



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 21, 2016

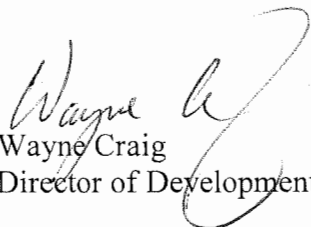
From: Wayne Craig
Director of Development

File: DP 15-700370

Re: Application by Yamamoto Architecture Inc. for a Development Permit at
9560 Alexandra Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of 20 three-storey townhouse units at 9560 Alexandra Road on a site zoned "Town Housing (ZT67)".


Wayne Craig
Director of Development

SB:blg
Att.

Staff Report

Origin

Yamamoto Architecture Inc. has applied to the City of Richmond for permission to develop 20 three-storey townhouses at 9560 Alexandra Road on a site zoned "Town Housing (ZT67)". The subject site is currently vacant.

A staff report was reviewed by Development Permit Panel at the meeting on April 13, 2016 (Attachment A), and the application was referred back to staff. In response to the referral, the applicant revised the proposal to address grade transition from the development to the adjacent City-owned park (future greenway) to the north and west through revised grading on the subject site and in the adjacent City-owned park. Revised Development Permit Considerations are listed at the end of this report and revised site plan and landscape plans are provided in the Development Permit Plans that accompany this report.

Background

The following referral motion was carried at the April 13, 2016 Development Permit Panel meeting:

"That DP 15-70033 be referred back to staff to:

- 1. provide more details on the design of the future City-owned park adjacent to the western property boundary of the subject site;*
 - 2. investigate ways to minimize the proposed retaining wall and review the proposed fencing on top of the retaining wall along the western perimeter of the subject development to provide a softer transition to and better interface with the adjacent park;*
 - 3. minimize the cost for the City to provide landscape screening within the park and adjacent to the retaining wall along the western property boundary of the subject site;*
- and report back to the April 27, 2016 Development Permit Panel meeting."*

This supplemental report is being brought forward to provide a response to the referral, to provide a summary of revisions made to the development proposal and grading introduced into the City-owned park, to provide information regarding revised Development Permit considerations, and to present the revised Development Permit for issuance.

Development Information

Please refer to this report and revised Development Permit plans that accompany this report for information regarding the revisions made to the proposal for the subject site and the adjacent future greenway to address the Development Permit Panel referral motion. Please refer to the original Staff Report dated March 11, 2016 (Attachment A) for information pertaining to surrounding development, rezoning and Public Hearing results, Advisory Design Panel review, as well as staff comments on zoning compliance, conditions of adjacency, urban design and site planning, architectural form and character, landscape design and open space design, crime prevention through environmental design, energy and sustainability and accessible housing.

Analysis

This analysis section will discuss each of the referrals made by Development Permit Panel at their April 13, 2016 meeting.

Future City-Owned Park Design

In their referral back to staff, the Development Permit Panel asked staff to provide more details on the design of the future City-owned park adjacent to the western property boundary of the subject site.

In response to the referral, Parks Department staff provided the following information:

- The design project for the neighbourhood park and north-south greenway in the West Cambie Alexandra Neighbourhood is anticipated to start in 2016. Construction is anticipated to start in 2017 and be completed in 2018.
- For the section of future greenway between Alexandra Road and Alderbridge Way, existing grade varies, but is approximately 1 m lower than the May Drive sidewalk elevation. To support retention of existing trees, the existing grade in the future greenway will be retained at the north and south edges (approximately 25 m along the north edge and approximately 50 m along the south edge). Outside of the north and south edges, the grade of the future greenway may be increased in some areas up to the level of the May Drive sidewalk elevation.
- To mitigate the length of retaining wall proposed adjacent to the future greenway, the developer has agreed to construct an elevated 3 m wide planting bed of soil 0.6 m high and gently sloping back down to grade for approximately 73 m along the east edge of the future greenway, in the central area outside of the north and south tree retention areas. The planting bed works will be secured with securities and an agreement prior to Development Permit issuance. The proposal is acceptable to Parks Department staff.

Revisions to Retaining Wall and Fencing Design

In their referral back to staff, Development Permit Panel asked staff to investigate ways to minimize the proposed retaining wall and review the proposed fencing on top of the retaining wall along the western perimeter of the subject development to provide a softer transition to and better interface with the adjacent park.

In response to the referral, the applicant has made the following revisions to the proposal:

- The proposed retaining wall has largely been lowered by 0.4 m and changed to the terraced wood retaining wall style previously only shown at the north end of the site. Lowering the proposed retaining wall was achieved by gently sloping the townhouse yards and introducing steps down to a lowered walkway along the west property line in front of buildings 2 and 3. A 0.6 m high wood retaining wall is proposed along the majority of the west property line and a second 0.6 m high wood retaining wall is proposed to be setback from the west property line and screened with planting in the lower terrace.

- The proposal retains the original vertical retaining wall design at the small portion needed to support the northwest visitor parking space and drive aisle end (approximately 12 m wide retaining wall with mix of stone face lock blocks and utility grade lock blocks). Although this section of retaining wall is not lowered, it will break up the length of retaining wall and provide visual interest with a variety of materials.
- The proposed fencing height has been lowered to the minimum required guardrail height (from 1.2 m height to 1.07 m) adjacent to the walkway in front of the amenity area and buildings 2 and 3. The proposal retains the original visually permeable picket design. The original 1.2 m fencing height has been retained for yard privacy at buildings 1 and 4.

Landscape Screening in the City Park

In their referral back to staff, the Development Permit Panel asked staff to minimize the cost for the City to provide landscape screening within the park and adjacent to the retaining wall along the western property boundary of the subject site.

In response to the referral, Parks Department staff advised that the \$12,660 which the developer has agreed to contribute, will allow for the installation of a tree and shrub vegetation screen to be planted in the east edge of in the City-owned park adjacent to the subject site. Further details regarding proposed grading, pathway locations and landscape design within the City-owned park will be advanced as part of the Parks design project for the neighbourhood park and north-south greenway in the West Cambie Alexandra Neighbourhood, which is anticipated to start this year.

Accessible Housing

As noted in the original Development Permit staff report, the proposed development includes one (1) convertible unit. This unit is now proposed to be accessed from the path through the amenity area, instead of from the path along the west edge of the site. With the proposed lowering of the west edge path, this alternate access arrangement avoids disrupting the access with stairs and ensures level access for people in wheelchairs.

Conclusions

In response to Development Permit Panel's referral, a softer transition and better interface is proposed to be provided from the townhouse development to the adjacent park with a combination of providing a raised soil planting bed in the park, lowering and terracing the majority of the proposed west retaining wall, lowering more than half of the proposed west fencing height, and the introduction of planting in the proposed retaining wall terrace along the west edge of the subject site.

The proposed 20-unit townhouse development is consistent with the intent of the applicable sections of the Official Community Plan (OCP) and meets the zoning requirements set out in the "Town Housing (ZT67)" zone. Staff recommend that the Development Permit be issued.

Sara Badyal

Sara Badyal
Planner 2
(604-276-4282)
SB:blg

The following are to be met prior to forwarding this application to Council for approval:

1. Final adoption of the Zoning Amendment Bylaw No. 9240.
2. Receipt of a cash contribution in the amount of \$12,660.00 to provide landscape screening within the City park and adjacent to the retaining wall along the western property boundary of the subject site. Development Cost Charge (DCC) credits for park development will be provided for this contribution.
3. Receipt of a Letter-of-Credit for landscaping in the amount of \$90,225.55 including a 10% contingency cost.
4. Submission of a representation showing the layout for the mix of utility grade lock blocks and the stone faced lock blocks to be used on the lock block retaining wall along the western side of the development area facing the future park (at the northwest visitor parking space and drive aisle end).
5. Entering into an agreement to the satisfaction of the Director of Development which may include a Servicing Agreement and/or securities for the construction of a raised soil planting bed at the developer's sole cost and located within the City park and adjacent to the retaining wall along the western property boundary of the subject site (3 m wide, 0.6 m high, sloping gently back to existing grade and not to be located within 25 m of Alexandra Road or within 50 m of Alderbridge Way).
6. Registration of a legal agreement on Title; identifying that the proposed development must be designed and constructed in a manner that mitigates potential aircraft noise and noise from road traffic on Alderbridge Way within the proposed dwelling units. Dwelling units must be designed and constructed to achieve:
 - a) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b) The ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
7. Registration of a legal agreement on Title that includes a registerable plan prepared by a registered BC Land Surveyor, ensuring that landscaping planted within the Environmentally Sensitive Area (ESA) adjacent to Alderbridge Way is maintained and will not be abandoned or removed. The legal agreement will also include commitment to maintain the ESA vegetation in accordance with the Covenant Buffer Landscape Maintenance report dated March 3, 2016. The agreement will also contain provisions allowing the City to enter the ESA to remediate the vegetation within the ESA should the owners fail to do so.

Prior to future Building Permit issuance, the developer is required to complete the following:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. A Qualified Environmental Professional to undertake a pre-clearing bird nest survey and submit a summary of the findings and recommendations to the City prior to site clearing activities. (Note the report needs to be done within seven days of clearing the site in order to be accurate as the bird nesting season has begun).
3. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the rezoning and/or Development Permit processes.
4. Payment of the Supplementary Local Area DCC for the Alexandra Neighbourhood.
5. Payment of latecomer agreement charges associated with eligible latecomer works.
6. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.



City of
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Report to Development Permit Panel

To: Development Permit Panel

Date: March 11, 2016

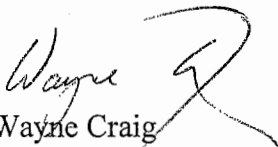
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Wayne Craig
Director of Development

WC:dcb

Staff Report

Origin

Yamamoto Architecture Inc. has applied to the City of Richmond for permission to develop 20 three-storey townhouses at 9560 Alexandra Road on a site zoned "Town Housing (ZT67)". The subject site is currently vacant.

The site is being rezoned from "Single Detached (RS1/F)" to "Town Housing (ZT67)" for this project under Bylaw 9240 (RZ 14-669511). The bylaw received 3rd reading on May 19, 2015.

A Servicing Agreement (SA 14-677906) has been required via the project's Rezoning (RZ 14-669511) to address off-site works that will be required to support this development. Off-site works include, but may not be limited to:

- Construction of a 200 mm diameter watermain along May Drive from Alexandra Road to Tomicki Avenue or from Alexandra Road to Alderbridge Way;
- Replacement of the existing watermain along the development frontage;
- Installation of additional fire hydrants to achieve minimum spacing requirements;
- Construction of a 200 mm diameter gravity sanitary sewer along a portion of Alexandra Road;
- Construction of a 375 mm diameter sanitary sewer along the future May Drive from Alexandra Road to Tomicki Avenue;
- Upgrade the existing storm sewer line from the west property line of 9560 Alexandra Road to the existing box culvert in No 4 Road;
- Undergrounding of existing private utility lines along Alexandra Road frontage;
- Planting and drainage works as necessary and in consultation with Parks staff for the 20 m wide greenway adjacent to Alexandra Road; and
- Pedestrian lighting along the site's Alexandra Road frontage and the frontage of 9540 Alexandra Road extending to the tie in at May Drive.

Development Information

The development proposal will result in a density of 0.65 FAR with a site coverage of 33% which conforms to the proposed "Town Housing (ZT67)" zoning for the site. The development will provide a 20 m wide Statutory Right-of-Way (SRW) across the northern portion of the lot adjacent to Alexandra Road that will contribute to the West Cambie Area Plan's objective of developing a green corridor that will run between Alderbridge Way and the interior of the quarter section. In order to avoid bisecting the future greenway, access to the property will be via Statutory Right of Way (SRW) over the adjacent property to the east (9680 Alexandra Road – RZ13-649999).

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, five lots (9491 – 9591 Alexandra Road) owned by Polygon Development and proposed to be developed into 280 units in a four storey wood frame apartment building (RZ 12-598506 – currently in circulation);
- To the east, a four acre lot under redevelopment to construct 96 three-storey townhouse units on a site zoned “Town Housing (ZT67)” (RZ13-649999 adopted June 22, 2015);
- To the south, Alderbridge Way and the Garden City Lands (55.18 ha zoned “AG1”), and
- To the west, two City-owned park/trail lots (future greenway), the future alignment for the extension of May Drive and a 2.8 ha (7 ac) lot owned by First Richmond North Shopping Centres Ltd. which will include a new Walmart outlet. The shopping centre lot is currently under construction and is zoned “Neighbourhood Commercial (ZC32) – West Cambie Area”.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage. The italicized text indicates how each issue has been addressed.

- Confirmation of the site plan in relation to the Zoning Schedule “Town Housing (ZT67) – Alexandra Neighbourhood (West Cambie)” requirements, detailing of building massing and design, provision of parking, loading, pedestrian access, amenity areas, surface permeability, incorporation of play areas (*plans have been adjusted to incorporate these features*);
- Details on the proposed ESA compensation/enhancement and submission of an acceptable long term maintenance plan (*The DP plans show the extent of the ESA and the vegetation planting selections. A long term maintenance plan has been submitted that will be attached to a legal agreement, as required under the DP considerations.*);
- Registration of legal agreements for the protection and maintenance of the ESA vegetation areas (*Included in the DP considerations*);
- Submission of an Ener-Guide 82 assessment based on the building design (*Ener-Guide 82 report (dated November 6, 2015 prepared by Capture Energy has been submitted)*);
- Resolving on-site garbage collection and ensuring that appropriate vehicle movement allowances are provided (*a centralized facility is included for garbage and recycling*);
- Inclusion of the emergency vehicle access in the site plan (*an emergency vehicle access will be provided to Alderbridge Way*);
- Incorporation of appropriate Aircraft Noise Mitigation measures in the building plans (*Report dated October 14, 2015 includes gypsum board ceilings attached to trusses using resilient channels, exterior wall upgrades to several buildings, window upgrades to several units and air tightness and weather stripping to exterior doorways*);
- Addressing accessibility features within the units (*All of the proposed units incorporate aging in place features and a convertible plan is provided for unit “Ab” in the plans*);
- Addressing drainage concerns adjacent to the Alexandra Road greenway (*drainage for the greenway has been addressed in the Servicing Agreement via a connection to the*

City's drainage system and executing the Servicing Agreement is a condition of Building Permit issuance);

- Submission of preliminary plans for planting and drainage measures to be incorporated within the 20 m wide greenway at the north of the site to be reviewed through the Development Permit application (*these measures are addressed through the Servicing Agreement plans. Preservation of six large trees within the greenway are shown in both the DP plans and the SA plans. A drainage connection to the greenway has been incorporated in the SA plans.*); and
- Confirmation that the sustainability and aging in place measures will be built into the units (*aging in place and sustainability features are included in the DP plans*).

The Public Hearing for the rezoning of this site was held on May 19, 2015. At the Public Hearing, there were no submissions to Council. Council raised questions regarding the orientation of the driveway alignment along the western property line. The applicant subsequently worked with staff to revise the site plan and locate the driveway along the eastern property line. The revised driveway location is shown on the accompanying plans.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Town Housing (ZT67)" zoning.

Zoning Compliance/Variations

No variations are being requested.

Advisory Design Panel Comments

The Advisory Design Panel received the project at the meeting of November 4, 2015. A copy of the relevant excerpt from the Advisory Design Panel Minutes from November 4, 2015 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'. Staff are satisfied with the applicant's response to the ADP comments.

Analysis

Conditions of Adjacency

- With the exception of the future 20 m wide greenway which will remain at its current grade, the development site will be raised from an average grade of approximately 0.85 m to approximately 2.3 m GSC in order to meet minimum flood construction elevation requirements. Site grades between the subject site and the townhouse development to the east will be the same. A restrictive covenant has been secured as part of the rezoning application process ensuring habitable space within the development will meet the Flood Plain elevation requirements.
- The developer has designed the west side of the subject site with a retaining wall along the property line in order to feature level back yards to the townhouse units on the west of the

site. Staff support the proposed walkway access to the townhouse units, but this design prevents a gradual sloping of the grade to meet the existing grade of the adjacent park. In order to achieve a satisfactory interface to the park, the applicant will utilize a variety of materials (a mix of stone-face lock blocks and utility grade lock blocks to soften its overall appearance) in the proposed retaining wall. Additionally, the developer has agreed to contribute \$12,660 for the installation of a tree and shrub vegetation screen to be planted in the City-owned park adjacent to the retaining wall. The contribution is included in the Development Permit (DP) considerations. This proposal has been reviewed and endorsed by the Parks Department. Development Cost Charge credits for Park development will be applied for this contribution amount.

- A four foot high wood fencing is provided around the northern and western perimeter of the development (development portion only and does not include the 20 m greenway) allowing views into the adjacent park. A six foot high fence will be installed along the eastern property boundary as part of the adjacent townhouse development at 9680 Alexandra Road.
- The development will be set back 6 m (19.7 ft.) from Alderbridge Way to the south. Four metres of the setback will be planted with native trees and shrubs which, over time, will provide screening for the project. The only interruption to the vegetation planting will be an emergency access connecting the site to Alderbridge Way.

Urban Design and Site Planning

- At the recommendation of Planning Committee, the site plan was amended to relocate the internal drive aisle to the eastern side of the site to improve the interface to the park.
- The relocation of the drive aisle will allow all of the townhouse units to now back onto either the adjacent park on the west side of the property or the greenway along the northern side of the lot. Thirteen units will have front doors facing the internal drive aisle.
- To avoid bisecting the future greenway, vehicle access to the property will be restricted to a drive aisle access through the adjacent site to the east (9680 Alexandra Road). An access covenant has already been put into place over that property under RZ 13-649999.
- The 20 m wide greenway SRW along the northern portion of the lot will allow for the retention of six bylaw-sized trees plus additional hedging/planting.
- The emergency vehicle access to Alderbridge Way proposed in the plan will serve both the subject site and the neighbouring site (9680 Alexandra Road). This access has been reviewed and endorsed by Richmond Fire Rescue. The access will incorporate removable bollards to prevent non-emergency access, while permitting pedestrian access to Alderbridge Way.
- Provision of on-site vehicle parking spaces and bicycle parking spaces will fully address the requirements under Zoning Bylaw No. 8500.
- Permeable pavers are proposed at the main vehicle entrance, adjacent to the emergency access, adjacent to the outdoor amenity space and at all of the visitor parking spaces allowing for storm water infiltration and reducing site runoff.
- A fire hydrant is located on-site to ensure that all units are within fire protection range.
- A central garbage and recycling facility is located near the "T" intersection on the site providing the adequate turning space for disposal vehicles to access and turn around.
- Seven of the proposed townhouse units (within buildings 2 and 3) are planned to have their primary entry doors accessible only from the rear rather than from the drive aisle. Directional signage will be provided to indicate where the access to these units is located.

Architectural Form and Character

- The townhouses are assembled into four individual buildings: the building proposed on the north side contains four units, the two buildings proposed in the middle of the site contain five units, and the building proposed on the south side contains six units.
- Individual townhouse units are proposed to be three storeys in height – consistent with other recently approved townhouse developments in the area.
- Massing of townhouse cluster has been articulated to provide relief to the visual appearance of the line of units along the central drive aisle.
- Roof lines will be varied to provide visual relief and variety to each building's appearance.
- Gables, bay windows and projections are used on the buildings to add to the architectural design and complement the adjacent townhouse development to the east (9680 Alexandra Road).
- Rectangular and square windows incorporate muntins, mullions and painted wood trim to contribute to the overall appearance and character of the structures.
- Hardiplank siding is used for all buildings providing a consistent appearance and improving the building's performance in terms of acoustic attenuation.
- A band of cultured stone is proposed around the base of each of the buildings.

Landscape Design and Open Space Design

- Fourteen existing trees are to be removed from the site, 12 of these are bylaw sized trees.
- In compensation for the removed trees, 34 trees (maple, katsura, magnolia and spruce) are proposed to be planted on site with another 8 trees (maple, dogwood, fir) to be planted in the native buffer strip adjacent to Alexandra Way.
- A 4 m (13.1 ft) wide vegetated ESA strip planted with native trees and shrubs will be provided along the south property line along Alderbridge Way.
- The proposed replacement trees will exceed the minimum 2:1 tree replacements spelled out in the Official Community Plan.
- Each unit will feature a minimum of 30 m² (98 ft²) of private outdoor space.
- Under the proposed landscape plan trees and shrubs line the majority of the perimeter of the developed portion of the site. Shrubs and picket fencing will be used to differentiate semi-private space between units in the rear yards. Cedar shrubs will also be used to define individual driveway spaces.
- A 128 m² (1,280 ft²) centrally located outdoor amenity space is included in the site's landscaping plan – consistent with the City's outdoor amenity space requirements for a townhouse development.
- A children's play area located in the outdoor amenity space will be equipped with tot's play house and several low climbing elements such as a vertical log and a flat boulder, and a park bench will be provided. The play surface is divided into two parts – one with a fibre or equivalent surface and the other part with a grassed play area.
- An open air centralized mailbox facility with a roof is located at the entrance to the outdoor amenity space.

Crime Prevention Through Environmental Design

- Individual unit entry ways are readily visible either from the internal drive aisle or adjacent units.

- Adjacent units will provide overlook onto both the children's play area and the adjacent park/greenway.
- Low level bollard lighting will be provided along internal walkway to promote safety.

Energy and Sustainability

- The development will be required to achieve Ener-guide 82 and pre-duct all units for solar hot water. Thermal and acoustical studies have been undertaken for this site and submitted as part of this application. This condition was included with the Rezoning Considerations.
- The Capture Energy report (dated March 4, 2016) indicates that the project will achieve the Ener-guide 82 target and notes that one of the initiative incorporated into each townhouse unit to achieve this target will be an air source heat pump backed up by a 92% efficient natural gas forced air furnace.
- Double/triple-glazed vinyl framed windows with low "E" argon filled glass will be used throughout supporting the overall energy efficiency of the development. Window thicknesses will be adjusted for several units to address noise mitigation needs as identified in the acoustic report by BKL (dated October 14, 2015).
- Water efficient toilets will be used in each unit to reduce water use.
- Permeable pavers are proposed for the visitor parking areas to help reduce storm runoff and improve ground infiltration.
- The development considerations include requirements for registration of a legal agreement on title to mitigate noise to the required CMHC guidelines and Thermal efficiency under ASHRAE 55-2004 standards.

Accessible Housing

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit will require conversion of storage spaces on three levels, if a future owner wishes to install an elevator.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

The proponents of the proposed development have made extensive changes to the overall project design to address issues identified by the Advisory Design Panel and staff. Based on the revised plans, staff recommend approval of the application to develop 20 three storey townhouses at 9560 Alexandra Road.



David Brownlee
Planner 2
DCB:cas

The following are to be met prior to forwarding this application to Council for approval:

1. Final adoption of the Zoning Amendment Bylaw No. 9240.
2. Receipt of a cash contribution in the amount of \$12,660.00 to provide landscape screening within the City Park and adjacent to the retaining wall along the western property boundary of the subject site. DCC credits for Park development will be provided for this contribution.
3. Receipt of a Letter-of-Credit for landscaping in the amount of \$90,225.55 including a 10% contingency cost.
4. Submission of a representation showing the layout for the mix of utility grade lock blocks and the stone faced lock blocks to be used on the lock block retaining wall along the western side of the development area facing the future park.
5. Registration of a legal agreement on title identifying that the proposed development must be designed and constructed in a manner that mitigates potential aircraft noise and noise from road traffic on Alderbridge Way within the proposed dwelling units. Dwelling units must be designed and constructed to achieve:
 - a) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
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 - b) the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
6. Registration of a legal agreement on title that includes a registerable plan prepared by a registered BC Land Surveyor ensuring that landscaping planted within the Environmentally Sensitive Area (ESA) adjacent to Alderbridge Way is maintained and will not be abandoned or removed. The legal agreement will also include commitment to maintain the ESA vegetation in accordance with the Covenant Buffer Landscape Maintenance report dated March 3, 2016. The agreement will also contain provisions allowing the City to enter the ESA to remediate the vegetation within the ESA should the owners fail to do so.

Prior to future Building Permit issuance, the developer is required to complete the following:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
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3. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. Payment of the Supplementary Local Area DCC for the Alexandra Neighbourhood.
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6. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.



City of Richmond

Development Application Data Sheet

Development Applications Department

DP 15-700370

Attachment 1

Address: 9560 Alexandra Road

Applicant: Yamamoto Architecture Inc.

Owner: 0846930 BC Ltd.

Planning Area(s): West Cambie – Alexandra Neighbourhood

Floor Area Gross: 2,615.9 m² (28,157.2 ft²) Floor Area Net: 2,587.8 m² (27,854.5 ft²)

	Existing	Proposed
Site Area:	4,051.3 m ² (43,607.7 ft ²) gross	4,019.3 m ² (43,263.5 ft ²) after road dedications
Land Uses:	Single Family Residential	Multiple Family Residential
OCP Designation:	Neighbourhood Residential and Park	No Change
Zoning:	Single Detached (RS1/F)	Town Housing (ZT67)
Number of Units:	Vacant	20 Townhouses

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.65	0.65	none permitted
Lot Coverage – Building:	Max. 40%	32.8%	none
Setback – Front Yard (m):	Min. 5.0 m	24.5 m	none
Setback – Interior Side & Rear Yards (m):	Min. 3.0 m	Side: Min. 3.0 m Rear: Min. 6.0 m	none
Height (m):	12 m	11.0 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.5/unit (30 R) and 0.2/unit (4 V)	40 (R) and 4 (V) per unit	none
Off-street Parking Spaces – Total:	34	44	none
Tandem Parking Spaces:	Permitted	24 stalls total in 12 units (60%)	none
Accessible Stalls	1	1	none
Bicycle Stalls	Class 1: 25 Class 2: 4	Class 1: 40 Class 2: 5	none
Amenity Space – Indoor:	Min. 70 m ² (753.5 ft ²) or \$1,000/unit for 19 units & \$2,000 / unit over 19 units	\$21,000 cash in lieu (addressed under RZ14-669511)	none
Amenity Space – Outdoor:	120 m ² (1,292 ft ²)	122 m ² (1,321 ft ²)	none

Tree replacement compensation required for loss of significant trees. Based on Arborist report 12 Bylaw sized trees to be removed. 5 Bylaw sized trees to be retained in greenway.

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, November 4, 2015 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

Panel Discussion

Comments from the Panel were as follows:

- applicant needs to provide details on (i) how to achieve the project's target for an Energuide 82 rating (*Please see attached EnerGuide 82 report.*) and (ii) specific features of the proposed water efficient toilets; *Please see attached specification sheet for Kohler dual flush toilet model K-372.*
- appreciate the proposed use of double-glazed low-e window glass in the townhouse building; *We appreciate the Panel's comment.*
- recommend that the applicant use true energy star appliances; *All appliances to be energy star appliances.*
- electric baseboard heaters are not energy efficient; consider equipping them with programmable thermostats; *Heating/cooling system to be gas furnace with heat pump, therefore electric baseboard heaters are not required.*
- appreciate the convertible unit design; the applicant meets the required number for the project; however, an additional convertible unit would be appreciated; *We feel that for this development of 20 units, one convertible unit is sufficient. However, all units will have ageing in place features.*
- consider reducing the height of the retaining wall along the west property line; cross sidewalk access from the internal drive aisle to the walkway needs to remain level; *Creating stepped retaining walls will impact the private yard space of the future residents by further reducing their outdoor living area.*
- the internal drive aisle of the proposed development looks better than similar projects; appreciate the row of trees along one side of the internal drive aisle; *We appreciate the Panel's comment.*
- consider extending the west walkway up to Alderbridge Way; *After discussion with staff at City of Richmond, staff confirms that extending the west walkway to Alderbridge Way is not supported as it will further impact the ESA compensation area.*

- look at opportunities for Building No. 4 units with tandem parking to respond better to the extended west walkway; the visitor parking stall should stay up if the west walkway is terraced down; terracing down and berming up of the extended greenway provides a nice edge to the west; *Extending the walkway to Alderbridge Way is not supported by staff. We feel that the space to the west of Building 4 is more suitable as larger rear yards for the future residents than extending the walkway that will cut off at the ESA compensation area.*
- look at the enormous empty space between the living and dining areas on the second floor of type A units; consider design development to address this concern; *Second floor plan of type A units revised to eliminate empty space.*
- general design of the project is good; however, there is a continuous row of double car garages in Building No.3; consider introducing architectural elements and landscaping to visually break down the long row of double car garages; *1.25 m height emerald green cedar shrubs planted between garages to visually break down row.*
- choice of native plant species is generally good; however, consider replacing the pacific crabapple trees with the more ornamental vine maple trees at the northeast corner of the site; *PMG: Pacific Crabapple trees have been replaced with Vine Maple trees at the northeast corner of the site. Please see L1 for your reference.*
- appreciate the planting along the internal drive aisle; however, ensure that there is adequate root barrier between the road curb and gutter for the red maple trees; *PMG: Root barrier has been added between road curb and gutter for the Red maple trees along internal driveway. Please see L1 for your reference.*
- agree with comments regarding lowering the western edge of the site to reduce the height of the retaining walls along the walkway; however, ensure that the accessibility requirements from the garage to the walkway are met; also agree with comments regarding the extension of the walkway up to Alderbridge Way to enhance pedestrian access to the subject site; *Extending the walkway to Alderbridge Way is not supported by staff. We feel that the space to the west of Building 4 is more suitable as larger rear yards for the future residents than extending the walkway that will cut off at the ESA compensation area.*
- no need to provide lawns for units in Building Nos. 2 and 3 as the proposed location is shady; lawn spaces for Building No. 4 units could be better utilized for the walkway extension; *PMG: Lawns for units in Building No.2 and 3 have been reduced. Please see L1 for your reference.*
- red fox katsuras in the unit yards of Building No. 4 are too big and dense for the size of the project; consider smaller species; *PMG: Red Fox Katsuras in the unit yards of Building No4 have been replaced with smaller species-. PINK FLOWERED JAPANESE SNOWBELL. Please see L1 for your reference.*

- the applicant should investigate whether Tree Nos. B and C to the west of Building No. 4 are still existing as they will impact the proposed planting scheme in adjacent areas of the subject site; *Please see attached arborist report. Tree C is in high risk of failure and will be removed, Tree B is located far enough away from the property line that no tree protection zone is required.*
- the play area appears gloomy and lacks sun exposure; the tree is not necessary; *Tree removed from play area.*
- consider replacing the seesaw in the children's play area with a play equipment that can be more easily operated by a single child; *PMG: Tree at West side of the play area have been removed and play equipment have been replaced with another one which can more easily operated by a single child. Please see L1 for your reference.*
- the proposed development is carefully designed; however, it lacks playfulness and architectural interest compared to the adjacent project by the applicant; neutral colours do not fit well with the neighbouring development; consider more variation in the colour scheme; *Colour scheme revised.*
- consider dropping down the architectural element at the top floor of Unit B2a Building No. 1 (west elevation) as it appears heavy on the top; should read like the architectural elements in the upper floors of Building No. 3 units (west elevation); *Elevation revised as per comment.*
- review the need for shrub planting between the walkway and the fence as the space could be utilized to enlarge the unit yards; *PMG: Shrub planting between the walkway and the fence along West P.L. have been removed and the unit yards have been enlarged . Please see L1 for your reference.*
- agree with comments to lower the height of the retaining wall along the pedestrian walkway to better address the future park to the west of the subject property; *Creating stepped retaining walls will impact the private yard space of the future residents by further reducing their outdoor living area.*
- an arborist will be needed should the applicant decide to retain Tree Nos. B and C; the trees will add value to the project in view of their proximity to the future park; *Please see attached arborist report. Tree C is in high risk of failure and will be removed, Tree B is to be retained.*
- consider relocating the play equipment to the west edge of the children's play area for better sun exposure; *PMG: Play equipment have been relocated to the west edge of the children's play area for better sun exposure. Please see L1 for your reference.*
- appreciate the planting in the Alderbridge Way setback; consider adding more conifers such as Douglas firs; *PMG: More Douglas firs have been proposed in the Alderbridge Way setback. Please see L1 for your reference.*

- appreciate the tree planting along the east side of the proposed development; however, ensure adequate soil volume; and *PMG: There is 3' wide landscape strip on the proposed side and there is a landscape area on the neighbour's development. Please see L1 for your reference.*
- consider introducing a single cedar in the planting areas between unit garages along the internal drive aisle. *PMG: Single cedar have been proposed in planting areas between units garages along the internal drive aisle. Please see L1 for your reference.*

Panel Decision

It was moved and seconded

That DP 15-700370 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED



City of Richmond

Development Permit

No. DP 15-700370

To the Holder: Yamamoto Architecture Inc.

Property Address: 9560 Alexandra Road

Address: 202 - 33 East 8th Avenue
Vancouver, B.C. V5T 1R5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #12 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$90,225.55 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 15-700370

To the Holder: Yamamoto Architecture Inc.
Property Address: 9560 Alexandra Road
Address: 202 - 33 East 8th Avenue
Vancouver, B.C. V5T 1R5

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

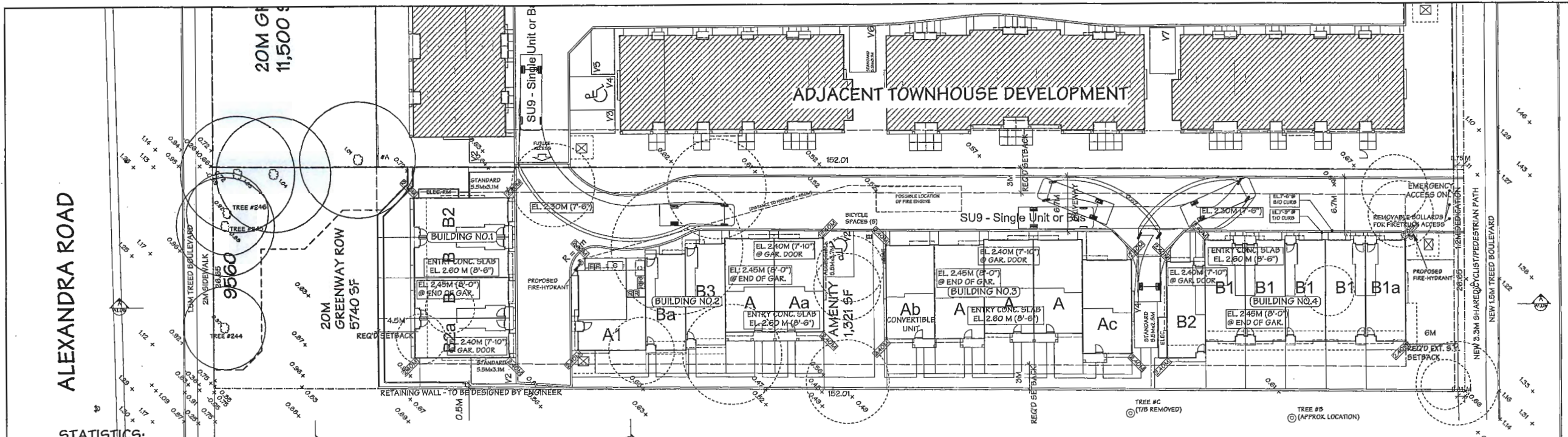
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



ENVIRONMENTALLY SENSITIVE AREA

STATISTICS:

CIVIC ADDRESS:	9560 ALEXANDRA RD.
LEGAL DESCRIPTION:	RICHMOND, B.C.
ZONING:	Z167
GROSS SITE AREA:	45,607.7 SQ.FT. (4,051.3 SQ.M.)
NET SITE AREA:	43,263.5 SQ.FT. (4,019.3 SQ.M.)
MAX. LOT COVERAGE:	43,263.5 SQ.FT. x 40% = 17,305.4 SQ.FT.
PROPOSED:	13412.3 SQ.FT. (BUILDINGS)
	524.5 SQ.FT. (PORCHES)
	190.7 SQ.FT. (GAR./RECYCL. ENCL.)
TOTAL	14127.5 SQ.FT. (32.8%)
MAX. BUILDING HEIGHT:	12.0 M (THREE STOREYS)
PROPOSED:	11.0 M (THREE STOREYS)

F.A.R.:

MAX. ALLOWED FLOOR AREA:	43,263.5 SQ.FT. x 65% = 28,121.3 SQ.FT. (0.65 FAR)
MAX. ALLOWED GARAGE AREA:	538.2 SQ.FT. x 20 UNITS = 10,764 SQ.FT.
MAX. ALLOWED PORCH AREA:	

PROPOSED FLOOR AREA:

UNIT	GROSS AREA:	STAIR (EXCL.):	NET AREA:				GARAGE AREA:	PORCH AREA:
UNIT-A (3 BR5)	2227.5 SQ.FT.	145.8 SQ.FT.	1693.2 SQ.FT.	x 4 UNITS =	6772.8 SQ.FT.		388.5 SQ.FT.	42.0 SQ.FT.
UNIT-Aa (3 BR5)	2267.5 SQ.FT.	145.8 SQ.FT.	1733.2 SQ.FT.	x 1 UNIT =	1733.2 SQ.FT.		388.5 SQ.FT.	68.3 SQ.FT.
UNIT-Ab (3 BR5)	2251.5 SQ.FT.	145.8 SQ.FT.	1720.9 SQ.FT.	x 1 UNIT =	1720.9 SQ.FT.		384.8 SQ.FT.	33.3 SQ.FT.
UNIT-Ac (3 BR5)	2251.5 SQ.FT.	145.8 SQ.FT.	1717.2 SQ.FT.	x 1 UNIT =	1717.2 SQ.FT.		388.5 SQ.FT.	33.3 SQ.FT.
UNIT-A1 (3 BR5)	2562.2 SQ.FT.	164.7 SQ.FT.	2010.9 SQ.FT.	x 1 UNIT =	2010.9 SQ.FT.		386.6 SQ.FT.	0.0 SQ.FT.
UNIT-B (3 BR5)	1774.3 SQ.FT.	145.8 SQ.FT.	1120.9 SQ.FT.	x 2 UNITS =	2241.8 SQ.FT.		507.6 SQ.FT.	32.0 SQ.FT.
UNIT-Ba (3 BR5)	1796.3 SQ.FT.	145.8 SQ.FT.	1142.6 SQ.FT.	x 1 UNIT =	1142.6 SQ.FT.		507.9 SQ.FT.	0.0 SQ.FT.
UNIT-B1 (3 BR5)	1873.0 SQ.FT.	145.8 SQ.FT.	1191.2 SQ.FT.	x 4 UNITS =	4764.8 SQ.FT.		536.0 SQ.FT.	0.0 SQ.FT.
UNIT-B1a (3 BR5)	1897.0 SQ.FT.	145.8 SQ.FT.	1214.5 SQ.FT.	x 1 UNIT =	1214.5 SQ.FT.		536.7 SQ.FT.	64.0 SQ.FT.
UNIT-B2 (3 BR5)	1737.3 SQ.FT.	146.3 SQ.FT.	1102.4 SQ.FT.	x 2 UNITS =	2204.8 SQ.FT.		488.6 SQ.FT.	31.2 SQ.FT.
UNIT-B2a (3 BR5)	1754.8 SQ.FT.	146.3 SQ.FT.	1119.9 SQ.FT.	x 1 UNIT =	1119.9 SQ.FT.		488.6 SQ.FT.	31.2 SQ.FT.
UNIT-B3 (3 BR5)	1892.9 SQ.FT.	145.8 SQ.FT.	1211.1 SQ.FT.	x 1 UNIT =	1211.1 SQ.FT.		536.0 SQ.FT.	0.0 SQ.FT.
TOTAL				20 UNITS =	27854.5 SQ.FT. (64.4%)		9308.0 SQ.FT.	524.5 SQ.FT.

ADDITIONAL AREA:

GARBAGE/RECYCLING ROOM:	190.7 SQ.FT. x 1 ROOM =	190.7 SQ.FT.
ELEC. ROOMS:	56.0 SQ.FT. x 2 ROOMS =	112.0 SQ.FT.
TOTAL		28157.2 SQ.FT. (65.0%)

PARKING:

REQUIRED:	1.5 SPACES x 20 UNITS = 30 SPACES (RESIDENTS)
	0.2 SPACES x 20 UNITS = 4 SPACES (VISITORS)
TOTAL	34 SPACES
PROVIDED:	2 CAR GARAGES x 20 UNITS = 40 SPACES (RESIDENTS)
	OPEN VISITORS PARKING = 4 SPACES (VISITORS)
TOTAL	44 SPACES

NOTE: 1 ACCESSIBLE PARKING SPACE IS PROVIDED.

REQUIRED BICYCLE:	1.25 SPACES x 20 UNITS = 25 SPACES (CLASS 1)
	0.2 SPACES x 20 UNITS = 4 SPACES (CLASS 2)
TOTAL	29 SPACES
PROVIDED BICYCLE:	2 SPACES x 20 GARAGES = 40 SPACES (CLASS 1)
	BICYCLE RACK = 5 SPACES (CLASS 2)
TOTAL	45 SPACES

AMENITY AREA

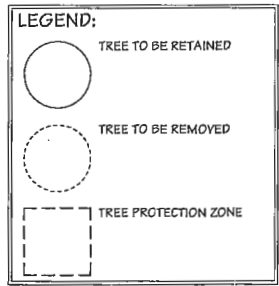
REQUIRED	INDOOR	: MIN. 70 SQ.M. (753 SQ.FT.)
	OUTDOOR	: 120 SQ.M. (1,292 SQ.FT.)
PROVIDED	INDOOR	: PAYMENT IN LIEU
	OUTDOOR	: 122 SQ.M. (1,321 SQ.FT.)
PRIVATE OUTDOOR SPACE: MIN. 30 SQ.M. PER UNIT		

ADDITIONAL NOTES:

- ONE CONVERTIBLE UNIT PROVIDED - UNIT Ab IN BUILDING 3
- AGING IN PLACE FEATURES (TO BE PROVIDED IN ALL UNITS):
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
 - LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- SUSTAINABILITY FEATURES (TO BE PROVIDED IN ALL UNITS):
 - DOUBLE GLAZED VINYL FRAMED WINDOW W/LOW E GLASS (TYP.)
 - WATER EFFICIENT TOILETS
- MINIMUM ENERGUEIDE 82 RATING AND PRE-DUCTING FOR SOLAR HOT WATER TO BE PROVIDED



CONTEXT PLAN
SCALE: 1/4" = 1'-0"



PLAN #1

NO.	DATE	REVISIONS
1	MAR. 10, 2015	ROLLBACK/RETAINING WALL REVISED
2	FEB. 5, 2015	GENERAL REVISIONS
3	OCT. 6, 2015	ISSUED FOR A.D.P.
4	MAY 14, 2015	ISSUED FOR D.P. APPLICATION
5	MAR. 23, 2015	GENERAL REVISIONS
6	NOV. 4, 2014	GENERAL REVISIONS
7	JUL. 28, 2014	ISSUED FOR REZONING APPL.

Yamamoto
Architecture Inc.

#202 - 33 East 8th Avenue, Vancouver, B.C.
V5T 1R5 Tel: 604-731-1127 Fax: 604-731-1327

PROJECT	TOWNHOUSE DEVELOPMENT
9560 ALEXANDRA ROAD	RICHMOND, B.C.

DRAWING TITLE	SITE PLAN STATISTICS
SCALE	1" = 20'-0"
DATE	JAN. 19, 2015
DRAWN BY	TY
CHECKED	
SHEET NO.	DP 15-700370
PROJ. NO.	1413

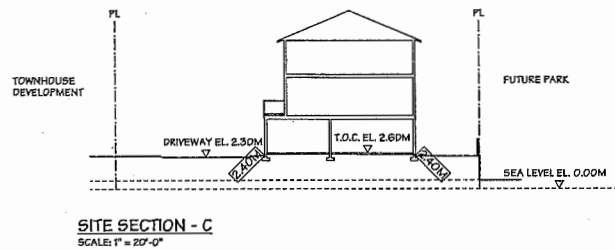
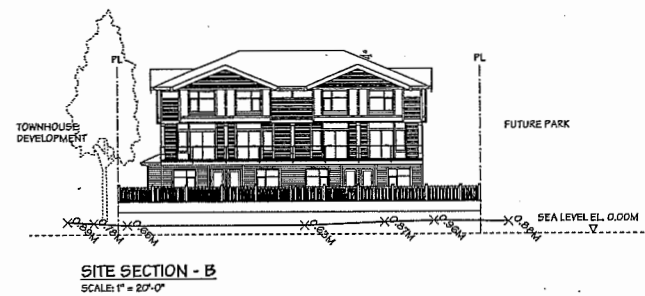
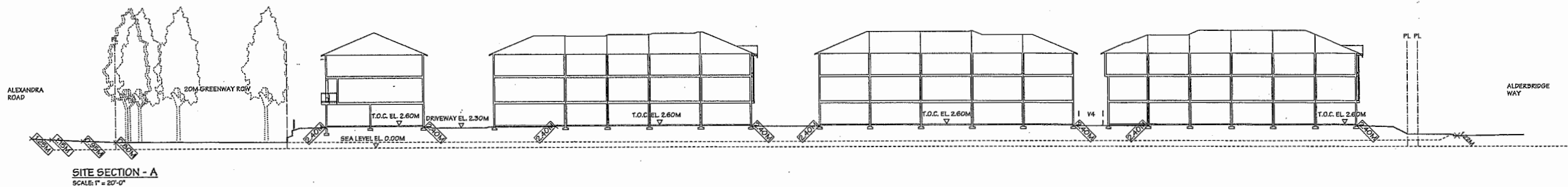
DP 15-700370
APR 13 2016

Plan #1

APR 13 2016

DP 15-700370

Plan #2



PLAN #1a

NO.	DATE	REVISIONS
1	MAY 10, 2016	BOLLARD/RETAINING WALL REVISED
2	FEB. 3, 2016	GENERAL REVISIONS
3	OCT. 6, 2015	ISSUED FOR A.D.P.
4	MAY 14, 2015	ISSUED FOR D.P. APPLICATION
5	MAY 25, 2015	GENERAL REVISIONS
6	NOV. 4, 2014	GENERAL REVISIONS
7	JUL. 28, 2014	ISSUED FOR REZONING APPL.

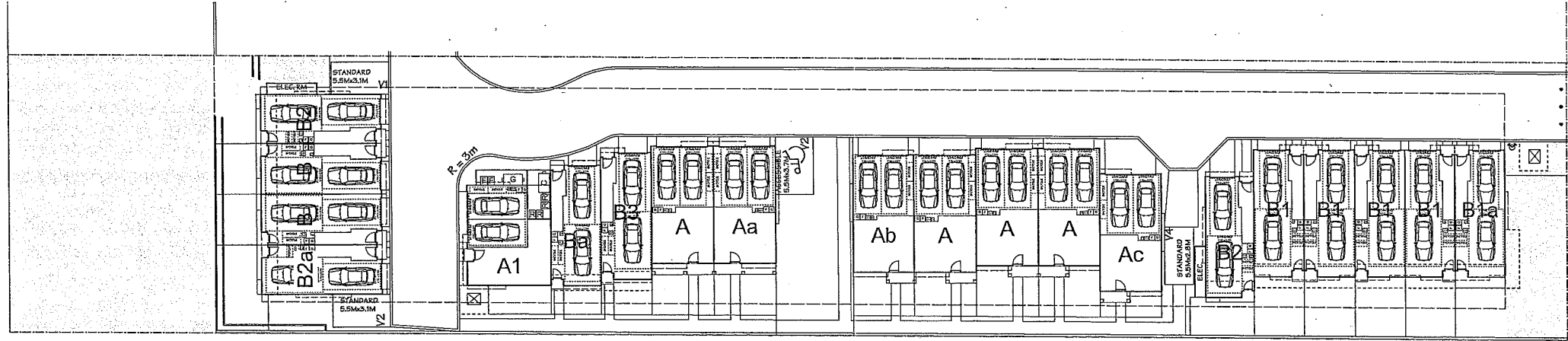
Yamamoto
Architecture Inc.

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PROJECT	TOWNHOUSE DEVELOPMENT	DRAWING TITLE	SITE CROSS SECTION
SCALE	1" = 20'-0"	SHEET NO.	
DATE	NOV. 3, 2014		
DRAWN	YK		DP 15-700370
CHECKED		PROJ. NO.	1413

ALEXANDRA ROAD

ALDERBRIDGE WAY



PARKING:

REQUIRED:	1.5 SPACES x 20 UNITS	=	30	SPACES (RESIDENTS)
	0.2 SPACES x 20 UNITS	=	4	SPACES (VISITORS)
	TOTAL	=	34	SPACES

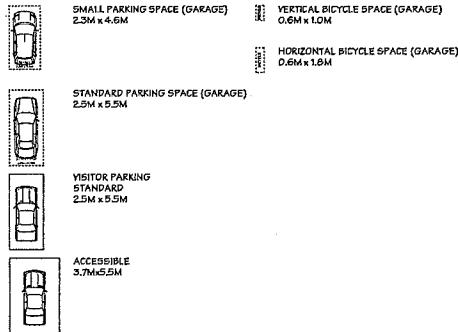
PROVIDED:	2 CAR GARAGES x 20 UNITS	=	40	SPACES (RESIDENTS)
	OPEN VISITORS PARKING	=	4	SPACES (VISITORS)
	TOTAL	=	44	SPACES

NOTE: 1 ACCESSIBLE PARKING SPACE IS PROVIDED.

REQUIRED BICYCLE:	1.25 SPACES x 20 UNITS	=	25	SPACES (CLASS 1)
	0.2 SPACES x 20 UNITS	=	4	SPACES (CLASS 2)
	TOTAL	=	29	SPACES

PROVIDED BICYCLE:	2 SPACES x 20 GARAGES	=	40	SPACES (CLASS 1)
	BICYCLE RACK	=	5	SPACES (CLASS 2)
	TOTAL	=	45	SPACES

AS PER THE 2041 OCP REQUIREMENT FOR ELECTRIC VEHICLES:
- A MINIMUM OF 20% OF PARKING STALLS TO BE PROVIDED WITH A 120V RECEPTACLE TO ACCOMMODATE ELECTRIC VEHICLE CHARGING EQUIPMENT.
- AN ADDITIONAL 25% OF PARKING STALLS TO BE CONSTRUCTED TO ACCOMMODATE THE FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGING EQUIPMENT (E.G. PRE-DUCTED FOR FUTURE WIRING).



PARKING PLAN
SCALE: 1" = 20'-0"

PLAN #2

	MAR. 10, 2016	BOLLARD/RETAINING WALL REVISION
	FEB. 3, 2016	GENERAL REVISIONS
	OCT. 6, 2015	ISSUED FOR A.D.P.
	MAY 14, 2015	ISSUED FOR P.P. APPLICATION
	MAR. 23, 2015	GENERAL REVISIONS
	NOV. 4, 2014	GENERAL REVISIONS
	JUL. 20, 2014	ISSUED FOR REZONING APPL.
NO.	DATE	REVISIONS

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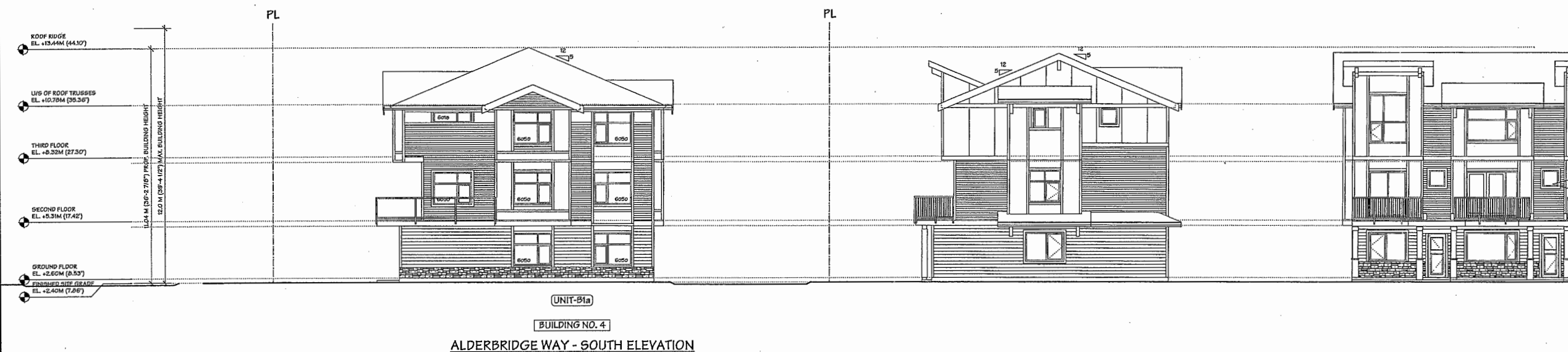
PROJECT	TOWNHOUSE DEVELOPMENT	DRAWING TITLE	PARKING PLAN
SCALE	1/16" = 1'-0"	SHEET NO.	
DATE	OCT. 24, 2014		
DRAWN	TY		
CHECKED			
		DP 15-700370	
		PROJ. NO.	1413

Plan #3

DP 15-700370
APR 13 2016



NO.	DATE	REVISIONS
1	MAR. 10, 2016	MATERIAL KEYSED
2	FEB. 3, 2016	GENERAL REVISIONS
3	OCT. 5, 2015	ISSUED FOR A.D.P.
4	MAY 14, 2015	ISSUED FOR D.P. APPLICATION
5	MAR. 23, 2015	GENERAL REVISIONS
6	NOV. 4, 2014	ISSUED FOR REZONING
7	NOV. 4, 2014	ISSUED FOR REZONING



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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

5560 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

202 - 33 East 8th Avenue, Vancouver, B.C.
V6T 1R5 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE
ELEVATIONS

SCALE 1/8" = 1'-0"	SHEET NO.
DATE OCT. 2, 2014	PROJ. NO. 1413
DRAWN KM	DP 15-700370
CHECKED	

PLAN #4

Plan #4

APR 13 2016

DP 15-700370



NO.	DATE	REVISIONS
MAR. 10, 2016	MATERIAL KEY/SED	
FEB. 3, 2016	GENERAL KEYVISIONS	
OCT. 6, 2015	ISSUED FOR A.D.P.	
MAY 14, 2015	ISSUED FOR O.P. APPLICATION	
MAR. 23, 2015	GENERAL KEYVISIONS	
NOV. 4, 2014	ISSUED FOR REZONING	

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

5580 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

202 - 33 East 8th Avenue, Vancouver, B.C.
V5T 1R5 Tel: 604-721-1127 Fax: 604-721-1327

DRAWING TITLE
ELEVATIONS

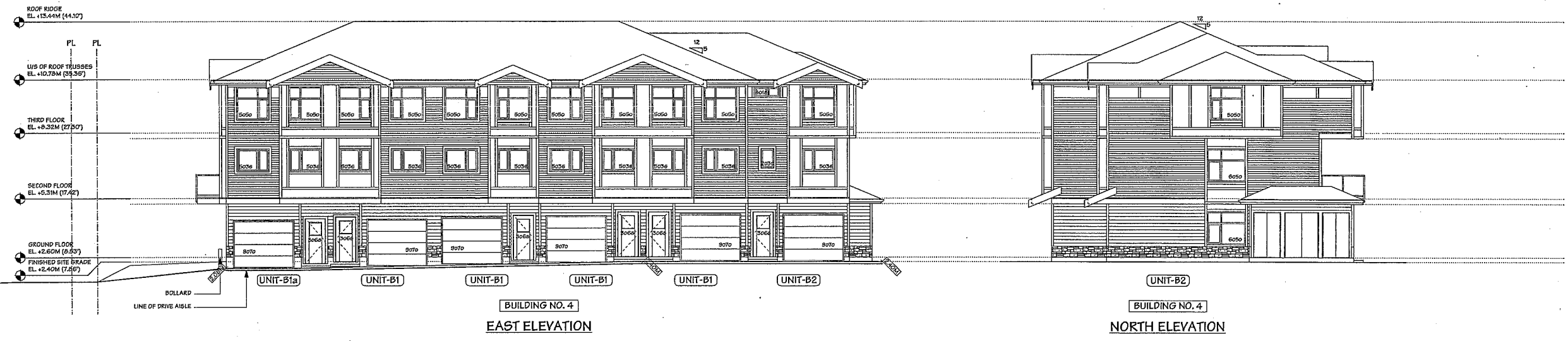
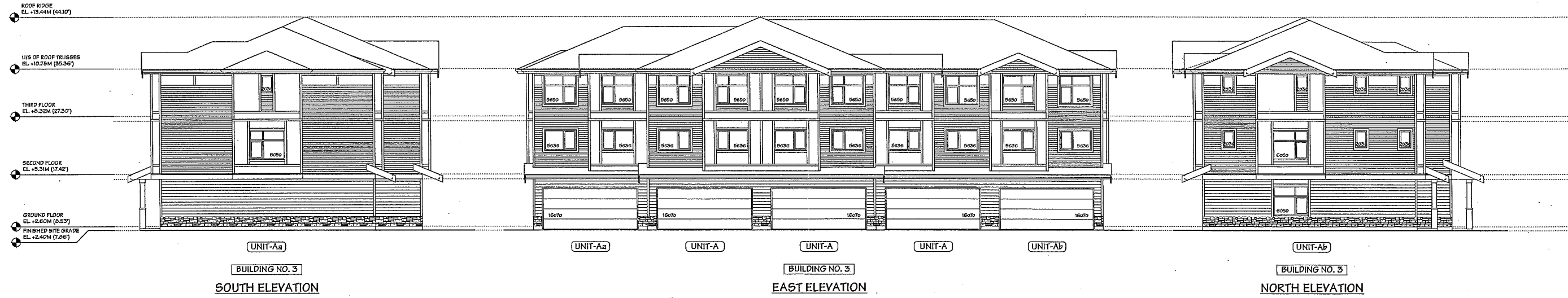
SCALE 1/8" = 1'-0"	SHEET NO.
DATE OCT. 2, 2014	
DRAWN KM	DP 15-700370
CHECKED	PROJ. NO. 1413

PLAN #5

Plan #5

APR 13 2016

DP 15-700370



	MAR. 10, 2016	MATERIAL REVISED
	FEB. 3, 2016	GENERAL REVISIONS
	OCT. 6, 2015	ISSUED FOR A.D.P.
	MAY 14, 2015	ISSUED FOR D.P. APPLICATION
	MAR. 23, 2015	GENERAL REVISIONS
	NOV. 4, 2014	ISSUED FOR REZONING
NO.	DATE	REVISIONS
CONSULTANT		

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

9560 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

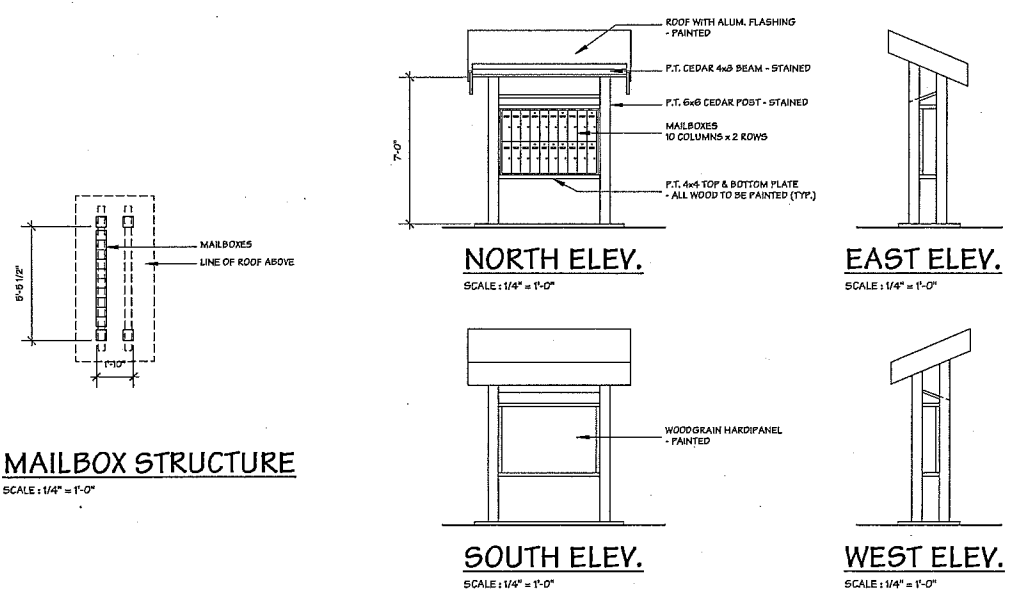
202 - 33 East 8th Avenue, Vancouver, B.C.
V6T 1R5 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE
ELEVATIONS

SCALE	1/8" = 1'-0"	SHEET NO.	
DATE	OCT. 2, 2014		
DRAWN	KM	DP 15-700370	
CHECKED		PROJ. NO.	1413

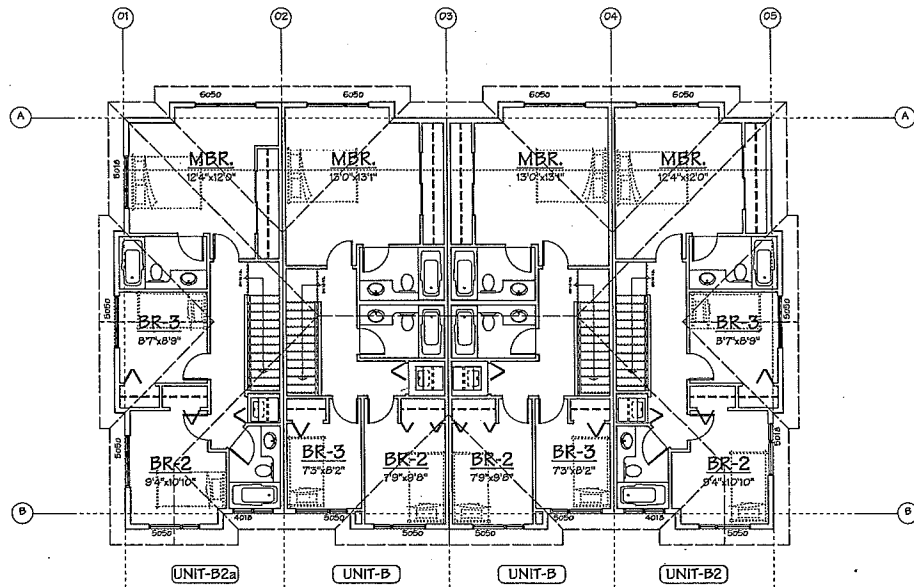
PLAN #6

Plan #6

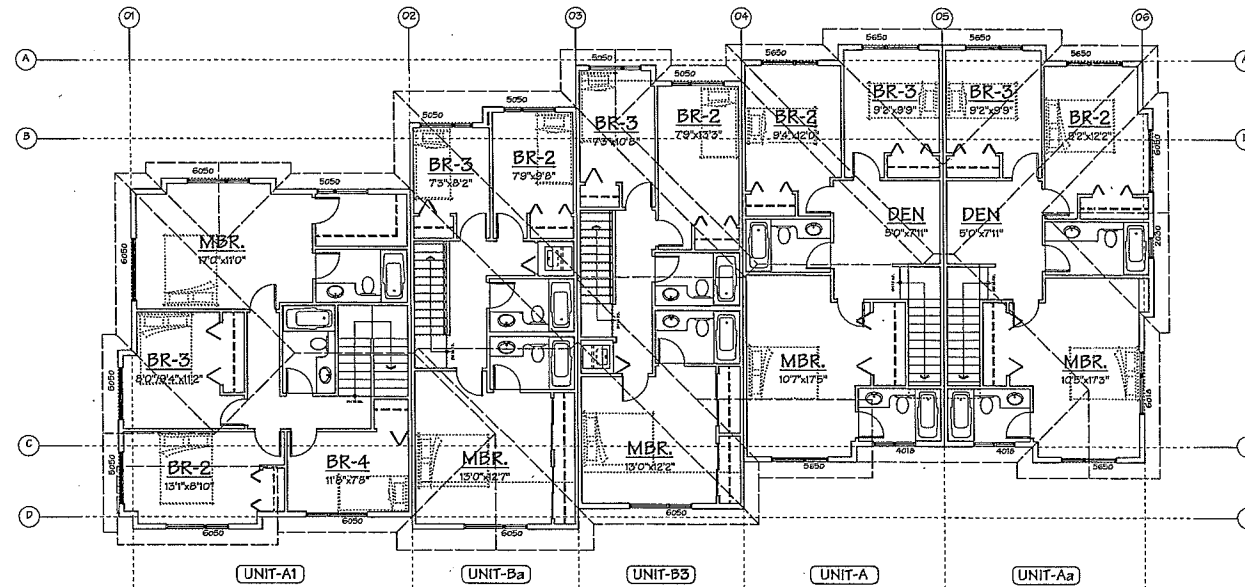


COLOUR SCHEME	
ROOF:	IKO / CAMBRIDGE 30 / CHARCOAL
FASCIA BD. & DOOR/WINDOW TRIM:	BENJAMIN MOORE / HC-169 (COVENTRY GRAY)
GABLE ACCENT WALL (HARDIPANEL SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
ACCENT WALL (HARDIPANEL):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
SECOND & UPPER FLOOR WALL (HARDIPANEL SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
GROUND FLOOR WALL (HARDIPANEL SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (IRON GRAY)
GR. FLOOR ACCENT (CULTURED STONE W/STONE SILL):	BORAL PKO-RT ALPINE LEDGESTONE (BLACK MOUNTAIN)
MAIN ENTRY DOOR:	BENJAMIN MOORE / OC-32 (TAPESTRY BEIGE)
REAR ENTRY/ELEC. ROOM DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
GARAGE DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
GARS./RECYCLING ROOM DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
FLASHINGS & PORCH POSTS:	BENJAMIN MOORE / HC-169 (COVENTRY GRAY)
FENCE:	METAL "WHITE"
RAILINGS/GUARDRAILS:	METAL "WHITE"

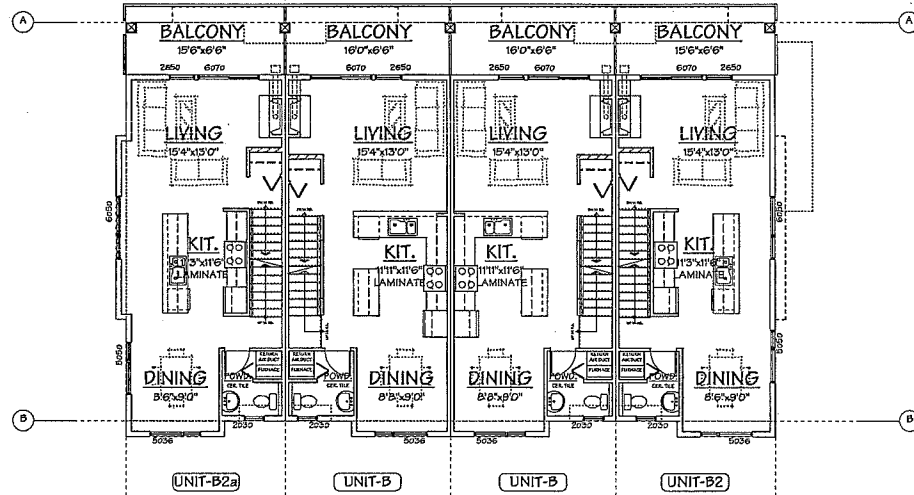
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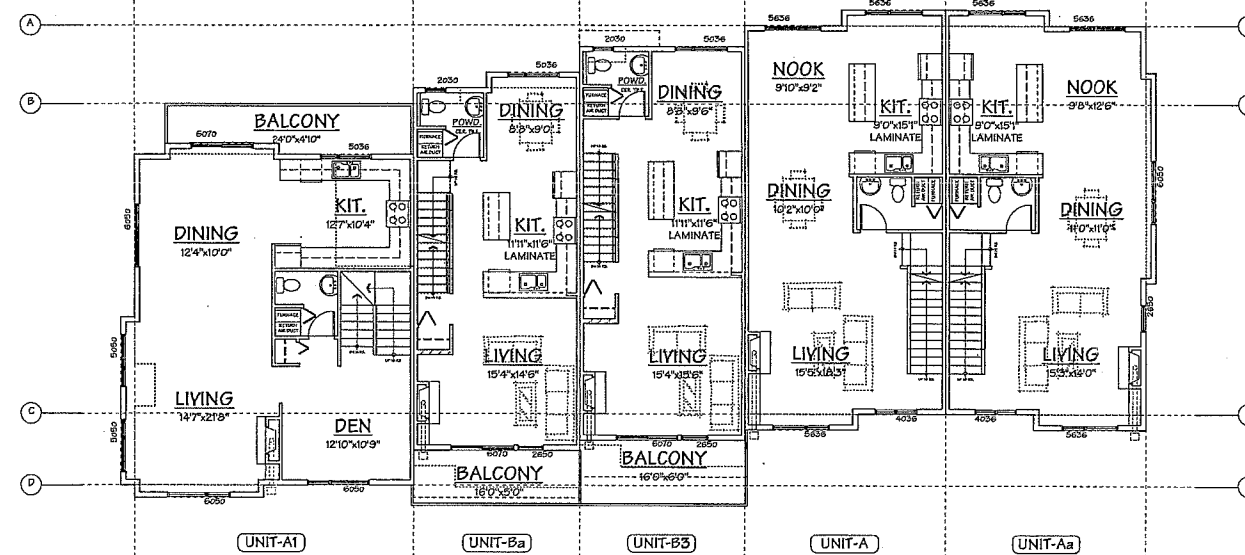
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



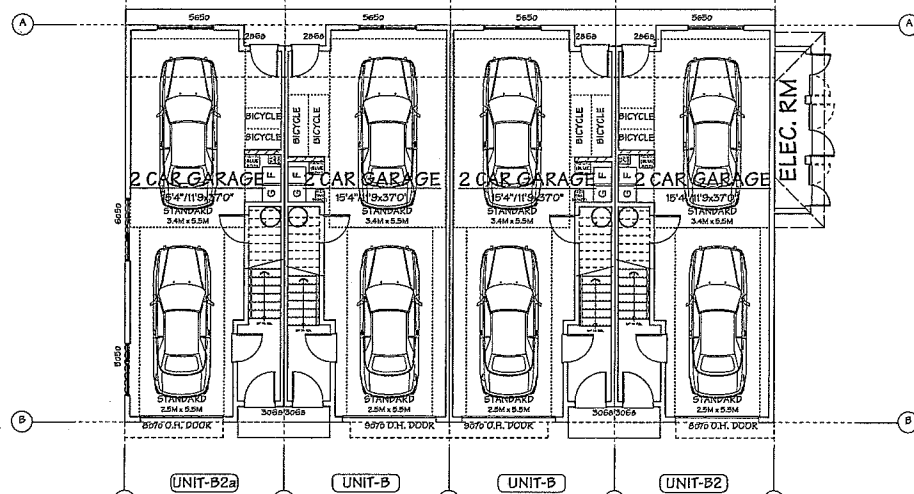
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



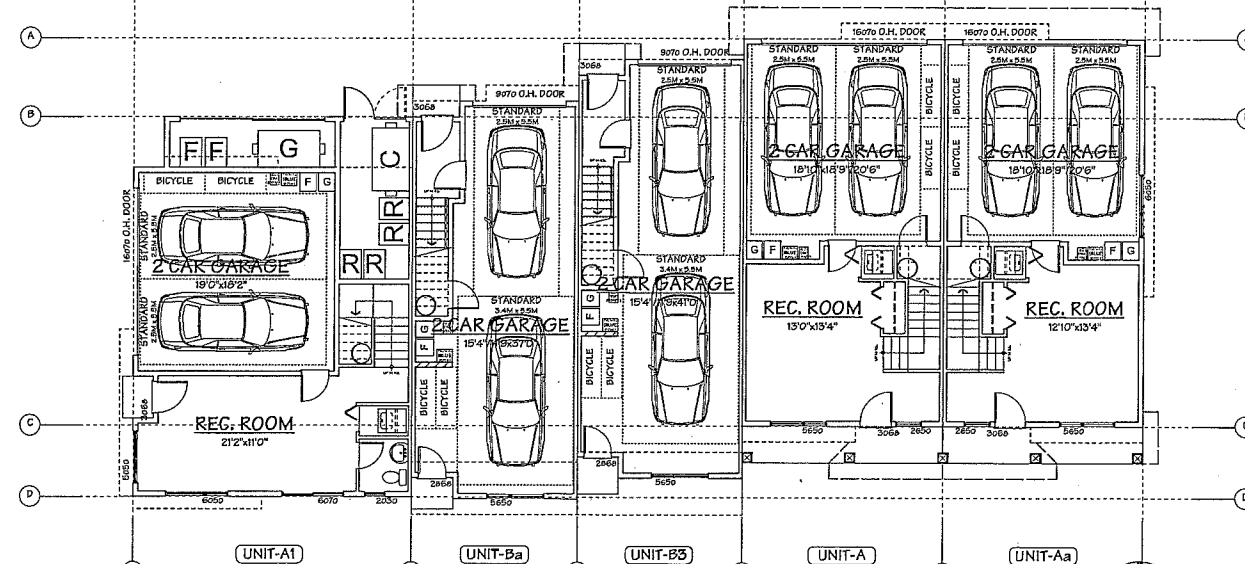
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

**AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):**

- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- STAIRWELL HANDRAILS

**SUSTAINABILITY FEATURES
(TO BE PROVIDED IN ALL UNITS):**

- DOUBLE GLAZED VINYL FRAMED WINDOW W/LOW E GLASS (TYP.)
- WATER EFFICIENT TOILETS

NO.	DATE	REVISIONS
MAR. 10, 2016	MATERIAL REVISED	
FEB. 3, 2016	GENERAL REVISIONS	
OCT. 6, 2015	ISSUED FOR A.D.P.	
MAY 14, 2015	ISSUED FOR D.P. APPLICATION	
MAR. 23, 2015	GENERAL REVISIONS	
NOV. 4, 2014	ISSUED FOR REZONING	

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20 UNIT TOWNHOUSE
DEVELOPMENT

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202 - 23 East 8th Avenue, Vancouver, B.C.
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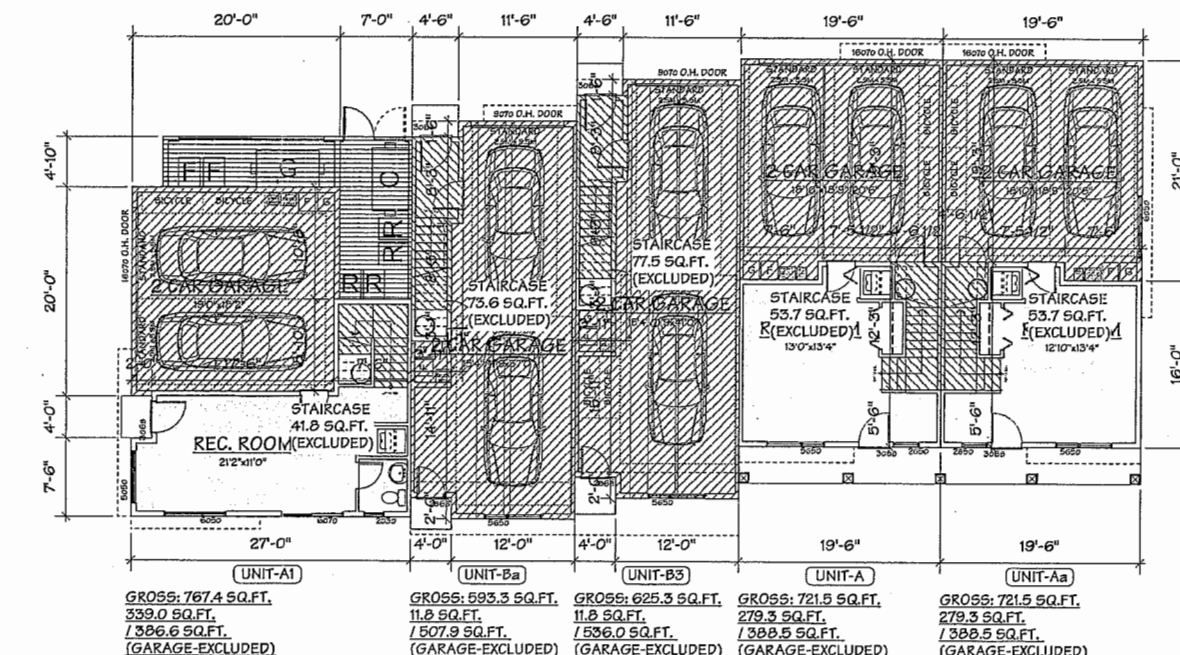
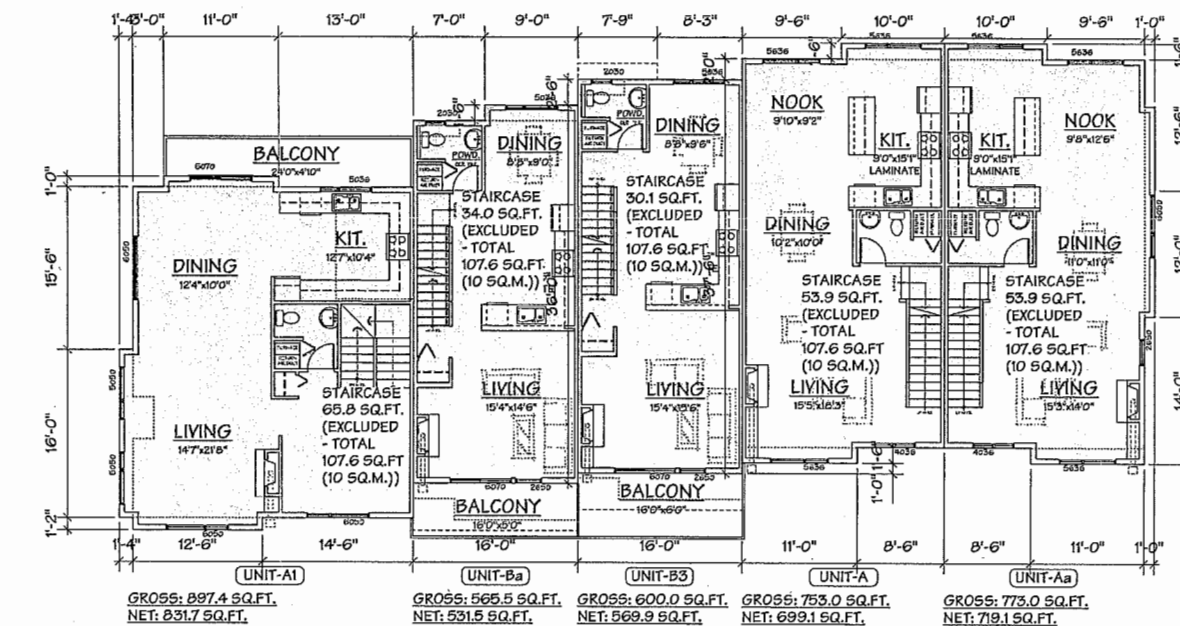
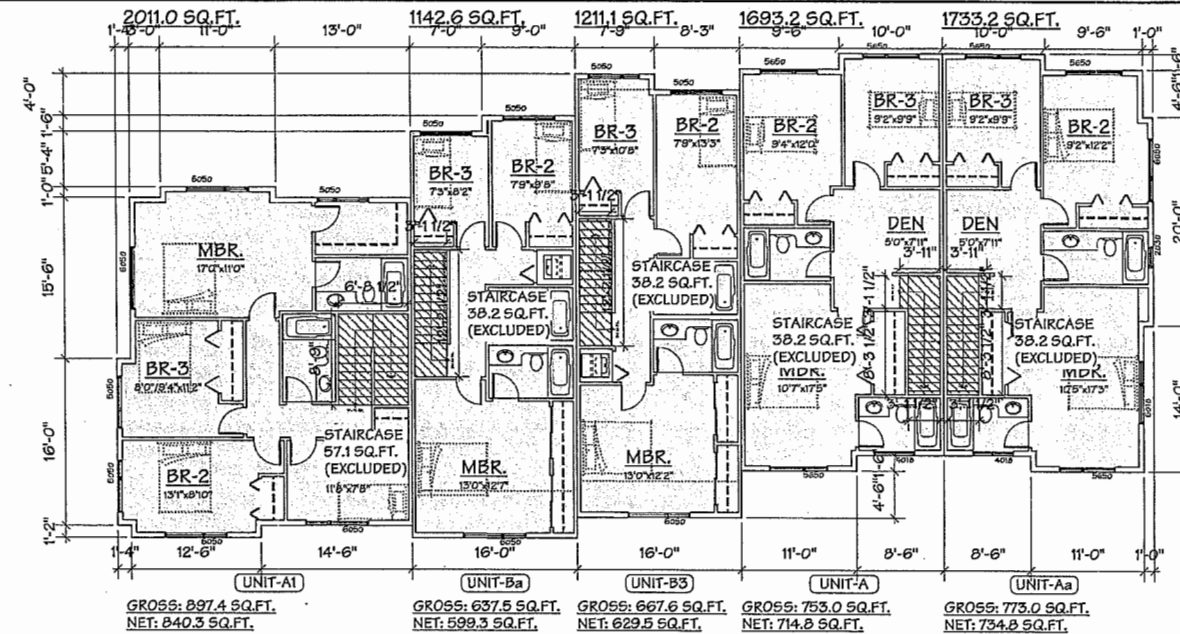
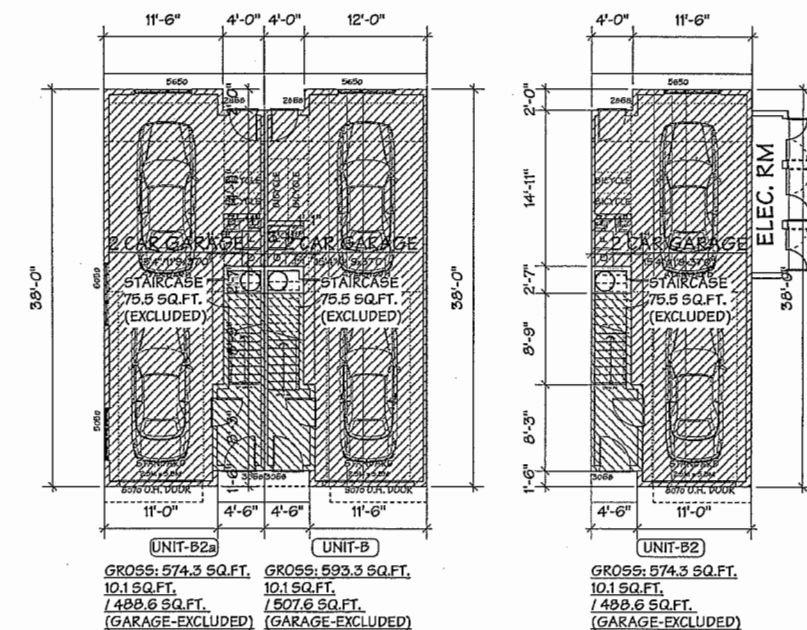
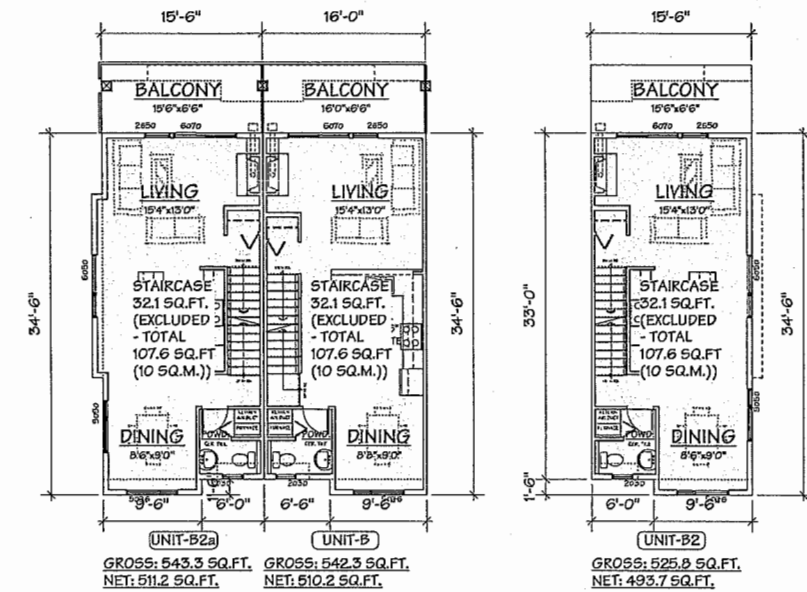
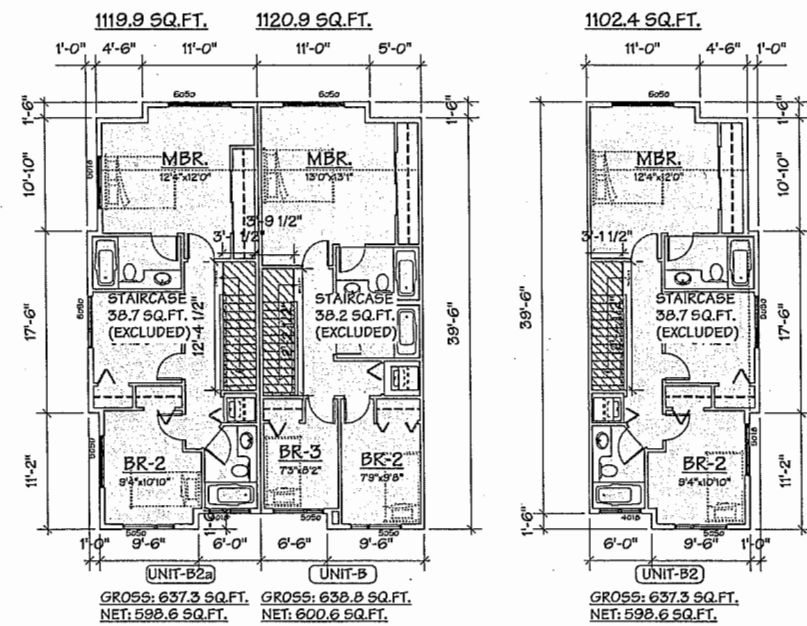
DRAWING TITLE
FLOOR PLANS

SCALE 1/8" = 1'-0"	SHEET NO.
DATE OCT. 2, 2014	
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PLAN #7

Plan #7

APR 13 2016
DP 15-700370



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	FEB. 3, 2016	GENERAL REVISIONS
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	NOV. 4, 2014	ISSUED FOR REZONING
NO.	DATE	REVISIONS
CONSULTANT		

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F.A.R. OVERLAY

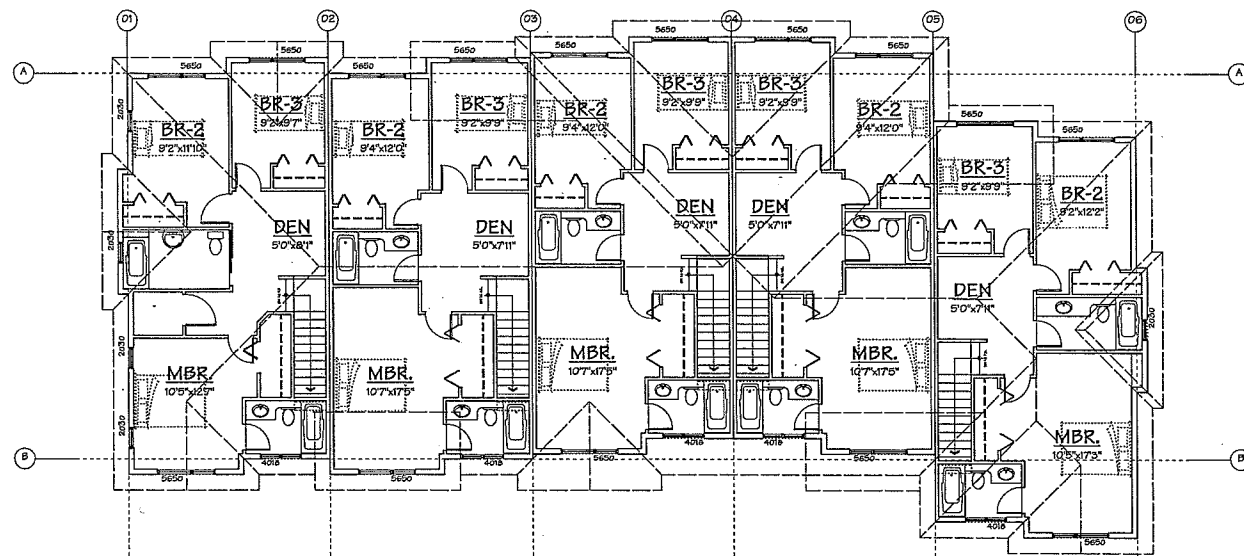
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DATE OCT. 2, 2014	
DRAWN KM	DP 15-700370
CHECKED	PROJ. NO. 1413

PLAN #7a

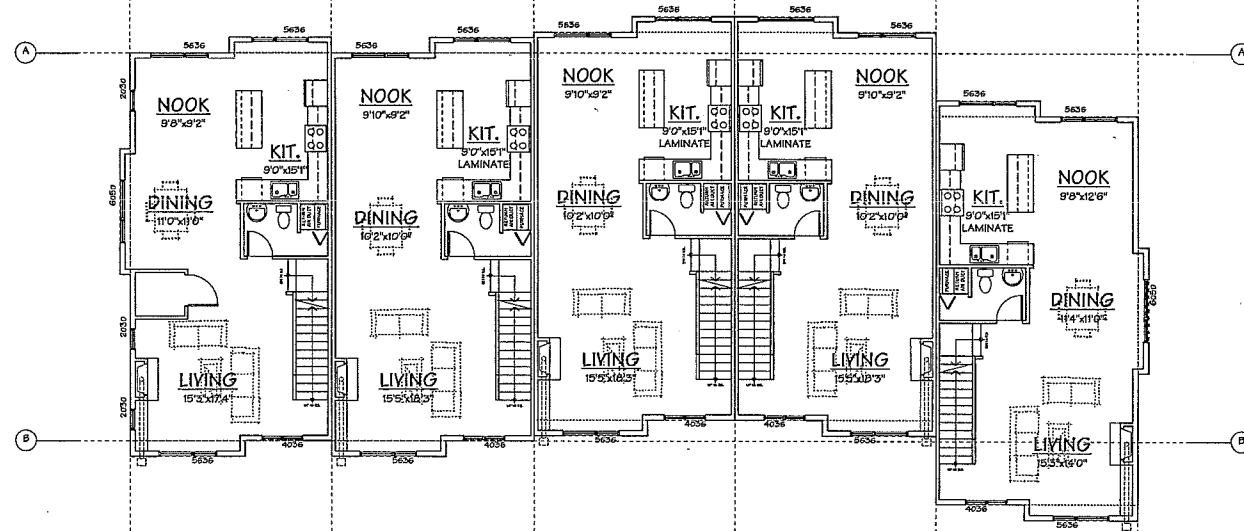
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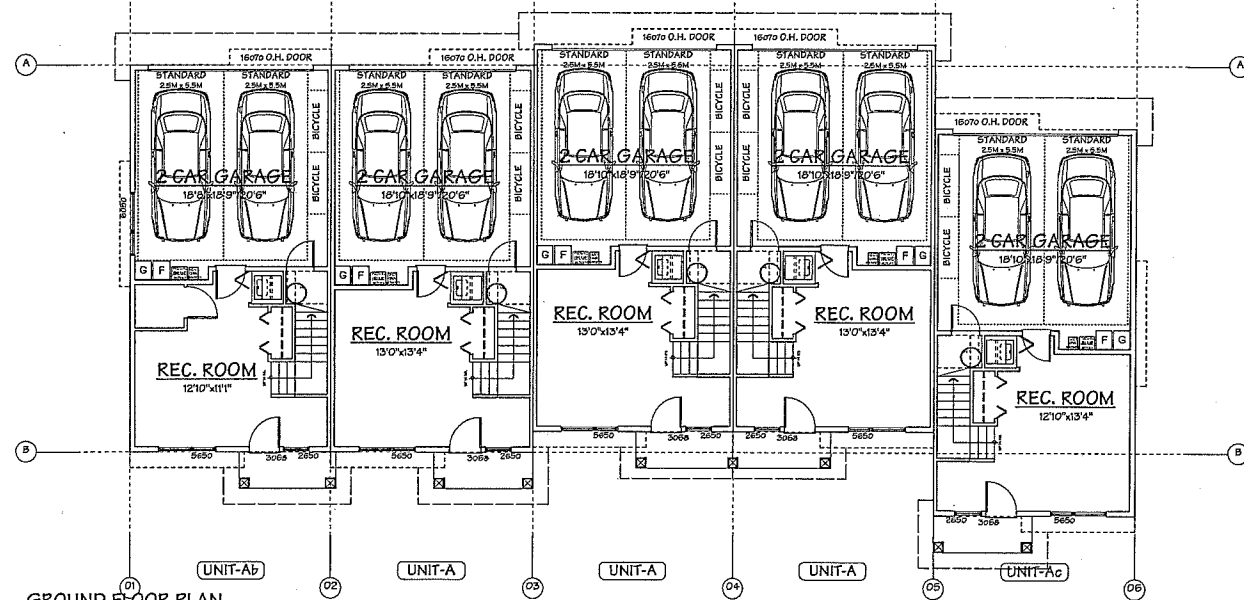
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THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

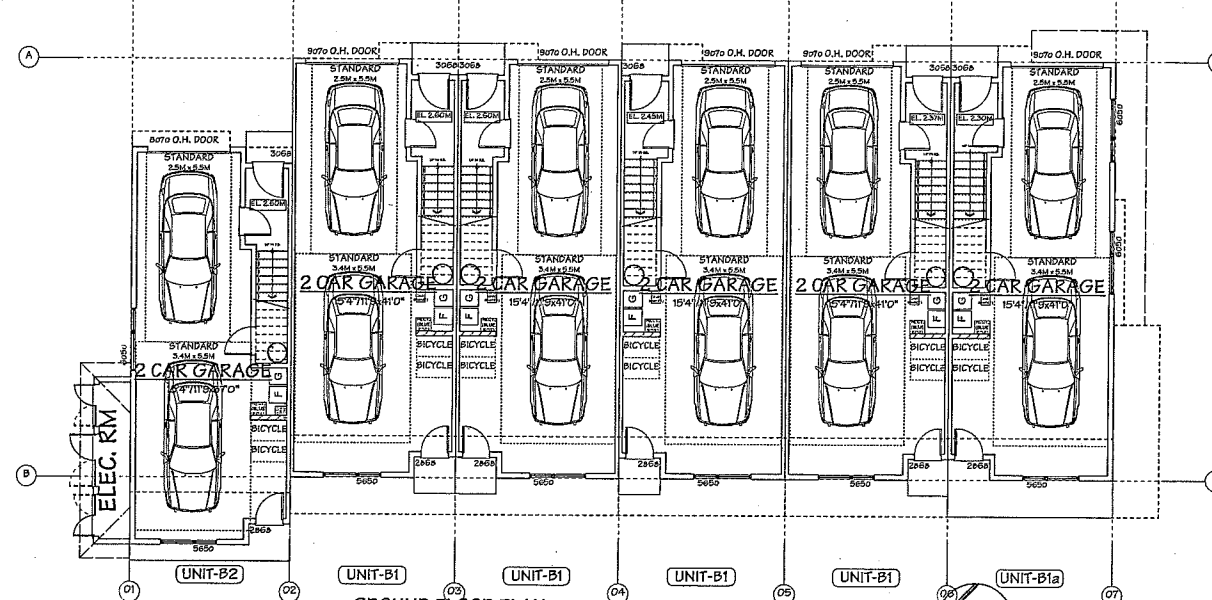
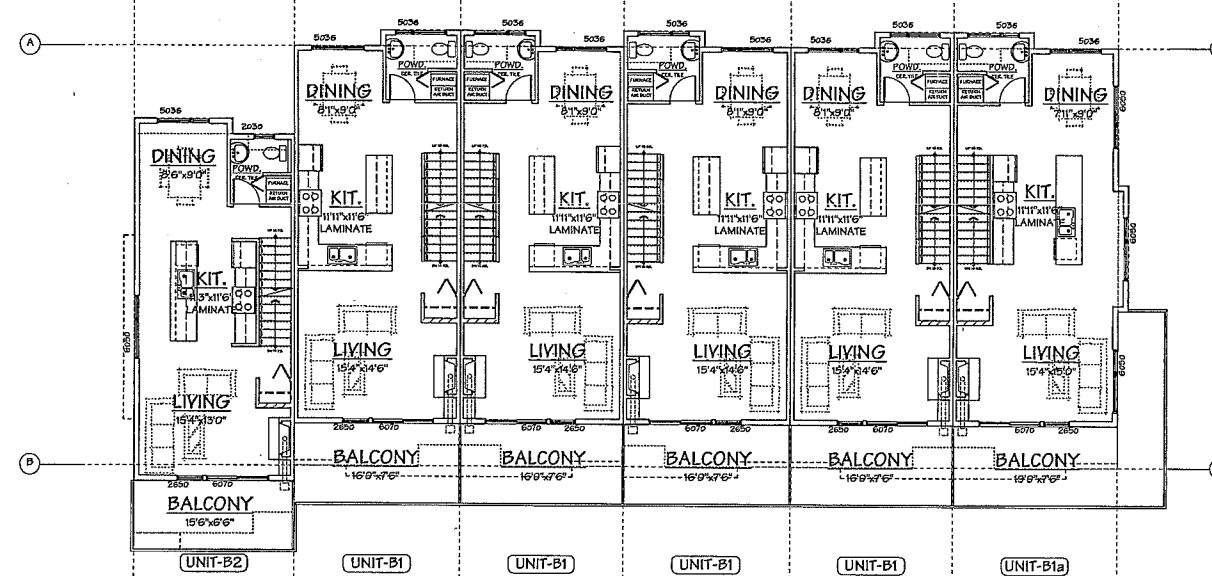
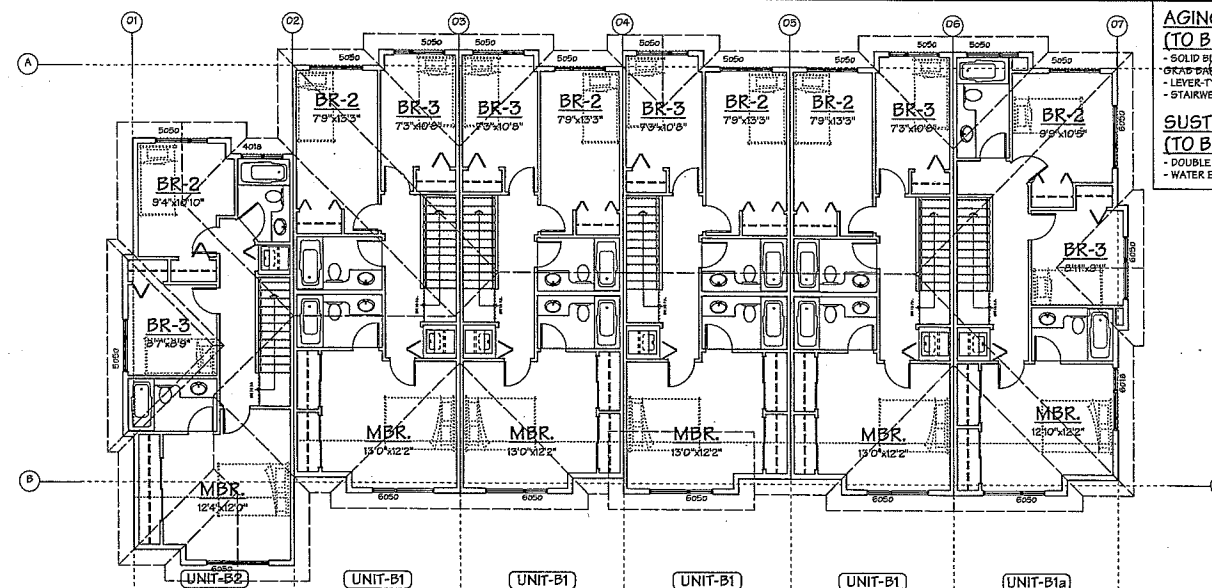


SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 3



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 4

PLAN #8

- AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):**
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
 - LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
 - STAIRWELL HANDRAILS
- SUSTAINABILITY FEATURES
(TO BE PROVIDED IN ALL UNITS):**
- DOUBLE GLAZED VINYL FRAMED WINDOW W/LOW E GLASS (TYP.)
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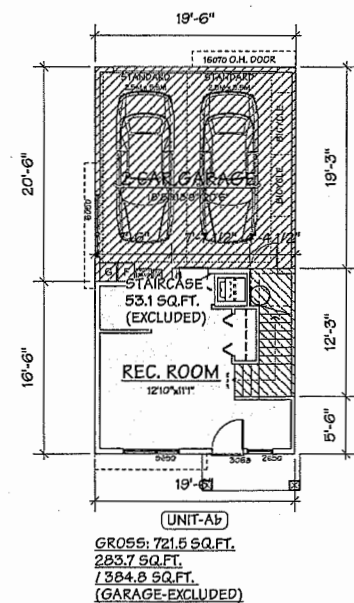
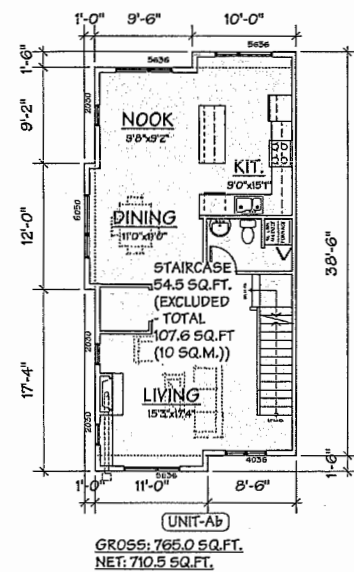
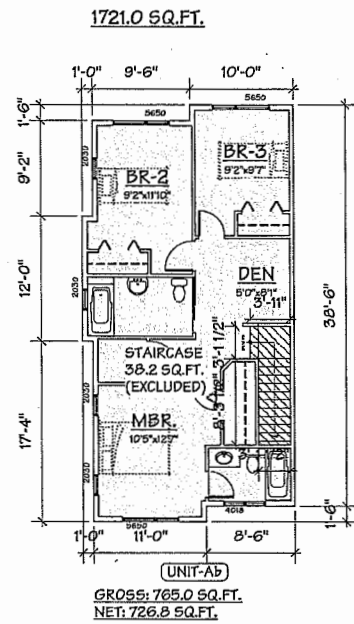
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FLOOR PLANS

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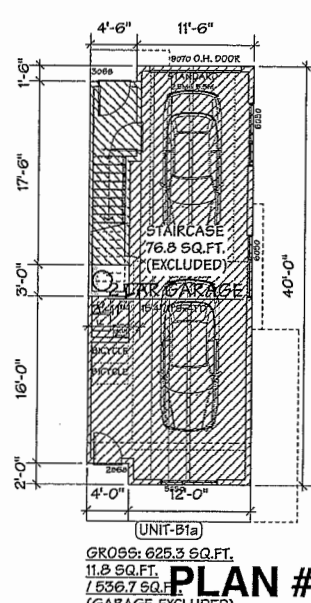
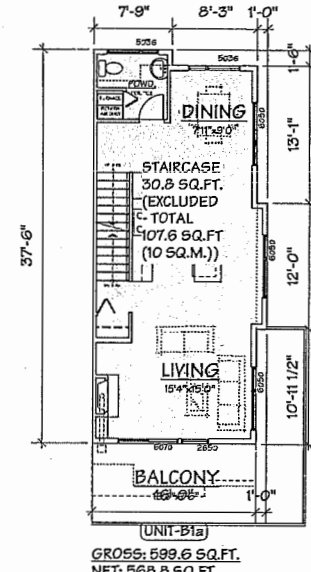
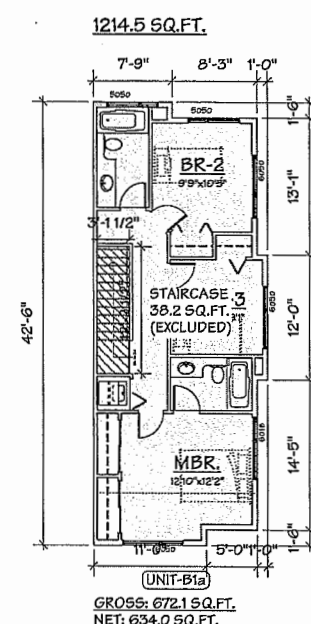
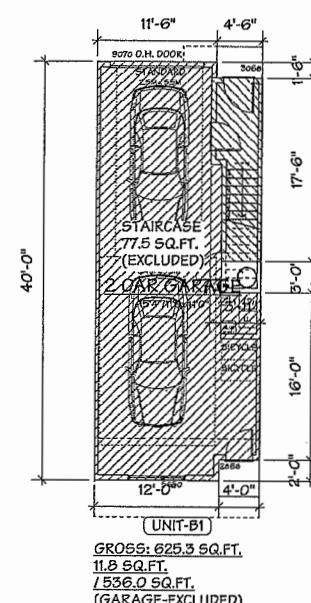
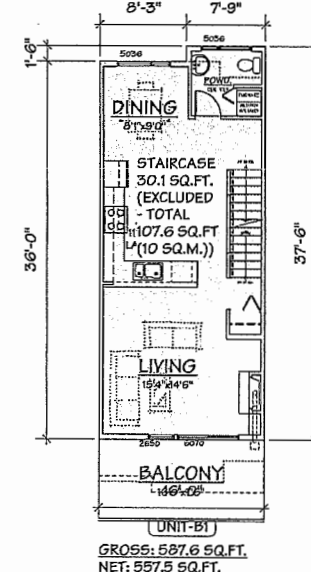
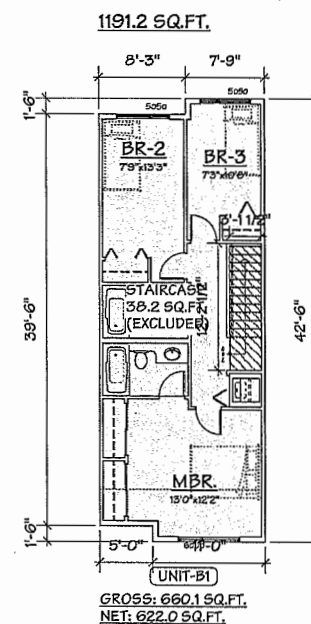
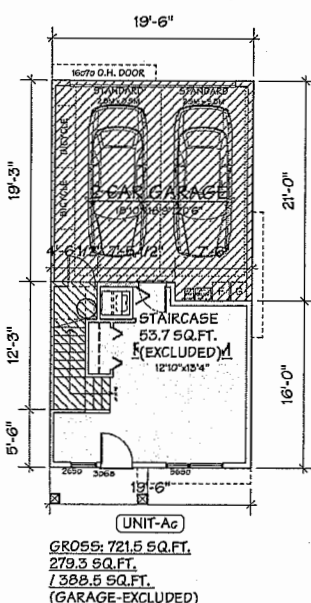
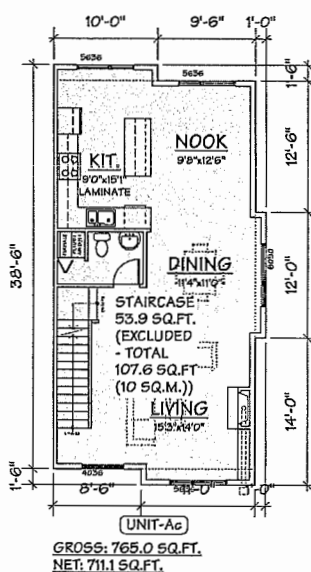
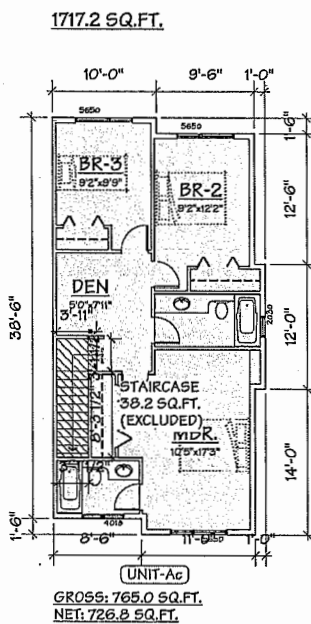
DP 15-700370

Plan #8



F.A.R. CALCULATION :

UNIT:	GROSS AREA:	STAIRS (EXEMPTED AREA):	NET FLOOR AREA:	GARAGE (EXEMPTED AREA):
A-1F	721.5 SF	53.7 SF	279.3 SF	388.5 SF
A-2F	753.0 SF	53.9 SF	699.1 SF	
A-3F	753.0 SF	38.2 SF	714.8 SF	
	2227.5 SF	145.8 SF	1693.2 SF	
Aa-1F	721.5 SF	53.7 SF	279.3 SF	388.5 SF
Aa-2F	773.0 SF	53.9 SF	719.1 SF	
Aa-3F	773.0 SF	38.2 SF	734.8 SF	
	2267.5 SF	145.8 SF	1733.2 SF	
Ab-1F	721.5 SF	53.1 SF	283.7 SF	384.8 SF
Ab-2F	765.0 SF	54.5 SF	710.5 SF	
Ab-3F	765.0 SF	38.2 SF	726.8 SF	
	2251.5 SF	145.8 SF	1721.0 SF	
Ac-1F	721.5 SF	53.7 SF	279.3 SF	388.5 SF
Ac-2F	765.0 SF	53.9 SF	711.1 SF	
Ac-3F	765.0 SF	38.2 SF	726.8 SF	
	2251.5 SF	145.8 SF	1717.2 SF	
At-1F	767.4 SF	41.8 SF	339.0 SF	386.6 SF
At-2F	897.4 SF	65.8 SF	831.7 SF	
At-3F	897.4 SF	57.1 SF	840.3 SF	
	2562.2 SF	164.7 SF	2011.0 SF	
B-1F	593.3 SF	75.5 SF	10.15F	507.6 SF
B-2F	542.3 SF	32.1 SF	510.2 SF	
B-3F	638.8 SF	38.2 SF	600.6 SF	
	1774.3 SF	145.8 SF	1120.9 SF	
Ba-1F	593.3 SF	73.6 SF	11.8 SF	507.9 SF
Ba-2F	565.5 SF	34.0 SF	531.5 SF	
Ba-3F	637.5 SF	38.2 SF	599.3 SF	
	1796.3 SF	145.8 SF	1142.6 SF	
B1-1F	625.3 SF	77.5 SF	11.8 SF	536.0 SF
B1-2F	587.6 SF	30.1 SF	557.5 SF	
B1-3F	660.1 SF	38.2 SF	622.0 SF	
	1873.0 SF	145.8 SF	1191.2 SF	
B1a-1F	625.3 SF	76.8 SF	11.7 SF	536.7 SF
B1a-2F	599.6 SF	50.6 SF	568.6 SF	
B1a-3F	672.1 SF	38.2 SF	634.0 SF	
	1897.0 SF	145.8 SF	1214.5 SF	
B2-1F	574.3 SF	75.5 SF	10.15F	488.6 SF
B2-2F	525.8 SF	32.1 SF	493.7 SF	
B2-3F	637.3 SF	38.7 SF	598.6 SF	
	1737.3 SF	146.3 SF	1102.4 SF	
B2a-1F	574.3 SF	75.5 SF	10.15F	488.6 SF
B2a-2F	543.3 SF	32.1 SF	511.2 SF	
B2a-3F	637.3 SF	38.7 SF	598.6 SF	
	1754.9 SF	146.3 SF	1119.9 SF	
B3-1F	625.3 SF	77.5 SF	11.8 SF	536.0 SF
B3-2F	600.0 SF	30.1 SF	569.9 SF	
B3-3F	667.6 SF	38.2 SF	629.5 SF	
	1892.9 SF	145.8 SF	1211.1 SF	



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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

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F.A.R. OVERLAY

SCALE 1/8" = 1'-0"	SHEET NO.
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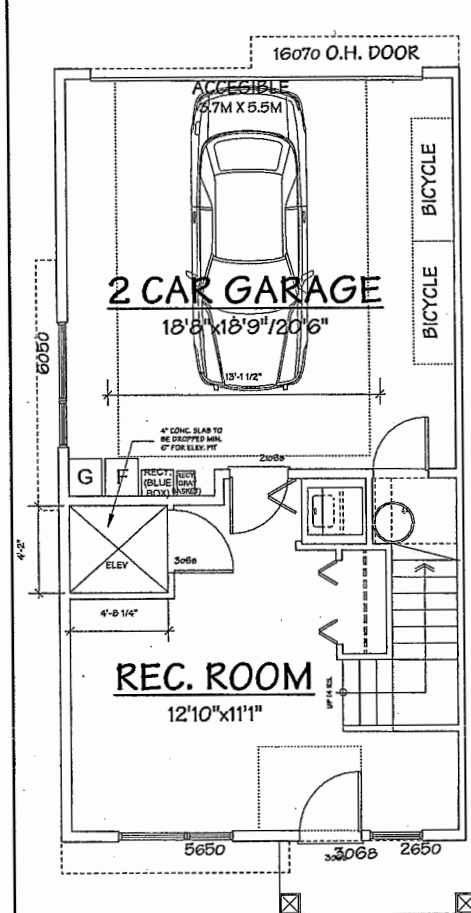
Plan #8a

APR 13 2016

DP 15-700370

AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- STAIRWELL HANDRAILS

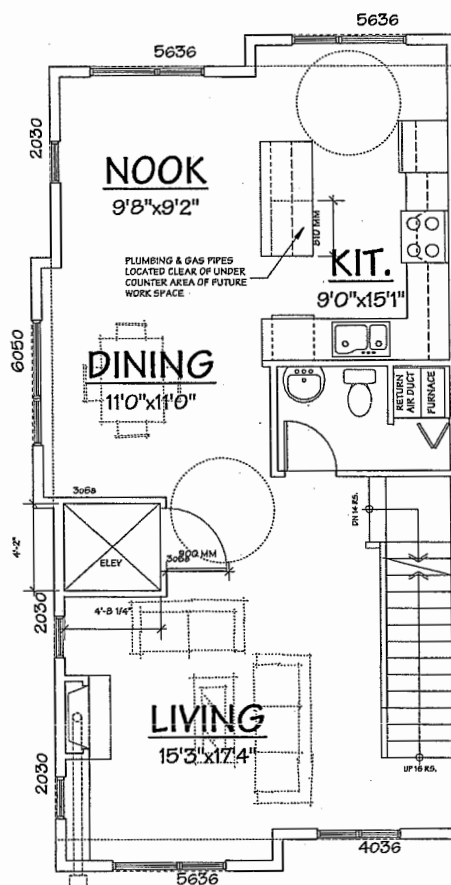
SUSTAINABILITY FEATURES
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- DOUBLE GLAZED VINYL FRAMED WINDOW W/LOW E GLASS (TYP.)
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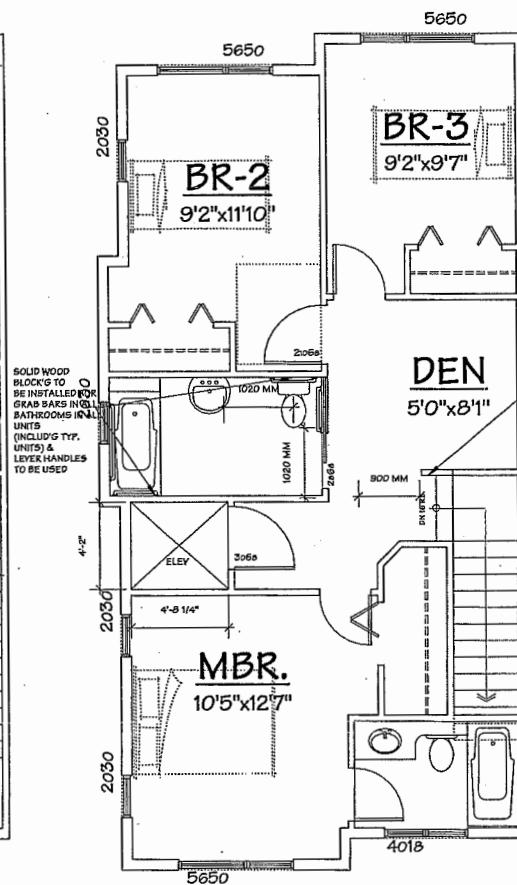
UNIT-A6

ALT. UNIT A6 CONVERTIBLE PLAN

SCALE: 1/4" = 1'-0"



UNIT-A6



UNIT-A6

CHECKLIST - CONVERTIBLE UNIT FEATURES		
DOORS & DOORWAYS	ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.	COMPLIES.
	ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER).	ROUGH IN WIRING PROVIDED.
	INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS	COMPLIES.
	PATIO/BALCONY MIN. 800 MM CLEAR OPENING. NOTE HOW ACCESSED.	COMPLIES.
VERTICAL CIRCULATION	ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.	COMPLIES.
	LEVER-TYPE HANDLES FOR ALL DOORS.	COMPLIES.
	STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. OR VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS	COMPLIES.
	FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.	COMPLIES.
HALLWAYS	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.	COMPLIES.
GARAGE	MIN. 900 MM WIDTH.	COMPLIES.
BATHROOM (MIN. 1)	MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.	COMPLIES.
	ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.	COMPLIES.
	TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.	COMPLIES.
	WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.	COMPLIES.
KITCHEN	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.	COMPLIES.
	PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.	TO BE PROVIDED.
	CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.	COMPLIES.
	DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).	COMPLIES.
WINDOWS	CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.	COMPLIES.
	CABINETS UNDERNEATH SINK ARE EASILY REMOVED.	COMPLIES.
	1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.	COMPLIES.
	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.	COMPLIES.
OUTLETS & SWITCHES	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)	COMPLIES.
	PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.	TO BE PROVIDED.
	UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.	TO BE PROVIDED.

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DRAWING TITLE

FLOOR PLANS

SCALE 1/4" = 1'-0"	SHEET NO.
DATE MAY 4, 2015	
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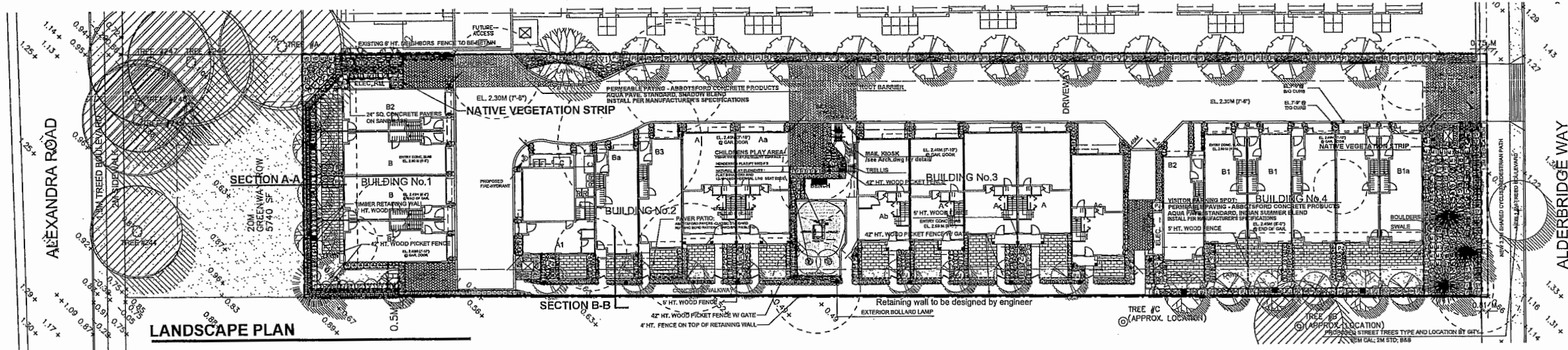
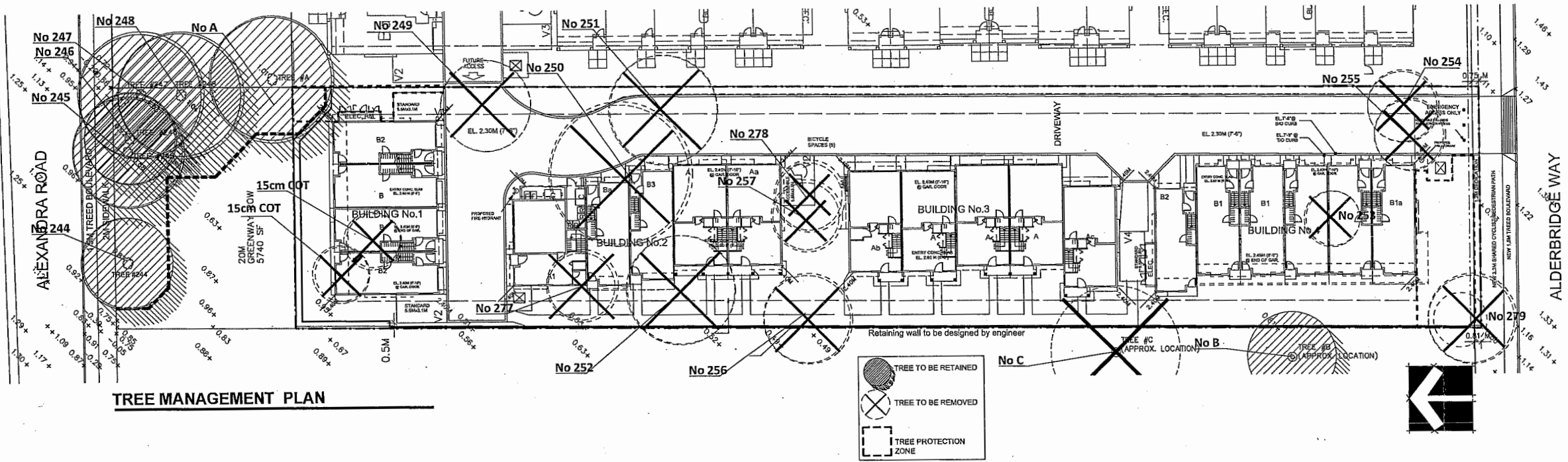
PLAN #9

Plan #9

APR 13 2016

DP 15-700370

SEAL:



PLANT SCHEDULE			
PMG PROJECT NUMBER: 14-150			
KEY	QTY	BOTANICAL NAME	COMMON NAME
11	1	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE
1	1	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE
15	1	MAGNOLIA SOULANGIANA 'RUSTICA RUBRA'	RUSTICA RED MAGNOLIA
1	1	PICEA OMORICA	SERBIAN SPRUCE
1	1	STREET TREE LOCATION AND TYPE BY CITY	
5	1	STYRAX JAPONICUS 'PINK CHIMES'	PINK FLOWERED JAPANESE SNOWBELL
104	1	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX
58	1	CORNUS SERICEA 'KELSEY'	DWARF KELSEY DOGWOOD
8	1	HYDRANGEA MACROPHYLLA 'TELLER RED'	BIGLEAF HYDRANGEA 'LACECAP RED'
54	1	NANDINA DOMESTICA 'HARBOUR DWARF'	DWARF HEAVENLY BAMBOO
41	1	PIERIS JAPONICA 'FOREST PLANE'	PIERIS WHITE BLOOMS
71	1	PRUNUS LAURICERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL
71	1	ROSA EXPLORER 'SIMON FRASER'	SIMON FRASER ROSE, MED. PINK
105	1	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA
110	1	TAXUS BACCATA 'FASTIGIATA'	COLUMNAR IRISH YEW
47	1	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR
23	1	VACCINIUM CORYMBOSUM 'BLUE CROP'	BLUE CROP EDIBLE BLUEBERRY
5	1	VIORNIUM P.T. 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM
GRASS	116	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS
6	1	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS
136	1	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS
PERENNIAL	29	HEMEROCALLIS 'RED MAGIC'	DAYLILY, RED AND YELLOW
3	1	HOSTA 'RED OCTOBER'	HOSTA, RED STEMS, 12" HT.
55	1	LAVENDULA ANGSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER
67	1	LONICERA PILEATA	PRIVET HONEYSUCKLE
26	1	POLYSTICHUM MUNIUM	WESTERN SWORD FERN
30	1	VACCINIUM VITIS-IDAEA	LINGONBERRY

PLANT SCHEDULE - NATIVE VEGETATION STRIP ONLY			
PMG PROJECT NUMBER: 14-150			
KEY	QTY	BOTANICAL NAME	COMMON NAME
3	1	ACER CIRCINATUM	VINE MAPLE
2	1	CORNUS NUTTALLII	PACIFIC DOGWOOD
2	1	PSEUDOTSUGA MENZIESII	DOUGLAS FIR
35	1	MAHONIA AQUIFOLIUM	OREGON GRAPE
3	1	ROSA GYMNOCARPA	BALDIP ROSE
55	1	SPIRAEA DOUGLASII	DOUGLAS SPIREA
34	1	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY
35	1	GAULTHERIA SHALLOON	SALAL
18	1	MAHONIA NERVOSA	LONGLEAF MAHONIA
43	1	POLYSTICHUM MUNIUM	WESTERN SWORD FERN

PAVING LEGEND	
	PERMEABLE PAVING - ABBOTSFORD CONCRETE PRODUCTS
	PERMEABLE PAVING - ABBOTSFORD CONCRETE PRODUCTS
	PERMEABLE PAVING - ABBOTSFORD CONCRETE PRODUCTS
	PERMEABLE PAVING - ABBOTSFORD CONCRETE PRODUCTS
	PERMEABLE PAVING - ABBOTSFORD CONCRETE PRODUCTS

CLIENT: SIAM GROUP INVESTMENTS INC.

PROJECT:
20 UNIT TOWNHOUSE DEVELOPMENT

9560 ALEXANDRA ROAD
RICHMOND

WITH YAMAMOTO ARCHITECTURE INC.

DRAWING TITLE:
LANDSCAPE PLAN

DATE: November 2, 2014
SCALE: 1/16"=1'-0"
DRAWN: DD
CHECK: PCM

DRAWING NUMBER:
L1

OF 3

APR 13 2016

DP 15-700370

Plan #10

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pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 5th Creek Drive
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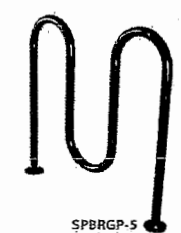
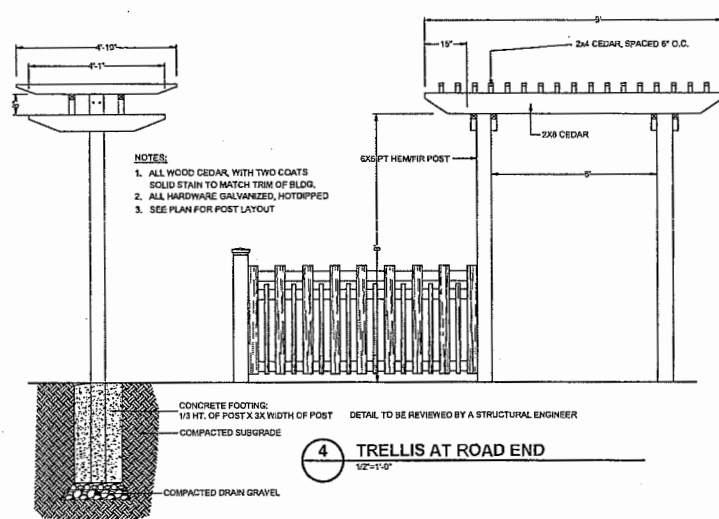
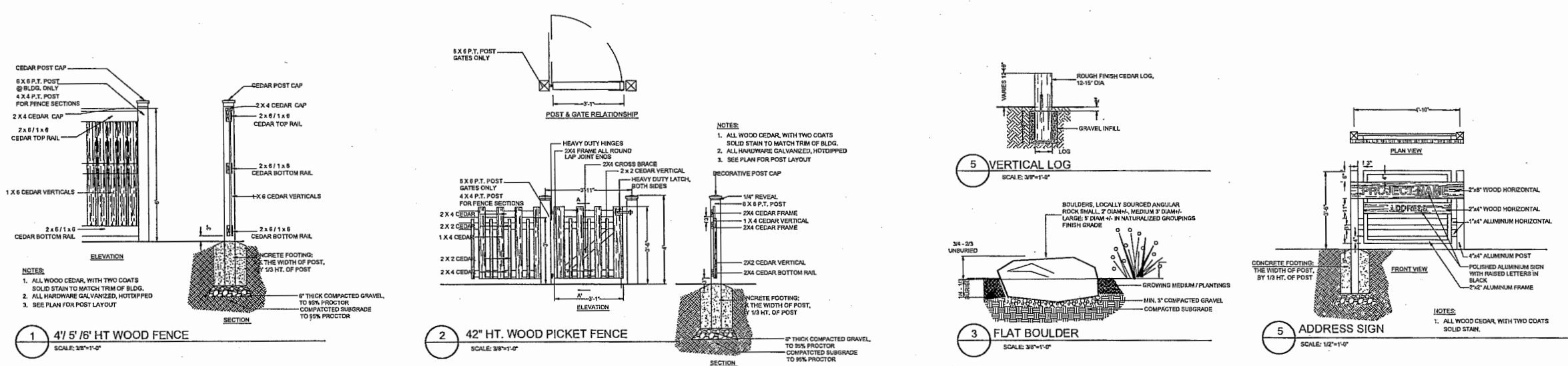
SEAL:

PROJECT:
20 UNIT TOWNHOUSE DEVELOPMENT
9560 ALEXANDRA ROAD
RICHMOND
WITH YAMAMOTO ARCHITECTURE INC.
DRAWING TITLE:
LANDSCAPE DETAILS

DATE: November 2, 2014 DRAWING NUMBER:
SCALE: **L2**
DRAWN: DD
DESIGN: DD
CHKD: FCM
OF 3
PMG PROJECT NUMBER: 14-150

14150 & 2P

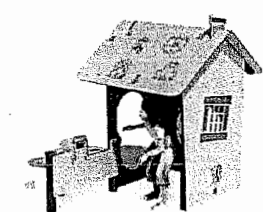
Plan #11



SURF BIKE RACK; MODEL SPBRGP-5; BLACK COLOUR
WISHBONE SITE FURNISHINGS Ph.:604 626 0476



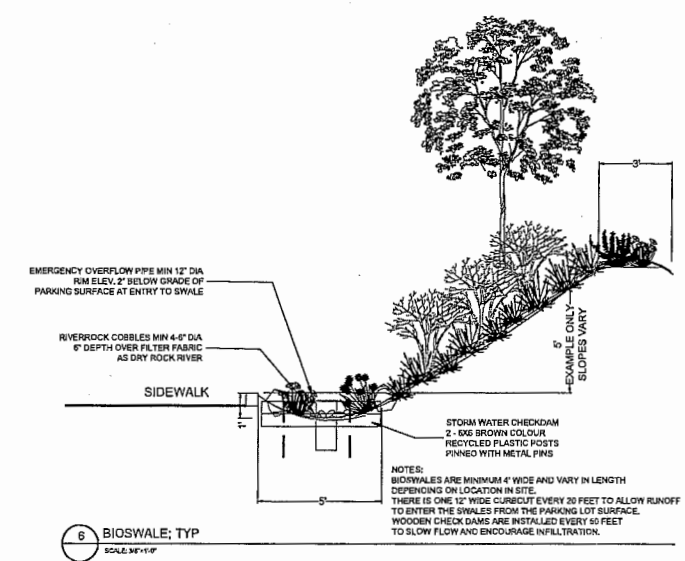
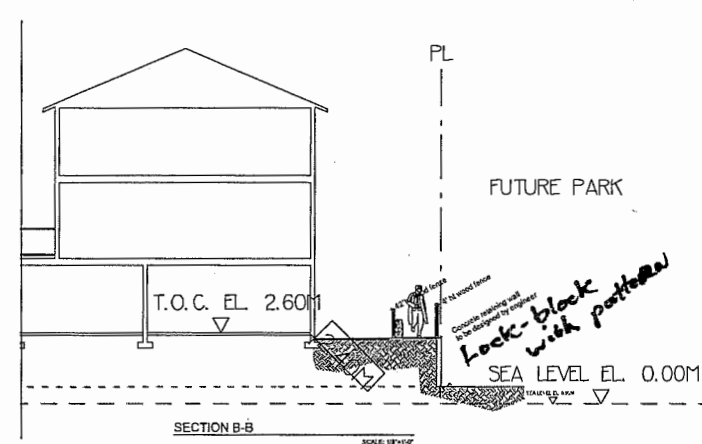
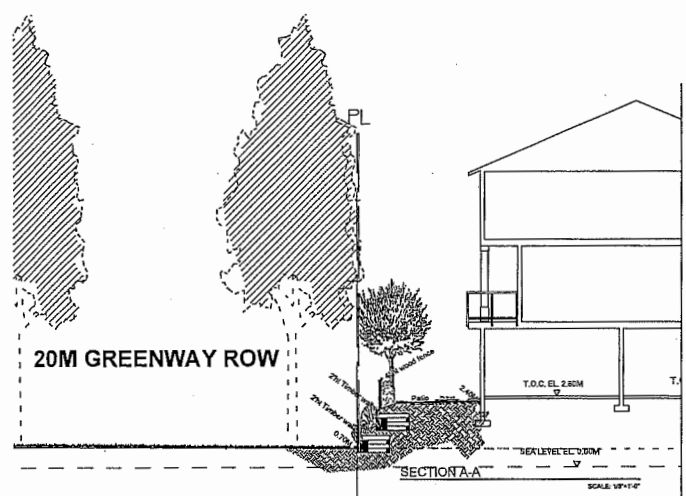
PARKER BENCH PKB-6;
REDWOOD COLOR RECYCLED PLASTIC SLATS;
WISHBONE SITE FURNISHINGS Ph.:604 626 0476
BLACK FRAME



Henderson Protecting Playground Fun
PlayTots; Model PT5002
Ph.: 1-800-265-5462 ext.302



HADCO
ALUMINUM BOLLARD LIGHT
DB30, BLACK COLOUR



APR 13 2016

DP 15-700370

SCALE:

PROJECT:

**20 UNIT TOWNHOUSE
DEVELOPMENT**

9560 ALEXANDRA ROAD
RICHMOND

WITH YAMAMOTO ARCHITECTURE INC.

DRAWING TITLE:

**LANDSCAPE
SPECIFICATIONS**

DATE: November 2, 2014

DRAWING NUMBER:

SCALE:

DRAWN: DO

DESIGN: DO

CHECK: PCM

14150-8.2P

PMG PROJECT NUMBER:

14-150

L3

Plan #10

APR 13 2016

DP 15-700370

PART ONE GENERAL REQUIREMENTS

- 11 REFERENCES**
- 1. CDC Dec 2008
Comply with all articles in the General Conditions of Contract in conjunction with this section unless superseded by other Contract Documents.
 - 2. B.C. Landscape Standard, 2010 edition, prepared by the B.C. Society of Landscape Architects and the B.C. Landscape & Nursery Association, jointly. All work and materials shall meet standards as set out in the B.C. Landscape Standard unless superseded by this specification or as directed by Landscape Architect with written instruction.
 - 3. MASTER MUNICIPAL SPECIFICATIONS & STANDARD DETAILS, 2010 edition, prepared by the Consulting Engineers of British Columbia, Road Builders and Heavy Construction Association, and the Municipal Engineers Division
 - 4. STANDARD FOR LANDSCAPE IRRIGATION SYSTEM, 2008, Prepared by the Irrigation Industry Association of British Columbia.
 - 5. MUNICIPAL BYLAWS AND ENGINEERING SPECIFICATIONS WHERE NOTED.
- 12 TESTING**
- 1. A current (not more than one month) test for all growing medium to be used on this site is required. Provide and pay for testing by an independent testing facility pre-approved by the Landscape Architect. Deliver growing medium test results to Landscape Architect for review and approval prior to placement. Refer to Section 3.3 Growing Medium Testing for procedure.
 - 2. Owner reserves the right to test or re-test materials. Contractor responsible to pay for testing if materials do not meet specification.
- 13 SUBSTITUTIONS**
- 1. Any alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect.
 - 2. Substitutions to consist of product sample or manufacturer's product description.
- 14 SITE REVIEW**
- 1. Under the terms of the Landscape Architect's Contract with the Owner and where the Landscape Architect is the designated reviewer, the Landscape Architect will observe construction as it is necessary to their opinion to confirm conformance to the plans and specifications. Contact Owner Representative to arrange for site observation at the appropriate times. Allow two days notice. Observation schedule may include but will not be limited to the following:
 - 1. Start Up Site Meeting, General Contract Prior to any site disturbance, a meeting with the general contractor to review pre-construction issues, general landscape issues and material requirements.
 - 2. Start Up Site Meeting, Landscape Contract (if separate) at the start of work with Owner's Representative, Site Superintendent and Landscape Contractor, meeting to be held in presence expected work and to verify the acceptability of the substrate and general site conditions to the Landscape Architect. Provide growing medium test results for this meeting.
 - 3. Progress Site Visits: To observe materials and workmanship as necessary during the course of the work. Review of different aspects of the work may be dealt with on any single visit. Such elements may include: Site Layout, Rough Grading, Growing Medium - quality, depth, finish grading, drainage and other drainage materials, Lanes or Grass areas, Planting - plant material including irrigation with suppliers, nursery inspections, plant sizes, quality, quantity, planting practice and layout, tree support, Mulch, Irrigation Systems, Play Equipment, Site Furniture, and other elements of the site development where the Landscape Architect is the designated reviewer such as Pedestrian Paving, Fencing, Non-structural walls and stairs, Soil Paving.
 - 4. Substantial Performance Review of all work, accounting of all substitutions, definitions, plant counts, preparation of deficiency list, and recommendations for completion.
 - 5. Certificate of Completion Upon the completion of Substantial Performance, a recommendation for the Certificate of Completion will be made to the Payment Certificate as defined in the contract.
 - 6. Deficiency Review Prior to the completion of the Substantial Performance, check for completion of deficiencies. Once completed, a Schedule "C" will be issued where required.
 - 7. Warranty Review Prior to the completion of the warranty period for 1-11 months after issuance of the Certificate of Completion, review all warranty material and report recommendations for warranty replacement.
- 15 WORKMANSHIP**
- 1. Unless otherwise instructed in the Contract Documents, the preparation of the substrate shall be the responsibility of the General Contractor. Placement of growing medium constitutes acceptance of the substrate by the Landscape Architect. Any subsequent correction to the substrate required are the responsibility of the Landscape Contractor.
 - 2. All work and workmanship shall be performed by personnel skilled in landscape contracting. In addition, all personnel applying herbicides and/or pesticides shall hold a current license issued by the appropriate authorities.
 - 3. A site visit is required to become familiar with site conditions before bidding and before start of work.
 - 4. Confirm location of all services before proceeding with any work.
 - 5. Notify Landscape Architect of any discrepancies. Obtain approval from Landscape Architect prior to deviating from the plans.
 - 6. Take appropriate measures to avoid environmental damage. Do not dump any waste materials into water bodies. Conform with all federal, provincial and local statutes and guidelines.
 - 7. Collect and dispose of all debris and/or excess material from landscape operations. Keep paved surfaces clean and repair damage resulting from landscape work. Repairs are to be completed prior to final acceptance.
 - 8. Where new work contacts with existing, and where existing work is affected, make good to match existing undisturbed condition.
- 16 WARRANTIES**
- 1. Guarantee all materials and workmanship for a minimum period of one full year from the date of Certificate of Completion.
 - 2. Refer to individual sections for specific warranties.

PART TWO SCOPE OF WORK

- 21 SCOPE OF WORK**
- 1. Other conditions of Contract may apply. Confirm Scope of Work at time of tender.
 - 2. Work includes supply of all related trees and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally consists of the following:
 - 1. Installation of Existing Trees where shown on drawings.
 - 2. Finish Grading and Landscape Drainage.
 - 3. Supply and placement of growing medium.
 - 4. Testing of imported growing medium and/or site topsoil.
 - 5. Supply and incorporation of additives to meet requirements of soil test and Table One.
 - 6. Preparation of planting beds, supply of plant material and planting.
 - 7. Preparation of rough grass areas, supply of materials and seeding.
 - 8. Preparation of lawn areas, supply of materials and seeding.
 - 9. Supply and placement of bark mulch.
 - 10. Maintenance of planted and seeded/soiled areas until accepted by Owner.
 - 11. SEPARATE PRICE- Establishment Maintenance, Section 3.11.
 - 12. Other work Work other than this list, and specified by Landscape Architect.
- 22 MATERIALS**
- 1. Growing Medium Conform to B.C. Landscape Standard for definitions of imported and on-site topsoil. Refer to Table One below.

TABLE ONE: PROPERTIES OF GROWING MEDIUM FOR LEVEL 2 GROWN AND LEVEL 3 MODERATE AREAS			
Canadian System of Soil Classification Textural Class: "Loamy Sand" to "Sandy Loam"			
Applications	Low Traffic Areas Trees and Large Shrubs	High Traffic Lawn Areas	Planting Areas and Planters
Growing Medium Types	2L	2H	3P
Texture	Percent Of Dry Weight of Total Growing Medium		
Coarse Gravel: Larger than 2.0mm	0 - 1%	0 - 1%	0 - 1%
All Gravel: Larger than 2mm	0 - 5%	0 - 5%	0 - 5%
Percent Of Dry Weight of Growing Medium Excluding Gravel			
Sand: Larger than 0.075mm smaller than 0.425mm	50 - 80%	70 - 90%	60 - 80%
Silt: Larger than 0.075mm smaller than 0.002mm	10 - 25%	0 - 5%	10 - 25%
Clay: smaller than 0.002mm	0 - 25%	0 - 15%	0 - 25%
Clay and Silt Combined	maximum 25%	maximum 15%	maximum 25%
Organic Content Levels	3 - 10%	3 - 5%	10 - 20%
Organic Content Interval	3 - 5%	3 - 5%	15 - 20%
Acidity (pH)	6.0 - 7.0	6.0 - 7.0	4.5 - 6.5
Drainage	Permeability shall be such that no standing water is visible 10 minutes after at least 10 minutes of moderate to heavy rain or irrigation.		

- 1. Fertilizer: An organic and/or inorganic compound containing Nitrogen (N), Phosphorus (P), and Potassium (K) in proportions required by soil test.
- 2. Lime: Ground agricultural limestone. Meet requirements of the B.C. Landscape Standard.
- 3. Organic Additive: Commercial product to be the requirements of the B.C. Landscape Standard, 4th edition and pre-approved by the Landscape Architect. Recommended suppliers: The Answer Garden Products, Fraser Richmond Sales & Fibre, Stream Organics Management.
- 4. Sand: Clean, washed pump sand to meet requirements of the B.C. Landscape Standard.
- 5. Composted Bark Mulch: Must (CPT) when (P)H tested bark chips and fines, free of chunks and sticks, dark brown in colour and free of all soil, stones, roots or other extraneous material. Fresh orange in colour bark will be rejected.
- 6. Herbicides and Pesticides: If used, must conform to all federal, provincial and local statutes. Applies must hold current licenses issued by the appropriate authorities in the Tender price.
- 7. Filter Fabric: A non-biodegradable material or other filtering membrane that will allow the passage of water but not the soil particles. Such as (P)H 16.8 M, (C)H 20.0 M or (C)H 25.0 M or alternate product pre-approved by the Landscape Architect.
- 8. Drainage Piping: If required Schedule 40 PVC nominal sizes.
- 9. Drain Rock: Clean, round, hard, durable, and have a maximum size of 10mm and containing no material smaller than 10mm.
- 10. Plant Material: To the requirements of the B.C. Landscape Standard. Refer to 3.1, Plants and Planting. All plant material must be provided from a certified disease free nursery. Provide proof of certification.
- 11. Soil: Refer to individual sections in this specification.
- 12. Supplier and installers of seepage block walls to provide engineered drawings for all walls signed and sealed drawings for all walls, individually, in excess of 10m, or combinations of walls collectively in excess of 12m. Installations must be reviewed and signed off by Certified Professional Engineer, include cost of engineering services in Tender price.
- 13. Miscellaneous: Any other material necessary to complete the project as shown on the drawings and described herein.

PART THREE SOFT LANDSCAPE DEVELOPMENT

- 31 RETENTION OF EXISTING TREES**
- 1. Prior to any work on site - protect individual trees or plant groupings indicated as retained on landscape plans or vegetation retention areas.
 - 2. In some instances the Landscape Architect will tag trees or areas to retain. Discuss tree retention areas at a start-up meeting with the Landscape Architect.
 - 3. A physical barrier must be installed to delineate clearing boundaries. Refer to physical barrier detail. If detail not provided, comply with local municipal requirements.
 - 4. No machine travel through or within vegetation retention areas or under crown of trees to be retained/retained.
 - 5. Do not strip top soil, construction materials, or excavated materials within vegetation retention areas.
 - 6. Do not park, fuel or service vehicles within vegetation retention areas.
 - 7. No debris fires, clearing fires or trash burning shall be permitted within vegetation retention areas.
 - 8. No excavations, drains or service trenches may any other disruption shall be permitted within vegetation retention areas without a review of the proposed encroachment by the Landscape Architect.
 - 9. Do not cut branches or roots of retained trees without the approval of the Landscape Architect.
 - 10. Any damage to existing vegetation intended for preservation will be subject to evaluation by an A.S.A. Certified Arborist using the "Guide for Plant Appraisal", Eighth Edition.
 - 11. Replacement planting of equivalent value to the disturbance will be required. The cost of the evaluation and of the replacement planting will be the responsibility of the General Contractor and/or the person(s) responsible for the disturbance.
 - 12. In municipalities with specific tree retention/replacement bylaws ensure compliance to bylaws.
 - 13. In situations where required construction may disturb existing vegetation intended for preservation, contact Landscape Architect for review prior to commencing construction.
- 32 GRADES**
- 1. Ensure subgrade is prepared to conform to depths specified in Section 3.3, Growing Medium Supply below. Where planting is indicated close to existing trees, prepare stable planting pockets for retention of trees and/or underground utilities prior to commencing work, which may not be located on drawings or covered work as to prevent interruption of service or damage to them. Protect existing structures and utility services and be responsible for damage caused.
 - 2. On slopes in excess of 3:1 trench subgrade across slope to 150mm (6") minimum at 15m (50') intervals minimum.
 - 3. Scarify the entire subgrade immediately prior to placing growing medium. Re-evaluate where vehicular traffic results in compaction during the construction process. Ensure that all planting areas are suitably enhanced after light compaction to finished grades.
 - 4. Eliminate all standing water from all finished grades. Provide a smooth, firm and even surface and conform to grades shown on the Landscape Drawings. Do not exceed maximum and minimum gradients defined by the B.C. Landscape Standard.
 - 5. Construct swales true to line and grade, smooth and free of rags or high points. Minimum slope 2%, maximum side slopes 30%. Assume positive drainage to collection points.
 - 6. Slope not to exceed the following maximums: Rough Grass 3:1, Lawn 4:1, Landscape plantings 2:1.
 - 7. Retained subgrade elevations at building to comply with municipal requirements.
 - 8. Inform Landscape Architect of completion of finish grade prior to placement of seed, soil, plants or mulch.
- 33 LANDSCAPE DRAINAGE**
- 1. Related Work: Growing medium and Finish Grading, Grass areas, Trees Shrubs and Groundcovers, Planters, City Walls.
 - 2. Work Includes: Site finish grading and surface drainage. Installation of any drainage systems detailed on landscape plans. Note Catch basins shown on landscape plans for coordination only, confirm scope of work prior to bid.
 - 3. Coordinate all landscape drainage work with rest of site drainage. Refer to engineering drawings and specifications for connections and other drainage work.
 - 4. Make sure all drainage work is completed prior to commencing work, which may not be located on drawings or covered work as to prevent interruption of service or damage to them. Protect existing structures and utility services and be responsible for damage caused.
 - 5. Planter drains on site: Refer to Section 3.10, Installing Landscape on Structures.
 - 3. Erosion
 - 1. On finishing and backfilling in accordance with engineering details and specifications.
 - 2. Lay drains on prepared bed. True to line and grade with inverts smooth and free of rags or high points. Ensure barrel of each pipe is in contact with bed throughout full length.
 - 3. Connect pipe to outlet and provide a minimum 1% slope.
 - 4. Lay perforated pipes with perforations at low end and open end.
 - 5. Make joints tight in accordance with manufacturer's directions.
 - 6. Do not allow water to flow through the pipes during construction except as approved by Engineer.
 - 7. Make sure all connections to existing drains, or any existing manholes or culverts are indicated or as directed by Landscape Architect.
 - 8. Play upstream ends of pipes with water tight closed end caps.
 - 9. Surround and cover pipe with drain rock in uniform 150mm layers in various depths as shown in details, minimum 100mm.
 - 10. Cover drain rock with non-woven filter cloth top at edges and across drainage flows.
 - 11. Assume positive drainage.
 - 12. Back fill remainder of trench as indicated.
 - 13. Protect substructure from flotation during installation.
- 34 GROWING MEDIUM TESTING**
- 1. Submit representative sample of growing medium proposed for use on this project to an independent laboratory. Provide test results to Landscape Architect prior to planting. Test results to include:
 - 1. Physical properties, i.e. content of gravel, sand, silt, clay and organic.
 - 2. Acidity (pH) and quantities of lime or sulphur required to bring within specified range.
 - 3. Nutrient levels of phosphate and trace elements and recommendations for required soil amendments.
 - 4. Carbon/Nitrogen level.
- 35 GROWING MEDIUM SUPPLY AND PLACEMENT**
- 1. Supply all growing medium required for the performance of the Contract. Do not load, transport or spread growing medium when it is so wet that its structure is likely to be damaged.
 - 2. Supply all growing medium additives as required by the soil test. Amended growing medium must meet the specification for growing medium as defined in Table One for the various trees.
 - 3. Thoroughly mix required amendments into the full depth of the growing medium.
 - 4. Special mixes may be required for various situations. Refer to drawing notes for instructions.
 - 5. Place the amended growing medium in all grass and planting areas. Spread growing medium in uniform layers not exceeding 1" (25mm), over uniform subgrade free of standing water.
 - 6. Minimum depths of growing medium placed and compacted to 100%:
 - 1. On-grate
 - 1.1 Seeded and sodded lawns - 1" (25mm)
 - 1.2 Grass planted directly in groundcover - 1" (25mm)
 - 1.3 Groundcover only areas, if defined on plan - 1" (25mm)
 - 1.4 Tree & large shrub pits - depth to conform to depth of rootball - width shall be at least twice the width of the root ball with taper sided sides
 - 2. On-Slab
 - 2.1 Irrigated lawns - 1" (25mm)
 - 2.2 Groundcover areas - 1" (25mm)
 - 2.3 Lawn without automatic irrigation - 1" (25mm)
 - 2.4 Shrub & groundcover areas - 1" (25mm)
 - 2.5 Trees and specimen shrubs - 1" (25mm) over columns and/or edge of slab (verify column locations on-site for tree locations)
 - 2.6 Depth noted includes 1" to 2" (25-50mm) sand over filter fabric
 - 2.7 Minimum 1" depth growing medium except where mandated for trees over column points.
 - 7. Minutely spread growing medium/planting soil around existing trees, shrubs and shrubs.
 - 8. In particular seeded grass areas, feather growing medium to nothing at edges and blend into existing grades.
 - 9. Finished grades shall conform to the elevations shown on landscape and site plans.
- 36 ROUGH GRASS AREA - SEEDING**
- 1. General: Rough grass areas are noted on the drawings as "Rough Grass". Treat all areas defined as rough grass between all property lines of the project including all boundaries to edge of roads and lanes.
 - 2. Preparation of Surface: To B.C. Landscape Standard Class 3 Areas (Rough grass) Section 3.1.1.3.
 - 3. Clean existing soil by mechanical means of 100mm over 50mm in diameter.
 - 4. Roughly grade surface to allow for maintenance specified and for surface drainage.
 - 5. Time of Seeding: Seed from early spring (generally April till) to late fall (September 30th) of each year. Further extensions may be obtained at concurrence of the Landscape Architect.
 - 6. Seed Supply & Testing: All seed must be obtained from a recognized seed supplier and shall be No. 1 grass medium delivered in containers bearing the following information:
 - 1. Analysis of the seed mixture
 - 2. Percentage of each seed type
 - 7. Seed Mixture: All varieties shall be rated as strong performers in the Pacific Northwest and are subject to client approval.
 - 1. 70% Creeping Red Fescue
 - 2. 20% Kentucky Bluegrass
 - 3. 5% Solera Perennial Rye
 - 4. 5% Kentucky Bluegrass
 - 8. For Mixture Areas use a mixture of Midwestern withered Fescues (Herbicide Coastal Midwestern) with three Fescue or pre-approved alternate.
 - 9. Fertilizer: Mechanical seeding Apply a complete synthetic slow-release fertilizer with minimum 25% water soluble nitrogen and a formulation ratio of 10-10-10 - 15% sulphur area covered - 100 lbs/2000 sq ft area using a mechanical spreader.
 - 10. Seeding: Apply seed at a rate of 100 lb/10000 sq ft with a mechanical spreader. Incorporate seed into the top 1/4" (6mm) of soil and lightly compact.
 - 11. Acceptance: Provide adequate protection of the seeded areas until conditions of acceptance have been met. Comply with Section 3.7 Hydroseeding.
- 37 HYDROSEEDING**
- 1. May proceed as an alternate to mechanical seeding in rough grass areas.
 - 2. May not be used in areas of lawn unless pre-approved by the Landscape Architect prior to bidding.
 - 3. Preparation and Growing Medium
 - 1. In areas of Rough Grass: Comply with Section 3.4 Rough Grass.
 - 2. Where approved for use in areas of lawn, comply with Section 3.4 Lawn Areas Seeding.
 - 4. Protection: Ensure that fertilizer in solution does not come in contact with foliage of any trees, shrubs, or other susceptible vegetation. Do not spray seed or mix on objects not expected to grow grass. Protect existing site equipment, roadways, reference points, monuments, markers and structures from damage. Where contamination occurs, remove seeding slurry by satisfaction and by means approved by the Landscape Architect.
 - 5. Mulch: Mulch consist of virgin wood fibre or recycled paper fibre designed for hydroseeding and dyed for ease of monitoring application. If using recycled paper material for wood fibre substitute use 100% by weight. Conforms to B.C. Landscape Standard for mulch requirements.
 - 6. Water: Shall be free of any impurities that may have an injurious effect on the success of seeding or may be harmful to the environment.
 - 7. Equipment: Use industry standard hydroseeding/mulch equipment with the tank volume certified by an identification plate or sticker affixed to the side of the tank in the equipment. The hydroseeding/mulch shall be capable of sufficient application to mix the material into a homogeneous slurry and to maintain the slurry in a homogeneous state until it is applied. The discharge pump and gun nozzles shall be capable of applying the materials uniformly over the designated area.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 38 APPLICATION RATE**
- 1. Seed/Mixture: 135 lbs/1000 sq ft (1/2" to 1" depth)
 - 2. Fertilizer: 100 lbs/1000 sq ft
 - 3. Coastal Midwestern Fescue: When specified, apply 100 lbs/1000 sq ft (1/2" to 1" depth)
 - 4. Notes:
 - 1. At the time of Tender provide a complete chart of all components of the mix proposed including mulch, fertilizer, water etc. Sloped sites require fertilizer.
 - 2. Fertilizer:
 - 1. At 1/2" depth: 100 lbs/1000 sq ft
 - 2. At 1" depth: 200 lbs/1000 sq ft
 - 3. Lawn: Where hydroseeding is approved, comply with soil analysis recommendations.
 - 5. Accuracy: measure the quantities of each of the materials to be charged into the tank either by mass or by a commonly accepted system of mass-calibrated volume measurement. The materials shall be added to the tank while it is being filled with water, in the following sequence: seed, fertilizer, thoroughly mix into a homogeneous slurry. After charging, add no water or other material to the mixture. Do not leave slurry in the tank for more than four (4) hours.
 - 6. Distribute slurry uniformly over the surface of the area to be hydroseeded. Blend applications into previous applications and existing grass areas to form uniform surfaces.
 - 7. Clean up: Remove all materials and other debris resulting from seeding operations from the job site.
 - 8. Maintenance: Begin maintenance immediately after seeding and continue for 60 days after Substantial Completion and until accepted by the Owner. Re-seed at three week intervals where germination has failed. Protect seeded areas from damage with temporary wire or twice fences complete with yellow flag grass areas is taken over by the Owner. Water in sufficient quantities to ensure deep penetration and at frequent intervals to maintain vigorous growth until grass is taken over by the Owner. It is the Owner's responsibility to supply water at no extra cost to the Contractor.
 - 9. Acceptance of the Rough Grass Areas: Proper germination of all specified grass species is the responsibility of the Landscape Contractor. The grass shall be reasonably well established, with an apparent seed or bare spots and shall be reasonably free of weeds by B.C. Landscape Standard, Section 10 Maintenance Level 4 (2000 sq ft). Sixty days after substantial completion, areas meeting the conditions above will be taken over by the Owner. Areas seeded in fall will be accepted in Spring one month after start of growing season, provided that the above conditions for acceptance are fulfilled.
- 39 LAWN AREAS - SEEDING**
- 1. General: Treat all areas defined as lawn areas on the landscape plan between all property lines of the project including all boundaries to edge of roads and lanes.
 - 2. Growing Medium: Comply with Section 2.2.1, Growing Medium. Prior to seeding, request an inspection of the finished grade, and depth and condition of growing medium by the Landscape Architect.
 - 3. Time of Seeding: Seed from April till to October 31st. Further extensions may be obtained at concurrence of the Landscape Architect.
 - 4. Seed Supply: Conform to all conditions of B.C. Landscape Standard, Section 6, Seed Supply for Turfgrass Seed.
 - 5. Specified Turfgrass by Area: Refer to Table 2 below.
- TABLE 2 SPECIFIED TURFGRASS BY AREA**
- | Area | Description | Quality Grade | Major Species |
|---------|--|------------------|--|
| CLASS 1 | Lawn, all areas noted on drawings as lawn in urban development sites including boulevard grass | No. 1 Premium | Kentucky Bluegrass for sun, Fescue for shade |
| CLASS 2 | Grass - public parks, industrial and institutional sites | No. 2 Standard | see hydroseeding |
| CLASS 3 | Rough Grass | see hydroseeding | see |
| SPECIAL | | | |
- 6. Line:** The line shall be as defined in Section 2.2.3, Materials. Apply all rates recommended in required soil test. Refer to Section 3.1 for method.
- 7. Fertilizer:** Refer to Section 2.2.2, Materials. Apply specified fertilizer at rates shown in the required soil test. Apply with a mechanical spreader. Utilize low growing medium 10 hours prior to seeding. Apply separately from seed.
- 8. Seeding:** Prepare a smooth, firm and even surface for laying seed. Lay seed staggered with sections evenly bedded, without overlapping or gaps. Smooth and even with adjoining areas and roll lightly. Water to obtain moisture penetration of 3" to 4" (75-100mm). Comply with requirements of B.C. Landscape Standard Section 6, Seed Supply for Turfgrass Seed.
- 9. Maintenance:** Begin maintenance immediately after seeding and continue for 60 days after Substantial Completion and until accepted by the Owner. Protect seeded areas from damage with temporary wire or twice fences complete with yellow flag grass areas is taken over by the Owner. Water in sufficient quantities to ensure deep penetration and at frequent intervals to maintain vigorous growth until grass is taken over by the Owner. It is the Owner's responsibility to supply water at no extra cost to the Contractor.
- 10. Acceptance of Lawn Areas:** The turf shall be reasonably well established, with an apparent seed or bare spots and shall be reasonably free of weeds by B.C. Landscape Standard, Section 10 Maintenance Level 2 (Hydroseeding). Use herbicides if necessary for weed removal under conditions of contract for their use. After the lawn has been cut at least twice, areas meeting the conditions above will be taken over by the Owner.
- 39 PLANTS AND PLANTING**
- 1. Confirm the planting layout as shown on Landscape Plans.
 - 2. Obtain approval of Landscape Architect for layout and preparation of planting prior to commencement of planting operations.
 - 3. Make edge of beds with smooth clean defined lines.
 - 4. Time of Planting:
 - 1. Plant trees, shrubs and groundcovers only during periods that are normal for such work as determined by local weather conditions when seasonal conditions may likely to ensure successful establishment of plants to their new locations.
 - 5. Standards:
 - 1. All plant material shall conform to the requirements of the B.C. Landscape Standard, 2010 edition, unless exceeded by drawing Plant Schedule or this specification.
 - 2. Refer to B.C. Landscape Standard, Section 6, Plants and Planting and to Section 12, SEASONAL PLANTING for further details for minimum standards.
 - 3. Refer to Plant Schedule for specific plant and container sizes and comply with requirements.
 - 4. Plant material obtained from areas with less severe climatic conditions shall be grown to withstand the site climate.
 - 6. Review:
 - 1. Review at the source of supply and/or collection point does not prevent subsequent rejection of any or all plant material at the site.
 - 7. Availability:
 - 1. Area of search includes the Lower Mainland and Fraser Valley. Refer to Plant Schedule for any extension of area.
 - 2. Supply proof of the availability of the specified plant material within 30 days of the start of the Contract.
 - 8. Substitution:
 - 1. Obtain written approval of the Landscape Architect prior to making any substitutions to the specified material. Non-approved substitutions will be rejected.
 - 2. Allow a minimum of 5 days prior to delivery for request to substitute.
 - 3. Substitutions are subject to B.C. Landscape Standard - definition of Conditions of Availability.
 - 9. Plant Species & Location:
 - 1. Plants shall be true to name and of the height, caliper and size of root ball as shown on the landscape/landscape plant schedule. Caliper of trees to be taken 4" (100mm) above grade.
 - 2. Plant all specified species in the location as shown on the landscape drawings. If conflicting requirements for underground/overhead services are encountered.
 - 3. Location of given planting location will only be altered after review of the proposed details by the Landscape Architect.
 - 10. Excavation:
 - 1. Trees and large shrubs: Excavate a trench slightly less than 1" to the depth of the rootball and to at least twice the width of the rootball. Assume that finished grade at the original grade the tree was grown at.
 - 11. Drainage of Planting Holes:
 - 1. Provide drainage of planting pits where required, in an sloped condition, break out the side of the planting pit to allow drainage down slope, and in flat condition, mound to raise the rootball above impervious layer. Notify the Landscape Architect where the drainage of planting holes is limited.
 - 12. Planting and Fertilizing Procedures:
 - 1. Plant all trees and shrubs with the roots placed in their natural growing position. If damaged, loosen around the top of the ball and not away or find under. Do not put better from under the ball. Carefully remove containers without damaging the rootballs. After setting in place, cut home, for wire baskets, clip and remove top three rows of wire.
 - 2. Finish planting holes by gently filling the growing medium around the root system in 6" (150mm) layers. Settle the soil with water. Add soil as required to meet finish grade. Leave to sit 48 hours. When 1/2" of the topsoil has been placed, apply fertilizer as recommended by the required soil test at the specified rates.
 - 3. Where planting is indicated directly in existing trees, use special care to avoid disturbance of the root system or natural grades of the tree.
 - 4. Where trees are in lawn areas, provide a clean cut mulched 900mm (36") diameter circle centered on the tree.
 - 13. Staking of Trees:
 - 1. Use two 1/2"x2' stakes, unless superseded by municipal requirements. Set stakes minimum 2' ft. in soil. Do not drive stake through rootball.
 - 2. Leave the tree carefully vertical.
 - 3. The wire pre-approved connector, 1/4" wire polypropylene fabric ball, minimum width 100mm (4") approved product: Arbor-Tie - available from Douglas.
 - 4. Connect trees over 6' ft. height. Guy with three 3/4" strand wires (1/4" diameter). Drive three stakes equidistant around the tree completely below grade.
 - 5. Trees 6' ft. or smaller: Connect trees. Guy with three 3/4" strand wires (1/4" diameter). Drive three stakes equidistant around the tree completely below grade.
 - 6. Mark all guy wires with visible guying material.
 - 14. Fencing:
 - 1. Limit pruning to the minimum necessary to remove dead or injured branches. Preserve the natural character of the plants, do not cut the leader. Use only clean, sharp tools. Make all cuts clean and cut to the branch collar leaving no stubs. Shape affected areas so as not to create water. Remove damaged material.
 - 15. Mulching:
 - 1. Mulch all planting areas with an even layer of 2-1/2" - 3" (60-75mm) - Shaded depth. Confirm placement of mulch in areas labeled "circumference Area" on drawings. Mulch 3" (75mm) diameter circle around trees in lawn areas, leave a clean edge.
 - 16. Acceptance:
 - 1. The establishment of all plant material is the responsibility of the Landscape Contractor.
 - 17. Plant Material Warranty:
 - 1. Maintain all plant material for 60 days after landscape work has received a Certificate of Completion.
 - 2. Watering: Conform to B.C. Landscape Standard, Section 13.3.2 - Watering and generally as follows:
 - 1. Water in sufficient quantity to ensure deep penetration and at frequent intervals to maintain vigorous growth until grass is taken over by the Owner. It is the Owner's responsibility to supply water at no extra cost to the Contractor. Confirm source of water prior to beginning work.
 - 2. The appropriate measures to control pests or diseases damaging plant material. Comply with all local governing statutes and guidelines for chemical control.
 - 3. Plant material which fails to survive shall be replaced by the most appropriate species as determined by the Landscape Architect.
 - 4. Repair free spars, stems, and guy wires, when necessary.
 - 5. Maintain areas relatively weed free. Appearance level 2, B.C. Landscape Standard, Chapter 10.
 - 6. Maintain mulch to specified depths.
 - 2. Plant Warranty:
 - 1. Replace all unsatisfactory plant material except those designated "Specimen" for a period of one (1) year after the Certificate of Completion. Replace all unsatisfactory plant material designated "Specimen" for a period of one (1) year after the Certificate of Completion. Replace all unsatisfactory trees and shrubs and continue to replace trees until the specified number is complete and satisfactory to the Landscape Architect. Such replacement shall be subject to the notification, inspection and approval as specified for the original planting, and shall not constitute an extra to the Contract.
 - 2. These Plants, identified as Specimen within one year of the Certificate of Completion, shall be replaced by the most appropriate species as determined by the Landscape Architect and shall be replaced by the most appropriate species as determined by the Landscape Architect.
 - 3. A review may be requested during the latter part of the warranty period. All plant material showing well developed foliage, healthy growth and bud forming, will then be taken over.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 39 PLANTS AND PLANTING**
- 1. Confirm the planting layout as shown on Landscape Plans.
 - 2. Obtain approval of Landscape Architect for layout and preparation of planting prior to commencement of planting operations.
 - 3. Make edge of beds with smooth clean defined lines.
 - 4. Time of Planting:
 - 1. Plant trees, shrubs and groundcovers only during periods that are normal for such work as determined by local weather conditions when seasonal conditions may likely to ensure successful establishment of plants to their new locations.
 - 5. Standards:
 - 1. All plant material shall conform to the requirements of the B.C. Landscape Standard, 2010 edition, unless exceeded by drawing Plant Schedule or this specification.
 - 2. Refer to B.C. Landscape Standard, Section 6, Plants and Planting and to Section 12, SEASONAL PLANTING for further details for minimum standards.
 - 3. Refer to Plant Schedule for specific plant and container sizes and comply with requirements.
 - 4. Plant material obtained from areas with less severe climatic conditions shall be grown to withstand the site climate.
 - 6. Review:
 - 1. Review at the source of supply and/or collection point does not prevent subsequent rejection of any or all plant material at the site.
 - 7. Availability:
 - 1. Area of search includes the Lower Mainland and Fraser Valley. Refer to Plant Schedule for any extension of area.
 - 2. Supply proof of the availability of the specified plant material within 30 days of the start of the Contract.
 - 8. Substitution:
 - 1. Obtain written approval of the Landscape Architect prior to making any substitutions to the specified material. Non-approved substitutions will be rejected.
 - 2. Allow a minimum of 5 days prior to delivery for request to substitute.
 - 3. Substitutions are subject to B.C. Landscape Standard - definition of Conditions of Availability.
 - 9. Plant Species & Location:
 - 1. Plants shall be true to name and of the height, caliper and size of root ball as shown on the landscape/landscape plant schedule. Caliper of trees to be taken 4" (100mm) above grade.
 - 2. Plant all specified species in the location as shown on the landscape drawings. If conflicting requirements for underground/overhead services are encountered.
 - 3. Location of given planting location will only be altered after review of the proposed details by the Landscape Architect.
 - 10. Excavation:
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 - 11. Drainage of Planting Holes:
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 - 12. Planting and Fertilizing Procedures:
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 - 2. Finish planting holes by gently filling the growing medium around the root system in 6" (150mm) layers. Settle the soil with water. Add soil as required to meet finish grade. Leave to sit 48 hours. When 1/2" of the topsoil has been placed, apply fertilizer as recommended by the required soil test at the specified rates.
 - 3. Where planting is indicated directly in existing trees, use special care to avoid disturbance of the root system or natural grades of the tree.
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 - 3. The wire pre-approved connector, 1/4" wire polypropylene fabric ball, minimum width 100mm (4") approved product: Arbor-Tie - available from Douglas.
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 - 6. Mark all guy wires with visible guying material.
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 - 15. Mulching:
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 - 16. Acceptance:
 - 1. The establishment of all plant material is the responsibility of the Landscape Contractor.
 - 17. Plant Material Warranty:
 - 1. Maintain all plant material for 60 days after landscape work has received a Certificate of Completion.
 - 2. Watering: Conform to B.C. Landscape Standard, Section 13.3.2 - Watering and generally as



City of Richmond

Development Permit

No. DP 15-700370

To the Holder: YAMAMOTO ARCHITECTURE INC.

Property Address: 9560 ALEXANDRA ROAD

Address: C/O 202 - 33 EAST 8TH AVENUE
VANCOUVER, BC V5T 1R5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #12 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$90,225.55 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 15-700370

To the Holder: YAMAMOTO ARCHITECTURE INC.

Property Address: 9560 ALEXANDRA ROAD

Address: C/O 202 - 33 EAST 8TH AVENUE
VANCOUVER, BC V5T 1R5

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

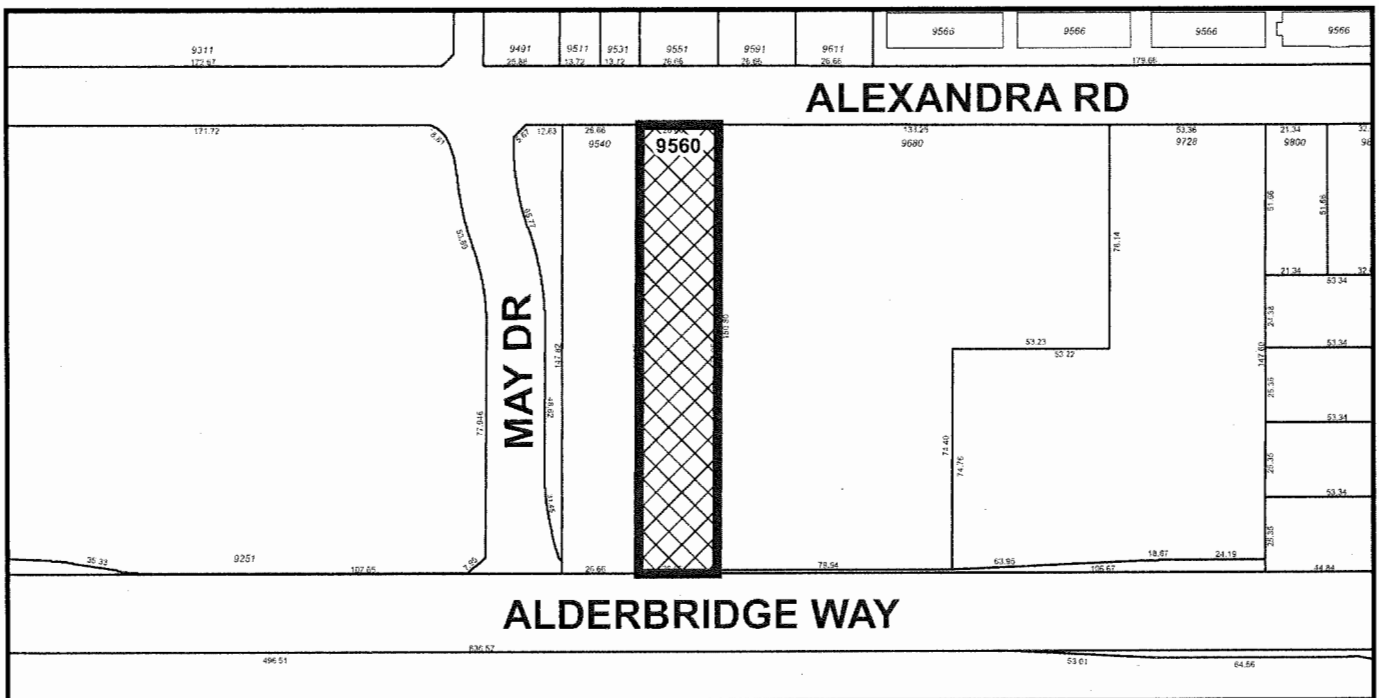
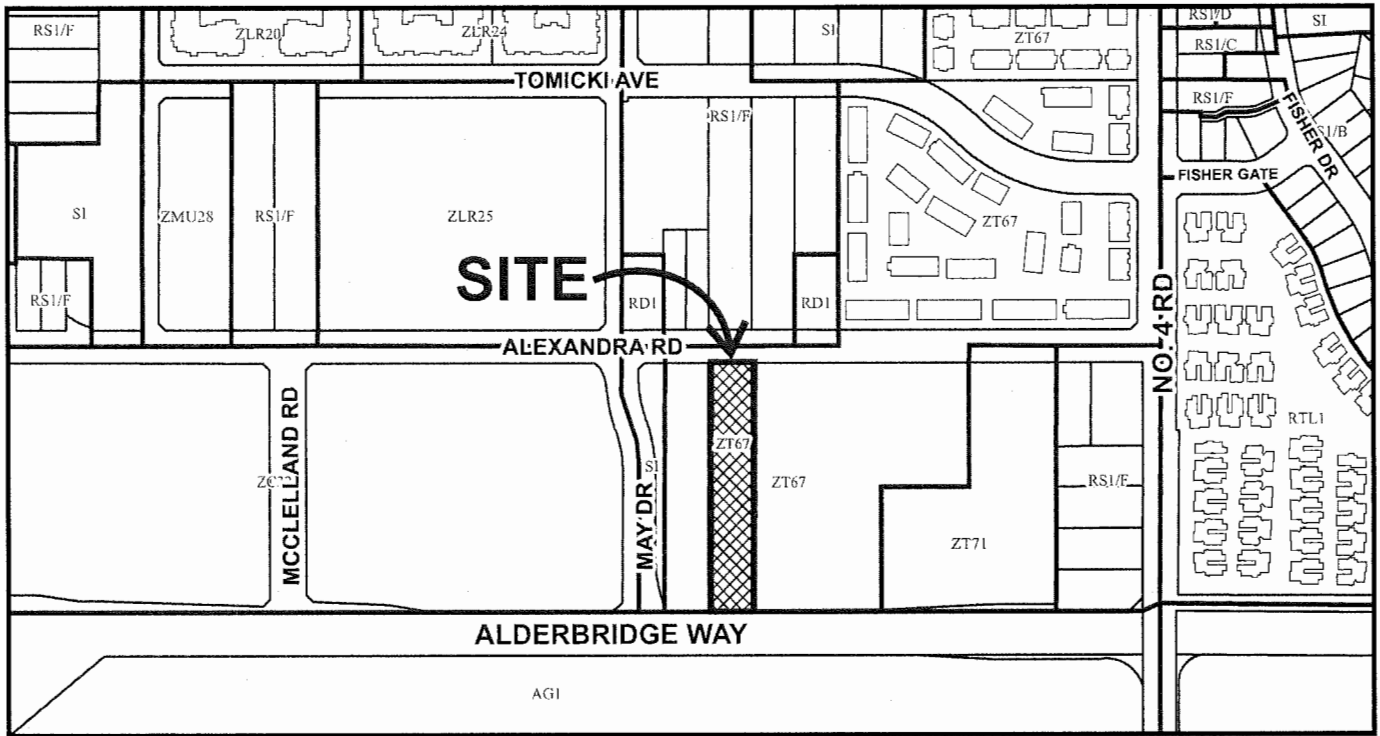
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond

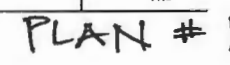


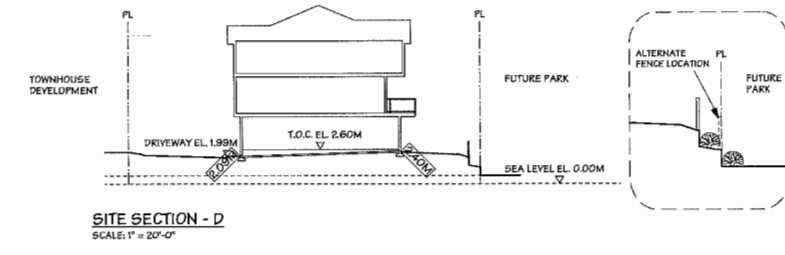
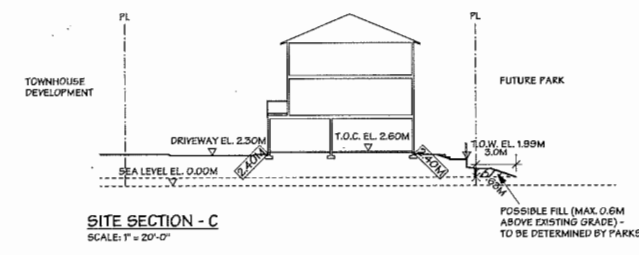
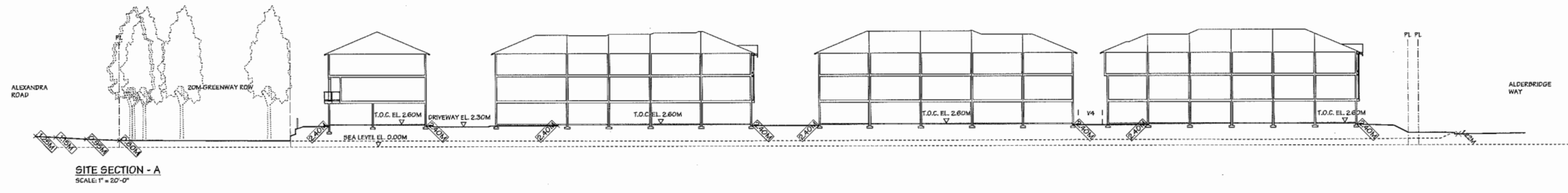
DP 15-700370

Original Date: 07/13/15

Revision Date:

Note: Dimensions are in METRES





PLAN #1a

NO.	DATE	REVISIONS
APR. 19, 2016	WEST RETAINING WALL REVISED	
MAR. 10, 2016	BOLLARD/RETAINING WALL REVISED	
FEB. 3, 2016	GENERAL REVISIONS	
OCT. 6, 2015	ISSUED FOR A.D.P.	
MAY 14, 2015	ISSUED FOR D.P. APPLICATION	
MAR. 23, 2015	GENERAL REVISIONS	
NOV. 4, 2014	GENERAL REVISIONS	
JUL. 28, 2014	ISSUED FOR REZONING APPL.	

Yamamoto
Architecture Inc.

202 - 33 East 8th Avenue, Vancouver, B.C.
V5T 1R5 tel: 604-731-1127 fax: 604-731-1327

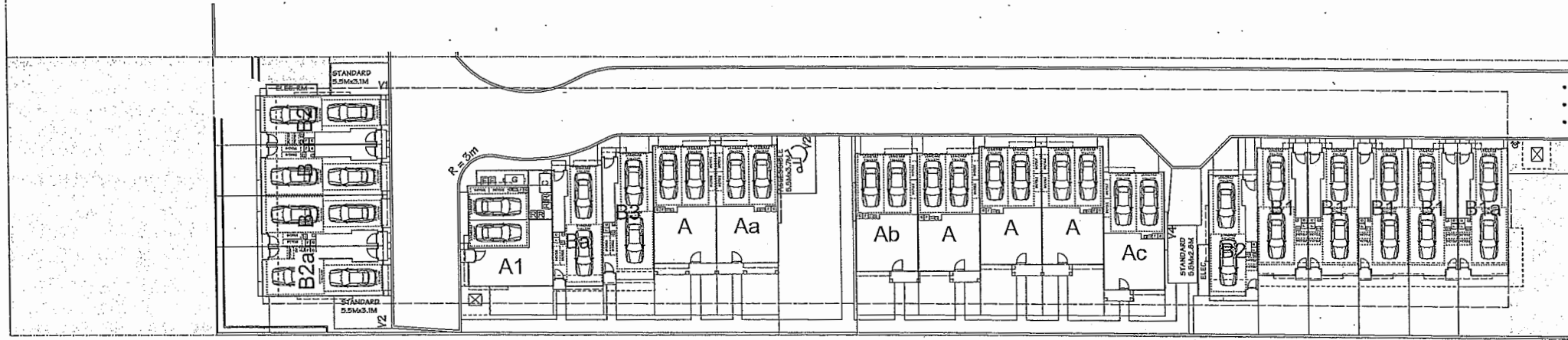
PROJECT TOWNHOUSE DEVELOPMENT	DRAWING TITLE SITE CROSS SECTION
SCALE 1" = 20'-0"	SHEET NO.
DATE NOV. 3, 2014	DP 15-700370
DRAWN YK	PROJ. NO. 1413
CHECKED	

PLAN # 2

DP 15-700370 APR 21 2016

ALEXANDRA ROAD

ALDERBRIDGE WAY



PARKING:

REQUIRED :	1.5 SPACES x 20 UNITS	=	30	SPACES (RESIDENTS)
	0.2 SPACES x 20 UNITS	=	4	SPACES (VISITORS)
	TOTAL	=	34	SPACES

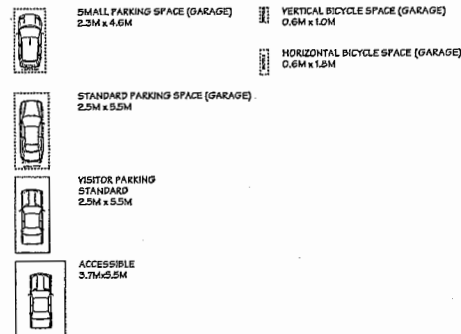
PROVIDED :	2 CAR GARAGES x 20 UNITS	=	40	SPACES (RESIDENTS)
	OPEN VISITOR5 PARKING	=	4	SPACES (VISITORS)
	TOTAL	=	44	SPACES

NOTE: 1 ACCESSIBLE PARKING SPACE IS PROVIDED.

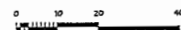
REQUIRED BICYCLE :	1.25 SPACES x 20 UNITS	=	25	SPACES (CLASS 1)
	0.2 SPACES x 20 UNITS	=	4	SPACES (CLASS 2)
	TOTAL	=	29	SPACES

PROVIDED BICYCLE :	2 SPACES x 20 GARAGES	=	40	SPACES (CLASS 1)
	BICYCLE RACK	=	5	SPACES (CLASS 2)
	TOTAL	=	45	SPACES

AS PER THE 2041 OCP REQUIREMENT FOR ELECTRIC VEHICLES:
- A MINIMUM OF 20% OF PARKING STALLS TO BE PROVIDED WITH A 120V RECEPTACLE TO ACCOMMODATE ELECTRIC VEHICLE CHARGING EQUIPMENT.
- AN ADDITIONAL 25% OF PARKING STALLS TO BE CONSTRUCTED TO ACCOMMODATE THE FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGING EQUIPMENT (E.G. PRE-DUCTED FOR FUTURE WIRING).



PARKING PLAN
SCALE: 1" = 20'-0"



PLAN #2

MAR. 10, 2016	BOLLARD/RETAINING WALL REVISED	
FEB. 3, 2016	GENERAL REVISIONS	
OCT. 6, 2015	ISSUED FOR A.D.P.	
MAY 14, 2015	ISSUED FOR D.P. APPLICATION	
MAR. 23, 2015	GENERAL REVISIONS	
NOV. 4, 2014	GENERAL REVISIONS	
JUL. 28, 2014	ISSUED FOR REZONING APPL.	
NO.	DATE	REVISIONS

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Yamamoto
Architecture Inc.

#202-33 East 8th Avenue, Vancouver, B.C.
V5T 1R5 tel: 604-731-1127 fax: 604-731-1227

PROJECT
TOWNHOUSE DEVELOPMENT

5580 ALEXANDRA ROAD
RICHMOND, B.C.

DRAWING TITLE
PARKING PLAN

SCALE	1/16" = 1'-0"	SHEET NO.
DATE	OCT. 24, 2014	DP 15-700370
DRAWN	TY	PROJ. NO. 1413
CHECKED		

DP 15-700370

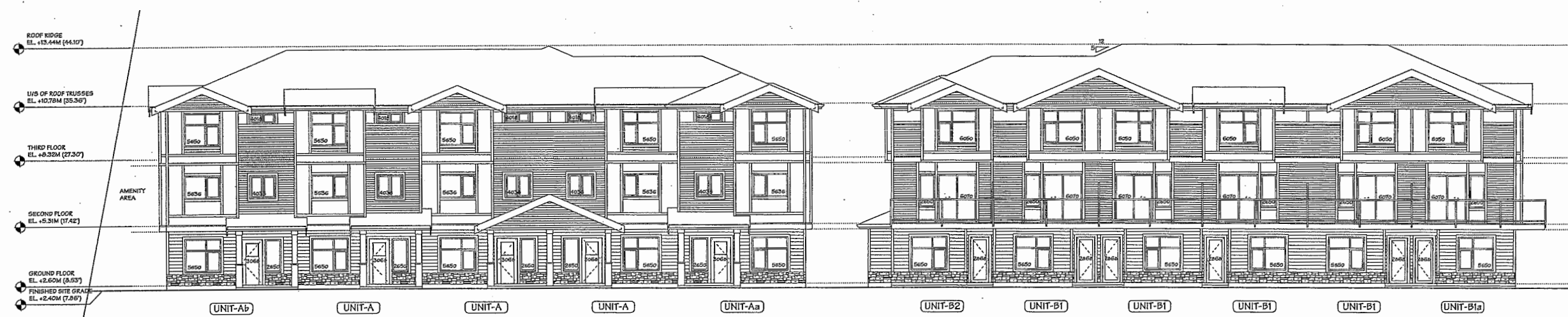
APR 13 2016

Plan #3



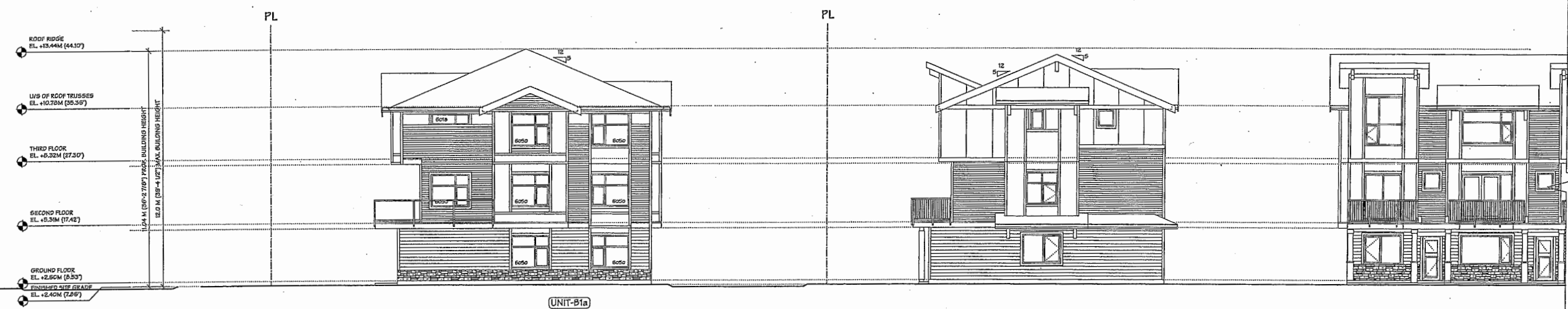
BUILDING NO. 1
WEST ELEVATION

BUILDING NO. 2
WEST ELEVATION



BUILDING NO. 3
WEST ELEVATION

BUILDING NO. 4
WEST ELEVATION



BUILDING NO. 4
ALDERBRIDGE WAY - SOUTH ELEVATION

NO.	DATE	REVISIONS
MAR. 10, 2016	MATERIAL REVISED	
FEB. 3, 2016	GENERAL REVISIONS	
OCT. 3, 2015	ISSUED FOR A.D.P.	
MAY 14, 2015	ISSUED FOR D.P. APPLICATION	
MAR. 23, 2015	GENERAL REVISIONS	
NOV. 4, 2014	ISSUED FOR REZONING	

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

950 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

202 - 33 East 8th Avenue, Vancouver, B.C.
V6T 1R5 Tel: 604-731-1127 Fax: 604-731-1327

DRAWING TITLE
ELEVATIONS

SCALE 1/8" = 1'-0"	SHEET NO.
DATE OCT. 2, 2014	
DRAWN KM	DP 15-700370
CHECKED	PROJ. NO. 1413

PLAN #4

Plan #4

DP 15-700370 APR 13 2016



COLOUR SCHEME	
ROOF:	IKO / CAMBRIDGE 30 / CHARCOAL
FASCIA, BR. & DOOR/WINDOW TRIM:	BENJAMIN MOORE / HC-169 (COVENTRY GRAY)
GABLE ACCENT WALL (HARDIPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
ACCENT WALL (HARDI-PANEL):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
SECOND & UPPER FLOOR WALL (HARDIPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
GROUND FLOOR WALL (HARDIPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (IRON GRAY)
GR. FLOOR ACCENT (CULTURED STONE W/STONE SILL):	BORAL PRO-FIT ALPINE LEDGESTONE (BLACK MOUNTAIN)
MAIN ENTRY DOOR:	BENJAMIN MOORE / OC-32 (TAPESTRY BEIGE)
REAR ENTRY/ELEC. ROOM DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
GARAGE DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
GAR./RECYCLING ROOM DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
FLASHINGS & PORCH POSTS:	BENJAMIN MOORE / HC-169 (COVENTRY GRAY)
FENCE:	METAL "WHITE"
RAILINGS/GUARDRAILS:	METAL "WHITE"

NO.	DATE	REVISIONS
	MAR. 10, 2015	MATERIAL REVISED
	FEB. 3, 2015	GENERAL REVISIONS
	OCT. 6, 2015	ISSUED FOR A.D.P.
	MAY 14, 2015	ISSUED FOR D.P. APPLICATION
	MAR. 23, 2015	GENERAL REVISIONS
	NOV. 4, 2014	ISSUED FOR REZONING

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

5568 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

202 - 33 East 8th Avenue, Vancouver, B.C.
V5T 1R5 Tel: 604-731-1127 Fax: 604-731-1327

DRAWING TITLE
ELEVATIONS

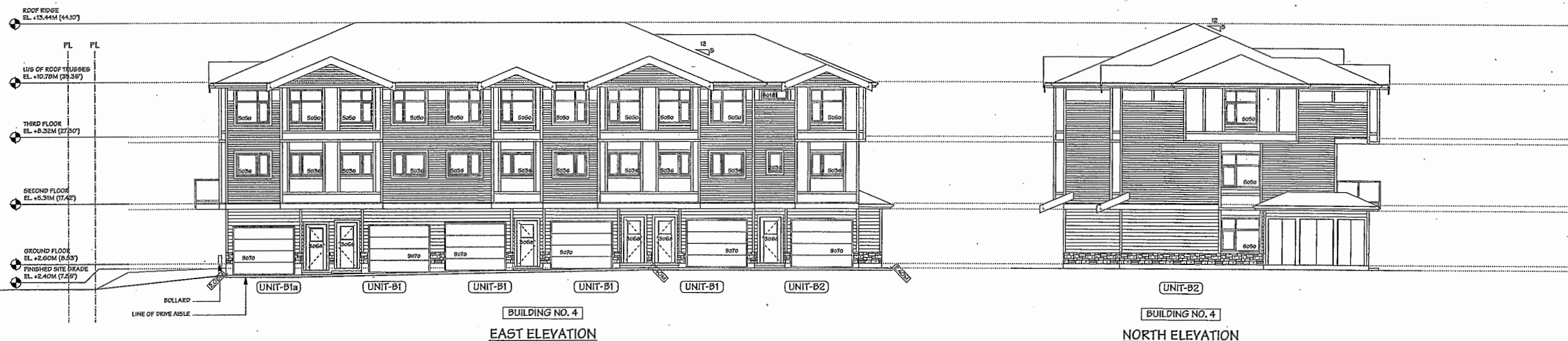
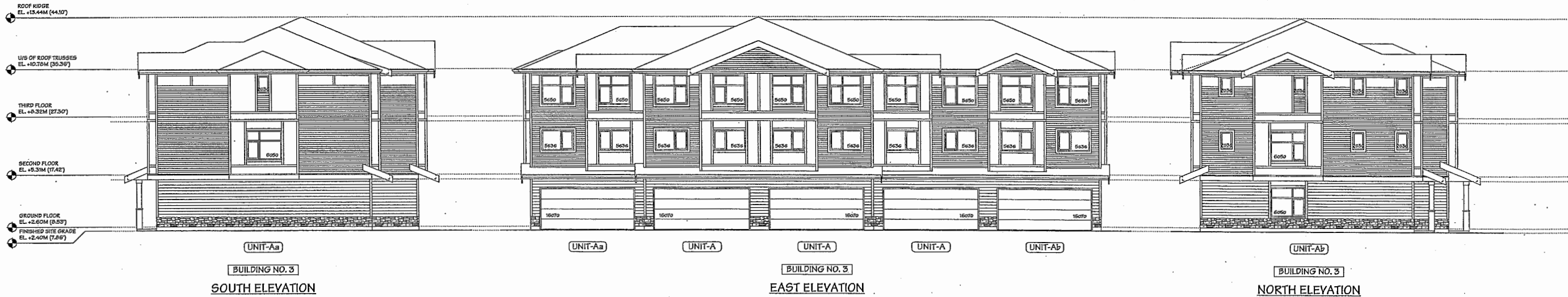
SCALE	1/8" = 1'-0"	SHEET NO.	
DATE	OCT. 2, 2014		
DRAWN	KM	DP 15-700370	
CHECKED		PROJ. NO.	1413

PLAN #5

Plan #5

APR 13 2016

DP 15-700370



NO.	DATE	REVISIONS
1	MAR. 10, 2016	MATERIAL REVISED
2	FEB. 3, 2016	GENERAL REVISIONS
3	OCT. 6, 2015	ISSUED FOR A.D.P.
4	MAY 14, 2015	ISSUED FOR P.P. APPLICATION
5	MAR. 25, 2015	GENERAL REVISIONS
6	NOV. 4, 2014	ISSUED FOR REZONING

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PROJECT
 20 UNIT TOWNHOUSE
 DEVELOPMENT

9569 ALEXANDRA ROAD
 RICHMOND, B.C.

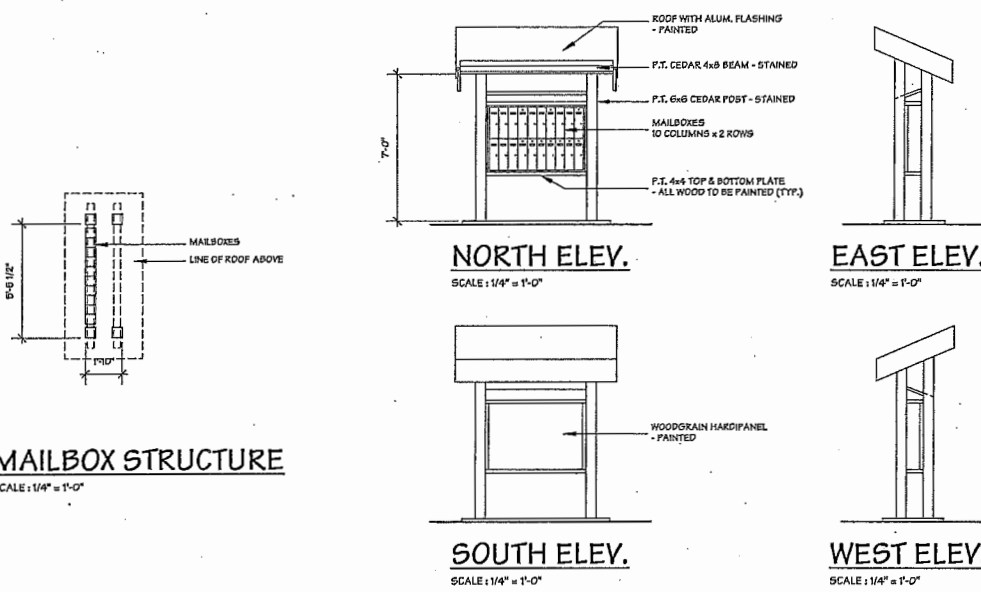
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COLOUR SCHEME	
ROOF:	IKO / CAMBRIDGE 50 / CHARCOAL
FASCIA BO. & DOOR/WINDOW TRIM:	BENJAMIN MOORE / HC-169 (COVENTRY GRAY)
GABLE ACCENT WALL (HARDIPANEL SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
ACCENT WALL (HARDIPANEL):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
SECOND & UPPER FLOOR WALL (HARDIPANEL SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
GROUND FLOOR WALL (HARDIPANEL SID'G):	JAMES HARDIE COLOURPLUS / JH10-30 (IRON GRAY)
GR. FLOOR ACCENT (CULTURED STONE W/STONE SILL):	BORAL PRO-FIT ALPINE LEDGESTONE (BLACK MOUNTAIN)
MAIN ENTRY DOOR:	BENJAMIN MOORE / OC-32 (TAFESTKY BEIGE)
REAR ENTRY/ELEC. ROOM DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
GARAGE DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
GARB./RECYCLING ROOM DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
FLASHINGS & PORCH POSTS:	BENJAMIN MOORE / HC-169 (COVENTRY GRAY)
FENCE:	METAL "WHITE"
RAILINGS/GUARDRAILS:	METAL "WHITE"

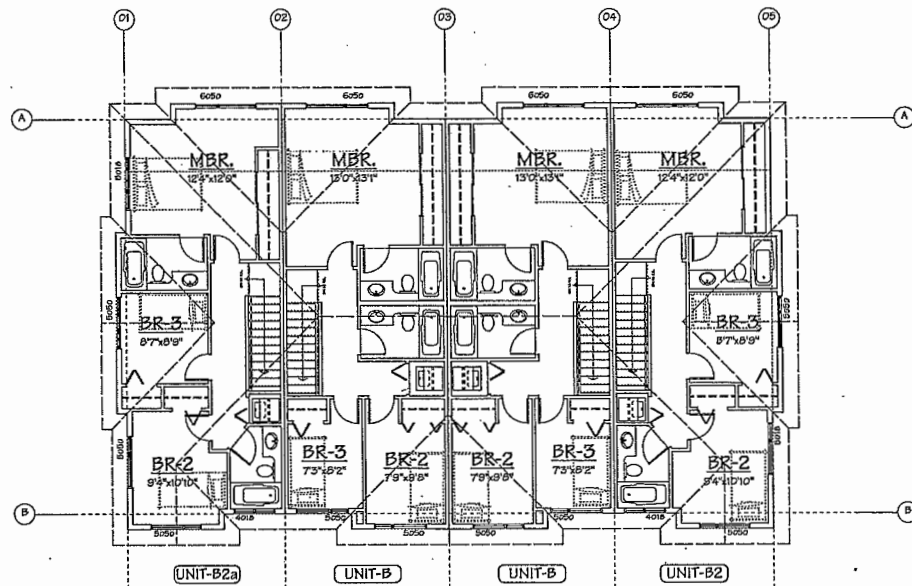


MAILBOX STRUCTURE
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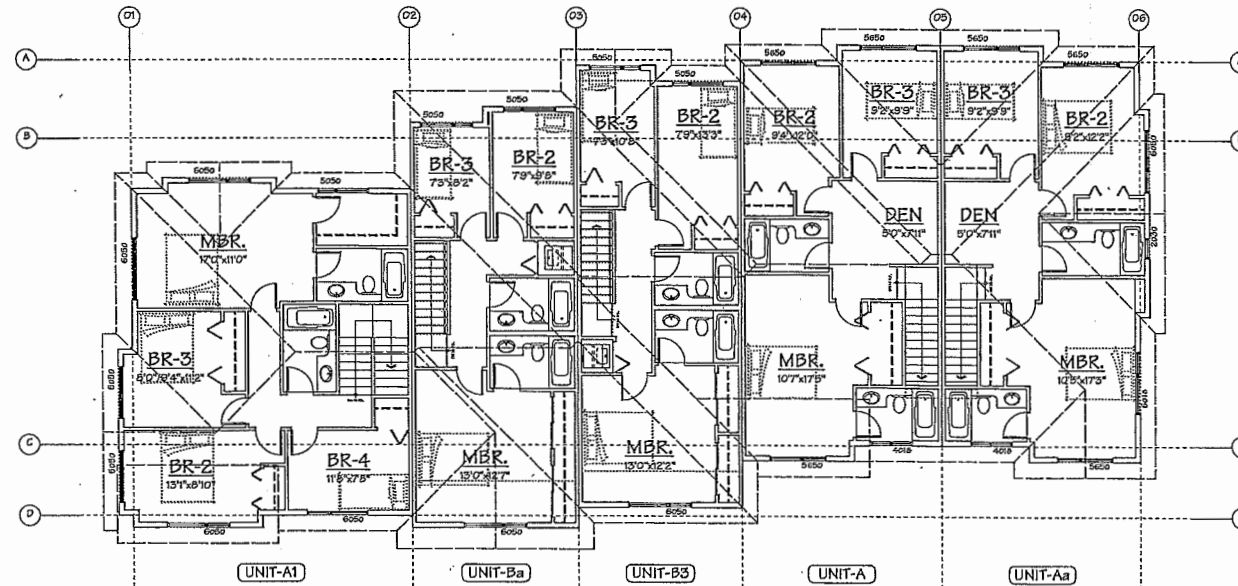
PLAN #6

Plan #6

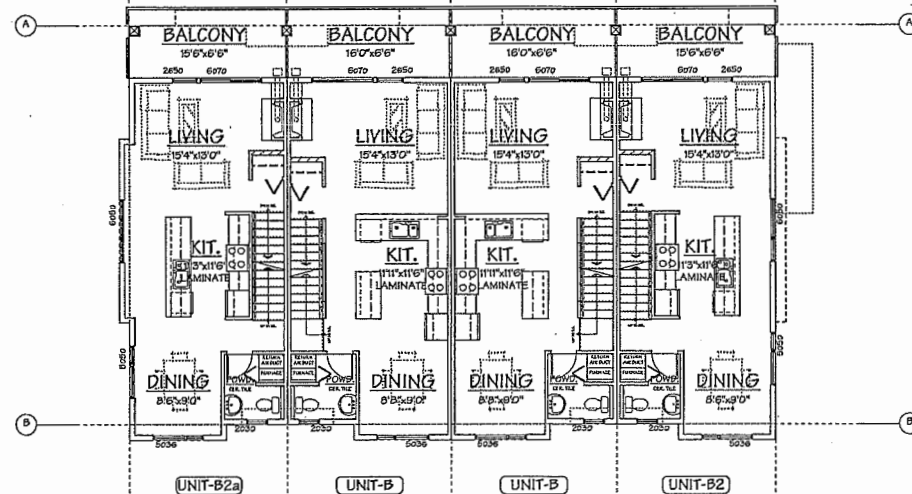
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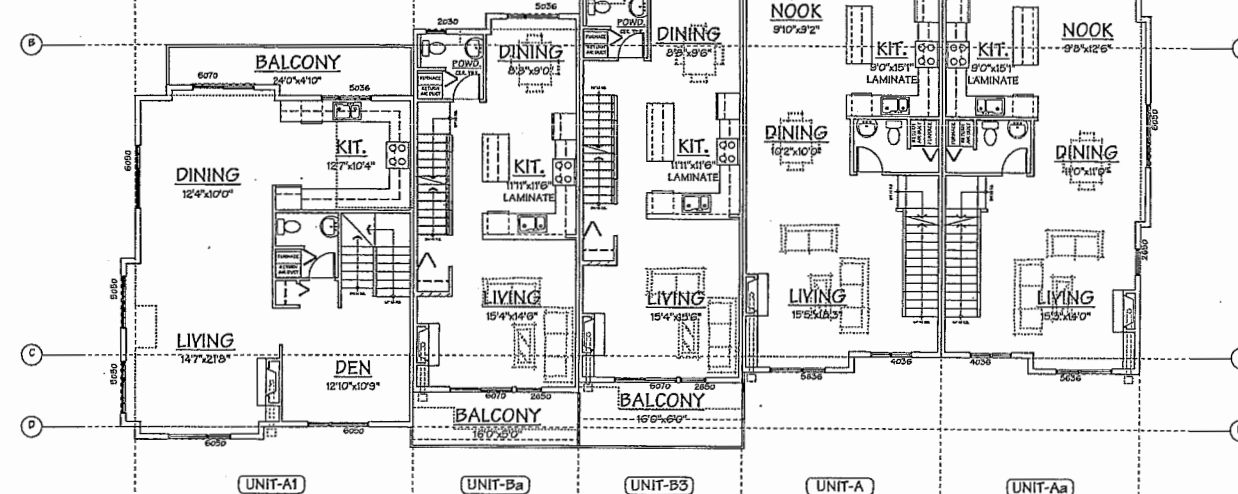
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



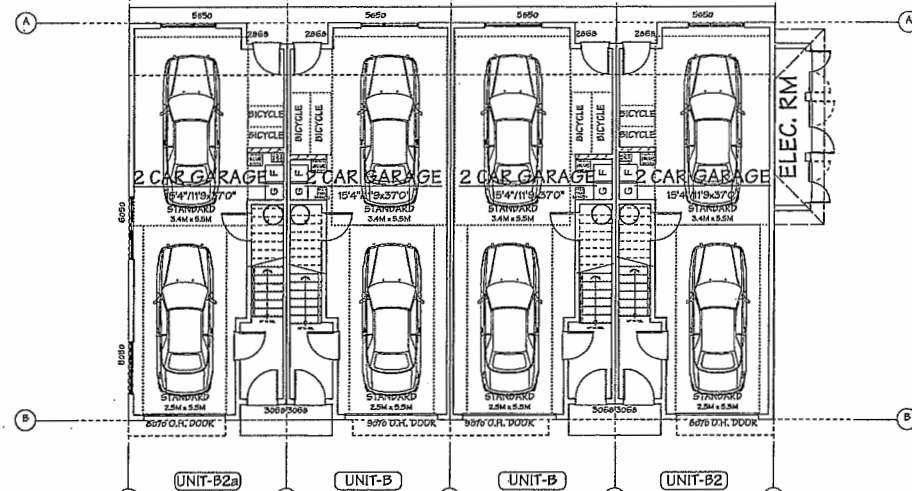
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



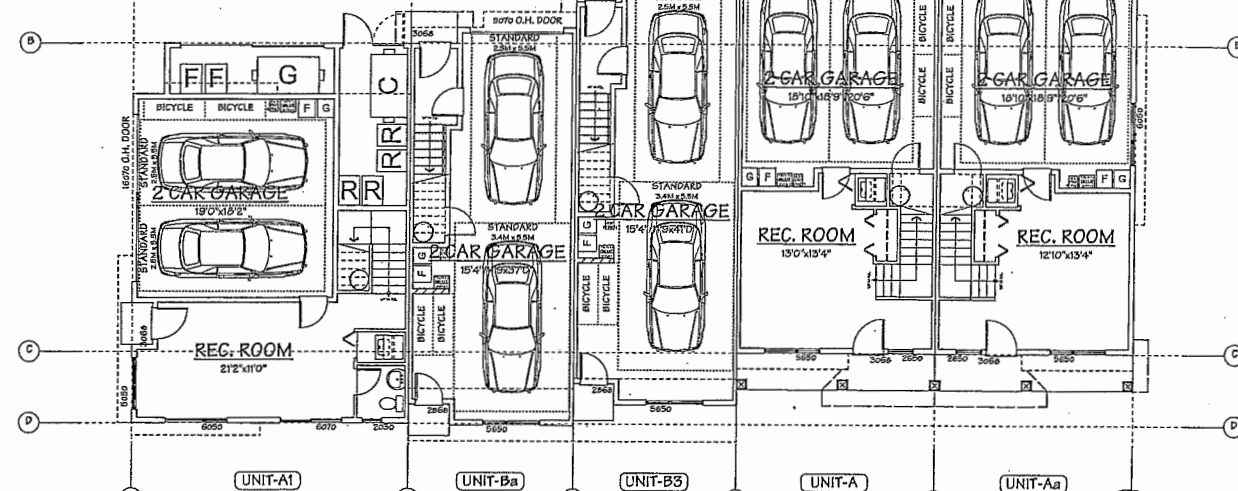
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

**AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):**
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- STAIRWELL HANDRAILS

**SUSTAINABILITY FEATURES
(TO BE PROVIDED IN ALL UNITS):**
- DOUBLE GLAZED VINYL FRAMED WINDOW W/LOW E GLASS (TYP.)
- WATER EFFICIENT TOILETS

NO.	DATE	REVISIONS
MAR. 10, 2016	MATERIAL REVISED	
FEB. 3, 2016	GENERAL REVISIONS	
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MAY 14, 2015	ISSUED FOR D.P. APPLICATION	
MAR. 23, 2015	GENERAL REVISIONS	
NOV. 4, 2014	ISSUED FOR REZONING	

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

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RICHMOND, B.C.

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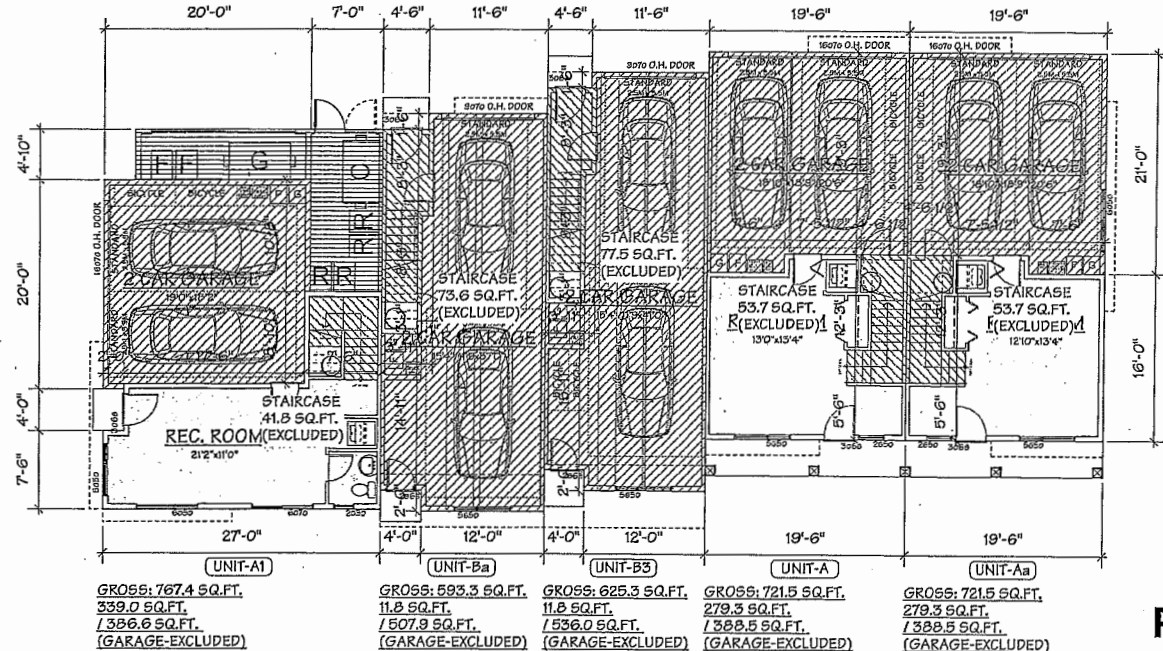
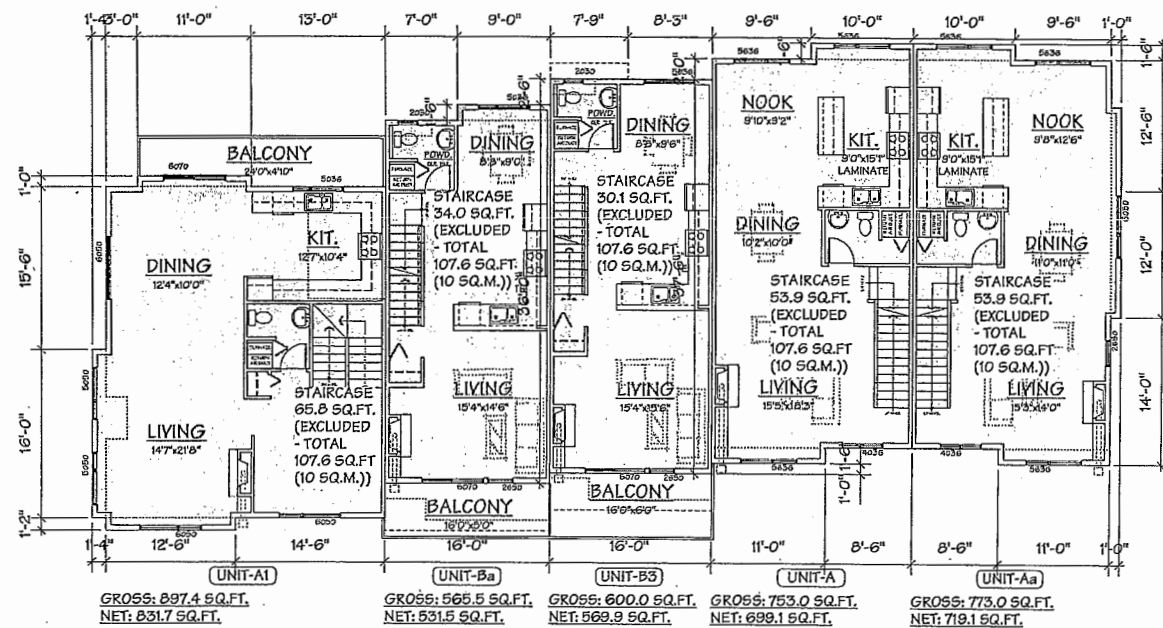
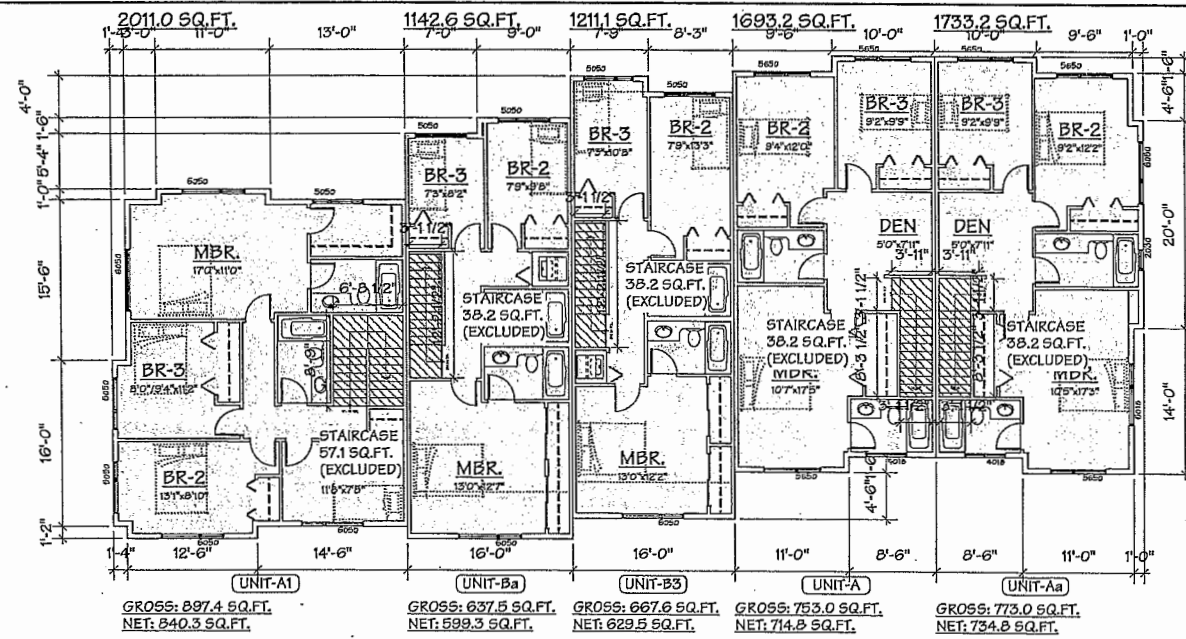
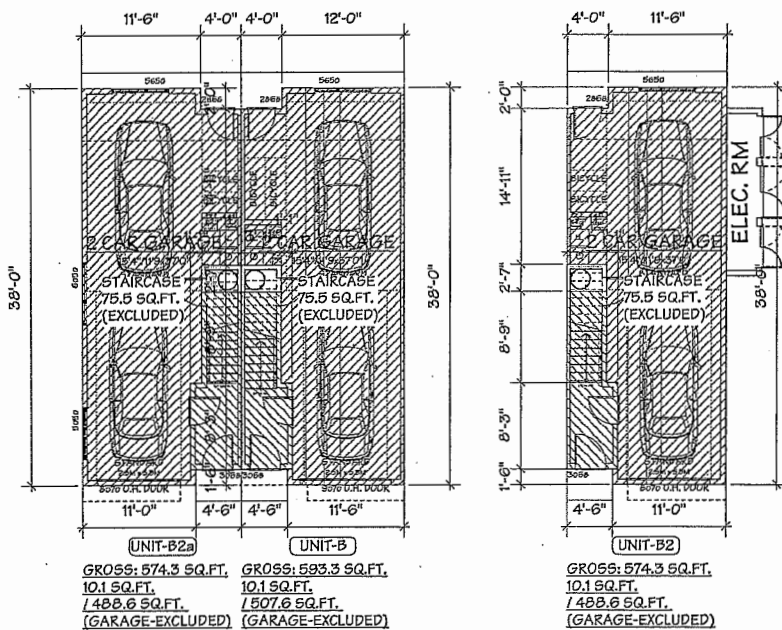
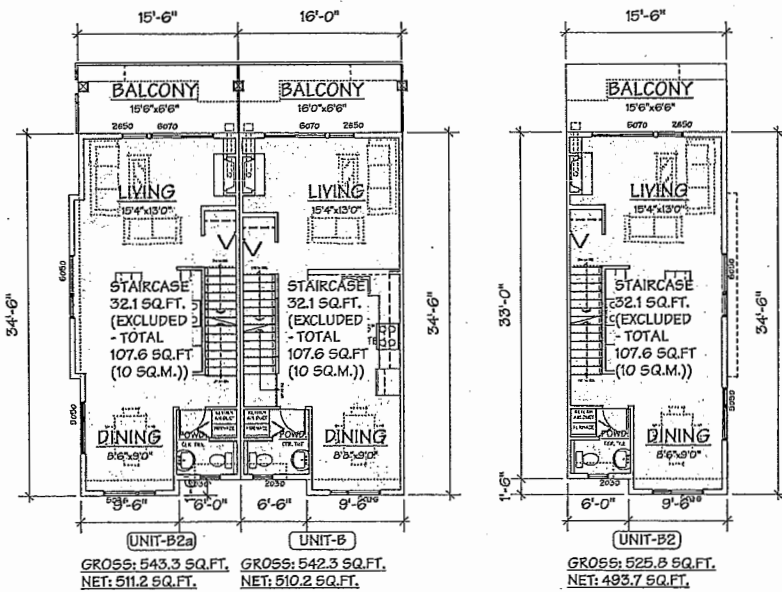
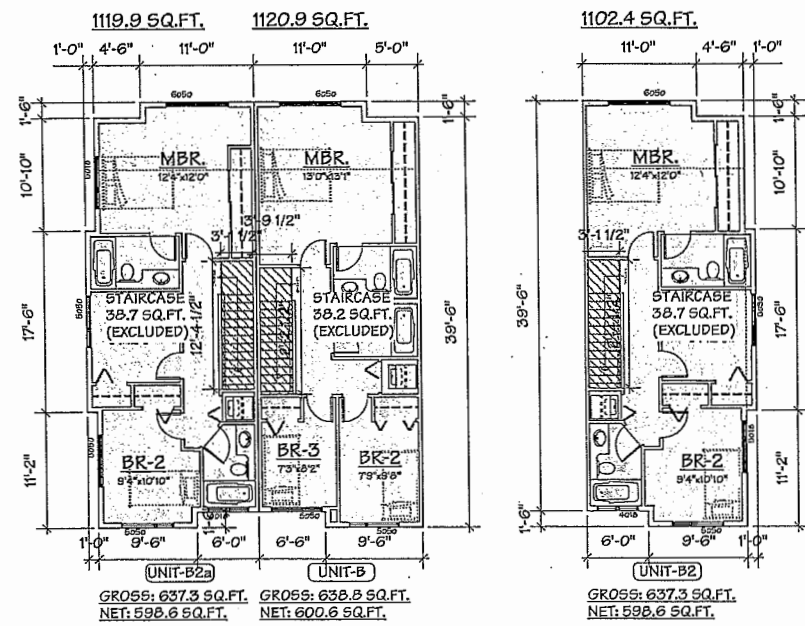
DRAWING TITLE
FLOOR PLANS

SCALE 1/8" = 1'-0"	SHEET NO.
DATE OCT. 2, 2014	DP 15-700370
DRAWN KM	PROJ. NO. 1413
CHECKED	

PLAN #7

APR 13 2016
DP 15-700370

Plan #7



MAR. 10, 2016	MATERIAL KEYSED
FEB. 3, 2016	GENERAL REVISIONS
OCT. 6, 2015	ISSUED FOR A.D.P.
MAY 16, 2015	ISSUED FOR D.P. APPLICATION
MAR. 23, 2015	GENERAL REVISIONS
NOV. 4, 2014	ISSUED FOR REZONING
NO. DATE	REVISIONS
CONSULTANT	

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PROJECT
20 UNIT TOWNHOUSE
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Architecture Inc.

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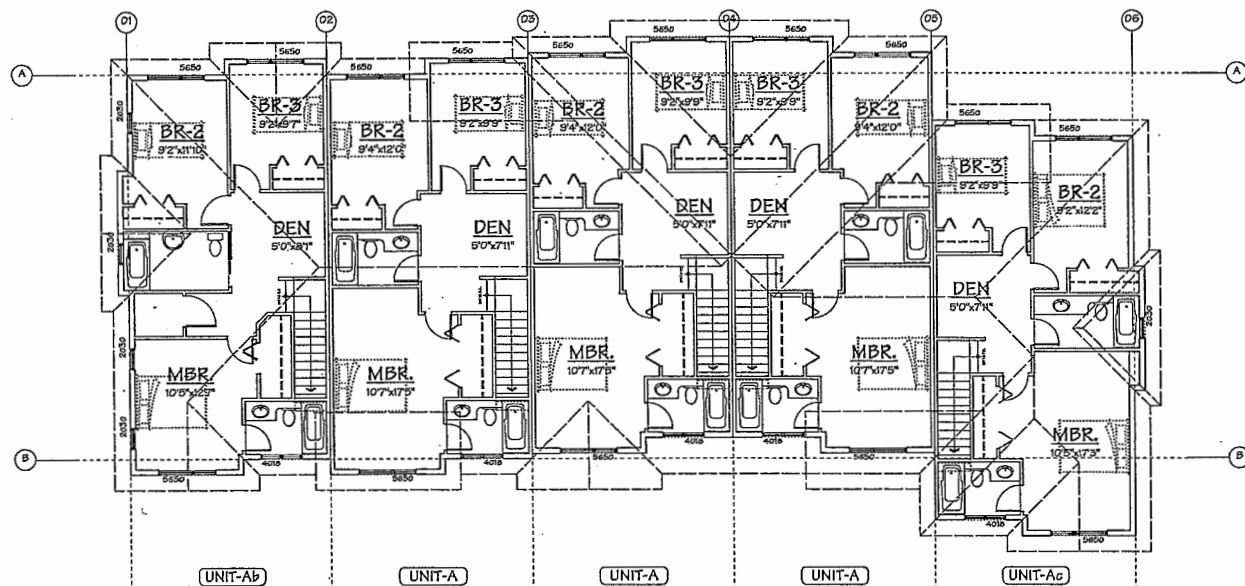
DRAWING TITLE
F.A.R. OVERLAY

SCALE 1/8" = 1'-0"	SHEET NO.
DATE OCT. 2, 2014	DP 15-700370
DRAWN KM	PROJ. NO. 1413
CHECKED	

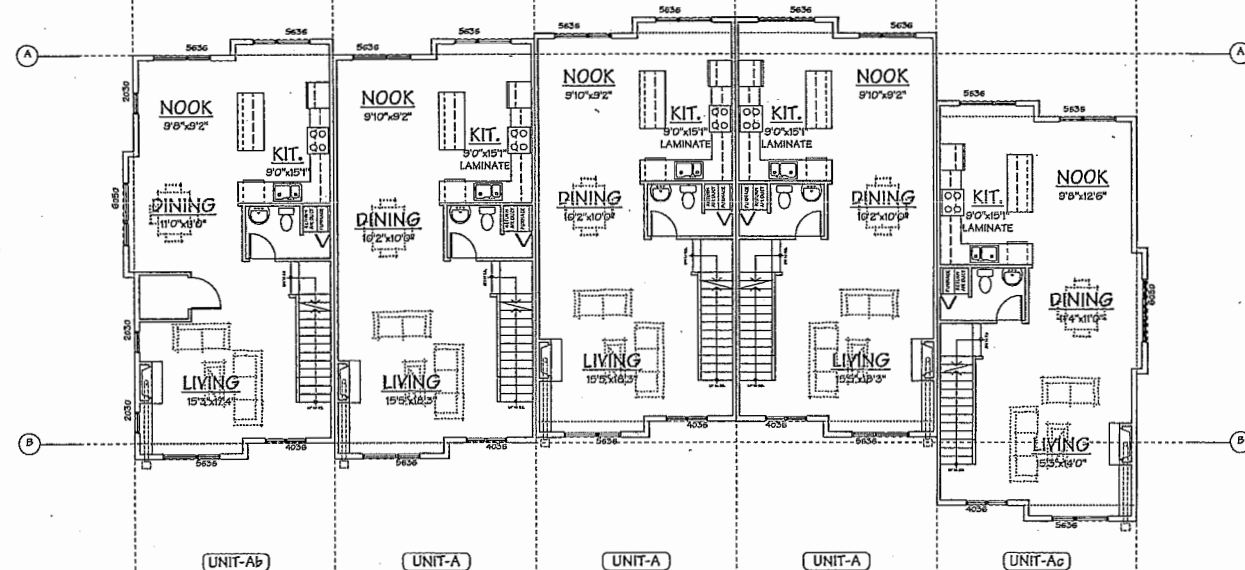
PLAN #7a

Plan #7a

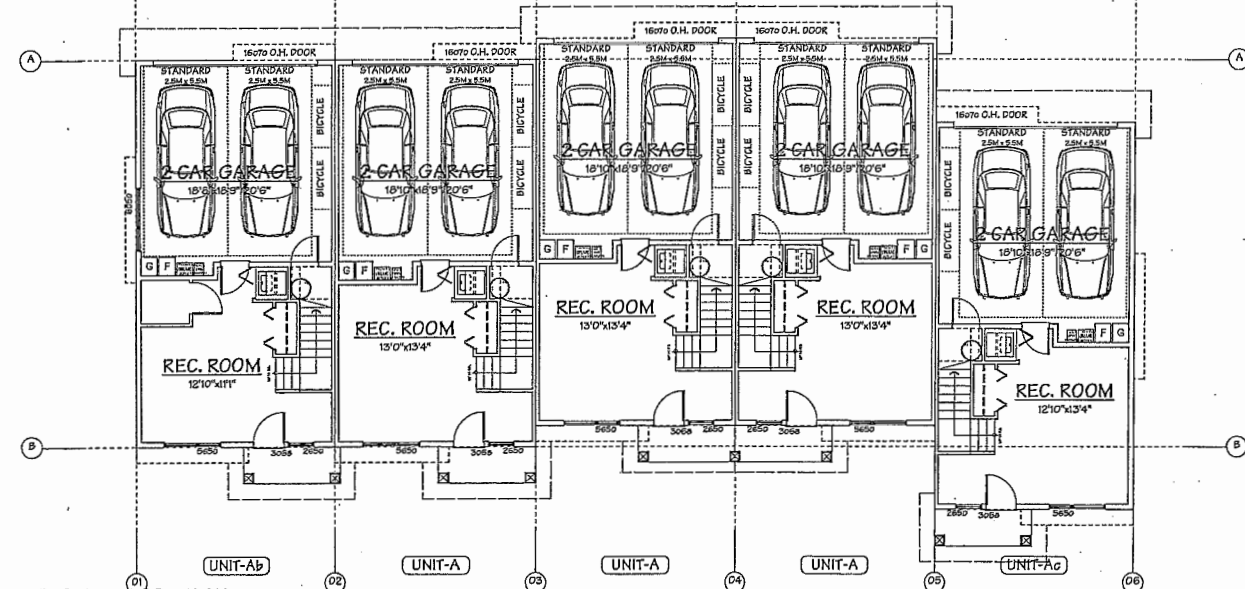
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THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

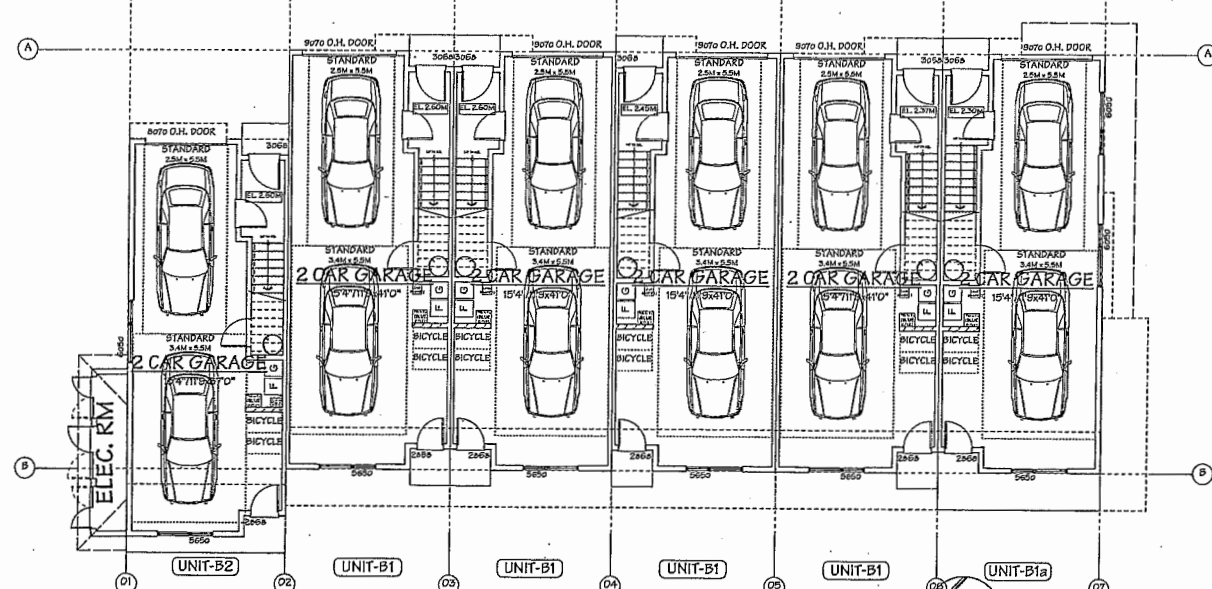
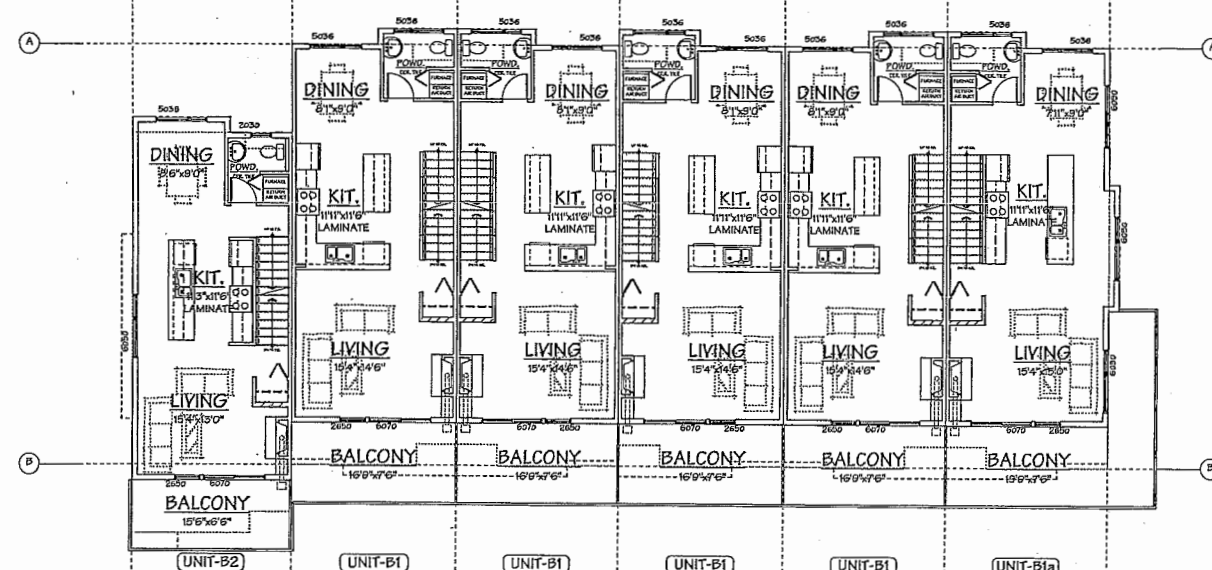
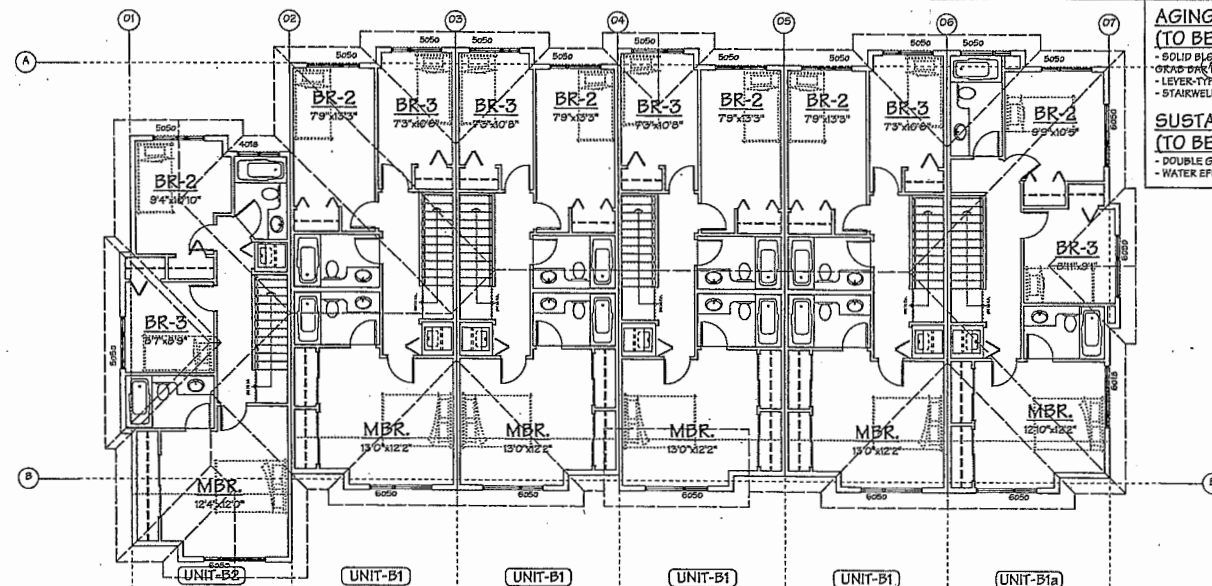


SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 3



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 4

AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):
- SOLID BACKING IN WASHROOM WALLS TO FACILITATE FUTURE
- STAIRS AND RAMP INSTALLATION
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- STAIRWELL HANDRAILS

SUSTAINABILITY FEATURES
(TO BE PROVIDED IN ALL UNITS):
- DOUBLE GLAZED VINYL FRAMED WINDOW W/ LOW E GLASS (TYP.)
- WATER EFFICIENT TOILETS

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

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DRAWING TITLE
FLOOR PLANS

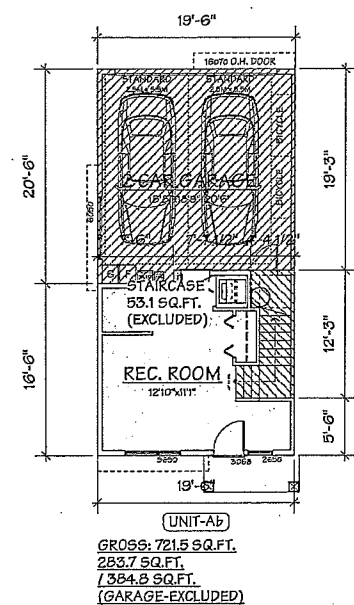
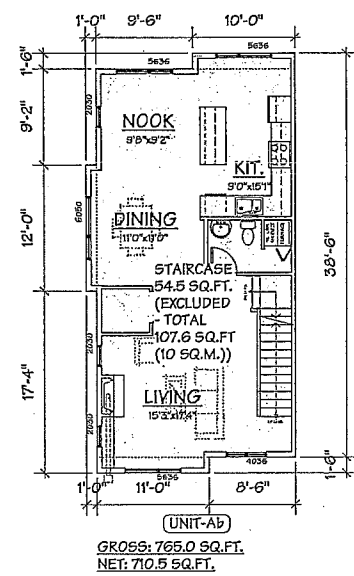
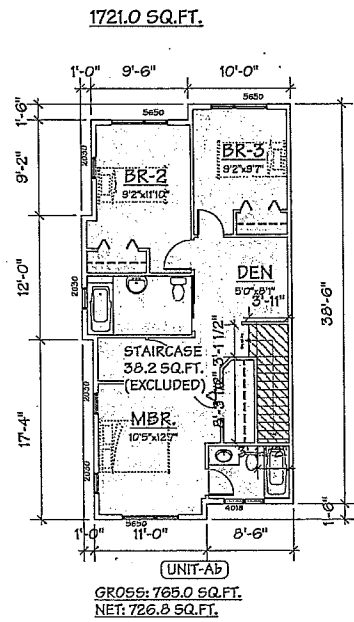
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DATE	OCT. 2, 2014		
DRAWN	KM	DP 15-700370	
CHECKED		PROJ. NO.	1413

PLAN #8

Plan #8

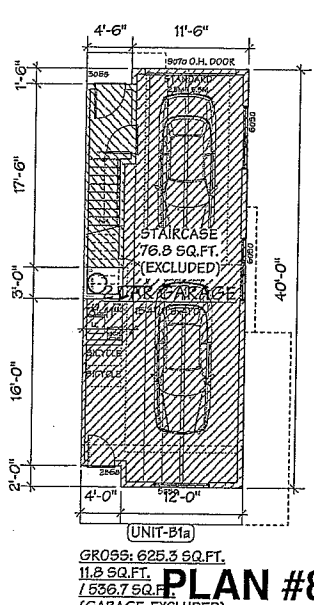
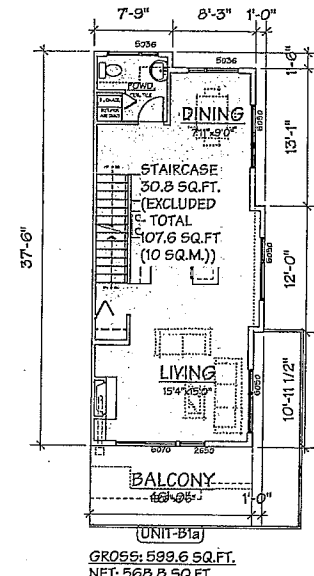
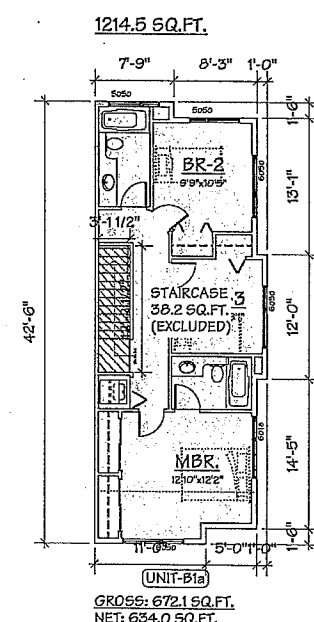
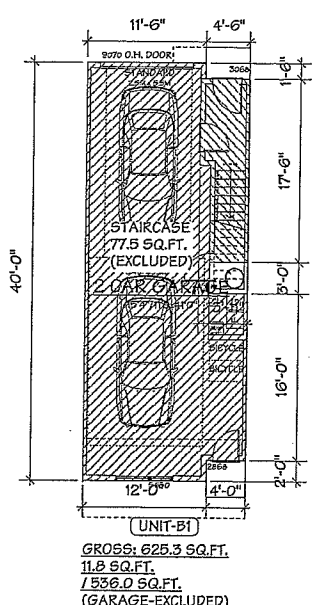
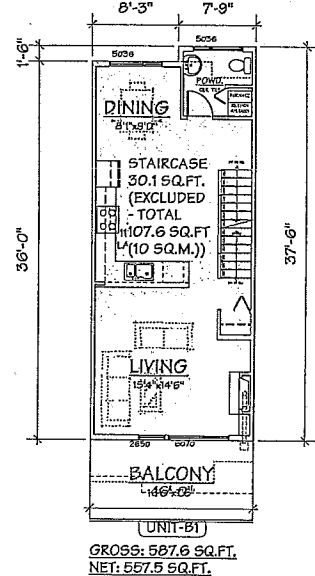
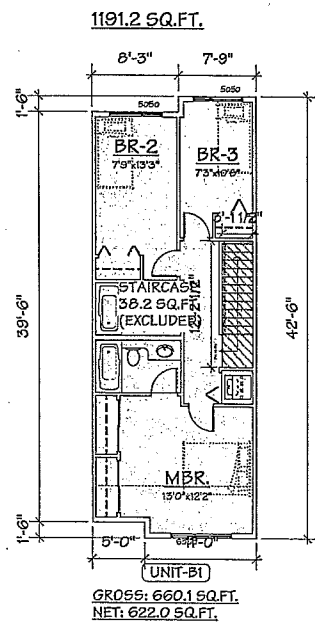
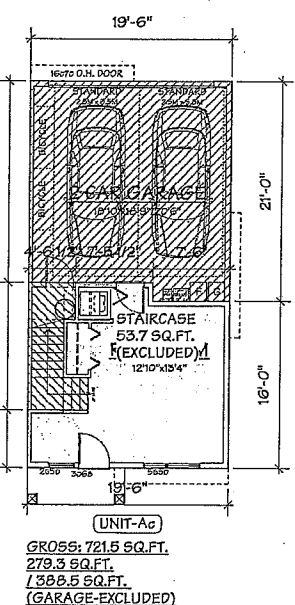
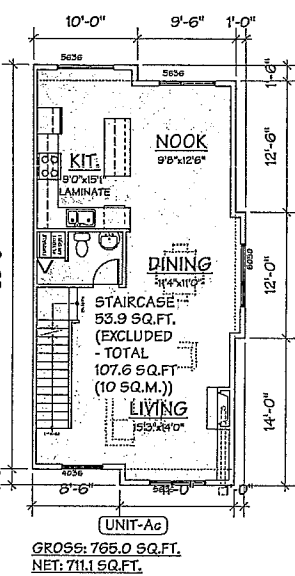
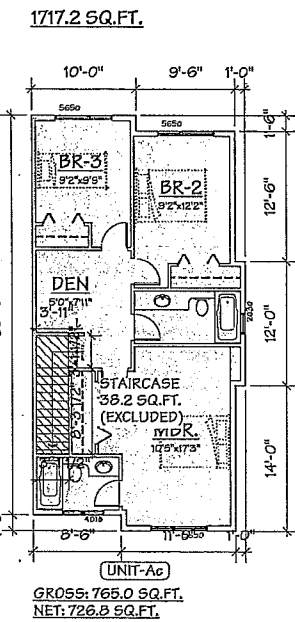
APR 13 2016

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F.A.R. CALCULATION:

UNIT:	GROSS AREA:	STAIRS (EXEMPTED AREA):	NET FLOOR AREA:	GARAGE (EXEMPTED AREA):
A-1F	721.5 SF	53.7 SF	279.3 SF	388.5 SF
A-2F	753.0 SF	53.9 SF	699.1 SF	
A-3F	753.0 SF	38.2 SF	714.8 SF	
	2227.5 SF	145.8 SF	1693.2 SF	
Aa-1F	721.5 SF	53.7 SF	279.3 SF	388.5 SF
Aa-2F	773.0 SF	53.9 SF	719.1 SF	
Aa-3F	773.0 SF	38.2 SF	734.8 SF	
	2267.5 SF	145.8 SF	1733.2 SF	
Ab-1F	721.5 SF	53.1 SF	283.7 SF	384.8 SF
Ab-2F	765.0 SF	54.5 SF	710.5 SF	
Ab-3F	765.0 SF	38.2 SF	726.8 SF	
	2251.5 SF	145.8 SF	1721.0 SF	
Ac-1F	721.5 SF	53.7 SF	279.3 SF	388.5 SF
Ac-2F	765.0 SF	53.9 SF	711.1 SF	
Ac-3F	765.0 SF	38.2 SF	726.8 SF	
	2251.5 SF	145.8 SF	1717.2 SF	
At-1F	767.4 SF	41.8 SF	339.0 SF	386.6 SF
At-2F	897.4 SF	65.8 SF	831.7 SF	
At-3F	897.4 SF	57.1 SF	840.3 SF	
	2562.2 SF	164.7 SF	2011.0 SF	
B-1F	593.3 SF	75.5 SF	10.1 SF	507.6 SF
B-2F	542.3 SF	32.1 SF	510.2 SF	
B-3F	638.8 SF	38.2 SF	600.6 SF	
	1774.3 SF	145.8 SF	1120.9 SF	
Ba-1F	593.3 SF	73.6 SF	11.8 SF	507.9 SF
Ba-2F	565.5 SF	34.0 SF	531.5 SF	
Ba-3F	637.5 SF	38.2 SF	599.3 SF	
	1796.3 SF	145.8 SF	1142.6 SF	
B1-1F	625.3 SF	77.5 SF	11.8 SF	536.0 SF
B1-2F	587.6 SF	30.1 SF	567.5 SF	
B1-3F	660.1 SF	38.2 SF	622.0 SF	
	1873.0 SF	145.8 SF	1191.2 SF	
B1a-1F	625.3 SF	76.8 SF	11.7 SF	536.7 SF
B1a-2F	599.6 SF	30.8 SF	568.8 SF	
B1a-3F	672.1 SF	38.2 SF	634.0 SF	
	1897.0 SF	145.8 SF	1214.5 SF	
B2-1F	574.3 SF	75.5 SF	10.1 SF	488.6 SF
B2-2F	525.8 SF	32.1 SF	493.7 SF	
B2-3F	637.3 SF	38.7 SF	598.6 SF	
	1737.3 SF	146.3 SF	1102.4 SF	
B2a-1F	574.3 SF	75.5 SF	10.1 SF	488.6 SF
B2a-2F	543.3 SF	32.1 SF	511.2 SF	
B2a-3F	637.3 SF	38.7 SF	598.6 SF	
	1754.8 SF	146.3 SF	1119.9 SF	
B3-1F	625.3 SF	77.5 SF	11.8 SF	536.0 SF
B3-2F	600.0 SF	30.1 SF	569.9 SF	
B3-3F	667.6 SF	38.2 SF	629.5 SF	
	1892.9 SF	145.8 SF	1211.1 SF	



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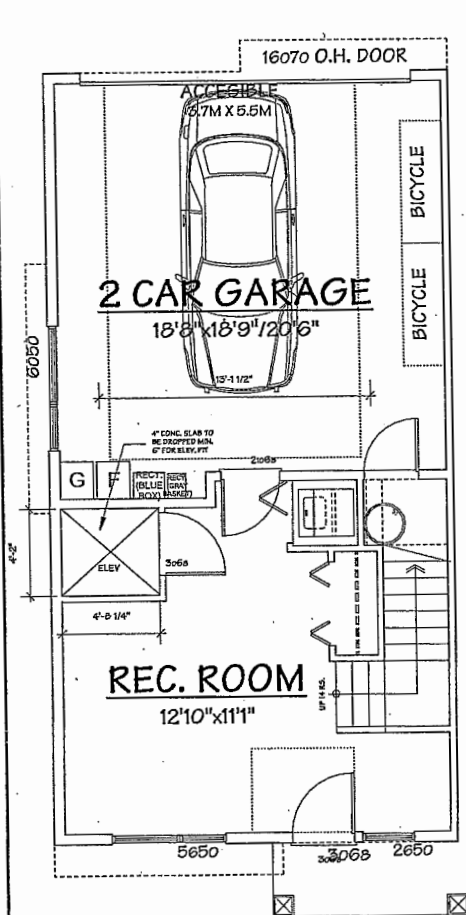
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F.A.R. OVERLAY

SCALE 1/8" = 1'-0"	SHEET NO.
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APR 13 2016

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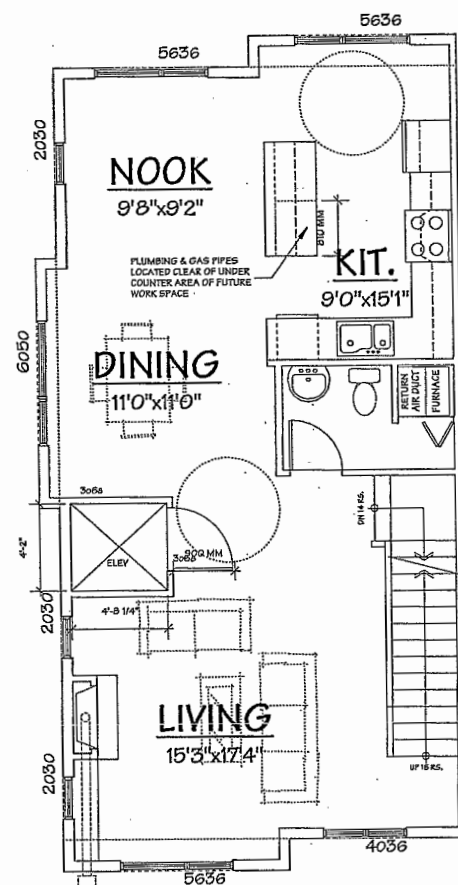
Plan #8a



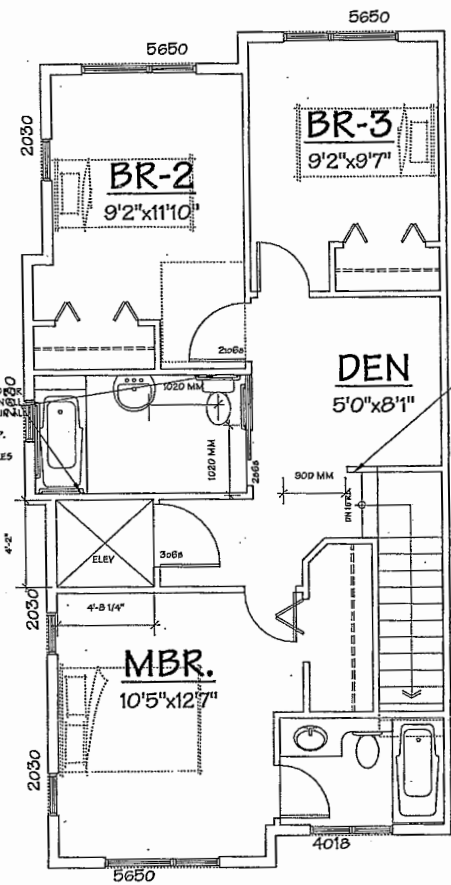
UNIT-Ab

ALT. UNIT Ab CONVERTIBLE PLAN

SCALE: 1/4" = 1'-0"



UNIT-Ab



UNIT-Ab

**AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):**

- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- STAIRWELL HANDRAILS

**SUSTAINABILITY FEATURES
(TO BE PROVIDED IN ALL UNITS):**

- DOUBLE GLAZED VINYL FRAMED WINDOW W/LOW E GLASS (TYP.)
- WATER EFFICIENT TOILETS

CHECKLIST - CONVERTIBLE UNIT FEATURES

DOORS & DOORWAYS	ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.	COMPLIES.
	ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER).	ROUGH IN WIRING PROVIDED.
	INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS	COMPLIES.
	PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED.	COMPLIES.
	ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.	COMPLIES.
VERTICAL CIRCULATION	LEVER-TYPE HANDLES FOR ALL DOORS.	COMPLIES.
	STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS, OR VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS	COMPLIES.
	FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.	COMPLIES.
	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2"x12" SOLID LUMBER AT 914 MM TO CENTRE.	COMPLIES.
	HALLWAYS	MIN. 900 MM WIDTH.
HALLWAYS	MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.	COMPLIES.
	ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.	COMPLIES.
	BATHROOM (MIN. 1)	TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
	WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2"x12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.	COMPLIES.
	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.	COMPLIES.
KITCHEN	PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.	TO BE PROVIDED.
	CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.	COMPLIES.
	DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).	COMPLIES.
	CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.	COMPLIES.
	CABINETS UNDERNEATH SINK ARE EASILY REMOVED.	COMPLIES.
WINDOWS	1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.	COMPLIES.
	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.	COMPLIES.
	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)	COMPLIES.
	PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.	TO BE PROVIDED.
	UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.	TO BE PROVIDED.

NO.	DATE	REVISIONS
MAR. 10, 2015	MATERIAL REVISED	
FEB. 3, 2015	GENERAL REVISIONS	
OCT. 6, 2015	ISSUED FOR A.D.P.	
MAY 14, 2015	ISSUED FOR D.P. APPLICATION	
MAR. 23, 2015	GENERAL REVISIONS	
NOV. 4, 2014	ISSUED FOR REZONING	
NO.	DATE	REVISIONS
CONSULTANT		

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

5550 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

232 - 33 East 8th Avenue, Vancouver, B.C.
V5T 1R5 Tel: 604-731-1127 Fax: 604-731-1327

DRAWING TITLE
FLOOR PLANS

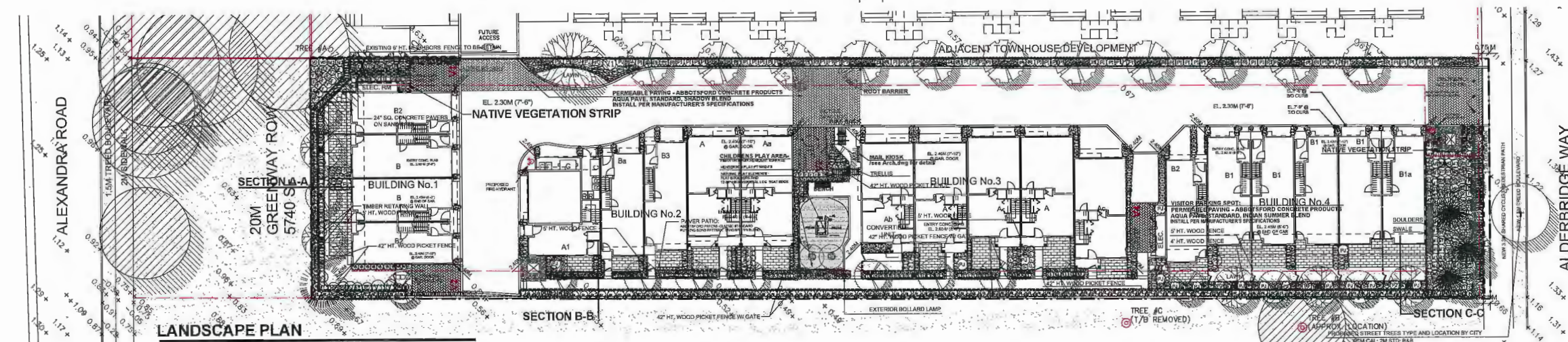
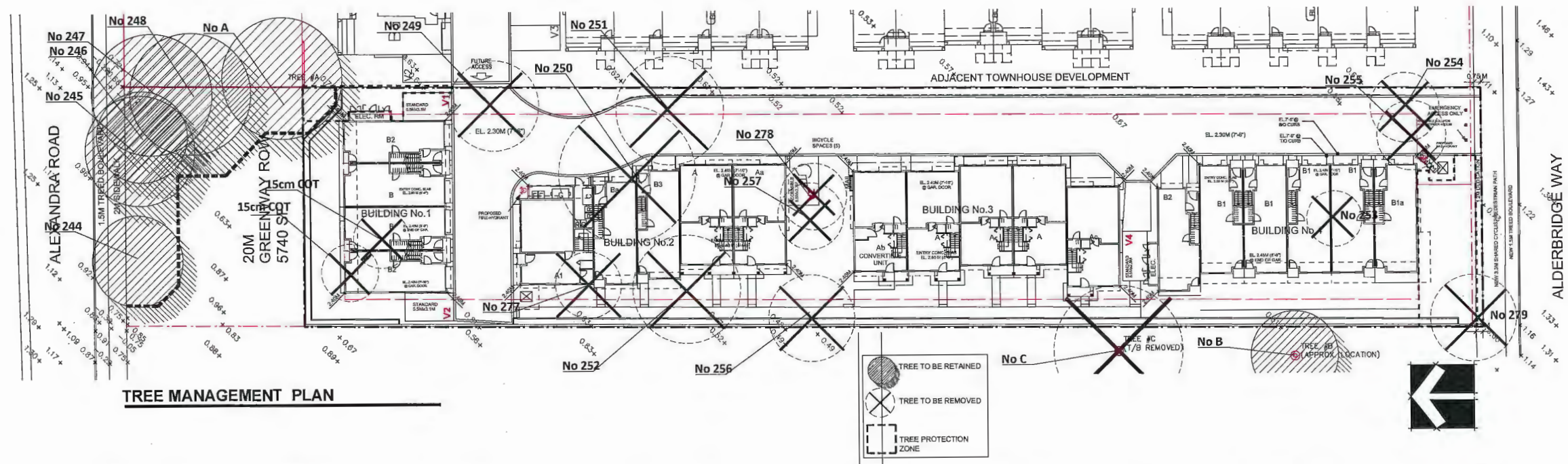
SCALE 1/4" = 1'-0"	SHEET NO.
DATE MAY 4, 2015	
DRAWN KM	DP 15-700370
CHECKED	PROJ. NO. 1413

PLAN #9

Plan #9

APR 13 2016

DP 15-700370



PLANT SCHEDULE				PMG PROJECT NUMBER: 14-150	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
TREE	11	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	60M CAL; 2M STD; B&B	
	1	CERCIDIPHYLLUM JAPONICUM	KATSURRA TREE	60M CAL; 2M STD; B&B	
	15	MAGNOLIA SOULANGEANA 'RUSTICA RUBRA'	RUSTICA RED MAGNOLIA	60M CAL; 1.2M STD; B&B	
	1	PRINCEA OMORICA	SERBIAN SPRUCE	60M CAL; B&B	
	1	STREET TREE LOCATION AND TYPE BY CITY		60M CAL; B&B	
SHRUB	5	STYRAX JAPONICUS 'PINK CHIMES'	PINK FLOWERED JAPANESE SNOWBELL	3M; B&B	
	150	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM	
	128	CHOISYA TERNATA SUNSHINE	MEXICAN MOCK ORANGE	#3 POT; 50CM	
	16	CORNUS SERICEA 'KELSEY'	DWARF KELSEY DOGWOOD	#3 POT; 60CM	
	8	HYDRANGEA MACROPHYLLA 'TELLER RED'	BIG-LEAF HYDRANGEA; LACECAP RED	#3 POT; 80CM	
GRASS	36	NANDINA DOMESTICA 'HARBOUR DWARF'	DWARF HEAVENLY BAMBOO	#2 POT; 40CM	
	35	PIERIS JAPONICA 'FOREST FLAME'	PIERIS; WHITE BLOOMS	#3 POT; 50CM	
	71	PRUNUS LAUROCESTRUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	#2 POT; 40CM	
	24	ROSA EXPLORER 'SIMON FRASER'	SIMON FRASER ROSE; MED. PINK	#3 POT; 50CM	
	96	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	1.2M B&B	
PERENNIAL	90	TAXUS BACCATA 'FASTIGIATA'	COLUMNAR IRISH YEW	1.2M HT; B&B	
	47	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	#2 POT; 50CM	
	24	VACCINIUM CORYMBOSUM 'BLUE CROP'	BLUE CROP EDIBLE BLUEBERRY	#2 POT; 50CM	
	4	VIBURNUM P.T. 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM	#3 POT; 60CM	
	116	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT	
TREES	146	OPHIOPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	#1 POT	
	5	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	#1 POT	
	176	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#1 POT	
	23	HEMEROCALLIS 'RED MAGIC'	DAYLILY; RED AND YELLOW	15 CM POT	
	5	HOSTA 'RED OCTOBER'	HOSTA; RED STEMS, 12" HT.	15 CM POT	
TREES	114	LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER	#1 POT	
	148	LONICERA PLEATA	PRIVET HONEYSUCKLE	#1 POT; 25CM	
	25	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 20CM	
	53	VACCINIUM VITIS-IDAEA	LINGONBERRY	#1 POT; 25CM	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

PLANT SCHEDULE - NATIVE VEGETATION STRIP ONLY				PMG PROJECT NUMBER: 14-150	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
TREE	3	ACER CIRCINATUM	VINE MAPLE	3M HT; B&B; 3 STEM CLUMP	
	2	CORNUS NUTTALLII	PACIFIC DOGWOOD	2M HT; B&B	
	3	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	3M HT; B&B	
	35	MAHONIA AQUIFOLIUM	OREGON GRAPE	#2 POT; 50CM	
	3	ROSA GYMNOCARPA	BALDIP ROSE	#2 POT; 40CM	
SHRUB	53	SPIRAEA DOUGLASII	DOUGLAS SPIREA	#2 POT; 40CM	
	31	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#3 POT	
	95	GAULTHERIA SHALLOON	SALAL	#1 POT; 20CM	
	18	MAHONIA NERVOZA	LONGLEAF MAHONIA	#2 POT; 25CM	
	46	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 20CM	
GRASS					

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

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PROJECT:
20 UNIT TOWNHOUSE DEVELOPMENT

9560 ALEXANDRA ROAD
RICHMOND

WITH YAMAMOTO ARCHITECTURE INC.

DRAWING TITLE:
LANDSCAPE PLAN

DATE: November 2, 2014
SCALE: 1/8"=1'-0"
DRAWN: DD
DESIGN: DD
CHECK: PCM

DRAWING NUMBER:
L1

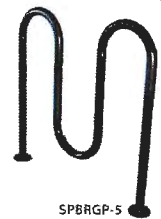
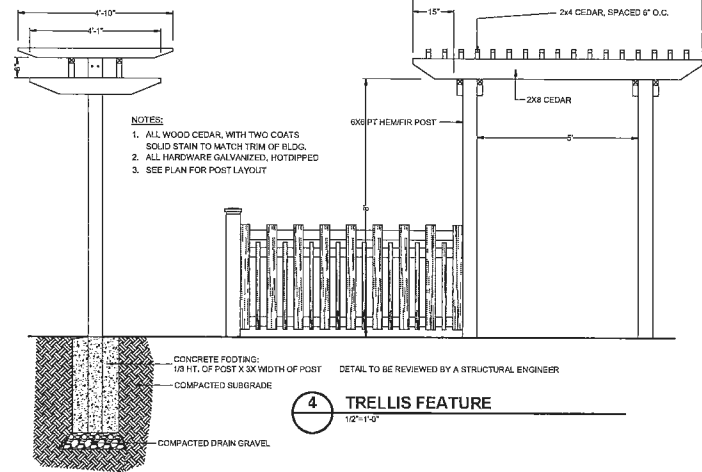
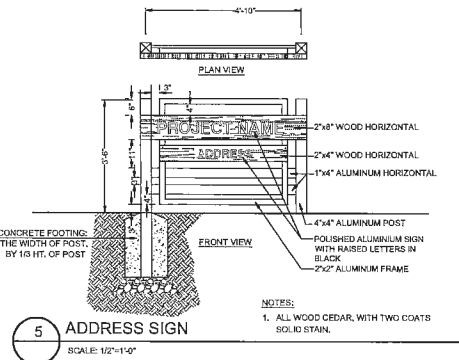
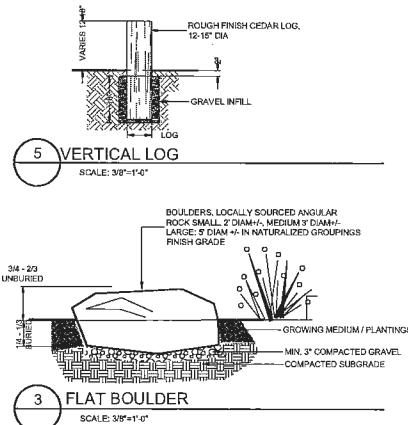
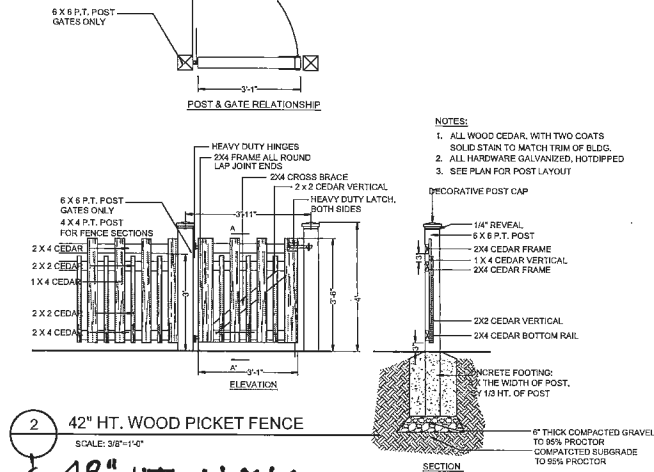
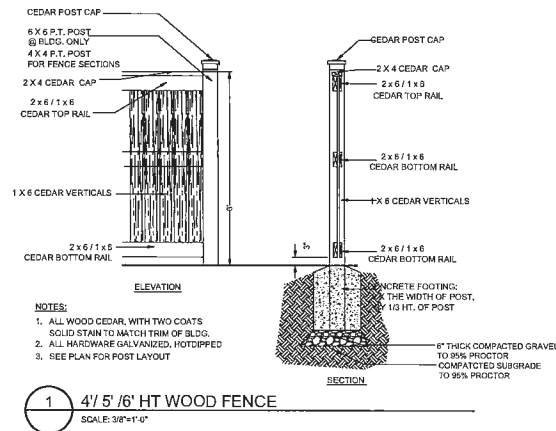
PMG PROJECT NUMBER: 14-150

PLAN # 10

APR 21 2016

DP 15-700370

SEAL:



SURF BIKE RACK; MODEL SPBRGP-5; BLACK COLOUR
WISHBONE SITE FURNISHINGS Ph.:604 626 0476



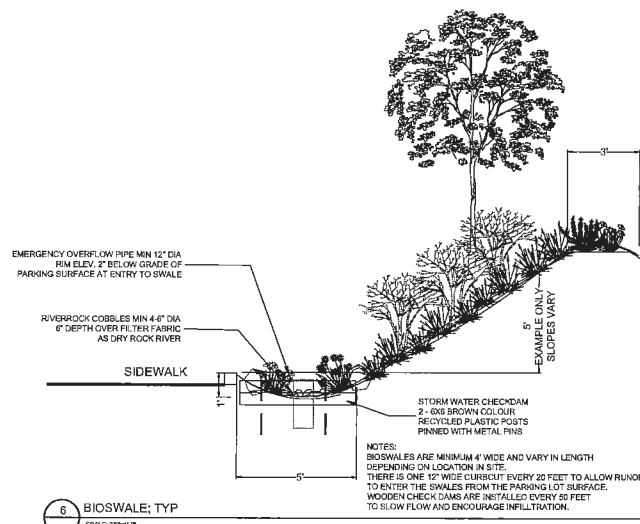
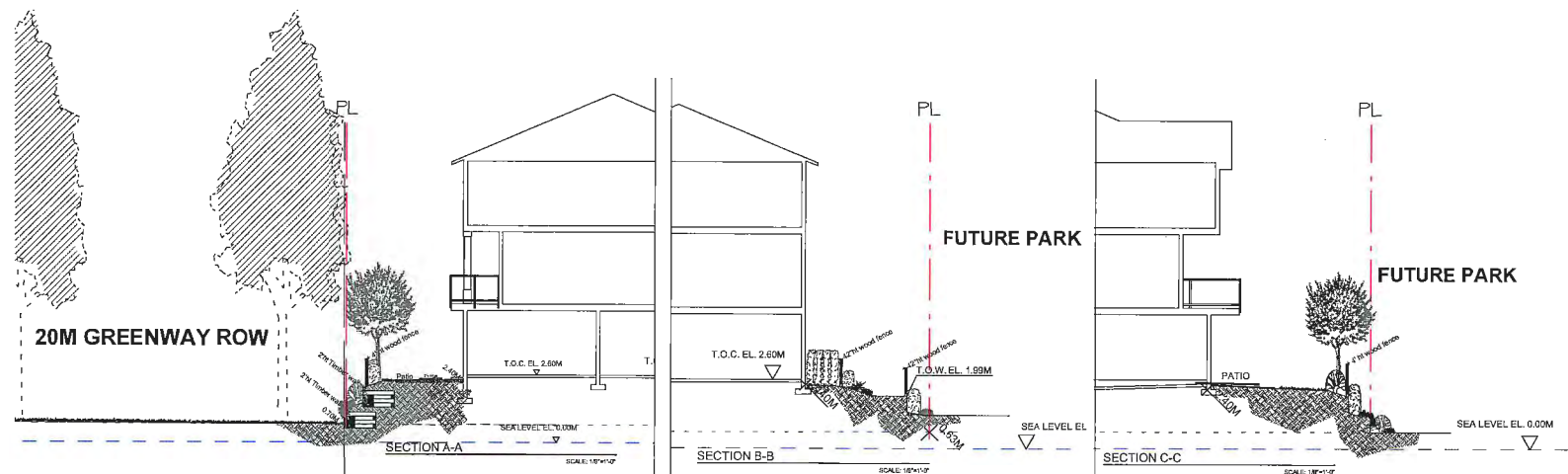
PARKER BENCH PKB-6;
REDWOOD COLOR RECYCLED PLASTIC SLATS;
WISHBONE SITE FURNISHINGS Ph.:604 626 0476
BLACK FRAME



Henderson Protecting Playground Fun
PlayTots; Model PT5002
Ph.: 1-800-265-5462 ext.302



HADCO ALUMINIUM BOLLARD LIGHT
DB30, BLACK COLOUR



NO.	DATE	REVISION DESCRIPTION	DR.
10	15.APR.20	NEW SITE PLANTING ADDRESS	ED
9	15.APR.20	NEW SITE PLANTING ADDRESS	ED
8	15.MAR.11	REVISED RETAINING WALL ALONG WEST P.L.	ED
7	15.FEB.20	CITY COMMENTS	ED
6	15.APR.20	AS PER REVISED ADDRESS ADDRESS	ED
5	15.DEC.18	NEW SITE PLANTING COMMENTS	ED
4	15.OCT.18	NEW SITE PLAN	ED
3	15.MAY.18	NEW SITE PLAN	ED
2	15.MAY.18	NEW SITE PLANTING COMMENTS	ED
1	15.MAY.18	NEW SITE PLAN	ED

CLIENT: SIAM GROUP INVESTMENTS INC.

PROJECT:
**20 UNIT TOWNHOUSE
DEVELOPMENT**
**9560 ALEXANDRA ROAD
RICHMOND**

WITH YAMAMOTO ARCHITECTURE INC.

DRAWING TITLE:

LANDSCAPE DETAILS

DATE: November 2, 2014 DRAWING NUMBER:

SCALE:

DRAWN: DD

DESIGN: DD

CHECK: PCM

L2

OF 3

14150-11.DP

PMG PROJECT NUMBER:

14-150

PLAN # 11

APR 21 2016

DP 15-700 370



Suite C100 - 4185 SMI Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0111 | f: 604 294-0022

SCALE:

PART ONE GENERAL REQUIREMENTS

- 1.1 REFERENCES
- 1.1.1 CCDC Doc 22066
Comply with all articles in the General Conditions of Contract in conjunction with this section unless superseded by other Contract Documents.
- 1.1.2 B.C. Landscape Standard, 2002 edition, prepared by the B.C. Society of Landscape Architects and the B.C. Landscape & Nursery Association, jointly. All work and materials shall meet standards as set out in the B.C. Landscape Standard unless superseded by this specification or as directed by Landscape Architect with written instructions.
- 1.1.3 MASTER PRINCIPAL SPECIFICATIONS & STANDARD DETAILS, 2006 edition, prepared by the Consulting Engineers of British Columbia, Roadbuilders and Heavy Construction Association, and the Municipal Engineers Division
- 1.1.4 STANDARD FOR LANDSCAPE IRRIGATION SYSTEM, 2008 Prepared by the Irrigation Industry Association of British Columbia.
- 1.1.5 MUNICIPAL BYLAWS AND ENGINEERING SPECIFICATIONS WHERE NOTED.
- 1.2 TESTING
- 1.2.1 A current test more than one month old for all growing medium to be used on this site is required. Provide and pay for testing by an independent testing facility approved by the Landscape Architect. Before growing medium test results to Landscape Architect for review and approval prior to placement. Refer to Section 3.1 Growing Medium Testing for procedure.
- 1.2.2 Owner reserves the right to test or re-test materials. Contractor responsible to pay for testing if materials do not meet specification.
- 1.3 SUBMITTALS
- 1.3.1 Any alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect.
- 1.3.2 Submittals to consist of product sample or manufacturer's product description.
- 1.4 SITE REVIEW
- 1.4.1 Under the terms of the Landscape Architect's Contract with the Owner and where the Landscape Architect is the designated reviewer, the Landscape Architect will observe construction as it is necessary in their opinion to confirm conformance to the plans and specifications. Contact Owners Representative to arrange for site observation at the appropriate times. Allow two days notice. Observation schedule may include but will not be limited to the following:
- 1.4.1.1 Start up Site Meeting, General Contract Prior to any site disturbance, a meeting with the general contractor to review tree preservation issues, general landscape issues and municipal requirements.
- 1.4.1.2 Start up Site Meeting, Landscape Contract If separated At the start of work with Owner's Representative, Site Superintendent and Landscape Contractor; a meeting to be held to review expected work and to verify the acceptability of the substrate and general site conditions for the Landscape Contractor. Provide growing medium test results for this meeting.
- 1.4.1.3 Progress Site Visits: To observe materials as necessary through the course of the work. Review of different aspects of the work may be dealt with on any single visit. Such elements may include Site Layout, Rough Grading, Growing Medium - quality, depths, finish grading, Driveway and Driveway Materials, Lawn or Grass areas, Planting - plant material including expectations with suppliers, nursery inspections, plant size, quality, quantity, planting practices and layout, the support: Pests, Irrigation Systems, Play Equipment, Site Furniture, and other elements of the site development where the Landscape Architect is the designated reviewer such as Pedestrian Paving, Fencing, Non-structural walls and stairs, Soil Paving.
- 1.4.1.4 Substantial Performance Review of all work, accounting of all submittals, details, plant counts, preparers of deficiency list, and recommendations for completion.
- 1.4.1.5 Certificate of Completion upon the declaration of Substantial Performance, a recommendation for the issuance of the Certificate of Completion will be made to the Payment Certificate as defined in the contract.
- 1.4.1.6 Deficiency Review Prior to the completion of the holdback period, check for completion of deficiencies. Once completed, a Schedule 'C' will be issued where required.
- 1.4.1.7 Warranty Review Prior to the completion of the warranty period (i.e. 12 months after issuance of the Certificate of Completion), review all warranty material and repeat recommendations for warranty replacement.
- 1.5 WARRANTY
- 1.5.1 Unless otherwise instructed in the Contract Documents, the preparation of the subgrade shall be the responsibility of the General Contractor. Placement of growing medium constitutes acceptance of the substrate by the Landscape Contractor. Any subsequent corrections to the substrate required are the responsibility of the Landscape Contractor.
- 1.5.2 All work and equipment used shall be performed by personnel skilled in landscape contracting. In addition, all personnel applying herbicides and/or pesticides shall hold a current license issued by the appropriate authorities.
- 1.5.3 A site visit is required to become familiar with site conditions before bidding and before start of work.
- 1.5.4 Confirm location of all services before proceeding with any work.
- 1.5.5 Notify Landscape Architect of any discrepancies. Obtain approval from Landscape Architect prior to deviating from the plans.
- 1.5.6 Take appropriate measures to avoid environmental damage. Do not dump any waste materials into water bodies. Conform with all federal, provincial and local statutes and guidelines.
- 1.5.7 Collect and dispose of all debris and/or excess material from landscape operations. Keep paved surfaces clean and repair damage resulting from landscape work. Repairs are to be completed prior to final acceptance.
- 1.5.8 Where new work connects with existing, and where existing work is altered, note good to match existing undisturbed condition.
- 1.6 WARRANTIES
- 1.6.1 Guarantee all materials and workmanship for a minimum period of one full year from the date of Certificate of Completion.
- 1.6.2 Refer to individual sections for specific warranties.

PART TWO SCOPE OF WORK

- 1.1 SCOPE OF WORK
- 1.1.1 Other conditions of Contract may apply. Confirm Scope of Work at time of tender.
- 1.1.2 Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally consists of the following:
- 1.1.2.1 Retention of Existing Trees where shown on drawings.
- 1.1.2.2 Finish Grading and Landscape Driveway.
- 1.1.2.3 Supply and placement of growing medium.
- 1.1.2.4 Testing of imported growing medium and/or site layout.
- 1.1.2.5 Supply and incorporation of additives to meet requirements of soil test and Table One.
- 1.1.2.6 Preparation of planting beds, supply of plant material and planting.
- 1.1.2.7 Preparation of rough grass areas, supply of materials and seeding.
- 1.1.2.8 Preparation of lawn areas, supply of materials and seeding.
- 1.1.2.9 Supply and placement of bark mulch.
- 1.1.2.10 Maintenance of planted and seeded/mulched areas until accepted by Owner.
- 1.1.2.11 SEPARATE PRICE: Establishment Maintenance, Section 3.11.
- 1.1.2.12 Other work shown other than this list, as specified by Landscape Architect.

1.2 MATERIALS

- 1.2.1 Growing Medium: Conform to B.C. Landscape Standard for definitions of imported and on-site inputs. Refer to Table One below.
- | TABLE ONE: PROPERTIES OF GROWING MEDIUM FOR LEVEL 1 (MODIFIED) AND LEVEL 3 (MODIFIED) AREAS | | | |
|---|--|--------------------|-----------------------------|
| Canadian System of Soil Classification Technical Class: "Sandy Loam" to "Sandy Clay" | | | |
| Applications | Low Traffic Areas | High Traffic Areas | Planting Areas and Planters |
| Growing Medium Types | TL | TH | TP |
| Texture | | | |
| Coarse Gravel: larger than 25mm | 0 - 10% | 0 - 10% | 0 - 10% |
| All Gravel: larger than 25mm | 0 - 5% | 0 - 5% | 0 - 5% |
| Percent CI Dry Weight of Growing Medium Excluding Gravel | | | |
| Sand: larger than 0.075mm smaller than 0.425mm | 50 - 80% | 70 - 90% | 40 - 60% |
| Silt: larger than 0.002mm smaller than 0.075mm | 10 - 25% | 0 - 15% | 10 - 25% |
| Clay: smaller than 0.002mm | 0 - 25% | 0 - 15% | 0 - 25% |
| Clay and Silt Combined | maximum 25% | maximum 15% | maximum 25% |
| Organic Content (soils) | 3 - 10% | 3 - 5% | 10 - 20% |
| Organic Content (fertilizer) | 3 - 5% | 3 - 5% | 10 - 20% |
| Acidity (pH) | 6.0 - 7.0 | 6.0 - 7.0 | 6.5 - 6.5 |
| Drainage | Permeability shall be such that no standing water is visible 60 minutes after at least 18 minutes of material to heavy rain or irrigation. | | |
2. Fertilizer: An organic and/or inorganic compound containing Nitrogen (N), Phosphate (P), and Potash (K) in proportions required by soil test.
3. Lime: Ground agricultural limestone. Meet requirements of the B.C. Landscape Standard.
4. Organic Additive: Commercial compost product to the requirements of the B.C. Landscape Standard, 8th edition and pre-approved by the Landscape Architect. Recommended suppliers: The Active Gardener Products, Farrow Natural Soils & Fibre, Stream Organics Management.
5. Sand: Clean, washed pump sand to meet requirements of the B.C. Landscape Standard.
6. Composted Bark Mulch: 10mm (3/16") minus Fir/Manhask bark chips and fines, free of chunks and sticks, dark brown in colour and free of all soil, stones, roots or other extraneous matter. Fresh orange or colour bark will be rejected.
7. Herbicides and Pesticides: If used, must conform to all federal, provincial and local statutes. Applies must hold current licenses issued by the appropriate authorities in the area.
8. Filter Fabric: A non biodegradable plastic or other filtering membrane that will allow the passage of water but not fine soil particles. (Such as IMPAR 100 N, GEOLON 150 or ARMOG 150S or alternate product pre-approved by the Landscape Architect.)
9. Drainage Piping: If required Schedule 40 PVC nominal sizes.
10. Drain Rock: Clean, washed, inert, durable, and free a maximum size of 10mm and containing no material smaller than 2mm.
11. Plant Material: To the requirements of the B.C. Landscape Standard. Refer to 3.10 Plants and Planting. All plant material must be provided from a certified disease free nursery. Provide proof of certification.
12. Sod: Refer to individual sections in this specification.
13. Supplier and installers of segmental block walls to provide engineering drawings for all walls signed and sealed drawings for all walls, individually, in areas of 12m, or combinations of walls collectively in excess of 12m. Installations must be reviewed and signed off by Certified Professional Engineer; situate cost of engineering services in Tender price.
14. Miscellaneous: Any other material necessary to complete the project as shown on the drawings and described herein.

PART THREE SOFT LANDSCAPE DEVELOPMENT

- 3.1 RETENTION OF EXISTING TREES
- 3.1.1 Prior to any work on site - protect individual trees or plant groupings indicated as retained on landscape plans as vegetation retention areas.
- 3.1.2 In some instances the Landscape Architect will tag trees or areas to retain. Discuss tree retention areas at a start-up meeting with the Landscape Architect.
- 3.2 A physical barrier must be installed to delineate clearing boundaries. Refer to physical barrier detail. If not set out provided, comply with local municipal requirements.
- 3.3 No machine travel through or within vegetation retention areas or under canopies of trees to be retained is allowed.
- 3.4 Do not staple soil, construction materials, or excavated materials within vegetation retention areas.
- 3.5 Do not park, fuel or service vehicles within vegetation retention areas.
- 3.6 No debris fires, clearing fires or trash burning that be permitted within vegetation retention areas.
- 3.7 No excavations, drains or service trenches nor any other disruption shall be permitted within vegetation retention areas without a review of the proposed encroachment by the Landscape Architect.
- 3.8 Do not cut branches or roots of retained trees without the approval of the Landscape Architect.
- 3.9 Any damage to existing vegetation intended for preservation will be subject to evaluation by an ISA, Certified Arborist using the "Guide for Plant Appraisal", Eighth Edition, 1992.
- 3.10 Supplemental planting of equivalent value to the disturbance will be required. The cost of the evaluation and of the replacement planting will be the responsibility of the General Contractor and/or the personal responsibility for the disturbance.
- 3.11 In municipalities with specific tree retention/replacement bylaws ensure compliance to bylaws.
- 3.12 In situations where required construction may disturb existing vegetation intended for preservation, contact Landscape Architect for review prior to commencing construction.
- 3.2 GRADES
- 3.2.1 Ensure substrate is prepared to conform to depths specified in Section 3.5, Growing Medium Supply, below. Where planting is indicated close to existing trees, prepare subgrade planting pockets for material located on the planting plan. Shape substrate to minimize free standing water and conform to the site grading and drainage plan.
- 3.2.2 On slopes in excess of 3:1 trench subgrade across slope to 150mm (6") minimum at 15m (50') intervals minimum.
- 3.2.3 Scarify the entire subgrade immediately prior to placing growing medium. Re-ratinate where vehicular traffic results in compaction during the construction procedures. Ensure that all planting areas are smoothly contoured after light compaction to finished grade.
- 3.2.4 Eliminate standing water from all finished grades. Provide a smooth, firm and even surface and conform to grades shown on the Landscape Drawings. Do not exceed maximum and minimum gradients defined by the B.C. Landscape Standard.
- 3.2.5 Construct swales two to five and grade, smooth and free of rags or high points. Minimum slope 2%, maximum side slopes 100%. Assume positive drainage to collection points.
- 3.2.6 Slope not to exceed the following maximums: Rough Grass 3:1, Lawn 4:1, Landscape plantings 2:1.
- 3.2.7 Finished subgrade elevation at building to comply with municipal requirements.
- 3.2.8 Inform Landscape Architect of completion of finish grade prior to placement of seed, sod, plants or mulch.

3.3 LANDSCAPE DRAINAGE

- 3.3.1 Related Work: Growing medium and Finish Grading, Grass areas, Trees Shrubs and Groundcovers, Planters, Oak Walls.
- 3.3.2 Work included: Site finish grading and surface drainage. Installation of any drainage systems detailed on landscape plans. Note: Catch basins shown on landscape plans for coordination only, confirm scope of work prior to bid.
- 3.3.3 Consider all landscape drainage work with rest of site drainage. Refer to engineering drawings and specifications for connections and other drainage work.
- 3.3.4 Determine exact location of all existing utilities and structures and underground utilities prior to commencing work, which may not be located on drawings and conduct work so as to prevent interruption of service or damage to them. Protect existing structures and utility services and be responsible for damage caused.
- 3.3.5 Planter drains on site. Refer to Section 3.10, Installing Landscapes on Structures.
- 3.3.6 Details:
- 3.3.6.1 On trenching and backfilling in accordance with engineering details and specifications.
- 3.3.6.2 Lay drains on prepared bed, free to line and grade with inverts smooth and free of rags or high points. Ensure barrel of each pipe is in contact with bed throughout full length.
- 3.3.6.3 Connect using laying pipe all outlet and proceed in upstream direction.
- 3.3.6.4 Lay perforated pipes with perforations 30mm and open positions.
- 3.3.6.5 Make joints tight in accordance with manufacturer's directions.
- 3.3.6.6 Do not allow water to flow through the pipes during construction except as approved by Engineer.
- 3.3.6.7 Make watertight connections in existing drains, new or existing manholes or catchpools where indicated or as directed by Landscape Architect.
- 3.3.6.8 Plug upstream ends of pipe with water-tight closed end caps.
- 3.3.6.9 Surround and cover pipe with drain rock in uniform 150mm layers to various depths as shown in details, minimum 100mm.
- 3.3.6.10 Cover drain rock with non-woven filter cloth top all edges and seams minimum 150mm.
- 3.3.6.11 Assume positive drainage.
- 3.3.6.12 Back fill remainder of trench as indicated.
- 3.3.6.13 Protect sub-drains from localized damage during installation.

3.4 GROWING MEDIUM TESTING

- 3.4.1 Submit representative sample of growing medium proposed for use on this project to an independent laboratory. Provide test results to Landscape Architect prior to planting. Test results to include:
- 3.4.1.1 Physical properties, % content of gravel, sand, silt, clay and organic.
- 3.4.1.2 Acidity (pH) and quantities of lime or sulphur required to bring within specified range.
- 3.4.1.3 Nutrient levels of groups and trace elements and recommendations for required soil amendments.
- 3.4.1.4 Carbon/Nitrogen level.
- 3.5 GROWING MEDIUM SUPPLY AND PLACEMENT
- 3.5.1 Supply all growing medium required for the performance of the Contract. Do not lead, transport or spread growing medium when it is so wet that its structure is likely to be damaged.
- 3.5.2 Supply all growing medium addititives as required by the soil test. Amended growing medium must meet the specification for growing medium as defined in Table One for the various areas.
- 3.5.3 Thoroughly mix required amendments into the full depth of the growing medium.
- 3.5.4 Spread rates may be required for various situations. Refer to drawing notes for instructions.
- 3.5.5 Place the amended growing medium in all grass and planting areas. Spread growing medium in uniform layers not exceeding 6" (150mm), over uniform subgrade free of standing water.
- 3.5.6 Minimum depths of growing medium placed and compacted to 80%:
- 3.5.6.1 On-grade
- 3.5.6.2 Seeded and sodded lawns 4" (100mm)
- 3.5.6.3 Areas planted shrubs & groundcovers 15" (400mm)
- 3.5.6.4 Groundcover only areas, if defined on plan 4" (100mm)
- 3.5.6.5 Trees & large shrub pits: depth to conform to depth of rootball - width shall be at least twice the width of the root ball with square shaped sides.
- 3.5.6.6 On-Slab:
- 3.5.6.7 Irrigated lawns 8" (200mm)
- 3.5.6.8 Groundcover areas 4" (100mm)
- 3.5.6.9 Lawns without automatic irrigation 2" (50mm)
- 3.5.6.10 Shrubs & groundcover areas 8" (200mm)
- 3.5.6.11 Trees and specimen shrubs 38" (1000mm) over columns and/or edge of slab (verify column locations on-site for tree locations)
- 3.5.6.12 Depth of mulch 1 1/2" (38mm) sodded over filter fabric
- 3.5.6.13 Maximum 10" depth growing medium except where required for trees over column points.
- 3.5.7 Manually spread growing medium/planting soil around existing trees, shrubs and obstacles.
- 3.5.8 In perimeter seeded grass areas, feather growing medium out to meeting of edges and blend into existing grades.
- 3.5.9 Finished grades shall conform to the elevations shown on landscape and site plans.

3.6 ROUGH GRASS AREA - SEEDING

- 3.6.1 General: Rough grass areas are noted on the drawings as "Rough Grass". Treat all areas defined as rough grass between all property lines of the project including all boulevards to edge of roads and lanes.
- 3.6.2 Preparation of Surfaces: To B.C. Landscape Standard Class 3 Areas Rough grass Section 7.1.1.3.
- 3.6.3 Clean existing soil by mechanical means of debris less than 50mm in any dimension.
- 3.6.4 Rough grass surfaces to allow for maintenance specified and for positive drainage.
- 3.6.5 Time of Seeding: Seed from early spring (generally April) till late fall (September 30th) of each year. Further extensions may be obtained on concurrence of the Landscape Architect.
- 3.6.6 Seed Supply & Testing: All seed must be obtained from a recognized seed supplier and shall be No. 1 grade material delivered in containers bearing the following information:
- 3.6.6.1 Analysis of the seed mixture
- 3.6.6.2 Percentage of each seed type
- 3.6.6.3 Seed Mixture: All species shall be rated as strong performers in the Pacific Northwest and are subject to client approval.
- 3.6.6.4 70% Annual Ryegrass
- 3.6.6.5 30% Perennial Ryegrass
- 3.6.6.6 For Midwestern Areas use a mixture of Midwestern with hard fescue (terrific Central Midwestern) with hard fescue or pre-approved alternate.
- 3.6.6.7 Fertilizer: Mechanical seeding. Apply a complete synthetic slow-release fertilizer with maximum 35% water soluble nitrogen and a formulation ratio of 10-10-10 - 55% water soluble, 100 kg/ha (100 lbs/acre) using a mechanical spreader.
- 3.6.6.8 Seeding: Apply seed at a rate of 100 kg/ha (100 lbs/acre) with a mechanical spreader. Incorporate seed into the top 1/4" (6mm) of soil and lightly compact.
- 3.6.6.9 Acceptance: Provide adequate protection of the seeded areas until conditions of acceptance have been met. Comply with Section 2.2 Hydroseeding.

3.7 HYDROSEEDING

- 3.7.1 May be used as an alternate to mechanical seeding in rough grass areas.
- 3.7.2 May not be used in a rough grass area unless pre-approved by the Landscape Architect prior to bidding.
- 3.7.3 Preparation and Growing Medium:
- 3.7.3.1 In areas of Rough Grass Comply with Section 2.2 Rough Grass.
- 3.7.3.2 Where approved for use in areas of lawns, comply with Section 3.8 Lawn Areas Seeding.
- 3.7.4 Protection: Ensure that fertilizer in solution does not come in contact with foliage of any trees, shrubs, or other susceptible vegetation. Do not spray seed or mulch adjacent and expected to grow grass. Protect existing site equipment, roadways, landscaping, reference points, monuments, markers and structures from damage. Where contamination occurs, remove seeding slurry by application of water and by means approved by the Landscape Architect.
- 3.7.5 Mulch shall consist of virgin wood fibre or recycled paper fibre designed for hydro-seeding and dried to the stage of non-flammable application. If using recycled paper material for wood fibre substitute use 150% by weight. Conforms to B.C. Landscape Standard for mulch requirements.
- 3.7.6 Water: Shall be free of any impurities that may have an inhibitory effect on the success of seeding or may be harmful to the environment.
- 3.7.7 Equipment: Use industry standard hydro-seed sprayer/equipment with the tank volume certified by an identification plate or sticker attached to the tank or the equipment. The hydro-seed sprayer/equipment shall be capable of sufficient application to mix the material into a homogeneous slurry and to maintain the slurry in a homogeneous state until it is applied. The discharge pumps and nozzles shall be capable of applying the materials uniformly over the designated area.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 3.8 APPLICATION RATE
- 3.8.1 Seed Mixture: 100 kg/ha (100 lbs/acre)
- 3.8.2 Fertilizer: 100 kg/ha (100 lbs/acre)
- 3.8.3 Mulch: 100 kg/ha (100 lbs/acre). Where specified, apply (1) lbs/acre (1/4 cu. ft.) of grass seed
- 3.8.4 Water:
- 3.8.4.1 All the time of tender provide a complete chart of all components of the mix prepared including mulch, fertilizer, water etc. Slotted sites require mulch.
- 3.8.4.2 Fertilizer:
- 3.8.4.2.1 Rough Grass if a soil analysis is available, comply with results.
- 3.8.4.2.2 Lawn Where hydroseeding is approved, comply with soil analysis recommendations.
- 3.8.5 Accuracy: measure the quantities of each of the materials to be charged into the tank either by mass or by a computerized system of mass-calibrated volume measurements. The materials shall be added to the tank while it is being filled with water in the following sequence: seed, fertilizer. Thoroughly mix into a homogeneous slurry. After charging, add water or other material to the mixture. Do not leave slurry in the tank for more than four (4) hours.
- 3.8.6 Distribute slurry uniformly over the surface of the area to be hydroseeded. Blend application into previous applications and existing grass areas to form uniform surface.
- 3.8.7 Clean up: Remove all materials and other debris resulting from seeding operations from the job site.
- 3.8.8 Maintenance: Begin maintenance immediately after seeding and continue for 60 days after Substantial Completion and until accepted by the Owner. Re-seed at three week intervals where germination has failed. Protect seeded areas from damage with temporary wire or fence lines complete with signage until grass area is 10mm over by the Owner. Water in sufficient quantities to ensure deep penetration and at frequent intervals to maintain species growth until grass is taken over by the Owner. It is the Owner's responsibility to supply water at no extra cost to the Contractor.
- 3.8.9 Acceptance of the Rough Grass Areas: Proper preparation of all specified grass species is the responsibility of the Landscape Contractor. The grass shall be reasonably well established, with no apparent dead or bare spots and shall be reasonably free of weeds by B.C. Landscape Standard, Section 10 Maintenance Level 4 (Hydroseeded). Seedy days after substantial completion, areas meeting the conditions above will be taken over by the Owner. Areas seeded in Fall will be accepted in Spring the month after the start of growing season, provided that the above conditions for acceptance are fulfilled.

3.9 LAWN AREAS - SEEDING

- 3.9.1 General: Treat all areas defined as lawn areas in the landscape plan with all property lines of the project including all boulevards to edge of roads and lanes.
- 3.9.2 Growing Medium: Comply with Section 2.2, Growing Medium. Prior to seeding, request an inspection of the finished grade, and depth and condition of growing medium by the Landscape Architect.
- 3.9.3 Time of Seeding: Sod from April 1st to October 1st. Further extensions may be obtained on concurrence of the Landscape Architect.
- 3.9.4 Soil Supply: Conforms to all conditions of B.C. Landscape Standard, Section 8.6, Standard for Turfgrass Sod.
- 3.9.5 Specified Turfgrasses by Area: Refer to Table 2 below.
- | AREA | SPECIFIED TURFGRASS BY AREA |
|---------|--|
| CLASS 1 | Lawn, all areas noted on drawings as lawn in urban development sites including boulevard grass |
| CLASS 2 | Grass - public parks, industrial and institutional sites |
| CLASS 3 | Rough Grass |
| SPECIAL | |
- 3.9.6 Sodding: Sod from April 1st to October 1st. Further extensions may be obtained on concurrence of the Landscape Architect.
- 3.9.7 Sodding: Sod from April 1st to October 1st. Further extensions may be obtained on concurrence of the Landscape Architect.
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- 3.9.100 Sodding: Sod from April 1st to October 1st. Further extensions may be obtained on concurrence of the Landscape Architect.

3.10 PLANTS AND PLANTING

- 3.10.1 Confirm to planting layout as shown on Landscape Plans.
- 3.10.2 Obtain approval of Landscape Architect for layout and preparation of planting prior to commencement of planting operations.
- 3.10.3 Make edge of beds with smooth clear defined lines.
- 3.10.4 Time of Planting:
- 3.10.4.1 Plant trees, shrubs and groundcovers only during periods that are normal for such work as determined by local weather conditions when seasonal conditions are likely to ensure successful adaptation of plants to their new location.
- 3.10.5 Standards:
- 3.10.5.1 All plant material must conform to the requirements of the B.C. Landscape Standard, 7th edition 2008, unless exceeded by drawing Plant Schedule or this specification.
- 3.10.5.2 Refer to B.C. Landscape Standard, Section 3.10, 3.10.1, 3.10.2, 3.10.3, 3.10.4, 3.10.5, 3.10.6, 3.10.7, 3.10.8, 3.10.9, 3.10.10, 3.10.11, 3.10.12, 3.10.13, 3.10.14, 3.10.15, 3.10.16, 3.10.17, 3.10.18, 3.10.19, 3.10.20, 3.10.21, 3.10.22, 3.10.23, 3.10.24, 3.10.25, 3.10.26, 3.10.27, 3.10.28, 3.10.29, 3.10.30, 3.10.31, 3.10.32, 3.10.33, 3.10.34, 3.10.35, 3.10.36, 3.10.37, 3.10.38, 3.10.39, 3.10.40, 3.10.41, 3.10.42, 3.10.43, 3.10.44, 3.10.45, 3.10.46, 3.10.47, 3.10.48, 3.10.49, 3.10.50, 3.10.51, 3.10.52, 3.10.53, 3.10.54, 3.10.55, 3.10.