



To: Development Permit Panel

Date: January 23, 2013

From: Wayne Craig
Director of Development

File: DP 12-609958

Re: **Application by Polygon Carrera Homes Ltd. for a Development Permit at
6251 Minoru Boulevard**

Staff Recommendation

That a Development Permit be issued to permit the construction of 5 high-rise residential towers with a combined total of approximately 631 dwelling units including two towers with 296 seniors affordable housing units to be owned by the Richmond Kiwanis Senior Citizens Housing Society and 335 market housing units in three towers to be owned by Polygon Carrera Homes Ltd. at 6251 Minoru Boulevard on a site to be zoned High Rise Apartment (ZHR11) Brighthouse Village (City Centre).

A handwritten signature in black ink, appearing to read 'Wayne Craig', written over a large, stylized flourish.

Wayne Craig
Director of Development

WC:dc

Att. 3

Staff Report

Origin

POLYGON CARRERA HOMES LTD. ("Polygon"), has applied to the City of Richmond for permission to develop 5 high-rise residential towers with a combined total of approximately 631 dwelling units, including two towers with 296 seniors affordable housing units to be owned by the Richmond Kiwanis Senior Citizens Housing Society ("Kiwanis") and 335 market housing units in three towers to be owned by Polygon at 6251 Minoru Boulevard. The site has recently been cleared and site preparation work is currently under way. Previously the site contained 122 seniors rental units in 14 one and two storey low rise wood frame buildings owned by Kiwanis.

The site is being rezoned from School and Institutional Use (SI) to a site-specific zone "High Rise Apartment" (ZHR11) for this project under Bylaw 8914 (RZ 11-591685) however the site's "Institution" designation in the Official Community Plan (OCP: City Centre Area Plan) will be retained over the entire site signifying the link between these two projects.

Both the Kiwanis Affordable Housing project and Polygon's Carrera market housing project are addressed through this single Development Permit application.

Development Information

The proposed development will result in a new east-west half road along the existing property's northern property line of the site that will connect with Minoru Boulevard. A new north-south private road with public access will run between the Kiwanis development and Polygon's market development and connect to a proposed internal roadway through the adjacent site to the south (6391 Minoru Boulevard). A future subdivision will separate the two developments into two individual properties with the portion adjacent to Minoru Park being owned by Polygon and the portion adjacent to Minoru Boulevard being owned by Kiwanis. The north-south subdivision line separating the two properties will run down the middle of the new internal north-south road.

On their 0.71 Ha. portion of the site, Kiwanis will contract with Polygon to build two 16 storey high rise towers with 148 - one bedroom suites in each tower. Units will typically range in size from 54m² to 63m² (583 ft² to 676 ft²). The Kiwanis project will also include two 78.7 m² (847 ft²) caretaker suites; one in each tower. The Kiwanis units will be income and rent controlled under an affordable housing agreement with the City. The Kiwanis development will be a private, not for profit development, oriented to providing ambulatory seniors with affordable housing.

Polygon will use its 1.13 Ha. portion of the site to develop 335 market units in two 15 storey towers, one 11 storey tower and 19 townhouse units along the north-east and west perimeter of the site. Polygon refers to its project as "Carrera".

The "High Rise Apartment" (ZHR11) site-specific zoning for this site includes provisions to address aspects such as density, site coverage, building and road setbacks, building height and parking & bike stall requirements.

The project's utility capacity review indicates that upgrades will be required to the major storm sewer along the Minoru Boulevard frontage including the upgrading of the existing 300mm diameter storm sewer main to a 600 mm system along a portion of the frontage. Engineering staff have identified a need for a minimum 200mm watermain along the proposed new east-west City road and connections to the existing systems on Minoru Boulevard and at Minoru Park. The watermain requirement will be addressed via the project's Servicing Agreements. Adequate available water flow to the subject site is to be confirmed upon completion of the building design at Building Permit stage.

A portion of the existing sanitary force main on the property immediately to the south (i.e. 6391 Minoru Boulevard) was found to partially encroach into the subject property along its southern western property boundary. This line is scheduled to be replaced with a new sanitary sewer system in a different location as part of the redevelopment of the properties to the south (i.e. 6351/91 and 6491 Minoru Boulevard) however the portion of the line encroaching onto the subject site is not currently scheduled for replacement until the second phase of the neighbouring development – at least a couple of years into the future. The City's Engineering staff are examining alternative interim solutions for this portion of the line to avoid having to relocate it twice. A requirement has been included in the Development Permit Considerations for a solution to be negotiated prior to final approval of the Development Permit.

Please refer to attached Development Application Data Sheet (**Attachments 1a & 1b**) for a comparison of the proposed development data with the relevant Bylaw requirements. The Attachment includes a separate Data Sheet for each project.

Background

Development surrounding the subject site is as follows:

- To the North: A 16,839m² (4 acre) site zoned Health Care (HC) containing the Minoru Residence Extended Care Facility at 6111 Minoru Boulevard. This facility is owned and operated by Vancouver Coastal Health (VCH).
- To the East: Across Minoru Boulevard, the northern portion of Richmond Centre Mall and the Horizon Towers residential development (two 16 storey residential towers zoned Downtown Commercial (CDT1).
- To the South: A 15,529m² (3.8 acre) residential lot currently zoned High Rise Apartment (ZHR4) – Brighthouse Village (City Centre) (6351, 6391 and 6491 Minoru Boulevard.). This site is undergoing redevelopment (RZ 04-286496 approved Sept., 08 2008; DP 07-362006 pending). The approved Rezoning allows up to four high rise residential towers with approximately 448 dwelling units. The first phase of the development abutting the site of the Kiwanis seniors towers will consist of two sixteen storey high-rise buildings with approximately 224 dwelling units including 113 rental units and 24 affordable seniors housing units over a common parking structure.
- To the West: The northern portion of Minoru Park, the Bowling Green lawn bowling facility and associated park vehicle parking lot.

Rezoning and Public Hearing Results

During the rezoning process staff identified the following design issues to be resolved at the Development Permit stage:

- That further refinement was needed on the treatment of the parkade wall of the proposed development on the lot immediately to the south (the adjacent wall will be about 2 storeys above the Kiwanis podium).

In response, Polygon worked with the developer of the site to the south who has agreed to modify the treatment of the side of the parkade facing the Kiwanis development by adding pattern designs to the exposed portions of the walls that complement and incorporate design elements on the Kiwanis property and provide additional landscaping along the top edge of their parkade structure. Polygon will continue similar patterns from the adjacent wall onto the Kiwanis parking area. They will also install both conifer and deciduous trees adjacent to the neighbouring parkade wall to visually soften this interface.

That safety concerns of seniors in internal layouts needed to be reviewed (e.g., consider using washroom doors that open outward or sliding doors, etc.). In response, Polygon redesigned the washroom doors in the Kiwanis development so that they all open outward. Polygon also revisited access to the outdoor podium amenity spaces ensuring that they are easily accessible by the residents.

- That more design work was needed regarding the open square between the two projects.
In response, Polygon has added seating areas and planters with trees and shrubs to make the area more welcoming.
- That the podium design for the Kiwanis development needed further resolution on the Minoru Road side, as does the interface with the Carrera development and the northwest corner of the Kiwanis building.

In response, Polygon enhanced the Kiwanis podium, adding more vegetation, raised gardening areas, more seating areas, a more defined walking path and two fire pits. Natural stone cladding has been added to the Kiwanis at grade façade on three sides of the building. Along the façade facing Carrera vegetation climbing screens and trellises have been added to soften the interface. Adjacent to Minoru Boulevard, a significant public art component (still being refined) is being proposed as part of the Kiwanis project.

- That design issues associated with the servicing bay areas in terms of functionality and exposure to views need to be refined.

In response, Polygon has revisited the dimensions of the servicing bays and provided additional clearances to improve functionality. Vegetation screening has been added to the podium around the servicing bay openings to partially block views into these areas.

- That the ties between the two projects should be strengthened.

In response, Polygon revised the color schemes of the two projects and the tree planting layouts along the north-south roadway. This, in combination with the other improvements mentioned above have helped make the two projects appear more cohesive.

The Public Hearing for the rezoning of the subject site was held on July 16, 2012. Members of the public spoke both in favour and against the project. Concerns were identified by nearby residents regarding loss of views, increased population density, increased traffic, impacts upon Minoru Park and nearby recreational resources, etc. Information was conveyed by staff regarding the positioning of the five towers to minimize sun shadowing as indicated by the shadow analysis, the results of the traffic analysis showing that the area's road network could accommodate the volume of traffic given the addition of the new intersection and turning bay, and the intent of the Kiwanis development to provide needed affordable rental housing for independent seniors controlled under a registered housing agreement. Having considered all the information presented, the Mayor and Council expressed their support for this unique proposal.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application.

In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "High Rise Apartment" (ZHR11) Zoning Schedule.

Advisory Design Panel Comments

The Advisory Design Panel provided support for the application subject to the applicant giving consideration to the comments of the Panel and also giving particular consideration to:

- The Minoru Boulevard elevation regarding scale, permeability, activity, and indoor-outdoor relationship facing into the courtyard spaces;
- Use of colour in the project; and
- Connectivity of the Kiwanis indoor amenity spaces at ground floor level up to the outdoor amenity space on the podium roof.

These points and others are included in excerpt from the Advisory Design Panel Minutes from September 19, 2012, which is attached for reference (**Attachment 3**). The applicant's design responses to these comments have been included immediately following the specific Design Panel comments and are identified in '*bold italics*'. Some of the changes made by the developer in response to the Design Panel's comments include adding a new outdoor room to the Kiwanis podium, redesigning the podium frontage along Minoru Boulevard, revising the building's external colour schemes for both Kiwanis and Carrera, refining and integrating the landscaping elements and adding new outdoor furniture elements.

Analysis

Conditions of Adjacency

- Through Rezoning RZ 11-591685 (Bylaw 8910 pending) the City Centre Area Plan (CCAP) is being amended to designate the subject site and six adjacent sites to “Mixed Use – High-Rise Residential, Commercial & Mixed Use”. While the Rezoning report from the Director of Development (dated May 30, 2012), provides a more detailed discussion on the conformity of this development with the CCAP, for the purposes of this report, it is sufficient to state that the combined Kiwanis / Carrera development is generally consistent with the CCAP’s “Institution” designation for the property. The overall form, siting and massing of the five high rise towers proposed for this site is also generally consistent with the CCAP urban design objectives for the area and with developments either existing or proposed in the immediate vicinity.
- Polygon has worked closely with Vancouver Coastal Health (VCH), the owners of the property to the north, to address their concerns and seek acceptable access solutions to their site at 6111 Minoru Boulevard. To address concerns with the closeness of the Minoru Residence vehicle access to the proposed new signalized intersection, Polygon and VCH have agreed to relocate the access to the new east-west road. It will be aligned with the north end of the new north-south road that will run between the Carrera and Kiwanis lots.
- The east-west road running between the VCH site and the Kiwanis/Carrera projects, will provide for an adequate degree of separation between the subject development and any future development to the north. Shadow analysis was undertaken to ensure shading impacts to surrounding sites will be to an acceptable level. The east-west road will be dedicated to, and maintained by, the City. Initially, this road right of way will be 10m wide. It’s expansion to a full 20m width will be sought with any significant future redevelopment of the VCH property (6111 Minoru Boulevard).
- To address safety concerns with the VCH daycare adjacent to the new east-west road, bollards will be installed along the new east-west road along the frontage of the daycare facility.
- The Carrera development is adjacent to Minoru Park which lies to the west of the development site. A number of the townhouses in the Carrera project will front onto Minoru Park. Polygon has worked with Park’s staff on walkway and vegetation enhancements to the Park in the vicinity of the development site.
- Polygon has worked with the developer of the property to the south (6391 Minoru Boulevard) to include building design elements (e.g. various wall patterns) to their north building face to create a more appealing elevation facing the Kiwanis podium level and the open courtyard between Kiwanis and Carrera. Polygon also proposes to install both coniferous and deciduous trees adjacent to the neighbouring site’s parkade wall to visually soften the interface.
- Parkade areas in the Carrera development will mainly be located behind residential townhouses fronting the street or the high-rise towers themselves. The Kiwanis parkade will be located behind several activity rooms fronting Minoru Boulevard. Along the internal north-south road landscaping in the form of climbers on wall structures and trellises are used to screen portions of the Kiwanis parkade that would otherwise be exposed to the street.

- The internal north-south road will be a private road with public right of passage. Maintenance will be shared jointly between Carrera and Kiwanis.

Urban Design and Site Planning

- Vehicle access to the property will be provided from the new north-south private road and the new east-west road. The new east-west road will require a new signalized intersection at Minoru Boulevard. The private north-south road will connect to the public roadway that runs between lots immediately to the south (6391 Minoru Boulevard) and then out to Minoru Boulevard. There will be no direct vehicle access from the Kiwanis facility to Minoru Boulevard.
- The new east-west road extending from the new signalized intersection at Minoru will dead-end at Minoru Park, for the time being, with only pedestrian/bike/emergency access beyond that point. As per the City Centre Area Plan, this roadway will eventually connect to Bowling Green Road then out to Westminster Highway. Achieving this ultimate road pattern will likely be timed with future redevelopment of properties along Westminster Highway.
- The overall development provides 557 parking spaces for residents and visitors. The Kiwanis project includes 91 vehicle stalls for the Kiwanis project (including 7 stalls that will be located within the Carrera parkade and 3 stalls on the east side of the private north-south street). The Carrera development will provide 466 vehicle stalls for its residents and visitors (including 4 stalls on the west side of the private north-south street). This arrangement complies with the High Rise Apartment (ZHR4) zoning for the site. A minor reduction in parking stalls in Carrera is addressed through several Traffic Demand Measures (see text later in this section). Each development provides the required number of accessible parking stalls.
- Loading bays, recycling and garbage areas have been provided for each of the five towers. Access to these service areas for the Kiwanis project is from the west side of the building in two separate loading bay locations. For Carrera, the garbage and recycling areas are housed within the parkade. Each of the three towers for Carrera have garbage compactor units and special loading areas for garbage pickup are provided at the two driveway entrances to Carrera. Provisions have been made to accommodate food scrap carts, cardboard recycling, general recycling and trash waste at each garbage location.
- Approximately 89% (264 units) of the 296 units within the Kiwanis project will be built to meet the Zoning Bylaw's (Bylaw 8500) Basic Universal Housing design standards for interior space.
- Each of the townhouse units in Carrera will have individual pedestrian access from the street or adjacent walkways. Entrance doors and private patio areas are grade separated from the adjacent sidewalks differentiating private and public space.
- The high rise towers have been placed in a staggered array to allow greater sun penetration to the residents and neighbouring buildings.
- Access to Minoru Park from Carrera has been provided through a glass walled staircase leading from the top of the Carrera podium down to the ground level. A secured entrance has been provided at the staircase entry.
- Townhouses adjacent to Minoru Park have entrances that face the park creating a more friendly interface.
- A raised plaza area with special paving stones, tree planters and seating areas is proposed between the Carrera and Kiwanis project straddling the internal North-South private

roadway. This area will likely be used as a meeting area with casual pedestrian activity between the projects.

Aging in Place

- The Kiwanis Affordable Seniors Housing development will be a private non-profit project. The proponent's have incorporated design features that will support aging in place to a significant degree. Some of the key features to be included in the Kiwanis buildings include:
 - Provision of a Kiwanis residents health services support and conference room;
 - Automatic doors at both lobby entrances;
 - Security FOB access systems with an enter-phone system for visitors;
 - Elevator controls designed for accessibility and legibility for the visually impaired;
 - Common corridors will meet Basic Universal Housing widths of 1,220 mm;
 - All common area doorways will provide 855 mm clearance or better;
 - Wheelchair accessible washrooms provided in common areas;
 - Storage space and charging outlets for scooters;
 - Accessible, outdoor garden and patio space for residents;
 - Individual controls in each unit for heating and ventilation;
 - Slip resistant flooring in unit bathrooms;
 - Lever type window hardware;
 - Lever style faucets at sinks and showers;
 - Lowered microwave shelves above the kitchen counter;
 - Grab bars adjacent to the toilet in all but one unit type (the exception is the "D" unit which was not designed as a universal unit and has a toilet that is not adjacent to a wall to accommodate it);
 - Blocking in walls to facilitate installation of grab bars on the tub/shower;
 - Useable kitchen counter space per the City's Basic Universal Housing guidelines.

Architectural Form and Character

- Carrera consists of three residential towers with a podium over 3 levels of parking. The 19 townhouse units line the perimeter of the structure on three sides (west, north and east sides) helping to conceal the parkade from the street and Minoru Park.
- The two taller towers of the Carrera development will have a darker central "Stampede" coloration flanked by lighter "Brandon Beige" coloration, near black "Willow" framing and "Aztec Brick" vertical accent architectural elements running nearly the full height of the towers. The lower eleven storey building is similarly colored but uses more of the "Willow" and "Aztec Brick" coloration to emphasize the presence of the townhouse units which are closer to grade level. This color scheme is also carried through to the podium amenity building.
- The Kiwanis project consists of two 16 storey residential towers with a podium over one level of parking.
- A craft/hobby room, games room, amenity multipurpose room and fitness area each fronts onto Minoru Boulevard helping to conceal the Kiwanis parkade from the street and also provides a visual transition between this development and the future residential frontage of the building proposed for the property to the south (6391 Minoru Boulevard).
- The Kiwanis development will have a natural stone facing at the grade level on all exposed sides of the building. The overall coloration of the Kiwanis towers will be

white, grey and charcoal with “Blue Danube” and white accent spandrel glass banding at the four building corners and the vertical centre face of the two wider sides of each tower.

- All five towers are well articulated with one of the towers in Carrera brought down to eleven storeys in height to provide skyline variation. Balconies and decks with glass guards projecting out from the building help to provide additional façade articulation.
- All roof top mechanical systems are fully enclosed or screened.
- A sun shadow analysis (included in the plans submission) was undertaken for all five towers to assess and minimize the impact of the towers on the neighbouring properties.

Landscape Design and Open Space Design

- Both Carrera and Kiwanis have landscaped podiums with walking paths and seating areas for use by their residents. Landscaping is composed of a mix of trees, shrubs, ground covers and grasses organized to provide both privacy and open space. Raised garden plots will also be incorporated into the landscaping for the Kiwanis residents.
- Carrera has included an amenity building and a water feature on its podium for resident’s enjoyment. A child play area is also included at the south end of the central portion of their podium.
- Landscaping that includes trees at the ground level is used to soften interfaces to the parkade and the upcoming development to the south. Additional landscaping has also been added to the Kiwanis podium areas adjacent to the loading bay to partially screen these service areas from views from above.
- A trellis feature has been added at parapet height along the west side of the Kiwanis parkade. Vegetation climbing structures along the wall will allow vegetation to grow up the wall and out along the trellis creating a softer edge to the parkade.
- Additional planting and an architectural trellis feature with seating has been added to the public plaza between Kiwanis and Carrera. Special raised paving on the plaza area is intended to reduce vehicle speeds and visually reinforce this area as a pedestrian zone.
- As noted earlier, the developers of the property immediately to the south (6391 Minoru Boulevard) have agreed to bring design elements on the face of their buildings around the corner of their parkade that, combined with the tree canopy screening, will provide a more appealing view from the Kiwanis development and the north-south private road and courtyard.
- A prominent art sculpture is being proposed on the Kiwanis site along Minoru Boulevard in a public open space between the hair salon and the craft and hobby room. The artist commissioned for this public art was selected through an invitational competition. Polygon and Kiwanis have been working with the artist to come up with an appropriate design that will be a dominant art feature visible from the interior hallway between the two Kiwanis towers and from along Minoru Boulevard. Provisions will be made for a portion of the art budget to be set aside for future maintenance of the art work by Kiwanis.
- Landscape bonds in the amount of \$644,004 for Kiwanis and \$793,050 for Carrera are required as conditions for approval of this Development Permit ensuring that podium spaces and open spaces between the two projects will be suitably landscaped.
- A pedestrian access that formerly ran along the southern property line between Minoru Boulevard and Minoru Park has been closed while construction occurs on the subject site. Once the new east west road is established, a new pedestrian walkway will provide an additional permanent access to the Park from Minoru Boulevard. Staff will be working with the proponent to secure interim access when safe to do so. Until then, public

wishing to access Minoru Park from Minoru Boulevard are being redirected to either Bowling Green Road or an access point adjacent to the Brighthouse Library facility. Informational signage about alternative accesses to Minoru Park during construction has been installed on site.

- Approximately 53 bylaw sized trees have been bonded for and removed from the overall site under a tree removal permit. The landscape plans for the development indicate that 85 trees will be installed on the Kiwanis site and 160 trees will be installed on the Carrera site. This will appropriately address the Official Community Plan's tree replacement requirements for the on-site impacts.

In terms of off-site tree impacts, removal of four trees from Minoru Park have been identified due to their poor condition. A contribution of \$5,200 to the City's tree planting fund for replacement trees was a required condition under the Rezoning approval (RZ 11-591685).

An additional two cherry trees (Fuji Cherries) are to be removed from the centre median on Minoru Boulevard in order to accommodate the intersection and left turn bay for the new East-West roadway. These two healthy specimen trees are approximately 50 years old. Both have trunk diameters in excess of 54 cm with one tree being 6 meters high and the second being 7.5 meters high.

Staff have taken a second look at the intersection design and concluded that there are no technically feasible means to accommodate both the trees and the intersection improvements concurrently. The intersection improvements, including the northbound-to-westbound left turn bay, as identified in the rezoning report and rezoning considerations, are critical infrastructure improvements necessary to adequately accommodate the amount of traffic anticipated of the proposed developments. Staff note that the intersection will also provide primary access for the Vancouver Coastal Health's Minoru Residence Extended Care and that this was a consideration in negotiating the relocation of the Minoru Residence vehicle access away from Minoru Boulevard.

A tree assessment report on these trees (dated January 14, 2013) was prepared by Parks' Arborist. The report concludes that both trees are in general good health with few signs of pests or problems however their relocation would not be feasible. Based on the Arborist's assessment, a contribution of \$11,050 to the City's tree planting fund as compensation for the loss of the two cherry trees is required. This compensation is included in the Development Permit Considerations.

Crime Prevention Through Environmental Design

- Parkade structures, building entrances and access to podium areas for both developments will be secured. A second set of vehicle control gates will be installed in Carrera to separate visitor and 7 Kiwanis parking stalls from resident's stalls.
- A lighting analysis has been undertaken in both Carrera and Kiwanis developments to ensure appropriate levels of lighting within the parkades and the surrounding spaces.
- Grade separations will exist differentiating public walkway areas and townhouse private space associated with Carrera.

- Multiple access/egress points from both the ground level and the residential towers have been provided to the podium levels of both projects to ensure safe and convenient use of these areas.
- Entry doors to lobbies and townhouses have been designed to be visible from the street or adjacent walkways.
- Security enter-phone panels will control pedestrian entry to all the buildings on the Carrera and Kiwanis developments.
- Vision glass is to be installed pedestrian access doors within the parkades.
- Parkade walls will be painted a light color to facilitate security.
- Windows will be installed along the corridor adjacent to the public art amenity providing both a viewing opportunity for the residents and enhanced surveillance to the public art plaza adjacent to Minoru Boulevard.

Leadership in Energy and Environmental Design (LEED) Silver Equivalency Measures

- Carrera and Kiwanis buildings are being designed to LEED Silver equivalent standards. The objective of LEED is to implement measurable green building design, construction, operations and maintenance. Both projects have been assessed against seven LEED categories in determining their level of performance. The LEED checklist covering both Carrera and Kiwanis is provided in **Attachment 2**. A condition has been added to the Development Permit considerations requiring the submission of an updated checklist at Building Permit stage confirming that both the Kiwanis and Carrera developments will achieve LEED Silver equivalency.

BC Hydro Power Smart New Construction Energy Study Initiatives

- Both towers of the Kiwanis affordable seniors development were assessed under BC Hydro's Power Smart New Construction Program. The objective of the New Construction Program is to create high-performance, energy-efficient buildings. The analysis has resulted in:
 - modifications to the building envelope;
 - upgrades to the make-up air unit; and
 - adjustments to both the interior and exterior lighting packages.
- BC Hydro's assessment report indicates that implementation of the changes in these four areas will result in "annual electrical energy savings of 142,927 kWh/yr and annual gas savings of 213 GJ/yr. This translates into a total cost savings of \$13,930 per year. The \$73,000 capital cost to implement these measures will be paid back within just over 5 years. Incentives provided by BC Hydro will shorten this payback even more. Polygon has committed to incorporating into the Kiwanis construction all the features described in the BC Hydro Power Smart New Construction Energy Study Report dated October 09, 2012. A condition has been added to the Development Permit Considerations requiring confirmation of adherence to the BC Hydro report recommendations at Building Permit stage.
- Carrera is being designed to eventually connect to Richmond's District Energy Utility when it becomes available in the area. A requirement for pre-ducting in the Carrera buildings is identified in the list of conditions prior to Building Permit approval. By prior agreement, the Kiwanis project will not be required to connect to the District Energy Utility.

Thermal Comfort Analysis

- The thermal comfort analysis for the Kiwanis affordable seniors development indicates that it will meet the International Standards Organization (ISO) ISO 7730 Standard for Occupancy Thermal Comfort. This standard requires that:
 - a) “No occupied space shall exceed 25 C ... for more than 5% of occupied hours in any one year”; and,
 - b) “No occupied space shall exceed 28 C ... for any more than 1% of occupied hours in any one year.”

The analysis indicates that these two requirements can be achieved through the proposed heating, ventilation and air conditioning measures which include:

- a) Glazing to wall ratios of 47%;
- b) Electrical baseboards as the main space heating source;
- c) A glass shading coefficient of 0.34;
- d) Operable windows in each suite;
- e) Provision of outdoor air to common corridor areas, and;
- f) Air transfer to suites from the common corridor areas using door undercuts.

A condition has been added to the Development Permit considerations requiring confirmation that the BC Hydro Power Smart New Construction Energy Study Report recommendations have been incorporated into the plans at Building Permit stage.

Noise Mitigation Measures

- In response to the Official Community Plan (OCP) Section 9.3.14 “Acoustics” requirements the proponent’s have submitted an Acoustical Evaluation report prepared by Brown Strachan Associates. The report, dated March 20, 2012, assesses noise impacts on the proposed development and makes recommendations for sound mitigation measures that meet the City’s design requirements as specified in the OCP. The assessment considered noise from traffic on Minoru Boulevard, Westminster Highway and YVR related aircraft.
- The report makes specific recommendations regarding:
 - the thickness and construction of glazing in exterior doors and windows;
 - standard and finish of exterior construction;
 - consideration of alternative ventilation (e.g. make up air, continuously rated kitchen and/or bathroom exhaust fans);
 - Coordination of acoustical recommendations, field reviews and letters of assurance by the registered professional of record for the project.
- The report concludes that, provided the recommendations in the report are implemented, the development will meet the City of Richmond’s OCP interior design noise level criteria.
- The proponent has committed to implementing all of the recommendations in the Acoustical Evaluation report.
- A condition has been added to the Development Permit considerations requiring confirmation that the Brown Strachan Associates Acoustical Evaluation report

recommendations dated March 20, 2012, have been incorporated into the plans at Building Permit stage.

Vehicle Parking and Traffic Demand Management (TDM) Measures

Vehicle Parking

Polygon has submitted a Traffic and Parking Impact Study (TPIS) that compares the proposed parking requirements of the Kiwanis seniors affordable housing project to other projects of a similar nature. The development proposal includes 91 vehicle stalls for the Kiwanis project (including 7 visitor/staff stalls that will be located within the Carrera parkade) and 466 vehicle stalls for Carrera residents and visitors.

Polygon has also prepared a Transportation Demand Management (TDM) package in support of a minor relaxation for the Carrera parking requirements. The proposed parking relaxation reduces the number of resident stalls from 1.2 stalls per unit to 1.19 (less than 1%) stalls per unit. A variance is not required for this modification as the Parking and Loading section (Section 7.4) of Zoning Bylaw 8500 allows for reductions by up to a maximum of 10% where appropriate TDM measures have been incorporated and the minimum on-site parking requirements are substantiated by a parking study.

Compensation provided under the site's Rezoning Considerations (RZ11-591685) for this reduction includes a \$25,000 contribution to one bus shelter, electrical outlets for 20 spaces in the Carrera parkade and one electrical outlet for electric bike charging in each bicycle room in the Carrera towers.

The TPIS and TDM package have both been reviewed and supported by Transportation staff. The Rezoning considerations include a requirement for an easement on the Carrera side for the provision of seven parking stalls for use by Kiwanis in perpetuity and a legal agreement to require the electrical outlets and specified voltages for electric vehicle charging plus a cash contribution for construction of the bus shelter.

A design requirement for two visitor stalls to be dedicated for health care worker use have been incorporated into the Kiwanis development's plans. A condition has been added to the Development Permit considerations to ensure these stalls are provided for in the Building Permit submission.

Bike parking

Transportation staff support the substitution of 32 electric scooter stalls for the Class 1 bicycle stalls in the Kiwanis development. This substitution has been incorporated into the Zoning Bylaw for the site (Bylaw No. 8914, RZ 11-591685). All other bike stall requirements for the two developments conform to the Zoning Bylaw standards.

Conclusions

The designs for both the Polygon Carrera market project and the Kiwanis seniors affordable housing project have undergone extensive review in consultation with staff. From an early stage both projects have been designed with sustainability features incorporated into their planning. The application of BC Hydro's Power Smart New Construction program resulted in the incorporation of additional energy saving features which will benefit the Kiwanis residents for decades.

The architect teams from both projects have worked hard to address the functional needs of the future residents as well as the needs of the City to ensure the projects have responded to the City Centre's design criteria and to the comments and recommendations identified by staff and the Advisory Design Panel.

The projects are well resolved and staff recommend support for the construction of the two Kiwanis towers containing 296 seniors affordable housing units and the three Polygon Carrera towers containing 335 market housing units at 6251 Minoru Boulevard as described in the Development Permit submission.



David Brownlee
Planner 2

DCB:cas

The following are to be met prior to forwarding this application to Council for approval:

1. Receipt of a Letter of Credit for landscaping, (including installation and contingency) of the Carrera development in the amount of \$793,050.00 (based on either a sealed estimate from a Landscape Architect dated December 11, 2012).
2. Receipt of a contribution of \$11,050 to the City's tree planting fund as compensation for the loss of the two cherry trees within the Minoru Boulevard median.
3. Receipt of a Letter of Credit for landscaping (including installation and contingency) of the Kiwanis development in the amount of \$644,004.00 (based on either a sealed estimate from a Landscape Architect dated December 11, 2012).
4. Receipt of a Letter of Credit for Public Art in the amount of \$238,821 as a security for advancing and completing the public art component of the development.
5. Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
 - a) No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
 - b) If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until the building is connected to the DEU and the owner enters into a Service Provider Agreement on terms and conditions satisfactory to the City and grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building;
 - c) If a DEU is not available for connection, no final building inspection permitting occupancy of a building will be granted until:

- i. the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
- ii. the owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation ;
- iii. the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building; and
- iv. the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Confirmation that the recommendations of BC Hydro Power Smart New Construction Energy Study Report dated October 09, 2012 in terms of implementing the recommended energy efficient initiatives and the Thermal Comfort initiatives for heating, ventilation and air conditioning, have been incorporated into the construction plans.
3. Confirmation that the recommendations identified in the Brown Strachan Associates Acoustical Evaluation report dated March 20, 2012, have been met in the construction plans.
4. Submission of an updated LEED checklist indicating that LEED Silver equivalency is being achieved for both the Carrera and Kiwanis developments.
5. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
6. Confirm provision in the Building Permit plans for a Kiwanis residents health services support and conference room.
7. Confirm provision in the Building Permit plans for a minimum of two vehicle stalls dedicated for health care worker use.
8. Completion of the public art component design and the design for the immediate surrounding open space to the satisfaction of the City. Based upon the ultimate design, additional legal agreements to secure a public right of passage right of way may be required for public access to the space.
9. A resolution to the status of the existing sanitary force main along the southern property boundary of the site is required to the satisfaction of all parties.
10. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.



DP 12-609958

Attachment 1a

Address: 6251 Minoru Boulevard (Kiwanis Development Only)

Applicant: Polygon Carrera Homes Ltd.

Planning Area(s): City Centre (Brighthouse Village Urban Centre T5)

	Existing	Proposed
Owner:	Richmond Kiwanis Senior Citizens Housing Society ("Kiwanis")	Richmond Kiwanis Senior Citizens Housing Society
Site Size (m²):	20,237.7 m ² (Total site)	Kiwanis AH net: 7,064.0 m ² Total Dedications: 1909.3 m ²
Land Uses:	Affordable Seniors Housing	Affordable Seniors Housing and Market Residential
OCP Designation:	Mixed Use	Unchanged
Area Plan Designation:	Institution, Urban Centre T5 (25 m)	Unchanged
Zoning:	School and Institutional Use (SI)	High Rise Apartment (ZHR10) – Brighthouse Village (City Centre)
Number of Units:	122 affordable seniors units in 14 separate low rise one and two storey buildings	Kiwanis: 296 affordable seniors 1 bedroom units in two high-rise towers on a portion of the site.
Other Designations:	NEF: Noise Management – City Bylaw 7794	Unchanged

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Density (units/acre):	N/A	169.7 u.p.a. Kiwanis only – based on net site	none permitted
Floor Area Ratio:	Kiwanis Affordable Housing: 2.8 Net Max.	Kiwanis: 2.77 net of dedications	none permitted
Lot Coverage – Building:	Max. 90% excluding landscaped roof decks	Kiwanis: 56.09%	none
Lot Size:	N/A	Kiwanis: 74.95 m x 111.88 m (avg.)	none
Northern Property Line Setback(m):	Kiwanis Min. 6.0 m	Kiwanis: 9.05 m to podium except for covered entry canopy which is 5.2 m	none
Interior Setback (m):	Kiwanis: Min. 6.0 m	Kiwanis: 9.39 m to podium except for covered entry canopy which is 5.34 m	none
Minoru Park Setback (m):	Kiwanis: N/A	Kiwanis: N/A	none

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Minoru Boulevard Setback (m)	Kiwanis: 1.5 m	Kiwanis: 1.5 m to podium	none
Southern Property Line Setback (m)	Kiwanis: 0 m	Kiwanis: 0.26 m to podium	none
Height (m):	47 m max.	47 m max. (16 stories)	none
Off-street Parking Spaces – Regular ® / Visitor (V):	Kiwanis: 0.2 (R) and 0.1 (V) per unit	Kiwanis: 0.2 (R) and 0.11 (V) per unit	none
Off-street Parking Spaces – Total:	Kiwanis: 60 (R) 30 (V)	Kiwanis: 60 (R) 24 (V) An additional 7 stalls will be provided on the market side for use by Kiwanis. Two visitor stalls (included in above totals) will be dedicated to Health Care providers.	none
Tandem Parking Spaces:	permitted	none	none
Bicycle Parking:	Kiwanis: 370 x Class 1 stalls 60 x Class 2 stalls	Kiwanis: 32 scooter stalls in lieu of Class 1 bike stalls. 60 Class 2 stalls	Substitution of Class 1 stalls with scooter stalls is built into zoning schedule.
Accessible Parking:	2	2	none
Loading Stalls:	Kiwanis: 2 large	Kiwanis: 2 large	none
Amenity Space – Indoor:	Kiwanis: 100 m ²	Kiwanis: 707.7 m ²	none
Amenity Space – Outdoor:	Kiwanis: 1776 m ²	Kiwanis: 1,955.61 m ²	none

Other: Compensation required for 53 on-site trees and 4 off-site trees to be removed (Combined Carrera & Kiwanis).

Kiwanis Architects: Robert Ciccozzi Architecture Inc.



DP 12-609958

Attachment 1b

Address: 6251 Minoru Boulevard (Carrera Development Only)

Applicant: Polygon Carrera Homes Ltd.

Planning Area(s): City Centre (Brighthouse Village Urban Centre T5)

	Existing	Proposed
Owner:	Richmond Kiwanis Senior Citizens Housing Society ("Kiwanis")	Polygon Carrera Homes Ltd.
Site Size (m²):	20,237.7 m ² (Total site)	Carrera net: 11,264.4 m ² Total Dedications: 1909.3.0 m ²
Land Uses:	Affordable Seniors Housing	Market Residential
OCP Designation:	Mixed Use	Unchanged
Area Plan Designation:	Institution, Urban Centre T5 (25 m)	Unchanged
Zoning:	School and Institutional Use (SI)	High Rise Apartment (ZHR10) – Brighthouse Village (City Centre)
Number of Units:	122 affordable seniors units in 14 separate low rise one and two storey buildings	Carrera: approx. 335 market housing units on a portion of the site in a mix of townhouse and three high-rise towers.
Other Designations:	NEF: Noise Management – City Bylaw 7794	Unchanged

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Density (units/acre):	N/A	120.40 u.p.a. Carrera only based on net site	none permitted
Floor Area Ratio:	Carrera Market Side: 3.0 Max.	Carrera: 2.98	none permitted
Lot Coverage – Building:	Max. 90% excluding landscaped roof decks	Carrera: 36.20%	none
Lot Size:	N/A	Carrera: 89.07 m x 111.88 m (avg.)	none
Northern Property Line Setback(m):	Carrera: Min. 6.0 m	Carrera: 6.1 m	none
Interior Setback (m):	Carrera: Min. 6.0 m	Carrera: 7.8 m	none
Minoru Park Setback (m):	Carrera: Min. 6.0 m	Carrera: 5.07 m for fin projections. 6.1 m min. to main buildings.	none (projections are permitted under the general regulations)
Minoru Boulevard Setback (m)	Carrera: N/A	Carrera: N/A	none
Southern Property Line Setback (m)	Carrera: 0 m	Carrera: 0 m	none

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Height (m):	47 m max.	47 m max.	none
Off-street Parking Spaces – Regular ® / Visitor (V):	Carrera: 1.2 (R) and 0.2 (V) per unit	Carrera 1.19 (R) and 0.19 (V) per unit:	see below
Off-street Parking Spaces – Total:	Carrera: 402 (R) 67 (V)	Carrera: 399 (R) (includes 183 small stalls) 67 (V) (includes 27 small stalls) 4 on private street stalls 20 electric car stalls are included in the overall totals above.	TDM measures to be implemented on the market side to allow for a reduction of resident stalls from 1.2 to 1.19 stalls / unit.
Tandem Parking Spaces:	permitted	none	none
Bicycle Parking:	Carrera: 419 Class 1 stalls 67 Class 2 stalls	Carrera: 419 Class 1 stalls 67 Class 2 stalls provided.	none
Loading Stalls:	Carrera: 2 large	Carrera: 2 large	none
Amenity Space – Indoor:	Carrera: 100 m ²	Carrera: 750.7m ²	none
Amenity Space – Outdoor:	Carrera: 2010 m ²	Carrera: 4,034.3 m ²	none

Other: Compensation required for 53 on-site trees and 4 off-site trees to be removed (Combined Carrera & Kiwanis).

Carrera Architects: Gomeroff Bell Lyon Architects Group Inc.

Preliminary LEED Canada for New Construction and Major Renovations 2009 Credit Summary

Rating Level Achieved: Silver

Possible Points: 110

Total Project Score: 51

Certified: 40-49 points Silver: 50-59 points Gold: 60-79 points Platinum 80+ points

6 Materials & Resources Possible Points: 14

Y	Prireq	Credit	Points	Description
Y		Credit 1.1	2	Storage & Collection of Recyclables
		Credit 1.2	2	Building Reuse - Maintain Existing Walls, Floors, and Roof
		Credit 2	2	Building Reuse - Maintain Interior Non-Structural Elements
		Credit 3	2	Construction Waste Management
		Credit 4	2	Materials Reuse
		Credit 5	2	Recycled Content
		Credit 6	2	Regional Materials
		Credit 7	2	Rapidly Renewable Materials
		Credit 8	2	Certified Wood
12				Indoor Environmental Quality

17 Sustainable Sites Possible Points: 26

Y	Prireq	Credit	Points	Description
Y		Credit 1	6	Construction Activity Pollution Prevention
		Credit 2	6	Site Selection
		Credit 3	6	Development Density and Community Connectivity
		Credit 4	6	Brownfield Redevelopment
		Credit 5	6	Alternative Transportation - Public Transportation Access
		Credit 6	6	Alternative Transportation - Bicycle Storage & Changing Room
		Credit 7	6	Alternative Transportation - Low-Emitting & Fuel-Efficient Vehicles
		Credit 8	6	Alternative Transportation - Parking Capacity
		Credit 9	6	Site Development - Protect or Restore Habitat
		Credit 10	6	Site Development - Maximize Open Space
		Credit 11	6	Stormwater Design - Quantity Control
		Credit 12	6	Stormwater Design - Quality Control
		Credit 13	6	Heat Island Effect - Non-Roof
		Credit 14	6	Heat Island Effect - Roof
		Credit 15	6	Light Pollution Reduction
		Credit 16	6	Tenant Design & Construction Guidelines
5				Water Efficiency
Y		Prireq 1	3	Water Use Reduction
		Credit 1	2	Water Efficient Landscaping
		Credit 2	3	Innovative Wastewater Technologies
		Credit 3	3	Water Use Reduction

Y	Prireq	Credit	Points	Description
Y		Prireq 1	1	Minimum Indoor Air Quality Performance
Y		Prireq 2	1	Environmental Tobacco Smoke (ETS) Control
		Credit 1	1	Outdoor Air Delivery Monitoring
		Credit 2	1	Increased Ventilation
		Credit 3.1	1	Construction IAQ Management Plan - During Construction
		Credit 3.2	1	Construction IAQ Management Plan - Before Occupancy
		Credit 4.1	1	Low-Emitting Materials - Adhesives & Sealants
		Credit 4.2	1	Low-Emitting Materials - Paints & Coatings
		Credit 4.3	1	Low-Emitting Materials - Flooring Systems
		Credit 4.4	1	Low-Emitting Materials - Composite Wood & Agrifibre Products
		Credit 5	1	Indoor Chemical and Pollutant Source Control
		Credit 6.1	1	Controllability of System - Lighting

5 Water Efficiency Possible Points: 10

Y	Prireq	Credit	Points	Description
Y		Prireq 1	3	Water Use Reduction
		Credit 1	2	Water Efficient Landscaping
		Credit 2	3	Innovative Wastewater Technologies
		Credit 3	3	Water Use Reduction

Kivans Market and Affordable Towers, Richmond, BC

Preliminary LEED Canada for New Construction and Major Renovations 2009 Credit Summary

Rating Level Achieved: Silver

Possible Points: 110

Total Project Score: 51

Certified: 49-49 points Silver: 50-59 points Gold: 60-79 points Platinum 80+ points

2 Energy & Atmosphere Possible Points: 35

Y	Prereq 1	Fundamental Commissioning of Building Energy Systems
Y	Prereq 2	Minimum Energy Performance
Y	Prereq 3	Fundamental Refrigerant Management
	Credit 1	Optimize Energy Performance
	Credit 2	On-Site Renewable Energy
	Credit 3	Enhanced Commissioning
2	Credit 4	Enhanced Refrigerant Management
	Credit 5	Measurement and Verification
	Credit 5.2	Measurement and Verification - Tenant Submetering

1	Credit 6.2	Controllability of System - Thermal Control
1	Credit 7.1	Thermal Comfort - Design
	Credit 7.2	Thermal Comfort - Verification
1	Credit 8.1	Daylight & Views - Daylight
1	Credit 8.2	Daylight & Views - Views

6 Innovation in Design Process Possible Points: 6

1	Credit 1.1	Innovation in Design (Proximity to Regional Transit)
1	Credit 1.2	Innovation in Design (Over 75% Underground/Covered Parking)
1	Credit 1.3	Innovation in Design (Affordable Housing/Aging in Place)
1	Credit 1.4	Innovation in Design (Proximity to Park/Shopping)
1	Credit 1.5	Innovation in Design (High Density Project)
1	Credit 2	LEED® Accredited Professional

3 Regional Priority Possible Points: 4

	Credit 1	Durable Building
3	Credit 2	Regional Priority (Regional Transit, Affordable Housing and High Density Proje

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, September 19, 2012 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

Time: 4:00 p.m.

Place: Rm. M.1.003
City of Richmond

Present: Simon Ho, Acting Chair
Joe Fry
Tom Parker
Thomas Leung
Cst. Greg Reimer
Sherri Han
Steve Jedreicich

Also Present: Sara Badyal, Planner
Suzanne Carter-Huffman, Senior Planner, Urban Design
David Brownlee, Planner
Francisco Molina, Senior Planner, Urban Design
Rustico Agawin, Committee Clerk

Absent: Kush Panatch, Chair
Hal Owens
Matthew Thomson

3. DP 12-609958 – 5 HIGH-RISE RESIDENTIAL TOWERS WITH APPROXIMATELY 631 DWELLING UNITS (INCLUDING 296 AFFORDABLE SENIORS HOUSING UNITS AND 335 MARKET HOUSING UNITS)

APPLICANT: Polygon Carrera Homes Ltd.

PROPERTY LOCATION: 6251 Minoru Boulevard

A. Applicant's Presentation (Kiwaniis Towers)

Chris Ho, Vice-President Development, Polygon, Architect Karen Smith, Robert Ciccozzi Architecture, Inc., and Landscape Architect Derek Lee, PWL Partnership, presented the Kiwanis project on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- concerned about the lack of accessible walking path to the landscaped podium in the Kiwanis project; provision of stairs partly addresses this issue partly but elevator access may not accommodate large groups going up together to the podium; consider also using ramps to supplement the stairways going up to the courtyard in the Carrera project via the pinch point;

Applicant's Response: Access to landscaped podium through two sets of elevators from both Kiwanis towers with the addition of additional doors from both lounges and the laundry rooms and the addition of the internal stair will provide sufficient access.

- appreciate the provision of outward opening doors that enhance safety in the washrooms; consider removing the molded-in seat in the bathroom showers to accommodate movable bath benches tailored to the individual needs of the residents;

Applicant's Response: We understand the concern regarding the molded-in seat. In recent informal surveys, there is no apparent preference in the industry. Kiwanis, west van has decided to not have the molded-in seat as per the above comment where as Tapestry projects prefer the molded-in seat. At this time we are keeping the molded-in seat because of affordability.

- consider using a wall oven in the kitchen to enhance the convertibility of the unit and ease of use for seniors;

Applicant's Response: Prohibitive cost factor in light of maintaining affordable rent levels.

- consider providing a space (i.e, a small den-like space) for arts and crafts in some units to accommodate sewing machines or art easels;

Applicant's Response: The larger one bedroom unit provides for this additional space.

- notice some positive changes in the Minoru Boulevard elevation; looks more organized; don't agree that the elevation needs to be park-like because it is an urban edge; elevation needs height and mass to qualify as an urban edge; however, the middle portion of the elevation seems out of place; needs to relate to its neighbours on both sides;

Applicant's Response: Minoru elevation updated along with updated Public Art concept to be presented

- colour of the whole complex looks dull and dated; development needs to be brightened up to look current and high quality;

Applicant's Response: Revised as provided on both Kiwanis and Carrera

- podium seems tiny in relation to the mass of the two big towers sitting on it;
- agree with the suggestion to use a wall oven in the kitchen; consider side-swing wall oven which is more convenient to use for residents on wheelchairs;

- understand that the medium for public art may not necessarily be on a solid or opaque wall contrary to what appears in the model and drawings; solid wall may look good coming down Minoru Boulevard but not from within the project, it would be preferable to use a translucent glass or a partial screen of stack of metal objects to create a louvered effect; will create more accessibility, activity, light and air between the indoor amenity rooms and the street; applicant should convey this concept to the artist as it is a prominent public art contribution to the City;

Applicant's Response: see revised

- issues in the preliminary presentation regarding the central courtyard on the internal lane are better resolved; like the trellis/canopy features and green space; consider weather protection;
- outdoor amenity space is accessible from the elevators through the lobbies; consider adding significant trellises/canopies on two big terrace areas with fire pits to provide weather protection and maximize their use;

Applicant's Response: will be providing weather protection through much more flexible furniture option – ie umbrellas

- applicant has addressed the Panel's concerns regarding the flat character of the buildings; appreciate the horizontal breaks in certain areas of the buildings; however, the horizontal breaks should be made stronger and break into more dimensions;
- some improvements have been made in the podium level in terms of their relationship with the amenity spaces; programming is appropriate, but consider more opportunities to further invigorate the podium level, e.g. trellises/canopies, fire pits, enclosures, weather protection, and programming;

Applicant's Response: Outdoor room now added on landscape podium level

- 5 to 6 curb cuts on the west elevation along the interior lane is excessive; consider integrating/combining parking entrance with the curb cut at the lobby entrance of Building 2, with parking stalls 1,2 and 3 becoming the new parking entrance; strongly encourage reducing the conflicts between pedestrians and vehicles in the interior lane;

Applicant's Response: The southern curb cuts have been enhanced through refinements in the landscape design – refinements in the plaza and parking orchard.

- treatment of art wall wedge in Minoru facade requires strong coordination between the architect and the artist; the wedge form is a distraction; the art wall has a great potential to provide a sense of enclosure and eliminate the bubble effect while allowing some light into the indoor amenity spaces;

Applicant's Response: see revised

- recessing of the glazing is not just restricted to the east facade but specifically for pocket conditions facing to the north and south of the amenity rooms; strong indoor-outdoor relationship at the edges along Minoru has not been achieved; previous suggestions for openings at the games room and hair salon have not been considered; conflicts with stairs and berm;

Applicant's Response: see revised – public art and base landscaping now provides the indoor-outdoor relationship and also provides a much needed purpose of the proposed northern plaza along Minoru Boulevard.

- prefer that the landscaped courtyard should be a private zone for residents; suggest that the stair location adjacent to the crafts and hobby room should not be tacked on but integrated into the spaces; will make a strong connection to the podium level; consider also access from the amenity multi-purpose room to the podium level;

Applicant's Response: see revised – landscape courtyard on podium is a private zone for residents only

- agree with the comment regarding the need for further detailing of the art wall; middle of the Minoru facade needs further resolution to provide more articulation to the facade; consider the roof form;

Applicant's Response: see revised

- emergency generator room facing Carrera needs more height to mark the corner; make it a folly to bridge the connection between the Carrera and Kiwanis projects;

Applicant's Response: see revised – height raised and architectural detailing refined

- no problem with regard to the programming of the landscaped courtyard; will meet the needs of seniors; size is appropriate for walking;
- colour of the project is dark and drab; may look depressing on rainy days; need to brighten up the colour and feel of the project;

Applicant's Response: colours refined

- support the project but some design resolution is needed; and
- it is important to consider the needs of the end users of the project (i.e, seniors) in the programming of the courtyard space.

B. Applicant's Presentation (Carrera Market Housing)

Chris Ho, Vice-President Development, Polygon, Architect Stu Lyon, GBL Architects, and Landscape Architect Derek Lee, PWL Partnership, presented the Carrera project on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- nice scheme; colour scheme is sedate;

Applicant's Response: colours updated

- park interface is nicely resolved; water feature unifies the development with the park; connection between flat water and vertical water works nicely;
- do not overdesign the park; should not read as a private zone; civic nature of the park should be respected; connection to the water is strong enough;
- look at successful precedents in Richmond regarding public access to the upper terrace; consider adding an element to provide the visitor a sense of arrival at the terrace, e.g. a mid-level patio or a water feature;
- consider a landscape counterpoint on both sides of the plaza to unify the plaza;

Applicant's Response: updated – greater integration/coordination of landscape elements and additional elements added

- like the project; present colour feels differently and is a move backwards; dark colours of the big buildings will not show the setback effect; buildings look flatter; colours need to be brighter to show the setback of the towers;
- dark chocolate-coloured amenity building adjacent to the park needs to be brightened up;
- beautiful project; would like to see brighter colours in the development;
- pinch point between the two towers is an uncomfortable situation;
- echo comments regarding the nicely resolved park interface; amenity space above looks beautiful; like the addition of the colonnade between the amenity space and the courtyard; provides visual interest;
- the flat and wide roof of the amenity space is visible from all directions; suggest to add pavers on the roof deck to provide warmth; will provide visual interest;
- development appears like a monolith when viewed from the park; introducing colour in the middle building will give a sense of depth; consider introducing pale yellow colour used in Eastern Europe which seems durable and weathers well; will also add brightness to the development on gloomy days;
- generally, a handsome and elegant project; it is well resolved; like the articulation and enjoy how the massing interact with each other;
- changes done in the amenity area on the roof deck are fantastic; gives the project a pulse;
- not averse to the dark chocolate colour of the buildings but the frames appear lost; need to revisit the building colours; and
- disagree with the comment regarding the pinch point between the two towers; proximity of living quarters to each other reflects the notion of a downtown core; proportion of the mid-rise to the tower is fine; spacing between the two buildings is more than appropriate; look at successful precedents in Barcelona.

Panel Decision

It was moved and seconded

That DP 12-609958 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel and also giving special consideration to (1) the Minoru elevation scale, permeability, activity and indoor-outdoor relationship facing into the courtyard space; (2) the use of colour in the project; and (3) the connectivity between the Kiwanis indoor amenity spaces at grade and the outdoor amenity space on podium level.

CARRIED



No. DP 12-609958

To the Holder: POLYGON CARRERA HOMES LTD.
Property Address: 6251 MINORU BOULEVARD
Address: 900 - 1333 WEST BROADWAY
VANCOUVER, BC V6H 4C2

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #57 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$793,050.00 for the Carrera development and \$644,004.00 for the Kiwanis development. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 12-609958

To the Holder: POLYGON CARRERA HOMES LTD.
Property Address: 6251 MINORU BOULEVARD
Address: 900 - 1333 WEST BROADWAY
VANCOUVER, BC V6H 4C2

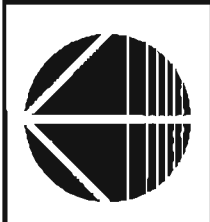
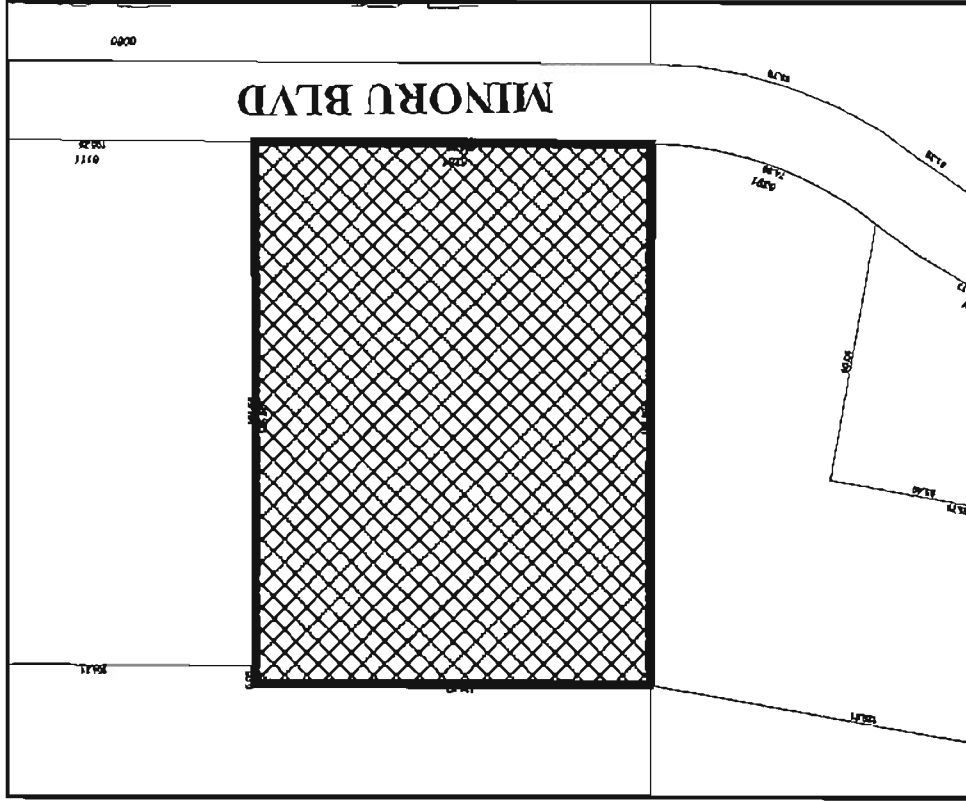
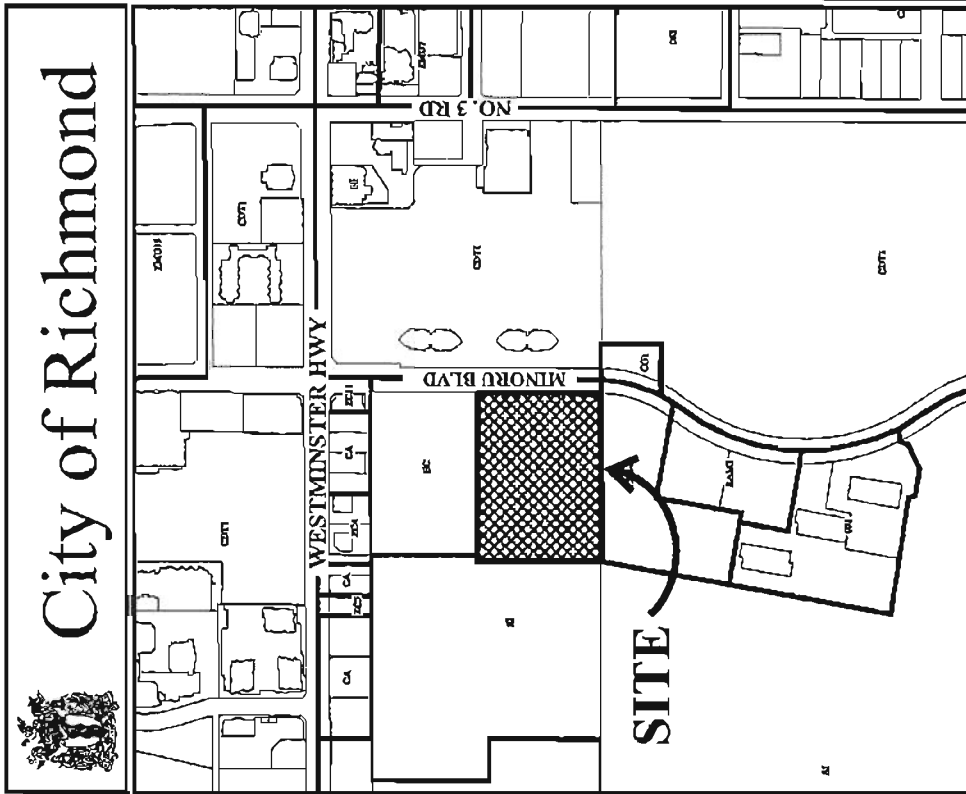
- 7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

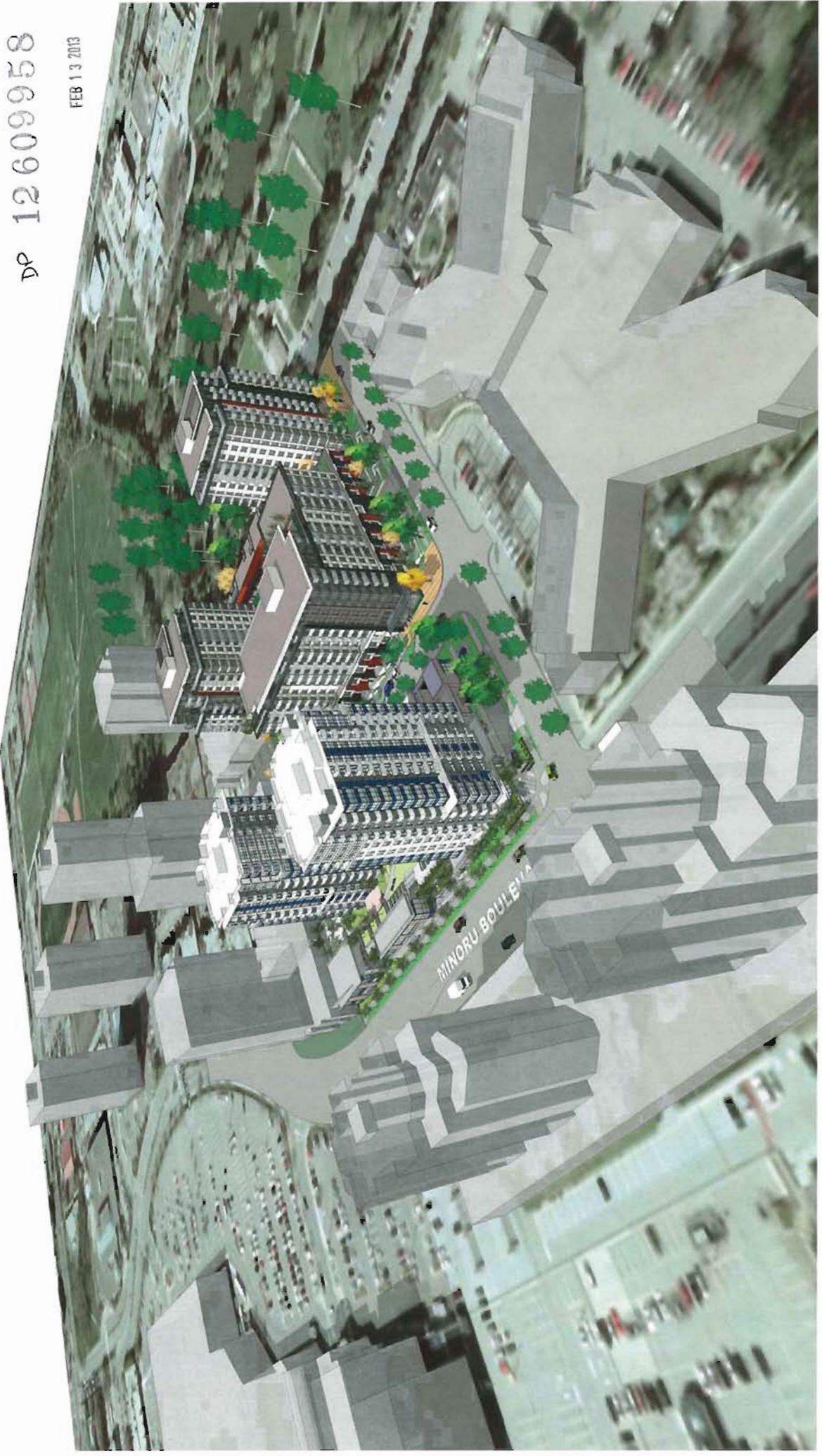
MAYOR



DP 12-609958
SCHEDULE "A"

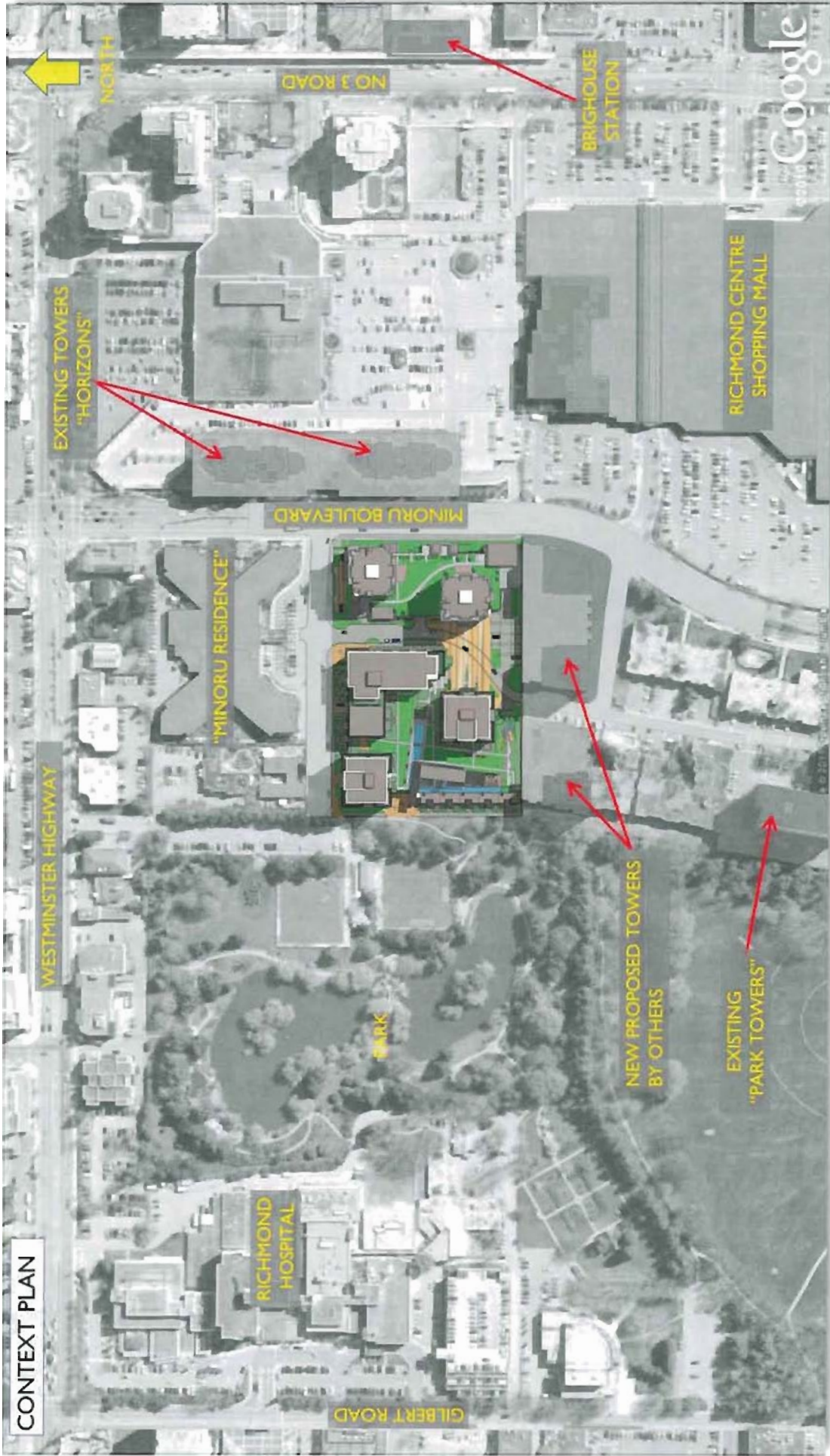
Original Date: 06/01/12
Revision Date:
Note: Dimensions are in METRES

MARKET AND AFFORDABLE TOWERS AT KIWANIS SENIORS - RICHMOND, B.C.
DP RE-SUBMISSION PACKAGE - JANUARY 17, 2013



DP 12609958

FEB 13 2013

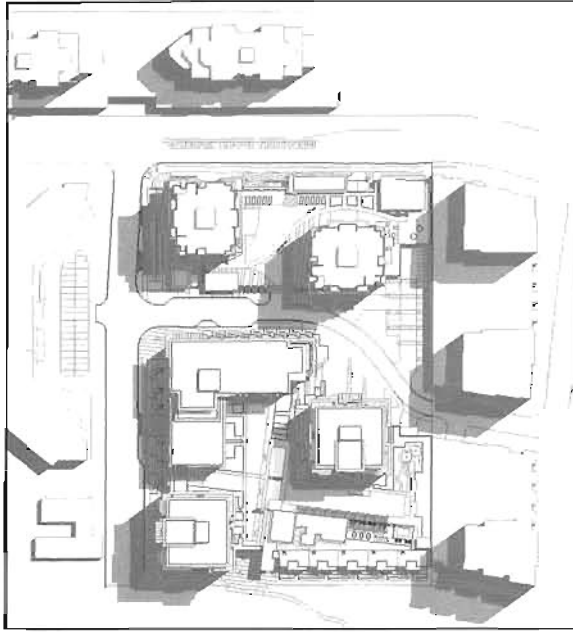


CONTEXT PLAN

DP 12609958

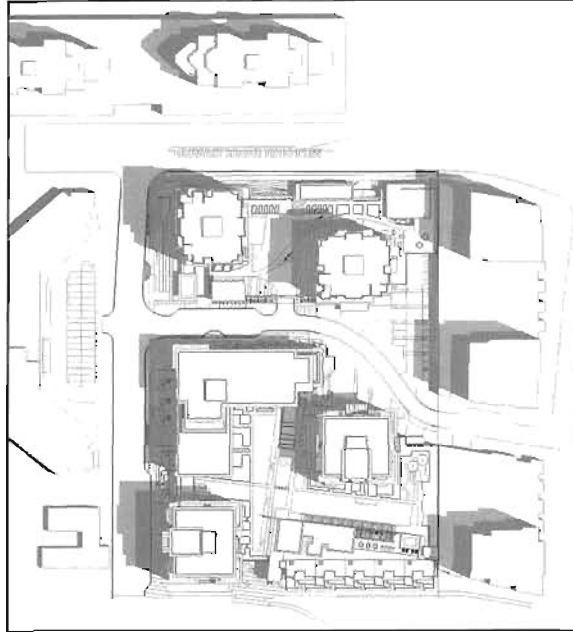
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SHADOW STUDY



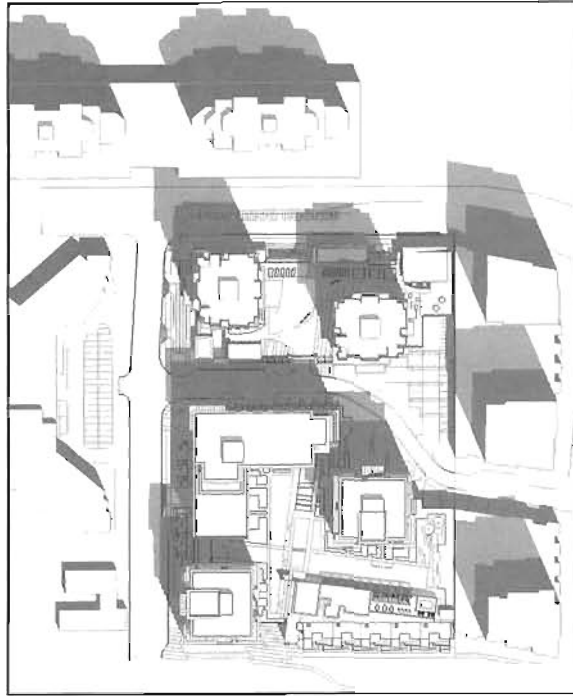
SUMMER SOLSTICE - 10 AM

EQUINOX - 10 AM



SUMMER SOLSTICE - NOON

EQUINOX - NOON

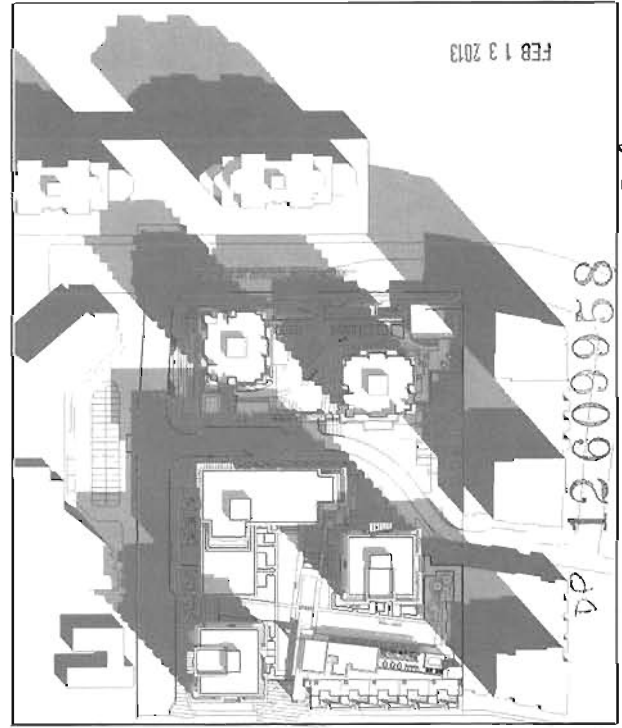
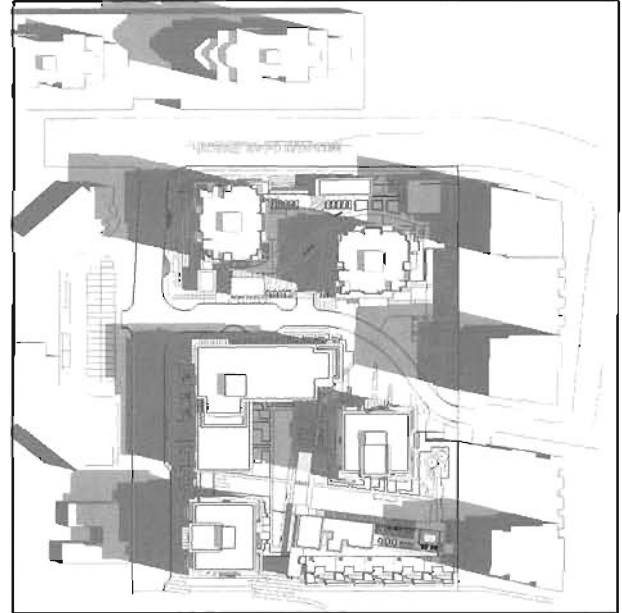
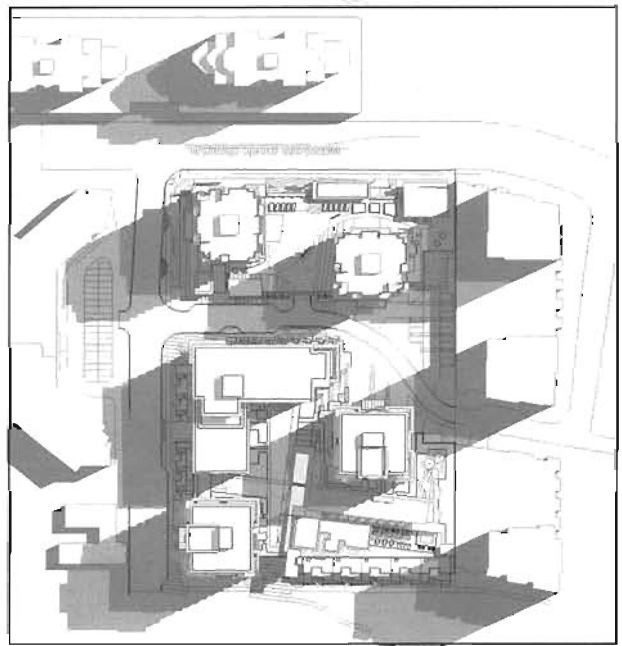


SUMMER SOLSTICE - 2 PM

EQUINOX - 2 PM

SHADOWS FROM 33M HIGH STRUCTURES

SHADOWS FROM 60M HIGH STRUCTURES



Reference

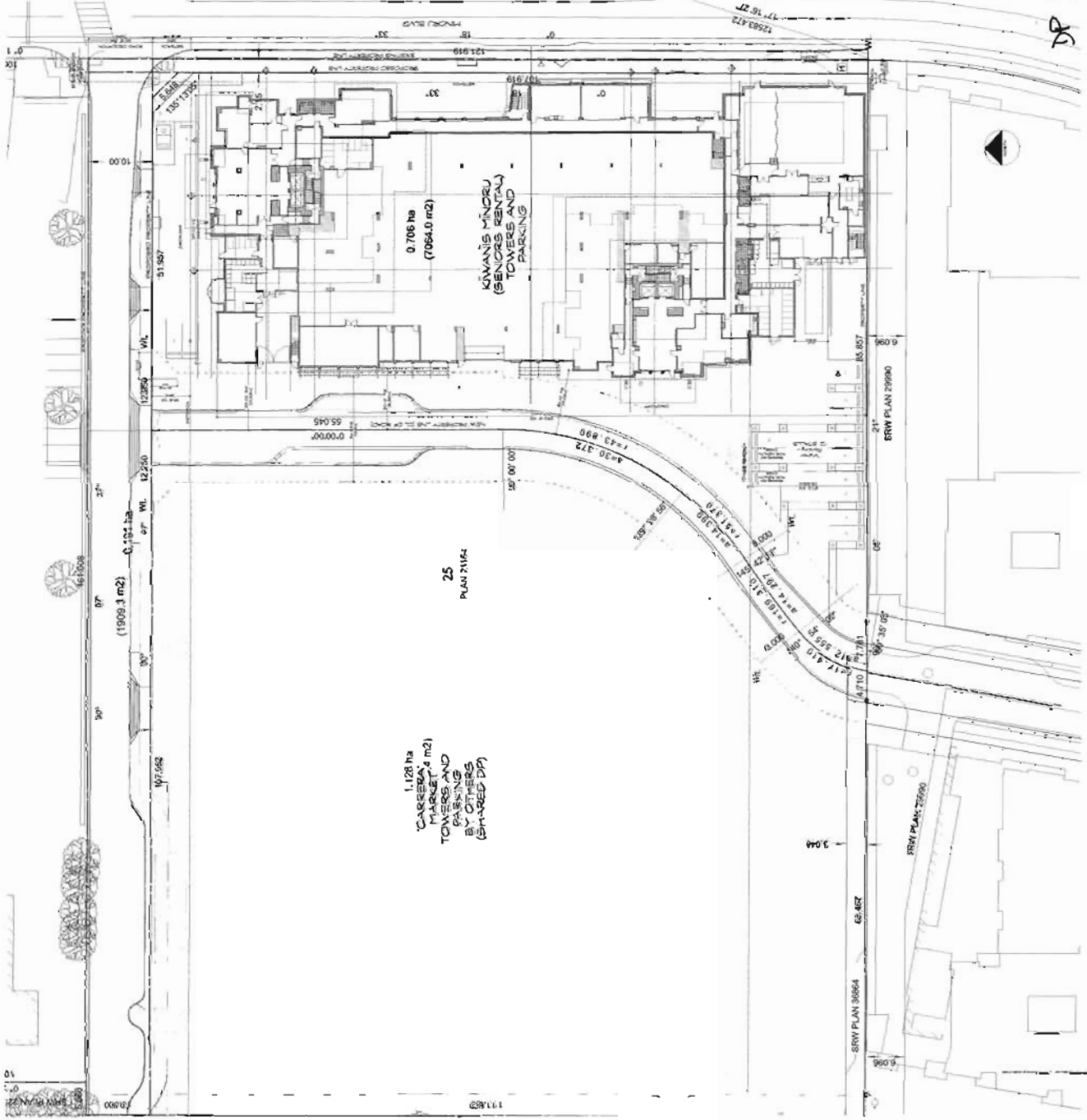
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CHECKED BY	...
SCALE	AS SHOWN
SHEET NO.	...
TOTAL SHEETS	...



PROJECT NO.	12609958
DATE	02/13/2013
DRAWN BY	...
CHECKED BY	...
SCALE	AS SHOWN
SHEET NO.	...
TOTAL SHEETS	...

NO.	DESCRIPTION	DATE
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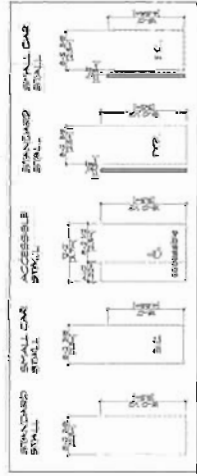
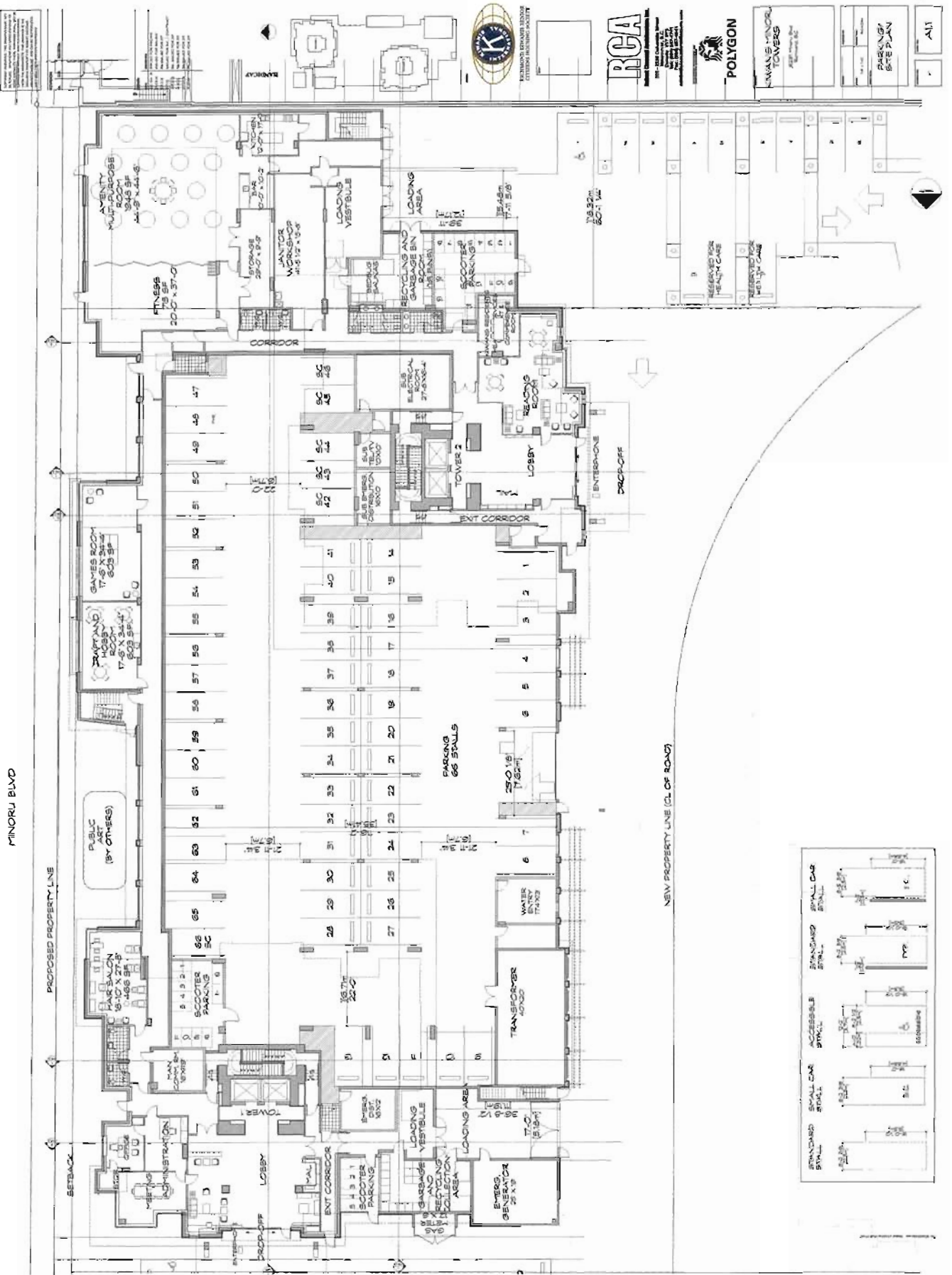
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DATE	02/13/2013
DRAWN BY	...
CHECKED BY	...
SCALE	AS SHOWN
SHEET NO.	...
TOTAL SHEETS	...



DP 12609958
Plan #1

MINORU BLVD

PROPOSED PROPERTY LINE



NEW PROPERTY LINE (CL OF ROAD)

PGA

POLYGON

KAWAS MINORU TOWERS

PARKING BREAK

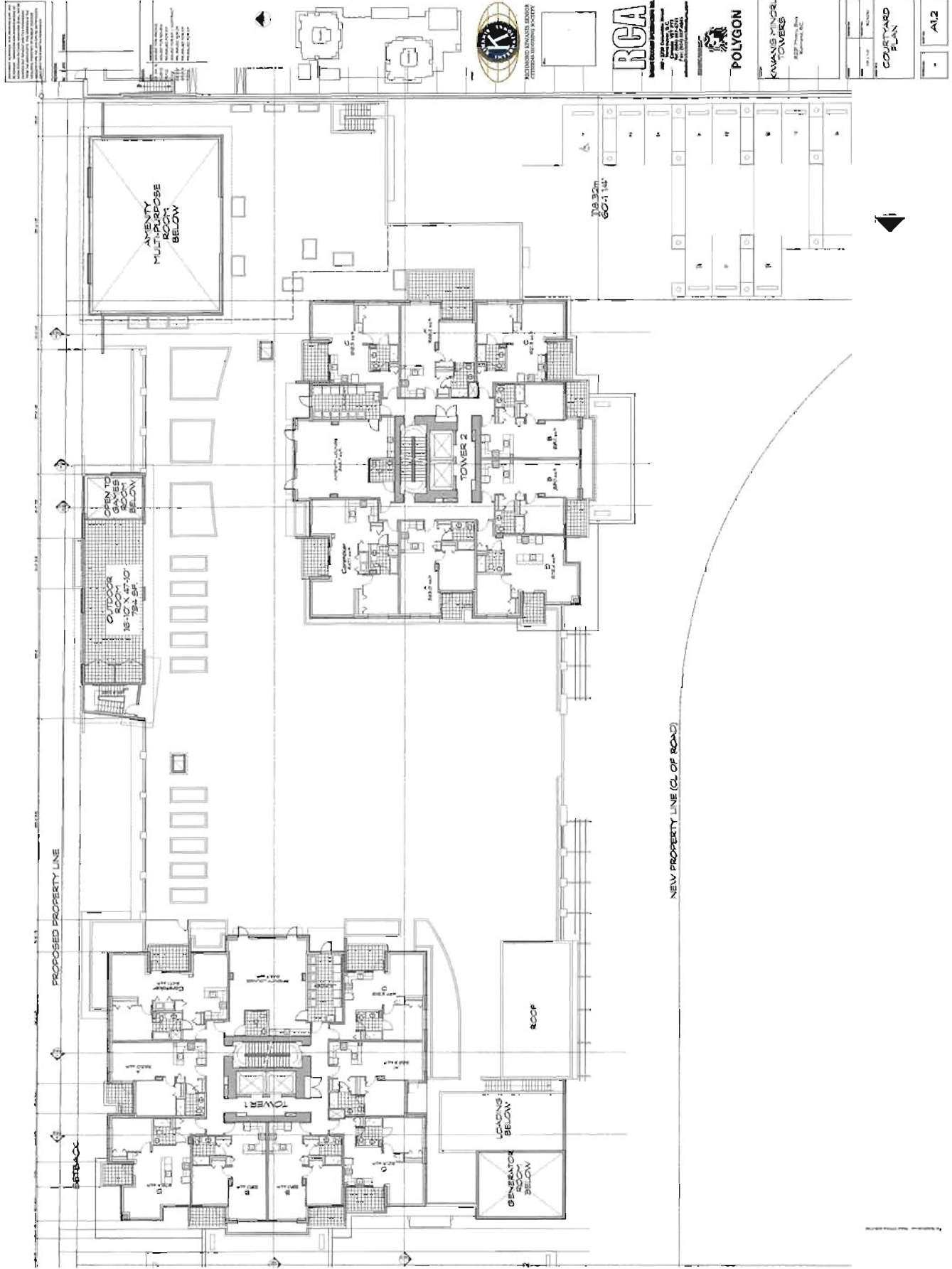
AUT

KAWASA CONSULTING GROUP
EXTERIOR ARCHITECTURE

12609958

FEB 13 2013

Plan B2



1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL ROOMS SHALL BE FINISHED TO THE FINISH LINE UNLESS NOTED OTHERWISE.
 3. ALL ROOMS SHALL BE FINISHED TO THE FINISH LINE UNLESS NOTED OTHERWISE.
 4. ALL ROOMS SHALL BE FINISHED TO THE FINISH LINE UNLESS NOTED OTHERWISE.
 5. ALL ROOMS SHALL BE FINISHED TO THE FINISH LINE UNLESS NOTED OTHERWISE.

MULTIPURPOSE ROOM BELOW
 60'-11 1/4"

GARAGE BELOW
 18'-10" X 47'-10"
 784 SF

TOWER 1
 TOWER 2
 COURTYARD
 LOADING BELOW
 GENERATOR ROOM BELOW



KENNEDY CONSULTING ENGINEERS
 ARCHITECTS
 INTERIOR DESIGNERS

BCA
 BUILDING CONSULTANTS ASSOCIATION
 1000 WEST 10TH AVENUE
 SUITE 1000
 DENVER, CO 80202

POLYGON
 POLYGON ARCHITECTS
 1000 WEST 10TH AVENUE
 SUITE 1000
 DENVER, CO 80202

KENNEDY CONSULTING ENGINEERS ARCHITECTS INTERIOR DESIGNERS
 1000 WEST 10TH AVENUE
 SUITE 1000
 DENVER, CO 80202

COURTYARD PLAN
 SHEET NO. 101

A12

NEW PROPERTY LINE (CL OF ROAD)

PROPOSED PROPERTY LINE

SERBAC

12609958
 Plan #3

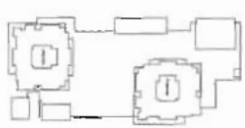
FEB 13 2013

DP

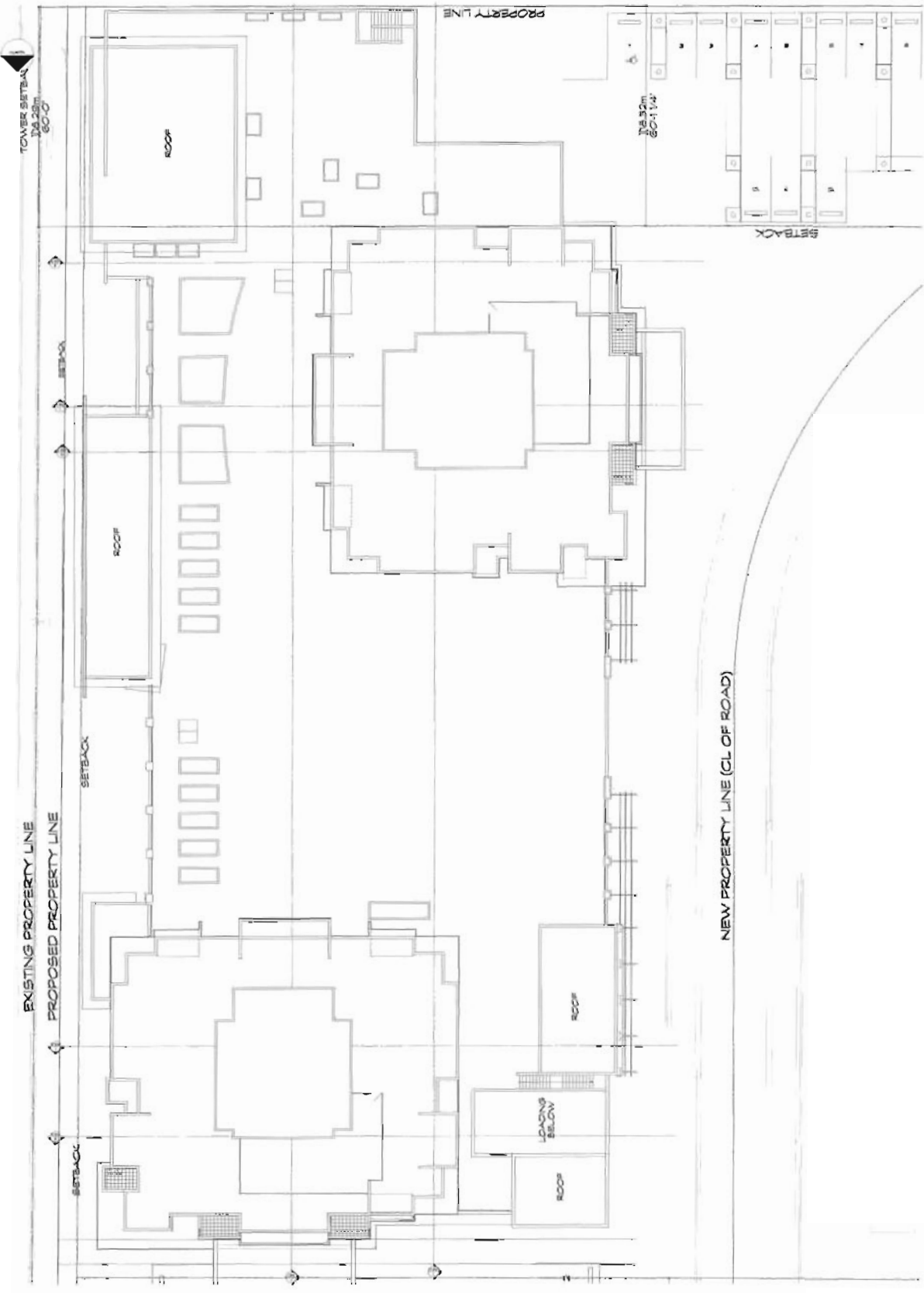
• A13

ROOF PLAN

KWANG MINOR TOWERS



Scale: 1/8" = 1'-0"
DATE: 02/13/13
PROJECT: KWANG MINOR TOWERS
SHEET: A13



NEW PROPERTY LINE (CL OF ROAD)

EXISTING PROPERTY LINE

PROPOSED PROPERTY LINE

TOWER SETBACK
128'-0"
60'-0"

SETBACK

SETBACK

ROOF

ROOF

ROOF

ROOF

LOADING BELOW

ROOF

ROOF

SETBACK

TOWER SETBACK

PROPERTY LINE

Plan # 5

12 609958

FEB 13 2013

JP

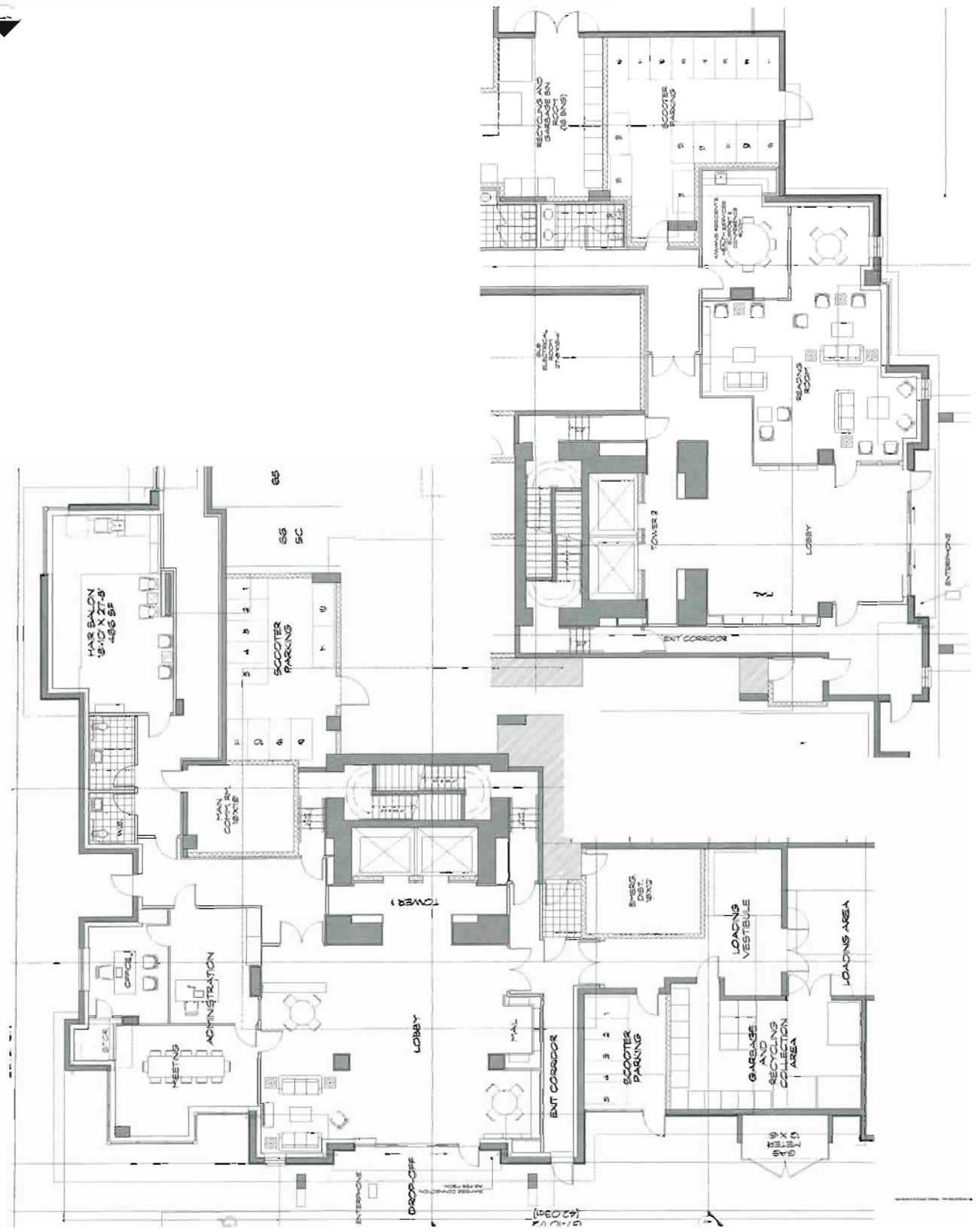
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-	AUG		

LOBBY DETAILS	
NO.	REV.

KIMMINS ARCHITECTURE	
1000 10th St. N.	
TAMPA, FL 33604	
TEL: 813.251.1000	
WWW.KIMMINSARCH.COM	



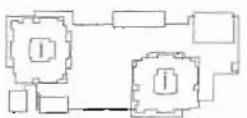
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PROJECT STATUS	
PROJECT DATE	
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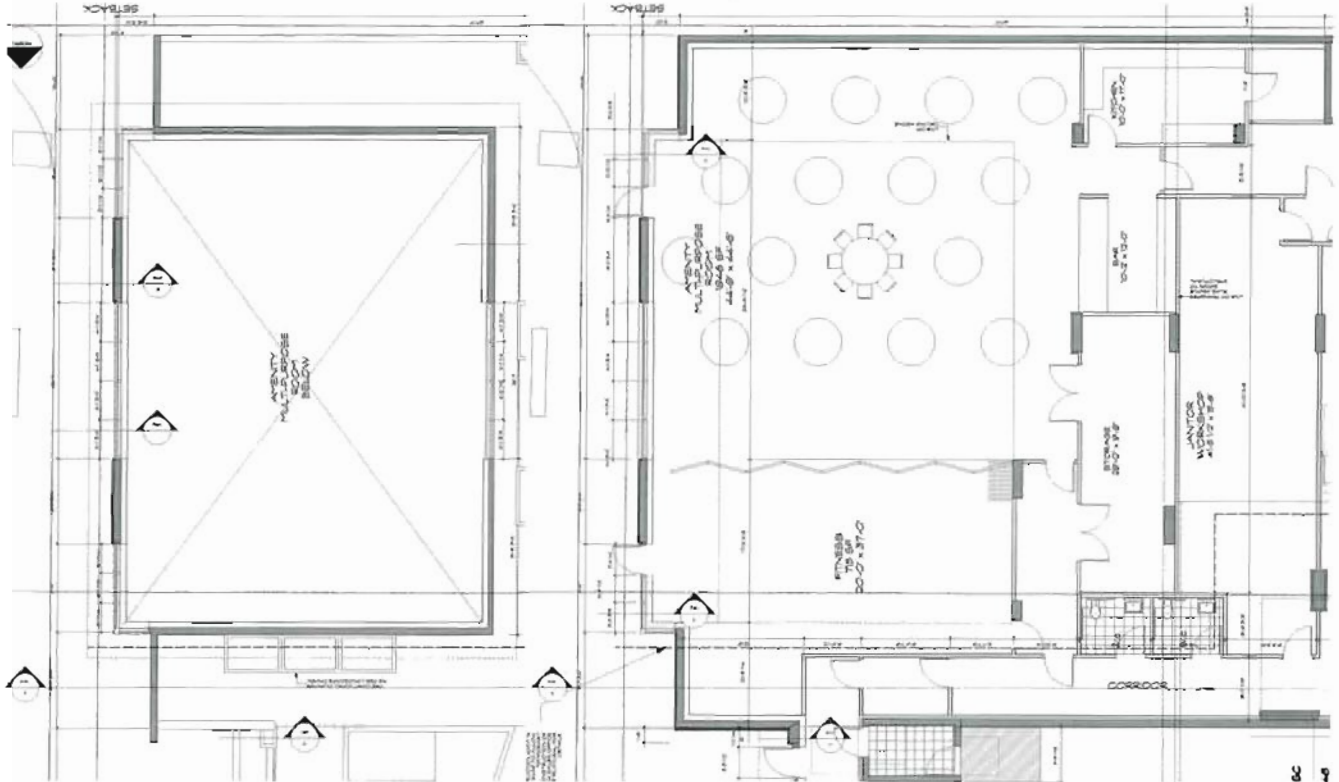
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AGENT DETAILS	

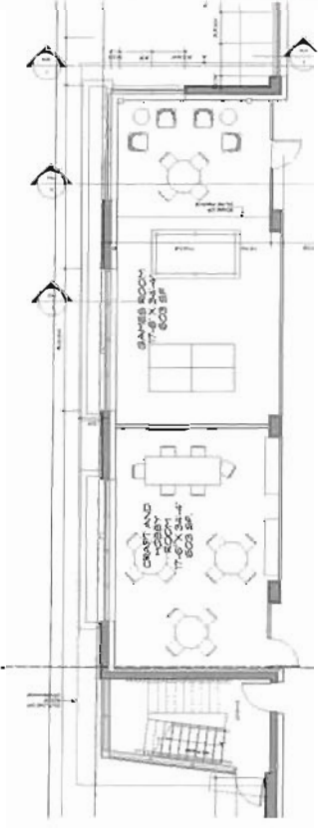
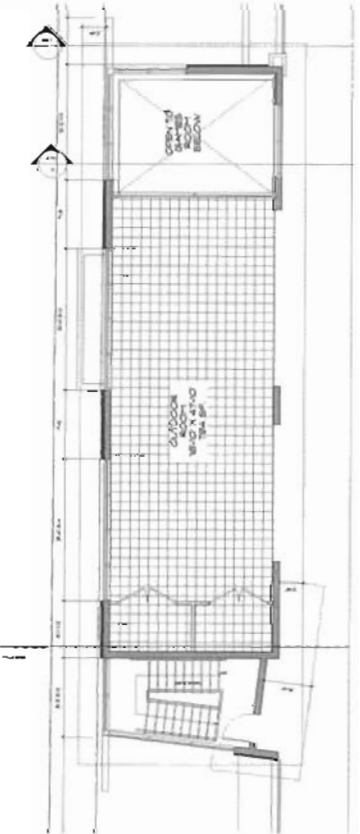
KAWAS MANGAL TOWERS	
400 Westinghouse Blvd	



NOTES	
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8



12609958

Rev #7

FEB 13 2013

DR
-
AUS

KWAN'S MINOR TOWERS
STREETSCAPE

POLYGON

POLYGON

RCA



STREETSCAPE ALONG MINORU (EAST ELEVATION)

NOTES:

1. THIS DRAWING IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. MATERIALS AND FINISHES TO BE DETERMINED AT A LATER DATE.
4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. THIS DRAWING IS THE PROPERTY OF POLYGON ARCHITECTS AND SHOULD NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF POLYGON ARCHITECTS.

DATE: FEB 13 2013

BY: POLYGON ARCHITECTS

FOR: KWAN'S MINOR TOWERS

PROJECT NO.: 12609958

SCALE: AS SHOWN

12609958

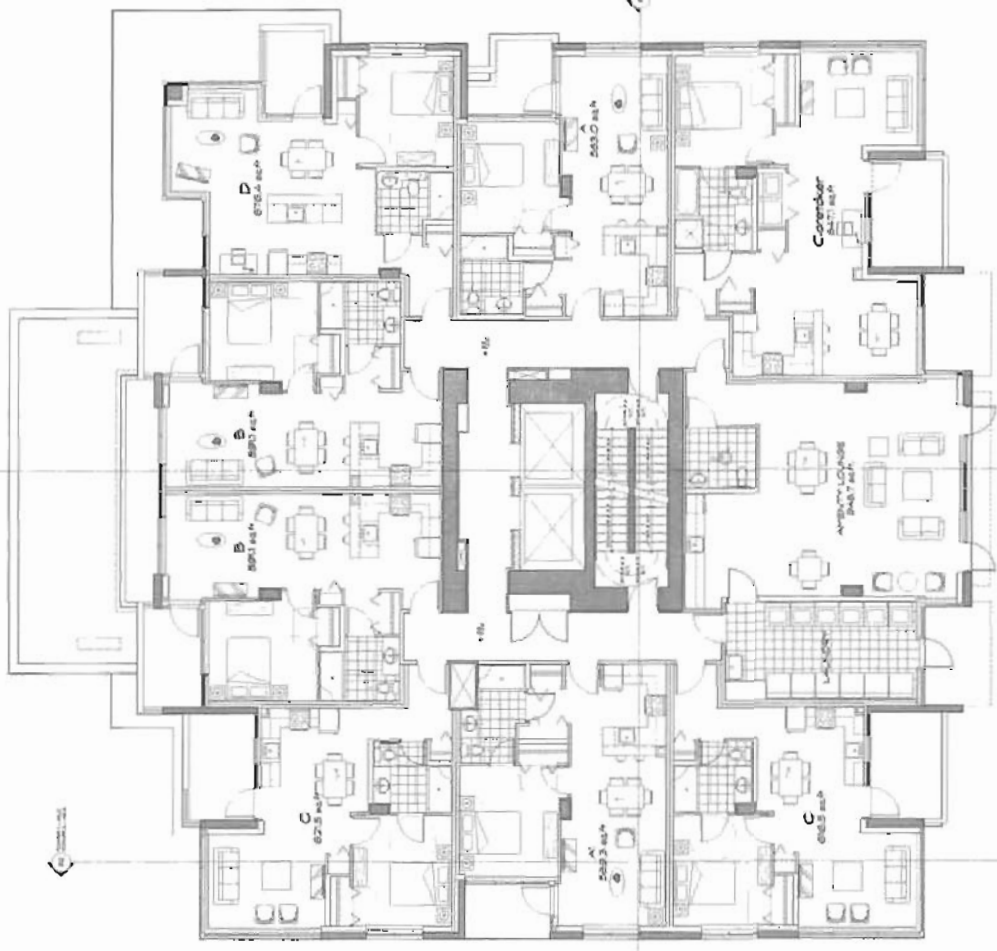
Level 2 Plan

KAWAHS TOWERS
1000 10th St
Denver, CO



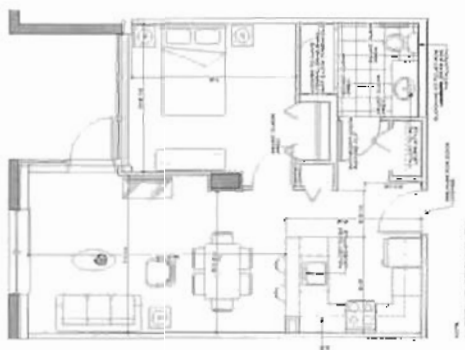
RCA
ARCHITECTS
1000 10th St
Denver, CO

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0200	1,200	111.5



GENERAL NOTES - ARCHITECTURAL DESIGN AND CONSTRUCTION

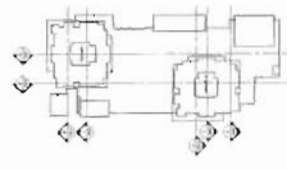
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPMC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABLE DESIGN AND CONSTRUCTION CODE (ISDCC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL WELL-BEING AND PRODUCTIVITY CODE (IWPC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
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- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL EDUCATION AND RESEARCH CODE (IERC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
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- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESILIENCE AND ADAPTABILITY CODE (IRAC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABLE DEVELOPMENT CODE (ISDC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
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- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL QUALITY AND EXCELLENCE CODE (IQEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
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- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABLE DEVELOPMENT CODE (ISDC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.



SEE PLAN FOR ALL DIMENSIONS UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

Dr

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Client	XXXXXX
Architect	XXXXXX
Scale	1/8" = 1'-0"
Date	XXXXXX



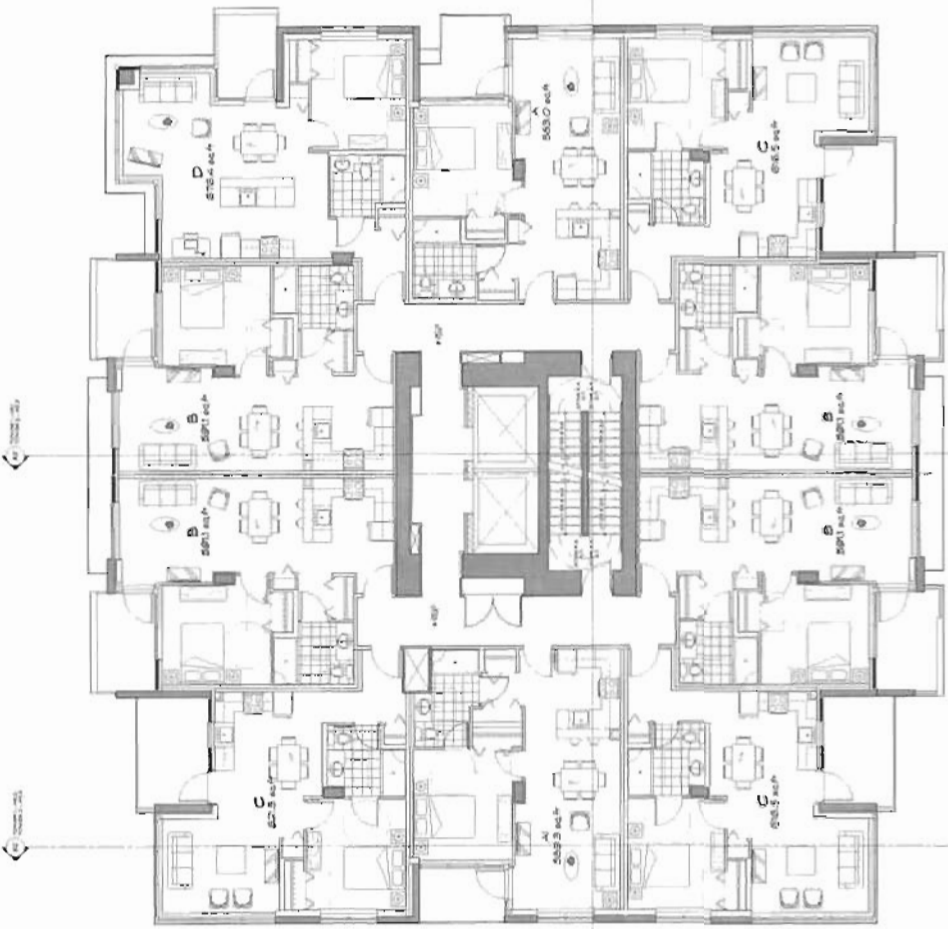
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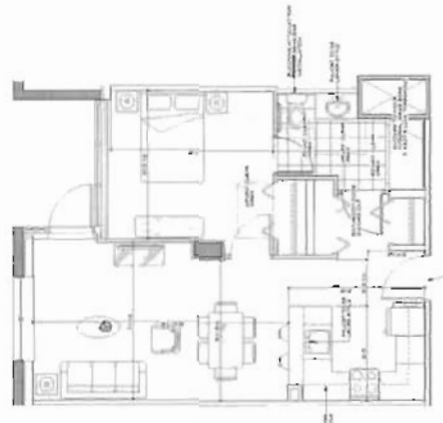
POLITON
 KINGMAN TOWERS
 ...

Sheet No.	12609958
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Scale	1/8" = 1'-0"
Date	XXXXXX

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504	Office	120
505	Office	120
506	Office	120
507	Office	120
508	Office	120
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595	Office	120
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597	Office	120
598	Office	120
599	Office	120
600	Office	120



- GENERAL NOTES - UNIVERSAL DESIGN: EIGHT LIVES**
1. THIS PLAN SHOWS THE UNIVERSAL DESIGN OF THE BUILDING. THE DESIGNER HAS CONSIDERED THE NEEDS OF ALL PEOPLE, REGARDLESS OF THEIR ABILITIES.
 2. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH MOBILITY IMPAIRMENTS.
 3. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH HEARING AND VISION IMPAIRMENTS.
 4. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH COGNITIVE IMPAIRMENTS.
 5. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH PHYSICAL IMPAIRMENTS.
 6. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH SENSORY IMPAIRMENTS.
 7. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH COMMUNICATION IMPAIRMENTS.
 8. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH CHRONIC HEALTH CONDITIONS.
 9. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH AGE-RELATED IMPAIRMENTS.
 10. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH MULTIPLE IMPAIRMENTS.
 11. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH CULTURAL AND LANGUAGE DIFFERENCES.
 12. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH ECONOMIC DIFFERENCES.
 13. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH EDUCATIONAL DIFFERENCES.
 14. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH SOCIAL DIFFERENCES.
 15. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH RELIGIOUS DIFFERENCES.
 16. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH SEXUAL ORIENTATION DIFFERENCES.
 17. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH GENDER DIFFERENCES.
 18. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH MARITAL STATUS DIFFERENCES.
 19. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH FAMILY STATUS DIFFERENCES.
 20. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH CAREER STATUS DIFFERENCES.
 21. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH INTERESTS AND HOBBIES DIFFERENCES.
 22. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH PERSONALITY DIFFERENCES.
 23. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH BELIEFS AND VALUES DIFFERENCES.
 24. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH ATTITUDES DIFFERENCES.
 25. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH EMOTIONS DIFFERENCES.
 26. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH BEHAVIORS DIFFERENCES.
 27. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH PERSONALITY TRAITS DIFFERENCES.
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 60. THE DESIGNER HAS PROVIDED FOR ACCESS TO ALL AREAS OF THE BUILDING BY PEOPLE WITH PERSONALITY Traits DIFFERENCES.



TYPE A L.S. UNIT
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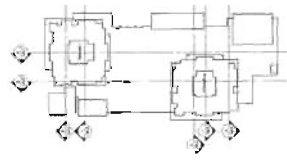
AS5

Level 5-5 Plan

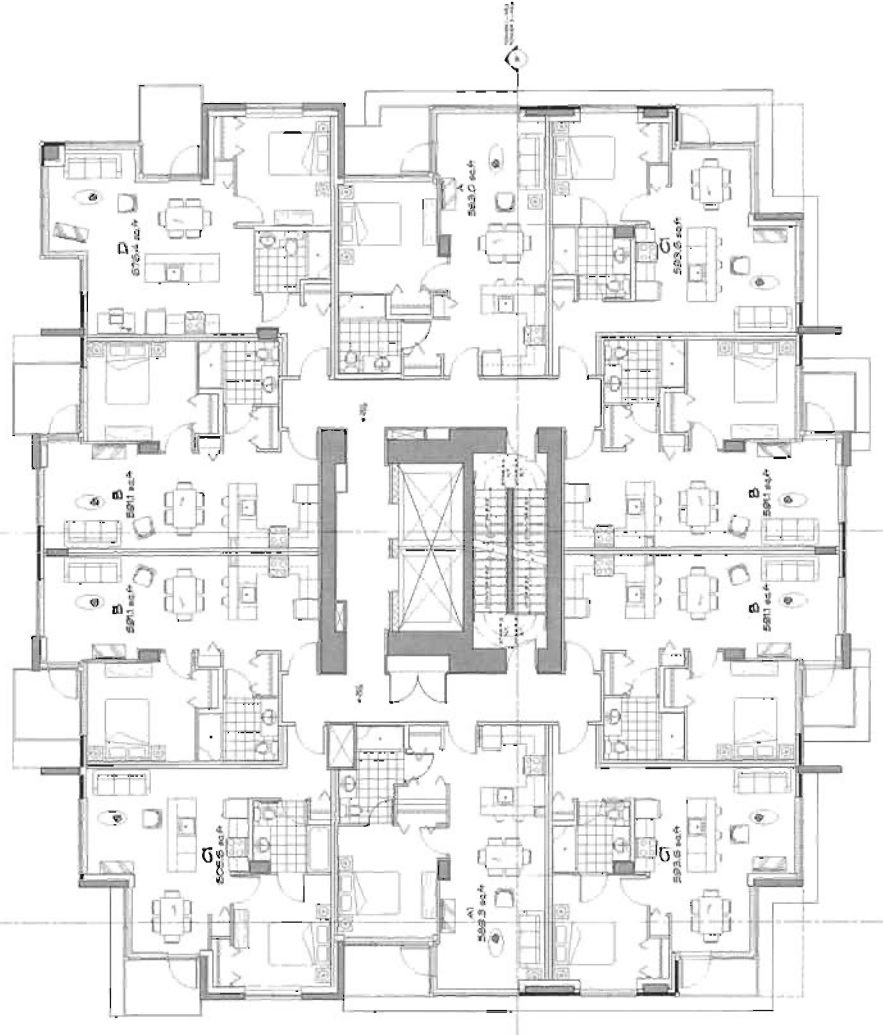
SWANS
TOWERS



RCMA
REGISTERED CONTRACTORS
ARCHITECTS



NO	DESCRIPTION	AREA (SQM)	NO	DESCRIPTION	AREA (SQM)
1	OFFICE AREA	12000	6	HALL	1500
2	CONFERENCE ROOM	500	7	STAIR	500
3	RECEPTION AREA	500	8	TOILET	200
4	RESTROOM	500	9	MEETING ROOM	1000
5	LOBBY	2000	10	RECEPTION AREA	500
11	STAIR	500	11	AVERAGE	22500
12	TOILET	200			
13	MEETING ROOM	1000			
14	RECEPTION AREA	500			
15	HALL	1500			
16	STAIR	500			
17	TOILET	200			
18	MEETING ROOM	1000			
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100	HALL	1500			



SECTION 5-5

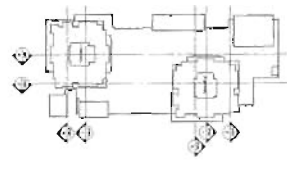
SECTION 5-5



NO.	DESCRIPTION
1	OFFICE
2	CONFERENCE ROOM
3	RECEPTION AREA
4	RESTROOM
5	LOBBY
6	STAIR
7	TOILET
8	MEETING ROOM
9	RECEPTION AREA
10	HALL
11	STAIR
12	TOILET
13	MEETING ROOM
14	RECEPTION AREA
15	HALL
16	STAIR
17	TOILET
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41	STAIR
42	TOILET
43	MEETING ROOM
44	RECEPTION AREA
45	HALL
46	STAIR
47	TOILET
48	MEETING ROOM
49	RECEPTION AREA
50	HALL

DR

Project Name	
Client	
Address	
City	
State	
Zip	
Contract No.	
Revision	
Scale	
Notes	



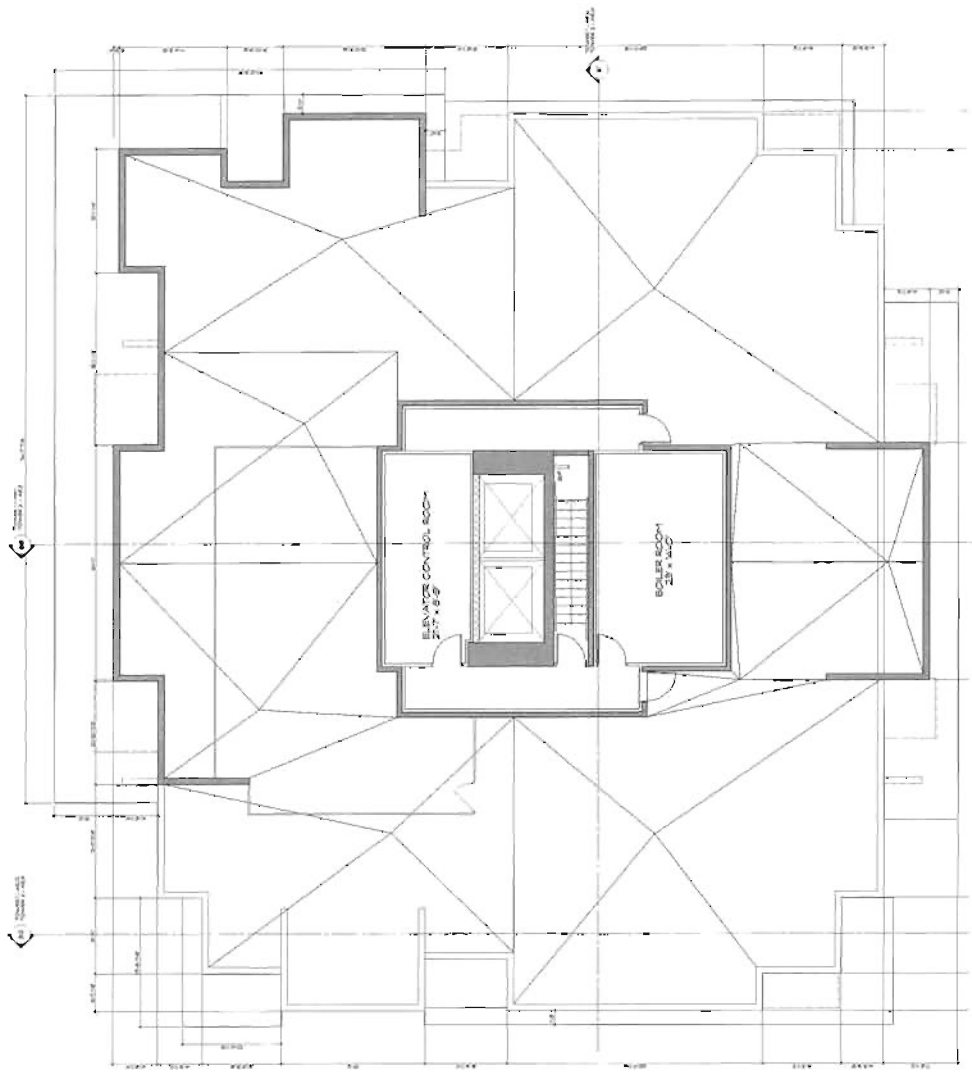
RCA
 REGISTERED PROFESSIONAL ARCHITECT
 1000 Columbia Blvd.
 Suite 100
 Columbia, SC 29201
 Phone: 803.733.1111
 Fax: 803.733.1112



POLYGON
SWAINE
POWERS
 REGISTERED PROFESSIONAL ARCHITECTS

Project Name	
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Contract No.	
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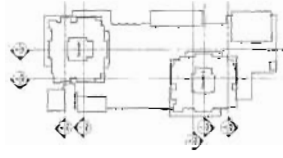


Plan B 15

12600952

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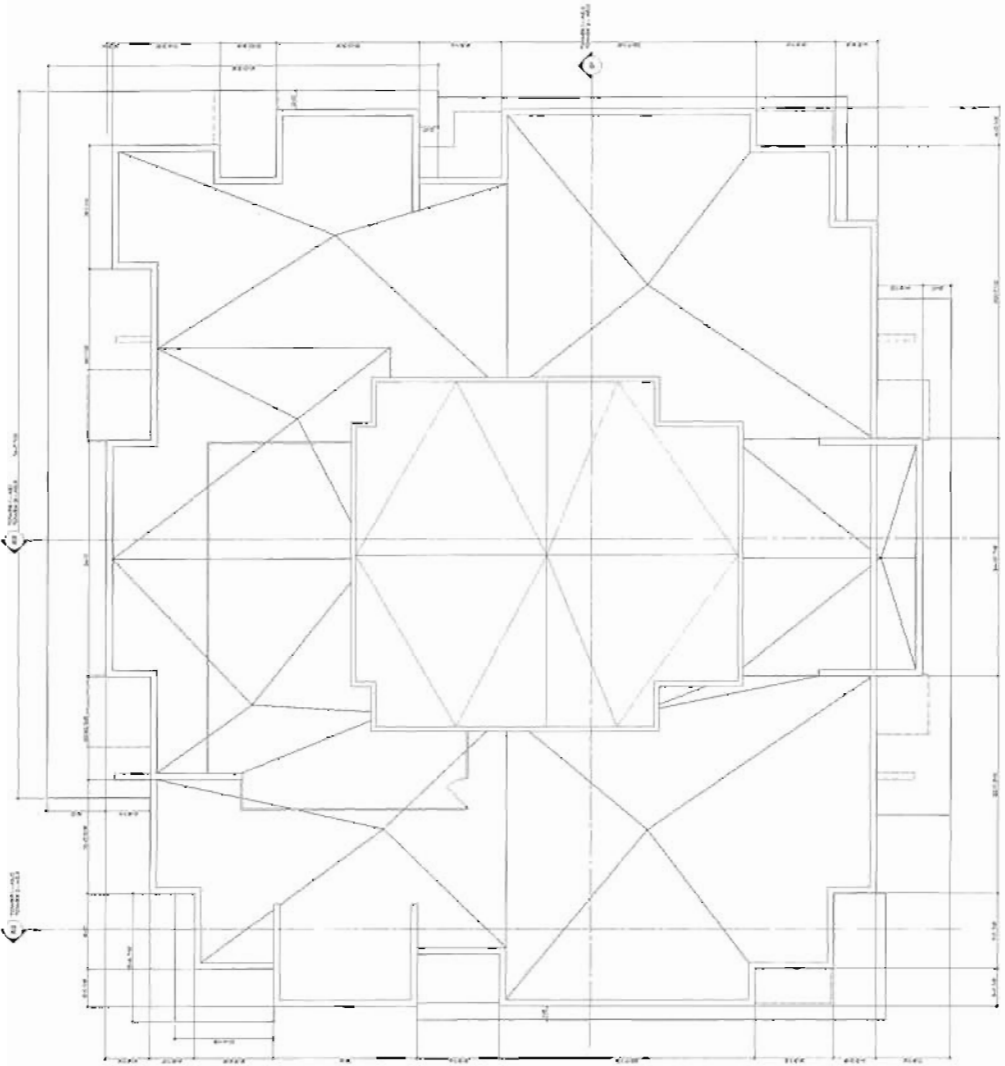


PCGA
 POLYMER CONCRETE
 GROUT AND
 ADHESIVES



POLYCON
 SWANS
 TOWERS

Project No.	12600952
Sheet No.	A-27
Upper Roof Plan	



Scale	1/8" = 1'-0"
Notes	1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
	2. ALL MATERIALS AND METHODS SHALL BE AS SHOWN ON THE DRAWINGS.
	3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
	4. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITY.
	5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.



NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10	NO. 11	NO. 12	NO. 13	NO. 14	NO. 15	NO. 16	NO. 17	NO. 18	NO. 19	NO. 20	NO. 21	NO. 22	NO. 23	NO. 24	NO. 25	NO. 26	NO. 27	NO. 28	NO. 29	NO. 30	NO. 31	NO. 32	NO. 33	NO. 34	NO. 35	NO. 36	NO. 37	NO. 38	NO. 39	NO. 40	NO. 41	NO. 42	NO. 43	NO. 44	NO. 45	NO. 46	NO. 47	NO. 48	NO. 49	NO. 50	NO. 51	NO. 52	NO. 53	NO. 54	NO. 55	NO. 56	NO. 57	NO. 58	NO. 59	NO. 60	NO. 61	NO. 62	NO. 63	NO. 64	NO. 65	NO. 66	NO. 67	NO. 68	NO. 69	NO. 70	NO. 71	NO. 72	NO. 73	NO. 74	NO. 75	NO. 76	NO. 77	NO. 78	NO. 79	NO. 80	NO. 81	NO. 82	NO. 83	NO. 84	NO. 85	NO. 86	NO. 87	NO. 88	NO. 89	NO. 90	NO. 91	NO. 92	NO. 93	NO. 94	NO. 95	NO. 96	NO. 97	NO. 98	NO. 99	NO. 100
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- NOT TO SCALE UNLESS OTHERWISE NOTED
- SYMBOL KEY**
- 1. EXTERIOR PAINTED COLOR
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 - 100. EXTERIOR PAINTED COLOR



12609958
 Feb 17

FEB 13 2013

NO.	DESCRIPTION
1	CONCRETE - PAINTED - COLOR 1
2	CONCRETE - PAINTED - COLOR 2
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100	CONCRETE - PAINTED - COLOR 100

TOWER 1

TOWER 2 BEYOND

RCA

POLYGON

KINGSBORO TOWERS

EDUCATIONAL TOWER REGION
 EASTERN HOUSING SOCIETY

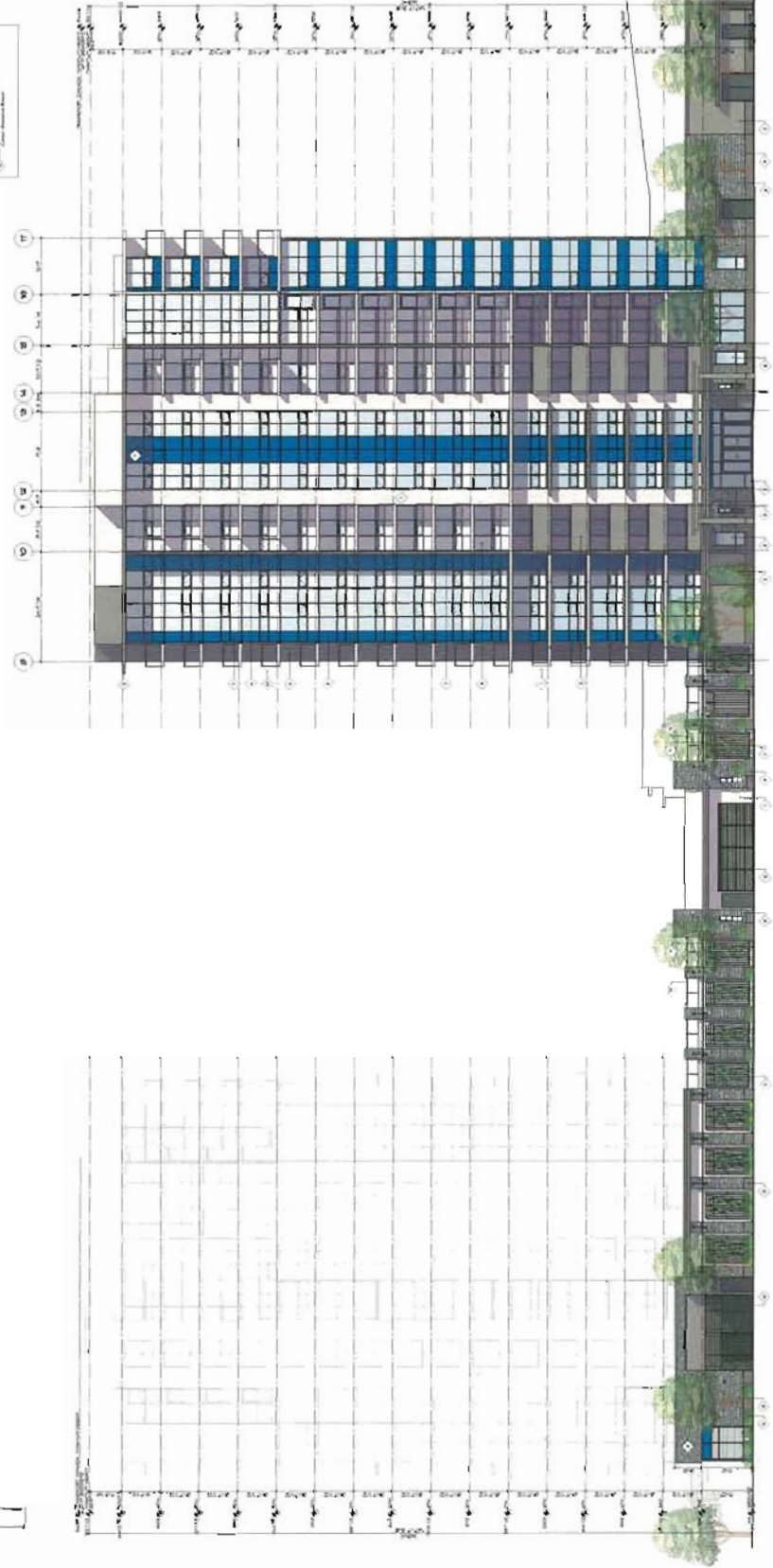
BEST ELEVATION

PROPERTY LINE

DATE: 02/13/2013
 TIME: 10:00 AM
 DRAWN BY: [Name]
 CHECKED BY: [Name]

Project Name	
Client	
Architect	
Scale	
Date	
WEST ELEVATION	
Sheet No.	A4-2

KAVAN'S MINOR TOWERS
 1000 North 10th
 Raleigh, NC



- SYMBOL KEY**
- 1. CORNER - INVERT - COLUMN
 - 2. CORNER - INVERT - COLUMN
 - 3. CORNER - INVERT - COLUMN
 - 4. CORNER - INVERT - COLUMN
 - 5. CORNER - INVERT - COLUMN
 - 6. CORNER - INVERT - COLUMN
 - 7. CORNER - INVERT - COLUMN
 - 8. CORNER - INVERT - COLUMN
 - 9. CORNER - INVERT - COLUMN
 - 10. CORNER - INVERT - COLUMN
 - 11. CORNER - INVERT - COLUMN
 - 12. CORNER - INVERT - COLUMN
 - 13. CORNER - INVERT - COLUMN
 - 14. CORNER - INVERT - COLUMN
 - 15. CORNER - INVERT - COLUMN
 - 16. CORNER - INVERT - COLUMN
 - 17. CORNER - INVERT - COLUMN
 - 18. CORNER - INVERT - COLUMN
 - 19. CORNER - INVERT - COLUMN
 - 20. CORNER - INVERT - COLUMN

Project Name	
Client	
Architect	
Scale	
Date	

12609958
Plan # 19

FEB 13 2013

Project Name	12609958
Client	
Architect	
Scale	
Date	
Drawn by	
Checked by	
Approved by	



KAPPA KAPPA GAMMA
FRATERNITY



RCA
RCA GROUP, INC.
1000 RIVER STREET
ANN ARBOR, MI 48106

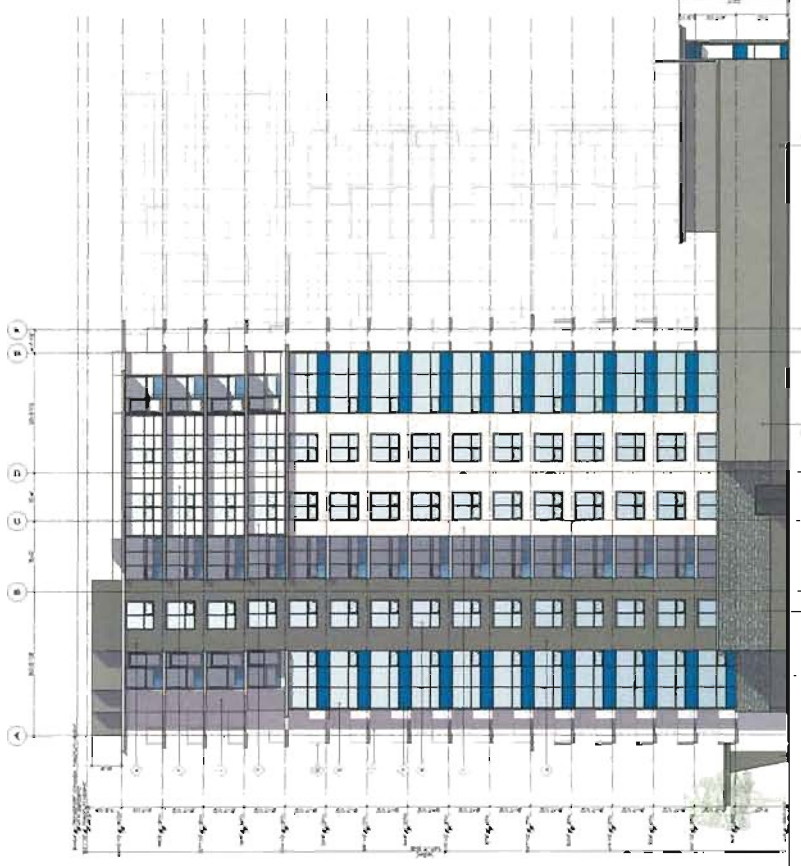
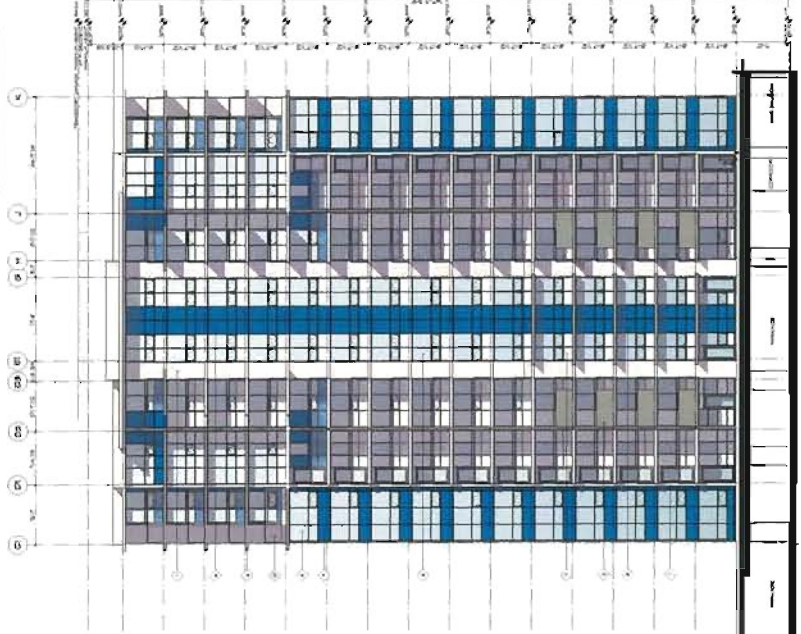


POLYGON
KIVANS MANOR
TOWERS
1000 RIVER STREET
ANN ARBOR, MI 48106

SOUTH
ELEVATION

ANS

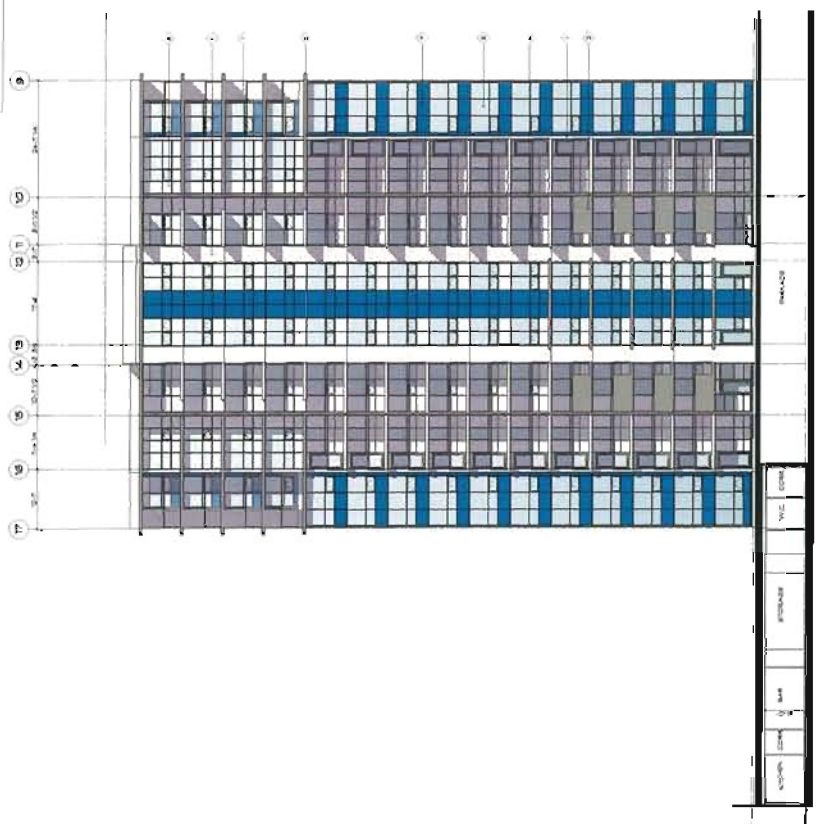
- NOTES TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS
- 1. REFER TO THE SPECIFICATIONS FOR MATERIALS AND FINISHES.
 - 2. REFER TO THE SPECIFICATIONS FOR WINDOW SCHEDULES.
 - 3. REFER TO THE SPECIFICATIONS FOR DOOR SCHEDULES.
 - 4. REFER TO THE SPECIFICATIONS FOR CEILING SCHEDULES.
 - 5. REFER TO THE SPECIFICATIONS FOR FLOOR SCHEDULES.
 - 6. REFER TO THE SPECIFICATIONS FOR LIGHTING SCHEDULES.
 - 7. REFER TO THE SPECIFICATIONS FOR MECHANICAL SCHEDULES.
 - 8. REFER TO THE SPECIFICATIONS FOR ELECTRICAL SCHEDULES.
 - 9. REFER TO THE SPECIFICATIONS FOR PAINT SCHEDULES.
 - 10. REFER TO THE SPECIFICATIONS FOR GLASS SCHEDULES.
 - 11. REFER TO THE SPECIFICATIONS FOR METALS SCHEDULES.
 - 12. REFER TO THE SPECIFICATIONS FOR STONE SCHEDULES.
 - 13. REFER TO THE SPECIFICATIONS FOR TERRAZZO SCHEDULES.
 - 14. REFER TO THE SPECIFICATIONS FOR TILE SCHEDULES.
 - 15. REFER TO THE SPECIFICATIONS FOR CARPET SCHEDULES.
 - 16. REFER TO THE SPECIFICATIONS FOR WOOD SCHEDULES.
 - 17. REFER TO THE SPECIFICATIONS FOR PLASTER SCHEDULES.
 - 18. REFER TO THE SPECIFICATIONS FOR GYPSONUM SCHEDULES.
 - 19. REFER TO THE SPECIFICATIONS FOR CONCRETE SCHEDULES.
 - 20. REFER TO THE SPECIFICATIONS FOR MASONRY SCHEDULES.



NO.	REV.
1	ADD

WEST ELEVATION	
DATE	NO.

KWANS MINOR TOWERS
 12609958
 12609958



- NOTES TO BE LEFT IN LAST 10% OF DRAWING
1. CONSULT WITH ARCHITECT FOR MATERIALS AND FINISHES.
 2. CONSULT WITH ARCHITECT FOR MATERIALS AND FINISHES.
 3. CONSULT WITH ARCHITECT FOR MATERIALS AND FINISHES.
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 19. CONSULT WITH ARCHITECT FOR MATERIALS AND FINISHES.
 20. CONSULT WITH ARCHITECT FOR MATERIALS AND FINISHES.

KANSAN, INC.	
NO.	REV.
1	ADD



1	PROJECT FEATURE STORAGE
2	PARKADE ENTRY
3	PASSENGER CAR TURNAROUND
4	ON-STREET PARKING
5	GRASSCRETE AT MEDIAN



FEB 13 2013

KWANIS TOWERS/CARRERA

OVERALL SITE PLAN

12 609 958

DATE	NTS
SCALE	
PROJECT NO.	
DATE OF PLAN	
DATE OF LAST REVISION	
DESIGNER	
CLIENT	

LDP1.00
Plan # 21

- 1 AMBITY TERRACE
- 2 ENTRY TERRACES
Building entries at Podium Level
- 3 PLAY AREA
- 4 SEATING NOSE
- 5 WOOD SURFACE PATH
- 6 LAWN
- 7 PRIVATE PATIOS
- 8 ARCHITECTURAL ARBORS
- 9 COMMUNITY GARDEN
- 10 PLANTING
- 11 WATER FEATURE
- 12 GREEN SCREEN
- 13 PUBLIC ART WALL
- 14 PROJECT FEATURE STORAGE
- 15 PARKADE ENTRY
- 16 PASSENGER CAR TURNAROUND
- 17 ON-STREET PARKING
- 18 GRASSCRETE AT MEDIAN



1	CONCRETE	CONCRETE
2	BRICK	BRICK
3	GLASS	GLASS
4	STEEL	STEEL
5	WOOD	WOOD
6	PLASTER	PLASTER
7	PAINT	PAINT
8	ROOFING	ROOFING
9	LANDSCAPE	LANDSCAPE
10	MECHANICAL	MECHANICAL
11	ELECTRICAL	ELECTRICAL
12	PLUMBING	PLUMBING
13	MECHANICAL	MECHANICAL
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KIWANIS TOWERS/CARRERA

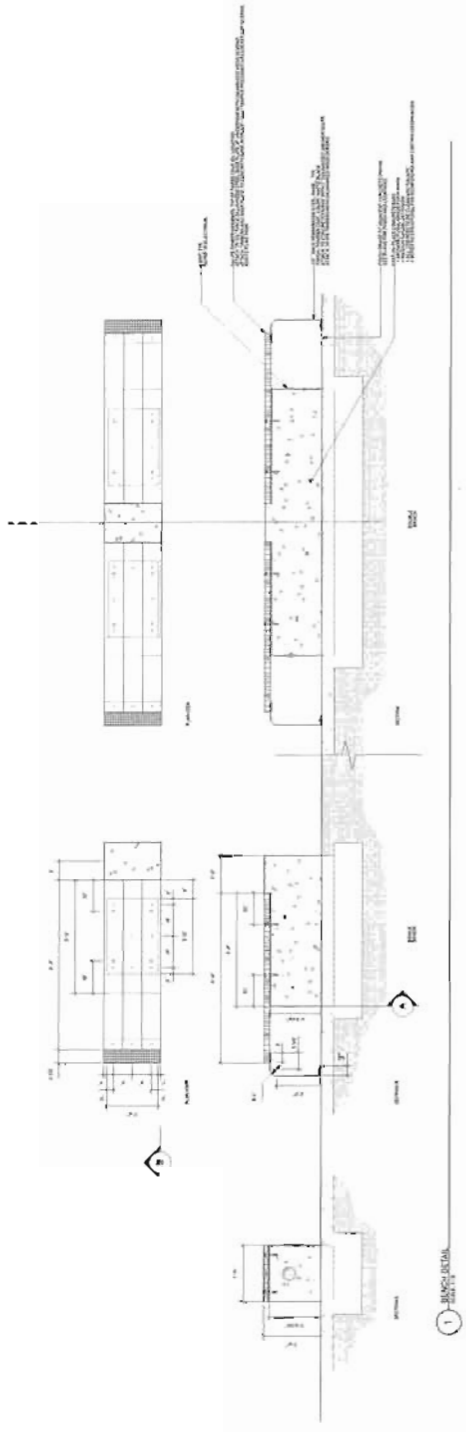
**KIWANIS SITE PLAN
GROUND FLOOR**

DATE	1/13/2013
SCALE	1"=20'-0"
PROJECT	KIWANIS TOWERS/CARRERA
CLIENT	KIWANIS CLUB OF VANCOUVER
ARCHITECT	PWL PARTNERSHIP
DESIGNER	KEVIN CHEN
DRAWN BY	KEVIN CHEN
CHECKED BY	KEVIN CHEN
DATE	1/13/2013

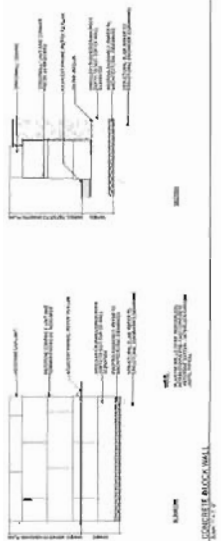
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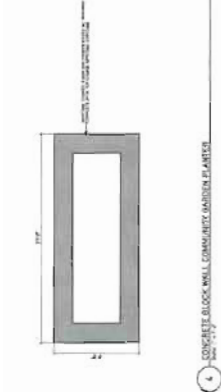
DP 12609958
 FEB 13 2013
 Plan # 22



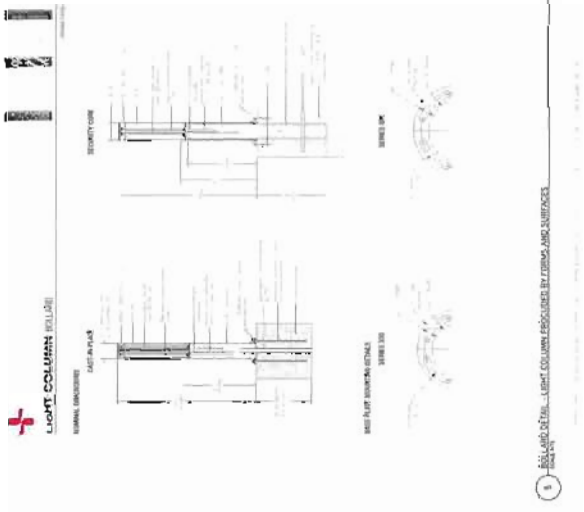
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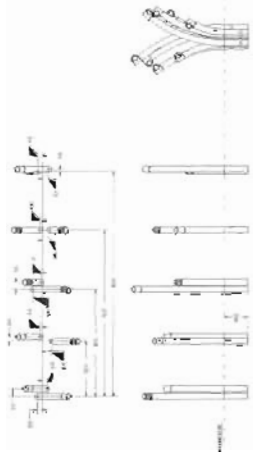
3 CONCRETE BLOCK WALL



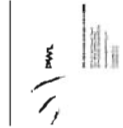
4 CONCRETE BLOCK WALL CONCRETE MORTAR PLASTER



5 LIGHT COLUMN CONCRETE MORTAR PLASTER CONCRETE BLOCK WALL



6 BRICK WALL CONCRETE MORTAR PLASTER CONCRETE BLOCK WALL



1. CONCRETE MORTAR PLASTER
 2. CONCRETE BLOCK WALL
 3. CONCRETE BLOCK WALL
 4. CONCRETE BLOCK WALL
 5. CONCRETE BLOCK WALL



POLYGON
 12609958
 12609958

SITE FURNISHINGS

AS BUILT

Plan # 25

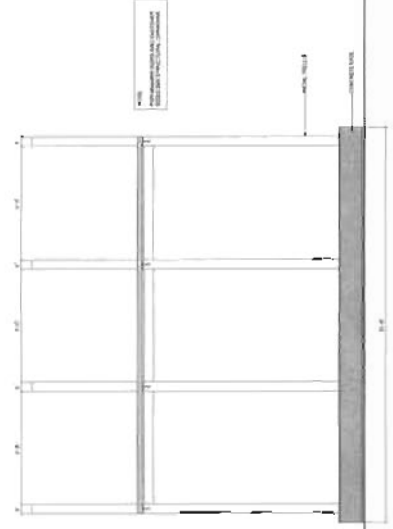
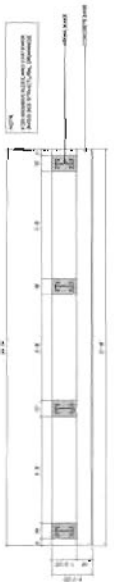
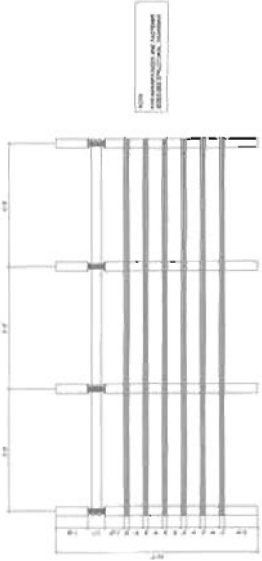
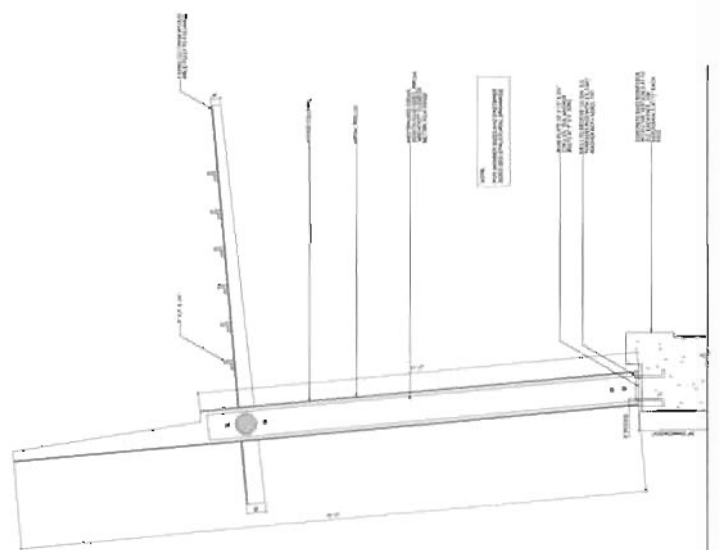
AS SHOWN	
DATE	
BY	
CHECKED	
APPROVED	

DETAILS

POLYGON



RCA Robert Clough Incorporated Inc.



1. WINDOW FRAME

SCALE

SCALE

1. WINDOW FRAME

12 609958

L502

Plan # 27



POLYGDN

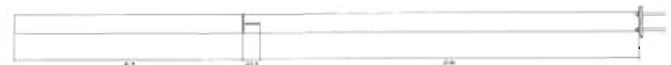
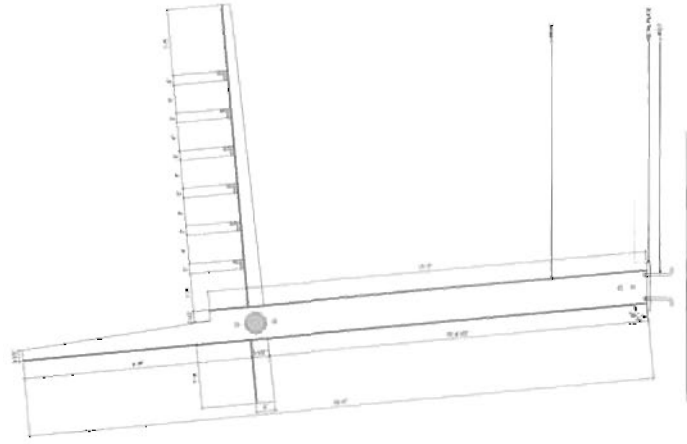
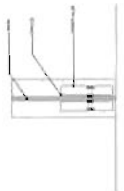
BRANDS FINISHES

TRELLIS DETAILS

AS SHOWN
DATE
BY
CHECKED
APPROVED



PROJECT
DATE
BY
CHECKED
APPROVED

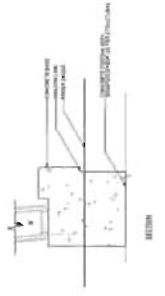


SECTION

SECTION

SECTION

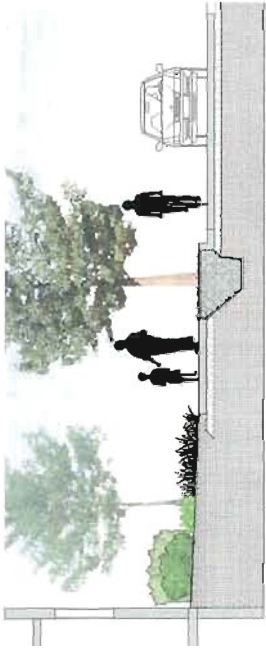
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SECTION

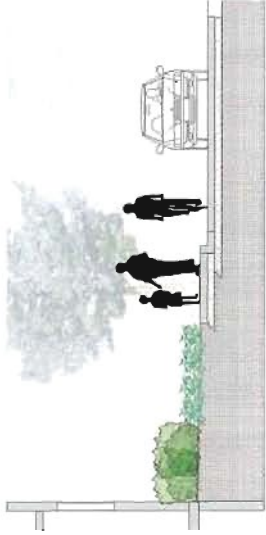
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1. CONCRETE BASE DETAIL



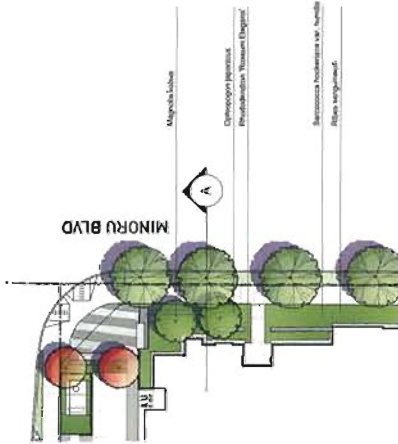
PLANTING SIDEWALK GRASS BOULEVARD BIKE LANE MINORU BLVD

SECTION A
1/8" = 1'-0"



PLANTING SIDEWALK GRASS BOULEVARD BIKE LANE MINORU BLVD

SECTION B
1/8" = 1'-0"



MINORU BLVD ELEVATION
1/8" = 1'-0"



PLANT IMAGES
1/8" = 1'-0"

DP 12609958

FEB 13 2013

Plan # 28



1	PLANTING	SEE PLAN
2	PLANTING	SEE PLAN
3	PLANTING	SEE PLAN
4	PLANTING	SEE PLAN
5	PLANTING	SEE PLAN
6	PLANTING	SEE PLAN
7	PLANTING	SEE PLAN
8	PLANTING	SEE PLAN
9	PLANTING	SEE PLAN
10	PLANTING	SEE PLAN



KIWANIS TOWERS/CARRERA

KIWANIS BLOWUPS/ELEVATIONS

DATE	1/13/13
BY	AS INDICATED
SCALE	1/8" = 1'-0"
PROJECT	MINORU BLVD
CLIENT	THE CITY OF VANCOUVER
LOCATION	MINORU BLVD
DESIGNER	PWS LANDSCAPE ARCHITECTURE, INC.
DATE	1/13/13

LDP6.00

REVISION	DATE	DESCRIPTION
1	2/13/20	ISSUED FOR PERMIT
2	2/13/20	ISSUED FOR PERMIT
3	2/13/20	ISSUED FOR PERMIT
4	2/13/20	ISSUED FOR PERMIT
5	2/13/20	ISSUED FOR PERMIT
6	2/13/20	ISSUED FOR PERMIT
7	2/13/20	ISSUED FOR PERMIT
8	2/13/20	ISSUED FOR PERMIT
9	2/13/20	ISSUED FOR PERMIT
10	2/13/20	ISSUED FOR PERMIT
11	2/13/20	ISSUED FOR PERMIT
12	2/13/20	ISSUED FOR PERMIT



KIWANIS TOWERS/CARRERA

KIWANIS BLOWUPS/ELEVATIONS

AS INDICATED	
DATE	BY
1/17/20	1/17/20
DATE	DATE
APRIL 04 2022	APRIL 04 2022
DATE	DATE
LAST DATE 04-03-2022 PM	LAST DATE 04-03-2022 PM
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE

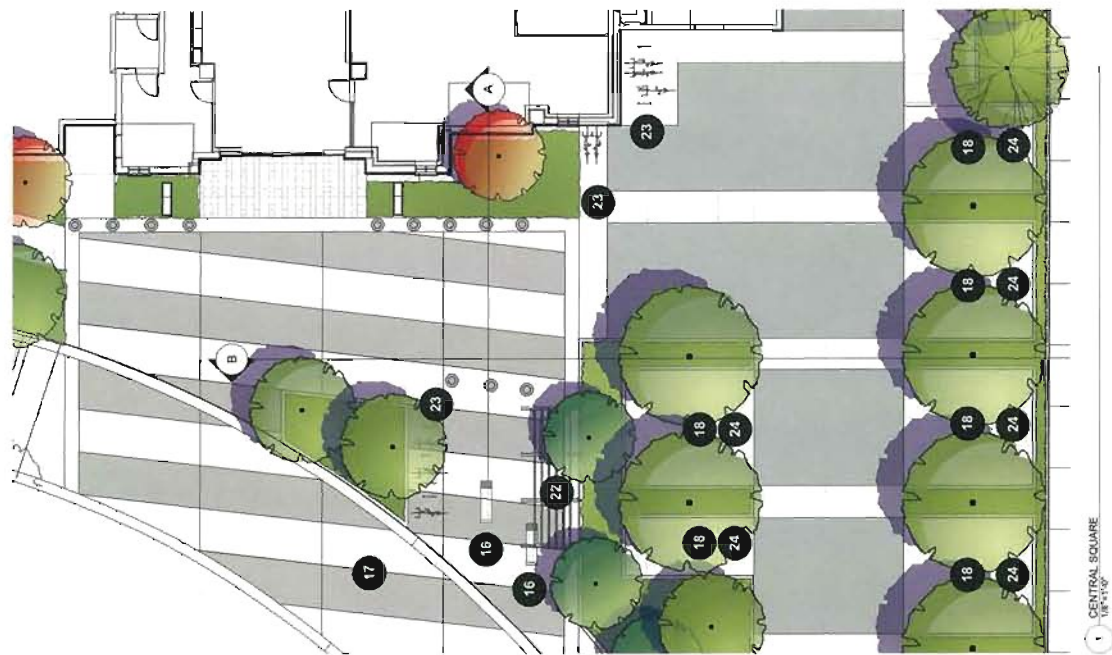
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DR 12609958
 Plan # 29



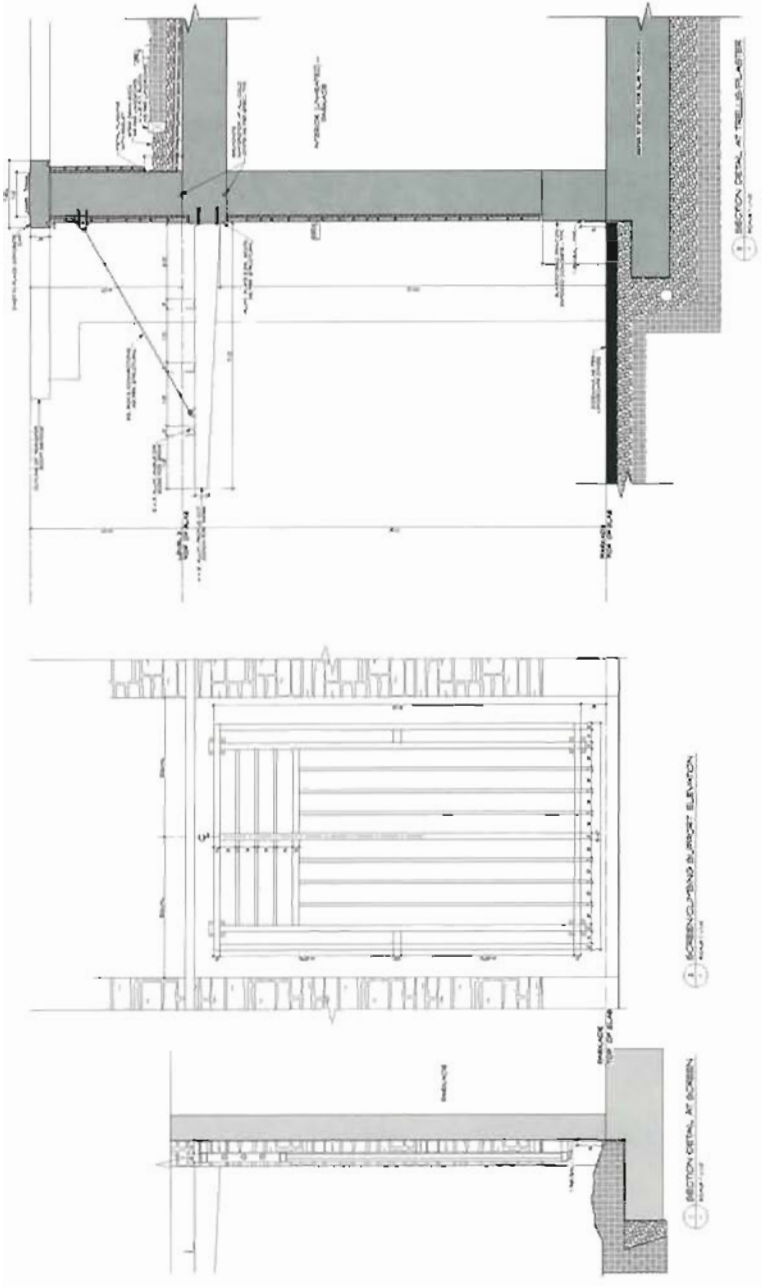
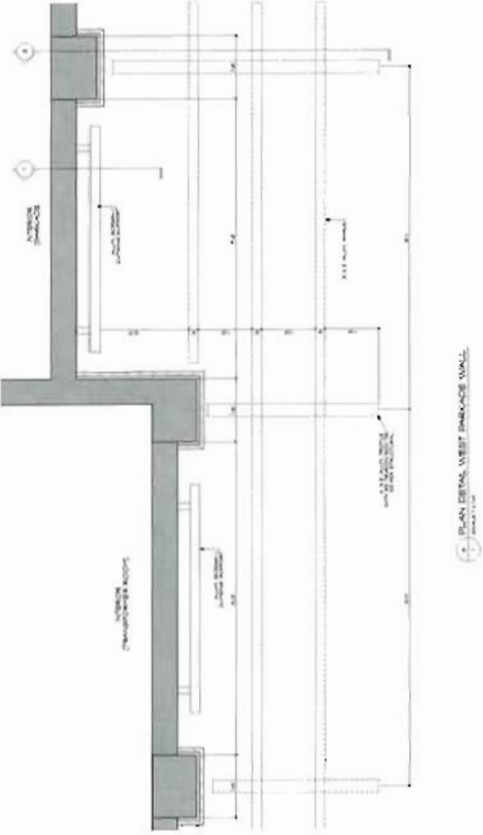
LEGEND

1	CUSTOM SEATING ELEMENT
2	PLAZA
3	PARKING PASSIVE
4	PROJECT ARRANGEMENT
5	FIRE PIT
6	GREEN SCREEN
7	CUSTOM TRELIS
8	BIKE RACK
9	STRUCTURAL SON



CENTRAL SQUARE
 1/4\"/>

1.0	GENERAL NOTES
1.1	ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESISTIVE DESIGN CODE (IRC).
1.2	ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND THE ENGINEER.
1.3	ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE ENGINEER.
1.4	ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE ENGINEER.
1.5	ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE ENGINEER.
1.6	ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE ENGINEER.
1.7	ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE ENGINEER.
1.8	ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE ENGINEER.
1.9	ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE ENGINEER.
1.10	ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE ENGINEER.



12 609958
FEB 13 2013

Plan #30

INTERNATIONAL BUILDING CODE

RCA

REINFORCED CONCRETE ASSOCIATION

POLYGON

CONCRETE PRODUCTS

KAWNEER

CONCRETE TOWERS

RELLUSCREEN

DETAILS

REV. NO.

DATE

BY

CHK

REV. NO.

DATE

BY

CHK

Reference

12609958

FEB 13 2013

DP

AA10

Model View	
View Name	
View Type	

KOWANS MINDRU TOWERS
 10000 10th Ave
 Richmond, BC

POLYGON
 ARCHITECTURE

RCA
 REALTY COMPANY
 1000 10th Ave
 Richmond, BC



VIEW FROM MINDRU LOOKING NORTHWEST

Model View	
View Name	
View Type	

Reference

12 609 958

FEB 13 2013

DR

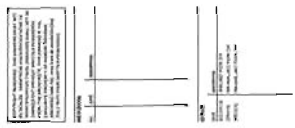
A49

Model View

KAWAIA WIND TOWERS

POLYGON

PGA



VIEW OF INTERNAL STREET AND TOWER 2 ENTRY

Revised

12 609 958

FEB 13 2013

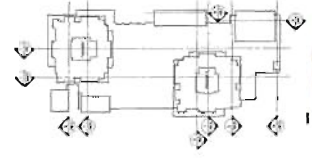
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Building Section - 3

KAVANS TOWERS
 4227 17th St NW
 Atlanta, GA

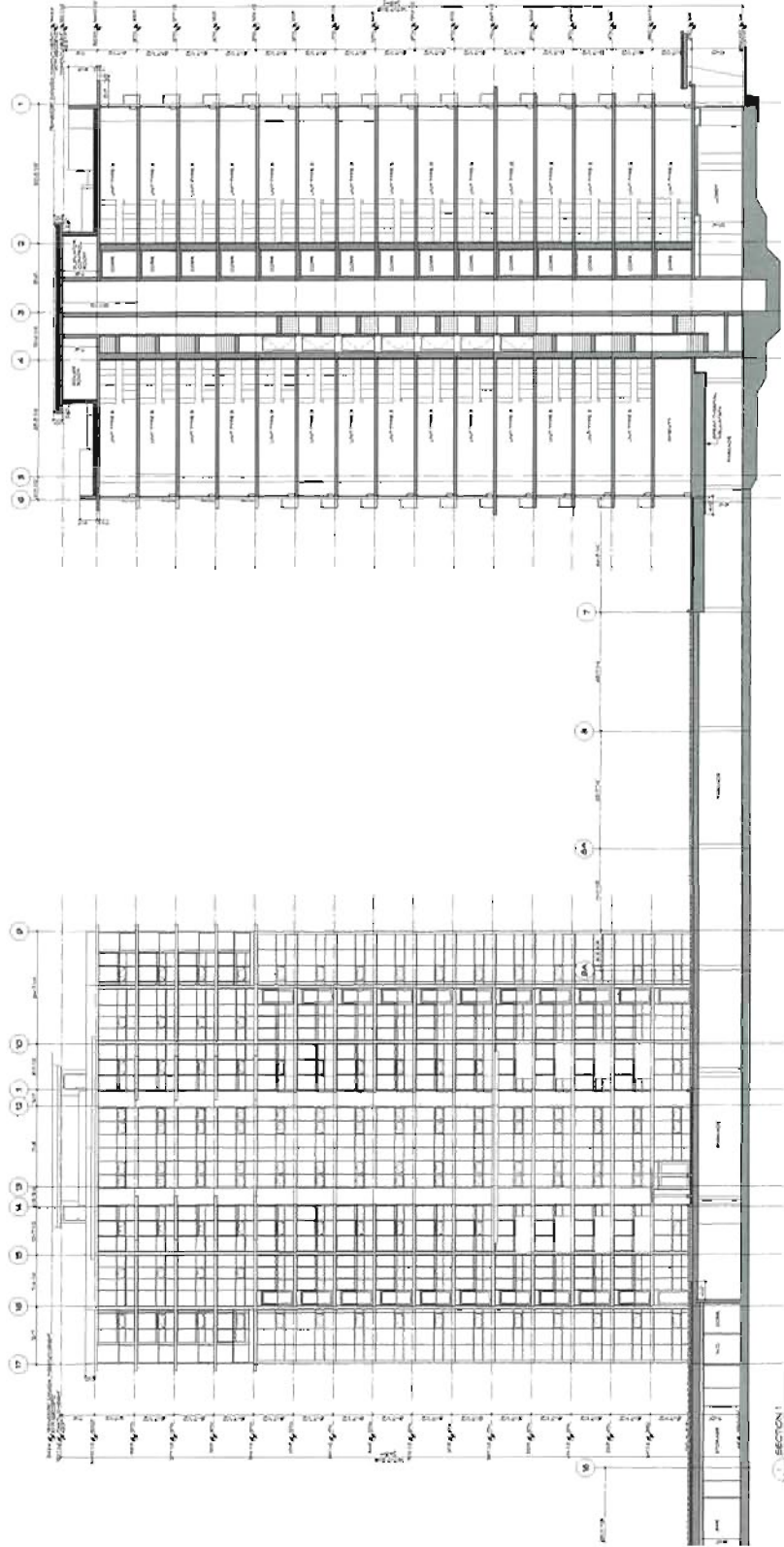


RCA
 REGISTERED ARCHITECTS
 100 Peachtree Street, N.W.
 Atlanta, Georgia 30309
 Tel: 404.524.1400
 Fax: 404.524.1401

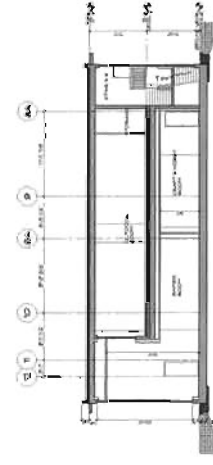


NO.	DESCRIPTION
1	SECTION 1
2	SECTION 2
3	SECTION 3

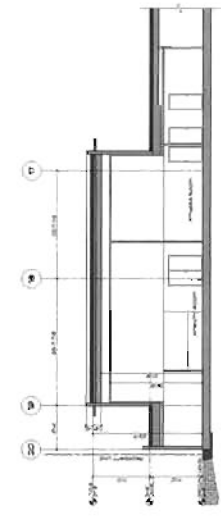
TOWER 1



TOWER 2



SECTION 3 North Amenity Area



SECTION 2 South Amenity Area

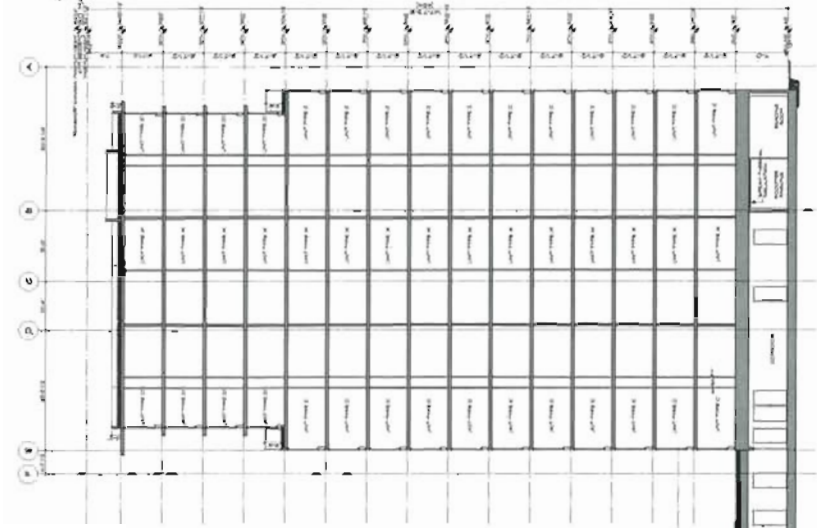
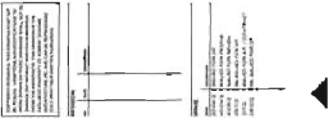
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Building Sections

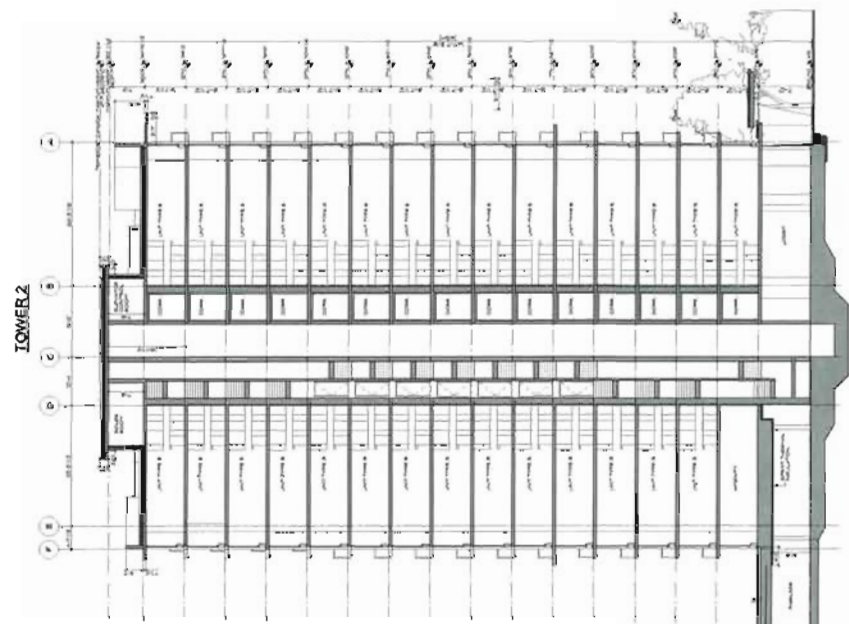
KAWANIS TOWERS
12000 120th Ave, SE
Burien, WA 98148



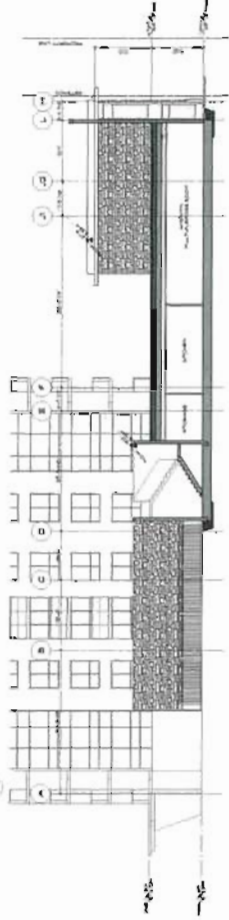
RCA
REGISTERED ARCHITECTS
1200 1st Ave, Suite 1000
Seattle, WA 98101
Tel: 206.467.1000
Fax: 206.467.1001
www.rcaarchitects.com



TOWER 2



TOWER 2



SECTION 3

SECTION 4



CARRERA



DP 12609958

FEB 13 2013

Reference



Overall Site Area (Gross)
 2,024.45
 Road Deductible Area for Access Driv
 Market Towers Site Area - NET

2,024.45
 372,846.76
 26,682.24
 20,531.54
 131,248.99



PHASE #1	TOTAL GROSS	FAR AREA	GROSS/FLOOR	FAR/FLOOR	NO OF FLOORS
U1	2,593.00	2,593.00	2,593.00	2,593.00	1
U2	14,972.00	14,972.00	14,972.00	14,972.00	1
U3	12,004.00	12,004.00	12,004.00	12,004.00	1
U4	96,370.00	96,370.00	96,370.00	96,370.00	1
U5	11,485.00	11,485.00	11,485.00	11,485.00	1
U6	10,925.00	10,925.00	10,925.00	10,925.00	1
TOTAL	159,349.00	159,349.00	159,349.00	159,349.00	6

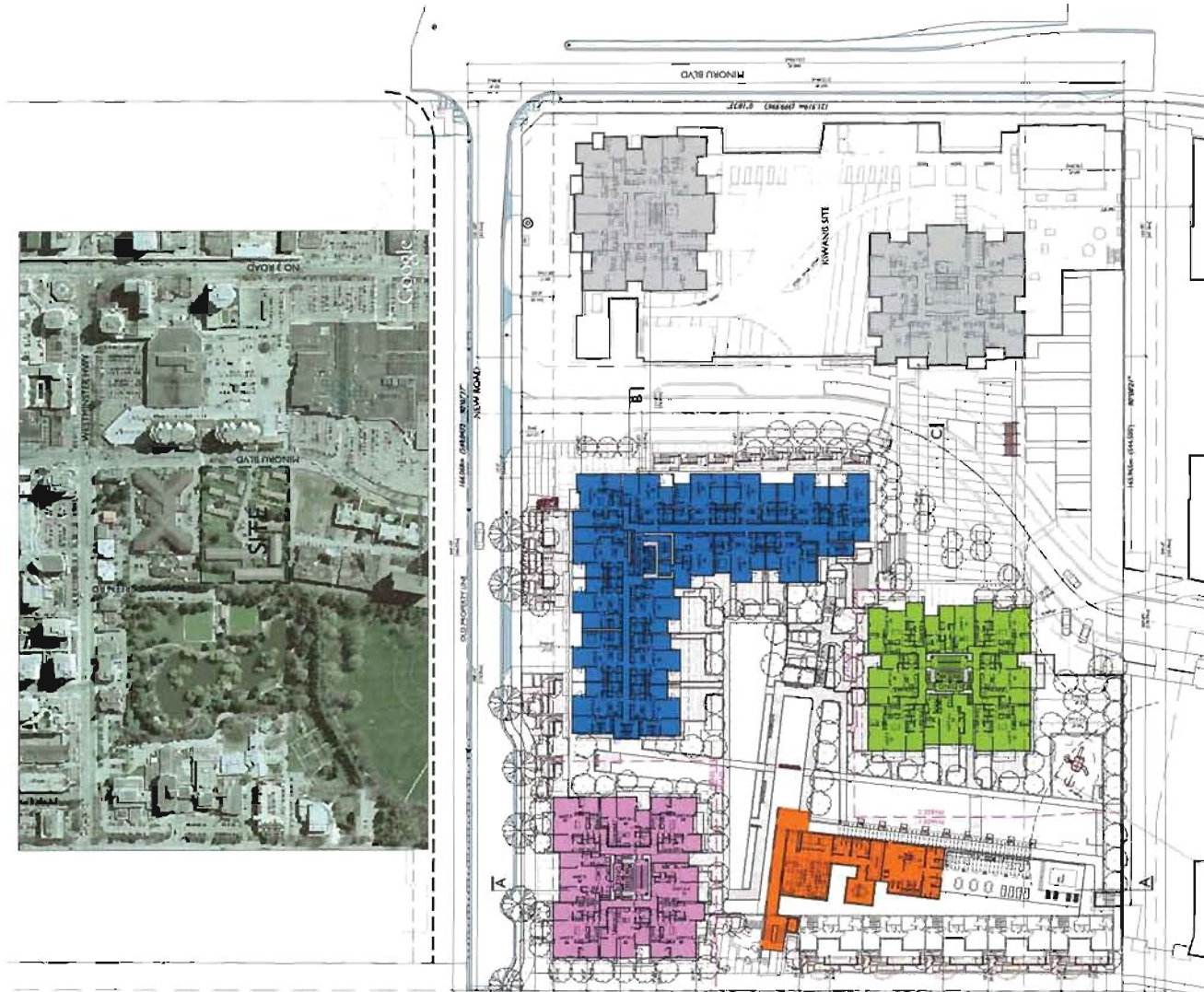
BUILDING #1 - TOTAL NO OF UNITS = 128	PHASE #2	TOTAL GROSS	FAR AREA	GROSS/FLOOR	FAR/FLOOR	NO OF FLOORS
U7	2,908.00	2,908.00	2,908.00	2,908.00	1	
U8	3,320.00	3,320.00	3,320.00	3,320.00	1	
U9	4,831.00	4,831.00	4,831.00	4,831.00	1	
U10	3,750.00	3,750.00	3,750.00	3,750.00	1	
U11	18,290.00	18,290.00	18,290.00	18,290.00	1	
U12	6,406.00	6,406.00	6,406.00	6,406.00	1	
TOTAL	206,964.00	206,964.00	206,964.00	206,964.00	6	

BUILDING #3 - TOTAL NO OF UNITS = 508	PHASE #3	TOTAL GROSS	FAR AREA	GROSS/FLOOR	FAR/FLOOR	NO OF FLOORS
U13	8,294.00	8,294.00	8,294.00	8,294.00	1	
U14	7,482.00	7,482.00	7,482.00	7,482.00	1	
U15	7,537.00	7,537.00	7,537.00	7,537.00	1	
U16	7,657.00	7,657.00	7,657.00	7,657.00	1	
U17	14,790.00	14,790.00	14,790.00	14,790.00	1	
U18	13,134.00	13,134.00	13,134.00	13,134.00	1	
U19	6,406.00	6,406.00	6,406.00	6,406.00	1	
TOTAL	118,946.00	118,946.00	118,946.00	118,946.00	6	

BUILDING #3 - TOTAL NO OF UNITS = 508	TOTAL AREAS	TOTAL GROSS
U13	3,166.00	3,166.00
U14	552.00	552.00
U15	4,360.00	4,360.00
TOTAL	8,078.00	8,078.00

RESIDENTIAL PARKING REQUIRED = 308 x 1.2 = 369.6 STALLS
 VISITOR PARKING REQUIRED = 308 x 0.2 = 61.6 STALLS
 TOTAL RESIDENTIAL PROVIDED = 399 (183 SMALL CARS + 46N)
 DIFF-STREET VISITORS PROVIDED = 63 (27 SMALL CARS + 6BN)
 ON-STREET VISITORS PROVIDED = 4 (0N NORTH-SOUTH PERMIT 40)
 BIKES PROVIDED = 4 BIKES PROVIDED = 4
 ELECTRIC CARS PROVIDED = 25
 BICYCLE PARKING PROVIDED = 385 x 1.25 = 481.25 BIKES (CLASS 1)
 VISITOR BIKE PARKING PROVIDED = 285 x 0.2 = 57 BIKES (CLASS 2)

Lot	Area	Use	Area	Use	Area	Use	Area	Use	Area	Use
1	100	Residential	100	Residential	100	Residential	100	Residential	100	Residential
2	100	Residential	100	Residential	100	Residential	100	Residential	100	Residential
3	100	Residential	100	Residential	100	Residential	100	Residential	100	Residential
4	100	Residential	100	Residential	100	Residential	100	Residential	100	Residential
5	100	Residential	100	Residential	100	Residential	100	Residential	100	Residential
6	100	Residential	100	Residential	100	Residential	100	Residential	100	Residential
7	100	Residential	100	Residential	100	Residential	100	Residential	100	Residential
8	100	Residential	100	Residential	100	Residential	100	Residential	100	Residential
9	100	Residential	100	Residential	100	Residential	100	Residential	100	Residential
10	100	Residential	100	Residential	100	Residential	100	Residential	100	Residential



NOTES
 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
 2. ALL DISTANCES ARE TO CENTRE OF ROAD UNLESS OTHERWISE SPECIFIED.
 3. ALL DISTANCES ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 4. ALL DISTANCES ARE TO FACE OF WALL UNLESS OTHERWISE SPECIFIED.
 5. ALL DISTANCES ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 6. ALL DISTANCES ARE TO FACE OF WALL UNLESS OTHERWISE SPECIFIED.
 7. ALL DISTANCES ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 8. ALL DISTANCES ARE TO FACE OF WALL UNLESS OTHERWISE SPECIFIED.
 9. ALL DISTANCES ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 10. ALL DISTANCES ARE TO FACE OF WALL UNLESS OTHERWISE SPECIFIED.

12 609 958
 CARRERA
 RICHMOND, BC
 335 UNIT MARKET RESIDENTIAL
 FOR POLYGON HOMES
 LOCATION #
 PROJECT DATA
 SHEET: MARKET #1
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 10/11/18
 1052
 A-1.00

FEB 13 2019
 P 12 # 31



NOTES
 1. REFER TO THE FOLLOWING DRAWINGS FOR DIMENSIONS AND NOTES:
 2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.
 3. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
 4. DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.
 5. DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.
 6. DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.
 7. DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.
 8. DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.
 9. DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.
 10. DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.

Plan # 32

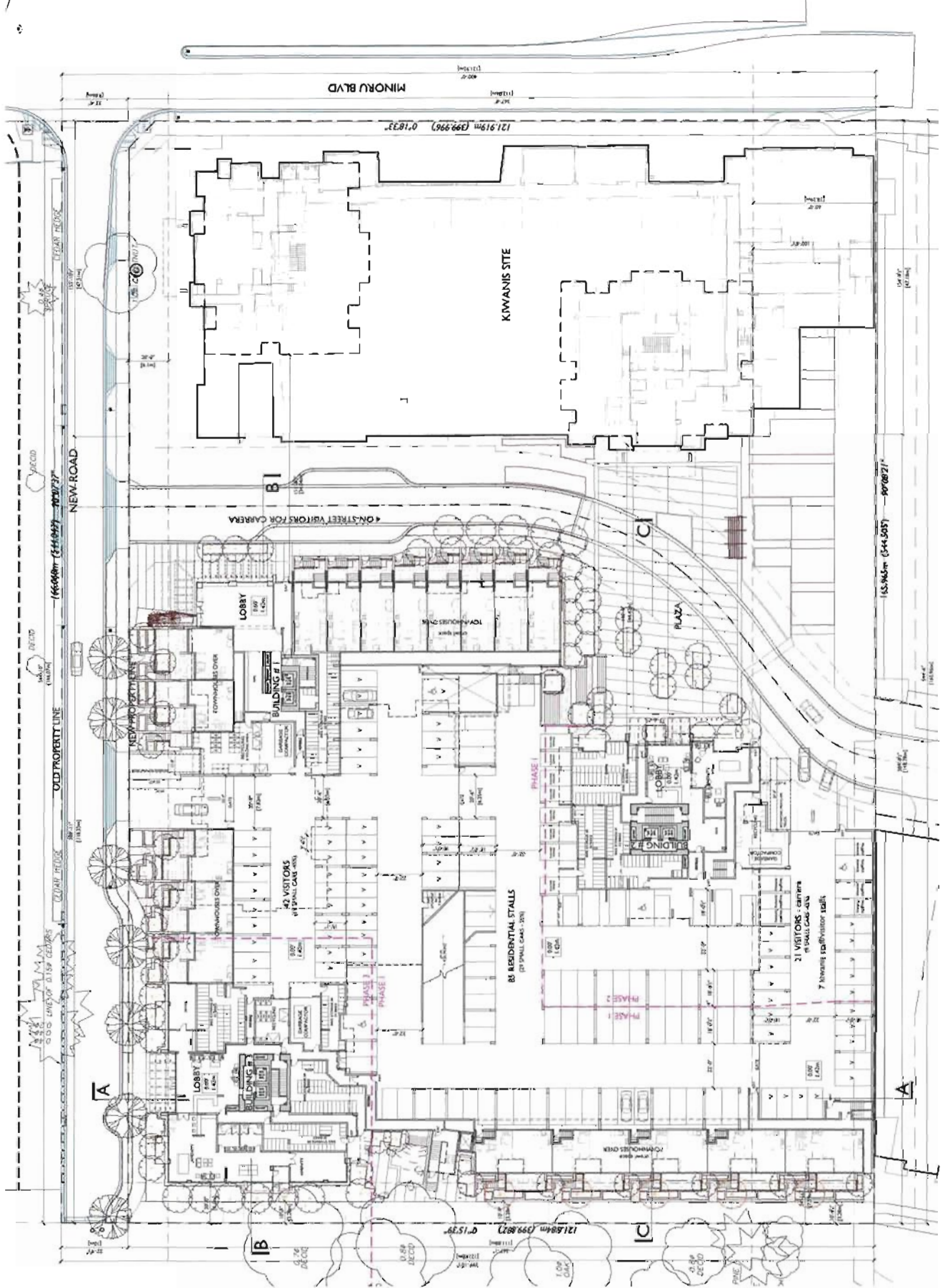
FEB 13 2013

12 609958

CARRERA
 RICHMOND, BC
 315 UNIT PARKET RESIDENTIAL
 FOR POLYCON HOMES

LEVEL 1
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1:50
 PROJECT NO: 1052

A-3.01





NOTES

1. CONSULT THE OWNER FOR ALL NOTES.
2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.
3. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

FEB 13 2013

Plan # 34

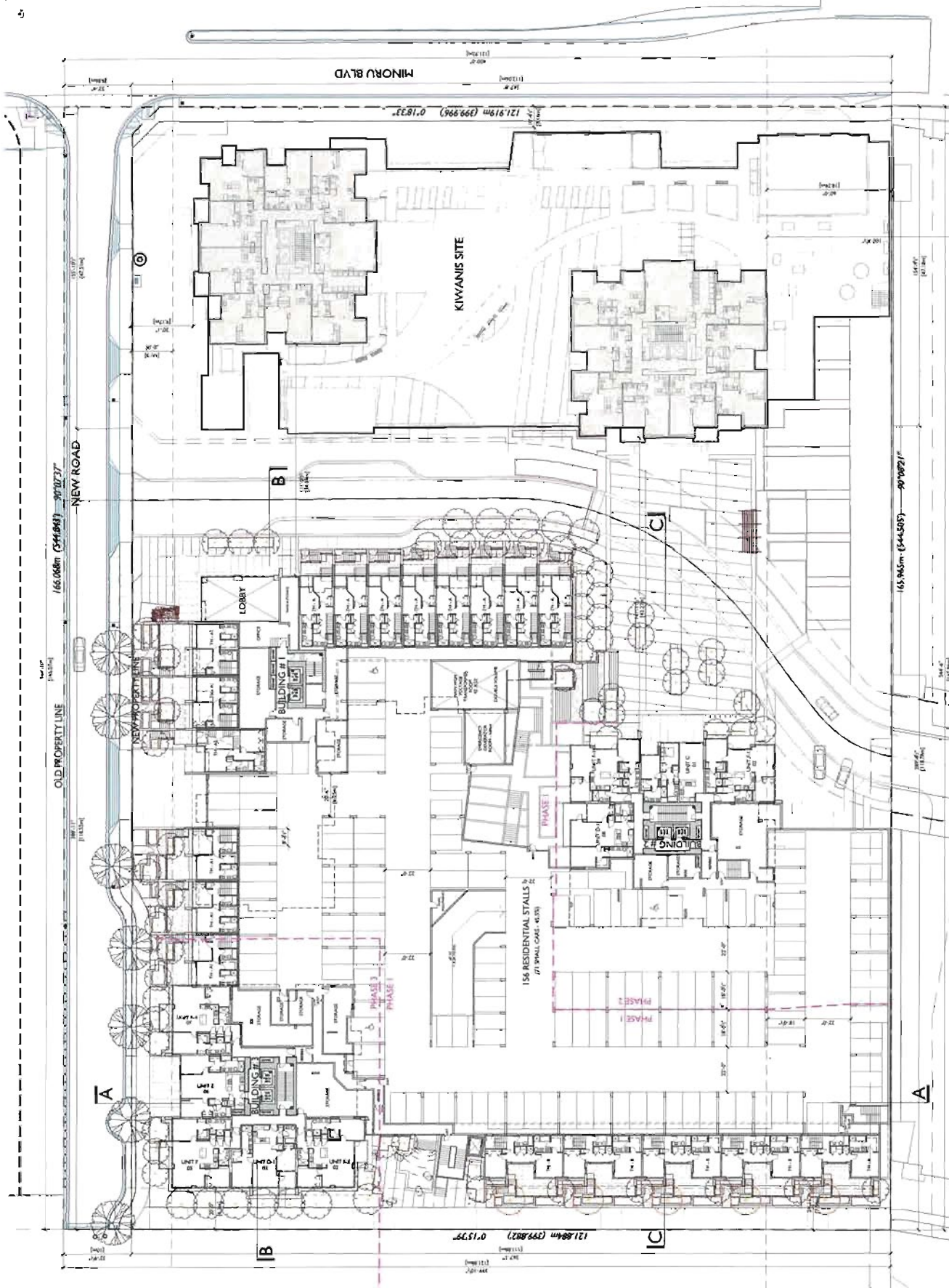
DR 12 609 958

CARRERA
 RICHMOND, BC
 315 UNIT MARKET RESIDENTIAL
 FOR POLYGON HOMES

LEVEL 3

DATE: 11/15/2011
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: 1052

A-3.03





NOTES

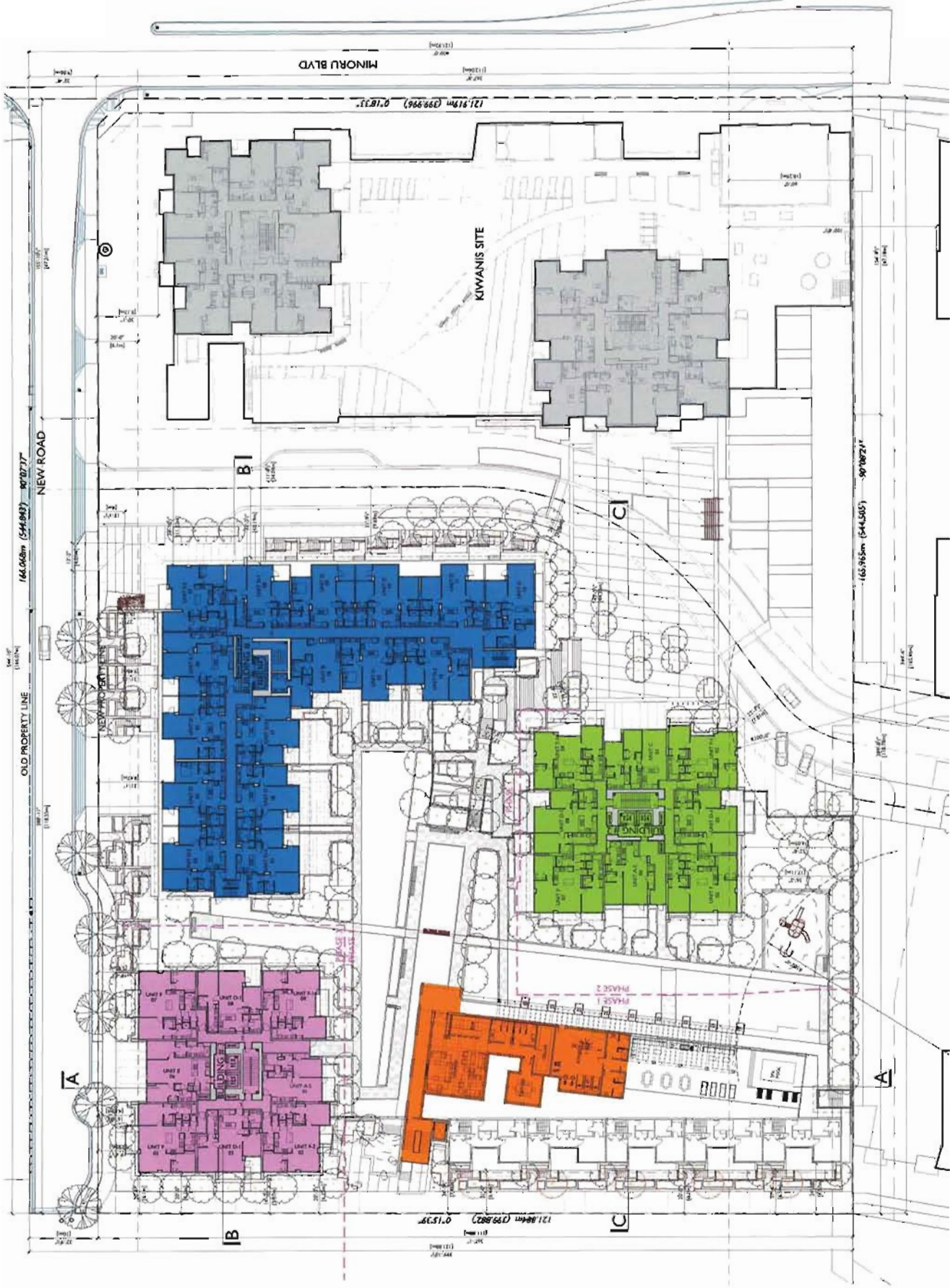
REVISIONS

CARRERA
 RICHMOND, BC
 335 UNIT MARKET RESIDENTIAL
 FOR POLYGON HOMES

TYPICAL LEVELS & SITE PLAN
 PODIUM LEVEL (LEVEL 4)

DATE: 10/15/2013
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: 1052

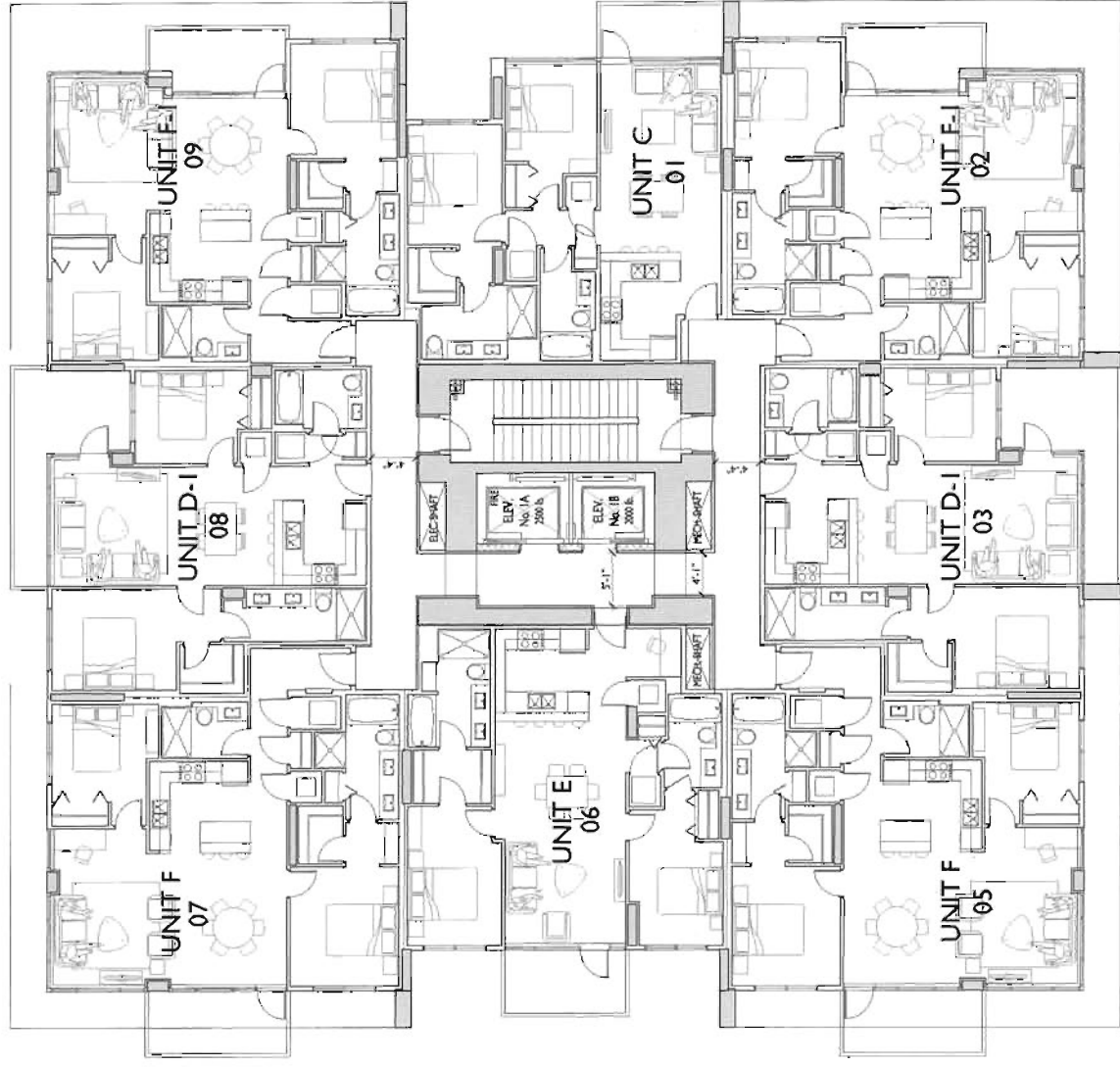
A-3.04



DR 12 609958
 FEB 13 2013
 PLAN # 35

CARRERA
 RICHMOND, BC
 335 UNIT MARKET RESIDENTIAL
 FOR POLYGON HOMES
 LEVELS 4 TO 12
 BUILDINGS 1 & 3

A-3.05



DATE: 11/20/12
 DRAWN BY: JAC
 CHECKED BY: JAC
 PROJECT NO: 1052
 SHEET NO: 1052



GREENBERG & BELL LIMITED ARCHITECTS INC.
 1000 WESTERN AVENUE, SUITE 100
 VANCOUVER, BC V6C 3R7
 TEL: 604.681.1111 FAX: 604.681.1112
 WWW.GREENBERGANDBELL.COM

NOTED

NOTES

REVISIONS

Feb 13 2013

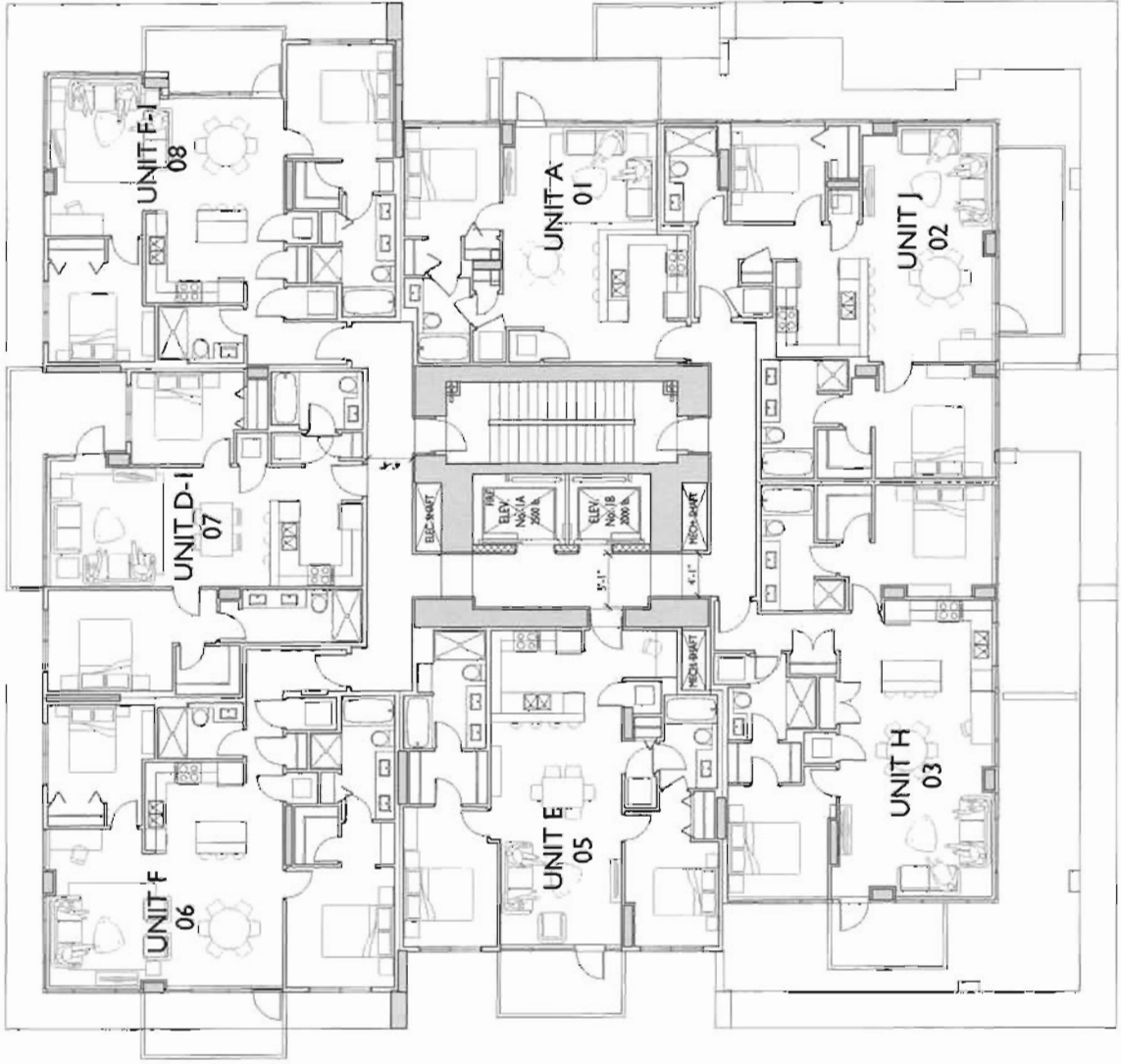
Plan # 37

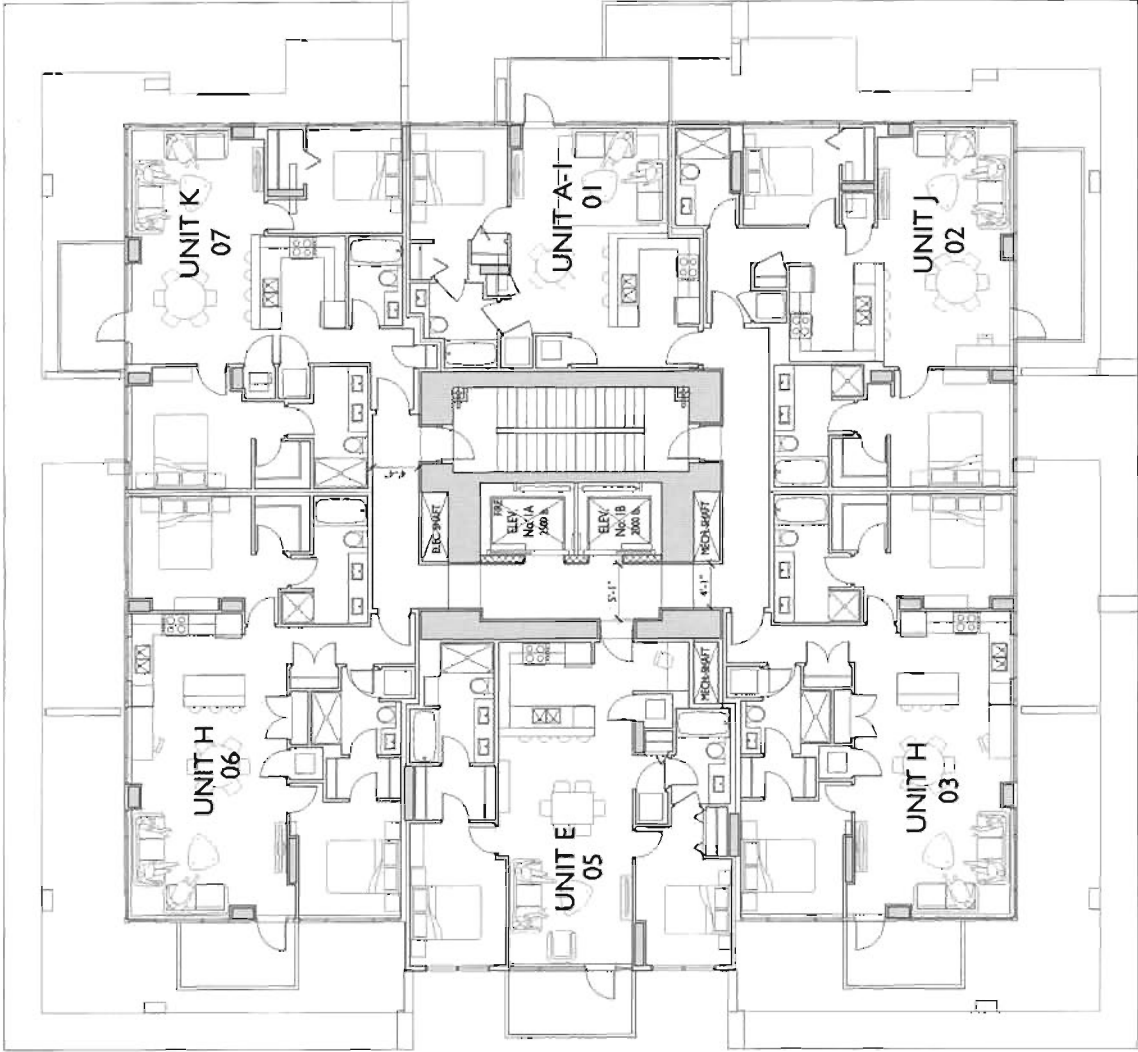
12609958

CARRERA
 RICHMOND, BC
 335 UNIT MARKET RESIDENTIAL
 FOR POLYGON HOMES
 LEVELS 13 & 14
 BUILDINGS 1 & 3

DATE: 14 JANUARY 2013
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 1052

A-3.06





12 609958

12 609958

12 609958

CARRERA
 RICHMOND, BC
 315 UNIT MARKET RESIDENTIAL
 FOR POLYGON HOMES
 LEVEL 15
 BUILDINGS 1 & 3
 UNIT
 DRAWN BY
 CHECKED BY
 DATE
 1052
 10/11/2018

A-3.07



NOTES

Plan R 39

REVISIONS

FEB 13 2013

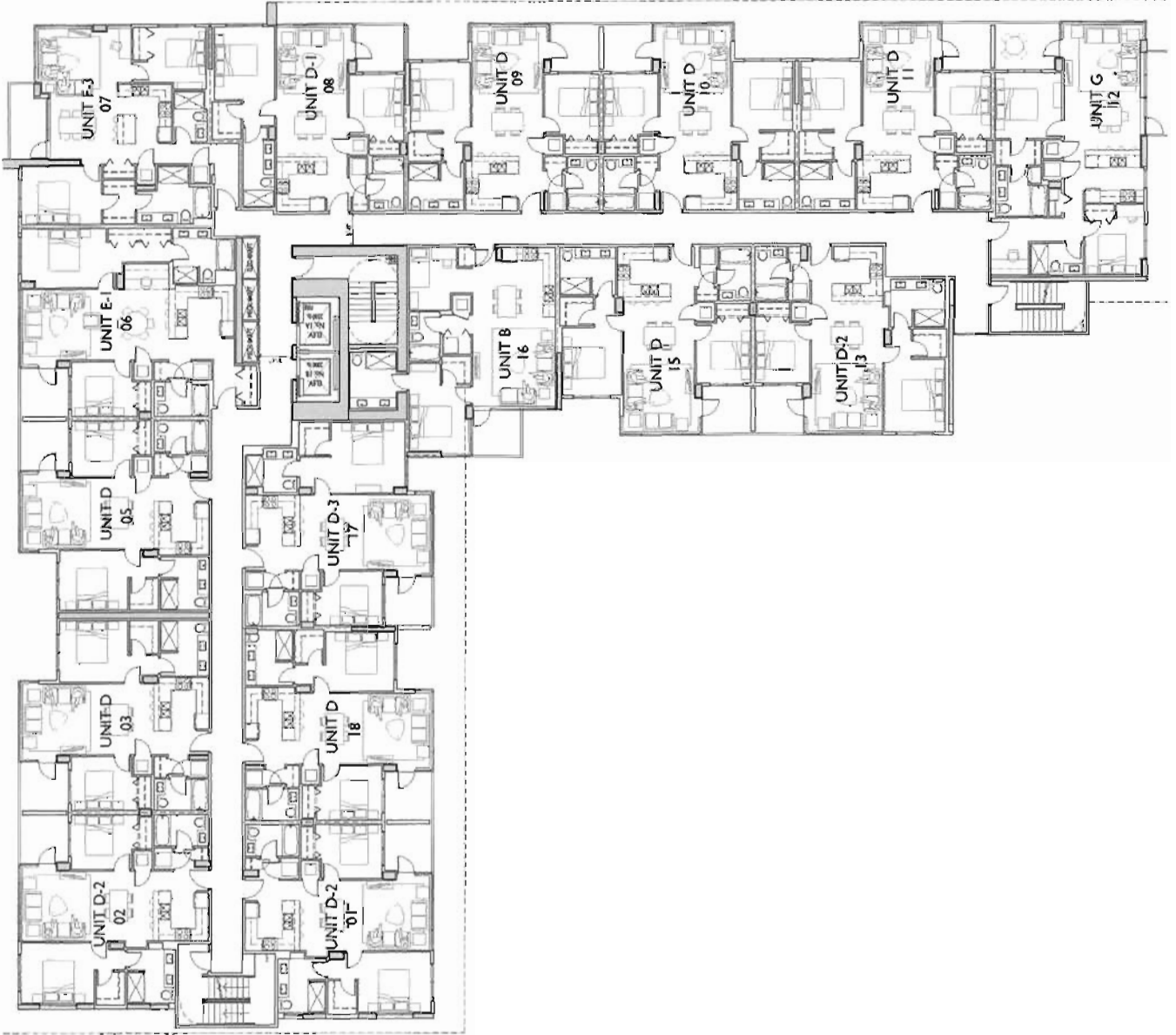
DP 12 609958

CARRERA
RICHMOND, BC
235 UNIT MARKET RESIDENTIAL
FROM POLYCON HOMES

LEVELS 4 TO 9
BUILDING 2

DATE: 2013.02.13
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8" = 1'-0"
JOB NUMBER: 1052

A-3.08





GBL ARCHITECTURE INC.
 1000 WEST 10TH AVENUE
 SUITE 1000
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112
 WWW.GBLARCHITECTURE.COM

PLAT 1600

NOTES

Plan # 40

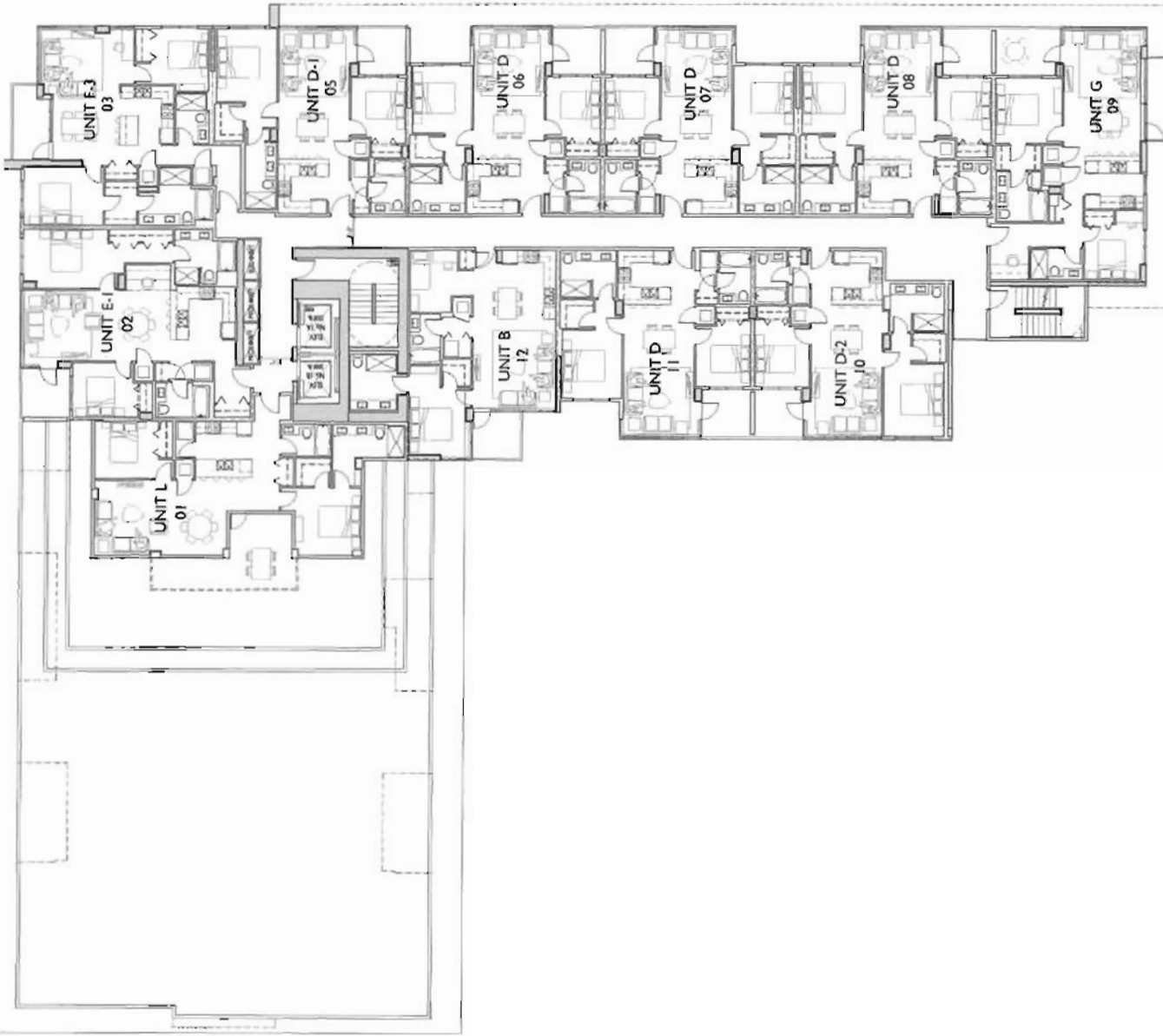
FEB 13 2018

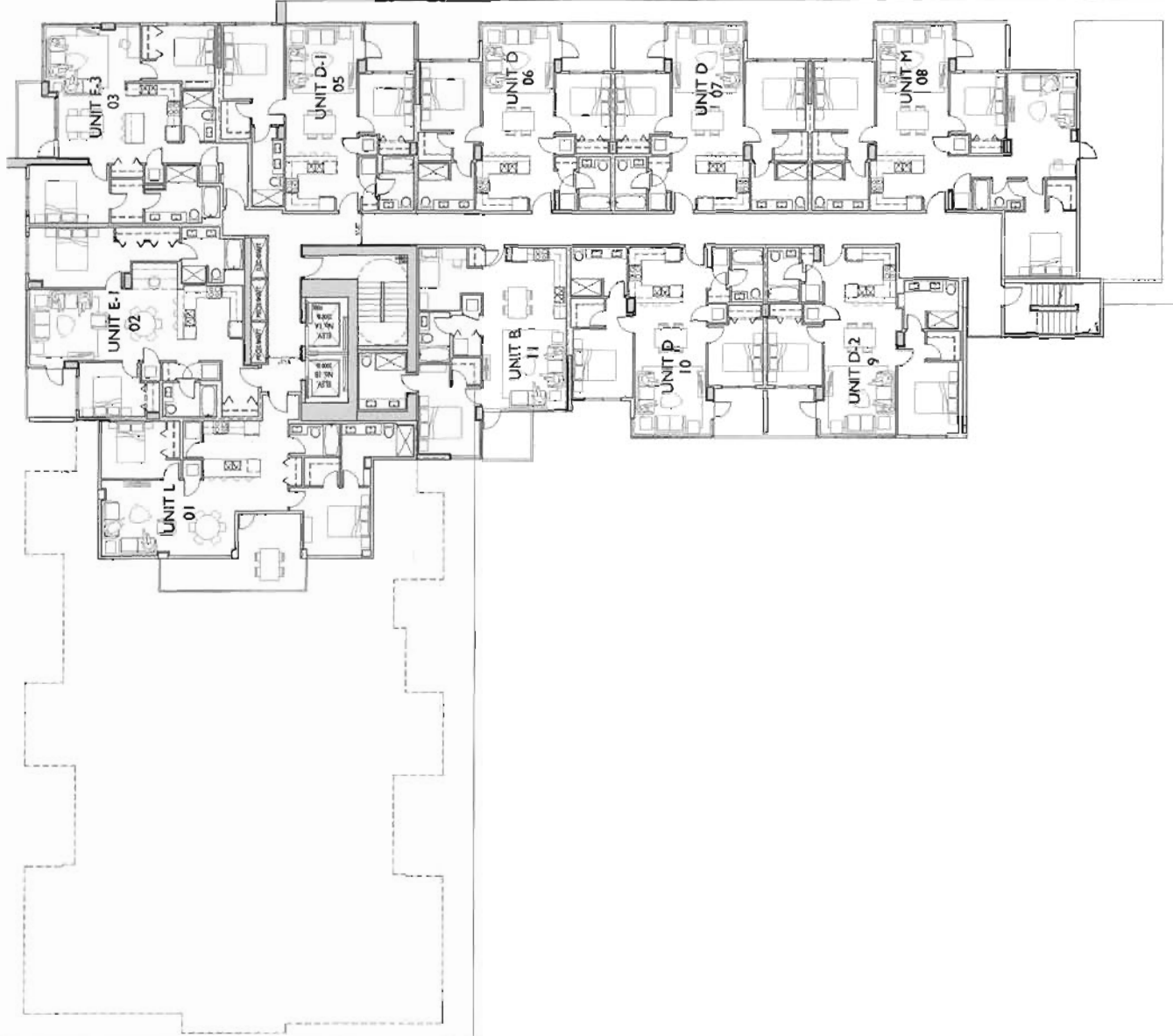
DP 12609958

CARRERA
 RICHMOND, BC
 335 UNIT MARKET RESIDENTIAL
 FOR POLYCON HOMES

LEVEL 10
 BUILDING 2
 DATE: 02/13/2018
 DRAWN BY: JLS
 CHECKED BY: JLS
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 1052

A-3.09







CARRERA
 RICHMOND, BC
 335 UNIT MARKET RESIDENTIAL
 FOR POLYCON HOMES
 SOUTH ELEVATION

DATE	10/21/2010
DRAWN BY	1052
CHECKED BY	
SCALE	
PROJECT NO.	

A-5.02

FEB 13 2013
 Plan #43

DP 12609958





TRANSPORT CANADA HEIGHT RESTRICTION 154' 8" (47m)

REINFORCED ALUMINUM WINDOW WALLS WITH GLASS CURTAIN WALL

BRICK, GLASS, REINFORCED ALUMINUM WINDOW WALLS WITH GLASS CURTAIN WALL

REINFORCED ALUMINUM WINDOW WALL WITH GLASS CURTAIN WALL

REINFORCED ALUMINUM WINDOW WALL WITH GLASS CURTAIN WALL

REINFORCED ALUMINUM WINDOW WALL WITH GLASS CURTAIN WALL

REINFORCED ALUMINUM WINDOW WALL WITH GLASS CURTAIN WALL

LEVEL 15

LEVEL 14

LEVEL 13

LEVEL 12

LEVEL 11

LEVEL 10

LEVEL 9

LEVEL 8

LEVEL 7

LEVEL 6

LEVEL 5

LEVEL 4

LEVEL 3

LEVEL 2

LEVEL 1

CARRERA
RICHMOND, BC
335 UNIT MARKET RESIDENTIAL
FOR POLYGON HOMES

NORTH ELEVATION

DATE:	10/21/13
DRAWN BY:	1052
CHECKED BY:	
SCALE:	

FEB 13 2013

A-5.04

DR 12609958 Plan 45

STORMWATER DRAINAGE (SEE PLAN AT LAYOUT)

LANDSCAPE WALLS AT TERRACES FOR GARAGES, AT LAYOUT

ALUMINUM DOORS WITH WOOD INFILL PANEL

STORMWATER DRAINAGE (SEE PLAN AT LAYOUT)



1000 UNIVERSITY AVENUE
SUITE 1000
ANN ARBOR, MI 48106
TEL: 734.769.1234
WWW.PWLARCHITECTS.COM



1000 UNIVERSITY AVENUE
SUITE 1000
ANN ARBOR, MI 48106
TEL: 734.769.1234
WWW.POLYGONARCHITECTS.COM

LEGEND

- 1 MARKET PLAZA
- 2 LOBBY ENTRANCE
- 3 GRAND STAIRCASE
- 4 SIGNWALK
- 5 PRIVATE PATIO
- 6 LAWN
- 7 WATER FEATURE
- 8 AMENITY BUILDING
- 9 SUN-DECK
- 10 HOT TUB
- 11 INFIRTY EDGE REFLECTING POOL
- 12 GREEN SCREEN
- 13 METAL TRELLIS
- 14 CHILDREN'S PLAY AREA
- 15 MIKURU PARK PROMENADE
- 16 GRASSCRETTE PAVINGS
- 17 PRODUCT FEATURE BRUNAGE
- 18 PARADE ENTRY
- 19 PASSENGER CAR TURNAROUND
- 20 ON-STREET PARKING
- 21 BICYCLE PARKING - CLASS B



KIWANIS TOWERS

DR 12 609 958 FEB 13 2013

CARRERA
CARRERA SITE PLAN
GROUND FLOOR
1" = 20'-0"
DATE: APRIL 4, 2012
PROJECT: 1148 BP PARKING
SCALE: LANDSCAPE

LDP7.00
Plan # 47

LEGEND

- 1 MARKET PLAZA
- 2 LOBBY ENTRANCE
- 3 GRAND STAIRCASE
- 4 SIDEWALK
- 5 PRIVATE PATIO
- 6 LAWN
- 7 WATER FEATURE
- 8 AGENCY BUILDING
- 9 SUN DECK
- 10 HOT TUB
- 11 INFINITY EDGE REFLECTING POOL
- 12 GREEN SCREEN
- 13 METAL TRELLIS
- 14 CHILDREN'S PLAY AREA
- 15 KOMPAN MODEL ELEVATOR "TOURNEY"

PROPERTY LINE



KIWANIS TOWERS

PROPERTY LINE



1	MARKET PLAZA
2	LOBBY ENTRANCE
3	GRAND STAIRCASE
4	SIDEWALK
5	PRIVATE PATIO
6	LAWN
7	WATER FEATURE
8	AGENCY BUILDING
9	SUN DECK
10	HOT TUB
11	INFINITY EDGE REFLECTING POOL
12	GREEN SCREEN
13	METAL TRELLIS
14	CHILDREN'S PLAY AREA
15	KOMPAN MODEL ELEVATOR "TOURNEY"

CARRERA

**CARRERA SITE PLAN
COURTYARD**

Scale: 1" = 20'-0"

DATE: APRIL 8, 2013

PROJECT: POLYGON PARTNERSHIP

LOCATION: 1000 15TH AVENUE, DENVER, CO

DESIGNER: POLYGON PARTNERSHIP

LDP8.00
Plan # 48

FEB 13 2013

12 609 958

NO. OF SHEETS	16
NO. OF SHEETS USED	16
NO. OF SHEETS LEFT	0
NO. OF SHEETS RIGHT	0
NO. OF SHEETS BOTTOM	0
NO. OF SHEETS TOP	0

FEB 13 2012

CARRERA

12 609 058

Sections/Elevations

As Indicated

NO. OF SHEETS	16
NO. OF SHEETS USED	16
NO. OF SHEETS LEFT	0
NO. OF SHEETS RIGHT	0
NO. OF SHEETS BOTTOM	0
NO. OF SHEETS TOP	0

LDP9.01
 Plan #50



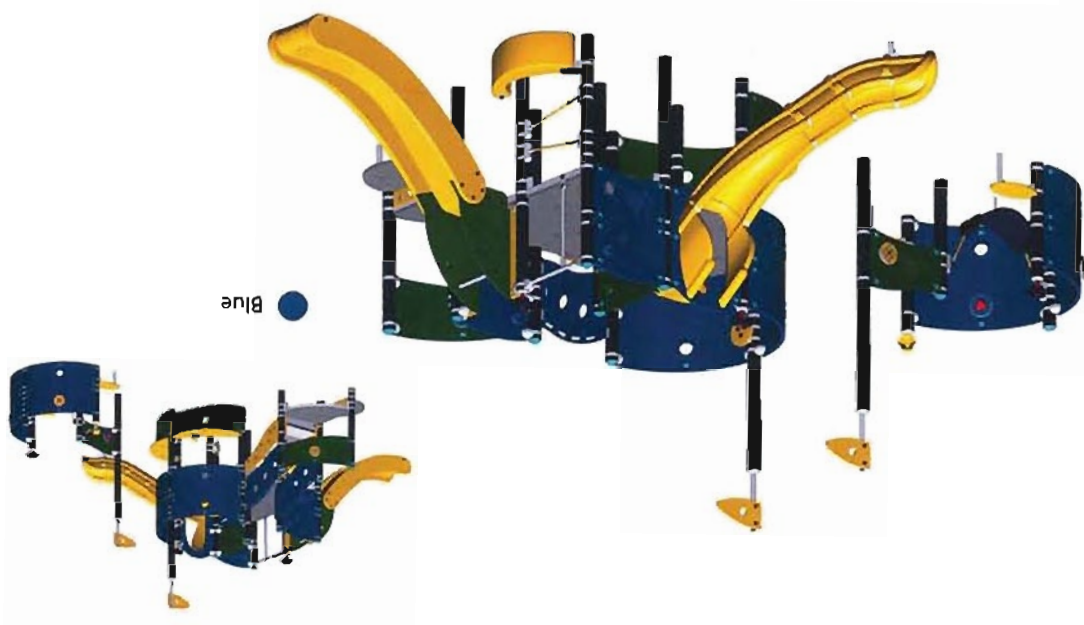
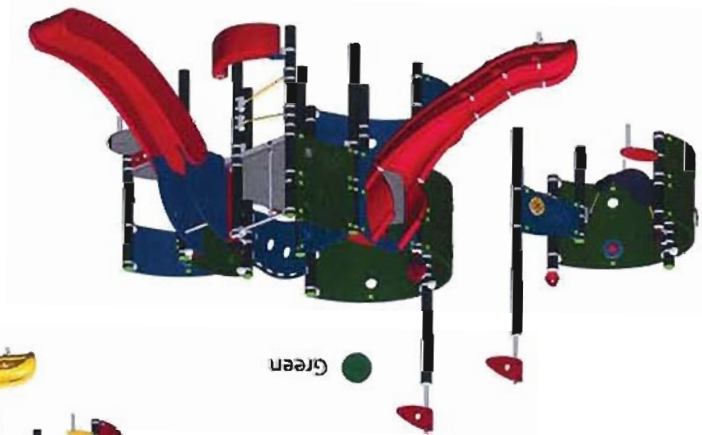
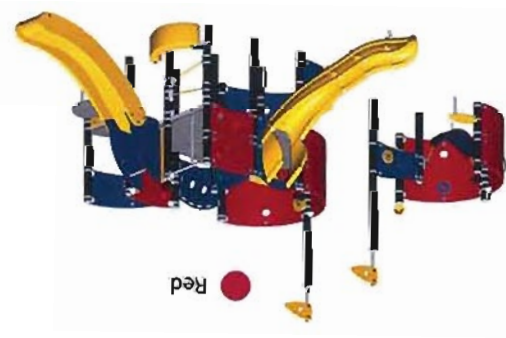
Section West-East Through Podium
 3/4" = 1'-0"



Cruiser • ELE400142

KOMPAN Product Info

kompaninfo.com



FEB 13 2013

DP 12609958

Plan # 52

FEB 13 2013

To verify product certification, visit ipema.org

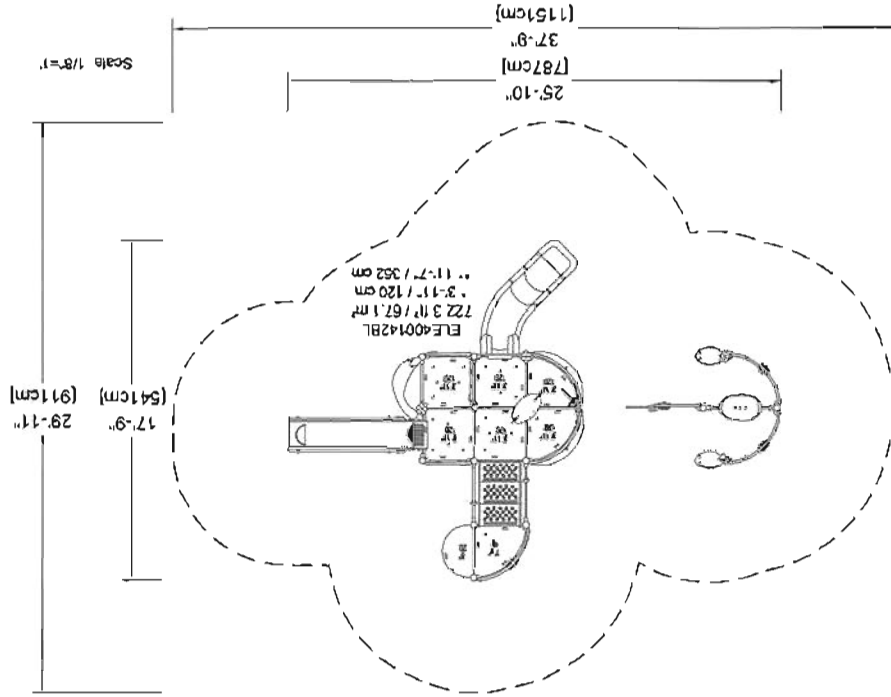


12609958

* = Highest designated play surface.
 ** = Total height of product.
 Information on the highest designated play surface as well as space required is according to ASTM 1487.
 Equipment must be installed over resilient surfacing appropriate to the safety guidelines in your area.
 Product development is an ongoing process. For this reason we reserve the right to make modifications in the form of product improvements on all our products. This product may not be mirrored, scaled or altered in any way. Safety Zones must be retained for proper placement of equipment. ASTM 1487 has specific guidelines as to the overlapping of play equipment safety zones. If any changes are required please contact your KOMPAN representative at 1.800.426.9788.



ADA ANALYSIS	
Elevated Activities	8
Accessible Elevated Activities	4
Ground Level Activities	11
Ground Level Play Types	3
Required	3



ELEMENTS

Cruiser • ELE400142

BEST USER AGE: 2-5 years
FOOTING INFORMATION: In-ground posts. Surface installation also available.

KOMPAN Product Info
 kompaninfo.com



PWL PROFESSIONAL
 10000 Wilshire Blvd, Suite 200
 Beverly Hills, CA 90212
 (310) 274-1111
 www.pwl.com



1	PROVISION	PLANNING
2	PROVISION	PLANNING
3	PROVISION	PLANNING
4	PROVISION	PLANNING
5	PROVISION	PLANNING
6	PROVISION	PLANNING
7	PROVISION	PLANNING
8	PROVISION	PLANNING
9	PROVISION	PLANNING
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11	PROVISION	PLANNING
12	PROVISION	PLANNING

FEB 13 2013

2609958

CARRERA

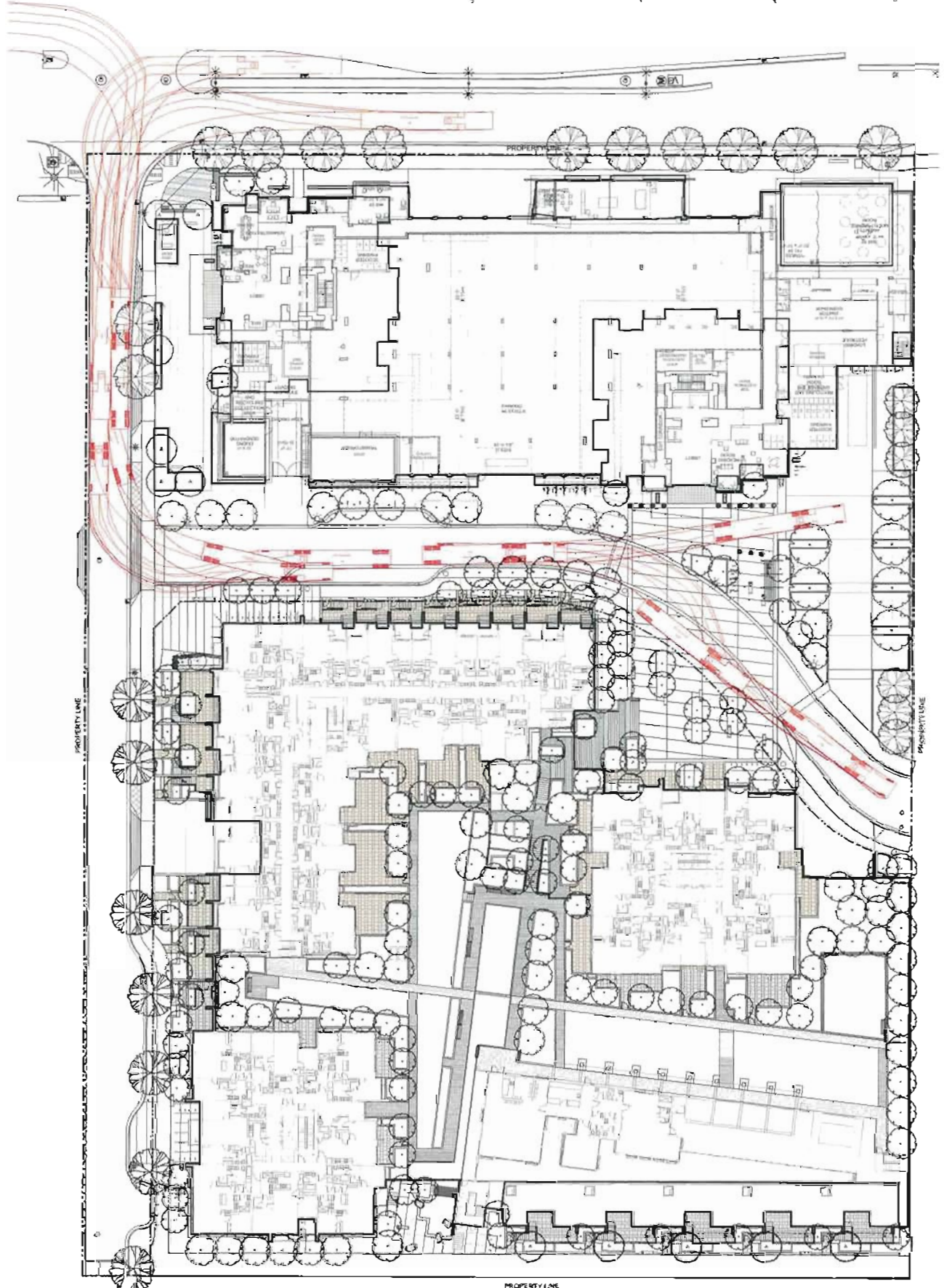
OVERALL SITE PLAN
 WB17 TURNING
 DIAGRAM



1" = 20'-0"

DATE	1/14/13
BY	W. B. B. / J. S. S.
APP. BY	W. B. B. / J. S. S.
PROJECT	WB17 TURNING
CLIENT	W. B. B. / J. S. S.
SCALE	1" = 20'-0"

LDP11.00
 Plan 4454



PROPERTY LINE

1	PROPOSED	RECYCLING TRUCK TURNING
2	EXISTING	RECYCLING TRUCK TURNING
3	EXISTING	RECYCLING TRUCK TURNING
4	EXISTING	RECYCLING TRUCK TURNING
5	EXISTING	RECYCLING TRUCK TURNING
6	EXISTING	RECYCLING TRUCK TURNING
7	EXISTING	RECYCLING TRUCK TURNING
8	EXISTING	RECYCLING TRUCK TURNING
9	EXISTING	RECYCLING TRUCK TURNING
10	EXISTING	RECYCLING TRUCK TURNING
11	EXISTING	RECYCLING TRUCK TURNING
12	EXISTING	RECYCLING TRUCK TURNING
13	EXISTING	RECYCLING TRUCK TURNING
14	EXISTING	RECYCLING TRUCK TURNING
15	EXISTING	RECYCLING TRUCK TURNING
16	EXISTING	RECYCLING TRUCK TURNING
17	EXISTING	RECYCLING TRUCK TURNING
18	EXISTING	RECYCLING TRUCK TURNING
19	EXISTING	RECYCLING TRUCK TURNING
20	EXISTING	RECYCLING TRUCK TURNING

FEB 13 2013

12 609958

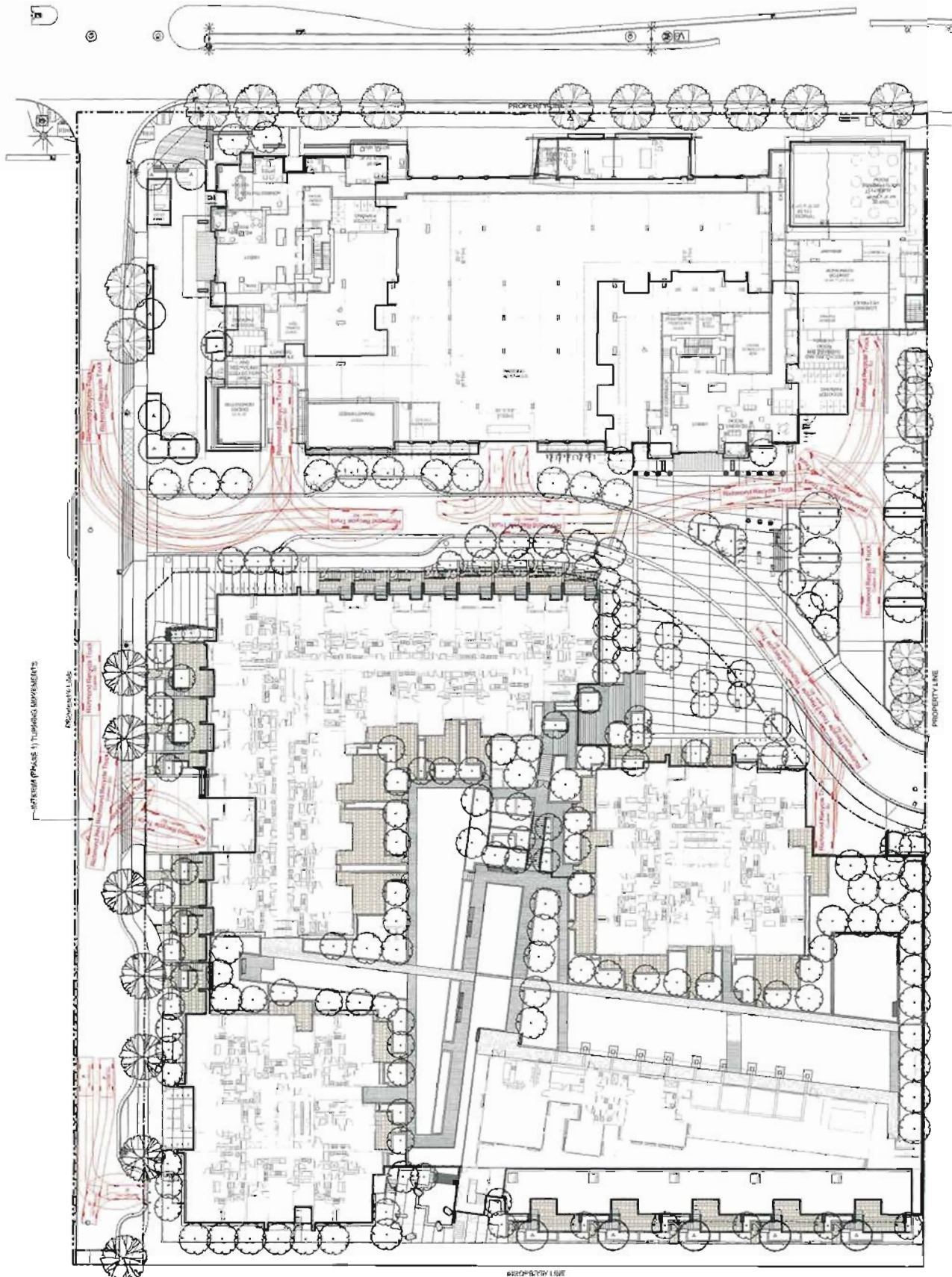
CARRERA

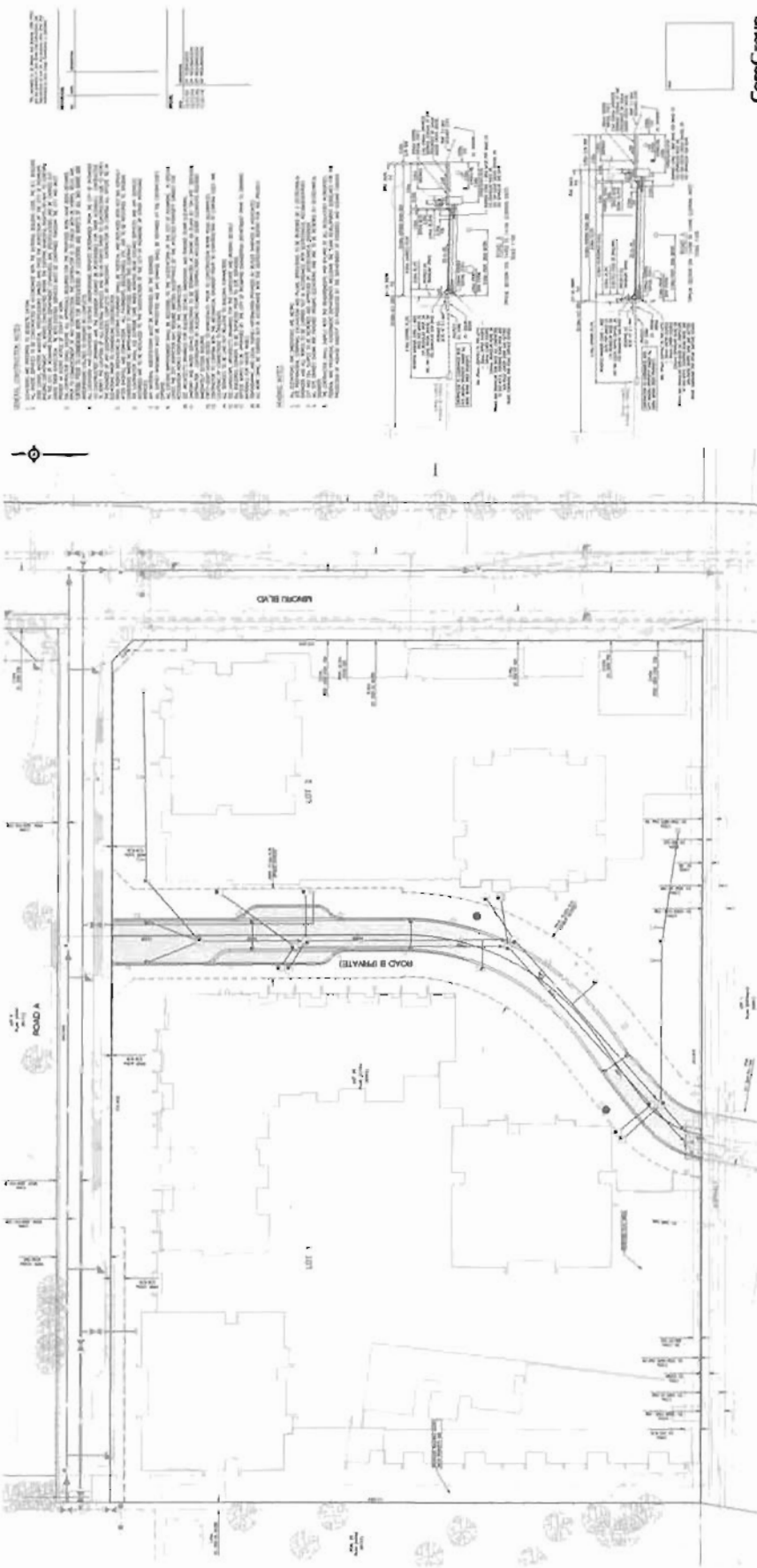
**OVERALL SITE PLAN
 RECYCLING TRUCK & CAR
 TURNING DIAGRAM**

Scale: 1" = 20'-0"

DATE	1/14/13
PROJECT	RECYCLING TRUCK TURNING
CLIENT	POLYGON
DESIGNER	PWL PARTNERSHIP
DR	DR

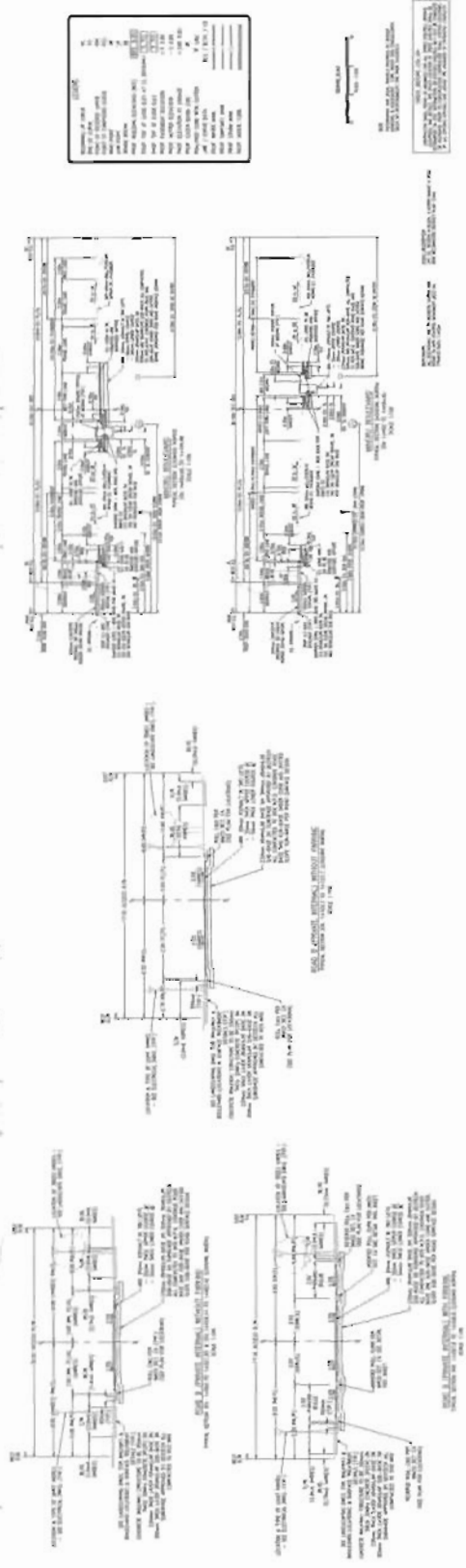
LDP11.02
 Plan # 56





GENERAL NOTES:

1. THE INFORMATION CONTAINED HEREIN IS FOR GENERAL INFORMATION ONLY. IT IS NOT TO BE USED AS A BASIS FOR ANY OTHER DESIGN OR CONSTRUCTION.
2. THE DESIGNER HAS CONDUCTED VISUAL SURVEYS AND PHOTOGRAPHS OF THE SITE AND NEIGHBORHOOD. THE DESIGNER HAS NOT CONDUCTED ANY OTHER INVESTIGATIONS.
3. THE DESIGNER HAS NOT CONDUCTED ANY SOIL TESTING OR GEOTECHNICAL ANALYSIS.
4. THE DESIGNER HAS NOT CONDUCTED ANY HYDROLOGICAL OR HYDRAULIC ANALYSIS.
5. THE DESIGNER HAS NOT CONDUCTED ANY ENVIRONMENTAL IMPACT ANALYSIS.
6. THE DESIGNER HAS NOT CONDUCTED ANY ARCHITECTURAL OR INTERIOR DESIGN.
7. THE DESIGNER HAS NOT CONDUCTED ANY ELECTRICAL OR MECHANICAL DESIGN.
8. THE DESIGNER HAS NOT CONDUCTED ANY CIVIL OR STRUCTURAL DESIGN.
9. THE DESIGNER HAS NOT CONDUCTED ANY LANDSCAPE ARCHITECTURE DESIGN.
10. THE DESIGNER HAS NOT CONDUCTED ANY OTHER DESIGN OR CONSTRUCTION.



MIRANDA CABRERA TORRES
 Architect
 License No. 12345

CABRERA TORRES PLAN	
NO.	57
DATE	2013
PROJECT	RESIDENTIAL DEVELOPMENT
CLIENT	MR. AND MRS. J. TORRES
LOCATION	LOT 1 & 2, ROAD A & B

SCALE:
 1" = 10'-0"

DATE: FEBRUARY 13, 2013

PROJECT: RESIDENTIAL DEVELOPMENT

CLIENT: MR. AND MRS. J. TORRES

LOCATION: LOT 1 & 2, ROAD A & B

CI



AERIAL VIEW FROM SOUTH-WEST

DP 12 609 958

Reference

NOTES
 1. SEE DRAWINGS
 2. SEE DRAWINGS
 3. SEE DRAWINGS

CARRERA
 RICHMOND, BC
 338 UNIT MARKET RESIDENTIAL
 FOR POLYCON HOMES
 3D VIEWS

DATE: FEB 13 2010
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: 1052
 DRAWING NO:

A-7.01



FEB 13 2013

AERIAL VIEW FROM SOUTH-EAST

DP 12609958

Reference

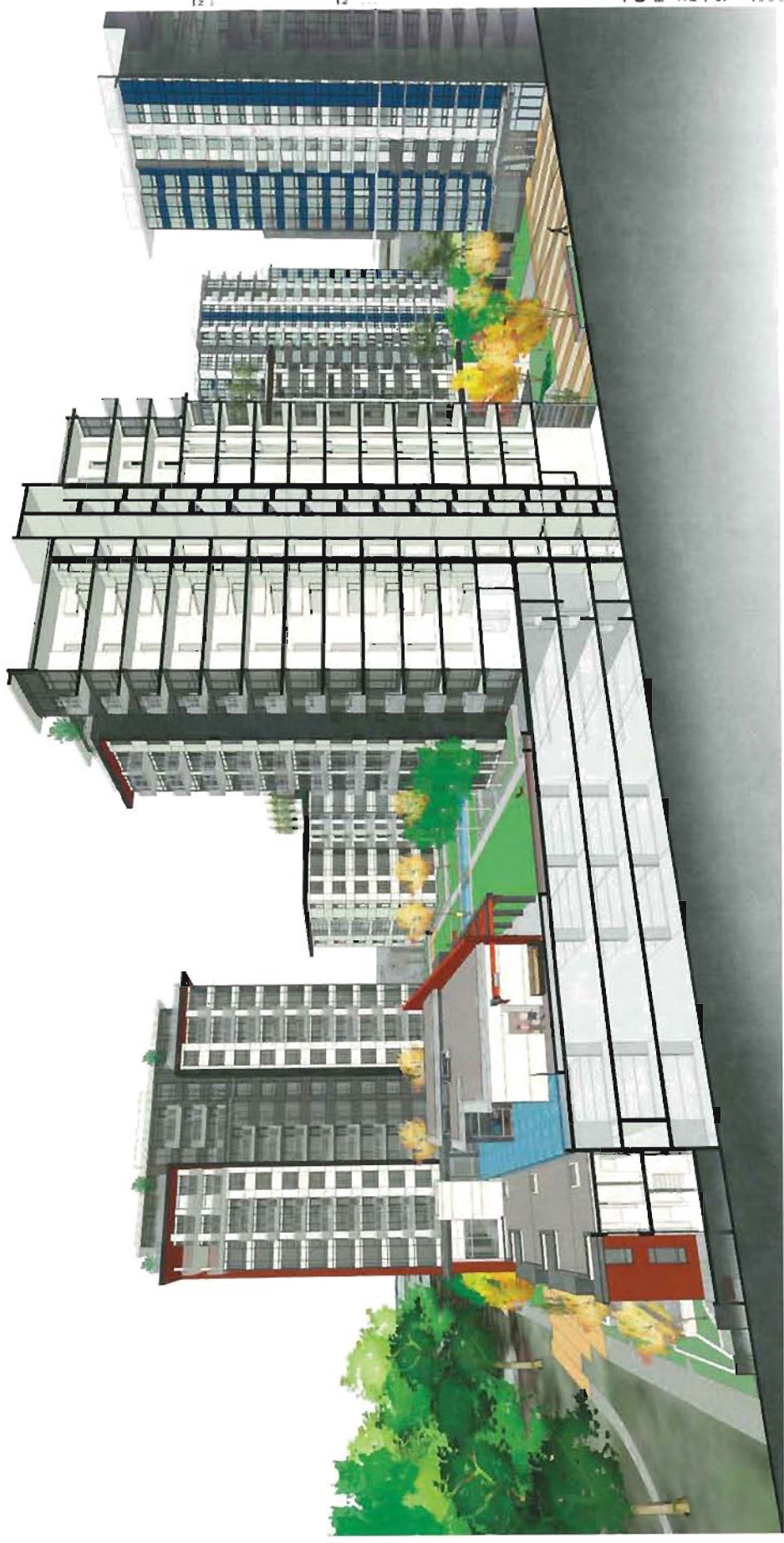
A-7.02

NOTES

REVISIONS

CARRERA
 RICHMOND, BC
 315 UNIT MARKET RESIDENTIAL
 FOR POLYCON HIGHSES
 3D VIEWS

DATE	24 APR 2013
BY	1052
REVISION	
DATE	
BY	



NOTES

REVISIONS

CARRERA
 RICHMOND, BC
 335 UNIT MARKET RESIDENTIAL
 FOR POLYGON HOMES
 SECTION CC

DATE: 15/02/2013
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8" = 1'-0"
 PROJECT NO: 1052

A-6.03

DP 12609958 *Reference*

FEB 13 2013



FEB 13 2018

AERIAL VIEW FROM NORTH-EAST

DP 12 609 958

Reference

A-7.03

NOTE

REVISIONS

CARRERA
 RICHMOND, BC
 335 UNIT MARKET RESIDENTIAL
 FOR POLYGON HOMES
 3D VIEWS

DATE: 02-13-2018
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/16"
 SHEET NO: 1052