that geotechnical reports including proposed mitigation measures are required to be submitted by the applicant and approved by the City prior to Building Permit issuance.

#### **Gallery Comments**

Gary Cross, 503-8238 Saba Road, expressed concern regarding the past and current condition of the property at 6333 Cooney Road, noting that the subject property has been neglected for a long time. He further noted that currently, the subject property is unsightly and the overgrowth of blackberry bushes is affecting pedestrian circulation and safety along the sidewalk.

Discussion ensued between Mr. Cross and the applicant regarding the timeline for the completion of the project and construction hoarding. Mr. Cross noted that while he does not oppose the project, he wanted to ensure that construction would be well managed and efficient and the subject property kept clean and tidy and not impact pedestrian circulation and safety in the construction area.

In reply to Mr. Cross' construction-related concerns, the applicant noted that the project contractor would address his concerns. The applicant further noted that construction hoarding is also their priority concern as it is part of their marketing strategy.

Mr. Cross also brought to the Panel's attention the concern of a member of the public in the gallery who is a resident of 6340 Buswell Road, noting that the resident is concerned that his view would be obstructed and sunlight exposure limited by the proposed development as he lives on the ground floor of the existing low-rise apartment building to the west of the subject site.

In reply to the concern of the resident of 6340 Buswell Road, Mr. Craig advised that the proposed development meets the City's tower separation guidelines. Also, he clarified that the current application is for a development permit application and not for general compliance as there are significant changes to the design of the project from the one previously approved by Council.

#### **Panel Discussion**

The Panel expressed support for the project, noting that the current proposal is an improvement over the previous one.



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**Panel Decision**

It was moved and seconded

*That a Development Permit be issued which would permit the construction of a high-rise building containing approximately 81 dwelling units at 6333 Cooney Road on a site zoned “High Rise Apartment (ZHR8) – Brighthouse Village (City Centre)”.*

**CARRIED**

**4. DEVELOPMENT PERMIT 23-018670**

(REDMS No. 7342153)

APPLICANT: Sandeep Mann

PROPERTY LOCATION: 10408 Dennis Crescent

INTENT OF PERMIT:

To permit the construction of a coach house at 10408 Dennis Crescent on a site zoned “Single Detached with Granny Flat or Coach House – Edgemere (RE1)”.

**Applicant’s Comments**

Navtej Dhot, Astonish Design and Detailing Ltd., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 6), provided background information on the proposed coach house, highlighting the following:

- the proposed coach house and two-car garage for the main house will be located on the east side of the property adjacent to the existing rear lane;
- an unenclosed parking space is provided for the coach house;
- a shared garbage and recycling enclosure for the residents of the main house and coach house is proposed;
- the coach house will be provided with a private open space;
- proposed pedestrian access to the coach house is from the rear lane and through the pedestrian walkway from Dennis Crescent along the north side of the subject property;
- two deciduous trees are proposed to be planted on the property; and
- the proposed exterior cladding materials and colours for the coach house are consistent with those of the main house.

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#### Staff Comments

Mr. Craig noted that (i) the proposed coach house has been designed to achieve BC Energy Step Code Level 3 with the provision of an air source heat pump for heating and cooling, (ii) the proposed heat pump will be designed to meet the City's Noise Bylaw, and (iii) the applicant has agreed to plant two new trees in the subject property as a condition of Development Permit issuance.

#### Panel Discussion

Discussion ensued regarding the coach house wall facing the main house and as a result of the discussion, the applicant was advised to work with staff to investigate opportunities to install a high window on the ground floor to allow more sunlight exposure to the living space of the coach house.

#### Correspondence

None.

#### Gallery Comments

None.

#### Panel Discussion

The Panel expressed support for the project, noting that more coach houses in the City would be desirable to provide more housing choices for the City's residents.

#### Panel Decision

It was moved and seconded

*That a Development Permit be issued which would permit the construction of a coach house at 10408 Dennis Crescent on a site zoned "Single Detached with Granny Flat or Coach House – Edgemere (RE1)".*

**CARRIED**

#### 5. New Business

None.

#### 6. Date of Next Meeting: October 12, 2023

10.

**Development Permit Panel**  
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**ADJOURNMENT**

It was moved and seconded  
*That the meeting adjourn (5:14 p.m.).*

**CARRIED**

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, September 27, 2023.

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Cecilia Achiam  
Acting Chair

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Rustico Agawin  
Committee Clerk

Schedule 1 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
September 27, 2023



CNCL - 380

Rendering of Iona Island

# Iona Island WWTP – ESA DP Panel Review Meeting

CITY OF RICHMOND

**Nelson Szeto**

Project Manager, Early Works, IWWTP - Metro Vancouver

**Sarah Primeau**

Landscape Architect and Ecologist, space2place

**Matthew Woodruff**

Principal / Architect, Local Practice

**metrovancover**

September 27, 2023

## TREATMENT PLANT UPGRADES

Design Parameters

### Flows from:

Vancouver  
(combined sewer)  
Richmond  
Burnaby  
Electoral Area A, UBC

### Accommodating growth:

946,000 people in 2051  
(516 ML/d)

metro.vancouver



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## REGULATORY REQUIREMENTS

- Federal *Fisheries Act* Wastewater Systems Effluent Regulations
- Provincial *Environmental Management Act*
  - Metro Vancouver's Integrated Liquid Waste and Resource Management Plan (2011)
    - Lions Gate (North Shore) WWTP by 2020
    - Iona Island WWTP by 2030

CNCL - 382

Canada



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## PROJECT GOALS

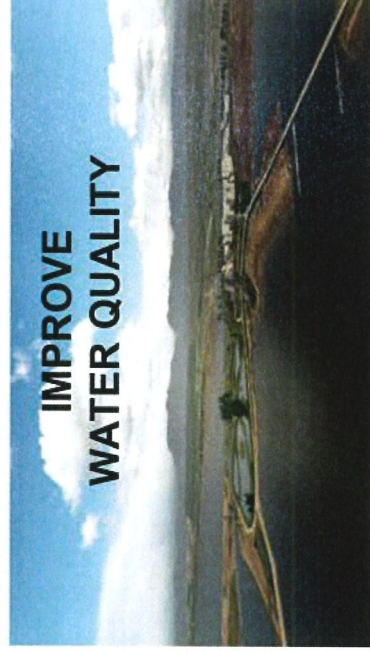
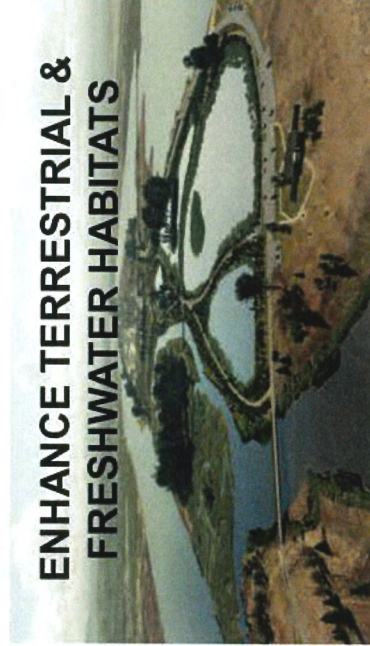
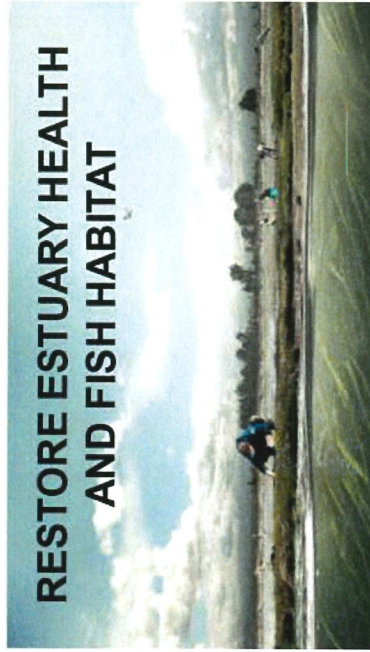
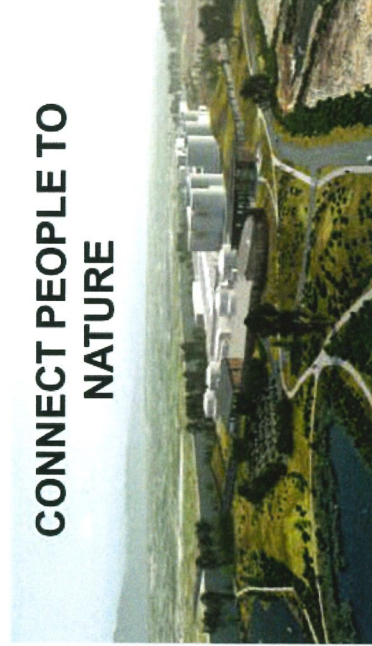
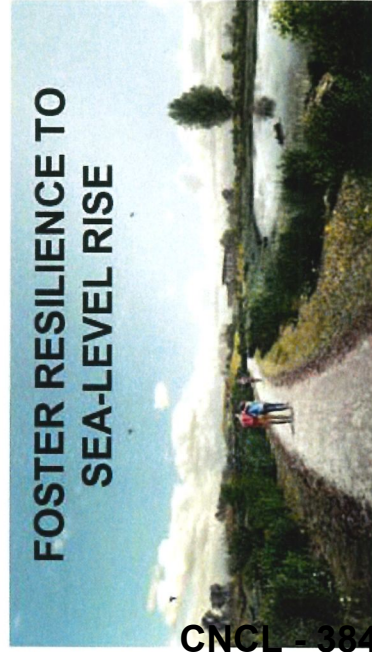
Wastewater  
Treatment

Resource  
Recovery

Community  
and Park  
Integration

# ECOLOGICAL RESTORATION PROJECTS & PARK INTEGRATION

Ecological Priorities

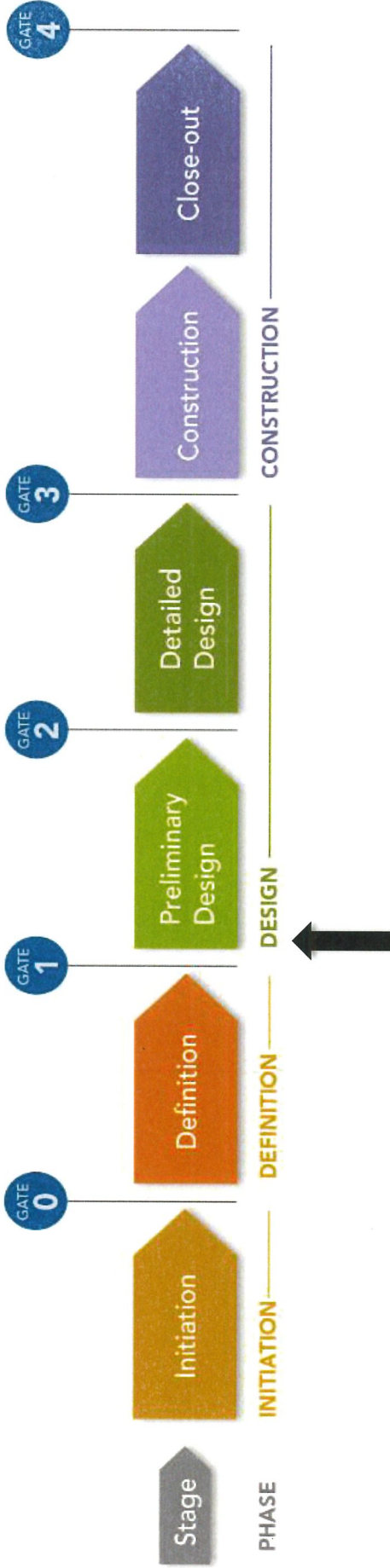


CNCL - 384



# WHERE WE ARE

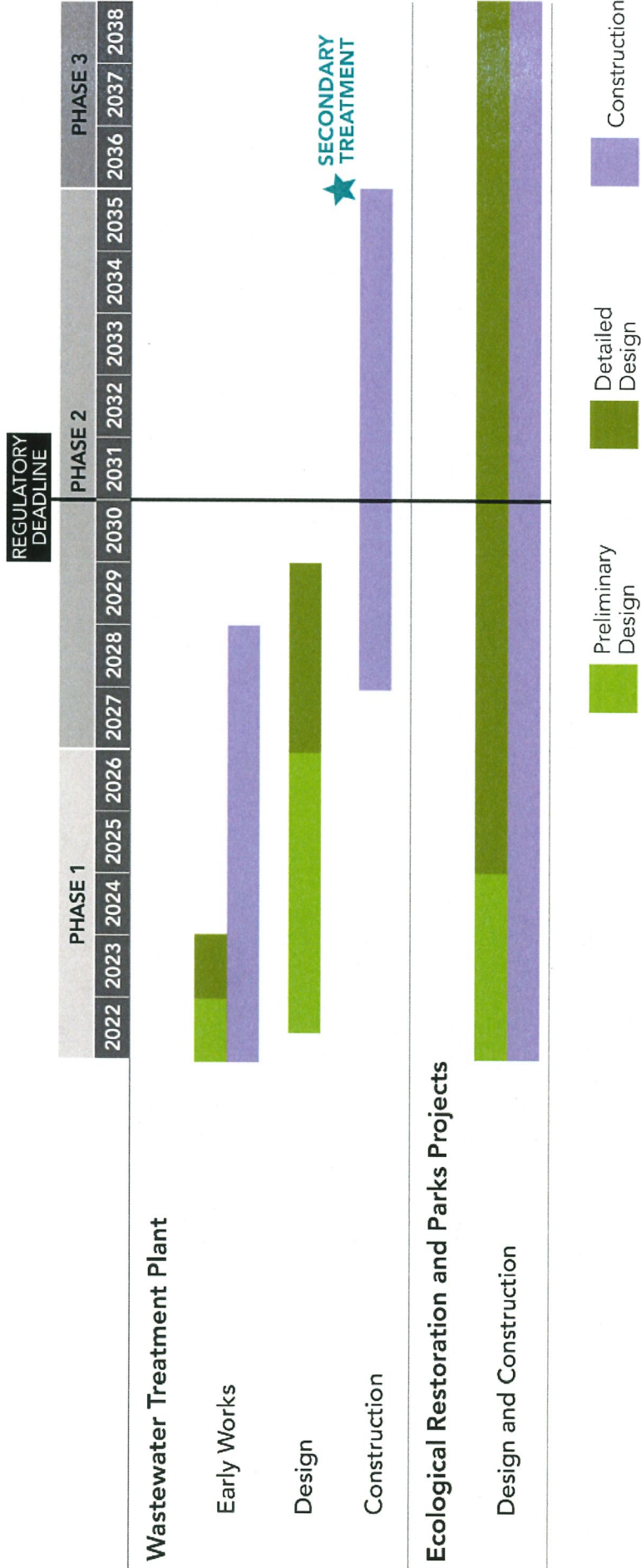
And What's Ahead



CNCL - 385

Project Definition Report received MV Board endorsement in March 2022

# DELIVERY SCHEDULE — OVERVIEW



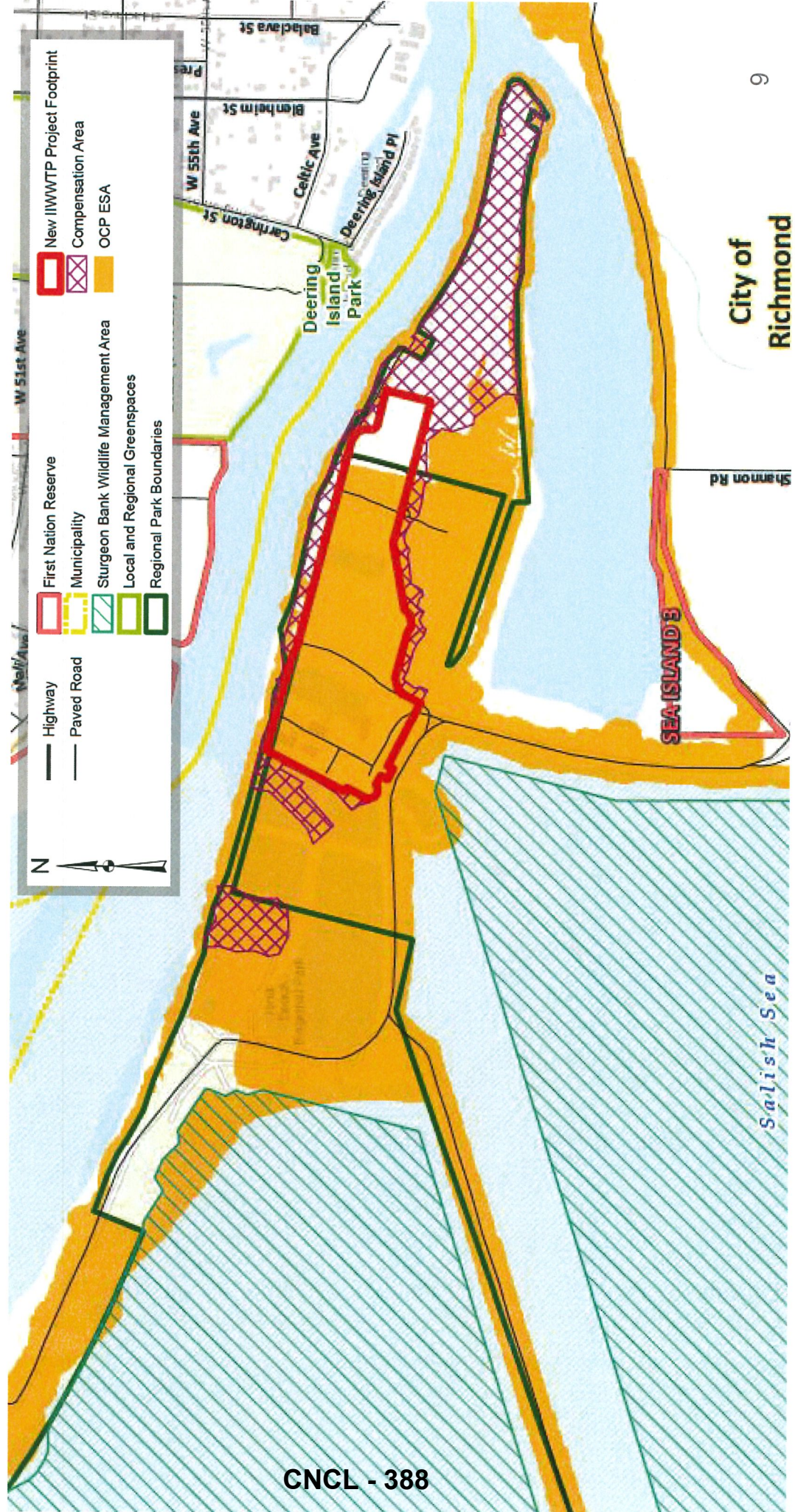


**Musqueam Cultural Pavilion**

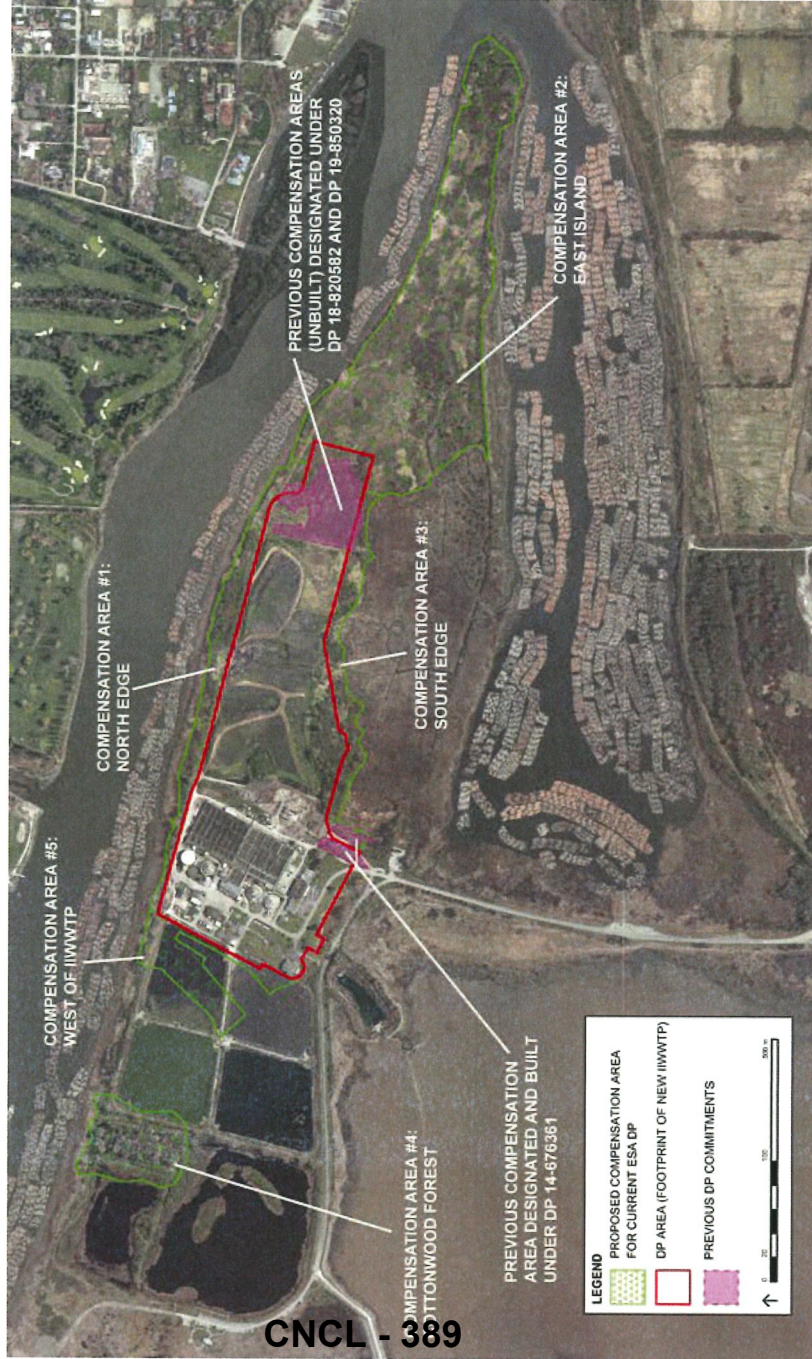
Sea Island sq

CNCL - 387

# WHY ESA DP?

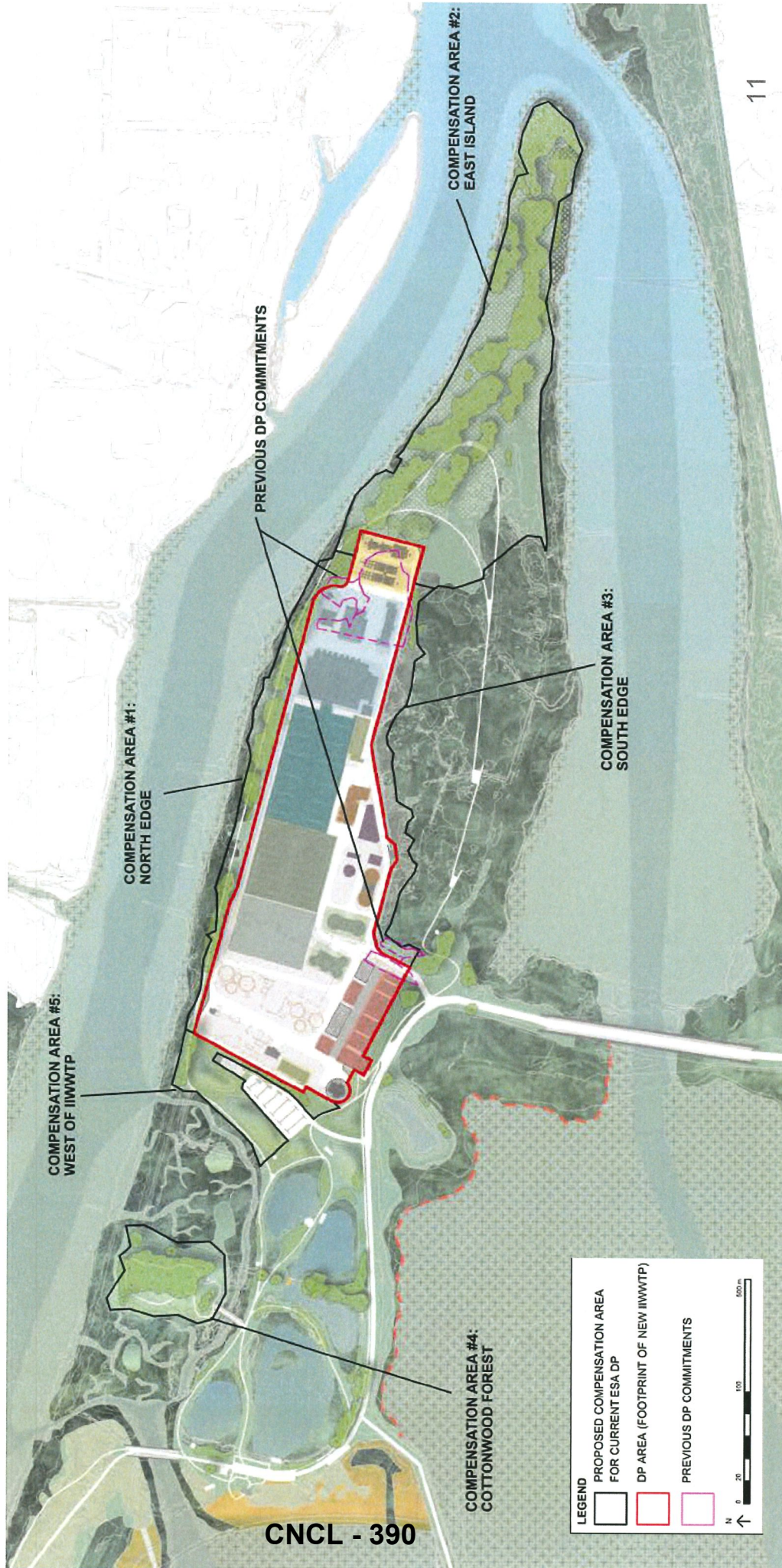


# COMPENSATION STRATEGY Impacted and Compensation Areas



Area of Disturbance or Compensated Area	Area (ha)
Previous Compensation Commitments	2.12
Impacted ESA Area within DP Footprint	20.96
<b>REQUIRED COMPENSATION</b>	<b>23.08</b>
<b>Proposed Compensation Areas:</b>	
Area #1 North edge	3.22
Area #2 East island	15.47
Area #3 South edge	2.30
Area #4 Cottonwood forest	2.88
Area #5 Areas west of new IWWTP	2.25
<b>PROPOSED COMPENSATION</b>	<b>26.12</b>
<b>Net difference between required and proposed compensation</b>	<b>+3.04</b>

# LANDSCAPE PLAN



CNCL - 390

**ARCHITECTURE –  
“FRONT DOOR” TO IONA ISLAND**

**CNCL - 391**



# ARCHITECTURE – COMMUNITY INTEGRATION & STEWARDSHIP



CNCL - 392



# ISLAND-SCALE SUSTAINABILITY

## Nature-Based Flood Mitigation

Strategies may include living breakwaters, restored tidal habitats, and sediment augmentation, pending further study.

## Construction Waste

Maximizing synergies during construction of different phases of the Project to reduce material requirements and transport onsite and offsite (including concrete and precast material).

## GHG Emissions and Energy

Onsite renewable energy generation for park infrastructure; energy-efficient and solar powered (wherever possible) park equipment.

## Educational Hub

Interpretive education nodes speak to ecological restoration projects, site ecology, and waste and resource management to increase public awareness and understanding.

## Stormwater Management

Following decommissioning, one sludge lagoon intended for stormwater management during construction; after construction is complete, sludge lagoons converted to new tidal habitat.

## IRR - Reclaimed Water

Reclaimed water from the plant used for ecosystem restoration and landscape irrigation during vegetation establishment if needed.

## Landscape

Low-maintenance and low-irrigation landscape using native species.

## Materials

Maximize use of renewable and low-carbon materials (such as wood) for construction of park structures (bird blinds, picnic shelters).

## IRR - Reclaimed Water and District Energy

Possibility to provide reclaimed water and heat to northern side of Fraser River.

## Sustainable Transportation

Enhance and extend cycling and pedestrian trails, and provide bike parking and electric vehicles charging stations.

## IRR - Reclaimed Water and District Energy

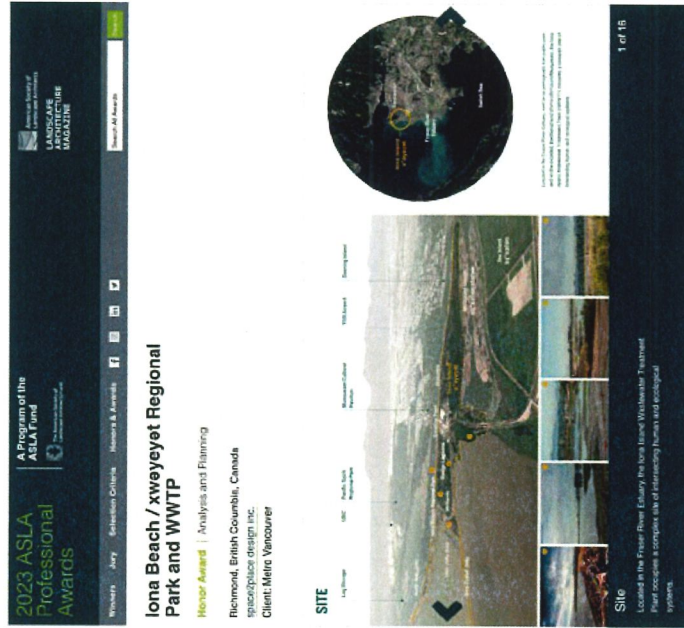
Plan for district energy and reclaimed water pipelines at McDonald Slough crossing.

## Musqueam Engagement

Planned involvement of Musqueam in detailed design to create places for knowledge transfer and native plant restoration.



# RECENT PROJECT RECOGNITION: ASLA AND CSLA AWARDS



American Society of Landscape Architects  
Honour Award

**metrovancover**



Canadian Society of Landscape Architects  
National Award

Thank you

CNCL - 395

Iona Island Wastewater Treatment Plant

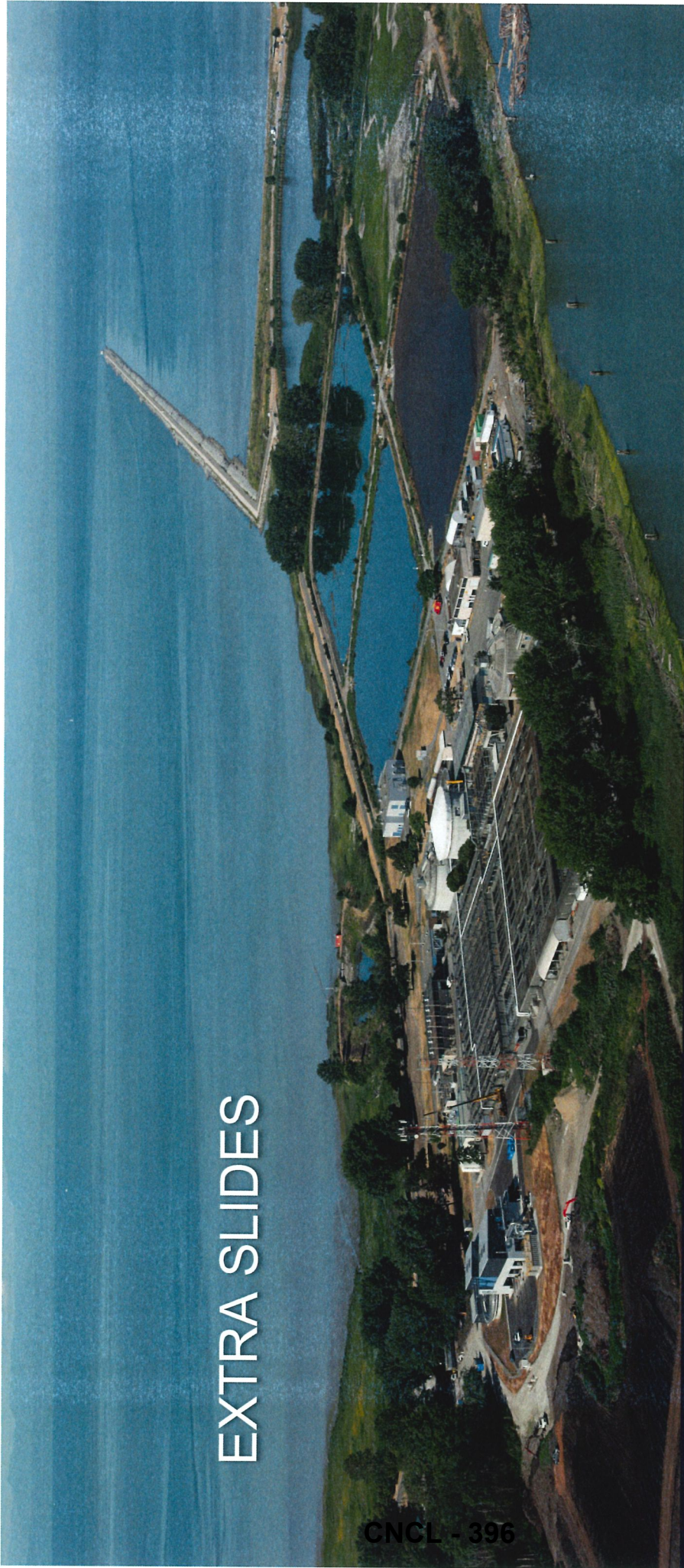
QUESTIONS?

**metrovancouver**  
Together we make our region strong



# EXTRA SLIDES

CNCL - 396



Iona Island Wastewater Treatment Plant

# QUESTIONS?

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Together we make our region strong

# Existing Administration and Power Building



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**EXISTING POWER / CO GEN BUILDING**



CNCL - 398

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## EXISTING ADMINISTRATION BUILDING



CNCL - 399

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## MONITORING AND MAINTENANCE

### Construction Monitoring

- **Construction Environmental Management Plan** will guide the environmental monitoring program during construction of the new IWWTP
- Will be finalized by end of 2023 and provided following completion

CNCL - 400

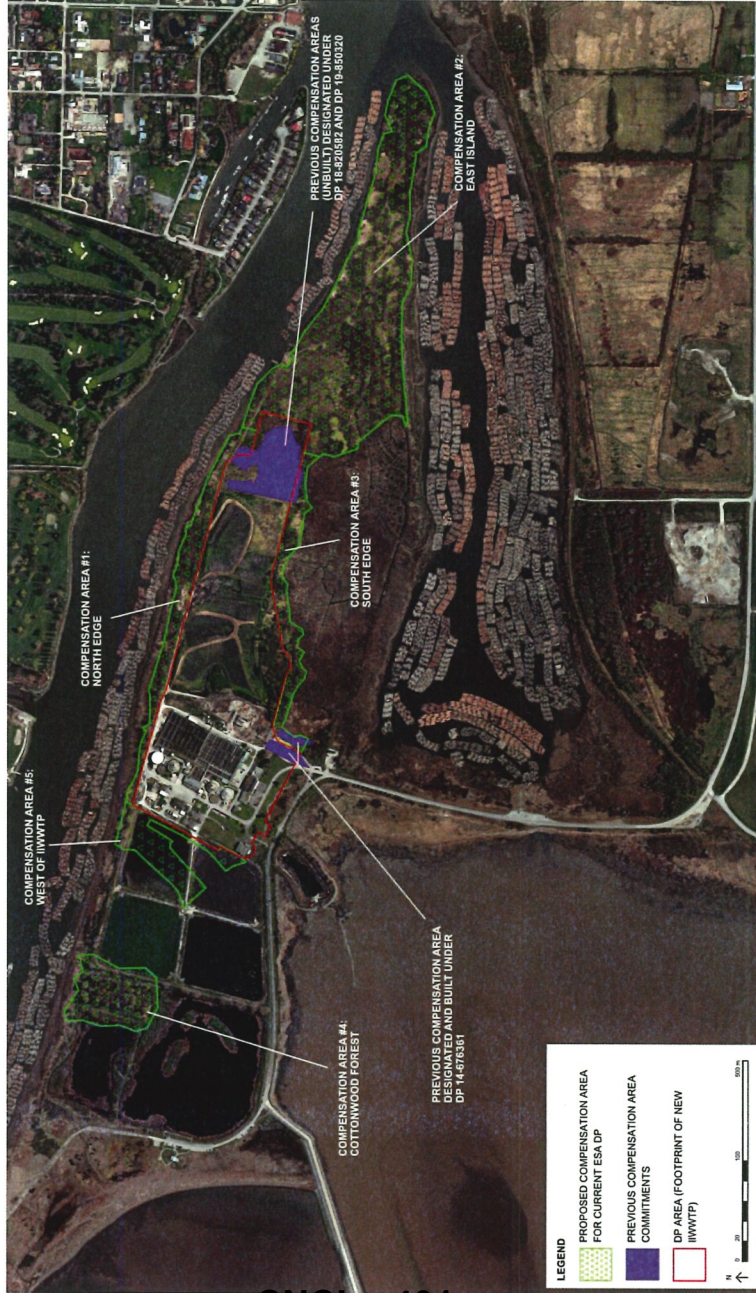
### Compensation and Restoration Monitoring

- **Compensation and Restoration Monitoring Plans** will support long-term restoration, maintenance and monitoring of compensation areas
- Will also be guided by a technical advisory group convened by Metro Vancouver
- Will be provided when construction drawings for relevant Ecological Restoration project areas reach the 90% level



# COMPENSATION STRATEGY

## Impacted and Compensation Areas



CNCL - 401

Area of Disturbance or Compensated Area	Approx. Area (ha)
<b>DP Area Overlapping IWWTP Project Footprint</b>	
Shoreline ESA	1.37
Wetland ESA	19.59
<b>Total Footprint</b>	<b>20.96</b>
<b>Previous Compensation</b>	
Compensation for DP 14-676361	0.33
Compensation for DP 18-820582	1.37
Compensation for DP 19-850320	0.30
Landscape work associated with DP 18-820582	0.12
<b>Total of previous compensation commitments</b>	<b>2.12</b>
<b>Total Area to be Compensated</b>	<b>23.08</b>
<b>Proposed Compensation Areas</b>	
Area #1 North edge	3.22
Area #2 East island	15.47
Area #3 South edge	2.30
Area #4 Cottonwood forest	2.88
Area #5 Areas west of new IWWTP	2.25
<b>Total Compensated Area</b>	<b>26.12</b>

*Difference (between total footprint and total required compensation)*

+3.04



## 4 UNIT DUPLEX DEVELOPMENT (RZ 19-878165 / DP 22-011557) AT 6531 FRANCIS ROAD, RICHMOND, BC

ISSUED FOR DP RESUBMISSION 2023-09-05

### CONTACT LIST

**CLIENT/APPLICANT**  
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 IMPERIAL ARCHITECTURE  
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**CIVIL**  
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**ARCHITECT**  
 JCTIM & ASSOCIATES PROFESSIONAL LAND SURVEYORS  
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 EMAIL: OFFICE@JCTIM.COM


**ARCHITECT**  
 THE TREE POLICE  
 CONTACT: SUZANNE (NINA) LING, ISA CERTIFIED ARBORIST  
 TEL: 604-273-8888  
 EMAIL: SUZANNE@TREESERVICES.COM

**LANDSCAPE**  
 HOMING LANDSCAPE ARCHITECTURE  
 CONTACT: EASON (DREW) LUI, BCSLA  
 TEL: 778-303-8338  
 EMAIL: HOING@HOMINGLANDSCAPE@GMAIL.COM

### DRAWING LIST

**ARCHITECTURAL:**

- |      |                                      |       |  |
|------|--------------------------------------|-------|--|
| A0.0 | COVER SHEET                          | A2.1  | BLDG A & B LEVEL 1 CONTEXT FLOOR PLANS |
| A0.1 | SITE AERIAL PHOTO                    | A2.2  | BLDG A & B LEVEL 2 CONTEXT FLOOR PLANS |
| A0.2 | SITE CONTEXT PLAN / STREET ELEVATION | A2.3  | BLDG A LEVEL 1 & 2 FLOOR PLANS         |
| A0.3 | PROJECT DATA & STATISTICS            | A2.3A | BLDG B LEVEL 1 & 2 FLOOR PLANS         |
| A0.4 | PROJECT DATA & STATISTICS            | A2.4  | BLDG B LEVEL 1 & 2 FLOOR PLANS         |
| A0.5 | COLOR RENDERINGS                     | A2.4A | BLDG B LEVEL 1 & 2 AREA OVERLAY        |
| A0.6 | COLOR RENDERINGS                     | A2.5  | BLDG A & B ROOF PLANS                  |
| A0.7 | COLOR SAMPLE BOARD                   | A3.1  | BUILDING A ELEVATIONS                  |
| A0.8 | COLOR RENDERINGS                     | A3.2  | BUILDING B ELEVATIONS                  |
| A0.9 | COLOR SAMPLE BOARD                   | A4.1  | BUILDING SECTIONS                      |
| A1.0 | SITE SURVEY                          | A5.1  | CONVERTIBLE UNIT FLOOR PLANS           |
| A1.1 | SITE PLAN                            |       |  |
| A1.2 | PARKING PLAN                         |       |  |
| A1.3 | SITE COVERAGE OVERLAY                |       |  |
| A1.4 | PRIVATE OUTDOOR SPACE OVERLAY        |       |  |
| A1.5 | SUBDIVISION PLAN                     |       |  |
| A1.6 | FIRE FIGHTING PLAN                   |       |  |



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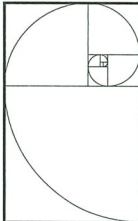
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2023-09-05	JL	JL
2023-09-05	JL	JL
2023-09-05	JL	JL
2023-09-05	JL	JL

Client/Project: **4-UNIT DUPLEX DEVELOPMENT**  
 6531 FRANCIS ROAD, RICHMOND, BC  
 RZ 19-878165 / DP 22-011557

Sheet: **COVER PAGE**

Project No.: **#8304** Scale: **N.T.S.**

Drawing No.: **A.0.0** of **1**



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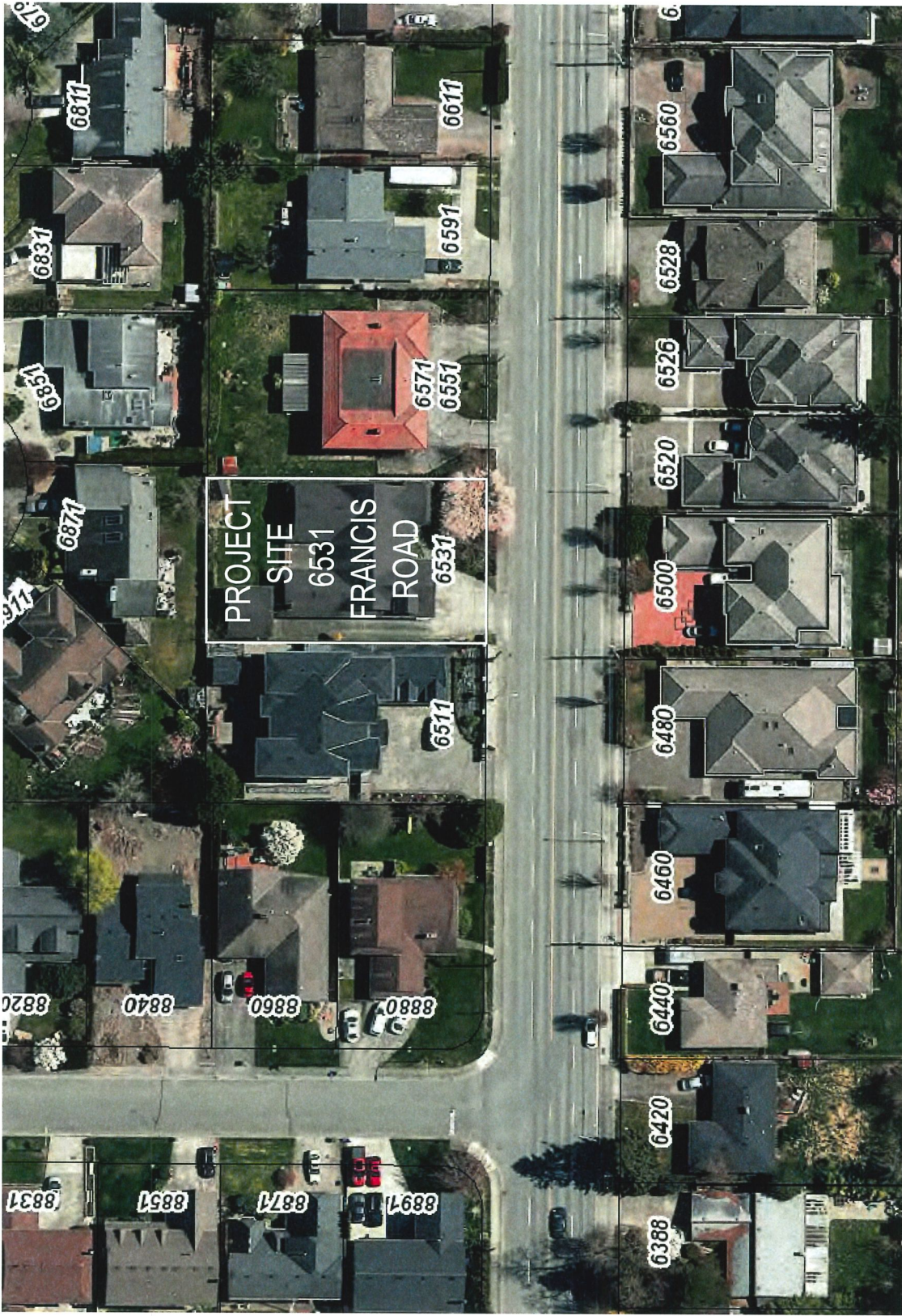
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4	11/11/11	IM	ISSUE FOR PERMITS
5	11/11/11	IM	ISSUE FOR PERMITS
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9	11/11/11	IM	ISSUE FOR PERMITS
10	11/11/11	IM	ISSUE FOR PERMITS

Client/Project  
 4-UNIT DUPLEX DEVELOPMENT  
 651 FRANCIS ROAD, RICHMOND, BC  
 RZ 19-078165 / DP 25-011557

Site  
 SITE AERIAL PHOTO

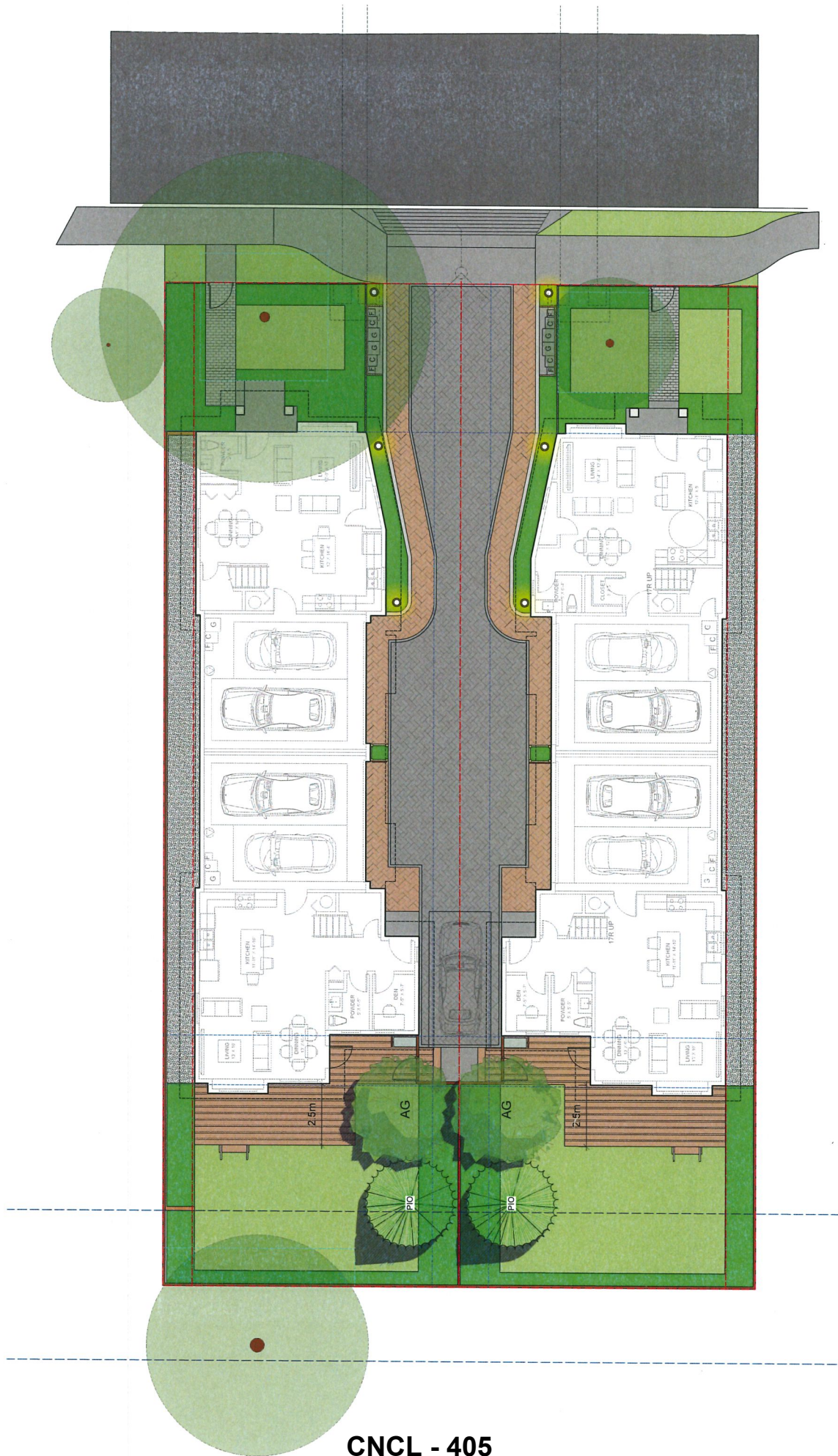
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 Revision

A 0.1 of

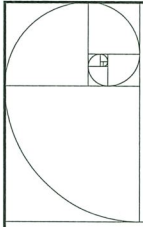


1 SITE AERIAL PHOTO  
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CNCL - 405



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1	2018.02	JL	JL	ISSUED FOR PERMITS
2	2018.02	JL	JL	ISSUED FOR PERMITS
3	2018.02	JL	JL	ISSUED FOR PERMITS

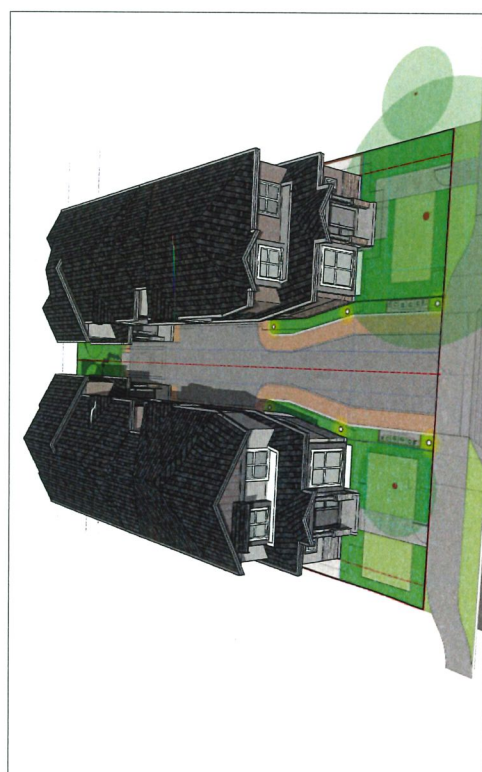
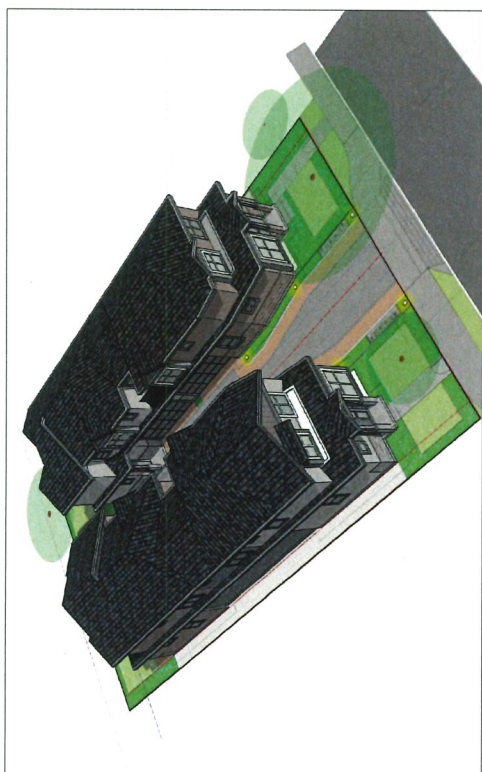
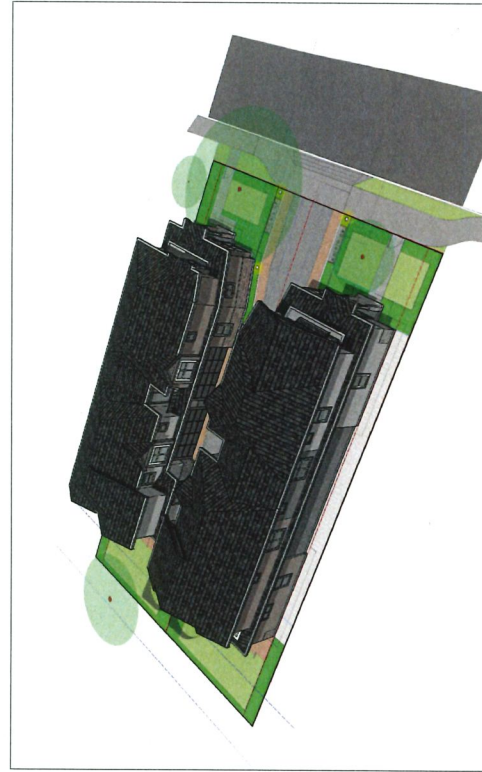
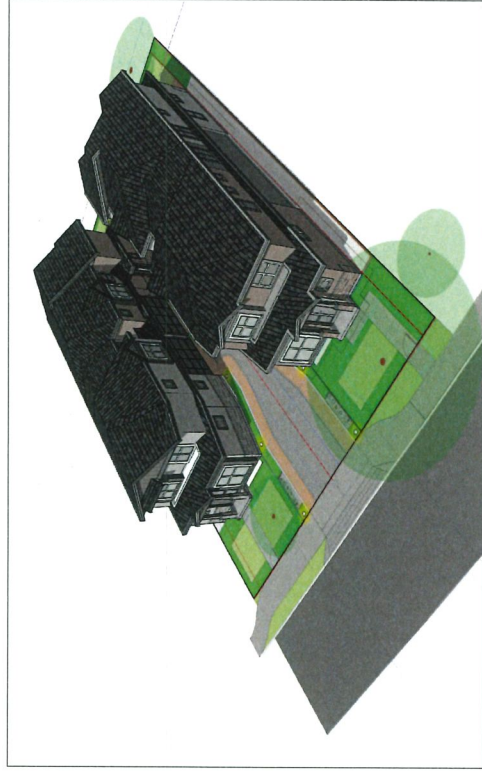
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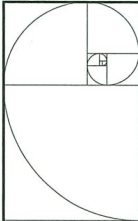
**4-UNIT DUPLEX DEVELOPMENT**  
 6311 FRANCIS ROAD, RICHMOND, BC  
 RZ 19-018165 / DP 2-011557

**COLOR RENDERINGS**

Sheet No. **#6304** Scale **N.T.S.**  
 Drawing No. \_\_\_\_\_ Revision \_\_\_\_\_  
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**A 0.7**





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3	12.15.18	APR	APR	ISSUE FOR PERMITS
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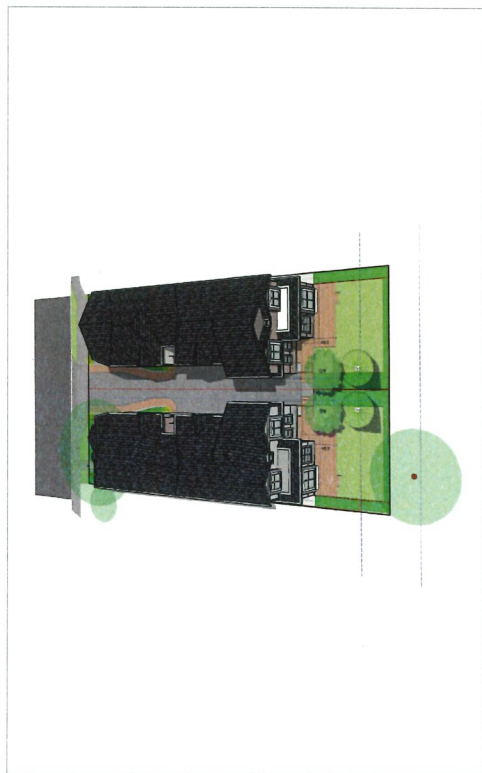
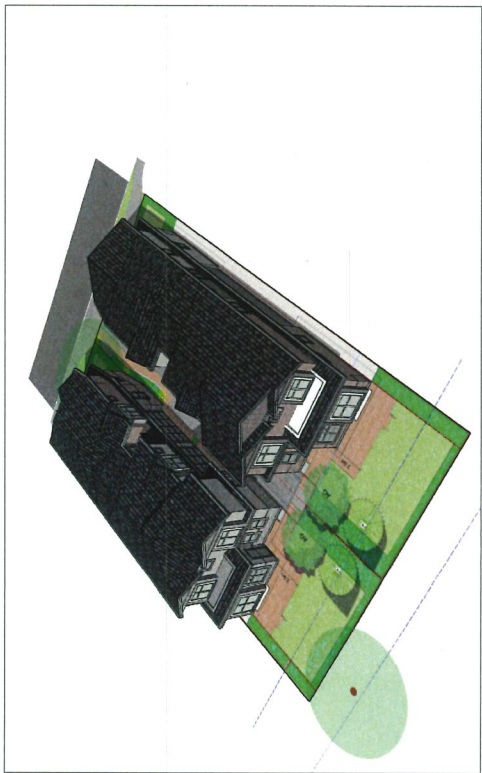
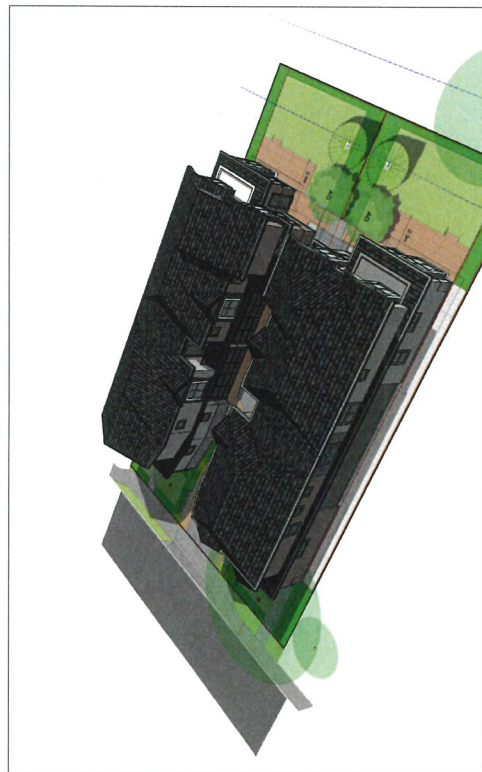
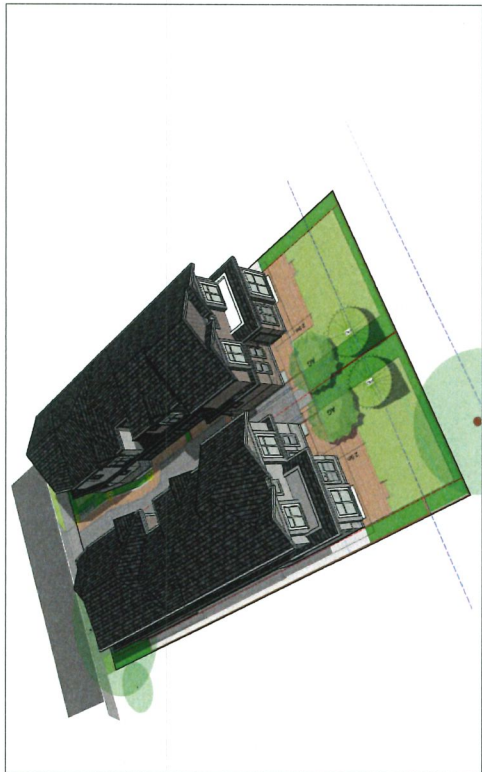
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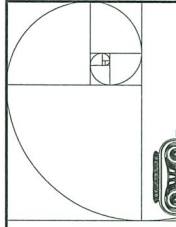
**4-UNIT DUPLEX DEVELOPMENT**  
 6337 FRANCIS ROAD, RICHMOND, BC  
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**COLOR RENDERINGS**

Project No. #63004  
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3	12/11/2020	AS	AS	ISSUED FOR PERMITS
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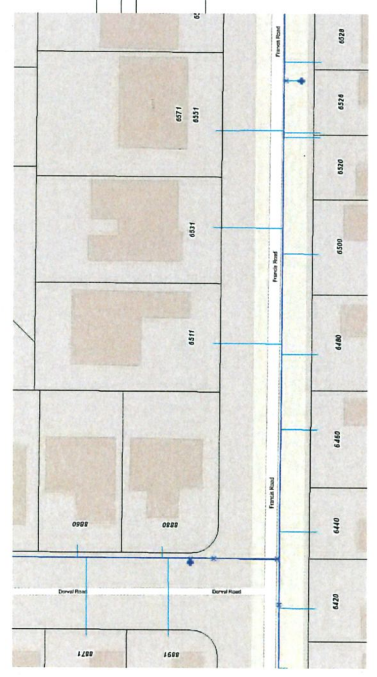
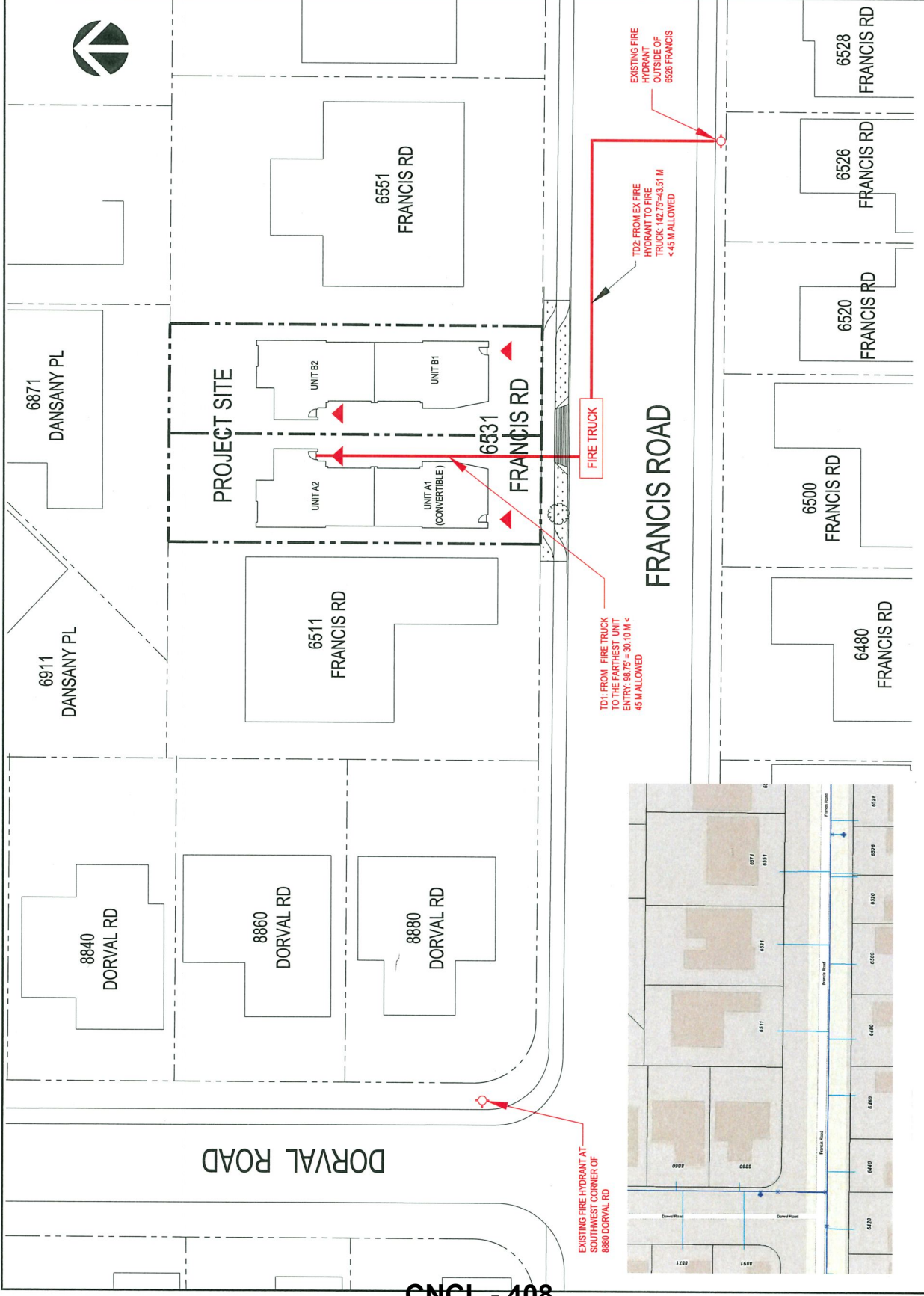
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 4-UNIT DUPLEX DEVELOPMENT  
 6531 FRANCIS ROAD, RICHMOND, BC  
 RZ 19-478165 / DP 24-011557

Drawn By  
 #6304

Scale  
 AS NOTED

Revision  
 FIRE FIGHTING PLAN

A 1.6



2 FIRE FIGHTING PLAN  
 A1.6 SCALE: 1/16"=1'-0"

1 FIRE HYDRANT LOCATION PLAN  
 A1.6 SCALE: N.T.S.





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Scale: 1/8" = 1'-0"

Sheet: A 2.0

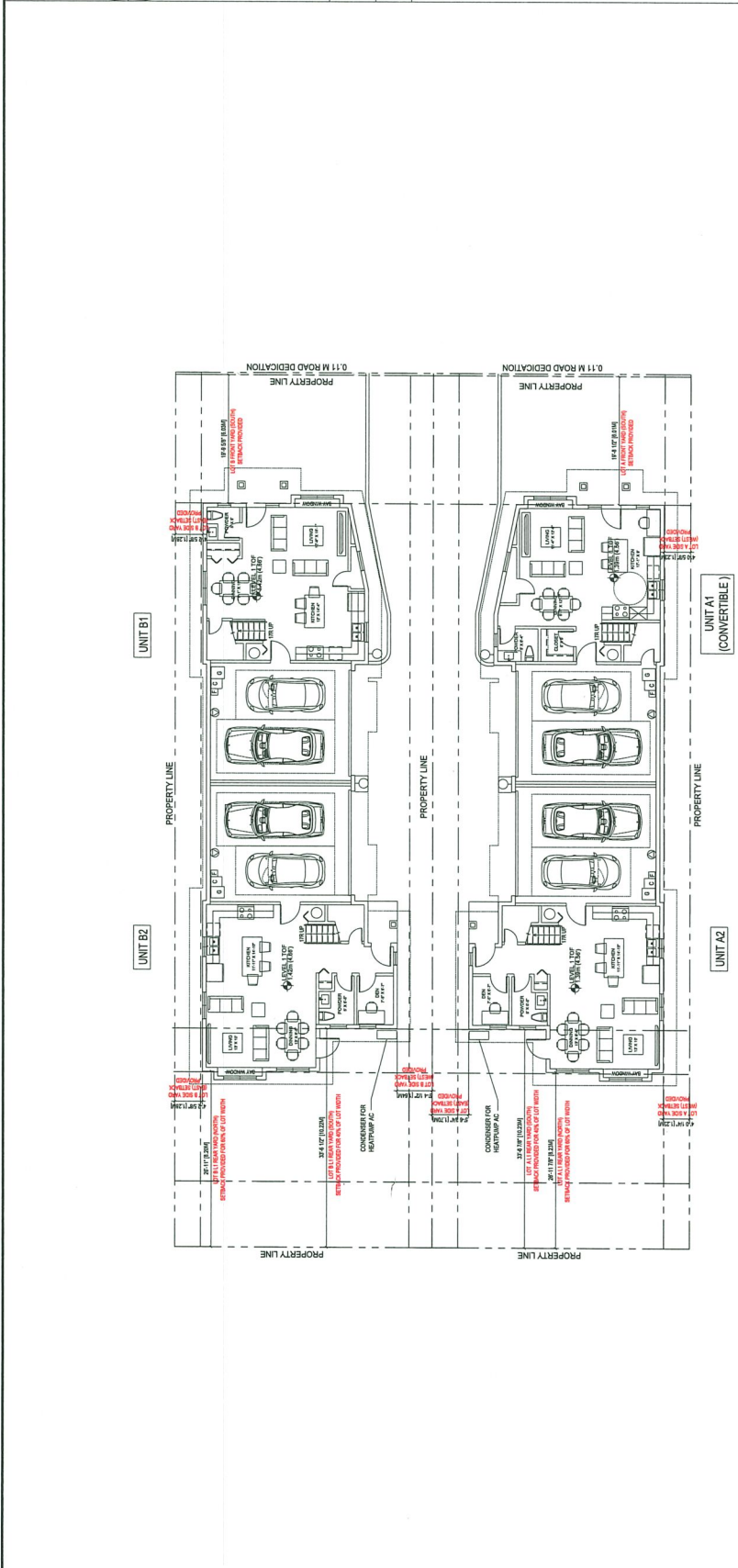
Project: #6304

Client: BUILDING A & B

Address: 4-UNIT DUPLEX DEVELOPMENT  
 6517 FRANCIS ROAD, RICHMOND, BC  
 RZ 19-878165 / DP 20-011567

Level: LEVEL 1 FLOOR PLANS

Scale: 1/8" = 1'-0"



1 BLDG A & B LEVEL 1 CONTEXT FLOOR PLANS  
 1/20 SCALE: 1/8" = 1'-0"

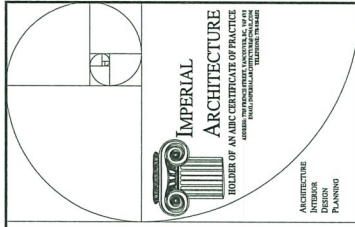


**Floor Area Calculation - Lot B**

Address	Building A		Building B		Total
	Unit A1 4 Bedroom 4 Bath	Unit B1 4 Bedroom 4 Bath	Unit A2 4 Bedroom 4 Bath	Unit B2 4 Bedroom 4 Bath	
Feature (BD/BSN)	SM	SM	SM	SM	SM
Convertible Unit	976.05	976.05	976.05	976.05	3904.20
Level 1 Gross Area	2092.11	2092.11	2092.11	2092.11	8368.44
Level 2 Gross Area	403.64	403.64	403.64	403.64	1614.56
Total Gross Area	2495.75	2495.75	2495.75	2495.75	9984.00
Garage Area exemption	0.00	0.00	0.00	0.00	0.00
Covered Porch Area exemption	0.00	0.00	0.00	0.00	0.00
Stair Area exemption	0.00	0.00	0.00	0.00	0.00
Total Exempted Area	0.00	0.00	0.00	0.00	0.00
Net Floor Area per unit Provided	2495.75 SF	2495.75 SF	2495.75 SF	2495.75 SF	9984.00 SF
Min. Floor Area Per Unit Required	1500.00 SF	1500.00 SF	1500.00 SF	1500.00 SF	6000.00 SF
Max. Floor Area Per Unit Allowed	3000.00 SF	3000.00 SF	3000.00 SF	3000.00 SF	12000.00 SF

**Floor Area Calculation - Lot A**

Address	Building A		Building B		Total
	Unit A1 4 Bedroom 4 Bath	Unit B1 4 Bedroom 4 Bath	Unit A2 4 Bedroom 4 Bath	Unit B2 4 Bedroom 4 Bath	
Feature (BD/BSN)	SM	SM	SM	SM	SM
Convertible Unit	976.05	976.05	976.05	976.05	3904.20
Level 1 Gross Area	2092.11	2092.11	2092.11	2092.11	8368.44
Level 2 Gross Area	403.64	403.64	403.64	403.64	1614.56
Total Gross Area	2495.75	2495.75	2495.75	2495.75	9984.00
Garage Area exemption	0.00	0.00	0.00	0.00	0.00
Covered Porch Area exemption	0.00	0.00	0.00	0.00	0.00
Stair Area exemption	0.00	0.00	0.00	0.00	0.00
Total Exempted Area	0.00	0.00	0.00	0.00	0.00
Net Floor Area per unit Provided	2495.75 SF	2495.75 SF	2495.75 SF	2495.75 SF	9984.00 SF
Min. Floor Area Per Unit Required	1500.00 SF	1500.00 SF	1500.00 SF	1500.00 SF	6000.00 SF
Max. Floor Area Per Unit Allowed	3000.00 SF	3000.00 SF	3000.00 SF	3000.00 SF	12000.00 SF



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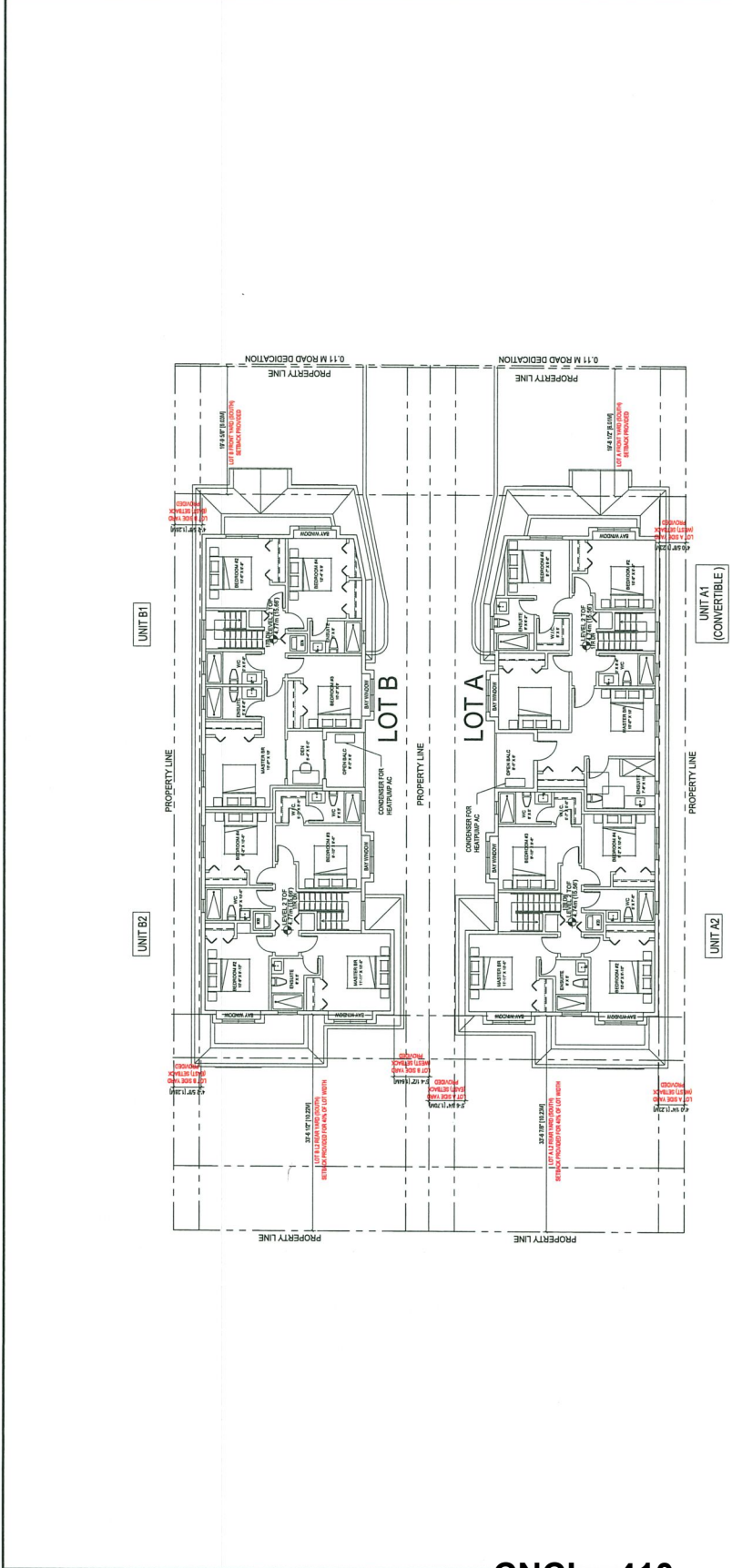
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**4-UNIT DUPLEX DEVELOPMENT**  
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 RZ 19-878165 / DP 2-011557

**BUILDING A & B**  
**LEVEL 2 FLOOR PLANS**

Drawn by: #6304  
 Scale: 1/8" = 1'-0"  
 Sheet: 1 of 2  
 Revision:



1 BLDG A & B LEVEL 2 CONTEXT FLOOR PLANS  
 1/2" SCALE: 1/8" = 1'-0"

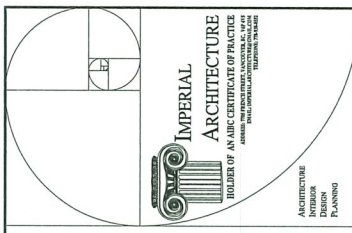


**Floor Area Calculation - Lot A**

Address	Building A		Building B		Total
	Unit A1 4 Bedroom 4 Bath	Unit A2 4 Bedroom 4 Bath	Unit B1 4 Bedroom 4 Bath	Unit B2 4 Bedroom 4 Bath	
Feature (BD / BSN)	97.18	1096.39	906.52	906.52	2716.61
Convertible Unit	SE	SE	SE	SE	SM
Level 1 Gross Area	978.05	903.74	906.52	906.52	3694.83
Level 2 Gross Area	2092.11	1877.86	2000.31	2000.31	8072.39
Total Gross Area	3070.16	3081.60	3106.83	3106.83	12365.48
Garage Area exemption	403.64	403.64	37.50	37.50	883.68
Covered Fourth Area exemption	28.18	15.63	1.45	1.45	56.71
Stair Area exemption	10.00	10.00	0.93	0.93	20.86
Total Exempted Area	441.82	429.27	75.88	75.88	1022.85
Net Floor Area per unit Provided	1528.29 SF	1576.06 SF	1369.42 SF	1372.04 SF	5845.81 SF
Min. Floor Area Per Unit Required	1200.00 SF	1200.00 SF	1200.00 SF	1200.00 SF	2400.00 SF
Max. Floor Area Per Unit Allowed	183.90 SF	183.90 SF	183.90 SF	183.90 SF	367.80 SF
Complied with Min. and Max. Floor Area per Unit Allowed	Yes	Yes	Yes	Yes	Yes

**Floor Area Calculation - Lot B**

Address	Building A		Building B		Total
	Unit B1 4 Bedroom 4 Bath	Unit B2 4 Bedroom 4 Bath	Unit B1 4 Bedroom 4 Bath	Unit B2 4 Bedroom 4 Bath	
Feature (BD / BSN)	906.52	906.52	906.52	906.52	3626.08
Convertible Unit	SE	SE	SE	SE	SM
Level 1 Gross Area	906.52	906.52	906.52	906.52	3626.08
Level 2 Gross Area	2000.31	2000.31	2000.31	2000.31	8001.24
Total Gross Area	2906.83	2906.83	2906.83	2906.83	11620.96
Garage Area exemption	403.64	403.64	37.50	37.50	883.68
Covered Fourth Area exemption	28.18	15.63	1.45	1.45	56.71
Stair Area exemption	10.00	10.00	0.93	0.93	20.86
Total Exempted Area	441.82	429.27	75.88	75.88	1022.85
Net Floor Area per unit Provided	1369.42 SF	1372.04 SF	1369.42 SF	1372.04 SF	5502.92 SF
Min. Floor Area Per Unit Required	1200.00 SF	1200.00 SF	1200.00 SF	1200.00 SF	2400.00 SF
Max. Floor Area Per Unit Allowed	183.90 SF	183.90 SF	183.90 SF	183.90 SF	367.80 SF
Complied with Min. and Max. Floor Area per Unit Allowed	Yes	Yes	Yes	Yes	Yes



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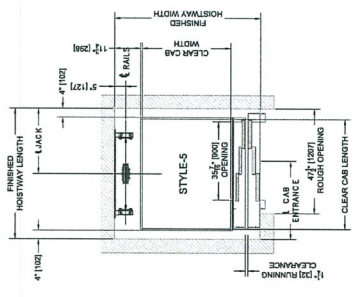
Dimensions  
 Unless otherwise indicated, all dimensions are in millimeters. Round off to the nearest millimeter.

Architectural  
 Interior  
 Division  
 Planning

DATE OF SUBMISSION	12	11	2018
DATE OF REVISION	12	11	2018
DATE OF APPROVAL	12	11	2018
PROJECT NO.	A5.1		
NO.	1		

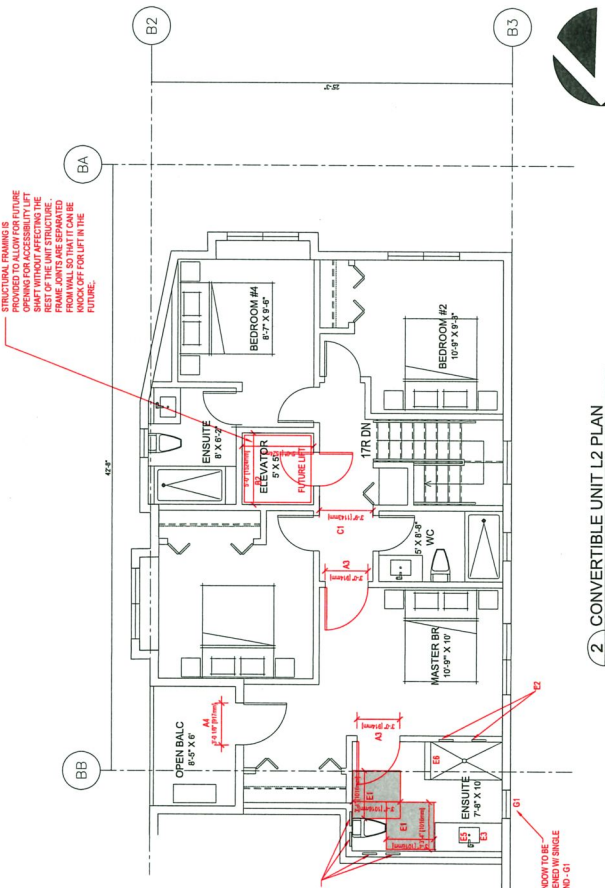
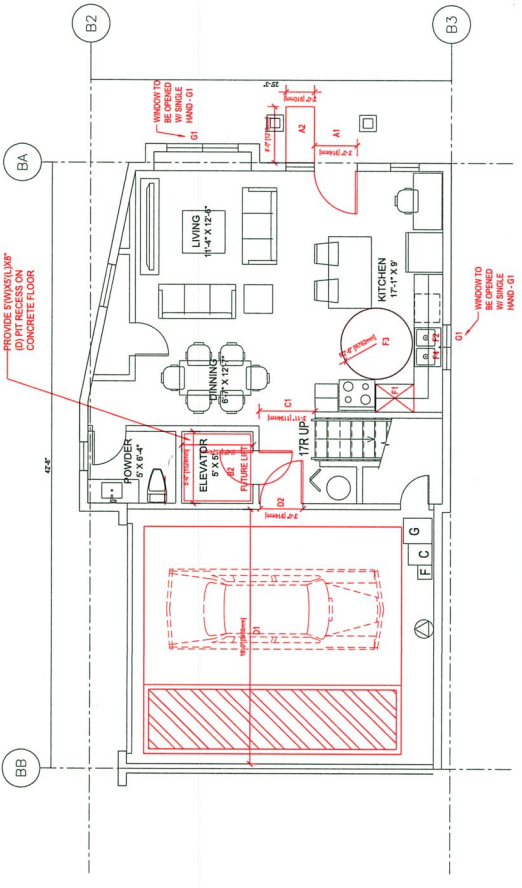
**Style 5**

clear cab size	hoistway width	hoistway length	jack centerline	entrance centerline
40" x 50"	60-1/2"	59-1/2"	29-3/4"	35-3/4"
40" x 54"	60-1/2"	63-1/2"	31-3/4"	39-3/4"
42" x 60"	62-1/2"	69-1/2"	34-3/4"	45-3/4"
48" x 60"	68-1/2"	69-1/2"	34-3/4"	45-3/4"
minimum*	54-1/2"	59-1/2"		

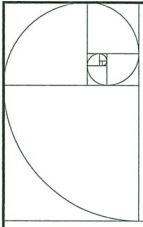


**CONVERTIBLE UNIT GUIDELINES (NOTE: SAFERHOME CRITERIA PROPOSED FOR INCLUSION ARE SHOWN IN BOLD ITALICS)**

A1	ENTRY DOORS ARE A MINIMUM 800 MM HEIGHT PLUS 100 MM CLEARANCE.
A2	ENTRY DOORS CLEAR OF FLOOR SPACE MIN. 1300 MM HEIGHT BY DOOR WIDTH PLUS 800 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WORK PROVIDED FOR FUTURE AUTOMATIC DOOR OPERATOR).
A3	INTERIOR DOORS TO MAIN LIVING AREAS, BATHROOM AND BEDROOM MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. RESISTANT RATE WHEEL CHAIR ACCESS BETWEEN HALLWAY AND ROOMS AND HIDDEN HALLWAY AND/OR DOORWAYS IF NECESSARY TO SECURE ACCESS.
A4	PATIO FALCONY MIN. 800 MM CLEAR OPENING. SMALL REMOVABLE WOOD RAMP WILL BE USED TO ADAPT 7" HEIGHT DIFFERENCE BETWEEN FINISHED SURFACES WHEN THE UNIT IS CONVERTED TO ACCESSIBLE UNIT (I.E. WHEN THE ELEVATOR IS INSTALLED).
A5	ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.
A6	LEVER-TYPE HANDLES FOR ALL DOORS.
B	VERTICAL CIRCULATION
B1	VERTICAL LIFT, DEPRESSIONED SLAB AREA AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECS. FRAMING TO ACCOMMODATE SMART CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
B2	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 84 MM TO CENTRE.
C	HALLWAYS
C1	MIN. 900 MM WIDTH.
D	GARAGE
D1	MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.
D2	ACCESS FROM GARAGE TO LIVING AREA MIN. 1000 MM AT SIDE AND IN FRONT.
E	BATHROOM (MIN 1)
E1	TOILET CLEAR FLOOR SPACE MIN. 1000 MM AT SIDE AND IN FRONT.
E2	WALL BOLDING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER, REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHROOM, SHOWER, AND TOILET LOCATIONS.
E3	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
E4	PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
E5	CABINET UNDERMOUNT SINKS ARE EASILY REMOVED.
E6	DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE LAYOUT OF FIXTURE PLACEMENT.
F	KITCHEN
F1	CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN WALL AND IN FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE. SINK & MIN. 100 MM WIDE COUNTER. ALL PIPES ARE BROUGHT IN NO HIGHER THAN 204 MM TO 300 MM TO THE CENTRE OF THE FACE FROM FLOOR LEVEL.
F2	CABINET UNDERMOUNT SINK ARE EASILY REMOVED.
F3	100 MM TURNING DIAMETER ON TURNING PATH DIAGRAM.
F4	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
G	WINDOWS
G1	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM).
H	OUTLETS & SWITCHES
H1	PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS, SWITCHES, KEYS, WINDOW BOTTOM OF STAIRWAYS, RESERVE SWITCHES TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE) ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.
H2	UPGRADE TO FOUR-POLY OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE AND RECEPTION ROOM.







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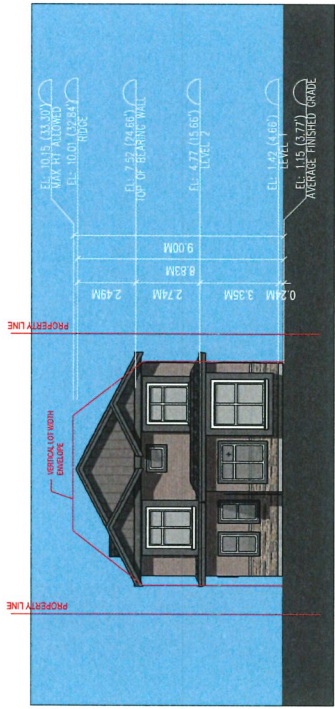
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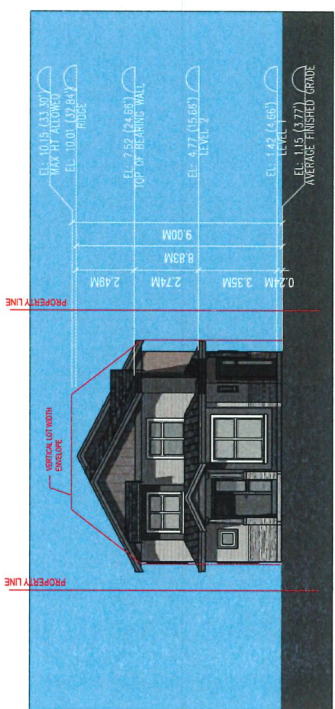
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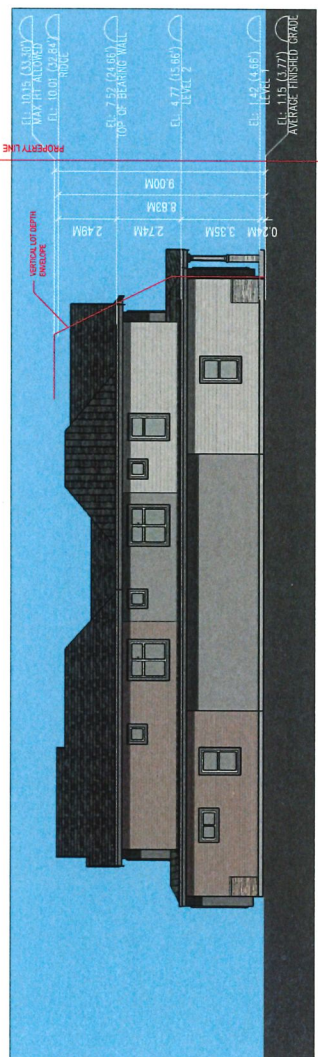
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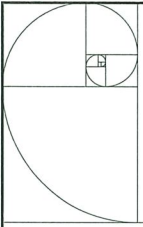
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4 BUILDING A WEST ELEVATION  
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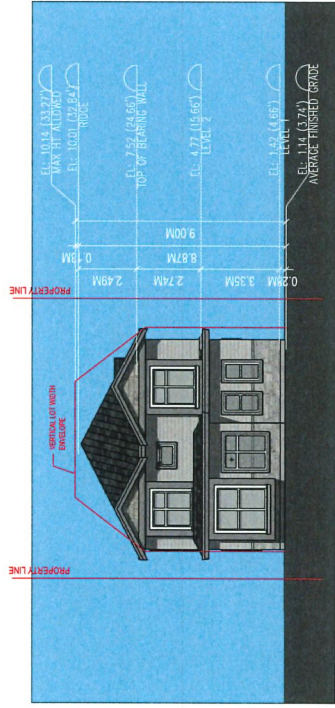
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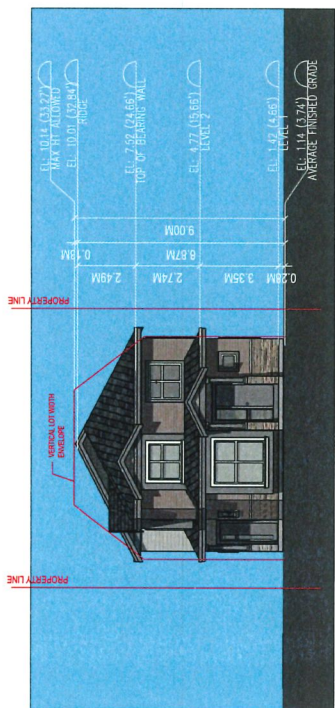
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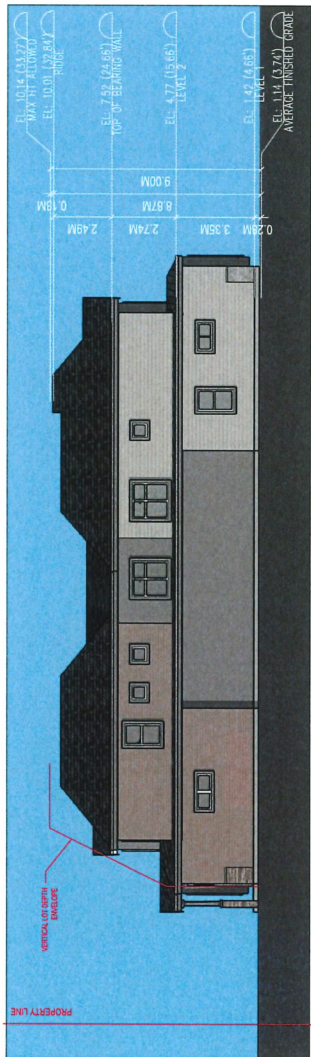
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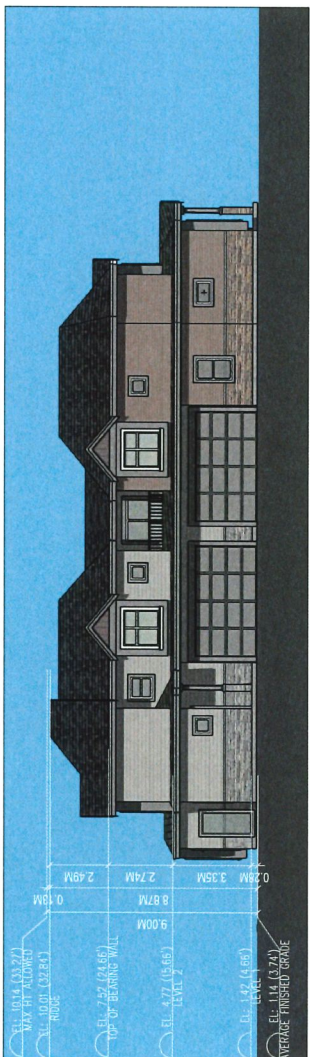
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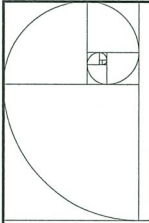
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4 BUILDING B WEST ELEVATION  
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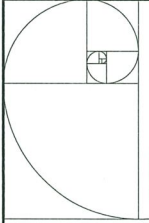
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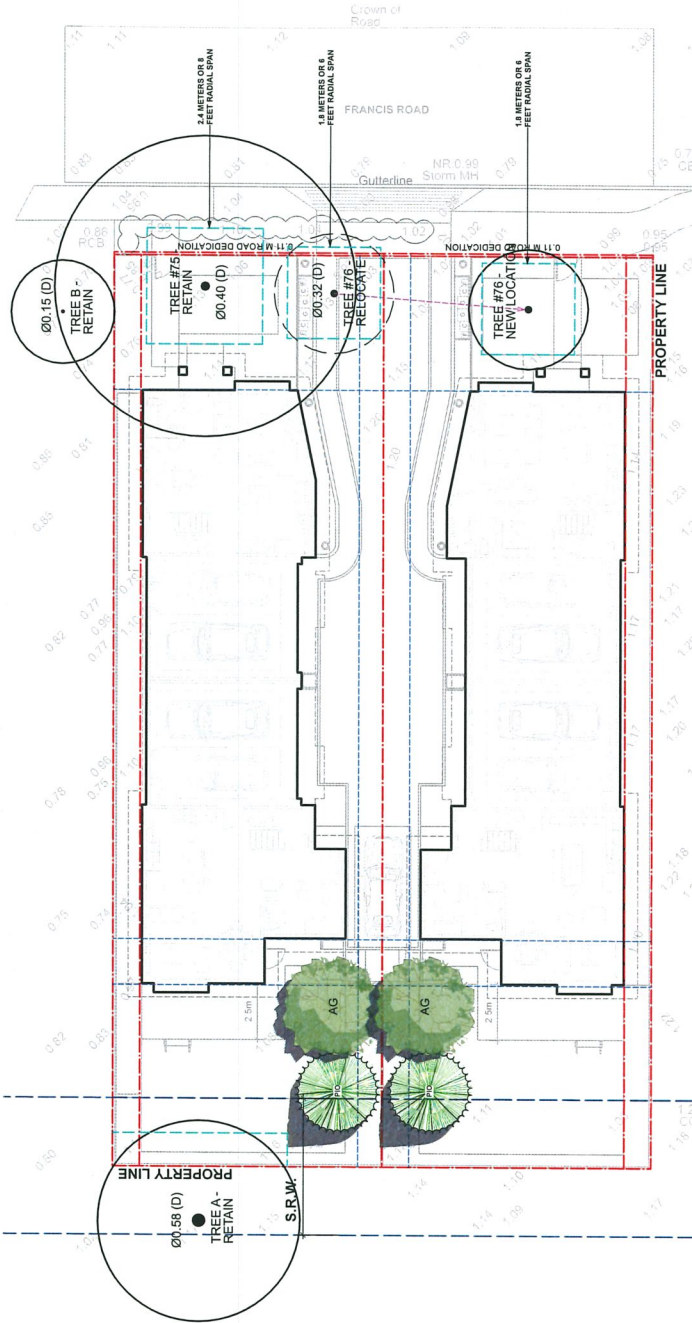
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**EXISTING TREES MANAGEMENT PLAN**

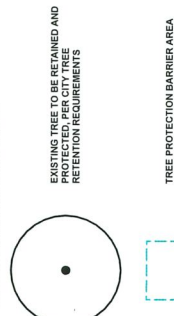
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**EXISTING TREES INFORMATION PER ARBORIST REPORT**

Tree Species	Tree ID #	DBH	Crown Spread	Tree Location	TPB	Tree Vigour - General Observations	Bldg Envelope	Action
Cherry	#75	40 cm DBH	N/A	SE corner of Lot B	RQD 2.4 m or 8 ft	LOW VIGOUR	NO	RETAIN
Cherry	#76	33 cm DBH	N/A	SW corner of Lot B	RQD 1.8 m or 6 ft	LOW VIGOUR	NO	RELOCATE
Cherry	A	58 cm DBH	N/A	Lot B's north neighbour's SE corner	RQD 3.6 m or 12 ft	NEIGHBOUR'S TREE, IDENTIFIED FOR TPB CONSIDERATIONS ONLY	NO	RETAIN
Japanese Maple	B	15 cm DBH	N/A	Lot D's east neighbour's SW quadrant	NOT RQD 1.2 m or 4 ft	NEIGHBOUR'S TREE, IDENTIFIED FOR TPB CONSIDERATIONS ONLY	NO	RETAIN

**TREE MANAGEMENT LEGEND**



**TREE MANAGEMENT NOTES**

- DO NOT REMOVE OR RELOCATE ANY TREE, EXCEPT AS INDICATED ON PLANS.
- DO NOT ALTER EXISTING GRADE OR STORE MATERIALS UNDER THE DRIP LINE OR WITHIN TREE PROTECTION ZONE.
- ALL RETAINED TREES ARE TO BE PRUNED AND PROTECTED BY CITY OF VANCOUVER TREE PROTECTION BY-LAWS, AND TREE PRUNING MUST MAINTAIN THE HEALTH, APPEARANCE, AND SAFETY OF TREES.
- CONSTRUCTION WORK WITHIN THE DRIP LINES OF TREES SHALL MINIMIZE DISTURBANCE TO TREES AND ROOTS AND SHALL BE DONE BY HAND.
- ALL ROOTS GREATER THAN 20mm IN DIAMETER SHOULD BE HAND PRUNED.
- ADEQUATELY CARE FOR TREES THROUGHOUT CONSTRUCTION, MAINTAINING THE TREE PROTECTION ZONE AND TREE PROTECTION BARRIER AREA, WITHIN THE RETAINED TREE PROTECTION ZONE.

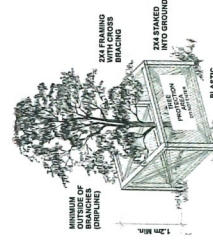


Fig. 2 - Tree Protection Zone Sign

**Tree Protection Zone**

The Tree Protection Zone (TPZ) encompasses the drip line of the tree as illustrated in Fig. 1a and 1b.

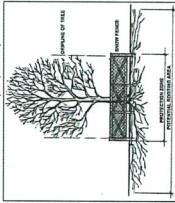


Fig. 1a - Example of a drip line on a tree

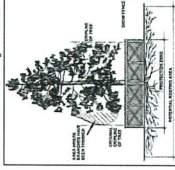


Fig. 1b - Example of a drip line on a tree with one side pruned

Made if the tree is on an adjacent property, the dip line must be marked on the property line. If the branches have been cut or pruned, the TPZ must protect the original dip line of the tree (Fig. 1b).

**PROPOSED REPLACEMENT TREES**

ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
AG	Asar adatum	Peppercorn Maple	2	8cm cal.	
PO	Prunus canadensis	Shore Pine	2	4m. high.	



**HOMING  
LANDSCAPE  
ARCHITECTURE**  
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RICHMOND, BC, CANADA V6V 2K9  
CELL: 778-323-3536  
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

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**Revisions**

NO.	Date	Note
1	2023-07-05	ISSUED FOR DP
2	2023-08-21	ISSUED FOR DP

**4-UNIT DUPLEX  
DEVELOPMENT**

PROJECT ADDRESS:  
6531 FRANCIS ROAD  
RICHMOND, BC, CANADA

PROJECT NUMBER: 23-05

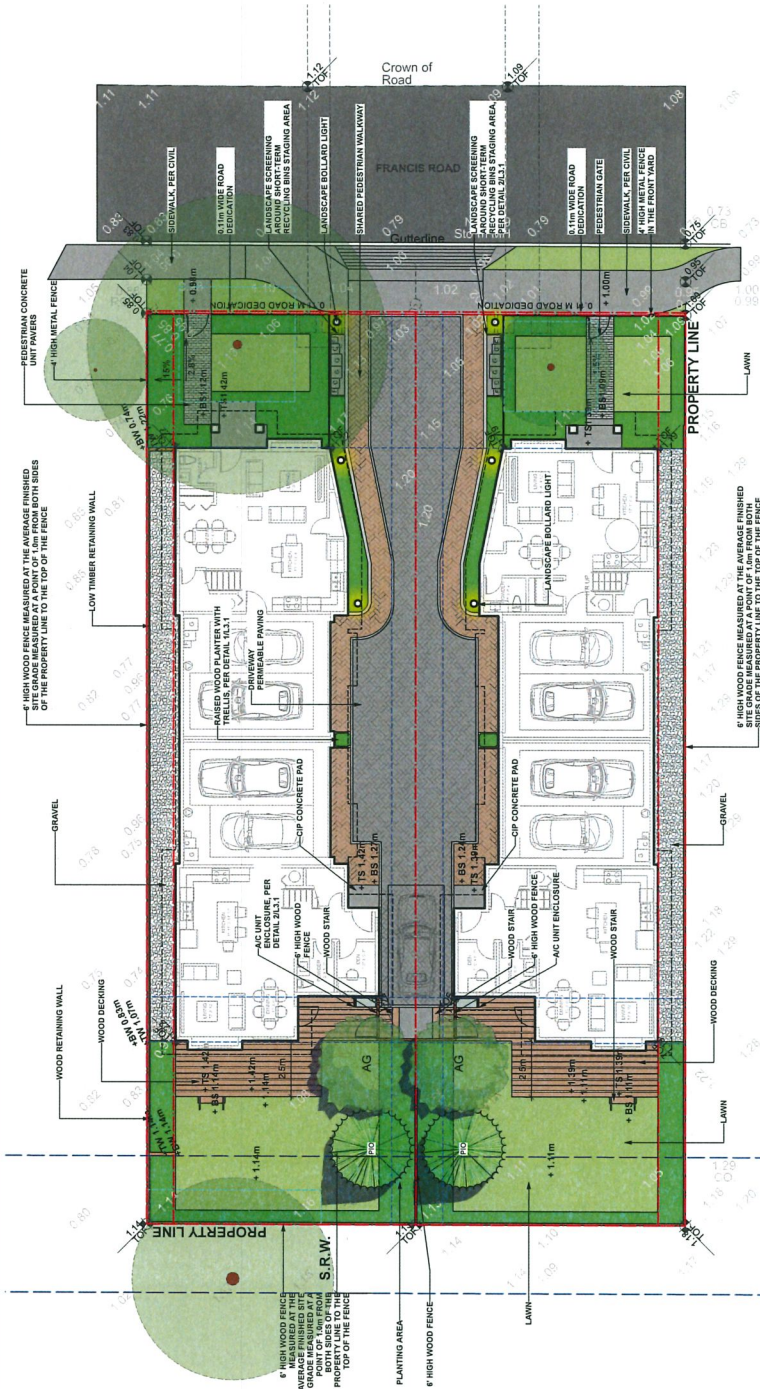
SCALE: 1:100

DRAWN BY: EL

REVIEWED BY: EL

**LANDSCAPE  
LAYOUT AND  
GRADING PLAN**

**PLAN #3**  
L1.0



**GRADING NOTES**

1. ALL DIMENSION ELEVATIONS ARE IMPERIAL FEET, UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS.
2. ALL GRADING INFORMATION IS PRELIMINARY ONLY.
3. REFER TO CIVIL DRAWINGS OFF-SITE ROAD GRADING INFORMATION.
4. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING ELEVATIONS.
5. ALL EXISTING SURVEY INFORMATION APPROXIMATE. VERIFY ALL EXISTING GRADES WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
6. THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL UTILITIES. ALL EXISTING UTILITIES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM PRIOR TO PROCEEDING.
7. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARDING SOFT LANDSCAPE AREAS TO ENSURE PROPER DRAINAGE. SOFT LANDSCAPE AREAS TO BE A MAXIMUM 5:1 SLOPE.

**GRADING LEGEND**

KEY	DESCRIPTION
+1.30m	PROPOSED SPOT ELEVATIONS
+TW 1.60m	PROPOSED TOP OF WALL ELEVATION
+BW 1.30m	PROPOSED BOTTOM OF WALL ELEVATION
+TS 1.60m	PROPOSED TOP OF STAIR ELEVATION
+BS 1.30m	PROPOSED BOTTOM OF STAIR ELEVATION
	PER ARCHITECTURE
2%	SLOPE PERCENTAGE
0.5'	EXISTING ELEVATIONS - PER SURVEY

**LANDSCAPE NOTES**

1. DO NOT SCALE DRAWINGS.
2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.
3. ALL EXISTING INFORMATION APPROXIMATE ONLY. VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
4. THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
5. THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ON-SITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. ALL OFF-SITE WORKS TO CONFORM TO CITY OF RICHMOND STANDARDS.
7. LAYOUT OF ALL OFF-SITE WORKS, INCLUDING FURNISHINGS, PATHWAYS, WALLS, PLANTING, ETC., TO BE CONFIRMED WITH CITY OF RICHMOND PRIOR TO INSTALLATION.

**LANDSCAPE LEGENDS**

SYMBOL	MATERIALS	DETAILS
[Pattern]	PEDESTRIAN CONCRETE UNIT PAVERS	2/L3.0
[Pattern]	WOOD DECKING	5/L3.0
[Pattern]	C/P CONCRETE PAVING	1/L3.0
[Pattern]	80MM AQUA PAYER STANDARD PERMEABLE PAVERS FOR DRIVEWAY & PARKING	3/L3.0
[Pattern]	80MM AQUA PAYER STANDARD PERMEABLE PAVERS FOR PEDESTRIAN PATH	3/L3.0
[Pattern]	LAWN	
[Pattern]	PLANTING BED	
[Pattern]	6"0" HIGH WOOD FENCE	4/L3.1
[Pattern]	4" HIGH METAL FENCE	3/L3.1
[Pattern]	WOOD RETAINING WALL	
[Pattern]	GRAVEL	
[Symbol]	EXISTING TREES	



**HOMING  
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PROCEEDING WITH ANY WORKS.

**Revisions**

NO.	Date	Note
1	2023-07-05	ISSUED FOR DP
2	2023-08-21	ISSUED FOR DP

**4-UNIT DUPLEX  
DEVELOPMENT**

PROJECT ADDRESS:  
6531 FRANCIS ROAD  
RICHMOND, BC, CANADA

PROJECT NUMBER: 23-05

SCALE: 1:100

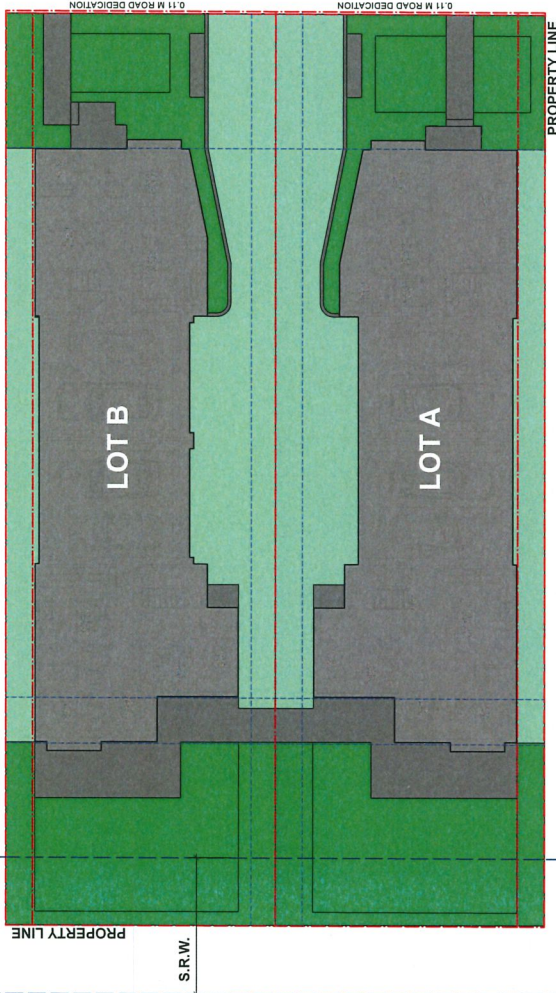
DRAWN BY: EL

REVIEWED BY: EL

**POROUS AREA  
DIAGRAM**

**PLAN #3.b**

**L1.1**



**LOT B POROUS SURFACE SUMMARY**

SYMBOL	MATERIALS	AREA
	POROUS LANDSCAPING WITH LIVE PLANT MATERIAL; PERMEABLE PAVEMENT, GROUND COVER & SHRUB	127.1 m <sup>2</sup>
	POROUS HARDSCAPE MATERIAL; PERMEABLE PAVEMENT & GRAVEL	125.3 m <sup>2</sup>
TOTAL POROUS SURFACE AREA:		252.4 m <sup>2</sup>
TOTAL LOT AREA:		488.68 m <sup>2</sup>
TOTAL POROUS SURFACE AREA COVERAGE PERCENTAGE:		51.6%
TOTAL NON-POROUS SURFACE AREA COVERAGE PERCENTAGE:		48.4%
TOTAL POROUS LANDSCAPING AREA COVERAGE PERCENTAGE:		26.0%

**LOT A POROUS SURFACE SUMMARY**

SYMBOL	MATERIALS	AREA
	POROUS LANDSCAPING WITH LIVE PLANT MATERIAL; PERMEABLE PAVEMENT, GROUND COVER & SHRUB	128.8 m <sup>2</sup>
	POROUS HARDSCAPE MATERIAL; PERMEABLE PAVEMENT & GRAVEL	123.2 m <sup>2</sup>
TOTAL POROUS SURFACE AREA:		252 m <sup>2</sup>
TOTAL LOT A AREA:		488.68 m <sup>2</sup>
TOTAL POROUS SURFACE AREA COVERAGE PERCENTAGE:		51.6%
TOTAL NON-POROUS SURFACE AREA COVERAGE PERCENTAGE:		48.4%
TOTAL POROUS LANDSCAPING AREA COVERAGE PERCENTAGE:		26.4%



**HOMING  
LANDSCAPE  
ARCHITECTURE**  
VANCOUVER, BC, CANADA V6V 1W9  
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**Revisions**

NO.	Date	Note
1	2023-07-05	ISSUED FOR DP
2	2023-08-21	ISSUED FOR DP

**4-UNIT DUPLEX  
DEVELOPMENT**

PROJECT ADDRESS:  
6531 FRANCIS ROAD  
RICHMOND, BC, CANADA

PROJECT NUMBER: 23-05

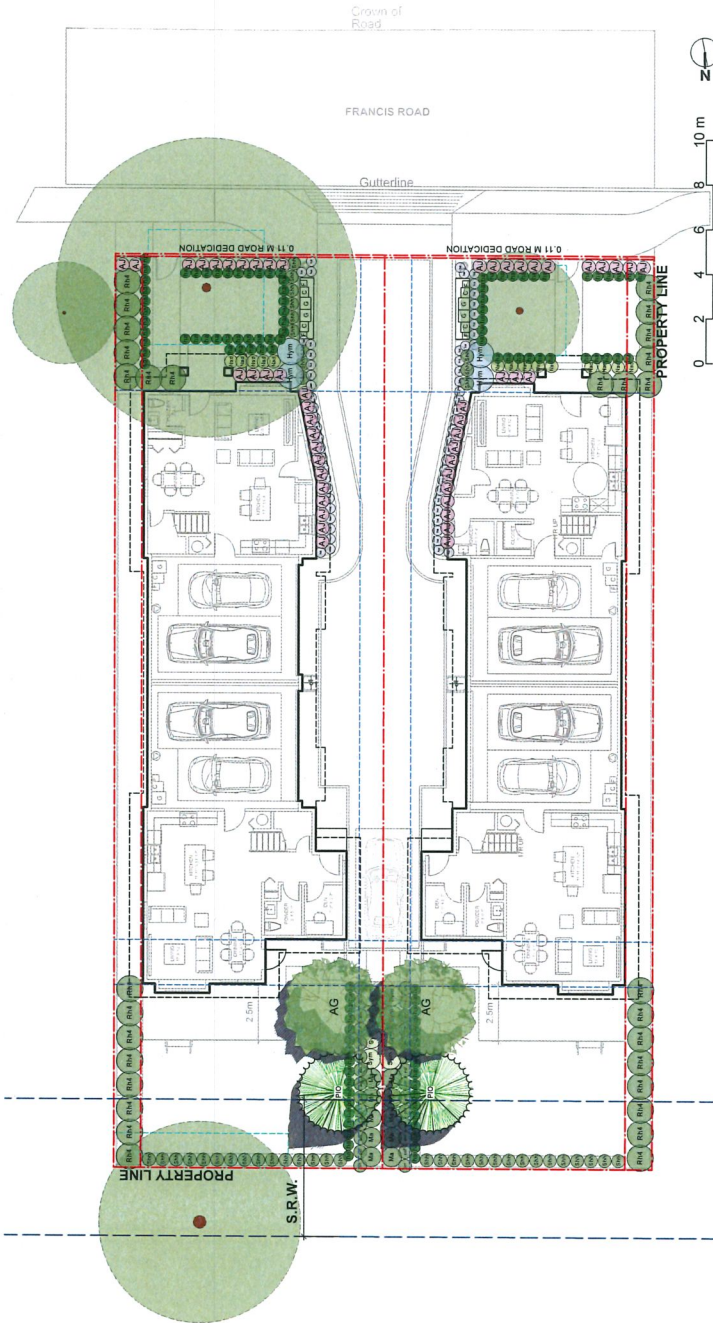
SCALE: 1:100

DRAWN BY: EL

REVIEWED BY: EL

**LANDSCAPE  
PLANTING PLAN**

**PLAN #3.c**  
L2.0



**PLANTING NOTES:**

- 1) In case of discrepancy between plan numbers on this list and on the plan, the latter shall prevail.
- 2) All planting shall be in accordance with CSLA Landscape Standard, latest edition.
- 3) The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification & recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.
- 4) Minimum planting medium depths:  
lawn - 67150mm  
groundcover - 127300 mm  
shrubs - 167450 mm  
trees - 247600 mm (around & beneath rootball)
- 5) All plant material to be supplied on the job site must be obtained from a nursery participating in the BC/LNA Phytophthora ramorum Certification Program.

ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
<b>TREES (DECIDUOUS &amp; CONIFEROUS)</b>					
AG	Acer glabrum	Paperbark Maple	2	Form call	
AG	Prunus coccinea var. coccinea	Shorea Pine	2	4m high	
<b>SHRUBS</b>					
100	Arctostaphylos uva-ursi	Arctostaphylos	51	#2 post	
100	Hydrangea macrophylla	Bigleaf Hydrangea	4	#3 post	
100	Dracopis laevis	Dracopis	10	#2 post	
100	Rhododendron 'Pam'	PAM Rhododendron	30	#2 post	
100	Rhododendron 'Pam'	PAM Rhododendron	42	#2 post	
100	Sarcococca hookeriana var. humilis	Sweet Box	8	#2 post	
100	Sarcococca hookeriana	Sweet Box	8	#2 post	
<b>PERENNIALS &amp; GROUNDCOVERS</b>					
100	Luzula sylvatica	Forest Spike	53	#2 post	
100	Deschampsia flexuosa	Deschampsia	53	#1 post	
<b>ORNAMENTAL GRASSES &amp; BAMBOOS</b>					
100	Indocalamus pulcherrimus	Golden Japanese Forest Grass	106	#1 post	
100	Indocalamus pulcherrimus	Golden Japanese Forest Grass	106	#1 post	
100	Clematis ligusticifolia	Western White Clematis	2	#1 post	



**HOMING LANDSCAPE ARCHITECTURE**  
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 PROCEEDINGS AND APPROVAL BEFORE

**Revisions**

NO.	Date	Note
1	2023-07-05	ISSUED FOR DP
2	2023-08-21	ISSUED FOR DP

**4-UNIT DUPLEX DEVELOPMENT**

PROJECT ADDRESS:  
 6531 FRANCIS ROAD  
 RICHMOND, BC, CANADA

PROJECT NUMBER: 23-05  
 SCALE: AS SHOWN  
 DRAWN BY: EL  
 REVIEWED BY: EL

**Hardscape Details**

**PLAN #3.d**  
**L3.0**

AQUAPAVE STANDARD PAVER  
 BY ABBOTSFORD CONCRETE PRODUCTS

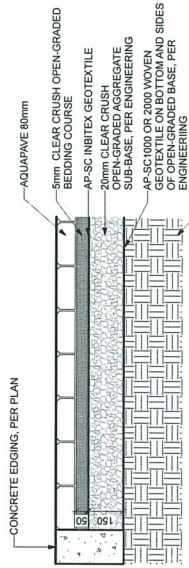
PATTERN: RUNNING BOND  
 LENGTH: 8-3/8" (213MM)  
 WIDTH: 4-5/16" (110MM)  
 THICKNESS: 3-1/8" (80MM)



COLOR: CHARCOAL  
 DRIVEWAY & VISITOR PARKING



COLOR: DESERT SAND  
 PEDESTRIAN PATH



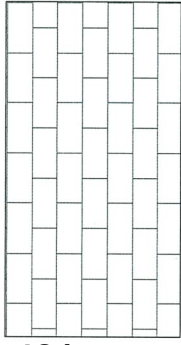
**NOTE:**  
 1. REFER TO ENGINEERING DRAWINGS FOR THE BASE MATERIALS INSTALLED UNDERNEATH THE PAVERS.  
 2. THE CONDITIONS UNDER THE PAVERS SHALL BE APPROVED BY ENGINEERS BEFORE PAVERS INSTALLATION.

**3 AQUAPAVE PERMEABLE PAVER**  
 Scale: 1:10

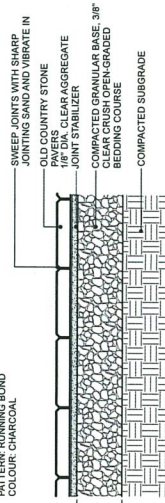


**NOTE:**  
 1. JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.  
 2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

**1 CIP CONCRETE ON GRADE (TYPICAL)**  
 Scale: 1:10

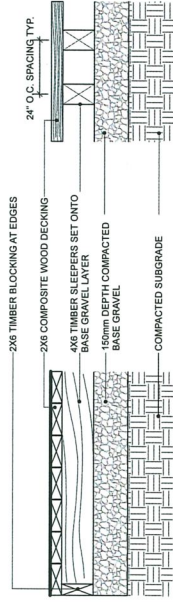


**PLAN**  
 STANDARDS PAVERS - STANDARD SIZE BY  
 ABBOTSFORD CONCRETE (L-492-463-469)  
 DIMENSIONS: STANDARD 225(L) x 112.5(W) x 60(T) mm (8.75" x  
 COLOUR: CHARCOAL



**NOTE:**  
 CONCRETE HIDDEN EDGE RESTRAINT (WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION)

**2 CONCRETE UNIT PAVING ON GRADE**  
 Scale: 1:10



**NOTE:**  
 1. USE 2x6 BLOCKING BETWEEN SLEEPERS WHERE REQUIRED TO MAINTAIN PROPER SPACING AND EVEN ALIGNMENT.  
 2. USE 4x6 LUMBER AND RUBER-PROOF DECK SCREWS. SET FLUSH WITH DECK SURFACE.  
 3. INSURE ALL SLEEPERS FOR TECHNICALS ARE ETERNALLY SPACED AND ALIGNED.

**5 COMPOSITE WOOD DECKING ON GRADE**  
 Scale: 1:10



Schedule 3 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
September 27, 2023



CNCL - 423

# 6333 Cooney Rd

Advisory Design Panel Presentation



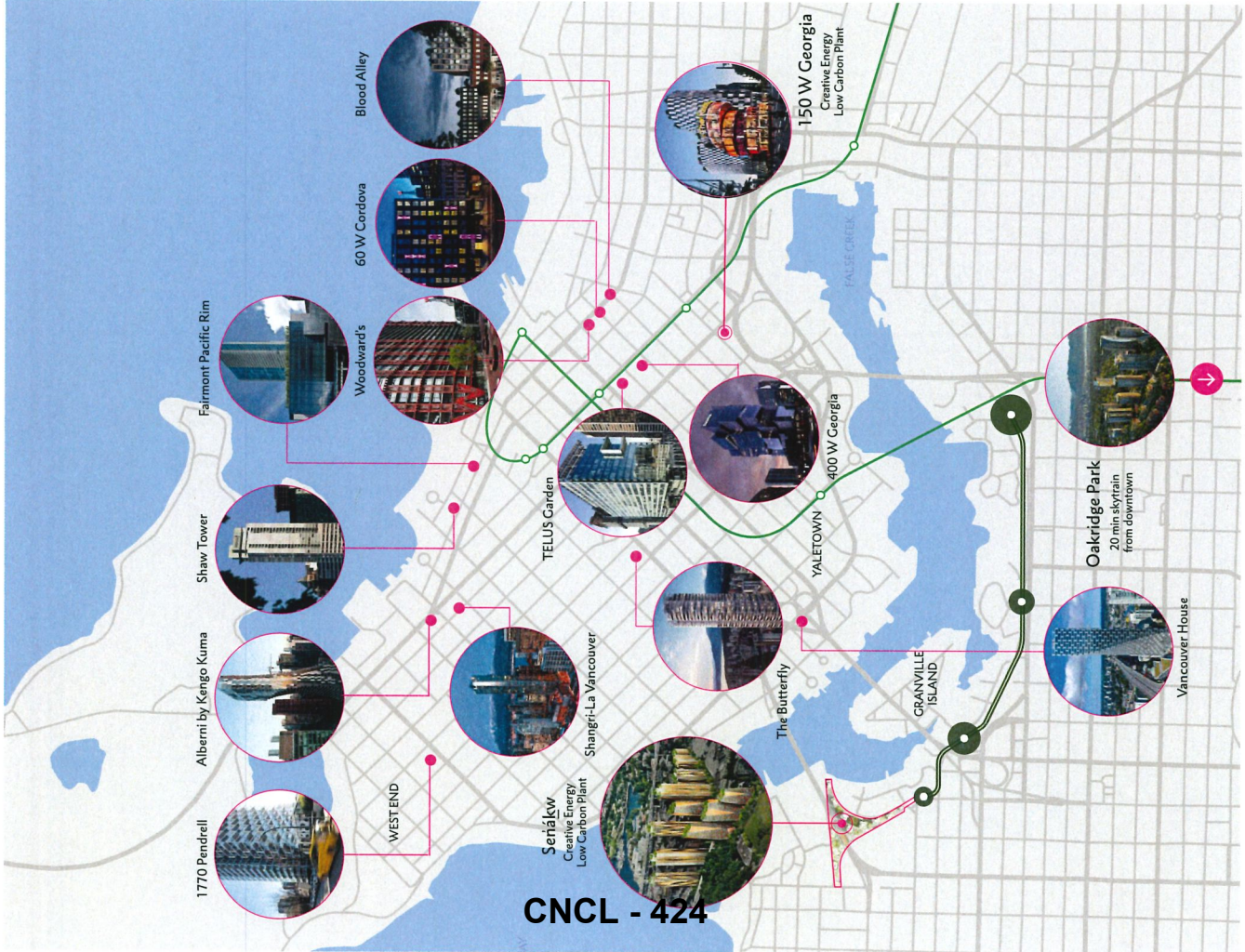


# Q1 Tell me about Westbank in Vancouver?

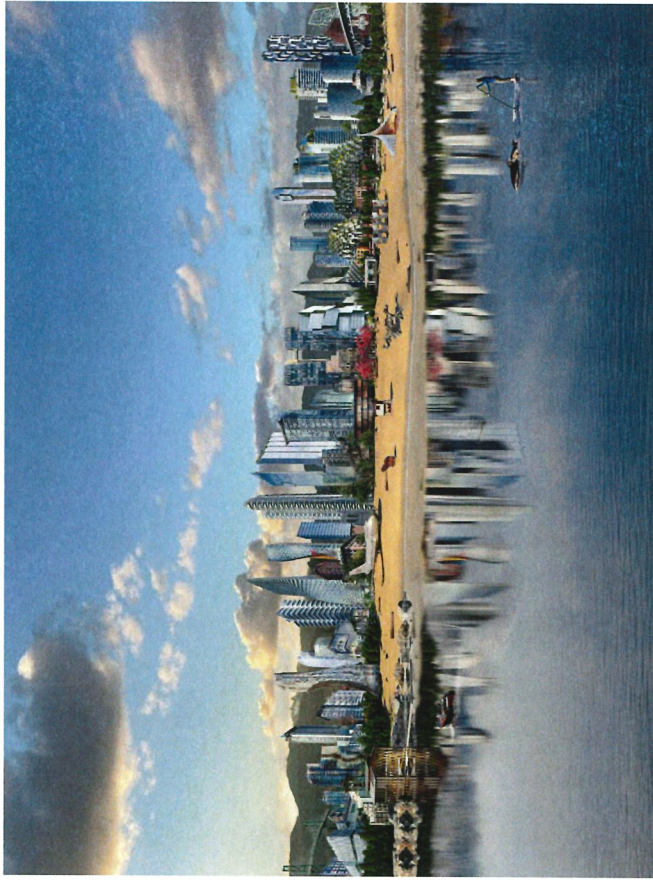
Based in Vancouver, Westbank has a long history of helping shape the evolution of our city.

Our passion to set a higher standard has led us to create transformative projects such as Woodward's, Vancouver House, Shangri-La Vancouver, TELUS Garden and Oakridge Park to name a few.

We've put this map together to roughly reflect the tour you're taking of our body of work in Vancouver.



CNCL - 424



Westbank City - Select projects in our body of work since 1992



Public Art



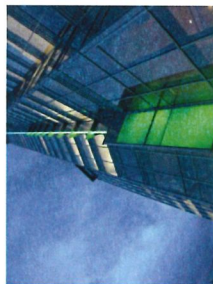
Palisades, 1996  
New Currents and Ancient Streams,  
Cwen Boyle



Residences on Georgia, 1998  
Persian Class, Dale Chihuly



Coppersmith, 2000  
Ford Grove, Douglas R Taylor



Shaw Tower, 2005  
Light Art, Diana Theater



Woodward's, 2009  
Abbott & Cordova



Fairmont Pacific Rim, 2010  
Forest Screen, James KM Cheng and Adeline Lai



Fairmont Pacific Rim, 2010  
Lying on top of a building, Liam Cillick



Fairmont Pacific Rim, 2010  
Origami, Joseph Wu



Shangri-La Toronto, 2012  
Rising, Zhang Huan



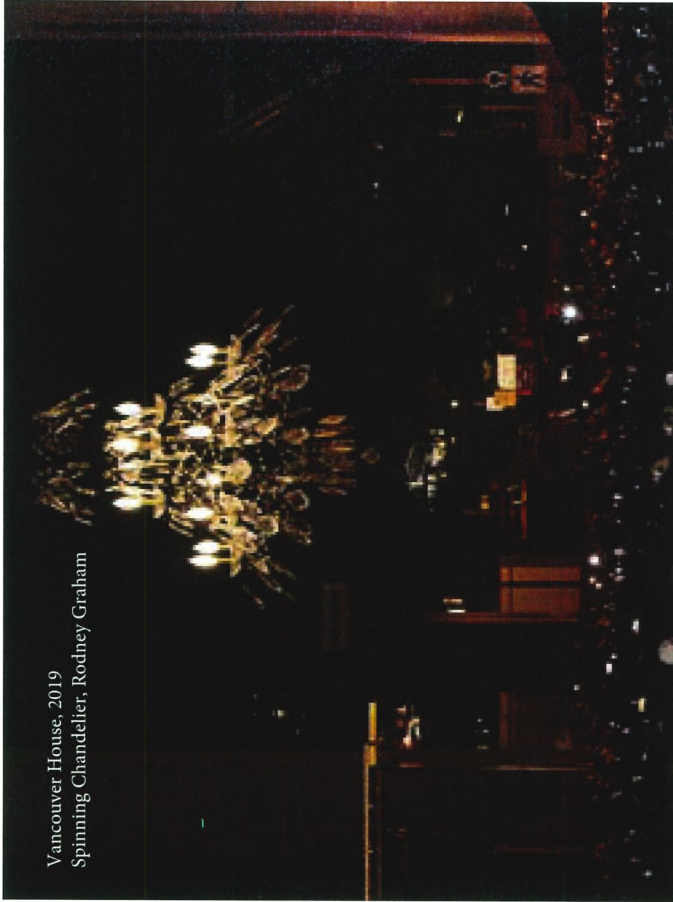
Shangri-La Toronto, 2012  
"Shangri-La, The Paradise", Xu Yuan Wang



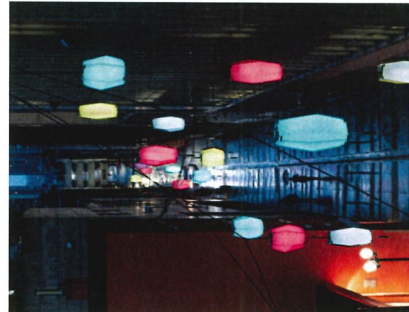
The Lauren, 2014  
Triumph of Technocrat, Reec Terris



Fairmont Pacific Rim, 2015  
16-480, Omer Atbel



Vancouver House, 2019  
Spinning Chandelier, Rodney Graham



TELUS Garden, 2016  
Beyond the Sea, Against the Sun, Martin Boyce



TELUS Sky, 2020  
Northern Lights, Douglas Coupland

**View from Southeast Corner**  
looking towards Cooney Rd

**CNCL - 426**



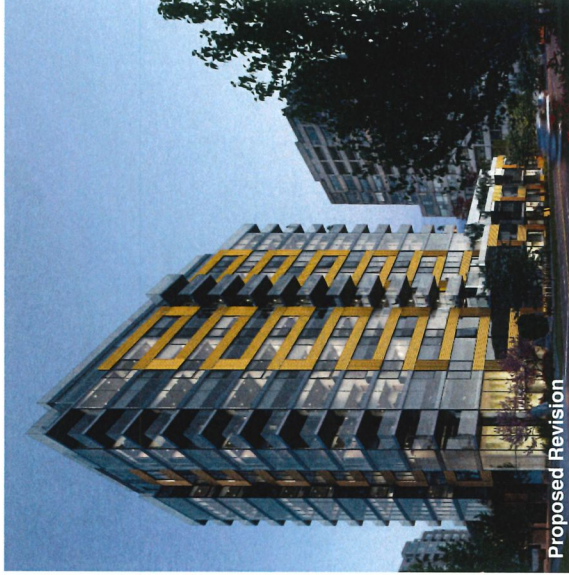
**View Looking West From Cooney Road**  
of East Elevation



# Project Comparison



Approved DP



Proposed Revision

Building Height	41 m	41 m
Net FAR (sf)	70,597 sf	70,597 sf
FAR	2.67	2.67
Unit Count	83	81
Unit Mix		
Studio	1	1
1 Bedroom	14	10
2 Bedroom	64 (20 adaptable)	64 (20 adaptable)
3 Bedroom	3	3
Live/Work	1	3
Car Parking	101	82
Residential Parking Stalls	84	66
Visitor Parking Stalls	17	14
Car-Share Parking Stalls	0	2
Bicycle Parking	123	179
Class 1	105	162
Class 2	18	17
Indoor Amenity	108 sq.m. (1,162 sf.)	108 sq.m. (1,162 sf.)
Outdoor Amenity	552 sq.m. (5,962 sf.)	556 sq.m. (5,985 sf.)

East Elevation

CNCL - 429





South Elevation

CNCL - 430

West Elevation



CNCL - 431

North Elevation



CNCL - 432





Tower Typical Unit Balcony

Entrance / Townhouse Balcony

Indoor Amenity Space

GC3 @  
HFE1

GC3 @  
CFE1

GC2 @  
HFE1

GC2 @  
CFE1

GS2 @  
HSP1

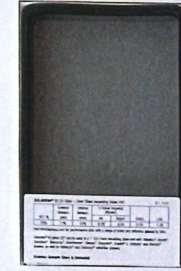
GS2 @  
CSP1



Solar Control Low-E  
Triple Insulated Glazing Unit  
Solarban 60®9mm + Air 12.7mm + Clear 6mm + Solarban 60®6mm



Solar Control Low-E  
Double Insulated Glazing - Door & Operable Window  
Solarban 60®9mm + Air 12.7mm + Clear 6mm



Double Insulated Spandrel Glazing Unit  
Ceramic Frit - Clear Anodized  
Solarban 60®8mm + Air 12.7mm + 10% Gray Frit on Clear 6mm

AF-1



Flat Metal Panel Brass  
PVDF Wood Grain Finish

EM3.1



Flat Metal Panel Silver  
PVDF Copper Finish

EM4

ES2

EC3

EC7

EM3.3

MH1

MH2

MH3

MH5

MC1

MC3

MC2

MC5



Flat Metal Panel Silver  
Classics Silver Lake 1598

EM3.2



Flat Metal Panel Dark Charcoal Grey  
To Match Benjamin Moore  
Classics Gunmetal 1602, PPG  
Charcoal PCNT 79121

EM3.4



Flat Metal Panel Black  
To Match Benjamin Moore  
Classics Graphite 1603,  
PPG Black PCNT 98111



Live/Work Units Streetscape



PERSPECTIVE @ TOWER ENTRANCE VIEW 1



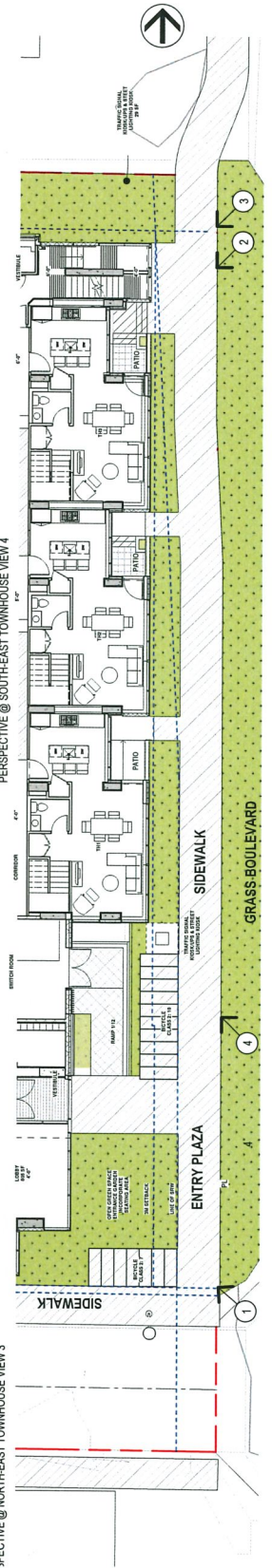
PERSPECTIVE @ TOWNHOUSES NORTH-EAST VIEW



PERSPECTIVE @ NORTH-EAST TOWNHOUSE VIEW 3

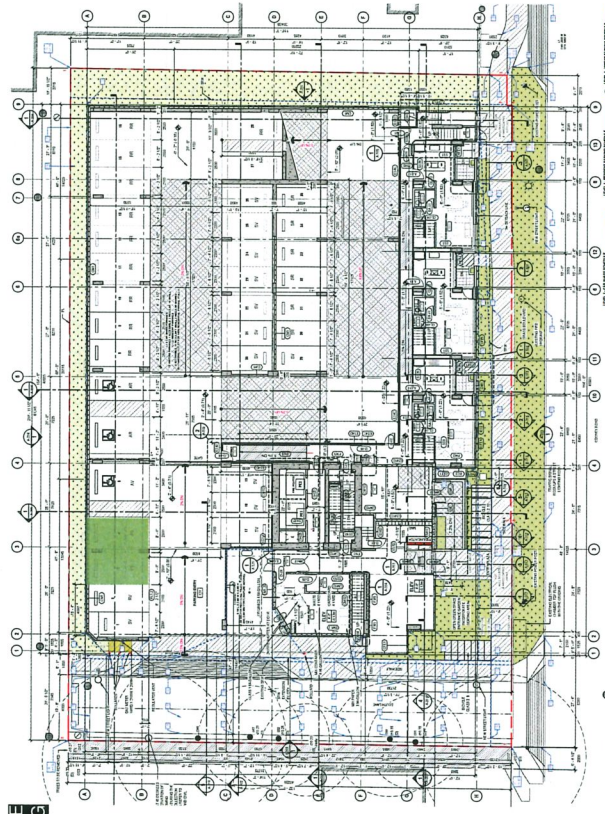


PERSPECTIVE @ SOUTH-EAST TOWNHOUSE VIEW 4

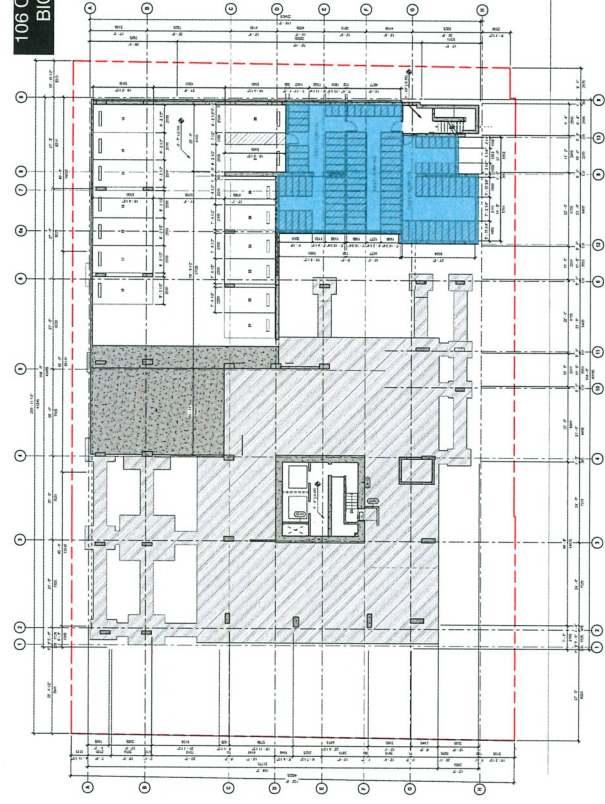


# Traffic Demand Management Measures

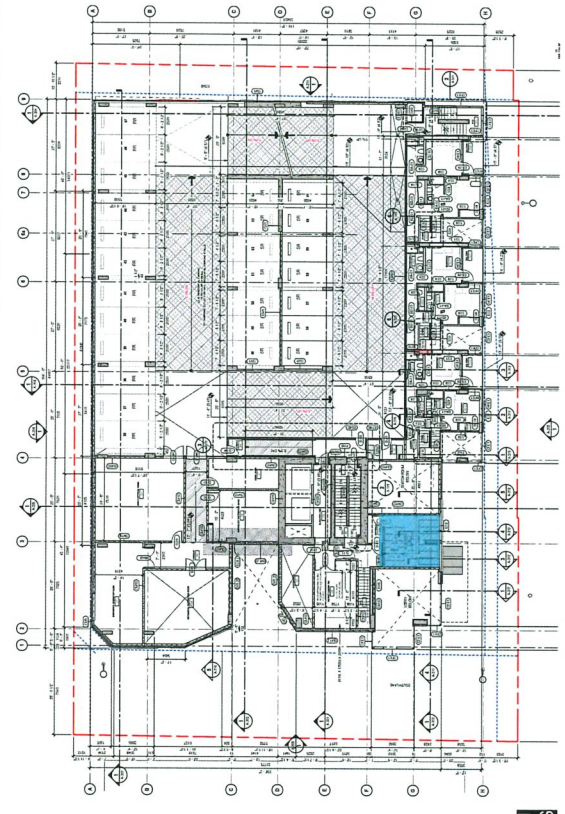
2 CAR SHARE PARKING



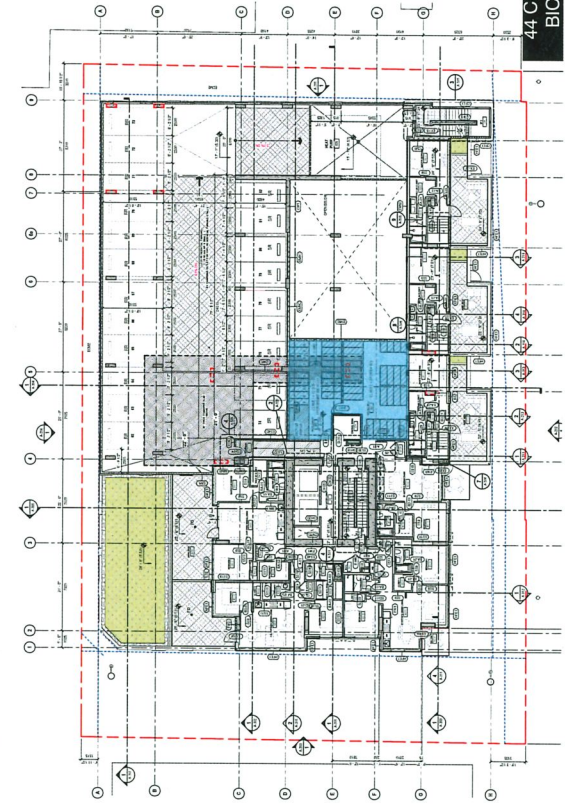
106 CLASS 1 BICYCLES



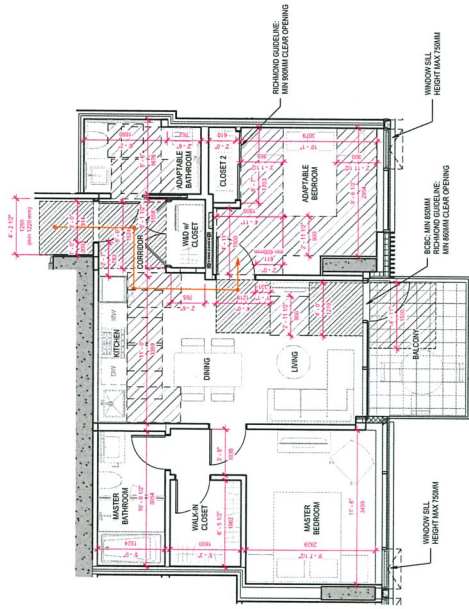
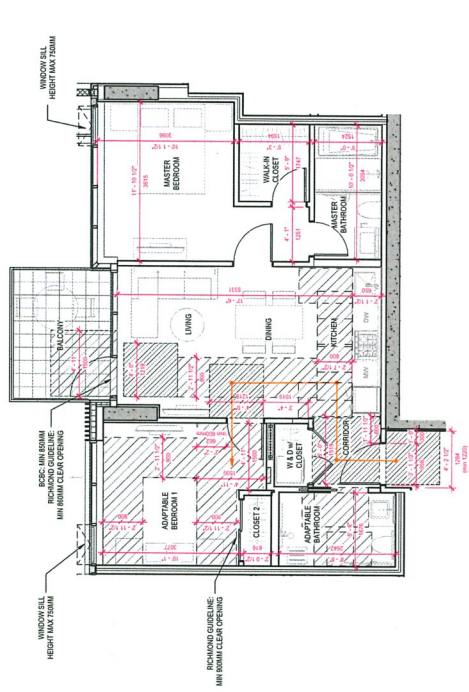
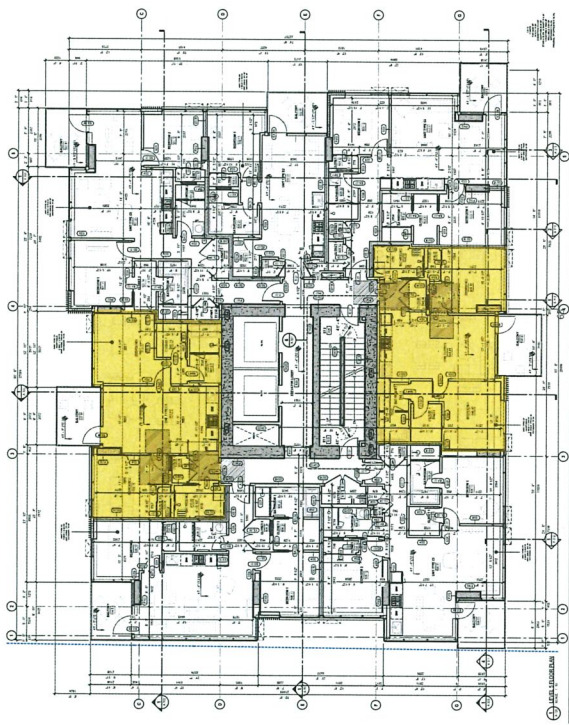
12 CLASS 1 BICYCLES



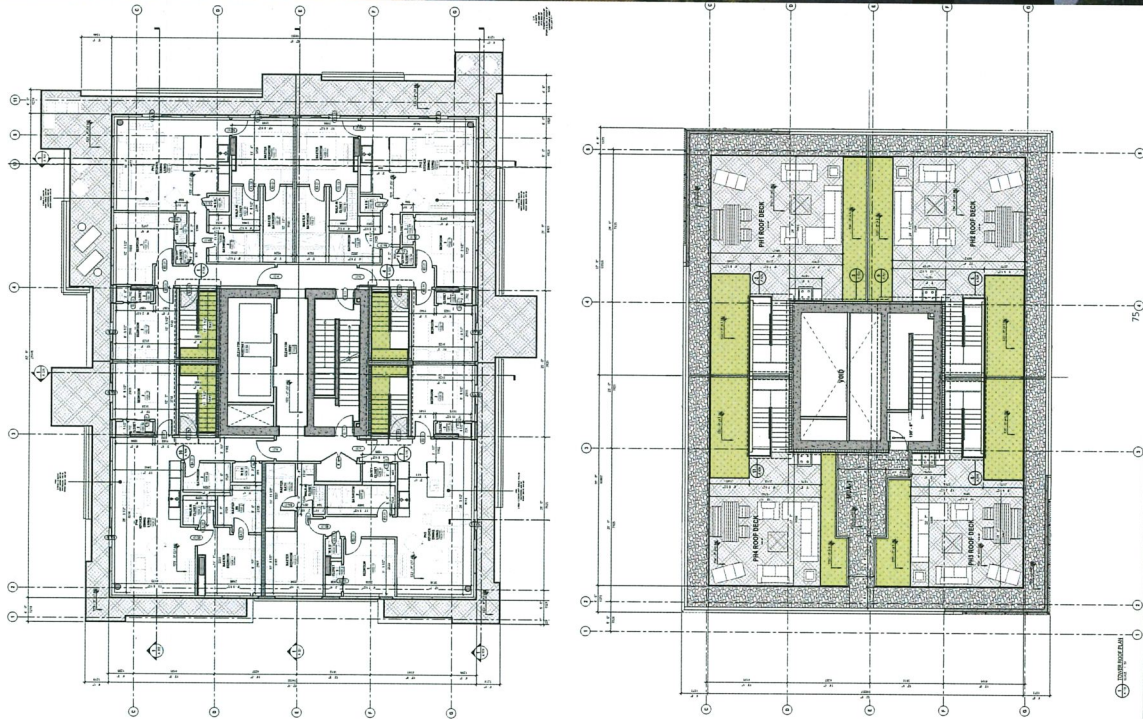
44 CLASS 1 BICYCLES



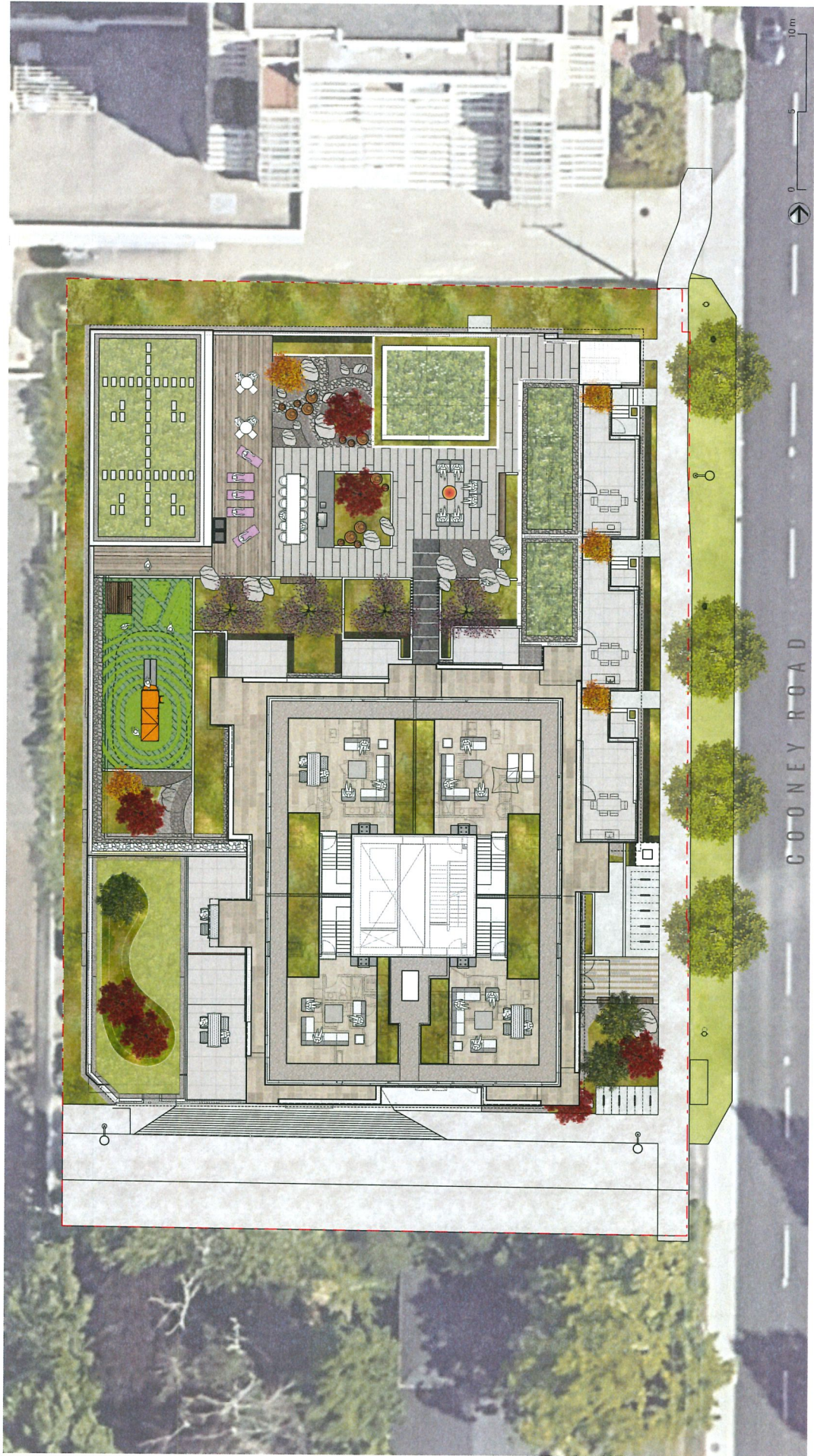
# Adaptable Units



**Rooftops and Amenities**



OVERALL SITE PLAN

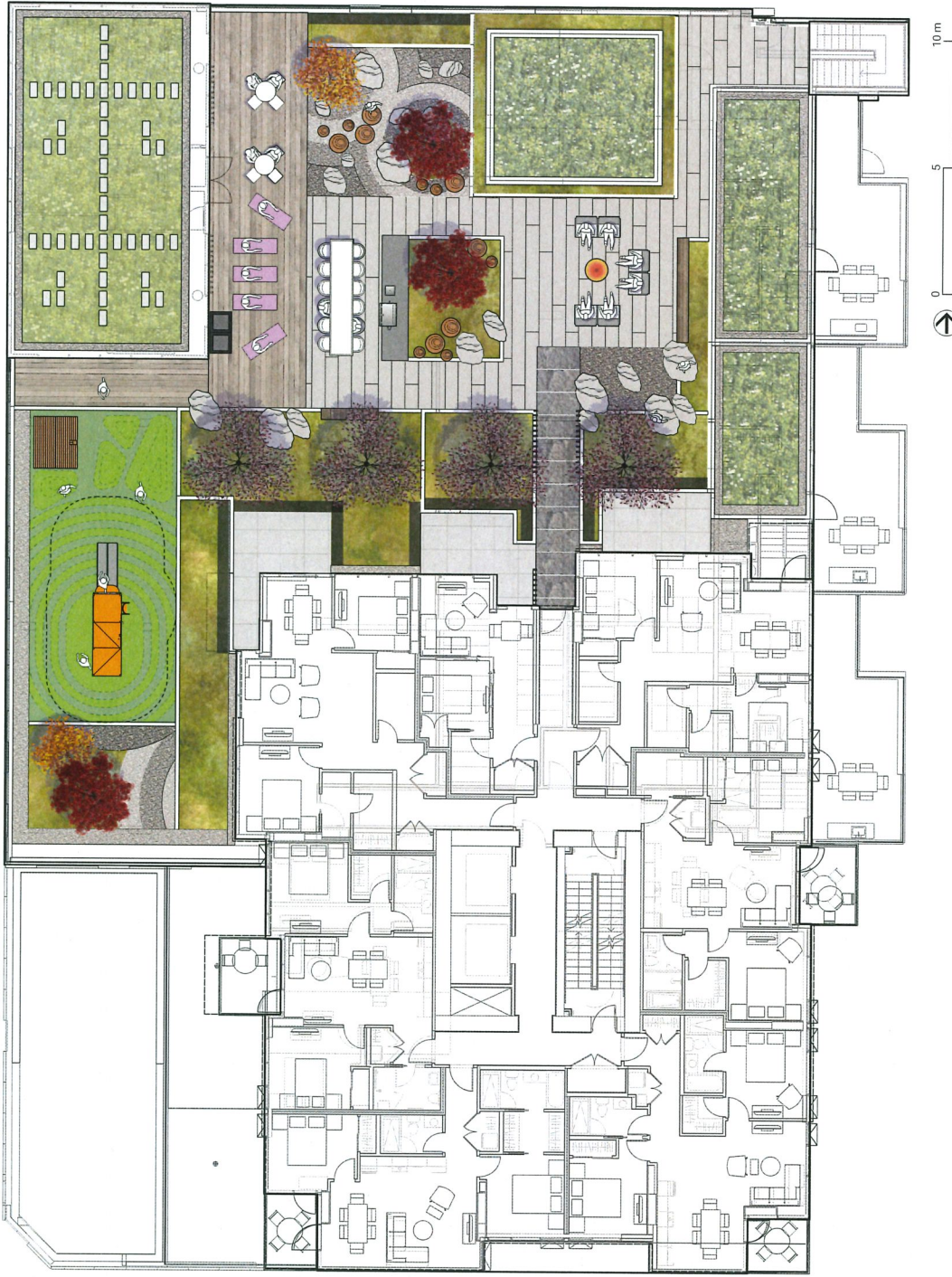


CNCL - 439

**SITE PLAN**  
**LEVEL 4 AMENITY DECK**

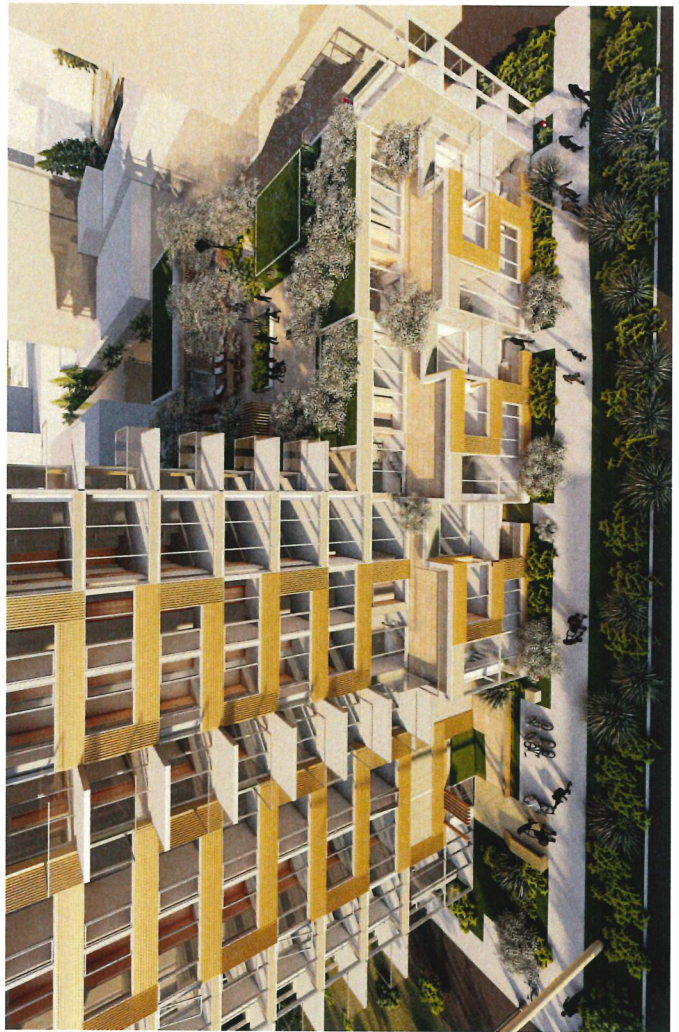


**CNCL - 440**





**Landscape Architecture**  
Level 4 Amenity Views



**PLANTING DESIGN  
REPRESENTATIVE PLANT**



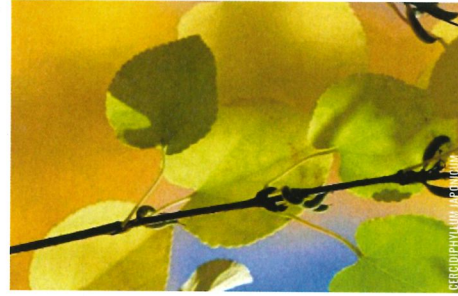
SECTUARITA SUBORDINATA



PRUNUS ARGENTIFLORA



PIBUS HONBERGII



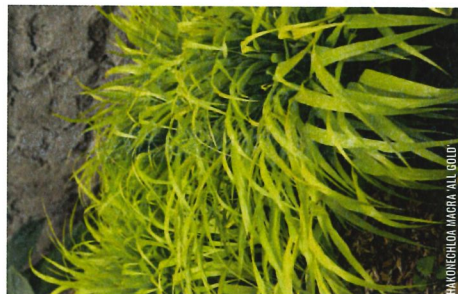
CECIDIOPHYLLUM JAPONICUM



ARODINA DOMESTICA



PENNYSETUM ORIENTALE



IRIDOPHORUS MAGRA



CORNUS KOUSA



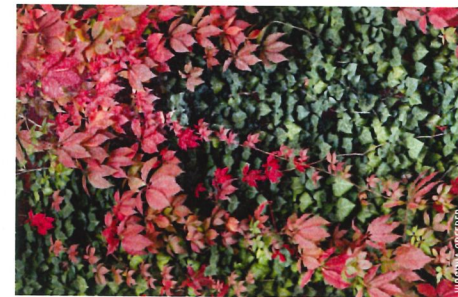
OVALIS OREGANA



IMPERATA CYLINDRICA



IRIS TIBICA



VIRGINIA CRUCEPERA

**Level 4 Amenity Pavilion**



**From:** Ting Ling Wong <wongtingling@gmail.com>  
**Sent:** September 17, 2023 4:41 PM  
**To:** CityClerk  
**Subject:** Re File: DP 22-023105

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Evangel, Rustico

<b>To Development Permit Panel</b>	
<b>Date:</b>	SEPT 27, 2023
<b>Item #</b>	3
<b>Re:</b>	DP 22-023105 6333 COONEY ROAD

**City of Richmond Security Warning:** This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe.

Attn: Ashley Kwan, of Planning & Development Division.

Re: File # DP-023105, for Development Permit of High Rise at 6333 Conney Road. To be held Permit Panel Meeting at Sep. 27, 2023, 3:30pm.

Dear City Development. Officer: We are neighbors homeowne at captioned address.

It's over 23 yeras this site suffered multiple geological and safety troubles in attempt to build "High Rise Condo".

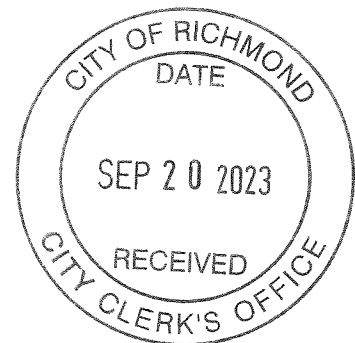
Firstly, the adjacent high rise building at 8288 Saba Road has been warned ground base uneven and unstable, which caused the whole building continuously incline to the Southside (not straight uprise), due to soft base (treated with old construction code which obsoleted now). A new high-rise building to add on the problematic ground base aside current one will cause further safety concerns by all means.

Secondly, Cooney Road becomes major to City Plan, already too crowding this cross-road. We know the "Spires Gate" road will soon be expand to attract more condensed traffic. The supposed new high-rise will block both new and old building's entrance lane and cause traffic stuck.

The are many other problems such as hazards trevent and fire risk etc.

Please re-consider the decision and avoid public harm.

Sincerely yours  
1507-8288 Saba Road, Richmond V6Y 4C8  
Owner  
Ting Ling Wong



**From:** Thompson LEE <thompsonlee60@gmail.com>  
**Sent:** September 22, 2023 9:26 AM  
**To:** CityClerk  
**Cc:** Clara Lee  
**Subject:** File DP22023105 meeting on 27 Sep 2023  
**Attachments:** City of Richmond DP22023105.doc  
  
**Categories:** Rustico

<b>To Development Permit Panel</b>	
Date:	SEPT 27, 2023
Item #	3
Re:	DP 22-023105 6333 COONEY ROAD

**City of Richmond Security Warning:** This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe.

We are unable to attend the public hearing on 27 Sep 2023 ,  
we attached the letter with our views for your perusal.

Thanks

Clara Lee and Thompson Lee



City of Richmond  
Planning and Development Division

1501, 1601, 1602 -  
8288 Saba Road  
Richmond, V6Y 4C8  
22 September 2023

Kind Attention: Ashley Kwan

Re: File No. DP22-023105

Subject site: 6333 Cooney Road high rise 81 units

Dear Planning and Development Officer

We are the owners of the above address. For the past 23 years, our building suffered multiple geological and safety problems when there is attempt to build High Rise Condo in this site.

The Chancellor Complex (8288 and 8388 Saba Road) has been warned of ground base uneven and unstable. As the result, this cause the building continuously incline to the south side. The reason for this was the soft base was treated by old standard construction code at the time of the development. I understand this code was replaced by the new one after the building was finished constructions.

If the new site is allowed to build a heavy high rise condo, the developer and the future owners have to be responsible for our building structure and safety problems etc. in the future.

We have no objection if this site is building town house like the opposite side and south side of this site. Hopefully this can reduce and eliminate the future hazard and unnecessary chaos.

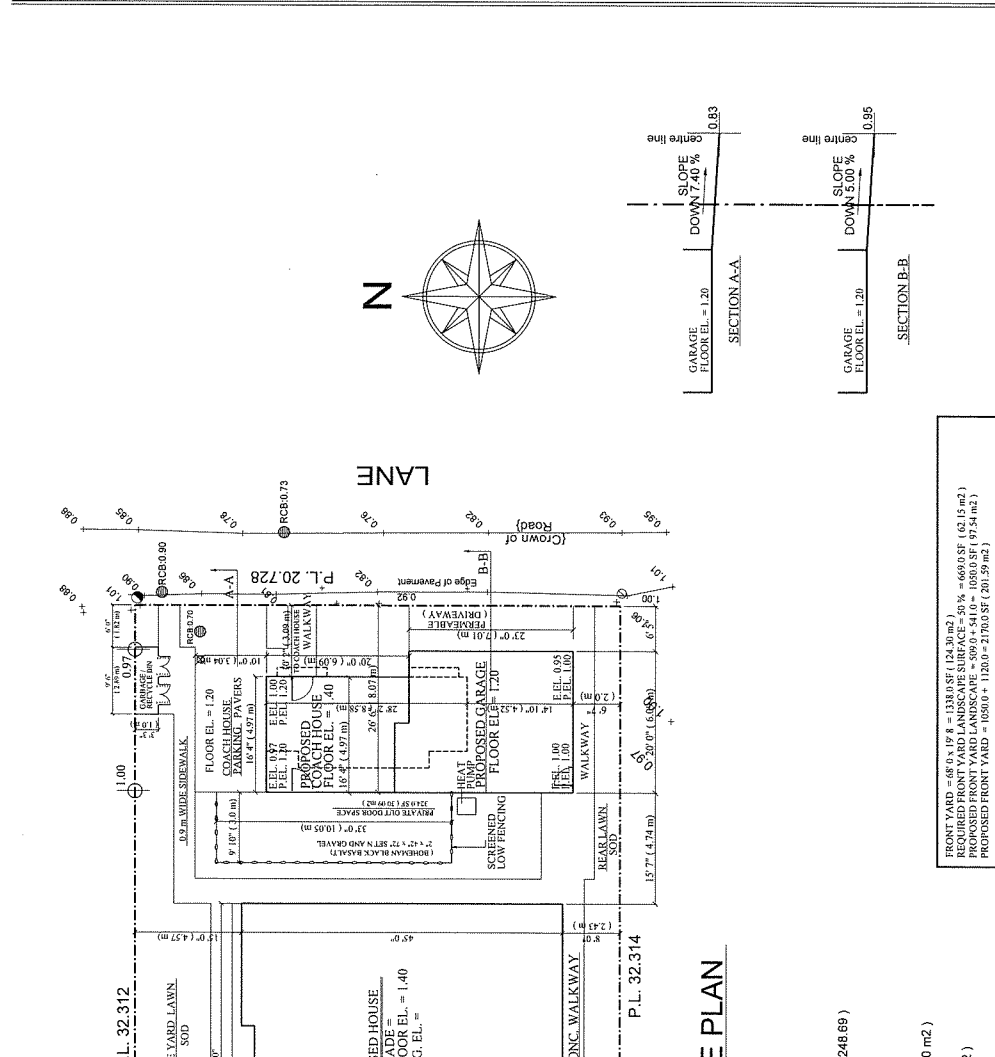
For the sake of safety concern in future, please seriously re-consider the decision.

Thank you for your kind attentions.

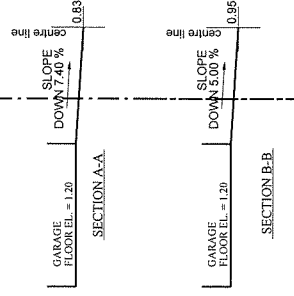
Yours faithfully

Thompson Lee, Clara Lee  
Co-owers of 1501, 1601,1602  
Saba Road.  
[thompsonlee60@gmail.com](mailto:thompsonlee60@gmail.com)  
[clarawylee@gmail.com](mailto:clarawylee@gmail.com)

Schedule 6 to the Minutes of the Development Permit Panel meeting held on Wednesday, September 27, 2023



**SITE PLAN**



FRONT YARD = 66.0 m<sup>2</sup> (72.0 SF) (124.00 m<sup>2</sup>)  
 REAR YARD = 111.0 m<sup>2</sup> (121.0 SF) (124.00 m<sup>2</sup>)  
 REQUIRED FRONT YARD LANDSCAPE SURFACE = 30% = 66.0 SF (124.00 m<sup>2</sup>)  
 PROPOSED FRONT YARD LANDSCAPE = 59.0 + 54.0 = 103.0 SF (97.54 m<sup>2</sup>)  
 PROPOSED REAR YARD LANDSCAPE = 109.0 + 120.0 = 229.0 SF (212.59 m<sup>2</sup>)

Aug 31 2023

**Astonish Design & Detailing Ltd.**  
 19732 - 71B Ave. Langley B.C.  
 PH: 1 604 539 1740 FAX: 1 604 539 1741  
 CELL: 1 604 728 0389 E-MAIL: navtej@hotmail.com

**TITLE: SITE PLAN**

JOB ADDR: 10408 - Dennis Crescent, Richmond BC  
 DESIGN BY: KAMAL  
 CHK. BY: NAVTEJ  
 SCALE: 1/8" = 1'-0" UN.  
 PRINTED ON: May 09 2023  
 SHEET NO. A-001

THESE PLANS CONFORM TO B.C.B.C. 2018 EDITION

PER SITE COVERAGE = 45% OF 7212.0 S.F. ( 670.0 m<sup>2</sup> )  
 = 3245.40 S.F. ( 301.49 m<sup>2</sup> )  
 PROPOSED SITE COVERAGE = 1889.0 + 788.0 = 2677.0 SF ( 248.69 )

PER IMPERMEABLE COVERAGE = 70% OF 7212.0 S.F. ( 670.0 m<sup>2</sup> )  
 = 5048.40 S.F. ( 468.0 m<sup>2</sup> )  
 PROPOSED IMPERMEABLE COVERAGE = 4727.0 SF ( 439.13 m<sup>2</sup> )

PER LANDSCAPE SURFACE = 30% OF 7212.0 S.F. ( 670.0 m<sup>2</sup> )  
 = 2164.0 S.F. ( 201.03 m<sup>2</sup> )  
 PROPOSED LANDSCAPE SURFACE = 2170.0 SF ( 201.59 m<sup>2</sup> )

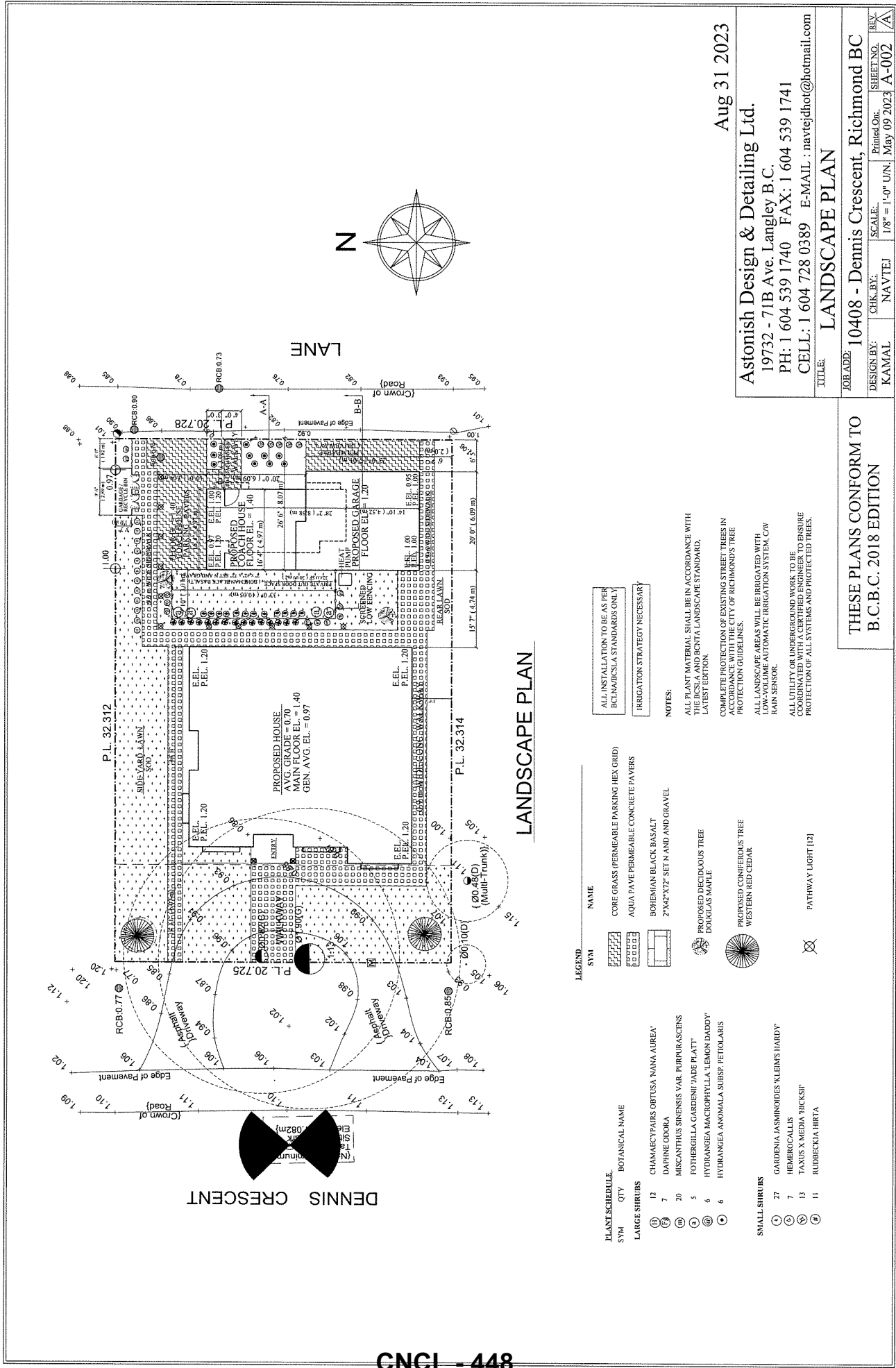
E.E.L. = EXISTING ELEVATION  
 P.E.L. = PROPOSED ELEVATION  
 TOTAL COACH HOUSE AREA = 307.0 + 338.0 = 645.0 SF (29.92 m<sup>2</sup>)  
 COACH HOUSE MAIN FLOOR AREA = 307.0 SF ( 28.32 m<sup>2</sup> ) ( 45.68 % )

**CIVIC ADDRESS:**  
 10408 - Dennis Crescent, Richmond BC  
 PID - 002-807-351

**LEGAL DESCRIPTION:**  
 LOT 5 SEC 35 BLK 4N RG 6W PL NWP20610 LOT 5, BLOCK 4N,  
 SUB BLOCK 5, PLAN NWP20610, SECTION 35, RANGE 6W,  
 NEW WESTMINSTER LAND DISTRICT

**CALCULATIONS:**  
 ZONE: RE-1  
 LOT AREA = 7212.0 S.F. ( 670.0 m<sup>2</sup> )  
 PER AREA = 3631.0 SF ( 337.50 m<sup>2</sup> )  
 BONUS AREA 2 992.0 SF ( 91.78 m<sup>2</sup> )  
 TOTAL FLOOR AREA = 3756.0 S.F. ( 348.74 m<sup>2</sup> )  
 PLUS 250.0 SF ( 23.22 m<sup>2</sup> ) FOR AC UNIT  
 PLUS 538.0 S.F. ( 50.0 m<sup>2</sup> ) FOR ENCLOSED PARKING

**PROPOSED F.A.R.:**  
 MAIN FLOOR AREA = 1880.0 S.F. ( 174.65 m<sup>2</sup> )  
 SECOND FLOOR AREA = 1211.0 S.F. ( 112.50 m<sup>2</sup> )  
 PLUS 645.0 S.F. ( 59.92 m<sup>2</sup> ) FOR COACH HOUSE  
 TOTAL = 3736.0 S.F. ( 347.07 m<sup>2</sup> )  
 PLUS 480.0 S.F. ( 44.59 m<sup>2</sup> ) OF ENCLOSED PARKING



Aug 31 2023  
**Astonish Design & Detailing Ltd.**  
 19732 - 71B Ave. Langley B.C.  
 PH: 1 604 539 1740 FAX: 1 604 539 1741  
 CELL: 1 604 728 0389 E-MAIL : navtej.dhot@hotmail.com

JOB ADDR: 10408 - Dennis Crescent, Richmond BC	
DESIGN BY: KAMAL	CHK. BY: NAVTEJ
SCALE: 1/8" = 1'-0" U/N	PRINTED ON: May 09 2023
TITLE: LANDSCAPE PLAN	
REV. A	SHEET NO. A-002

THESE PLANS CONFORM TO  
 B.C.B.C. 2018 EDITION

- ALL INSTALLATION TO BE AS PER BC/INABCSLA STANDARDS ONLY
- IRRIGATION STRATEGY NECESSARY

**NOTES:**  
 ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE BC/SLA AND BC/TA LANDSCAPE STANDARD, LATEST EDITION.  
 COMPLETE PROTECTION OF EXISTING STREET TREES IN ACCORDANCE WITH THE CITY OF RICHMOND'S TREE PROTECTION GUIDELINES.  
 ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH LOW-VOLUME AUTOMATIC IRRIGATION SYSTEM, CW RAIN SENSOR.  
 ALL UTILITY OR UNDERGROUND WORK TO BE CALLED OUT AND PROTECTED TO ENSURE PROTECTION OF ALL SYSTEMS AND PROTECTED TREES.

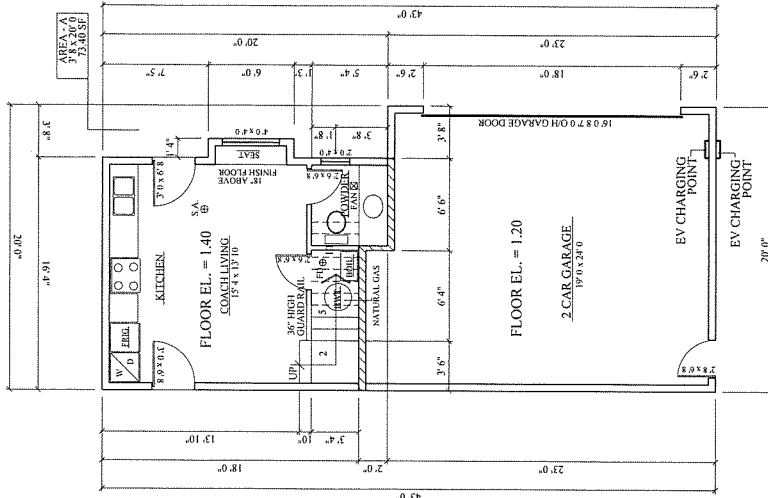
SYM	NAME
[Symbol]	CORE GRASS (PERMEABLE PARKING HEX GRID)
[Symbol]	AQUA PAVE PERMEABLE CONCRETE PAVERS
[Symbol]	BOHEMIAN BLACK BASALT
[Symbol]	2"x4"x37" SET IN SAND AND GRAVEL
[Symbol]	PROPOSED DECIDUOUS TREE DOUGLAS MAPLE
[Symbol]	PROPOSED CONIFEROUS TREE WESTERN RED CEDAR
[Symbol]	PATHWAY LIGHT (12)

PLANT SCHEDULE	SYM	QTY	BOTANICAL NAME
LARGE SHRUBS	①	12	CHAMAECYPAIS ORTUSA NANA AUREA
	②	7	DAPHNE ODOBA
	③	20	MISCANTHUS SINENSIS VAR. PURPURASCENS
	④	5	FOTHERGILLA GARDENII 'JADE PLATT'
	⑤	6	HYDRANGEA MACROPHYLLA 'LEMON DADDY'
	⑥	6	HYDRANGEA ANOMALA SUBSP. PETIOLARIS
SMALL SHRUBS	⑦	27	GARDENIA FASMINKOIDES 'KLEIN'S HARDY'
	⑧	7	HEBERCALLEIS
	⑨	13	TAXUS X MEDIA 'HICKSII'
	⑩	11	RUBRICKIA HIRTA

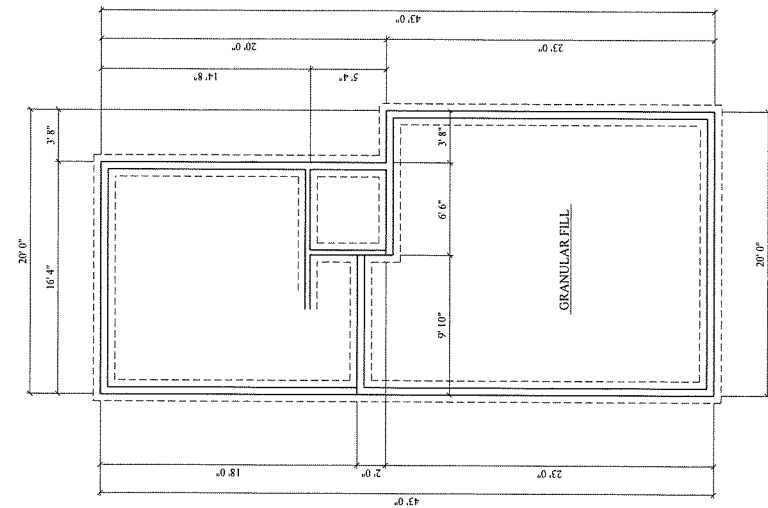


AREA CALCULATIONS:

20'0" x 43'0" = 860.0 SF
LESS GARAGE = 73.0 SF
AREA = 787.0 SF
LESS STAIRS = 57.0 SF
NET AREA = 307.0 SF
AREA - A = 73.40 SF
TOTAL = 73.40

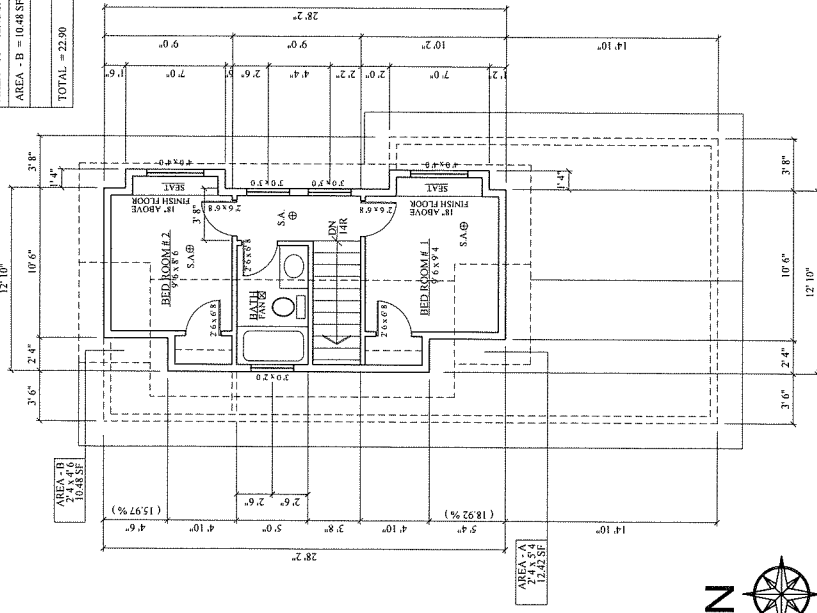


(RADIANT FLOOR HEATING SYSTEM)  
**MAIN FLOOR PLAN**  
**GARAGE & COACH HOUSE**  
 GARAGE AREA = 480.0 SF (31.40 m<sup>2</sup>)  
 COACH HOUSE AREA = 307.0 SF (28.52 m<sup>2</sup>)  
 TOTAL COACH HOUSE AREA = 307.0 + 338.0 SF (52.40 m<sup>2</sup>) (59.92 m<sup>2</sup>)  
 COACH HOUSE MAIN FLOOR AREA = 307.0 SF (28.52 m<sup>2</sup>) (45.60%)



AREA CALCULATIONS:

12' 10" x 28' 2" = 361.0 SF
LESS STAIRS = 23.0 SF
AREA = 338.0 SF
NET AREA = 338.0 SF
AREA - A = 12.42 SF
AREA - B = 10.48 SF
TOTAL = 22.90



(RADIANT FLOOR HEATING SYSTEM)  
**SECOND FLOOR PLAN**  
**COACH HOUSE**  
 COACH HOUSE AREA = 338.0 SF (31.40 m<sup>2</sup>)  
 (RADIANT FLOOR HEATING SYSTEM)



Aug 17 2023

Astoria Design & Drafting Ltd.	
19732-718 Ave	
Langley, BC	
PH: 1 604 539 1740 FAX: 1 604 539 1741	
CELL: 1 604 728 0389 E-MAIL: <a href="mailto:nan@astoriadesign.com">nan@astoriadesign.com</a>	
TITLE: COACH HOUSE PLAN	
DATE: 10/08/2023	PROJECT: Dennis Crescent Richmond, B.C.
SCALE: 1/8" = 1'-0"	DATE: 10/08/2023
REVISED: 1/8" = 1'-0"	DATE: 10/08/2023
SCALE: 1/8" = 1'-0"	DATE: 10/08/2023

THESE PLANS CONFORM TO  
 B.C.B.C. 2018 EDITION

**EXTERIOR FINISHES SCHEDULE**

- 01 ASPHALT SHINGLES ROOF  
COLOR: BLACK (BY I/O)
- 02 ACRYLIC STUCCO  
COLOR: LIGHT GREY
- 03 HORIZ. HARDIE PLANKS  
COLOR: LIGHT GREY
- 04 DECORATIVE WOOD BRACKET  
COLOR: NATURALLY STAINED CEDAR
- 05 VINYL WINDOW W/LOW "E" DOUBLE GLAZING  
MODEL: APEX ALLOY  
COLOR: WHITE
- 06 2"X10" PT FASCIA TRIM BOARD  
COLOR: WHITE

- 07 ALUMINUM GUTTER  
COLOR: CHARCOAL GREY
- 08 FRONT ENTRY FIBRE GLASS DOOR  
COLOR: GREY / BROWN
- 09 65X7 METAL GARAGE DOOR  
COLOR: GREY
- 10 MATCH FRONT ENTRY DOOR  
COLOR: GREY
- 11 EXTERIOR WALL LIGHTING
- 12 STONE CLADDING  
CULTURED STONE (BLACK)

**TYPICAL ROOF:**  
DURKID SHINGLES ROOF  
ON 11/8" WEATHERING FOIL  
ON 1/2" RIGID INSULATION  
ON APP. ENK. TRUSSES @ 24" O.C.  
R-40 BATT INSULATION  
6" SHELL U.V. RESISTANT POLY.

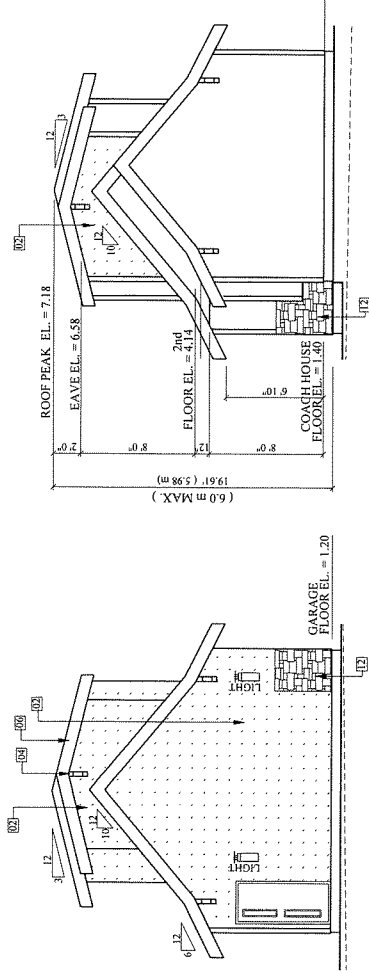
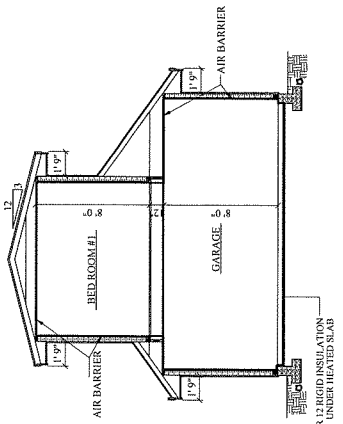
**TYPICAL EAVE:**  
EAVE PROTECTION TO 12" MIN.  
INSIDE TOP PLATE  
WHILE IN GUTTER  
ALUM. SCRETT VENT.

**TYPICAL EXTERIOR WALL:**  
6" BRICK VENEER  
ROBUSTIC TREATED  
EXTERIOR GRADE PL WOOD STRAPPING  
ON 1/2" RIGID INSULATION  
RATED BUILDING PAPER OR  
ON 1/2" PL WOOD STUDS @ 16" O.C.  
R-20 BATT INSULATION  
6" SHELL U.V. RESISTANT POLY. 1/2" DRYWALL

**TYPICAL FLOOR:**  
1/2" 15/16" CONC. TRIPPING  
W/ WOOD RADIENT HEATING SYSTEM  
ON 5/8" T. & G. PL W/D NAILER & GLED TO  
2X2 CROSS BRIDGING @ 7'6" O.C. MAX.  
1/2" DRYWALL.

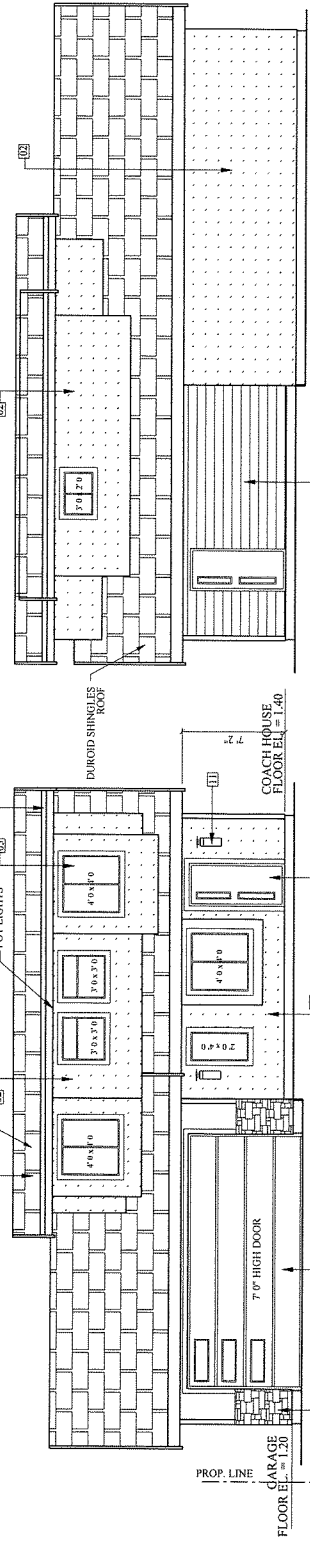
**SLAB ON GRADE:**  
1/2" 15/16" CONC. SLAB  
W/ WOOD RADIENT HEATING SYSTEM  
R-12 RIGID INSULATION  
6" WELL - COMPACTED SAND BASE.

**TYPICAL FOUNDATION:**  
6" CONC. WALL ON F. & R. CONCL. CONC.  
STRIP FOOTING TO FIRM BEARING. 6" MAX.  
IN CONTACT W/ CONC. FOUNDATION  
PROVIDE 4# 1" BELL UNDER ALL PLATES  
4" DRAIN TILE SOLIDA 6" DRAIN COVER.

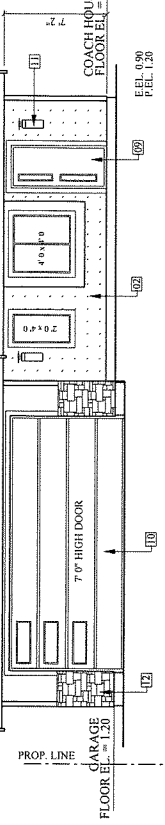


**LEFT SIDE ELEVATION  
COACH HOUSE  
SOUTH**

**RIGHT SIDE ELEVATION  
COACH HOUSE  
NORTH**



**FRONT ELEVATION - COACH HOUSE  
WEST**



**REAR ELEVATION - COACH HOUSE  
EAST**

Aug 17 2023

Astonish Design & Detailing Ltd.  
19732-718 Ave 1, Langley, B.C.  
PH: 1 604 539 1740 FAX: 1 604 539 1741  
CELL: 1 604 728 0389 E-MAIL: aadesign@astonish.com

TITLE: COACH HOUSE ELEVATIONS

CLIENT: 0408 - Dennis Crescenzi Richmond, B.C.

DATE: 08/17/23

SCALE: 1/8" = 1'-0" (as shown)

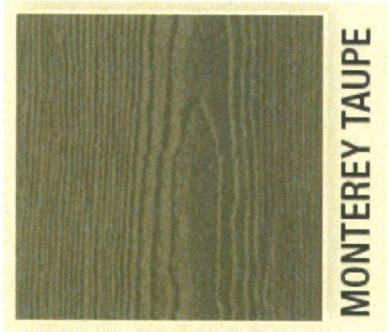
PROJECT: 0408 - COACH HOUSE ELEVATIONS

THESE PLANS CONFORM TO  
B.C.B.C. 2018 EDITION



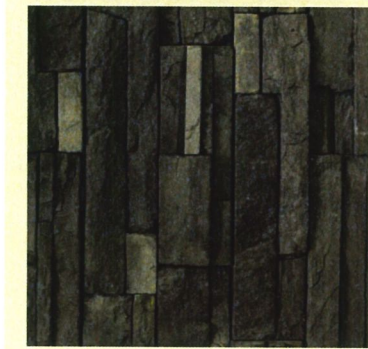
**PEARL GRAY**

GARAGE DOOR & MAIN HOUSE DOOR



**MONTEREY TAUPE**

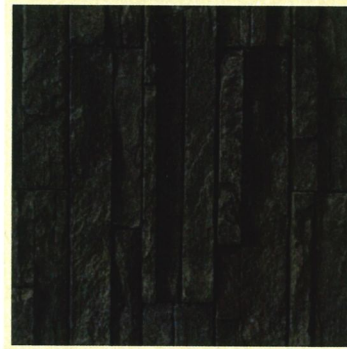
COACH HOUSE HARDIE



Home / Our Products / Stone / Manufactured Stone / Blackcomb Prostack

**Blackcomb Prostack**

MAIN HOUSE STONE



Home / Our Products / Stone / Manufactured Stone / Black Tusk Prostack

**Black Tusk Prostack**

GARAGE STONE



**W-113-2E**

GARAGE & COACH HOUSE AT BOTTOM

**W-113-2E**

MAIN HOUSE STUCCO



THESE PLANS CONFORM TO B.C.B.C. 2018 EDITION

Aug 17 2023

Astonish Design & Detailing Ltd.  
10408 - Dennis Crescent Richmond, B.C.  
V6V 1R7  
TEL: 1 604 539 1740 FAX: 1 604 539 1741  
EMAIL: info@astondesign.com  
CELL: 1 604 738 0389 E-MAIL: info@astondesign.com  
TITLE: COACH HOUSE PLAN - COLOURS  
REVISION: 10408 - Dennis Crescent Richmond, B.C.  
KAMAL KAMAL NAVTEC | For use from 09/2021 to 09/2024