



City of  
Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** October 24, 2024

**From:** Joshua Reis  
Director, Development

**File:** DP 23-029433

**Re:** Application by Matthew Cheng for a Development Permit at 7300 St. Albans Road

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### Staff Recommendation

That a Development Permit be issued which would permit the construction of four townhouse units at 7300 St. Albans Road on a site zoned "High Density Townhouses (RTH1)".

Joshua Reis, MCIP, RPP, AICP  
Director, Development  
(604-247-4625)

JR:ak  
Att. 2

## Staff Report

### Origin

Matthew Cheng, on behalf of the owner 1124053 BC Ltd. (Director: Pavendeep Kooner), has applied to the City of Richmond for permission to develop four townhouse units and one secondary suite at 7300 St. Albans Road on a site zoned “High Density Townhouses (RTH1)”. The site currently contains an unoccupied single-family dwelling, which will be demolished. A location map is provided in Attachment 1.

The site is being rezoned from “Small-Scale Multi-Unit Housing (RSM/L)” to “High Density Townhouses (RTH1)” for this project under Bylaw 10494 (RZ 21-943417).

A Servicing Agreement is required as a condition of rezoning and includes, but is not limited to, the following improvements:

- Design and construction of frontage improvements including new landscaped/treed boulevard (minimum 1.5 m wide) and concrete sidewalk (minimum 2.0 m wide).
- Upgrade to the existing watermain from 150 mm to 200 mm.
- Provision of water, storm sewer and sanitary sewer service connections, water meters and inspection chambers as required.

### Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

Development surrounding the subject site is as follows:

To the North: The St. Albans’ Anglican Church zoned “Assembly (ASY)”.

To the South: A seven-unit townhouse complex zoned “Medium Density Low Rise Apartments (RAM1)”.

To the East: A 36-unit townhouse complex zoned “Medium Density Low Rise Apartments (RAM1)”.

To the West: Across St. Albans Road, a three-storey apartment (over a single-storey parking structure) zoned “Medium Density Low Rise Apartments (RAM1)”.

### Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on November 20, 2023. No public correspondence was received at the Public Hearing.

**Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “High Density Townhouse (RTH1)” zone.

**Analysis*****Conditions of Adjacency***

- The proposed townhouses have been designed with consideration of the existing surrounding context. All units are three-storeys, providing a similar interface as adjacent townhouse developments.
- The existing grade along the rear (east) property line will be maintained to provide an appropriate transition to the adjacent townhouse development to the east and to accommodate on-site tree retention.
- Retaining walls, no taller than 0.5 m, are proposed along the north and south property lines to accommodate changes in grade. Perimeter drainage will be required as part of the Building Permit to ensure stormwater is managed and addressed through the development and will not impact the neighbouring properties.
- Seven existing trees on neighbouring properties, six on the south abutting property and one on the east abutting property will be retained. These trees will serve as a natural buffer between existing residential developments and the new townhouses.
- An existing 3.0 m wide City Statutory Right-of-Way (SRW) along the rear (east) property line of the subject site will remain. No encroachment is permitted within the SRW area.

***Urban Design and Site Planning***

- The proposed development consists of four townhouse dwellings in two, two-unit clusters arranged on either side of a central north-south drive aisle.
- Two units along St. Albans Road are proposed to have direct pedestrian access from the street through landscaped front yards. The two units at the rear of the property have pedestrian access from the drive aisle.
- One secondary suite is proposed to be located in the southeast unit (Unit 4). A separate access to the secondary suite is proposed along the south face of the building.
- All units will have enclosed vehicle parking spaces. The west two units will have single car garages while the east two units will have side-by-side double car garages.
- The visitor parking space is proposed to be located north of the northwest unit (Unit 1) at the end of the drive aisle.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with the zoning bylaw requirements.

- The provision of private outdoor spaces generally complies with the Development Permit Guidelines of the OCP. All units will have private outdoor spaces at grade consisting of a front or rear yard. Units fronting St. Albans will also have balconies facing the drive aisle.
- Outdoor amenity space is proposed at the northeast corner of the site. The size and location of the outdoor amenity space facilitate tree preservation on-site. A mailbox kiosk with weather protection elements will be provided opposite the site entry, south of Unit 4.
- Cash in-lieu of indoor amenity space (\$8,264.00) was secured through rezoning, consistent with OCP policy.

#### ***Architectural Form and Character***

- The proposed development presents a modern architectural approach with a simple colour scheme of white and grey. The apparent mass of the buildings is reduced through the use of projections, materials, colours and windows.
- Individuality of units is expressed through private landscape yards and roof overhangs for the street-fronting units, in addition to material and colour changes.
- The proposed main building materials include dark grey hardie panel, white hardie lap siding, black metal flashing and black shingles.

#### ***Landscape Design and Open Space Design***

- On-site tree removal and retention were assessed as part of the rezoning application, at which point it was determined that two trees (tag# 545 and 546) are to be removed and two trees (tag# 547 and 548) are to be retained at the northeast (amenity space) and southeast corners of the site (Plan #13). Landscaping has been further refined to help ensure the retention of the two on-site trees.
- Consistent with the rezoning application (for the removal of two on-site trees and the historic unauthorized removal of one on-site tree), a total of eight replacement trees are required. The development proposes five replacement trees and a \$2,250.00 contribution to the City's Tree Compensation Fund in-lieu of the remaining three trees that cannot be accommodated on the subject property. Additional review as part of the Development Permit concluded it is not possible to accommodate the three trees on site due to site constraints in part due to conflicts with on-site infrastructure and the associated SRW located in the rear yard. The tree compensation contribution has been secured as part of the rezoning application.
- The lighting plan proposes warm, low glare lighting and fixtures such as wall mounted downlights, step lights, and bollard lights with shields.
- Removable pavers and slabs are proposed to create patio space for the two rear units (Units 3 and 4). All pavers and slabs in the SRW area are removable. No pour in place concrete is allowed within the SRW area.
- The shared outdoor amenity space is located at the northeast corner of site, adjacent to the Douglas fir (tag# 548) being retained on-site. The space contains children's play equipment and bench seating. Staff worked with the applicant to find suitable play equipment that could fit within the space meeting both the required fall zone and tree protection zone. The landscaping proposed provides a buffer between the drive aisle and outdoor amenity space.

- A high-efficiency irrigation system will be provided for all landscaped areas of the development.
- To ensure that landscaping works are completed, the applicant is required to provide a landscape security of \$124,322.00 in associated with the Development Permit.

### ***Crime Prevention Through Environmental Design***

- A 1.8 m (6 ft.) wood fence is proposed along the side and rear property lines for privacy and security. The wood fence along the front property line will be reduced to 1.2 m (4 ft.) tall to provide clear sightlines from the units to the sidewalk while maintaining the separation of the public and private realms.
- Adequate low glare lighting is provided to enhance security, particularly in spaces such as the visitor parking, mailbox and outdoor amenity areas.
- The mailbox kiosk is located next to the drive aisle by the southeast unit (Unit 4) and is covered, consistent with Development Permit Guidelines. Landscaping around the mailbox provides separation between the mail area and Unit 4.

### ***Sustainability***

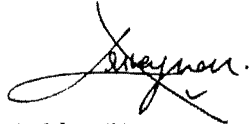
- The applicant has submitted written confirmation from their Certified Energy Advisor indicating that the project will achieve Step Code 3 with EL-4, consistent with current City regulations.
- Air source heat pumps are proposed to be located along the drive aisle, by the visitor parking space and in the rear yards. Prior to Building Permit issuance, the applicant is required to provide a report from an Acoustical Engineer confirming that the heat pumps will comply with the City's Noise Regulation Bylaw.

### ***Accessible Housing***

- The proposed development includes one convertible unit (Unit 3) that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit will require the installation of an elevator.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell handrails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

## Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Ashley Kwan  
Planner 1  
(604-276-4713)

AK:he

- Att.    1. Location Map  
          2. Development Application Data Sheet

The following are to be met prior to forwarding this application to Council for approval:

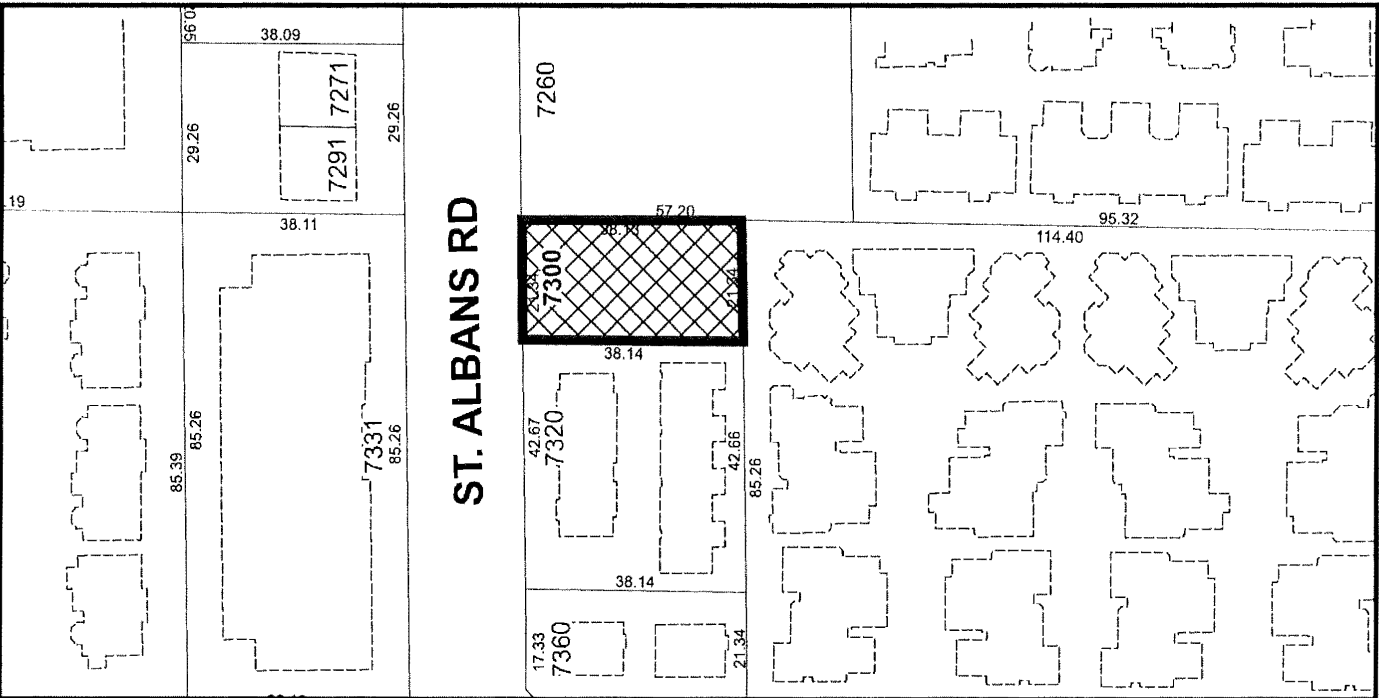
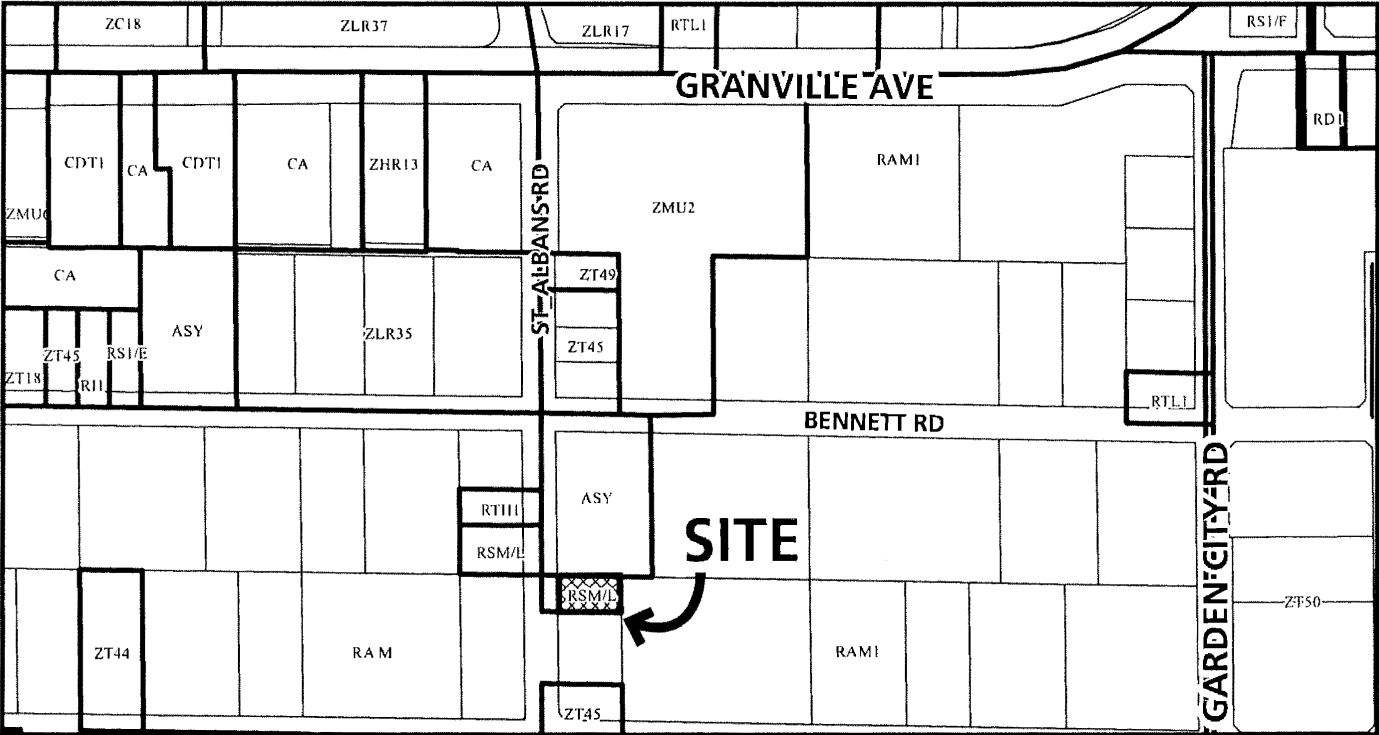
- Receipt of a Letter-of-Credit for landscaping in the amount of \$124,322.00.  
NOTE: staff to ensure that landscape estimates include a 10% contingency cost.
- Payment of all fees in full cost for cost associated with Public Notices.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Incorporate of accessibility measures in Building Permit (BP) plans as determined in the Rezoning and Development Permit processes.
- Provide a report from a Registered Professional confirming that the heat pumps will comply with the City's Noise Regulation Bylaw.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a Construction Traffic and Parking Management Plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).



# City of Richmond



## DP 23-029433

Original Date: 10/20/23

Revision Date: 10/16/24

Note: Dimensions are in METRES



**DP 23-029433**

**Attachment 2**

Address: 7300 St. Albans Road

Applicant: Matthew Cheng

Owner: 1124053 B.C. Ltd

Planning Area(s): St Albans Sub-Area Plan

Floor Area Gross: 827.30 m<sup>2</sup>

Floor Area Net: 610.46 m<sup>2</sup>

	<b>Existing</b>	<b>Proposed</b>
<b>Site Area:</b>	813.9 m <sup>2</sup>	No Change
<b>Land Uses:</b>	Single Family Residential	Multi-Family Residential
<b>OCP Designation:</b>	Neighbourhood Residential	No Change
<b>Zoning:</b>	Multi-Family Low Rise	No Change
<b>Number of Units:</b>	Single Detached (RS1/E)	High Density Townhouses (RTH1)

	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Floor Area Ratio:	Max. 0.75	0.75	none permitted
Lot Coverage:	Building: Max. 45% Non-porous Surfaces: Max. 70% Landscaping: Min. 20%	Building: 33% Non-porous Surfaces: 70% Landscaping: 20%	none
Lot Size:	Min. 600 m <sup>2</sup>	813.9 m <sup>2</sup>	none
Setbacks (m):	Front: Min. 4.5 m Rear: Min. 2.0 m Side: Min. 2.0 m	Front: 4.5 m Rear: 4.5 m Side: 2.0 m	none
Height (m):	Max. 12.0 m (3 storeys)	11.3 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	1.4 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	6 (R) and 1 (V)	6 (R) and 1 (V)	none
Bicycle Parking	Class 1: 5 Class 2: 1	Class 1: 5 Class 2: 1	none
Amenity Space – Indoor:	Min. 50 m <sup>2</sup>	Cash in-lieu	none
Amenity Space – Outdoor:	Min. 24 m <sup>2</sup>	29.0 m <sup>2</sup>	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	1.4 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	6 (R) and 1 (V)	6 (R) and 1 (V)	none





No. DP 23-029433

To the Holder: Matthew Cheng  
Property Address: 7300 St Albans Road  
Address: 202-670 Evans Avenue, Vancouver, BC, V6A 2K9

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1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #21 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$124,322.00. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 23-029433**

To the Holder: Matthew Cheng

Property Address: 7300 St Albans Road

Address: 202-670 Evans Avenue, Vancouver, BC, V6A 2K9

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7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. \_\_\_\_\_  
DAY OF \_\_\_\_\_, \_\_\_\_\_.

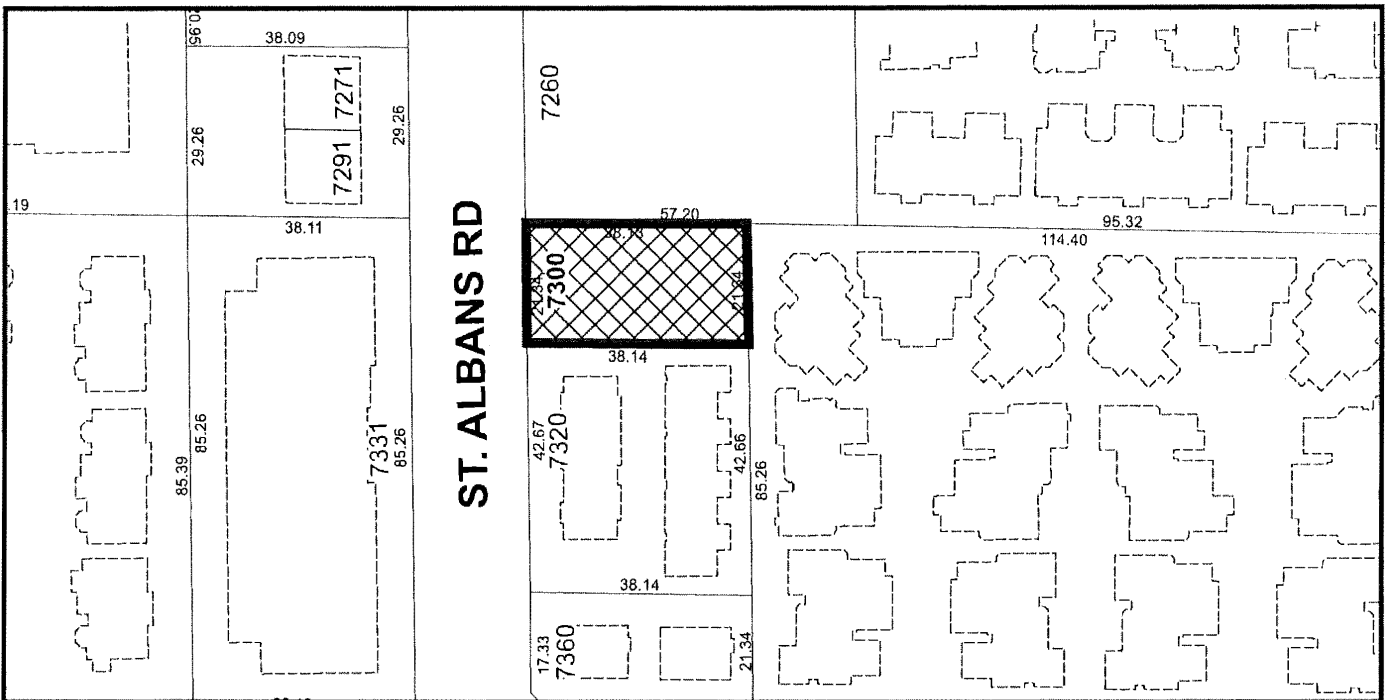
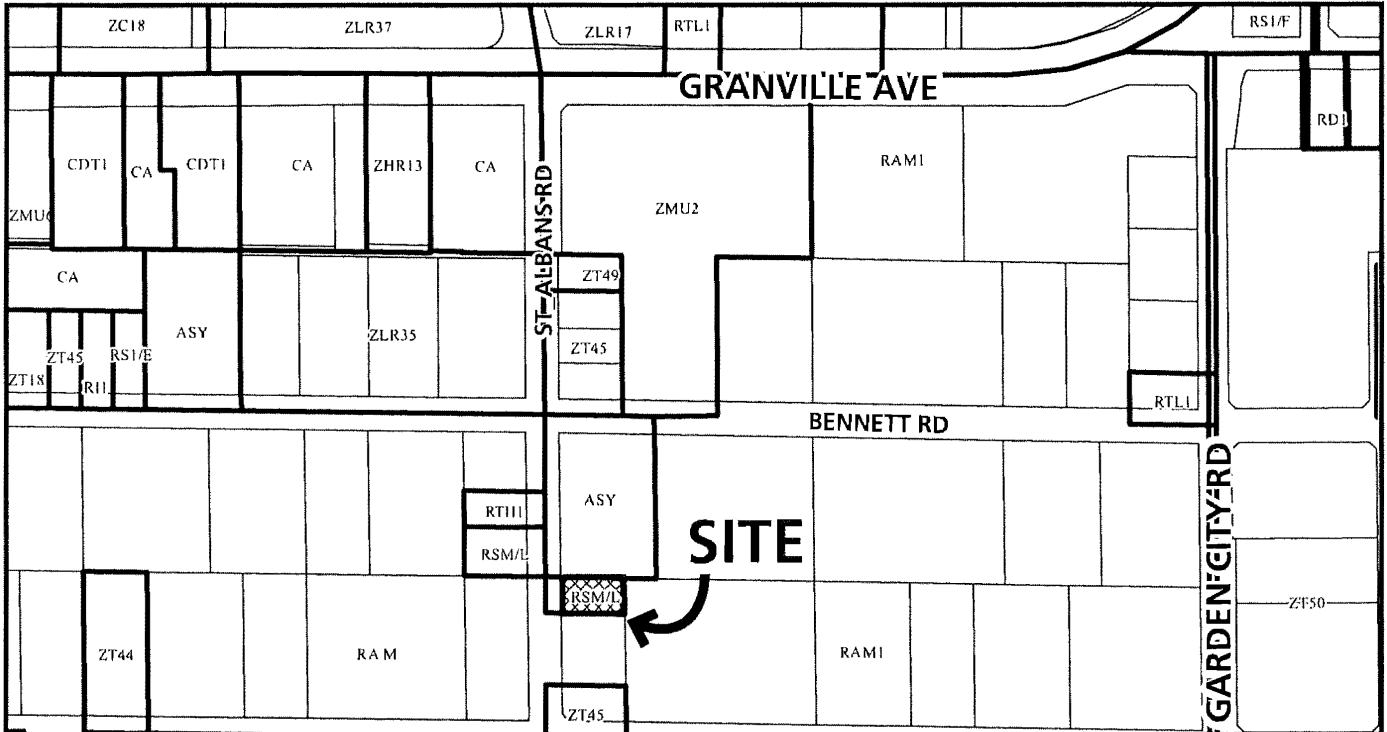
ISSUED BY THE COUNCIL THE

DELIVERED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
MAYOR



# City of Richmond



## DP 23-029433 SCHEDULE "A"

Original Date: 10/20/23

Revision Date: 10/16/24

Note: Dimensions are in METRES



**MATTHEW  
CHENG  
ARCHITECT INC.**

Unit 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
Tel: (604) 731-3012  
Cel: (604) 649-0669 / Email: matthew@mcai.ca

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Revision:  
1) Oct 23rd, 2024 DP Final drawings

RE | YY-MM-DD | DESCRIPTION | DRWN | CHK  
Consultant

**DP 23-029433  
October 23, 2024  
Plan #1**

Project Title  
**4 UNIT  
TOWNHOUSE  
DEVELOPMENT**

7300 ST. ALBANS ROAD  
RICHMOND, BC

Sheet Title  
**3D VIEWS AND  
PROJECT DATA**

Drawn: PW

Checked: MC

Scale:

Project Number:  
19 R TH 01

Revision Date: Dwg. No.:

Print Date:  
10/23/2024 12:54:35 PM

Print Code: 335

**A100**



**7300 ST ALBANS - 4 UNITS TOWNHOUSE- N.W VIEW**



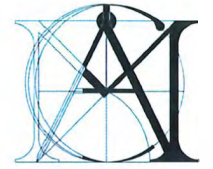
**CONTEXT PLAN**

PROJECT DATA	EXISTING		PROPOSED	
	METRIC (M/SM)	IMPERIAL (F/SF)	METRIC (M/SM)	IMPERIAL (F/SF)
ADDRESS	7300 ST. ALBANS ROAD RICHMOND, BC.			
LEGAL DESCRIPTION	LOT 4 SEC 16 BLOCK 4 NORTH RANGE 6W NEW WESTMINSTER			
	DISTRICT PLAN 11330			
PID				
SITE AREA	813.9	8,752	813.9	8,752
LAND USE	SINGLE FAMILY DWELLING		TOWNHOUSE	
OCP DESIGNATION	RESIDENTIAL		NO CHANGE	
ZONING	RS1/E		RTL1	
NO. OF DWELLINGS	1		4	
	REQUIRED / ALLOWED		PROPOSED	
	METRIC (M/SM)	IMPERIAL (F/SF)	METRIC (M/SM)	IMPERIAL (F/SF)
FLOOR AREA RATIO (FAR)	0.75		0.75	
FLOOR AREA TOTAL	610.68	6,571	610.68	6,571
LOT COVERAGE				
BUILDING (45% MAX.)	366.26	3,938	271.21	2,919
NON POROUS SURFACE (70% MAX.)	569.74	6,126	569.74	6,126
LIVE PLANT (20% MIN.)	162.78	1,750	165.00	1,775
SETBACK-FRONT YARD	4.5M	14'-09"	4.5M	14'-09"
SETBACK-SIDE YARD (NORTH)	2M	6'-06"	2.3M	7'-06"
SETBACK-SIDE YARD (SOUTH)	2M	6'-06"	2M	6'-06"
SETBACK-REAR YARD	3M	9'-10"	4.5M	14'-09"
HEIGHT (FLAT ROOF)	12M	3 STOREY	11.75M	3 STOREY
LOT SIZE	813.9	8,752	813.9	8,752
OFF-STREET PARKING TOTAL	7		7	
OFF-STREET ACCESSIBLE	0		0	
TANDEM PARKING SPACES	0		0	
SIDE BY SIDE PARKING SPACES	0		4	
OFF-STREET PARKING VISITOR	1		1	
CLASS 1 BICYCLE SPACE	1.25X4=5		5	
CLASS 2 BICYCLE SPACE	2X4=.8		1	
AMENITY SPACE - OUTDOOR	MIN. 6 SM/UNIT=24SM	258	29.016 SM	312.00
AMENITY SPACE - INDOOR	MIN. 70 SM OR CASH IN LIU OF \$1000.00/UNIT		CASH IN-LIU	
(10% OF NET SITE AREA)				
GENERAL NOTES:	. AGING IN PLACE FEATURES ARE PROPOSED IN ALL UNITS OF THE PROJECT. . ONE CONVERTIBLE UNIT IS PROPOSED . ALL UNITS IN THIS PROJECT MUST MEET THE REQUIREMENTS OF THE SOLAR HOT WATER READY REGULATION . PROJECT WILL ACHIEVE ENERGUILD 82 RATING			

THE PROJECT COMPLIANCE WITH FLOOD PLAIN DESIGNATION AND PROTECTION BYLAW. NO AREA BELOW THE FCL WILL BE USED FOR THE INSTALLATION OF FURNACES OR OTHER FIXED EQUIPMENT SUSCEPTIBLE TO DAMAGE BY FLOOD WATER. THIS PROJECT WILL BE BUILT BASED ON ENERGY STEP CODE STEP 3 WITH LCES  
 1) ABOVE GRADE WALLS : 2X6@16- R-24 INSULATION  
 2) FLAT ROOF : R-40 INSULATION  
 3) FLOOR OVER UNHEATED SPACE : R-28 INSULATION  
 4) SLAB ON GRADE : R-12 BELOW THE SLAB  
 5) ACH : 2.5 OR LESS @ 50 PA  
 6) WINDOWS : U VALUE 1.20 OR LOWER AND SHGC 0.30 OR HIGHER  
 7) HEATING SYSTEM : AIR SOURCE HEATPUMP  
 8) DOMESTIC HOT WATER - ELECTRIC

Sheet List	
Sheet Number	Sheet Name
A200	SITE PLAN
A201	LEVEL ONE
A202	LEVEL TWO
A203	LEVEL THREE
A301	East Building Elevations & North Elevation
A302	West Building Elevations & South Elevation
A400	FSR CALCULATION
A401	LOT COVERAGE OUTDOOR AREA CALCULATION
A402	SHADOW STUDY
A403	CONVERTABLE UNIT
A404	STREETSCAPE SECTIONS
A405	EAST BUILDING COLOUR ELEVATIONS
A406	WEST BUILDING COLOUR ELEVATIONS





**MATTHEW CHENG ARCHITECT INC.**  
 San. N.Rim: 1.11  
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**DP 23-029433**  
**October 23, 2024**  
**Plan #2**

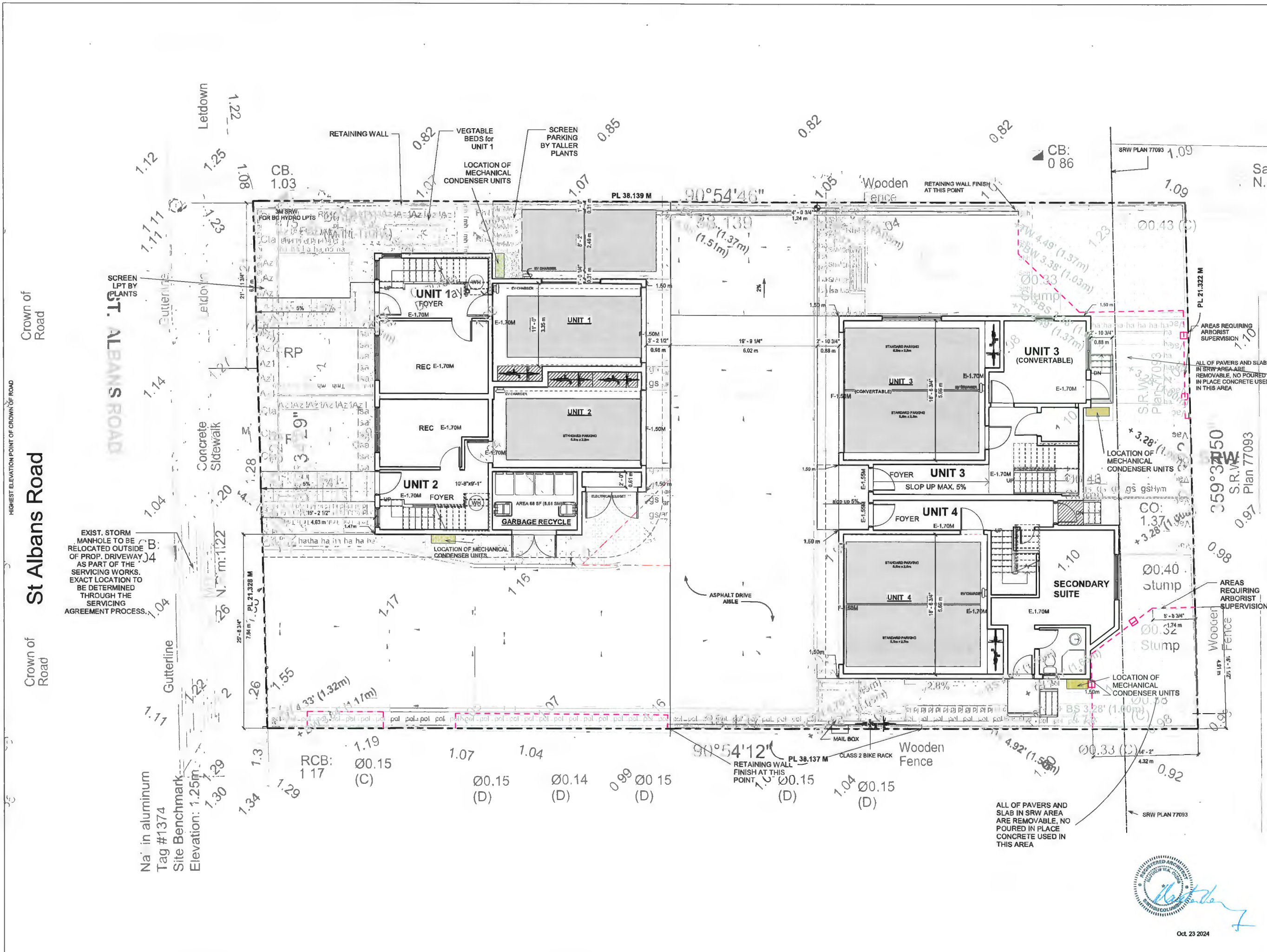
Project Title:  
**4 UNIT TOWNHOUSE DEVELOPMENT**

7300 ST. ALBANS ROAD  
 RICHMOND, BC

Sheet  
**SITE PLAN**



Drawn: PW  
 Checked: MC  
 Scale: 3/16" = 1'-0"  
 Project Number: 19 R TH 01  
 Revision Date: Dwg. No.:  
 Print Date: 10/23/2024 1:01:18 PM **A200**  
 Print Code: 335



Crown of Road

St Albans Road

Crown of Road

EXIST. STORM MANHOLE TO BE RELOCATED OUTSIDE OF PROP. DRIVEWAY AS PART OF THE SERVICING WORKS. EXACT LOCATION TO BE DETERMINED THROUGH THE SERVICING AGREEMENT PROCESS.

Na in aluminum  
 Tag #1374  
 Site Benchmark  
 Elevation: 1.25m



Oct 23 2024



**MATTHEW CHENG ARCHITECT INC.**

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Revision:  
1) Oct 23rd, 2024 DP Final drawings

2	Date 2	Revision 2	
1	Date 1	Revision 1	

RE	YY-MM-DD	DESCRIPTION	DRWN	CHK

**DP 23-029433**  
**October 23, 2024**  
**Plan #3**

Project Title  
**4 UNIT TOWNHOUSE DEVELOPMENT**

7300 ST. ALBANS ROAD  
RICHMOND, BC

Sheet Title  
**LEVEL ONE**



Oct. 23 2024

Drawn: PW

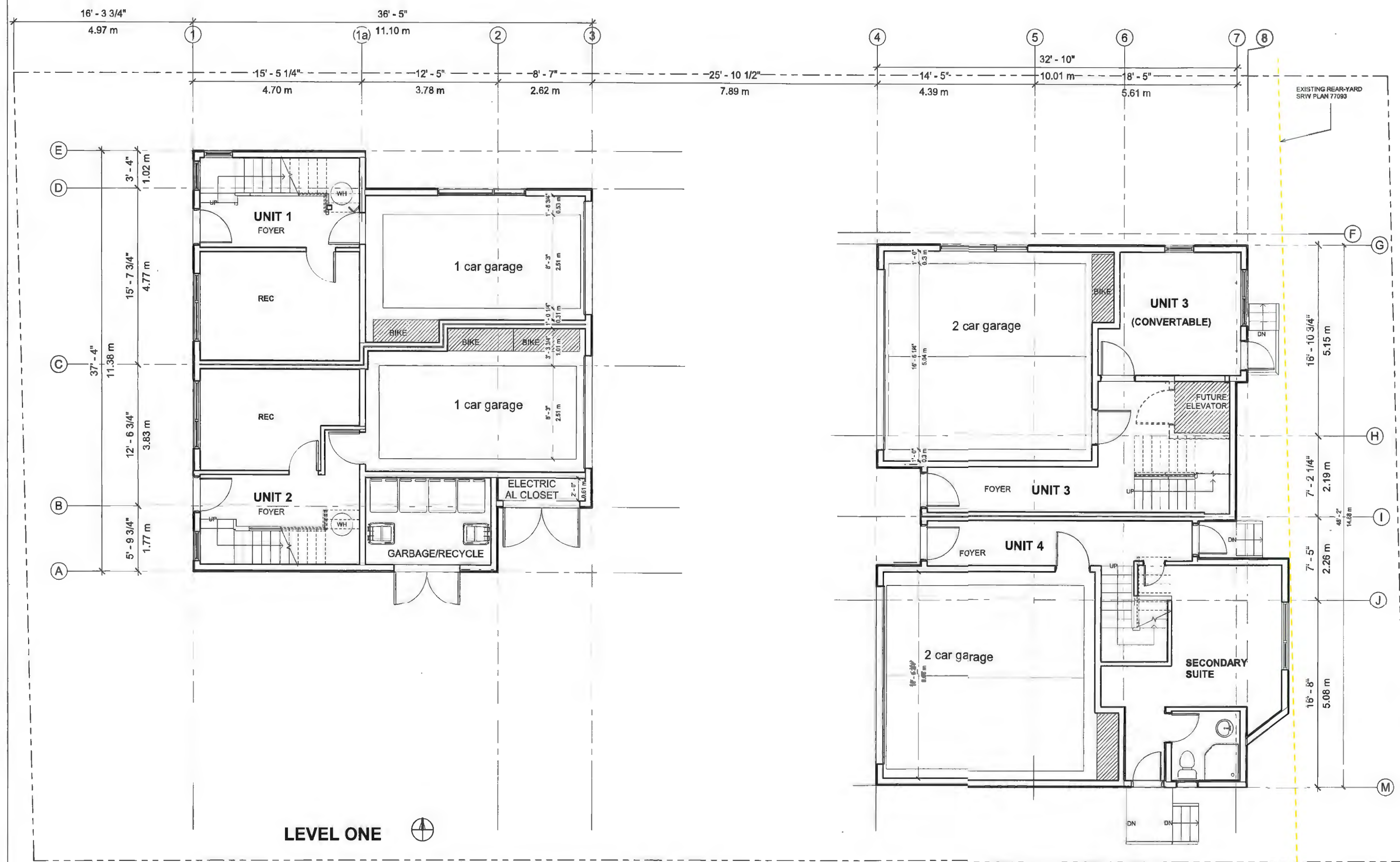
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Scale: 1/4" = 1'-0"

Project Number: 19 R TH 01

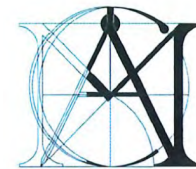
Revision Date: Date 2  
Print Date: 10/23/2024 1:03:03 PM  
Print Code: 335

**A201**



**LEVEL ONE**

**ALL OF PARKING SPOTS PROVIDED LEVEL 2 EV CHARGERS**



**MATTHEW  
CHENG  
ARCHITECT INC.**

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RE	YY-MM-DD	DESCRIPTION	DRWN	CHK
Consultant				

**DP 23-029433  
October 23, 2024  
Plan #4**

Project Title  
**4 UNIT TOWNHOUSE DEVELOPMENT**

7300 ST. ALBANS ROAD  
RICHMOND, BC

Sheet Title  
**LEVEL TWO**



Oct. 23 2024

Drawn: PW

Checked: MC

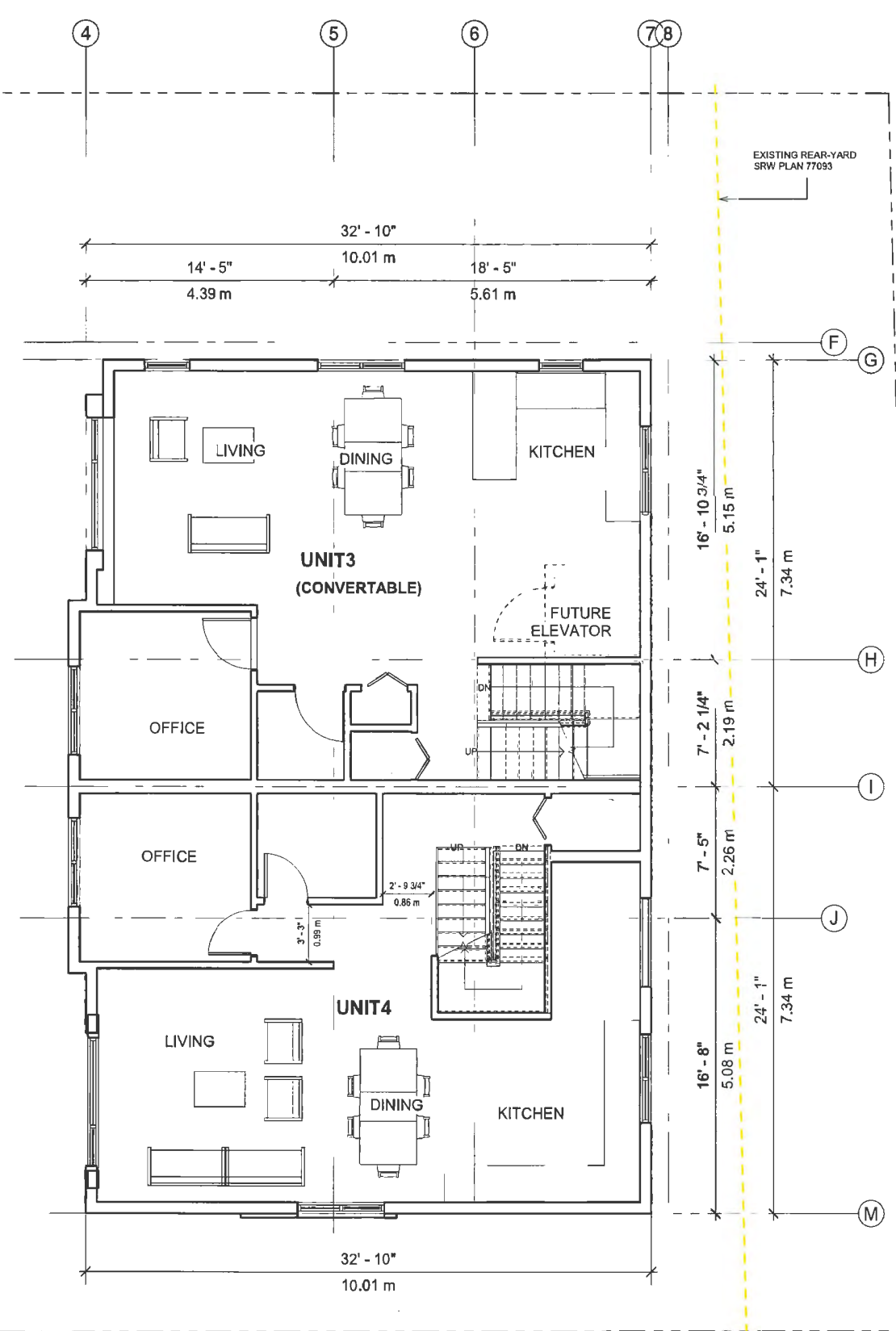
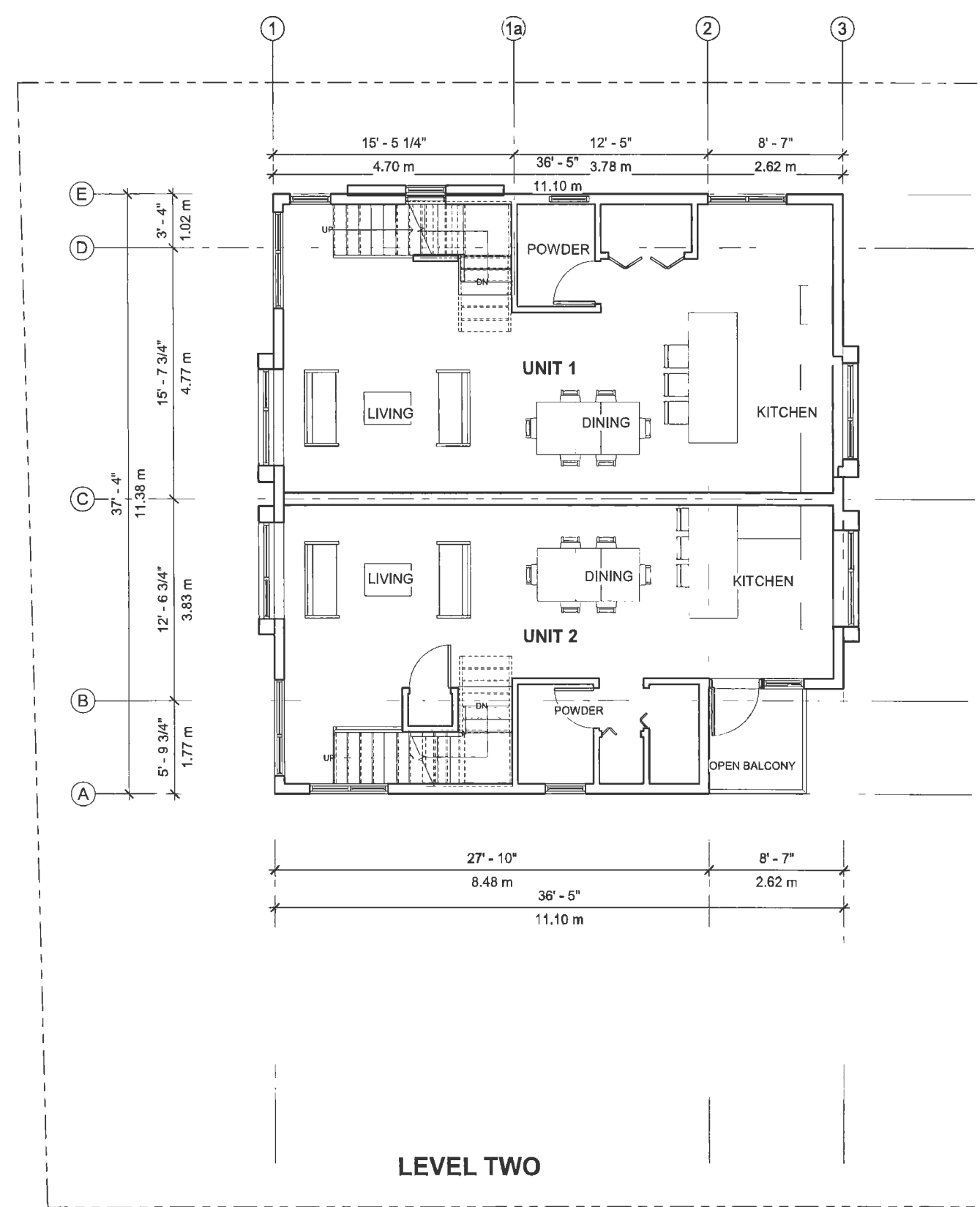
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Project Number:  
19 R TH 01

Revision Date: Dwg. No.:

Print Date: 10/23/2024 1:02:12 PM **A202**

Print Code: 335



EXISTING REAR-YARD SRW PLAN 77093



**MATTHEW CHENG ARCHITECT INC.**

Unit 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
Tel: (604) 731-3012  
Cel: (604) 649-0669 / Email: matthew@mcai.ca

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Revision:  
1) Oct 23rd, 2024 DP Final drawings

RE	YY-MM-DD	DESCRIPTION	DRWN	CHK
1				

**DP 23-029433**  
**October 23, 2024**  
**Plan #5**

Project Title:  
**4 UNIT TOWNHOUSE DEVELOPMENT**

7300 ST. ALBANS ROAD  
RICHMOND, BC

Sheet:  
**LEVEL THREE**



Oct. 23 2024

Drawn: PW

Checked: MC

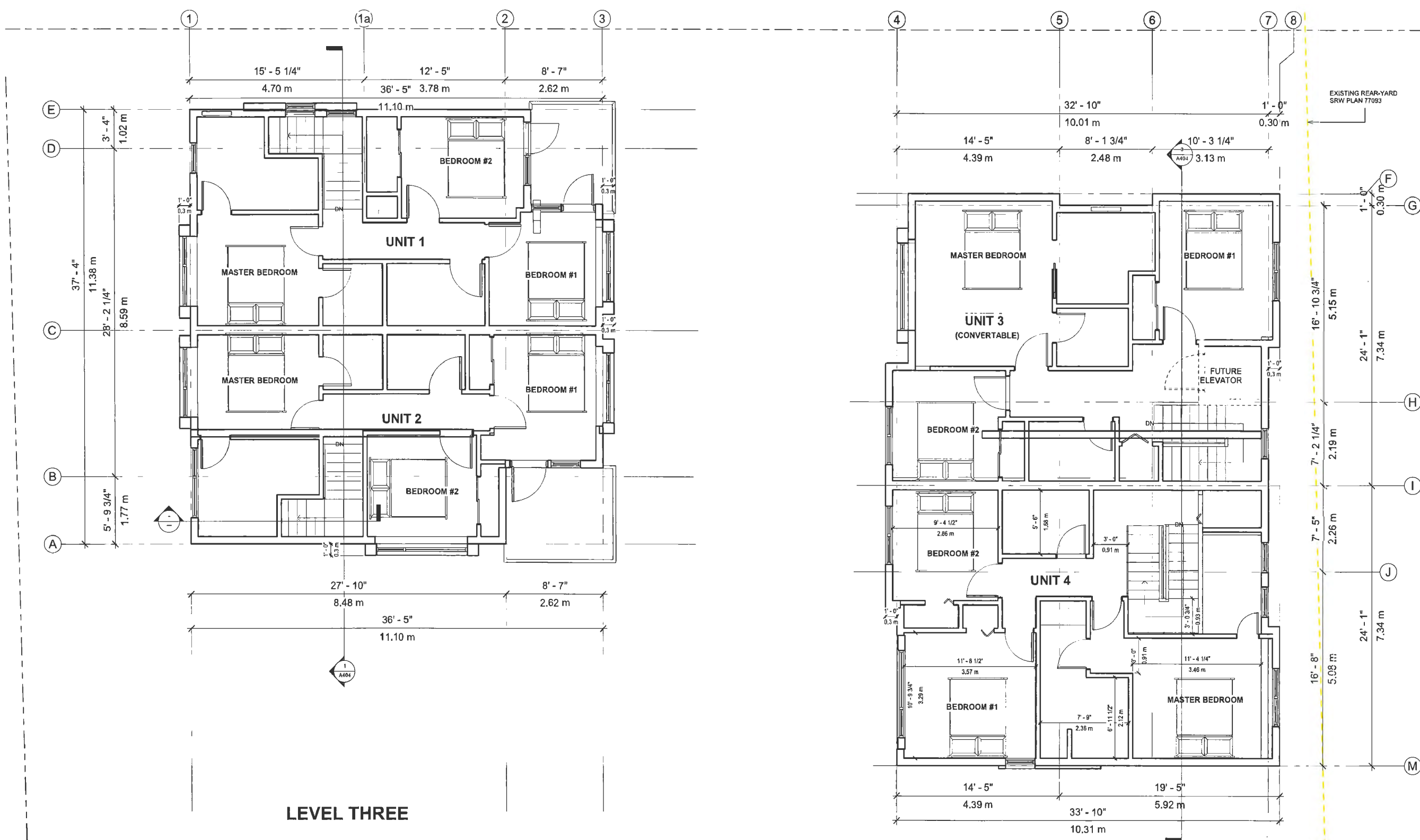
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Project Number:  
19 R TH 01

Revision Date: Dwg. No.:

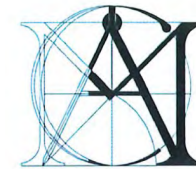
Print Date: 10/23/2024 1:03:39 PM **A203**

Print Code: 335



**LEVEL THREE**





**MATTHEW CHENG ARCHITECT INC.**

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VANCOUVER, BC V6A 2K9  
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Revision:  
1) Oct 23rd, 2024 OP Final drawings

RE	YY-MM-DD	DESCRIPTION	DRWN	CHK

Consultant:  
s

**DP 23-029433**  
**October 23, 2024**  
**Plan #6**

Project Title:  
**4 UNIT TOWNHOUSE DEVELOPMENT**

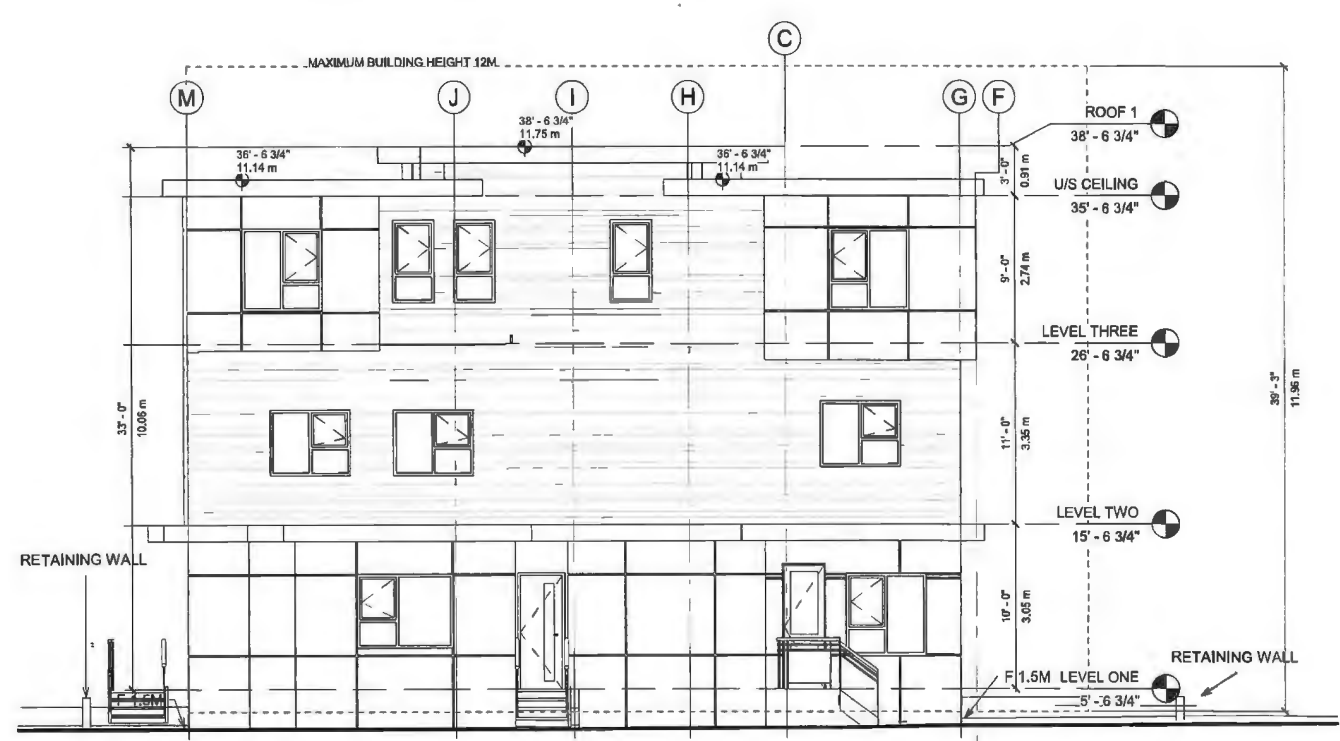
7300 ST. ALBANS ROAD  
RICHMOND, BC

Sheet:  
**East Building Elevations & North Elevation**

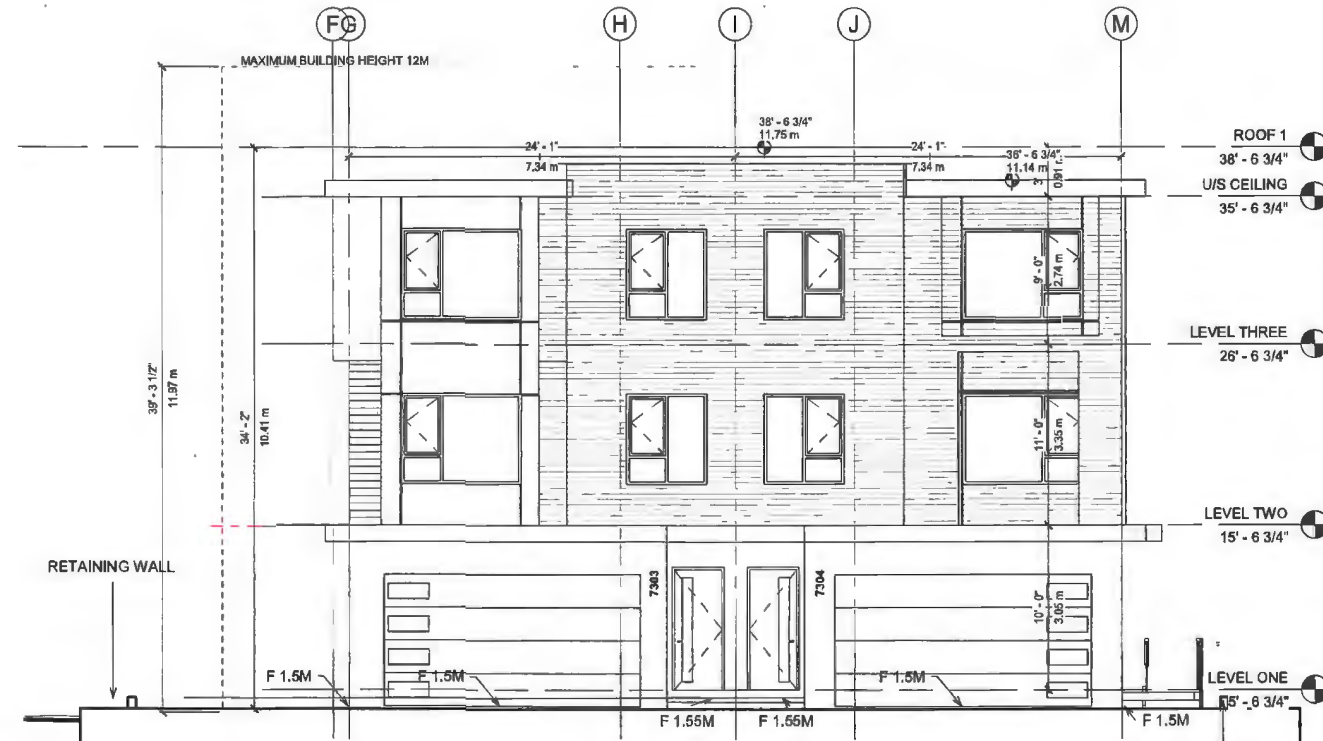
Drawn by: PW  
Checked by: MC  
Scale: As indicated  
Project Number: 19 R TH 01

Revision Date:      Desig. No.:

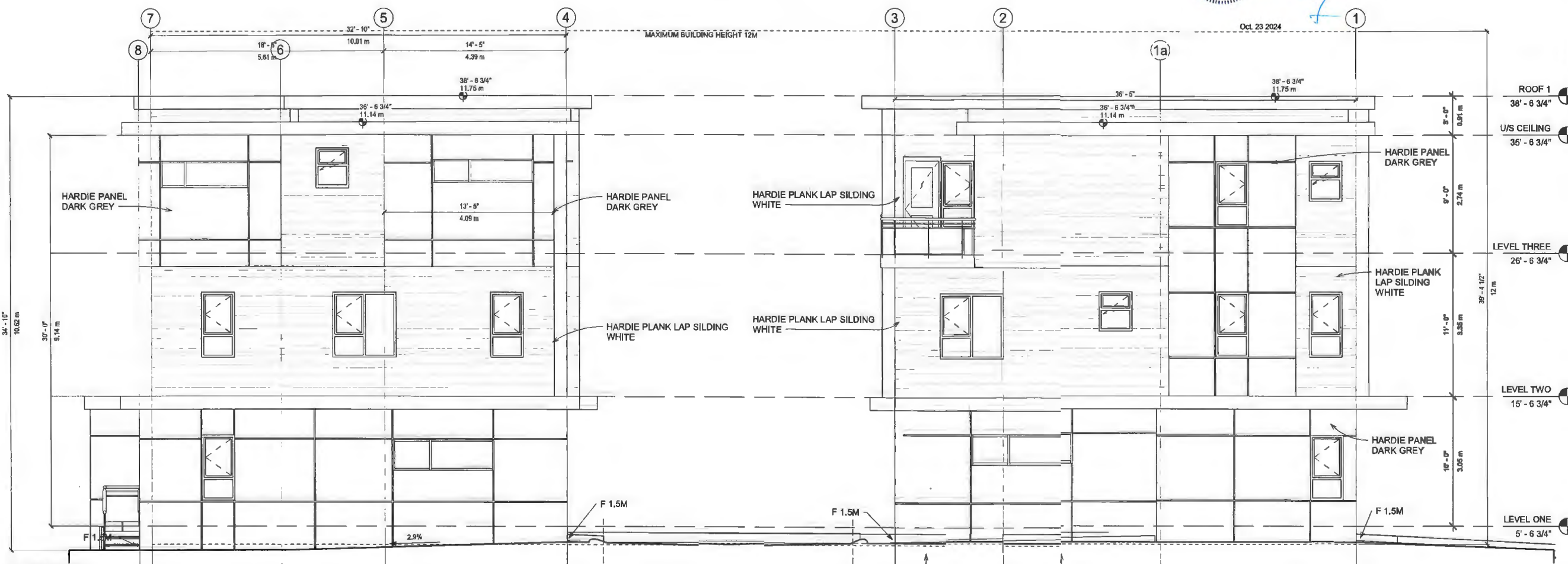
Print Date: 10/23/2024 1:04:12 PM  
Print Code: 335  
**A301**



2 East Building-East Elevation  
3/16" = 1'-0"



3 East Building-West Elevation  
3/16" = 1'-0"



1 North Elevation  
1/4" = 1'-0"

THE PROJECT COMPLIANCE WITH FLOOD PLAIN DESIGNATION AND PROTECTION BYLAW.  
NO AREA BELOW THE F.C.L. WILL BE USED FOR THE INSTALLATION OF FURNACES OR OTHER FIXED EQUIPMENT  
SUSCEPTIBLE TO DAMAGE BY FLOOD WATER.



**MATTHEW  
CHENG  
ARCHITECT INC.**

Unit 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
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IMMEDIATELY  
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MATTHEW CHENG ARCHITECT INC. AND MAY  
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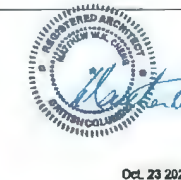
Revised:  
1) Oct 23rd, 2024 DP Final drawings

RE | Y1-M1-D1 | DESCRIPTION | DRWN | CHK  
Consultant  
s



1 East Building - East Elevation Colour  
1/4" = 1'-0"

3 East building - West elevation Colour  
1/4" = 1'-0"



**DP 23-029433**  
**October 23, 2024**  
**Plan #7**



2 North Elevation Colour  
1/4" = 1'-0"

Project Title  
**4 UNIT  
TOWNHOUSE  
DEVELOPMENT**

7300 ST. ALBANS ROAD  
RICHMOND, BC

Sheet  
**EAST BUILDING  
COLOUR  
ELEVATIONS**

Drawn: Author

Checked: Checker

Scale: 1/4" = 1'-0"

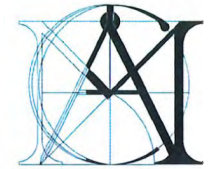
Project Number:  
19 R TH 01

Revision Date: Dwg. No.

Print Date:  
10/23/2024 1:13:51 PM

**A405**

Print Code: 335



**MATTHEW CHENG ARCHITECT INC.**

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VANCOUVER, BC V6A 2K9  
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Revision:  
1) Oct 23rd, 2024 DP Final drawings

**DP 23-029433**  
**October 23, 2024**  
**Plan #8**

RE	YY-MM-DD	DESCRIPTION	DRWN	CHK



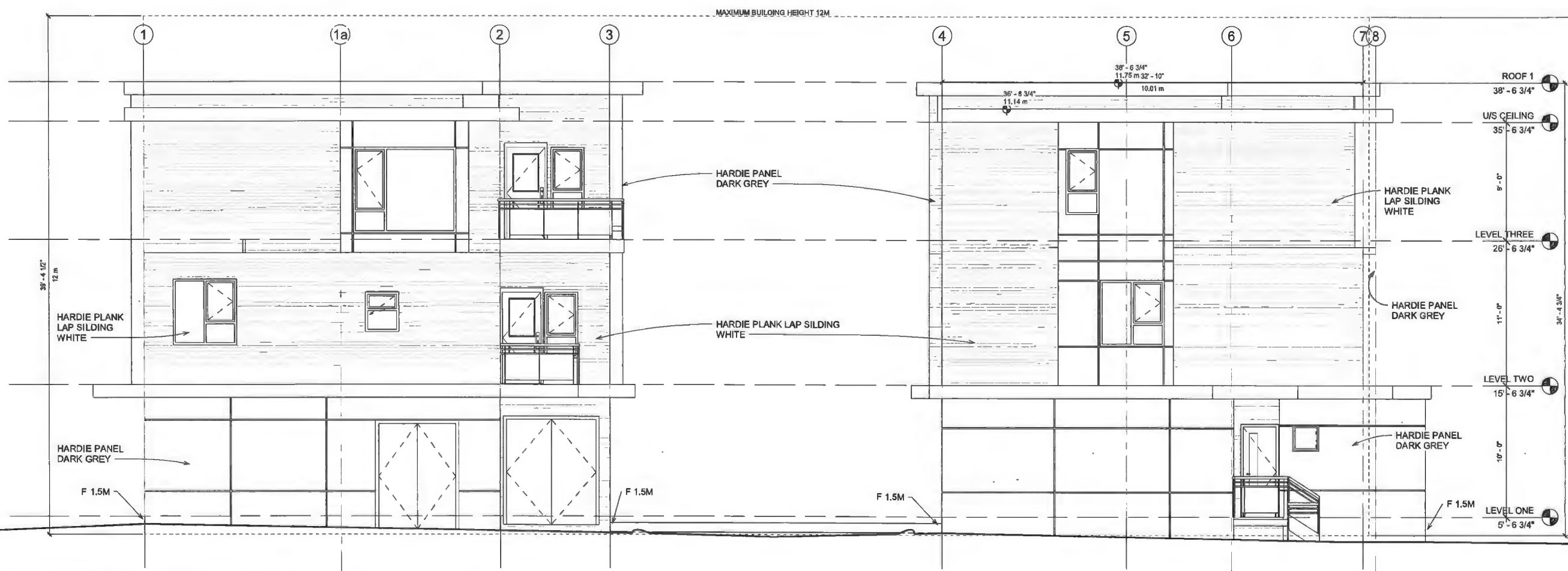
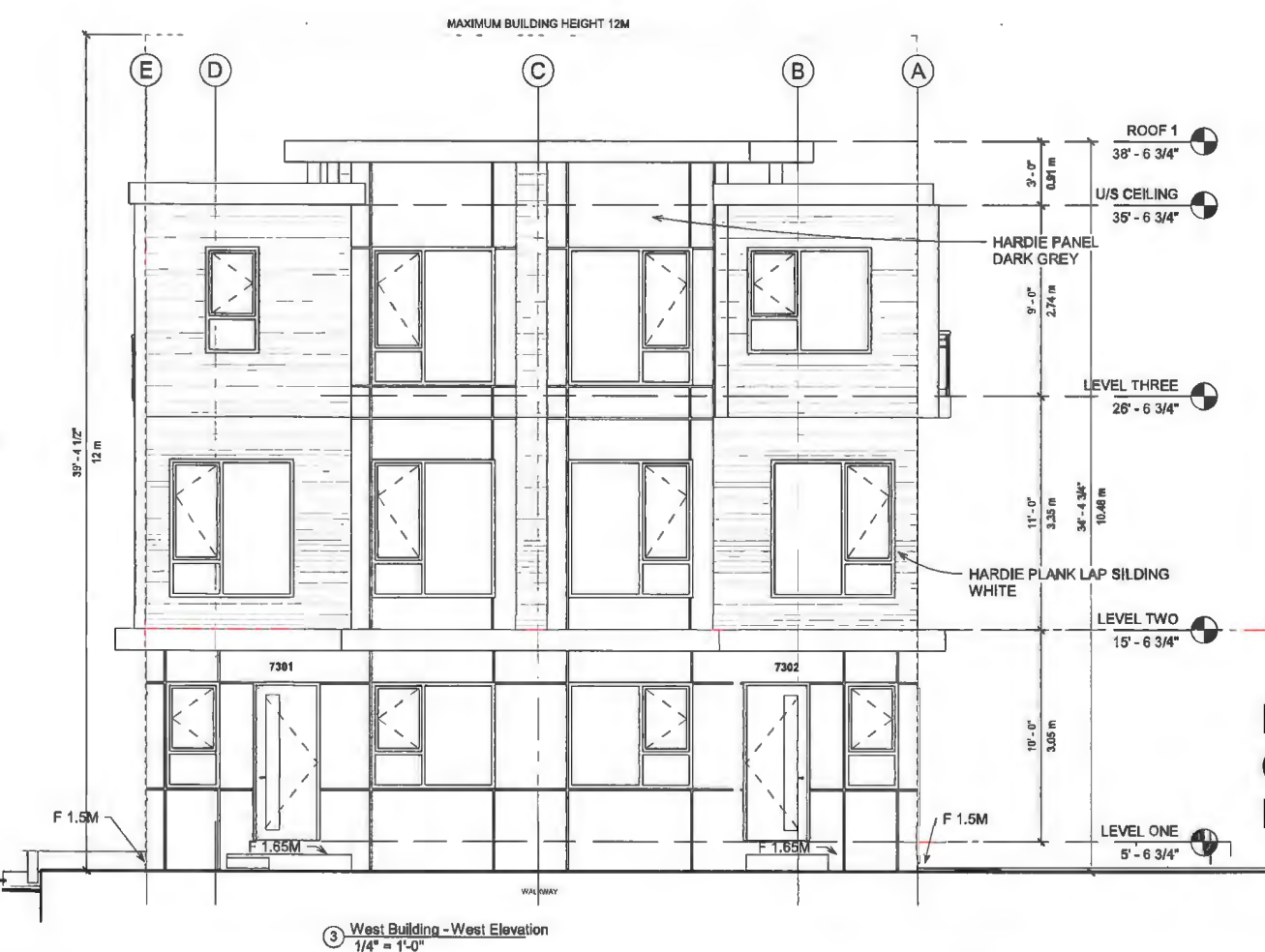
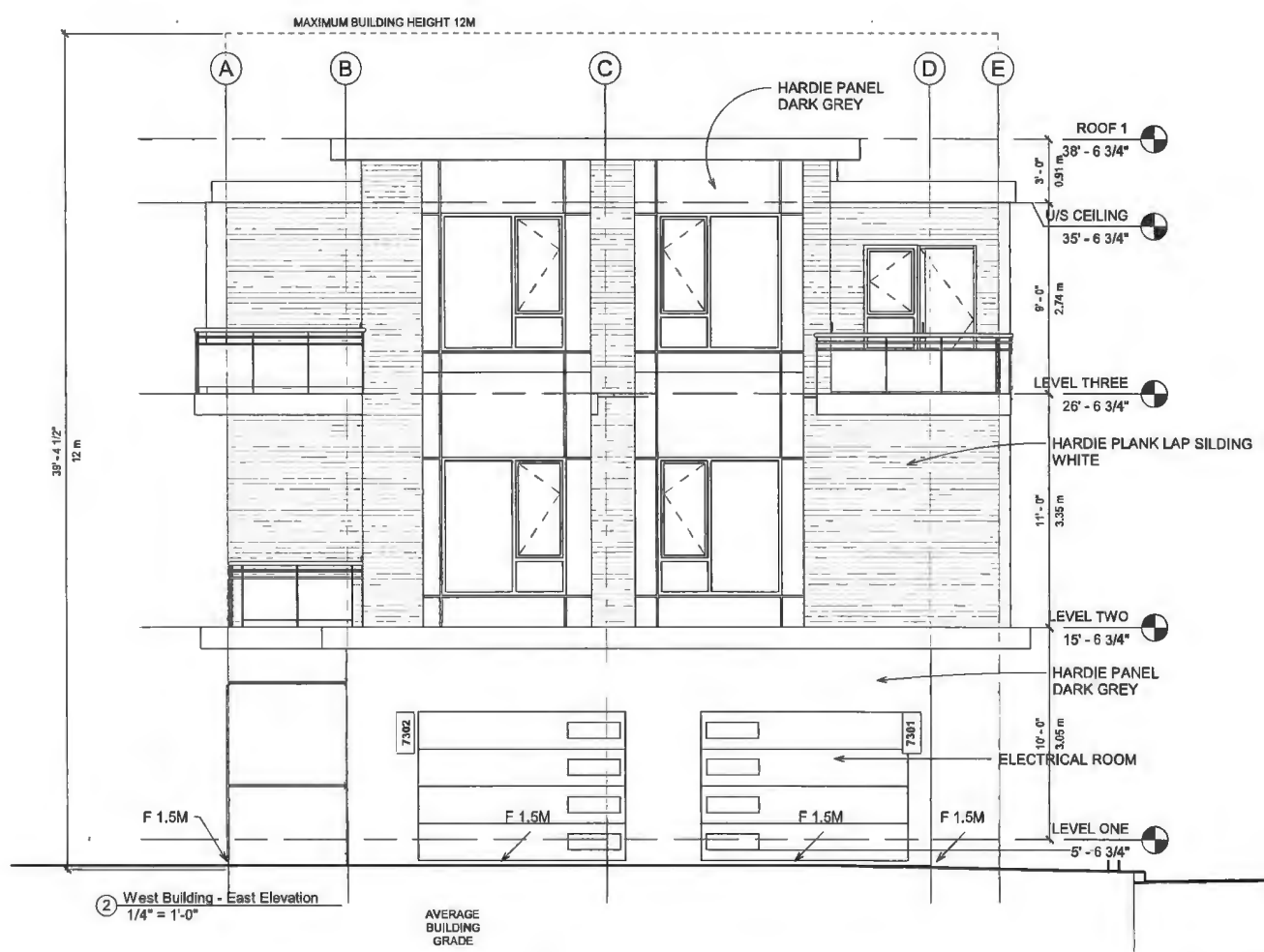
Project Title:  
**4 UNIT TOWNHOUSE DEVELOPMENT**

7300 ST. ALBANS ROAD  
RICHMOND, BC

Sheet:  
**West Building Elevations & South Elevation**

Drawn by: PW  
Checked by: MC  
Scale: 1/4" = 1'-0"  
Project Number: 19 R TH 01  
Revision Date: Dwg. No.:

Print Date: 10/23/2024 1:05:08 PM  
Print Code: 336  
**A302**



① South Elevation  
1/4" = 1'-0"

THE PROJECT COMPLIANCE WITH FLOOD PLAIN DESIGNATION AND PROTECTION BYLAW.  
NO AREA BELOW THE FCL WILL BE USED FOR THE INSTALLATION OF FURNACES OR OTHER FIXED EQUIPMENT SUSCEPTIBLE TO DAMAGE BY FLOOD WATER.



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ARCHITECT INC.**

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Revision:

RE	YY-MM-DD	DESCRIPTION	DRWN	CHK

**DP 23-029433**  
**October 23, 2024**  
**Plan #9**

Project Title  
**4 UNIT  
TOWNHOUSE  
DEVELOPMENT**

7300 ST. ALBANS ROAD  
RICHMOND, BC

Sheet  
**WEST BUILDING  
COLOUR  
ELEVATIONS**

Drawn: Author

Checked: Checker

Scale: 1/4" = 1'-0"

Project Number:  
19 R TH 01

Revision Date: Dwg. No.:

Print Date:  
10/21/2024 11:42:38 AM

**A406**

Print Code: 335



UNIT 1 & 2 VIEW FROM GARAGE

③ WEST BUILDING- EAST COLOUR  
1/4" = 1'-0"



① West Building - West Elevation Color  
1/4" = 1'-0"



**CONVERTIBLE UNIT GUIDELINES:**

**DOORS & DOORWAYS**

- ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.
- ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER).
- INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS.
- PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED. ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.
- LEVER-TYPE HANDLES FOR ALL DOORS.

**VERTICAL CIRCULATION**

- STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.
- OR
- VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
- AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.

**HALLWAYS**

- MIN. 900 MM WIDTH.

**GARAGE**

- MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.
- ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.

**BATHROOM (MIN. 1)**

- TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
- WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
- PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
- CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).

**KITCHEN**

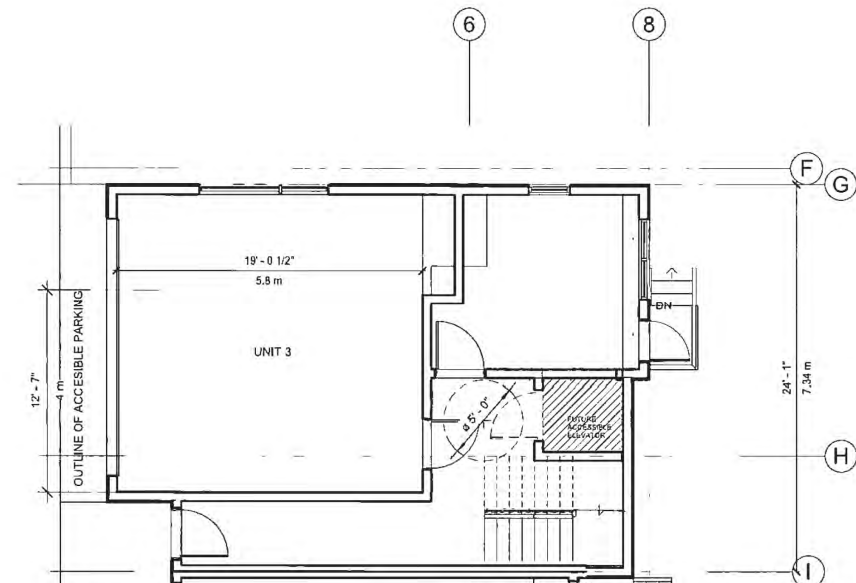
- CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
- CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
- 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.

**WINDOWS**

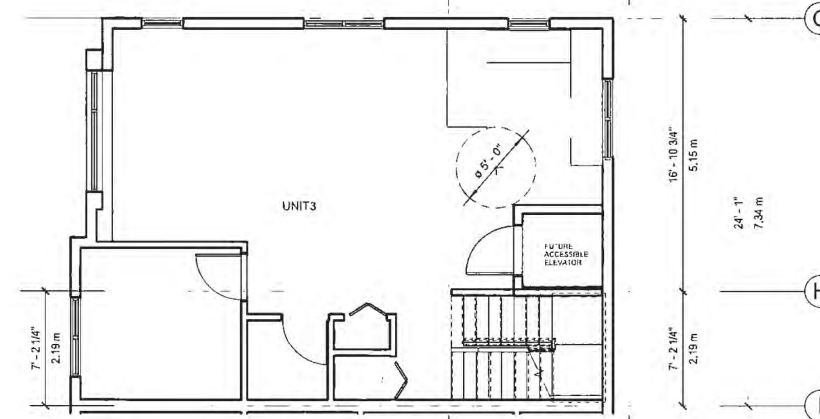
- MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)

**OUTLETS & SWITCHES**

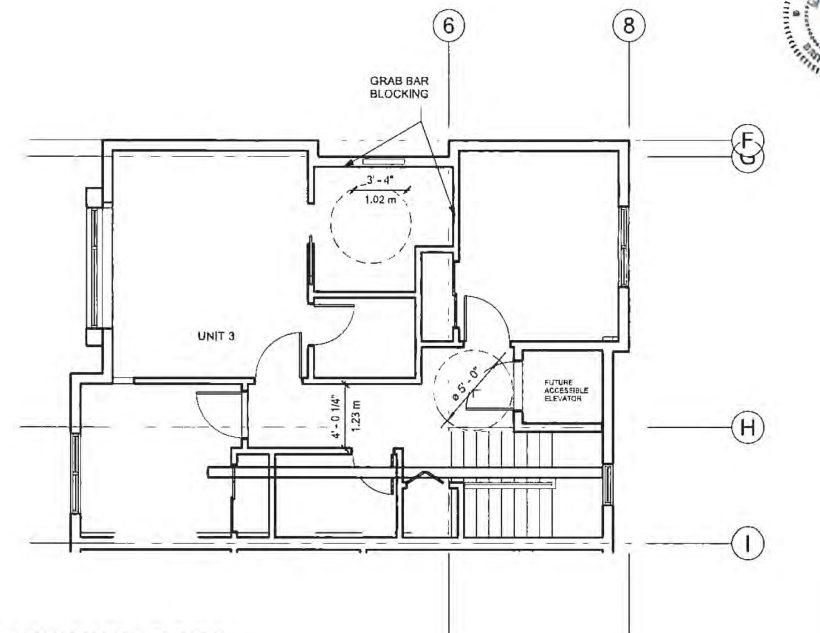
- PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS. -UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.



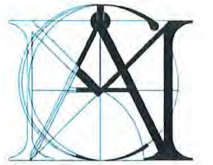
1 CONVERTABLE UNIT LEVEL ONE  
3/16" = 1'-0"



2 CONVERTABLE UNIT LEVEL TWO  
3/16" = 1'-0"



3 CONVERTABLE UNIT LEVEL THREE  
3/16" = 1'-0"



**MATTHEW  
CHENG  
ARCHITECT INC.**

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5				

Consultant

**DP 23-029433**  
**October 23, 2024**  
**Plan #10**



Project Title:  
**4 UNIT  
TOWNHOUSE  
DEVELOPMENT**

7300 ST. ALBANS ROAD  
RICHMOND, BC

Sheet:  
**CONVERTABLE  
UNIT**

Drawn: PW

Checked: MC

Scale: 3/16" = 1'-0"

Project Number:  
19 R TH 01

Revision Date: Dwg. No.:

Print Date:  
10/23/2024 1:15:03 PM

**A403**

Print Code: 335



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1) Oct 23rd, 2024 DP Final drawings

RE	YY-MM-DD	DESCRIPTION	DRWN	CHK

**DP 23-029433**  
**October 23, 2024**  
**Plan #11**

Project Title  
**4 UNIT TOWNHOUSE DEVELOPMENT**

7300 ST. ALBANS ROAD  
RICHMOND, BC

Sheet  
**STREETSCAPE SECTIONS**



Oct. 23 2024

Drawn: PW

Checked: MC

Scale: As indicated

Project Number: 19 R TH 01

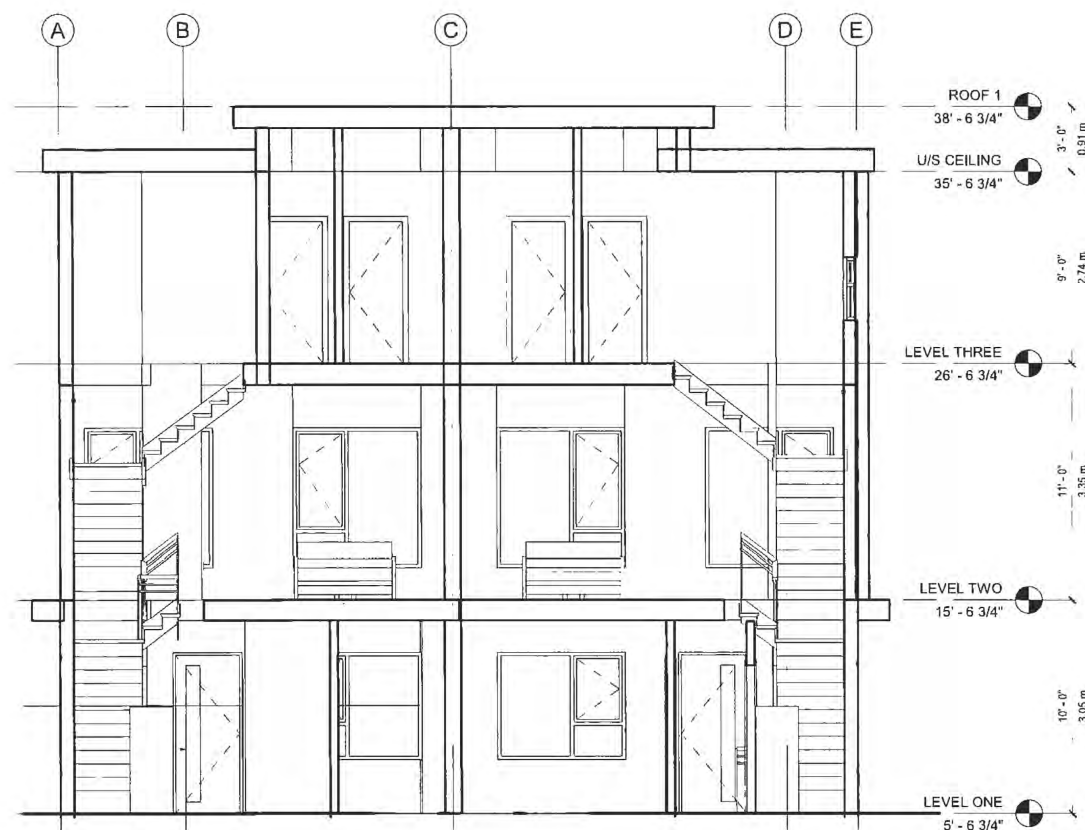
Revision Date: Dwg. No.:

Print Date: 10/23/2024 1:13:09 PM  
Print Code: 335

**A404**



**STREETSCAPE**



**UNIT 1**

**UNIT 2**

① Section 1 and 2  
1/4" = 1'-0"



**UNIT 3**

**UNIT 4**

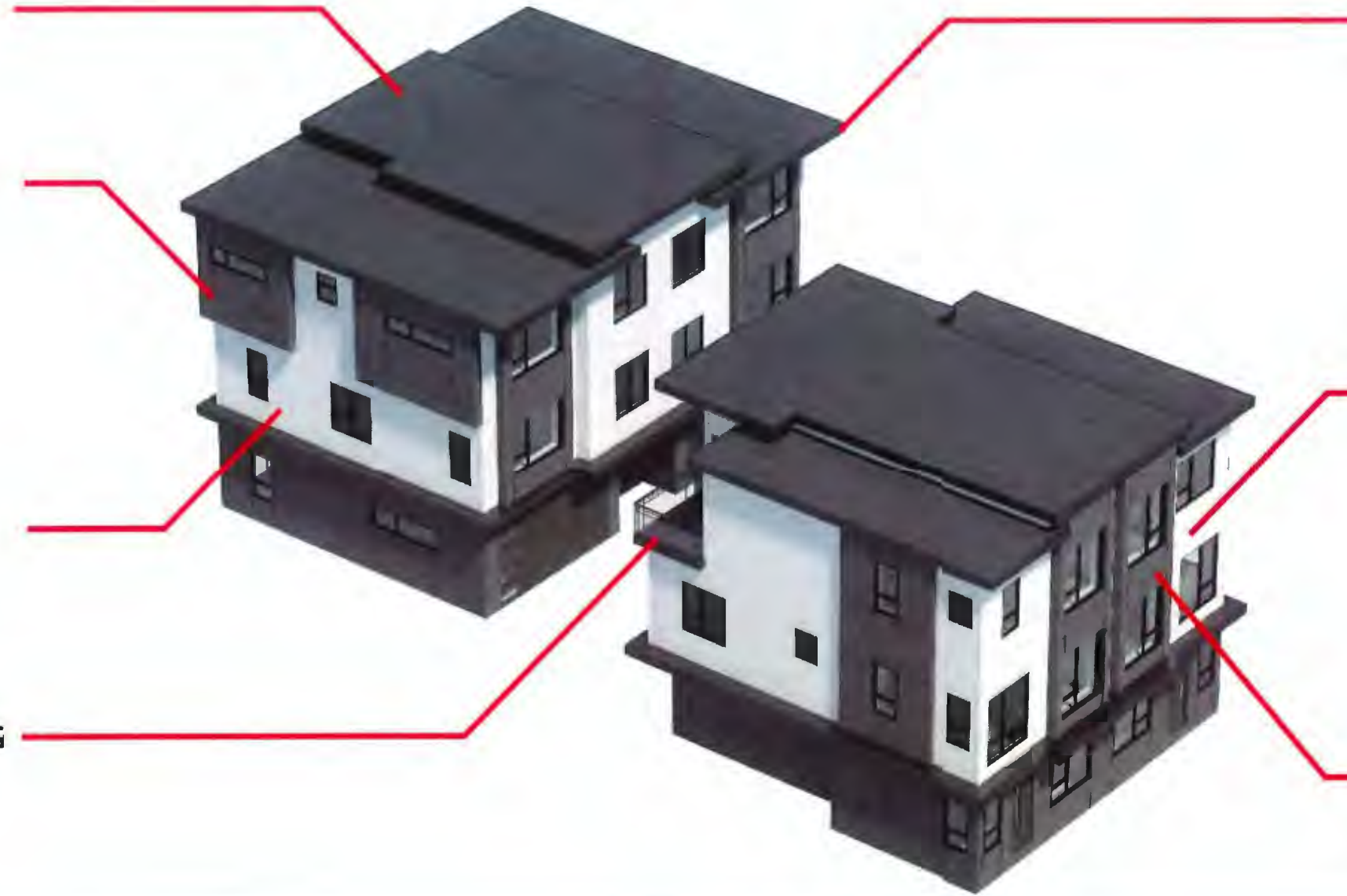
② Section 3 and 4  
1/4" = 1'-0"

**TORCH DOWN  
ROOFING**

**HARDIE PANEL  
DARK GRAY**

**HARDIE SIDING  
WHITE**

**BLACK METAL RAILING  
WITH GLASS INSERT**



**METAL FASCIA  
BLACK**

**HARDIE SIDING  
WHITE**

**HARDIE PANEL  
DARK GRAY**

**DP 23-029433  
October 23, 2024  
Plan #12**

**METAL FASCIA  
BLACK**



**HARDIE SIDING  
WHITE**



**HARDIE PANEL  
DARK GRAY**





St. ALBANS ROAD

CONIFER 0.95 PREVIOUSLY REMOVED.

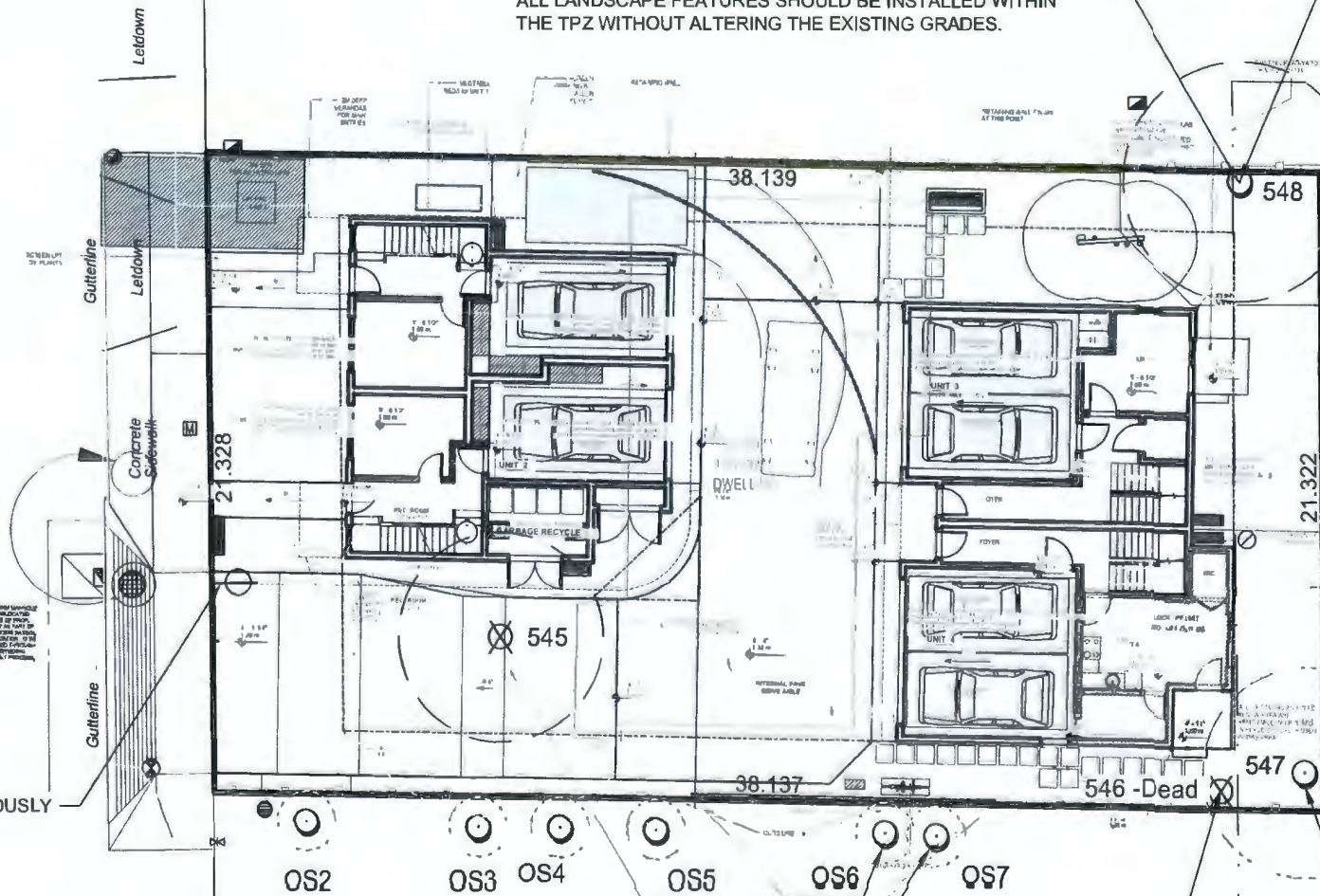


LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- TREE PREVIOUSLY REMOVED
- MINIMUM NO DISTURBANCE ZONE
- DRIPLINE (OR APPROXIMATE EXTENT OF CANOPY). SOME ENCROACHMENT MAY BE FEASIBLE.

NOTE: LIMIT EXCAVATION OFFSET TO 2' MAX. SURVEYORS TO FIELD STAKE BUILDING CORNER NEAR TREE AND EXCAVATION TO BE UNDER THE DIRECTION OF THE PROJECT ARBORIST. REASSESS WITH FINAL GRADES. ALL LANDSCAPE FEATURES SHOULD BE INSTALLED WITHIN THE TPZ WITHOUT ALTERING THE EXISTING GRADES.

NOTE: NO EXCAVATION OR GRADE CHANGES PERMITTED INSIDE TPZ OR TREE REMOVAL MAYBE WARRANTED.



DP 23-029433  
October 23, 2024  
Plan #13

Tree #	Type	DBH (cm)	Canopy (m)
545	Honey locust ( <i>Gleditsia triacanthos</i> )	35	6.0
546	Western Redcedar ( <i>Thuja plicata</i> )	~30	NA
547	Western Redcedar ( <i>Thuja plicata</i> )	51	3.5
548	Douglas-fir ( <i>Pseudotsuga menziesii</i> )	52	3.5
OS1	Japanese Maple ( <i>Acer palmatum</i> )	~30/30	~1.0
OS2	Rhododendron ( <i>Rhododendron</i> sp.)	1/1/1	~1.0
OS3	Japanese Maple ( <i>Acer palmatum</i> )	1/1/1	~1.0
OS4	Japanese Maple ( <i>Acer palmatum</i> )	1/1/1	~1.0
OS5	Japanese Maple ( <i>Acer palmatum</i> )	1/1/1	~1.0
OS6	Japanese Maple ( <i>Acer palmatum</i> )	1/1/1	1.0
OS7	Japanese Maple ( <i>Acer palmatum</i> )	1/1/1	1.0

NOTE: STUMP GRIND.

TREE NOT SURVEYED. LOCATION IS APPROXIMATE. EXCAVATION FOR RETAINING WALL TO AVOID TPZ.

NOTE: LIMIT EXCAVATION OFFSET TO 2' MAX. SURVEYORS TO FIELD STAKE BUILDING CORNER NEAR TREE AND EXCAVATION TO BE UNDER THE DIRECTION OF THE PROJECT ARBORIST. REASSESS FOR ROOT LOSS AT TIME OF EXCAVATION. REASSESS WITH FINAL GRADES.

NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	AUG23/22	MK	SITE PLAN	6	SEPT18/23	MK	SITE PLAN
2	OCT26/22	MK	SITE PLAN & REVISIONS				
3	JAN26/23	MK	REVISIONS				
4	MAY13/23	MK	SITE PLAN				
5	JUN05/23	MK	SITE PLAN				

MIKE FADUM AND ASSOCIATES LTD.  
VEGETATION CONSULTANTS

#105, 8277 129 St.  
Surrey, British Columbia  
V3W 0A8  
Ph: (778) 593-0300  
Fax: (778) 593-0302  
Email: mfadum@fadum.ca

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PROJECT TITLE  
7300 ST. ALBANS ROAD  
RICHMOND, B.C.

SHEET TITLE  
T1 - TREE REMOVAL AND PRESERVATION PLAN

CLIENT

DRAWN  
SS:  
SCALE  
AS SHOWN  
DATE  
AUGUST 21, 2019

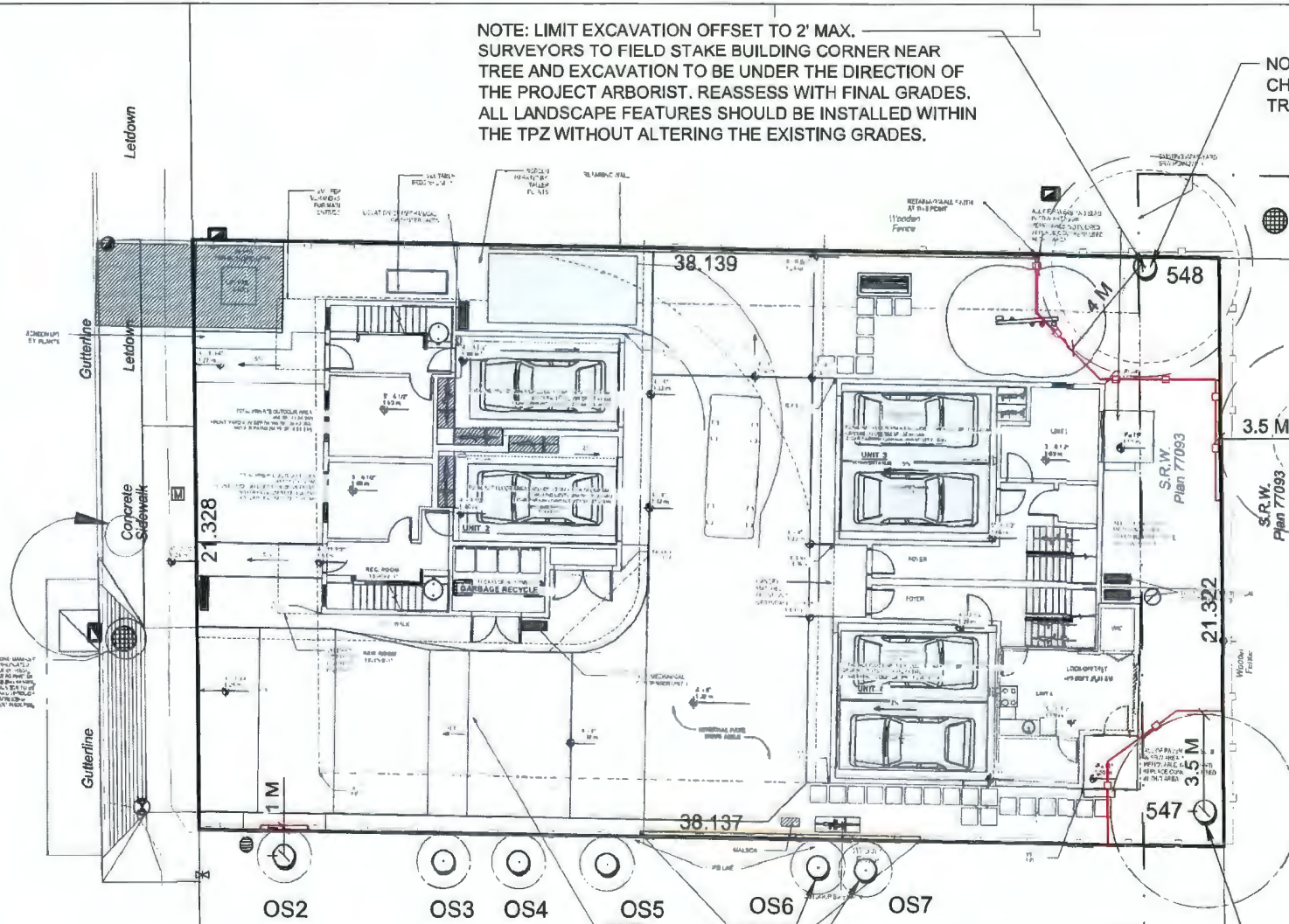
T-1  
SHEET 1 OF 2





St. ALBANS ROAD

Crown of Road



NOTE: LIMIT EXCAVATION OFFSET TO 2' MAX. SURVEYORS TO FIELD STAKE BUILDING CORNER NEAR TREE AND EXCAVATION TO BE UNDER THE DIRECTION OF THE PROJECT ARBORIST. REASSESS WITH FINAL GRADES. ALL LANDSCAPE FEATURES SHOULD BE INSTALLED WITHIN THE TPZ WITHOUT ALTERING THE EXISTING GRADES.

NOTE: NO EXCAVATION OR GRADE CHANGES PERMITTED INSIDE TPZ OR TREE REMOVAL MAYBE WARRANTED.

DP 23-029433  
October 23, 2024  
Plan #14



LEGEND

- TREE TO BE RETAINED
- MINIMUM NO DISTURBANCE ZONE
- TREE PROTECTION FENCING
- DRIPLINE (OR APPROXIMATE EXTENT OF CANOPY), SOME ENCROACHMENT MAY BE FEASIBLE.

TREE NOT SURVEYED. LOCATION IS APPROXIMATE. EXCAVATION FOR RETAINING WALL TO AVOID TPZ.

- GENERAL NOTES:
- NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
  - TREE PROTECTION FENCING TO BE MEASURED FROM THE OUTER EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS. REASSESS TREES WITH LOT GRADING PLANS.
  - REPLACEMENT TREES SHALL CONFORM TO CNLA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.

NOTE: LIMIT EXCAVATION OFFSET TO 2' MAX. SURVEYORS TO FIELD STAKE BUILDING CORNER NEAR TREE AND EXCAVATION TO BE UNDER THE DIRECTION OF THE PROJECT ARBORIST. REASSESS FOR ROOT LOSS AT TIME OF EXCAVATION. REASSESS WITH FINAL GRADES.

Tree #	Type	DBH (cm)	Canopy (m)
545	Honey locust ( <i>Gleditsia triacanthos</i> )	35	6.0
546	Western Redcedar ( <i>Thuja plicata</i> )	~30	NA
547	Western Redcedar ( <i>Thuja plicata</i> )	51	3.5
548	Douglas-fir ( <i>Pseudotsuga menziesii</i> )	52	3.5
OS1	Japanese Maple ( <i>Acer palmatum</i> )	~30/30	~1.0
OS2	Rhododendron ( <i>Rhododendron</i> sp.)	1/1/1	~1.0
OS3	Japanese Maple ( <i>Acer palmatum</i> )	1/1/1	~1.0
OS4	Japanese Maple ( <i>Acer palmatum</i> )	1/1/1	~1.0
OS5	Japanese Maple ( <i>Acer palmatum</i> )	1/1/1	~1.0
OS6	Japanese Maple ( <i>Acer palmatum</i> )	1/1/1	1.0
OS7	Japanese Maple ( <i>Acer palmatum</i> )	1/1/1	1.0

NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	AUG23/22	MK	SITE PLAN	6	SEPT18/23	MK	SITE PLAN
2	OCT26/22	MK	SITE PLAN & REVISIONS				
3	JAN26/23	MK	REVISIONS				
4	MAY10/23	MK	SITE PLAN				
5	JUN05/23	MK	SITE PLAN				

**MIKE FADUM AND ASSOCIATES LTD.**  
VEGETATION CONSULTANTS

#105, 8277 128 St.  
Surrey, British Columbia  
V3W 0A8  
Ph: (778) 593-0300  
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Email: mfadum@fadum.ca

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PROJECT TITLE  
**7300 ST. ALBANS ROAD**  
RICHMOND, B.C.

SHEET TITLE  
**T2 - TREE PROTECTION PLAN**

CLIENT

DRAWN SGL

SCALE AS SHOWN

DATE AUGUST 21, 2019

**T-2**  
SHEET 2 OF 2



# HOMING LANDSCAPE ARCHITECTURE

ADDRESS: 1423 W11TH AVENUE,  
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EMAIL: HOMINGLANDSCAPE@GMAIL.COM

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### Revisions

NO.	Date	Note
1	2023-10-02	ISSUED FOR DP
2	2023-12-11	ISSUED FOR RZC LETTER RESPONSE
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8	2024-09-18	ISSUED FOR DP
9	2024-10-10	ISSUED FOR DP
10	2024-10-22	ISSUED FOR DP

**DP 23-029433**  
**October 23, 2024**  
**Plan #15**

## 4 UNIT TOWNHOUSE DEVELOPMENT

PROJECT ADDRESS:  
7300 ST ALBANS ROAD  
RICHMOND, BC, CANADA

PROJECT NUMBER: 23-25

SCALE: 1/8" = 1'-0"

DRAWN BY: EL

REVIEWED BY: EL

## Landscape Layout and Grading Plan

L1.0



### LANDSCAPE LEGENDS

SYMBOL	MATERIALS	DETAILS
[Pattern]	CIP CONCRETE PAVING	1/L3.0
[Pattern]	CONCRETE SLAB PAVING	3/L3.0
[Pattern]	CONCRETE UNIT PAVERS	2/L3.0
[Pattern]	120x240x80mm ECO-PRIORA PERMEABLE PAVERS COLOR: OPAL BLEND	5/L3.0
[Pattern]	GRAVEL	4/L3.0
[Pattern]	SAND BASED SODDED LAWN	4/L3.3
[Pattern]	PLANTING BED	2/L3.3
[Pattern]	URBAN AGRICULTURE PLANTING AREA	
[Symbol]	STEPPING STONE PATH	
[Symbol]	BIKE RACK	1/L3.1
[Symbol]	BACKED BENCH	4/L3.1
[Symbol]	FOREST GIRAFFE PLAY STRUCTURE	1/L3.2
[Symbol]	LOCATION OF MECHANICAL CONDENSER UNITS	
[Symbol]	VEGETABLE BED	
[Symbol]	6'-0" HIGH CEDAR WOOD FENCE	3/L3.1
[Symbol]	4' HIGH WOOD FENCE	2/L3.1
[Symbol]	EXISTING TREES TO BE RETAINED	

### LANDSCAPE NOTES

- DO NOT SCALE DRAWINGS.
- LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.
- ALL EXISTING INFORMATION APPROXIMATE ONLY. VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
- THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ON SITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL OFF-SITE WORKS TO CONFORM TO CITY OF RICHMOND STANDARDS.
- LAYOUT OF ALL OFF-SITE WORKS TO BE CONFIRMED WITH CITY OF RICHMOND PRIOR TO INSTALLATION.

### GRADING LEGENDS

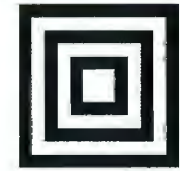
KEY	DESCRIPTION
+ 4.95' (1.51m)	PROPOSED SPOT ELEVATIONS
+ TW 4.07' (1.24m)	PROPOSED TOP OF WALL ELEVATION
+ BW 3.44' (1.05m)	PROPOSED BOTTOM OF WALL ELEVATION
3%	SLOPE PERCENTAGE
0.85'	EXISTING ELEVATIONS, PER SURVEY
1.25'	CIVIL ELEVATIONS, PER CIVIL

### GRADING NOTES

- ALL GRADING INFORMATION IS PRELIMINARY ONLY.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING ELEVATIONS.
- ALL EXISTING SURVEY INFORMATION APPROXIMATE. VERIFY ALL EXISTING GRADES WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS FOUND WITH UTILITIES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM PRIOR TO PROCEEDING.
- UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. SOFT LANDSCAPE AREAS TO BE A MAXIMUM 3:1 SLOPE.

### IRRIGATION NOTES:

HIGH EFFICIENCY IRRIGATION WILL BE PROVIDED TO LANDSCAPE AREAS.



**HOMING  
LANDSCAPE  
ARCHITECTURE**

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**DP 23-029433**  
**October 23, 2024**  
**Plan #16**

**4 UNIT TOWNHOUSE DEVELOPMENT**

PROJECT ADDRESS:  
7300 ST ALBANS ROAD  
RICHMOND, BC, CANADA

PROJECT NUMBER: 23-25

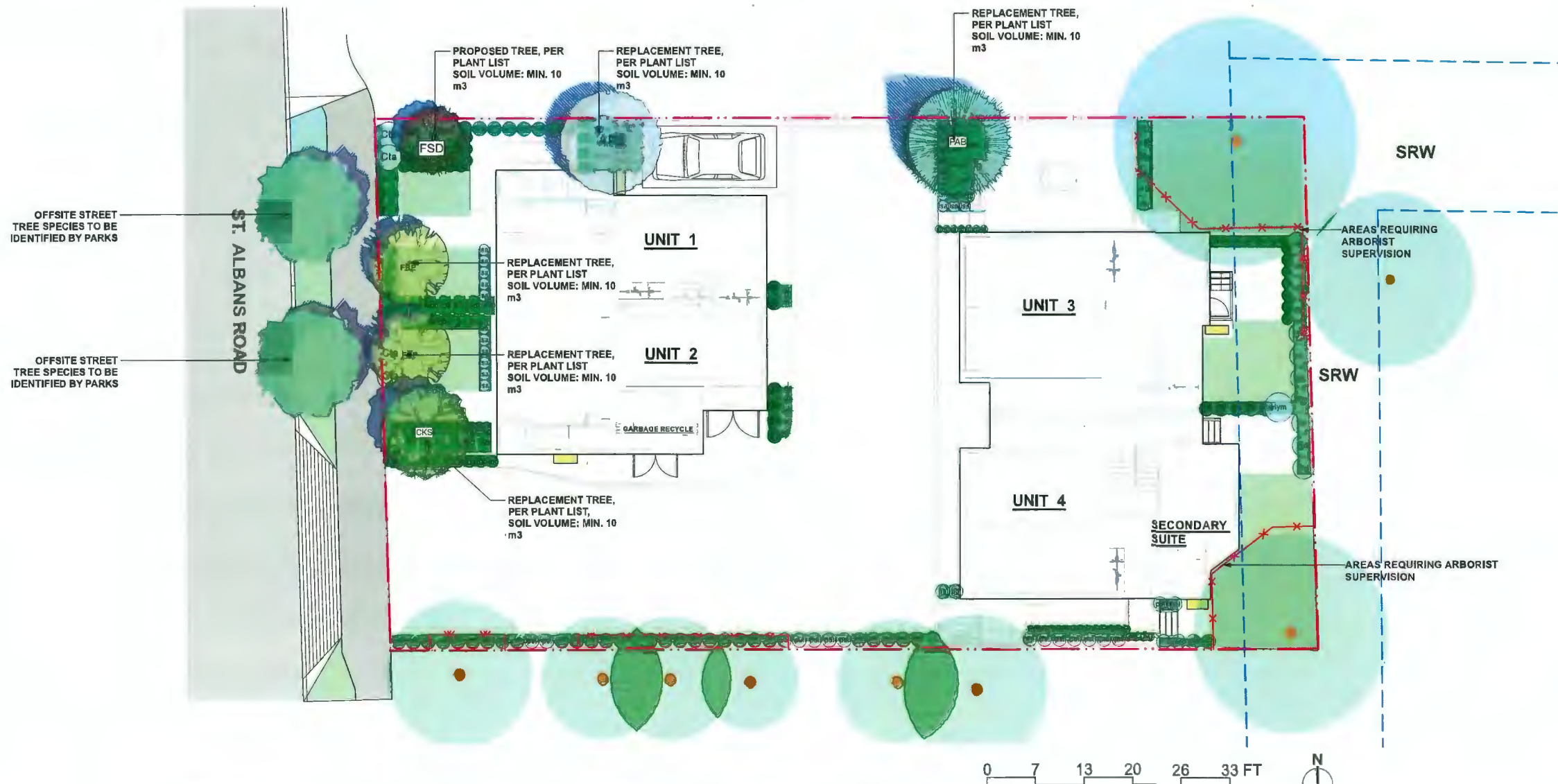
SCALE: 1/8" = 1'-0"

DRAWN BY: EL

REVIEWED BY: EL

**Landscape  
Planting Plan**

**L2.0**



ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
<b>ONSITE PLANT LIST</b>					
<b>TREES (DECIDUOUS &amp; CONIFEROUS)</b>					
AP2	Acer palmatum 'Osakazuki'	Green Japanese Maple	1	8cm cal.	REPLACEMENT TREE
CKS	Cornus kousa 'Satomi'	Pink Japanese Dogwood	1	8cm cal.	REPLACEMENT TREE
FSD	Fagus sylvatica 'Dawyccki'	Dawyccki Beech	1	6cm cal.	
FRP	Fraxinus pennsylvanica 'Prairie Spire'	Prairie Spire Green Ash	2	8cm cal.	REPLACEMENT TREE
PAB	Picea abies	Norway Spruce	1	4.0m ht.	REPLACEMENT TREE
<b>SHRUBS</b>					
Az1	Azalea 'Hino-Crimson'	Hino-Crimson Azalea	25	#2 pot	
Cta	Choisya ternata 'Aztec Pearl'	Mexican Orange Blossom	5	#3 pot	
as	Gaultheria shallon	Salal	11	#2 pot	
Hym	Hydrangea macrophylla	Bigleaf Hydrangea	1	#3 pot	
Mn	Mahonia nervosa	Dwarf Oregon Grape	10	#1 pot	
Rh4	Rhododendron 'PJM'	PJM Rhododendron	5	#3 pot	
Shh	Sarcococca hookeriana	Sweet Box	16	#2 pot	
Tmh	Taxus x media 'Hicksii'	Hick's Yew	17	1.2m ht.	
Vac	Vaccinium parvifolium	Red Huckleberry	11	1.2m ht.	
<b>PERENNIALS &amp; GROUNDCOVERS</b>					
ar	Arctostaphylos uva-ursi 'Vancouver Jade'	Bearberry, Kinnikinnick	7	#1 pot	
lsa	Lavandula angustifolia	English Spike Lavender	21	#1 pot	
pi	Pachysandra terminalis	Japanese Spurge	87	#1 pot	
ppl	Polystichum munitum	Western sword fern	59	#1 pot	
<b>ORN. GRASSES</b>					
ha	Hakonechloa macro 'Aureola'	Golden Japanese Forest Grass	30	#1 pot	

**PLANTING NOTES:**

- In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
- All planting shall be in accordance with CSLA Canadian Landscape Standard, latest edition.
- The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification & recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.
- Minimum planting medium depths:  
lawn - 6"/150mm  
groundcover - 12"/300 mm  
shrubs - 18"/450 mm  
trees - 24"/600 mm (around & beneath rootball)
- All plant material to be supplied on the job site must be obtained from a nursery participating in the BCLNA Phytophthora ramorum Certification Program.

**REPLACEMENT TREES NOTES:**

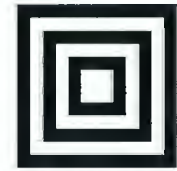
TOTAL 5 REPLACEMENT TREES TO BE INSTALLED ON SITE.

**IRRIGATION NOTES:**

HIGH EFFICIENCY IRRIGATION WILL BE PROVIDED TO LANDSCAPE AREAS.

**SOIL VOLUME NOTES:**

MIN. 10 m3 SOIL SHALL BE PROVIDED FOR EACH ONSITE TREE.



**HOMING  
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ARCHITECTURE**

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**Revisions**

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**DP 23-029433**  
**October 23, 2024**  
**Plan #17**

**4 UNIT TOWNHOUSE DEVELOPMENT**

PROJECT ADDRESS:  
7300 ST ALBANS ROAD  
RICHMOND, BC, CANADA

PROJECT NUMBER: 23-25

SCALE: 1/8" = 1'-0"

DRAWN BY: EL

REVIEWED BY: EL

**Conceptual  
Landscape  
Lighting Plan**

L2.1



LANDSCAPE LIGHTING LEGENDS						LIGHTING NOTES	
SYMBOL	MATERIALS	SYMBOL	MATERIALS	SYMBOL	MATERIALS	SYMBOL	MATERIALS
	UPLIGHT WITH SHIELD 		BOLLARD LIGHT WITH SHIELD 		WALL MOUNTED DOWNLIGHT 		STEP LIGHT 
<p>1. LIGHTING PLANS PROVIDED FOR INFORMATION ONLY. ALL EXTERIOR LIGHT FIXTURES, QUANTITIES, AND LOCATIONS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.</p> <p>2. CONTRACTOR TO COORDINATE RECESSED FORMING, ELECTRICAL CONDUIT, AND LOCATION LOGISTICS WITH OTHER TRADES AS REQUIRED.</p> <p>3. SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.</p> <p>4. CONTRACTOR TO ENSURE ALL LIGHTING WIRE AND FIXTURES MUST BE INSTALLED TO MEET THE LOCAL ELECTRICAL REGULATIONS AND SAFETY REQUIREMENTS.</p> <p>5. WARM WHITE COLOR LIGHT AND LOW GLARE LIGHT TO BE USED TO REDUCE LIGHT GLARE.</p>							



# HOMING LANDSCAPE ARCHITECTURE

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9	2024-10-10	ISSUED FOR DP
10	2024-10-22	ISSUED FOR DP

## DP 23-029433 October 23, 2024 Plan #18

### 4 UNIT TOWNHOUSE DEVELOPMENT

PROJECT ADDRESS:  
7300 ST ALBANS ROAD  
RICHMOND, BC, CANADA

PROJECT NUMBER: 23-25

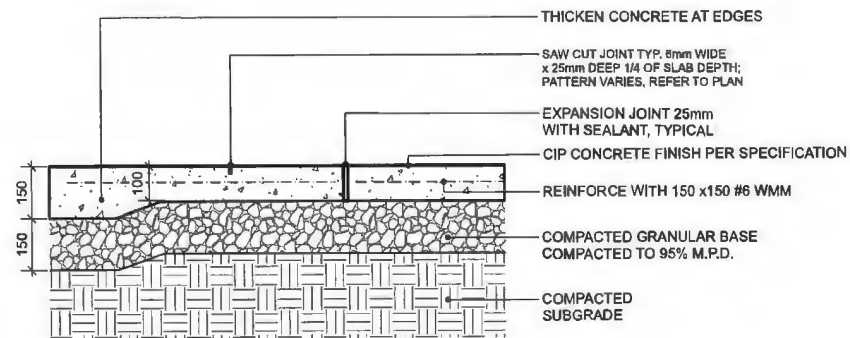
SCALE: AS SHOWN

DRAWN BY: EL

REVIEWED BY: EL

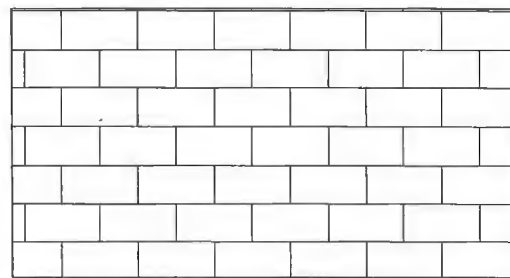
## Hardscape

# L3.0

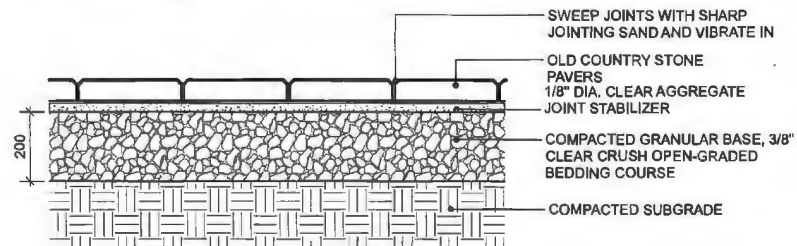


NOTES:  
1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.  
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

### 1 CIP CONCRETE ON GRADE (TYPICAL) Scale: 1:10

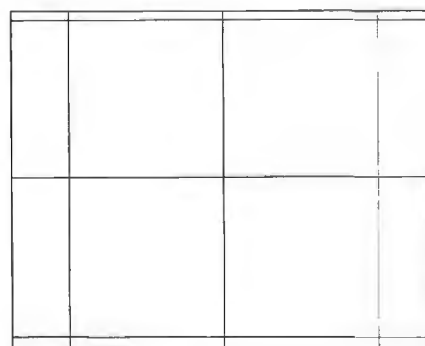


PLAN  
120x240x80mm ECO-PRIORA PERMEABLE PAVERS  
DIMENSIONS: STANDARD 240(L) x 120(W) x 80(T) mm (10" x 5" x 3-1/8")  
PATTERN: ECO-PRIORA A  
COLOUR: OPAL BLEND

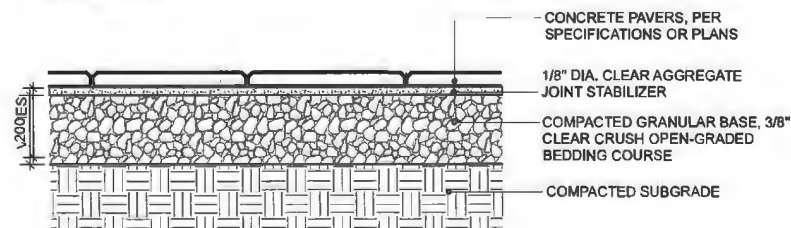


NOTE:  
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

### 2 CONCRETE UNIT PAVING ON GRADE Scale: 1:10

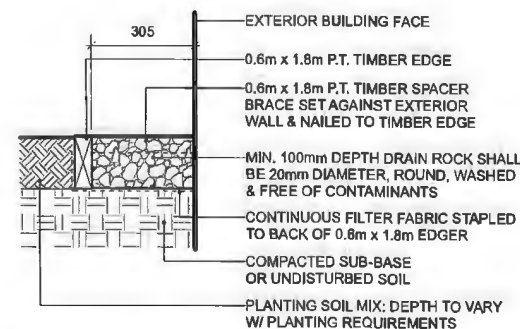


PLAN  
TEXADA HYDRAPRESSED SLABS BY ABBOTSFORD CONCRETE PRODUCTS (1-800-683-4091)  
DIMENSIONS: 457 mm x 457 mm x 40 mm  
COLOUR: NATURAL  
PATTERN: GRID



NOTE:  
1. USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.  
2. BLACKJACK PEDESTAL SYSTEM AVAILABLE FROM ABBOTSFORD CONCRETE PRODUCTS, INSTALLATION PER MANUFACTURES INSTRUCTIONS.

### 3 CONCRETE SLAB PAVING Scale: 1:10

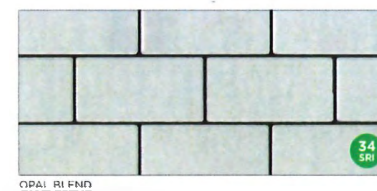


NOTE: ALL LUMBER SIZES ARE SHOWN AS NOMINAL

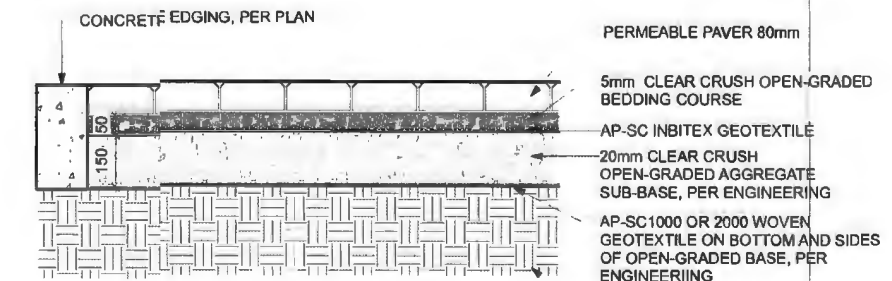
### 4 GRAVEL DRAIN STRIP - ON GRADE Scale: 1:10

PERMEABLE PAVER  
BY ECO - PRIORA

PATTERN: RUNNING BOND  
LENGTH: 120MM  
WIDTH: 240MM  
THICKNESS: 80MM

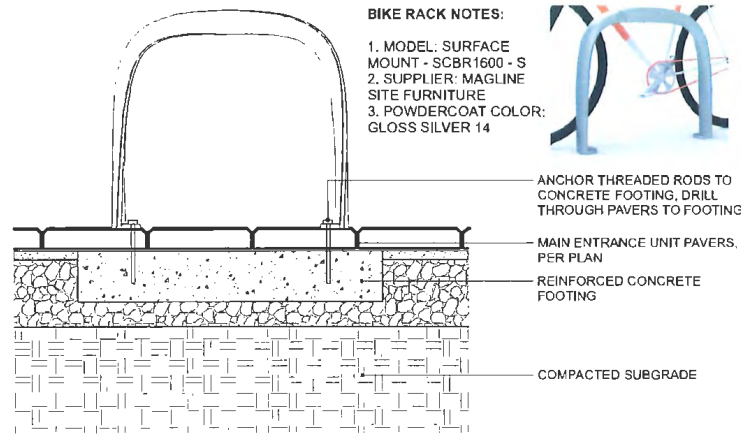


COLOR: OPAL BLEND  
VISITOR PARKING



NOTE:  
1. REFER TO ENGINEERING DRAWINGS FOR THE BASE MATERIALS INSTALLED UNDERNEATH THE PAVERS.  
2. THE CONDITIONS UNDER THE PAVERS SHALL BE APPROVED BY ENGINEERS BEFORE PAVERS INSTALLATION.

### 5 PERMEABLE PAVER Scale: 1:10



**BIKE RACK NOTES:**  
 1. MODEL: SURFACE MOUNT - SCBR1600 - S  
 2. SUPPLIER: MAGLINE SITE FURNITURE  
 3. POWDERCOAT COLOR: GLOSS SILVER 14

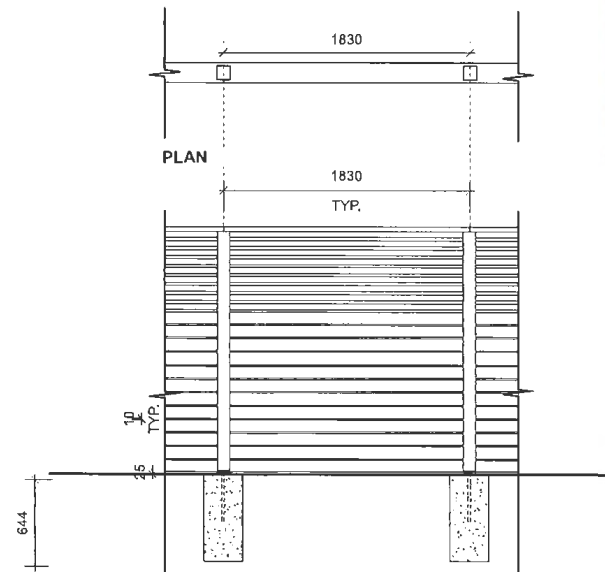


NOTE:  
 PER SUPPLIER FOR SPECIFICATIONS AND INSTALLATIONS.

**1 BIKE RACK**  
 Scale: 1:10

NOTE:

MAX. 2.0m HIGH FENCE IS MEASURED FROM THE AVERAGE FINISHED SITE GRADE (MEASURED AT A POINT 1.0m FROM BOTH SIDES OF THE PROPERTY LINE) TO THE TOP OF THE FENCE.

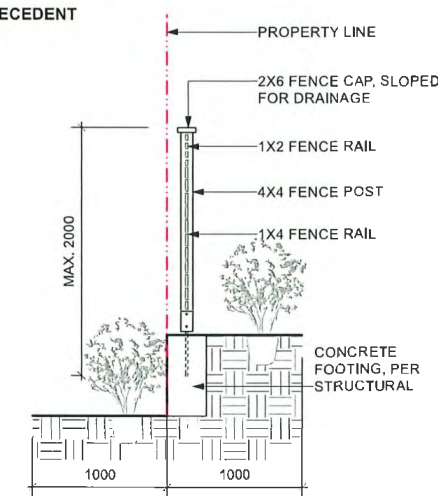


**TYPICAL FENCE ELEVATION ON GRADE**

- NOTES:
1. ALL WOOD EXPOSED TO VIEW SHALL BE C AND BETTER CLEAR CEDAR.
  2. ALL WOOD SHALL BE STRAIGHT, SOUND, AND FREE OF SPLITS, WARPS, CRACKS, LARGE KNOTS, AND OTHER DEFECTS.
  3. WOOD PRESERVATIVE TO BE USED SHALL BE OLYMPIC MAXIMUM WATERPROOFING SEALANT, "CEDAR TINT".
  4. ALL CUTS TO BE SQUARE AND CLEAN.
  5. ALL METAL FIXTURES TO BE GALVANIZED (OR WHERE NOTED - STAINLESS STEEL).
  6. ALL STRUCTURAL FASTENERS TO BE GALVANIZED CARRIAGE BOLTS (IE. TRELIS, AND GATE)

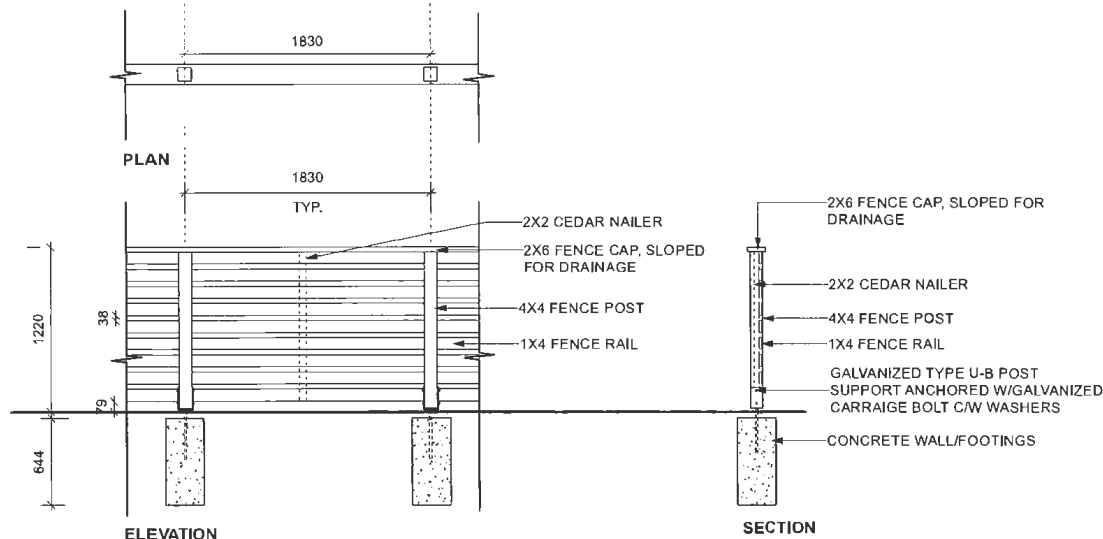


**PRECEDENT**



**FENCE SECTION ON THE TOP OF RETAINING WALL**

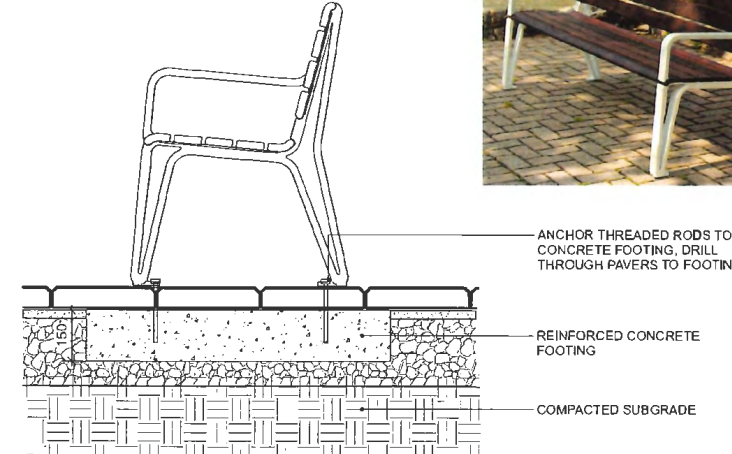
**3 MAX. 2m HIGH WOOD PRIVACY SCREEN**  
 Scale: 1:25



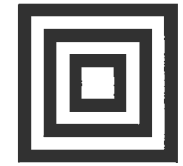
- NOTES:
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  2. ALL WOOD SHALL BE STRAIGHT, SOUND, AND FREE OF SPLITS, WARPS, CRACKS, LARGE KNOTS, AND OTHER DEFECTS.
  3. WOOD PRESERVATIVE TO BE USED SHALL BE OLYMPIC MAXIMUM WATERPROOFING SEALANT, "CEDAR TINT".
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  6. ALL STRUCTURAL FASTENERS TO BE GALVANIZED CARRIAGE BOLTS (IE. TRELIS, AND GATE)

**2 4' HIGH WOOD FENCE**  
 Scale: 1:25

**2300 | CONIC BACKED BENCH BY MAGLIN SITE FURNITURE (1-800-716-5506)**  
 MODEL: MBE-2300-00017  
 LENGTH: 70" (177.8cm)  
 HEIGHT: 33.3" (84.5cm)  
 DEPTH: 25.5" (64.8cm)  
 SEAT HEIGHT: 18" (45.7cm)  
 WEIGHT: 122.5lbs (55.6kg)  
 COLOUR: STANDARD POWDERCOAT SILVER 14



**4 BENCH**  
 1:10



**HOMING  
 LANDSCAPE  
 ARCHITECTURE**

ADDRESS: 1423 W 11TH AVENUE,  
 VANCOUVER, BC, CANADA V6H 1K9  
 CELL: 778-323-3536  
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8	2024-09-18	ISSUED FOR DP
9	2024-10-10	ISSUED FOR DP
10	2024-10-22	ISSUED FOR DP

**DP 23-029433**  
**October 23, 2024**  
**Plan #19**

**4 UNIT TOWNHOUSE  
 DEVELOPMENT**

PROJECT ADDRESS:  
 7300 ST ALBANS ROAD  
 RICHMOND, BC, CANADA

PROJECT NUMBER: 23-25

SCALE: AS SHOWN

DRAWN BY: EL

REVIEWED BY: EL

**Furnituring**

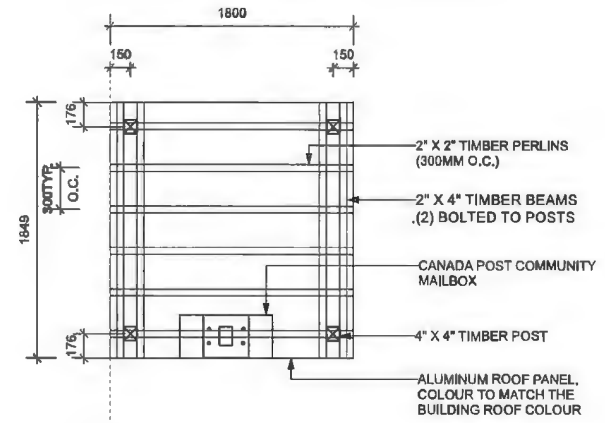
**L3.1**

M 5416

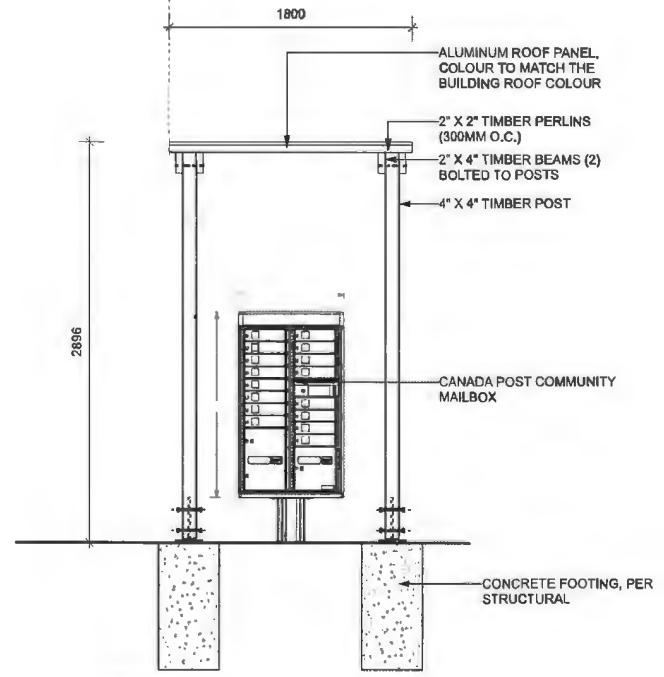
# Forest Giraffe



1 FOREST GIRAFFE PLAY STRUCTURE

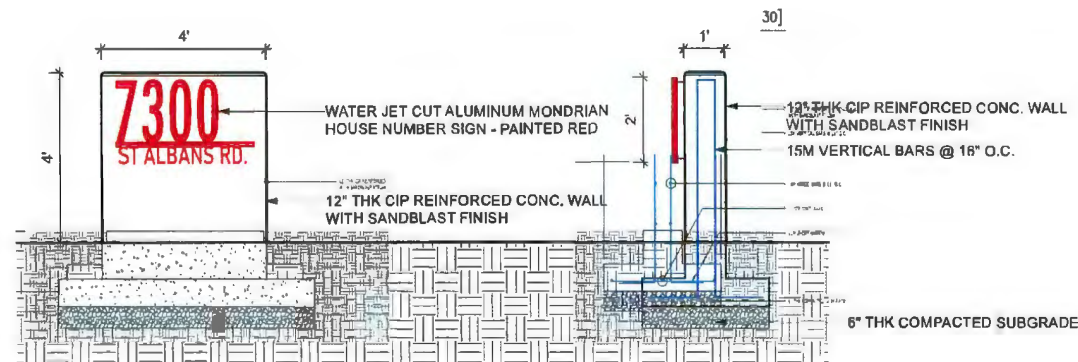


PLAN



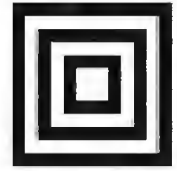
SECTION

2 CANADA POST MAILBOX SHELTER  
Scale: 1:25



2 CORNER SIGNAGE ENTRY  
Scale: 1:25

EC V3.1.3.8  
Contact: 604-358-3542  
Email: dimahand@yma



**HOMING  
LANDSCAPE  
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE,  
VANCOUVER, BC, CANADA V6H 1K9  
CELL: 778-323-3536  
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

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ASSOCIATED WITH THE PROJECT, THE CONFLICT  
SHALL BE REPORTED IN WRITING TO THE  
LANDSCAPE ARCHITECT TO OBTAIN  
CLARIFICATION AND APPROVAL BEFORE  
PROCEEDING WITH WORKS.

Revisions

NO.	Date	Note
1	2023-10-02	ISSUED FOR DP
2	2023-12-11	ISSUED FOR RZC LETTER RESPONSE
3	2024-03-18	ISSUED FOR DP
4	2024-05-07	ISSUED FOR DP
5	2024-05-30	ISSUED FOR DP
6	2024-07-10	ISSUED FOR DP
7	2024-08-03	ISSUED FOR DP
8	2024-08-18	ISSUED FOR DP
9	2024-10-10	ISSUED FOR DP
10	2024-10-22	ISSUED FOR DP

**DP 23-029433**  
**October 23, 2024**  
**Plan #20**

**4 UNIT TOWNHOUSE  
DEVELOPMENT**

PROJECT ADDRESS:  
7300 ST ALBANS ROAD  
RICHMOND, BC, CANADA

PROJECT NUMBER: 23-25

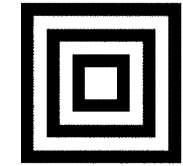
SCALE: AS SHOWN

DRAWN BY: EL

REVIEWED BY: EL

**Furnituring**

**L3.2**



**HOMING  
LANDSCAPE  
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE  
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CELL: 778-323-3536  
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

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**Revisions**

NO.	Date	Note
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5	2024-05-30	ISSUED FOR DP
6	2024-07-10	ISSUED FOR DP
7	2024-08-03	ISSUED FOR DP
8	2024-09-18	ISSUED FOR DP
9	2024-10-10	ISSUED FOR DP
10	2024-10-22	ISSUED FOR DP

**DP 23-029433  
October 23, 2024  
Plan #21**

**4 UNIT TOWNHOUSE  
DEVELOPMENT**

PROJECT ADDRESS:  
7300 ST ALBANS ROAD  
RICHMOND, BC, CANADA

PROJECT NUMBER: 23-25

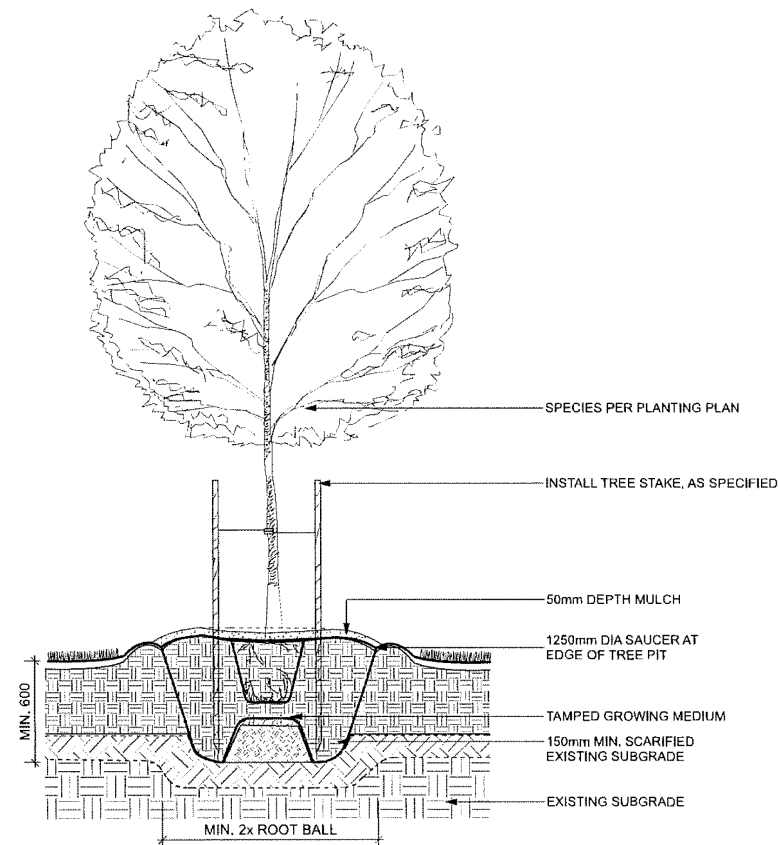
SCALE: AS SHOWN

DRAWN BY: EL

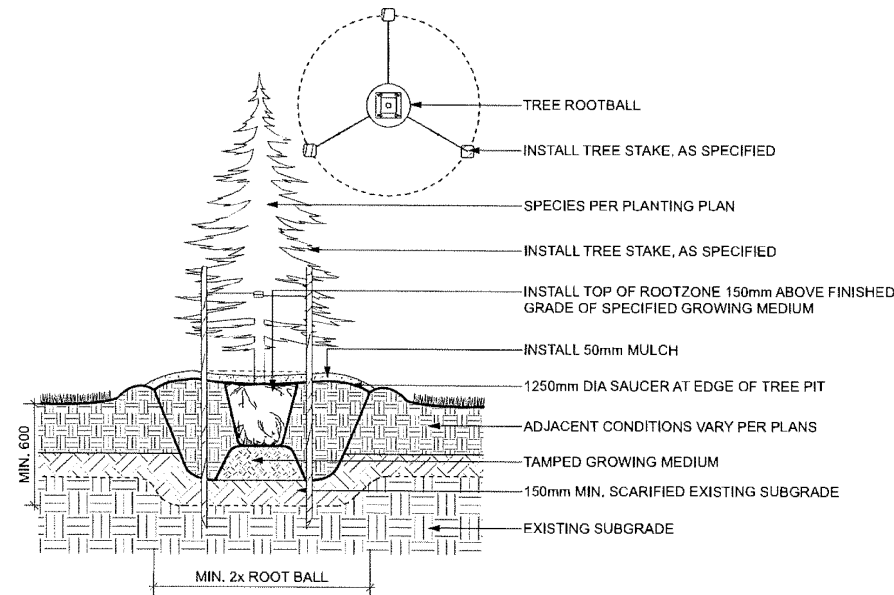
REVIEWED BY: EL

**Softscape**

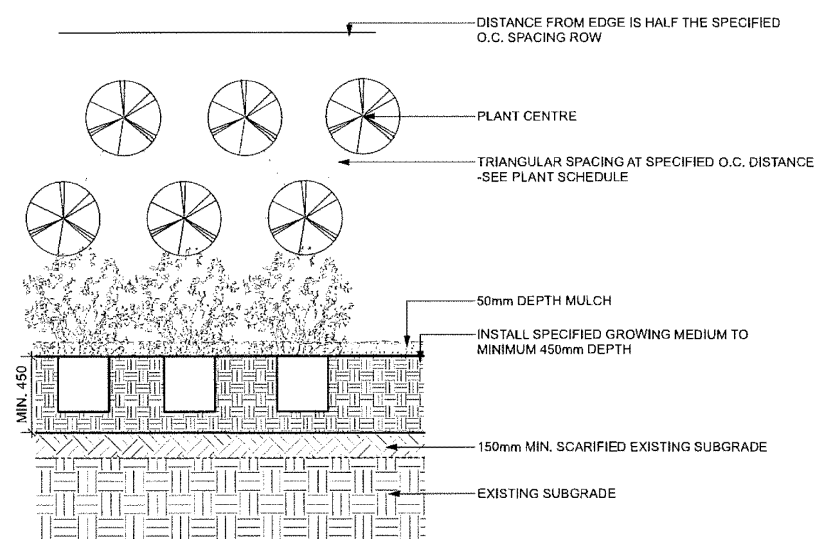
**L3.3**



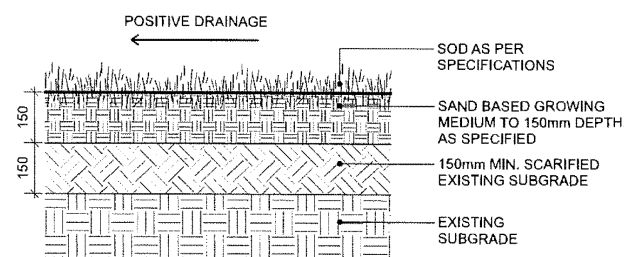
**1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)**  
Scale: 1:20



**3 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)**  
Scale: 1:20



**2 PLANTING ON GRADE (TYPICAL)**  
Scale: 1:20



**4 SOD LAWN (TYPICAL)**  
Scale: 1:10





**DP 23-029433**  
**October 23, 2024**  
**Reference Plans**

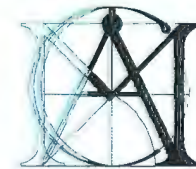


**DP 23-029433**  
**October 23, 2024**  
**Reference Plans**



7838391

DP 23-029433  
October 23, 2024



**MATTHEW  
CHENG  
ARCHITECT INC.**

Unit 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
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Revision:  
1) Oct 23rd, 2024 DP Final drawings

RE	YY-MM-DD	DESCRIPTION	DRWN	CHK
Consultant				

**DP 23-029433  
October 23, 2024  
Reference Plans**



Oct. 23 2024

Project Title:  
**4 UNIT  
TOWNHOUSE  
DEVELOPMENT**

7300 ST. ALBANS ROAD  
RICHMOND, BC

Sheet Title:  
**SHADOW  
STUDY**

Drawn: PW

Checked: MC

Scale:

Project Number:  
19 R TH 01

Revision Date: Dwg. No:

Print Date: 10/23/2024 1:11:15 PM **A402**

Print Code: 335

