



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: September 20, 2016

From: Wayne Craig
Director, Development


File: DP 13-633035

Re: Application by Gerry Blonski for a Development Permit at 7088 Heather Street

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of four (4) three-storey townhouse units at 7088 Heather Street on a site zoned "High Density Townhouses (RTH2)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum lot area in the "High Density Townhouse (RTH2)" zone from 1,800 m² to 1,000 m².



Wayne Craig
Director, Development

EL:blg

Att.

Staff Report

Origin

Gerry Blonski has applied to the City of Richmond for permission to develop four (4) three-storey townhouse units at 7088 Heather Street. The site is being rezoned from the "Single Detached (RS1/F)" zone to "High Density Townhouses (RTH2)" for this project under Bylaw 8928 (RZ 11-595579); which received third reading following the Public Hearing on October 15, 2012. The site is currently vacant.

Frontage improvements and storm sewer upgrades were secured through the rezoning process and will be constructed through a separate Servicing Agreement, which must be entered into prior to final adoption of the rezoning bylaw. Works include, but are not limited to road widening on Granville Avenue, frontage beautification works on both the Heather Street and Granville Avenue frontages, storm sewer upgrades along Heather Street, and service connections.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north, across Granville Avenue: Garden City Park zoned "School and Institutional Use (SI)".

To the south: three-storey townhouse developments on lots zoned "Town Housing (ZT50) – South McLennan (City Centre)".

To the east: A single-family home at 9240 Granville Avenue; zoned "Single Detached (RS1/F)", and then three-storey townhouse developments on lots along the south side of Granville Street; zoned "Town Housing (ZT50) – South McLennan (City Centre)".

To the west, across Heather Street: The North Richmond Alliance Church at 9140 Granville Avenue; zoned "Assembly (ASY)".

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on October 15, 2012. A letter outlining a number of concerns from the North Richmond Alliance Church was presented at the Public Hearing. The concerns were traffic safety of motorists and pedestrians, access for emergency vehicles, as well as additional traffic and parking demands due to the proposed development. Staff has also received a similar letter from the North Richmond Alliance Church in April, 2016 regarding the subject Development Permit Application.

In response to the comments, the number of units proposed has been reduced from six (6) to four (4). In addition, the required road widening on Granville Avenue, new sidewalks and treed boulevards, on both Heather Street and Granville Avenue, should address the concerns related to traffic safety and access of emergency vehicles.

Transportation Department staff confirmed that the proposed four (4) unit townhouse development will result in a manageable increase in traffic on Heather Street. It is anticipated this increase will result in two (2) additional vehicles per hour during the morning and afternoon peak period. This translates to one (1) additional vehicle every 30 minutes at peak travel times and staff are of the opinion that this traffic can be accommodated on Heather Street. The City's bylaw requirements for off-street parking have also been met by the application.

Staff Comments

The Official Community Plan (OCP) designates the subject property as "Neighbourhood Residential" (i.e., areas where the principal uses are single-family, two-family and multiple-family housing). The City Centre Area, McLennan South Sub-Area Plan (Schedule 2.10D), designates the property for "Residential, Townhouse up to three (3) storeys over one (1) parking level, Triplex, Duplex, Single-Family 0.75 base FAR". The proposed three-storey townhouse development will comply with both the OCP and the McLennan South Sub-Area Plan land use designations.

The proposed scheme attached to this report has satisfactorily addressed significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, the proposal complies with the intent of the applicable sections of the OCP and is generally in compliance with the "High Density Townhouses (RTH2)", except for the zoning variance noted below.

Zoning Compliance/Variations (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum lot area from 1,800 m² to 1,000 m².

(The subject property is located at the southeast corner of Heather Street and Granville Avenue and is one (1) of two (2) properties left undeveloped by an adjacent 59-unit townhouse complex located at 9333 Sills Avenue. The applicant of the rezoning application was not successful in acquiring the neighbouring property to the east at 9240 Granville Avenue to participate in redeveloping their lot, but the applicant has provided a conceptual layout of the neighbouring property with vehicle access via the driveway on the subject site.

Staff supports the proposed variance as it has been demonstrated that the neighbouring property to the east at 9240 Granville Avenue could be redeveloped as an extension of the subject development in the future. A public right-of-passage (PROP) statutory right-of-way (SRW) on-site, allowing access to/from the adjacent future development sites via the subject site, has been secured at rezoning.)

Advisory Design Panel Comments

This small, four-unit townhouse development proposal was not presented to the Advisory Design Panel (ADP) on the basis that the project generally met all the applicable Development Permit Guidelines, and the overall design and site plan adequately addressed staff comments.

Analysis

Conditions of Adjacency

- Both the form and massing of the proposed development are generally consistent with the existing surrounding townhouse development which is comprised of three-storey townhouses.
- The adjacent property to the east has future potential for redevelopment as townhouses, and the proposed development does not reduce this potential.
- Reduced window sizes on the east elevation of the proposed buildings are included in the architectural design to address potential adjacency and privacy issues.
- A natural screen with a line of Skyrocket Oak trees and a 1.8 m tall wood fence is proposed between the subject site and adjacent property to the east for added privacy on both sites. A 2.7 m tall trellis is also proposed at the end of the drive aisle to mitigate potential headlight glare to the neighbouring property.
- The south yard setbacks to the living room windows on the second floor and to the bedroom windows on the third floor range from 5.71 m to 6.35 m, and the south yard setback to the second floor deck is approximately 3.62 m, all of which exceed the minimum rear yard setback requirement of 2.0 m. A mix of Evergreen hedges and Amanagawa Cherry trees, and a 1.8 m tall wood fence are proposed along the rear property line for screening between the subject and the neighbouring property to the south.

Urban Design and Site Planning

- The proposal consists of two (2) duplex buildings, with a total of four (4) units. All units have direct access from the street.
- The proposed site layout provides for a pedestrian-oriented streetscape for townhouses fronting both Granville Avenue and Heather Street. A landscaped edge treatment, low metal fencing, and metal gates to individual townhouse unit front doors serve to clearly define the interface.
- All units have two (2) vehicle parking spaces in a side-by-side double car garage. One (1) standard visitor parking space is provided, which meets the bylaw requirement. Both residential and visitor bicycle parking are provided and are in compliance with the Zoning Bylaw requirements.
- All units have private outdoor spaces consisting of a front or rear yard and decks on the second floor that can be accessed directly from the living space. The provision of private outdoor space for each unit exceeds the minimum Development Permit Guidelines (i.e., 37 m² per unit).
- Outdoor amenity space is provided in accordance with the OCP and is designed to promote both active and passive use.
- The outdoor amenity is proposed along the Heather Street frontage. The location of the outdoor amenity space is supportable given the small site area. The location is appropriate in providing open landscape and amenity areas with maximum sun exposure and visual surveillance from the building and local road.

- A covered mailbox kiosk and short-term bicycle parking spaces are provided on the south side of the entrance driveway from Heather Street.
- Additional outdoor amenity space (10% of the site area, i.e., 100.6 m²) as per the City Centre Amenity Space Provisions in the City Centre Area Plan is provided as landscaped area throughout the site.
- The required garbage, recycling and organic waste storage enclosure has been incorporated into the design of the proposed Building A in order to minimize visual impacts. The developer has agreed to allow shared use of this storage enclosure with the future development at 9240 Granville Avenue. An easement agreement will be secured as a condition of Development Permit issuance to facilitate this arrangement.

Architectural Form and Character

- The overall appearance of the proposal conforms to the design guidelines of the South McLennan area and should fit in well to the surrounding area.
- The architectural design assimilates some basic architectural forms of the neighbouring townhouse project; each unit has a portico entrance with gable roof and columns, dominant roof gable, and second floor bay or bay windows.
- A pedestrian scale is generally achieved along the public streets and internal drive aisle through variation in building projections, use of building recesses, entry porches, varying material/colour combinations, landscape features, and individual unit entrances.
- The proposed building materials (asphalt roof shingles, metal panel, hardie panel, wood fascia/trim and building stone) are generally consistent with the Official Community Plan (OCP) Guidelines and are compatible with the existing residential character of the neighbourhood.
- The use of grey metal panels and hardie panels for the main body, with cedar textured metal panel accents and a dark stone base, marks the corner of the block and provides a transition between the neighbouring developments.

Tree Preservation

- The subject site contains no trees. Neighbouring trees were assessed at rezoning stage and all neighbouring trees are to be retained and protected.
- Two (2) street trees were identified for retention at the rezoning stage. Parks Arboriculture staff re-assessed these trees again in June 2014 and agreed to the removal of a 50 cm caliper Mountain Ash tree located near the northeast corner of the site and an 8 cm caliper Dogwood tree along Heather Street due to their poor condition; a cash compensation in the amount of \$1,300 is required.
- Parks Arboriculture staff also agreed to the removal of a Laurel hedge located near the northwest corner of the site on city's property due to its poor health and condition; no compensation is required.

- Three (3) trees located on the adjacent properties to the east and south will be retained. Proof that the owner has entered into a contract with a Certified Arborist to monitor all works to be done near or within the tree protection zone will be required prior Development Permit issuance.
- Tree protection fencing will be required to be installed as per the Arborist Report recommendations prior to any construction activities occurring on-site. The proposed low retaining wall along the east and south property lines will be diverted outside of the tree protection zone.
- An entry walkway to Unit #3 is proposed along the south property line. In order to protect the 37 cm caliper Western Red Cedar tree located on the adjacent property to the south, timber planks are proposed to be used over the tree well to minimize impact on the protected tree.

Landscape Design and Open Space Design

- Each unit will have a private yard with landscaping, lawn area and a patio. A mix of trees, broadleaf evergreen materials, ground covers, perennials and grasses has been selected to ensure the landscape treatment remains interesting throughout the year.
- The location of outdoor amenity space provides easy access for the townhouse residents and visual transparency and surveillance in accordance to CPTED principles.
- A children's play area designed for children aged 2 to 5 years old is proposed for the outdoor amenity area. The play equipment includes a number of small children's play apparatus that were chosen to fit into the provided space and to allow multiple children to play at the same time. The equipment provides different play opportunities for the development of social, imagination, balance, and motor skills. Two (2) benches are also provided for caregivers.
- A children's planting garden is also proposed to encourage urban agriculture and provide a gathering place for the residents.
- The entire drive aisle and the surface parking stall will be treated with permeable pavers for better water infiltration and visual variety in paving surfaces.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$66,289.00 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$4,000 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.

Crime Prevention Through Environmental Design

- Site lighting and clear sight lines provide unobstructed views of outdoor areas onsite.
- Plantings and fences near residential entries are low to maximize views and casual surveillance opportunities.
- All entrances are visible and overlooked by pedestrians or by neighbour's windows.

Sustainability

- The applicant has committed to achieving an EnerGuide rating of 82 for the proposed townhouses and to pre-ducting all units for solar hot water heating.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.
- A legal agreement will be registered on Title prior to issuance of the Development Permit to ensure that all units are designed to achieve an EnerGuide rating of 82 (as detailed by the Certified Energy Advisor), and to include pre-ducting for solar hot water heating.

Accessible Housing

- The proposed development includes one (1) convertible unit that is designed with the potential to be easily renovated to accommodate a future resident using a wheelchair. The potential conversion of these units will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow for this in Unit #2) or a chair lift (where the staircase has been dimensioned to accommodate this) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. On this basis, staff recommend support of this Development Permit application.



Edwin Lee
Planner 1
(604-276-4121)

EL:blg

The following are to be met prior to forwarding this application to Council for approval:

- Final adoption of the Zoning Amendment Bylaw 8928.
- Registration of a blanket easement agreement and/or alternative legal agreement(s), to the satisfaction of the City, to allow residents at future residential development at 9240 Granville Avenue to have access to/from the garbage/recycling/organic waste collection facility at this development site. The works are to be built by the owners and are to be maintained by the owners.
- Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City; securing the owner's commitment to have the proposed development achieving Energuide 82 requirements and pre-ducted for solar hot water. This covenant and/or legal agreement(s) will include, at minimum, that no Building Permit will be issued for a building on the subject site unless the building is designed to achieve Energuide 82 requirements and pre-ducted for solar hot water; and that the owner has provided a professional report by a Certified Energy Advisor (CEA), to the satisfactory to the Director of Development.
- Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted near and within the tree protection zone of the trees to be retained on adjacent properties. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
- City acceptance of the developer's offer to voluntarily contribute \$1,300.00 to Parks Division's Tree Compensation Fund for the removal of two (2) trees located on the City boulevard in front of the site.
Note: Developer/contractor must contact the Parks Division (604-244-1208 ext. 1342) four (4) business days prior to the removal to allow proper signage to be posted. All costs of removal and compensation are the responsibility borne by the applicant.
- Receipt of a Letter-of-Credit for landscaping in the amount of \$66,289.00; Letter-of-Credit will not be released until the Letter of Assurance from the Landscape Architect; confirming that landscaping are installed as per Development Permit, is reviewed by staff.

Prior to future Building Permit issuance, the developer is required to complete the following:

- * Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit plans as determined via the Rezoning and/or Development Permit processes.
- * Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities; including building demolition, occurring on-site.
- * The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.



City of Richmond

Development Application Data Sheet

Development Applications Department

DP 13-633035

Attachment 1

Address: 7088 Heather Street

Applicant: Gerry Blonski

Owner: 1023591 BC LTD.

Planning Area(s): City Centre – McLennan South Sub Area

Floor Area Gross: 1,093.27 m²

Floor Area Net: 803.20 m²

	Existing	Proposed
Site Area:	1,006 m ²	No Change
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Area Plan Designation:	CCAP: General Urban T4 McLennan South Sub Area Plan: Residential, Townhouse up to 3 storeys over 1 parking level, Triplex, Duplex, Single-Family 0.75 base FAR	No Change
Zoning:	Single Detached (RS1/F)	High Density Townhouses (RTH2)
Number of Units:	1	4

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.80 FAR	0.798 FAR	none permitted
Lot Coverage - Building:	Max. 45%	39.6%	none
Lot Coverage – Non-porous Surfaces:	Max. 70%	46.3%	none
Lot Coverage - Landscaping:	Min. 20%	32.7%	none
Setback – Front Yard (Granville Avenue):	Min. 4.5 m	7.28 m	none
Setback – Exterior Side Yard (Heather Street):	Min. 4.5 m	4.51 m	none
Setback – Interior Side Yard:	Min. 2.0 m	2.00 m	none
Setback – Rear Yard:	Min. 2.0 m	6.33 m	none
Height (m):	Max. 12.0 m	11.84 m	none
Lot Depth:	Min. 30.0 m	43.88 m	none
Lot Area:	Min 1,800 m ²	1,006 m ²	Variance Requested
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	2 (R) and 0.25 (V) per unit	none

Off-street Parking Spaces – Total:	6 (R) and 1 (V)	8 (R) and 1 (V)	none
Tandem Parking Spaces:	Max. 50% of proposed residential spaces in enclosed garages (8 x Max. 50% = 4)	0	none
Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	1 extra small car space proposed	none
Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.75 (Class 1) and 0.5 (Class 2) per unit	none
Off-street Parking Spaces – Total:	5 (Class 1) and 1 (Class 2)	7 (Class 1) and 2 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 4 units = 24 m ²	52.1 m ²	none



City of Richmond

Development Permit

No. DP 13-633035

To the Holder: GERRY BLONSKI
Property Address: 7088 HEATHER STREET
Address: C/O 12468 82ND AVENUE, UNIT 1A
SURREY, BC V3W 3E9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum lot area in the "High Density Townhouse (RTH2)" zone from 1,800 m² to 1,000 m².
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$66,289.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 13-633035

To the Holder: GERRY BLONSKI
Property Address: 7088 HEATHER STREET
Address: C/O 12468 82ND AVENUE, UNIT 1A
 SURREY, BC V3W 3E9

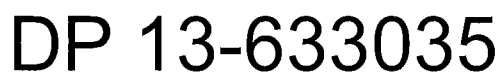
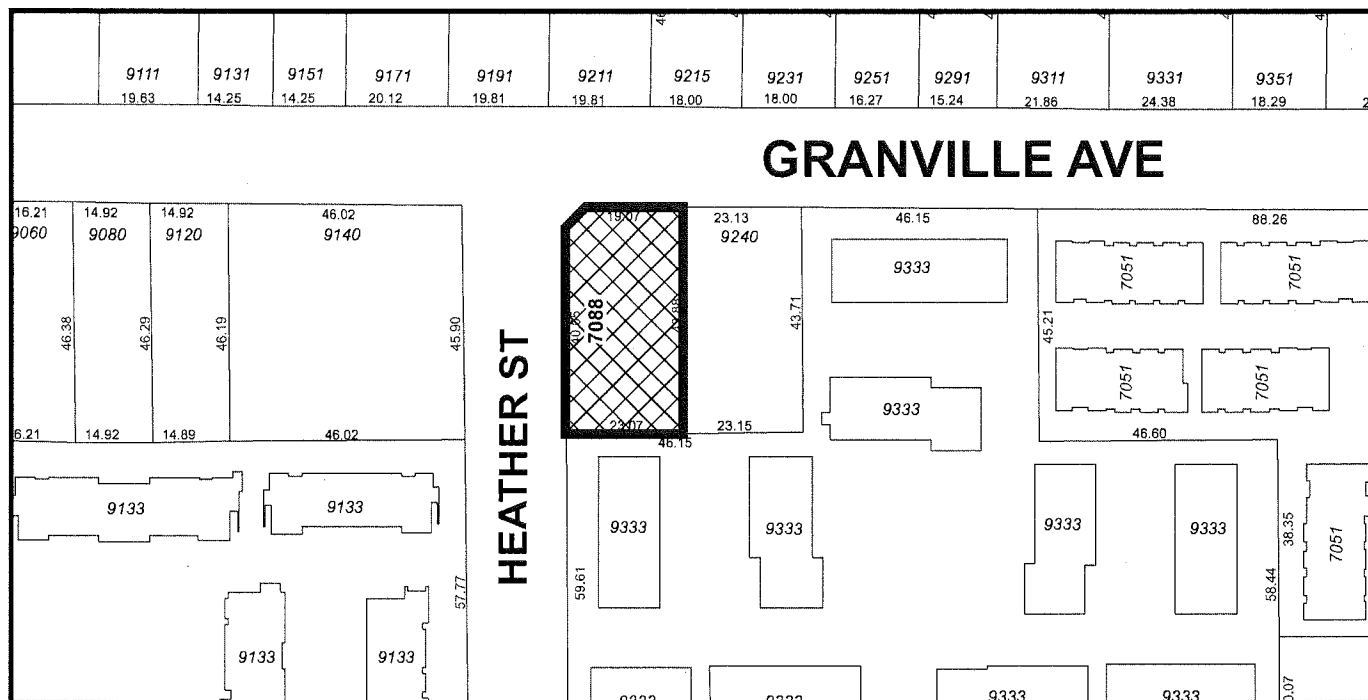
8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



Note: Dimensions are in METRES



REVISED FOR DP_13-633035

Context

A0.1

JOB NO. 15-10

DATE: 18 JUN 2016

4 UNITS TOWNHOUSE DEVELOPMENT

7088 HEATHER ST, RICHMOND BC

Gerry Blonski

architect a.i.b.c.

Suite 1A - 12466 - 82nd Ave., Surrey, B.C. V3W 3E9

Ph : 572-3608 Fax: 572-3760

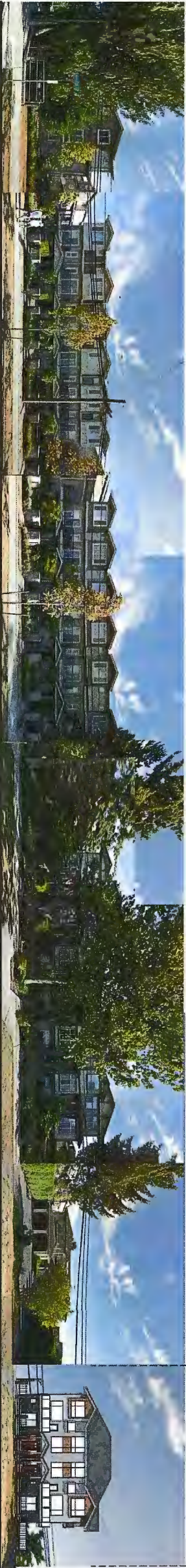
Context
1/8" = 1'-0"

DP 13-633035

PLAN 1

SEP 20 2016

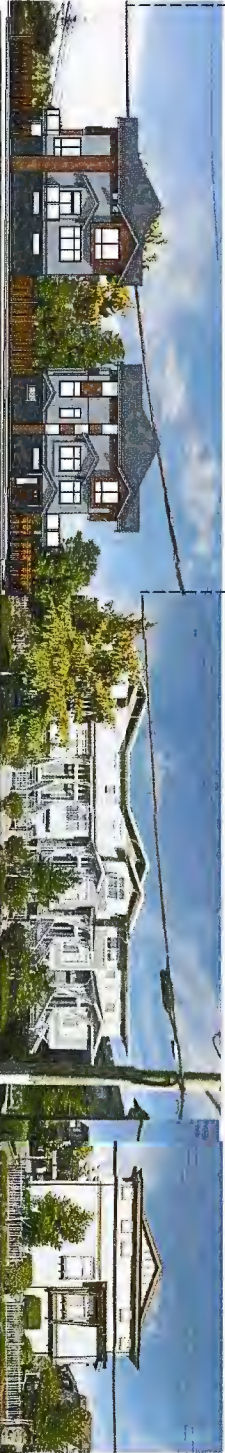
ASH ST



HEATHER ST

STREETSCAPE ALONG GRANVILLE AVE

GRANVILLE AVE



STREETSCAPE ALONG HEATHER ST

SILLS AVE

REVISED FOR DP_13-633035

Streetscapes

4 UNITS TOWNHOUSE
DEVELOPMENT
7088 HEATHER ST, RICHMOND BC

Gerry Blonski
architect a.i.b.c.

Suite 1A - 12468 - 82nd Ave., Surrey, B.C. V3W 3E9
Ph: 572-3608
Fax: 572-3760

DP 13-633035
PLAN # 1A
SEP 20 2016

A0.5

JOB NO. 15-10

DATE: 18 JUN 2016

CIVIC ADDRESS

7088 HEATHER STREET
RICHMOND, B.C.

LEGAL DESCRIPTION

LOT A SECTION 15 BLOCK 4 NORTH RANGE 6
NEW WESTMINSTER DISTRICT PLAN BCP18787

ZONING SYNOPSIS

1. ZONING:
EXISTING ZONE: R1
PROPOSED ZONE: RTH2
2. SITE AREA: 10828.49 SQ.FT. (1006 SQ.M.)
3. SETBACKS

FRONT	(NORTH)	4.5 M	7.28 M	(COMPLY)
REAR	(SOUTH)	2.0 M	6.33M	(COMPLY)
INTERIOR SIDE	(EAST)	2.0 M	2.00 M	(COMPLY)
EXTERIOR SIDE	(WEST)	4.5 M	4.51 M	(COMPLY)

4. FLOOR AREA:

FLOOR AREA CALCULATION

FIRST FLOOR

	GFA	(EXCLUDE GARAGE)	(EXCLUDE ENTRY & STAIRWAY)	NET FLOOR AREA	
UNIT 1	80.78	43.54	10.00	27.24	SQ.M.
UNIT 2	76.09	39.79	10.00	26.30	SQ.M.
UNIT 3	85.58	49.45	10.00	26.13	SQ.M.
UNIT 4	85.20	47.70	10.00	27.50	SQ.M.
GABAGE ENCLOSURE	11.78			/	SQ.M.
ELEC.	2.00			2.00	SQ.M.
SPRINKLER	2.00			2.00	SQ.M.
TOTAL	343.43			111.17	SQ.M.

COVERED PATIO: 33.02 SQ.M.

SECOND FLOOR

	GFA		NET FLOOR AREA	
UNIT 1	89.92		89.92	SQ.M.
UNIT 2	87.43		87.43	SQ.M.
UNIT 3	89.50		89.50	SQ.M.
UNIT 4	89.50		89.50	SQ.M.
TOTAL	356.35		356.35	SQ.M.

COVERED DECK: 0.00 SQ.M.

THIRD FLOOR

	GFA	(EXCLUDE STAIRWAY)	NET FLOOR AREA	
UNIT 1	88.15	5.32	82.83	SQ.M.
UNIT 2	88.14	3.79	84.35	SQ.M.
UNIT 3	89.49	5.24	84.25	SQ.M.
UNIT 4	89.49	5.24	89.50	SQ.M.
TOTAL	355.27		335.68	SQ.M.

COVERED BALCONY: 5.20 SQ.M.

NET FLOOR AREA
FIRST FL. 111.17
SECOND FL. 356.35
THIRD FL. 335.68
TOTAL 803.20 SQ.M.

COVERED PATIO/DECK/BALCONY 33.02+5.2 = 38.22
COVERED PATIO/DECK/BALCONY RATIO 38.22 / 803.20 = 4.75%

5. F.A.R.
ALLOWED 0.8
(1006 X 0.8 = 804.8 SQ.M.)
PROVIDED 803.20 / 1006 = 0.798

6. SITE COVERAGE
LOT COVERAGE
ALLOWED 45%
PROVIDED 398.4 / 1006 = 39.6%

- NON-POROUS AREA
ALLOWED 70%
PROVIDED 68 / 1006 = 6.7%

- SOFT LANDSCAPE AREA
REQUIRED 20%
PROVIDED 329.4/ 1006 = 32.7%

7. BUILDING HEIGHT
ALLOWED 12 M
PROVIDED
AVERAGR GRADE 1.78 M

BLDG A
RIDGE 13.62
LESS AVERAGR GRADE 1.78 11.84 M

BLDG B
MIDDLE RIDGE 13.62
LESS AVERAGR GRADE 1.78 11.84 M

8. OUTDOOR AMENITY SPACE
REQUIRED OUTDOOR AMENITY SPACE 24.0 SQ.M.
ADDITIONAL OUTDOOR AMENITY SPACE
REQUIRED:
10% X 1006 = 100.6 SQ.M
124.6 SQ.M

- PROVIDED:
CHILDREN PLAYGROUND 51.2
CHILDREN'S GARDEN 27.9
GREEN SPACE 49.1
128.4 SQ.M

9. RESIDENTIAL PARKING
VEHICLE PARKING (CITY CENTER)
REQUIRED:
RESIDENTIAL 4 UNITS x 1.4 = 5.6 CARS
VISITORS 4 UNITS x 0.2 = 0.8 (1 CARS)

PROVIDED:
RESIDENTIAL = 8 CARS (1 SMALL CAR)
VISITORS = 1 CARS

- BICYCLE PARKING
REQUIRED:
CLASS 1 4 UNITS x 1.25 = 5.0
CLASS 2 4 UNITS x 0.2 = 0.8

- PROVIDED:
CLASS 1 = 7 (IN EA. GARAGE)
CLASS 2 = 2

Zoning Synopsis

A0.7

Cerry Blonski
architect a.i.b.c.

4 UNITS TOWNHOUSE
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

Ph: 572.3806
Fax: 572.3760
Suite 1A - 12488 82nd Ave., Surrey, B.C. V3W 3E9

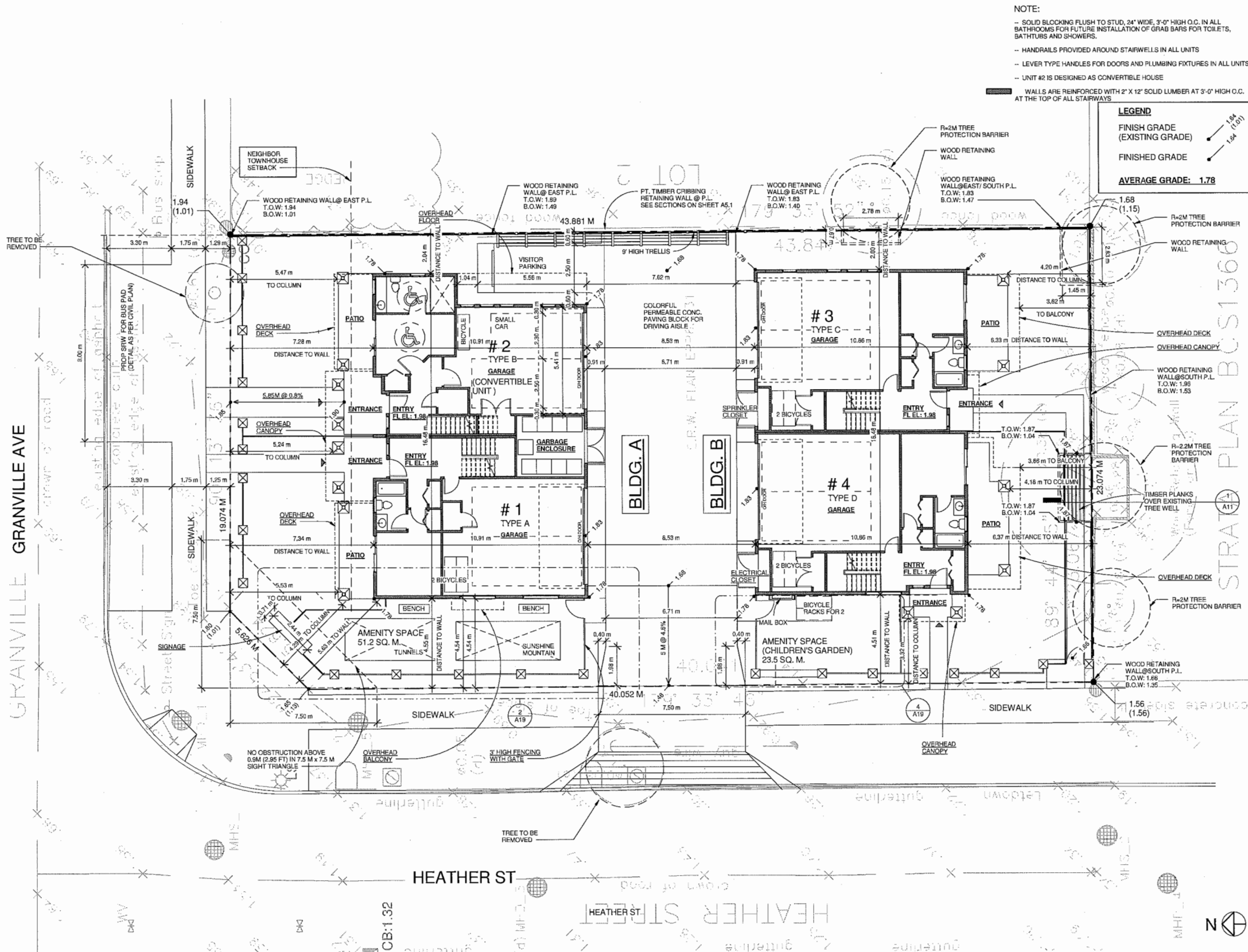
DATE: 18 JUN 2016

JOB NO. 15-10

DP 13-633035

PLAN #1B

SEP 2 0 2016



NOTE:

- SOLID BLOCKING FLUSH TO STUD, 24" WIDE, 3'-0" HIGH O.C. IN ALL BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS FOR TOILETS, BATHTUBS AND SHOWERS.
- HANDRAILS PROVIDED AROUND STAIRWELLS IN ALL UNITS
- LEVER TYPE HANDLES FOR DOORS AND PLUMBING FIXTURES IN ALL UNITS
- UNIT #2 IS DESIGNED AS CONVERTIBLE HOUSE
- WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 3'-0" HIGH O.C. AT THE TOP OF ALL STAIRWAYS

LEGEND

FINISH GRADE (EXISTING GRADE)

FINISHED GRADE

AVERAGE GRADE: 1.78

① PLAN #1 - Site plan
1/8" = 1'-0"

REVISED FOR DP_13-633035

PLAN #1 Site Plan

Gerry Blonski
architect a.i.b.c.

4 UNITS TOWNHOUSE
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

JOB NO. 15-10

DATE: 18 JUN 2016

PH: 572-3608
Fax: 572-3750

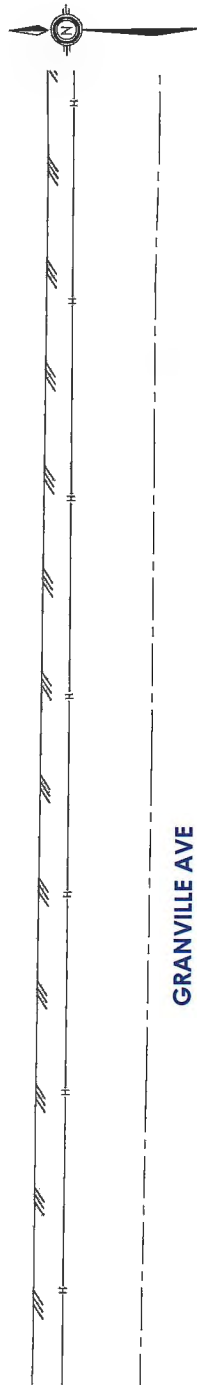
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DP 13-633035

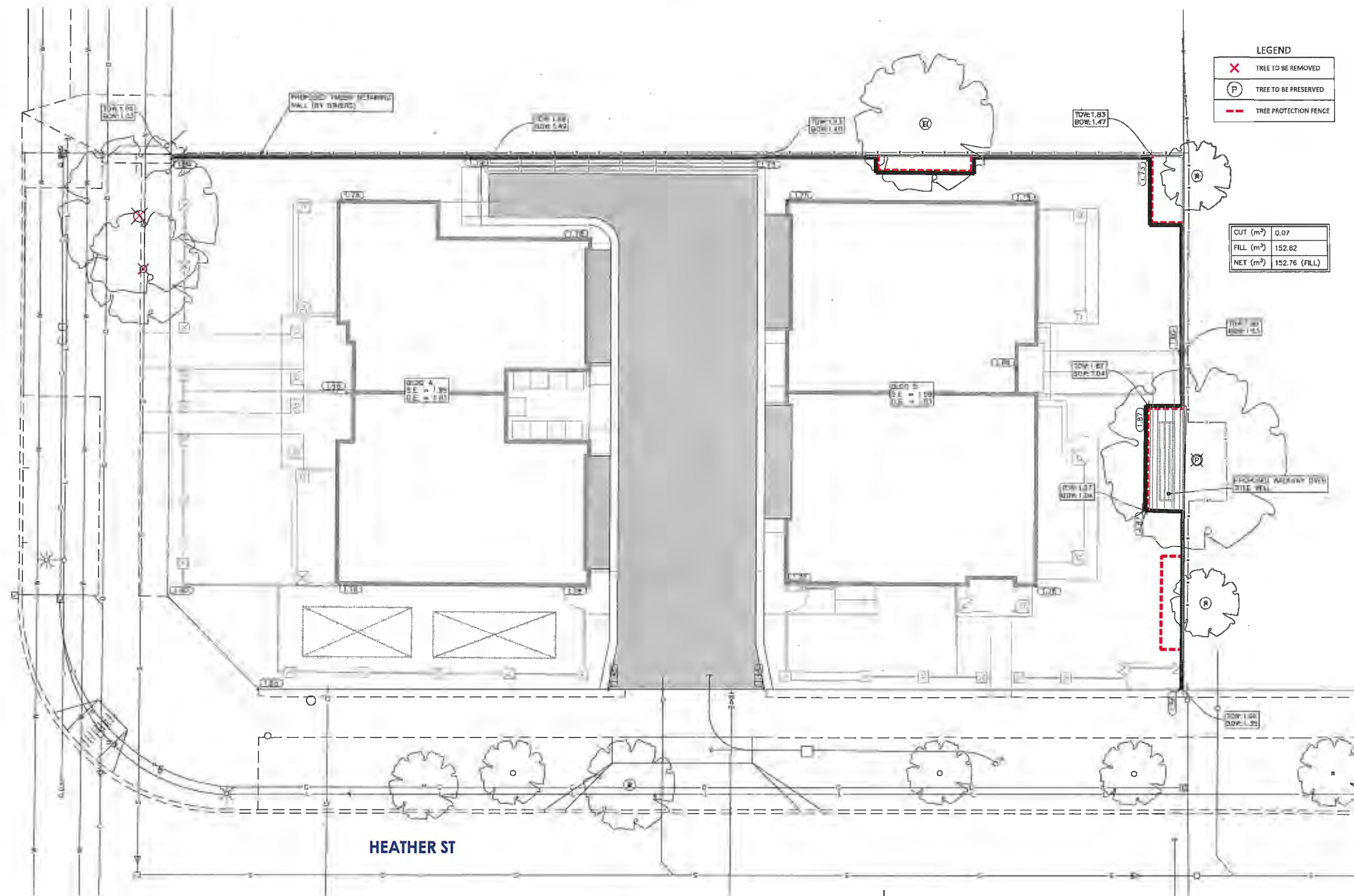
PLAN #1C

SEP 20 2016

A1



GRANVILLE AVE



HEATHER ST

PLAN
SCALE: 1/8"=1'-0"

LEGEND	
X	TREE TO BE REMOVED
P	TREE TO BE PRESERVED
- - -	TREE PROTECTION FENCE

CUT (m³)	0.07
FILL (m³)	152.82
NET (m³)	152.76 (FILL)

SEP 20 2016 DP 13-633035
PLAN # 1D

City of Richmond
6011 NO. 3 ROAD RICHMOND B.C. V6V 2C1

FORTIS BC SERVICES
THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, ARRANGE FOR THEIR RELOCATION IN ORDER TO FACILITATE INSTALLATION OF THE WORKS SHOWN ON THESE PLANS. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM:
BC ONE CALL SERVICE RECORDS DEPARTMENT
TELEPHONE: (604) 297-1900
FORTIS REQUIRES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.

NOTES:
ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBER.
ELEVATIONS SHOWN ARE BASED UPON THE CITY OF RICHMOND HPN BENCHMARK NETWORK.
HPN # 202 CONTROL MONUMENT 77H4623 LOCATED AT CL S BOUND L TURN LANE AT NO. 3 ROAD AND BENNETT ROAD
ELEVATION ELEVATION = 1.452
ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MPCD) AND THE CURRENT CITY OF RICHMOND SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS, UNLESS OTHERWISE NOTED.

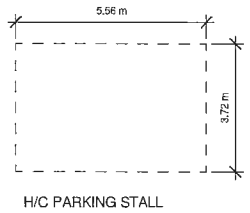
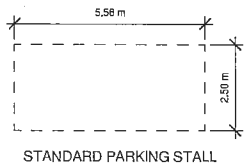
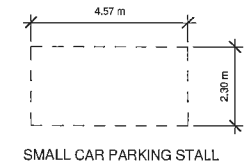
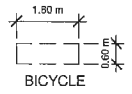
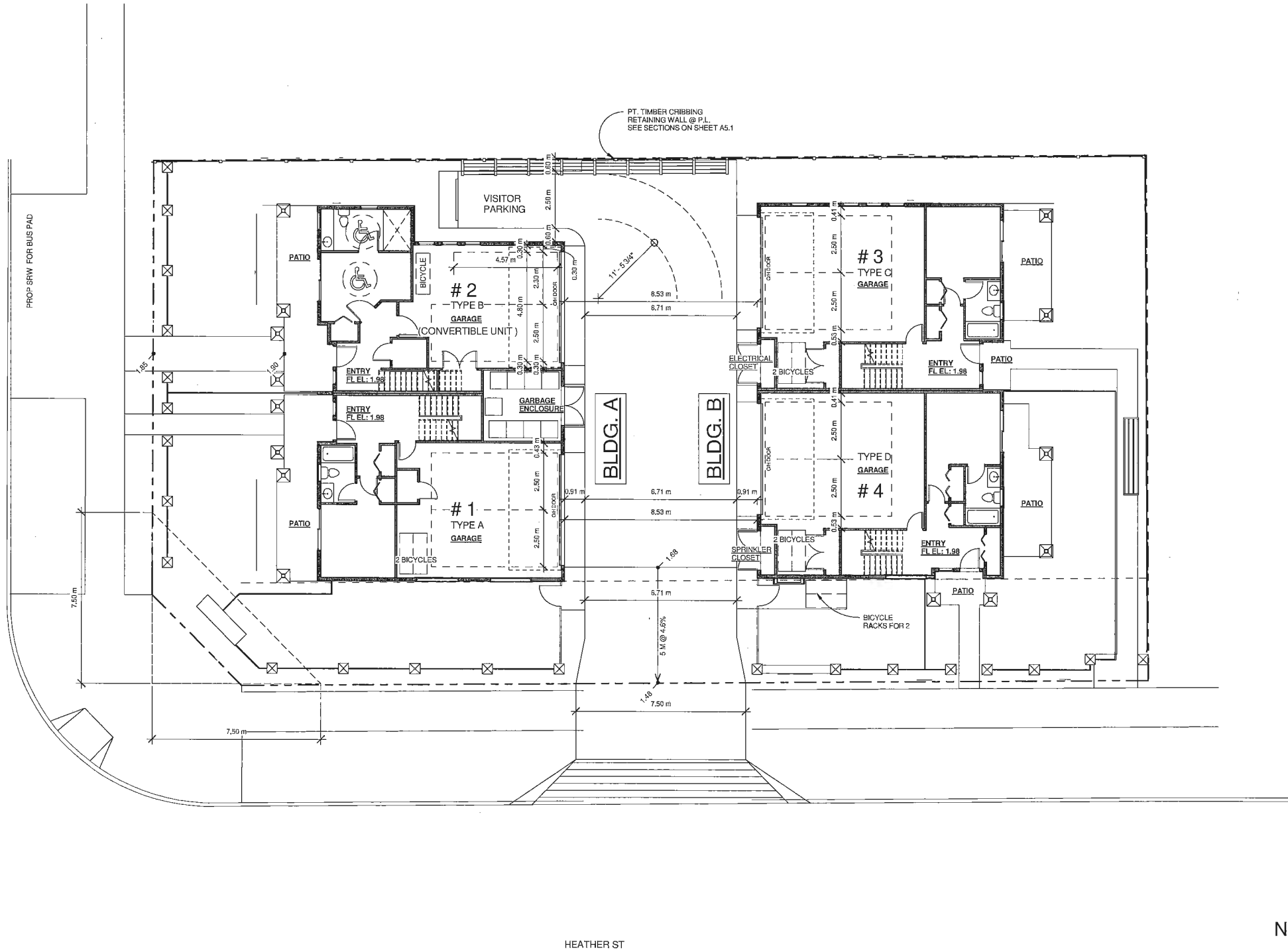
CoreConcept CONSULTING LTD.
tel: 604.249.5040 fax: 604.249.5041
#220-2639 Viking Way, Richmond, BC, V6V 3B7
www.coreconceptconsulting.com
BILL LIN
Core Concept Consulting Project No. 15140
DWG. 1 OF 1

REV	DATE	BY	CHK	DESCRIPTION
1.	17 JUN 2016	BTR	RF	ISSUED FOR REVIEW
0.	08 MAR 2016	BTR	RF	ISSUED FOR REVIEW

17 JUN 2016

TITLE: LOT GRADING	
7088 HEATHER STREET CITY FILE:	
DESIGN: BTR	DWG. No.:
DRAWN: HH	SCALE: 1/8"=1'-0"
CHECKED: DRK	DATE: JAN 2016
ENGINEER: RF	SEC. No.: 15-4-6
SHT No.: 1 OF 1	

① PLAN #2 - Parking plan
1/8" = 1'-0"



REVISED FOR DP_13-633035

PLAN #2 Parking Plan

JOB NO. 15-10

DATE: 18 JUN 2016

4 UNITS TOWNHOUSE
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

Gerry Blonski
architect a.i.b.c.

Suite 1A - 12408 - 82nd Ave., Surrey, B.C. V3W 3E9

Ph: 572-3808

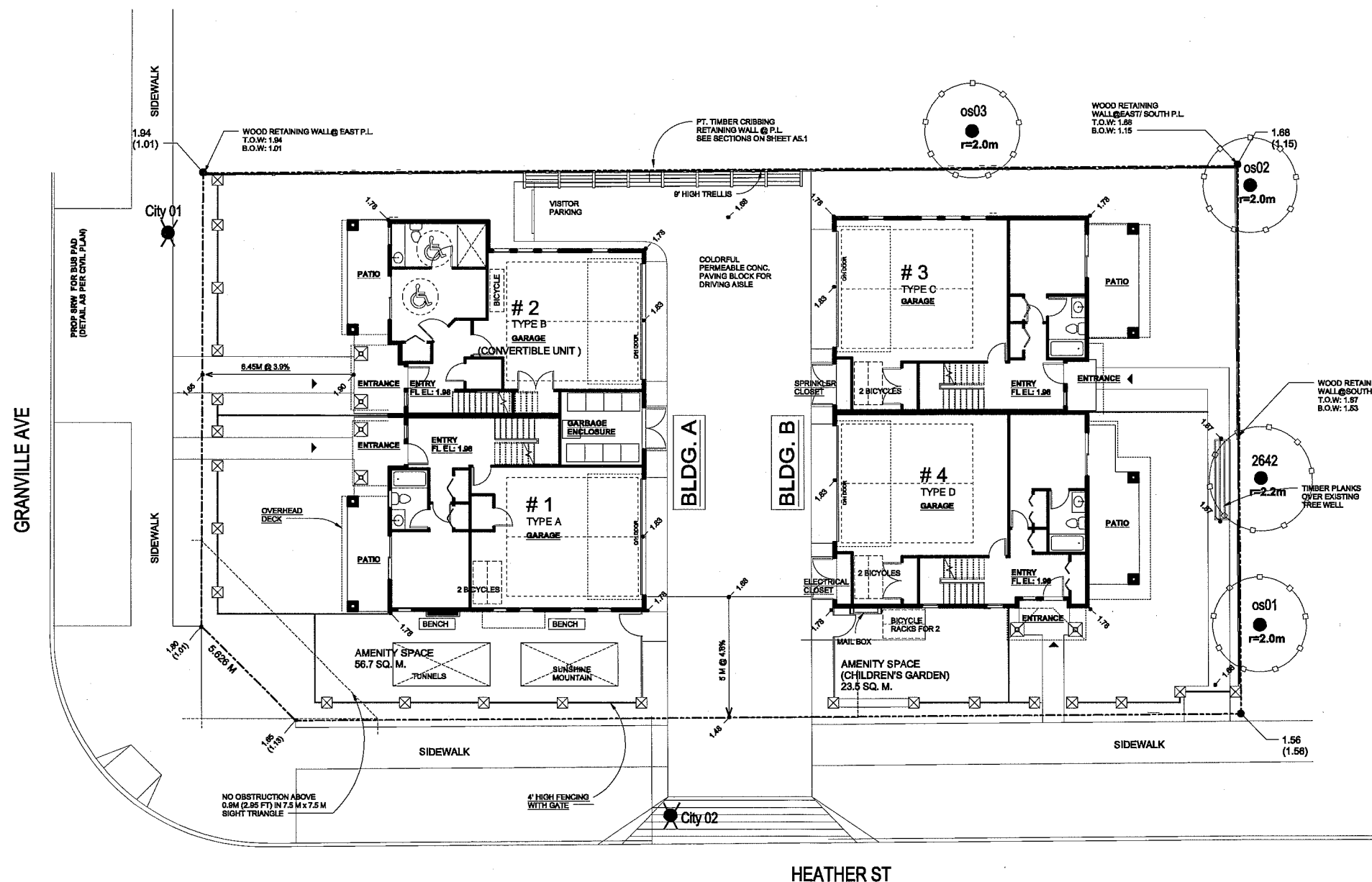
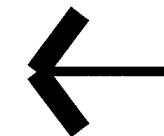
Fax: 572-3760

DP 13-633035

PLAN #2

SEP 20 2016

A2



LEGEND

- = TREES TO BE RETAINED
- ✕ = TREES TO BE REMOVED
- = PROTECTION BARRIER

DATE	REVISIONS	NO.
JUN/16	CITY COMMENTS	2
FEB/16	REVISED SITE PLAN	1

D. KAVOLINAS & ASSOCIATES INC.
BCSLA CSLA
2462 JONQUIL COURT
ABBOTSFORD, B.C.
V3G 3E8
PHONE (604) 857-2376

CLIENT
1023501 B.C. LTD.
c/o GRAEME LIU
REMAX CREST REALTY WESTSIDE
3215 McDONALD STREET
VANCOUVER, B.C.
V6L 2N2
604-779-5885

TITLE
PLAN VIEW
TREE LOCATION PLAN
TREE RETENTION PLAN
TOWNHOUSE DEVELOPMENT
7088 HEATHER STREET
RICHMOND, B.C.

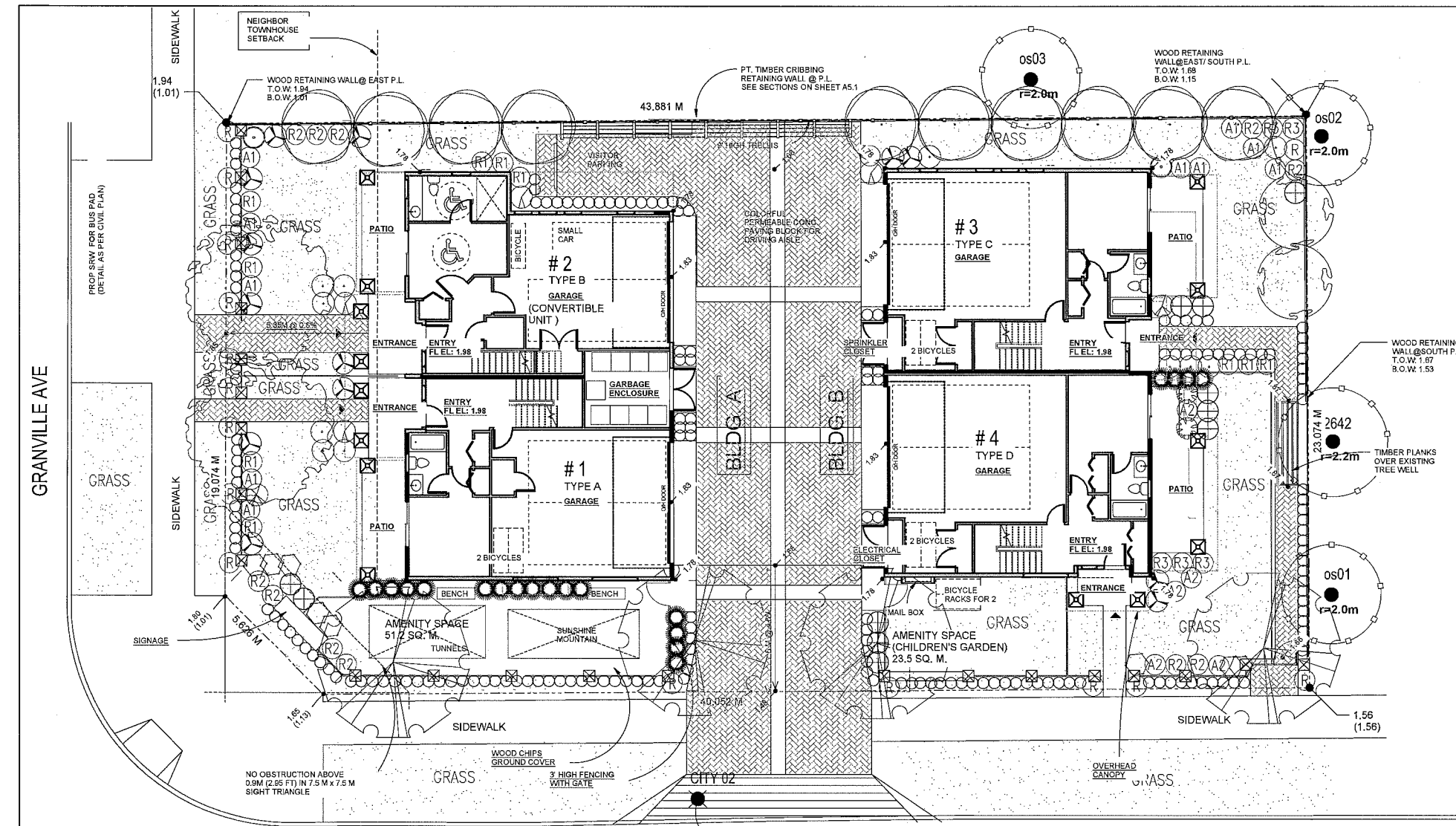
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ENG	CHKD		
APPRD	AS BUILT		

PRINTED	JOB No.
	DRAWING No.
	TR-1

DP 13-633 035

PLAN # 3

SEP 20 2016



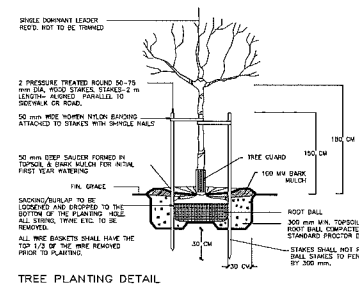
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	PRUNUS SERRULATA 'AMANAGAWA'	AMANAGAWA CHERRY	2	6 CM. CAL.	AS SHOWN	B. & B.
	SYRINGA RETICULATA 'IVORY SILK'	LILAC TREE	4	8 CM. CAL.	AS SHOWN	B. & B.
	CORNUS FLORIDA 'RUBRUM'	RED FLOWERING DOGWOOD	2	8 CM. CAL.	AS SHOWN	B. & B.
	QUERCUS ROBUR SKYROCKET	SKYROCKET OAK	10	6 CM. CAL.	AS SHOWN	B. & B.
⊕	AZALEA JAPONICA 'HINO CRIMSON'	CRIMSON AZALEA	9	#2 POT	85 CM. O.C.	
A1	AZALEA NORTHERN LIGHTS 'MANDARIN LIGHTS'	NORTHERN LIGHTS AZALEA	9	#3 POT	90 CM. O.C.	
A2	AZALEA NORTHERN LIGHTS 'ORCHID LIGHTS'	NORTHERN LIGHTS AZALEA	5	#3 POT	90 CM. O.C.	
⬢	ABELIA 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	7	#3 POT	90 CM. O.C.	
○	BUXUS MACROPHYLLA 'WINTER GEM'	ASIAN BOXWOOD	227	#3 POT	45 CM. O.C.	
⊙	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	HYDRANGEA	2	#3 POT	90 CM. O.C.	
⊙	SPIRAEA NIPPONICA SNOWMOUND	SNOWMOUND SPIRAEA	3	#2 POT	90 CM. O.C.	
⊙	RHODODENDRON YAKUSHIMANUM 'CRETE'	YAK. RHODODENDRON	12	#3 POT	90 CM. O.C.	
⊙	RHODODENDRON FINNISH 'ELVIRA'	FINNISH RHODODENDRON	10	#3 POT	90 CM. O.C.	
⊙	RHODODENDRON YAKUSHIMANUM 'TEDDY BEAR'	YAK. RHODODENDRON	2	#3 POT	90 CM. O.C.	
⊙	RHODODENDRON YAKUSHIMANUM 'MARDI GRAS'	YAK. RHODODENDRON	13	#3 POT	90 CM. O.C.	
⊙	RHODODENDRON RAMPO	RHODODENDRON	11	#3 POT	90 CM. O.C.	
⊙	RHODODENDRON ELIZABETH	RHODODENDRON	15	#3 POT	90 CM. O.C.	
⊙	RHODODENDRON P.J.M.	RHODODENDRON	5	#3 POT	90 CM. O.C.	
⊙	SYRINGA VULGARIS 'MICHEL BUCHNER'	LILAC	2	#3 POT	90 CM. O.C.	
⊙	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	21	1.80 METERS	65 M. O.C.	
	GRASS		250m2			

NOTE: REFER TO ARCHITECT'S DRAWINGS FOR ALL FENCE DETAILS AND LOCATIONS.

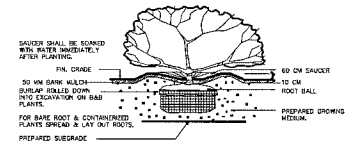
NOTES / GENERAL

- PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO BC LANDSCAPE STANDARD "LATEST EDITION". CONTAINER SIZES ARE SPECIFIED AS PER "ONIA STANDARDS" BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. DEMONSTRATE AND REVIEW PLANT MATERIAL AVAILABLE FOR OPTIMAL REVIEW BY "LANDSCAPE ARCHITECT" AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. "SUBSTITUTIONS" MUST OBTAIN WRITTEN APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO MAKING ANY SUBSTITUTIONS TO SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE WORKING DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO "B.C. LANDSCAPE STANDARD".
- ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED "TREE NURSERY". ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE "BC LANDSCAPE STANDARD". FROM CERTIFICATION UPON REQUEST. ALL LANDSCAPING AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE BCMA/BCCLA "LANDSCAPE STANDARDS".
- MIN. CHROMING MEDIUM DEPTHS OVER PREPARED SUBGRADE SHALL BE:

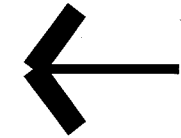
LAWN AREAS	450 mm
GROUND COVER AREAS	450 mm
DRIVE AREAS	450 mm
TREE PITS	300 mm AROUND ROOT BALL
- GROWING MEDIUM SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS EXCEPT FOR AREAS OVER STRUCTURES WHERE THE MEDIUM SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATIONS. PROCESSING AND MIXING OF GROWING MEDIUM COMPONENTS SHALL BE DONE OFF-SITE USING A MECHANIZED SCREENING PROCESS. PROVIDED GROWING MEDIUM SHALL BE TESTED BY A RECOGNIZED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
- ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR GROWING MEDIUM. SOILS SHALL BE FREE FROM SALINITY, NOOD INCL. WOODY PLANT PARTS, WEED OR REPRODUCTIVE PARTS OF WEEDS, PLANT PATHOGENIC ORGANISMS, TOXIC MATERIALS, STONES OVER 50 MM AND FOREIGN OBJECTS.
- ALL PLANTING BEDS SHALL RECEIVE MIN. 50 MM BARK MULCH.
- PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. ALL PLANT MATERIAL NOT SURVIVING, OR IN POOR CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- THE CONTRACTOR SHALL CLEAR AWAY FROM THE SITE ALL RUBBISH AS IT ACCUMULATES, AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE THEREOF IN A CLEAN AND PRESENTABLE CONDITION FREE FROM ALL OBSTRUCTIONS.



TREE PLANTING DETAIL



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS



LEGEND

- = TREES TO BE RETAINED
- ⊙ = TREES TO BE REMOVED
- = PROTECTION BARRIER

JUN/16	CITY COMMENTS	2
FEB/16	REVISED SITE PLAN	1
DATE	REMARKS	NO.
	REVISIONS	

C. KAVOLINAS & ASSOCIATES INC.

BCSLA CSLA

2462 JONQUIL COURT
ABBOTSFORD, B.C.
V3G 3E8

PHONE (604) 857-2376

CLIENT

1023591 B.C. LTD.
c/o GRAEME LIU
REMAX CREST REALTY WESTSIDE
3215 McDONALD STREET
VANCOUVER, B.C.
V6L 2N2
604-779-5885

TITLE

PLAN #3

LANDSCAPE PLAN
PROPOSED
TOWNHOUSE DEVELOPMENT
7088 HEATHER STREET
RICHMOND, B.C.

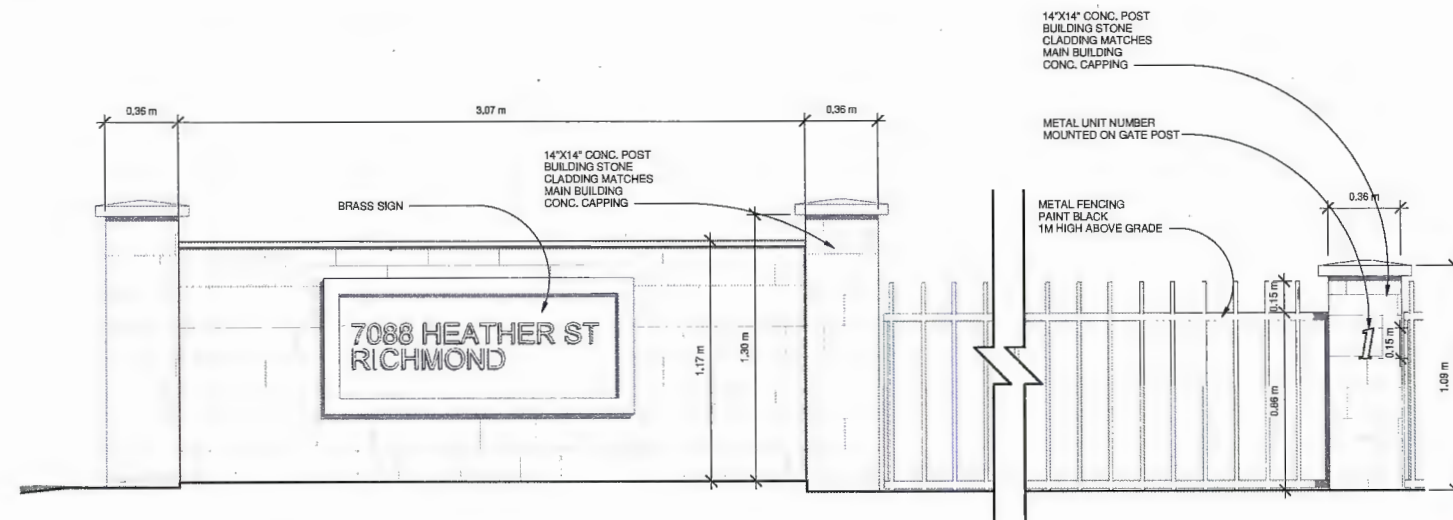
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ENC.	CHK'D		
APPROV.	AS BUILT		

PRINTED	JOB NO.	
	DRAWING NO.	L-1

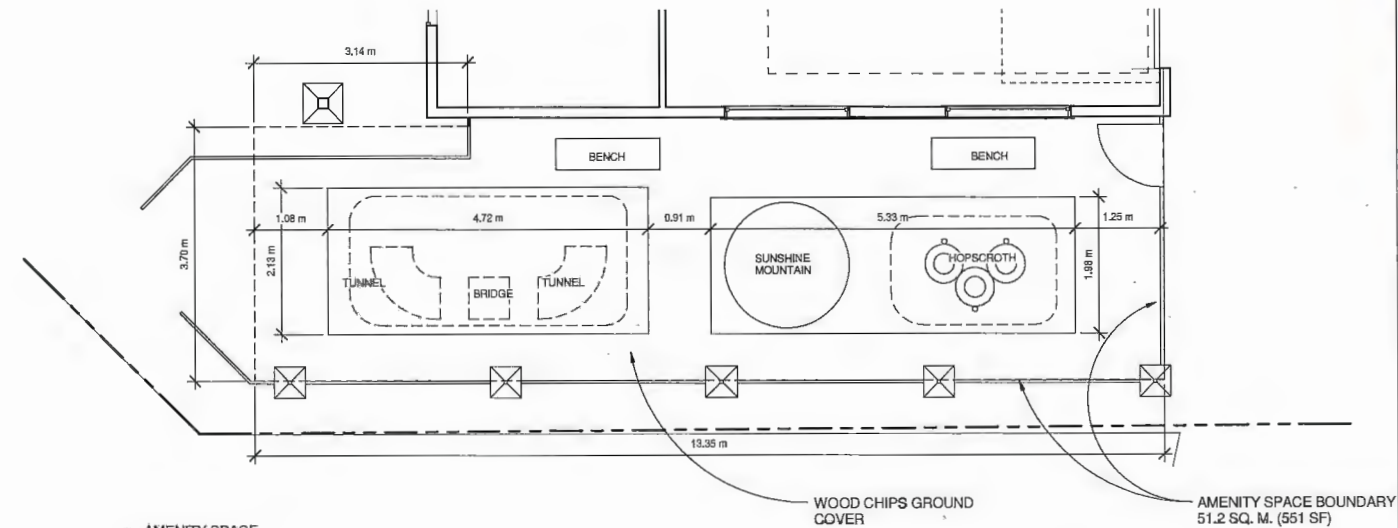
PLAN #3A

DP 13-633035

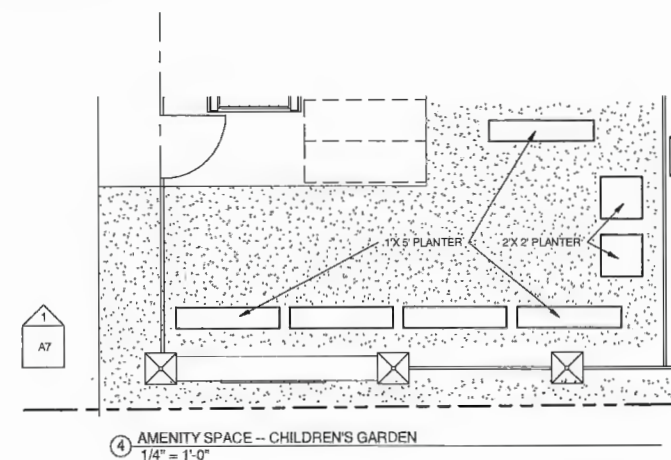
SEP 20 2016



① SIGNAGE & FENCE
3/4" = 1'-0"



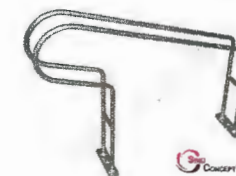
② AMENITY SPACE
1/4" = 1'-0"



④ AMENITY SPACE -- CHILDREN'S GARDEN
1/4" = 1'-0"



Loop Style
Bike Rack by **DRAPER**
OUTDOOR BICYCLE RACK



INDOOR BICYCLE RACK



TUNNEL



SUNSHINE MOUNTAIN



BENCH



BRIDGE



HOPSCROTH



CHILDREN'S PLANTER

REVISED FOR DP_13-633035

Amenity Space, Signage,
Fence & Furniture Details

A19

Gerry Blonski
architect a.i.b.c.

4 UNITS TOWNHOUSE
DEVELOPMENT
7088 HEATHER ST. RICHMOND BC

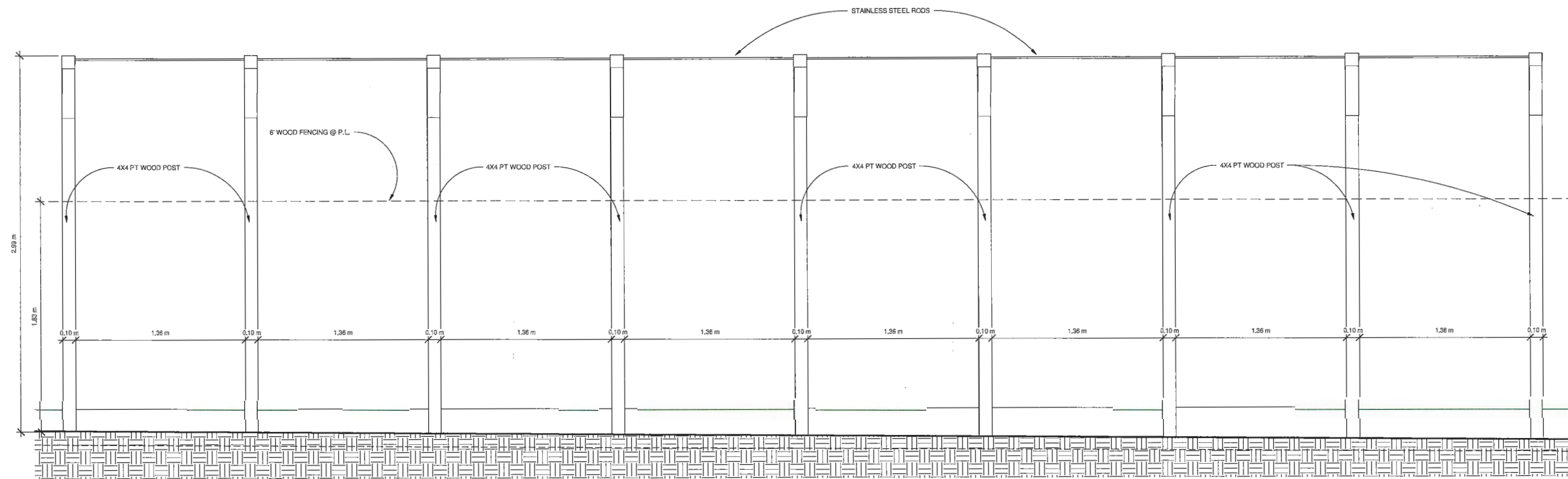
PH: 572 3606
FAX: 572 3760
Suite 1A - 12468 - 82nd Ave., Surrey, B.C. V3V 3E9

JOB NO. 15-10 DATE: 18 JUN 2016

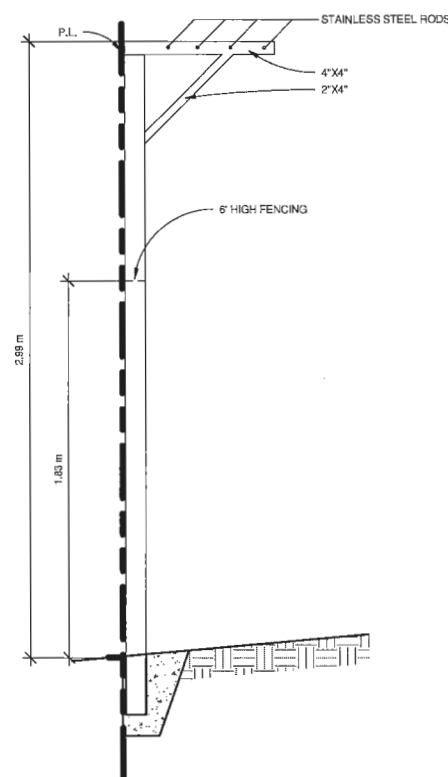
DP 13-633035

PLAN #3C

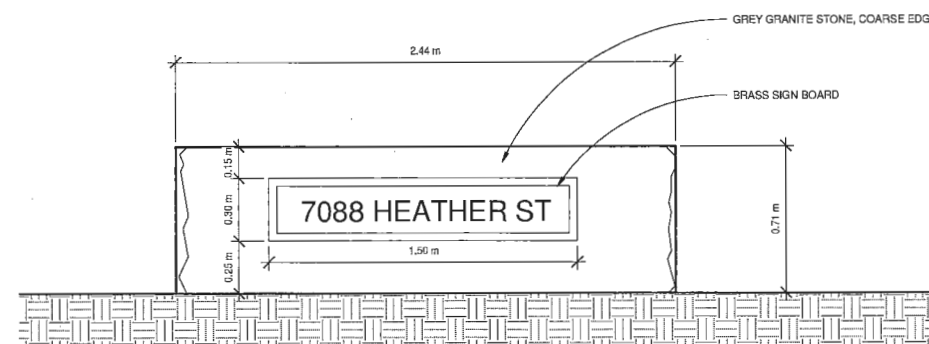
SEP 20 2016



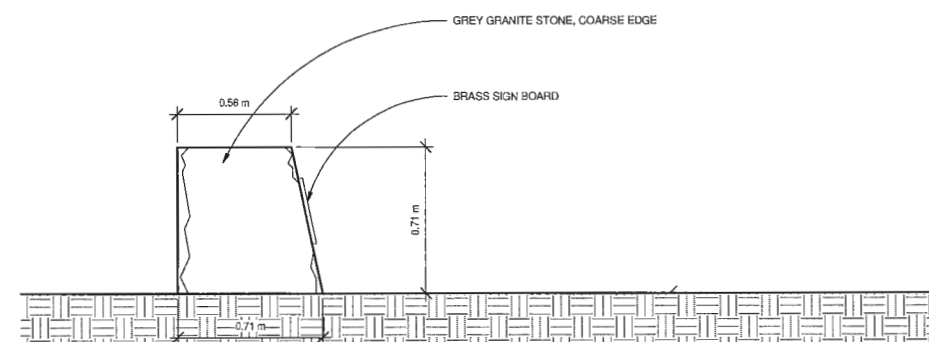
① TRELLIS ELEVATION
3/4" = 1'-0"



② TRELLIS ELEVATION 2
3/4" = 1'-0"



CORNER SIGNAGE FRONT ELEVATION 3/4" = 1'-0"



CORNER SIGNAGE SIDE ELEVATION 3/4" = 1'-0"

REVISED FOR DP 13-633035

TRELLIS & SIGNAGE

4 UNITS TOWNHOUSE
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

Gerry Blonski
architect a.i.b.c.

PH: 572-3808
FAX: 572-3750
Suite 1A - 12488 - 82nd Ave., Surrey, B.C. V2W 3E9

DATE: 18 JUN 2016

JOB NO. 15-10

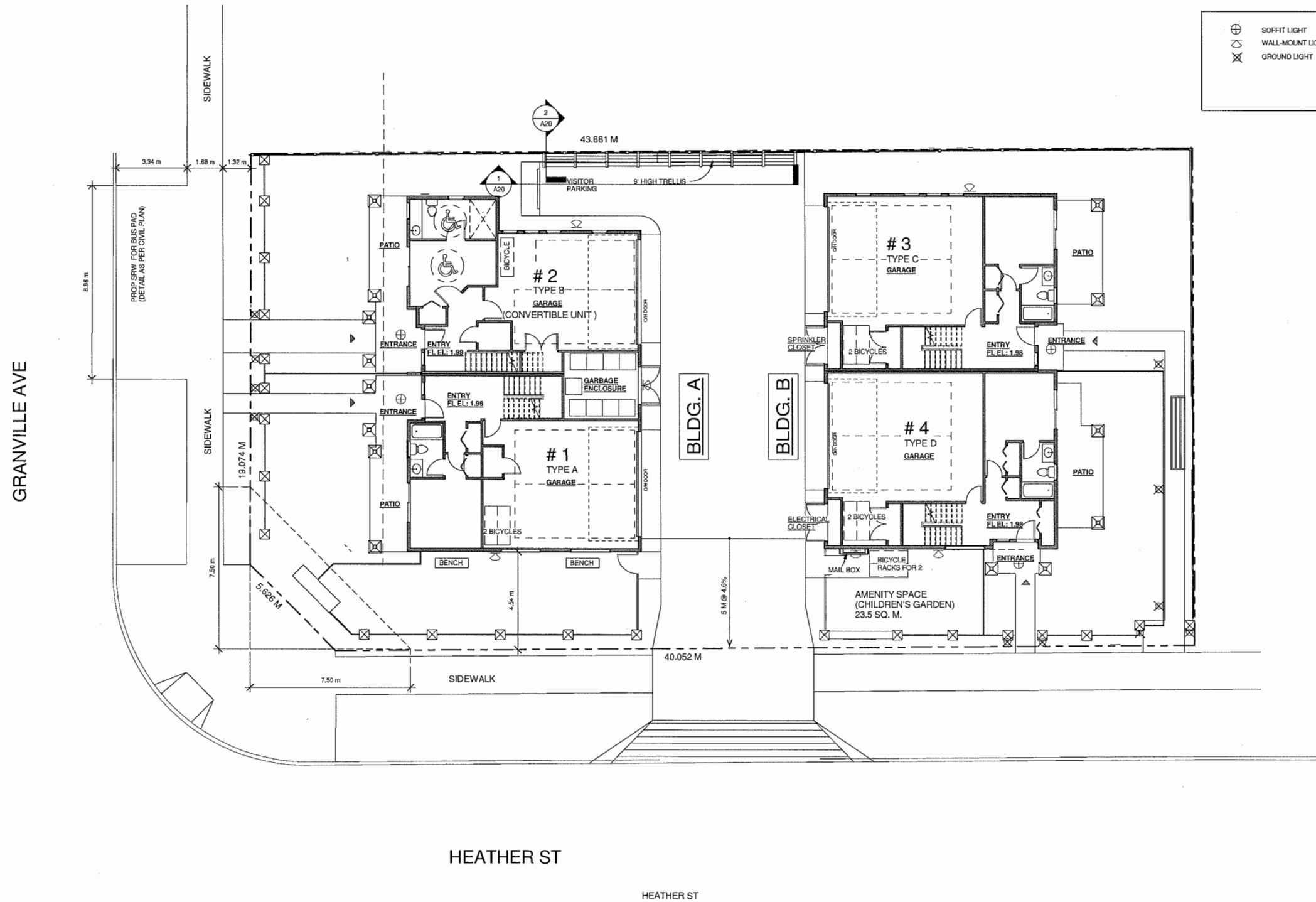
A20

DP 13-633035

PLAN # 3D

SEP 20 2016

① LIGHTING PLAN FOR OPTED
1/8" = 1'-0"



REVISED FOR DP_13-633035

LIGHTING PLAN FOR OPTED

4 UNITS TOWNHOUSE
DEVELOPMENT

Gerry Blonski
architect a.i.b.c.

Ph: 572-9608
Fax: 572-5760
Suite 1A - 12488 - 85th Ave., Surrey, B.C. V3W 2E9

7088 HEATHER ST., RICHMOND BC

JOB NO. 15-10
DATE: 18 JUN 2016

A21

DP 13-633035

PLAN #3E

SEP 20 2016



① NORTH CORNER VIEW



② DRIVING AISLE

REVISED FOR DP_13-633035

DP 13-633035

PLAN #4

SEP 20 2016

Perspective View

A0.6

JOB NO. 15-10

DATE: 18 JUN 2016

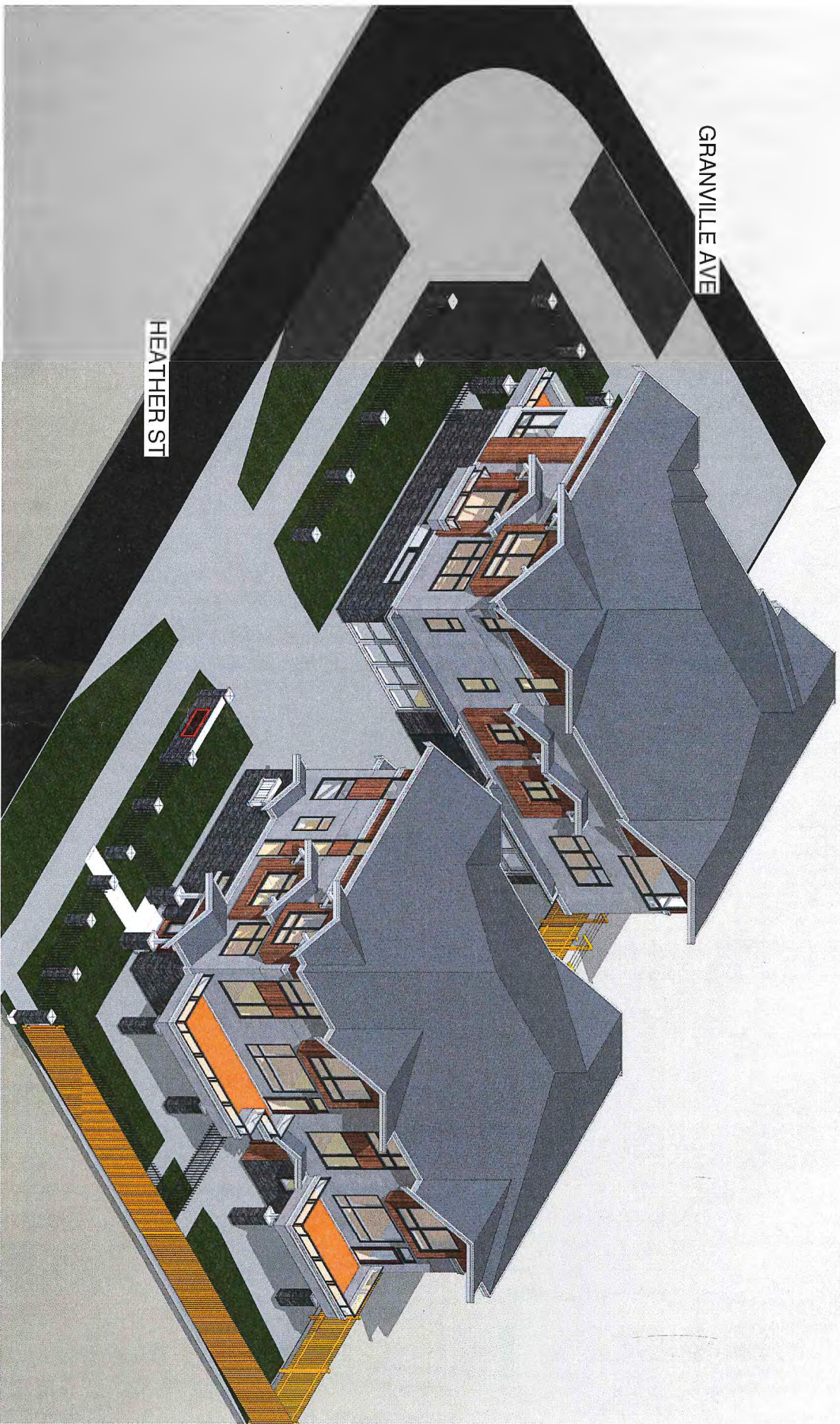
4 UNITS TOWNHOUSE
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

Gerry Blonski
architect a.i.b.c.

Suite 1A - 12468 - 82nd Ave., Surrey, B.C. V3W 3E9

Ph: 572-3608 Fax: 572-3780



② BIRD VIEW 2

REVISED FOR DP_13-633035

DP 13-633035

PLAN # 4A

SEP 20 2016

A0.3

Bird View

JOB NO. 15-10

DATE: 18 JUN 2016

4 UNITS TOWNHOUSE
DEVELOPMENT

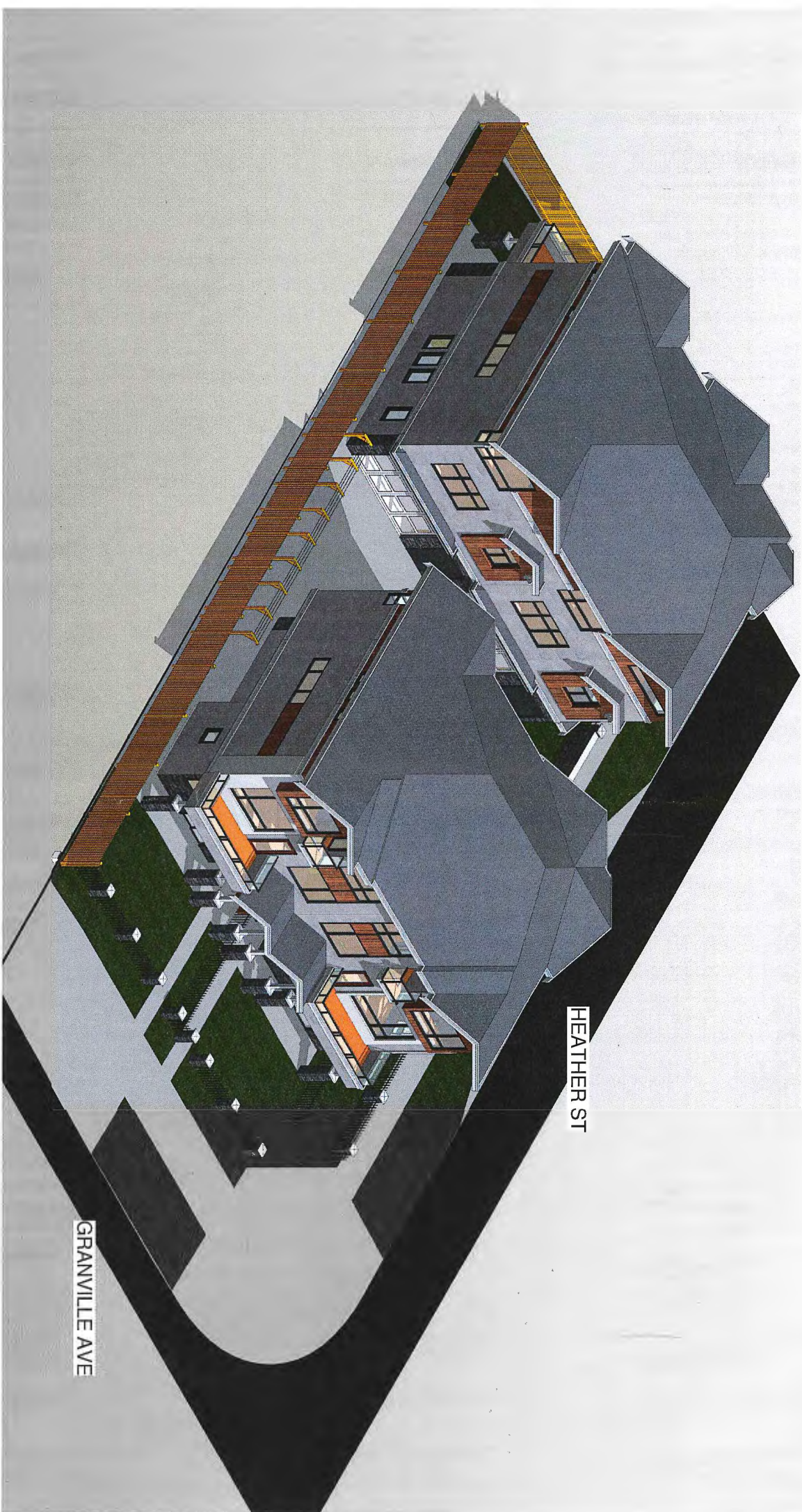
7088 HEATHER ST. RICHMOND BC

Gerry Blonski
architect a.i.b.c.

Suite 1A - 12468 - 82nd Ave., Surrey, B.C. V3W 3E9

Ph: 672-3608 Fax: 672-3760

① BIRD VIEW



REVISED FOR DP_13-633035

Bird View

A0.4

JOB NO. 15-10

DATE: 18 JUN 2016

4 UNITS TOWNHOUSE
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

Gerry Blonski
architect a.i.b.c.

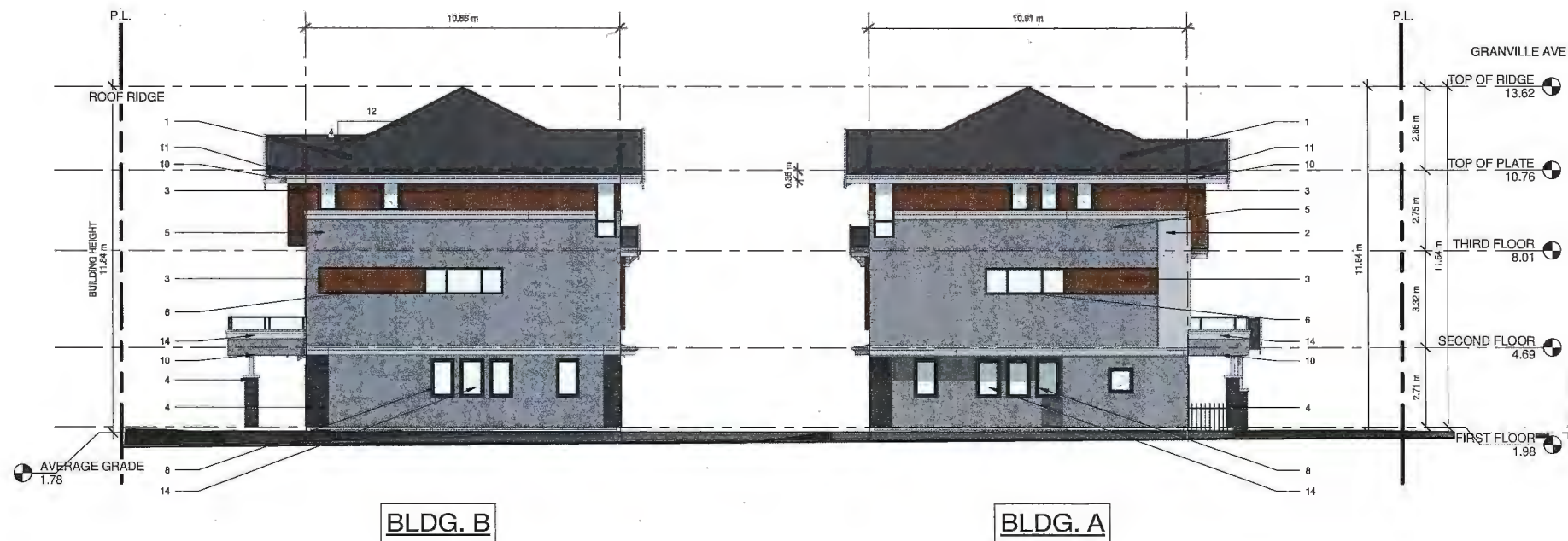
Suite 1A - 1246B - 82nd Ave., Surrey, B.C. V3W 3E9

Ph: 572-3608 Fax: 572-3760

DP 13-633035

PLAN # 4B

SEP 20 2016



① Colorful East Elevation BLDG. B, A
1/8" = 1'-0"

COLOR SCHEDULE

- | | |
|---|---|
| 1 ASPHALT ROOFING SHINGLE BLACK (MAIN ROOFS, PORCH ROOFS) | 2 METAL LIGHT GREY (2ND, 3RD FLOOR EXTERIOR WALLS) |
| 3 6" GROOVE METAL SIDING DARK CHERRY WOOD GRAIN (2ND, 3RD FLOOR EXTERIOR WALLS) | 4 BUILDING STONE (1ST, 2ND FLOOR COLUMNS, FENCING POSTS) |
| 5 HARDIE PANEL LIGHT GREY JAMESHARDIE (2ND, 3RD FLOOR EXTERIOR WALLS) | 6 VINYL WINDOW FRAME BLACK (WINDOWS) |
| 7 WOOD DOOR (ENTRY DOORS) | 8 WOOD TRIM BLACK PAINT (TRIMS, WALL SWEEPS) |
| 9 METAL RAILING BLACK PAINT (RAILINGS, HANDRAILS) | 10 METAL LIGHT GREY (FASCIA) |
| 11 METAL LIGHT GREY (GUTTERS) | 12 STEEL PAINT FINISH GREY MATT (GARAGE DOORS) |
| 13 METAL PAINT BLACK (SERVICE ROOM DOORS) | 14 CLEAR GLAZING (WINDOW GLAZING, BALCONY RAILING PANELS) |



② Colorful North Elevation BLDG. A
1/8" = 1'-0"



③ Colorful North Elevation BLDG. B
1/8" = 1'-0"

REVISED FOR DP_13-633035

PLAN #4 Colorful Elevations

4 UNITS TOWNHOUSE DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

DATE: 18 JUN 2016

JOB NO. 15-10

Gerry Blonski
architect a.i.b.c.

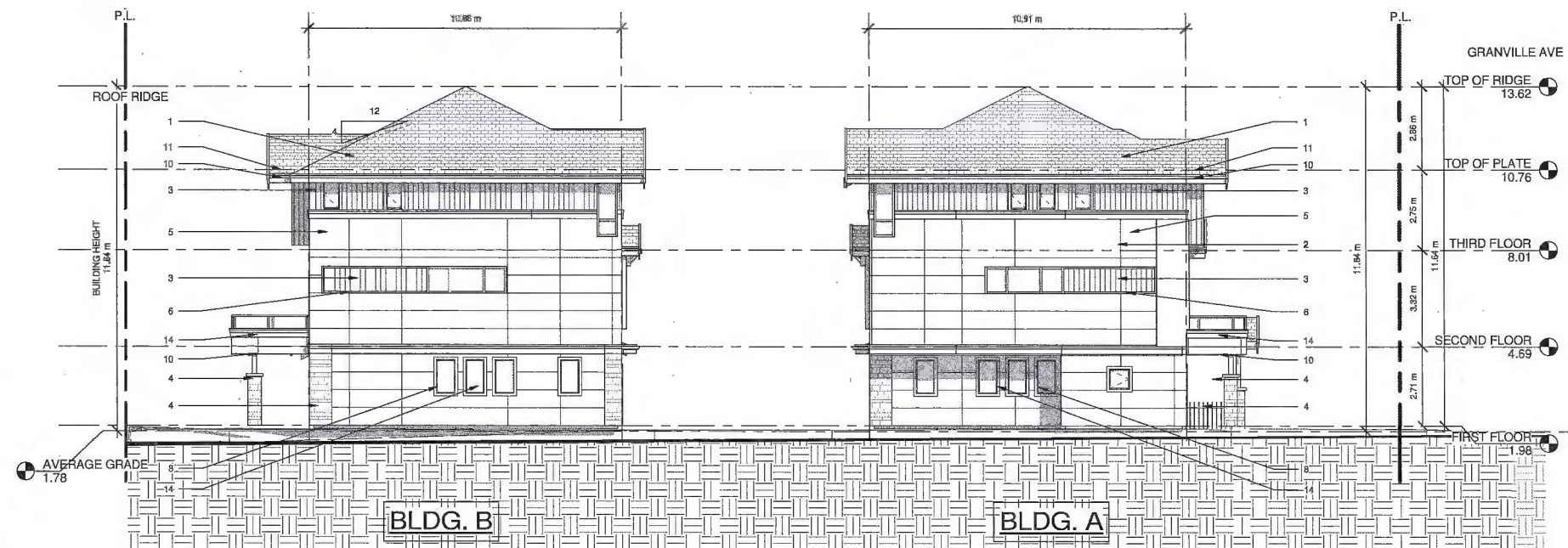
PH: 604-272-3508
FAX: 604-272-3760
Suite 1A - 12488 - 62nd Ave., Surrey, B.C. V3V 3E9

DP 13-633035

PLAN #4C

SEP 20 2016

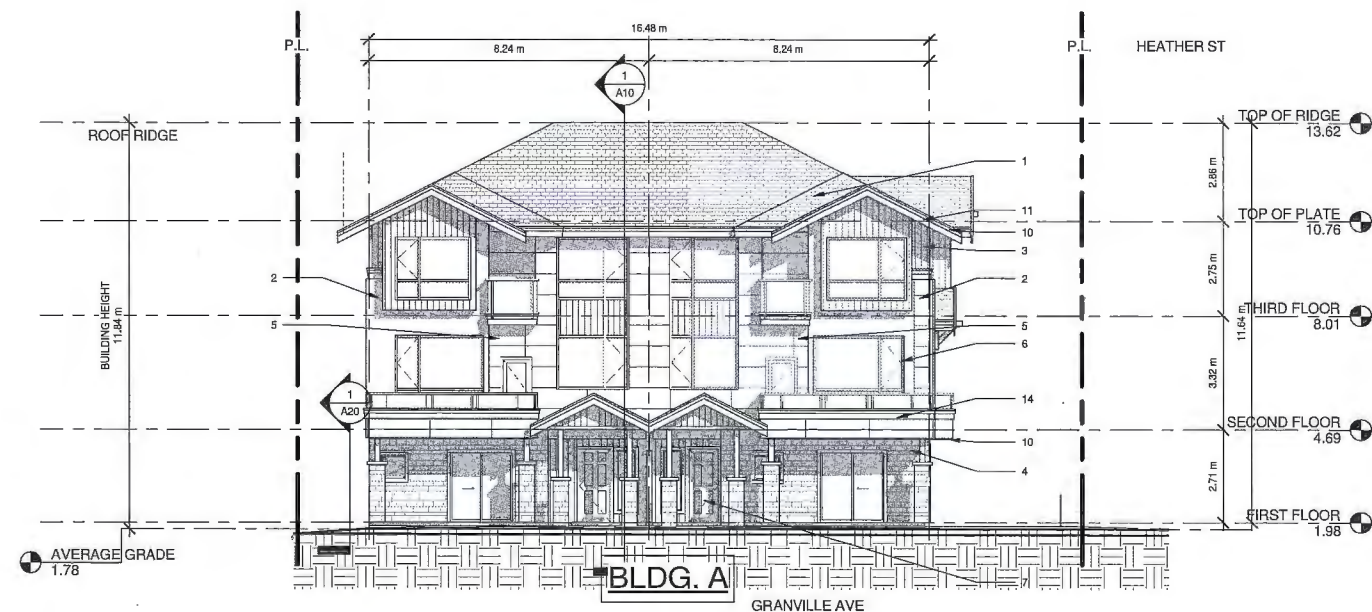
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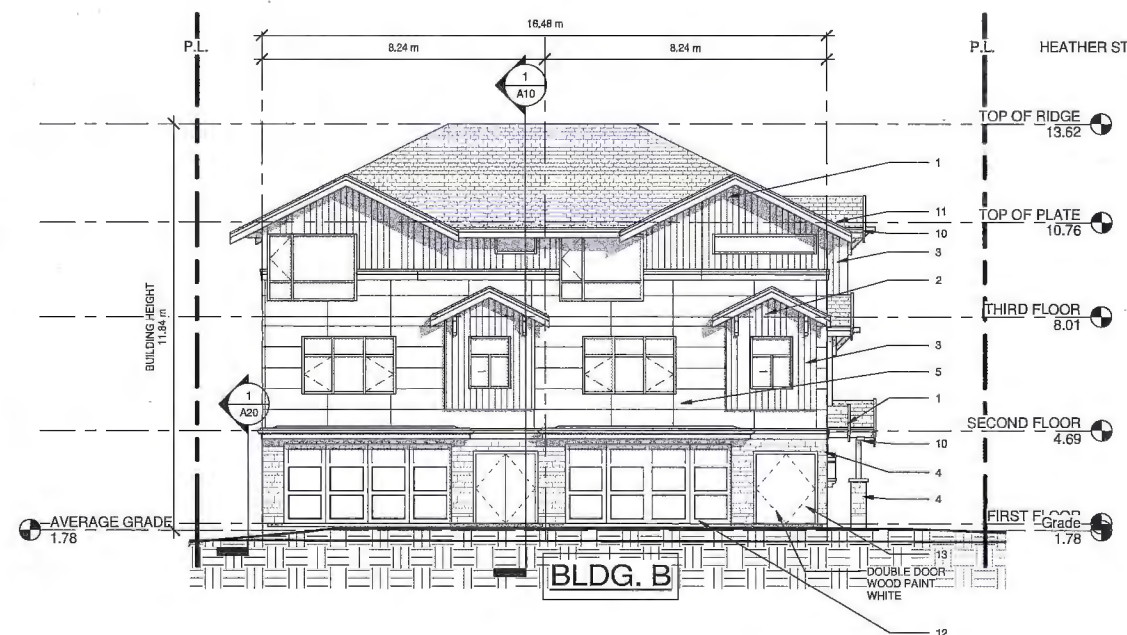
COLOR SCHEDULE

- | | |
|--|---|
| 1 ASPHALT ROOFING SHINGLE BLACK
(MAIN ROOFS, PORCH ROOFS) | 2 METAL LIGHT GREY
(2ND, 3RD FLOOR EXTERIOR WALLS) |
| 3 6" GROOVE METAL SIDING DARK CHERRY WOOD GRAIN
(2ND, 3RD FLOOR EXTERIOR WALLS) | 4 BUILDING STONE
(1ST, 2ND FLOOR COLUMNS, FENCING POSTS) |
| 5 HARDIE PANEL LIGHT GREY JAMESHARDIE
(2ND, 3RD FLOOR EXTERIOR WALLS) | 6 VINYL WINDOW FRAME BLACK
(WINDOWS) |
| 7 WOOD DOOR
(ENTRY DOORS) | 8 WOOD TRIM BLACK PAINT
(TRIMS, WALL SWEEPS) |
| 9 METAL RAILING BLACK PAINT
(RAILINGS, HANDRAILS) | 10 METAL LIGHT GREY
(FASCIAS) |
| 11 METAL LIGHT GREY
(GUTTERS) | 12 STEEL PAINT FINISH GREY MATT
(GARAGE DOORS) |
| 13 METAL PAINT BLACK
(SERVICE ROOM DOORS) | 14 CLEAR GLAZING
(WINDOW GLAZING BALCONY RAILING PANELS) |

1 East Elevation BLDG. B, A
1/8" = 1'-0"



2 North Elevation BLDG. A
1/8" = 1'-0"



3 North Elevation BLDG. B
1/8" = 1'-0"

REVISED FOR DP 13-633035

PLAN #4 Elevations

4 UNITS TOWNHOUSE DEVELOPMENT
7088 HEATHER ST. RICHMOND BC

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DATE: 18 JUN 2016

JOB NO. 15-10

DP 13-633035

PLAN #4D

SEP 20 2016

A5



① Colorful West Elevation BLDG. A, B
1/8" = 1'-0"

COLOR SCHEDULE

1	ASPHALT ROOFING SHINGLE BLACK (MAIN ROOFS, PORCH ROOFS)	2	METAL LIGHT GREY (2ND, 3RD FLOOR EXTERIOR WALLS)
3	6" GROOVE METAL SIDING DARK CHERRY WOOD GRAIN (2ND, 3RD FLOOR EXTERIOR WALLS)	4	BUILDING STONE (1ST, 2ND FLOOR COLUMNS, FENCING POSTS)
5	HARDIE PANEL LIGHT GREY JAMESHARDIE (2ND, 3RD FLOOR EXTERIOR WALLS)	6	VINYL WINDOW FRAME BLACK (WINDOWS)
7	WOOD DOOR (ENTRY DOORS)	8	WOOD TRIM BLACK PAINT (TRIMS, WALL SWEEPS)
9	METAL RAILING BLACK PAINT (RAILINGS, HANDRAILS)	10	METAL LIGHT GREY (FASCIA)
11	METAL LIGHT GREY (GUTTERS)	12	STEEL PAINT FINISH GREY MATT (GARAGE DOORS)
13	METAL PAINT BLACK (SERVICE ROOM DOORS)	14	CLEAR GLAZING (WINDOW GLAZING BALCONY RAILING PANELS)



② Colorful South Elevation BLDG. A
1/8" = 1'-0"



③ Colorful South Elevation BLDG. B
1/8" = 1'-0"

REVISED FOR DP_13-633035

PLAN #4 Colorful Elevations

4 UNITS TOWNHOUSE
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

JOB NO. 15-10 DATE: 18 JUN 2016

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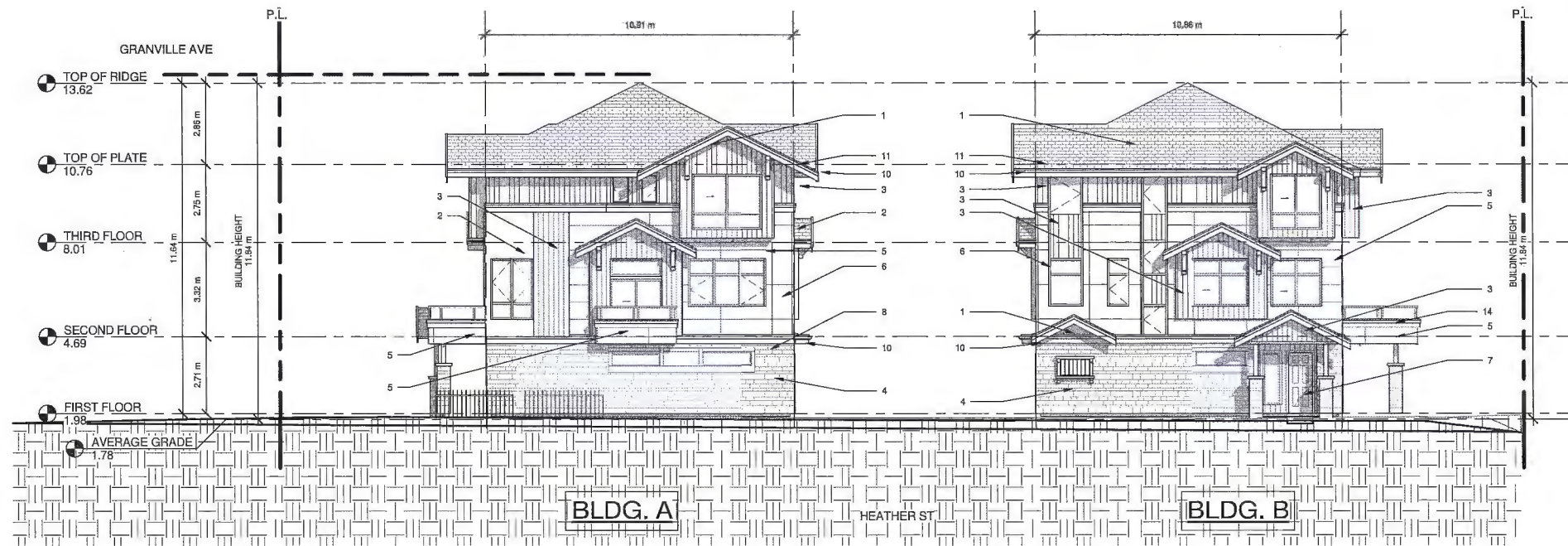
Suite 1A - 12488 - 82nd Ave., Surrey, B.C. V3W 5E9

DP 13-633035

PLAN # 4E

SEP 20 2016

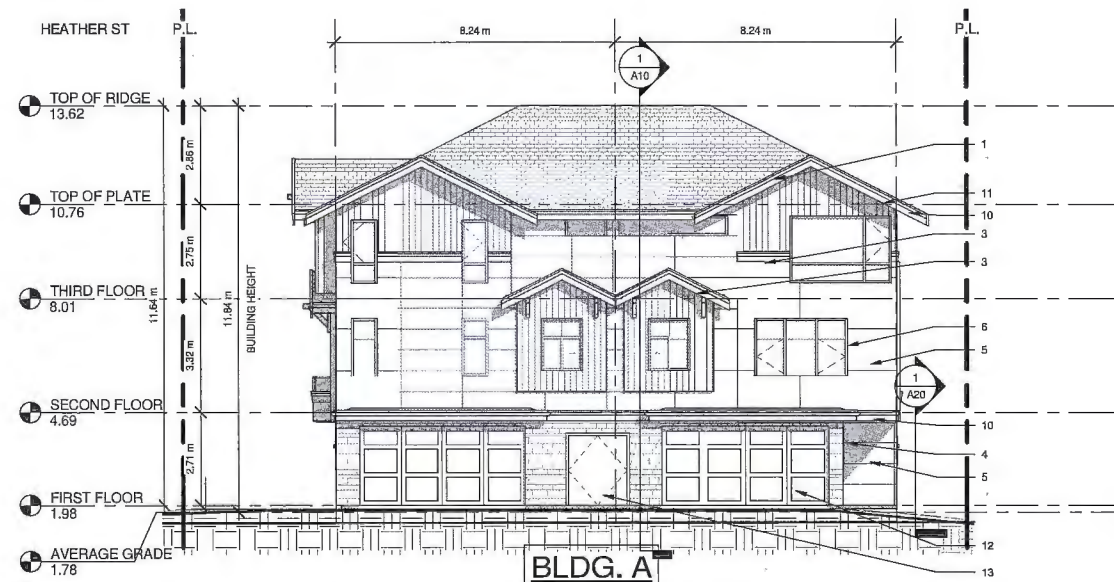
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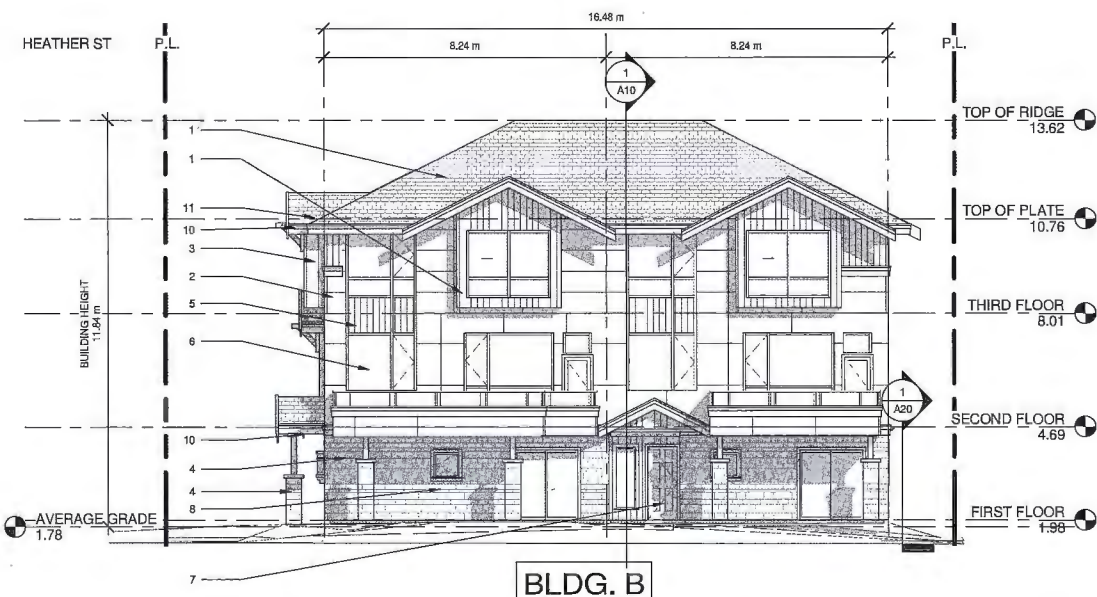
COLOR SCHEDULE

1 ASPHALT ROOFING SHINGLE BLACK (MAIN ROOFS, PORCH ROOFS)	2 METAL LIGHT GREY (2ND, 3RD FLOOR EXTERIOR WALLS)
3 6" GROOVE METAL SIDING DARK CHERRY WOOD GRAIN (2ND, 3RD FLOOR EXTERIOR WALLS)	4 BUILDING STONE (1ST, 2ND FLOOR COLUMNS, FENCING POSTS)
5 HARDIE PANEL LIGHT GREY JAMES HART (2ND, 3RD FLOOR EXTERIOR WALLS)	6 VINYL WINDOW FRAME BLACK (WINDOWS)
7 WOOD DOOR (ENTRY DOORS)	8 WOOD TRIM BLACK PAINT (TRIMS, WALL SWEEPS)
9 METAL RAILING BLACK PAINT (RAILINGS, HANDRAILS)	10 METAL LIGHT GREY (FASCIA)
11 METAL LIGHT GREY (GUTTERS)	12 STEEL PAINT FINISH GREY MATT (GARAGE DOORS)
13 METAL PAINT BLACK (SERVICE ROOM DOORS)	14 CLEAR GLAZING (WINDOW GLAZING BALCONY RAILING PANELS)

1 West Elevation BLDG. A, B
1/8" = 1'-0"



3 South Elevation BLDG. A
1/8" = 1'-0"



2 South Elevation BLDG. B
1/8" = 1'-0"

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PLAN #4 Elevations

4 UNITS TOWNHOUSE DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

DATE: 18 JUN 2016

JOB NO. 15-10

Gerry Blonski
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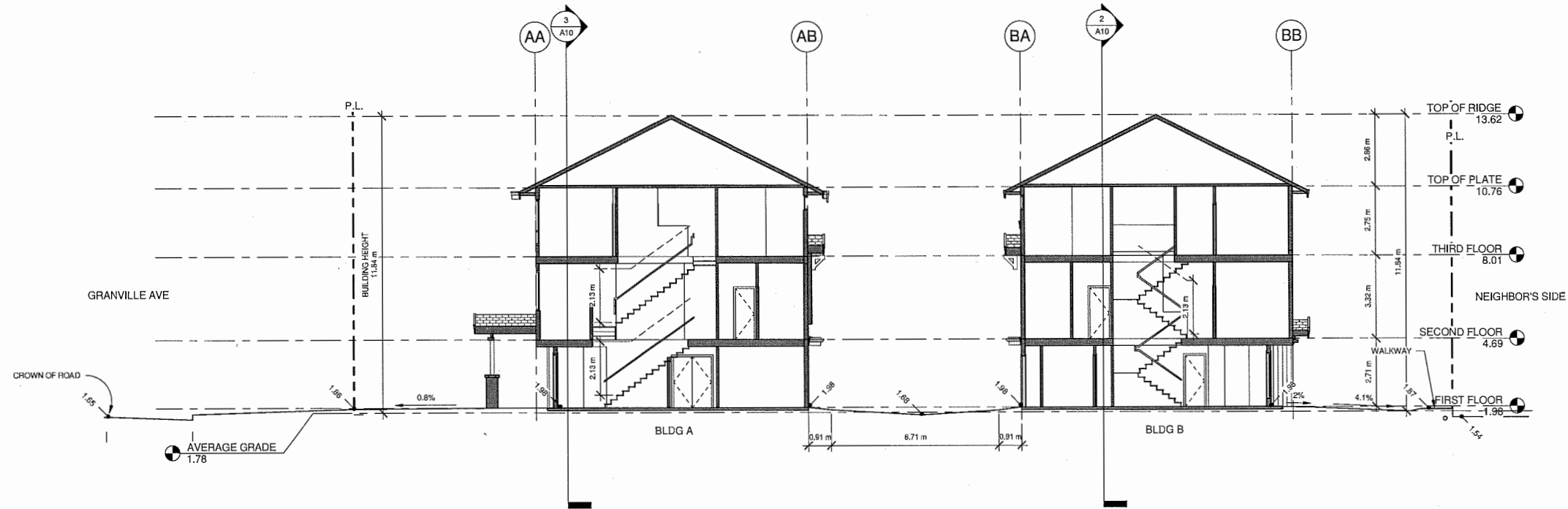
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DP 13-633035

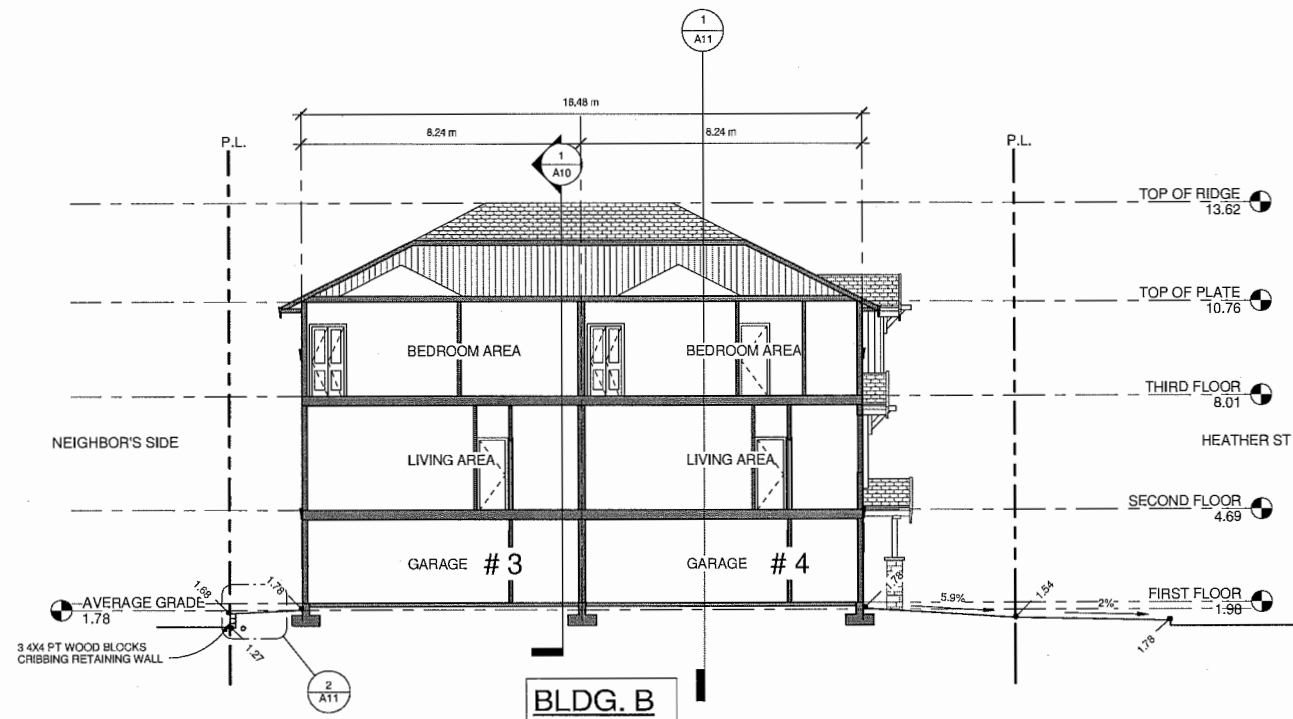
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SEP 20 2016

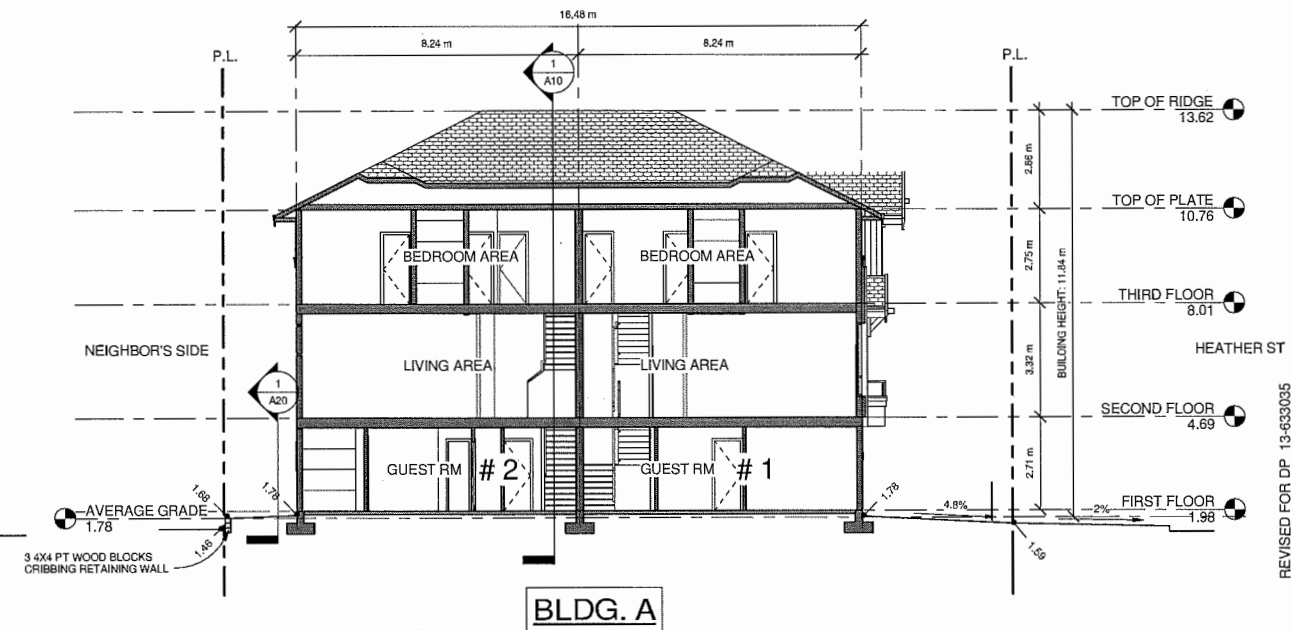
A7



① Cross Section 01
1/8" = 1'-0"



② Cross Section 02
1/8" = 1'-0"



③ Cross Section 03
1/8" = 1'-0"

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4 UNITS TOWNHOUSE
DEVELOPMENT

Building Sections

A10

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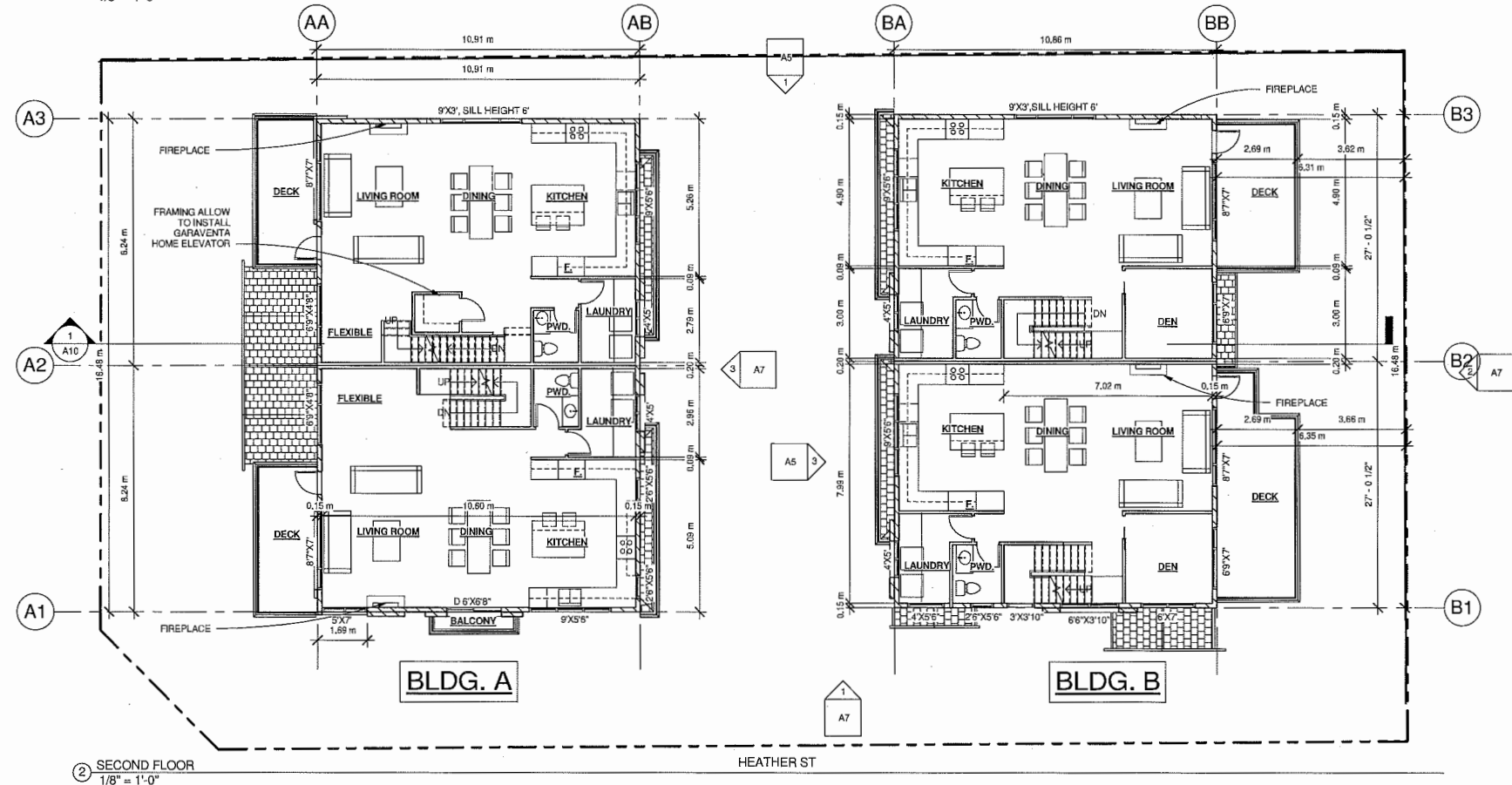
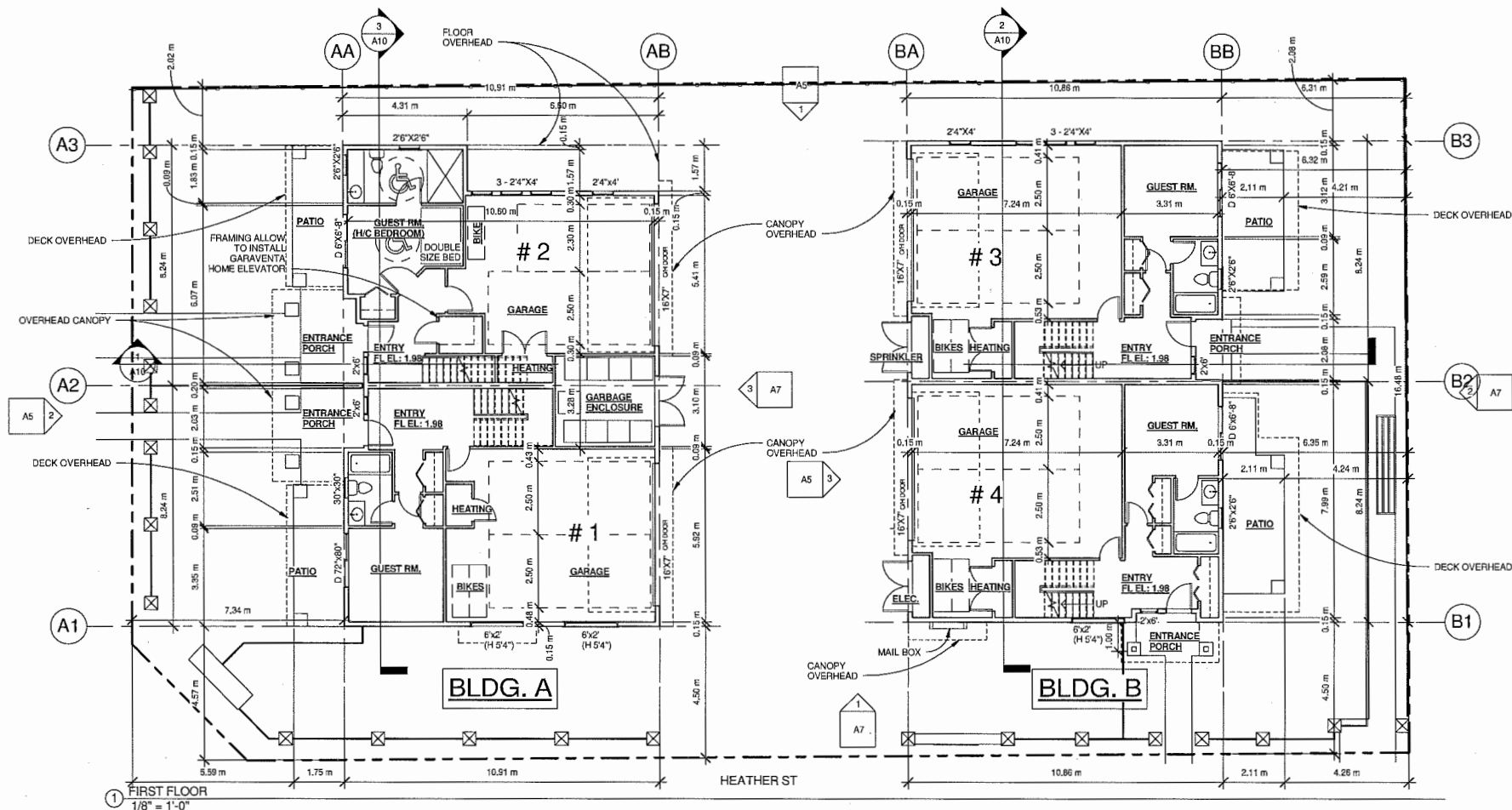
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JOB NO. 15-10

DP 13-633035

PLAN #4G

SEP 20 2016



NOTE:

- SOLID BLOCKING FLUSH TO STUD, 24" WIDE, 3'-0" HIGH O.C. IN ALL BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS FOR TOILETS, BATHTUBS AND SHOWERS.
- HANDRAILS PROVIDED AROUND STAIRWELLS IN ALL UNITS
- LEVER TYPE HANDLES FOR DOORS AND PLUMBING FIXTURES IN ALL UNITS
- UNIT #2 IS DESIGNED AS CONVERTIBLE HOUSE
- WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 3'-0" HIGH O.C. AT THE TOP OF ALL STAIRWAYS

DP 13-633035



REFERENCE PLAN

SEP 20 2016

REVISED FOR DP 13-633035

Floor Plans

A8

4 UNITS TOWNHOUSE
DEVELOPMENT

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architect a.i.b.c.

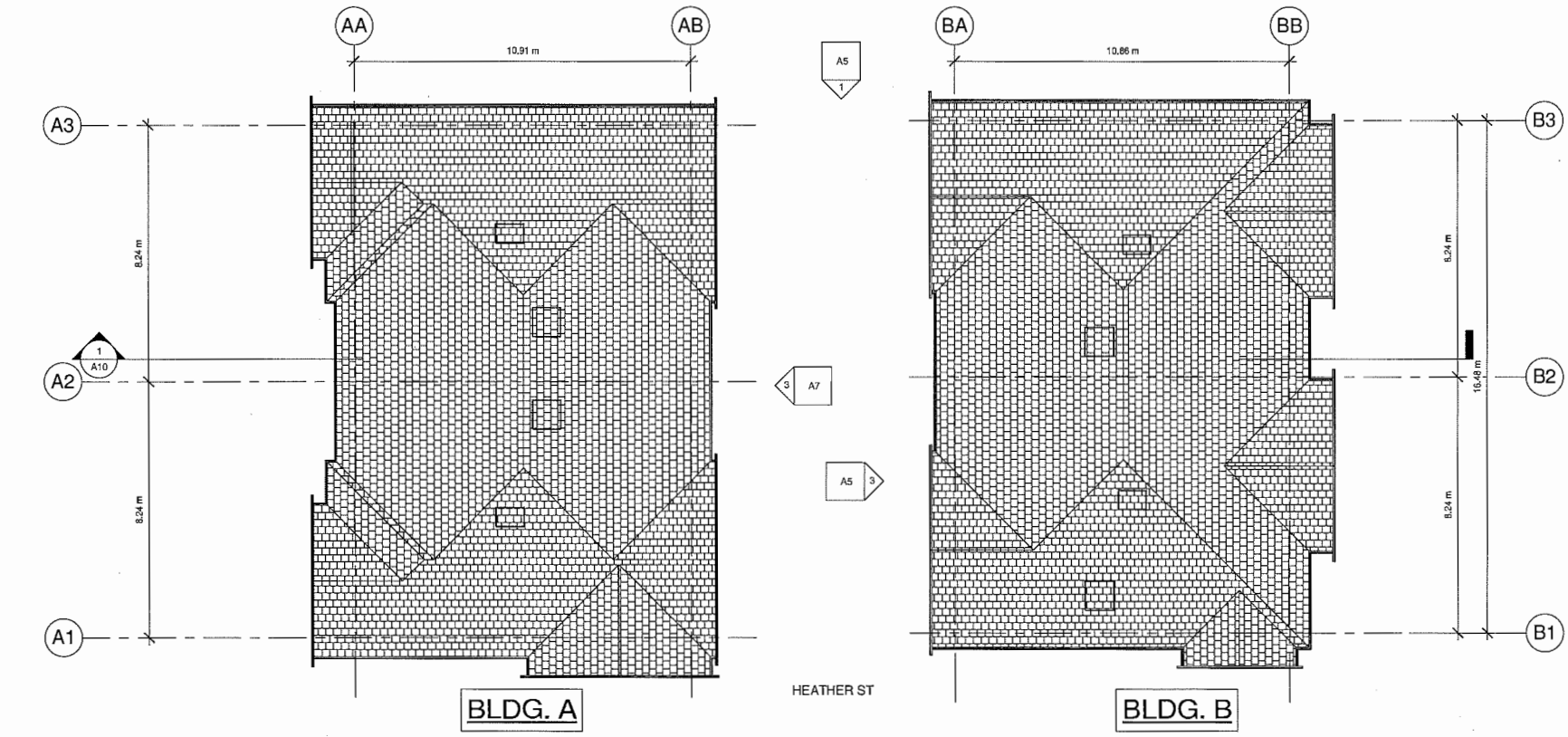
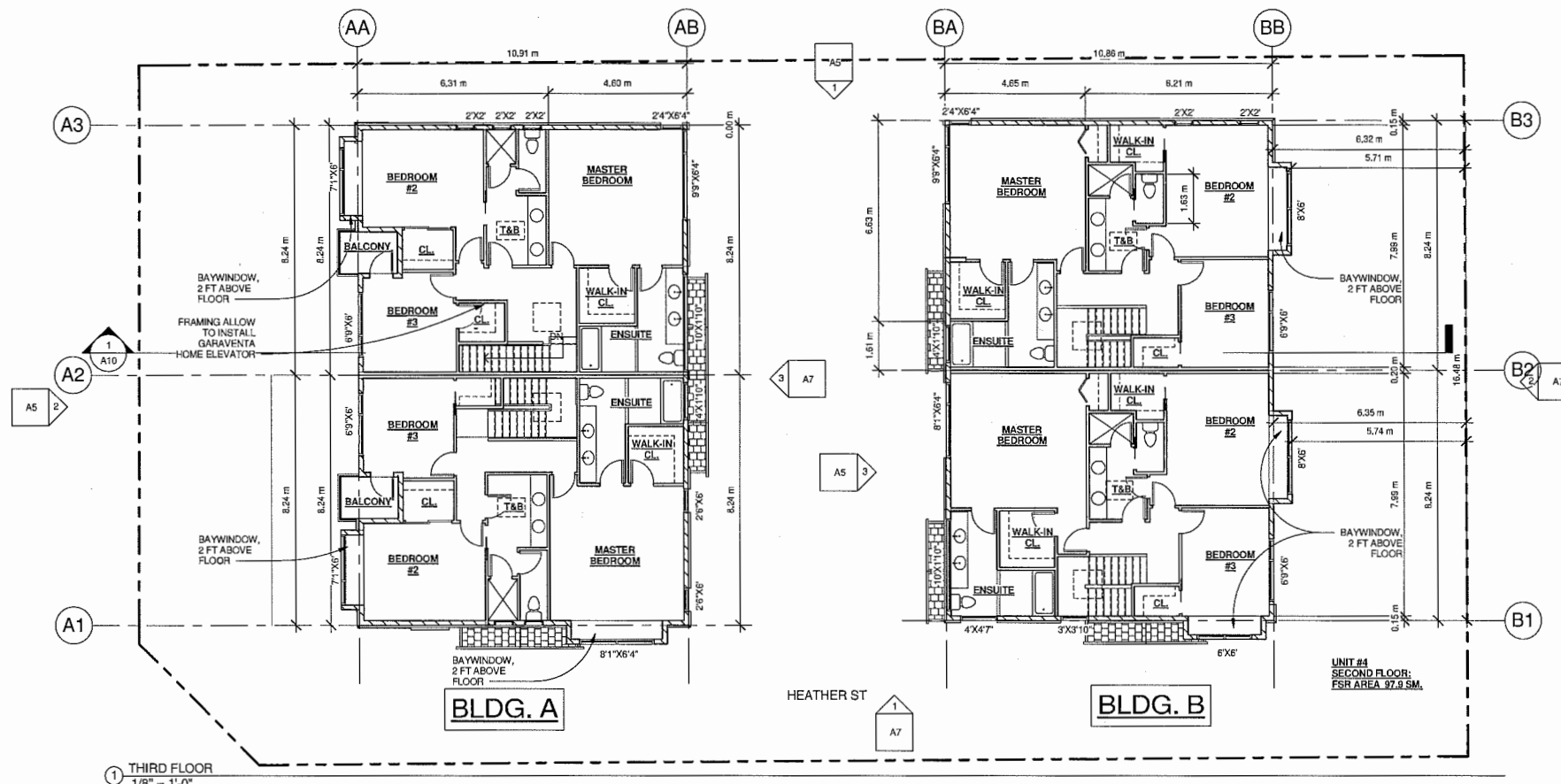
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JOB NO. 15-10

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NOTE:

- SOLID BLOCKING FLUSH TO STUD, 24" WIDE, 3'-0" HIGH O.C. IN ALL BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS FOR TOILETS, BATH-TUBS AND SHOWERS.
- HANDRAILS PROVIDED AROUND STAIRWELLS IN ALL UNITS
- LEVER TYPE HANDLES FOR DOORS AND PLUMBING FIXTURES IN ALL UNITS
- UNIT #2 IS DESIGNED AS CONVERTIBLE HOUSE
- WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 3'-0" HIGH O.C. AT THE TOP OF ALL STAIRWAYS

REVISED FOR DP_13-633035

Floor Plans

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4 UNITS TOWNHOUSE
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JOB NO. 15-10
DATE: 18 JUN 2016

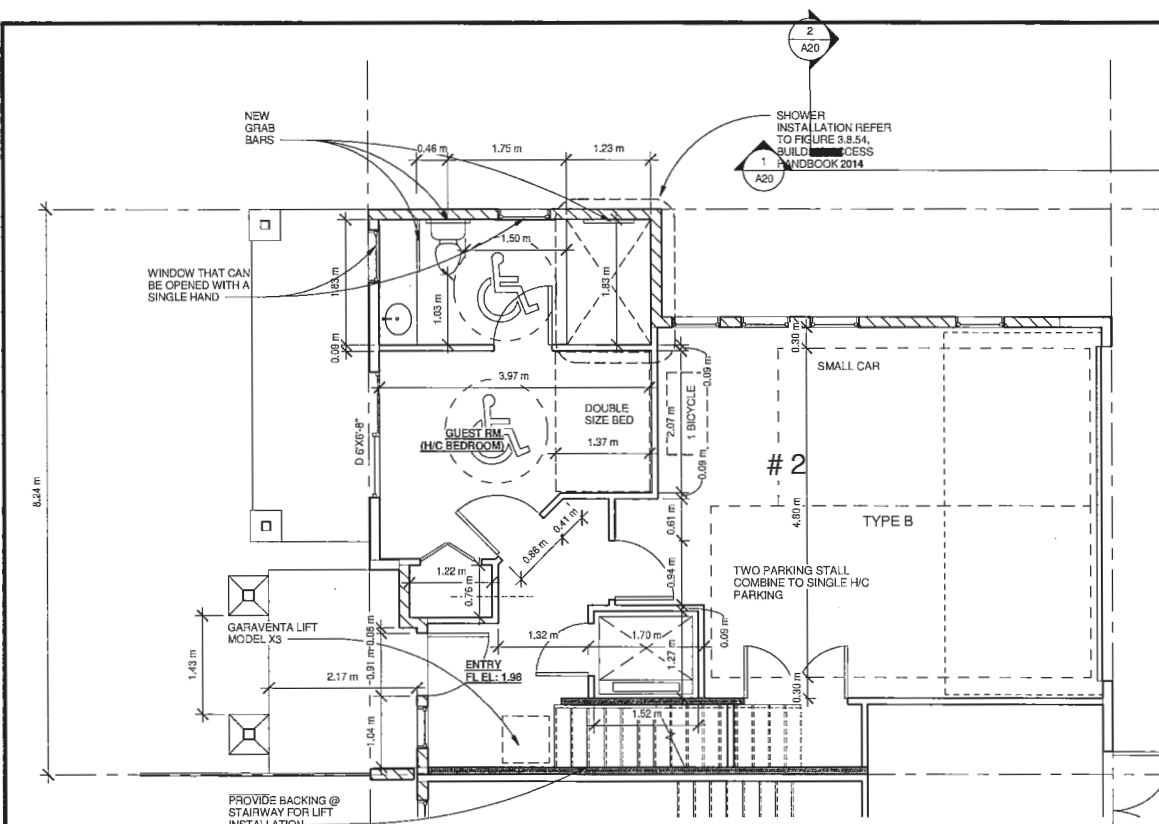
DP 13-633035



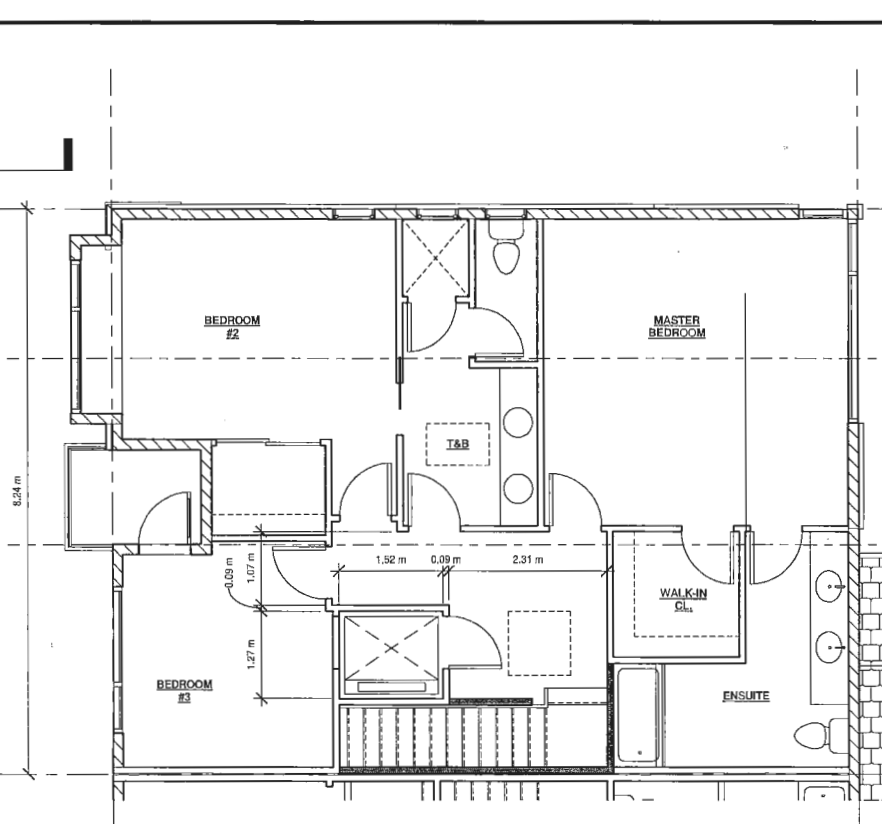
REFERENCE PLAN

SEP 20 2016

A9

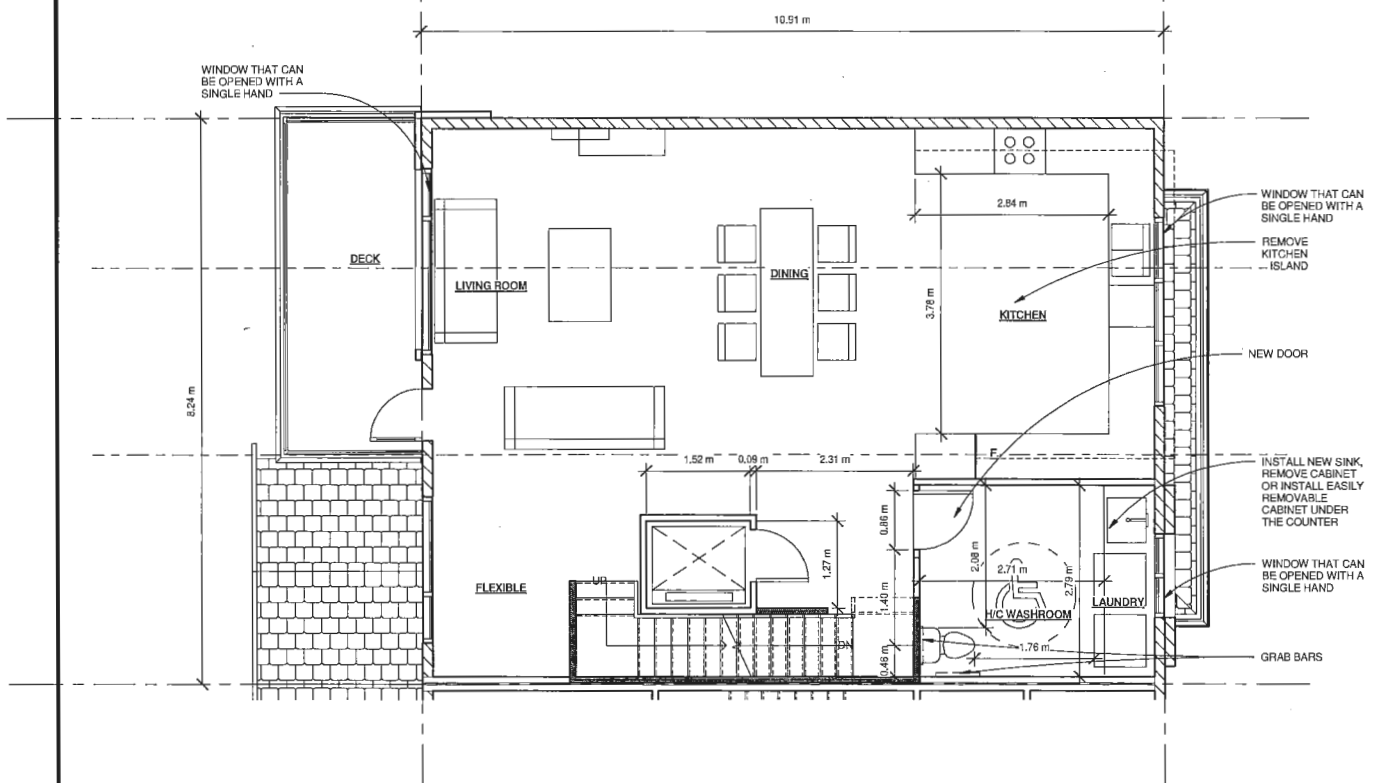


① First Floor - Convertible Option
1/4" = 1'-0"



③ Third Floor - Convertible Option
1/4" = 1'-0"

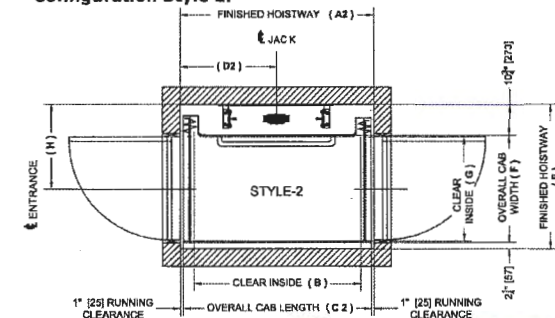
NOTE:
 -- SOLID BLOCKING FLUSH TO STUD, 24" WIDE, 3'-0" HIGH O.C. IN ALL BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS FOR TOILETS, BATHTUBS AND SHOWERS.
 -- HANDRAILS PROVIDED AROUND STAIRWELLS IN ALL UNITS
 -- LEVER TYPE HANDLES FOR DOORS AND PLUMBING FIXTURES IN ALL UNITS
 -- UNIT #2 IS DESIGNED AS CONVERTIBLE HOUSE
 -- WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 3'-0" HIGH O.C. AT THE TOP OF ALL STAIRWAYS



② Second Floor - Convertible Option
1/4" = 1'-0"

GARAVENTA LIFT ELVORON HOME ELEVATOR

Straight Through Configuration Style 2:



DEPRESSED SLAB IS NOT REQUIRED

CONVERTIBLE UNIT

- DOORS & DOORWAYS**
- ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.
 - ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE.
 - INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT.
 - PATIO/BALCONY MIN. 860 MM CLEAR OPENING.
 - ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.
 - LEVER-TYPE HANDLES FOR ALL DOORS.
- VERTICAL CIRCULATION**
- STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.
 - AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.
- HALLWAYS**
- MIN. 900 MM WIDTH.
- GARAGE**
- 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.
 - ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.

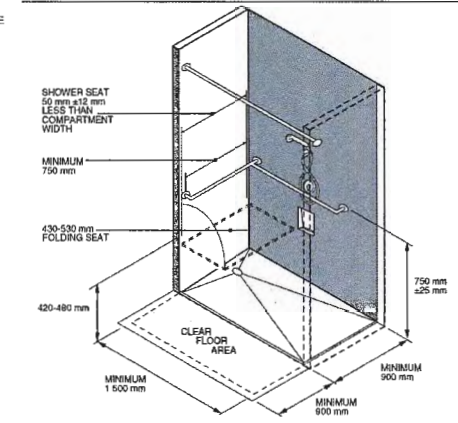


FIGURE 3.8.54. - Shower Compartment

- BATHROOM (MIN. 1)**
- TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
 - WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER, REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
 - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
 - PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
 - CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.
 - BATH AND SHOWER CONTROLS ARE ACCESSIBLE.
- KITCHEN**
- CLEAR AREA NEEDED UNDER FUTURE WORK SPACE, PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 804 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
 - CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
 - 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.
 - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
- WINDOWS**
- MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)
- OUTLETS & SWITCHES**
- PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERIOR DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.
 - UPGRADE TO FOUR-POLE OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.

REVISED FOR DP_13-633035

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**4 UNITS TOWNHOUSE
DEVELOPMENT**

7088 HEATHER ST. RICHMOND BC

DATE: 18 JUN 2016

JOB NO. 15-10

Convertible Unit

A12

SEP 20 2016