



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: January 20, 2014

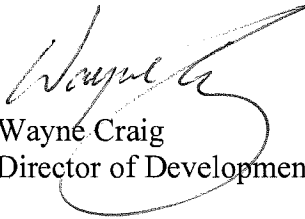
From: Wayne Craig
Director of Development

File: DP 13-630413

Re: Application by Yamamoto Architecture Inc. for a Development Permit at
9431, 9451, 9471 and 9491 Williams Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of 20 townhouse units at 9431, 9451, 9471 and 9491 Williams Road on a site zoned "Medium Density Townhouses (RTM2)".



Wayne Craig
Director of Development

EL:blg
Att.

Staff Report

Origin

Yamamoto Architecture Inc. has applied to the City of Richmond for permission to develop 20 townhouse units (10 two-storey and 10 three-storey townhouse) at 9431, 9451, 9471 and 9491 Williams Road. The subject site is being rezoned from "Single Detached (RS1/E)" to "Medium Density Townhouses (RTM2)" for this project under Bylaw 8972 (RZ 11-586280), which received third reading following the Public Hearing on January 21, 2013. The site currently contains four (4) single-family dwellings. The houses will be demolished and the site will be consolidated to allow the proposal townhouse project.

Storm sewer upgrades and frontage improvements were secured through the rezoning process and will be constructed through a separate Servicing Agreement (SA 13-628182), which must be entered into prior to final adoption of the rezoning bylaw. Works include, but are not limited to, upgrade to the existing storm sewer along the frontage to a minimum of 600 mm, removal of the existing sidewalk, and construction of a new 1.5 m wide sidewalk along the property line and a 1.50 m grass and treed boulevard between the new sidewalk and the existing curb.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the North: Existing single-family dwellings on lots zoned "Single Detached (RS1/E)" fronting Pinewell Crescent.
- To the East: Existing single-family dwellings on lots zoned "Single Detached (RS1/E)" fronting Williams Road.
- To the South: Existing single-family dwellings on lots zoned "Single Detached (RS1/E)" fronting Williams Road; then James Whiteside Elementary School on a site zoned "School and Institutional Use (SI)".
- To the West: Existing single-family dwellings with coach house on lots zoned "Coach House (RCH)", then existing single-family dwellings on lots zoned "Single Detached (RS1/E)", fronting Williams Road.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on January 21, 2013. At the Public Hearing, the property owner of the adjacent property to the north at 9371 Pinewell Crescent expressed concerns regarding: potential flooding on his property; on-site drainage; proposed site grading; and privacy. The resident suggested that a retaining wall be installed to address these concerns regarding privacy and site grading. In response to the neighbour's concern, the applicant is proposing a 0.6 m high retaining wall along the common property line with a 1.8 m

high solid wood privacy fence on top. Perimeter drainage will be installed as part of the Building Permit to ensure the proposed grade change does not adversely impact the surrounding sites including adjacent single-family developments.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the “Medium Density Townhouses (RTM2)” zone.

Advisory Design Panel Comments

The proposal was presented to the Advisory Design Panel (ADP) for review on November 20, 2013. Since quorum was not present, the Panel did not vote on the item; however, the consensus of the Panel was that the item should proceed to Development Permit Panel. A copy of the relevant excerpt from the minutes of the Advisory Design Panel meeting is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘*bold italics*’.

Analysis

Conditions of Adjacency

- The proposed height, siting and orientation of the buildings respect the massing of the existing single-family homes adjacent to the site.
- Three-storey units are proposed along Williams Road. The end units adjacent to the west side yard and the entry driveway on the east edge are stepped down from three (3) storeys to two (2) storeys.
- Two-storey duplex units are proposed on the northern portion of the site in recognition of the adjacent existing single-family rear yards, and to minimize privacy and overlook concerns. The proposed rear yard setback of 4.5 m exceeds the minimum rear yard setback of 3.0 m specified in the RTM2 zone.
- There is an existing 3.0 m wide Statutory right-of-way (SRW) located along the rear (north) property line where no tree planting is allowed. Potential of planting trees outside of SRW within these rear yards is unattainable due to conflict between the tree and roof overhangs.
- To protect the privacy of the neighbouring single-family homes, a 1.8 m tall fence on top of a 0.6 m high retaining wall and an assortment of hedging materials and shrubs along the rear (north) property line are proposed. In addition, one (1) existing Maple tree along the rear property line is being retained.
- Adjacent properties to the east at 9511 and 9531 Williams Road have future potential for redevelopment as townhouses. A development concept for these sites has been prepared by the developer, and is on file. A PROP SRW allowing access to/from the future development sites via the subject site has been secured at rezoning.
- The proposed outdoor amenity space on the subject site is expected to be enlarged and consolidated with the outdoor amenity area of the future development to the east at 9511 and

9531 Williams Road, by a coordinated design and removal of fence; a cross-access easement to facilitate this arrangement has been secured at rezoning.

Urban Design and Site Planning

- The layout of the townhouse units is organized around one (1) driveway providing access to the site from Williams Road and an east-west drive aisle providing access to all proposed unit garages.
- A total of 20 units in six (6) clusters are proposed. The southern two (2) clusters are oriented towards Williams Road, while the northern four (4) clusters are oriented towards the internal drive aisle.
- All units have two (2) vehicle parking spaces. All duplex units will have a standard parking stall and a small car parking stall located side-by-side in the individual garages. Tandem parking spaces are proposed in three-storey units (10 units in total) only. A Restrictive Covenant prohibiting the conversion of tandem parking area into habitable area has been secured.
- A total of four (4) visitor parking spaces, including one (1) accessible visitor parking space, are provided throughout the site. The number of visitor parking spaces proposed complies with the bylaw requirement.
- Outdoor amenity space is proposed at the site entry for maximum exposure. An existing 82 m cal Ginko Biloba tree will be retained and protected within the proposed outdoor amenity area.
- The size and location of the outdoor amenity space is appropriate in providing a feature open landscape and amenity convenient to all of the units.
- The garbage and recycling enclosure is located on the west side of the entry driveway and has been incorporated into the design of the adjacent building to minimize its visual impact.

Architectural Form and Character

- A pedestrian scale is achieved along the public street and internal drive aisle with the inclusion of variation in building height, building projections, recesses, entry porches, varying material combinations, landscape features, and individual unit entrances. All units along Williams Road have direct access from the street.
- The main rooflines of the street fronting buildings create a sloping transition from the proposed three-storey units to two-storey units.
- Gabled main entrances with posts and board and batten siding are incorporated into the design to create similar character to the adjacent newer single-family homes to the west.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, secondary unit entrances, and planting islands.
- Natural colours have been used for all siding materials to fit with the context of the neighbourhood.
- The proposed building materials (asphalt roof shingles, vinyl siding, board & batten, Hardie-Plank siding, stone veneer base, wood trim/post/band/bracket and metal doors/guard rail) are generally consistent with the Official Community Plan (OCP) Guidelines and

compatible with both the existing single-family character of the neighbourhood and multi-family character being introduced on other townhouse sites along Williams Road.

Landscape Design and Open Space Design

- The landscape design was developed to maximize possible tree retention. Four (4) bylaw-sized trees are to be retained: a 65 cm cal Deodar Cedar and a 32 cm cal Spruce located along the east property line at the site entry; a 82 cm cal Ginko Biloba within the proposed outdoor amenity area; and a 70 cm cal multi-branching Maple located at the proposed rear yard of Unit D2.
- To avoid grading work adjacent to the protected Maple tree located in the rear yard of Unit D2 and to facilitate a more functional/useable private outdoor space for the unit, a suspended wood deck over the entire rear yard of Unit D2 is proposed. Construction details are included in the landscape plan. Engineering staff have been consulted and are agreeable to the approach. An encroachment agreement for the suspended wood deck construction over the SRW will be required prior to Building Permit issuance.
- To ensure the protected trees will not be damaged during construction, tree protection fencing must be installed to City standards prior to any construction activities occurring on-site. A contract with a Certified Arborist to monitor all works to be done near or within the tree protection zone, including the construction of the suspended deck, is required prior to Development Permit issuance. In addition, no Landscaping Security will be returned until the post-construction assessment report, prepared by the Arborist, confirming the protected trees have survived the construction, is reviewed by staff.
- The applicant is proposing to plant 30 replacement trees on-site, including 12 conifers and 18 deciduous trees. Hedges, an assortment of shrubs and ground covers, and perennials and grasses have been selected to ensure the landscape treatment remains interesting throughout the year.
- Each street fronting unit will have a private yard with a shade tree and shrub/groundcover planting. The patios are to be constructed of precast concrete pavers to allow water to percolate into the ground. The yards are separated by either fencing or hedging to create privacy.
- Each duplex unit will have a patio with concrete pavers and a lawn area in the rear yard; and the yards will be separated by 1.8 m tall privacy screen.
- A children's play area designed for children aged 2 to 5 years old is proposed for the outdoor amenity area. The proposed "Tree House" play equipment includes log stepper, single poly slide, tree house, wood plank wiggle ladder, tree stump, and acorn seat, etc. to allow multiple children to play together and enhance socializing opportunity.
- The proposed fence along the street frontage will be set back from the property line to allow for a landscaped area between the fence and the edge of the new 1.5 m wide public sidewalk.
- Feature paving highlights at the site entrance, as well as in front of the outdoor amenity area, will provide a break to the long asphalt driveway.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$167,610.08 in association with the Development Permit.

- Indoor amenity space is not proposed on-site. A \$21,000 cash-in-lieu contribution has been secured as a condition of rezoning approval.

Crime Prevention Through Environmental Design

- The site plan and individual unit design create opportunity for passive surveillance of the street frontage, outdoor amenity space, and the internal drive aisle.
- Individual unit entrances will be visible from either the public street or the internal drive aisle.
- Space differentiation (public, semi public, private) will be achieved through the use of fences, gates, and landscape features.
- Low planting is proposed along edges of buildings to keep the entry area open and visible.
- Windows overlooking the outdoor amenity space will be integrated in the building design to increase surveillance opportunity.
- Pedestrian pathway connecting sidewalk and internal driveway is proposed for increased natural access flow.

Sustainability

- The developer advises that the following sustainability features will be incorporated into the development:
 - Use of permeable paving for the patios, visitor parking stalls and key areas of the internal driveway.
 - Maximum number of trees (4 bylaw-sized trees) will be saved with the building and grading.
 - Energy efficient appliances.
 - Large operable windows provide natural light and ventilation.
 - Large overhangs for improved building envelope performance.

Accessible Housing

- The proposed development includes one (1) convertible unit (unit D1) that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow this) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. On this basis, staff recommend support of this Development Permit application.



Edwin Lee
Planning Technician-Design
(604-276-4121)

EL:blg

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the Minutes of the Advisory Design Panel Meeting
– November 20, 2013

The following are to be met prior to forwarding this application to Council for approval:

- Final adoption of the Zoning Amendment Bylaw 8972.
- Receipt of a Letter-of-Credit for landscaping and tree survival in the amount of \$167,610.08; Letter-of-Credit will not be released until the Letter of Assurance that landscaping installed from Landscape Architect as well as the Post Construction Impact Assessment Report confirming the protected trees survived the construction from Arborist are reviewed by staff.
- Submission of a proof of contract with a Certified Arborist to monitor all works to be done near or within the tree protection zone.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Registration of an encroachment agreement to allow the proposed the suspended wood deck at the rear yard of proposed Unit D2 be constructed over the SRW along the rear (north) property line.
- Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.



DP 13-630413

Attachment 1

Address: 9431, 9451, 9471 and 9491 Williams Road

Applicant: Yamamoto Architecture Inc.

Owner: 0846930 BC Ltd.

Planning Area(s): Broadmoor

Floor Area Gross: 3,176.8 m²

Floor Area Net: 2,199.7 m²

	Existing	Proposed
Site Area:	3,384 m ² (36,426.1 ft ²)	No Change
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Zoning:	Single Detached (RS1/E)	Medium-Density Townhouses (RTM2)
Number of Units:	4	20

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.65	0.65	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Lot Coverage – Non-porous Surfaces	Max. 65%	61.8%	none
Lot Coverage – Landscaping:	Min. 25%	25%	none
Setback – Front Yard (m):	Min. 6.0 m	6.0 m	none
Setback – Side Yard (East) (m):	Min. 3.0 m	10.8 m	none
Setback – Side Yard (West) (m):	Min. 3.0 m	3.0 m	none
Setback –Rear Yard (m):	Min. 3.0 m	4.5 m	none
Height (m):	Max. 12.0 m (3 storeys)	11.53 m (3 storeys)	none
Lot Size (min. dimensions):	Min. 30 m wide x 35 m deep	Approx. 80.48 m wide x 42.06 m deep	none
Off-street Parking Spaces – Resident (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	44	44	none
Tandem Parking Spaces:	Max. 50% of proposed residential spaces (20 x Max. 50% = 10)	20	none

Small Car Parking Spaces	50% permitted when 31 or more spaces are provided on site (44 x 50% = 22)	10	none
Handicap Parking Spaces:	2% when 3 or more visitor parking spaces are required (4 x 2% = 1)	1	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	\$21,000 cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 20 units = 120 m ²	227 m ²	none

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, November 20, 2013 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

Panel Discussion

Comments from the Panel were as follows:

1. appreciate the aging-in-place features throughout the proposed development;
Noted.
2. vertical spaces are anticipated with stair climbing lift;
-Vertical hoist way provided. See Convertible Unit Plan. Sheet A6.0.
3. consider pocket doors in standard units to create more floor space and enhance accessibility;
Pocket doors integrated at closets for secondary bedrooms in Unit B and linen closet of 2 storey units. See sheet A5.0-5.1.
4. increase the lighting in the outdoor amenity space; limit the height of trees in the area up to 6 feet to enhance surveillance; ensure people entering the development can clearly see into the common outdoor amenity area;
Low planting along the base of the retaining wall provided to enhance surveillance in the outdoor amenity area. See sheet 3A and 3C.
5. the proposed ramp (which was mentioned by the applicant as a potential solution to address the change in grade between the drive aisle and the outdoor amenity space) may interfere with the gecko tree's roots; consider an appropriate solution, such as "flying" over the root system to minimize impact;
Proposed ramp from internal driveway to outdoor amenity area is located near the east property line with a distance of 4'-7" from the Tree Protection Zone at tree #5. See sheet 3A, 3C.
6. consider adding an arbour at the entrance point of walkways from the street;
A wooden trellis on stone pilasters is proposed 2m from the south property line at the entry of the pedestrian walkway. Permeable pavers at the "dead-end" of internal driveway to create a sense of arrival to the pedestrian. See sheet 3A, 3D.
7. consider permeable pavers on the entire drive aisle;
See response above regarding permeable pavers.

8. the subject development has put a lot of pressure on existing trees; follow the recommendations of the arborists;
As mentioned above, a 2.8' construction buffer provided between Tree Protection Area and building no. 2. A total of 15' is provided between the tree and building. TPZ shown at 12.2' from the tree as required. See sheet A1.0.
9. concern on the survivability of proposed plant species to be planted in the narrow slots between the buildings; consider means to ensure survival;
Gravel to be proposed at narrow slots between buildings. See sheet 3A.
10. massing is successful; appreciate the stepping down of end units to blend well with adjacent single family developments;
Noted.
11. dark coloured materials appear drab; consider a lighter colour scheme to lighten the massing of the buildings;
Lighter color scheme revisited to emphasize the massing of the buildings. See revised colored elevations and material/color board. See sheet A4.1/4.2.
12. overall, good articulation and use of materials; buildings have a residential feel;
Noted.
13. the subject site feels very cramped in a predominantly single family neighbourhood; and
Subject site has been designed with jogs in the footprint to increase depth along the streetscape. The use of these alternating recesses helps increase the appearance of the 2 storey vertical volumes. These 2 storey volumes help break up the building facade and create a sense of adjacency to the neighbours. We have also designed the main roof line to gradually decrease towards the single family homes on each end.
14. consider staff recommendations for design development to the outdoor amenity space.
Working with the landscape architect and civil engineer we have redesigned the outdoor amenity space to increase the opportunity of an open environment by reducing the proposed trees and driveway heights. We have also incorporated a ramp for ease of accessibility manoeuvrability. See sheet A1.0/3A.



No. DP 13-630413

To the Holder: YAMAMOTO ARCHITECTURE INC.
Property Address: 9431, 9451, 9471 AND 9491 WILLIAMS ROAD
Address: C/O KEVIN PERALTA
YAMAMOTO ARCHITECTURE INC.
2386 OAK STREET
VANCOUVER, BC V6H 4J1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$167,610.08 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 13-630413

To the Holder: YAMAMOTO ARCHITECTURE INC.

Property Address: 9431, 9451, 9471 AND 9491 WILLIAMS ROAD

Address: C/O KEVIN PERALTA
YAMAMOTO ARCHITECTURE INC.
2386 OAK STREET
VANCOUVER, BC V6H 4J1

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

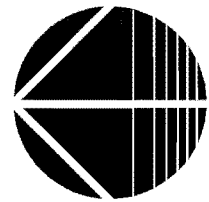
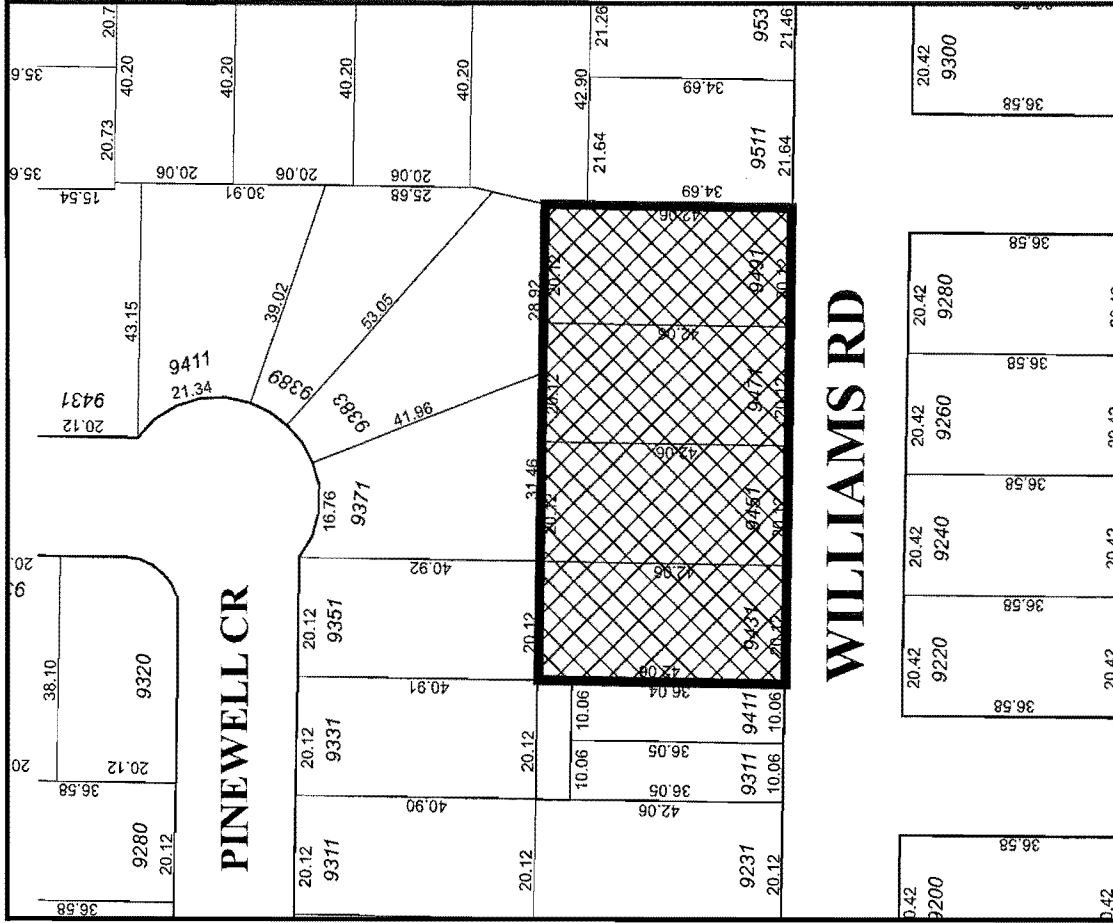
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond

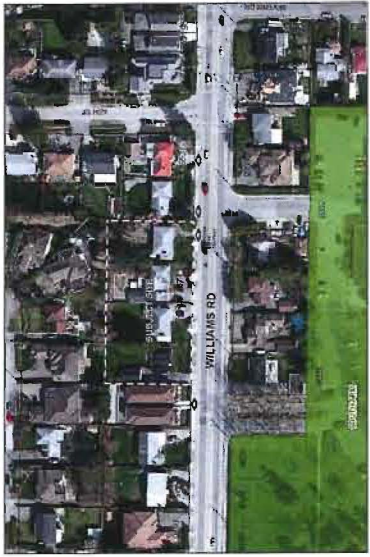


DP 13-630413 SCHEDULE "A"

Original Date: 03/07/13

Revision Date:

Note: Dimensions are in METRES



CONTEXT PLAN
N.T.S.

STATISTICS:

CIVIC ADDRESS: 9431, 9451, 9471, 9481 WILLIAMS ROAD

LEGAL DESCRIPTION:

ZONING: RTM2

LOT AREA: 36,426.1 SQ.FT. (3,364 SQ.M.)

MAX. LOT COVERAGE: 36,426.1 SQ.FT. x 40 % = 14,570.4 SQ.FT. (1,354 SQ.M.)

PROPOSED: 14065.0 SQ.FT. (BUILDINGS)
2587.3 SQ.FT. (PATIOS)
2483.3 SQ.FT. (GARAGE/RECYCL ENCL.)
14970.0 SQ.FT. (40.0%)

TOTAL

12.0 M (THREE STOREYS)

12.0 M (THREE STOREYS)

PROPOSED:

F.A.R.:

MAX. ALLOWED FLOOR AREA (0.65): 36,426.1 SQ.FT. x 65% = 23,677.0 SQ.FT. (2,200.0 SQ.M.)

PROPOSED FLOOR AREA:

	GROSS:	NET:	
UNIT-A (3 BR)	1289.0 SQ.FT.	1123.2 SQ.FT. x 4 UNITS	4816.8 SQ.FT.
UNIT-A1 (3 BR)	1230.0 SQ.FT.	1039.0 SQ.FT. x 2 UNITS	4360.0 SQ.FT.
UNIT-B (3 BR)	1103.4 SQ.FT.	1103.4 SQ.FT. x 1 UNITS	2366.2 SQ.FT.
UNIT-C (3 BR) + DEN	1371.6 SQ.FT.	1371.6 SQ.FT. x 1 UNITS	1232.9 SQ.FT.
UNIT-D (3 BR) + DEN	1341.6 SQ.FT.	1341.6 SQ.FT. x 1 UNITS	1232.9 SQ.FT.
UNIT-E (3 BR) + DEN	1301.4 SQ.FT.	1210.6 SQ.FT. x 5 UNITS	6053.0 SQ.FT.
UNIT-F (3 BR) + DEN	1310.1 SQ.FT.	1277.2 SQ.FT. x 1 UNITS	1277.2 SQ.FT.
UNIT-G (3 BR) + DEN	1310.1 SQ.FT.	1277.2 SQ.FT. x 1 UNITS	1277.2 SQ.FT.
UNIT-H (3 BR) + DEN	1352.6 SQ.FT.	1250.4 SQ.FT. x 1 UNITS	1250.4 SQ.FT.
UNIT-I (3 BR) + DEN	1344.0 SQ.FT.	1255.8 SQ.FT. x 1 UNITS	23564.8 SQ.FT. (64.7%)
SUBTOTAL	30803.7 SQ.FT.	10881.7 SQ.FT.	

ADDITIONAL AREA:

ELECTRICAL: 112.0 SQ.FT.

TOTAL: 23676.8 SQ.FT. (65.0%)

PARKING:

REQUIRED: 2.0 SPACES x 20 UNITS = 40 SPACES (RESIDENTS)
0.2 SPACES x 20 UNITS = 4 SPACES (VISITORS)
TOTAL = 44 SPACES

PROVIDED: 2 CAR GARAGES x 20 UNITS = 40 SPACES (RESIDENTS)
OPEN VISITORS PARKING = 4 SPACES (VISITORS)
TOTAL = 44 SPACES

NOTE: 1 ACCESSIBLE PARKING SPACE IS PROVIDED.

REQUIRED BICYCLE: 125 SPACES x 20 UNITS = 25 SPACES (CLASS 1)
0.2 SPACES x 20 UNITS = 4 SPACES (CLASS 2)
TOTAL = 29 SPACES

PROVIDED BICYCLE: 2 SPACES x 12 GARAGES = 24 SPACES (CLASS 1)
1 SPACE x 0 GARAGES = 0 SPACES (CLASS 1)
BICYCLE RACK = 4 SPACES (CLASS 2)
TOTAL = 28 SPACES

AMENITY AREA

REQUIRED: MIN. 70 SQ.M. (755.5 SQ.FT.)
INDOOR: 120 SQ.M. (1292 SQ.FT.)
OUTDOOR: = PAYMENT IN LIEU

PROVIDED: MIN. 70 SQ.M. (755.5 SQ.FT.)
INDOOR: 120 SQ.M. (1292 SQ.FT.)
OUTDOOR: = 227 SQ.M. (2440 SQ.FT.)

SITE PLAN
SCALE: 3/32"=1'-0"



0

10

20

40

DP 13-630413
PLAN #1
JAN 20 2014

Yamamoto
Architecture Inc.

NO.	DATE	REVISIONS
1	JAN 28 2013	D.P. SUBMISSION
2	AUG 16 2013	GENERAL REVISION
3	OCT 25 2013	GENERAL REVISION
4	NOV 6 2013	A.D.P. SUBMISSION
5	DEC 20 2013	GENERAL REVISION
6	JAN 17 2014	GENERAL REVISION

AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):

- GRAB BAR/STAIRS IN WASHROOM WALLS TO FACILITATE FUTURE
- TOILET TYPE WALLS FOR PLUMBING AND DOOR HANDLES

2386 coll. street, Vancouver, B.C.
V6T 1A1 TEL: 604-731-1127 FAX: 604-731-1127

This drawing is an
interim drawing and is not to be used for construction without the written approval of the author.

PROJECT: 20 UNIT
TOWNHOUSE DEVELOPMENT

DRAWING TITLE: SITE PLAN
STATISTICS

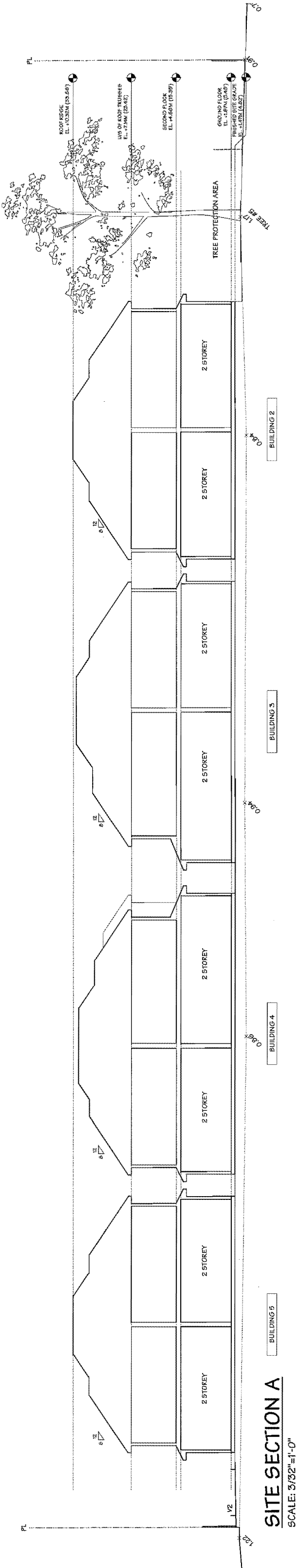
SCALE: 3/32" = 1'-0"

DATE: JAN 28 2013

DRAWN: NP

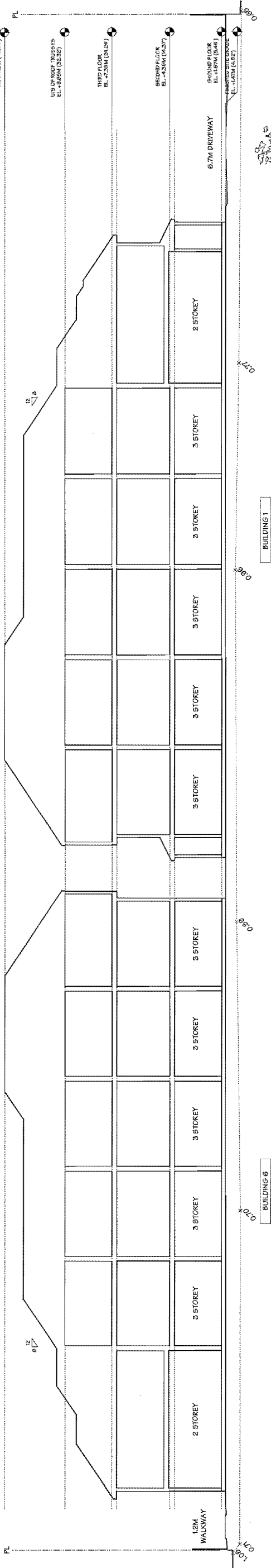
CHECKED:

PROJ. NO. 1108



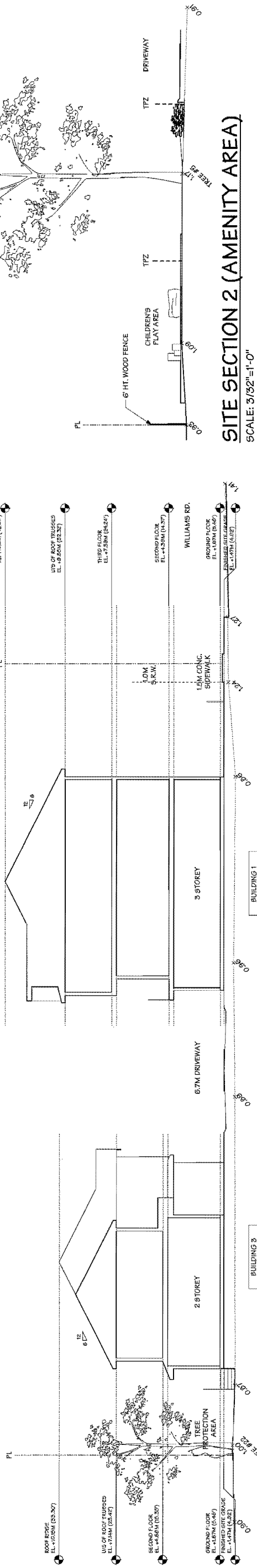
SITE SECTION A

SCALE: 3/32"=1'-0"



SITE SECTION B

SCALE: 3/32"=1'-0"



SITE SECTION 2 (AMENITY AREA)

SCALE: 3/32"=1'-0"

SITE SECTION 1

SCALE: 3/32"=1'-0"

NO.	DATE	REVISIONS
1	JAN. 28, 2013	DP, SUBMISSION
2	AUG. 16, 2013	GENERAL REVISION
3	OCT. 25, 2013	GENERAL REVISION
4	NOV. 6, 2013	A.D.P. SUBMISSION
5	DEC. 10, 2013	GENERAL REVISION
6	JAN. 17, 2014	GENERAL REVISION

Yamamoto
Architecture Inc.

PROJECT
20 UNIT
TOWNHOUSE DEVELOPMENT

DRAWING TITLE
SITE SECTIONS

SHEET NO.
A1.1

SCALE
1/8"=1'-0"

DATE
JAN. 28, 2013

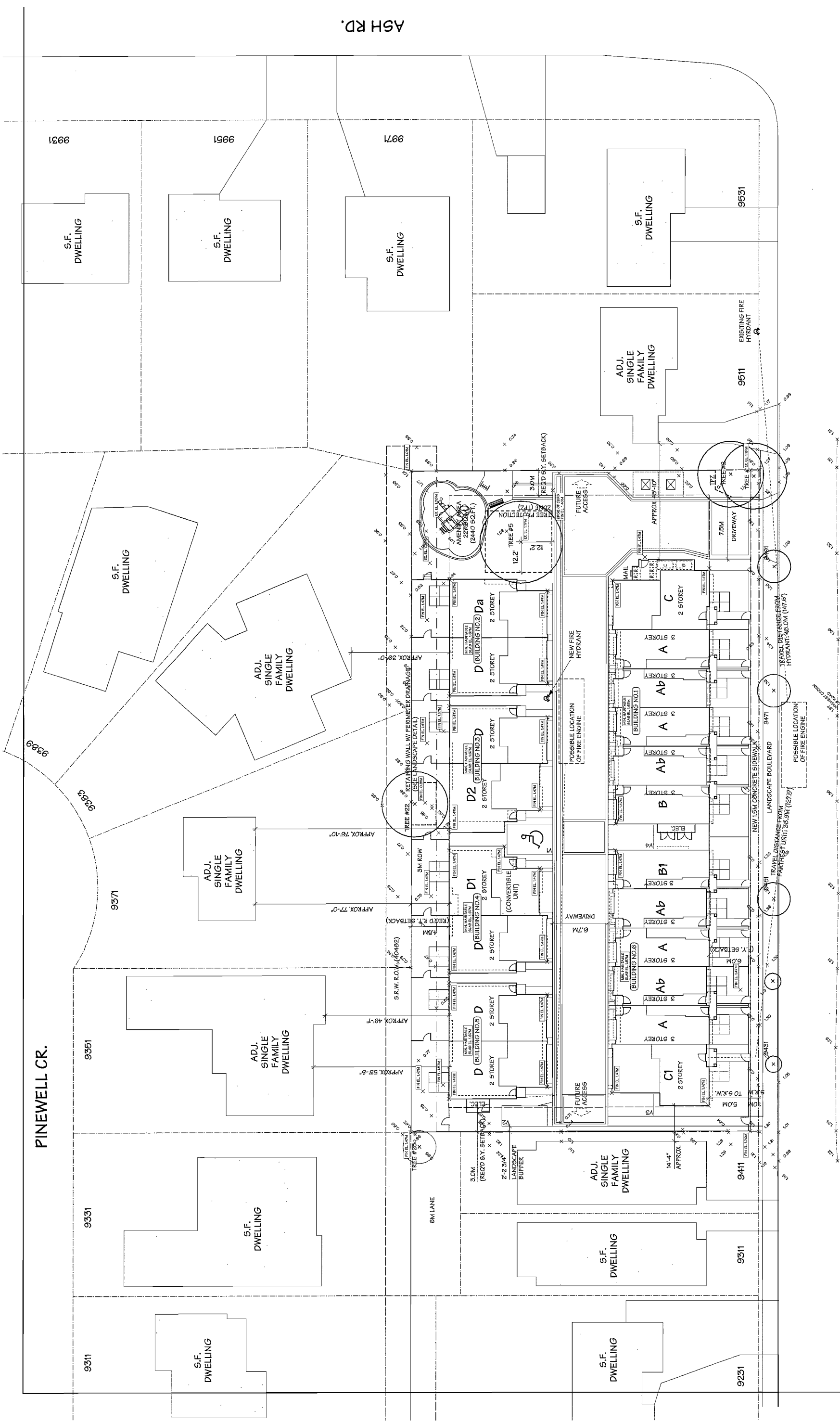
DRAWN
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CHECKED

PROJ. NO. 1108

2888 288 STREET, RICHMOND, B.C.
V6V 1A1 TEL: 604-271-1121 FAX: 604-271-1121

DP 13-630413
JAN 20 2014 PLAN #1A



WILLIAMS ROAD

 **CONTEXT PLAN**
SCALE: 1/16"=1'-0"

DP 13-630413

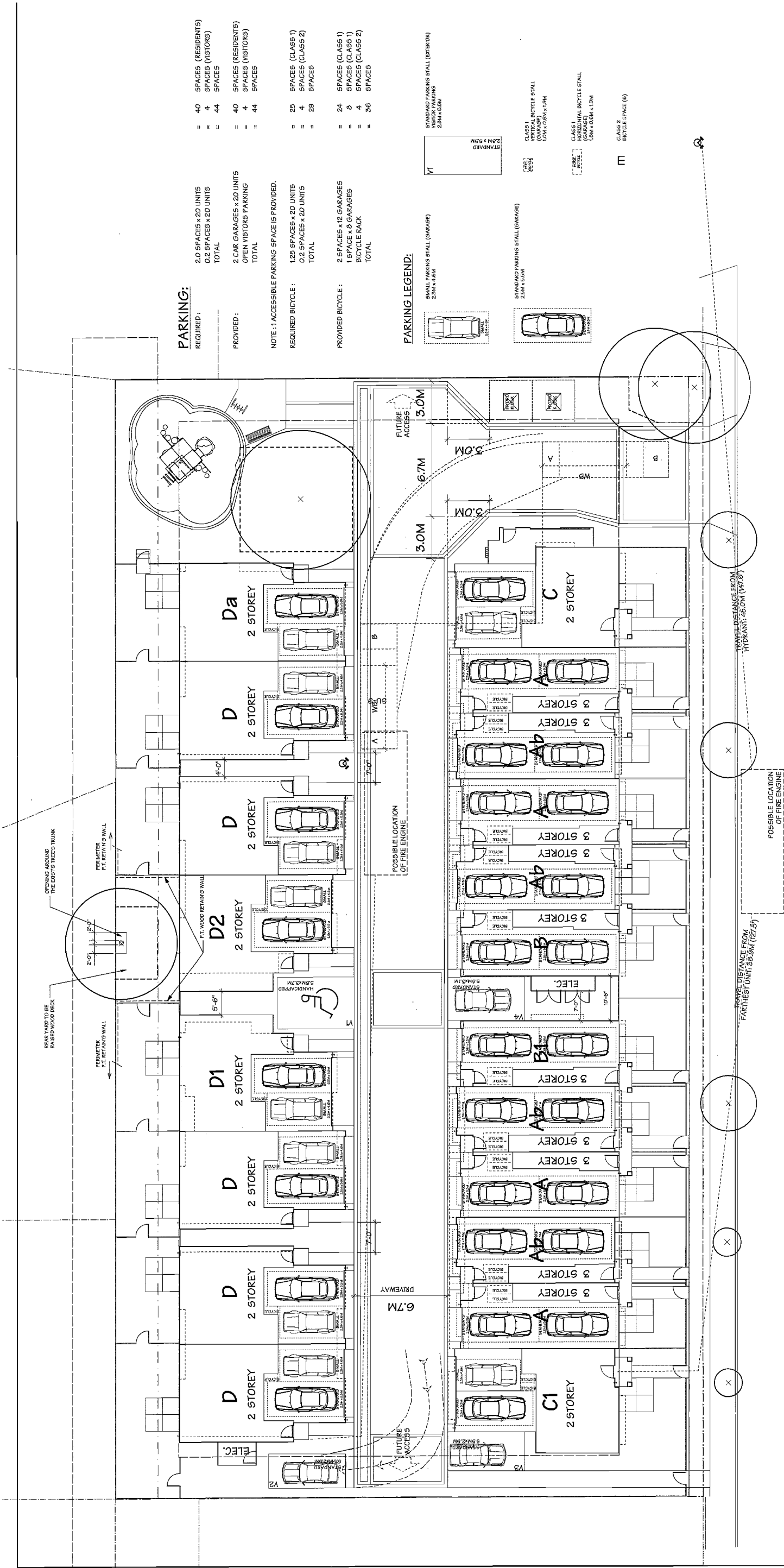
6	JAN. 17, 2014	GENERAL REVISION
5	DEC. 20, 2013	GENERAL REVISION
4	NOV. 6, 2013	A.D.P. SUBMISSION
3	OCT. 25, 2013	GENERAL REVISION
2	AUG. 16, 2013	GENERAL REVISION
1	JAN. 28, 2013	D.P. SUBMISSION
NO.	DATE	REVISIONS

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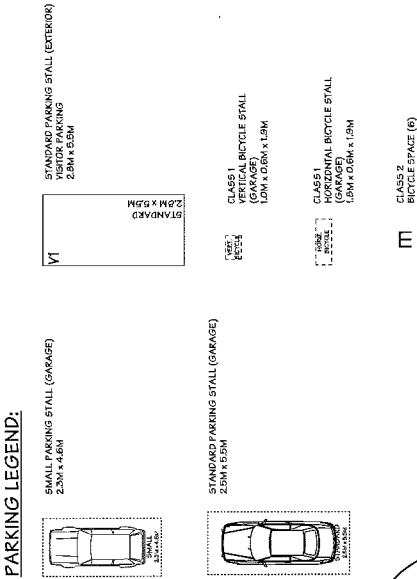
PROJECT	DRAWING TITLE	
20 UNIT	CONTEXT PLAN	
TOWNHOUSE DEVELOPMENT	SCALE $\frac{3/32" = 1'-0"}{1"}$	
	DATE	A1.5
	MAR. 18, 2013	
	DRAWN BY	
	RP	
9431, 9451, 9471, 9491 WILLIAMS ROAD RICHMOND, B.C.	CHECKED	PROJ. NO. 1108

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PARKING:

REQUIRED :	2.0 SPACES x 20 UNITS 0.2 SPACES x 20 UNITS TOTAL	40 SPACES (RESIDENTS) 4 SPACES (VISITORS) = 44 SPACES
PROVIDED :	2 CAR GARAGES x 20 UNITS OPEN VISITORS PARKING TOTAL	40 SPACES (RESIDENTS) 4 SPACES (VISITORS) = 44 SPACES
NOTE :	1 ACCESSIBLE PARKING SPACE IS PROVIDED.	
REQUIRED BICYCLE :	125 SPACES x 20 UNITS 0.2 SPACES x 20 UNITS TOTAL	25 SPACES (CLASS 1) 4 SPACES (CLASS 2) = 29 SPACES
PROVIDED BICYCLE :	2 SPACES x 12 GARAGES 1 SPACE x 8 GARAGES BICYCLE RACK TOTAL	24 SPACES (CLASS 1) 8 SPACES (CLASS 1) 4 SPACES (CLASS 2) = 36 SPACES



PARKING PLAN
SCALE: 3/32"=1'-0"



DP 13-630 413

JAN 2 0 2014

PLAN #2

NO.	DATE	REVISIONS
1	JAN 26, 2013	D.P. SUBMISSION
2	AUG 16, 2013	GENERAL REVISION
3	OCT 25, 2013	GENERAL REVISION
4	NOV 6, 2013	A.D.P. SUBMISSION
5	DEC 20, 2013	GENERAL REVISION
6	JAN 17, 2014	GENERAL REVISION

**Yamamoto
Architecture Inc.**

PROJECT
20 UNIT
TOWNHOUSE DEVELOPMENT

DRAWING TITLE
PARKING PLAN

SCALE
3/32" = 1'-0"

DATE
JAN 26, 2013

DRAWN
RP

CHECKED

SHEET NO.
A2.0

PROJ. NO.
1108

**9431, 9451, 9471, 9491 WILLIAMS ROAD
RICHMOND, B.C.**

**2014 JAN 26 11:27 AM
YAMAMOTO ARCHITECTURE INC.
404-791-1127**

CLIENT:

RICHMOND, B.C.

12070-19.ZIP



DP 13-630413
PLAN # 3
JAN 20 2014

SEAL:

PAVING LEGEND

Figure 1 consists of three diagrams illustrating different concrete pavement construction methods. The top diagram shows a 'PREFABRICATED PAVING - ABSORBED CONCRETE PRODUCTS' with a 'CONCRETE SLAB' and 'JOINTS'. The middle diagram shows 'PRECAST PAVING - ABSORBED CONCRETE PRODUCTS' with a 'CONCRETE SLAB' and 'JOINTS'. The bottom diagram shows 'PRECAST PAVING - ABSORBED CONCRETE PRODUCTS' with a 'CONCRETE SLAB' and 'JOINTS'.

PLANT BOTANICAL NAME		COMMON NAME	PLANTED SIZE / REMARKS	PROJ JOB NUMBER	ISSUED
KEY	QTY				
GRASS					
W	20	CALAMAGOSTIS ACUTIFOLIA VAR. FORSTERI	FORSTER REED GRASS	#1 POT	
W	37	CAREX CARP. 'THE BEATLES'	THE BEATLES SPRING SEDGE	#1 POT	
W	176	CAREX MORROWII 'AUHEO VARIEGATA'	GOLDEN VARIGATED JAPANESE SEDGE	11 CM POT	
W	175	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#1 POT	
VIRE					
L	3	LONICERA JAPONICA 'PURPUREA'	PURPLE-LEAF HONEYSUCKLE	#3 POT; 75CM, STAKED	
PERENNIAL					
W	32	HEMIPOGONIS BONZANA	BONNICA DAYLILY; ORANGE-YELLOW	#1 POT; 1/2 PAN	
W	41	RUBROCAULIS ALONGIDA VAR. SULLIVANTI	GOLDSTURMROSEBECKIA	#1 POT	
W	4	AULICA REPENS 'ATEOPURPUREA'	CARPET BUGLE	#1 POT; 20CM	
W	36	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 65CM	
W	91				
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR BERNED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW UPON APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED WITH CERTIFIED DISEASE FREE NURSERY					

FLAV 1	FLAV 2	FLAV 3	FLAV 4	FLAV 5	FLAV 6	FLAV 7	FLAV 8	FLAV 9	FLAV 10	FLAV 11	FLAV 12	FLAV 13	FLAV 14	FLAV 15	FLAV 16	FLAV 17	FLAV 18	FLAV 19	FLAV 20	FLAV 21	FLAV 22	FLAV 23	FLAV 24	FLAV 25	FLAV 26	FLAV 27	FLAV 28	FLAV 29	FLAV 30	FLAV 31	FLAV 32	FLAV 33	FLAV 34	FLAV 35	FLAV 36	FLAV 37	FLAV 38	FLAV 39	FLAV 40	FLAV 41	FLAV 42	FLAV 43	FLAV 44	FLAV 45	FLAV 46	FLAV 47	FLAV 48	FLAV 49	FLAV 50	FLAV 51	FLAV 52	FLAV 53	FLAV 54	FLAV 55	FLAV 56	FLAV 57	FLAV 58	FLAV 59	FLAV 60	FLAV 61	FLAV 62	FLAV 63	FLAV 64	FLAV 65	FLAV 66	FLAV 67	FLAV 68	FLAV 69	FLAV 70	FLAV 71	FLAV 72	FLAV 73	FLAV 74	FLAV 75	FLAV 76	FLAV 77	FLAV 78	FLAV 79	FLAV 80	FLAV 81	FLAV 82	FLAV 83	FLAV 84	FLAV 85	FLAV 86	FLAV 87	FLAV 88	FLAV 89	FLAV 90	FLAV 91	FLAV 92	FLAV 93	FLAV 94	FLAV 95	FLAV 96	FLAV 97	FLAV 98	FLAV 99	FLAV 100	FLAV 101	FLAV 102	FLAV 103	FLAV 104	FLAV 105	FLAV 106	FLAV 107	FLAV 108	FLAV 109	FLAV 110	FLAV 111	FLAV 112	FLAV 113	FLAV 114	FLAV 115	FLAV 116	FLAV 117	FLAV 118	FLAV 119	FLAV 120	FLAV 121	FLAV 122	FLAV 123	FLAV 124	FLAV 125	FLAV 126	FLAV 127	FLAV 128	FLAV 129	FLAV 130	FLAV 131	FLAV 132	FLAV 133	FLAV 134	FLAV 135	FLAV 136	FLAV 137	FLAV 138	FLAV 139	FLAV 140	FLAV 141	FLAV 142	FLAV 143	FLAV 144	FLAV 145	FLAV 146	FLAV 147	FLAV 148	FLAV 149	FLAV 150	FLAV 151	FLAV 152	FLAV 153	FLAV 154	FLAV 155	FLAV 156	FLAV 157	FLAV 158	FLAV 159	FLAV 160	FLAV 161	FLAV 162	FLAV 163	FLAV 164	FLAV 165	FLAV 166	FLAV 167	FLAV 168	FLAV 169	FLAV 170	FLAV 171	FLAV 172	FLAV 173	FLAV 174	FLAV 175	FLAV 176	FLAV 177	FLAV 178	FLAV 179	FLAV 180	FLAV 181	FLAV 182	FLAV 183	FLAV 184	FLAV 185	FLAV 186	FLAV 187	FLAV 188	FLAV 189	FLAV 190	FLAV 191	FLAV 192	FLAV 193	FLAV 194	FLAV 195	FLAV 196	FLAV 197	FLAV 198	FLAV 199	FLAV 200	FLAV 201	FLAV 202	FLAV 203	FLAV 204	FLAV 205	FLAV 206	FLAV 207	FLAV 208	FLAV 209	FLAV 210	FLAV 211	FLAV 212	FLAV 213	FLAV 214	FLAV 215	FLAV 216	FLAV 217	FLAV 218	FLAV 219	FLAV 220	FLAV 221	FLAV 222	FLAV 223	FLAV 224	FLAV 225	FLAV 226	FLAV 227	FLAV 228	FLAV 229	FLAV 230	FLAV 231	FLAV 232	FLAV 233	FLAV 234	FLAV 235	FLAV 236	FLAV 237	FLAV 238	FLAV 239	FLAV 240	FLAV 241	FLAV 242	FLAV 243	FLAV 244	FLAV 245	FLAV 246	FLAV 247	FLAV 248	FLAV 249	FLAV 250	FLAV 251	FLAV 252	FLAV 253	FLAV 254	FLAV 255	FLAV 256	FLAV 257	FLAV 258	FLAV 259	FLAV 260	FLAV 261	FLAV 262	FLAV 263	FLAV 264	FLAV 265	FLAV 266	FLAV 267	FLAV 268	FLAV 269	FLAV 270	FLAV 271	FLAV 272	FLAV 273	FLAV 274	FLAV 275	FLAV 276	FLAV 277	FLAV 278	FLAV 279	FLAV 280	FLAV 281	FLAV 282	FLAV 283	FLAV 284	FLAV 285	FLAV 286	FLAV 287	FLAV 288	FLAV 289	FLAV 290	FLAV 291	FLAV 292	FLAV 293	FLAV 294	FLAV 295	FLAV 296	FLAV 297	FLAV 298	FLAV 299	FLAV 300	FLAV 301	FLAV 302	FLAV 303	FLAV 304	FLAV 305	FLAV 306	FLAV 307	FLAV 308	FLAV 309	FLAV 310	FLAV 311	FLAV 312	FLAV 313	FLAV 314	FLAV 315	FLAV 316	FLAV 317	FLAV 318	FLAV 319	FLAV 320	FLAV 321	FLAV 322	FLAV 323	FLAV 324	FLAV 325	FLAV 326	FLAV 327	FLAV 328	FLAV 329	FLAV 330	FLAV 331	FLAV 332	FLAV 333	FLAV 334	FLAV 335	FLAV 336	FLAV 337	FLAV 338	FLAV 339	FLAV 340	FLAV 341	FLAV 342	FLAV 343	FLAV 344	FLAV 345	FLAV 346	FLAV 347	FLAV 348	FLAV 349	FLAV 350	FLAV 351	FLAV 352	FLAV 353	FLAV 354	FLAV 355	FLAV 356	FLAV 357	FLAV 358	FLAV 359	FLAV 360	FLAV 361	FLAV 362	FLAV 363	FLAV 364	FLAV 365	FLAV 366	FLAV 367	FLAV 368	FLAV 369	FLAV 370	FLAV 371	FLAV 372	FLAV 373	FLAV 374	FLAV 375	FLAV 376	FLAV 377	FLAV 378	FLAV 379	FLAV 380	FLAV 381	FLAV 382	FLAV 383	FLAV 384	FLAV 385	FLAV 386	FLAV 387	FLAV 388	FLAV 389	FLAV 390	FLAV 391	FLAV 392	FLAV 393	FLAV 394	FLAV 395	FLAV 396	FLAV 397	FLAV 398	FLAV 399	FLAV 400	FLAV 401	FLAV 402	FLAV 403	FLAV 404	FLAV 405	FLAV 406	FLAV 407	FLAV 408	FLAV 409	FLAV 410	FLAV 411	FLAV 412	FLAV 413	FLAV 414	FLAV 415	FLAV 416	FLAV 417	FLAV 418	FLAV 419	FLAV 420	FLAV 421	FLAV 422	FLAV 423	FLAV 424	FLAV 425	FLAV 426	FLAV 427	FLAV 428	FLAV 429	FLAV 430	FLAV 431	FLAV 432	FLAV 433	FLAV 434	FLAV 435	FLAV 436	FLAV 437	FLAV 438	FLAV 439	FLAV 440	FLAV 441	FLAV 442	FLAV 443	FLAV 444	FLAV 445	FLAV 446	FLAV 447	FLAV 448	FLAV 449	FLAV 450	FLAV 451	FLAV 452	FLAV 453	FLAV 454	FLAV 455	FLAV 456	FLAV 457	FLAV 458	FLAV 459	FLAV 460	FLAV 461	FLAV 462	FLAV 463	FLAV 464	FLAV 465	FLAV 466	FLAV 467	FLAV 468	FLAV 469	FLAV 470	FLAV 471	FLAV 472	FLAV 473	FLAV 474	FLAV 475	FLAV 476	FLAV 477	FLAV 478	FLAV 479	FLAV 480	FLAV 481	FLAV 482	FLAV 483	FLAV 484	FLAV 485	FLAV 486	FLAV 487	FLAV 488	FLAV 489	FLAV 490	FLAV 491	FLAV 492	FLAV 493	FLAV 494	FLAV 495	FLAV 496	FLAV 497	FLAV 498	FLAV 499	FLAV 500	FLAV 501	FLAV 502	FLAV 503	FLAV 504	FLAV 505	FLAV 506	FLAV 507	FLAV 508	FLAV 509	FLAV 510	FLAV 511	FLAV 512	FLAV 513	FLAV 514	FLAV 515	FLAV 516	FLAV 517	FLAV 518	FLAV 519	FLAV 520	FLAV 521	FLAV 522	FLAV 523	FLAV 524	FLAV 525	FLAV 526	FLAV 527	FLAV 528	FLAV 529	FLAV 530	FLAV 531	FLAV 532	FLAV 533	FLAV 534	FLAV 535	FLAV 536	FLAV 537	FLAV 538	FLAV 539	FLAV 540	FLAV 541	FLAV 542	FLAV 543	FLAV 544	FLAV 545	FLAV 546	FLAV 547	FLAV 548	FLAV 549	FLAV 550	FLAV 551	FLAV 552	FLAV 553	FLAV 554	FLAV 555	FLAV 556	FLAV 557	FLAV 558	FLAV 559	FLAV 560	FLAV 561	FLAV 562	FLAV 563	FLAV 564	FLAV 565	FLAV 566	FLAV 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789	FLAV 790	FLAV 791	FLAV 792	FLAV 793	FLAV 794	FLAV 795	FLAV 796	FLAV 797	FLAV 798	FLAV 799	FLAV 800	FLAV 801	FLAV 802	FLAV 803	FLAV 804	FLAV 805	FLAV 806	FLAV 807	FLAV 808	FLAV 809	FLAV 810	FLAV 811	FLAV 812	FLAV 813	FLAV 814	FLAV 815	FLAV 816	FLAV 817	FLAV 818	FLAV 819	FLAV 820	FLAV 821	FLAV 822	FLAV 823	FLAV 824	FLAV 825	FLAV 826	FLAV 827	FLAV 828	FLAV 829	FLAV 830	FLAV 831	FLAV 832	FLAV 833	FLAV 834	FLAV 835	FLAV 836	FLAV 837	FLAV 838	FLAV 839	FLAV 840	FLAV 841	FLAV 842	FLAV 843	FLAV 844	FLAV 845	FLAV 846	FLAV 847	FLAV 848	FLAV 849	FLAV 850	FLAV 851	FLAV 852	FLAV 853	FLAV 854	FLAV 855	FLAV 856	FLAV 857	FLAV 858	FLAV 859	FLAV 860	FLAV 861	FLAV 862	FLAV 863	FLAV 864	FLAV 865	FLAV 866	FLAV 867	FLAV 868	FLAV 869	FLAV 870	FLAV 871	FLAV 872	FLAV 873	FLAV 874	FLAV 875	FLAV 876	FLAV 877	FLAV 878	FLAV 879	FLAV 880	FLAV 881	FLAV 882	FLAV 883	FLAV 884	FLAV 885	FLAV 886	FLAV 887	FLAV 888	FLAV 889	FLAV 890	FLAV 891	FLAV 892	FLAV 893	FLAV 894	FLAV 895	FLAV 896	FLAV 897	FLAV 898	FLAV 899	FLAV 900	FLAV 901	FLAV 902	FLAV 903	FLAV 904	FLAV 905	FLAV 906	FLAV 907	FLAV 908	FLAV 909	FLAV 910	FLAV 911	FLAV 912	FLAV 913	FLAV 914	FLAV 915	FLAV 916	FLAV 917	FLAV 918	FLAV 919	FLAV 920	FLAV 921	FLAV 922	FLAV 923	FLAV 924	FLAV 925	FLAV 926	FLAV 927	FLAV 928	FLAV 929	FLAV 930	FLAV 931	FLAV 932	FLAV 933	FLAV 934	FLAV 935	FLAV 936	FLAV 937	FLAV 938	FLAV 939	FLAV 940	FLAV 941	FLAV 942	FLAV 943	FLAV 944	FLAV 945	FLAV 946	FLAV 947	FLAV 948	FLAV 949	FLAV 950	FLAV 951	FLAV 952	FLAV 953	FLAV 954	FLAV 955	FLAV 956	FLAV 957	FLAV 958	FLAV 959	FLAV 960	FLAV 961	FLAV 962	FLAV 963	FLAV 964	FLAV 965	FLAV 966	FLAV 967	FLAV 968	FLAV 969	FLAV 970	FLAV 971	FLAV 972	FLAV 973	FLAV 974	FLAV 975	FLAV 976	FLAV 977	FLAV 978	FLAV 979	FLAV 980	FLAV 981	FLAV 982	FLAV 983	FLAV 984	FLAV 985	FLAV 986	FLAV 987	FLAV 988	FLAV 989	FLAV 990	FLAV 991	FLAV 992	FLAV 993	FLAV 994	FLAV 995	FLAV 996	FLAV 997	FLAV 998	FLAV 999	FLAV 1000
FLAV 1	FLAV 2	FLAV 3	FLAV 4	FLAV 5	FLAV 6	FLAV 7	FLAV 8	FLAV 9	FLAV 10	FLAV 11	FLAV 12	FLAV 13	FLAV 14	FLAV 15	FLAV 16	FLAV 17	FLAV 18	FLAV 19	FLAV 20	FLAV 21	FLAV 22	FLAV 23	FLAV 24	FLAV 25	FLAV 26	FLAV 27	FLAV 28	FLAV 29	FLAV 30	FLAV 31	FLAV 32	FLAV 33	FLAV 34	FLAV 35	FLAV 36	FLAV 37	FLAV 38	FLAV 39	FLAV 40	FLAV 41	FLAV 42	FLAV 43	FLAV 44	FLAV 45	FLAV 46	FLAV 47	FLAV 48	FLAV 49	FLAV 50	FLAV 51	FLAV 52	FLAV 53	FLAV 54	FLAV 55	FLAV 56	FLAV 57	FLAV 58	FLAV 59	FLAV 60	FLAV 61	FLAV 62	FLAV 63	FLAV 64	FLAV 65	FLAV 66	FLAV 67	FLAV 68	FLAV 69	FLAV 70	FLAV 71	FLAV 72	FLAV 73	FLAV 74	FLAV 75	FLAV 76	FLAV 77	FLAV 78	FLAV 79	FLAV 80	FLAV 81	FLAV 82	FLAV 83	FLAV 84	FLAV 85	FLAV 86	FLAV 87	FLAV 88	FLAV 89	FLAV 90	FLAV 91	FLAV 92	FLAV 93	FLAV 94	FLAV 95	FLAV 96	FLAV 97	FLAV 98	FLAV 99	FLAV 100	FLAV 101	FLAV 102	FLAV 103	FLAV 104	FLAV 105	FLAV 106	FLAV 107	FLAV 108	FLAV 109	FLAV 110	FLAV 111	FLAV 112	FLAV 113	FLAV 114	FLAV 115	FLAV 116	FLAV 117	FLAV 118	FLAV 119	FLAV 120	FLAV 121	FLAV 122	FLAV 123	FLAV 124	FLAV 125	FLAV 126	FLAV 127	FLAV 128	FLAV 129	FLAV 130	FLAV 131	FLAV 132	FLAV 133	FLAV 134	FLAV 135	FLAV 136	FLAV 137	FLAV 138	FLAV 139	FLAV 140	FLAV 141	FLAV 142	FLAV 143	FLAV 144	FLAV 14																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							

NO.	DATE	REVISION DESCRIPTION	DR.
17	1 JUN 27	ADD NOTE TO 22, UNIT	WV
16	1 JUN 27	WLN. COMMENTS	WV
15	1 JUN 19	COMBINED PLAN AREA BROWN	WV
14	1 JUN 19	WLN. COMMENTS, ACENITY AREA	WV
13	1 DEC 19	WLN. COMMENTS	WV
12	1 DEC 19	NEW SITE PLAN	WV
11	1 NOV 95	NEW SITE PLAN	DO
10	1 NOV 95	NEW SITE PLAN	DO
9	1 DEC 22	NOTES ADDED	WV
8	1 DEC 22	BLOKS 1-5 REVIS	WV
7	1 JUL 75	ADDED HYDRAULIC INDEX	WV
6	1 JUL 75	CHANGES FOR CITY	RH
5	1 JUL 75	LOT COVERAGE PLAN	WV
4	1 MAR 79	NEW SITE PLAN	NT
3	1 JAN 74	NEW SITE PLAN	WV
2	1 DEC 71	NEW SITE PLAN	WV
1	1 JUL 61	REV. PAVING	WV

CLIENT:

PROJECT:

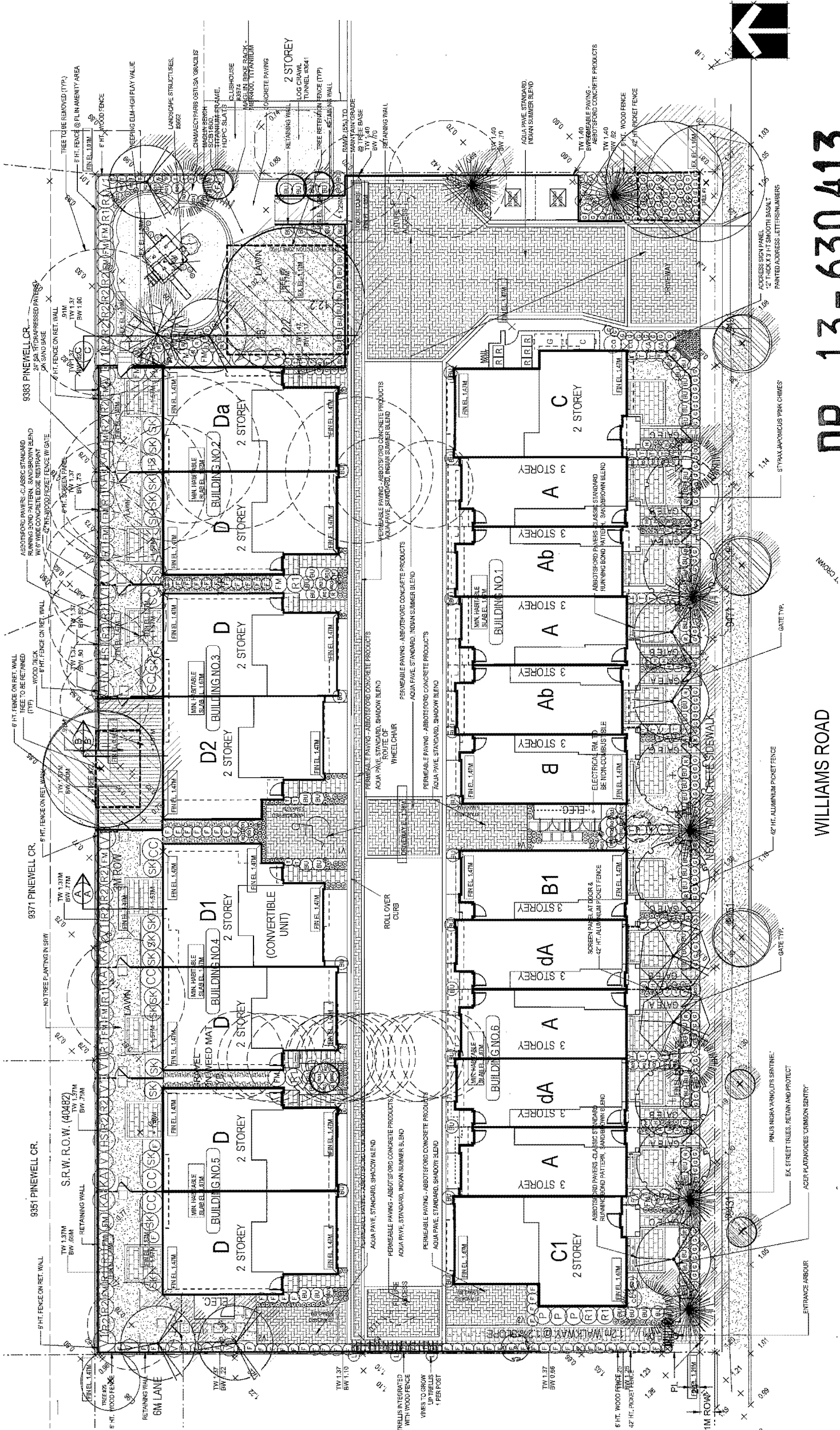
TOWNHOUSE DEV.
9431, 9451, 9471 & 9491
WILLIAMS RD.
RICHMOND, B.C.

DRAWING TITLE:
LANDSCAPE
PLAN

DATE:	12 APR 16	DRAWING NUMBER:	3A	OF 7
SCALE:	3/32"=1'-0"			
DRAWN:	MM			
DESIGN:	MM			
CHK'D:				

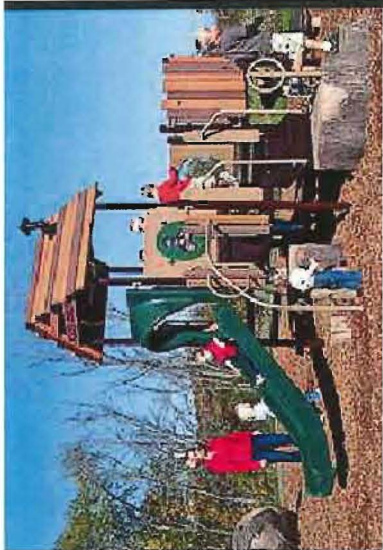
DP 13-630413
PLAN #3A
JAN 20 2014

WILLIAMS ROAD



Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011; f: 604 294-0022

SEAL:



**MAGLIN BIKE RACK -
MBR400, TITANIUM**



MAGLIN BENCH - SCB1600, TITANIUM FRAME, HDPC SLATS

LANDSCAPE STRUCTURES - 3662 - TREE HOUSE
INCLUDES:
LOG STEPPER, SINGLE POLY SLIDE, HOURGLASS PANEL,
TREE HOUSE, WOOD PLANK WIGGLE LADDER,
TREE STUMP TRANSFER MODULE, TREE HOUSE LUMBER PANEL,
BUBBLE PANEL, ACORN SEAT

NO.	DATE	REVISION DESCRIPTION	DR.
10	14.JAN.16	COMBINED PLAY AREA ADDED	MM
9	14.JAN.13	REV. RAMP & PLAY AREA	MM
8	13.DEC.19	REV. RAMP	MM
7	13.DEC.16	NEW SITE PLAN	MM
6	13.DEC.02	NEW SITE PLAN	MM
5	13.JULY.06	LOT COVERAGE PLAN	INT
4	13.JAN.20	NEW SITE PLAN	MM
3	13.JAN.20	NEW SITE PLAN	MM
2	12.OCT.18	NEW SITE PLAN	MM
1	12.JUN.11	REV. PAVING	MM

CLIENT:

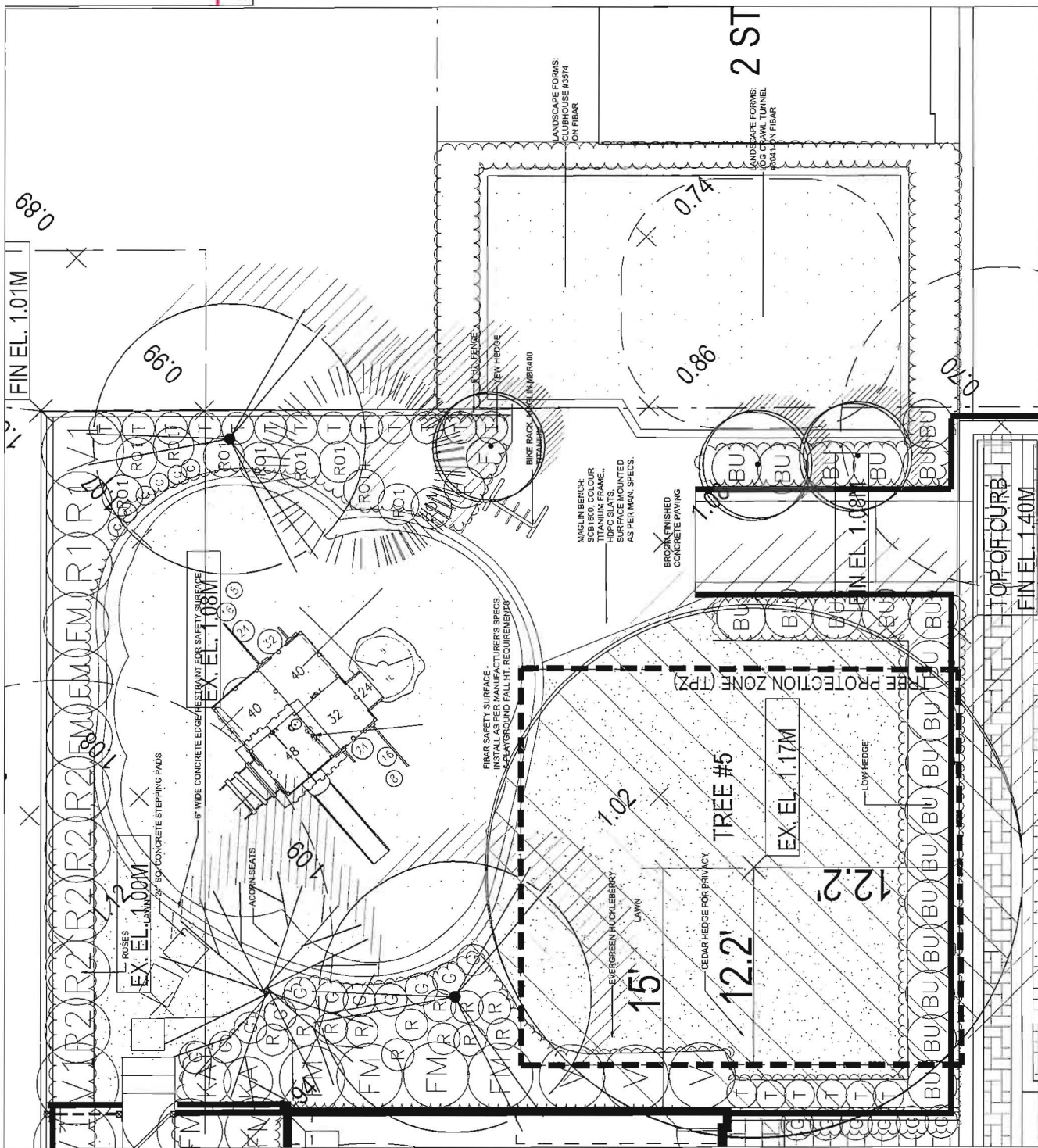
PROJECT:

TOWNHOUSE DEV.
9431, 9451, 9471 & 9491
WILLIAMS RD.
RICHMOND, B.C.

DRAWING TITLE:

PLAY AREA ENLARGEMENT

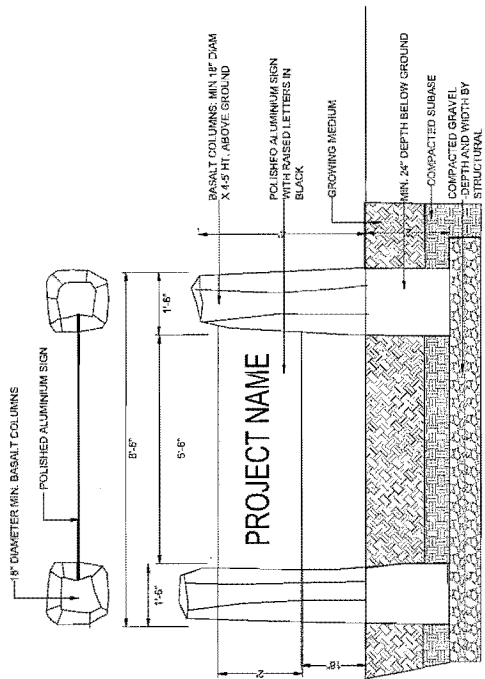
DATE:	12 APR 16	DRAWING NUMBER:	3C	OF 7
SCALE:	1/4"=1'-0"			
DRAWN:	MM			
DESIGN:	MM			
CHK'D:				



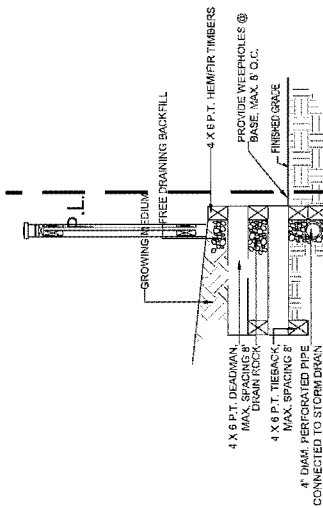
OP 13-630413

PLAY # 33

JAN 20 2014



ENTRY SIGNAGE CONCEPT



NOTES:

1. ALL WOOD PRESSURE-TREATED TO CSA STANDARDS FOR SEVERE CONDITIONS. (RETENTION 0.60 LBS PER CU. FT. WOOD) - TREAT ALL CUT SURFACES.

2. DRILL HOLES WITH 1/2" HOLE. APPLICATION OF A SUFFICIENT PRESERVATIVE.

3. DRILL AND NAIL EACH TWICE WITH GALVANIZED 16" SPIKES MAXIMUM 17" O.C., TWO EACH END.

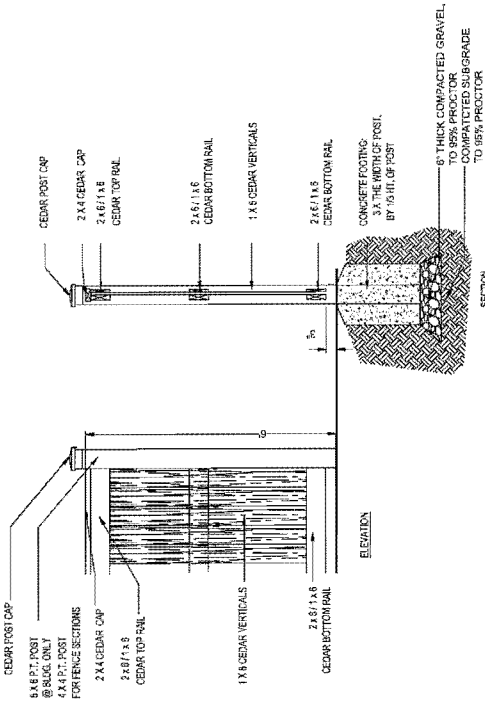
4. TERBACK AT 8" O.C. MAXIMUM DEADEND CONTINUOUS REBAR PINS AS SHOWN 4'-30" INTO COMPACTED SUBGRADE.

5. BACKFILL IN 12" LAYERS; COMPACT EACH LAYER TO 95% ORIGINAL DENSITY. (PROVIDE 10% OVERLAP OF EACH LAYER) - (SEE DETAIL FOR FINISH DRAINING).

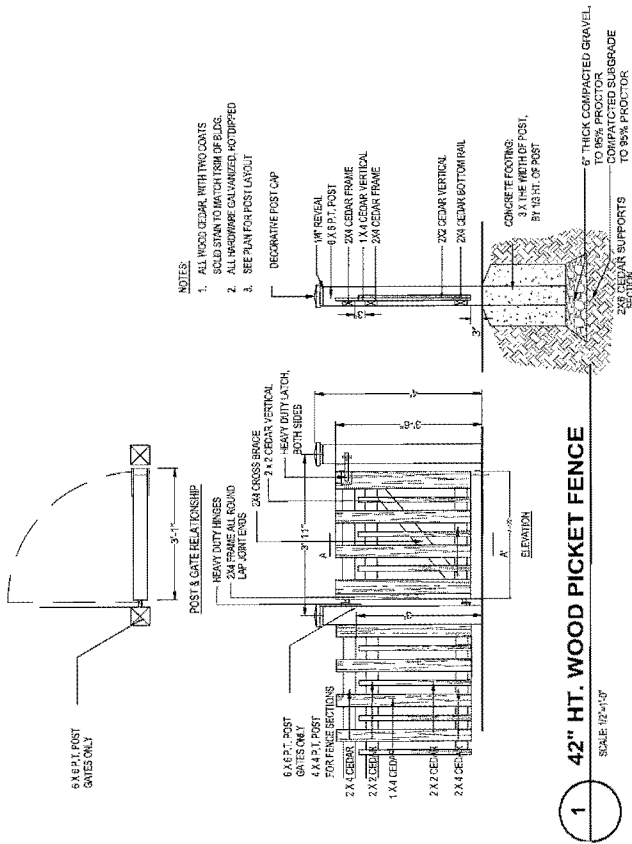
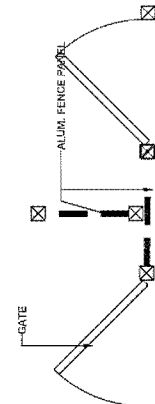
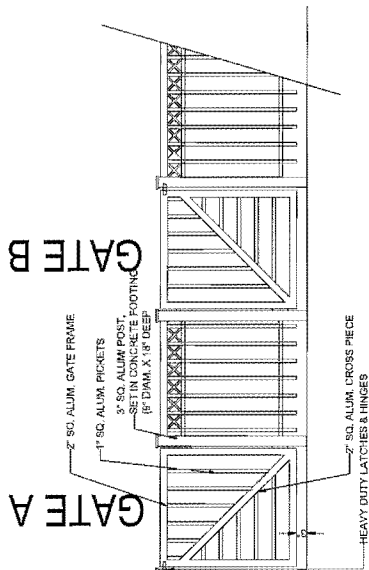
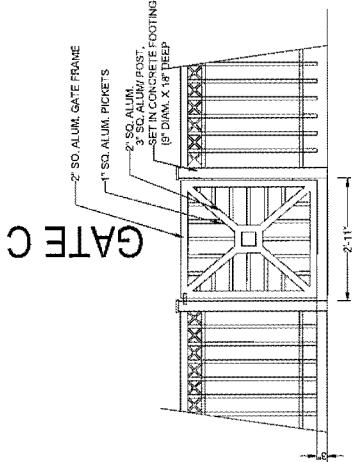
6. PROVIDE GRASS IN BOTTOM ROW OF WALL(S) AS WEEP HOLES.

7. TOP OF WALL TO CONSISTENT ELEVATION AS SHOWN; FINISH GRADE AT BACK OF WALL TO INCLUDE 12" TOPSOIL WALL MUST BE WITHIN THE PROPERTY LINE.

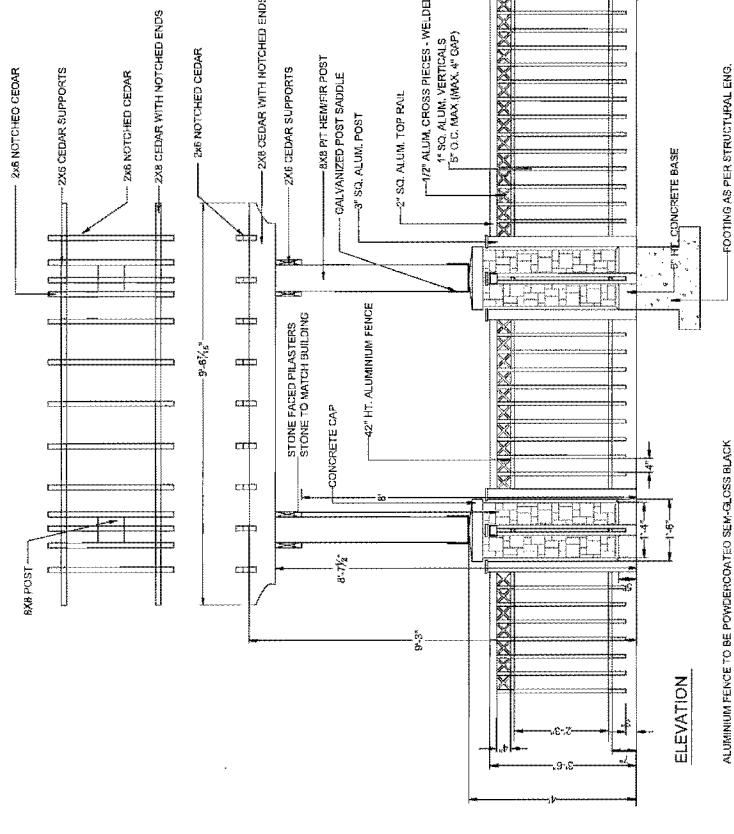
5 TIMBER RETAINING WALL



2 6' SCREEN PANELS

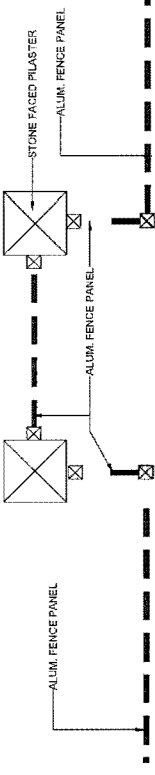


1 42" HT. WOOD PICKET FENCE



ELEVATION

ALUMINIUM FENCE TO BE POWDERCOATED SEM-GLOSS BLACK



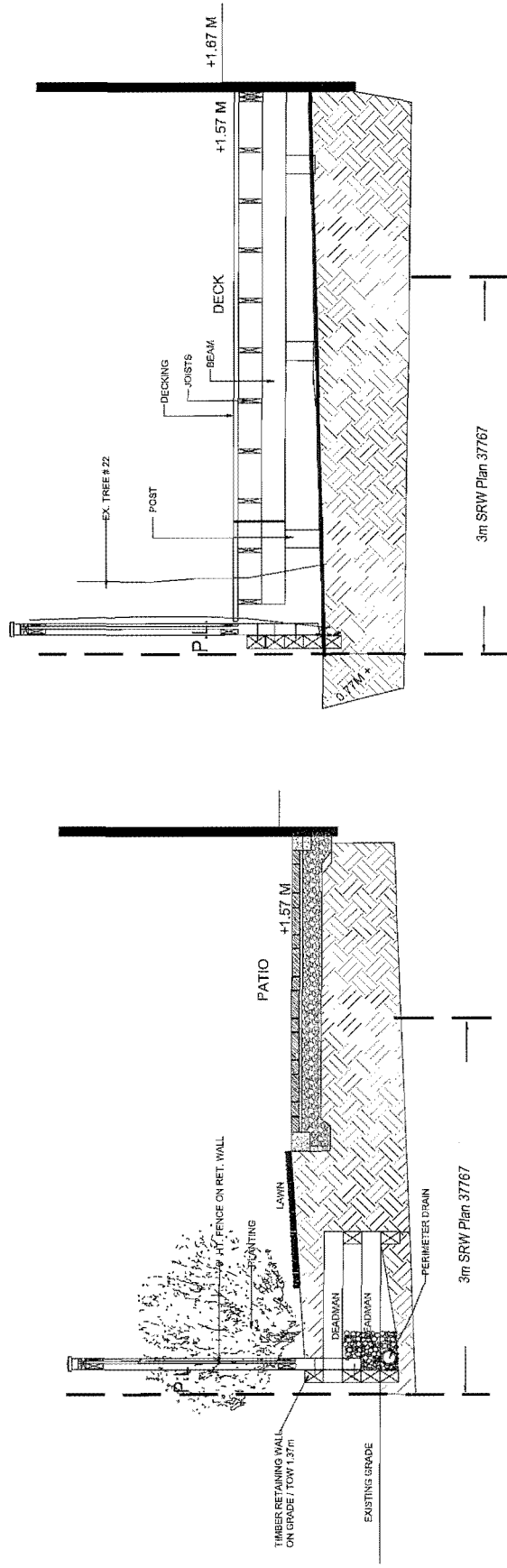
42" HT. ALUMINIUM STREETSCAPE FENCE

SCALE: 1/2"=1'-0"

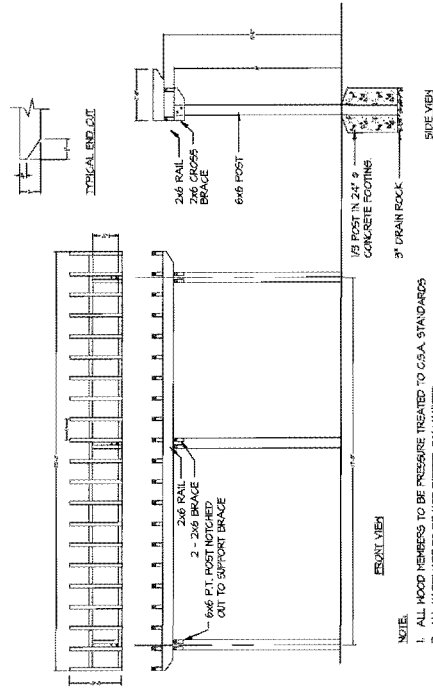
DP 13-630413

PLA2 #30

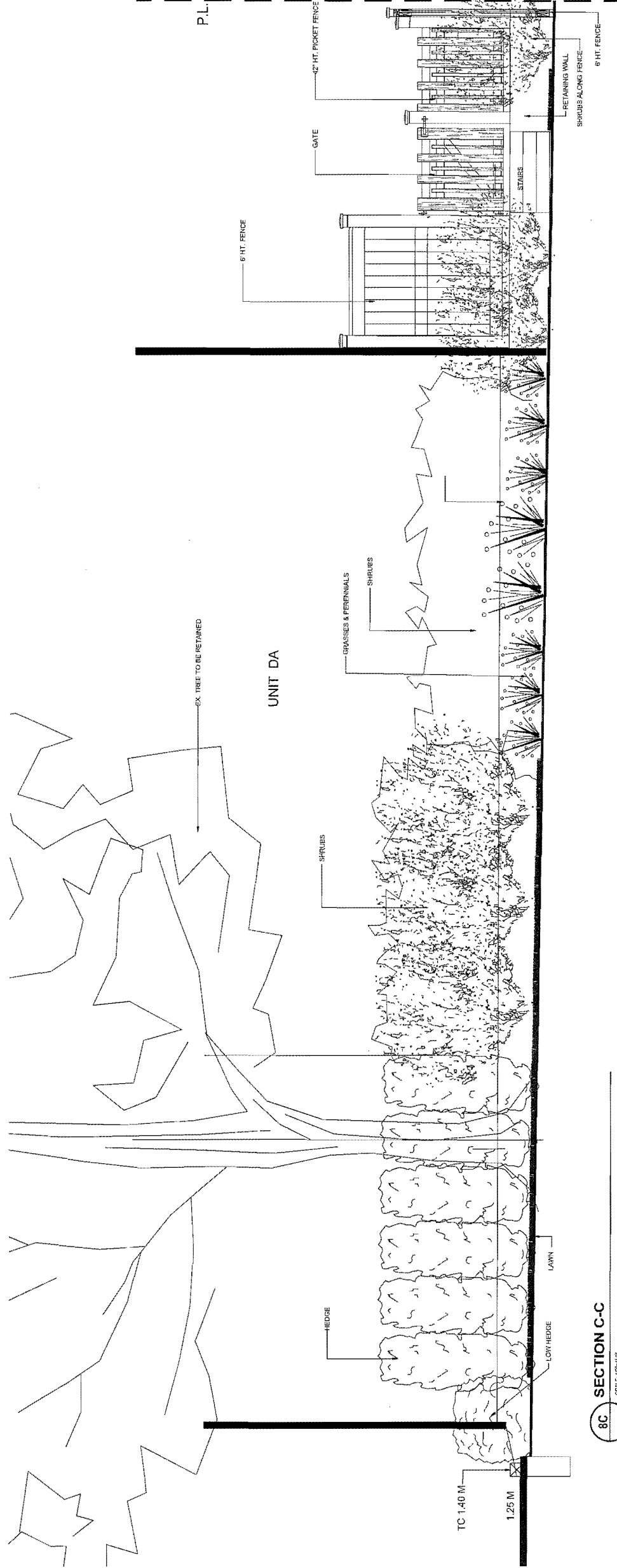
JAN 20 2014



SECTION B-B (UNIT D2)



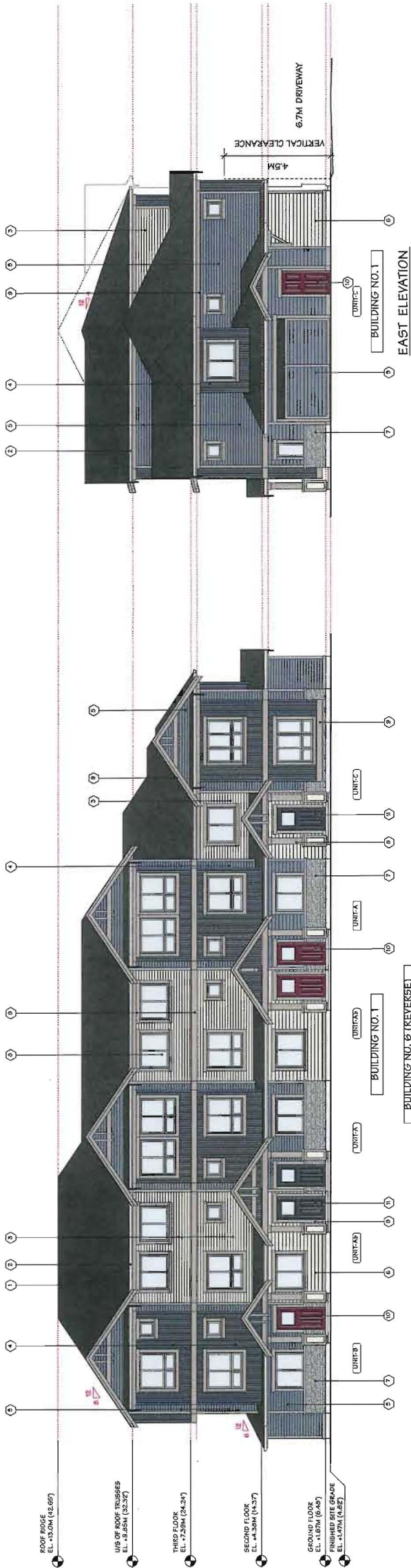
6 ARBOUR 1



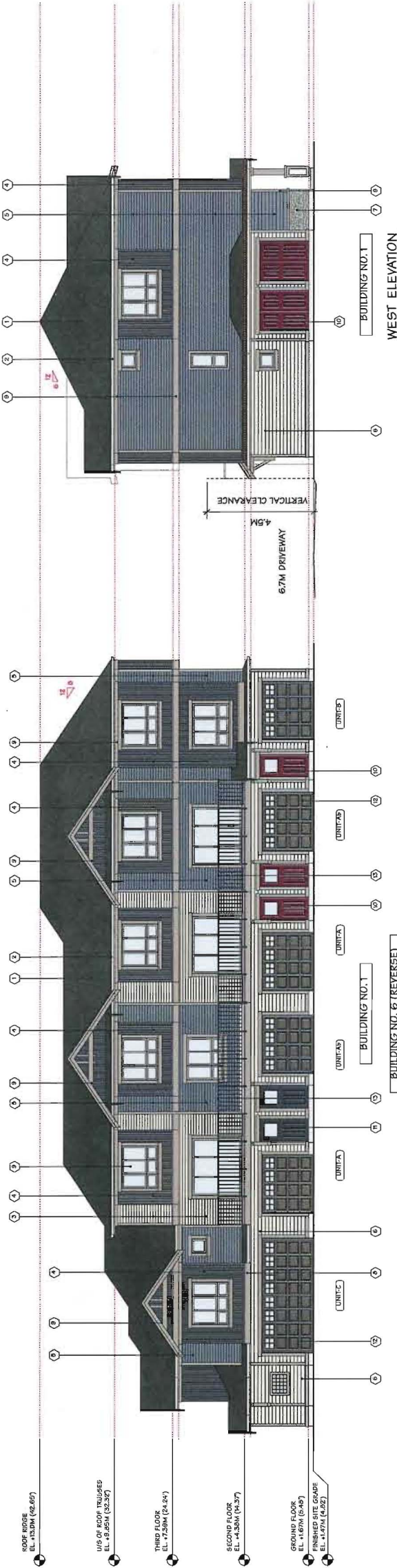
SECTION C-C

DP 13-630413
PLAN # 3D
JAN 20 2014

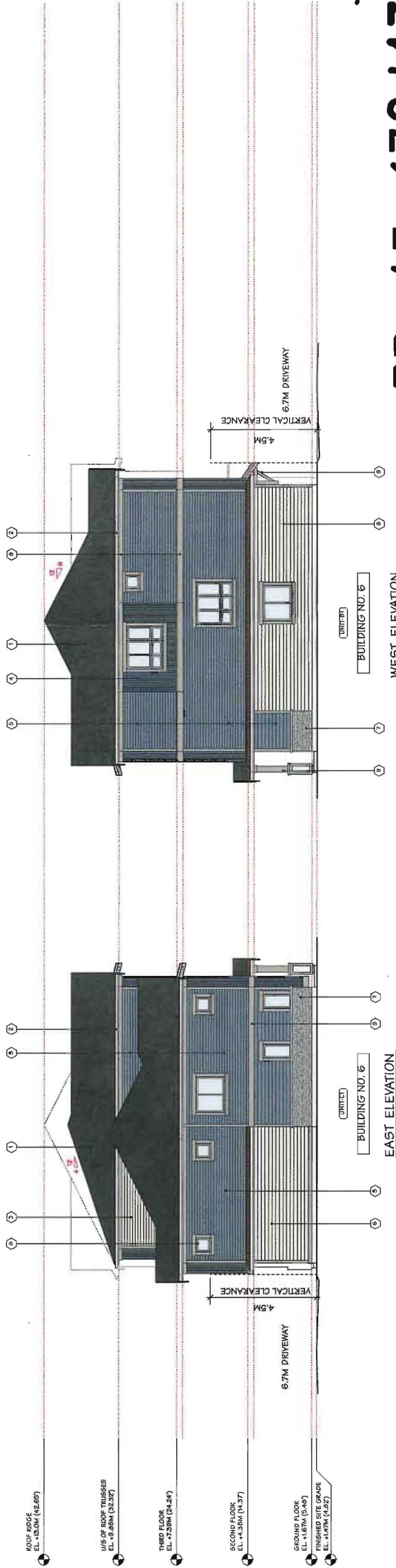
- ELEVATION KEY:
- 1 ASPHALT ROOF SHINGLE - CHAMZOL
 - 2 5" ALUMINUM GUTTER - OFF WHITE
 - 3 4" HORIZONTAL VINYL SIDING - (KANSAS "LANDAL WOOD")
 - 4 BOARD & BATTEN SIDING - (JUNO-30 "IRON GRAY")
 - 5 4"X6" HARD PLANK SIDING - (JHTO-20 "BOOTHBAY BLUE")
 - 6 BOARD & BATTEN SIDING - (JHTO-20 "BOOTHBAY BLUE")
 - 7 6" HARDIE PLANK SIDING - (JHMO-10 "CORAL STONE")
 - 8 STONE VENEER BASE - CULDED STONE ("LATINUM LODGESTONE")
 - 9 DOUBLE GLAZED VINYL FRAMED WINDOW W/ TSSA - PORY
 - 10 WOOD WINDOW TRIM, POST, HORIZ. BAND, BRACKET - PAINTED (BM-233-10 "GUTTERGRAY GRAY")
 - 11 METAL CLAD DOOR 1 - PAINTED (BM-206-10 "MADRID RED")
 - 12 METAL CLAD DOOR 2 - PAINTED (BM-207-30 "GRAVEL GRAY")
 - 13 METAL CLAD GARAGE DOOR 1 - PAINTED (BM-16-10A "COULET GRAY")
 - 14 METAL GUARD RAIL - BLACK



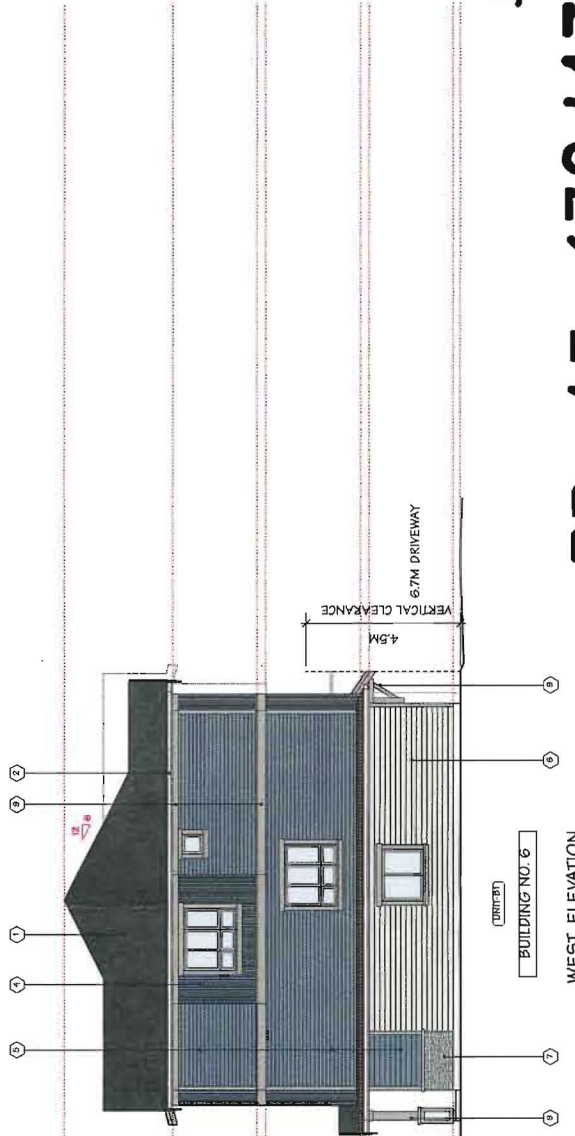
SOUTH ELEVATION (WILLIAMS RD.)



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

NO.	DATE	REVISIONS
1	JAN. 28, 2013	D.T. SUBMISSION
2	AUG. 18, 2013	GENERAL REVISION
3	OCT. 29, 2013	GENERAL REVISION
4	NOV. 6, 2013	A.D.P. SUBMISSION
5	DEC. 20, 2013	GENERAL REVISION
6	JAN. 17, 2014	GENERAL REVISION

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PROJECT

20 UNIT
TOWNHOUSE DEVELOPMENT

9451, 9451, 9471, 9491 WILLIAMS RD.
RICHMOND, B.C.

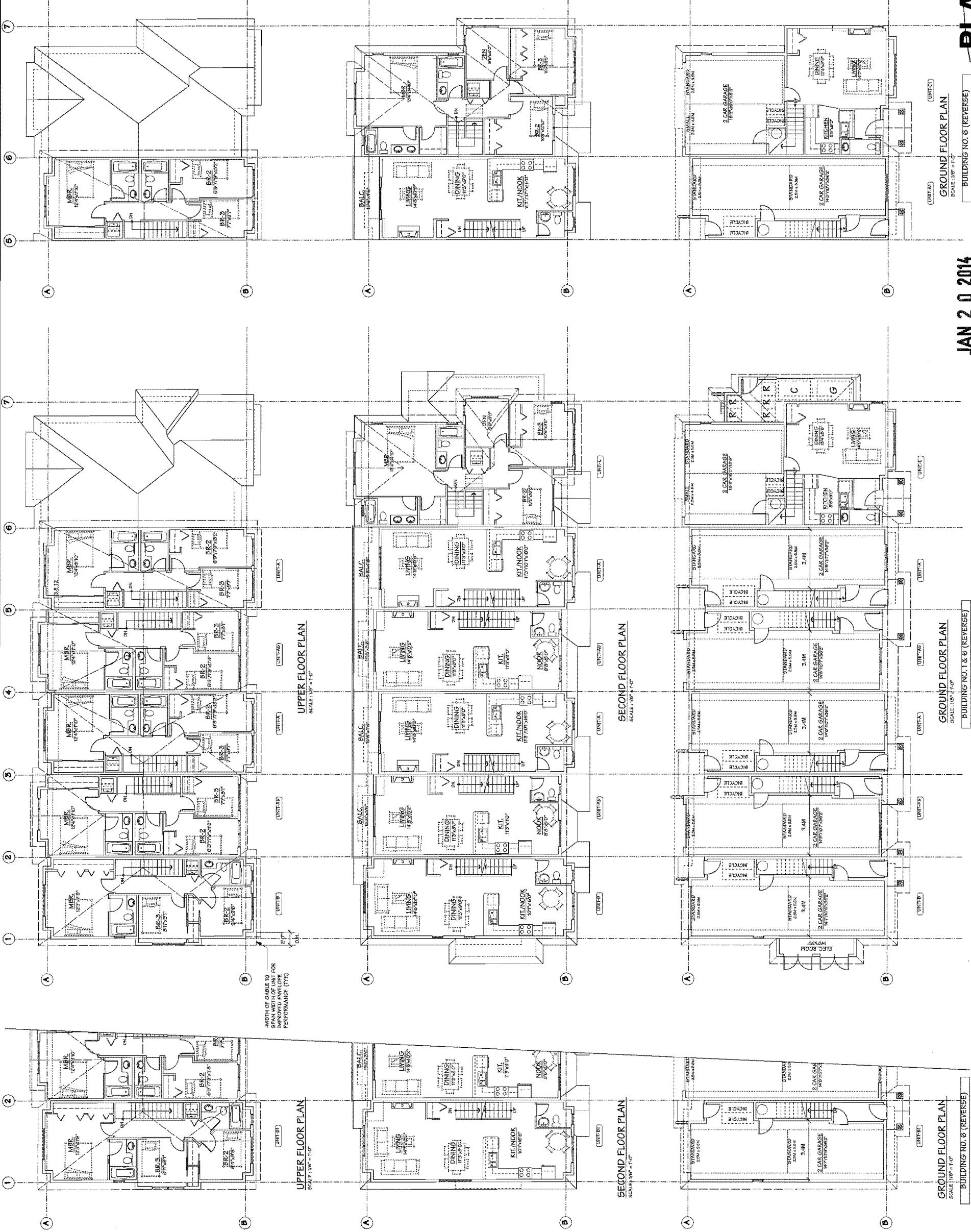
Yamamoto
Architecture Inc.

2386 Oak Street, West, B.C.
V6H 4T1 Tel: 781-1327 Fax: 781-1327

SCALE	1/8" = 1'-0"	SHEET NO.
DATE	JAN. 28, 2013	A4.1
DRAWN	KP	
CHECKED		
PROJ. NO.	1108	

JAN 2 0 2014

DP 13-630413 PLAN #4b



**AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):**

- SLOPED BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES

**SUSTAINABILITY MEASURES
(TO BE PROVIDED IN ALL UNITS):**

- WATER EFFICIENT TOILETS
- LOW-E GLAZING AND DOUBLE GLAZED WINDOWS
- TRIPLE GLAZED WINDOWS IN BLDG. 1 & 6

NO.	DATE	REVISIONS
1	JAN. 28, 2013	P.F. SUBMISSION
2	AUG. 18, 2013	GENERAL REVISION
3	OCT. 28, 2013	GENERAL REVISION
4	NOV. 6, 2013	A.D.P. SUBMISSION
5	OCT. 28, 2013	GENERAL REVISION
6	JAN. 17, 2014	GENERAL REVISION
7	OCT. 20, 2013	GENERAL REVISION

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20 UNIT

TOWNHOUSE DEVELOPMENT

8451, 8451, 8471, 8491 WILLIAMS RD.
RICHMOND, B.C.

Yamamoto
Architecture Inc.

2000 400 4000, 4000, 4000, 4000
VER. 4.11 800 731-1327 FAX 731-1327

DRAWING TITLE

FLOOR PLANS

SCALE: 1/8" = 1'-0"	SHEET NO.
DATE: JAN. 28, 2013	A5.0
DRAWN: NP	CHECKED:
PHOTO: 1108	

JAN 20 2014

GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 6 (REVERSE)

GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 1 & 6 (REVERSE)

GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 6 (REVERSE)

PLAN #5

REFERENCE PLAN

DP 13-630413

AGING IN PLACE FEATURES

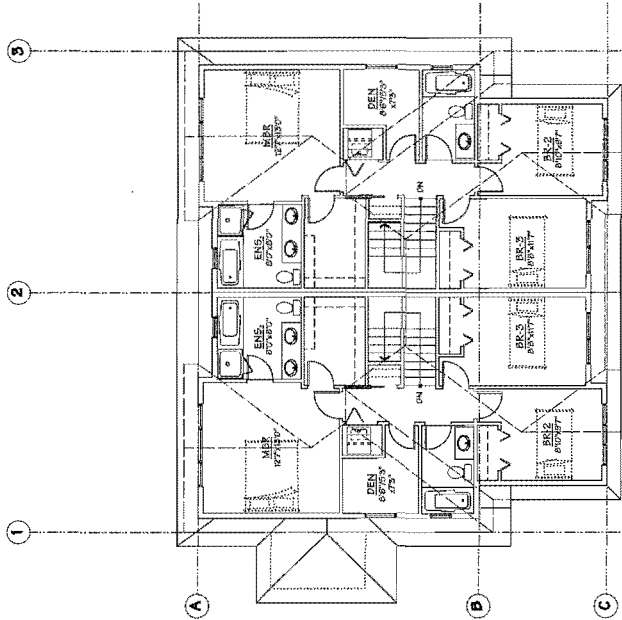
(TO BE PROVIDED IN ALL UNITS):

- SOLID BALCONY IN HALLWAY WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES

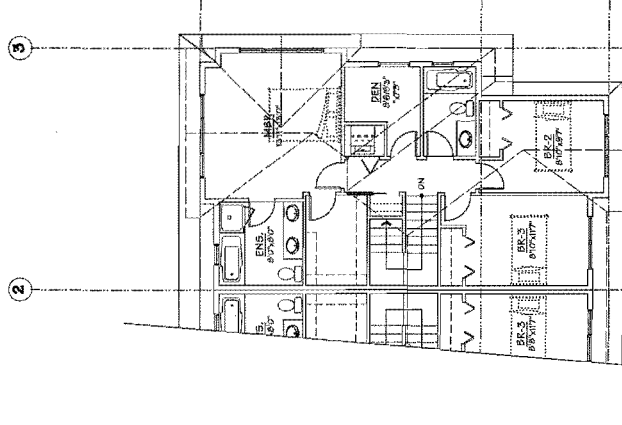
SUSTAINABILITY MEASURES

(TO BE PROVIDED IN ALL UNITS):

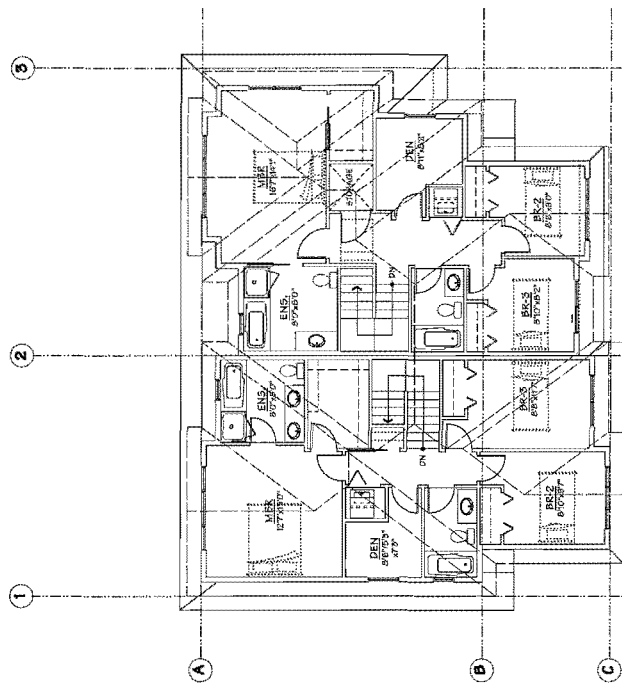
- WATER EFFICIENT TOILETS
- LOW E GLAZING PROVIDED IN ALL WINDOWS
- TRIPLE GLAZED WINDOWS IN SLOP. & G



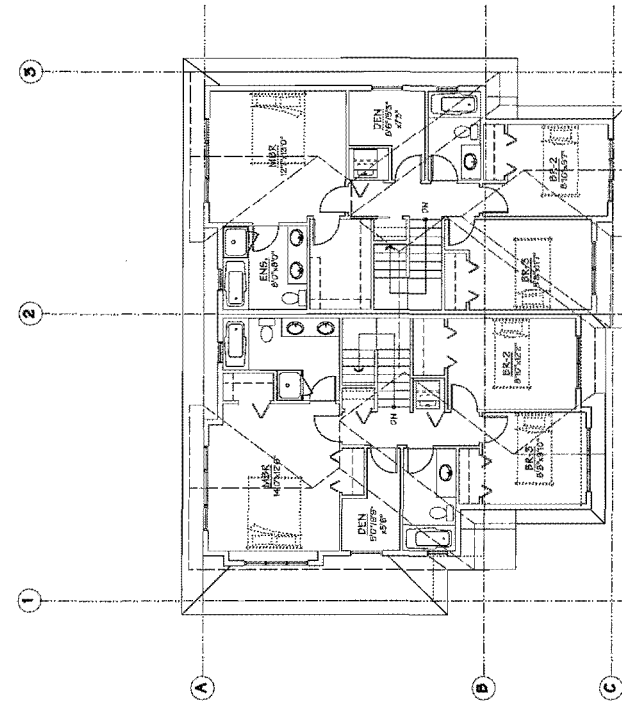
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



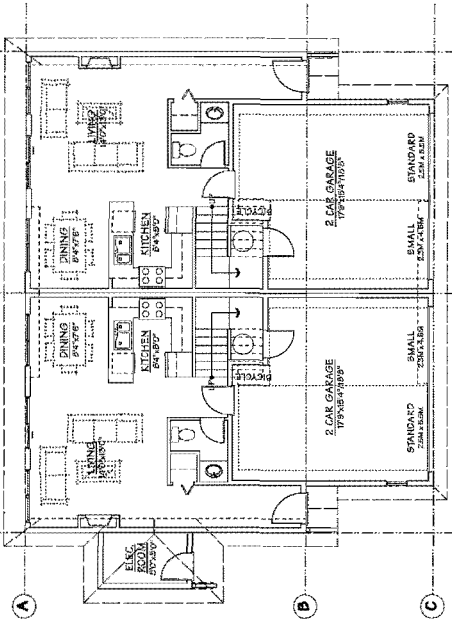
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



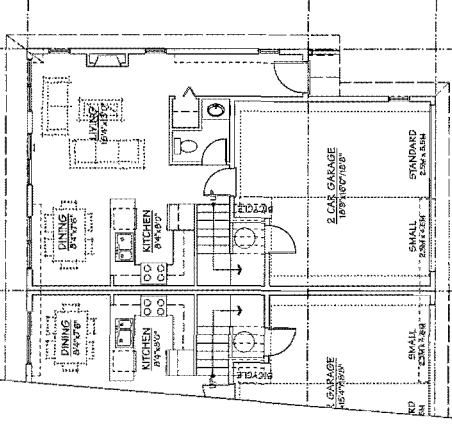
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



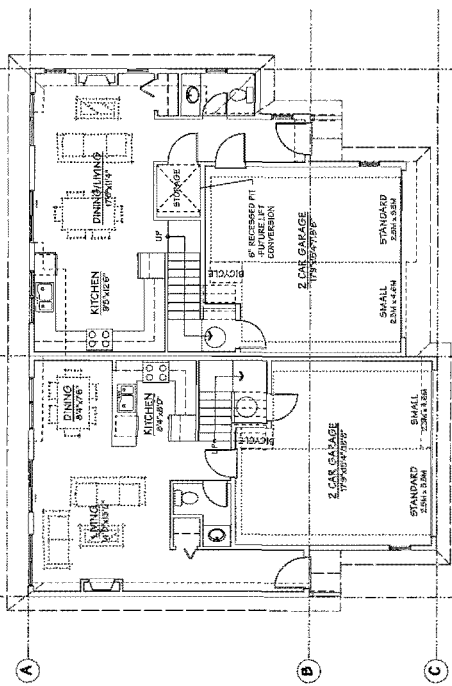
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



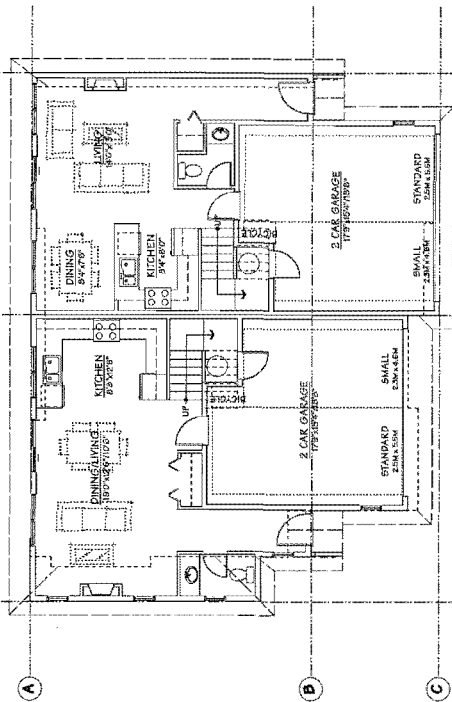
GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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PROJECT

20 UNIT
TOWNHOUSE DEVELOPMENT

8401 GARY, 8471, 8472 WILLIAMS RD.
RICHMOND, S.C.

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2000 4th Street, Suite 200
Richmond, SC 29224
Tel: 781-1527 Fax: 781-1527

DRAWING TITLE

FLOOR PLANS

SCALE	1/8" = 1'-0"	SHEET NO.	A5.1
DATE	JAN 20, 2014	DRAWN	KP
CHECKED		PROJ. NO.	1108

PLAN #5a

BUILDING NO. 3

DP 13-630413

BUILDING NO. 4

BUILDING NO. 2

BUILDING NO. 5

REFERENCE PLAN

[illegible]

DRAWING 1

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PLAN #6