



To: Development Permit Panel

Date: March 19, 2016

From: Wayne Craig  
Director of Development

File: DP 15-700800

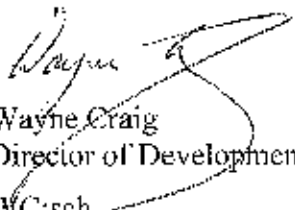
Re: **Application by GBL Architects Inc. for a Development Permit at 8800 Hazelbridge Way and 3300 and 3311 Ketcheson Road**

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### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction at 8800 Hazelbridge Way and 3300 and 3311 Ketcheson Road of the final two phases of a five-phase, high-rise, multi-family residential development, which two phases shall contain a total of 525 dwellings, including 493 market units and 32 affordable housing units (secured with a Housing Agreement), together with four (4) affordable, work-only, art studios and publicly-accessible open space, on a site zoned "High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - a) Increase the maximum allowable building height for the east building within 50.0 m of a lot line abutting Garden City Road from 28.0 m to 31.5 m for an enclosed stair shaft, elevator penthouse, and guardrail;
  - b) Reduce the minimum allowable road and park setbacks for the west building from 3.0 m to:
    - (i) 0.0 m from the South Walkway and Art Studio Terrace Statutory Right-of-Way in the vicinity of the art studios; and
    - (ii) 2.82 m from the Hazelbridge Way Sidewalk Widening Statutory Right-of-Way near the building's northwest corner; and
  - c) Increase the maximum allowable projections into the required yards:
    - (i) For the east building, from 1.2 m to 1.47 m for a cantilevered roof at the building's southwest corner; and
    - (ii) For the west building, from 1.0 m to 1.37 m for balconies at the west tower's south side.

  
Wayne Craig  
Director of Development  
WC:sch  
Att. 6

## Staff Report

### Origin

GBI Architects, on behalf of Concord Pacific, has applied to the City of Richmond for permission to develop the final two phases of Concord Gardens, a five-phase, high-rise, multi-family development in Capstan Village (City Centre) on property zoned "High Rise Apartment and Artist Residential Tenancy Studio Units (ZIIR10) – Capstan Village (City Centre)" (Attachment 1).

As generally indicated in the Concord Gardens Key Map (Attachment 2), the subject Development Permit application proposes:

- 1) Two high-rise buildings over a shared, 2-storey parking structure, containing a total of 525 dwellings, including 493 market units and 32 affordable housing units (secured with a Housing Agreement);
- 2) Four (4) affordable, work-only, art studios for professional artists (Sexsmith Art Studios), to be owned and operated by the developer (at no cost to the City), as per the developer's pending Zoning Text Amendment application (ZT 15-700276) and related legal agreements to be registered on title;
- 3) Completion of the final phases of Concord Gardens' 9,220.0 m<sup>2</sup> (2.28 ac) of publicly-accessible open spaces (secured by statutory right-of-ways), including the completion of the south side of the development's central Neighbourhood Park, construction of a public walkway and community gardens along the site's south side, and a landscaped terrace along the frontages of the Sexsmith Art Studios; and
- 4) Completion of Ketcheson Road across the subject site (i.e. a private road secured with a statutory right-of-way and constructed over a parking structure) to facilitate its future extension to Capstan Way by others (as per Concord Gardens' adopted rezoning, RZ 06-349722).

Importantly, as per various legal agreements registered on title with respect to the approval of Concord Gardens' rezoning (RZ 06-349722), its first three phases (DP 12-611486, DP 13-642725, and DP 14-670686), and the Sexsmith Art Studios (ZT 15-700276):

- 1) Indoor amenity space required with respect to the subject phases has, in part, received prior approval for development in the form of a large recreation facility along the north side of the Neighbourhood Park (currently under construction) to be shared by all five phases of Concord Gardens, including an indoor swimming pool, gymnasium, bowling, fitness facilities, and multi-purposes space; and
- 2) All Engineering, Transportation, and Parks off-site requirements with respect to the subject development have been resolved. Servicing Agreement requirements to be addressed via the subject phases of development are limited to minor frontage improvements and related works necessary to complete SA 12-616223.

### Development Information

As summarized in the table below, the developer proposes that, when complete, Concord Gardens will comprise 1,201 dwelling units, including 1,125 (94%) market units, 56 (5%) affordable housing units, and 20 (1%) subsidized, rental housing units for professional artists (ARTS units).

The development's first three phases are currently under construction and expected to be ready for occupancy in 2016 and 2017. Occupancy of the subject final two phases (as described in this report) is targeted for 2018. The Sexsmith Art Studios, Concord Gardens' four (4) affordable, work-only, art studios for professional artists will be constructed in the development's final phase (Phase 5).

Concord Gardens			Dwelling Units				Net Residential Floor Area	Estimated Occupancy Date
Phase	Lot	Area	Market Units	Affordable Housing	ARTS Units	Total		
1	1	A	260	Nil	20	280	23,395.0 m <sup>2</sup> (251,822 ft <sup>2</sup> )	2016
2	1	B	244	17	Nil	261	20,759.6 m <sup>2</sup> (223,454 ft <sup>2</sup> )	2017
3	1	E	128	7	Nil	135	10,969.6 m <sup>2</sup> (118,076 ft <sup>2</sup> )	2017
<b>Approved Sub-Total</b>			<b>632</b>	<b>24</b>	<b>20</b>	<b>676</b>	<b>55,124.2 m<sup>2</sup> (593,352 ft<sup>2</sup>)</b>	-
4	2	C	218	15	Nil	233	19,207.1 m <sup>2</sup> (206,744 ft <sup>2</sup> )	<b>2018 Subject Application</b>
5	2	D	275	17	Nil	292	22,888.5 m <sup>2</sup> (246,369 ft <sup>2</sup> )	
<b>Sub-Total</b>			<b>493</b>	<b>32</b>	<b>Nil</b>	<b>525</b>	<b>42,095.6 m<sup>2</sup> (453,113 ft<sup>2</sup>)</b>	
<b>TOTAL</b>			<b>1,125</b>	<b>56</b>	<b>20</b>	<b>1,201</b>	<b>97,219.8 m<sup>2</sup> (1,046,465 ft<sup>2</sup>)</b>	-

Please refer to the attached Development Application Data Sheet (Attachment 3) for a comparison of the proposed development data for the subject application (Phases 4 and 5 only) with the relevant Bylaw requirements.

### Background

The subject site is located in the City Centre's Capstan Village area that, as per City Centre Area Plan (CCAP) policy, is being redeveloped with higher density, mid- and high-rise multi-family and mixed use projects, new public parks and streets, and a future Canada Line station near the intersection of Capstan Way and No. 3 Road. Existing development surrounding the Concord Gardens site includes:

- To the North: Patterson Road and a row of single-family lots/houses designated under the CCAP for high-rise, mixed use development;
- To the South: A former TransLink park-and-ride, church, and single-family lots designated under the CCAP for medium density multi-family residential and institution uses;
- To the West: Sexsmith Road and an area recently rezoned to a site specific zone (ZMU25) for higher density multi-family residential and mixed-use development (RZ 10-544729 and RZ 12-610011, Pinnacle International), the first phase of which is expected to be ready for occupancy this spring, including seventeen (17) subsidized, rental housing units for professional artists (ARTS units); and
- To the East: (Outside the City Centre) Garden City Road and the West Cambie Area, the latter of which contains a mix of townhouses, single-family houses, park, elementary school, and local commercial uses.

## Rezoning and Public Hearing Results

The Public Hearing for the original rezoning of Concord Gardens (RZ 06-349722) was held on February 20, 2012. A subsequent Zoning Text Amendment application (ZT 15-700276), which included the developer's proposal to construct the Sexsmith Art Studios (i.e. four affordable, work-only, art studios for professional artists) in the development's final phase, was considered at Public Hearing on October 19, 2015. During these processes, issues were identified to be resolved at Development Permit (DP) stage as follows:

Design Issues: Staff and the developer have worked together to address the following form and character issues. The developer's response to each issue is described in **bold italics**.

- 1) Steps must be taken to ensure that Concord Gardens reads as a "neighbourhood", not a "project". Variations in tower form are encouraged to provide for visual interest.
  - ***The proposed form and character of Concord Gardens' final two phases take cues from earlier phases as a means to enhance the development's emerging neighbourhood identity (e.g., materials, strong street-wall, similar tower heights, stepped massing, water features, terraced landscaping), while variations in the shape and articulation of the proposed towers, balcony and cornice treatments, cladding, and fenestration provide for visual interest and distinct, yet complementary, building characters.***
- 2) Tall buildings must minimize shading of the proposed Neighbourhood Park, especially during peak periods and in high-use or sun-sensitive locations (i.e. children's playground) in order to maximize public use and enjoyment of this important amenity.
  - ***While the subject phases comprise high/mid-rise buildings located to the south and southwest of the Neighbourhood Park, they have been designed to minimize shadowing of the park from late March through to late September to ensure that the children's playground (located on the park's north side) and other sub-sensitive park features will enjoy good sun exposure during high-use periods.***
- 3) Articulation is encouraged to visually break up long streetwalls and provide for an attractive, sensitive interface with the Neighbourhood Park and its approach.
  - ***West of Ketcheson Road, along the south side of Hazelbridge Way, the proposed building is designed to enhance the entrance to Concord Gardens and its park-like qualities, while softening the development's visual impact, through varied massing (i.e. two towers connected by a mid-rise element) and setbacks (i.e. increasing from Sexsmith Road towards the Neighbourhood Park), together with an articulated facade treatment, variations in materials and colours, and significant planting and landscaping.***
  - ***East of Ketcheson Road, along the south side of the Neighbourhood Park, the proposed building is designed to frame the park's south side by mirroring the stepped massing of the building on the park's north (Phase 2), enhanced with articulated facade treatments and variations in setback, materials, pattern, and colour.***
- 4) The proposed grade change of approximately 5.5 m from Sexsmith Road to the centre of the site at Ketcheson Road and the Neighbourhood Park must be handled sensitively to ensure universal access and attractive streetscapes.
  - ***All permanent parking required for Concord Gardens will be concealed from view below finished grade, public access will be wheelchair accessible, and changes in grade along***



*fronting streets are used to provide for special landscape and water features and townhouse units with landscaped stoops and large, raised patios.*

- 5) Mid-rise rooftops must contribute to the development's attractiveness and amenity.
- *The mid-rise rooftops of the subject phase of development have been designed as outdoor residential amenity spaces for dining, play, and sunning (e.g., equipped with seating, barbeques, special lighting, play areas, shade structures, trees and planting) and will have good sun exposure and views to the Neighbourhood Park and beyond, making them attractive, pleasant places for residents to relax and socialize.*
- 6) Potential livability impacts (e.g., view blockage) arising as a result of adjacent, on- and off-site development must be addressed.
- *Steps have been taken to minimize overlook between the subject phases and their neighbours through building siting and the distribution of public open space areas (e.g., Neighbourhood Park and a landscaped walkway along the site's south edge). In addition, as recommended in the rezoning staff report, a covenant has been registered on all five phases of Concord Gardens to notify future residents of potential impacts that may occur as a result of on- and/or off-site development.*

**Aircraft Noise:** In addition to the above issues, at the Public Hearing for RZ.06-349722, the Vancouver International Airport Authority submitted a letter expressing concern that Concord Gardens would introduce residential uses in an area affected by aircraft noise.

- *The subject site is situated in the Official Community Plan (OCP) Aircraft Noise Sensitive Development (ANSD) "Area 3", which permits multi-family residential uses, as proposed, provided that a restrictive covenant is registered on title and appropriate noise attenuation measures are incorporated into the building design. The required aircraft noise covenant was registered on title prior to rezoning adoption, satisfactory Development Permit stage acoustic information has been submitted and is on file, and the developer has agreed that the Building Permit drawings will incorporate all measures necessary to satisfy the covenant and Development Permit stage acoustic recommendations.*

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit (DP) application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre)" zone except for the zoning variances noted below.

Through the rezoning and zoning text amendment processes for Concord Gardens (RZ.06-349722 and ZT 15-700276), legal agreements were registered on title requiring that various conditions and requirements are satisfied prior to Development Permit issuance for the subject phases. The proposed development satisfies the requisite conditions, generally as follows:

- 1) **Sexsmith Art Studios (SAS):** Legal agreements registered on title via ZT 15-700276 require that the developer constructs, to a turnkey level of finish, a 140.0 m<sup>2</sup> (1,507 ft<sup>2</sup>) affordable, art studio facility for professional artists in Concord Gardens' final phase (i.e. Phase 5). The required

facility shall be constructed, owned, and operated by the developer (at no cost to the City) and will be comprised of four (4) storefront-type, universally-accessible, work-only, art studios along the development's Sexsmith Road frontage, together with parking, publicly-accessible outdoor space, bike storage, waste facilities, and electric vehicle charging. The art studios are intended to support CCAP "art district" objectives for Capstan Village by increasing the area's concentration of arts uses, expanding the availability of flexible, affordable work spaces for artists, and contributing towards a connected network of arts uses and public open spaces.

The subject application includes the required Sexsmith Art Studios (SAS) and related features. Moreover, the proposed SAS design, which complies with City guidelines, provides for:

- a) Well sized and configured art studios (appropriate for one or two artists per unit and a variety of visual arts activities), comprised of 33 m<sup>2</sup> to 37 m<sup>2</sup> (355 ft<sup>2</sup> to 398 ft<sup>2</sup>) gross leasable space per unit, including a handicapped-accessible, 2-piece washroom, floor-to-ceiling windows on at least one side of each unit, and a designated work space with a clear ceiling height of at least 3.68 m (12 ft) and a clear width of at least 3.05 m (10 ft);
  - b) Exclusive use of one (1) parking/loading space, "Class 1" bike storage room equipped with an electric vehicle charging station (120 volt duplex outlet), and garbage/recycling/organic waste facilities for studio tenants, together with the shared use of the residential tenants' loading and garbage/recycling/organic waste pick-up facilities, "Class 2" bike racks, and visitor parking; and
  - c) An animated, pedestrian-oriented frontage along the east side of Sexsmith Road that will complement the affordable, artist residential-studio units (ARTS units) currently under construction elsewhere along Sexsmith Road (i.e. Concord Gardens Phase 1 and by others on the street's west side).
- 2) **Affordable Housing:** At build-out, Concord Gardens' five phases shall provide for a combined total of 5% affordable housing, as per City policy, plus additional affordable (subsidized) rental housing for professional artists (20 ARTS units) in its first phase. As per existing legal agreements registered on title, the minimum area of affordable housing to be provided by the developer in the subject phases (at the developer's sole cost) shall be comprised of a Council-approved portion of affordable housing deferred from Concord Gardens' first phase, together with affordable housing required in respect to the City's standard (5%) affordable housing policy for the subject two phases, as follows:

Concord Gardens Minimum Affordable Housing (AH) Habitable Floor Area Requirements			
Contribution	Lot 2 (East) Area C / Phase 4	Lot 2 (West) Area D / Phase 5	Lot 2 Total
▪ Deferred Phase 1 AH	<ul style="list-style-type: none"> <li>▪ 28% of Phase 1 deferred AH</li> <li>▪ 28% x 1,087.4 m<sup>2</sup> = 304.5 m<sup>2</sup></li> </ul>	<ul style="list-style-type: none"> <li>▪ 33% of Phase 1 deferred AH</li> <li>▪ 33% x 1,087.4 m<sup>2</sup> = 358.8 m<sup>2</sup></li> </ul>	<ul style="list-style-type: none"> <li>▪ 61% of Phase 1 deferred AH</li> <li>▪ 61% x 1,087.4 m<sup>2</sup> = 663.3 m<sup>2</sup></li> </ul>
▪ Standard (5%) AH	<ul style="list-style-type: none"> <li>▪ 5% X Phase 4 residential floor area LESS applicable Phase 1 deferred AH</li> <li>▪ 5% x (19,207.1 m<sup>2</sup> - 304.5 m<sup>2</sup>) = 945.1 m<sup>2</sup></li> </ul>	<ul style="list-style-type: none"> <li>▪ 5% X Phase 5 residential floor area LESS applicable Phase 1 deferred AH</li> <li>▪ 5% x (22,888.5 m<sup>2</sup> - 358.8 m<sup>2</sup>) = 1,126.5 m<sup>2</sup></li> </ul>	<ul style="list-style-type: none"> <li>▪ 5% X Phases 4 &amp; 5 residential floor area LESS applicable Phase 1 deferred AH</li> <li>▪ 5% x (42,095.6 m<sup>2</sup> - 663.3 m<sup>2</sup>) = 2,071.6 m<sup>2</sup></li> </ul>
<b>TOTAL</b>	<ul style="list-style-type: none"> <li>▪ Min. Required AH: - 1,249.6 m<sup>2</sup> (13,454 ft<sup>2</sup>)</li> <li>▪ Proposed/Agreed Min. AH: - 1,251.4 m<sup>2</sup> (13,470.3 ft<sup>2</sup>)</li> </ul>	<ul style="list-style-type: none"> <li>▪ Min. Required AH: - 1,485.3 m<sup>2</sup> (15,988 ft<sup>2</sup>)</li> <li>▪ Proposed/Agreed Min. AH: - 1,511.6 m<sup>2</sup> (16,270.9 ft<sup>2</sup>)</li> </ul>	<ul style="list-style-type: none"> <li>▪ Min. Required AH: - 2,725.8 m<sup>2</sup> (29,339 ft<sup>2</sup>)</li> <li>▪ Proposed/Agreed Min. AH: - 2,763.0 m<sup>2</sup> (29,741.2 ft<sup>2</sup>)</li> </ul>

Based on the above, the developer will provide for 32 affordable housing units in Concord Gardens' final two phases, including 15 units in Phase 4 (i.e. 2 one-bedroom and 13 two-bedroom) and 17 in Phase 5 (i.e. 1 one-bedroom, 14 two-bedroom, and 2 three-bedroom). Two units in each phase will be 2-storey townhouses, while all others will be 1-storey apartment units designed to satisfy Richmond Zoning Bylaw requirements for Basic Universal Housing (BUH).

3) **Parks:** Legal agreements registered on title prior to adoption of rezoning and ZT 15-700276 secure various portions of the subject site (Lot 2) for park and public open space purposes and require that the design of such spaces, together with any related changes in statutory right-of-way boundaries or provisions, is addressed via the subject DP application.

a) **Neighbourhood Park Statutory Right-of-Way (SRW):** The south part of the Neighbourhood Park SRW, measuring 0.13 ha (0.33 ac), is located on the Phase 4 portion of Lot 2. Through the subject application review process, it was determined that the boundary of the SRW should be revised to eliminate the narrow strip of SRW along the east side of Phase 4 and expand the central part of the park SRW on Phase 4's north side. The resulting park design increases the amount of the SRW area available for active public open space uses and complements the quality, activities, and amenity of the portion of the park currently under construction as part of Phase 2. Legal agreements will be revised, as required, prior to DP issuance. All park works within the Lot 2 SRW area must be complete prior to occupancy of Phase 4.

b) **South Walkway and Art Studio Terrace SRW:** Prior to rezoning adoption, a linear open space SRW was registered along the entire south side of Lot 2 to accommodate a public walkway, together with a community garden and future expansion of the open space to the south when development is undertaken by others. In addition, via related applications, other SRWs are required, which SRW areas are contiguous with or overlap the public walkway SRW, including:

- Via ZT 15-700276, a public open space SRW across the frontages of the Sexsmith Art Studios to facilitate public access to arts-related events and activities; and
- Via SA 12-616223, a utilities SRW for above-grade utility cabinets.

In light of this, through the subject DP application review it has been determined that:

- The public walkway SRW, art studio public open space SRW, and utility SRW should be combined to create a comprehensive South Walkway and Art Studio Terrace SRW containing areas designated for arts uses, community gardens, utilities, vehicle access (i.e. widening at Ketcheson Road), and general public open space use, as per the sketch plan attached to the subject DP Considerations (Attachment 6, SCHEDULE A);
- The relocation of the above-grade utility cabinets from their interim location in the Sexsmith Road sidewalk to their permanent location within the subject SRW shall be managed via the City's standard Servicing Agreement process (SA 12-616223 or as otherwise determined to the satisfaction of the Director of Engineering);
- Prior to Building Permit issuance for Lot 2, the design of the South Walkway and Art Studio Terrace SRW area shall be approved by the Senior Manager, Parks; and
- As per existing legal agreements, on a phase-by-phase basis, all works within the SRW area must be complete prior to building occupancy.

- c) Organic Community Garden Operating Agreement: To facilitate the operation of the proposed community garden within the South Walkway and Art Studio Terrace SRW area, the developer shall be required to enter into an operating agreement with the City, as set out in the attached DP Considerations (Attachment 6, Item 6). In brief, the proposed agreement will provide a place for authorized members of the public (including, but not limited to, the occupants of Concord Gardens) to carry out organic gardening in accordance with City guidelines. Provisions of the agreement will include, but may not be limited to, the following:
- The garden shall contain at least 41 standard garden plots and 6 accessible garden plots, together with convenient water access, composting areas, a tool shed, an area for resting and socializing, a weather protected notice board, loading for deliveries/removal of bulk materials (e.g., soil), fencing and gates, and interpretive signage designed to enhance public awareness/understanding;
  - The operator of the Organic Community Garden shall be the developer/owner or as otherwise determined to the satisfaction of the City;
  - The operator shall be responsible for managing, maintaining, and operating the Organic Community Garden in its entirety, at the operator's sole cost, in accordance with City-approved guidelines, standards, and garden plot rents generally applicable to organic community gardens operated elsewhere in Richmond by or on behalf of the City (Attachment 6, SCHEDULE C); and
  - Operation of the Organic Community Garden shall continue in perpetuity or until such time that the City approves its termination, in which event the developer/owner shall be responsible, at the developer/owner's sole cost, to design, construct, and maintain alternative public open space landscape features and amenities within the affected portion of the South Walkway & Art Studio Terrace SRW, to the sole satisfaction of the City.
- 4) Ketcheson Road: Legal agreements registered on title prior to rezoning require that the developer design and construct Ketcheson Road in two phases, the latter of which must be complete prior to occupancy of Phase 4. Ketcheson Road will be a privately-owned/publicly-accessible road, secured for public use via a statutory right-of-way, and constructed over a two-storey residential parking structure. The design of the road is required to tie seamlessly into the north portion of Ketcheson Road, which is under construction by the developer on Lot 1 as part of Concord Gardens' Phase 1. Future development south of Concord Gardens (by others) will extend the road to Capstan Way. As Ketcheson Road will be located on a building, its review and approval is subject to the City's Development Permit and Building Permit review/approval processes, rather than a Servicing Agreement. Civil and landscape designs for the road are included in the permit drawings for DP 15-700800 and security for the road's construction is part of the DP landscape Letter of Credit.
- 5) Transitional Parking, "Class 1" Bike Storage & Electric Vehicle (EV) Charging Stations: The subject development will comply with the Zoning Bylaw with respect to Capstan Village transitional parking requirements (i.e. "Zone 2" to "Zone 1") by providing for the following, all of which shall be secured with legal agreements registered on title:
- a) Prior to occupancy of Phase 4:
- Constructing 100% of parking, "Class 1" bike storage, and electric vehicle (EV) charging stations required with respect to the entirety of Phases 4 and 5; and



- Securing those features required for the future use of Phase 5 for the interim use of Phase 4 until Phase 5 is complete;
- b) Pooling visitor parking spaces for the shared use of Phases 4 and 5; and
- c) Providing a higher ratio of electric vehicle (EV) charging stations for parking than required under the Official Community Plan (i.e. 30% rather than 20%), as per the ratio previously approved for Concord Gardens Phases 1, 2, and 3.

Area/ Phase	# Residential Units	Min # Parking Spaces & EV Charging Stations				Min "Class 1" Bike Storage	
		# Residents (R)	# Visitors (V) (1)	# EV Plug-In (2)	# EV Rough-In (3)	# Bikes	# EV Plug-Ins (4)
Area C Phase 4	Market = 218 AH = 15 Total = 233	Market = 196 AH = 12 Total = 208 (R)	42 (V)*	75	63	Market = 273 AH = 19 Total = 292	Market = 27 AH = 2 Total = 29
Area D Phase 5	Market = 275 AH = 17 Total = 292	Market = 248 AH = 14 Total = 262 (R)	53 (V)*	95	79	Market = 344 AH = 22 Total = 366	Market = 34 AH = 3 Total = 37
<b>SUB-TOTAL</b>	Market = 493 AH = 32 Total = 525	Market = 444 AH = 26 Total = 470 (R)	95 (V)*	170 NOTE: 100% to be assigned to residents	142	Market = 617 AH = 41 Total = 658	Market = 61 AH = 5 Total = 66
		470 (R) + 95 (V)* = 565					
Art Studios	N/A	1		1	Nil	8	1
<b>TOTAL</b>	-	<b>566</b>		<b>171</b>	<b>142</b>	<b>666</b>	<b>67</b>

"AH" means Affordable Housing unit or units. "Market" means strata-titled condominium unit or units. "Art Studios" means the affordable, work-only Sexsmith Art Studios (SAS) facility proposed for Phase 5 (Area D).

- (1) Visitor parking required for the affordable housing units and market units shall be pooled and shared.
- (2) Electric vehicle (EV) Plug-Ins (i.e. 120 volt duplex outlets) must be provided at a rate of 30% of the combined total number of resident and visitor parking spaces.
- (3) Electric vehicle (EV) Rough-Ins (i.e. pre-ducting for the future installation of 120 volt duplex outlets by others) must be provided at a rate of 25% of the combined total number of resident and visitor parking spaces.
- (4) Electric vehicle (EV) Plug-Ins for "Class 1" bikes (i.e. 120 volt duplex outlets) must be provided at a rate of 1 for each 10 bikes or portion thereof in each bike room.

6) **Public Art:** As per the Public Art Master Plan for Concord Gardens:

- a) For the east portion of the subject application (Area C / Phase 4), the developer made an advance voluntary contribution that fully satisfies the public art requirements via the Development Permit approval process for Area B/ Phase 2 (DP 13-611486).
- b) For the west portion of the subject application (Area D / Phase 5), as per existing legal agreements registered on title (prior to rezoning), the developer is required to submit a Detailed Public Art Plan (i.e. generally for the public walkway along the site's south side and the frontages of the proposed art studios) with a value of at least \$269,504, which contribution shall be secured with a Letter of Credit previously submitted by the developer with respect to Area E / Phase 3 (DP 14-670686) and an additional Letter of Credit and cash contribution for \$181,777 prior to issuance of the subject Development Permit (as per the value of the Outstanding Voluntary Developer Contribution identified in the table below).



Lot & Area	Max. Permitted Floor Area	Affordable Housing (1)	Buildable Area (2)	Applicable Developer Contribution Rate	Value of Area Specific Detailed Art Plan
Lot 2 / Area D	22,888.5 m <sup>2</sup> (246,369 ft <sup>2</sup> )	1,511.6 m <sup>2</sup> (16,271 ft <sup>2</sup> )	21,376.9 m <sup>2</sup> (230,098 ft <sup>2</sup> )	\$0.79/ft <sup>2</sup> (City-approved 2015 rate)	\$181,777
Lot 1 / Area E	Letter of Credit previously submitted via DP 14-670686 (Phase 3) for the future installation of public art in coordination with Lot 2 / Area D				\$87,727
<b>TOTAL Value of the Area Specific Detailed Public Art Plan for Lot 2 / Area D</b>					<b>\$269,504</b>
<b>Outstanding Voluntary Developer Contribution</b>					<b>\$181,777</b>
<ul style="list-style-type: none"> <li>▪ Cash contribution to the Public Art Operating Provision (as per City policy)</li> <li>▪ Letter of Credit (LC) to secure public art for Lot 2 / Area D</li> </ul>					(Cash) \$13,475 (LC) \$168,302

(1) Exempt from "Buildable Area" for Public Art purposes

(2) Buildable Area = Maximum Permitted Floor Area – Affordable Housing

- 7) Shared Indoor Amenity Space: As per CCAP policies that encourage developers of large residential projects to group indoor amenity spaces to provide for special uses (e.g., indoor pools), Phase 2 of Concord Gardens (which will be complete prior to occupancy of the subject phases) includes a large, multi-use, amenity facility that exceeds CCAP amenity space requirements and is secured with legal agreements for the shared use of all live phases of Concord Gardens. (Attachment 2) In light of this, the developer proposes smaller, phase-specific indoor amenity spaces in the two subject phases (i.e. not shared with other phases). While these phase-specific spaces are 63.4 m<sup>2</sup> and 63.6 m<sup>2</sup> (682 ft<sup>2</sup> and 685 ft<sup>2</sup>) in size, which is smaller than required under the CCAP based on 2.0 m<sup>2</sup> (21.5 ft<sup>2</sup>) per unit, the combined total area of indoor amenity space proposed for Concord Gardens exceeds City requirements by 247.4 m<sup>2</sup> (2,663 ft<sup>2</sup>) as indicated in the table below.

Phase	Lot	Area	# Units	Concord Gardens Indoor Amenity Space Requirements		
				Min. Required @ 2 m <sup>2</sup> /unit	Provided	Surplus/Shortfall
1	1	A	280	560 m <sup>2</sup>	625 m <sup>2</sup>	Lot 1 – SURPLUS = 1,170.4 m <sup>2</sup>
2	1	B	261	522 m <sup>2</sup>	1,897.4 m <sup>2</sup>	
3	1	E	135	270 m <sup>2</sup>	Nil	
<b>Sub-Total</b>			<b>676</b>	<b>1,352 m<sup>2</sup></b>	<b>2,522.4 m<sup>2</sup></b>	
4	2	C	233	466 m <sup>2</sup>	63.4 m <sup>2</sup>	Lot 2 – SHORTFALL = 923.0 m <sup>2</sup>
5	2	D	292	584 m <sup>2</sup>	63.6 m <sup>2</sup>	
<b>Sub-Total</b>			<b>525</b>	<b>1,050 m<sup>2</sup></b>	<b>127.0 m<sup>2</sup></b>	
<b>COMBINED TOTAL</b>			<b>1,201</b>	<b>2,402 m<sup>2</sup></b>	<b>2,649.4 m<sup>2</sup></b>	<b>Lot 1 &amp; 2 – SURPLUS = 247.4 m<sup>2</sup></b>

- 8) View Blockage and Other Potential Development Impacts: As per legal agreement(s) registered on title, the developer has submitted a letter of assurance confirming that the appropriate acoustical, mechanical, and architectural measures have been incorporated into the design of the subject development.
- 9) Loading & Waste Collection Strategy: The developer has prepared a coordinated strategy addressing the anticipated loading, garbage, recycling, and organic waste needs of Phases 4 and 5 (lot 2) to the satisfaction of the City's Transportation and Sanitation/Recycling staff.

- 10) **Capstan Station Bonus:** As per existing legal agreements registered on title, the developer will contribute funds towards the Capstan Station Reserve, on a phase-by-phase basis, based on the Council-approved rate in effect at the time of Building Permit issuance (i.e. approximately \$4.33 million, based on the current approved rate). Publicly-accessible open space required with respect to the bonus was secured via statutory right-of-ways prior to rezoning adoption.

### **Zoning Compliance/Variations (staff comments in bold)**

The subject site is zoned “High Rise Apartment and Artist Residential Tenancy Studio Units (ZIIR10) – Capstan Village (City Centre)”, a site-specific zone only applicable to the Concord Gardens five-phase development site. The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Increase the maximum allowable building height for the east building within 50.0 m of a lot line abutting Garden City Road from 28.0 m to 31.5 m for an enclosed stair shaft, elevator penthouse, and guardrail.

*Staff support the proposed 3.5 m increase in maximum permitted building height on the basis that the features should have minimal visual impact on views from surrounding development and are needed to facilitate residential amenity use on the rooftop of the east building’s mid-rise wing.*

- b) Reduce the minimum allowable road and park setbacks for the west building from 3.0 m to:
- (i) 0.0 m from the South Walkway and Art Studio Terrace Statutory Right-of-Way in the vicinity of the art studios; and
  - (ii) 2.82 m from the Hazelbridge Way Sidewalk Widening Statutory Right-of-Way near the building’s northwest corner.

*Staff support the proposed variations because:*

- *Along the art studio frontages, the variance will not diminish the intended size of the fronting public “terrace”, as determined via ZT 15-700276, nor impact its use as a venue for small-scale arts-related events and activities; and*
- *Along Hazelbridge Way, the variance involves a corner of the building (which will not conflict with pedestrian activity) and will be more than compensated for by larger than required setbacks along most of the street frontage.*

- c) Increase the maximum allowable projections into the required yards:
- (i) For the east building, from 1.2 m to 1.47 m for a cantilevered roof at the building’s southwest corner; and
  - (ii) For the west building, from 1.0 m to 1.37 m for balconies at the west tower’s south side.

*Staff support the proposed variance because the projections will provide for visual interest without impacting pedestrian amenity, the public realm, or neighbouring development.*

### **Advisory Design Panel Comments**

The subject phases of Concord Gardens were presented for consideration by the Advisory Design Panel on November 4, 2015. The Panel supported the application advancing to the Development Permit Panel, subject to the applicant giving consideration to the Panel’s

comments. A copy of the relevant excerpt from the Advisory Design Panel Meeting Minutes of November 4, 2015 is attached for reference (Attachment 4). The design response from the applicant has been included immediately following each specific Panel comment and is identified in *'bold italics'*. It is the opinion of staff that the applicant has satisfactorily addressed the Panel's comments, generally as follows:

- 1) Prior to Development Permit issuance, the developer will submit a detailed public art plan for the subject site, secured with a letter of credit;
- 2) The design of the public walkway along the site's south side (South Walkway) has been refined to make it more accessible and appealing and enhance its use for community gardens;
- 3) Weather protection and other features are incorporated into the rooftop amenity spaces to make them more attractive and supportive of varied activities (e.g., socializing, sunning, dining); and
- 4) The developer's LEED consultant will track the project's LEED requirements (Attachment 5) through construction documentation (as if registration was intended) including, among other things, the subject phases' energy points, which will be achieved with a similar envelope design and mechanical system to those used in Concord Gardens' earlier phases.

### **Analysis**

The subject residential project comprises Phases 4 and 5 of a five-phase, multi-family residential development situated within walking distance of the future Capstan Canada Line station. The subject phases take their design cues from Concord Gardens' earlier phases, while establishing their own unique identities. Key features of the subject phases include the:

- 1) Strong definition of public street and open space edges through a continuation of Concord Gardens' established tower/podium typology, clearly articulated mid-rise forms, and prominent towers/lobbies, all within a park-like setting characterized by extensive planting, trees, water and landscape features, and high quality architectural finishes;
- 2) Sexsmith Art Studios, four accessible, street-oriented, work-only art studio units with large retail-style display windows and a public "terrace" for events and activities; and
- 3) Completion of Concord Gardens' public street (e.g., Ketcheson Road) and open space network (e.g., Neighbourhood Park, organic community gardens).

### **Conditions of Adjacency**

Concord Gardens' "High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) Capstan Village (City Centre)" zone specifies the location of the subject phases and guides their general massing. Moreover, through the development's rezoning (RZ 06-349722) and subsequent Zoning Text Amendment (ZT 15-700276), legal agreements were registered on title with respect to the Sexsmith Art Studios and the sizes, distribution, uses, and development concepts for various required public street and open space features that define the edges of the residential building sites (i.e. Ketcheson Road, Neighbourhood Park, South Walkway and Art Studio Terrace, Sexsmith Road Bikeway, and Garden City Road Greenway). The subject phases of development respond well to this context and satisfactorily address conditions of adjacency as follows:

- 1) Phase 4 (cast building), like Phase 2 along the north side of the Neighbourhood Park, is designed as a single tower with a long mid-rise wing that steps down towards the east to strongly define the south edge of the park while minimizing shadowing on key public uses,

respecting lower height development east of Garden City Road, and maximizing setbacks to future development south of Concord Gardens.

- 2) Phase 5 (west building), is designed as twin towers connected by a mid-rise form that are set far back from the curvilinear alignment of Hazelbridge Way to maximize tower spacing and open up views to/from the Neighbourhood Park for the subject phase and Phase 1, while satisfying CCAP tower spacing and setbacks to future development on the south (by others).
- 3) The Sexsmith Art Studios (Phase 5) provide for a pedestrian-friendly streetscape that will enhance Sexsmith Road and complement the use and character of the ARTS units (i.e. subsidized studio-dwellings for professional artists) under construction along the road's east side as part of Phase 1 and along its west side by others.
- 4) There are no interior corner units in Phase 5 and those located in Phase 4 are all large, 2-bedroom units wrapped around corner balconies, which form serves to maximize views out and minimize overlook.
- 5) Along the south side of the lot (Phases 4 and 5), a two-storey parking structure (partly above existing grade) is proposed to be built to the property line. On top of the parking, Concord Gardens' network of public streets and open spaces has been designed to facilitate its seamless extension to the south when neighbouring properties are redeveloped by others. In the interim, the exposed concrete face of the parking structure will be embellished with a random pattern of slender rectangular indentations and varying shades of grey paint (mimicking the pattern of the basalt cladding used on the project's permanent landscape walls), together with trailing vines planted along the top of the wall (as part of the permanent landscaping of the publicly-accessible South Walkway and Art Studio Terrace SRW).

### ***Urban Design and Site Planning***

The overall form of development is consistent with City objectives established for the subject site through the rezoning process and will contribute towards an attractive, pedestrian-friendly, high density environment. More specifically:

- 1) The rectilinear arrangement of buildings along the south side of the site serves to complete the definition of Concord Gardens' large open space feature and reinforce it as a focus for the development and the eastern terminus of Hazelbridge Way, while providing for a similar urban relationship with future open spaces and development to the south (by others).
- 2) A large landscaped space on the north side of Phase 4 serves to expand the Neighbourhood Park and enhance the public/private interface with the fronting residential uses, and is complemented by a large private landscape space on the north side of Phase 5 that imparts a park-like quality to Hazelbridge Way.
- 3) The buildings in both phases are relatively slender north-to-south, which helps to minimize impacts on neighbours and opens up views through the site.
- 4) All of the development's parking is concealed below finished grade, which effectively minimizes the portion of the site occupied by above-grade building elements and maximizes usable open space, as demonstrated by the following table:



Feature	Site Area	Portion of Lot 2
Gross Site (Lot 2)	1.18 ha (2.92 ac)	100%
Ketcheson Road SRW	0.11 ha (0.28 ac)	9%
Above-Grade Building Footprints	0.39 ha (0.97 ac)	33%
<b>Landscape</b>	<b>0.68 ha (1.67 ac)</b>	<b>58%</b>
▪ Public Open Space SRW	0.34 ha (0.84 ac)	(29%)
▪ Outdoor Amenity Space & Other Landscape	0.34 ha (0.83 ac)	(29%)

### *Architectural Form and Character*

The CCAP encourages the City Centre to be developed as a mosaic of distinctive, yet cohesive, urban villages. The design of the subject phases of Concord Gardens aims to satisfy this objective by building on the clean, contemporary architectural vocabulary established in its earlier phases, while intentionally working to avoid repetition.

- 1) Phase 4 (east building): This phase is comprised of a stepped high/mid-rise building that transitions down from 15 storeys at Ketcheson Road to 10 storeys at Garden City Road. The lowest two storeys are articulated with a brick frame, above which slab extensions are used to enhance the horizontal lines of the building and define an animated composition of solid and patterned spandrel panels. The importance of the tower as a gatepost visually anchoring the southwest corner of the park is enhanced with frames and variations in facade articulation that serve to elongate the building's vertical lines. Materials include:
  - Architectural concrete, including expressed slab edges in select locations and painted concrete frames;
  - Brick base;
  - Silver and dark grey aluminum window frames;
  - Coloured metal spandrel panels and patterned high pressure laminate panels; and
  - Aluminum frame, glazed balcony guards.
  
- 2) Phase 5 (west building): This phase is comprised of 16-storey twin towers connected by an 11-storey building. The first two floors are expressed with stone frames, bookended by distinctive, glazed tower lobbies, which provide a pedestrian scale and visually tie together the lower residential levels (i.e. townhouses and garden apartments on the north and terrace apartments overlooking the community garden on the south). The use of decorative frame elements extends up the building in brick, overlaid with an off-set window pattern, which together animate the façade. The upper tower floors have been cut back to create distinctive skyline features with large roof overhangs supported on slender columns that offer unique tower-top outdoor amenity spaces for residents. Materials include:
  - Architectural concrete, including expressed slab edges in select locations;
  - Stone frames at the base and brick frames above;
  - Silver-coloured aluminum window frames in combination with coloured and light grey spandrel panels; and
  - Aluminum and glass balcony guards and bypass glazed guards.



***Landscape Design and Open Space Design***

The CCAP encourages the development of Capstan Village with a network of small- and medium-size neighbourhood parks linked by greenways, bikeways, mid-block walkways, and other landscape features. In addition, Zoning Bylaw requirements in respect to the Capstan Station Bonus require that benefitting developments (including the subject development) provide on-site publicly-accessible open space over and above basic CCAP park standards. Through the rezoning process, a park concept was approved for Concord Gardens. The park concept features specific to the subject phases, together with the extension of Ketcheson Road, outdoor amenity space for the use of residents, and related landscape features, shall be secured with the subject application's landscape Letter of Credit, valued at \$2,170,512.94, as specified in the DP Considerations. (Attachment 6)

Park concept features specific to the subject phases include:

- 1) **Neighbourhood Park**: The design of the Phase 4 portion of the Neighbourhood Park is consistent with the conceptual park design reviewed and approved via rezoning and the Phase 2 DP process (DP 13-642725). Features proposed as part of Phase 4 include the completion of walkways, water features, and planting areas along the south side of the park's children's playground and recreation spaces.
- 2) **South Walkway and Art Studio Terrace**: Key features of this public open space include:
  - Along the frontage of the Sexsmith Art Studios, an accessible terrace, including seating, signage, lighting, weather protection, and related features, is provided to facilitate the temporary display and production of artworks and related events that complement the activities carried on within the studios;
  - South of the Art Studios, a switchback ramp and stair, seating, trees, and planting provide an inviting entrance to the walkway;
  - Along the south side of Phase 4, extending from the Sexsmith Road ramp to Ketcheson Road, a community garden is designed to provide a place for the public (including, but not limited to, the occupants of Concord Gardens) to carry out gardening in accordance with City guidelines and operating agreement (as specified in the DP Considerations, Attachment 6);
  - Level access to Ketcheson Road; and
  - East of Ketcheson Road, a linear pocket park, landscaped with trees, planting, and seating, and linked to Garden City Road via a broad, landscaped stair.

Landscaped areas for the enjoyment of residents include:

- 1) At Phase 4, shared outdoor amenity spaces at the:
  - Finished grade, in the form of a landscaped seating pavilion and gardens with direct access to the south side of the Neighbourhood Park; and
  - Mid-rise rooftop, in the form of a passive recreation space providing play equipment for small children and space for socializing and outdoor cooking/dining;
- 2) At Phase 5, shared outdoor amenity spaces at the:
  - Finished grade, in the form of a water garden and terrace overlooking Hazelbridge Way;
  - Mid-rise rooftop, in the form of a passive recreation space providing play equipment for small children and space for sunning and socializing; and

- Tower rooftops, in the form of partially roofed spaces for year-round use for outdoor cooking/dining, socializing, and enjoying the view;
- 3) Street front landscaping, including water features, trees, planting, terraced grade changes, street furnishing, and related features; and
  - 4) Private outdoor amenity space for each residential unit in the form of a balcony, patio, or terrace.

Note that there are currently no trees on the subject site and all tree replacement issues have been addressed through the original rezoning and earlier phases of development.

#### ***Crime Prevention through Environmental Design (CPTED)***

Measures are proposed to enhance safety and personal security including, but not limited to:

- 1) The lobbies, which will be supervised by concierges, are prominently located with clear sightlines to fronting streets and public open spaces;
- 2) Outdoor amenity spaces will be visually open and well lit, offer multiple access options, and be separated from public areas by landscape and/or water features;
- 3) The residential development's site planning and building design provides for the passive surveillance of all street and park and publicly-accessible open spaces frontages; and
- 4) Park and public open spaces will be lit at night and are designed to minimize hidden corners.

#### ***Accessible Housing***

Richmond's OCP seeks to meet the needs of the city's aging population and people facing mobility challenges by encouraging the development of accessible housing that can be approached, entered, used, and occupied by persons with physical or sensory disabilities. To address the City's policy, the developer proposes to provide:

- 1) Six accessible garden plots (i.e. 4 for wheelchairs and 2 for standing) within the South Walkway's public community garden;
- 2) Barrier-free access to all building lobbies and indoor and outdoor amenity spaces (both at grade and on the mid-rise and tower rooftops);
- 3) 103 Basic Universal Housing (BUH) units (i.e. 20% of total units), including 28 affordable housing units and 75 market housing units, incorporating all the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw so that they may be easily renovated to accommodate a future resident in a wheelchair; and
- 4) Aging in place features in all dwellings, including:
  - Stairwell hand rails;
  - Lever-type handles for plumbing fixtures and door handles; and
  - Solid blocking in washroom walls to facilitate future grab bar installation (by others) beside toilets, bathtubs, and showers.

#### ***Sustainability Measures – LEED “Silver”***

The project's sustainability goal is to provide a cost-effective, high-value development that meets or exceeds City standards (i.e. LEED “Silver” equivalent) and the standards targeted for Concord Gardens' previous phases (i.e. 55 LEED points). The development proposal responds to City

objectives for enhanced long-term environmental, fiscal, and social sustainability as per the attached I.F.F.D Checklist (Attachment 5). In brief, among other things the development will:

- 1) Be District Energy Utility (DEU) "ready", such that it will be capable of connecting to a City DEU system when one comes available;
- 2) Undergo simulations for energy analysis to optimize performance;
- 3) Incorporate rainwater management measures aimed at reducing the volume of storm water entering the City storm system via the re-use of rainwater for landscape irrigation, a supplementary water source for water features, and the nourishment of rain gardens within public spaces;
- 4) Include green roofs and vegetated outdoor areas;
- 5) Incorporate water efficient irrigation (i.e. moisture sensor system) and plumbing fixtures (c.g., low-flow shower, kitchen, and lavatory faucets and dual flush toilets); and
- 6) Contribute towards the construction of the Capstan Canada Line station, implement Transportation Demand Management (TDM) measures, complete off-street bike path and pedestrian improvements, and provide for a multi-phase "transitional parking strategy" aimed at minimizing parking demand and supporting transit and alternative travel modes.

### Conclusions

The proposed development is consistent with Richmond's objectives for the subject property and Capstan Village, as set out in the OCP, City Centre Area Plan, and Zoning Bylaw. The project's proposed form and character complements the design of Concord Gardens' previously approved residential buildings and Neighbourhood Park, and the proposed work-only art studios (Sexsmith Art Studios) will complement the subsidized artist residential/studio units under construction in Concord Gardens' first phase and contribute towards an animated streetscape. Furthermore, the project has been designed to facilitate the ongoing development (by others) of the area's public open space and street networks (including the extension of a new street, Ketcheson Road, to Capstan Way). On this basis, staff support the proposed development and recommend approval of the subject Development Permit application.



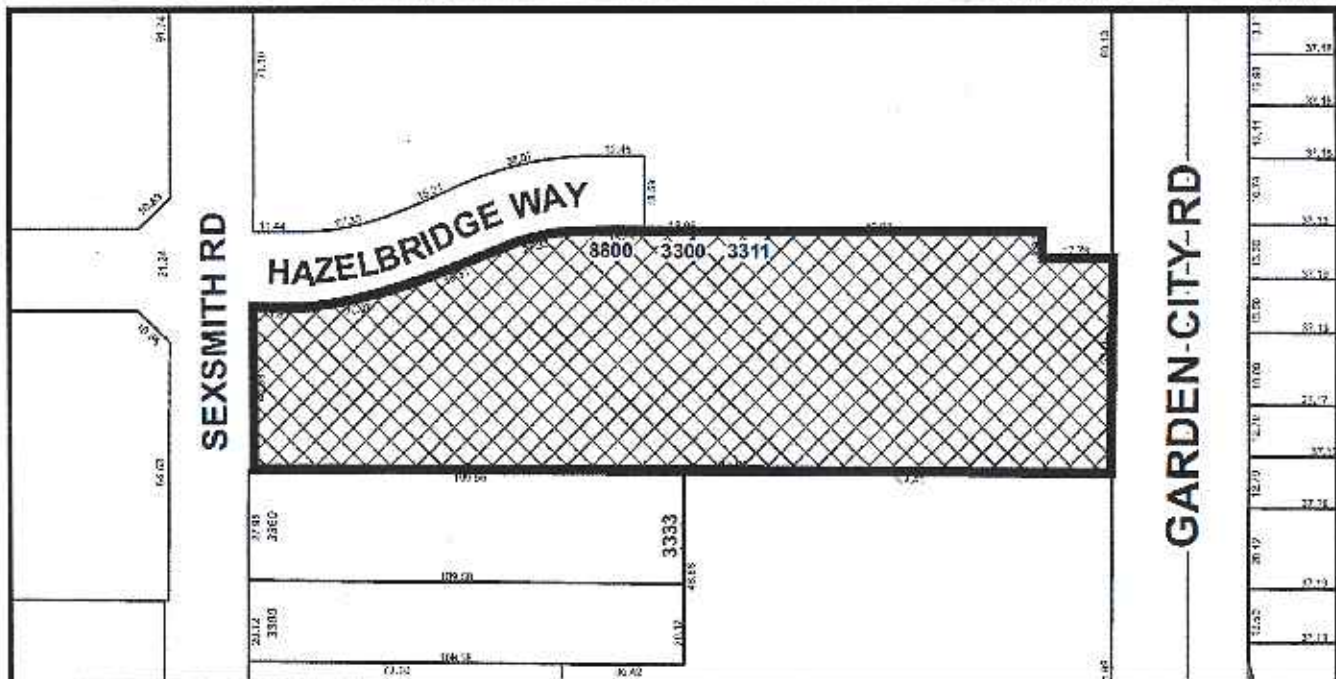
Suzanne Carter-Huffman  
Senior Planner/Curban Design

SPC:cas

- Att. 1 Location Map
- Att. 2 Concord Gardens Key Map
- Att. 3 Development Application Data Sheet
- Att. 4 Advisory Design Panel Meeting Minutes (Excerpt), November 4, 2015
- Att. 5 I.F.F.D "Silver" Checklist (Equivalent)
- Att. 6 Development Permit Considerations



City of  
Richmond



DP 15-700800

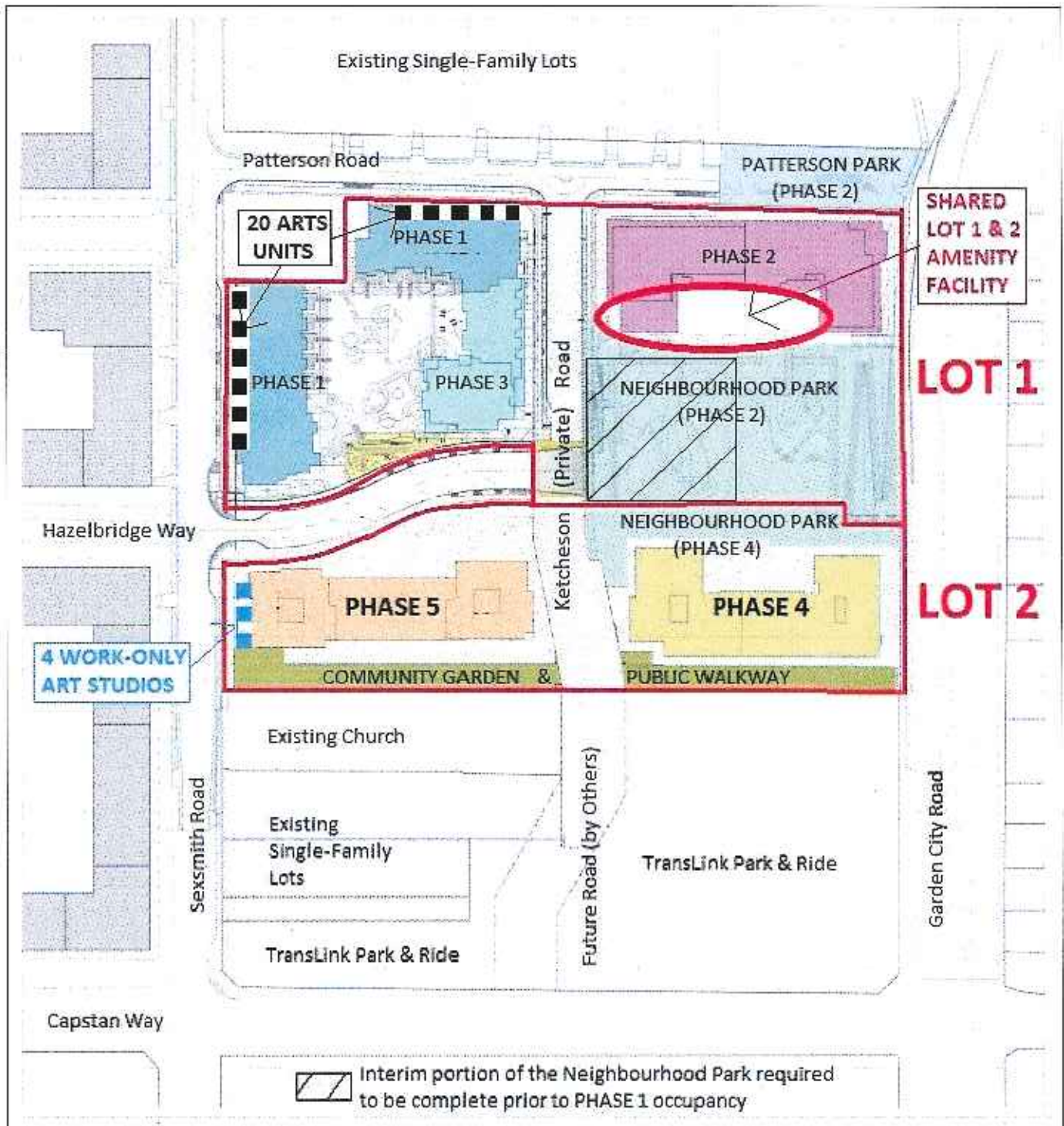
Original Date: 07/16/15

Revision Date: 01/25/16

Note: Dimensions are in METRES



**ATTACHMENT 2**  
Concord Gardens Key Map







**DP 15-700800**

Address: 8800 Hazelbridge Way & 3300 & 3311 Ketcheson Road - "Concord Gardens"  
Phase 4 (Lot 2/ Area C) "East" of Ketcheson Road & Phase 5 (Lot 2 / Area D) "West" of Ketcheson Road

Applicant: GBL Architects Inc. Owner: 0754999 BC Ltd, Inc. No. 939550

Planning Area(s): City Centre (Capstan Village)

Floor Area Gross: 43,906.7 m2 (472,608 ft2) Floor Area Net: 42,095.6 m2 (453,113 ft2)

TABLE 1	Existing	Proposed
<b>Site Area</b>	<ul style="list-style-type: none"> <li>1.18 ha (2.92 ac)</li> </ul>	<ul style="list-style-type: none"> <li>1.18 ha (2.92 ac), including:               <ul style="list-style-type: none"> <li>38% road &amp; public open space SRW: 0.45 ha (1.12 ac)</li> <li>62% net above-grade building site: 0.73 ha (1.80 ac)</li> </ul> </li> </ul>
<b>Land Uses</b>	<ul style="list-style-type: none"> <li>Vacant, except that part will be used for park &amp; resident parking on an interim basis</li> </ul>	<ul style="list-style-type: none"> <li>High-rise residential, including Affordable Housing</li> <li>Affordable, work-only, artist studios (4 units)</li> <li>Publicly-accessible (SRW) open space</li> <li>Publicly-accessible (SRW) road (Ketcheson Road)</li> </ul>
<b>OCP Designation</b>	<ul style="list-style-type: none"> <li>Mixed Use</li> </ul>	<ul style="list-style-type: none"> <li>No change</li> </ul>
<b>Zoning</b>	<ul style="list-style-type: none"> <li>High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre)</li> </ul>	<ul style="list-style-type: none"> <li>No change</li> </ul>
<b>Net Floor Area<sup>(1) (2)</sup></b>	<ul style="list-style-type: none"> <li>Nil</li> </ul>	<ul style="list-style-type: none"> <li>Market: 39,332.6 m2 (423,371.8 ft2)</li> <li>Affordable Housing: 2,763.0 m2 (29,741.2 ft2)</li> <li>TOTAL: 42,095.6 m2 (453,113.0 ft2)</li> </ul>
<b>Amenity Bonus Floor Area (ZHR10)</b>	<ul style="list-style-type: none"> <li>Nil</li> </ul>	<ul style="list-style-type: none"> <li>"Sexsmith Arts Studios": 140.0 m2 (1,507 ft2)               <ul style="list-style-type: none"> <li>4 affordable, work-only art studio units (plus parking &amp; ancillary uses), all secured with legal agreements</li> </ul> </li> </ul>
<b>Number of Units</b>	<ul style="list-style-type: none"> <li>Nil</li> </ul>	<ul style="list-style-type: none"> <li>Market: 493 (218 @ East &amp; 275 @ West)</li> <li>Affordable Housing: 32 (15 @ East &amp; 17 @ West)</li> <li>TOTAL: 525 (233 @ East &amp; 292 @ West)</li> </ul>
<b>Basic Universal Housing (BUH)</b>	<ul style="list-style-type: none"> <li>Nil</li> </ul>	<ul style="list-style-type: none"> <li>Market (15%): 75 BUH (33 @ East &amp; 42 @ West)</li> <li>Affordable Housing (88%): 28 BUH (13 @ East &amp; 15 @ West)</li> <li>TOTAL (20%): 103 BUH (46 @ East &amp; 57 @ West)</li> </ul>

(1) **Net Floor Area:** The ZHR10 zone specifies the maximum total floor area permitted in each of Concord Gardens' five (5) phases and in total, as per TABLE 3.

(2) **Affordable Housing Net Floor Area:** As per legal agreements registered on title prior to rezoning & set out in the attached Development Permit Considerations (Attachment 6, SCHEDULE D).

TABLE 2	Bylaw Requirement	Proposed	Variance
<b>Net Floor Area* (Max permitted under ZHR10)</b>	<ul style="list-style-type: none"> <li>East (Area C):               <ul style="list-style-type: none"> <li>19,400.0 m2 (208,820 ft2)</li> </ul> </li> <li>West (Area D):               <ul style="list-style-type: none"> <li>23,700.0 m2 (255,105 ft2)</li> </ul> </li> <li>Total: 43,100 m2 (463,925 ft2)</li> </ul>	<ul style="list-style-type: none"> <li>East (Area C):               <ul style="list-style-type: none"> <li>19,207.1 m2 (206,744 ft2)</li> </ul> </li> <li>West (Area D):               <ul style="list-style-type: none"> <li>22,888.5 m2 (246,369 ft2)</li> </ul> </li> <li>Total: 42,095.6 m2 (453,113 ft2)</li> </ul>	<ul style="list-style-type: none"> <li>None permitted</li> </ul>

TABLE 2	Bylaw Requirement	Proposed	Variance
Lot Coverage (Max)	<ul style="list-style-type: none"> <li>90%, net of all road &amp; public open space SRW areas</li> </ul>	<ul style="list-style-type: none"> <li>54%</li> </ul>	<ul style="list-style-type: none"> <li>None</li> </ul>
Setbacks @ Roads & Parks (Min)	<ul style="list-style-type: none"> <li>6.0 m to road or public open space lot line or SRW, but this may be reduced to 3.0 m based on approved design</li> </ul>	<ul style="list-style-type: none"> <li>3.0 m, EXCEPT reduced to:                             <ul style="list-style-type: none"> <li>2.82 m along Hazelbridge Way SRW near Sexsmith Road</li> <li>Nil along the frontages of the Art Studios (SRW)</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>Decrease the setback from 3.0 m to 2.82 m along the Hazelbridge Way SRW near Sexsmith Road &amp; nil along the frontages of the Art Studios (SRW)</li> </ul>
	<ul style="list-style-type: none"> <li>Below-grade parking: Nil</li> </ul>	<ul style="list-style-type: none"> <li>Below-grade parking: Nil</li> </ul>	<ul style="list-style-type: none"> <li>None</li> </ul>
	<ul style="list-style-type: none"> <li>1.2 m for cantilevered roofs</li> </ul>	<ul style="list-style-type: none"> <li>1.2 m, EXCEPT increased to 1.47 m at the East building's southwest corner</li> </ul>	<ul style="list-style-type: none"> <li>Increase from 1.2 m to 1.47 m at the East building's southwest corner</li> </ul>
	<ul style="list-style-type: none"> <li>1/3 of the required yard for balconies</li> </ul>	<ul style="list-style-type: none"> <li>1/3 of the required yard, EXCEPT increased from 1.0 m to 1.37 m at the West building's southwest corner</li> </ul>	<ul style="list-style-type: none"> <li>Increase from 1.0 m to 1.37 m at the West building's southwest corner</li> </ul>
Height (Max)	<ul style="list-style-type: none"> <li>Within 50 m of Garden City Road: 25 m, but this may be increased to 28.0 m based on approved design</li> </ul>	<ul style="list-style-type: none"> <li>28.0 m, EXCEPT:                             <ul style="list-style-type: none"> <li>An enclosed stair, elevator penthouse &amp; guardrail are a maximum of 31.5 m (i.e. 3.5 m increase)</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>Increase height from 28.0 m to 31.5 m for an enclosed stair, elevator penthouse &amp; guardrail</li> </ul>
	<ul style="list-style-type: none"> <li>Elsewhere: 35.0 m, but this may be increased to 47.0 m GSC based on approved design</li> </ul>	<ul style="list-style-type: none"> <li>47.0 m GSC</li> </ul>	<ul style="list-style-type: none"> <li>None</li> </ul>
Lot Size (Min)	<ul style="list-style-type: none"> <li>5,000.0 m<sup>2</sup> (1.24 ac)</li> </ul>	<ul style="list-style-type: none"> <li>1.18 ha (2.92 ac)</li> </ul>	<ul style="list-style-type: none"> <li>None</li> </ul>
Off-Street Parking (Min) <ul style="list-style-type: none"> <li>(R): Residents</li> <li>(V): Visitors</li> <li>(AH): Affordable Housing</li> </ul>	<ul style="list-style-type: none"> <li>Transitional parking strategy (Zone 2 to Zone 1) required</li> <li>Zone 1 requirement (less 10% TDM relaxation) @ build-out:                             <ul style="list-style-type: none"> <li>(R): 470, including (AH) 26</li> <li>(V): 95</li> <li>Art Studios: 1</li> <li>TOTAL: 566</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>566 spaces, as per the Bylaw requirement</li> <li>100% of parking will be built prior to occupancy of the first building (legal agreement to be registered)</li> </ul>	<ul style="list-style-type: none"> <li>None</li> </ul>
Off-Street Parking Spaces – Type	<ul style="list-style-type: none"> <li>Small Car: 50% max = 283                             <ul style="list-style-type: none"> <li>(R) 235 + (V) 48</li> </ul> </li> <li>Handicap: 2% min = 12                             <ul style="list-style-type: none"> <li>(R) 10 + (V) 2</li> </ul> </li> <li>Tandem: Permitted (Not proposed)</li> <li>Art Studios: 1 (Handicap size)</li> </ul>	<ul style="list-style-type: none"> <li>Small: 98                             <ul style="list-style-type: none"> <li>(R) 51 + (V) 47</li> </ul> </li> <li>Handicap: 12                             <ul style="list-style-type: none"> <li>(R) 10 + (V) 2</li> </ul> </li> <li>Tandem: Nil</li> <li>Art Studios: 1 (Handicap size)</li> </ul>	<ul style="list-style-type: none"> <li>None</li> </ul>
Off-Street Bike Spaces (Min)	<ul style="list-style-type: none"> <li>Class 1: 666                             <ul style="list-style-type: none"> <li>(R) Market: 617</li> <li>(R) Affordable Housing: 41</li> <li>Art Studios: 8</li> </ul> </li> <li>Class 2: 106</li> </ul>	<ul style="list-style-type: none"> <li>Class 1: 666, as per the Bylaw requirement</li> <li>Class 2: 106, as per the Bylaw requirement</li> </ul>	<ul style="list-style-type: none"> <li>None</li> </ul>
EV Charging Stations (120V) – Vehicles (Min)	<ul style="list-style-type: none"> <li>Plug-Ins: 171                             <ul style="list-style-type: none"> <li>30% of total (R) &amp; (V) parking: 170, including (AH) 10</li> <li>Art Studios: 1</li> </ul> </li> <li>Rough-Ins @ 25% of total (R) &amp; (V) parking: 142, including (AH) 8</li> </ul>	<ul style="list-style-type: none"> <li>Plug-Ins: 171 (as required), 100% of which shall be assigned to residents &amp; the Art Studios</li> <li>Rough-Ins: 142 (as required)</li> </ul>	<ul style="list-style-type: none"> <li>None</li> </ul>

<b>TABLE 2</b>	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
EV Charging Stations (120V) - Class 1 Bikes (Min)	<ul style="list-style-type: none"> <li>Plug-Ins: 67</li> <li>(R): 1 for each 10 "Class 1" bikes: 66, including (AH) 5</li> <li>Art Studios: 1</li> </ul>	<ul style="list-style-type: none"> <li>Plug-Ins: at least 67 (as required)</li> </ul>	<ul style="list-style-type: none"> <li>None</li> </ul>
Amenity Space -- Indoor (Min)	<ul style="list-style-type: none"> <li>2.0 m2/unit: 1,050 m2</li> <li>HOWEVER, Phases 1-3 pre-built excess indoor amenity space for shared use (1,170.4 m2)</li> </ul>	<ul style="list-style-type: none"> <li>East (Area C): 63.4 m2</li> <li>West (Area D): 63.6 m2</li> <li>Total: 127.0 m2</li> </ul>	<ul style="list-style-type: none"> <li>None</li> </ul>
Amenity Space -- Outdoor (Min)	<ul style="list-style-type: none"> <li>OCP @ 6 m2/unit: 3,150 m2</li> <li>East (Area C): 1,398 m2</li> <li>West (Area D): 1,752 m2</li> <li>CCAP @ 10% of net site for general landscape: 728 m2</li> </ul>	<ul style="list-style-type: none"> <li>OCP: 3,160 m2</li> <li>East (Area C): 1,400 m2</li> <li>West (Area D): 1,760 m2</li> <li>CCAP: 728 m2</li> </ul>	<ul style="list-style-type: none"> <li>None</li> </ul>
Public Open Space SRW as per ZHR10	<ul style="list-style-type: none"> <li>For all 5 phases of Concord Gardens: Greater of 9,220 m2 or 7.4 m2/unit based on total units</li> </ul>	<ul style="list-style-type: none"> <li>9,220 m2 (secured prior to rezoning adoption)</li> </ul>	<ul style="list-style-type: none"> <li>None</li> </ul>

<b>TABLE 3</b>	<b>Concord Gardens Maximum Net Floor Area Requirements</b>		
	<b>ZHR10 Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Net Floor Area Permitted Under ZHR10	<ul style="list-style-type: none"> <li>Phase 1 (Lot 1 / Area A)</li> <li>- 23,400.0 m2</li> </ul>	<ul style="list-style-type: none"> <li>DP 12-611486 (Issued)</li> <li>- 23,395.0 m2 (251,822 ft2)</li> </ul>	<ul style="list-style-type: none"> <li>None permitted</li> </ul>
	<ul style="list-style-type: none"> <li>Phase 2 (Lot 1 / Area B)</li> <li>- 20,900.0 m2</li> </ul>	<ul style="list-style-type: none"> <li>DP 13-642725 (Issued)</li> <li>- 20,759.6 m2 (223,454 ft2)</li> </ul>	<ul style="list-style-type: none"> <li>None permitted</li> </ul>
	<ul style="list-style-type: none"> <li>Phase 3 (Lot 1 / Area E)</li> <li>- 11,000.0 m2</li> </ul>	<ul style="list-style-type: none"> <li>DP 14-670686 (Issued)</li> <li>- 10,969.6 m2 (118,076 ft2)</li> </ul>	<ul style="list-style-type: none"> <li>None permitted</li> </ul>
	<ul style="list-style-type: none"> <li>SUB-TOTAL: Phases 1, 2 &amp; 3</li> </ul>	<ul style="list-style-type: none"> <li>55,124.2 m2 (593,352 ft2)</li> </ul>	<ul style="list-style-type: none"> <li>N/A</li> </ul>
	<ul style="list-style-type: none"> <li>Phase 4 (Lot 2 / Area C - "East")</li> <li>- 19,400.0 m2 (208,820 ft2)</li> </ul>	<ul style="list-style-type: none"> <li>DP 15-700800 (Subject DP)</li> <li>- 19,207.1 m2 (206,744 ft2)</li> </ul>	<ul style="list-style-type: none"> <li>None permitted</li> </ul>
	<ul style="list-style-type: none"> <li>Phase 5 (Lot 2 / Area D - "West")</li> <li>- 23,700.0 m2 (255,105 ft2)</li> </ul>	<ul style="list-style-type: none"> <li>DP 15-700800 (Subject DP)</li> <li>- 22,888.5 m2 (246,369 ft2)</li> </ul>	<ul style="list-style-type: none"> <li>None permitted</li> </ul>
	<ul style="list-style-type: none"> <li>SUB-TOTAL: Phase 4 &amp; 5</li> </ul>	<ul style="list-style-type: none"> <li>42,095.6 m2 (453,113 ft2)</li> </ul>	<ul style="list-style-type: none"> <li>N/A</li> </ul>
	<ul style="list-style-type: none"> <li>TOTAL</li> <li>- 97,704.0 m2</li> </ul>	<ul style="list-style-type: none"> <li>TOTAL</li> <li>- 97,219.8 m2 (1,046,465 ft2)</li> </ul>	<ul style="list-style-type: none"> <li>None permitted</li> </ul>

Excerpt from the Minutes from  
**Advisory Design Panel Meeting**

Wednesday, November 4, 2015  
 Richmond City Hall

4. **DP 15-700800 – A HIGH-RISE, MULTI-FAMILY RESIDENTIAL DEVELOPMENT AND ART STUDIOS (CONCORD GARDENS FINAL 2 PHASES)**

APPLICANT: Concord  
 PROPERTY LOCATION: 3333 Hazelbridge Way (Address incorrect. Correct address is 8800 Hazelbridge Way and 3300 and 3311 Ketcheson Road.)

**Applicant's Presentation**

Architect Joey Stevens, GBI Architects, Landscape Architect Grant Brumpton, PWL Partnership, and Daniel Roberts, Kane Consulting, presented the project on behalf of the applicant and answered queries from the Panel.

**Panel Discussion**

*Comments from the Panel were as follows:*

- hope that the City will advise future developments to the south of the subject site regarding accessibility issues in the South Walkway;

***DEVELOPER RESPONSE:*** *Legal agreements registered on title to secure public use of the South Walkway and related features (e.g., organic community gardens) make clear the intent that this public space will be coordinated with the future design of complementary public open space amenities on neighbouring properties.*

- appreciate the handicapped access and use of sliding doors in the master bathroom in some of the units; consider introducing sliding doors in other units to provide more usable floor space;
- appreciate the proposed sustainability features of the project; however, the proposed ventilation system will not satisfy the prerequisite for the targeted LEED Silver equivalency and will impact on the project's energy points;

***DEVELOPER RESPONSE:*** *Energy modelling of similar systems on previous phases of this project indicates that the targeted energy points are achievable with the current design. With respect to the ventilation system, the project is following the latest BC Building Code version of the ventilation code (ASHRAE 62.1 2001). As the project is not required to certify, we assert that we have met the intent of the prerequisite since the outdoor air rates for the project are the same as those in ASHRAE 62.1-2007, even though we are delivering the outdoor air through the suite door undercut as opposed to direct ducting to each suite.*

- the LEED Checklist indicates a 55 percent glass-to-wall ratio, but a 65-70 percent glass-to-wall ratio would seem to be more realistic estimate based on the building design; this will impact the project's energy points;

***DEVELOPER RESPONSE:*** *The overall glass-to-wall ratio is currently approximately 55% and this will be maintained through the detailed design and construction phases. Note that for the purposes of the calculation, all clear glazing is considered to be glass, and opaque spandrel glazing is considered to be wall.*

- using true Energy Star appliances and LED lighting will help the project achieve 6 energy points;

***DEVELOPER RESPONSE:*** *Energy modelling of similar systems on previous phases of this project indicate that the projects targeted energy points are achievable with the current design. That being said, through the design development stage, the project team will evaluate the use of Energy Star appliances and LED lighting with the aim of implementing them where practical.*

- overall design of the project is elegant and sophisticated; landscaping is elegant and ties in the various buildings on Lot 1 and Lot 2 together; appreciate the consistency of the design language and materials;
- project is well-presented by the applicant;
- stairs at the east end of the South Walkway should be made more generous and accessible to the public;

***DEVELOPER RESPONSE:*** *Three sets of concrete seating steps have been added next to the stairs as rest areas and to provide sitting opportunities overlooking Garden City Road and beyond.*

- consider introducing crawling vines on the large [parking structure] wall along the South Walkway;

***DEVELOPER RESPONSE:*** *Contoneaster dammeri has been added to the planter along the south edge of South Walkway to help soften the interim appearance of the exposed parking structure wall. (Note this is wall will be fully concealed below finished grade when the neighbouring properties redevelop.)*

- review the trellis position in the south side of the urban agriculture area in the West building to mimic the position of a similar trellis in the East building;

***DEVELOPER RESPONSE:*** *Trellis structures have been deleted during the design process. The configuration of urban agriculture areas have been adjusted per City comments.*

- concerned that the landscaped area on the north side of the East Building will be very shady and wet; ensure that the plant selection and choice of paving materials for this area will take into account this condition;

***DEVELOPER RESPONSE:*** *The paving on the north side of the East Building will be granite paving with a flame finish, which will provide slip resistance. Plant materials proposed for this location are shade tolerant (e.g., Acer circinatum, Skimmia japonica 'Rubella', Pachysandra terminalis, and Petasites albus).*

- consider the implications of the proposed tree planting scheme in terms of gaining LEED points;

***DEVELOPER RESPONSE:*** *The proposed tree planting scheme will provide more native species and water retention for the site, which will contribute to habitat restoration and storm water management. Greater detail will be considered during the project's design development stage.*

- the applicant must carry out the public art plan for the subject phase;

***DEVELOPER RESPONSE:*** *As per legal agreements on title, a Detailed Public Art Plan will be completed and secured with a Letter of Credit prior to DP issuance.*



- review the design of the proposed switchback ramp at the west end of the South Walkway to ensure that the edges of the paved area will include features to ensure the safety of pedestrians (e.g., low curbs);

***DEVELOPER RESPONSE: Curbs have been added along the edges of the walkway.***

- the proposed “vegetated” laminated panels on the East Building are an appealing idea; consider a custom design to reflect the dominant plant species in the proposed development; consider using the panels and their motif more broadly to brand the development (e.g., signage);

***DEVELOPER RESPONSE: Patterned panel specification is currently under review.***

- appreciate the development’s landscaping and its “carpet-like” approach; the project name “Gardens” is well deserved;
- agree with comments from the Panel regarding the need for accessibility and safety of the ramping;
- consider programming the rooftop amenity areas and locating indoor amenity spaces adjacent to encourage their use throughout the year; and

***DEVELOPER RESPONSE: Roof patio programming is generally consistent with the previous three phases of Concord Gardens, including on the:***

- *East building, an outdoor dining area with patio heaters, BBQ, gathering space with a fire bowl, and a children’s play area with a play structure and sand box on Level 11; and*
- *West building, an outdoor gathering space with a fire bowl and a children’s play area with a play structure and sand box on L12 and an outdoor kitchen and gathering space on Level 16.*

- the concrete wall along the South Walkway could be an attractive feature; introduce a pattern to further enhance its visual appeal.

***DEVELOPER RESPONSE: Stone cladding has been introduced along this wall which, coupled with intermittent vertical venting slots, enhances its material texture.***

#### **Panel Decision**

It was moved and seconded

***That DP 15-700800 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.***

**CARRIED**



4	3	7	Materials & Resources	15 Points
✓			<b>Prereq 3 Storage and Collection of Recyclables</b>	Required
	3		<b>Credit 1.1 Building Reuse: Maintain Existing Walls, Floors, and Roof</b>	1 - 1
	1		<b>Credit 1.2 Building Reuse: Maintain Interior Non-Structural Elements</b>	1
2			<b>Credit 2 Construction Waste Management</b>	1 - 2 (Only diversion one trigger)
	7		<b>Credit 3 Materials Reuse</b>	1 - 2
1	1		<b>Credit 4 Recycled Content</b>	1 - 2 (Preference will be given to materials with recycled regional materials)
1	1		<b>Credit 5 Regional Materials</b>	1 - 2 (Preference will be given to materials with recycled regional materials)
1	1		<b>Credit 6 Rapidly Renewable Materials</b>	7 (Review options for precast specification)
1	1		<b>Credit 7 Certified Wood</b>	1

8	5	7	Indoor Environmental Quality	15 Points
✓			<b>Prereq 1 Minimum Indoor Air Quality Performance</b>	Required
✓			<b>Prereq 2 Environmental Tobacco Smoke (ETS) Control</b>	Required
1	1		<b>Credit 1 Outdoor Air Delivery Monitoring</b>	1 (One 1 install CO2 monitors in densely occupied areas and have alarm on air handling units)
	1		<b>Credit 2 Increased Ventilation</b>	1 (Increase ventilation rates 30% above ASHRAE 62.1)
1	1		<b>Credit 3.1 Construction IAQ Management Plan: During Construction</b>	1 (AQ test plans (data not to be executed by contractor)
1	1		<b>Credit 3.2 Construction IAQ Management Plan: Before Occupancy</b>	1 (Flush out building will be performed before occupancy)
1	1		<b>Credit 4.1 Low-Emitting Materials: Adhesives and Sealants</b>	1 (Low emitting materials will be specified for the project)
1	1		<b>Credit 4.2 Low-Emitting Materials: Paints and Coatings</b>	1 (Low emitting materials will be specified for the project)
1	1		<b>Credit 4.3 Low-Emitting Materials: Flooring Systems</b>	1 (Low emitting materials will be specified for the project)
1	1		<b>Credit 4.4 Low-Emitting Materials: Composite Wood and Agrifibre Products</b>	1 (MEK (12 flash and appropriate space separation will be provided, and the long emission systems will be evaluated)
1	1		<b>Credit 5 Indoor Chemical and Pollutant Source Control</b>	1
1	1		<b>Credit 6.1 Controllability of Systems: Lighting</b>	1 (Design to meet ASHRAE Standard 90.1-2004)
1	1		<b>Credit 6.2 Controllability of Systems: Thermal Comfort</b>	1
1	1		<b>Credit 7.1 Thermal Comfort: Design</b>	1
1	1		<b>Credit 7.2 Thermal Comfort: Verification</b>	1 (Prescriptive daylighting analysis will be performed to evaluate feasibility)
1	1		<b>Credit 8.1 Daylight and Views: Daylight</b>	1 (30% of occupied areas will have a view to the outdoors)
1	1		<b>Credit 8.2 Daylight and Views: Views</b>	1

6	0	0	Innovation in Design	5 Points
1			<b>Credit 1.1 Innovation in Design</b>	1 (Exterior signage: Access to public transportation)
1			<b>Credit 1.2 Innovation in Design</b>	1 (Interior signage: One parking unit)
1			<b>Credit 1.3 Innovation in Design</b>	1 (Site Waste Management Plan)
1			<b>Credit 1.4 Innovation in Design</b>	1 (Urban agriculture)
1			<b>Credit 1.5 Innovation in Design</b>	1 (Reduced Mercury in Lighting)
1			<b>Credit 2 LEED Accredited Professional</b>	1

9	0	1	Regional Priority	4 Points
1			<b>Credit 1 Durable Building</b>	1 (Construction waste management)
1			<b>Credit 2.1 Regional Priority Credit</b>	1 (Water use reduction)
1			<b>Credit 2.2 Regional Priority Credit</b>	1 (Developer density)
1			<b>Credit 2.3 Regional Priority Credit</b>	1 (Developer density)





**Development Permit Considerations**

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 8800 Hazelbridge Way and 3300 and 3311 Ketcheson Road **File No.:** DP 15-700800

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. **Landscape Security:** Receipt of a Letter of Credit for landscaping in the amount of \$2,170,512.94 for all new landscape features required with respect to the subject development, based on a sealed cost estimate provided by a CSLA registered landscape architect and including 10% contingency (REDMS # 4907557), including:
  - 1.1. \$1,108,152.46 for residential landscape improvements including:
    - a) \$530,872.38 for Lot 2/Area C (i.e. east of Ketcheson Road); and
    - b) \$577,280.08 for Lot 2/Area D (i.e. west of Ketcheson Road);
  - 1.2. \$1,062,360.48 for publicly-accessible landscape improvements within Statutory Right-of-Way (SRW) areas registered on title, including:
    - a) \$885,310.80 for the Private Road (i.e. Ketcheson Road); and
    - b) \$177,049.68 for park and open space areas (i.e. Neighbourhood Park SRW and South Walkway & Art Studio Terrace SRW, including the Organic Community Garden area).

2. **ZT 15-700276:** Final adoption of the Zoning Text Amendment Bylaw 9269, which requires that the developer satisfies various Zoning Text Amendment Considerations, including processing of the subject Development Permit application (DP 15-700800) to a level satisfactory to the Director of Development, and:
  - 2.1. **Sexsmith Art Studios (SAS):** Enters into legal agreements to secure the design, construction, and operation of the community amenity on the subject site (Lot 2 / Area D) to the satisfaction of the City; and
  - 2.2. **Art Studio Terrace Statutory Right-of-Way (SRW):** Registers a SRW and restrictive covenant on the subject site (Lot 2 / Area D) for public access, Sexsmith Art Studio-related purposes, and complementary uses.

*NOTE: As determined through the review of DP 15-700800 and the legal document preparation process for ZT 15-700276, the Art Studio Terrace SRW will be consolidated with the existing South Walkway SRW agreement (as per Item 3.1 below).*

3. **Sexsmith Art Studios (SAS):** Amend the legal agreement(s) referenced above with respect to ZT 15-700276 for the purpose of providing Area-specific (i.e. for Lot 2 / Area D) minimum studio unit sizes, minimum studio work space dimensions, and studio unit locations (i.e. plans of units and designated work spaces are to be attached) for the SAS work-only art studio units, as determined by the Director of Development and the Director, Arts, Culture, and Heritage Services in their sole discretion, in conjunction with the issuance of the subject Development Permit, as follows:

SAS Art Studio Unit	Art Studio Units – Minimum Indoor Gross Leasable Floor Area (1)	Art Studio Work Spaces – Minimum Dimensions		
		Floor Area (2)	Width (2)	Height (2)
#1	33 m2 (355 ft2)	23.0 m2 (248 ft2)	3.05 m (10 ft)	3.88 m (12 ft)
#2	35 m2 (377 ft2)	23.0 m2 (248 ft2)	3.05 m (10 ft)	3.88 m (12 ft)
#3	35 m2 (377 ft2)	23.0 m2 (248 ft2)	3.05 m (10 ft)	3.88 m (12 ft)

Initial:



SAS Art Studio Unit	Art Studio Units – Minimum Indoor Gross Leasable Floor Area (1)	Art Studio Work Spaces – Minimum Dimensions		
		Floor Area (2)	Width (2)	Height (2)
#4	37 m <sup>2</sup> (398 ft <sup>2</sup> )	23.0 m <sup>2</sup> (248 ft <sup>2</sup> )	3.05 m (10 ft)	3.68 m (12 ft)
<b>TOTAL</b>	<b>140.0 m<sup>2</sup> (1,507 ft<sup>2</sup>)</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>

- (1) As per ZT 15-700276, gross leasable area shall be at least 28.0 m<sup>2</sup> (301 ft<sup>2</sup>) per unit and 140.0 m<sup>2</sup> (1,507 ft<sup>2</sup>) in total.
- (2) As per ZT 15-700276, each studio shall contain a work space with a rectangular configuration and at least:
- 23.0 m<sup>2</sup> (248 ft<sup>2</sup>) floor area (i.e. minimum floor area unobstructed by columns, walls, or similar features);
  - 3.05 m (10 ft) width (i.e. minimum horizontal dimension unobstructed by columns, walls, or other features); and
  - 3.68 m (12 ft) height (i.e. minimum vertical dimension from finished floor to finished ceiling, unobstructed by beams, ducts, lighting, sprinkler systems, or other features).

4. Statutory Right of Ways:

4.1. South Walkway & Art Studio Terrace: Discharge of the South Walkway SRW agreement registered prior to rezoning adoption (CA2963422 – CA2963425) and its replacement with a new South Walkway & Art Studio Terrace SRW for the purpose of revising the boundary and terms of the existing SRW to reflect changes arising through the subject Development Permit (DP 15-700800) review and approval processes and the legal document preparation process for ZT 15-700276, including, but not limited to:

- a) Increasing the size of the SRW area from 1,626.2 m<sup>2</sup> (0.40 ac) to at least 1,740.3 m<sup>2</sup> (0.43 ac), as indicated in Schedule A (South Walkway & Art Studio Terrace SRW (Lot 2 / Areas C & D): Proposed Statutory Right-of-Way Plan), including within:
  - i. Lot 2 / Area C: 672.6 m<sup>2</sup> (0.17 ac); and
  - ii. Lot 2 / Area D: 1,067.7 m<sup>2</sup> (0.26 ac);
- b) Specifying that, regardless of the actual size of the South Walkway & Art Studio Terrace SRW area, it shall represent no more than 1,626.2 m<sup>2</sup> (0.40 ac) of the owner's total minimum 9,220.0 m<sup>2</sup> (2.28 ac) park contribution requirement in respect to the development of Concord Gardens Lot 1 and Lot 2 as approved by Council with respect to RZ 06-349722;
- c) Designating an Art Studio Terrace SRW area, generally along the west and south frontages of the SAS and at least 109.5 m<sup>2</sup> (1,178.7 ft<sup>2</sup>) in size, as indicated in Schedule A (South Walkway & Art Studio Terrace SRW (Lot 2 / Areas C & D): Proposed Statutory Right-of-Way Plan), within which area the terms and conditions of use and related requirements stipulated in the existing South Walkway SRW shall apply, together with additional uses and requirements aimed at supporting enhanced public use and enjoyment of this area and contributing towards a more vibrant "arts district" on and around the subject site (as generally required with respect to the Zoning Text Amendment Considerations for ZT 15-700276), including, but not limited to, temporary use of the Art Studio Terrace SRW area by the tenants of the SAS units for the publicly-accessible display, presentation, production, and sale of tenant artworks, public performance and events, and building encroachments in the form of pedestrian weather protection and signage;
- d) Designating an Organic Community Garden Area within the South Walkway Area of the SRW, at least 408.3 m<sup>2</sup> (4,394.9 ft<sup>2</sup>) in size, as indicated in Schedule A (South Walkway & Art Studio Terrace SRW (Lot 2 / Areas C & D): Proposed Statutory Right-of-Way Plan), within which area the terms and conditions of use and related requirements stipulated in the existing South Walkway SRW shall apply, together with additional uses and requirements aimed at supporting enhanced public use and enjoyment of this area for organic community gardening purposes (generally as described in the Organic Community Garden Operating Agreement considerations below);
- e) Designating a Utilities SRW area, along the Sexsmith Road frontage of Lot 2/Area D, south of the SAS, and at least 4.9 m<sup>2</sup> (52.7 ft<sup>2</sup>) in size, as indicated in Schedule A (South Walkway & Art Studio Terrace SRW (Lot 2 / Areas C & D): Proposed Statutory Right-of-Way Plan), within which no above or below ground building encroachments shall be permitted, to provide for the developer's relocation (via a Servicing Agreement, secured with a Letter of Credit, required with

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respect to the developer's construction of Lot 2/Area D) of existing utilities and above ground equipment temporarily installed within the existing Sexsmith Bikeway SRW (CA2963418 - CA2963421) and Utilities SRW (CA4404186 - CA4404189) to a City-approved location east of the ultimate Sexsmith Road sidewalk;

- f) Designating a Widening Area along the east and west sides of Ketcheson (private) Road, as defined in the existing South Walkway SRW agreement, including within:
  - i. Lot 2 /Area C: 42.9 m<sup>2</sup> (461.8 ft<sup>2</sup>); and
  - ii. Lot 2 / Area D: 58.0 m<sup>2</sup> (624.3 ft<sup>2</sup>);
- g) Requiring that, prior to Building Permit issuance for Lot 2, in whole or in part, the design of the SRW area in general and the Art Studio Terrace, Organic Community Gardens, Utility Area, and widening areas abutting Ketcheson (private) Road in particular are designed to the satisfaction of the Senior Manager, Parks, Director of Engineering, Director of Transportation, and Director of Development.

*NOTE: The existing Utilities SRW (CA4404186 - CA4404189) referenced above shall not be discharged until relocation of the affected utilities and above ground equipment is complete to the City's satisfaction or as otherwise determined at the sole discretion of the City.*

- 4.2. **Neighbourhood Park:** Amend the Neighbourhood Park SRW and covenant registered on title prior to Concord Gardens' original rezoning adoption (CA2963426 - CA2963428), as permitted by the replacement SRW provisions contained therein, to:
  - a) Delete Section 2.1(c)(ii), to remove the requirement that at least 50% of the perimeter of the Neighbourhood Park on Lots 1 and 2 abuts the Private (Ketcheson) Road and Garden City Road; and
  - b) Revise the boundaries of the SRW area on Lot 2 (to remove the narrow SRW area situated east of the Area C residential building site and replace it with an equal SRW area along the north side of the Area C residential building site) to reflect changes arising through the subject Development Permit (DP 15-700800) review and approval processes (without affecting the total area of the Neighbourhood Park SRW on Lot 2, the terms or conditions of its use, or any related requirements), as indicated in **Schedule B** (Neighbourhood Park SRW: Proposed Statutory Right-of-Way Plan with Changes to Lot 2/Area C).
- 5. **Organic Community Garden Operating Agreement:** Enter into an agreement between the City and the developer/owner pursuant to DP 15-700800 in respect to the design, construction, use, operation, and maintenance of the garden plots and related features to be installed, by the developer/owner at the developer/owner's sole cost, at locations within the "South Walkway" portion of the South Walkway & Art Studio Terrace SRW approved by the City for the purposes of providing authorized members of the public (including, but not limited to, the occupants of subject Lot 2 residential dwellings and Concord Gardens' Lot 1 development) a place to carry out organic gardening in accordance with City guidelines. The agreement shall provide for, but may not be limited to, the following:
  - 5.1. An Organic Community Garden designed and constructed for, among other things:
    - a) At least 41 standard, individual garden plots:
      - i) Raised at least 0.31 m (1.0 ft.) off the ground;
      - ii) Providing for a minimum soil depth of at least 0.31 m (1.0 ft.);
      - iii) Typically measuring 1.22 m (4.0 ft.) wide by 2.13 m (7.0 ft.) long;
      - iv) Fronting least one wheelchair accessible pathway intended for garden users and related activities; and
      - v) Demised into individual plots by 0.5 m (1.6 ft.) wide paths (typically along two sides of each plot) designed to facilitate shared garden access and related activities;
    - b) At least 6 accessible, individual garden plots including 4 designed to accommodate gardeners in wheelchairs and 2 designed for standing;

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- i) Raised beds approximately 0.61 m to 0.91 m (2.0 ft. to 3.0 ft.) high;
  - ii) Providing for a minimum soil depth of at least 0.31 m (1.0 ft.);
  - iii) Measuring at least 0.5 m (1.6 ft.) wide (i.e. measured perpendicular to a wheelchair accessible walkway) by 2.13 m (7.0 ft.) long; and
  - iv) Fronting at least one wheelchair accessible pathway intended for garden users and related activities;
- e) To the extent reasonably achievable by the developer, at least six hours of direct sunlight per day on each garden plots during the spring, summer, and fall (taking into account some shading from future development south of the "South Walkway" area);
  - d) Convenient water access to each plot (i.e. typically one hose bib per 3 to 4 garden plots);
  - e) Two composting areas, each containing 2 large City green/organic waste carts;
  - f) Tool shed secured for the exclusive use of the Garden's gardeners, which shall be located near the centre of the garden beneath the stairs to the residential building on Lot 2 / Area D);
  - g) A central area for resting and socializing for the use of the Garden's gardeners and the general public, including benches, shade (i.e. trees and/or a structure), and a weather protected notice board;
  - h) Truck loading and access for deliveries/removal of bulk materials (e.g., soil) and organic waste pick-up along the west side of Ketcheson Road (i.e. within the SRW "widening area", the use of which shall be shared with residents of Concord Gardens and the general public as per RZ 06-349722);
  - i) Attractive fencing and gates around the perimeter of the Organic Community Garden designed to maximize visibility into/out of the Garden area and minimize nuisance (e.g., unaccompanied dogs), and
  - j) On the outside of the Garden, permanent interpretive signage designed to enhance public awareness/understanding;
- 5.2. The operator of the Organic Community Garden shall be the developer/owner or, as determined to the satisfaction of the City and approved in writing, the role of operator may be transferred, in its entirety, to the Richmond Food Security Society or an alternate City-approved operator;
- 5.3. The operator shall be responsible for managing, maintaining, and operating the Organic Community Garden in its entirety, at the operator's cost, in accordance with the City-approved guidelines, standards, and garden plot rents generally applicable to organic community gardens operated elsewhere in Richmond by or on behalf of the City including, but not limited to:
- a) Affirming that the South Walkway & Art Studio Terrace SRW, within which the Organic Community Garden and its access are located, is part of the City's parks and open space system and the Organic Community Garden operations and activities will not unreasonably obstruct the public's use or enjoyment of the SRW area;
  - b) Satisfying requirements contained within the Preliminary Garden Plot User Guidelines (Schedule C) or as otherwise determined to the City's satisfaction;
  - c) Not making any alterations or improvements to the portion of the South Walkway & Art Studio Terrace SRW occupied by the Organic Community Garden and its access, including the construction and installation of buildings, storage units, and greenhouses, without:
    - i) Prior written permission from the City; and
    - ii) All necessary permits and approvals as required by legislation, laws, regulations, and bylaws;
  - d) Indemnifying, defending, and holding harmless the City and its personnel from any liability, loss, damage, injury, or costs suffered by the developer/owner, residents of Concord Gardens, users of the Organic Community Garden, or others as a result of the Organic Community Garden operations and/or use of the land; and

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- e) Complying with all applicable City policies and procedures and all applicable legislation, laws, regulations, and bylaws;
- f) Permitting inspections of the Organic Community Garden and its operations by the City and its designates and reporting periodically to the City or its designate, as determined to the City's satisfaction; and

5.4. Operation of the Organic Community Garden shall continue in perpetuity or until such time that the City approves, in writing, the termination of the Organic Community Garden operation, in which event the developer/owner shall be responsible, at the developer/owner's sole cost, to design, construct, and maintain alternative public open space landscape features and amenities within the affected portion of the South Walkway & Art Studio Terrace SRW and satisfy all necessary permits and approvals as required by legislation, laws, regulations, and bylaws, to the sole satisfaction of the City. In addition, should the developer/owner fail to comply with its obligations to operate the Organic Community Gardens in accordance with the provisions of the Operating Agreement, the City can terminate the operation for reasons of default and provide the developer/owner with written notification, which shall trigger the developer/owner's obligation to redevelop and maintain the affected portion of the South Walkway & Art Studio Terrace SRW as described above.

- 6. Arborist Services: Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site or off-site works conducted within the tree protection zone of trees to be retained on or around the subject site. The Contract shall include the scope of work to be undertaken, including the proposed number of tree monitoring inspections and provisions for the Arborist to submit a post-construction assessment report to the City for review.
- 7. Tree & Landscape Protection: Installation of appropriate protective fencing around all affected trees and public open space (SRW) areas that are to be retained as part of the development (prior to the commencement of any construction-related activities) including:
  - 7.1. Street Tree Protection: Installation of appropriate tree protection fencing around all on-site and off-site trees in the vicinity of the construction area (i.e. Kelcheson Road and Sexsmith Road); and
  - 7.2. Neighbourhood Park SRW (CA2963426 - CA2963428, as replaced or modified) Protection: Installation of protection fencing between publicly-accessible open space (SRW) areas and construction activities/areas, to the satisfaction of the Senior Manager, Parks, to ensure the continued safe use and public enjoyment of the affected public open space areas during the construction period, except with the prior written authorization of the City.
- 8. Affordable Housing: Discharge and replacement of the (affordable) Housing Covenant registered on title to the subject site prior to adoption of RZ 06-349722 for the purpose of providing Area-specific (i.e. for Lot 2 / Area C & Lot 2 / Area D) construction requirements, types, and locations of the (affordable) Housing Units within the subject development (Lot 2/Areas C and D), as determined by the Director of Development and the Manager, Community and Social Development in their sole discretion, in conjunction with the issuance of the subject Development Permit.

In addition, the Owner must comply with legal agreements registered on title requiring that the minimum combined habitable floor area of (affordable) Housing Units provided by the Owner, at the Owner's sole cost, on Lot 2/Areas C and D shall be comprised of a portion of the deferred Lot 1/Area A (Phase 1) affordable housing units, as per RZ 06-349722, and the affordable housing units required in respect to the City's standard affordable housing (i.e. 5%) policy, as follows:

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**TABLE 1: Lot 2/Areas C & D Affordable Housing Unit Minimum Requirements**

Concord Gardens Minimum Affordable Housing (AH) Habitable Floor Area Requirements			
Contribution	Lot 2 (East) Area C / Phase 4	Lot 2 (West) Area D / Phase 5	Lot 2 Total
▪ Deferred Phase 1 AH	▪ 28% of Phase 1 deferred AH ▪ 28% x 1,087.4 m <sup>2</sup> = 304.5 m <sup>2</sup>	▪ 33% of Phase 1 deferred AH ▪ 33% x 1,087.4 m <sup>2</sup> = 358.8 m <sup>2</sup>	▪ 61% of Phase 1 deferred AH ▪ 61% x 1,087.4 m <sup>2</sup> = 663.3 m <sup>2</sup>
▪ Standard (5%) AH	▪ 5% X Phase 4 residential floor area LESS applicable Phase 1 deferred AH ▪ 5% x (19,207.1 m <sup>2</sup> - 304.5 m <sup>2</sup> ) = 945.1 m <sup>2</sup>	▪ 5% X Phase 5 residential floor area LESS applicable Phase 1 deferred AH ▪ 5% x (22,888.5 m <sup>2</sup> - 358.8 m <sup>2</sup> ) = 1,126.5 m <sup>2</sup>	▪ 5% X Phases 4 & 5 residential floor area LESS applicable Phase 1 deferred AH ▪ 5% x (42,095.6 m <sup>2</sup> - 663.3 m <sup>2</sup> ) = 2,071.6 m <sup>2</sup>
<b>TOTAL</b>	▪ Min. Required AH: - 1,249.6 m <sup>2</sup> (13,454 ft <sup>2</sup> ) ▪ Proposed/Agreed Min. AH: - 1,251.4 m <sup>2</sup> (13,470.3 ft <sup>2</sup> )	▪ Min. Required AH: - 1,485.3 m <sup>2</sup> (15,988 ft <sup>2</sup> ) ▪ Proposed/Agreed Min. AH: - 1,511.6 m <sup>2</sup> (16,270.9 ft <sup>2</sup> )	▪ Min. Required AH: - 2,725.8 m <sup>2</sup> (29,339 ft <sup>2</sup> ) ▪ Proposed/Agreed Min. AH: - 2,763.0 m <sup>2</sup> (29,741.2 ft <sup>2</sup> )

- 8.1. Based on the above and the subject Development Permit and as set out in **Schedule D**, the Owner shall provide for:
- 15 affordable housing units on Lot 2/Area C (east of Ketcheson Road) with a combined habitable floor area of at least 1,251.4 m<sup>2</sup> (13,470.3 ft<sup>2</sup>); and
  - 17 affordable housing units on Lot 2/Area D (west of Ketcheson Road) with a combined habitable floor area of at least 1,511.6 m<sup>2</sup> (16,270.9 ft<sup>2</sup>), including:

**TABLE 2: Lot 2/Area C (East of Ketcheson Road) Affordable Housing Units - Recommended Development**

Unit Type	# of Units	# of Basic Universal Housing Units (3)	Minimum Habitable Unit Area (2)	Max. Monthly Unit Rent (1)	Total Annual Household Income (1)
<b>2-Storey (Townhouse-Style) Units on Levels 2 &amp; 3 with Direct Corridor &amp; Street-Front Access (Garden City Road)</b>					
2-Bedroom	2	Nil	107.1 m <sup>2</sup> (1,153 ft <sup>2</sup> )	\$1,162	\$46,500 or less
<b>Single-Storey (Apartment-Style) Units @ Levels 3, 4, 5, 6, 7 &amp; 8</b>					
1-Bedroom	2	2	55.0 m <sup>2</sup> (592 ft <sup>2</sup> )	\$950	\$38,000 or less
2-Bedroom	11	11	83.9 m <sup>2</sup> (903 ft <sup>2</sup> )	\$1,162	\$46,500 or less
<b>TOTAL</b>	<b>15</b>	<b>13</b>	<b>Varies</b>	<b>Varies</b>	<b>Varies</b>

**TABLE 3: Lot 2/Area D (West of Ketcheson Road) Affordable Housing Units - Recommended Development**

Unit Type	# of Units	# of Basic Universal Housing Units (3)	Minimum Habitable Unit Area (2)	Max. Monthly Unit Rent (1)	Total Annual Household Income (1)
<b>2-Storey (Townhouse-Style) Units on Levels 2 &amp; 3 with Direct Corridor &amp; Street-Front Access (Hazelbridge Way)</b>					
3-Bedroom	2	Nil	113.8 m <sup>2</sup> (1,225 ft <sup>2</sup> )	\$1,437	\$57,500 or less
<b>Single-Storey (Apartment-Style) Units @ Levels 3, 4, 5, 6 &amp; 7</b>					
1-Bedroom	1	1	67.6 m <sup>2</sup> (728 ft <sup>2</sup> )	\$950	\$38,000 or less
2-Bedroom	14	14	83.0 m <sup>2</sup> (893 ft <sup>2</sup> )	\$1,162	\$46,500 or less
<b>TOTAL</b>	<b>17</b>	<b>15</b>	<b>Varies</b>	<b>Varies</b>	<b>Varies</b>

- (1) The "Maximum Monthly Unit Rent" and "Total Annual Household Income" indicated in the tables above denote amounts adopted by Council on March 11, 2013. These amounts may be increased periodically as provided for under adopted City (affordable housing) policy.
- (2) Actual unit areas shall be determined based on the approved Development Permit for the subject site, but must not be less than the "Minimum Unit Area" indicated in the table above.
- (3) Basic Universal Housing Units shall comply with all applicable Richmond Zoning Bylaw requirements.

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- 8.2. All Housing Units must provide for aging-in-place features to the satisfaction of the Director of Development including, but not necessarily limited to, stairwell handrails, lever-type handles for all plumbing fixtures and door handles, and solid blocking in washroom walls to facilitate the future installation (by others) of grab bars beside toilets, bathtubs, and showers. In addition, all designated Basic Universal Housing units (as indicated in Tables 2 and 3 above) must satisfy all applicable Richmond Zoning Bylaw requirements for Basic Universal Housing (BUH).
- 8.3. Parking, "Class 1" bike storage, and electric vehicle (EV) charging stations (i.e. 120 volt duplex receptacles) shall be provided for the use of affordable housing occupants as per the Richmond Official Community Plan and Zoning Bylaw at no additional charge to the affordable housing occupants (i.e. no monthly rents or other fees shall apply for the casual, shared, or assigned use of parking, bike storage, EV charging stations, or related facilities), which features may be secured via legal agreement(s) on title, as determined to the satisfaction of the City. The minimum number of required parking spaces, "Class 1" bike storage, and EV charging stations with respect to the affordable housing shall be as follows:

Area	# Unit	Minimum # Parking Spaces & EV Stations				Min. "Class 1" Bike Storage	
		# Residents	# Visitors (1)	# EV Plug-Ins (2)	# EV Rough-Ins (3)	# Bikes	# EV Plug-Ins (4)
C	15	12	-	5	4	19	2
D	17	14	-	5	4	22	3
TOTAL	32	26	6*	10	8	41	5

- (4) Visitor parking required for the affordable housing units and market units shall be pooled and shared.
- (5) Electric vehicle (EV) Plug-Ins (i.e. 120 volt duplex outlets) must be provided at a rate of 30% of the combined total number of resident and visitor parking spaces. 100% shall be assigned for the exclusive use of the affordable housing tenants.
- (6) Electric vehicle (EV) Rough-Ins (i.e. pre-ducting for the future installation of 120 volt duplex outlets by others) must be provided at a rate of 25% of the combined total number of resident and visitor parking spaces. 100% shall be assigned for the exclusive use of the affordable housing tenants.
- (7) Electric vehicle (EV) Plug-Ins for "Class 1" bikes (i.e. 120 volt duplex outlets) must be provided at a rate of 1 for each 10 bikes or portion thereof in each bike room

9. Visitor Parking: Registration of a restrictive covenant(s) and/or alternative legal agreement(s), to the satisfaction of the City, securing that the visitor parking required with respect to DP 15-700800 shall be:
- 9.1. Provided as per the approved Development Permit (i.e., number, sizes, types, and locations of spaces) or as otherwise determined to the satisfaction of the Director of Transportation;
- 9.2. Pooled together on Level 2 with direct access via Lot 2's Hazelbridge Way driveway;
- 9.3. Provided for the shared use of the Lot 2 / Area C and Area D developments and available 24/7 for visitors to Lot 2 / Area C and Area D; and
- 9.4. Marked with permanent signage that clearly indicates its intended use.
10. Electric Vehicle (EV) Charging Stations for Vehicles & "Class 1" Bike Storage: Registration of a restrictive covenant(s) and/or alternative legal agreement(s), to the satisfaction of the City, securing that:
- 10.1. Plug-Ins for Vehicles: A minimum of 30% of parking spaces are equipped with 120 volt duplex receptacles to accommodate the charging of electric vehicles, which:
- a) Calculation shall be based on the total approved number of resident, visitor, and Sexsmith Art Studio parking spaces provided on the subject site;
- b) Spaces shall be distributed proportionately between the parking spaces intended to serve Lot 2 / Area C (east) and Lot 2 / Area D (west) (i.e. 30% each); and
- c) Must include one charging station located at the designated Sexsmith Art Studio parking/loading space for the exclusive use of the Sexsmith Art Studio tenants and their guests;

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- 10.2. **Pre-Ducting for Vehicles:** A minimum of 25% of parking stalls are constructed to accommodate the future installation of electric vehicle charging equipment (e.g. pre-ducted for future wiring), which:
- a) Calculation shall be based on the total approved number of resident, visitor, and Sexsmith Art Studio parking spaces provided on the subject site; and
  - b) Spaces shall be distributed proportionately between the parking spaces intended to serve Lot 2 / Area C (east) and Lot 2 / Area D (west) (i.e. 30% each); and
- 10.3. **Plug-Ins for "Class 1" Bike Storage:** A minimum of one 120 volt duplex receptacle is provided to accommodate electric charging equipment for each 10 "Class 1" bike parking spaces or portion thereof within each bike storage room, including one 120 volt duplex receptacle in the designated Sexsmith Art Studio "Class 1" bike storage room for the exclusive use of the Sexsmith Art Studio tenants.

11. **Transitional Parking, "Class 1" Bike Storage & Electric Vehicle (EV) Charging Stations:** Registration of a restrictive covenant(s) and/or alternative legal agreement(s), to the satisfaction of the City, securing that:

- 11.1. No Building Permit will be issued for the first residential building on the subject site (Lot 2 / Area C), in whole or in part, unless the Building Permit includes 100% of the on-site resident and visitor parking and "Class 1" bike storage required with respect to the Development Permit for the entirety of the approved Lot 2 development (Areas C & D) (DP 15-700800), including all required EV (plug-in and pre-ducted) charging stations;
- 11.2. No final Building Permit inspection will be granted permitting occupancy for the first residential building on the subject site (Lot 2 / Area C), in whole or in part, until 100% of the on-site resident and visitor parking and "Class 1" bike storage required with respect to the Development Permit for the entirety of the approved Lot 2 development (Areas C & D) (DP 15-700800), including all required EV (plug-in and pre-ducted) charging stations, receives final Building Permit inspection permitting occupancy; and
- 11.3. The portion of on-site resident and visitor parking, "Class 1" bike storage, and EV (plug-in and pre-ducted) charging stations required to be constructed by the developer to satisfy the above requirement and is in excess of Zoning Bylaw and OCP requirements (e.g., "Parking Zone 1") for the whole of the first residential building (Lot 2 / Area C) shall be:
- a) Indicated clearly on the Development Permit (DP 15-700800) and Building Permit drawings (and corresponding plans shall be attached to the subject restrictive covenant(s) and/or alternative legal agreement(s));
  - b) Made available by the developer for the interim use of the residents and visitors of the first residential building (Lot 2 / Area C), as applicable, until the second building on the subject site (Lot 2 / Area D) receives final Building Permit inspection permitting occupancy; and
  - c) Upon final Building Permit inspection permitting occupancy for the second residential building (Lot 2 / Area D), in whole or in part, be used in its entirety to satisfy the second building's on-site resident and visitor parking, "Class 1" bike storage, and EV (plug-in and pre-ducted) charging station requirements as approved by the Development Permit (DP 15-700800).

*NOTE: It is agreed that there will be no phasing of the construction of Lot 2's on-site resident or visitor parking, "Class 1" bike storage, or EV (plug-in and pre-ducted) charging station and this, together with the registration of the subject restrictive covenant(s) and/or alternative legal agreement(s) as described above, shall fully satisfy the Zoning Bylaw with respect to all Capstan Village transitional parking requirements.*

12. **Public Art:** As per legal agreement(s) registered on title, the developer shall satisfy the following:

- 12.1. For Lot 2 / Area C (east of Ketcheson Road): No outstanding requirements. Prior to Development Permit issuance for Concord Gardens Phase 2 (Lot 1 / Area B), the developer made an advance voluntary contribution that fully satisfies the requirements with respect to Lot 2 / Area C.
- 12.2. For Lot 2 / Area D (west of Ketcheson Road):
- a) Submit to the City the Area Specific Detailed Public Art Plan for Lot 2 / Area D having a value of at least \$269,504, as determined by the DP approval process for Area D and set out in the table below.

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**NOTE:** Existing legal agreements registered on title require that the Plan shall have a value equal to or greater than the greater of \$209,878 or the combined value of the applicable developer contribution rate multiplied by the total buildable area of Lot 2 / Area D and the value of the prior voluntary developer contribution received by the City with respect to DP 14-670686 for Lot 1 / Area E.

Lot & Area	Max. Permitted Floor Area	Affordable Housing*	Buildable Area**	Applicable Developer Contribution Rate	Value of Area Specific Detailed Art Plan
Lot 2 / Area D	22,888.5 m2 (246,369 ft2)	1,511.6 m2 (16,271 ft2)	21,376.9 m2 (230,098 ft2)	\$0.79/ft <sup>2</sup> (City-approved 2015 rate)	\$181,777
Lot 1 / Area E	Letter of Credit previously submitted via DP 14-670686 (Phase 3) for the future installation of public art in coordination with Lot 2 / Area D				\$87,727
<b>TOTAL Value of the Area Specific Detailed Public Art Plan for Lot 2 / Area D</b>					<b>\$269,504</b>
Outstanding Voluntary Developer Contribution					\$181,777

\* Exempt from "Buildable Area" for Public Art purposes

\*\* Buildable Area = Maximum Permitted Floor Area – Affordable Housing

- b) Enter into a Public Art Agreement satisfactory to the Director of Development and Director, Arts, Culture, and Heritage Services in their sole discretion for the implementation of the Concord Gardens Project-Wide Public Art Plan in respect to Area D in accordance with the Area Specific Detailed Public Art Plan referred to above.

More specifically, the Public Art Agreement shall take the form of a covenant, registered on title, restricting final Building Permit inspection granting occupancy for a building, in whole or in part (excluding a parking structure), on Area D until:

- i) The developer, at its expense, commissions an artist or artists to conceive, create, manufacture, design, and oversee or provide input about the manufacturing of the public art, and causes the public art to be installed on Lot 2 / Area C, Lot 2 / Area D, and/or on City property in accordance with the Area Specific Detailed Art Plan for Area D;
- ii) If the public art is installed on City property, the developer, at its expense and within thirty (30) days of the date on which the public art is installed, executes and delivers to the City, in a form satisfactory to the City Solicitor, a transfer of all of the artist's right, title, and interest in the public art to the City, including a transfer of copyright; and
- iii) The developer, at its expense, submits a final report to the City promptly after the completion of the installation of the public art in respect to the Area Specific Detailed Art Plan for Area D, which report shall, to the satisfaction of the Director of Development and Director, Arts, Culture, and Heritage Services, include:
  - Information regarding the siting of the public art, a brief biography of the artist(s), a statement from the artist(s) on the public art, and other such details as the Director of Development and Director, Arts, Culture, and Heritage Services may require;
  - A statutory declaration, satisfactory to the City Solicitor, confirming that the developer's financial obligations to the artist(s) have been fully satisfied;
  - The maintenance plan for the public art prepared by the artist(s); and
  - Digital records (e.g., photographic images) of the public art, to the satisfaction of the Director, Arts, Culture, and Heritage Services.

12.3. Deliver to the City, as security for the performance of the developer's obligations in the Public Art Agreement for Area D, a voluntary developer contribution in the amount of \$181,777.00 (as per the value of the Outstanding Voluntary Developer Contribution identified in the table above), including:

- a) \$13,475.00 in the form of a cash contribution to the Public Art Operating Provision (to support and sustain the management, administration, and promotion of the Public Art Program, as per standard City policy), which value represents 5% of the "Total Value of the Area Specific Detailed Public Art Plan for Lot 2 / Area D" indicated in the table above; and

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- b) \$168,302.00 in the form of a Letter of Credit.
13. **Letters of Assurance:** Compliance with the terms of restrictive covenant(s) and/or legal agreement(s) registered on title for the purpose of securing that “no development” will be permitted and restricting Development Permit issuance with respect to any portion of the subject site until various letters of assurance from the Registered Professionals are submitted to the City’s satisfaction confirming that the form of development complies with specified conditions, including:
- a) View blockage and other potential development impacts;
  - b) Aircraft noise acoustic and mechanical considerations; and
  - c) Transport Canada airport-related height limits (surveyor).
14. **Serviceing Agreement (SA)\*:** Enter into a Serviceing Agreement\* for the design and construction of the following works (secured with a Letter of Credit), which shall include, but may not be limited to:
- 14.1. As required to facilitate the developer’s completion of required Sexsmith Bikeway SRW (CA2962418 - CA2963421) improvements along the frontage of Lot 2 / Area D, as approved by the City, the relocation of above-ground equipment and related underground utilities within Utilities SRW (CA4404186 - CA4404189) from their existing location encroaching into the Sexsmith Bikeway SRW to an alternate City-approved location east of the ultimate Sexsmith Road sidewalk (in the designated Utilities Area within the South Walkway & Art Studio Terrace SRW); and
- 14.2. Completion of frontage improvements and any and all outstanding works along Garden City Road, Hazelbridge Way, Sexsmith Road, and the surrounding area, as determined to the City’s sole satisfaction.
15. **Additional Legal Requirements:** Registration of changes to or replacement or discharge of various existing legal agreements registered on title and/or the registration of additional legal agreement(s), as required by the subject Development Permit, Serviceing Agreement\*, or Building Permit\*, as determined to the satisfaction of the City, including, but not limited to, additional legal agreements required to the satisfaction of the Director of Engineering with respect to site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and/or private utility infrastructure.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. **“No Build”:** Compliance with the terms of restrictive covenant(s) and/or legal agreement(s) registered on title for the purpose of securing that “no building” will be permitted and restricting Building Permit\* issuance with respect to any portion of the subject site until conditions are satisfied for the following, as determined to the satisfaction of the City:
- 1.1. Sexsmith Art Studios (i.e. detailed design of the art studios and all related facilities (e.g., parking, “Class 1” bike storage, waste storage and holding rooms, publicly-accessible outdoor spaces, and access) and letter of assurance submitted by the Registered Professional, to the satisfaction of the Director of Development and Director, Arts, Culture, and Heritage Services);
  - 1.2. Neighbourhood Park SRW (i.e. detailed design and letter of assurance submitted by the Registered Professional, to the satisfaction of the Director of Development and Senior Manager, Parks);
  - 1.3. South Walkway & Art Studio Terrace SRW (i.e. detailed design of the entire SRW area, with particular attention on the Art Studio Terrace area, Organic Community Garden area, and widening at Ketcheson Road, and letter of assurance submitted by the Registered Professional, to the satisfaction of the Director of Development, Senior Manager, Parks, and Director of Transportation);
  - 1.4. Private (Ketcheson) Road SRW (i.e. detailed design and a letter of assurance submitted by the Registered Professional, to the satisfaction of the Director of Development and Director of Transportation);

Initial:

- 1.5. Visitor Parking (i.e. detailed design and a letter of assurance submitted by the Registered Professional, to the satisfaction of the Director of Transportation);
  - 1.6. Electric Vehicle (EV) Charging Stations for Vehicles & "Class 1" Bike Storage (i.e. detailed design of EV charging features and their locations and a letter of assurance submitted by the Registered Professional, to the satisfaction of the Director of Transportation);
  - 1.7. Transitional Parking, "Class 1" Bike Storage & Electric Vehicle (EV) Charging Stations (i.e. detailed design of transitional parking, bike storage, and related EV charging features and a letter of assurance submitted by the Registered Professional, to the satisfaction of the Director of Transportation);
  - 1.8. Tandem Parking, if proposed (i.e. detailed design, to the satisfaction of the Director of Transportation);
  - 1.9. District Energy Utility (DEU) Agreement (i.e. DEU-related design and energy modelling report submitted by the Registered Professional, to the satisfaction of the Director of Engineering);
  - 1.10. Accessibility Measures: Incorporation of accessibility measures in Building Permit plans as determined via the Development Permit processes (e.g., Basic Universal Housing units, aging-in-place features).
  - 1.11. View Blockage and Other Potential Development Impacts (i.e. detailed design and letter of assurance submitted by the Registered Professional, to the satisfaction of the Director of Development);
  - 1.12. Aircraft Noise (i.e. report and letter of assurance submitted by the Registered Professional, to the satisfaction of the City); and
  - 1.13. Capstan Station Reserve Contribution (i.e. submission of a voluntary developer contribution, on a Building Permit-by-Building Permit\* basis, towards the Capstan Station Reserve or as otherwise provided for in the Zoning Bylaw, as per the Richmond Zoning Bylaw in effect at the time of Building Permit\* issuance).
2. Traffic Management: Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
  3. Construction Hoarding: Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.
  4. Additional Pre-Construction Considerations: Some existing agreements registered on Lot 2 / Area D restrict the developer from conducting construction-related activities in this area (e.g., pre-load, site preparation, construction staging) until various conditions are satisfied (except with the written pre-approval of the City), for example:
    - 4.1. Temporary Parking on Lot 2 / Area D (CA4467095 – CA4467100): This agreement, registered in favour of Lot 1 residents to provide them with temporary use of a surface parking lot on Lot 2 / Area D.

**NOTE:**

- Items marked with an asterisk (\*) require a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.  
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

Initial:

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

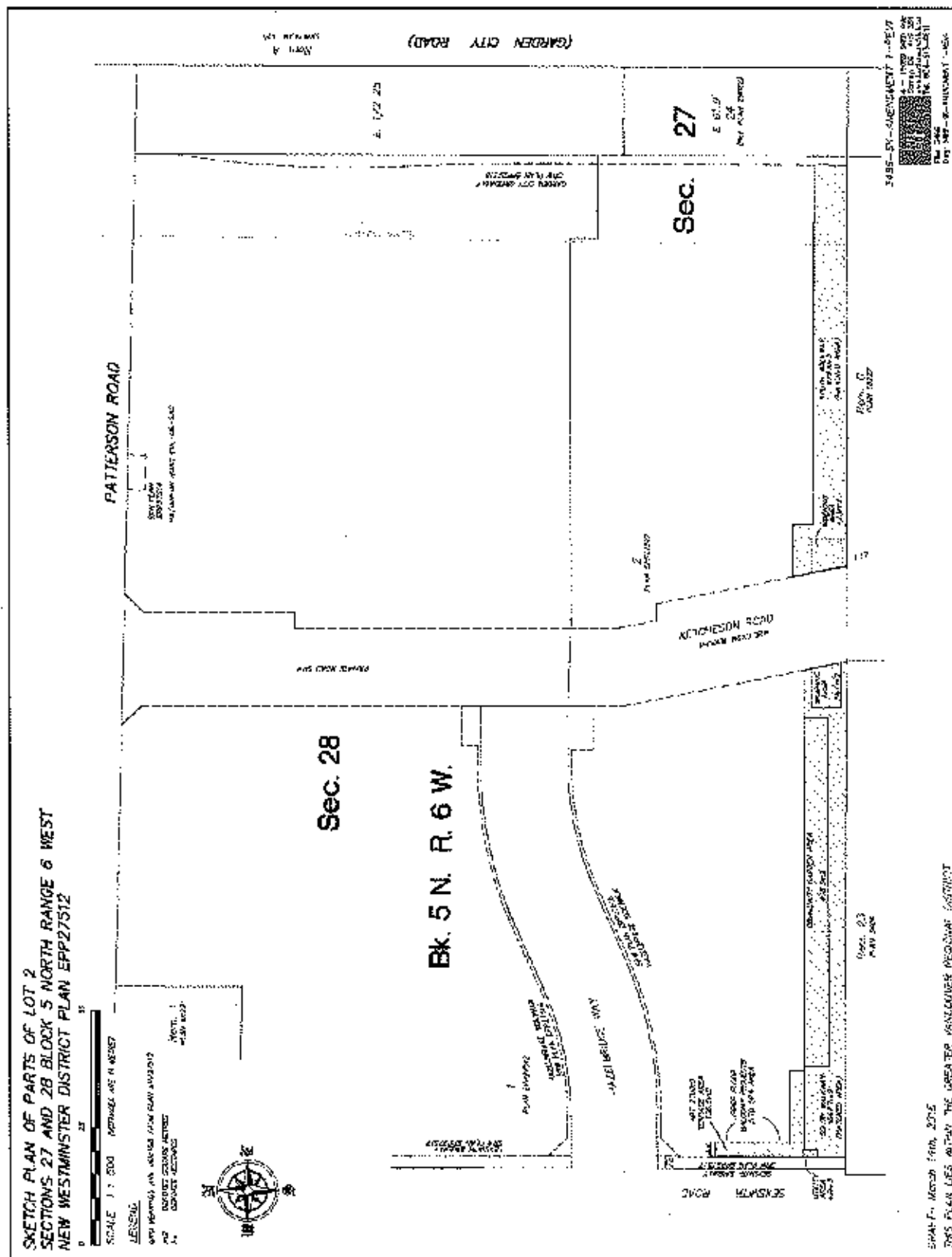
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

**SIGNED COPY ON FILE (REDMS #4858755)**

Signed \_\_\_\_\_

Date \_\_\_\_\_

South Walkway & Art Studio Terrace SRW (Lot 2 / Areas C & D): Proposed Statutory Right-of-Way Plan



Initial \_\_\_\_\_





**ORGANIC COMMUNITY GARDEN**  
**Preliminary Garden Plot User Guidelines**

- a) Properly maintain the Garden Plots, including, without limiting the generality of the foregoing, the regular removal of weeds
- b) Not install or permit to be installed any structures of any kind in the Garden Plots
- c) Not act as the City's representative in connection with any media
- d) Not use the Garden Plots for any commercial enterprise
- e) Not use any power tools or machines of any kind
- f) Keep the walkways between and surrounding the Garden Plots free of debris, tools, and other equipment;
- g) Not permit any automatic watering
- h) Report any safety issues or concerns to the developer/owner or its representative, as applicable
- i) Not install bean poles higher than six feet
- j) Not install solid walls or covered areas of any kind
- k) Not store or stockpile materials of any kind in the Community Gardens
- l) Not permit any dogs or other domestic animals in the Community Gardens
- m) Not grow plants or erect any structure that will shade any neighbours' Garden Plots
- n) Maintain and weed the pathways surrounding his or her Garden Plot
- o) Not place any objects such as chairs, containers/pots, planters, pieces of wood or anything to obstruct the common area pathways
- p) Not plant woody plants (trees and shrubs), invasive species (including blackberries and raspberries)
- q) Not use any Pesticides and to perform pest management and fertiliser placement in a manner consistent with industry accepted methods and in compliance with the City of Richmond Pesticide Use Control Bylaw No. 8514, Public Health Protection Bylaw No. 8969 and other applicable legislation
- r) Not use or permit to be used any herbicides (weed killers), insecticides, chemical fertilizers, animal poisons and nonorganic materials (including treated wood)
- s) Not remove the Communal Tools from the Community Garden where they are located
- t) Clean and return the Communal Tools to the storage shed in each applicable Community Garden after each use
- u) Keep the storage shed in each Community Garden tidy and organized including, without limiting the generality of the foregoing, not leaving garbage or useless gardening materials in the storage shed
- v) Begin planting in his or her Garden Plot by May 15th and finish planting by May 30th. Failure to do this shall result in forfeiture of the Garden Plot
- w) Not remove any item from any other Garden Plot other than the Garden Plot to which the Garden Plot User has been assigned
- x) Harvest the Garden Plot to which the Garden Plot User has been assigned by October 31st of each year of the Term
- y) Conserve the use of water by hand watering and mulching with leaves, grass clippings, or hay to reduce water evaporation
- z) Follow City water restrictions when they are in effect

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**Schedule D**

**Summary of Affordable Housing Units for Concord Gardens Phases 4 & 5**

**Area C / Location, Type & Area of Affordable Housing Units (EAST BUILDING)**

LOCATION	UNIT TYPE	BASIC UNIVERSAL HOUSING (BUH) UNITS <sup>(1)</sup>	UNIT AREA	
			ft <sup>2</sup>	m <sup>2</sup>
Levels 2 & 3	2 bedroom (2-storey townhouse)	No	1,153.0	107.12
Levels 2 & 3	2 bedroom (2-storey townhouse)	No	1,202.9	111.75
Level 3	1 bedroom	Yes	592.0	55.0
Level 3	2 bedroom	Yes	902.9	83.88
Level 4	1 bedroom	Yes	592.0	55.0
Level 4	2 bedroom	Yes	902.6	83.85
Level 4	2 bedroom	Yes	902.9	83.88
Level 5	2 bedroom	Yes	902.6	83.85
Level 5	2 bedroom	Yes	902.9	83.88
Level 6	2 bedroom	Yes	902.6	83.85
Level 6	2 bedroom	Yes	902.9	83.88
Level 7	2 bedroom	Yes	902.6	83.85
Level 7	2 bedroom	Yes	902.9	83.88
Level 8	2 bedroom	Yes	902.6	83.85
Level 8	2 bedroom	Yes	902.9	83.88
<b>TOTAL</b>	<b>15 units</b>	<b>13 BUH units</b>	<b>13,470.3 ft<sup>2</sup></b>	<b>1,251.4 m<sup>2</sup></b>

(1) Basic Universal Housing (BUH) units shall comply with all applicable Richmond Zoning Bylaw requirements.

**Area D / Location, Type & Area of Affordable Housing Units (WEST BUILDING)**

LOCATION	UNIT TYPE	BASIC UNIVERSAL HOUSING (BUH) UNITS <sup>(1)</sup>	UNIT AREA	
			ft <sup>2</sup>	m <sup>2</sup>
Levels 2 & 3	3 bedroom (2-storey townhouse)	No	1,224.8	113.8
Levels 2 & 3	3 bedroom (2-storey townhouse)	No	1,224.9	113.8
Level 3	1 bedroom	Yes	727.6	67.6
Level 3	2 bedroom	Yes	893.4	83.0
Level 3	2 bedroom	Yes	927.9	86.2
Level 3	2 bedroom	Yes	968.8	90.0
Level 3	2 bedroom	Yes	1,024.7	95.2
Level 4	2 bedroom	Yes	893.4	83.0
Level 4	2 bedroom	Yes	927.9	86.2
Level 4	2 bedroom	Yes	968.8	90.0
Level 4	2 bedroom	Yes	1,024.7	95.2
Level 5	2 bedroom	Yes	893.4	83.0
Level 5	2 bedroom	Yes	927.9	86.2
Level 6	2 bedroom	Yes	893.4	83.0
Level 6	2 bedroom	Yes	927.9	86.2
Level 7	2 bedroom	Yes	893.4	83.0
Level 7	2 bedroom	Yes	927.9	86.2
<b>TOTAL</b>	<b>17 units</b>	<b>15 BUH units</b>	<b>16,270.9 ft<sup>2</sup></b>	<b>1,511.6 m<sup>2</sup></b>

(1) Basic Universal Housing (BUH) units shall comply with all applicable Richmond Zoning Bylaw requirements.

Initial \_\_\_\_\_



No. DP 15-700800

To the Holder: GBL Architects Inc.  
Property Address: 8800 Hazelbridge Way and 3300 and 3311 Ketcheson Road  
Address: 139 East 8th Avenue, Vancouver, BC V5T 1R8

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1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - a) Increase the maximum allowable building height for the east building within 50.0 m of a lot line abutting Garden City Road from 28.0 m to 31.5 m for an enclosed stair shaft, elevator penthouse, and guardrail;
  - b) Reduce the minimum allowable road and park setbacks for the west building from 3.0 m to:
    - (i) 0.0 m from the South Walkway and Art Studio Terrace Statutory Right-of-Way in the vicinity of the art studios; and
    - (ii) 2.82 m from the Hazelbridge Way Sidewalk Widening Statutory Right-of-Way near the building's northwest corner; and
  - c) Increase the maximum allowable projections into the required yards:
    - (i) For the east building, from 1.2 m to 1.47 m for a cantilevered roof at the building's southwest corner; and
    - (ii) For the west building, from 1.0 m to 1.37 m for balconies at the west tower's south side.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1A to #7D attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$2,170,512.94 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms



**Development Permit**  
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and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF

ISSUED BY THE COUNCIL THE

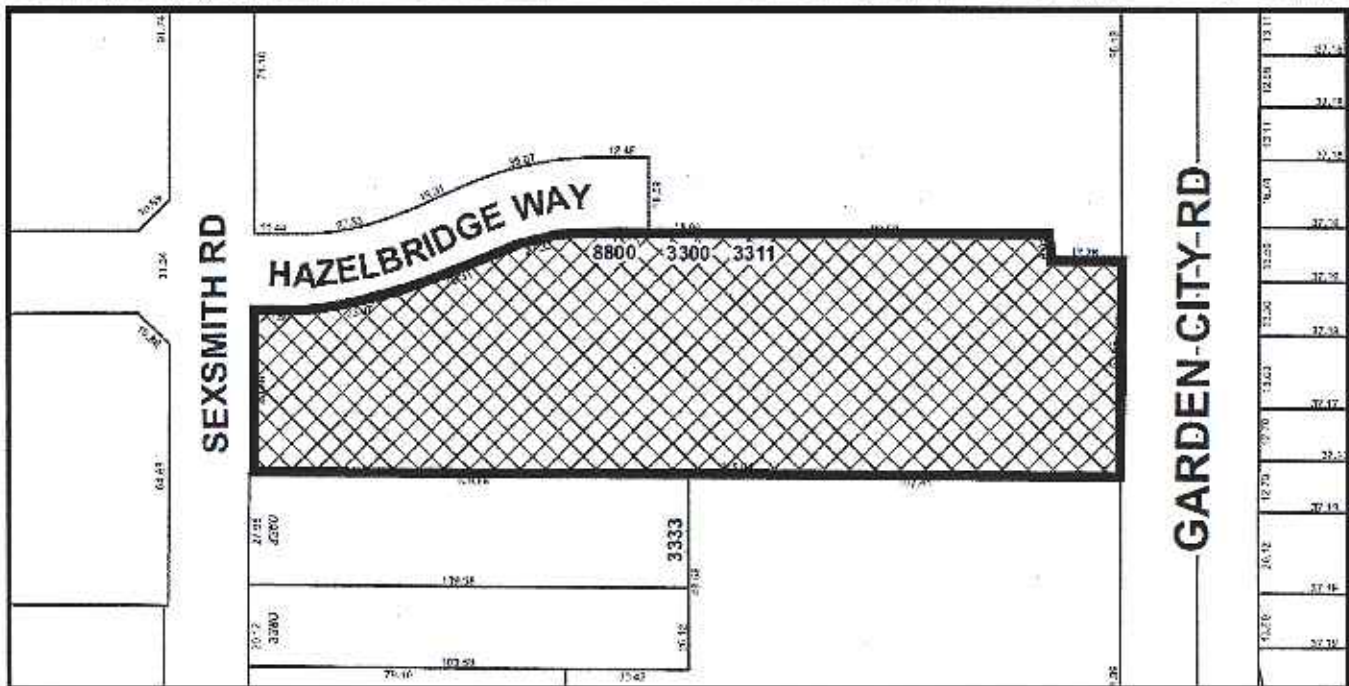
DELIVERED THIS DAY OF

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MAYOR



City of  
Richmond



DP 15-700800  
SCHEDULE "A"

Original Date: 07/16/15

Revision Date: 01/25/16

Note: Dimensions are in METRES



# Concord Gardens Development Summary

DP 15-700800



Concord Gardens			Dwelling Units				Net Residential Floor Area	Estimated Occupancy Date
Phase	Lot	Area	Market Units	Affordable Housing	ARTS Units	Total		
1	1	A	260	Nil	20	280	23,395.0 m2 (251,822 ft2)	2016
2	1	B	244	17	Nil	261	20,759.6 m2 (223,454 ft2)	2017
3	1	E	128	7	Nil	135	10,969.6 m2 (118,076 ft2)	2017
<b>Approved Sub-Total</b>			<b>632</b>	<b>24</b>	<b>20</b>	<b>676</b>	<b>55,124.2 m2 (593,352 ft2)</b>	-
4	2	C	215	15	Nil	233	19,207.1 m2 (206,744 ft2)	<b>2018 Subject Application</b>
5	2	D	275	17	Nil	292	22,080.5 m2 (248,389 ft2)	
<b>Sub-Total</b>			<b>493</b>	<b>32</b>	<b>Nil</b>	<b>525</b>	<b>42,095.6 m2 (453,113 ft2)</b>	
<b>TOTAL</b>			<b>1,125</b>	<b>56</b>	<b>20</b>	<b>1,201</b>	<b>97,219.8 m2 (1,046,465 ft2)</b>	-

## Subject Development: Phases 4 & 5

Residential Uses	Market	Affordable Housing	Total
Net Floor Area	39,332.6 m2 (423,371.8 ft2)	2,763.0 m2 (29,741.2 ft2)	42,095.6 m2 (453,113.0 ft2)
Number of Units	493 (Total) 215 (Phase 4) 275 (Phase 5)	32 (Total) 15 (Phase 4) 17 (Phase 5)	525 (Total) 233 (Phase 4) 292 (Phase 5)
Basic Universal Housing (BUH)	75 (Total) 33 (Phase 4) 42 (Phase 5)	28 (Total) 13 (Phase 4) 15 (Phase 5)	103 (Total) 46 (Phase 4) 57 (Phase 5)

## Affordable Housing: Phases 4 & 5 (Secured with legal agreements on title)

Unit Type	Phase 4			Phase 5		
	Units	BUH Units	Minimum Habitable Unit Area	Units	BUH Units	Minimum Habitable Unit Area
2-Storey Townhouse	Levels 2 & 3 with Direct Corridor & Street-Front Access to Garden City Road					
2-Bedroom	2	Nil	107.1 m <sup>2</sup> (1,153 ft <sup>2</sup> )	2	Nil	113.8 m <sup>2</sup> (1,235 ft <sup>2</sup> ) / unit
Apartment	Levels 3, 4, 5, 6, 7 & 8					
1-Bedroom	2	2	55.0 m <sup>2</sup> (592 ft <sup>2</sup> ) / unit	1	1	67.6 m <sup>2</sup> (726 ft <sup>2</sup> ) / unit
2-Bedroom	11	11	83.9 m <sup>2</sup> (903 ft <sup>2</sup> ) / unit	14	14	83.0 m <sup>2</sup> (893 ft <sup>2</sup> ) / unit
<b>TOTAL</b>	<b>16</b>	<b>13</b>	<b>1,251.4 m2 (13,470.3 ft2)</b>	<b>17</b>	<b>15</b>	<b>1,511.6 m2 (16,270.9 ft2)</b>

Actual unit areas vary, but shall not be less than the "Minimum Unit Area" indicated in the table above.

## Community Amenity: Sexsmith Art Studios (Phase 5) (Secured with legal agreements on title)

SAS Art Studio Unit	Art Studio Units - Minimum Indoor Gross Leasable Floor Area (1)	Art Studio Work Spaces - Minimum Dimensions		
		Floor Area (2)	Width (2)	Height (2)
#1	33 m2 (355 ft2)	23.0 m2 (248 ft2)	3.05 m (10 ft)	3.68 m (12 ft)
#2	35 m2 (377 ft2)	23.0 m2 (248 ft2)	3.05 m (10 ft)	3.68 m (12 ft)
#3	35 m2 (377 ft2)	23.0 m2 (248 ft2)	3.05 m (10 ft)	3.68 m (12 ft)
#4	37 m2 (398 ft2)	23.0 m2 (248 ft2)	3.05 m (10 ft)	3.68 m (12 ft)
<b>TOTAL</b>	<b>140.0 m2 (1,507 ft2)</b>	<b>N/A</b>	<b>N/A</b>	<b>N/A</b>

Related uses include 1 parking/loading space, Class 1 bike parking, a garbage/recycling room, publicly-accessible open space, electric vehicle (EV) charging stations & shared use of visitor parking, garbage/recycling holding room & loading

## NOTES:

1. Variances are identified on the site plan.
2. Affordable housing units are identified on the floor plans.
3. Statutory right-of-ways are identified on the site plan.
4. Basic Universal Housing (BUH) units are identified on the floor plans & must satisfy Zoning Bylaw requirements.
5. 100% of units shall include aging-in-place features including stairwell hand rails, lever-type handles for plumbing fixtures and door handles, and solid blocking in washroom walls to facilitate future grab bar installation (by others) beside toilets, bathtubs, and showers.
6. 100% of parking & Class 1 bike storage must be complete prior to occupancy of Phase 4.
7. All visitor parking shall be located on Level 2.
8. No tandem parking is permitted.
9. Electric vehicle (EV) charging stations for vehicles & Class 1 bike storage are identified on the plans. As per legal agreements, final locations must be confirmed prior to Building Permit issuance.
10. Prior to Building Permit issuance, City Departmental approvals are required for the final design of Ketcheson Road SRW, Neighbourhood Park SRW, South Walkway & Art Studio Terraces SRW, Sexsmith Art Studios & District Energy Utility (DEU) requirements.
11. Prior to Building Permit issuance, developer contributions are required towards public art & the Capstan Station Reserve (as per Zoning Bylaw amenity bonus requirements)

## Parking: Phases 4 & 5

Area/Phase	# Residential Units	Min # Parking Spaces & EV Charging Stations			Min "Class 1" Bike Storage		
		# Residents (R)	# Visitors (V) (1)	# EV Plug-In (2)	# EV Rough-In (3)	# Bikes	# EV Plug-ins (4)
Area C Phase 4	Market = 218 AH = 15 Total = 233	Market = 196 AH = 12 Total = 208 (R)	42 (V)*	75	63	Market = 273 AH = 19 Total = 292	Market = 27 AH = 2 Total = 29
Area D Phase 5	Market = 275 AH = 17 Total = 292	Market = 248 AH = 14 Total = 262 (R)	53 (V)*	95	79	Market = 344 AH = 22 Total = 366	Market = 34 AH = 3 Total = 37
<b>SUB-TOTAL</b>	Market = 493 AH = 32 Total = 525	Market = 444 AH = 26 Total = 470 (R)	95 (V)*	170 <small>NOTE: 100% to be assigned to residents</small>	142	Market = 617 AH = 41 Total = 658	Market = 61 AH = 5 Total = 66
Art Studios	N/A	1	1	Nil	6	1	
<b>TOTAL</b>		<b>566</b>	<b>171</b>	<b>142</b>	<b>666</b>	<b>67</b>	

\*AH\* means Affordable Housing unit or units. \*Market\* means strata-titled condominium unit or units. \*Art Studios\* means the affordable, work-only Sexsmith Art Studios (SAS) facility proposed for Phase 5 (Area D).

- (1) Visitor parking required for the affordable housing units and market units shall be pooled and shared.
- (2) Electric vehicle (EV) Plug-ins (i.e. 120 volt duplex outlets) must be provided at a rate of 30% of the combined total number of resident and visitor parking spaces.
- (3) Electric vehicle (EV) Rough-ins (i.e. pre-dusting for the future installation of 120 volt duplex outlets by others) must be provided at a rate of 25% of the combined total number of resident and visitor parking spaces.
- (4) Electric vehicle (EV) Plug-ins for "Class 1" bikes (i.e. 120 volt duplex outlets) must be provided at a rate of 1 for each 10 bikes or portion thereof in each bike room.

Plan 1A Mar 19, 2016

DP 15 - 700800











Plan 1C Mar 19, 2016  
 DP 15 - 700800



CONCORD GARDENS  
 LOT 2

DATE: 19 MAR 2016  
 DRAWING NO.: A-1.06  
 PROJECT NO.: 15-700800

DATE: 19 MAR 2016  
 DRAWING NO.: A-1.06  
 PROJECT NO.: 15-700800

A-1.06

**VARY THE PROVISIONS OF RICHMOND ZONING BYLAW 8500 TO:**

- A.** Increase the maximum allowable building height for the east building within 50.0 m of a lot line abutting Garden City Road from 28.0 m to 31.5 m for an enclosed stair shaft, elevator penthouse, and guardrail;
- B.** Reduce the minimum allowable road and park setbacks for the west building from 3.0 m to:
  - (i) Nil from the South Walkway and Art Studio Terrace statutory right-of-way in the vicinity of the art studios (Levels 2 - 16); and
  - (ii) 2.82 m from the Hazelbridge Way Sidewalk Widening statutory right-of-way near the building's northwest corner (Levels 3 - 14).

- C.** Increase the maximum allowable projections into the required yards:
  - (i) For the east building, from 1.2 m to 1.47 m for cantilevered roofs at the building's southwest corner along the South Walkway and Art Studio Terrace statutory right of way (Roof Level); and
  - (ii) For the west building from 1.0 m to 1.37 m for balconies at the west tower along the South Walkway and Art Studio Terrace statutory right-of-way (Levels 4 - 14).







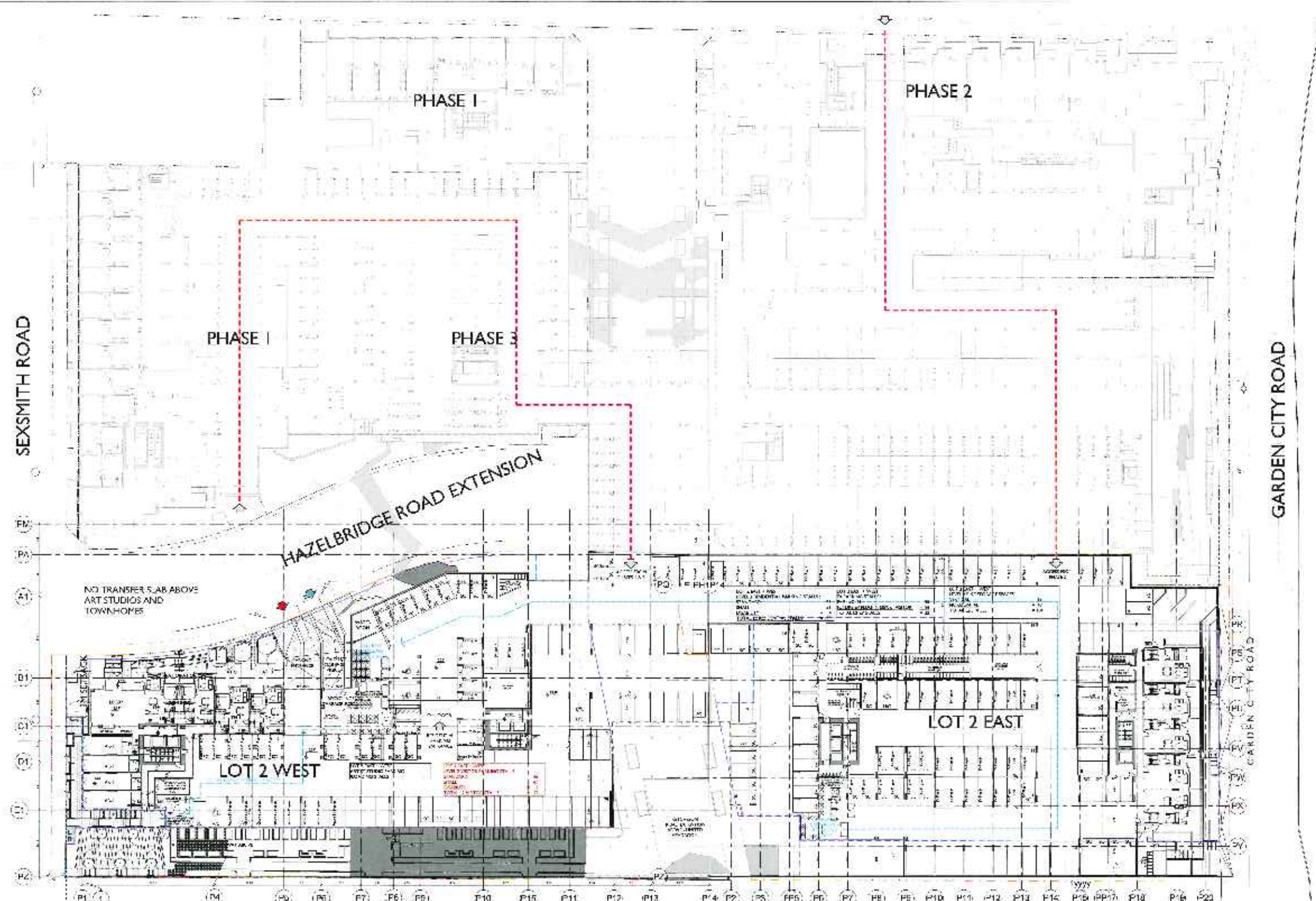
**PARKING REQUIRED**

Type	# of Units (Total)	Min # Parking Spaces & EV Charging Stations				Min # "Class 1" Bike Storage	
		# Required (50)	# Station (40/10)	# EV (10/10)	# EV (20/10)	# Bikes	# EV (10/10)
C	Market = 210 A = 10 Total = 220	Market = 210 A = 10 Total = 220 (10)	42 (10)	10	22	Market = 210 A = 10 Total = 220	Market = 210 A = 10 Total = 220
C	Market = 225 A = 10 Total = 235	Market = 225 A = 10 Total = 235 (10)	45 (10)	10	25	Market = 225 A = 10 Total = 235	Market = 225 A = 10 Total = 235
SUB TOTAL	Market = 435 A = 20 Total = 455	Market = 435 A = 20 Total = 455 (10)	87 (10)	20	47	Market = 435 A = 20 Total = 455	Market = 435 A = 20 Total = 455
Off Street	N/A	0	0	0	0	0	0
TOTAL		87	20	47	47		

- (1) Min # parking spaces are based on a 50% occupancy and a 10% EV charging station requirement.
- (2) Min # EV charging stations are based on a 10% EV charging station requirement.
- (3) Min # bike storage is based on a 10% bike storage requirement.
- (4) Min # EV charging stations are based on a 10% EV charging station requirement.
- (5) Min # bike storage is based on a 10% bike storage requirement.

**PARKING SUMMARY**

Lot #	Parking Summary	TOTAL										TOTAL		TOTAL	
		Car	EV	Bike	Other	Handicapped	Motorcycle	Light Truck	Truck	Trailer	RV	Other	Other	Other	
Lot 2 West	Market = 210 A = 10 Total = 220	100	10	10	10	10	10	10	10	10	10	10	10	10	
Lot 2 East	Market = 225 A = 10 Total = 235	110	10	10	10	10	10	10	10	10	10	10	10	10	
TOTAL		210	20	20	20	20	20	20	20	20	20	20	20	20	



gbl  
 1000 West 1st Street  
 Vancouver, BC V6C 1A5  
 Tel: 604.681.1111  
 Fax: 604.681.1112  
 www.gbl.com

- LEGEND**
- 1. EXISTING
  - 2. PROPOSED
  - 3. TO BE DEMOLISHED
  - 4. TO BE RELOCATED
  - 5. TO BE ADDED
  - 6. TO BE REMOVED
  - 7. TO BE PRESERVED
  - 8. TO BE DESTROYED
  - 9. TO BE RECONSTRUCTED
  - 10. TO BE REPAIRED

**Plan 2B** Mar 19, 2016  
**DP 15 - 700800**



CONCORD GARDENS  
 LOT 2

PHASE 2C  
 LEVEL 2 FULL PARKING

DATE: 14/05/16  
 SCALE: 1/4" = 1'-0"

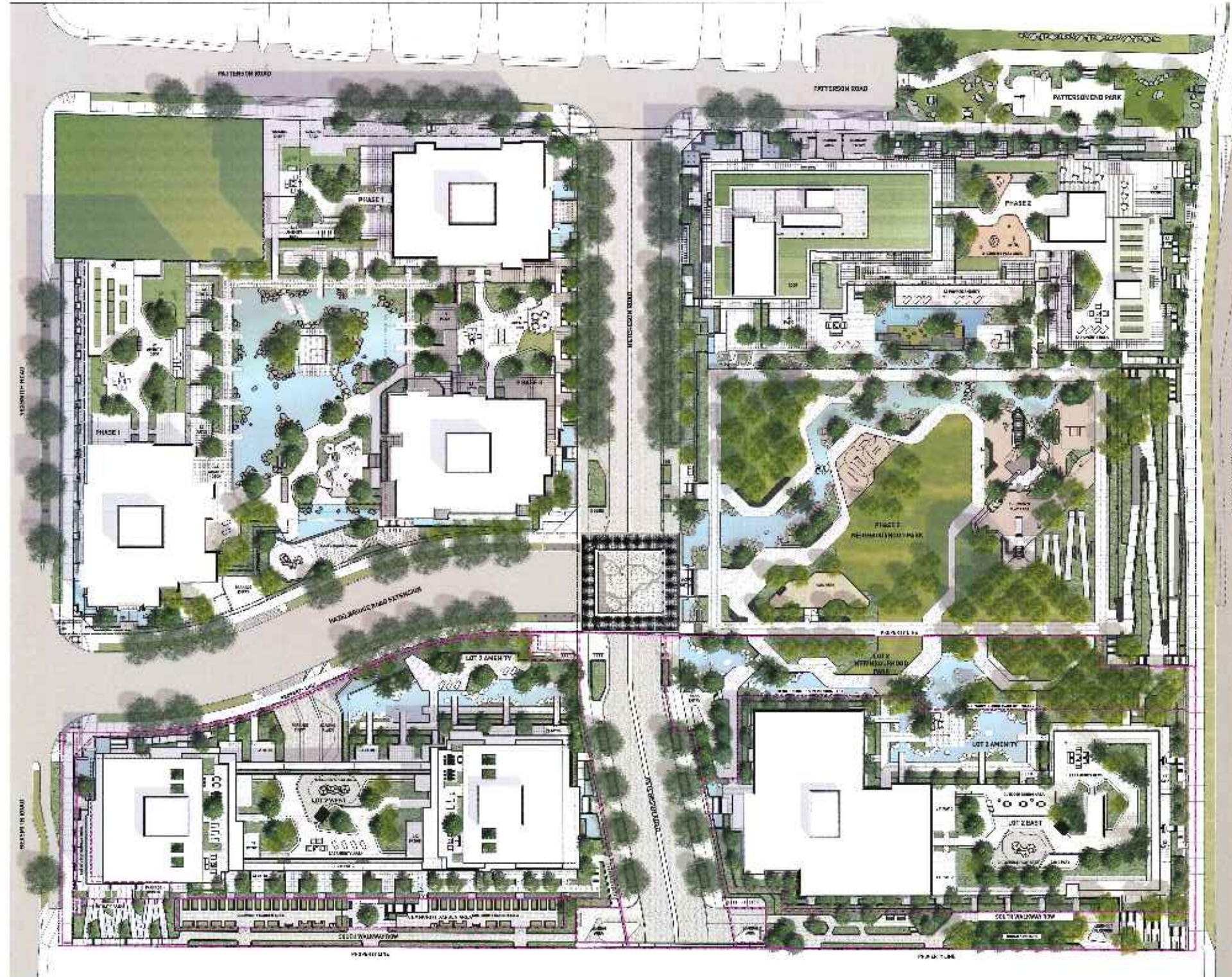
**A-2.02**



# CONCORD GARDENS LOT 2 LANDSCAPE PACKAGE

## DRAWING LIST

- L0.01 COVER PAGE AND SITE PLAN
- L0.02 INSPIRATION IMAGES
- L0.03 PRECEDENT IMAGES
- L0.04 TREE MANAGEMENT PLAN
- L1.01 LAYOUT AND MATERIAL PLAN GL EAST
- L1.02 LAYOUT AND MATERIAL PLAN L11 EAST
- L1.03 LAYOUT AND MATERIAL PLAN GL WEST
- L1.04 LAYOUT AND MATERIAL PLAN L11 WEST
- L1.05 LAYOUT AND MATERIAL PLAN L12 WEST
- L1.06 LAYOUT AND MATERIAL PLAN L16 WEST
- L1.07 LAYOUT, MATERIAL, GRADING AND PLANTING PLAN KETCHUM ROAD
- L1.08 SOUTH WALKWAY
- L1.09 SOUTH WALKWAY ENTRY ON SEXSMITH
- L1.10 SOUTH WALKWAY ENTRY ON GARDEN CITY ROAD
- L1.11 ORGANIC COMMUNITY GARDEN AREA
- L2.01 GRADING PLAN GL EAST
- L2.02 GRADING PLAN GL WEST
- L2.03 GRADING ROOF LEVELS
- L3.01 PLANTING PLAN GL EAST
- L3.02 PLANTING PLAN L11 EAST AND PLANT LIST
- L3.03 PLANTING PLAN GL WEST
- L3.04 PLANTING PLAN ROOF LEVELS WEST
- L4.01 LIGHTING PLAN GL EAST
- L4.02 LIGHTING PLAN GL WEST
- L4.03 LIGHTING PLAN ROOF LEVELS
- L5.01 LANDSCAPE DETAILS
- L5.02 LANDSCAPE DETAILS
- L5.03 LANDSCAPE DETAILS
- L5.04 LANDSCAPE DETAILS
- L5.05 LANDSCAPE DETAILS



NO. 01	COVER PAGE AND SITE PLAN
NO. 02	INSPIRATION IMAGES
NO. 03	PRECEDENT IMAGES
NO. 04	TREE MANAGEMENT PLAN
NO. 05	LAYOUT AND MATERIAL PLAN GL EAST
NO. 06	LAYOUT AND MATERIAL PLAN L11 EAST
NO. 07	LAYOUT AND MATERIAL PLAN GL WEST
NO. 08	LAYOUT AND MATERIAL PLAN L11 WEST
NO. 09	LAYOUT AND MATERIAL PLAN L12 WEST
NO. 10	LAYOUT AND MATERIAL PLAN L16 WEST
NO. 11	LAYOUT, MATERIAL, GRADING AND PLANTING PLAN KETCHUM ROAD
NO. 12	SOUTH WALKWAY
NO. 13	SOUTH WALKWAY ENTRY ON SEXSMITH
NO. 14	SOUTH WALKWAY ENTRY ON GARDEN CITY ROAD
NO. 15	ORGANIC COMMUNITY GARDEN AREA
NO. 16	GRADING PLAN GL EAST
NO. 17	GRADING PLAN GL WEST
NO. 18	GRADING ROOF LEVELS
NO. 19	PLANTING PLAN GL EAST
NO. 20	PLANTING PLAN L11 EAST AND PLANT LIST
NO. 21	PLANTING PLAN GL WEST
NO. 22	PLANTING PLAN ROOF LEVELS WEST
NO. 23	LIGHTING PLAN GL EAST
NO. 24	LIGHTING PLAN GL WEST
NO. 25	LIGHTING PLAN ROOF LEVELS
NO. 26	LANDSCAPE DETAILS
NO. 27	LANDSCAPE DETAILS
NO. 28	LANDSCAPE DETAILS
NO. 29	LANDSCAPE DETAILS
NO. 30	LANDSCAPE DETAILS

Plan 3A Mar 19, 2016  
DP 15 - 700800



Concord Gardens Lot 2

COVER PAGE AND SITE PLAN

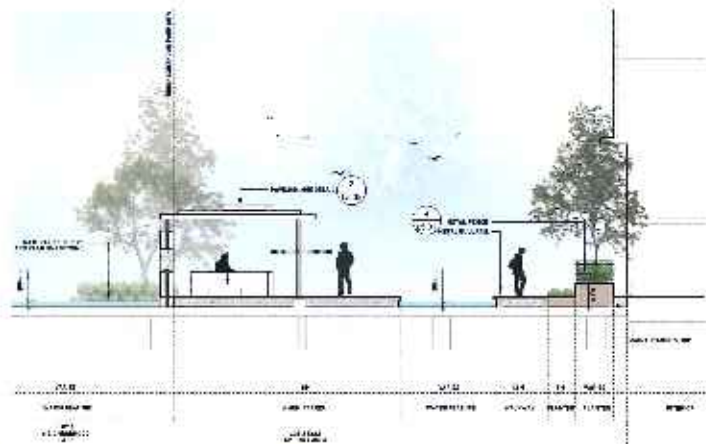
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TIME	10:00 AM
PROJECT	CONCORD GARDENS LOT 2
CLIENT	CONCORD PACIFIC
SCALE	AS SHOWN
DESIGNER	GBL
CHECKER	GBL
DATE	15-MAR-2016
TIME	10:00 AM
PROJECT	CONCORD GARDENS LOT 2
CLIENT	CONCORD PACIFIC
SCALE	AS SHOWN
DESIGNER	GBL
CHECKER	GBL

L 0.01



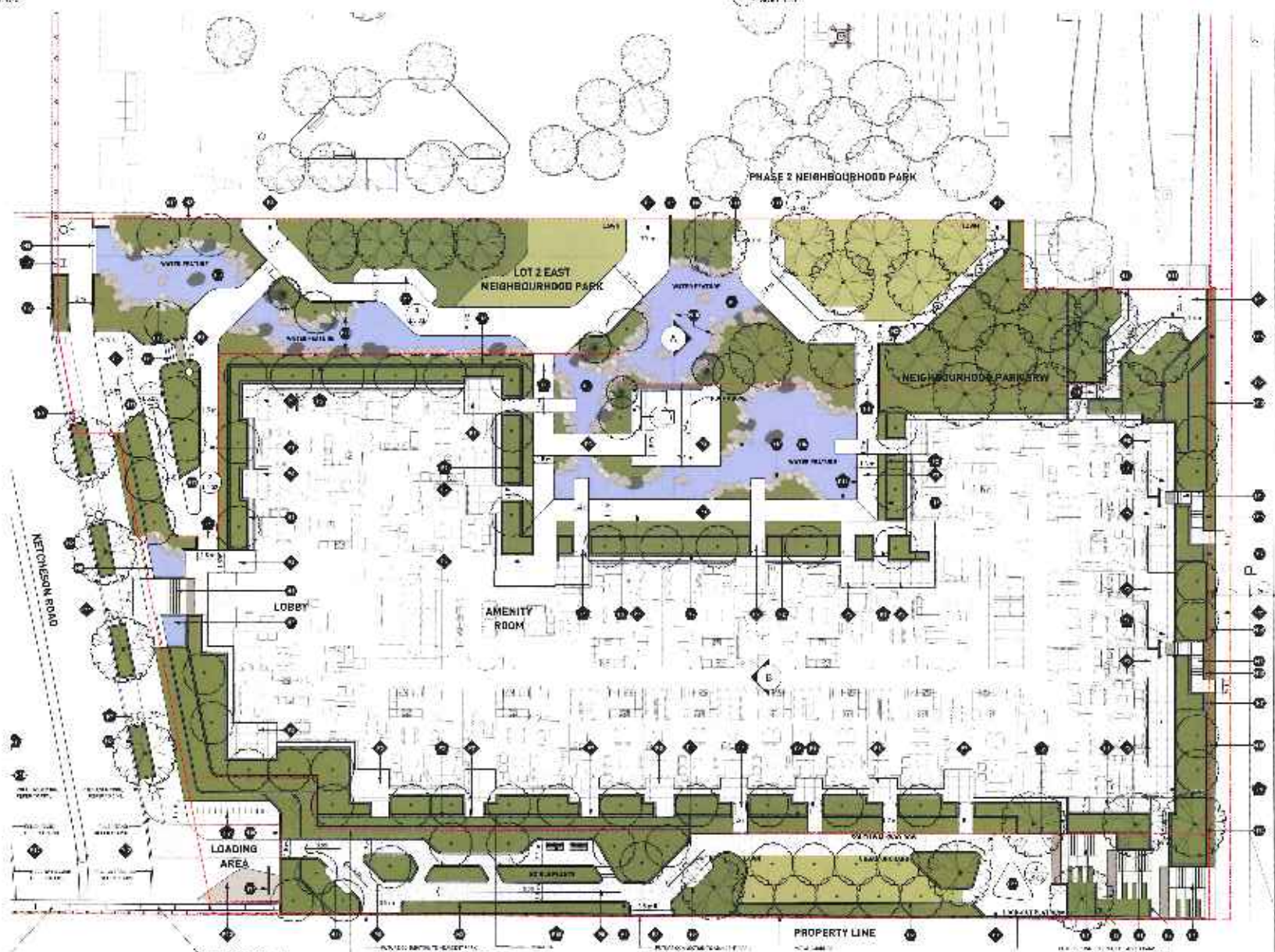
LAYOUT AND MATERIALS GENERAL NOTES

1. ALL PAVING SHALL BE INSTALLED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
2. ALL PAVING SHALL BE INSTALLED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
3. ALL PAVING SHALL BE INSTALLED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
4. ALL PAVING SHALL BE INSTALLED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.
5. ALL PAVING SHALL BE INSTALLED TO THE FINISH SURFACE UNLESS OTHERWISE NOTED.



SECTION A  
Scale: 1/8" = 1'-0"

SECTION B  
Scale: 1/8" = 1'-0"



SECTION C  
Scale: 1/8" = 1'-0"

PAVING LEGEND	
KEY	DESCRIPTION
1	CONCRETE
2	ASPHALT
3	GRAVEL
4	GRAVEL
5	GRAVEL
6	GRAVEL
7	GRAVEL
8	GRAVEL
9	GRAVEL
10	GRAVEL
11	GRAVEL
12	GRAVEL
13	GRAVEL
14	GRAVEL
15	GRAVEL
16	GRAVEL
17	GRAVEL
18	GRAVEL
19	GRAVEL
20	GRAVEL
21	GRAVEL
22	GRAVEL
23	GRAVEL
24	GRAVEL
25	GRAVEL
26	GRAVEL
27	GRAVEL
28	GRAVEL
29	GRAVEL
30	GRAVEL
31	GRAVEL
32	GRAVEL
33	GRAVEL
34	GRAVEL
35	GRAVEL
36	GRAVEL
37	GRAVEL
38	GRAVEL
39	GRAVEL
40	GRAVEL
41	GRAVEL
42	GRAVEL
43	GRAVEL
44	GRAVEL
45	GRAVEL
46	GRAVEL
47	GRAVEL
48	GRAVEL
49	GRAVEL
50	GRAVEL

HARDSCAPE LEGEND	
KEY	DESCRIPTION
1	CONCRETE
2	CONCRETE
3	CONCRETE
4	CONCRETE
5	CONCRETE
6	CONCRETE
7	CONCRETE
8	CONCRETE
9	CONCRETE
10	CONCRETE
11	CONCRETE
12	CONCRETE
13	CONCRETE
14	CONCRETE
15	CONCRETE
16	CONCRETE
17	CONCRETE
18	CONCRETE
19	CONCRETE
20	CONCRETE
21	CONCRETE
22	CONCRETE
23	CONCRETE
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26	CONCRETE
27	CONCRETE
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33	CONCRETE
34	CONCRETE
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37	CONCRETE
38	CONCRETE
39	CONCRETE
40	CONCRETE
41	CONCRETE
42	CONCRETE
43	CONCRETE
44	CONCRETE
45	CONCRETE
46	CONCRETE
47	CONCRETE
48	CONCRETE
49	CONCRETE
50	CONCRETE

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
1	CONCRETE
2	CONCRETE
3	CONCRETE
4	CONCRETE
5	CONCRETE
6	CONCRETE
7	CONCRETE
8	CONCRETE
9	CONCRETE
10	CONCRETE
11	CONCRETE
12	CONCRETE
13	CONCRETE
14	CONCRETE
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37	CONCRETE
38	CONCRETE
39	CONCRETE
40	CONCRETE
41	CONCRETE
42	CONCRETE
43	CONCRETE
44	CONCRETE
45	CONCRETE
46	CONCRETE
47	CONCRETE
48	CONCRETE
49	CONCRETE
50	CONCRETE

**PWL** partnership

**gbl**

CONCORD PACIFIC

CONCORD BUILDS LOT 2

Plan 3B Mar 19, 2016  
DP 15 - 700800



Concord Builds Lot 2

LAYOUT, MATERIAL  
PLAN  
GROUND LEVEL - East

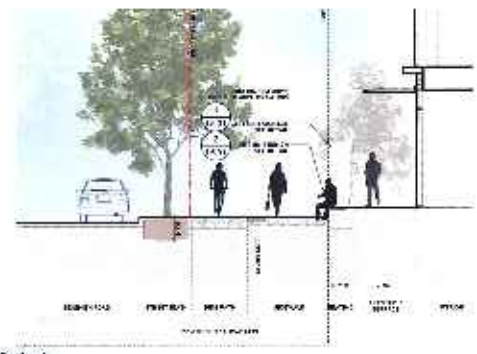
AS SHOWN

L 1.01





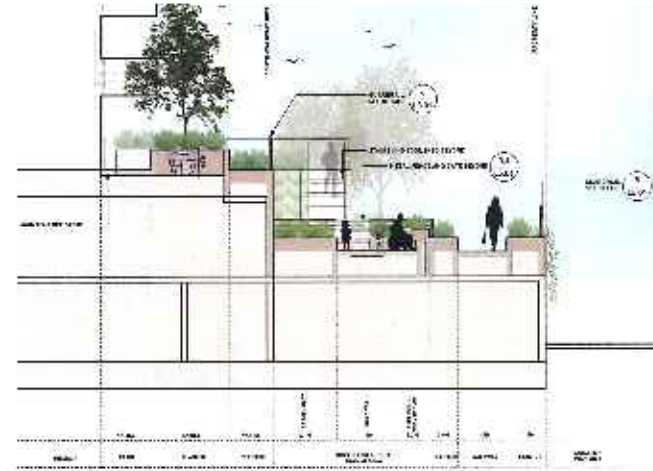




Section A  
Scale: 1/8" = 1'-0"



Section B  
Scale: 1/8" = 1'-0"



Section C  
Scale: 1/8" = 1'-0"

- LAYOUT AND MATERIALS GENERAL NOTES**
1. MATERIALS TO BE USED SHALL BE AS SHOWN ON THE LAYOUT AND MATERIALS LEGEND UNLESS OTHERWISE NOTED.
  2. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  3. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  4. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

PAVING LEGEND	
KEY	DESCRIPTION
1	ASPHALT
2	CONCRETE
3	GRAVEL
4	GRASS
5	LANDSCAPE
6	PAVING
7	PAVING
8	PAVING
9	PAVING
10	PAVING
11	PAVING
12	PAVING
13	PAVING
14	PAVING
15	PAVING
16	PAVING
17	PAVING
18	PAVING
19	PAVING
20	PAVING

HARDSCAPE LEGEND	
KEY	DESCRIPTION
1	PAVING
2	PAVING
3	PAVING
4	PAVING
5	PAVING
6	PAVING
7	PAVING
8	PAVING
9	PAVING
10	PAVING
11	PAVING
12	PAVING
13	PAVING
14	PAVING
15	PAVING
16	PAVING
17	PAVING
18	PAVING
19	PAVING
20	PAVING

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
1	PAVING
2	PAVING
3	PAVING
4	PAVING
5	PAVING
6	PAVING
7	PAVING
8	PAVING
9	PAVING
10	PAVING
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14	PAVING
15	PAVING
16	PAVING
17	PAVING
18	PAVING
19	PAVING
20	PAVING

PWL Consulting  
 1000 ...  
 416-291-1111  
 www.pwl.ca

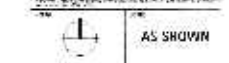
gbl  
 1000 ...  
 416-291-1111  
 www.gbl.ca

Plan 3D Mar 19, 2016  
 DP 15 - 700800



Concord Gardens Lot 2  
 East

LAYOUT, MATERIAL  
 PLAN  
 GROUND LEVEL - West



L 1.03



Section View  
Scale: 1/8" = 1'-0"









PLAN 1001



PLAN 1002



PLAN 1003

LAYOUT AND MATERIALS GENERAL NOTES

1. SEE LAYOUT AND MATERIALS GENERAL NOTES FOR ALL MATERIALS AND FINISHES.
2. SEE LAYOUT AND MATERIALS GENERAL NOTES FOR ALL MATERIALS AND FINISHES.
3. SEE LAYOUT AND MATERIALS GENERAL NOTES FOR ALL MATERIALS AND FINISHES.
4. SEE LAYOUT AND MATERIALS GENERAL NOTES FOR ALL MATERIALS AND FINISHES.
5. SEE LAYOUT AND MATERIALS GENERAL NOTES FOR ALL MATERIALS AND FINISHES.
6. SEE LAYOUT AND MATERIALS GENERAL NOTES FOR ALL MATERIALS AND FINISHES.

PAVING LEGEND	
KEY	DESCRIPTION
1	CONCRETE PAVING
2	ASPHALT PAVING
3	GRAVEL PAVING
4	GRAVEL PAVING
5	GRAVEL PAVING
6	GRAVEL PAVING
7	GRAVEL PAVING
8	GRAVEL PAVING
9	GRAVEL PAVING
10	GRAVEL PAVING
11	GRAVEL PAVING
12	GRAVEL PAVING
13	GRAVEL PAVING
14	GRAVEL PAVING
15	GRAVEL PAVING
16	GRAVEL PAVING
17	GRAVEL PAVING
18	GRAVEL PAVING
19	GRAVEL PAVING
20	GRAVEL PAVING

HARDSCAPE LEGEND	
KEY	DESCRIPTION
1	CONCRETE PAVING
2	ASPHALT PAVING
3	GRAVEL PAVING
4	GRAVEL PAVING
5	GRAVEL PAVING
6	GRAVEL PAVING
7	GRAVEL PAVING
8	GRAVEL PAVING
9	GRAVEL PAVING
10	GRAVEL PAVING
11	GRAVEL PAVING
12	GRAVEL PAVING
13	GRAVEL PAVING
14	GRAVEL PAVING
15	GRAVEL PAVING
16	GRAVEL PAVING
17	GRAVEL PAVING
18	GRAVEL PAVING
19	GRAVEL PAVING
20	GRAVEL PAVING

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
1	CONCRETE PAVING
2	ASPHALT PAVING
3	GRAVEL PAVING
4	GRAVEL PAVING
5	GRAVEL PAVING
6	GRAVEL PAVING
7	GRAVEL PAVING
8	GRAVEL PAVING
9	GRAVEL PAVING
10	GRAVEL PAVING
11	GRAVEL PAVING
12	GRAVEL PAVING
13	GRAVEL PAVING
14	GRAVEL PAVING
15	GRAVEL PAVING
16	GRAVEL PAVING
17	GRAVEL PAVING
18	GRAVEL PAVING
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20	GRAVEL PAVING

PWL CONSULTANTS

gbl

CONCORD PACIFIC

Plan 3F Mar 19, 2016  
DP 15 - 700800

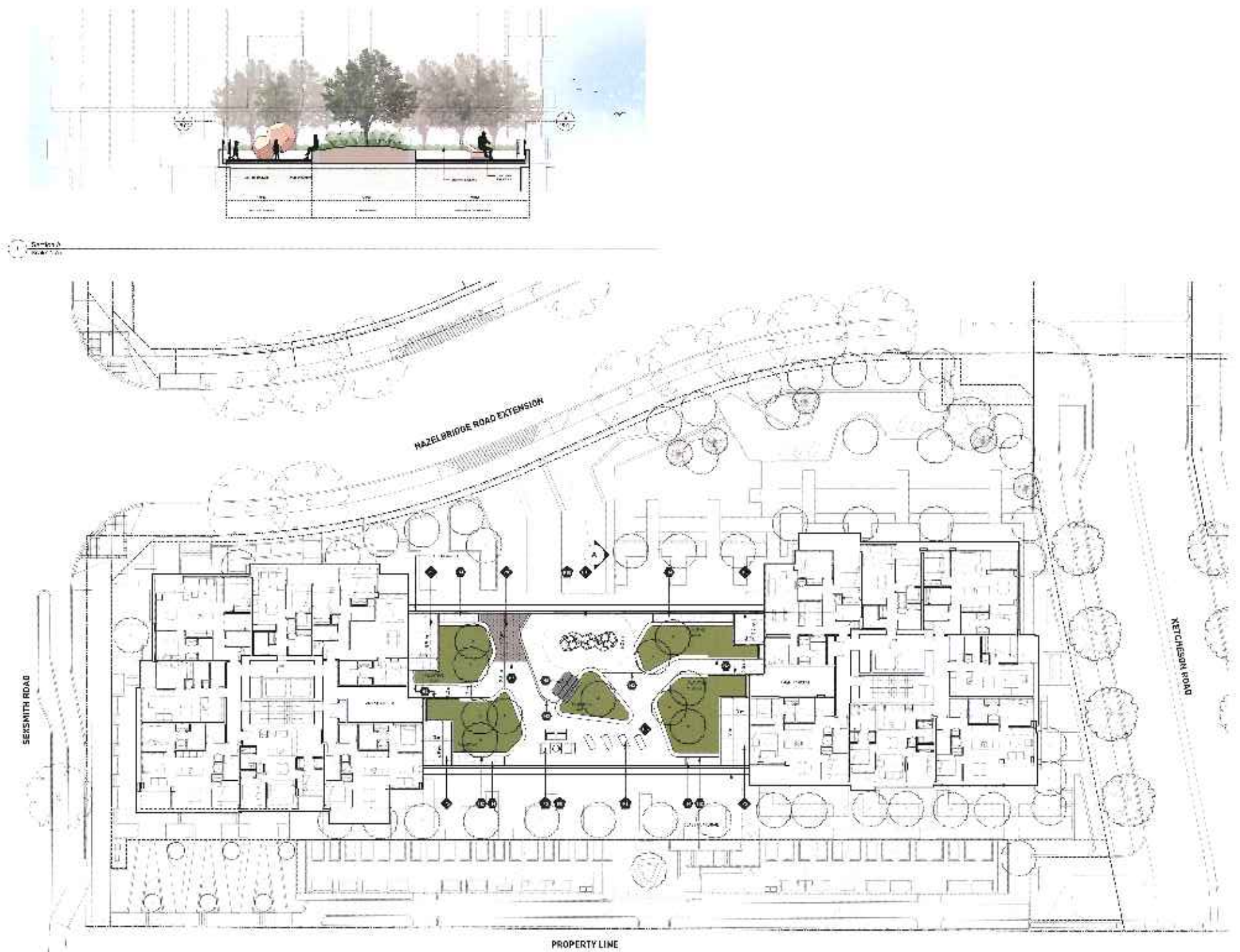


Concord Gardens Lot 2

LAYOUT, MATERIAL AND GRADING PLAN  
LEVEL 12 - West



L 1.05



15 - 700800





DINING TABLE AND CHAIR TYPE 1



DINING TABLE AND CHAIR TYPE 2



PREP AND OUTDOOR FURNITURE



LOUNGE CHAIR

LAYOUT AND MATERIALS GENERAL NOTES

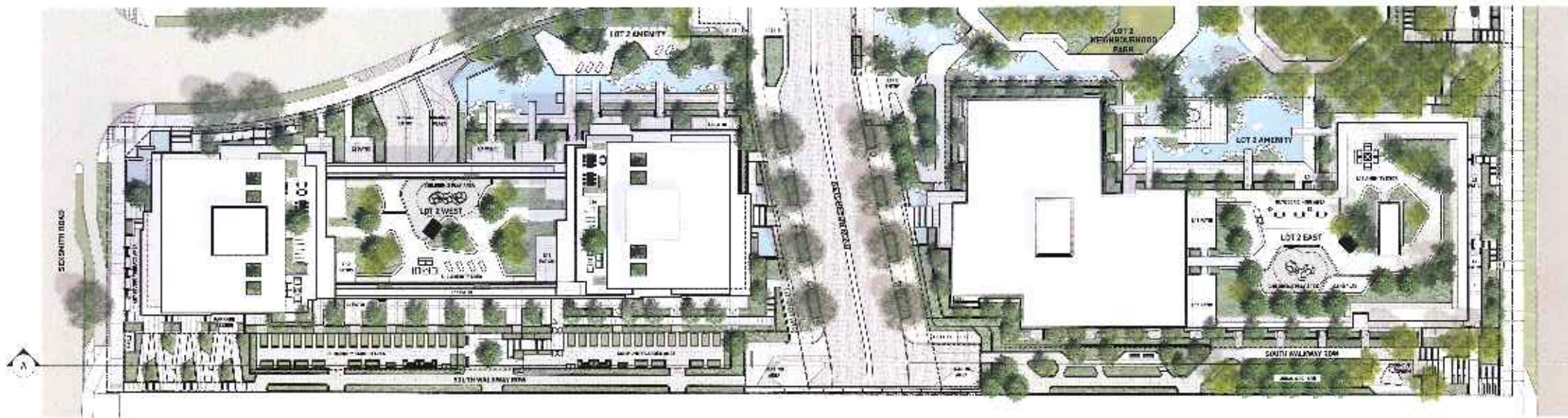
1. ALL HARDWARE SHALL BE STAINLESS STEEL UNLESS OTHERWISE NOTED.
2. ALL HARDWARE SHALL BE 304 STAINLESS STEEL UNLESS OTHERWISE NOTED.
3. ALL HARDWARE SHALL BE 316 STAINLESS STEEL UNLESS OTHERWISE NOTED.
4. ALL HARDWARE SHALL BE 316L STAINLESS STEEL UNLESS OTHERWISE NOTED.
5. ALL HARDWARE SHALL BE 316L STAINLESS STEEL UNLESS OTHERWISE NOTED.
6. ALL HARDWARE SHALL BE 316L STAINLESS STEEL UNLESS OTHERWISE NOTED.

KEY	DESCRIPTION
1	CONCRETE
2	ASPHALT
3	GRAVEL
4	SOIL
5	PAVING
6	LANDSCAPE
7	PLANTING
8	IRRIGATION
9	LIGHTING
10	SEWER
11	WATER
12	STORM
13	UTILITY
14	FOUNDATION
15	ROOF
16	CLADDING
17	GLASS
18	MECHANICAL
19	ELECTRICAL
20	TELEPHONE
21	DATA
22	TV
23	AC
24	HEATING
25	CANALS
26	WELLS
27	VALVES
28	PIPING
29	CONCRETE
30	ASPHALT
31	GRAVEL
32	SOIL
33	PAVING
34	LANDSCAPE
35	PLANTING
36	IRRIGATION
37	LIGHTING
38	SEWER
39	WATER
40	STORM
41	UTILITY
42	FOUNDATION
43	ROOF
44	CLADDING
45	GLASS
46	MECHANICAL
47	ELECTRICAL
48	TELEPHONE
49	DATA
50	TV
51	AC
52	HEATING
53	CANALS
54	WELLS
55	VALVES
56	PIPING
57	CONCRETE
58	ASPHALT
59	GRAVEL
60	SOIL
61	PAVING
62	LANDSCAPE
63	PLANTING
64	IRRIGATION
65	LIGHTING
66	SEWER
67	WATER
68	STORM
69	UTILITY
70	FOUNDATION
71	ROOF
72	CLADDING
73	GLASS
74	MECHANICAL
75	ELECTRICAL
76	TELEPHONE
77	DATA
78	TV
79	AC
80	HEATING
81	CANALS
82	WELLS
83	VALVES
84	PIPING
85	CONCRETE
86	ASPHALT
87	GRAVEL
88	SOIL
89	PAVING
90	LANDSCAPE
91	PLANTING
92	IRRIGATION
93	LIGHTING
94	SEWER
95	WATER
96	STORM
97	UTILITY
98	FOUNDATION
99	ROOF
100	CLADDING
101	GLASS
102	MECHANICAL
103	ELECTRICAL
104	TELEPHONE
105	DATA
106	TV
107	AC
108	HEATING
109	CANALS
110	WELLS
111	VALVES
112	PIPING
113	CONCRETE
114	ASPHALT
115	GRAVEL
116	SOIL
117	PAVING
118	LANDSCAPE
119	PLANTING
120	IRRIGATION
121	LIGHTING
122	SEWER
123	WATER
124	STORM
125	UTILITY
126	FOUNDATION
127	ROOF
128	CLADDING
129	GLASS
130	MECHANICAL
131	ELECTRICAL
132	TELEPHONE
133	DATA
134	TV
135	AC
136	HEATING
137	CANALS
138	WELLS
139	VALVES
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141	CONCRETE
142	ASPHALT
143	GRAVEL
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145	PAVING
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147	PLANTING
148	IRRIGATION
149	LIGHTING
150	SEWER
151	WATER
152	STORM
153	UTILITY
154	FOUNDATION
155	ROOF
156	CLADDING
157	GLASS
158	MECHANICAL
159	ELECTRICAL
160	TELEPHONE
161	DATA
162	TV
163	AC
164	HEATING
165	CANALS
166	WELLS
167	VALVES
168	PIPING
169	CONCRETE
170	ASPHALT
171	GRAVEL
172	SOIL
173	PAVING
174	LANDSCAPE
175	PLANTING
176	IRRIGATION
177	LIGHTING
178	SEWER
179	WATER
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181	UTILITY
182	FOUNDATION
183	ROOF
184	CLADDING
185	GLASS
186	MECHANICAL
187	ELECTRICAL
188	TELEPHONE
189	DATA
190	TV
191	AC
192	HEATING
193	CANALS
194	WELLS
195	VALVES
196	PIPING
197	CONCRETE
198	ASPHALT
199	GRAVEL
200	SOIL

KEY	DESCRIPTION
1	CONCRETE
2	ASPHALT
3	GRAVEL
4	SOIL
5	PAVING
6	LANDSCAPE
7	PLANTING
8	IRRIGATION
9	LIGHTING
10	SEWER
11	WATER
12	STORM
13	UTILITY
14	FOUNDATION
15	ROOF
16	CLADDING
17	GLASS
18	MECHANICAL
19	ELECTRICAL
20	TELEPHONE
21	DATA
22	TV
23	AC
24	HEATING
25	CANALS
26	WELLS
27	VALVES
28	PIPING
29	CONCRETE
30	ASPHALT
31	GRAVEL
32	SOIL
33	PAVING
34	LANDSCAPE
35	PLANTING
36	IRRIGATION
37	LIGHTING
38	SEWER
39	WATER
40	STORM
41	UTILITY
42	FOUNDATION
43	ROOF
44	CLADDING
45	GLASS
46	MECHANICAL
47	ELECTRICAL
48	TELEPHONE
49	DATA
50	TV
51	AC
52	HEATING
53	CANALS
54	WELLS
55	VALVES
56	PIPING
57	CONCRETE
58	ASPHALT
59	GRAVEL
60	SOIL
61	PAVING
62	LANDSCAPE
63	PLANTING
64	IRRIGATION
65	LIGHTING
66	SEWER
67	WATER
68	STORM
69	UTILITY
70	FOUNDATION
71	ROOF
72	CLADDING
73	GLASS
74	MECHANICAL
75	ELECTRICAL
76	TELEPHONE
77	DATA
78	TV
79	AC
80	HEATING
81	CANALS
82	WELLS
83	VALVES
84	PIPING
85	CONCRETE
86	ASPHALT
87	GRAVEL
88	SOIL
89	PAVING
90	LANDSCAPE
91	PLANTING
92	IRRIGATION
93	LIGHTING
94	SEWER
95	WATER
96	STORM
97	UTILITY
98	FOUNDATION
99	ROOF
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101	GLASS
102	MECHANICAL
103	ELECTRICAL
104	TELEPHONE
105	DATA
106	TV
107	AC
108	HEATING
109	CANALS
110	WELLS
111	VALVES
112	PIPING
113	CONCRETE
114	ASPHALT
115	GRAVEL
116	SOIL
117	PAVING
118	LANDSCAPE
119	PLANTING
120	IRRIGATION
121	LIGHTING
122	SEWER
123	WATER
124	STORM
125	UTILITY
126	FOUNDATION
127	ROOF
128	CLADDING
129	GLASS
130	MECHANICAL
131	ELECTRICAL
132	TELEPHONE
133	DATA
134	TV
135	AC
136	HEATING
137	CANALS
138	WELLS
139	VALVES
140	PIPING
141	CONCRETE
142	ASPHALT
143	GRAVEL
144	SOIL
145	PAVING
146	LANDSCAPE
147	PLANTING
148	IRRIGATION
149	LIGHTING
150	SEWER
151	WATER
152	STORM
153	UTILITY
154	FOUNDATION
155	ROOF
156	CLADDING
157	GLASS
158	MECHANICAL
159	ELECTRICAL
160	TELEPHONE
161	DATA
162	TV
163	AC
164	HEATING
165	CANALS
166	WELLS
167	VALVES
168	PIPING
169	CONCRETE
170	ASPHALT
171	GRAVEL
172	SOIL

KEY	DESCRIPTION
1	CONCRETE
2	ASPHALT
3	GRAVEL
4	SOIL
5	PAVING
6	LANDSCAPE
7	PLANTING
8	IRRIGATION
9	LIGHTING
10	SEWER
11	WATER
12	STORM
13	UTILITY
14	FOUNDATION
15	ROOF
16	CLADDING
17	GLASS
18	MECHANICAL
19	ELECTRICAL
20	TELEPHONE
21	DATA
22	TV
23	AC
24	HEATING
25	CANALS
26	WELLS
27	VALVES
28	PIPING
29	CONCRETE
30	ASPHALT
31	GRAVEL
32	SOIL
33	PAVING
34	LANDSCAPE
35	PLANTING
36	IRRIGATION
37	LIGHTING
38	SEWER
39	WATER
40	STORM
41	UTILITY
42	FOUNDATION
43	ROOF
44	CLADDING
45	GLASS
46	MECHANICAL
47	ELECTRICAL
48	TELEPHONE
49	DATA
50	TV
51	AC
52	HEATING
53	CANALS
54	WELLS
55	VALVES
56	PIPING
57	CONCRETE
58	ASPHALT
59	GRAVEL
60	SOIL
61	PAVING
62	LANDSCAPE
63	PLANTING
64	IRRIGATION
65	LIGHTING
66	SEWER
67	WATER
68	STORM
69	UTILITY
70	FOUNDATION
71	ROOF
72	CLADDING
73	GLASS
74	MECHANICAL
75	ELECTRICAL
76	TELEPHONE
77	DATA
78	TV
79	AC
80	HEATING
81	CANALS
82	WELLS
83	VALVES
84	PIPING
85	CONCRETE
86	ASPHALT
87	GRAVEL
88	SOIL
89	PAVING
90	LANDSCAPE
91	PLANTING
92	IRRIGATION
93	LIGHTING
94	SEWER
95	WATER
96	STORM
97	UTILITY
98	FOUNDATION
99	ROOF
100	CLADDING
101	GLASS
102	MECHANICAL
103	ELECTRICAL
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105	DATA
106	TV
107	AC
108	HEATING
109	CANALS
110	WELLS
111	VALVES
112	PIPING
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114	ASPHALT
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116	SOIL
117	PAVING
118	LANDSCAPE
119	PLANTING
120	IRRIGATION

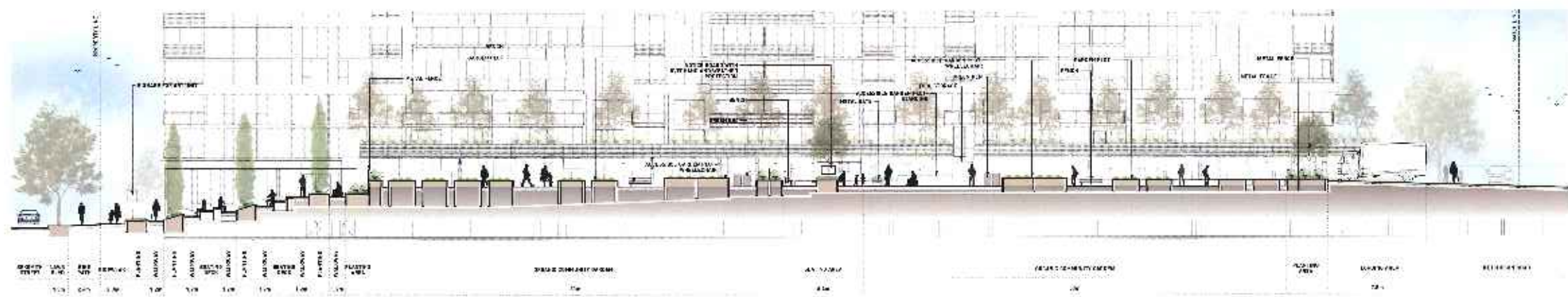




SOUTH WALKWAY PLAN  
Scale: 1/8" = 1'-0"

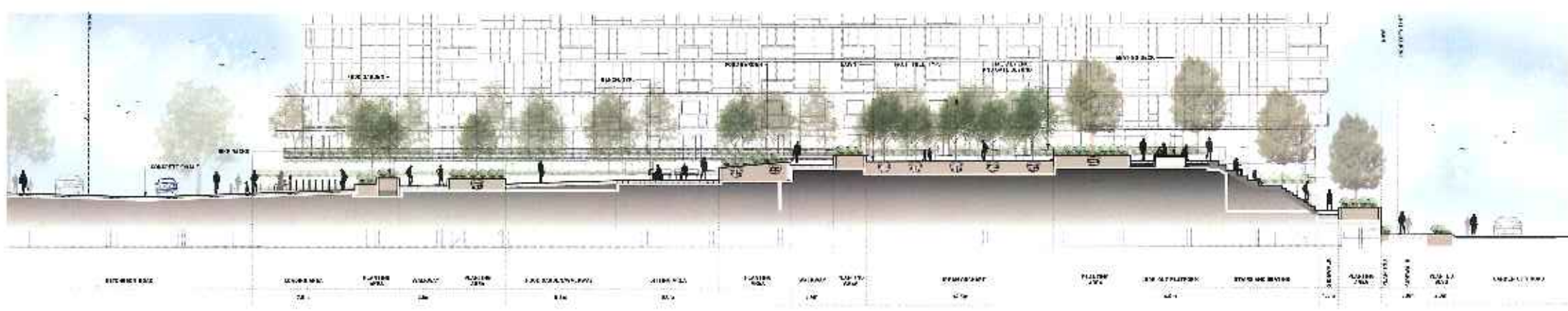
**PWL** PROJECT ARCHITECTS  
 1000 10th Street, Suite 100  
 Concord, CA 94520  
 (925) 309-1000  
 www.pwla.com

**gbl**  
 GREEN BUILDING CONSULTANTS  
 1000 10th Street, Suite 100  
 Concord, CA 94520  
 (925) 309-1000  
 www.gbl.com



SOUTH WALKWAY ELEVATION SECTION 1 (WEST)  
Scale: 1/8" = 1'-0"

Plan 3H Mar 19, 2016  
 DP 15 - 700800



SOUTH WALKWAY ELEVATION SECTION 4 (EAST)  
Scale: 1/8" = 1'-0"



Concord Gardens Lot 2

SOJTH WALKWAY

AS SHOWN

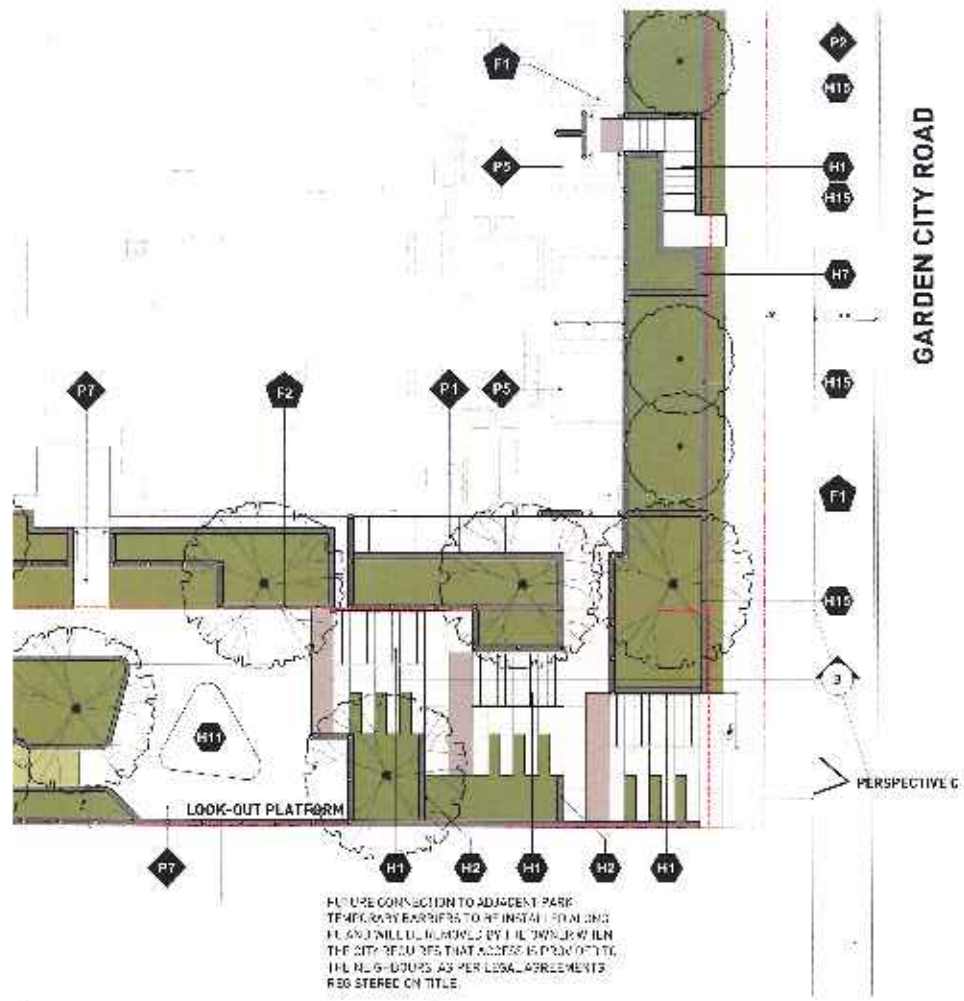
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03/19/16	REVISION 3
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03/19/16	REVISION 5
03/19/16	REVISION 6
03/19/16	REVISION 7
03/19/16	REVISION 8
03/19/16	REVISION 9
03/19/16	REVISION 10
03/19/16	REVISION 11
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03/19/16	REVISION 97
03/19/16	REVISION 98
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03/19/16	REVISION 100

L 1.08









PLAN SOUTH WALKWAY ENTRY ON GARDEN CITY ROAD

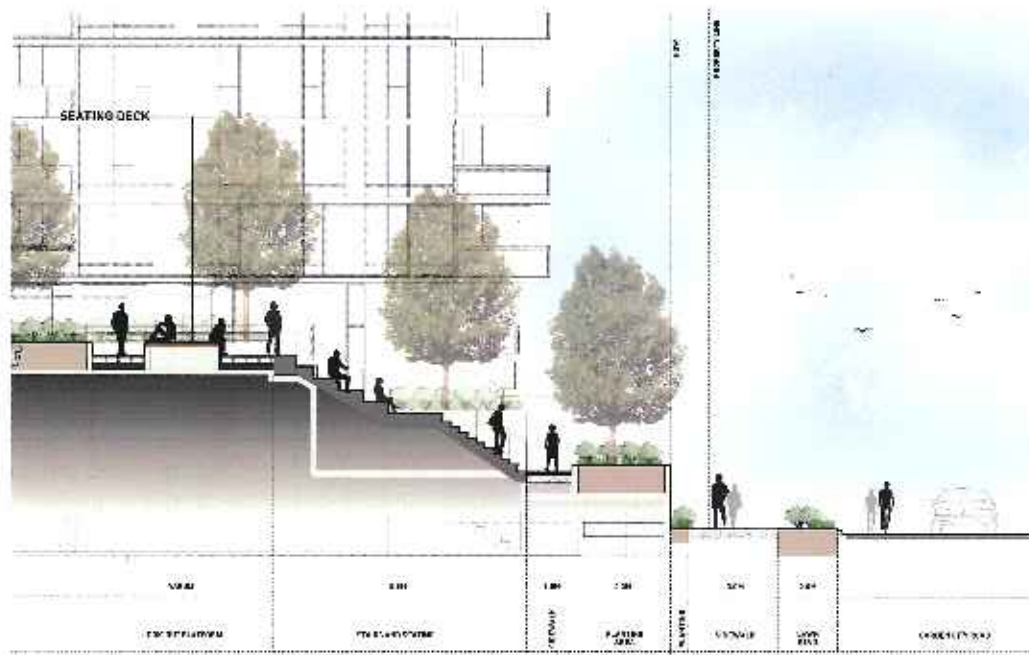


PERSPECTIVE SOUTH WALKWAY ENTRY ON GARDEN CITY ROAD

PAVING LEGEND	
1	CONCRETE
2	PERFORATED CONCRETE
3	PERFORATED CONCRETE WITH GRASS
4	PERFORATED CONCRETE WITH GRASS
5	PERFORATED CONCRETE WITH GRASS
6	PERFORATED CONCRETE WITH GRASS
7	PERFORATED CONCRETE WITH GRASS
8	PERFORATED CONCRETE WITH GRASS
9	PERFORATED CONCRETE WITH GRASS
10	PERFORATED CONCRETE WITH GRASS
11	PERFORATED CONCRETE WITH GRASS
12	PERFORATED CONCRETE WITH GRASS
13	PERFORATED CONCRETE WITH GRASS
14	PERFORATED CONCRETE WITH GRASS
15	PERFORATED CONCRETE WITH GRASS
16	PERFORATED CONCRETE WITH GRASS
17	PERFORATED CONCRETE WITH GRASS
18	PERFORATED CONCRETE WITH GRASS
19	PERFORATED CONCRETE WITH GRASS
20	PERFORATED CONCRETE WITH GRASS

HARDSCAPE LEGEND	
1	CONCRETE
2	PERFORATED CONCRETE
3	PERFORATED CONCRETE WITH GRASS
4	PERFORATED CONCRETE WITH GRASS
5	PERFORATED CONCRETE WITH GRASS
6	PERFORATED CONCRETE WITH GRASS
7	PERFORATED CONCRETE WITH GRASS
8	PERFORATED CONCRETE WITH GRASS
9	PERFORATED CONCRETE WITH GRASS
10	PERFORATED CONCRETE WITH GRASS
11	PERFORATED CONCRETE WITH GRASS
12	PERFORATED CONCRETE WITH GRASS
13	PERFORATED CONCRETE WITH GRASS
14	PERFORATED CONCRETE WITH GRASS
15	PERFORATED CONCRETE WITH GRASS
16	PERFORATED CONCRETE WITH GRASS
17	PERFORATED CONCRETE WITH GRASS
18	PERFORATED CONCRETE WITH GRASS
19	PERFORATED CONCRETE WITH GRASS
20	PERFORATED CONCRETE WITH GRASS

SITE FURNISHING LEGEND	
1	CONCRETE
2	PERFORATED CONCRETE
3	PERFORATED CONCRETE WITH GRASS
4	PERFORATED CONCRETE WITH GRASS
5	PERFORATED CONCRETE WITH GRASS
6	PERFORATED CONCRETE WITH GRASS
7	PERFORATED CONCRETE WITH GRASS
8	PERFORATED CONCRETE WITH GRASS
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12	PERFORATED CONCRETE WITH GRASS
13	PERFORATED CONCRETE WITH GRASS
14	PERFORATED CONCRETE WITH GRASS
15	PERFORATED CONCRETE WITH GRASS
16	PERFORATED CONCRETE WITH GRASS
17	PERFORATED CONCRETE WITH GRASS
18	PERFORATED CONCRETE WITH GRASS
19	PERFORATED CONCRETE WITH GRASS
20	PERFORATED CONCRETE WITH GRASS



SECTION SOUTH WALKWAY ENTRY ON GARDEN CITY ROAD

- LAYOUT AND MATERIALS GENERAL NOTES
1. ALL PAVING SHALL BE INSTALLED TO THE FINISH SURFACE UNLESS OTHERWISE SPECIFIED.
  2. ALL PAVING SHALL BE INSTALLED TO THE FINISH SURFACE UNLESS OTHERWISE SPECIFIED.
  3. ALL PAVING SHALL BE INSTALLED TO THE FINISH SURFACE UNLESS OTHERWISE SPECIFIED.
  4. ALL PAVING SHALL BE INSTALLED TO THE FINISH SURFACE UNLESS OTHERWISE SPECIFIED.
  5. ALL PAVING SHALL BE INSTALLED TO THE FINISH SURFACE UNLESS OTHERWISE SPECIFIED.

Plan 3J Mar 19, 2016  
DP 15 - 700800

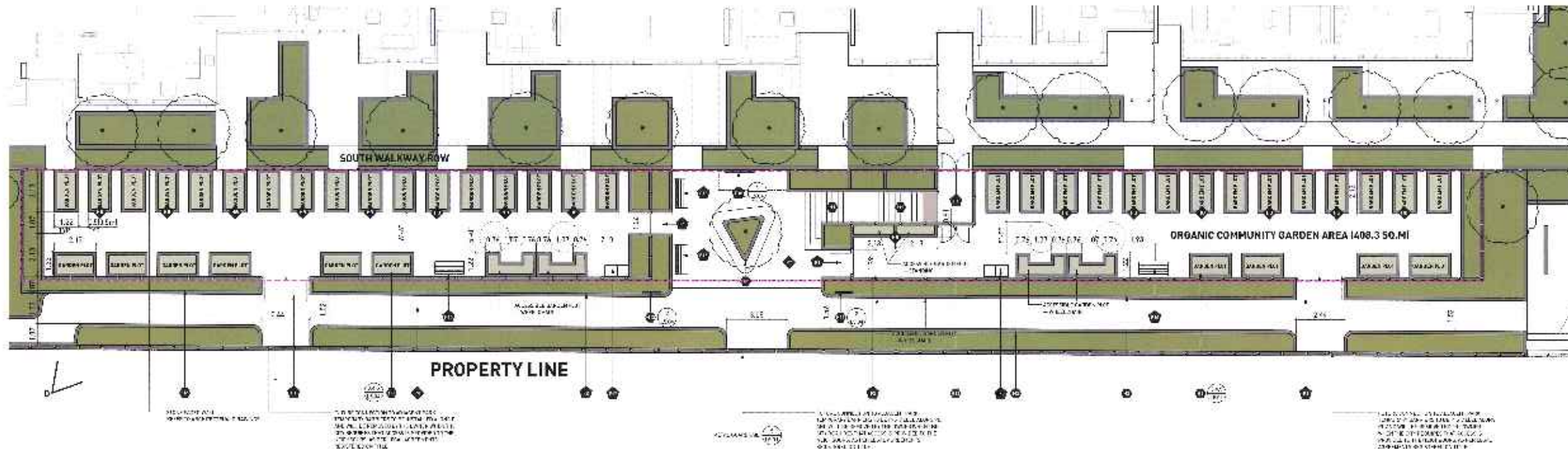
Cowood Gardens Lot 2

SOUTH WALKWAY ENTRY ON GARDEN CITY ROAD

DATE	19/03/2016
BY	AS SHOWN
SCALE	AS SHOWN
PROJECT	AS SHOWN
CLIENT	AS SHOWN
DESIGNER	AS SHOWN
CONTRACTOR	AS SHOWN
APPROVED	AS SHOWN

L1.10





PWL 20160316

gbl

CONCORD PACIFIC

4. LAYOUT AND MATERIALS GENERAL NOTES

KEY	DESCRIPTION	KEY	DESCRIPTION
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE

- LAYOUT AND MATERIALS GENERAL NOTES**
1. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
  2. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
  3. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
  4. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
  5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
  6. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

KEY	DESCRIPTION	KEY	DESCRIPTION
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE

KEY	DESCRIPTION	KEY	DESCRIPTION
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE
◆	PERFORATED POLYPROPYLENE GEOTEXTILE	◆	PERFORATED POLYPROPYLENE GEOTEXTILE

Plan 3K Mar 19, 2016  
DP 15 - 700800



Concord Gardens Lot 2

ORGANIC COMMUNITY GARDEN AREA

DATE	15.03.2016
BY	AS SHOWN
SCALE	AS SHOWN
PROJECT	CONCORD GARDENS LOT 2
CLIENT	CONCORD PACIFIC
DESIGNER	GBL

L1.11



MATERIALS:

PAINTED CONCRETE COLOURS:

- 1- BENJAMIN MOORE OXFORD WHITE
- 2- BENJAMIN MOORE SWEN'S SHIRT GREY
- 3- BENJAMIN MOORE SILVER SONG

ALUMINUM RAILING  
 PAINTED CONCRETE  
 METAL MESH



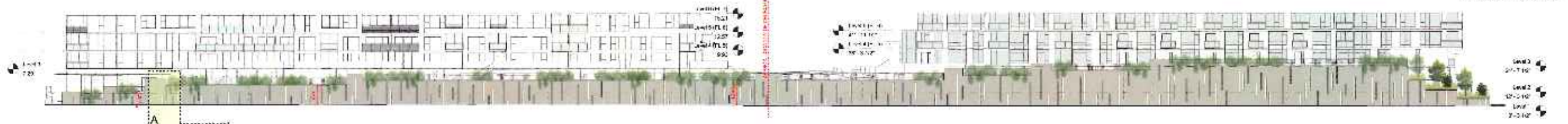
CONTEMPORARY METAL LIGHT STANDARD



gbl  
 GARDEN BUILDERS LTD.  
 1000 WEST 10TH AVENUE, SUITE 100  
 VANCOUVER, BC V6H 2G6  
 TEL: 604-275-1234  
 WWW.GBLBUILDERS.COM

REVISIONS  
 NO. DATE DESCRIPTION  
 1 15/03/2016 INITIAL DESIGN  
 2 18/03/2016 REVISED CONCRETE COLOURS  
 3 19/03/2016 REVISED MATERIALS  
 4 19/03/2016 REVISED MATERIALS

LEVEL	FINISH
Level 3	CONCRETE
Level 2	CONCRETE
Level 1	CONCRETE
Level 0	CONCRETE

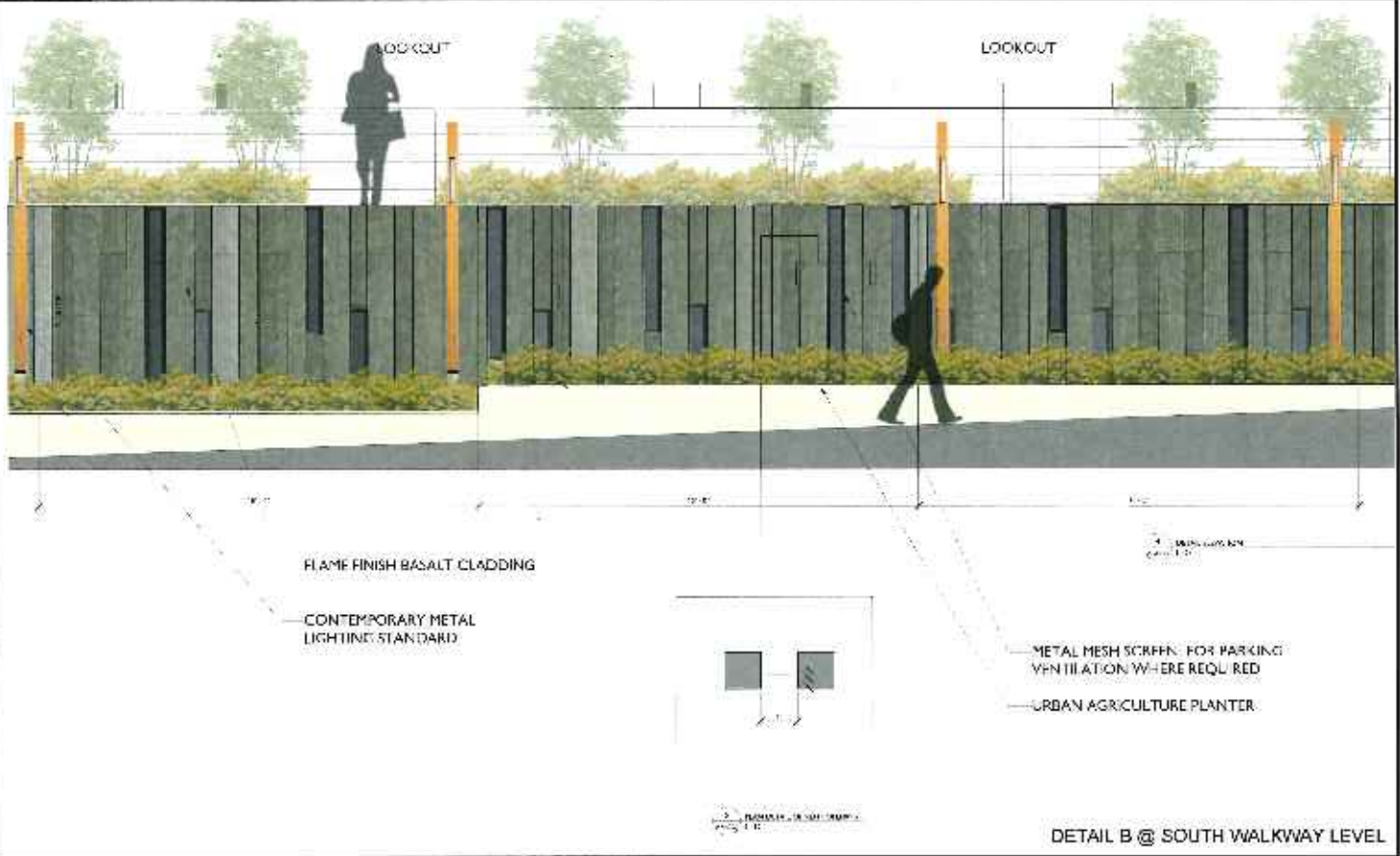
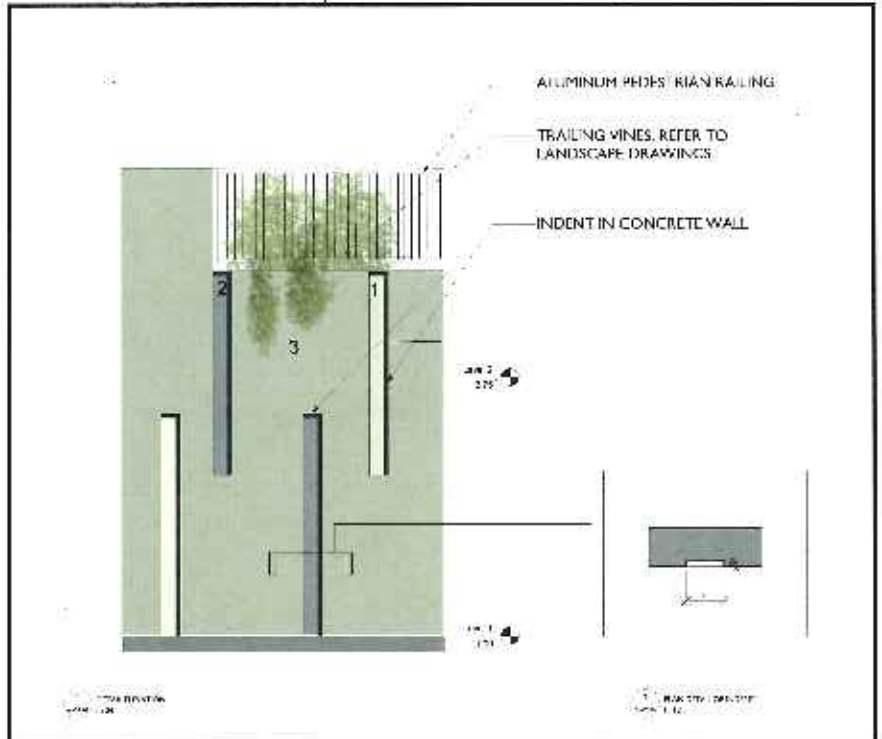


SOUTH ELEVATION TO PROPERTY LINE



SOUTH ELEVATION ON SOUTH WALKWAY

DETAIL A @ SOUTH PROPERTY LINE



DETAIL B @ SOUTH WALKWAY LEVEL

Plan 3L Mar 19, 2016  
 DP 15 - 700800



CONCORD PACIFIC  
 CONCORD GARDENS LOT 2  
 WEST

RICHMOND, BC  
 SOUTH WALKWAY &  
 SOUTH PROPERTY  
 WALL ELEVATIONS  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 DATE: 14/03

A-W5.05

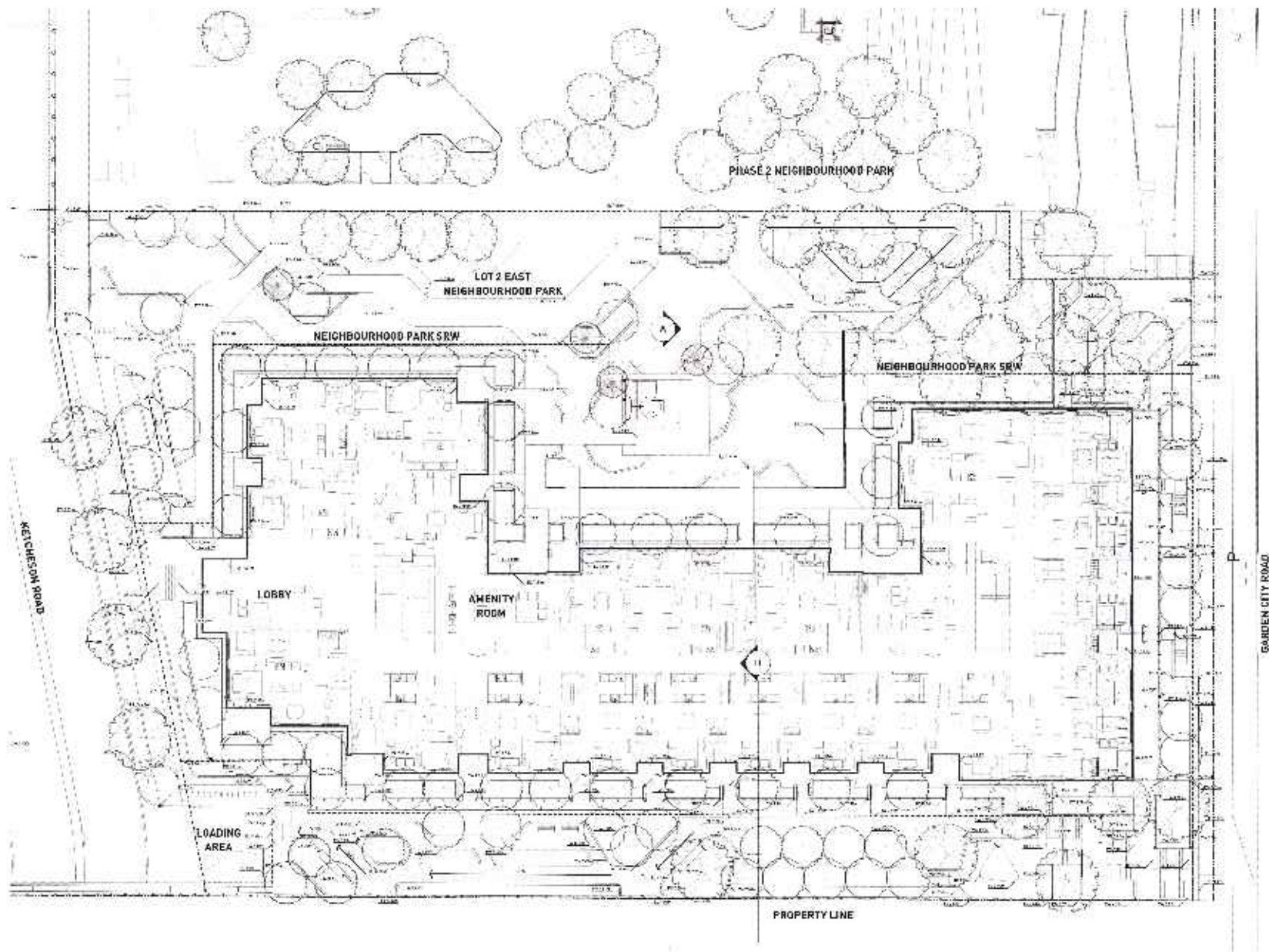


**GRADING LEGEND**

	EXISTING GROUND LEVEL
	PROPOSED GROUND LEVEL
	SPOT HEIGHT
	SPOT HEIGHT WITH ELEVATION
	SPOT HEIGHT WITH ELEVATION AND AREA
	SPOT HEIGHT WITH ELEVATION AND AREA AND NOTE
	SPOT HEIGHT WITH ELEVATION AND AREA AND NOTE AND AREA
	SPOT HEIGHT WITH ELEVATION AND AREA AND NOTE AND AREA AND NOTE

NOTE: REFER TO GRADING GENERAL NOTES FOR ADDITIONAL INFORMATION.

- GRADING GENERAL NOTES**
1. ALL ELEVATIONS ARE IN METERS ABOVE SEA LEVEL UNLESS OTHERWISE NOTED.
  2. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.
  3. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.
  4. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.
  5. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.
  6. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.
  7. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.
  8. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.
  9. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.
  10. ALL ELEVATIONS ARE TO FINISH GRADE UNLESS OTHERWISE NOTED.



Plan 3M Mar 19, 2016  
 DP 15 - 700800



Concord Pacific  
 Concord Gardens Lot 2 East

GRADING PLAN  
 GROUND LAST

AS SHOWN

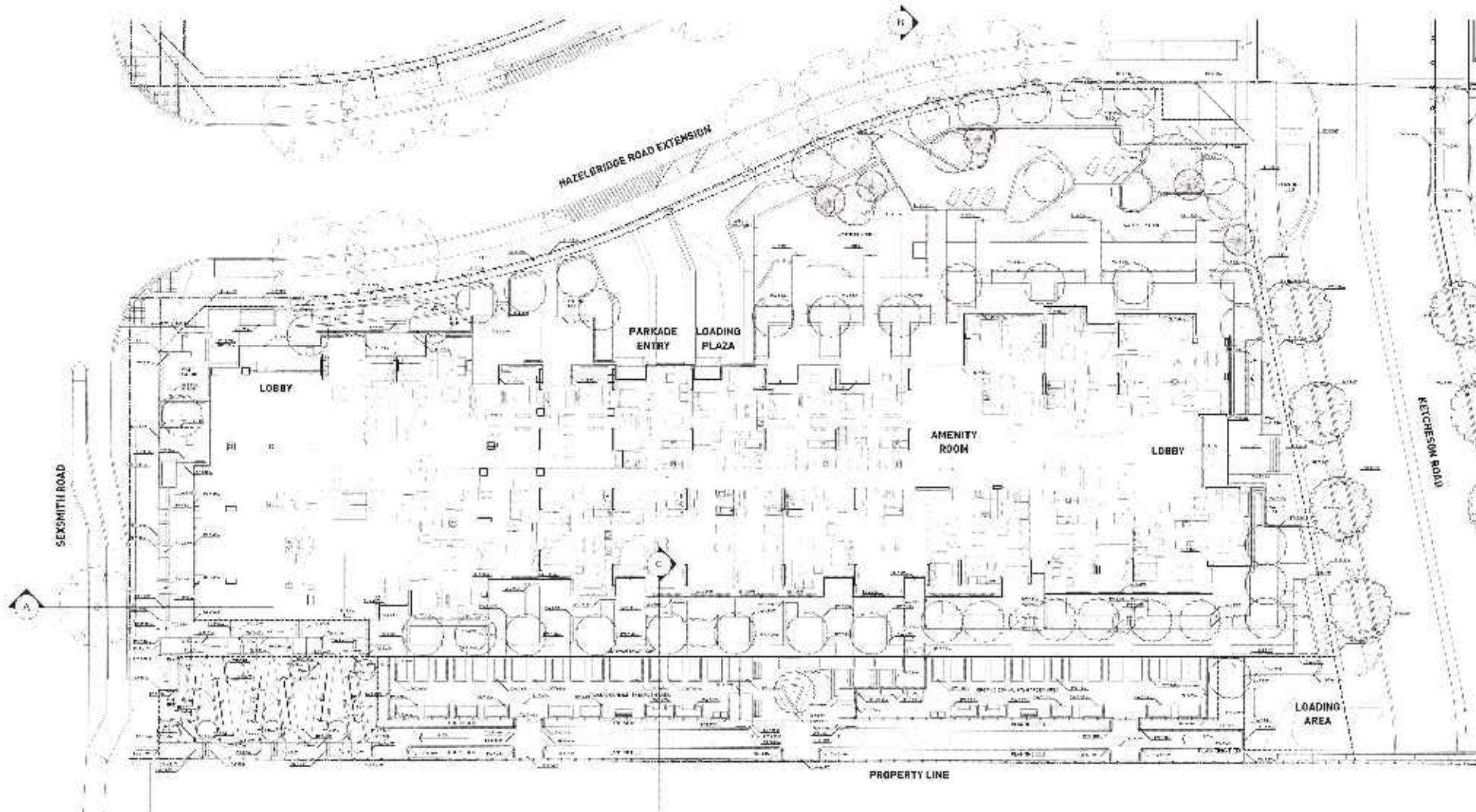
L 2.01



GRADING LEGEND	
[Symbol]	Proposed Road
[Symbol]	Proposed Path
[Symbol]	Proposed Footpath
[Symbol]	Proposed Cycleway
[Symbol]	Proposed Drainage Channel
[Symbol]	Proposed Retention Wall
[Symbol]	Proposed Slope
[Symbol]	Proposed Level

NOTE: GRADING SHALL BE TO THE FINISH GRADE UNLESS OTHERWISE SPECIFIED.

- GRADING GENERAL NOTES**
1. ALL GRADING SHALL BE TO THE FINISH GRADE UNLESS OTHERWISE SPECIFIED.
  2. ALL GRADING SHALL BE TO THE FINISH GRADE UNLESS OTHERWISE SPECIFIED.
  3. ALL GRADING SHALL BE TO THE FINISH GRADE UNLESS OTHERWISE SPECIFIED.
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  8. ALL GRADING SHALL BE TO THE FINISH GRADE UNLESS OTHERWISE SPECIFIED.
  9. ALL GRADING SHALL BE TO THE FINISH GRADE UNLESS OTHERWISE SPECIFIED.
  10. ALL GRADING SHALL BE TO THE FINISH GRADE UNLESS OTHERWISE SPECIFIED.



Plan 3N Mar 19, 2016  
 DP 15 - 700800



Concord Gardens Int 2  
 East

GRADING PLAN  
 GROUND LEVEL - West

AS SHOWN

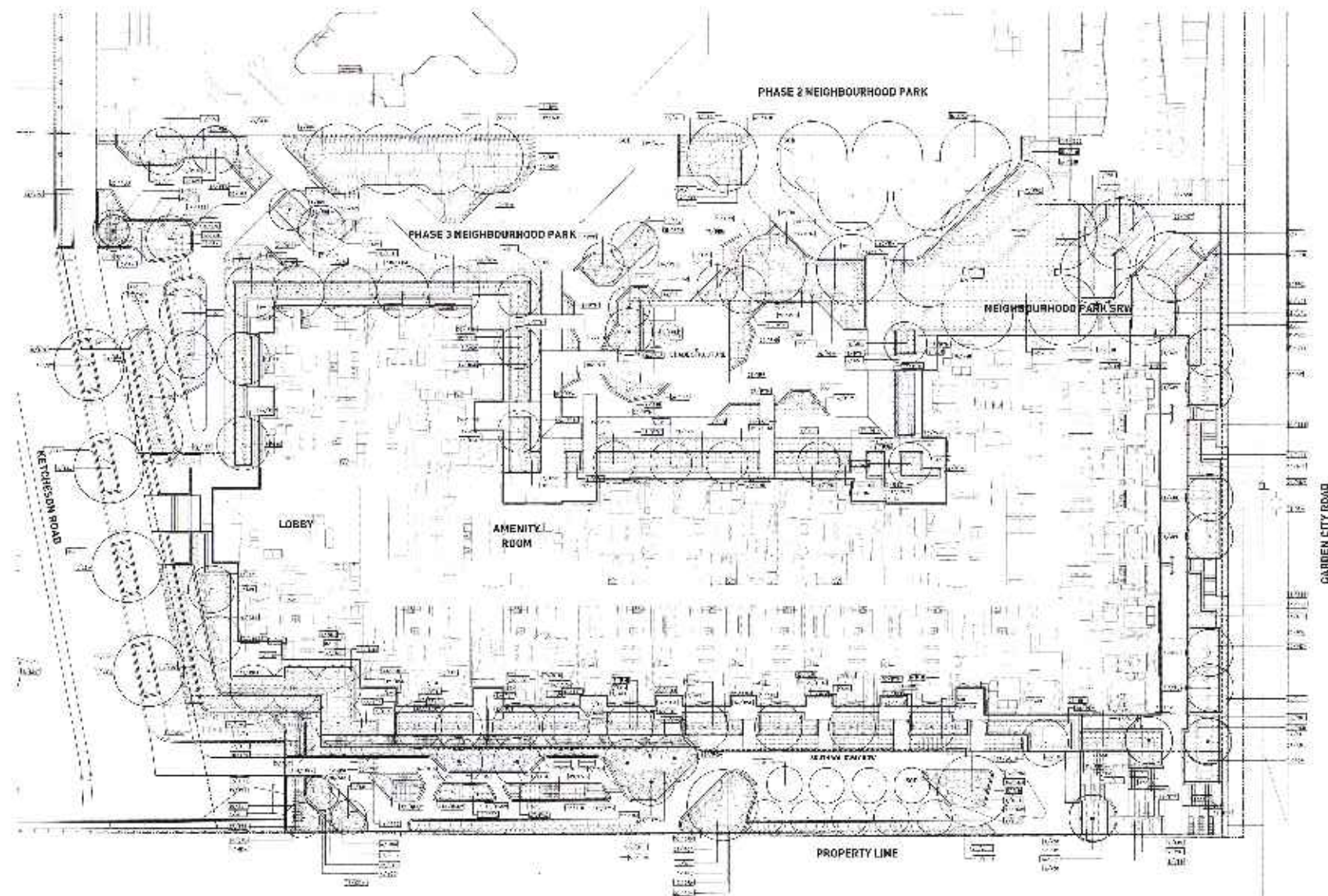
L 2.02





**PLANNING GENERAL NOTES**

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.



Plan 3P Mar 19, 2016  
 DP 15 - 700800



Concord Gardens Lot 2

PLANNING PLAN  
 GROUND LEVEL - East

Scale	1:150
Date	Mar 19, 2016
Drawn	[Name]
Checked	[Name]
Approved	[Name]

L 3.01

**PLANTING GENERAL NOTES**

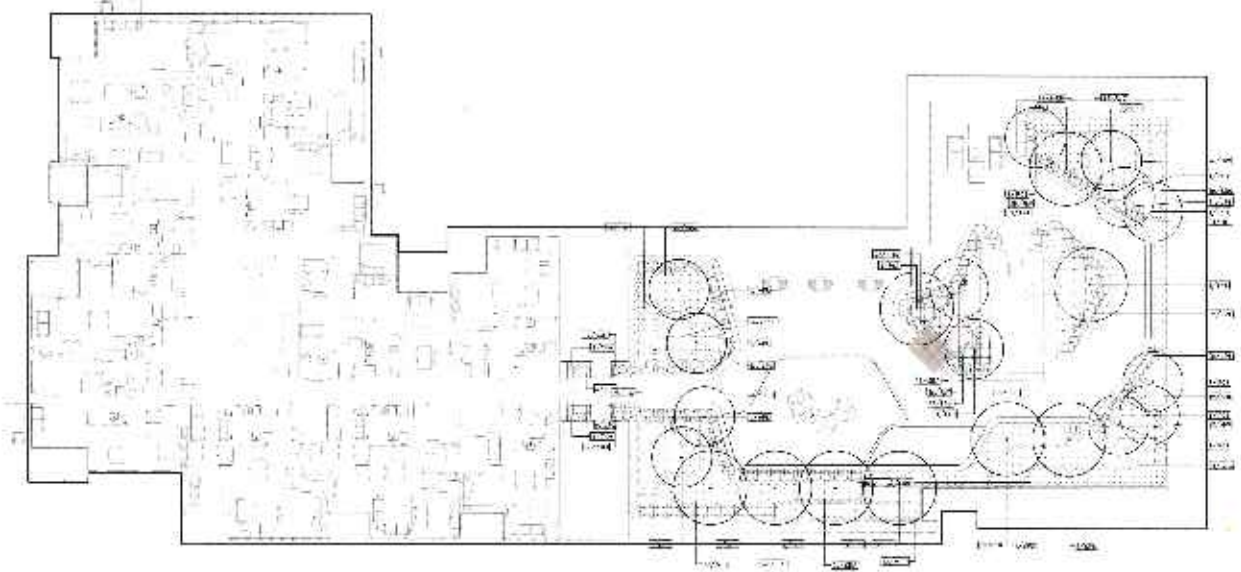
1. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLANTING CODE AND THE CALIFORNIA PLANTING CODE COMMENTARIES.
2. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLANTING CODE AND THE CALIFORNIA PLANTING CODE COMMENTARIES.
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9. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLANTING CODE AND THE CALIFORNIA PLANTING CODE COMMENTARIES.
10. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLANTING CODE AND THE CALIFORNIA PLANTING CODE COMMENTARIES.

**Plant List**

Concord Gardens Lot 2

ID	Alt	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
101	1	...	...	...	...	...
102	1	...	...	...	...	...
103	1	...	...	...	...	...
104	1	...	...	...	...	...
105	1	...	...	...	...	...
106	1	...	...	...	...	...
107	1	...	...	...	...	...
108	1	...	...	...	...	...
109	1	...	...	...	...	...
110	1	...	...	...	...	...
111	1	...	...	...	...	...
112	1	...	...	...	...	...
113	1	...	...	...	...	...
114	1	...	...	...	...	...
115	1	...	...	...	...	...
116	1	...	...	...	...	...
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LEVEL 11



LEVEL 11

**PWL**  
 PROJECT WORKS  
 CONSULTANTS  
 INC.

**gbl**  
 GARDEN BUILDERS  
 LANDSCAPE ARCHITECTS  
 INC.

CONCORD GARDENS LOT 2  
 11000 CONCORD AVENUE  
 CONCORD, CALIFORNIA 94520  
 (925) 385-1100  
 WWW.PWL.COM  
 WWW.GBL.COM

DATE: 03/19/2016  
 DRAWN BY: J. J. JENSEN  
 CHECKED BY: J. J. JENSEN  
 APPROVED BY: J. J. JENSEN

Plan 3Q Mar 19, 2016  
 DP 15 - 700800



Concord Gardens Lot 2

PLANTING PLAN  
 LEVEL 11 - East  
 AND PLANT LIST

SCALE: 1:150

DATE: 03/19/2016  
 DRAWN BY: J. J. JENSEN  
 CHECKED BY: J. J. JENSEN  
 APPROVED BY: J. J. JENSEN

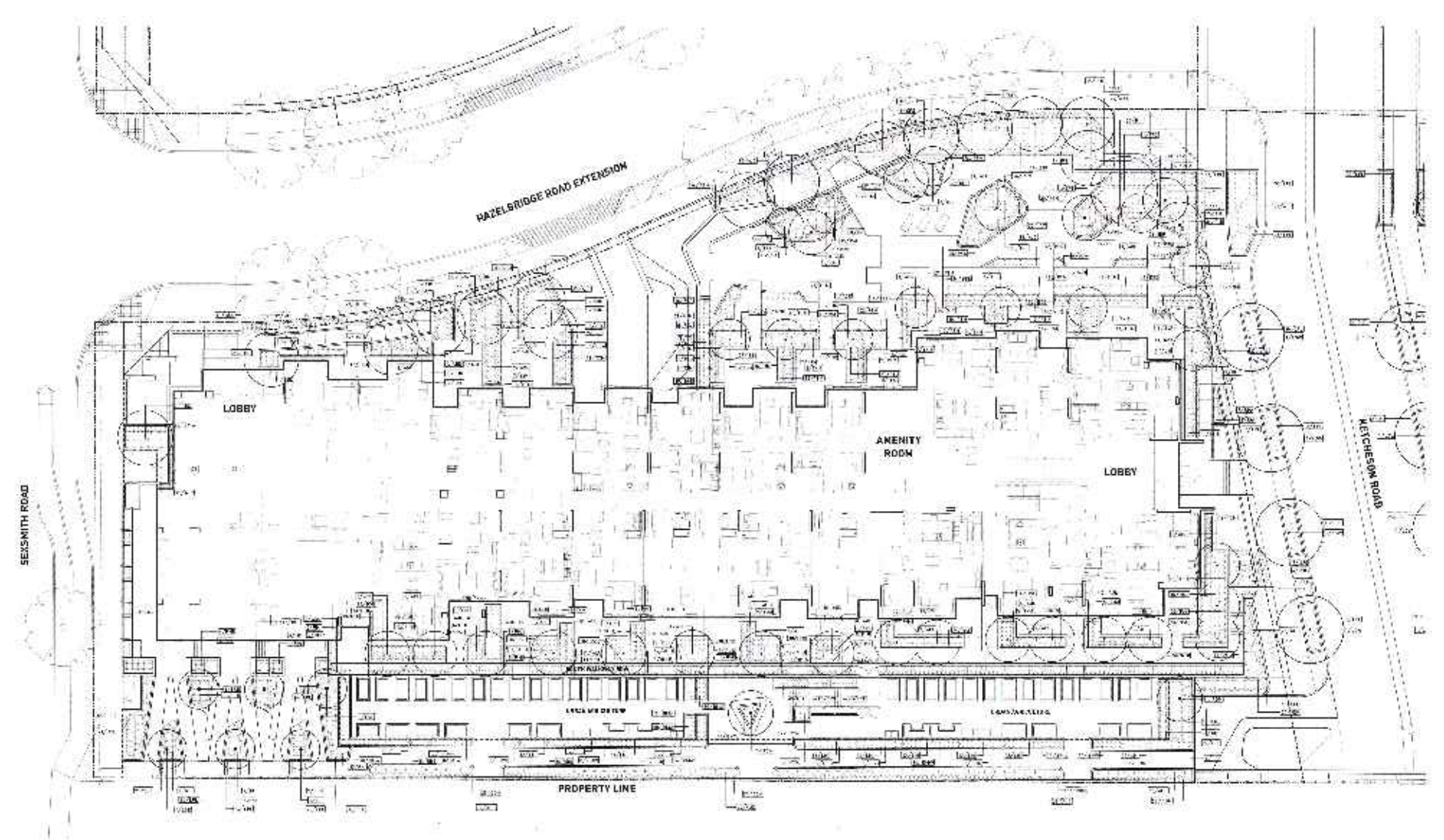
L 3.02



**PLANTING GENERAL NOTES**

1. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO PLANTING SPECIFICATIONS AND THE CALIFORNIA PLANTING SPECIFICATIONS.
2. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO PLANTING SPECIFICATIONS AND THE CALIFORNIA PLANTING SPECIFICATIONS.
3. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO PLANTING SPECIFICATIONS AND THE CALIFORNIA PLANTING SPECIFICATIONS.
4. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO PLANTING SPECIFICATIONS AND THE CALIFORNIA PLANTING SPECIFICATIONS.
5. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO PLANTING SPECIFICATIONS AND THE CALIFORNIA PLANTING SPECIFICATIONS.
6. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO PLANTING SPECIFICATIONS AND THE CALIFORNIA PLANTING SPECIFICATIONS.
7. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO PLANTING SPECIFICATIONS AND THE CALIFORNIA PLANTING SPECIFICATIONS.
8. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO PLANTING SPECIFICATIONS AND THE CALIFORNIA PLANTING SPECIFICATIONS.
9. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO PLANTING SPECIFICATIONS AND THE CALIFORNIA PLANTING SPECIFICATIONS.
10. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN FRANCISCO PLANTING SPECIFICATIONS AND THE CALIFORNIA PLANTING SPECIFICATIONS.

DATE	DESCRIPTION
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03/19/16	ISSUED FOR PERMIT
03/19/16	ISSUED FOR PERMIT
03/19/16	ISSUED FOR PERMIT
03/19/16	ISSUED FOR PERMIT
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03/19/16	ISSUED FOR PERMIT
03/19/16	ISSUED FOR PERMIT



Plan 3R Mar 19, 2016  
 DP 15 - 700800



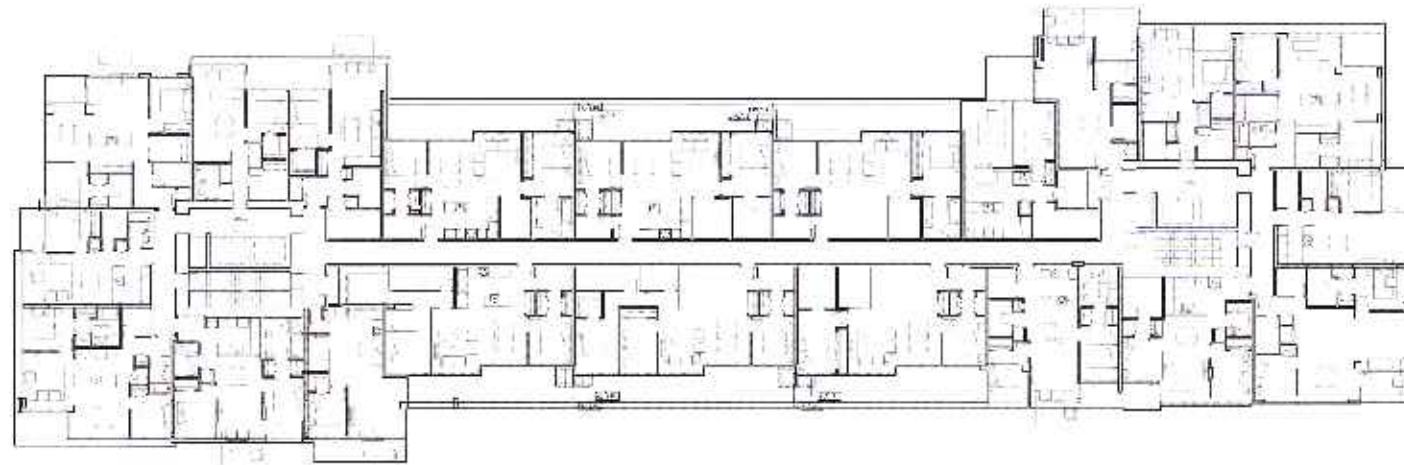
Concord Gardens, Lot 2

PLANTING PLAN  
 GROUND LEVEL - West

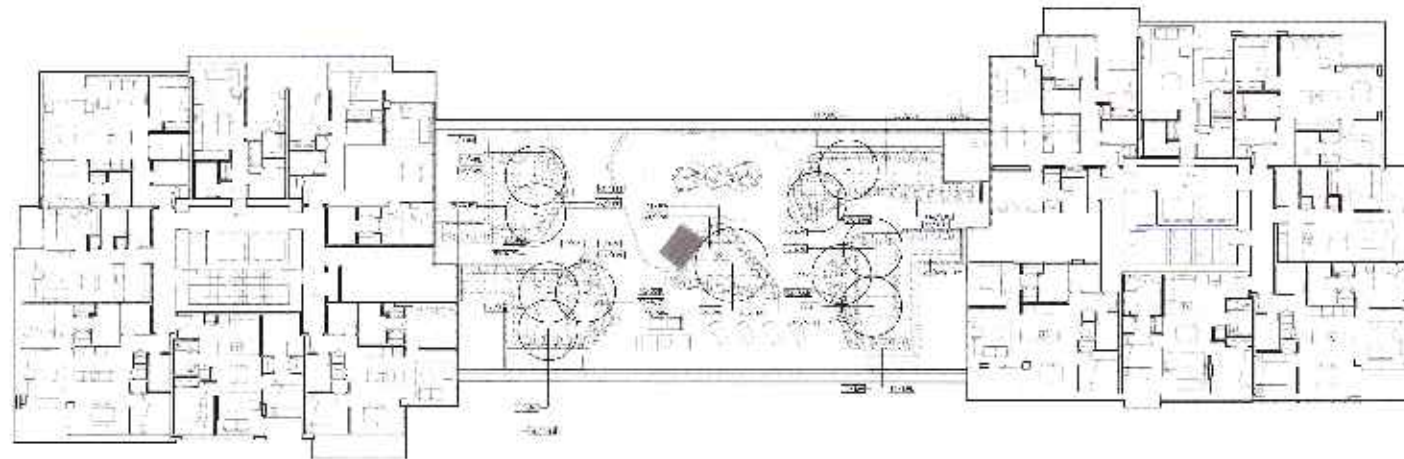


DATE	DESCRIPTION
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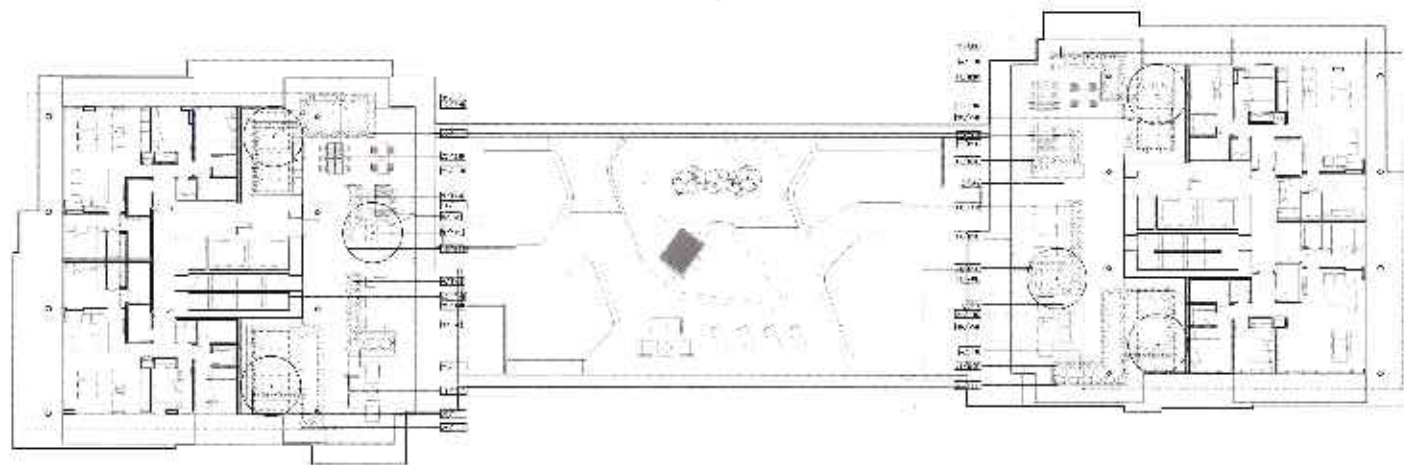
L 3.03



1 AT 112'0"



2 AT 122'0"



3 AT 132'0"



PROJECT:	CONCORD GARDENS LOT 2
CLIENT:	CONCORD PACIFIC
DATE:	15 MAR 2016
SCALE:	AS SHOWN
DESIGNER:	GARY B. LINDEN
CHECKER:	DAVID J. HARRIS
DATE:	15 MAR 2016

Plan 3S Mar 19, 2016  
DP 15 - 700800



Concord Gardens Lot 2

- PLANTING GENERAL NOTES**
1. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IRRIGATION AND LANDSCAPE ARCHITECTURE HANDBOOKS.
  2. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IRRIGATION AND LANDSCAPE ARCHITECTURE HANDBOOKS.
  3. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IRRIGATION AND LANDSCAPE ARCHITECTURE HANDBOOKS.
  4. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IRRIGATION AND LANDSCAPE ARCHITECTURE HANDBOOKS.
  5. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IRRIGATION AND LANDSCAPE ARCHITECTURE HANDBOOKS.
  6. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IRRIGATION AND LANDSCAPE ARCHITECTURE HANDBOOKS.
  7. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IRRIGATION AND LANDSCAPE ARCHITECTURE HANDBOOKS.
  8. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IRRIGATION AND LANDSCAPE ARCHITECTURE HANDBOOKS.
  9. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IRRIGATION AND LANDSCAPE ARCHITECTURE HANDBOOKS.

PLANTING PLAN  
ROOF LEVELS  
WEST BUILDING

SCALE: 1:150

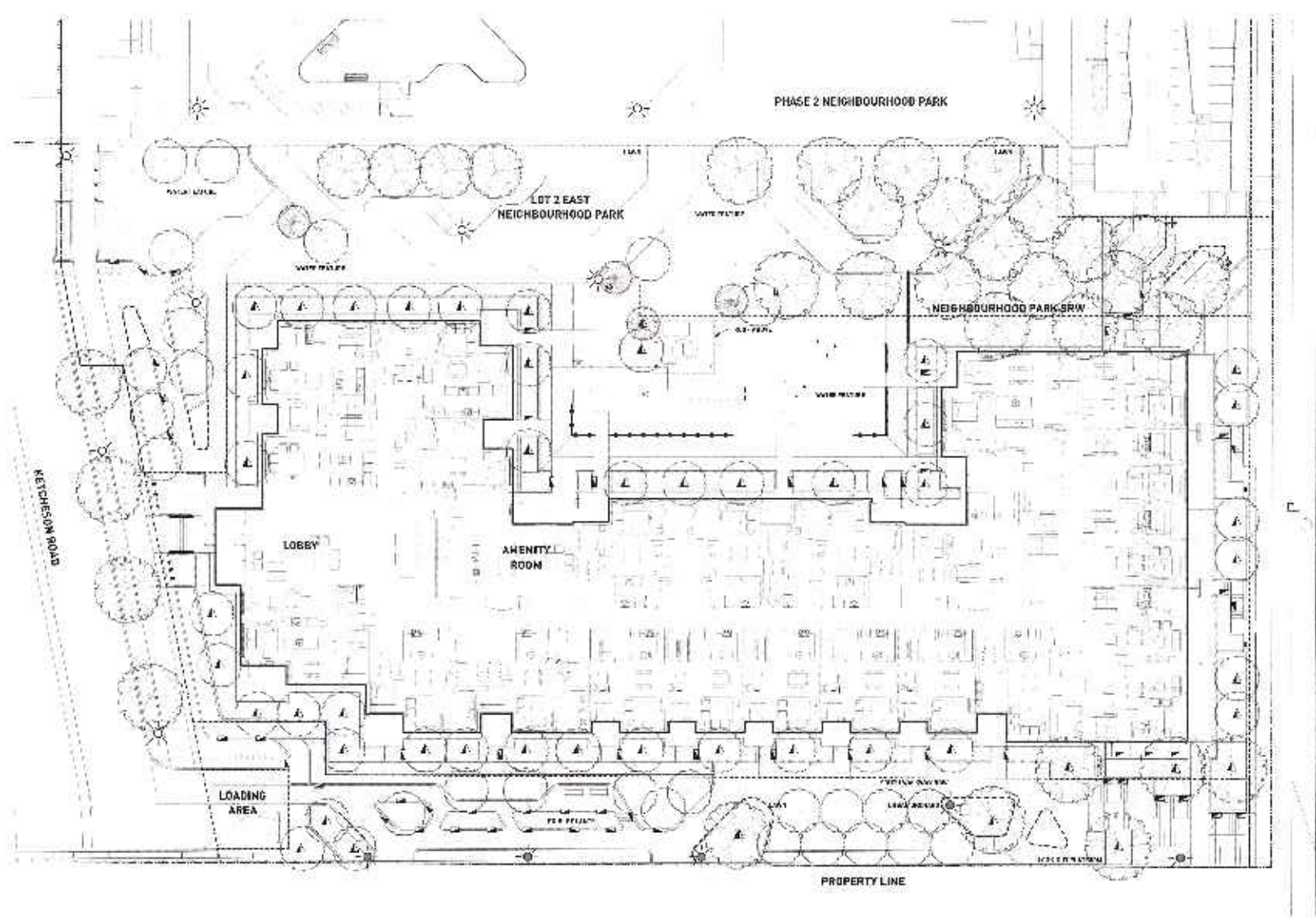
DATE: 15 MAR 2016

DESIGNER: GARY B. LINDEN

CHECKER: DAVID J. HARRIS

L 3.04





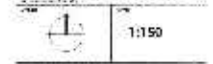
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(Symbol)	TYPE 4 - TREE LIGHT (2500MM HGT)	
(Symbol)	TYPE 5 - TREE LIGHT (3000MM HGT)	
(Symbol)	TYPE 6 - TREE LIGHT (3500MM HGT)	
(Symbol)	TYPE 7 - TREE LIGHT (4000MM HGT)	
(Symbol)	TYPE 8 - TREE LIGHT (4500MM HGT)	
(Symbol)	TYPE 9 - TREE LIGHT (5000MM HGT)	
(Symbol)	TYPE 10 - TREE LIGHT (5500MM HGT)	
(Symbol)	TYPE 11 - TREE LIGHT (6000MM HGT)	
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(Symbol)	TYPE 14 - TREE LIGHT (7500MM HGT)	
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(Symbol)	TYPE 96 - TREE LIGHT (48500MM HGT)	
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(Symbol)	TYPE 99 - TREE LIGHT (50000MM HGT)	
(Symbol)	TYPE 100 - TREE LIGHT (50500MM HGT)	

Plan 3T Mar 19, 2016  
 DP 15 - 700800



Concord Gardens Lot 2

LIGHTING PLAN  
 GROUND LEVEL - East

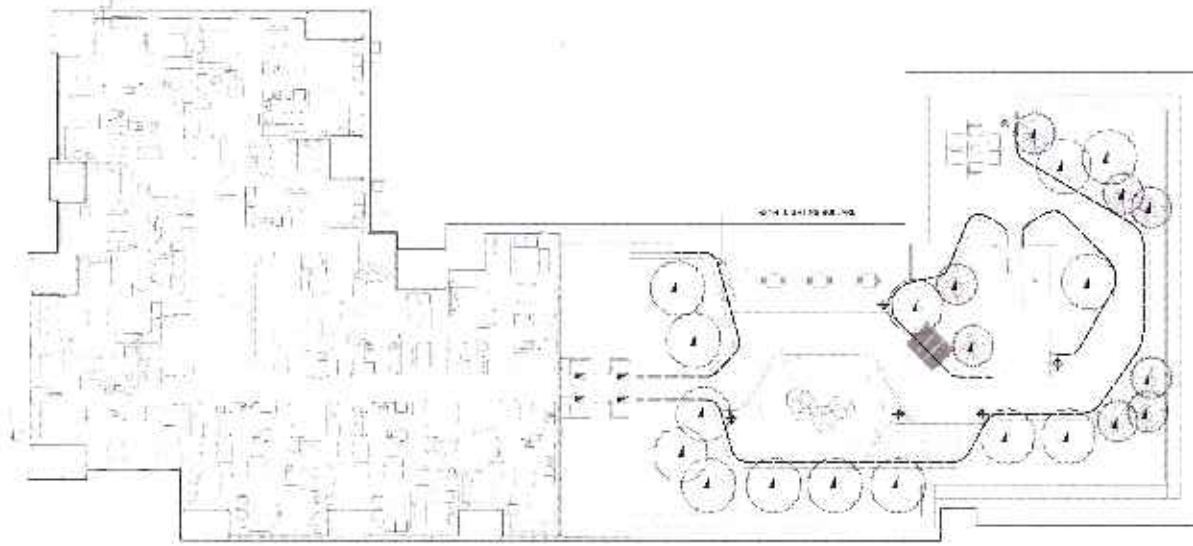


DATE	19 MAR 2016
BY	WJ
CHECKED BY	WJ
SCALE	1:150

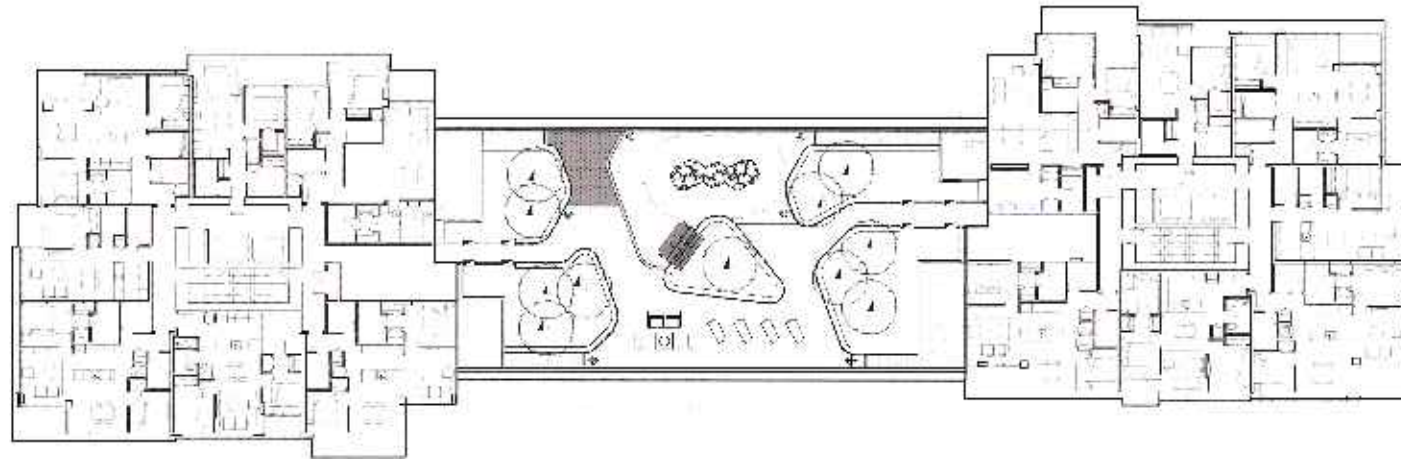
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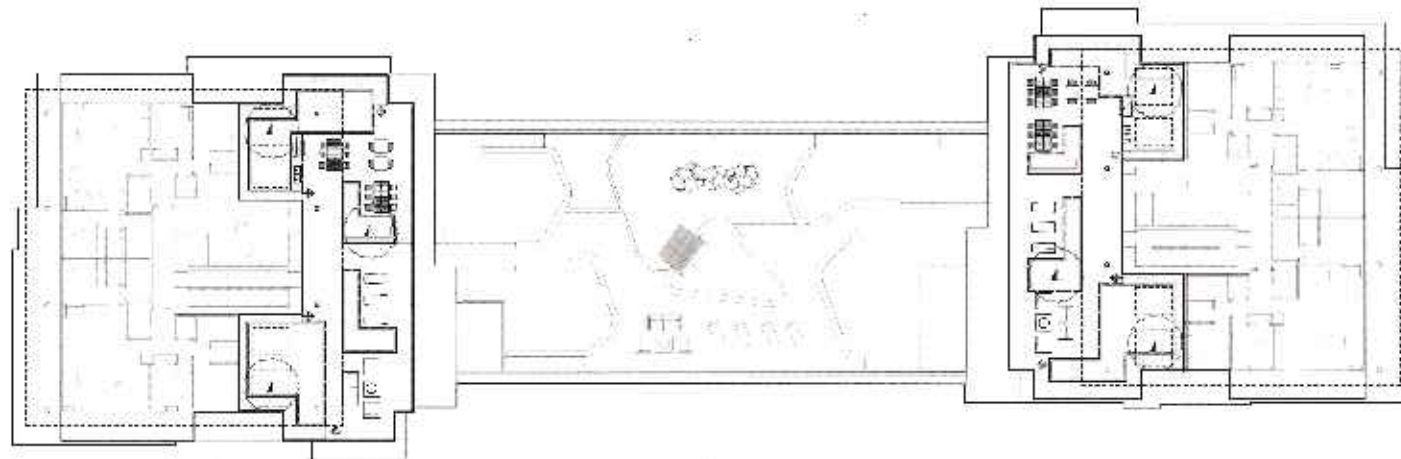




LEVEL 3 PLAN



LEVEL 4 PLAN



LEVEL 5 PLAN



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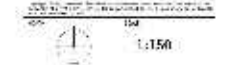
Plan 3V Mar 19, 2016  
DP 15 - 700800

LEGEND		
SYMBOLS TO BE USED IN THE LIGHTING PLAN		
SYMBOLS TO BE USED IN THE LIGHTING PLAN		
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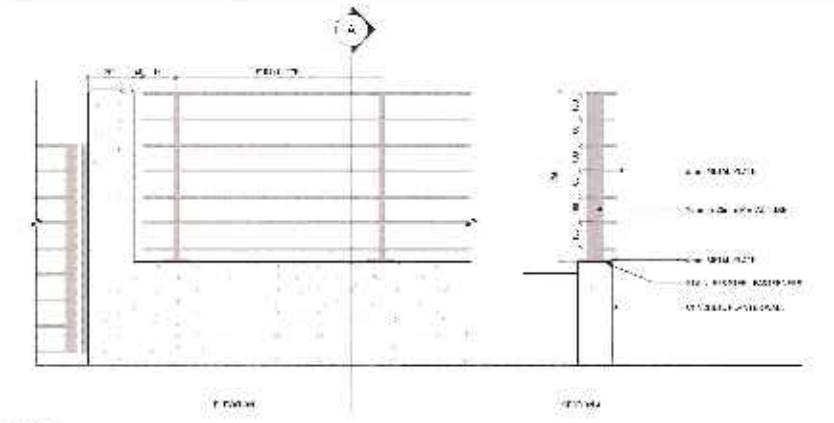
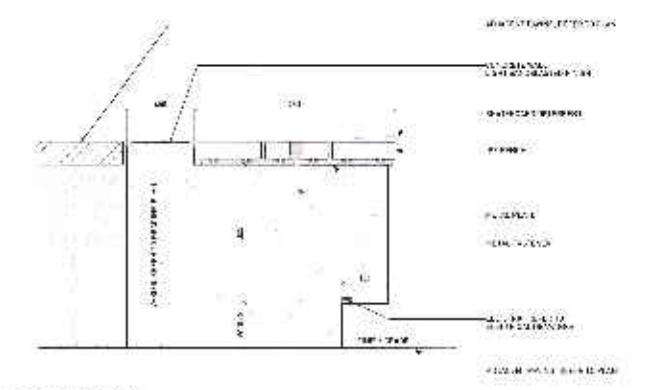
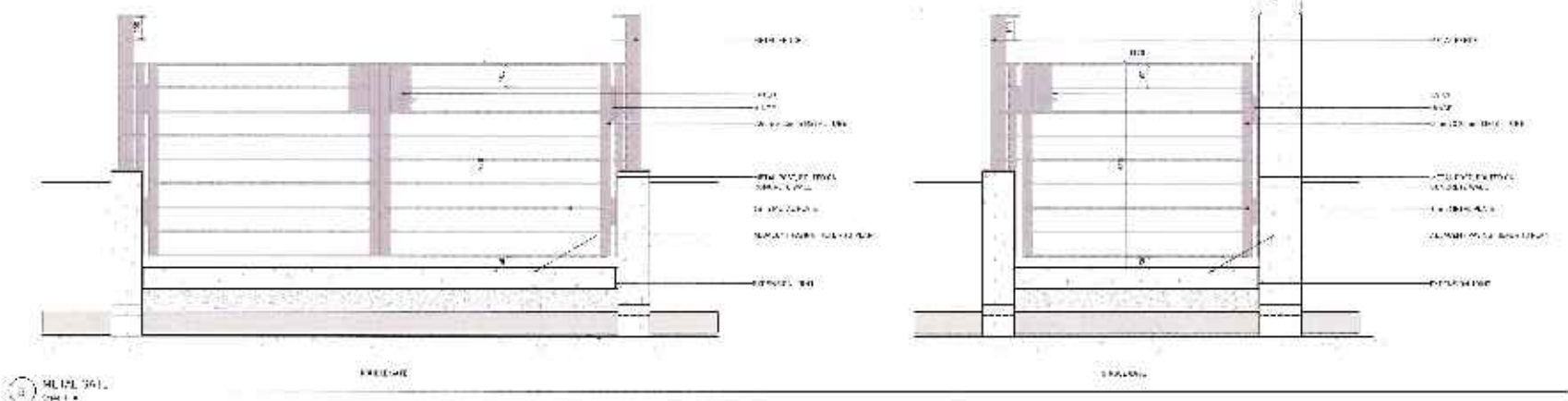
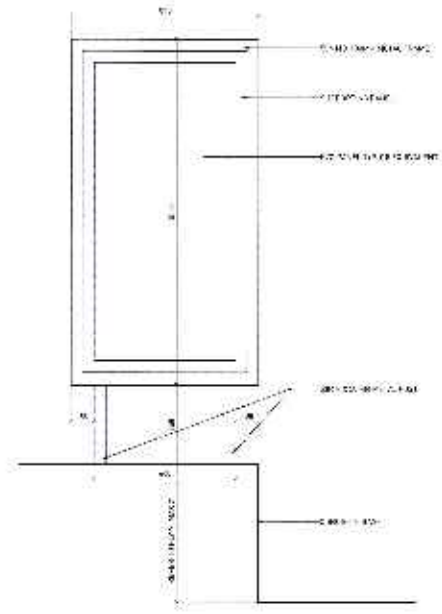
Concord Gardens Lot 2

LIGHTING PLAN  
ROOF LEVEL 5



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PROJECT:	[illegible]
LOCATION:	[illegible]
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L 4.03

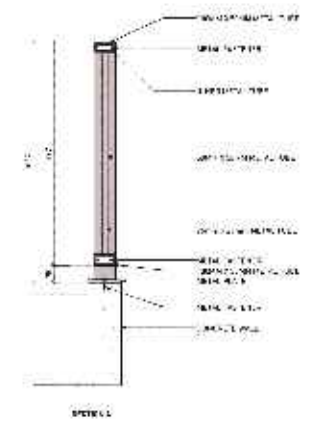
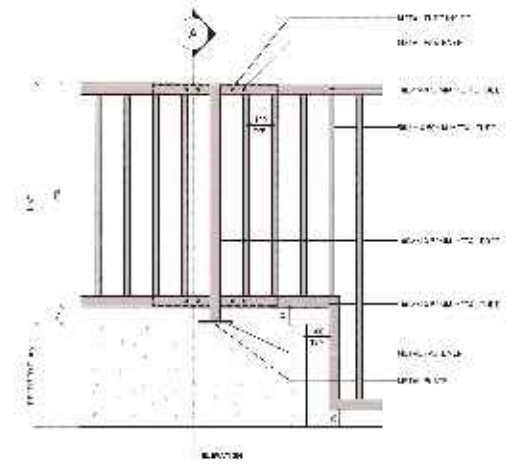


1 METAL FENCE  
 1/4" = 1'-0"

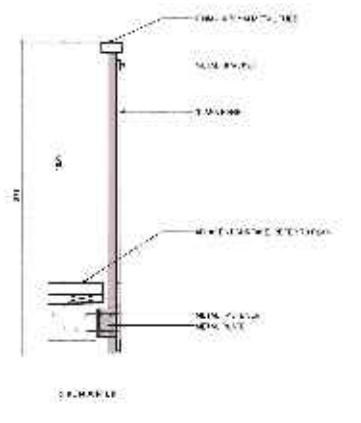
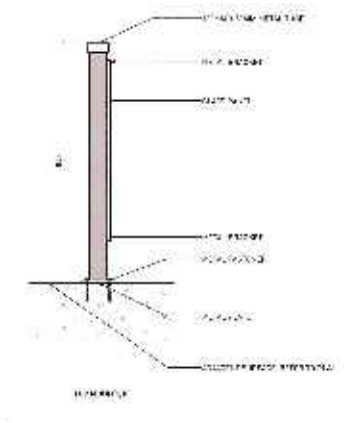


METAL FENCE DETAIL

2 ART UNIT BENCH  
 1/4" = 1'-0"

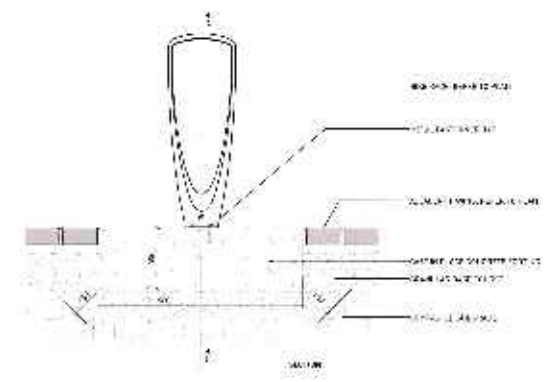


3 METAL FENCE  
 1/4" = 1'-0"

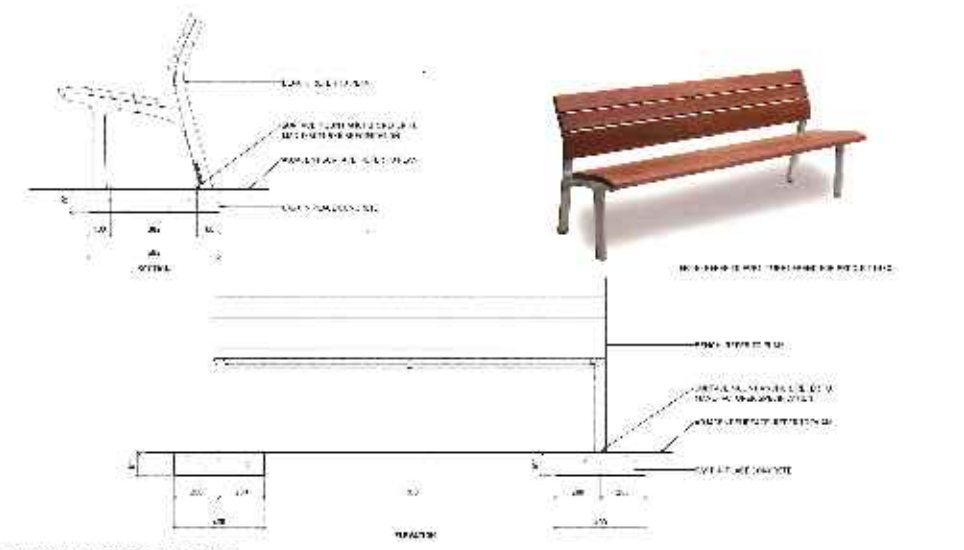


4 GLASS GLAZING  
 1/4" = 1'-0"

5 METAL GUARDRAIL ALONG SOUTH PROPERTY LINE (REMOVABLE)  
 1/4" = 1'-0"



METAL GUARDRAIL DETAIL



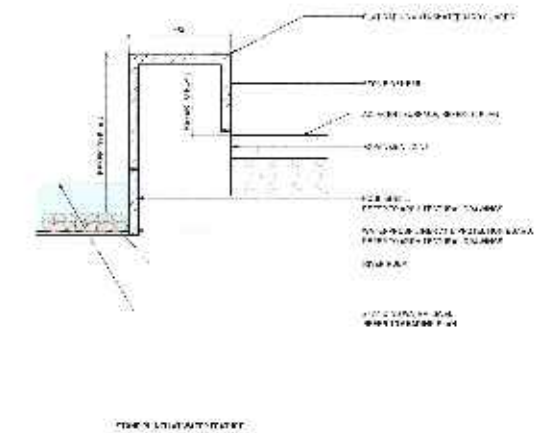
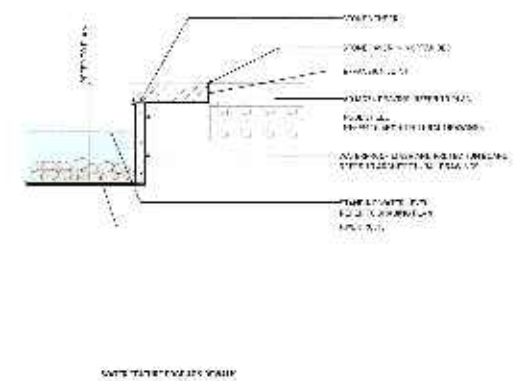
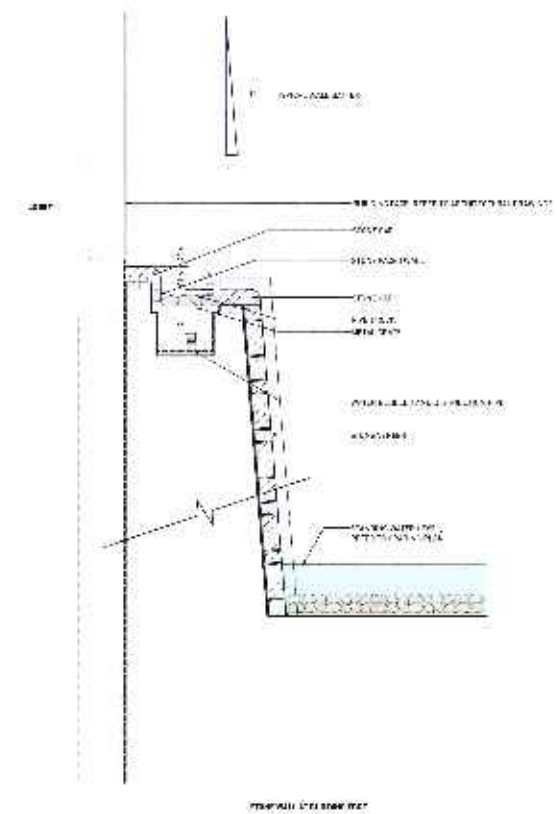
6 BENCH AND CONCRETE FOOTING  
 1/4" = 1'-0"

7 METAL GUARDRAIL ALONG SOUTH PROPERTY LINE (REMOVABLE)  
 1/4" = 1'-0"

Plan 3W Mar 19, 2016  
 DP 15 - 700800



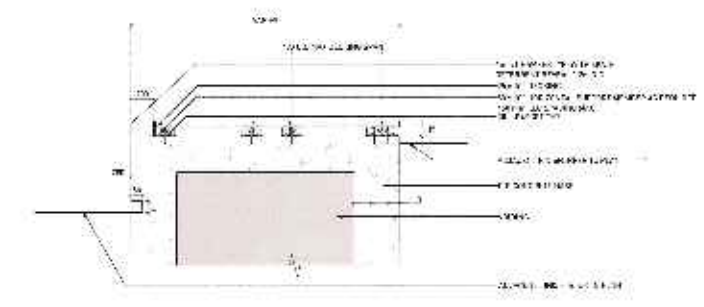




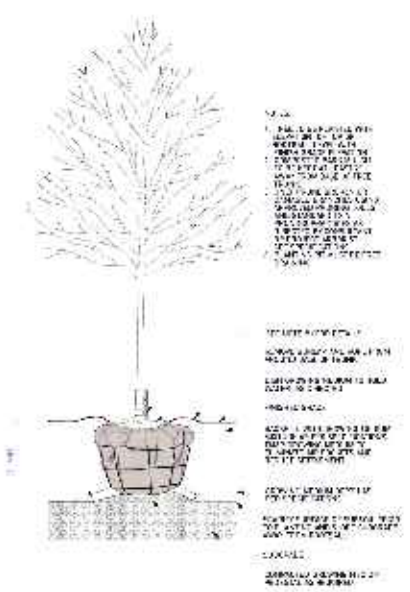
SECTION CEC 1  
 WINDOW AND WINDOW SILL

SECTION CEC 2  
 WINDOW AND WINDOW SILL

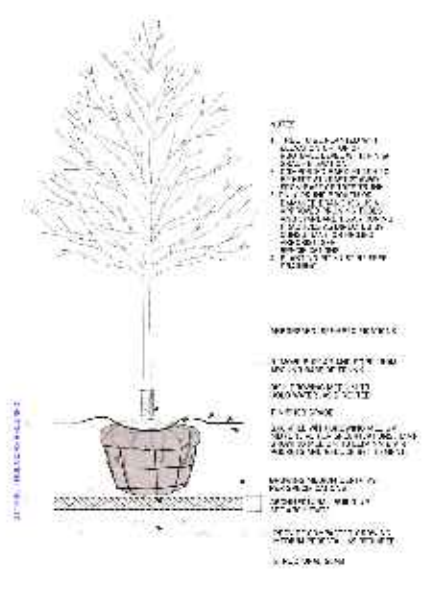
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 WINDOW AND WINDOW SILL



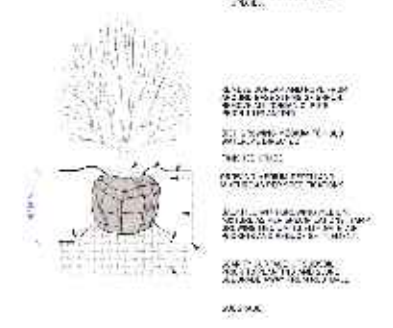
SECTION CEC 4  
 WINDOW AND WINDOW SILL



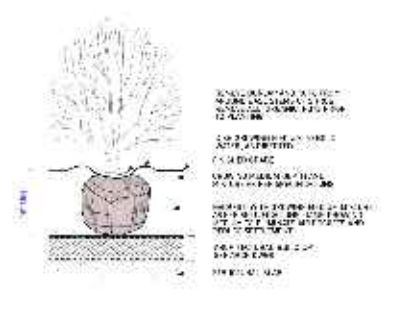
1 TREE PLANTING IN BOX



2 TREE PLANTING IN BOX



3 TREE PLANTING IN BOX



4 TREE PLANTING IN BOX

Plan 3Y Mar 19, 2016  
 DP 15 - 700800



Concord Gardens Lot 2

LANDSCAPE DETAIL

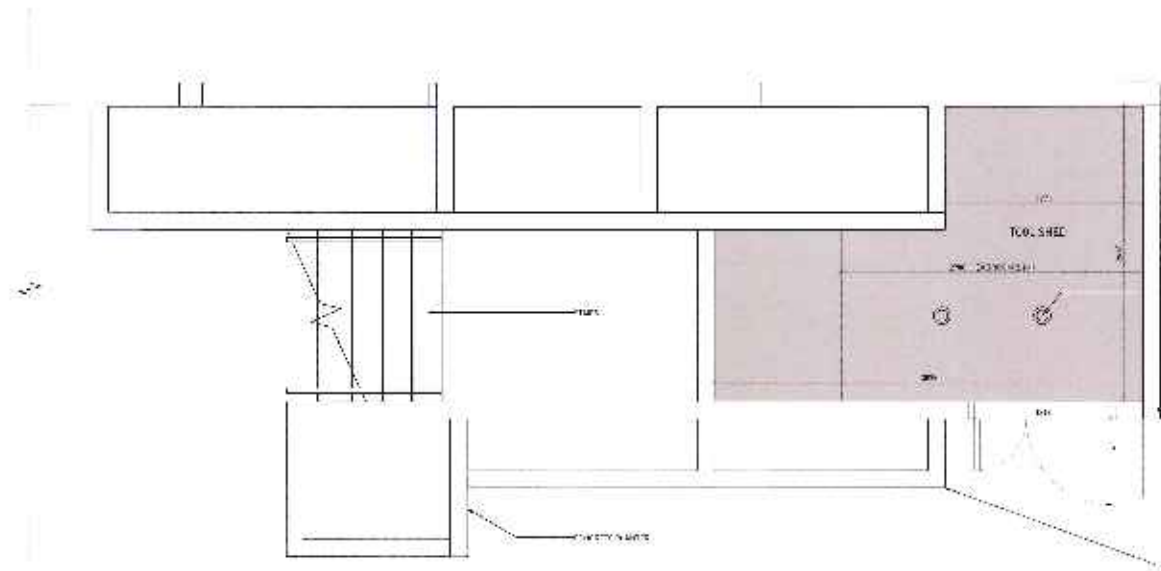
DATE	AS SHOWN
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NO. 1	1488
DATE	2016.03.19
BY	1488 B.P. J.W.
APP. BY	1488 B.P. J.W.
SCALE	1:100

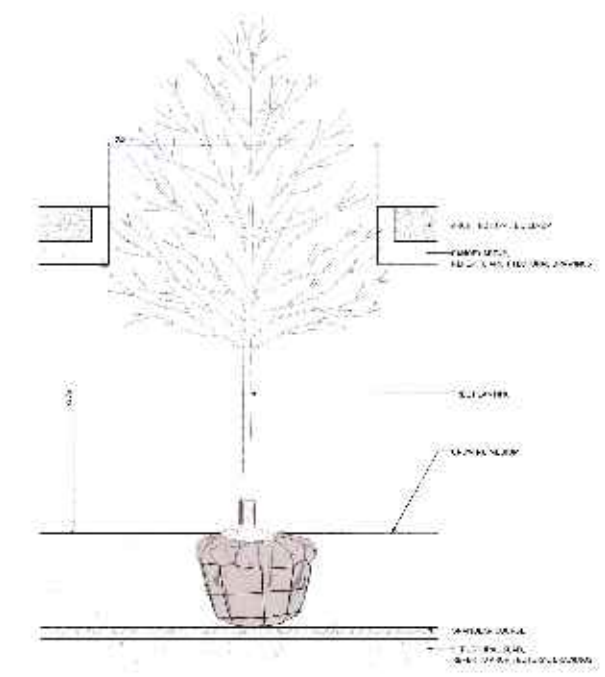
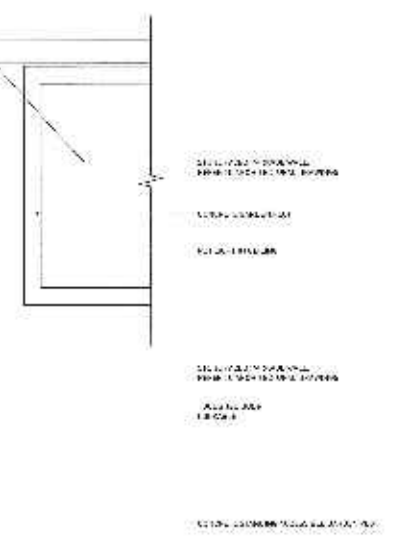
L 5.03





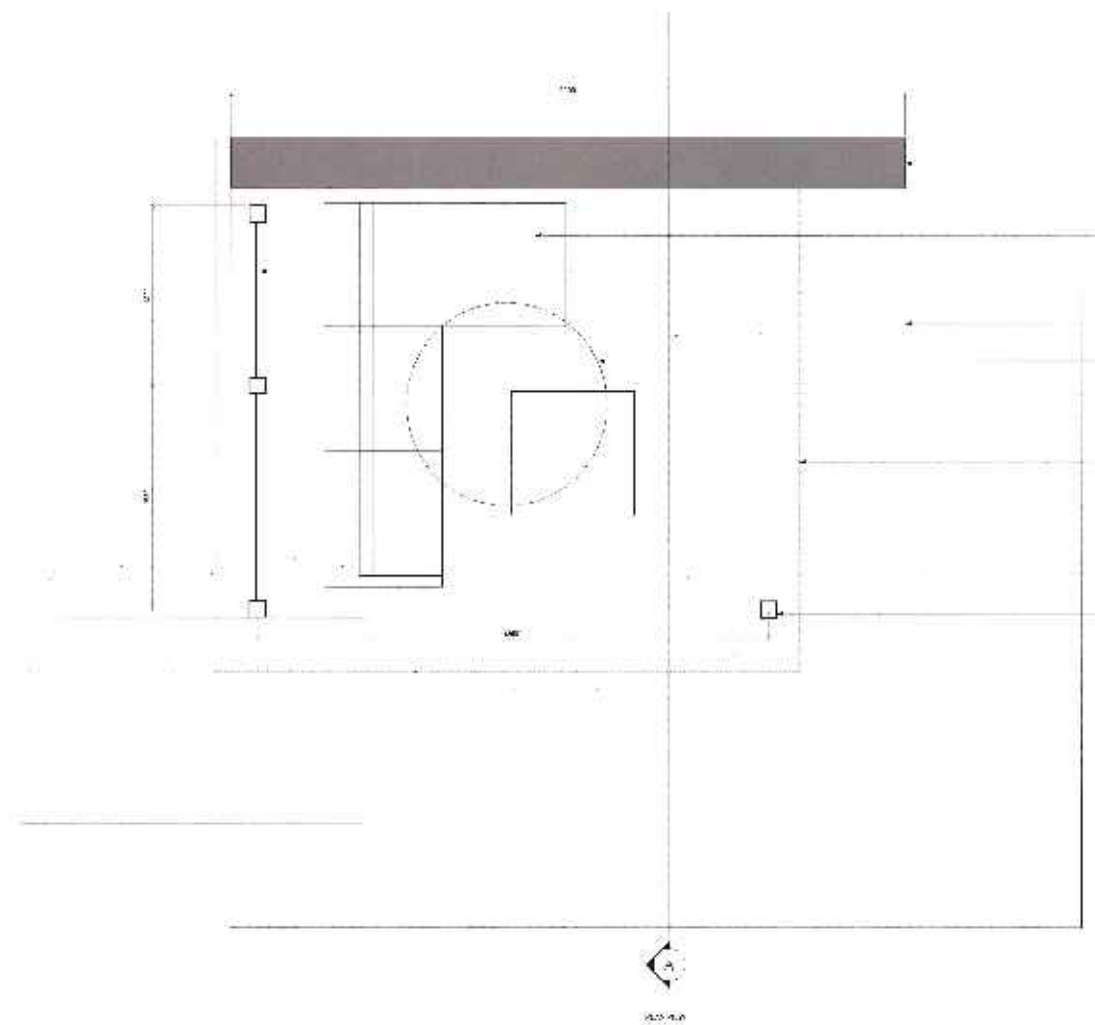


1. SECTION THROUGH WINDOW DETAIL



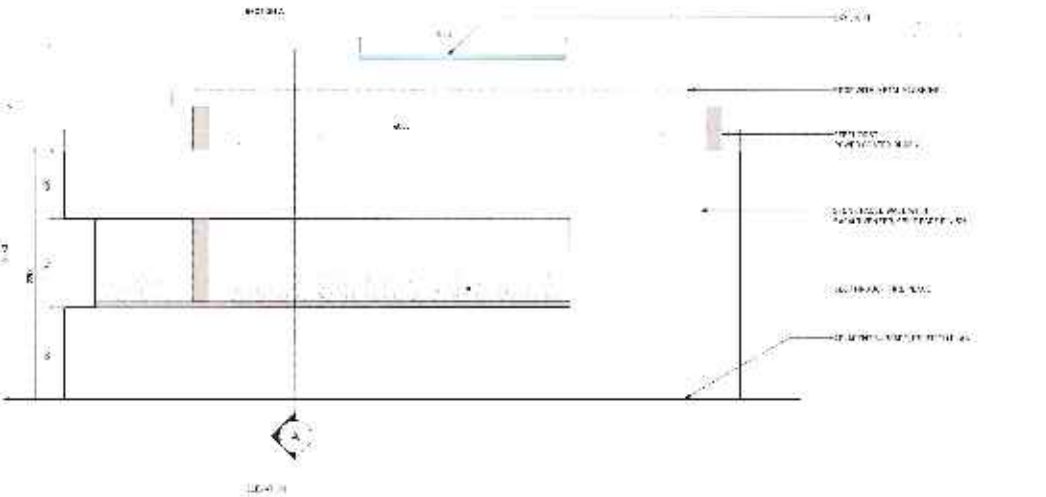
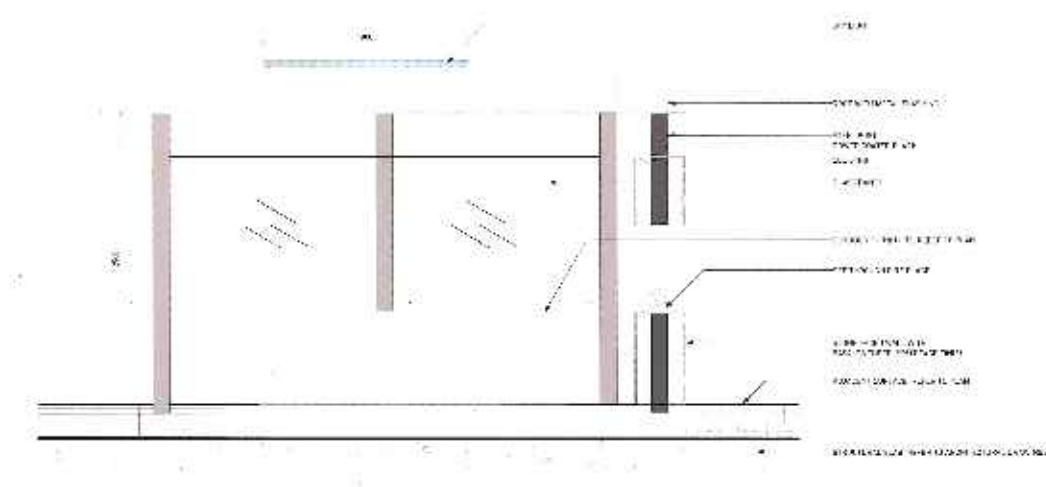
3. TREE PLANTING BELOW CANOPY ON WEST BUILDING LEVEL 1A

PWL  
 gbl  
 PROJECT NO.  
 DATE  
 DRAWN BY  
 CHECKED BY



2. SECTION AT EAST BUILDING OPENING AREA

- EXTERIOR FINISH
- INSULATION
- STRUCTURAL WALL
- WINDOW FRAME
- GLASS PANEL
- INTERIOR FINISH
- FOUNDATION



Plan 3AA Mar 19, 2016  
 DP 15 - 700800

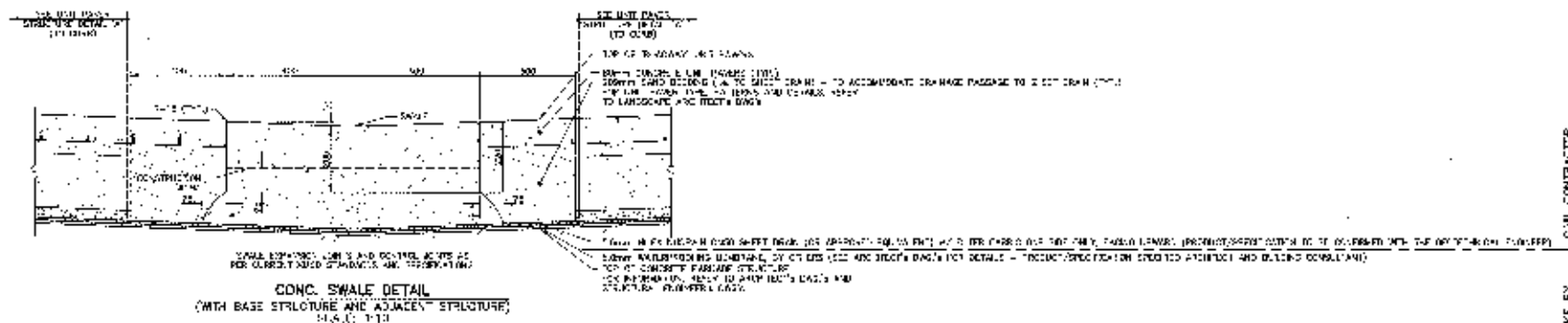
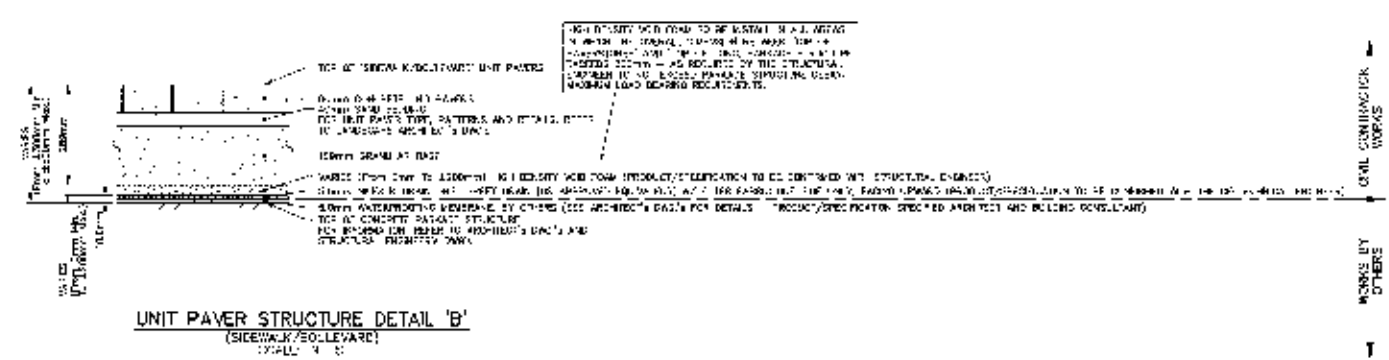
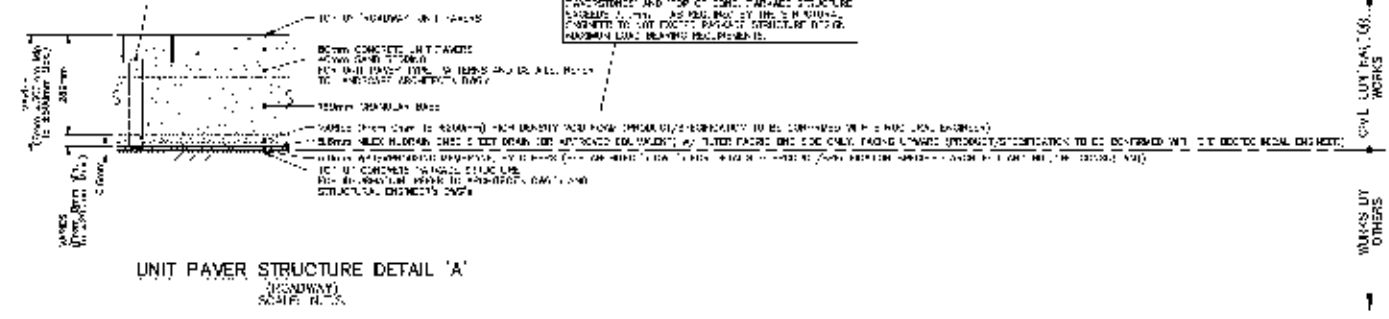
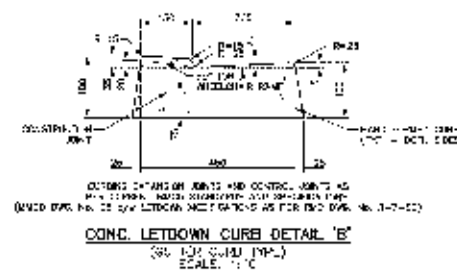
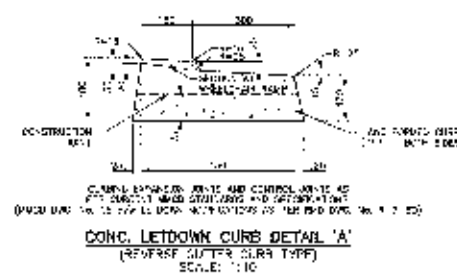
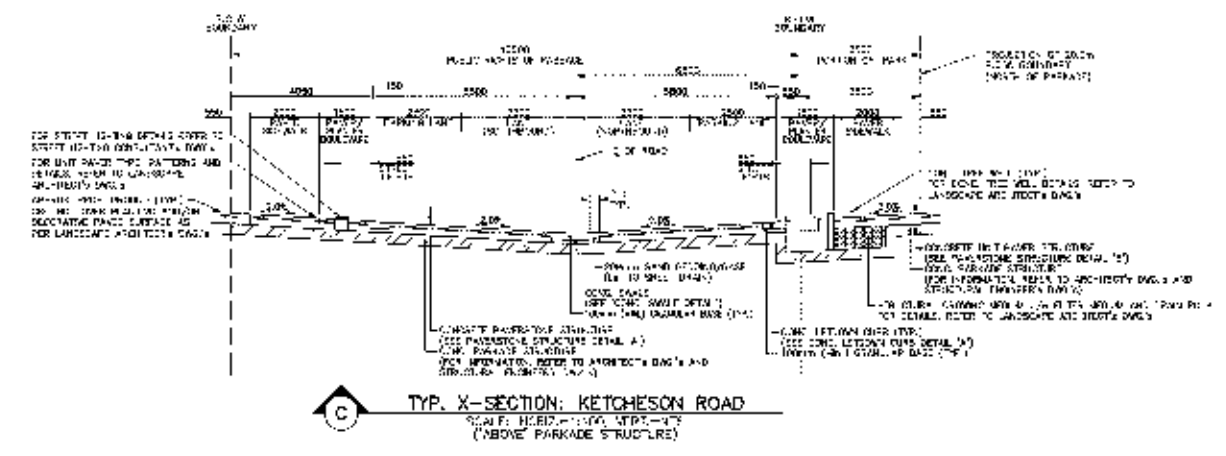
Concord Barrons Lot 7  
 LANDSCAPE DETAIL

DATE	DESCRIPTION
15/03/2016	ISSUED FOR PERMIT
15/03/2016	ISSUED FOR PERMIT
15/03/2016	ISSUED FOR PERMIT
15/03/2016	ISSUED FOR PERMIT

L 5.05







CONTRACTOR TO VERIFY CURB AND CONTROL POINTS AS PER SPECIFICATIONS AND DETAIL DRAWING NO. 15-1-10 FOR THE ROADWAY STRUCTURE AND DETAIL DRAWING NO. 15-1-11 FOR THE SIDEWALK/BOLLEVADE STRUCTURE.

**NOTES:**

- ALL ELEVATIONS ARE TO GEODETIC DATUM AND DERIVED FROM HIGHWAY CONTROL MEASUREMENTS. CHECK DATUM AT THE END OF EACH BLOCK AND AT THE END OF EACH ELEVATION.
- CONTRACTOR TO VERIFY BENCHMARKS WITH MPT ENGINEERING PRIOR TO CONSTRUCTION. NOTIFY ENGINEERING IMMEDIATELY OF ANY DISCREPANCIES TO MPT ENGINEERING PRIOR TO CONSTRUCTION.
- ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT CITY BUILDING DEPARTMENT REGULATIONS AND BY-LAWS AND THE CURRENT P.E. ENGINEER'S CODE.

**MPT ENGINEERING CO. LTD.**  
CONCORD GARDENS LIMITED PARTNERSHIP  
LOT 2

NO.	DATE	BY	CHKD.	REVISION
1	15/03/16	BY	CHKD.	ISSUE FOR PERMITTING PURPOSE
2	15/03/16	BY	CHKD.	AS PER THE PLAN

**SURFACE WORKS**

NO.	DATE	BY	CHKD.	REVISION
1	15/03/16	BY	CHKD.	ISSUE FOR PERMITTING PURPOSE
2	15/03/16	BY	CHKD.	AS PER THE PLAN













# gbl

GENERAL BUILDING  
CORPORATION  
1000 WEST 10TH AVENUE  
DENVER, COLORADO 80202  
TEL: 303.733.1000  
WWW.GBCORP.COM



DATE: 03/19/2016  
PROJECT: CONCORD GARDENS LOT 2  
2017 S. HAYDEN STREET, DENVER, CO  
DRAWN BY: J. HARRIS  
CHECKED BY: J. HARRIS

SCALE: 1/8" = 1'-0"  
DATE: 03/19/2016  
PROJECT: CONCORD GARDENS LOT 2  
2017 S. HAYDEN STREET, DENVER, CO  
DRAWN BY: J. HARRIS  
CHECKED BY: J. HARRIS



VIEW FROM NORTH EAST



VIEW FROM NORTH WEST

Plan 5B Mar 19, 2016  
DP 15 - 700800



VIEW FROM SOUTH EAST

  
**CONCORD**  
PACIFIC

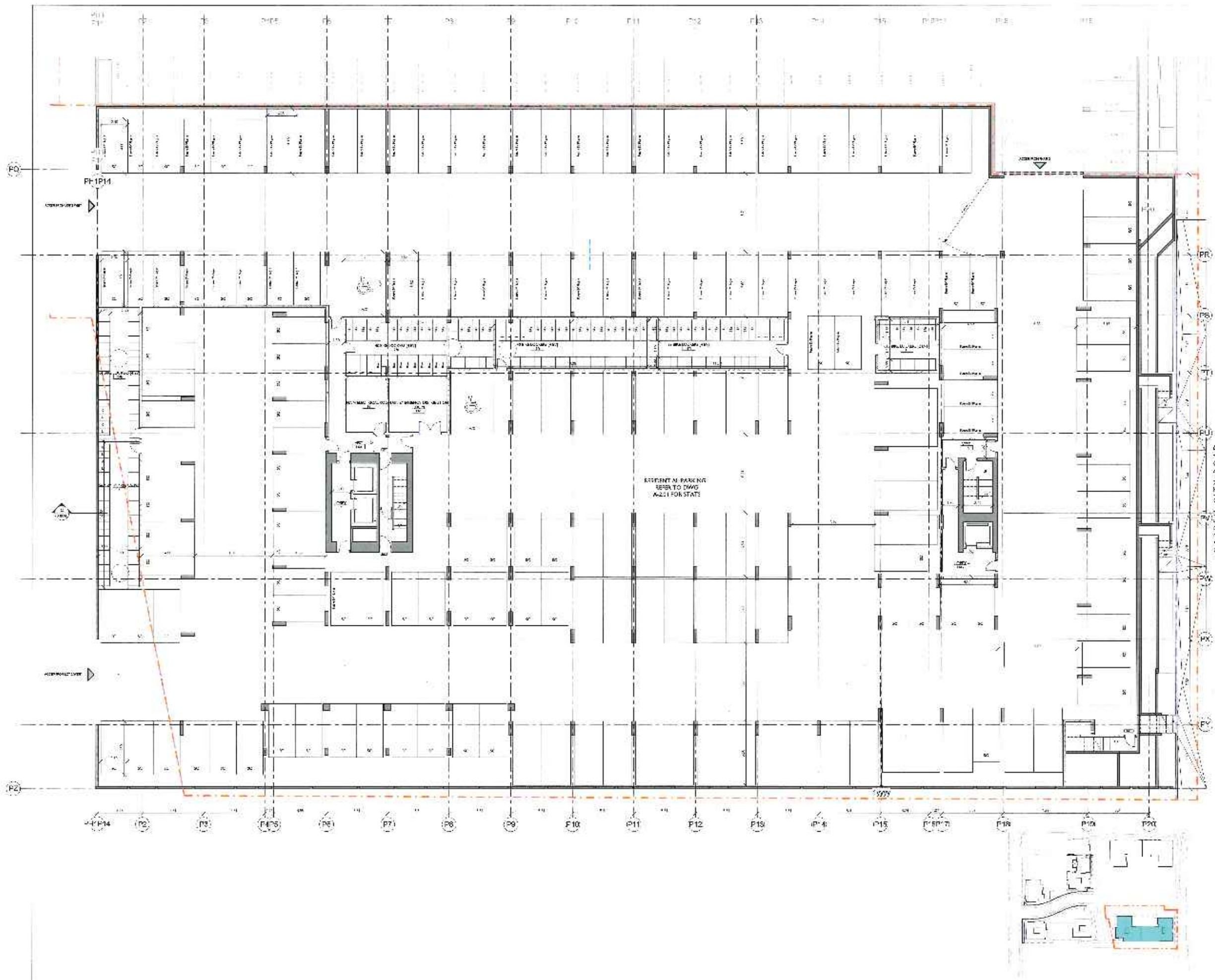
CONCORD GARDENS  
LOT 2  
EAST

REVISION 0, R1  
PERSPECTIVE VIEWS

DATE: 03/19/2016  
PROJECT: CONCORD GARDENS LOT 2  
2017 S. HAYDEN STREET, DENVER, CO  
DRAWN BY: J. HARRIS  
CHECKED BY: J. HARRIS

A-E1.08





gbl  
 1000 W. ...  
 ...

PROJECT:  
 CONCORD GARDENS LOT 2, 2000 ...  
 ...

REVISIONS

NO.	DATE	DESCRIPTION
1	...	...
2	...	...
3	...	...
4	...	...
5	...	...

**Plan 5C** Mar 19, 2016  
 DP 15 - 700800



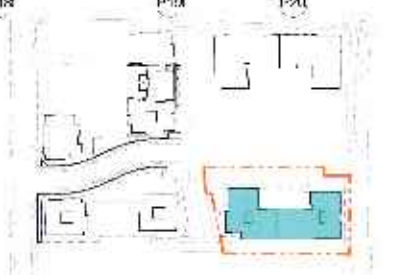
CONCORD GARDENS  
 LOT 2  
 EAST

RICHMOND, SC

LEVEL 1

DATE	12/15/15
DESIGNED BY	...
CHECKED BY	...
SCALE	1/8" = 1'-0"
DATE PLOTTED	12/15/15

A-E2.01







gbl  
 4500 UNIVERSITY AVENUE  
 SUITE 1000  
 BERKELEY, CA 94704  
 TEL: 415.863.1000  
 WWW.GBL.COM

PLAN 5D  
 CONCORD GARDENS LOT 2  
 EAST  
 LEVEL 2  
 1465-S

DATE: 03/19/2016  
 DRAWN BY: J. HARRIS  
 CHECKED BY: J. HARRIS  
 SCALE: 1/8" = 1'-0"

Plan 5D Mar 19, 2016  
 DP 15 - 700800

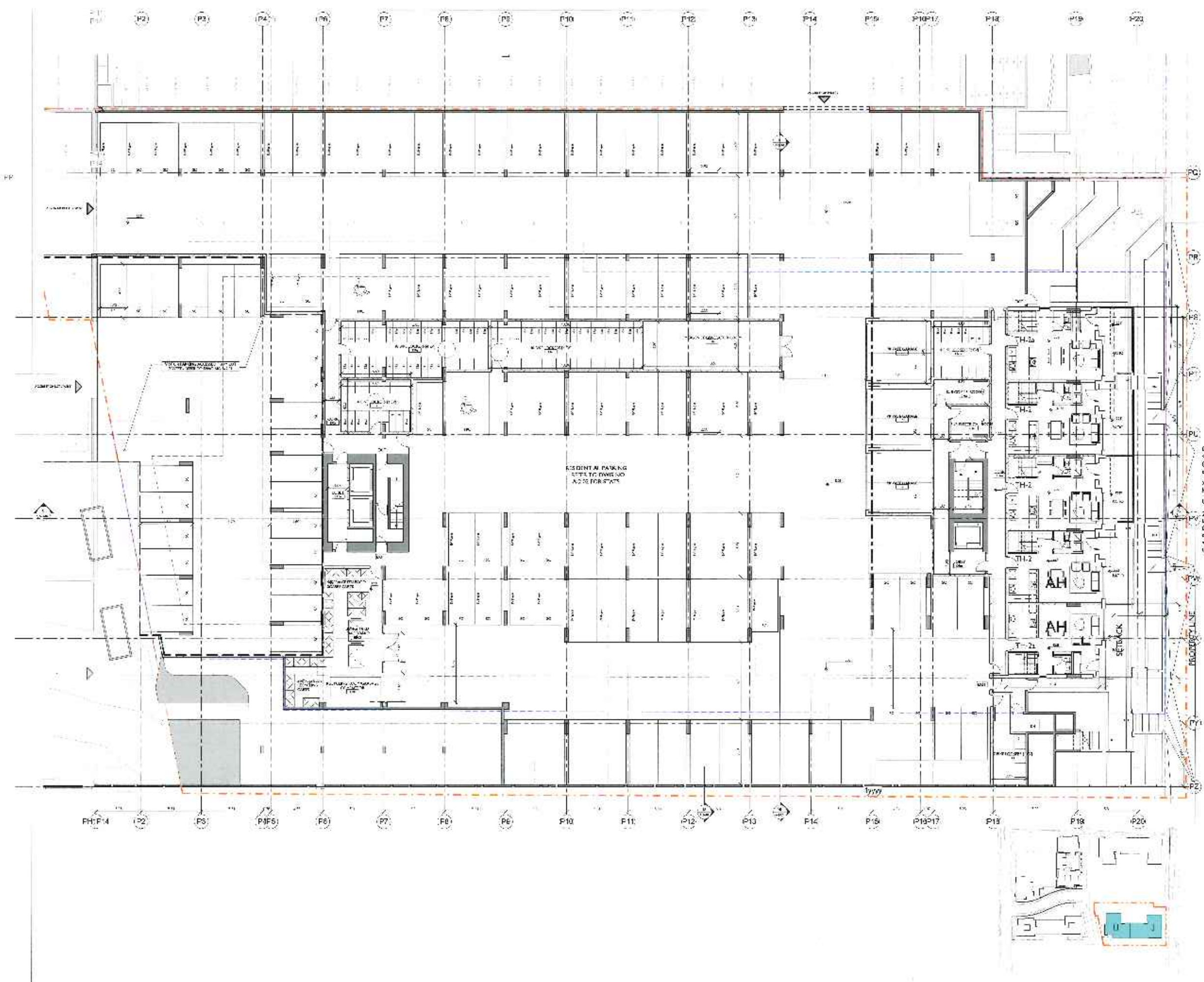


CONCORD GARDENS  
 LOT 2  
 EAST

CONCORD, CA  
 LEVEL 2

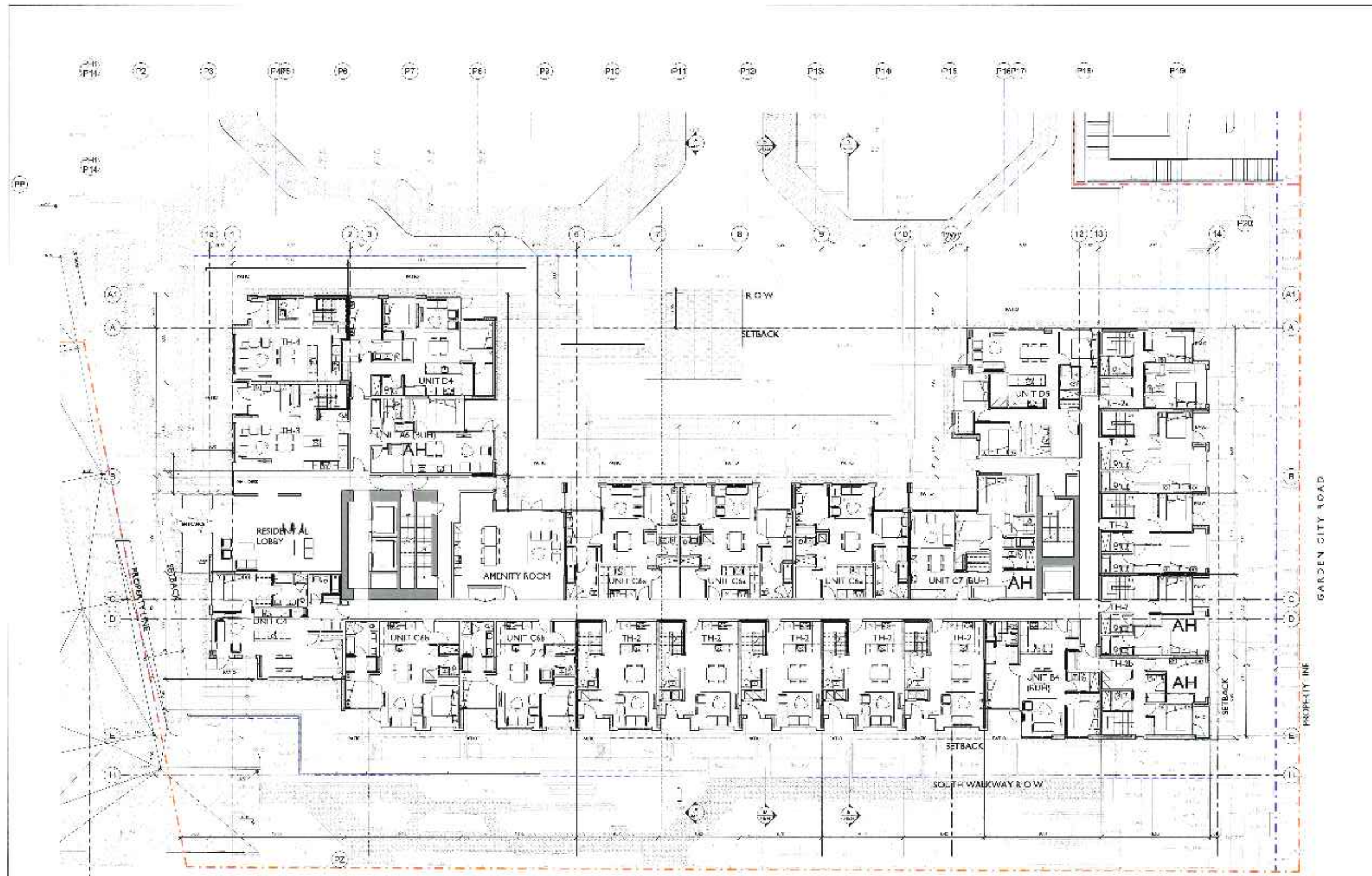
DATE: 03/19/2016  
 DRAWN BY: J. HARRIS  
 CHECKED BY: J. HARRIS  
 SCALE: 1/8" = 1'-0"

A-E2.02





PROJECT NO. 15-700800  
 SHEET NO. A-E2.03  
 DATE: 03/19/2016  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 TITLE: FLOOR PLAN



LEGEND

SYMBOL	DESCRIPTION
(Symbol)	UNIT
(Symbol)	LOBBY
(Symbol)	AMENITY ROOM
(Symbol)	AH
(Symbol)	STAIR
(Symbol)	ELEVATOR
(Symbol)	WALL
(Symbol)	DOOR
(Symbol)	WINDOW
(Symbol)	SETBACK
(Symbol)	ROW
(Symbol)	PROPERTY LINE

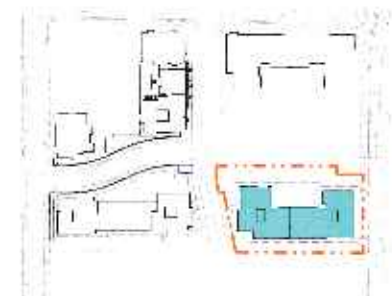
**Plan 5E** Mar 19, 2016  
**DP 15 - 700800**



**CONCORD PACIFIC**  
 CONCORD GARDENS  
 LOT 2  
 EAST

RICHMOND, SC  
 LEVEL 3

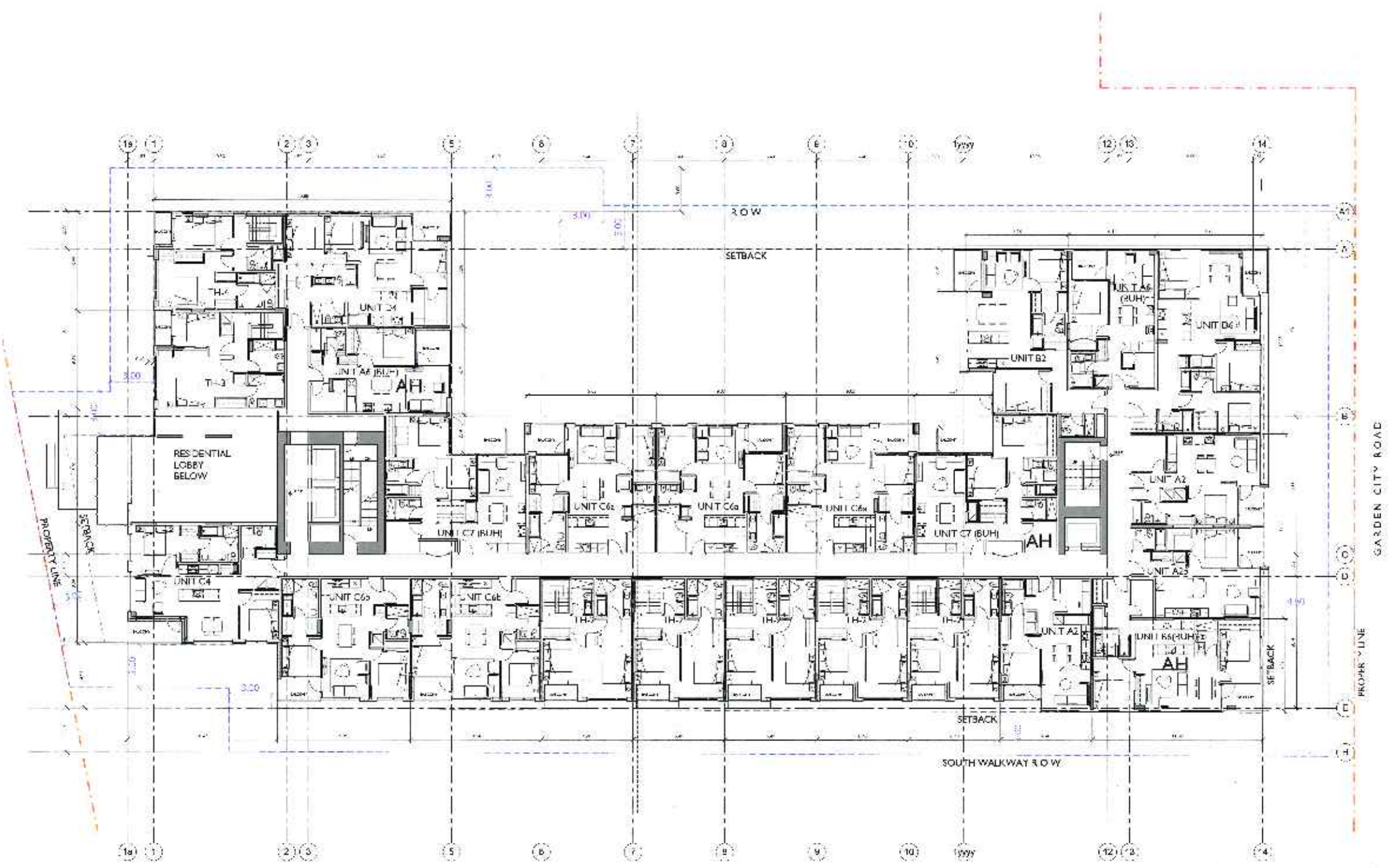
DATE	DESCRIPTION	BY
03/19/2016	ISSUED FOR PERMIT	[Name]
03/19/2016	ISSUED FOR PERMIT	[Name]
03/19/2016	ISSUED FOR PERMIT	[Name]





REVISIONS

NO.	DATE	DESCRIPTION
1	03/19/2016	ISSUED FOR PERMIT
2	03/19/2016	REVISED PER CITY COMMENTS
3	03/19/2016	REVISED PER CITY COMMENTS
4	03/19/2016	REVISED PER CITY COMMENTS
5	03/19/2016	REVISED PER CITY COMMENTS



**Plan 5F** Mar 19, 2016  
**DP 15 - 700800**

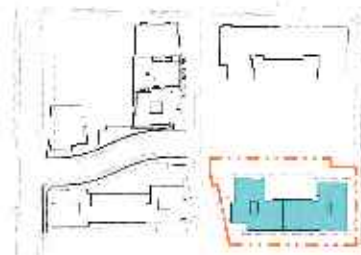


CONCORD GARDENS  
 LOT 2  
 EAST

RICHMOND, CO  
 I/F/V/I 4

DATE	DESCRIPTION
03/19/2016	ISSUED FOR PERMIT
03/19/2016	REVISED PER CITY COMMENTS
03/19/2016	REVISED PER CITY COMMENTS
03/19/2016	REVISED PER CITY COMMENTS
03/19/2016	REVISED PER CITY COMMENTS

SCALE: 1/8" = 1'-0"  
 SHEET: A-E2.04

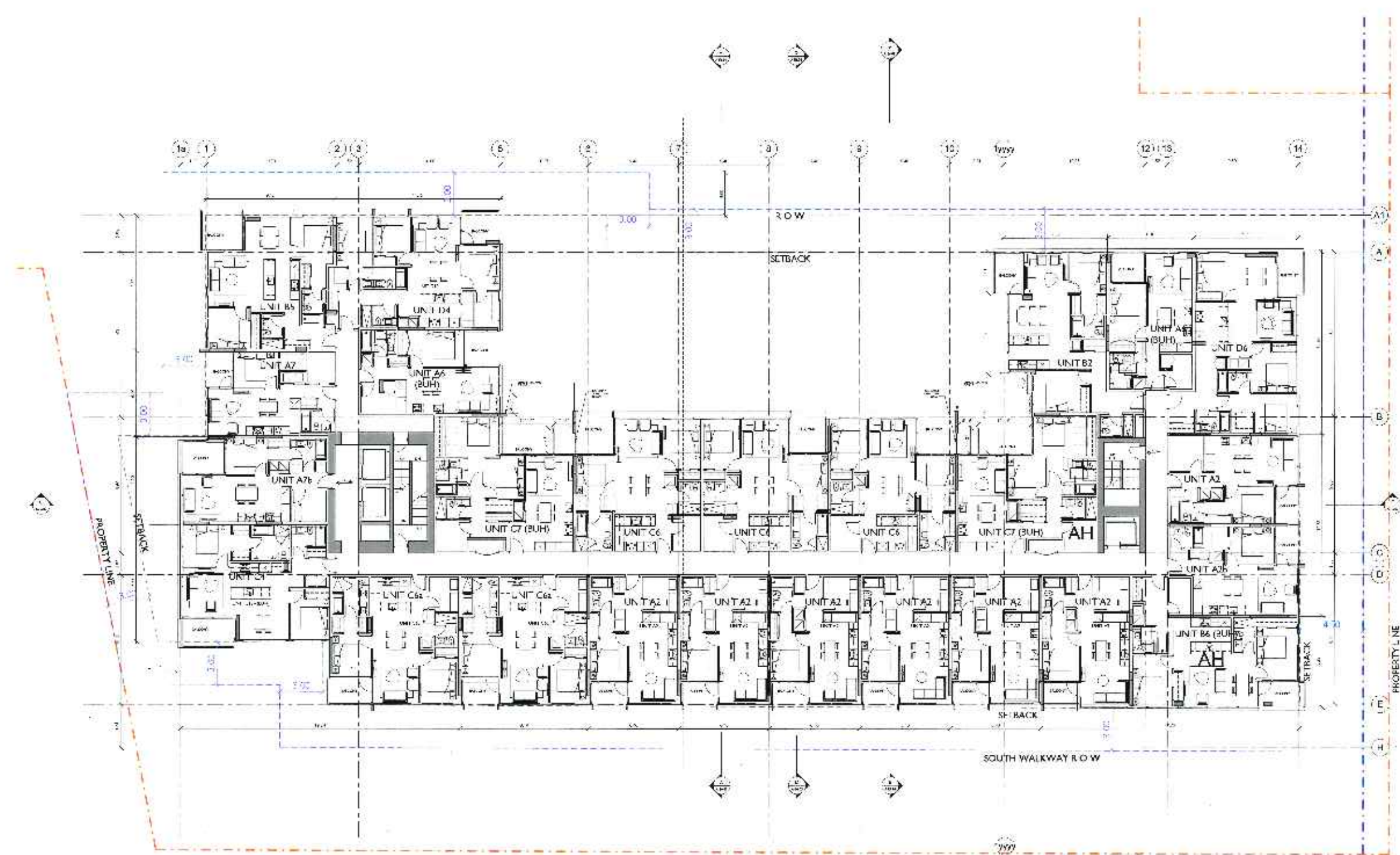






www.gbl.com  
 714.944.4444  
 27000 WILSON AVENUE, SUITE 200  
 COSTA MESA, CA 92626

NOTICE:  
 THIS PLAN IS A REVISION OF THE PREVIOUS PLAN AND SHOULD BE READ IN CONJUNCTION WITH THE PREVIOUS PLAN.  
 DATE OF REVISION: 03/19/2016



Plan 5G Mar 19, 2016  
 DP 15 - 700800



CONCORD GARDENS  
 LOT 2  
 EAST  
 ST. HENRY, FC  
 LEVELS 5-8

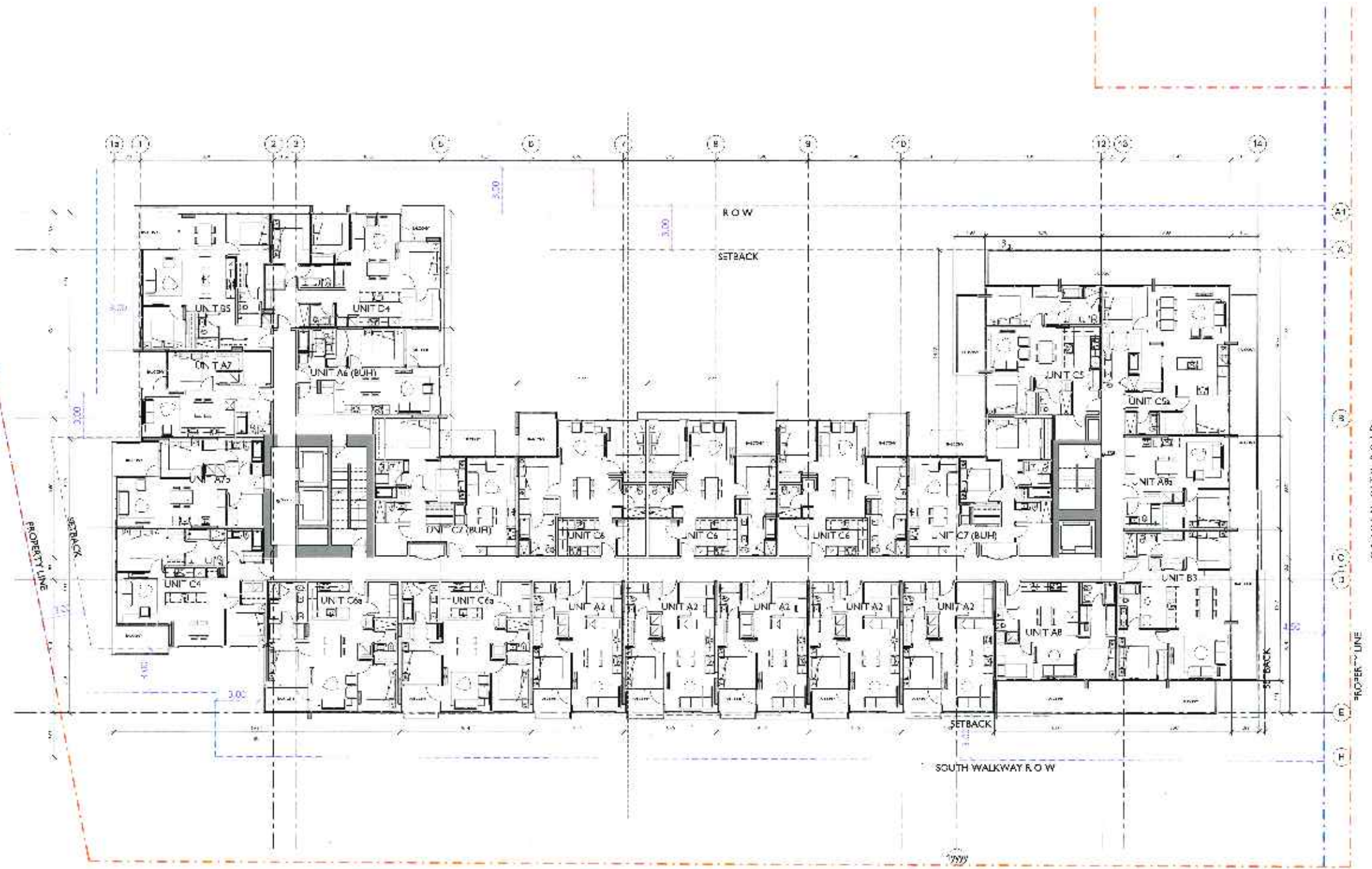
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 CHECKED BY: J. HARRIS  
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 NUMBER: 1455-6

A-E2.05



REVISIONS

NO.	DATE	DESCRIPTION
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2	2016.03.19	ISSUE FOR PERMIT
3	2016.03.19	ISSUE FOR PERMIT
4	2016.03.19	ISSUE FOR PERMIT
5	2016.03.19	ISSUE FOR PERMIT



Plan 5H Mar 19, 2016  
 DP 15 - 700800



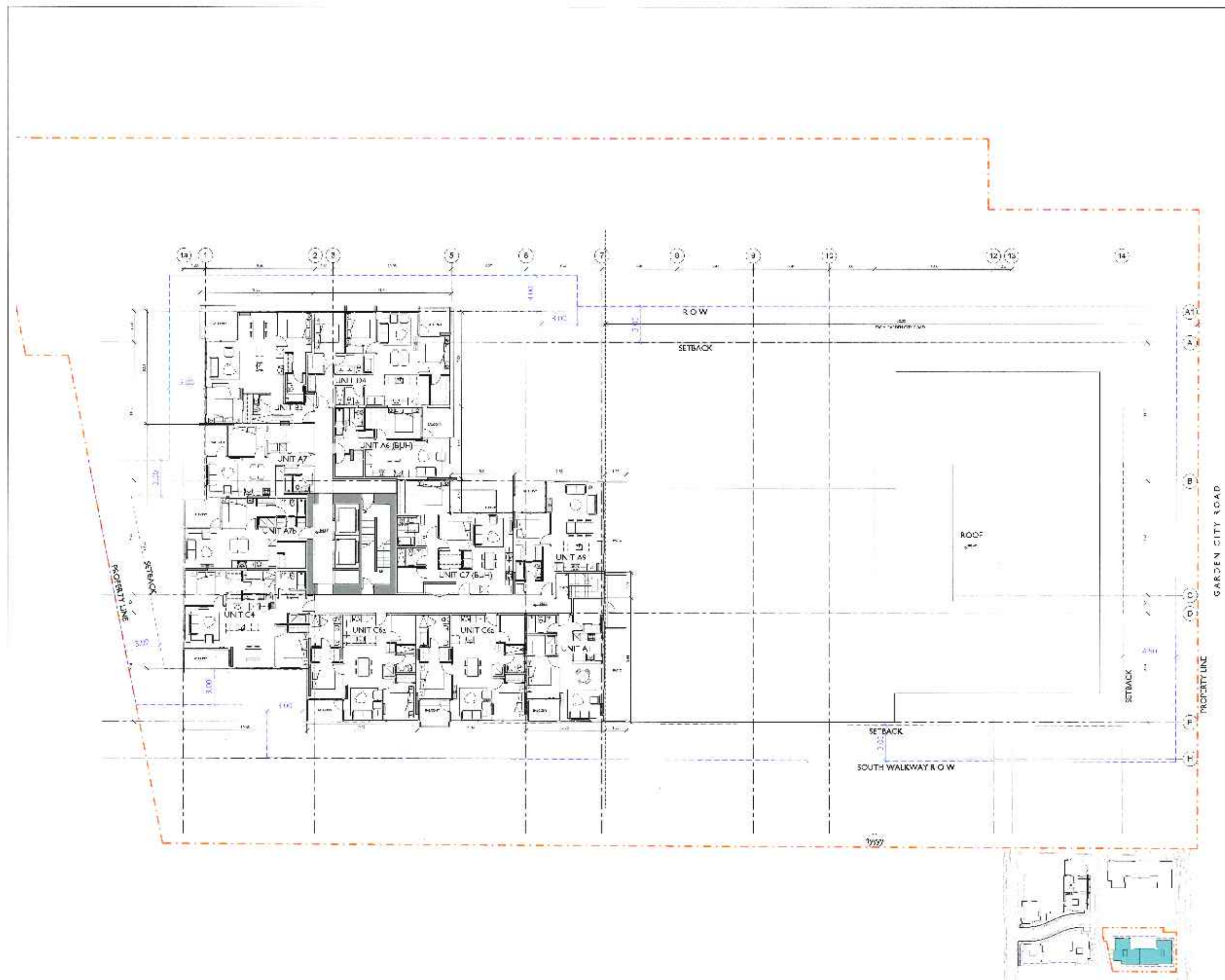
CONCORD GARDENS  
 LOT 2  
 EAST  
 RICHMOND BC  
 LEVELS 9-10

DATE	REVISION
2016.03.19	ISSUE FOR PERMIT
2016.03.19	ISSUE FOR PERMIT
2016.03.19	ISSUE FOR PERMIT
2016.03.19	ISSUE FOR PERMIT
2016.03.19	ISSUE FOR PERMIT





NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	19/03/2016
2	REVISED PER PERMIT COMMENTS	19/03/2016
3	REVISED PER PERMIT COMMENTS	19/03/2016
4	REVISED PER PERMIT COMMENTS	19/03/2016
5	REVISED PER PERMIT COMMENTS	19/03/2016



Plan 5J Mar 19, 2016  
 DP 15 - 700800



CONCORD GARDENS  
 LOT 2

EAST

RICHMOND, BC

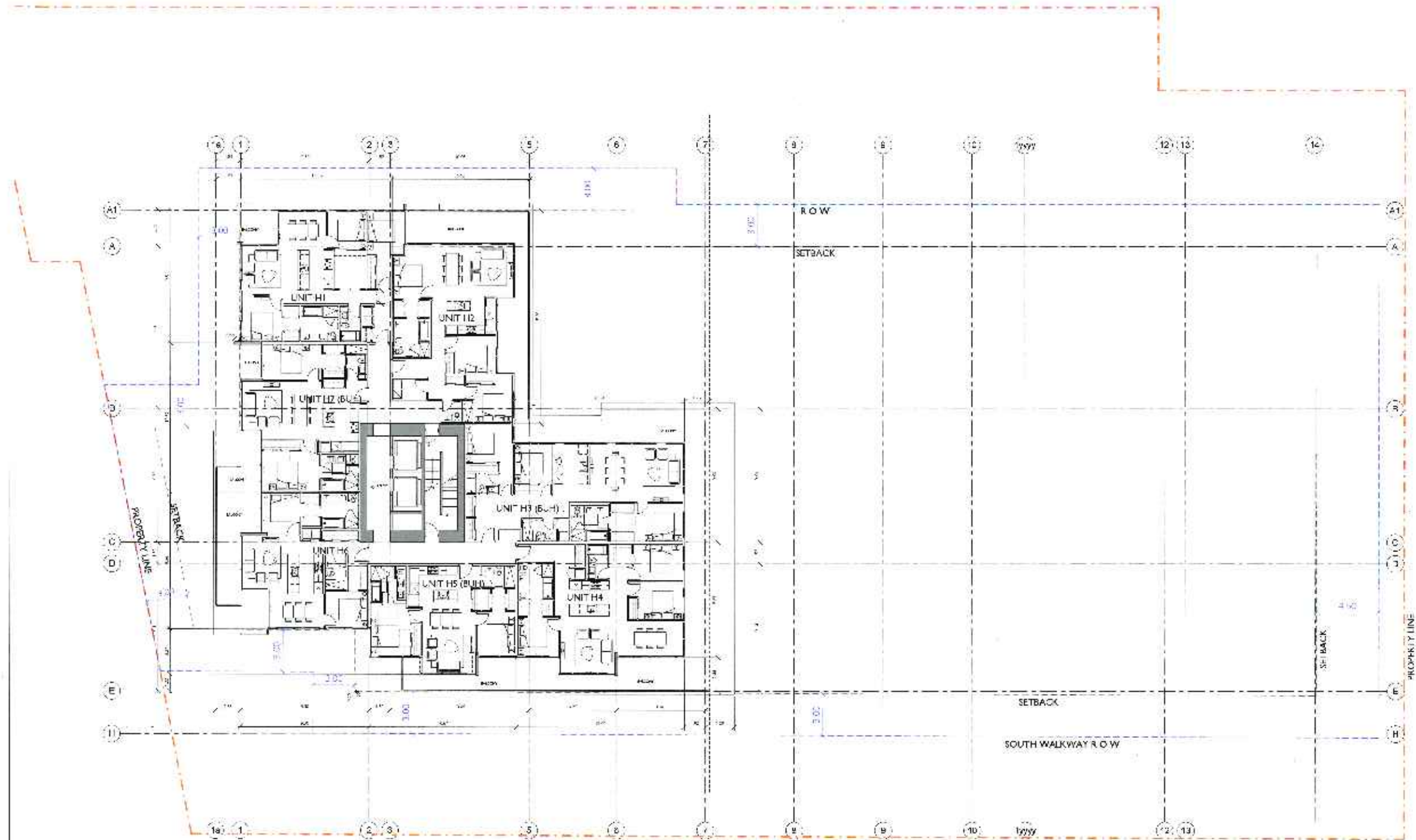
LEVELS 12-13

DATE	DESCRIPTION
19/03/2016	ISSUED FOR PERMIT
19/03/2016	REVISED PER PERMIT COMMENTS
19/03/2016	REVISED PER PERMIT COMMENTS
19/03/2016	REVISED PER PERMIT COMMENTS

A-E2.08

\*Note: Refer to Site Plan A-1.08 for Variance Summary Table





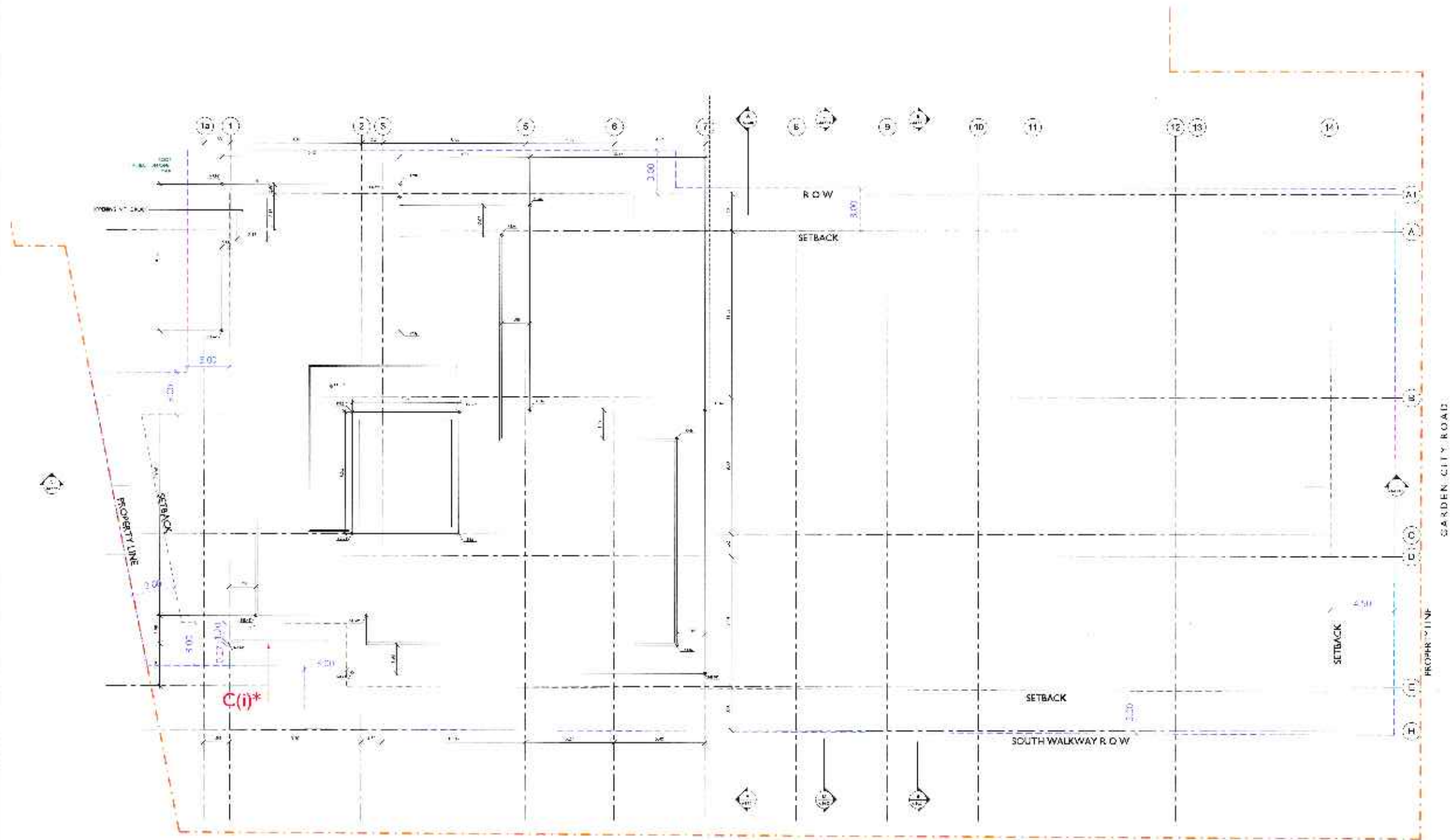
**Plan 5K** Mar 19,2016  
**DP 15 - 700800**



CONCORD GARDENS  
 LOT 2  
 EAST  
 RE-HATCH, PC  
 LEVELS 14-15

DATE: 03/19/2016  
 DRAWN BY: J. BROWN  
 CHECKED BY: J. BROWN  
 SCALE: 1/8" = 1'-0"





**Plan 5L** Mar 19, 2016  
 DP 15 - 700800



CONCORD GARDENS  
 LOT 2

LAST

REVISION, R

ROOF LEVEL

DATE	DESCRIPTION	BY	CHKD BY
10/1/15	ISSUED FOR PERMIT	J. J.	J. J.
10/1/15	ISSUED FOR PERMIT	J. J.	J. J.
10/1/15	ISSUED FOR PERMIT	J. J.	J. J.

A-E2.10



\*Note: Refer to Site Plan A-E1.06 for Vertical Summary Table



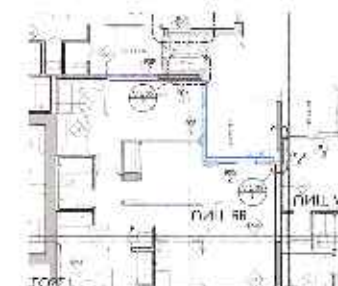
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03/19/16
2	REVISION	03/19/16
3	REVISION	03/19/16
4	REVISION	03/19/16
5	REVISION	03/19/16



LOT 2 EAST  
 UNIT AREA 907 SF  
 FRONTAGE 25'-10"



PHASE 5  
 UNIT AREA 940 SF  
 FRONTAGE 23'-6"

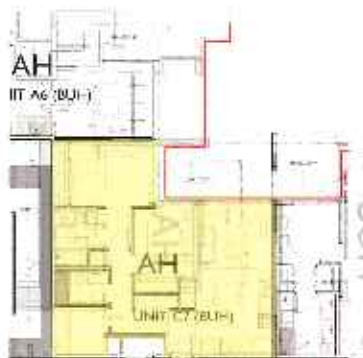


PHASE 2  
 UNIT AREA 884 SF  
 FRONTAGE 23'-6"

**PROPOSALS:**

**DAYLIGHTING:**  
 25'-10" IS LONGER THAN OTHER PHASES BY OVER 2'

**PRIVACY/OVERLOOK:**  
 REDUCED BALCONY SOLID PANELS LOCATED TO IMPROVE PRIVACY



PHASE 5 UNIT OVERLAP ON LOT 2 EAST UNIT  
 PHASE 5 BUILDING LINE



PHASE 2 UNIT OVERLAP ON LOT 2 EAST UNIT  
 PHASE 2 BUILDING LINE

**Plan 5M** Mar 19, 2016  
 DP 15 - 700800

- REVISIONS
- 1. REVISED ELEVATION
  - 2. REVISED ELEVATION
  - 3. REVISED ELEVATION
  - 4. REVISED ELEVATION
  - 5. REVISED ELEVATION
  - 6. REVISED ELEVATION
  - 7. REVISED ELEVATION
  - 8. REVISED ELEVATION
  - 9. REVISED ELEVATION
  - 10. REVISED ELEVATION



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GENERAL BUILDING  
CORPORATION  
1000 WEST 10TH AVENUE  
VANCOUVER, BC V6H 3G9  
TEL: 604.681.1111  
WWW.GBCORP.COM

DATE: 19/03/2016  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: 1/8" = 1'-0"  
 SHEET NO: A-E5.01



REV 06

NO.	DATE	DESCRIPTION
1	19/03/2016	ISSUED FOR PERMIT
2	19/03/2016	ISSUED FOR PERMIT
3	19/03/2016	ISSUED FOR PERMIT
4	19/03/2016	ISSUED FOR PERMIT
5	19/03/2016	ISSUED FOR PERMIT

**Plan 5N** Mar 19, 2016  
 DP 15 - 700800

**CONCORD**  
 PACIFIC

CONCORD GARDENS  
 LOT 2

EAST

WESTMONT, BC

SOUTH ELEVATION

DATE: 19/03/2016  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: 1/8" = 1'-0"

A-E5.01







- REVISIONS**
- 1. REVISED TO REFLECT COMMENTS FROM ARCHITECT
  - 2. REVISED TO REFLECT COMMENTS FROM ARCHITECT
  - 3. REVISED TO REFLECT COMMENTS FROM ARCHITECT
  - 4. REVISED TO REFLECT COMMENTS FROM ARCHITECT
  - 5. REVISED TO REFLECT COMMENTS FROM ARCHITECT
  - 6. REVISED TO REFLECT COMMENTS FROM ARCHITECT
  - 7. REVISED TO REFLECT COMMENTS FROM ARCHITECT
  - 8. REVISED TO REFLECT COMMENTS FROM ARCHITECT
  - 9. REVISED TO REFLECT COMMENTS FROM ARCHITECT
  - 10. REVISED TO REFLECT COMMENTS FROM ARCHITECT



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GENERAL BUILDING  
CORPORATION

PROJECT NO. 15-700800  
 DATE: 03/19/2016  
 DRAWN BY: J. HARRIS  
 CHECKED BY: J. HARRIS  
 SCALE: AS SHOWN



Plan 5P Mar 19, 2016  
 DP 15 - 700800



CONCORD GARDENS  
 LOT 2  
 EAST

WEST ELEVATION

DATE: 03/19/2016  
 DRAWN BY: J. HARRIS  
 CHECKED BY: J. HARRIS  
 SCALE: 1/8"=1'-0"

A-E5.3



- CONTENTS**
- 1. GENERAL NOTES
  - 2. ARCHITECTURAL ELEVATIONS
  - 3. INTERIORS
  - 4. EXTERIORS
  - 5. MECHANICAL
  - 6. ELECTRICAL
  - 7. PLUMBING
  - 8. STRUCTURAL
  - 9. LANDSCAPE ARCHITECTURE
  - 10. SIGNAGE



**gbl**  
 GEORGETOWN BUILDING GROUP  
 1100 K STREET, N.W.  
 WASHINGTON, D.C. 20004  
 TEL: 202.331.1000  
 WWW.GEORGETOWNBUILDINGGROUP.COM



- Level 10 (10'-00")
- Level 9 (9'-00")
- Level 8 (8'-00")
- Level 7 (7'-00")
- Level 6 (6'-00")
- Level 5 (5'-00")
- Level 4 (4'-00")
- Level 3 (3'-00")
- Level 2 (2'-00")
- Level 1 (1'-00")
- Level 0 (0'-00")
- Level -1 (-1'-00")
- Level -2 (-2'-00")

**REVISED**

NO.	DATE	DESCRIPTION
1	03/19/16	ISSUED FOR PERMIT
2	03/19/16	ISSUED FOR PERMIT
3	03/19/16	ISSUED FOR PERMIT
4	03/19/16	ISSUED FOR PERMIT

**Plan 5Q Mar 19, 2016**  
**DP 15 - 700800**



CONCORD PACIFIC  
 CONCORD GARDENS  
 LOT 7  
 FAST  
 RICHMOND, DC

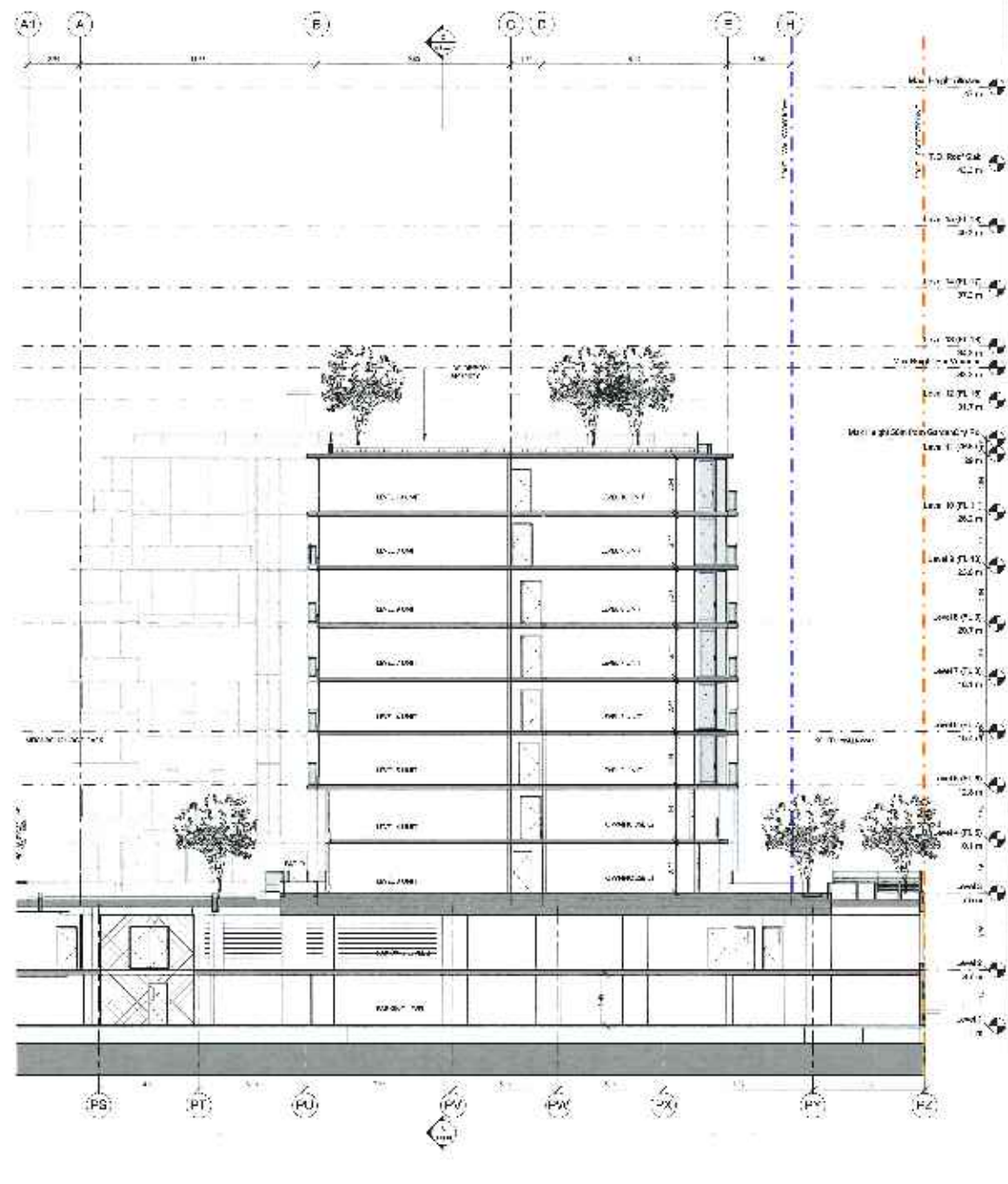
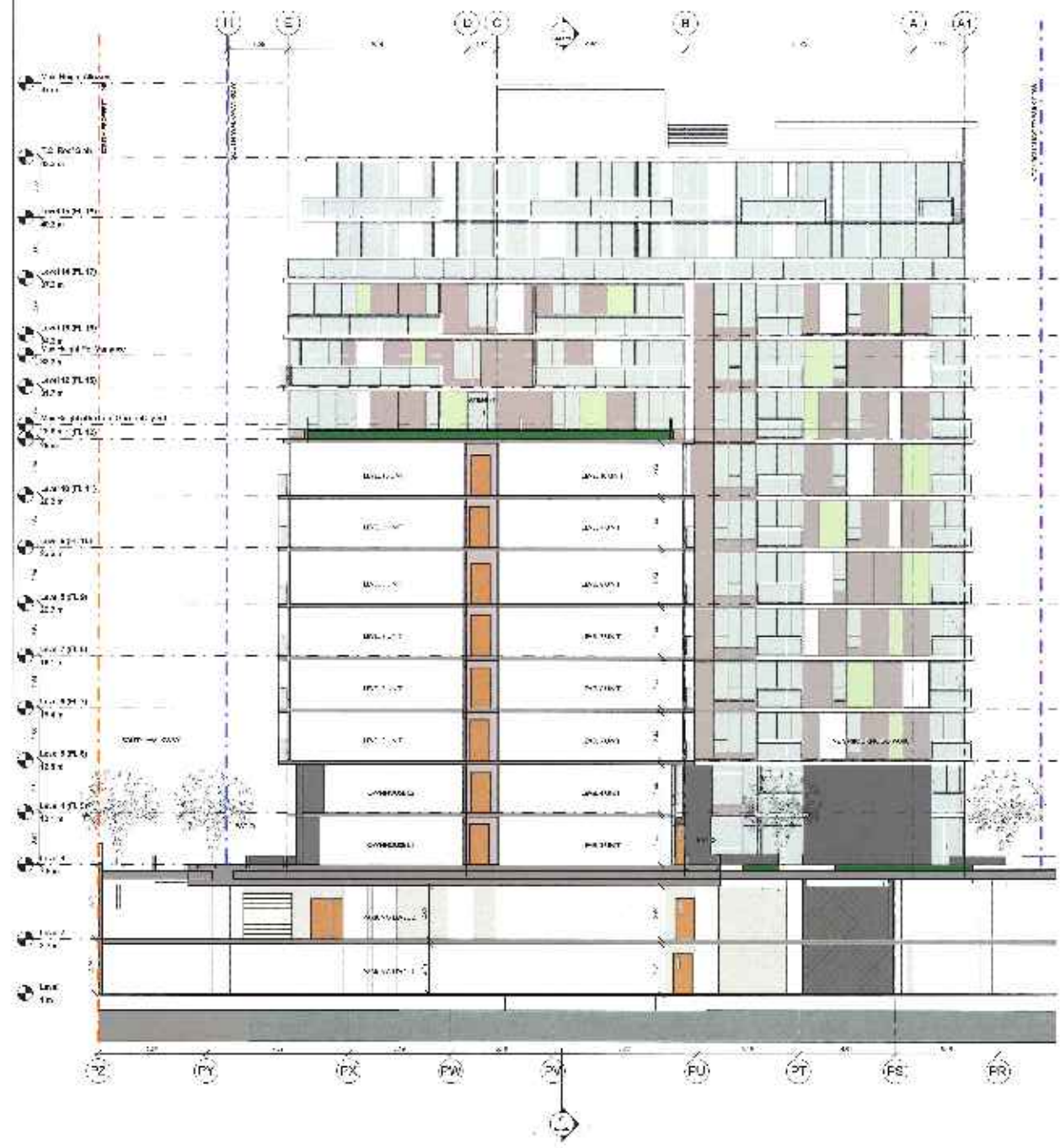
**EAST ELEVATION**

DATE	PROJECT NUMBER
03/19/16	1500-0000
03/19/16	1500-0000
03/19/16	1500-0000

**A-E5.4**



NO.	DATE	DESCRIPTION
1	15/03/2016	ISSUED FOR PERMIT
2	15/03/2016	ISSUED FOR PERMIT
3	15/03/2016	ISSUED FOR PERMIT



Plan 5R Mar 19, 2016  
 DP 15 - 700800



CONCORD GARDENS  
 LOT 2  
 EAST

SECTION A & B

NO.	DATE	DESCRIPTION
1	15/03/2016	ISSUED FOR PERMIT
2	15/03/2016	ISSUED FOR PERMIT
3	15/03/2016	ISSUED FOR PERMIT

A-E6.01













VIEW FROM SEXSMITH STREET



VIEW FROM NEIGHBOURHOOD PARK



VIEW OF ARTIST'S PLAZA FROM SEXSMITH

Plan 6B Mar 19, 2016  
DP 15 - 700800



CONCORD GARDENS  
LOT 2  
WEST

30' ROUND IS.

PERSPECTIVE VIEWS

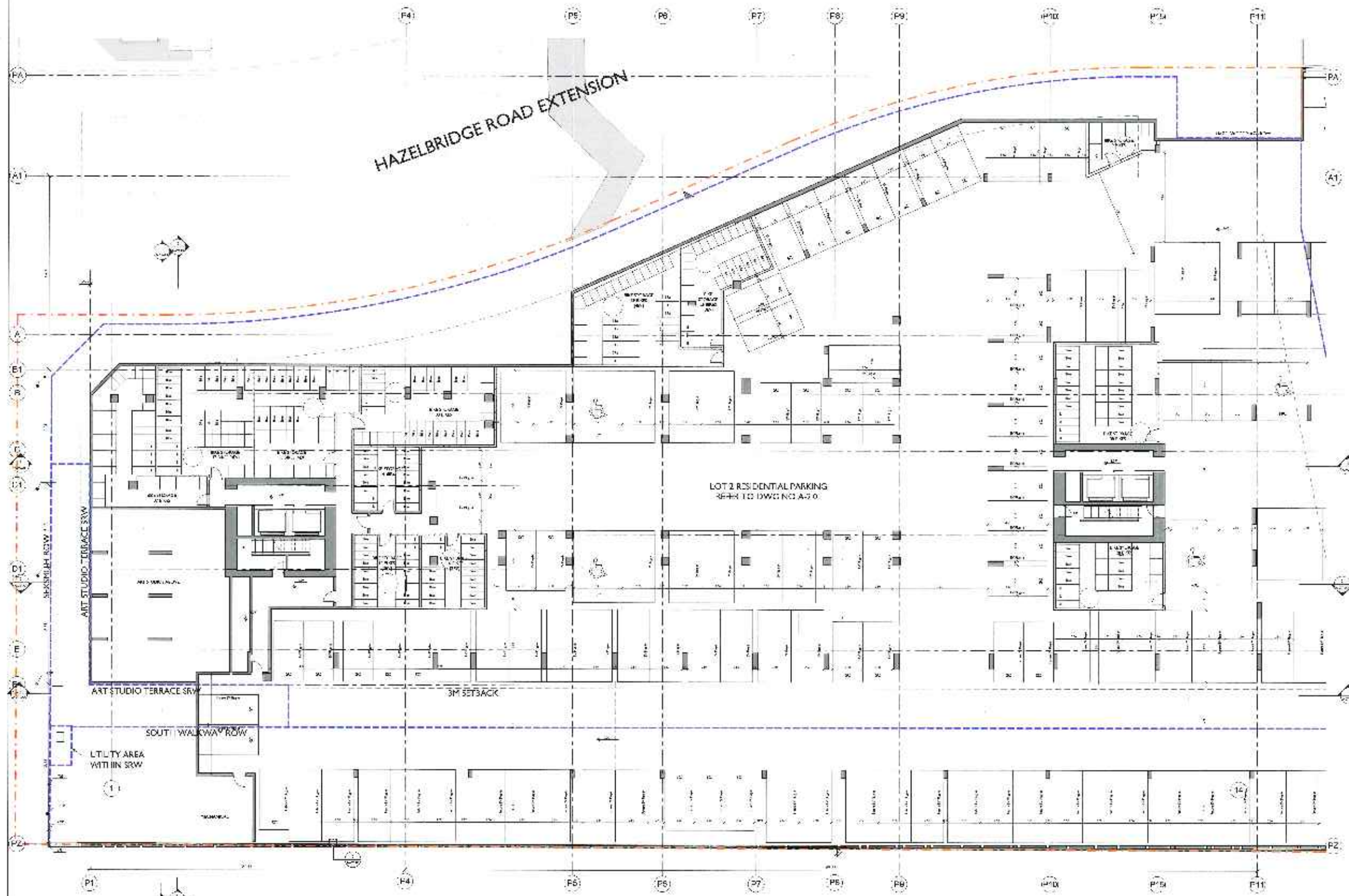
DATE	19/03/2016
DESIGNED BY	J. SHERIDAN
CHECKED BY	J. SHERIDAN
SCALE	1:100

A-W1.08



**LEGEND**

1	EXISTING	2	PROPOSED
3	DEMOLITION	4	CONCRETE
5	GLASS	6	STEEL
7	WOOD	8	ALUMINIUM
9	BRICK	10	CLAY TILE

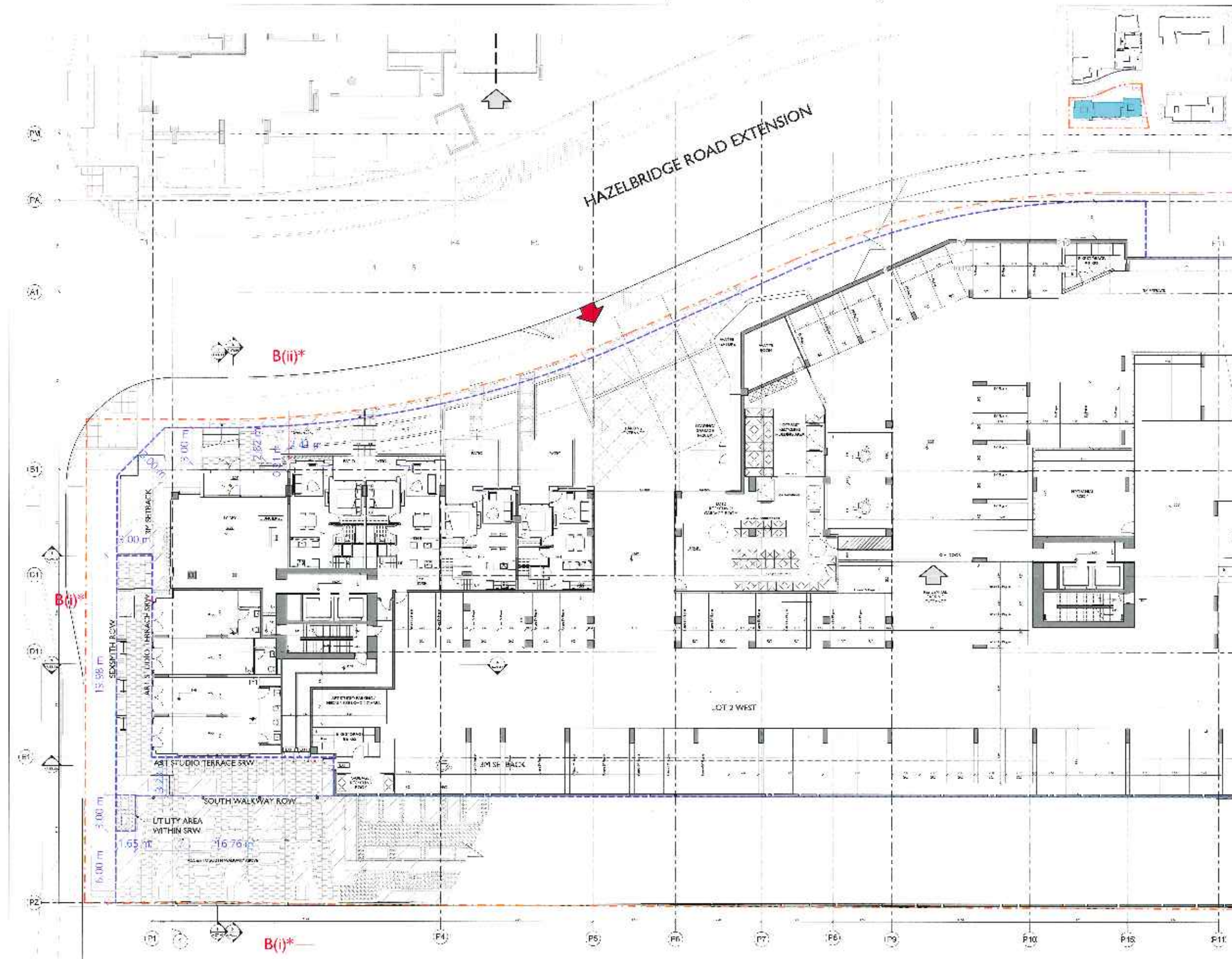


**Plan 6C** Mar 19, 2016  
 DP 15 - 700800



REVISIONS

NO.	DATE	DESCRIPTION
1	19-MAR-2016	ISSUED FOR PERMIT
2	19-MAR-2016	ISSUED FOR PERMIT
3	19-MAR-2016	ISSUED FOR PERMIT
4	19-MAR-2016	ISSUED FOR PERMIT
5	19-MAR-2016	ISSUED FOR PERMIT



Plan 6D Mar 19, 2016  
DP 15 - 700800

\*Note: Refer to Site Plan A.1.06 for Variance Summary Table

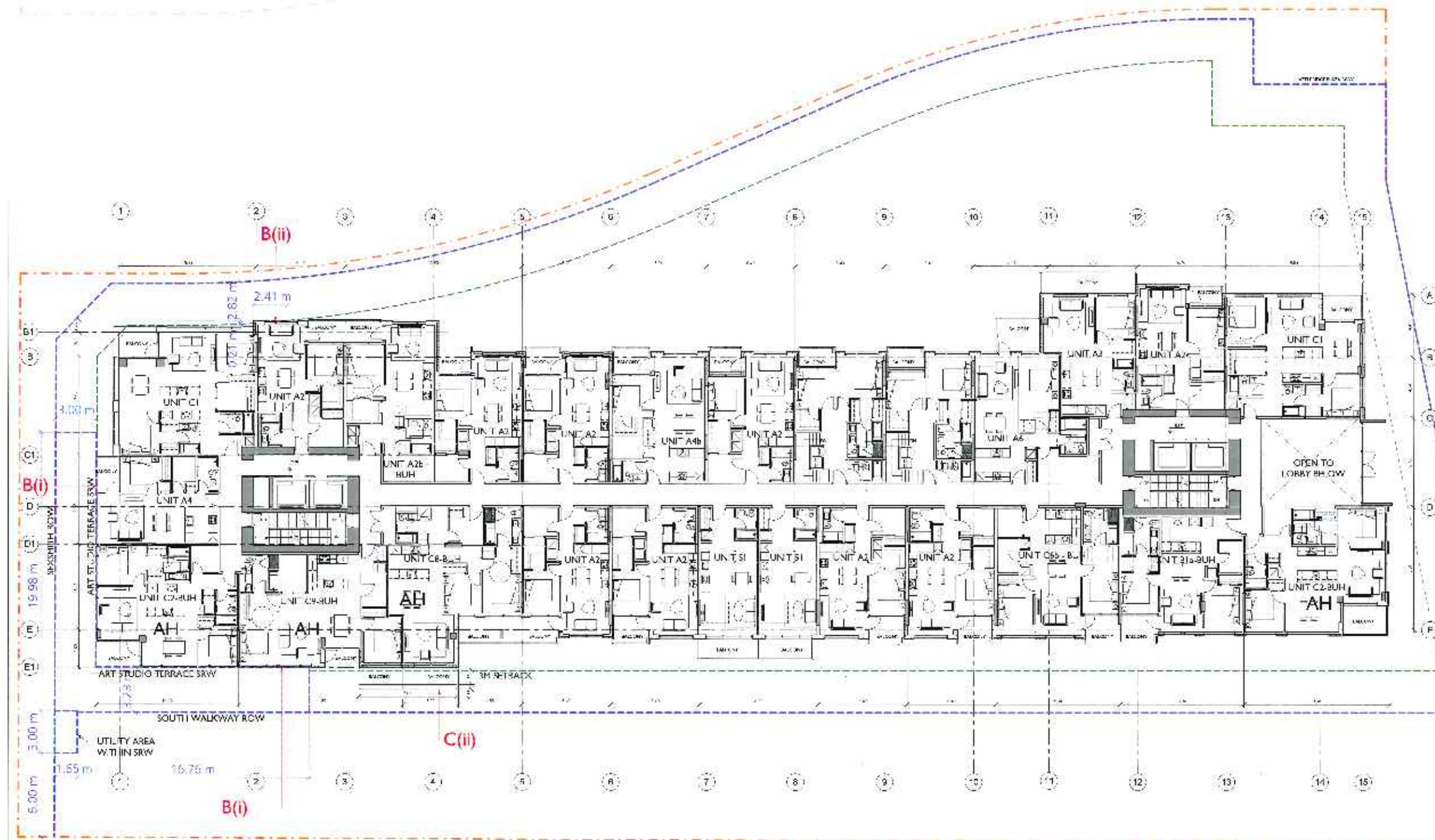






FOOTNOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.	2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.	4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.	6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



Plan 6F Mar 19, 2016  
DP 15 - 700800



CONCORD GARDENS  
LOT 2  
WEST

RICHMOND, BC

LEVEL 6

DATE:	19 MAR 2016
DESIGNER:	GBL
CHECKED BY:	MM
SCALE:	1:100
PROJECT NO.:	1505

A-W2.04

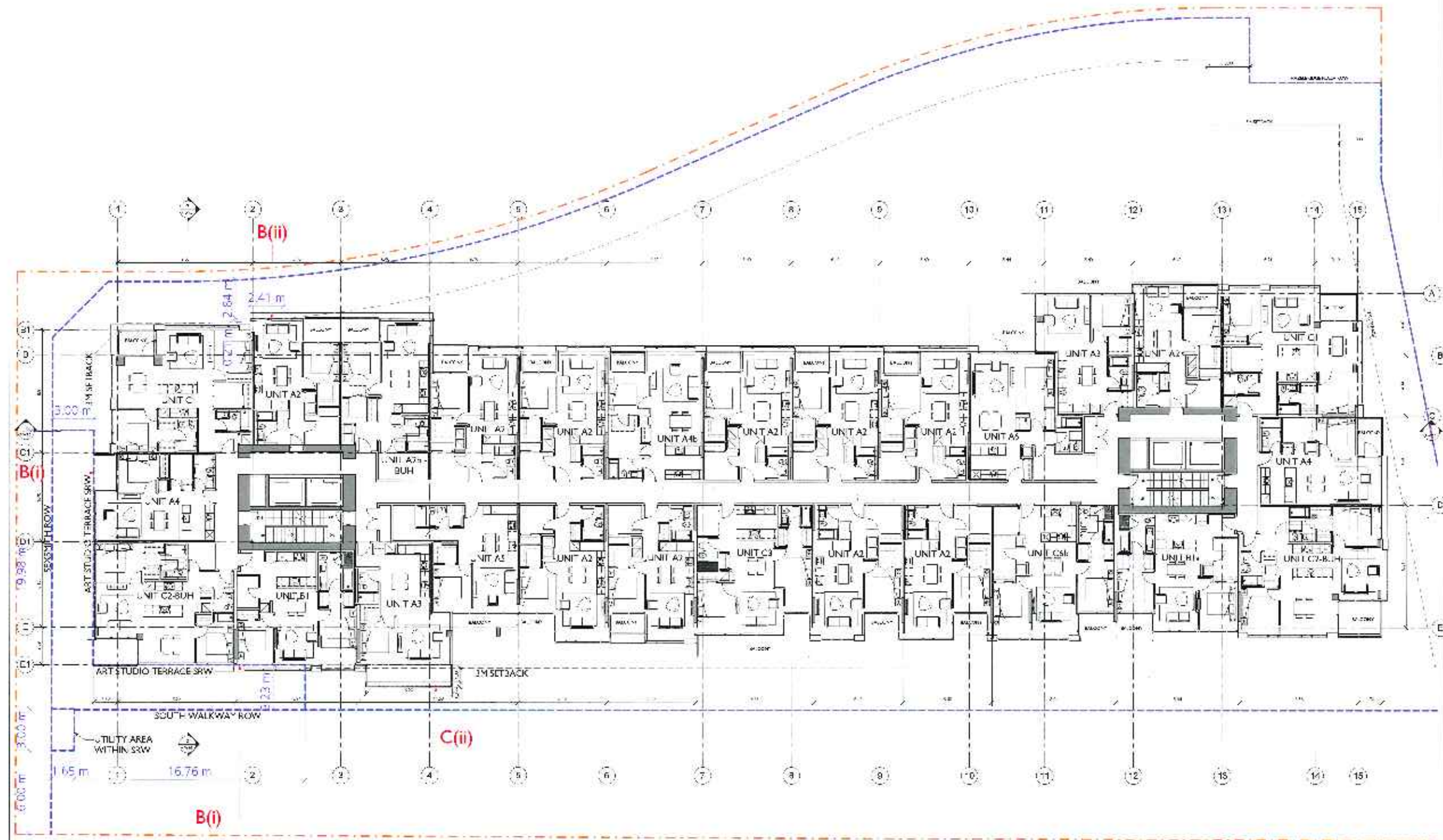
[Note: Refer to Site Plan A-1.06 for Variance Summary Table]







NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	19 MAR 2016
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	



Plan 6H Mar 19, 2016  
DP 15 - 700800



CONCORD GARDENS  
LOT 2  
WEST

1000 WEST 10TH AVENUE  
LEVELS 8-10

DATE	19 MAR 2016
BY	[Name]
CHECKED BY	[Name]
SCALE	1:100
NUMBER	1256

A-W2.06

\*Note: Refer to Site Plan A-1.36 for Variance Summary Table.





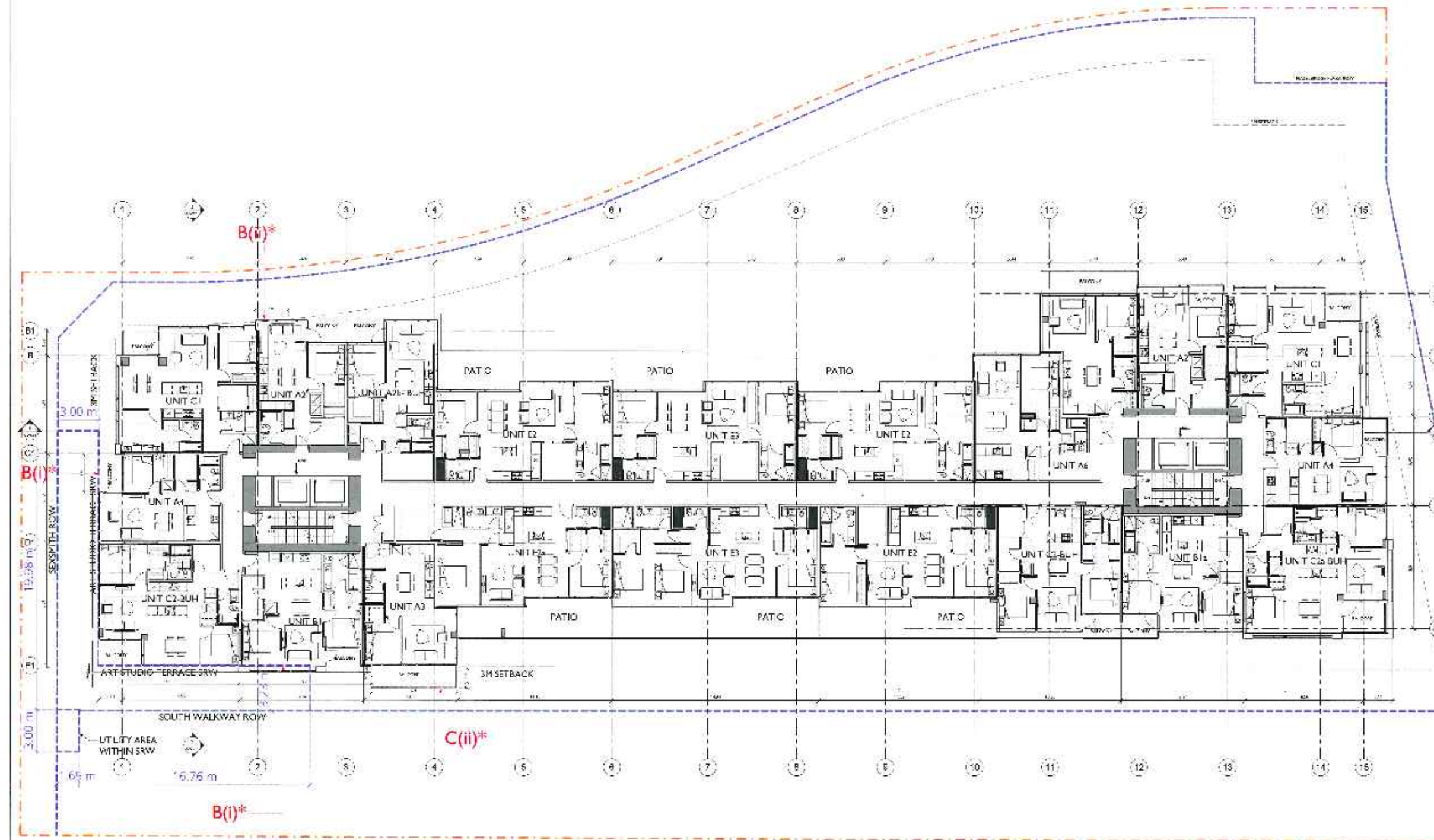
**gbl**

PROJECT NO. 15-700800  
 DATE: 03/19/2016  
 DRAWN BY: J. HARRIS  
 CHECKED BY: J. HARRIS

SCALE: 1/8" = 1'-0"  
 SHEET NO. 15-700800-01  
 TOTAL SHEETS: 02

LEGEND

1	UNIT	CONCRETE
2	WALL	CONCRETE
3	FLOOR	CONCRETE
4	CEILING	CONCRETE
5	DOOR	CONCRETE
6	WINDOW	CONCRETE
7	STAIR	CONCRETE



**Plan 6I** Mar 19, 2016  
 DP 15 - 700800

**CONCORD PACIFIC**

CONCORD GARDENS  
 LOT 2  
 WEST

BLVD. N.

LEVEL 1

DATE	15-700800-01
SCALE	1/8" = 1'-0"
PROJECT	CONCORD GARDENS LOT 2 WEST
NO. SHEETS	02

**A-W2.07**

\*Note: Refer to Site Plan A.1.06 for Variance Summary Table

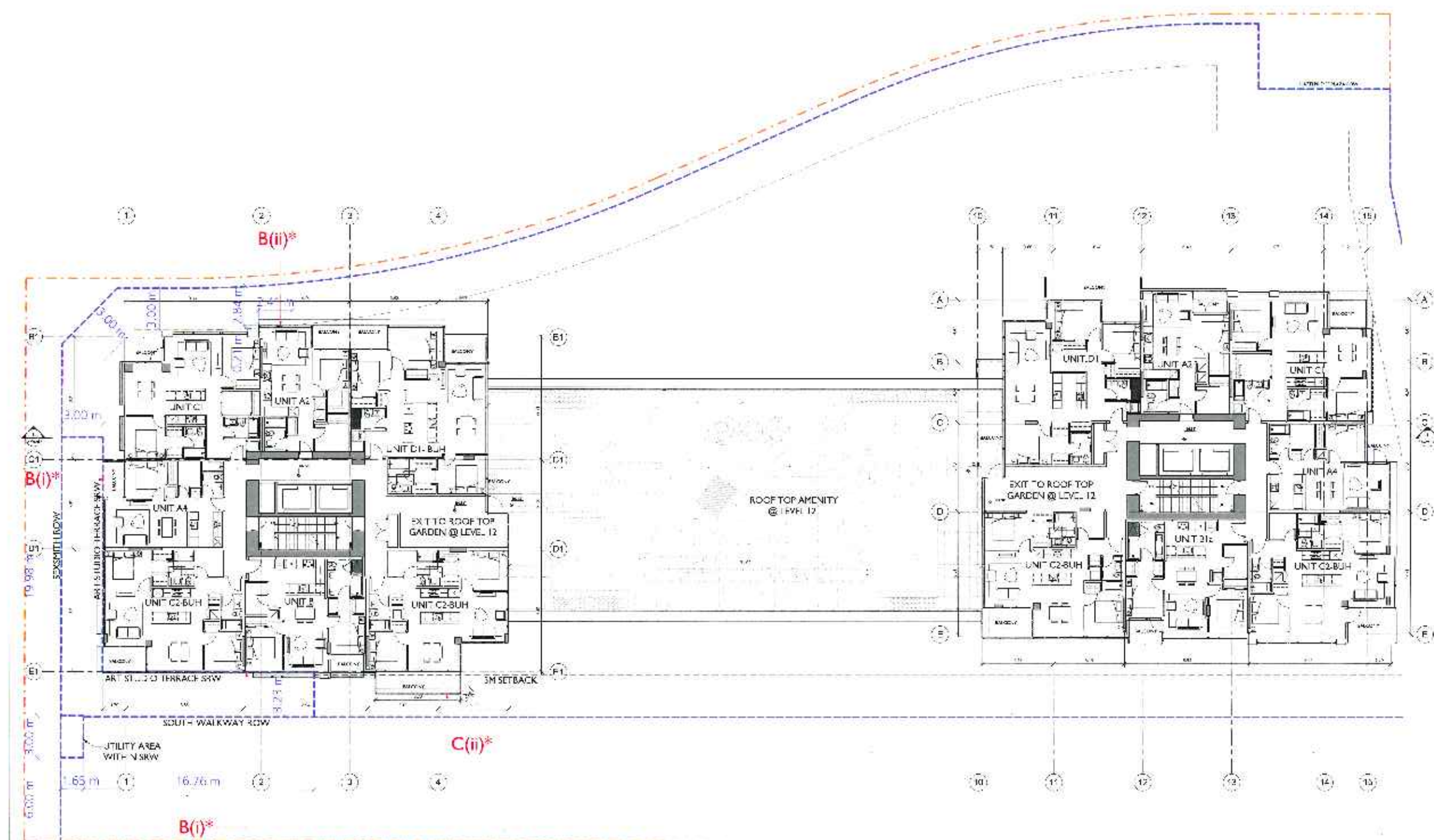




DATE: 03/19/2016  
 PROJECT: CONCORD GARDENS LOT 2 WEST  
 SHEET: A-W2.08  
 DRAWING NO.: 1466

SYMBOLS

▲	STAIR	▽	STAIR
○	STAIR	□	STAIR
○	STAIR	□	STAIR
○	STAIR	□	STAIR



**Plan 6J** Mar 19, 2016  
**DP 15 - 700800**



CONCORD GARDENS  
 LOT 2  
 WEST  
 RICHMOND, BC

LEVEL 12  
 DATE: 03/19/2016  
 DRAWING NO.: 1466

\*Note: Refer to Site Plan A.1.06 for Variance Summary Table.

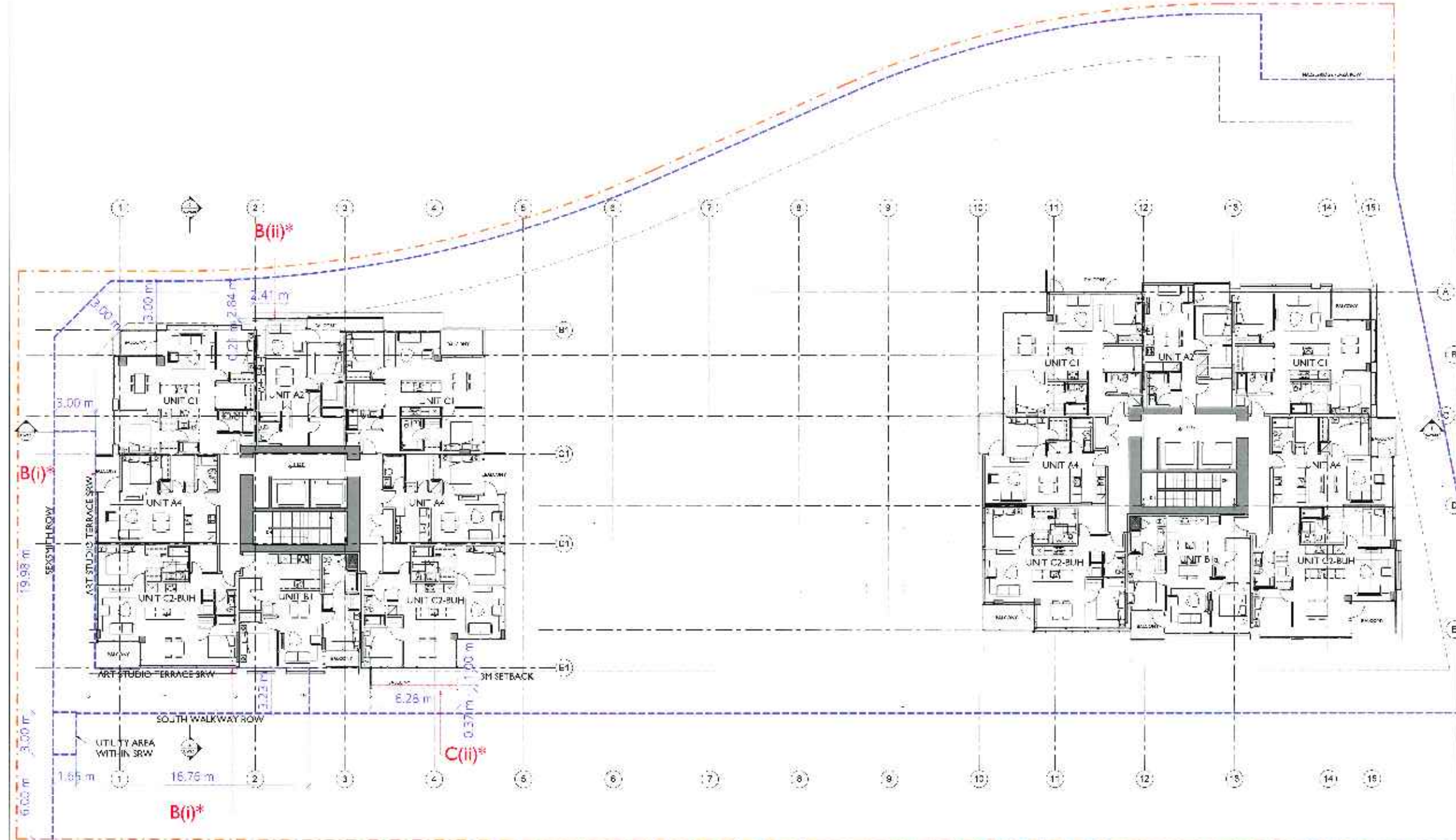




**gbl**  
 GEOTECHNICAL ENGINEERING  
 1000 WEST 10TH AVENUE, SUITE 100  
 VANCOUVER, BC V6H 3G9  
 TEL: 604-275-1111  
 WWW.GBLINC.COM

**NOTES:**  
 1. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE SITE PLAN AND ALL APPLICABLE REGULATIONS.  
 2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.  
 3. SEE PLAN A-W2.09 FOR VARIANCE SUMMARY TABLE.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	19 MAR 2016
2	REVISED PER COMMENTS	19 MAR 2016
3	REVISED PER COMMENTS	19 MAR 2016
4	REVISED PER COMMENTS	19 MAR 2016



**Plan 6K** Mar 19, 2016  
**DP 15 - 700800**

**CONCORD**  
 PACIFIC  
 CONCORD GARDENS  
 LOT 2  
 WEST  
 SCHEMBELD, BC  
 LEVELS 13-14

DATE:	19 MAR 2016
DESIGNER:	G. GIBSON
CHECKED BY:	A. GIBSON
SCALE:	AS SHOWN
JOB NUMBER:	1409

*Note: Refer to Site Plan A-W2.09 for Variance Summary Table.*

**A-W2.09**







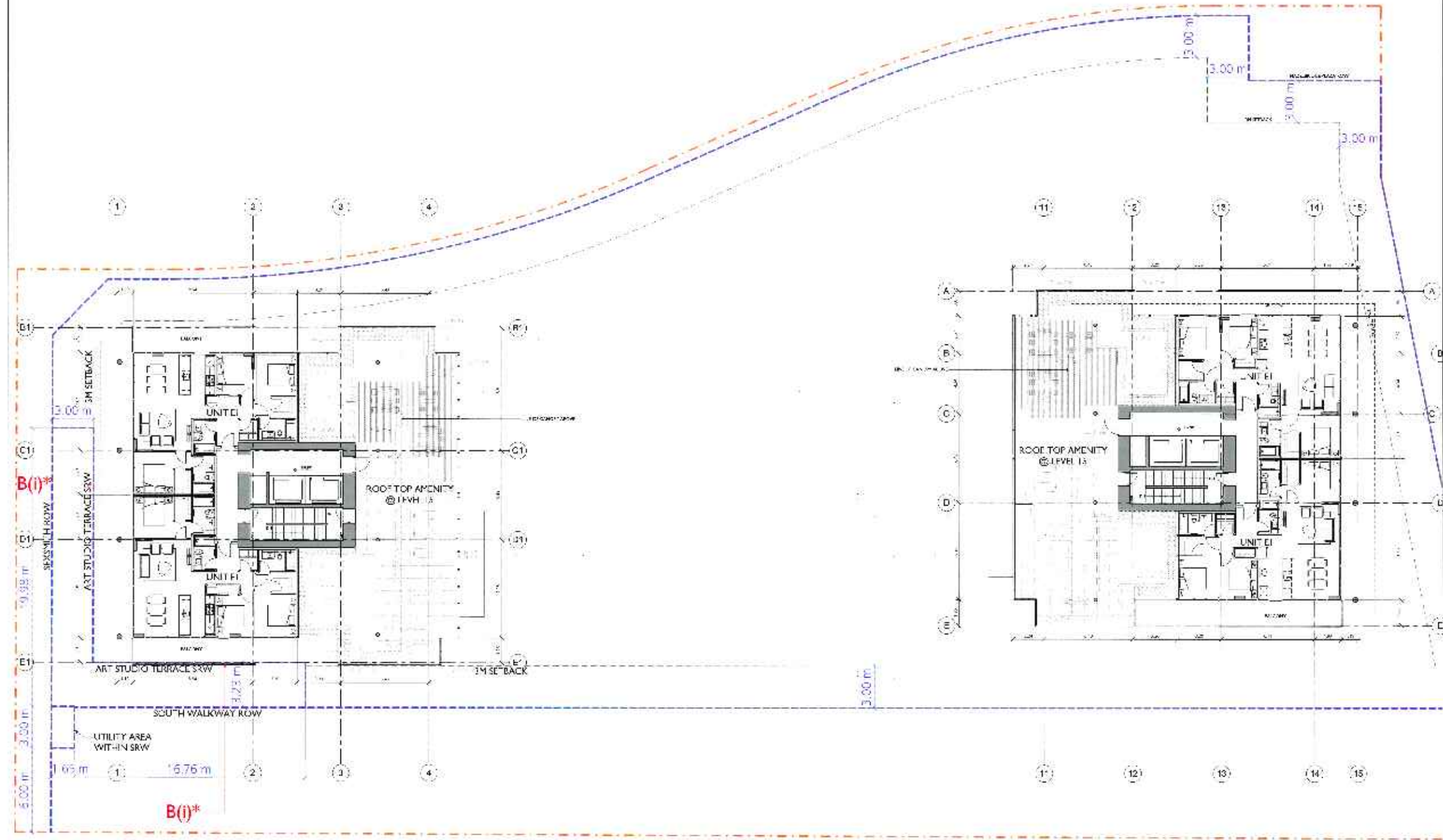
**gbl**

1000 WEST 10TH AVENUE  
 VANCOUVER, BC V6H 2G6  
 TEL: 604.681.1111  
 WWW.GBL.COM

PROJECT NO. 15-000800  
 DATE: 19 MAR 2016  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: 1/8" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		



**Plan 6M** Mar 19, 2016  
 DP 15 - 700800

**CONCORD**  
 PACIFIC

CONCORD GARDENS  
 LOT 2

NEWCOM, BC

LEVEL 15

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

**A-W2.11**

\*Note Refer to Site Plan A-1.06 for Variance Summary Table



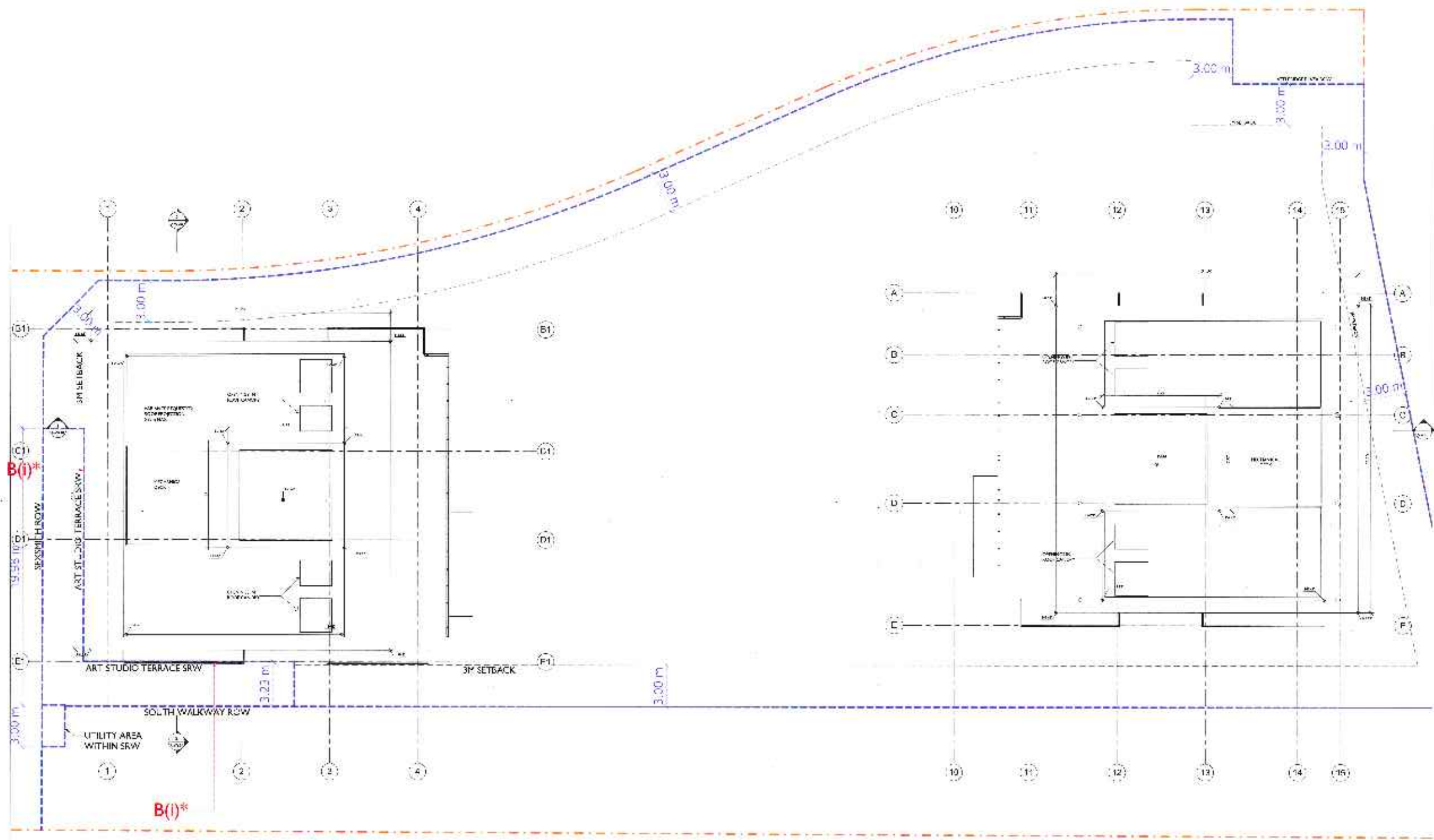


**gbl**  
 GARDEN BUILDERS LTD.  
 1000 WEST 10TH AVENUE, SUITE 100  
 VANCOUVER, BC V6H 2G6  
 TEL: 604-271-1111  
 WWW.GARDENBUILDERS.COM

**DP 15-700800**  
 CONCORD GARDENS LOT 2  
 WEST

**TABLE**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03/19/2016
2	REVISED PER CITY COMMENTS	03/19/2016
3	REVISED PER CITY COMMENTS	03/19/2016
4	REVISED PER CITY COMMENTS	03/19/2016
5	REVISED PER CITY COMMENTS	03/19/2016



**Plan 6N** Mar 19, 2016  
**DP 15 - 700800**



CONCORD GARDENS  
 LOT 2  
 WEST

RCM/CDC, BC

ROOF PLAN

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03/19/2016
2	REVISED PER CITY COMMENTS	03/19/2016
3	REVISED PER CITY COMMENTS	03/19/2016
4	REVISED PER CITY COMMENTS	03/19/2016
5	REVISED PER CITY COMMENTS	03/19/2016

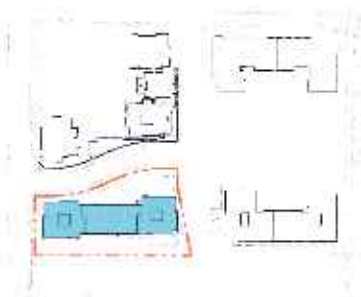
**A-W2.12**

\*Note: Refer to Site Plan A-1.05 for Variance Summary Table









**gbl**  
 GENERAL BUILDING  
 1000 10th Street, Suite 100  
 San Francisco, CA 94103  
 Tel: 415.774.8888  
 Fax: 415.774.8889  
 www.gbl.com

REV. 002  
 10/10/15  
 1000 10th Street, Suite 100  
 San Francisco, CA 94103  
 Tel: 415.774.8888  
 Fax: 415.774.8889  
 www.gbl.com

NO.	DATE	DESCRIPTION
1	10/10/15	ISSUED FOR PERMIT
2	10/10/15	ISSUED FOR PERMIT
3	10/10/15	ISSUED FOR PERMIT



- Top of Window Top 140'-10"
- Top of Window Top 140'-10"
- Level 15 FL 15 137'-0"
- Level 14 FL 14 130'-0"
- Level 13 FL 13 123'-0"
- Level 12 FL 12 116'-0"
- Level 11 FL 11 109'-0"
- Level 10 FL 10 102'-0"
- Level 9 FL 9 95'-0"
- Level 8 FL 8 88'-0"
- Level 7 FL 7 81'-0"
- Level 6 FL 6 74'-0"
- Level 5 FL 5 67'-0"
- Level 4 FL 4 60'-0"
- Level 3 FL 3 53'-0"
- Level 2 FL 2 46'-0"
- Level 1 FL 1 39'-0"
- Level 0 32'-0"

- 1
- 2
- 3
- 4
- 5

Plan 6P Mar 19, 2016  
 DP 15 - 700800

**CONCORD**  
 PACIFIC  
 CONCORD GARDENS  
 LOT 2

REVISIONS  
 EAST ELEVATION  
 DATE: 10/10/15  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 NO. 1456

NO.	DESCRIPTION
1	REVISIONS
2	REVISIONS
3	REVISIONS
4	REVISIONS
5	REVISIONS
6	REVISIONS
7	REVISIONS
8	REVISIONS
9	REVISIONS
10	REVISIONS

A-W5.02



**gbl**  
 GENERAL BUILDING  
 ARCHITECTURAL  
 CONSULTANTS

PROJECT NO. 15-700800  
 DATE: 19 MAR 2016  
 DRAWING NO. A-W5.03  
 SHEET TITLE: SECTION



**Plan 6Q** Mar 19, 2016  
 DP 15 - 700800



**CONCORD  
 PACIFIC**  
 CONCORD GARDENS  
 LOT 2

RICHMOND, BC

**WLS1 ELEVATION**

DATE	2016.03.19
DRAWN BY	...
CHECKED BY	...
SCALE	1:100

**A-W5.03**

**REVISIONS**

NO.	DATE	DESCRIPTION
1	...	...
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8	...	...
9	...	...
10	...	...



- PLAN CALLOUTS**
- 1. MAIN ENTRANCE
  - 2. SECONDARY ENTRANCE
  - 3. ELEVATOR CORE
  - 4. STAIR CORE
  - 5. MECHANICAL ROOM
  - 6. ROOF TERRACE
  - 7. BALCONY
  - 8. WINDOW WALL
  - 9. GLASS CURTAIN WALL
  - 10. BRICK CLADDING
  - 11. CONCRETE CLADDING
  - 12. METAL CLADDING
  - 13. TERRAZZO FLOORING
  - 14. CARPET FLOORING
  - 15. POLISHED CONCRETE FLOORING
  - 16. WOOD FLOORING
  - 17. GRANITE FLOORING
  - 18. MARBLE FLOORING
  - 19. CERAMIC FLOORING
  - 20. TILE FLOORING



**gbl**  
 GARDNER BROS. & CO. INC.  
 ARCHITECTS  
 1000 WEST 10TH AVENUE, SUITE 1000  
 DENVER, CO 80202  
 TEL: 303.733.1100  
 FAX: 303.733.1101  
 WWW.GARDNERBROS.COM

DATE: 03/19/2016  
 DRAWING NO: 15-700800-06  
 SHEET NO: 6 OF 10  
 PROJECT: CONCORD GARDENS LOT 2 WEST

**REVISIONS**

NO.	DATE	DESCRIPTION
1	03/19/2016	ISSUE FOR PERMIT
2	03/19/2016	REVISIONS TO PERMIT
3	03/19/2016	REVISIONS TO PERMIT
4	03/19/2016	REVISIONS TO PERMIT



**Plan 6R** Mar 19, 2016  
 DP 15 - 700800



CONCORD GARDENS  
 LOT 2  
 WEST  
 RICHMOND, NC  
 NORTH - ELEVATION

DATE	BY	REVISION
03/19/2016	...	...
03/19/2016	...	...
03/19/2016	...	...

A-W5.04





415-353-1000  
 10000 S. DEER CREEK AVENUE, SUITE 100  
 DENVER, CO 80231

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Plan 6S Mar 19, 2016  
 DP 15 - 700800



CONCORD PACIFIC  
 CONCORD GARDENS  
 LOT 2  
 WEST

SECTION: DC  
 SECTIONS A & B

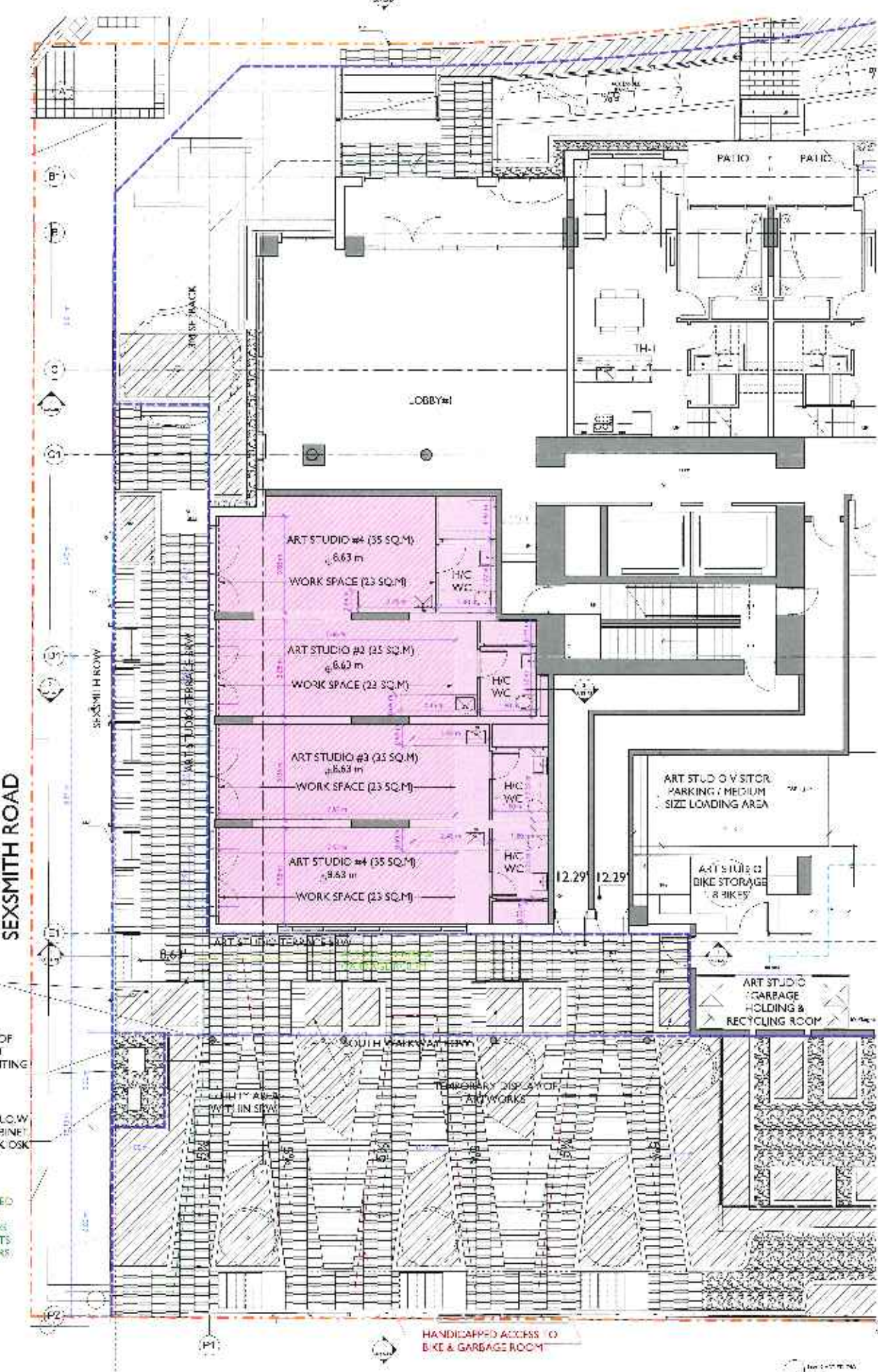
415-353-1000  
 10000 S. DEER CREEK AVENUE, SUITE 100  
 DENVER, CO 80231

A-W6.01



- H. Outline Specifications:**  
 The studio facility, including parking, outdoor space, and related uses, shall be completed to a finish level of the site at the time of construction of the City. The studio facility must be designed and constructed to be attractive, universally accessible, accessible to a variety of users, and suitable for the intended use. The following are the minimum requirements:
- a) General Requirements:**
1. make a significant contribution towards City Center Area Plan (CCAP) objectives in the vicinity of the project site and the greater Arts District by:
    - providing a mix of uses and functions that will provide a vibrant and exciting environment for the community;
    - providing a mix of uses and functions that will provide a vibrant and exciting environment for the community;
  2. be designed to be a model for other studio facilities in the area, including:
    - providing a mix of uses and functions that will provide a vibrant and exciting environment for the community;
    - providing a mix of uses and functions that will provide a vibrant and exciting environment for the community;
  3. have large, floor-to-ceiling windows for the street and publicly accessible outdoor space in the vicinity of the studio facility, including:
    - providing a mix of uses and functions that will provide a vibrant and exciting environment for the community;
    - providing a mix of uses and functions that will provide a vibrant and exciting environment for the community;
  4. be designed and constructed to ensure that permitted arts-related activities carried out within the facility do not pose a nuisance to the surrounding community, including:
    - providing a mix of uses and functions that will provide a vibrant and exciting environment for the community;
    - providing a mix of uses and functions that will provide a vibrant and exciting environment for the community;
  5. include outdoor space and ground exclusively for the shared use of the occupants of the studio facility, including:
    - providing a mix of uses and functions that will provide a vibrant and exciting environment for the community;
    - providing a mix of uses and functions that will provide a vibrant and exciting environment for the community;
  6. include a mix of uses and functions that will provide a vibrant and exciting environment for the community, including:
    - providing a mix of uses and functions that will provide a vibrant and exciting environment for the community;
    - providing a mix of uses and functions that will provide a vibrant and exciting environment for the community;
- b) Studio Unit Construction:**
1. The floor slab shall have a minimum thickness of 100 mm (4 inches).
  2. Each studio unit shall contain a minimum of 300 sq. ft. of work space.
  3. Each studio unit shall contain a minimum of 300 sq. ft. of work space.
  4. Each studio unit shall contain a minimum of 300 sq. ft. of work space.
- c) Studio Unit Access & Accessibility:**
1. The studio facility shall be accessible to the public.
  2. The studio facility shall be accessible to the public.

- d) Studio Unit Features:**
1. A bathroom and kitchen shall be provided in each studio unit.
  2. Each studio unit shall be designed to be accessible to the public.
  3. Each studio unit shall be designed to be accessible to the public.
- e) Mechanical Systems:**
1. Provide a mechanical system for each studio unit.
  2. Provide a mechanical system for each studio unit.
- f) Plumbing:**
1. Provide a plumbing system for each studio unit.
  2. Provide a plumbing system for each studio unit.
- g) Heating, Cooling & Ventilation:**
1. Provide a heating, cooling, and ventilation system for each studio unit.
  2. Provide a heating, cooling, and ventilation system for each studio unit.
- h) Fire Protection:**
1. Provide fire protection for each studio unit.
  2. Provide fire protection for each studio unit.
- i) Electrical Systems:**
1. Provide an electrical system for each studio unit.
  2. Provide an electrical system for each studio unit.
- j) Lighting:**
1. Provide lighting for each studio unit.
  2. Provide lighting for each studio unit.
- k) Storage & Shelving:**
1. Provide storage and shelving for each studio unit.
  2. Provide storage and shelving for each studio unit.
- l) Hand-Carried Access:**
1. Provide hand-carried access for each studio unit.
  2. Provide hand-carried access for each studio unit.



Art Studio Unit	Art Studio Units - Minimum Indoor Gross Leasable Floor Area (1)	Art Studio Work Spaces - Minimum Dimensions		
		Floor Area (2)	Width (2)	Height (2)
1	35 m <sup>2</sup> (376.7) sq. ft.	23 m <sup>2</sup> (248 sq. ft.)	3.05m (10 ft)	3.68 m (12 ft)
2	35 m <sup>2</sup> (376.7) sq. ft.	23 m <sup>2</sup> (248 sq. ft.)	3.05m (10 ft)	3.68 m (12 ft)
3	35 m <sup>2</sup> (376.7) sq. ft.	23 m <sup>2</sup> (248 sq. ft.)	3.05m (10 ft)	3.68 m (12 ft)
4	35 m <sup>2</sup> (376.7) sq. ft.	23 m <sup>2</sup> (248 sq. ft.)	3.05m (10 ft)	3.68 m (12 ft)
<b>TOTAL</b>	<b>140 m<sup>2</sup> (1,507 sq. ft.)</b>	<b>92 m<sup>2</sup> (990.3 sq. ft.)</b>	<b>N/A</b>	<b>N/A</b>

CANOPY ABOVE

PROPOSED LOCATION OF UPS CABINET STREET LIGHTING KIOSK

PROPOSED R.C.W. FOR UPS CABINET LIGHTING KIOSK

HAND-CARRIED ACCESS TO ART STUDIOS FOR TENANTS AND VISITORS

HANDICAPPED ACCESS TO BIKE & GARBAGE ROOM



# gbl

1000 15th Street, Suite 1000  
Oakland, CA 94612  
Tel: 415.778.1000  
Fax: 415.778.1001  
www.gbl.com

PROJECT  
CONCORD GARDENS LOT 2  
ART STUDIO - 3D IMAGES  
DATE: 03/19/2016  
SCALE: 1/8" = 1'-0"

DATE: 03/19/2016  
DRAWN BY: J. HARRIS  
CHECKED BY: J. HARRIS  
SCALE: 1/8" = 1'-0"



Plan 7B Mar 19, 2016  
DP 15 - 700800



  
**CONCORD**  
PACIFIC

CONCORD GARDENS  
LOT 2  
WLSI

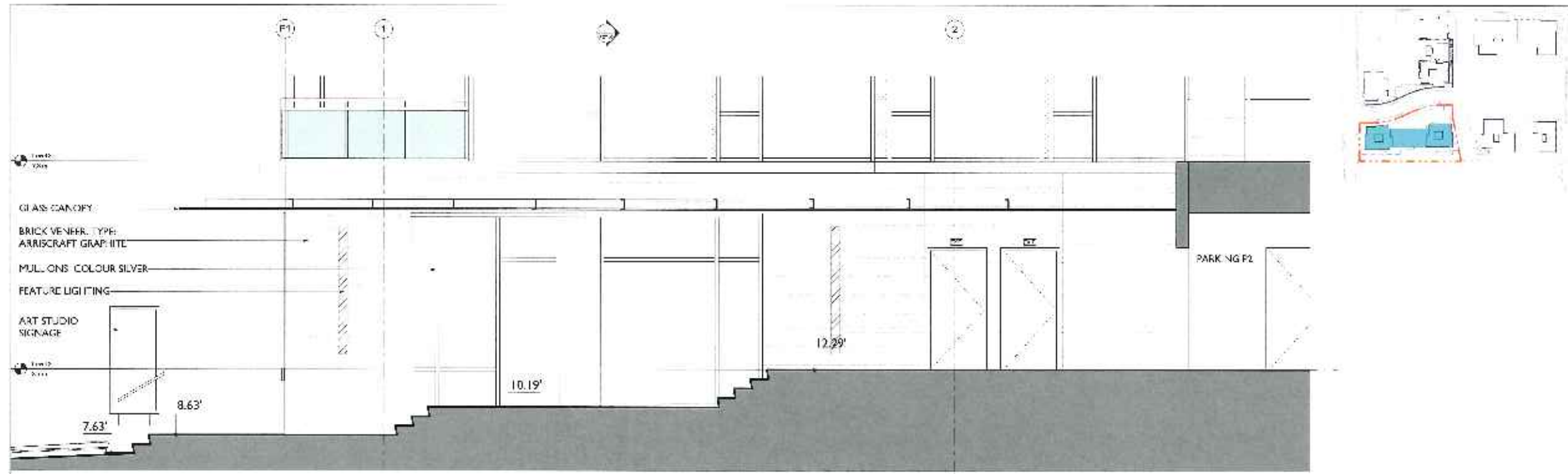
PROJECT: WLSI  
ART STUDIO - 3D  
IMAGES

DATE: 03/19/2016  
DRAWN BY: J. HARRIS  
CHECKED BY: J. HARRIS  
SCALE: 1/8" = 1'-0"

REVISION: 1456

A-ZT-A4





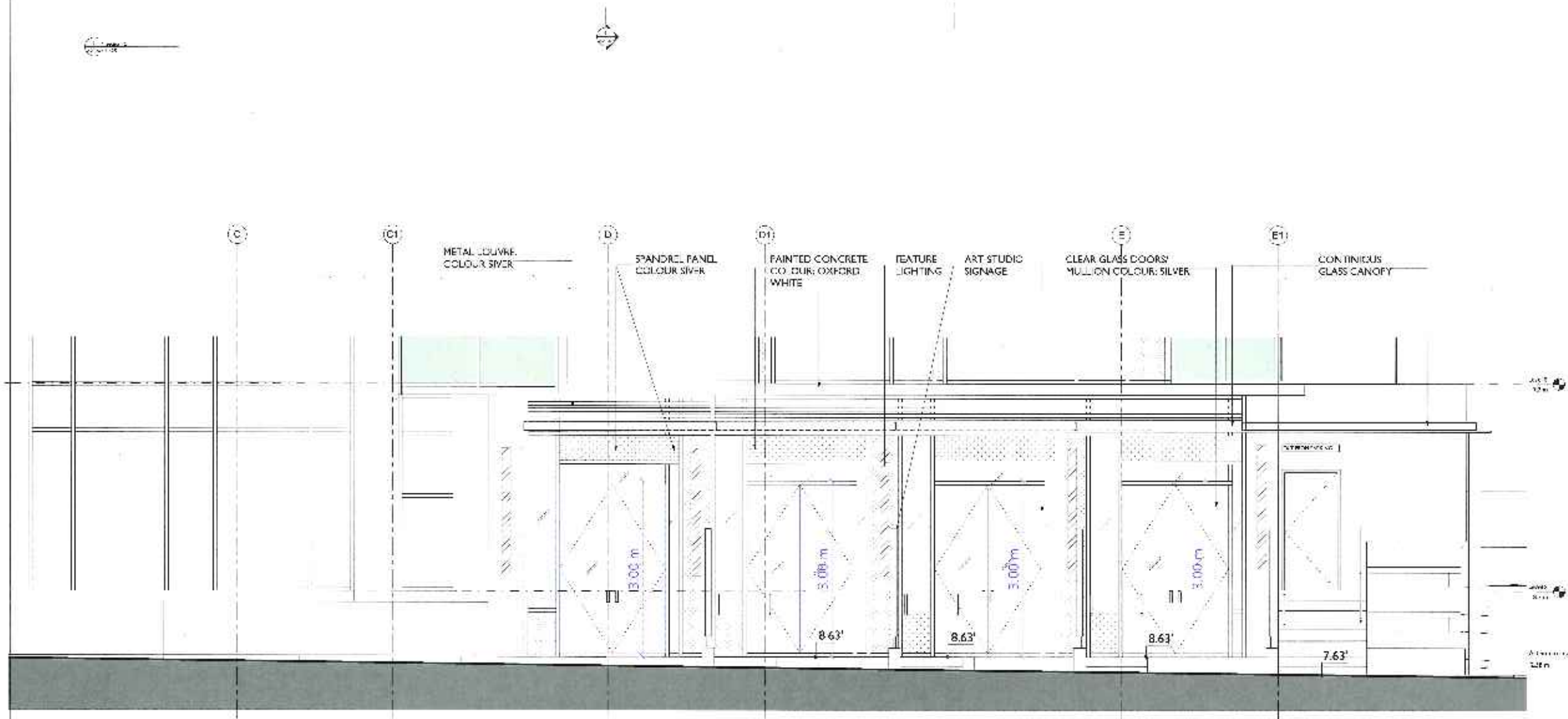
**gbl**

3000 ROAD  
 4000 ROAD  
 5000 ROAD

PROJECT  
 1. 2015  
 2. 2015  
 3. 2015  
 4. 2015  
 5. 2015

REVISIONS  
 1. 2015  
 2. 2015  
 3. 2015  
 4. 2015  
 5. 2015

**Plan 7C** Mar 19, 2016  
**DP 15 - 700800**



**CONCORD**  
 PACIFIC

CONCORD GARDENS  
 LOT 2  
 WEST

BLVD/ST  
 ART STUDIOS-  
 LLLUATIONS

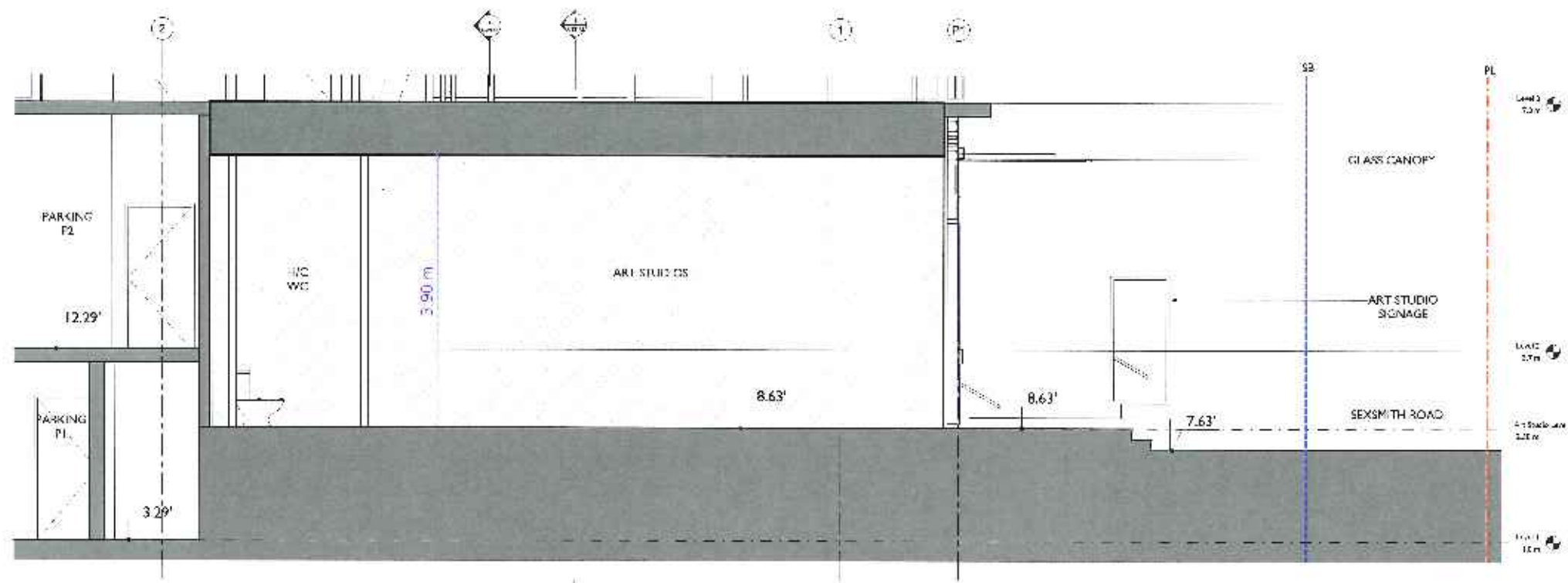
DATE  
 DRAWN BY  
 CHECKED BY  
 APPROVED BY

**A-ZT-A2**

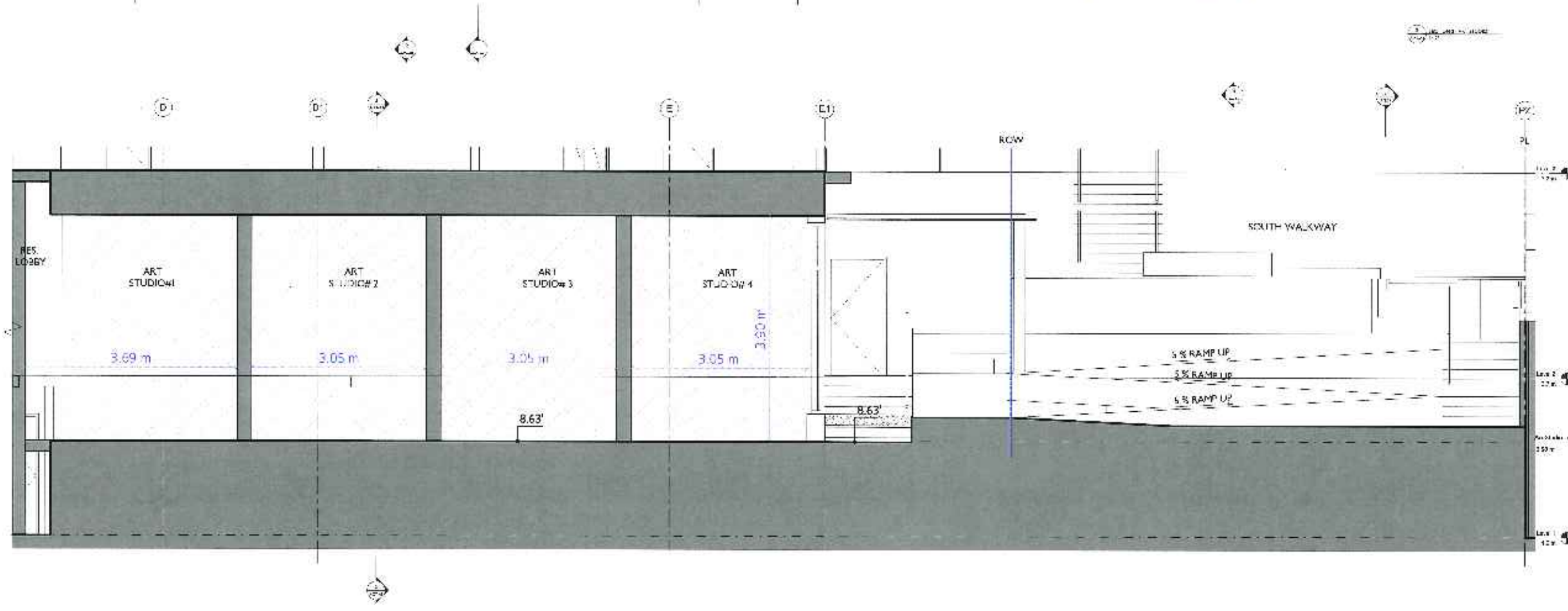
PROJECT:  
CONCORD GARDENS  
2000 WEST BAYVIEW AVENUE  
CONCORD, CALIFORNIA 94520  
DATE: 03/19/2016

**REVISIONS**

NO.	DATE	DESCRIPTION
1	03/19/2016	ISSUED FOR PERMITS
2	03/19/2016	REVISED PER COMMENTS
3	03/19/2016	REVISED PER COMMENTS



Plan 7D Mar 19, 2016  
DP 15 - 700800



**CONCORD PACIFIC**  
CONCORD GARDENS  
LOT 2  
WEST

9C - 14000.00  
**ART STUDIO - SECTIONS**  
DATE: 03/19/2016  
DRAWN BY: [Name]  
SCALE: 1/8" = 1'-0"