



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: October 24, 2024

From: Joshua Reis
Director, Development

File: DP 22-023115

Re: **Application by Fougere Architecture Inc. for a Development Permit at
9311/9331 Ferndale Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of eight townhouse units at 9311/9331 Ferndale Road on a site zoned "Town Housing (ZT104) – North McLennan (City Centre)".

Joshua Reis, MICP, RPP, AICP
Director, Development
(604-247-4625)

JR:ak
Att. 2

Staff Report

Origin

Fougere Architecture Inc., on behalf of Western Ferndale Garden 4 Holdings Ltd. (Director: Thomas C. Leung), has applied to the City of Richmond for permission to develop eight townhouse units at 9311/9331 Ferndale Road on a site zoned “Town Housing (ZT104) – North McLennan (City Centre)”. The site currently contains a non-conforming two-unit dwelling. A location map of the site is provided in Attachment 1.

The site is being rezoned from “Small-Scale Multi-Unit Housing (RSM/XL)” to “Town Housing (ZT104) – North McLennan (City Centre)” for this project under Bylaw 10586 (RZ 22-023114).

A Servicing Agreement is required as a condition of building permit issuance and includes, but is not limited to, the following improvements:

- Frontage improvements including the installation of a 2.0 m sidewalk and 1.5 m landscaped and treed boulevard.
- Installation of new water, storm and sanitary service connections.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the North and West: Richmond Pentecostal Church on property zoned “Small-Scale Multi-Unit Housing (RSM/XL)” and “Assembly (ASY)”.
- To the South: Across Ferndale Road, the Katsura Neighbourhood Park on property zoned “School & Institutional Use (SI)”.
- To the East: A 30-unit townhouse complex zoned “Town Housing (ZT63) – North McLennan (City Centre)”, with vehicle access from Ferndale Road and Alder Street. This property will provide shared vehicle access for the subject site through an easement along a portion of the Ferndale driveway access.

Rezoning and First Reading Results

As part of Council’s consideration of the application, at the regular Council meeting for consideration of First Reading, held on September 23, 2024, concerns about the development proposal and the impact on street parking was expressed by a member of the community. Staff confirmed that the development complies with the on-site parking requirements as set out in the Zoning Bylaw No 8500 and that adjacent developments in the area are subject to the same requirements.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “Town Housing (ZT104) – North McLennan (City Centre)” zone.

Analysis

Conditions of Adjacency

- The eight proposed townhouses have been designed with consideration of the existing surrounding context. All units are three-storeys and have been oriented to maximize building separations between existing adjacent developments and townhouse clusters proposed on-site.
- The outdoor amenity space and visitor parking spots are located to the west, between the existing church property and proposed townhomes.
- Natural screening from future development to the north, designated for 3-4 storey townhouses in the McLennan North Sub-Area Plan, will be provided through new landscaping and the retention of existing trees along the north property line.
- The proposed townhouses are located a minimum of 5 m from the adjacent east townhomes and are offset from existing buildings to help mitigate overlook concerns. New landscaping and the retention of off-site trees provide a natural separation between the two developments.
- Private front yards along the south property line feature entry porches with landscaping and new trees, creating a sense of transition and acting as a buffer between the proposed development and new sidewalk along Ferndale Road.
- The existing grade along the north and east property lines will be maintained to provide an appropriate transition to the adjacent properties and to accommodate tree retention on the neighbouring properties.
- Retaining walls no taller than 0.6 m are proposed along the west property line. Perimeter drainage will be required as part of the Building Permit process to ensure stormwater is managed and addressed through the development and will not impact the neighbouring properties.

Urban Design and Site Planning

- The proposed development generally complies with the McLennan North Sub-Area Plan Development Permit Guidelines.
- The proposed development consists of eight townhouse units in one four-unit cluster to the north and one four-unit cluster to the south, arranged on either side of a central east-west driveway.

- Access to the site from Ferndale Road has been secured through the adjacent townhouse development at 9333 Ferndale Road through an easement that was secured at the time it redeveloped. The applicant's lawyer and the City's Law department have reviewed the easement and confirmed that it can be used for vehicle access. Cost sharing arrangements for repair and maintenance of the shared driveway has been negotiated between the developer and the adjacent strata.
- Parking is provided in accordance with Zoning Bylaw No 8500 including two visitor spaces and with four of the 14 parking spaces provided in tandem orientation. Prior to rezoning bylaw adoption the applicant must register a legal agreement prohibiting conversion of the tandem parking area into habitable space.
- The building setbacks respond to the location of the easement area while balancing tree retention. Units fronting Ferndale Road are proposed to be located a minimum of 5.9 m from the curb. The front yard setback provides variation and reinforces the urban residential character along the Ferndale Road frontage, keeping with the Development Permit Guidelines.
- The four units fronting along Ferndale Road are proposed to have direct pedestrian access from the street through landscaped front yards. The four units at the rear of the property have pedestrian access via an internal pedestrian pathway which wraps around the development along the east and north property lines. A wide band of pavers are provided along the drive aisle entrance, bridging the pedestrian walkway as well as marking the entry to the development.
- The common outdoor amenity area is proposed at the northwest corner of the site, strategically located in proximity to two trees being retained and includes play structures and bench seating. The overall size of the proposed outdoor amenity space (107 m²) exceeds the OCP guideline (48 m²).
- Cash in-lieu of indoor amenity was secured through rezoning (\$16,528.00) consistent with the OCP.
- Similar to the arrangement for the eastern adjacent development at 9333 Ferndale, door to door waste and recycling collection will be provided to residents.

Architectural Form and Character

- The proposed architectural style and building materials are inspired by the east adjacent development at 9333 Ferndale Road. Exterior finish materials (brick, hardie siding, hardie shingles, board and batten, vinyl soffits and asphalt roof shingles) in muted tones are consistent with the guidelines in the McLennan North Sub-Area Plan.
- Building massing is broken up through the use of bay windows, building projections, and patios. Pitched roofs are proposed with varied gables to provide for a residential home character consistent with the surrounding developments.
- Unit individuality is expressed through private landscaped yards with gates, covered entry porches and gables.

Landscape Design and Open Space Design

- On-site tree removal was assessed as part of the rezoning application, at which point it was determined that two on-site trees (tag# 181 and 183) are to be removed and replaced at a 2:1 ratio.
- One on-site tree (tag# 182) and 11 off-site trees on neighbouring properties (tag# OS1, OS3, OS4, OS5, OS6, OS7, OS9, OS10, OS11, OS12, OS14) are to be retained and protected as indicated on Plan #14, consistent with the rezoning staff report.
- A total of eight new trees are proposed to be planted on-site and include the required four replacement trees. A mix of deciduous and coniferous trees are proposed in addition to a variety of shrubs.
- The outdoor amenity space is located in the northwest corner of the site and contains children's play structures including a playhouse, sandbox, slide and bench seating.
- Each unit will have a private outdoor space in the form of a yard with a patio and landscaped area. Some units will have addition space in the form of secondary balconies.
- To define the street edge, 1.1 m (3.5 ft.) high fencing with pedestrian gates are proposed. Solid wood privacy fencing is proposed along the property perimeter.
- Landscape pockets with shrubs and grasses will be provided along the internal drive aisle and walkways.
- On-site irrigation is proposed to ensure continued maintenance of live landscaping.
- A landscape security in the amount of \$193,851.90 is required in order to ensure that the proposed landscaping works are completed.

Crime Prevention Through Environmental Design

- The project's design incorporates strategies of natural surveillance, natural control access and territorial reinforcement. The ground floor areas include fenced yards with low planting, creating a clearly marked transition zone between public and private space, and the covered porches provide protected outdoor living spaces for residents, which increases passive surveillance.
- The lighting plan proposes low glare bollard lighting throughout the site and along the pedestrian pathways and outdoor amenity areas to enhance visual supervision. Additional lighting along the drive aisle will be provided by fixtures mounted on the walls of the buildings.

Accessible Housing

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require the installation of a chair lift (where the staircase has been dimensioned to accommodate this) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and

- solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Sustainability

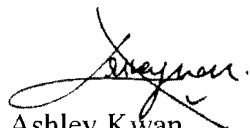
- The applicant has submitted written confirmation from their Certified Energy Advisor indicating that the project will incorporate a number of building strategies and features to achieve Step 3 with EL+4, consistent with current City regulations.
- Ground source heat pumps for space heating and cooling are proposed to be located inside the building on the ground floor. Additionally, high efficiency water heaters and high thermal resistance insulation are proposed.
- High-efficiency automatic irrigation system will be provided for all soft-landscaped areas of the development.

Site Servicing

- A Site Servicing Agreement is required as a condition of Building Permit issuance for the design and construction of servicing upgrades and frontage improvements. Servicing and frontage upgrade improvements identified at the time of rezoning include:
 - Installation of new water, storm, and sanitary service connections
 - Frontage improvements including the installation of a 2.0 m sidewalk and 1.5 m landscaped and treed boulevard
 - Removal of the existing driveway letdown

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Ashley Kwan
Planner 1
(604-276-4173)

AK:he

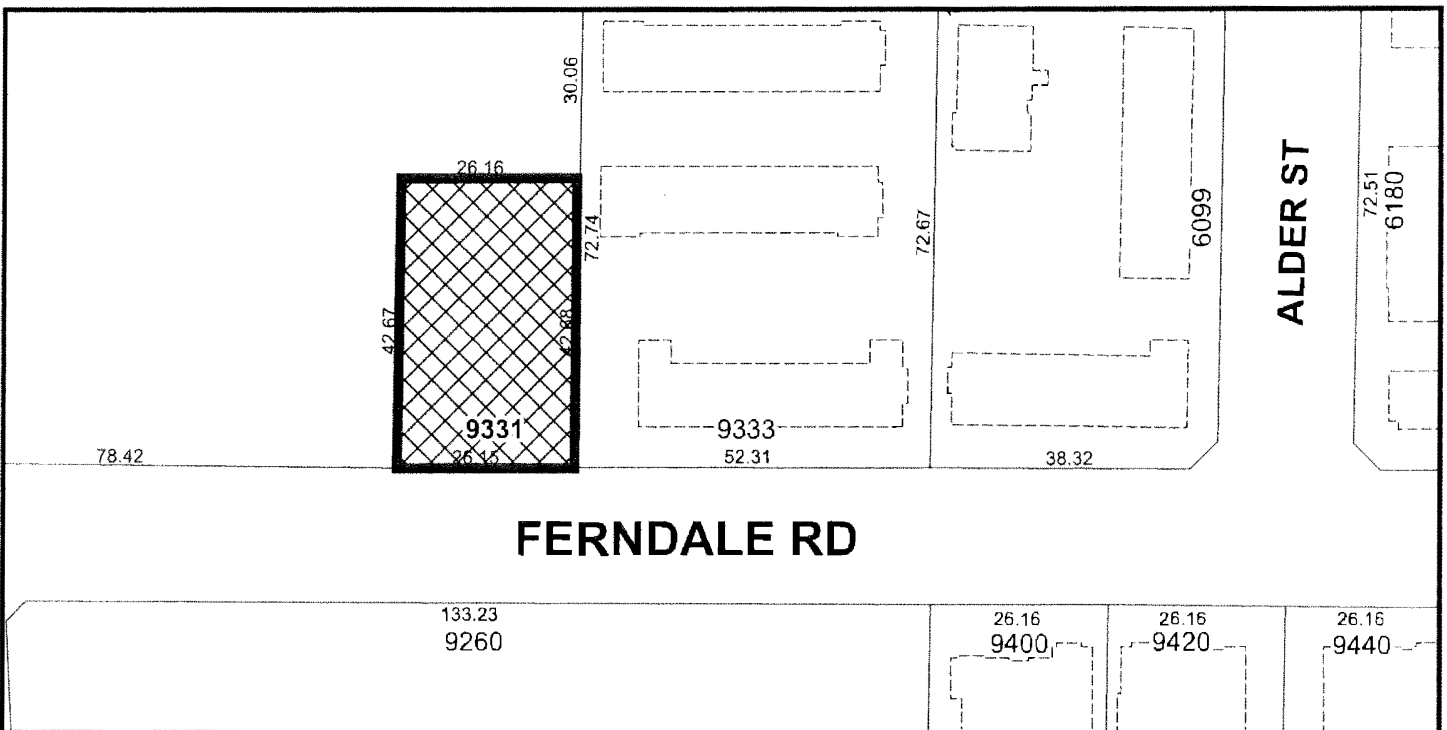
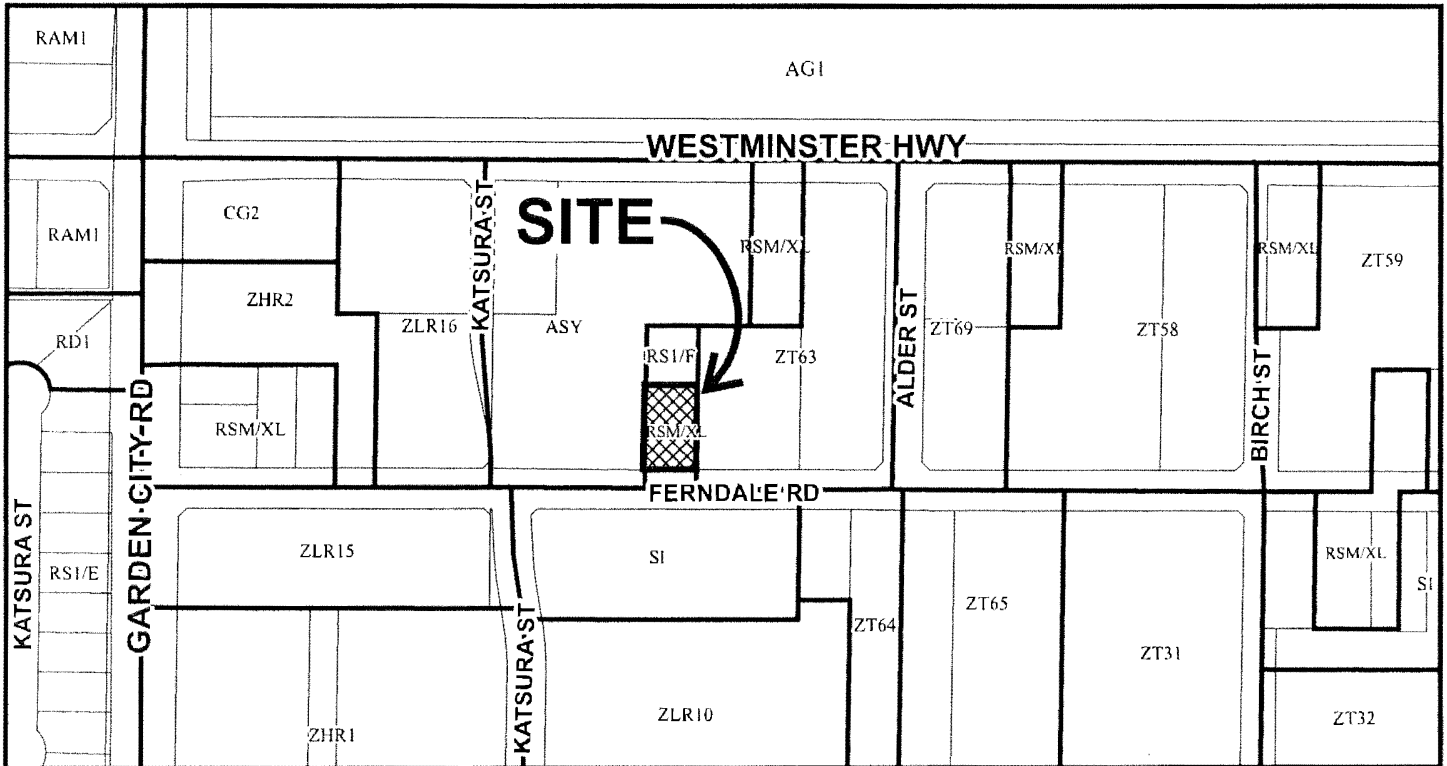
- Att. 1. Location Map
2. Development Application Data Sheet

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$193,851.90.
NOTE: staff to ensure that landscape estimates include a 10% contingency cost.
- Payment of all fees in full cost for cost associated with Public Notices.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and Development Permit processes.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a Construction Traffic and Parking Management Plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).
- If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



DP 22-023115

Original Date: 10/11/22

Revision Date: 10/16/24

Note: Dimensions are in METRES



DP 22-023115

Attachment 2

Address: 9311/9331 Ferndale Road

Applicant: Fougere Architecture Inc. Owner: Western Garden 4 Holdings Ltd.

Planning Area(s): McLennan North Sub-Area Plan

Floor Area Gross: 1,115.6 m² Floor Area Net: 1,098.6 m²

	Existing	Proposed
Site Area:	1,115.6 m ²	1,098.6 m ²
Land Uses:	Two-family residential	Town housing
OCP Designation:	Apartment Residential	No Change
Zoning:	Small-Scale Multi-Unit Housing (RSM/XL)	Town Housing (ZT104)- North McLennan (City Centre)
Number of Units:	2	8

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.9	0.89	none permitted
Lot Coverage:	Building: Max. 45% Non-porous Surfaces: Max. 65% Live Landscaping: 17.5%	Building: 44.3% Non-porous Surfaces: 64.6% Live Landscaping: 17.7%	none
Lot Size:	Min. Area: 1,050 m ²	1,098 m ²	none
Setback – Front Yard:	Min. 5.40 m. May be reduced to 2.4 m as specified in a DP.	2.4 m	none
Setback – East Side Yard:	Min. 3.0 m. May be reduced to 1.9 m as specified in a DP.	1.9 m	none
Setback – West Side Yard:	Min. 3.0 m	3.3 m	none
Setback – Rear Yard:	Min. 4.5 m	5.57 m	none
Height (m):	Max. 12.0 m	11.7 m	none
Off-street Parking Spaces – Residential (R)/Visitor (V):	1.25 (R) and 0.2 (V)	12 (R) and 2 (V)	none
Total off-street Spaces:	14	14	none
Tandem Parking Spaces	Permitted – Maximum of 50% of required spaces	33.33% (4 spaces)	none
Amenity Space – Indoor:	Min. 50 m ² or cash in-lieu	Cash in-lieu	none
Amenity Space – Outdoor:	Min. 48 m ²	106 m ²	none



No. DP 22-023115

To the Holder: Wayne Fougere
Property Address: 9311/9331 Ferndale Road
Address: 202-2425 Quebec Street, Vancouver, BC, V5T 4L6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #22 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$193,851.90. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 22-023115

To the Holder: Wayne Fougere
Property Address: 9311/9331 Ferndale Road
Address: 202-2425 Quebec Street
Vancouver, BC, V5T 4L6

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

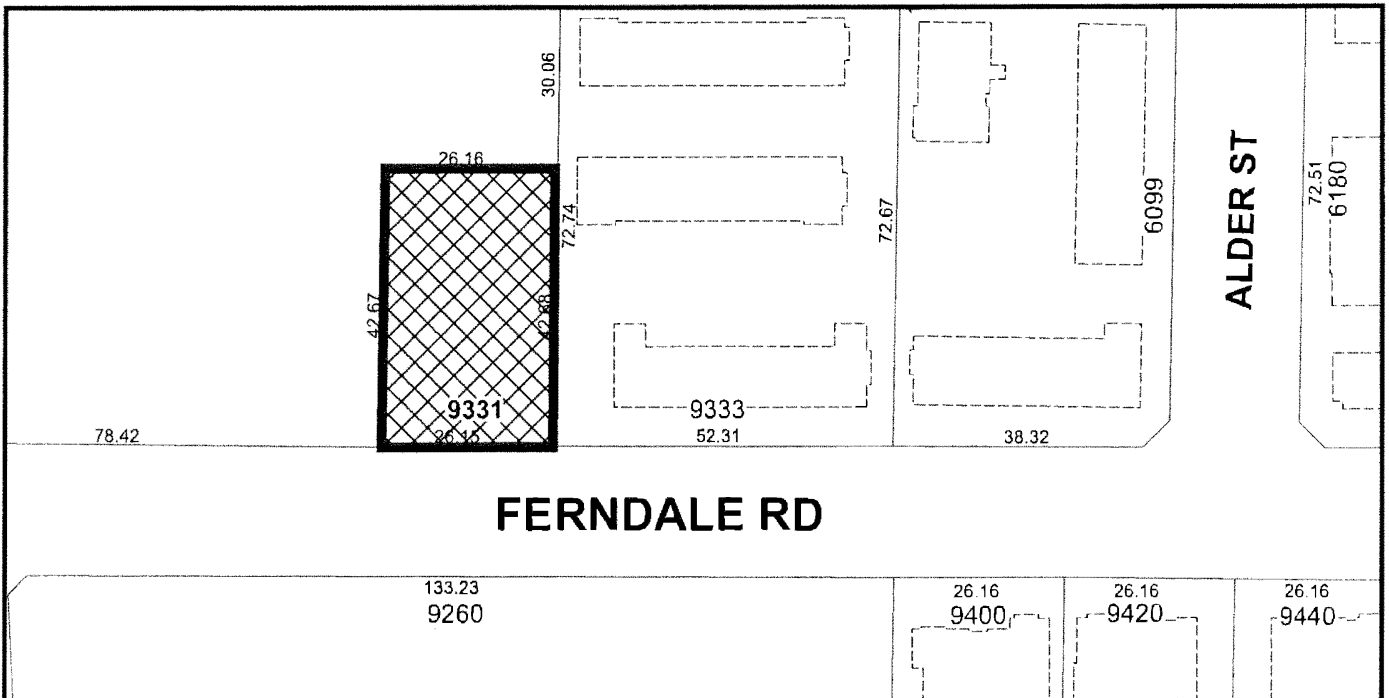
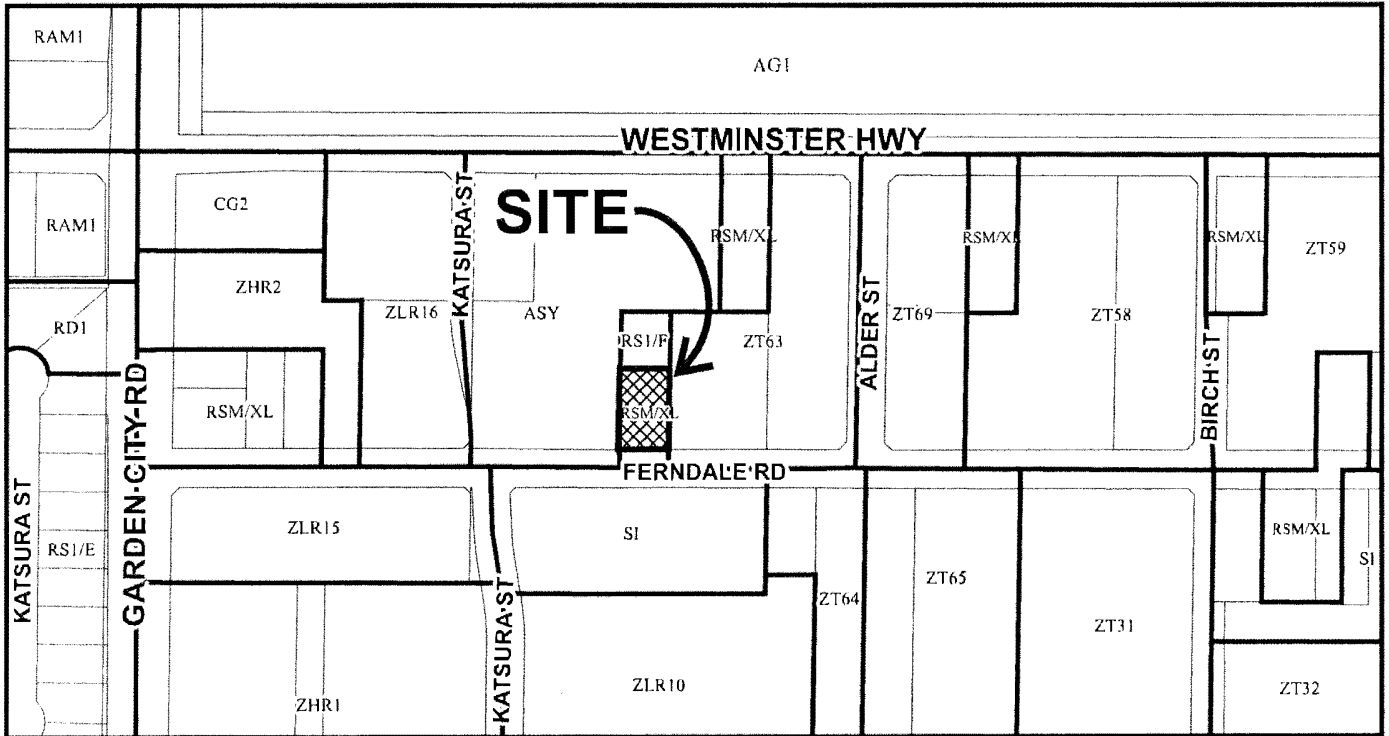
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



	<h2>DP 22-023115 SCHEDULE "A"</h2>	<p>Original Date: 10/11/22 Revision Date: 10/16/24 Note: Dimensions are in METRES</p>
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DP 22-023115
October 23, 2024
Plan #1

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FERNDALE IV

9331 Ferndale Road
 for
 Western Construction

DP RESUBMISSION
 OCTOBER 16, 2024



PROJECT TEAM

CLIENT

WESTERN INTERNATIONAL CONSTRUCTION LTD.
 8833 Odlin Crescent Unit 250
 Richmond, BC V6X 3Z7

Contact:
 Thomas C. Leung
 thomascpleung@gmail.com

ARCHITECT

FOUGERE ARCHITECTURE INC.
 202 - 2425 Quebec Street
 Vancouver, BC V5T 4L6

Contact:
 Wayne Fougere
 wayne@fougerearchitecture.ca

SURVEYOR

J.C. TAM AND ASSOCIATES
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Contact:
 Tori Thompson
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Contact:
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 travis@vdz.ca

ARBORIST

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 glyn@vdz.ca

CIVIL

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 Taylor Webber
 twebber@vdz.ca

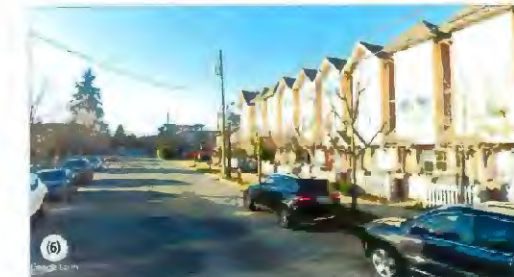
ACOUSTIC CONS.

Brown Strachan Associates
 130 - 1020 Mainland Street
 Vancouver, BC V6B 2T5

Contact:
 Andrew Fawcett
 bsa@brownstrachan.com



DP 22-023115
October 23, 2024
Plan #2



**CONTEXT PLAN
 & PHOTOS**
 NTS - UNO

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FERNDALE IV
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 for
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 OCTOBER 16, 2024

FOUGERE
 architecture inc.
 BRITISH COLUMBIA • ALBERTA • WASHINGTON
 202 - 2425 Quebec Street Vancouver BC V5T 4L6 604.873.2907
 feugerearchitecture.ca

DP 22-023115
October 23,
2024 Plan #3



9300 Westminster Hwy

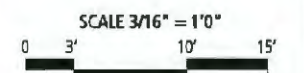
SUBJECT SITE
 9331 Ferndale Road

STREETSCAPE

SHARED
 EASEMENT

9333 Ferndale Road

STREETSCAPE



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9331 Ferndale Road
 for
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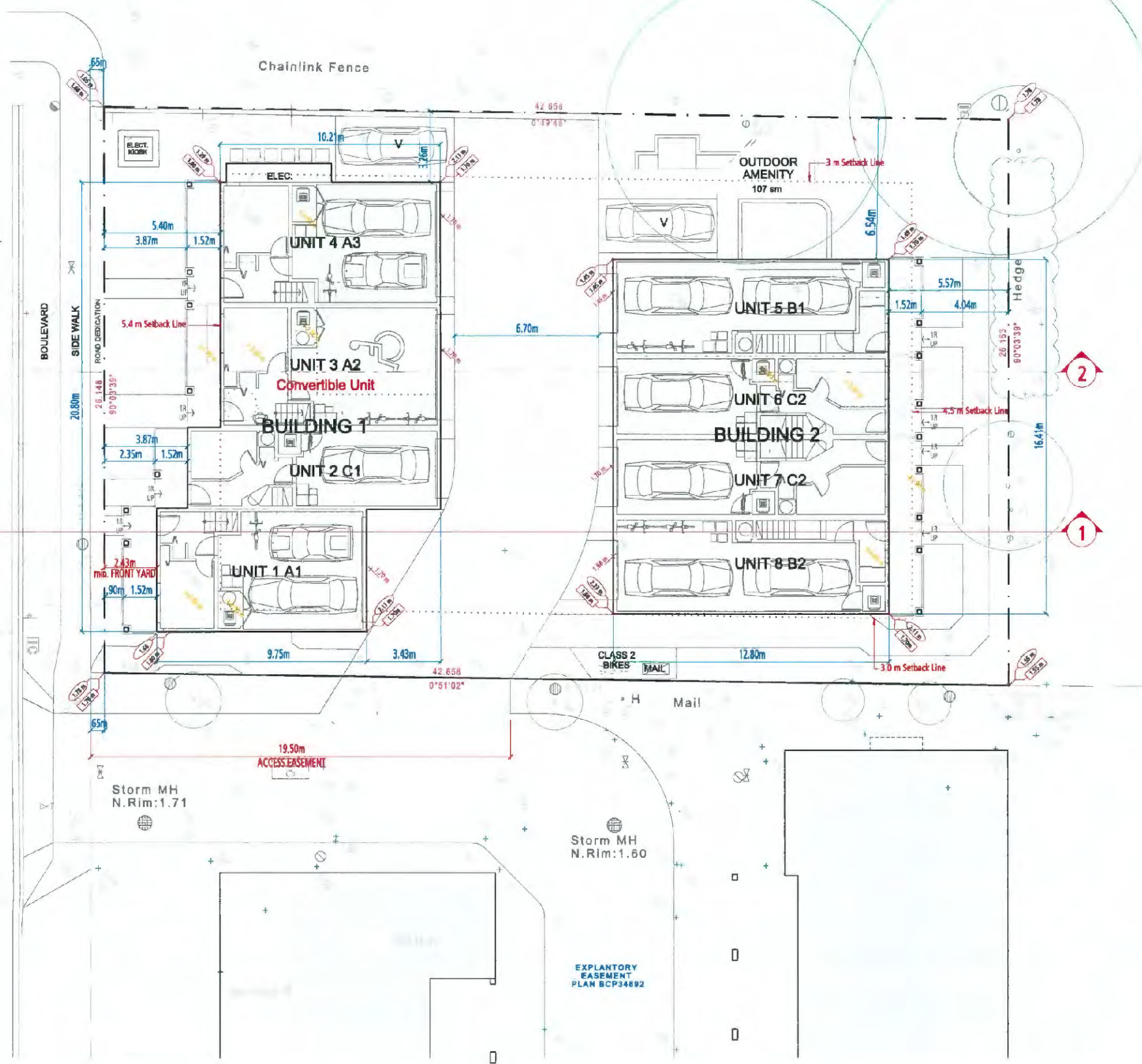
DP RESUBMISSION
 OCTOBER 16, 2024

FERNDALE ROAD

Crown of Road

2

1



SITE DATA

9331 FERNDALE ROAD
RICHMOND, B.C.
P.I.D. 003-520-064

LOT 108 SECTION 10 BLOCK 4 NORTH RANGE 6 WEST
NEW WESTMINSTER DISTRICT PLAN 64615

GROSS SITE AREA	1115.6 sm
Road Dedication	17.1 sm
NET SITE AREA	1098.6 sm

EXISTING ZONING	RS1/F
PROPOSED ZONING	CD

PROPOSED UNITS 8

NET FLOOR AREA	976.0 sm
FAR	0.89 FSR

Max. Building HEIGHT 11.7m

Building FOOTPRINT	487 sm
LOT COVERAGE (Buildings)	44.3%

OUTDOOR AMENITY	106 sm (13.2 sm per home)
INDOOR AMENITY	CASH IN LIEU
GARBAGE / RECYCLING	DOOR TO DOOR PICK UP



DP 22-023115
October 23, 2024
Plan #4

SITE PLAN

LEGEND

- Existing Grade
- Finished Grade
- Removed Trees
- Existing Trees
- PROPOSED Building Corner Grade
- EXISTING Building Corner Grade
- Civil Grades
- Design Grades

SCALE 1/8" = 1'-0"



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FERNDALE IV

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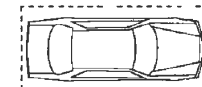


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LEGEND



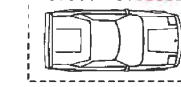
STANDARD CAR STALL
SIZE: 2.5m* x 5.5m



CLASS 1 BIKE STALL
SIZE: 1.8m x 0.6m



CLASS 1 BIKE STALL (Vertical)
SIZE: 1.0m x 0.6m



SMALL CAR STALL
SIZE: 2.3m* x 4.6m



LEVEL 2 Electric Vehicle Plug-ins
one for each parking space
plus 1 Plug-in for Visitor Parking



AS PER CONVERTIBLE
UNIT GUIDELINE
SIZE: 4.0m x 5.5m

* +0.3m IF BESIDE WALL

PARKING DATA

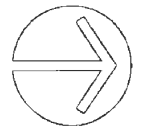
VEHICLE PARKING

Bylaw reference	Unit Count	Required	Proposed
7.9.3 Residential use at City centre parking - Zone 3	1.4 per Unit	8	12
Visitor parking	0.2 per Unit	2	2
Total		14	14
7.5.6 Max. 50% tandem parking		max. 6	4(33.3%)
7.5.13 Small Spaces		0	2(16.6%)
7.5.14 Min. 2% Accessible Spaces		min. 1	1 (8.3%)

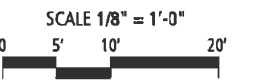
BICYCLE PARKING

Bylaw Reference	Unit Count	Required	Proposed
7.14.10 Class 1	1.25 per Unit	8	10
Horizontal bikes			8
Vertical bikes	Max. 33%		3 (30%)
Class 2	0.2 per Unit	2	2
Total		12	12

DP 22-023115
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Plan #5



PARKING PLAN



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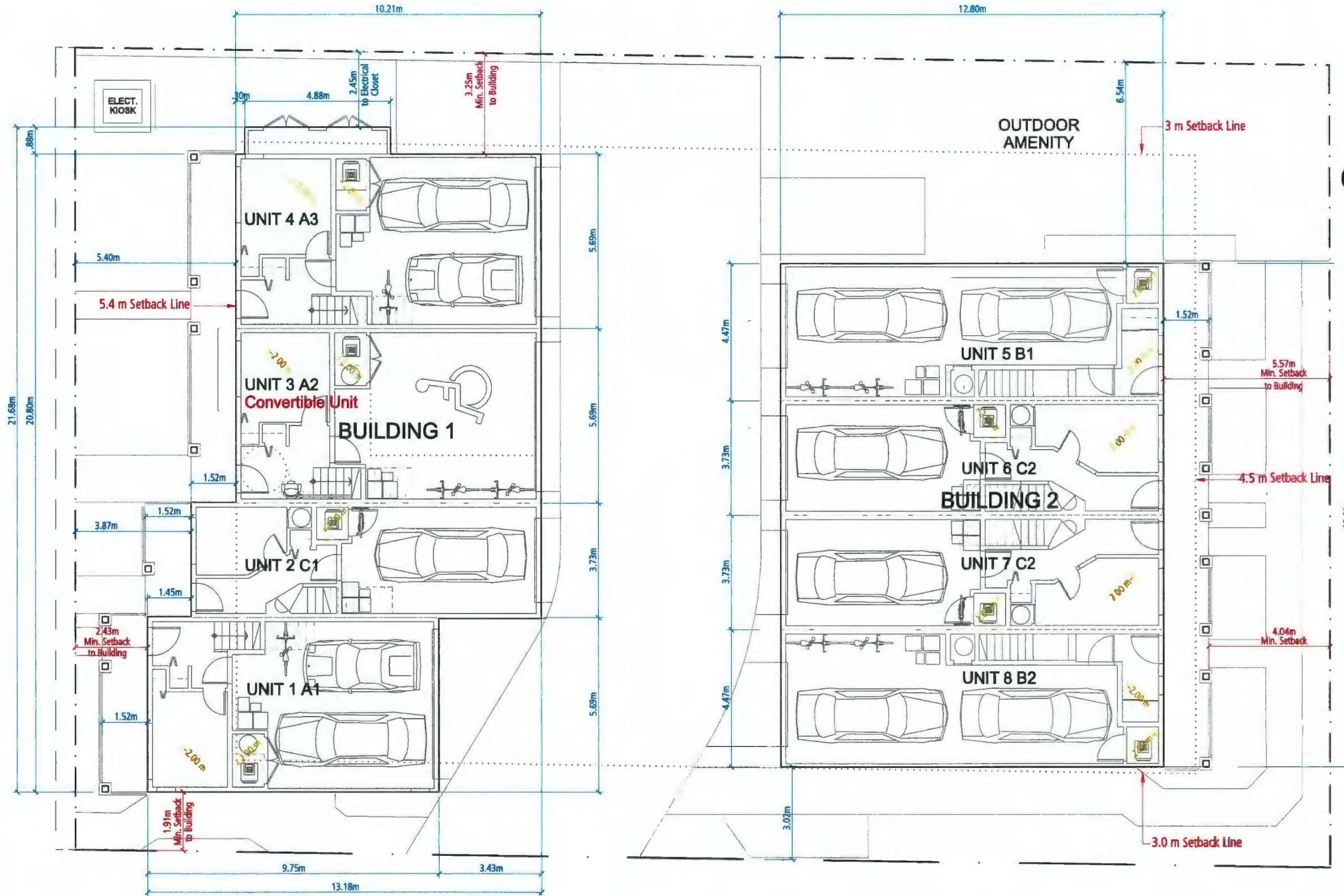


FERNDALE IV
9331 Ferndale Road
for
Western Construction

DP RESUBMISSION
OCTOBER 16, 2024



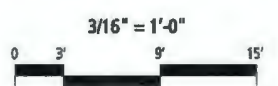
FERNDALE ROAD



DP 22-023115
 October 23, 2024
 Plan #6



BLOCK PLANS
 First floor



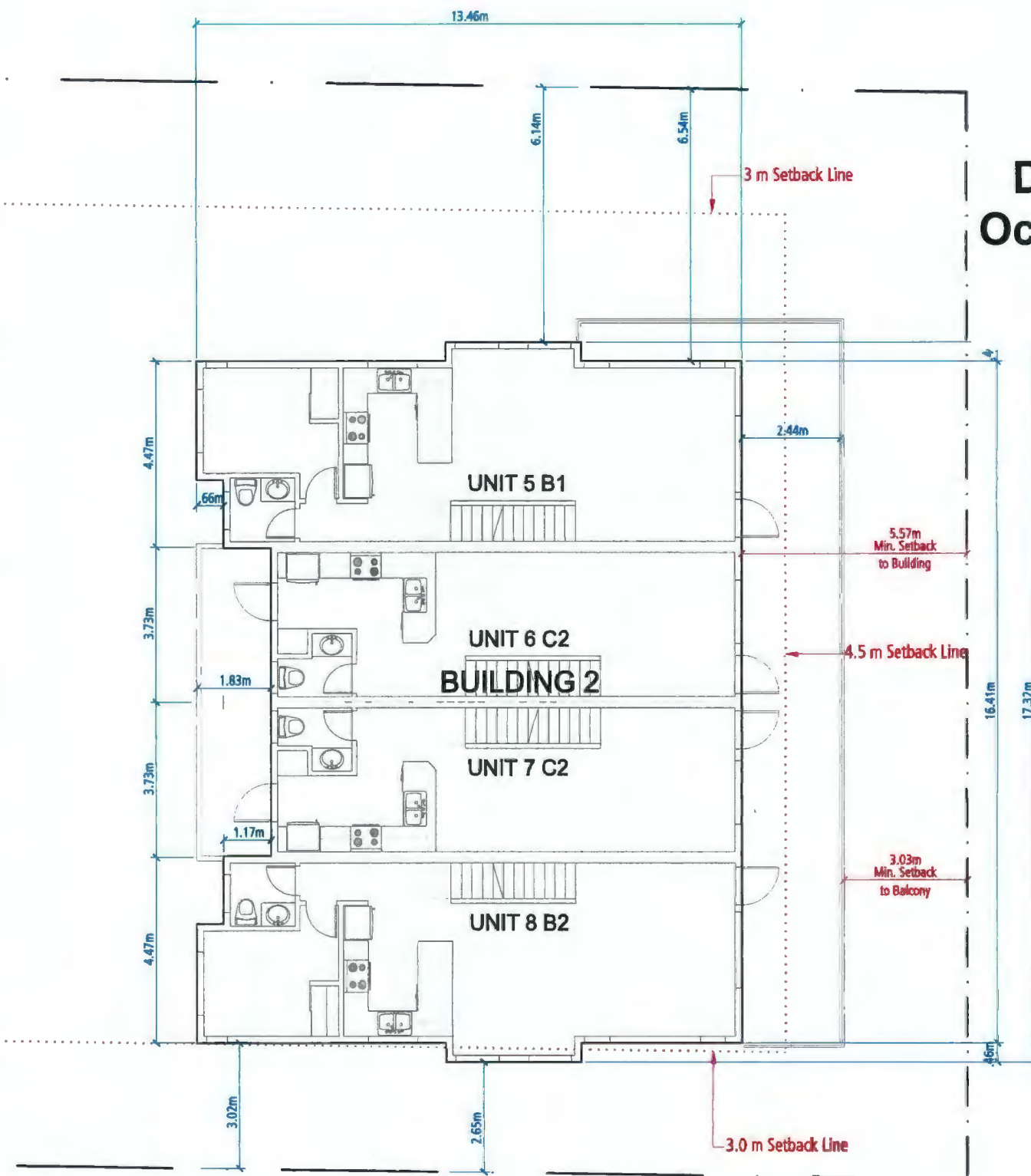
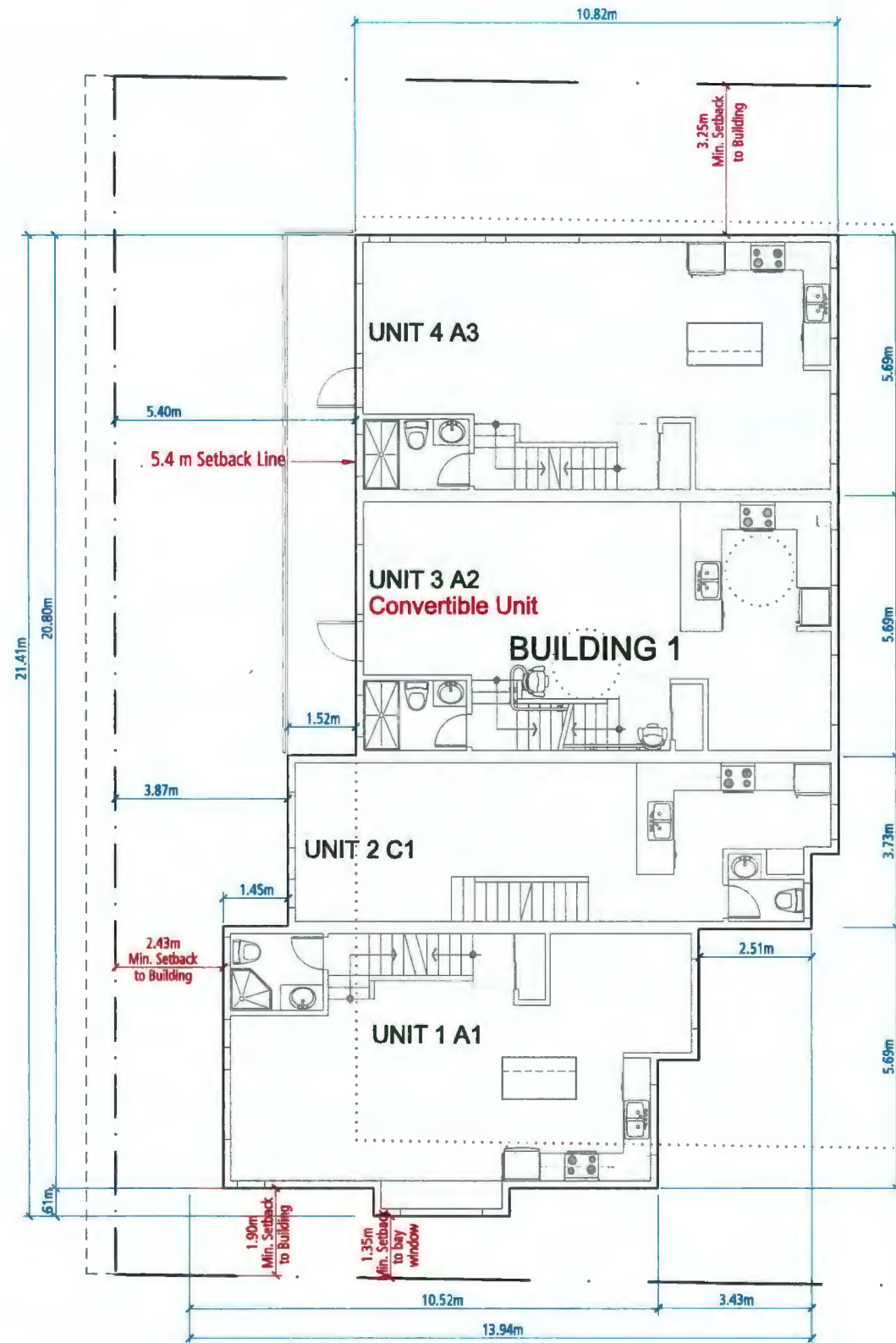
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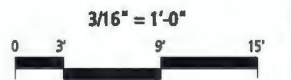
FERNDALE IV
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October 23, 2024
Plan #7



BLOCK PLANS
Second floor



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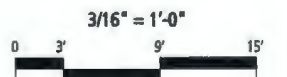
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5.4 m Setback Line →

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October 23, 2024
Plan #8



BLOCK PLANS
Third floor



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FERNDALE IV

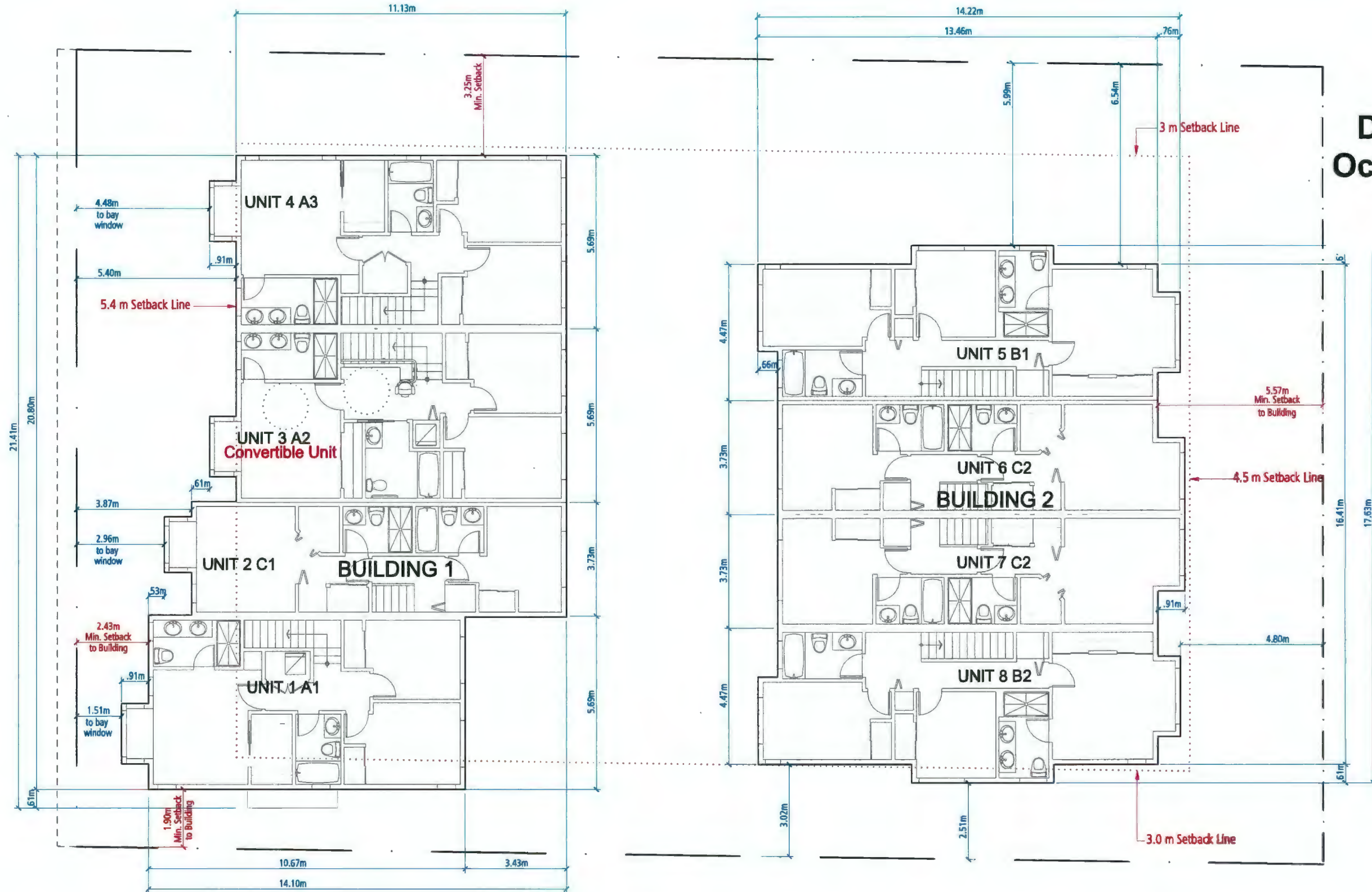
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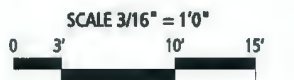
FOUGERE
 architecture inc.

BRITISH COLUMBIA • ALBERTA • WASHINGTON
 202 - 2425 Quebec Street 604.878.2987
 Vancouver BC V5T 4L6 fougerearchitects.ca





ELEVATIONS
Building 1



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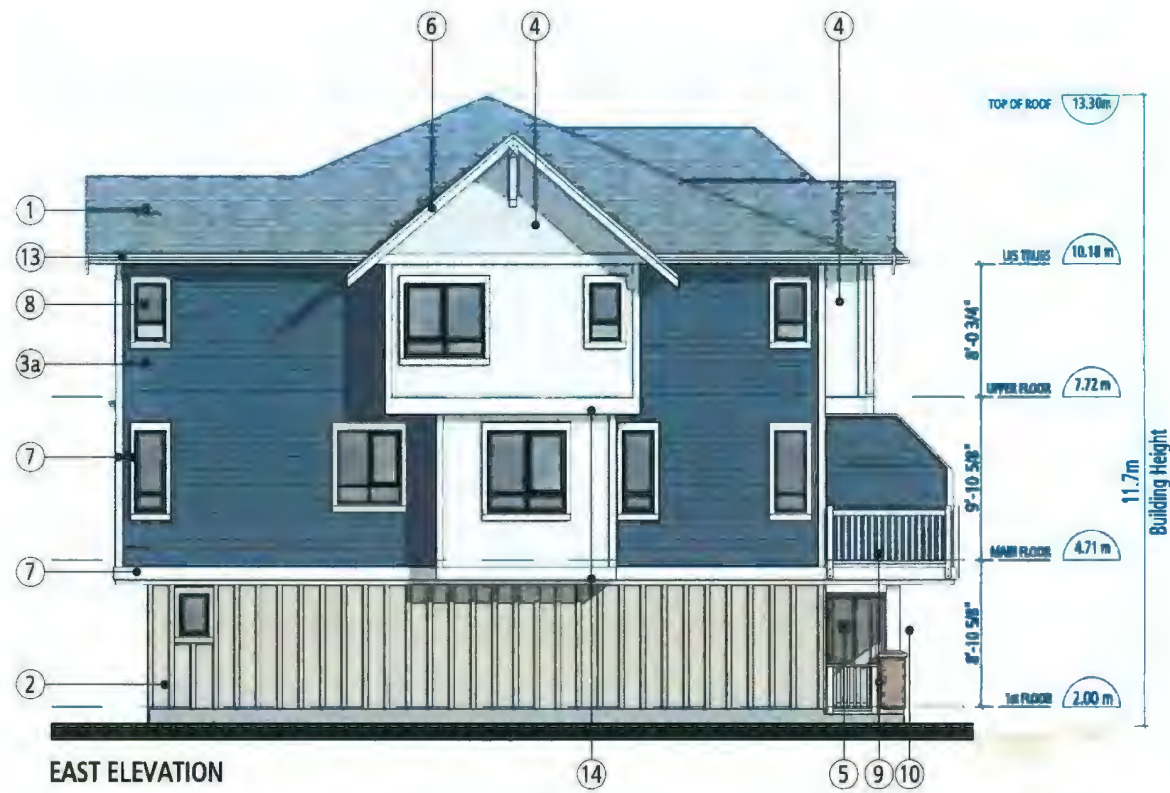
FERNDALE IV
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OCTOBER 16, 2024

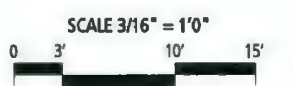


DP 22-023115
October 23, 2024
Plan #9

EXTERIOR FINISHES SCHEDULE	
1 ASPHALT SHINGLES	Iso- Fastone Grey
2 BOARD AND BATTEN	Benjamin Moore AF-685 Thunder
3 HARDIE HORIZONTAL SIDING	Deep Ocean
4 HARDIE SHINGLE- Straight Edge Panel	Cobble stone
5 PRIVACY SCREEN	Benjamin Moore- OC-68 Distant Gray
6 WOOD FASCIA	Benjamin Moore- OC-68 Distant Gray
7 WOOD TRIMS	Benjamin Moore- OC-68 Distant Gray
8 VINYL WINDOWS	Black
9 RAILING	Benjamin Moore- OC-68 Distant Gray
10 WOOD POST	Benjamin Moore- OC-68 Distant Gray
11 SOLID-CORE EXTERIOR DOOR	Sherwin Williams - SW6057 - Chinese Red
12 GARAGE DOOR	Clayco - Birdgeport Series - Sandstone
13 GUTTERS AND DOWNSPOUT	Benjamin Moore- OC-68 Distant Gray
14 VINYL SOFFIT	White
15 ELECTRICAL CLOSET DOOR	Benjamin Moore- OC-68 Distant Gray
16 BRICK	I-XL - Mossvest



ELEVATIONS
Building 2



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DP 22-023115
October 23, 2024
Plan #10

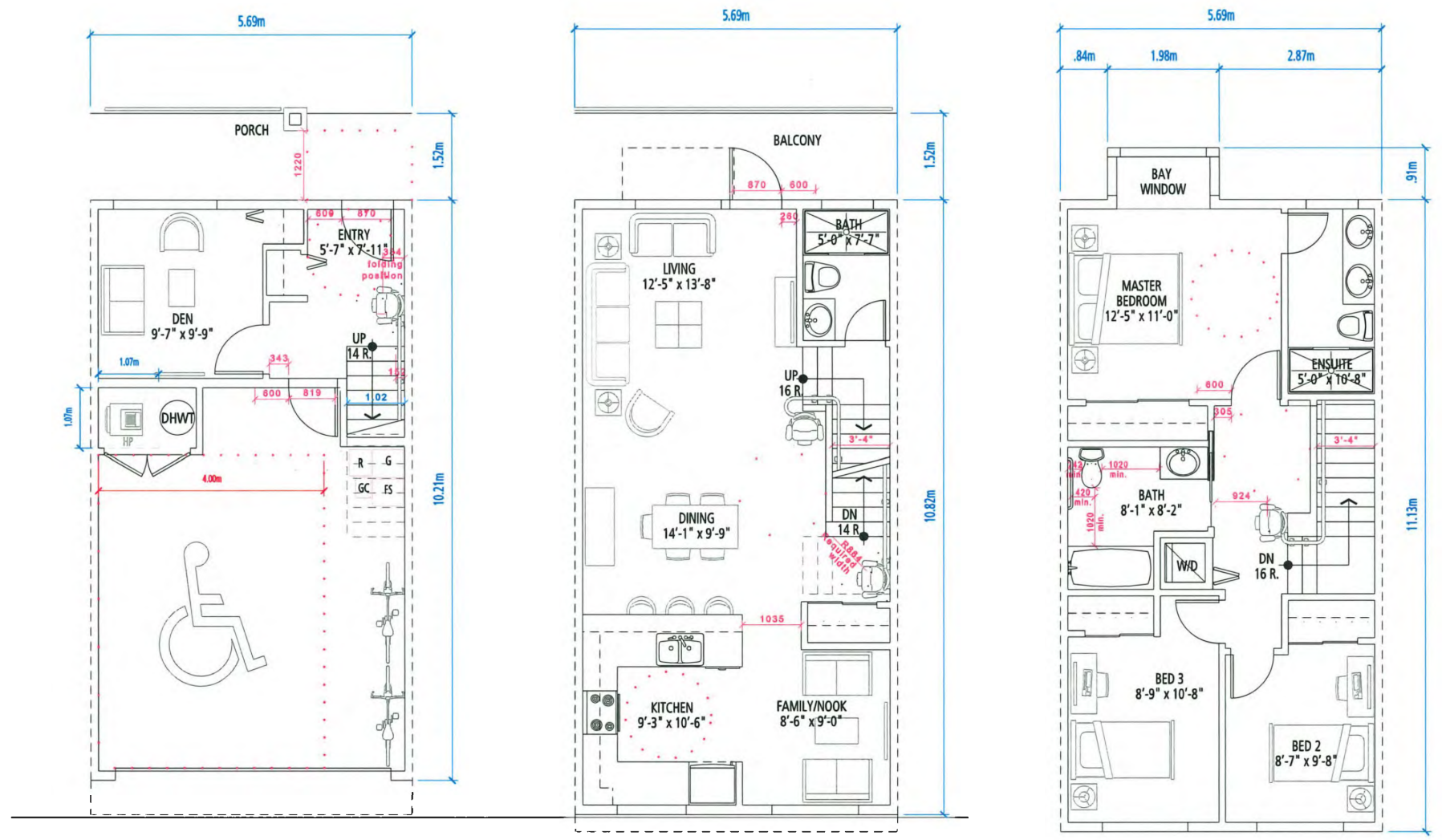
EXTERIOR FINISHES SCHEDULE	
1 ASPHALT SHINGLES	Iko- Fostone Grey
2 BOARD AND BATTEN	Benjamin Moore AF-685 Thunder
3 HARDIE HORIZONTAL SIDING	Deep Ocean
4 HARDIE SHINGLE- Straight Edge Panel	Cobble stone
5 PRIVACY SCREEN	Benjamin Moore- OC-68 Distant Gray
6 WOOD FASCIA	Benjamin Moore- OC-68 Distant Gray
7 WOOD TRIMS	Benjamin Moore- OC-68 Distant Gray
8 VINYL WINDOWS	Black
9 RAILING	Benjamin Moore- OC-68 Distant Gray
10 WOOD POST	Benjamin Moore- OC-68 Distant Gray
11 SOLID-CORE EXTERIOR DOOR	Shewin Williams - SW0057 - Chinese Red
12 GARAGE DOOR	Clopay - Bridgeport Series - Sandstone
13 GUTTERS AND DOWNSPOUT	Benjamin Moore- OC-68 Distant Gray
14 VINYL SOFFIT	White
15 ELECTRICAL CLOSET DOOR	Benjamin Moore- OC-68 Distant Gray
16 BRICK	I-XL - Monument

**PROVISION OF ACCESSIBILITY FEATURES
"AGING-IN-PLACE" REQUIREMENTS
ON ALL UNITS:**

- Blocking in bathroom walls for installation of grab-bars (beside toilet, tub and shower)
- Provision of lever door handles for plumbing fixtures and door handles
- Stairwell Handrails
- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Door from garage to living area minimum 2'-10" (swinging door spec.)

UNIT A2	Convertible Unit
Gross Floor Area	193.2 sm
Exclusions	59.2 sm
Net Floor Area	134.0 sm

**DP 22-023115
October 23, 2024
Plan #11**

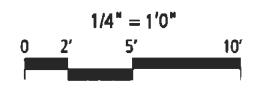


FIRST FLOOR

SECOND FLOOR

THIRD FLOOR

UNIT PLANS

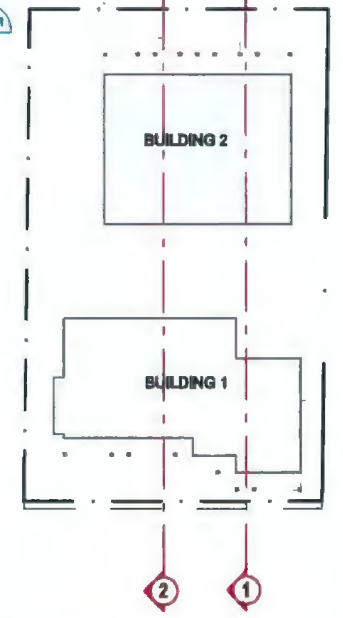
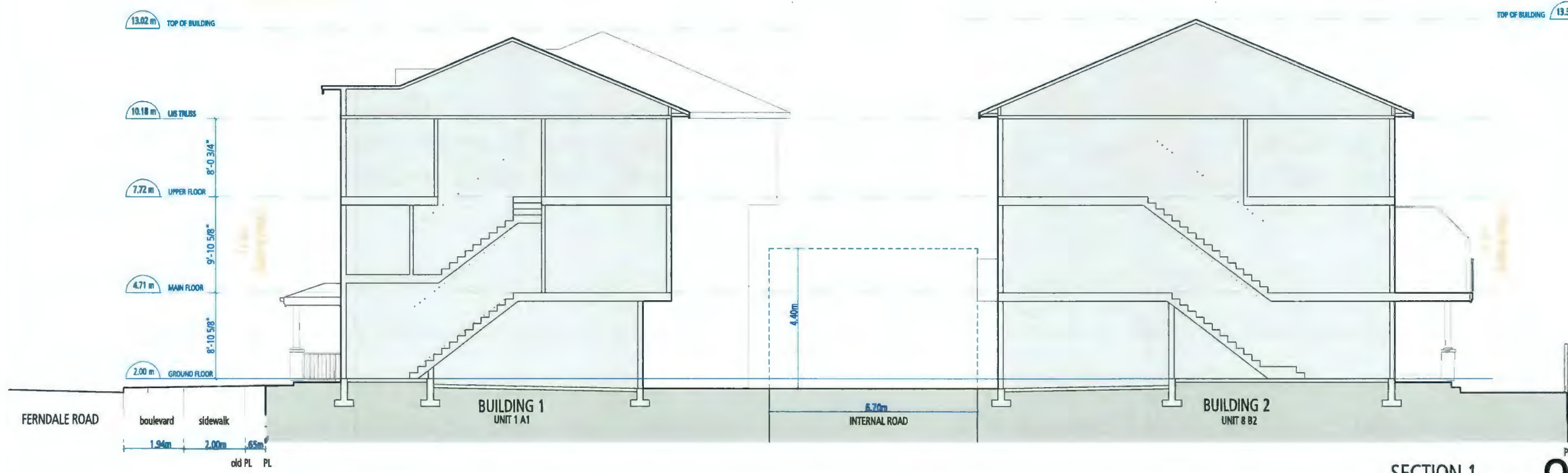


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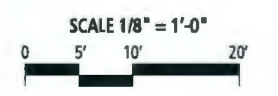
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OCTOBER 16, 2024



SECTION 1

DP 22-023115
 October 23, 2024
 Plan #12

SITE SECTIONS



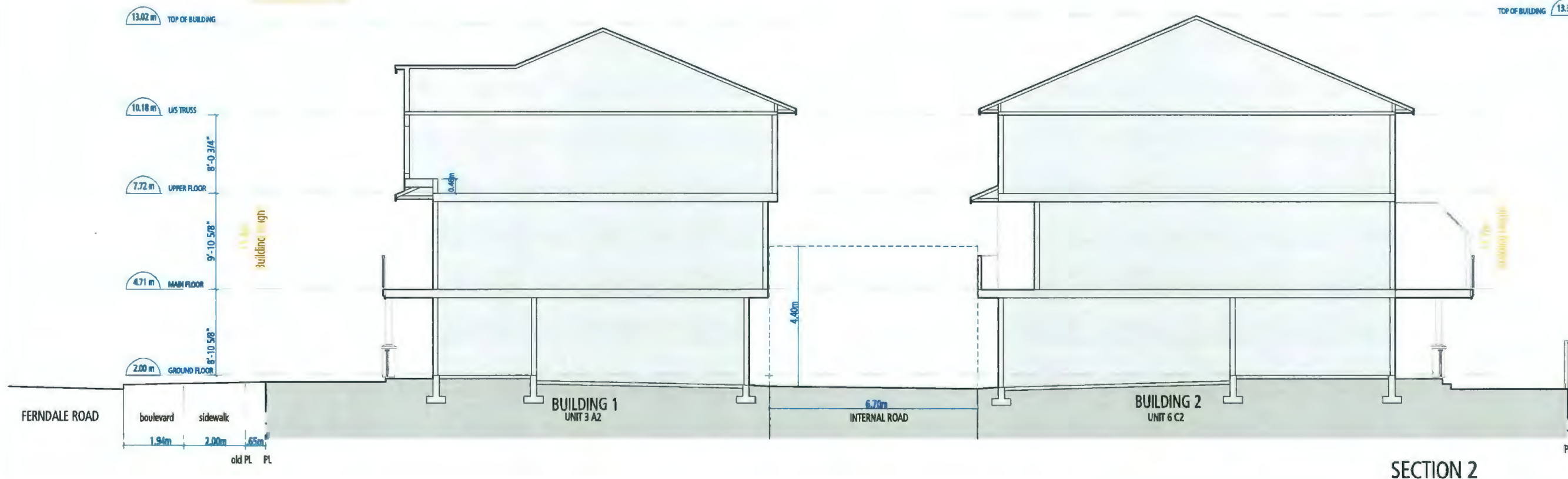
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 Vancouver BC V6T 4L6 604.873.2907



SECTION 2



5 6 7 10 11 13



EXTERIOR FINISHES SCHEDULE	
1 ASPHALT SHINGLES	Ro- Fictoria Grey
2 BOARD AND BATTEN	Benjamin Moore AF-685 Thunder
3 HARDIE HORIZONTAL SIDING	Deep Ocean
4 HARDIE SHINGLE- Straight Edge Panel	Cobble stone
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14 VINYL SOFFIT	White
15 ELECTRICAL CLOSET DOOR	Benjamin Moore- OC-68 Distant Gray
16 BRICK	I-XL - Monument



DP 22-023115
October 23, 2024
Plan #13

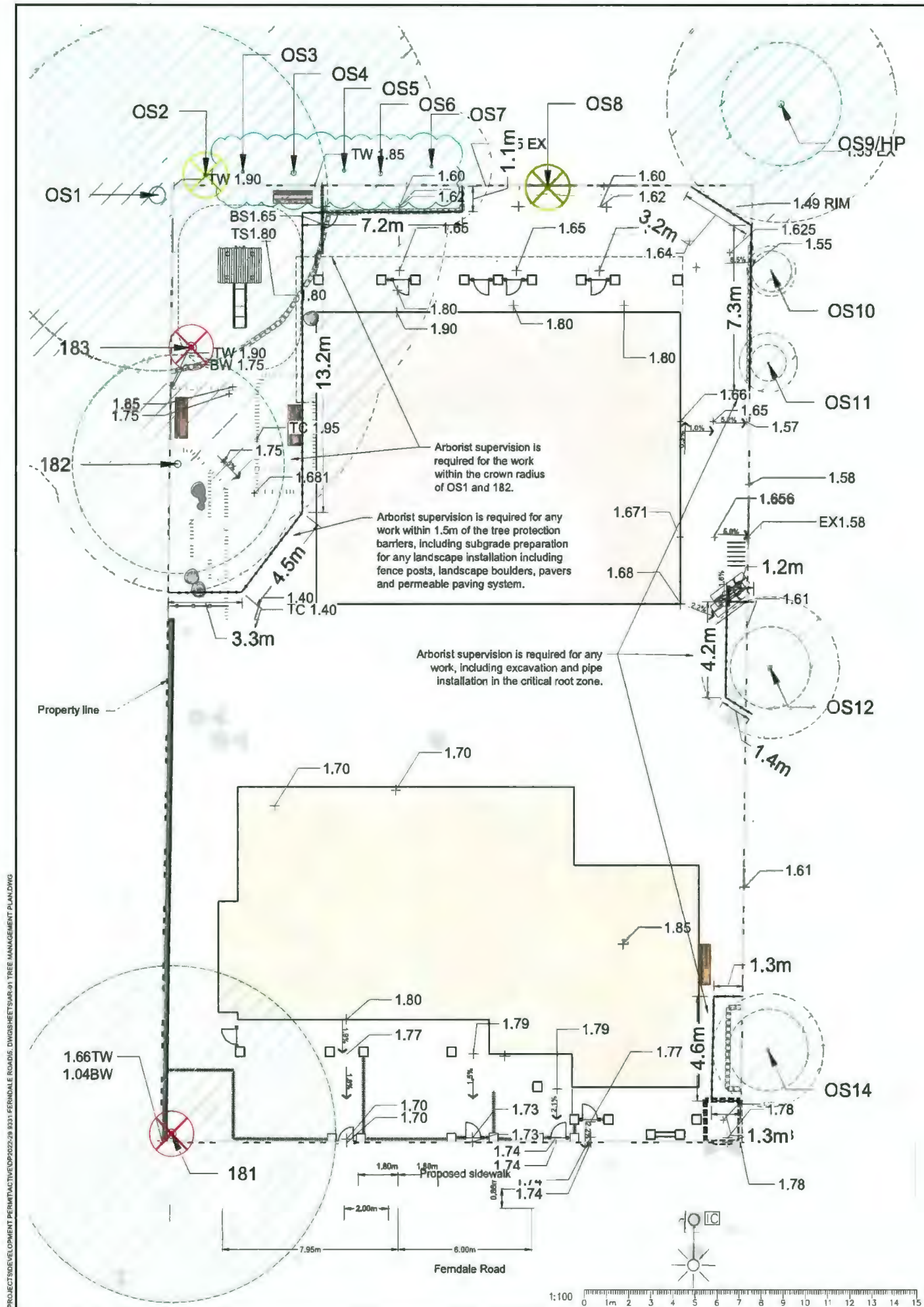
MATERIAL BOARD

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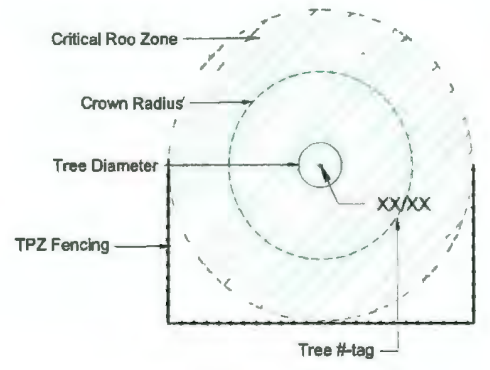
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 Western Construction

DP RESUBMISSION
 OCTOBER 16, 2024



LEGEND

Existing Tree to be Retained	Existing Tree to be Removed	Undersize Tree	Existing Tree in Poor/Dead Condition	Tree Protection Fencing



Tree Tag Legend
 XX - Tag number
 C-XX - Muncipale tree
 OS-XX - Off-site tree
 S-XX - Straddling tree. Written permission required from owner to remove trees.
 XX-NT - No Tag #
 WRC= Western Red Cedar
 BLM= Big Leaf Maple
 RA= Red Alder

Tree Protection Zone

The Tree Protection Zone (TPZ) encompasses the drip line of the tree as illustrated in Fig. 1a and 1b.

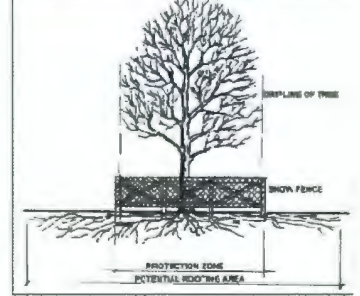


Fig. 1a - Example of a drip line on a tree

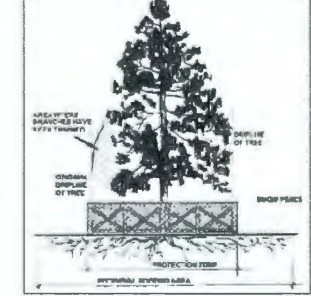


Fig. 1b - Example of a drip line on a tree with one side pruned

Note: If the tree is on an adjacent property, the drip line must still be protected on your side of the property line. If the branches have been cut or pruned, the TPZ must protect the original drip line of the tree (Fig. 1b).

Tree Protection Distance Table

Tree Trunk Diameter		Distance from Trunk		Tree Diameter		
cm	inches	m	feet	m	feet	
20	8	0.6	1.2	3.9	2.60	8.5
25	10	0.8	1.8	4.9	3.25	10.7
30	12	1.0	1.8	5.9	3.90	12.8
36	14	1.2	2.1	6.9	4.55	14.9
40	16	1.3	2.4	7.9	5.20	17.1
45	18	1.5	2.7	8.9	5.85	19.2
50	20	1.7	3.0	9.8	6.50	21.3
55	22	1.8	3.3	10.8	7.15	23.5
60	24	2.0	3.6	11.8	7.80	25.6
76	30	2.5	4.5	14.8	9.75	32.0
90	36	3.0	6.0	18.4	10.90	35.8
100	40	3.3	6.0	19.7	13.00	42.7

Tree Protection Zone Signage

All TPZ are required to have signage as shown in Fig. 2. The signage must be a minimum of 11'x14" in size or at least 2 sides. A sign is now available for download from the City of Richmond's Tree Bylaw webpage at www.richmond.ca/sustainability/environment/treeremoval.htm

For Tree Protection Barrier inspection requests and enquiries call 604-247-4684.

NOTE: Failure to maintain tree protection barriers may result in fines of up to \$10,000.00 per offence.



Fig. 2 - Tree Protection Zone Sign



Note:
 1. Contact VDZ+A Project Arborist (604-841-8977, glyn@vdz.ca or yifan@vdz.ca) for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ) If during excavation it is found that it cannot be completed without severing roots that are critical to the trees health or stability it may be necessary to remove additional trees.
 2. Read this plan together with the arborist report prepared by VDZ+A.
 3. An additional 1m setback is shown for all hand-plotted trees to be retained.
 4. If Stump Grinding is to occur in close proximity to trees which are to be retained then it is requested stumps to be removed under Arborist supervision.
 5. It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
 *Locating TPZ Fencing
 *Locating Work Zone and Machine access corridors where required
 *Reviewing the Report with the project foreman or site supervisor.

NOT FOR CONSTRUCTION

7	AL	Site Plan Update	2024-08-27
---	----	------------------	------------

DP 22-023115
October 23, 2024
Plan #14

No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
FERNDALE ROAD

Location:
 9331 Ferndale Road,
 Richmond, BC,
 V6Y 1X4

Drawn: AL	Stamp:
Checked: DGR	
Approved:	Original Sheet Size: 24"x36"
Scale: 1:100	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL NECESSARY APPROVALS/DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED INVOICED FOR TENDER/CONSTRUCTION.

Drawing Title: TREE MANAGEMENT PLAN

VDZ Project #: DP2022-29

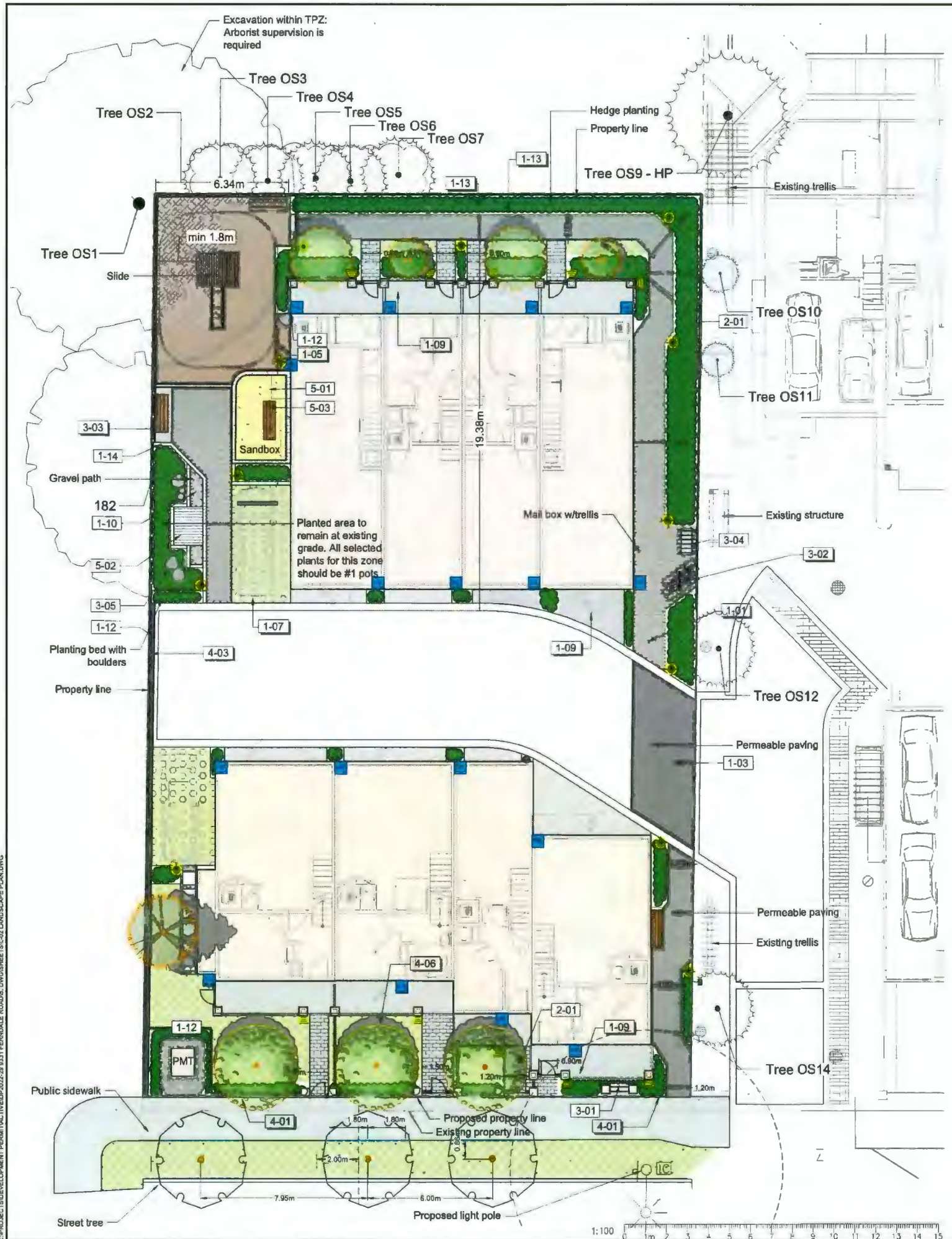
Drawing #: AR-01

Z:\PROJECTS\DEVELOPMENT PERMITS\DP2022-29\9331 FERNDALE ROAD\DWG\SHEET\AR-01 TREE MANAGEMENT PLAN.DWG



DP 22-023115
October 23, 2024
Plan #15

Drawing Title: **LANDSCAPE PLAN**
 VZ Project #: **DP2022-29**
 Drawing #: **L-02**



REFERENCE NOTES SCHEDULE ON-SITE

CODE	DESCRIPTION	QTY	DETAIL
1 Hardscape			
1-01	Techo-Bloc, Inc. Hydra 01 Hydra paver, chestnut brown colour. Linear pattern, (100%). For pedestrian application.	68,5 m ²	5/LD-01
1-02	Techo-Bloc, Inc. Hydra 01 Hydra paver, shale grey colour. Linear pattern, (100%). For vehicular application.	47,0 m ²	6/LD-01
1-03	Techo-Bloc, Inc. Hydra 01 Hydra paver, shale grey colour. Herringbone pattern, (100%). For vehicular application.	42,2 m ²	5/LD-01
1-05	Fibar		7/LD-01
1-07	Ecoraster E40 Permeable Paving System General, Grassed		9/LD-03
1-08	Sand	9,3 m ²	5/LD-03
1-09	Concrete	194,1 m ²	4/LD-02
1-10	Gravel Path		/
1-12	Concrete Retaining Wall	46,4 m	
1-13	Modular block wall	36,7 m	7/LD-03
1-14	Wood curb/Timber wall	124,4 m	
2 Softscape			
2-01	Lawn	72,1 m ²	
3 Play Items			
3-01	Project elgn		2/LD-02
3-02	Bike rack by Ralence Foundry	1	7/LD-02
3-03	Bench by Westbone	2	6/LD-02
3-04	Mail box with shelter		6/LD-03
3-05	Boulders		8/LD-01
4 Walls & Fencing			
4-01	Fence picket aluminum	27,1 m	1/LD-02
4-02	Fence privacy screen (as per architect)		
4-03	Fence perimeter 6 FT	46,4 m	3/LD-02
4-04	Fence perimeter 5 FT	64,0 m	3/LD-02
4-05	Fence tree protection	33,6 m	AR-01
4-06	Patio Railing (as per architect)	71,5 m	
5 Site Furniture			
5-01	Sandbox		5/LD-03
5-02	Playhouse		3/LD-03
5-03	Sand table		4/LD-03

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES					
	Chamaecyparis obtusa 'Crispi' / Golden Hinoki Cypress	-	-	4m ht	2
	Fagus sylvatica 'Dawyck' / Dawyck Beech	B & B	8cm cal		2
	Picea omorika / Serbian Spruce	-	-	4m ht	1
	Stewartia pseudocamellia / Japanese Stewartia	B & B	8cm cal		3
STREET TREE					
	Styax japonicus / Japanese Snowbell	B & B	8cm cal	1.8m std	3

RETAINED TREES

	RETAINED TREES DECIDUOUS	3
	RETAINED TREES CONIFERS	11

NOT FOR CONSTRUCTION

No.	By:	Description	Date
6	DY	Issued for Reasoning/DP	2024-10-16
7	DY	Issued for Reasoning/DP	2024-08-12
8	DY	Issued for Reasoning/DP	2024-07-30
5	DY	Issued for Reasoning/DP	2024-05-21
4	DY	Issued for DP	2024-05-23
3	DY	Issued for Reasoning/DP	2023-11-20
2	DY	Issued for Reasoning/DP	2022-08-30
1	DY	Issued for Review	2022-07-27

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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
FERNDALE IV

Location:
 9331 Ferndale Road
 Richmond, B.C.

Drawn: DY	Stamp:
Checked: TM	
Approved: TM	Original Sheet Size: 24"x36"
Scale: 1:100	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED BY THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/ADDITIONS MUST NOT BE MADE FOR CONSTRUCTION UNLESS LABELLED ISSUED FOR TENDER/CONSTRUCTION.

DP 22-023115
October 23, 2024
Plan #16

Drawing Title: **GRADING AND LIGHTING PLAN**
 VZ Project #: **DP2022-29**
 Drawing #: **L-03**

NOT FOR CONSTRUCTION

No.	By:	Description	Date
6	DY	Issued for Reasoning/DP	2024-10-18
7	DY	Issued for Reasoning/DP	2024-08-12
8	DY	Issued for Reasoning/DP	2024-07-30
5	DY	Issued for Reasoning/DP	2024-05-21
4	DY	Issued for DP	2024-05-23
3	DY	Issued for Reasoning/DP	2023-11-20
2	DY	Issued for Reasoning/DP	2023-08-30
1	DY	Issued for Review	2023-07-27

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No.	By:	Description	Date

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Project:
FERDALE IV

Location:
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Drawn: DY	Stamp:
Checked: TM	
Approved: TM	Original Sheet Size: 24"x36"
Scale: 1:100	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER CONSTRUCTION.

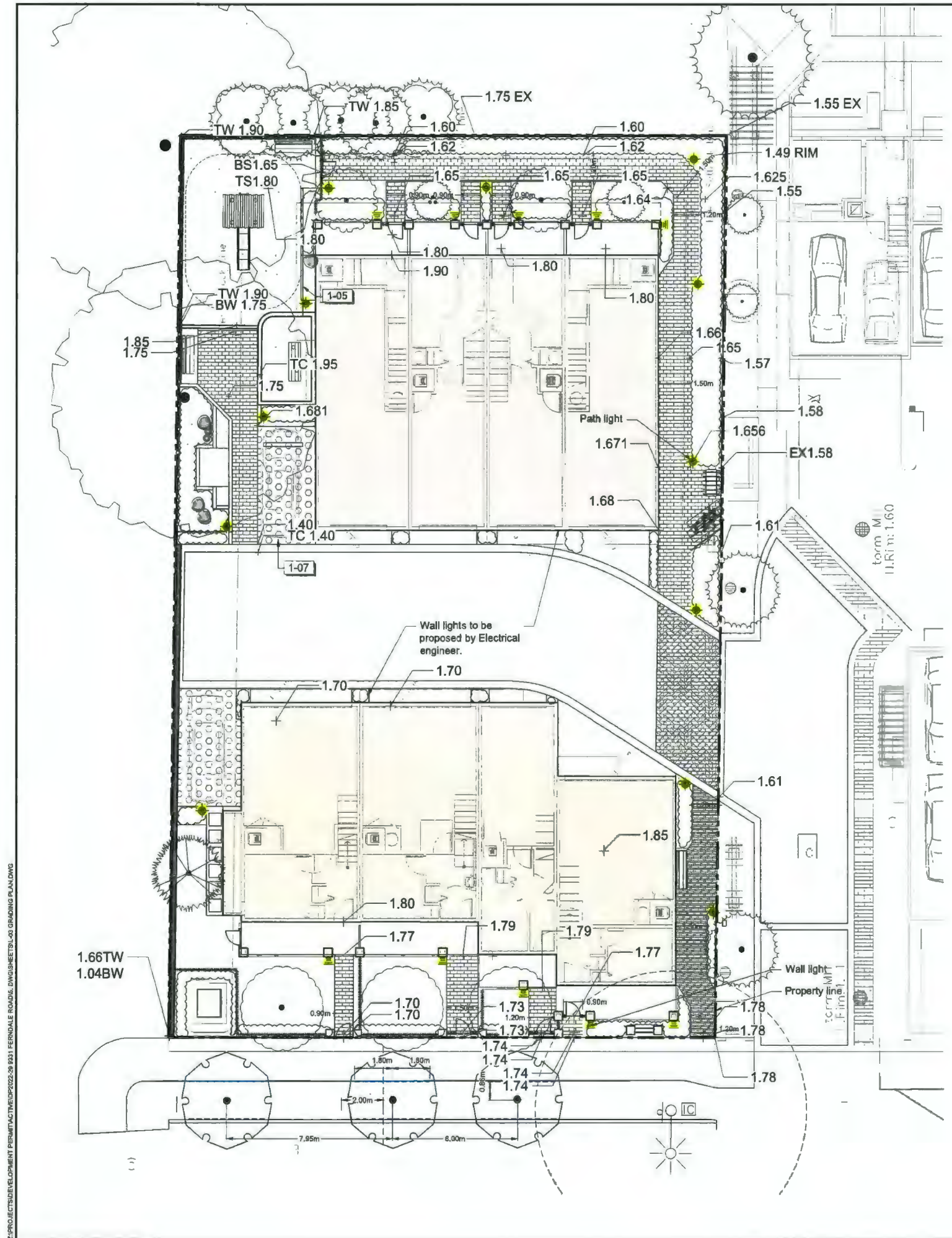
GRADING AND DRAINAGE

SYMBOL	DESCRIPTION
	Landscape proposed grade
	Landscape proposed slope %

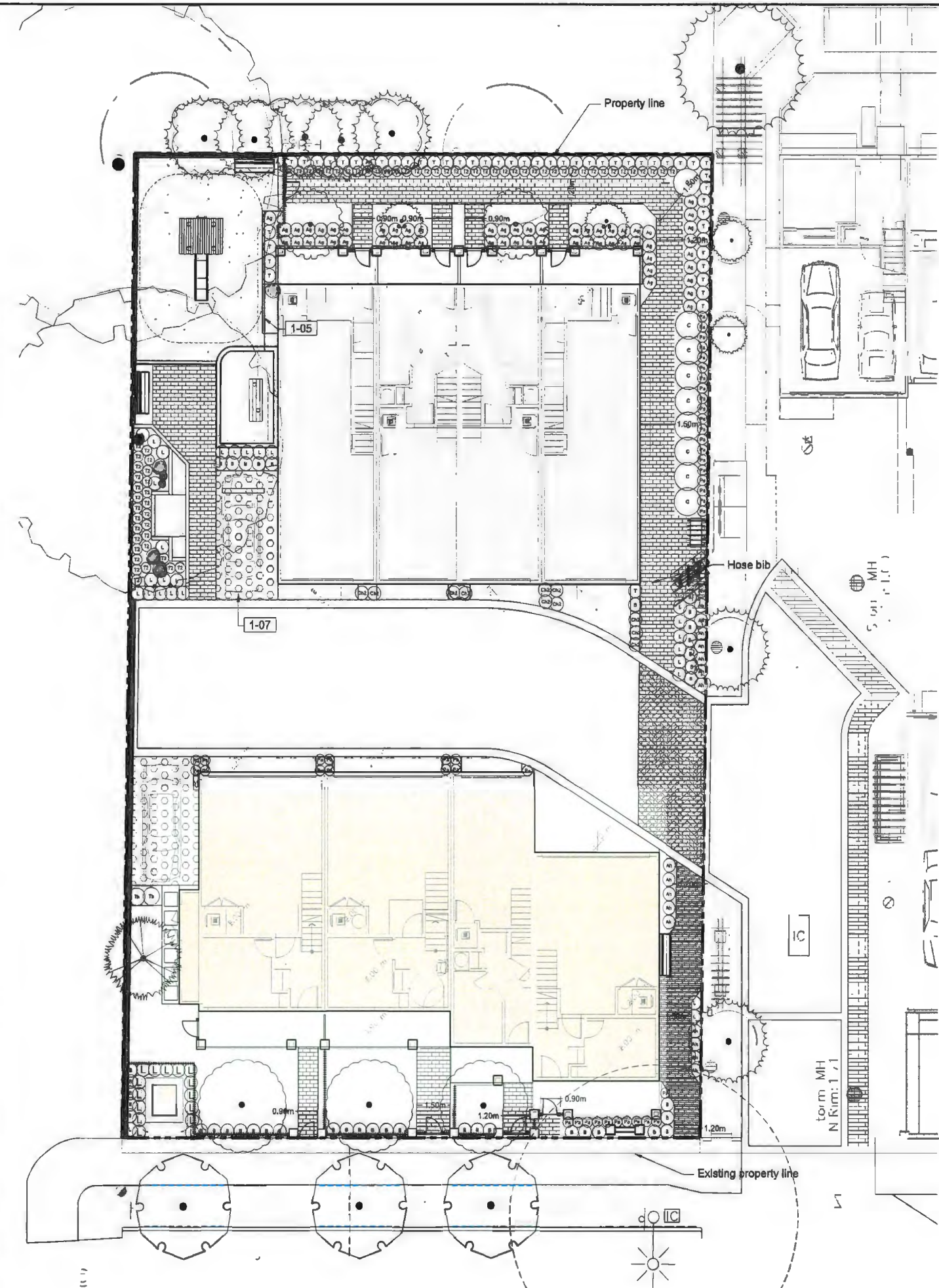
LIGHTING

KEY	REF.	DESCRIPTION
	2 LD-04	BOLLARD LIGHT
	3 LD-04	WALL LIGHT

Note:
 Lighting Fixture selection to be coordinated with Electrical.



Z:\PROJECTS\DEVELOPMENT PERMITS\DP2022-29 031 FERDALE ROAD.DWG\VDZ\SET\16-03 GRADING PLAN.DWG



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
SHRUBS				
Ag	Azalea japonica 'Gumpo Pink' / Dwarf Pink Azalea	#3	0,6 m	57
Ah	Azalea japonica 'Hino Crimson' / Hino Crimson Japanese Azalea	#3	0,6 m	17
B	Buxus microphylla 'Little Gem' / Boxwood	#2	0,8 m	41
Ch2	Calluna vulgaris 'Amethyst' / Amethyst Heather	#1	0,6 m	11
C	Ceanothus thyrsiflorus 'Victoria' / Victoria Ceanothus	#3	1,2 m	9
L	Lavandula angustifolia 'Hidcote' / Hidcote Lavender	#1	0,6 m	42
T2	Liriope muscari 'Big Blue' / Big Blue Lilyturf	#1	0,45 m	68
Pa	Pachysandra terminalis / Japanese Spurge	#1	0,45 m	44
T	Taxus x media 'Hicksii' / Hicks Yew	1,2m ht.	0,6 m	49
Th	Thuja occidentalis 'Emerald' / Emerald Arborvitae	1,8m ht	0,75 m	2

Notes:
 1. Project to use high-efficiency irrigation. This includes drip irrigation in shrub beds.

DP 22-023115
October 23, 2024
Plan #17

NOT FOR CONSTRUCTION

No.	By	Description	Date
8	DY	Issued for Rezoning/DP	2024-10-18
7	DY	Issued for Rezoning/DP	2024-08-12
6	DY	Issued for Rezoning/DP	2024-07-30
5	DY	Issued for Rezoning/DP	2024-06-21
4	DY	Issued for DP	2024-05-23
3	DY	Issued for Rezoning/DP	2023-11-20
2	DY	Issued for Rezoning/DP	2022-08-30
1	DY	Issued for Review	2022-07-27

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
FERNDALE IV
 Location:
 9331 Ferndale Road
 Richmond, B.C.

Drawn: DY	Stamp:
Checked: TM	Original Sheet Size: 24"x36"
Approved: TM	Scale: 1:100

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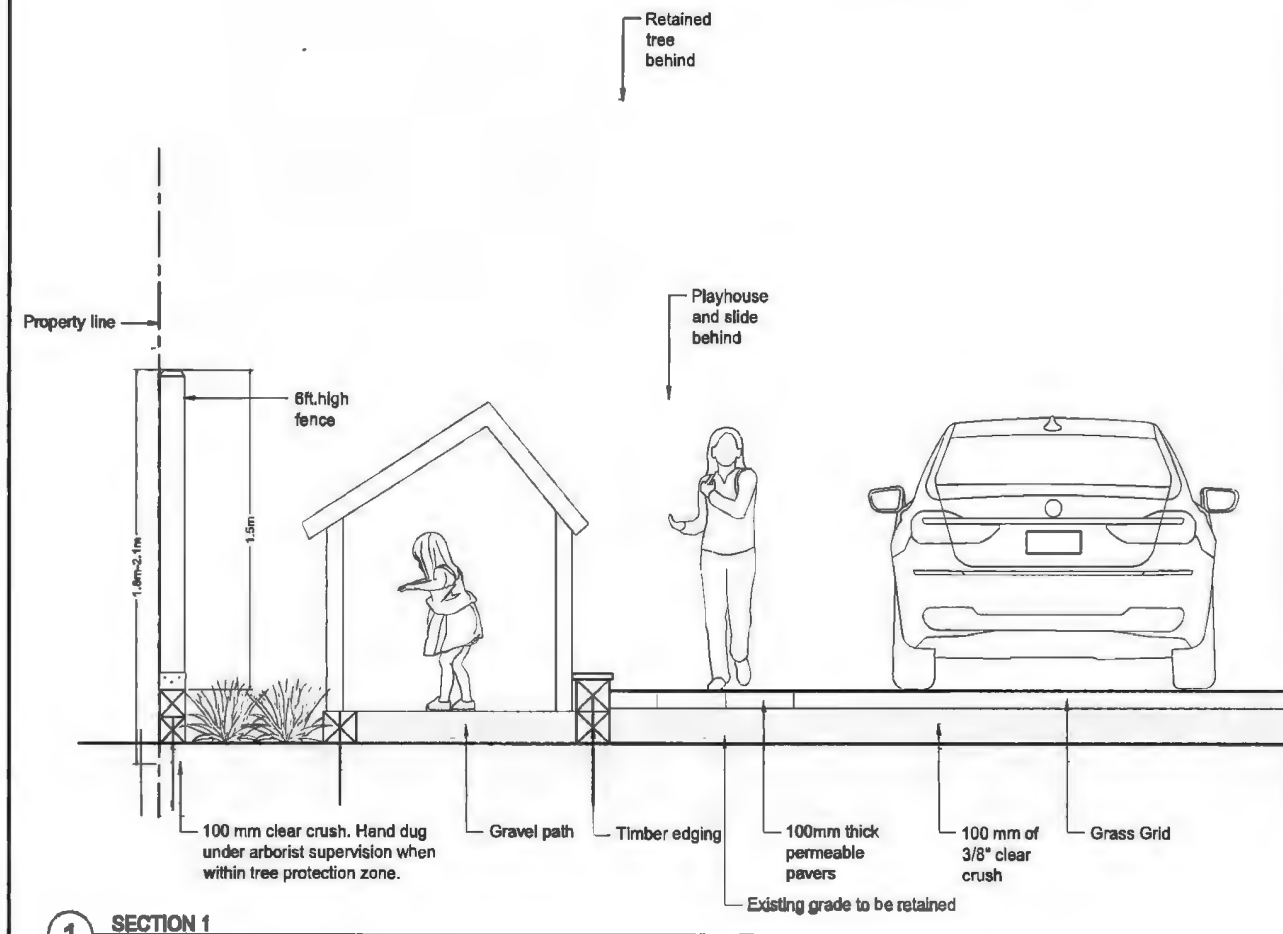


Drawing Title: **PLANTING AND IRRIGATION PLAN**

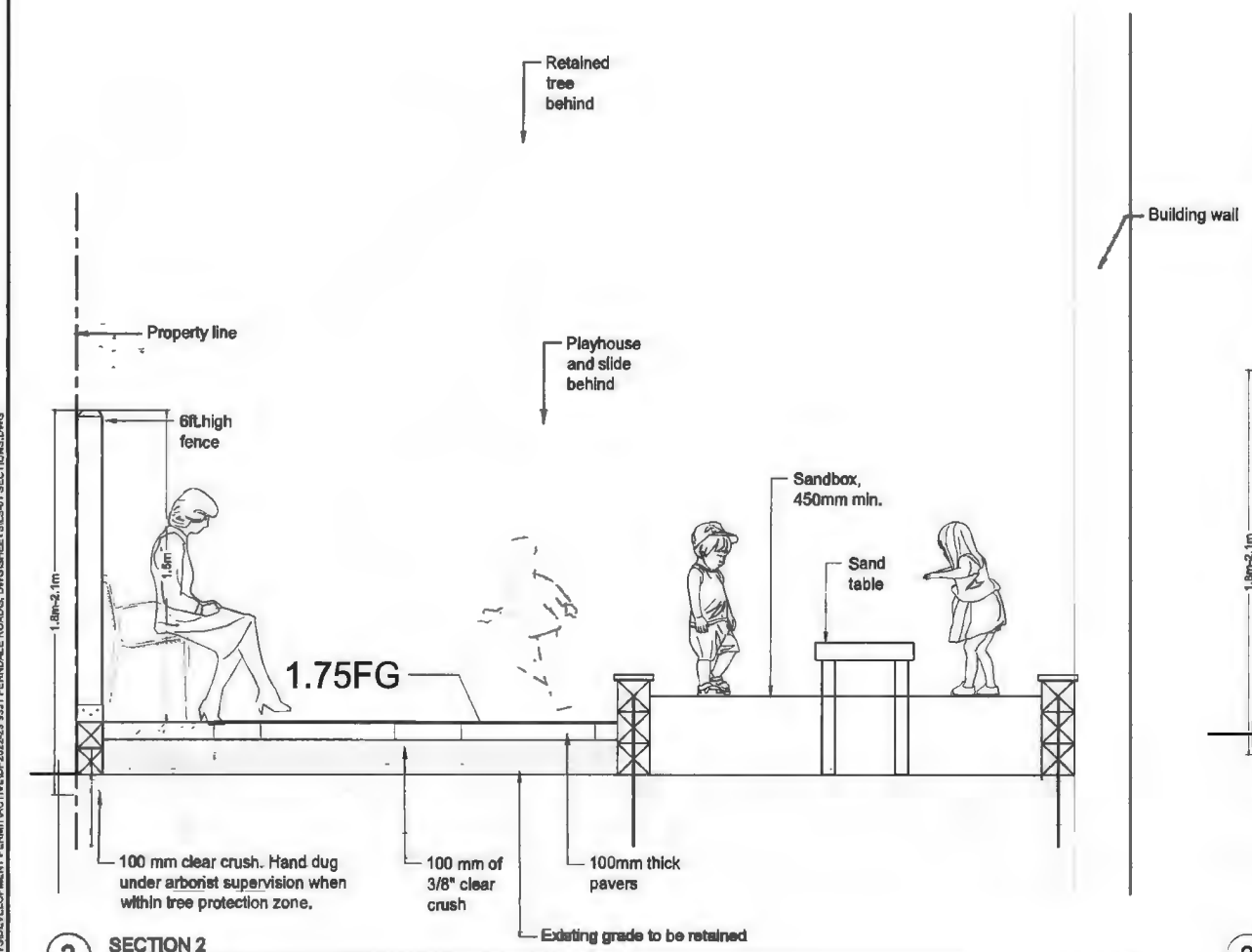
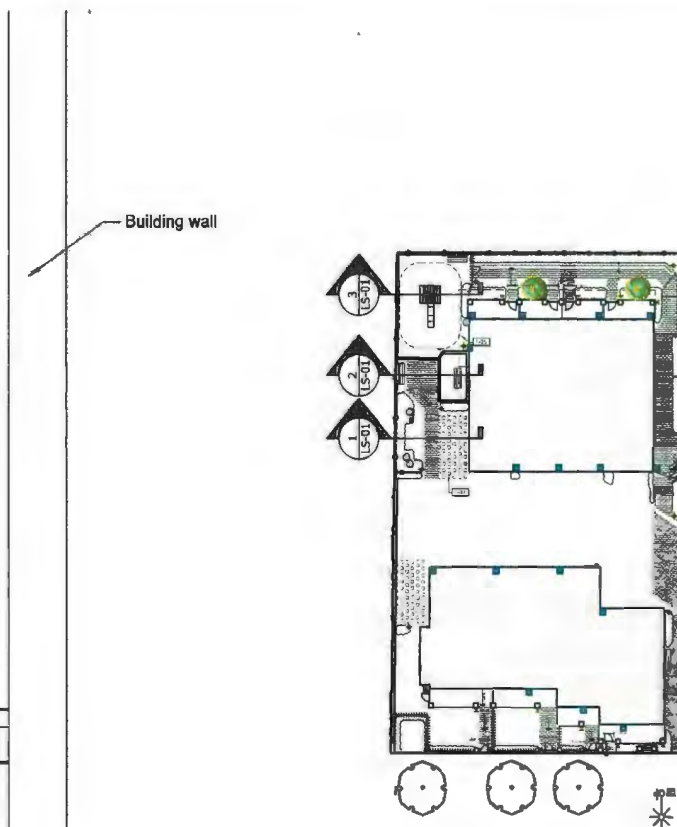
VDZ Project #: **DP2022-29**

Drawing #: **L-04**

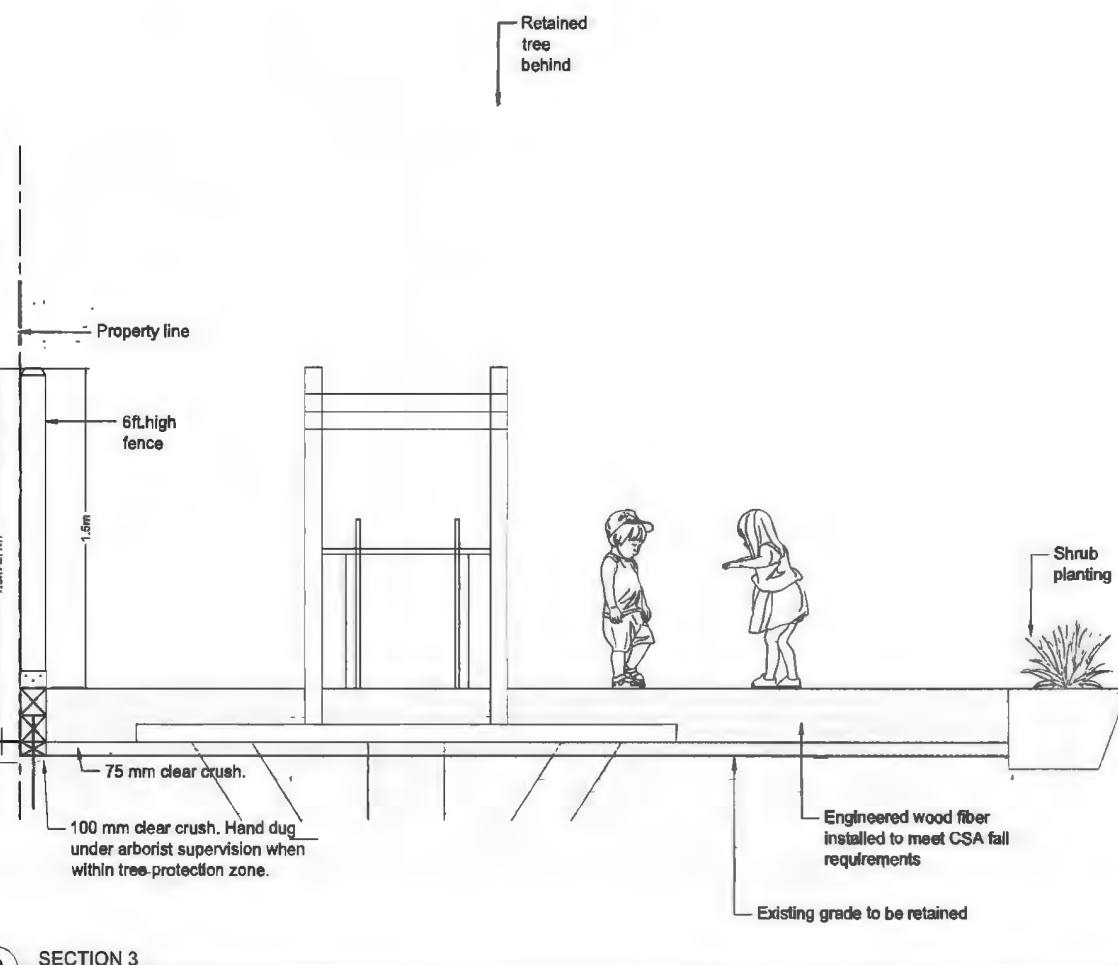
DP 22-023115
October 23, 2024
Plan #18



1 SECTION 1
 Scale 1:20



2 SECTION 2
 Scale 1:20



3 SECTION 3
 Scale 1:20

NOT FOR CONSTRUCTION

No.	By:	Description	Date
8	DY	Issued for Rezoning/DP	2024-10-18
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1	DY	Issued for Review	2022-07-27

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Project: FERNDALE IV
 Location: 9331 Ferndale Road
 Richmond, B.C.

Drawn: Stamp:
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Checked: TM

Approved: Original Sheet Size:
 TM 24"x36"

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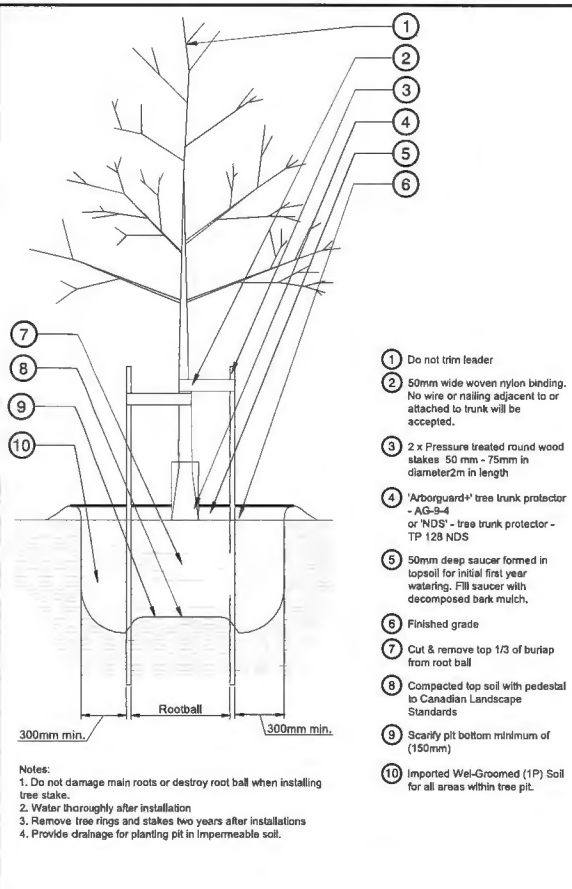
Drawing Title: SECTIONS

VDZ Project #: DP2022-29

Drawing #: LS-01

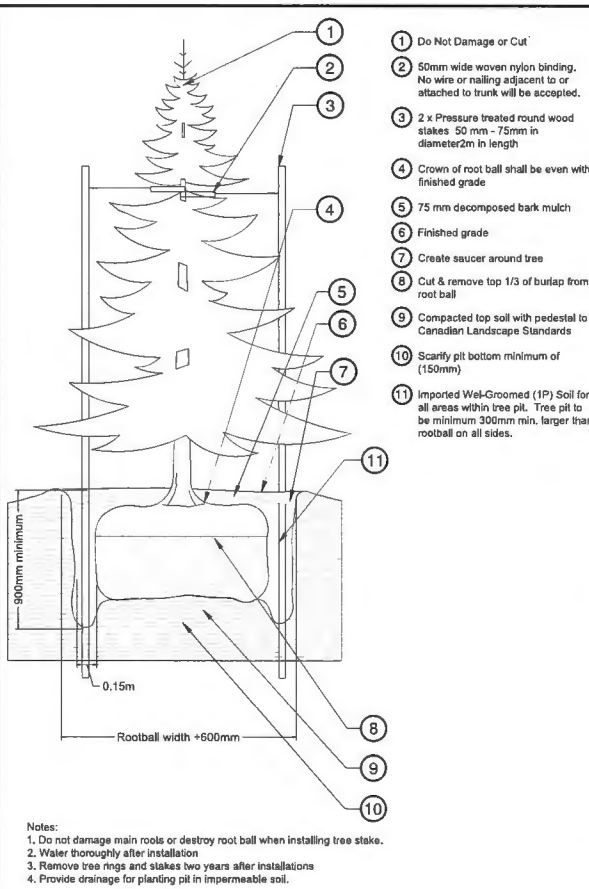
PROJECT DEVELOPMENT PERMIT ACTIVE DP2022-29 9331 FERNDALE ROAD, DWG SHEET LS-01 SECTIONS.DWG

DP 22-023115
October 23, 2024
Plan #19



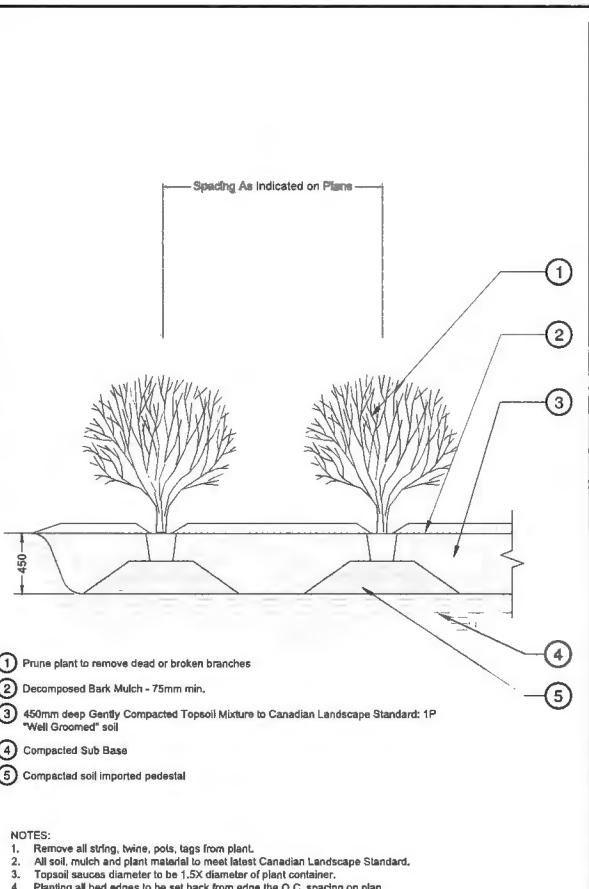
- 1 Do not trim leader
- 2 50mm wide woven nylon binding. No wire or nailing adjacent to or attached to trunk will be accepted.
- 3 2 x Pressure treated round wood stakes 50 mm - 75mm in diameter 2m in length
- 4 'Arborguard' tree trunk protector - AG-9-4 or 'NDS' - tree trunk protector - TP 128 NDS
- 5 50mm deep saucer formed in topsoil for initial first year watering. Fill saucer with decomposed bark mulch.
- 6 Finished grade
- 7 Cut & remove top 1/3 of burlap from root ball
- 8 Compacted top soil with pedestal to Canadian Landscape Standards
- 9 Scarify pit bottom minimum of (150mm)
- 10 Imported Wel-Crowned (1P) Soil for all areas within tree pit.

1 TREE PLANTING - DECIDUOUS TREE



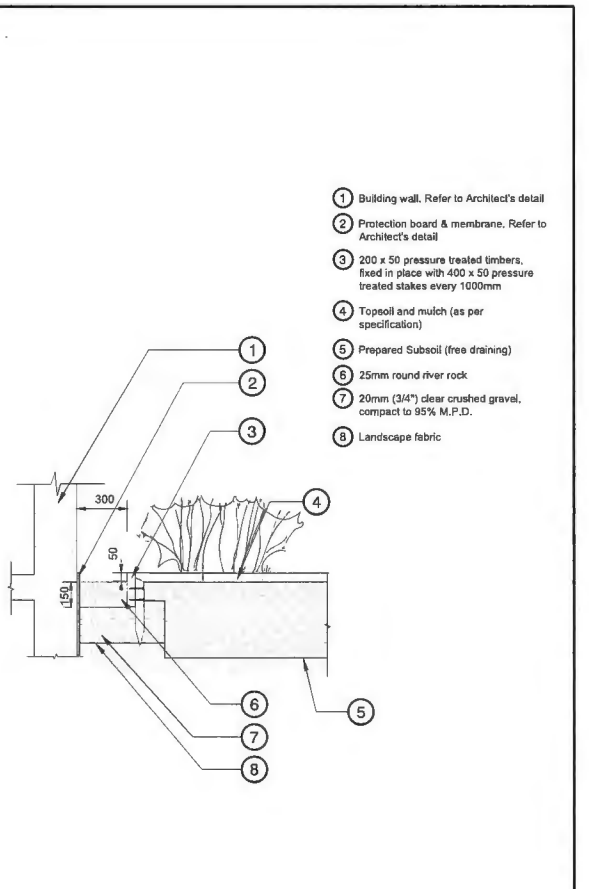
- 1 Do Not Damage or Cut
- 2 50mm wide woven nylon binding. No wire or nailing adjacent to or attached to trunk will be accepted.
- 3 2 x Pressure treated round wood stakes 50 mm - 75mm in diameter 2m in length
- 4 Crown of root ball shall be even with finished grade
- 5 75 mm decomposed bark mulch
- 6 Finished grade
- 7 Create saucer around tree
- 8 Cut & remove top 1/3 of burlap from root ball
- 9 Compacted top soil with pedestal to Canadian Landscape Standards
- 10 Scarify pit bottom minimum of (150mm)
- 11 Imported Wel-Crowned (1P) Soil for all areas within tree pit. Tree pit to be minimum 300mm min. larger than rootball on all sides.

2 TREE PLANTING - CONIFEROUS TREE



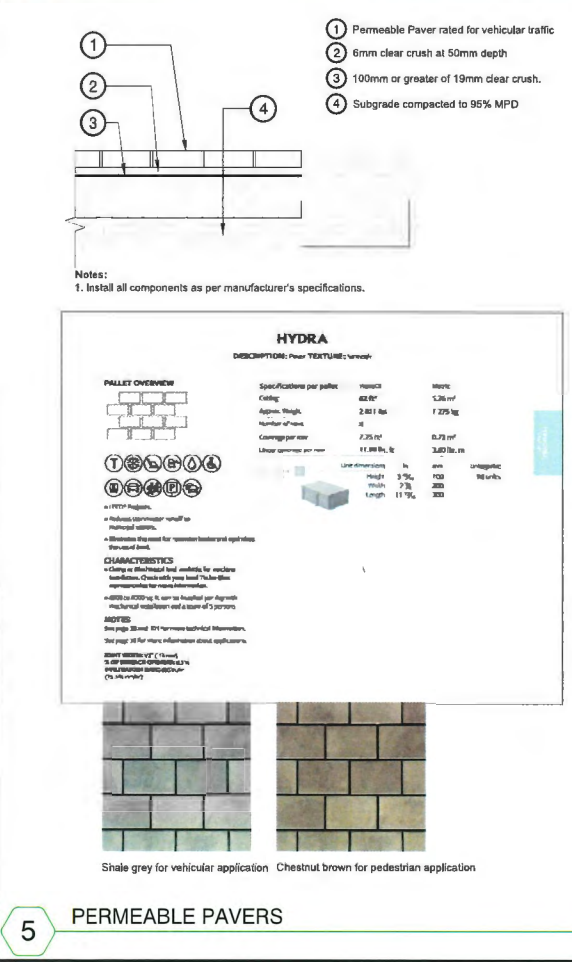
- 1 Prune plant to remove dead or broken branches
- 2 Decomposed Bark Mulch - 75mm min.
- 3 450mm deep Gently Compacted Topsoil Mixture to Canadian Landscape Standard: 1P "Well Groomed" soil
- 4 Compacted Sub Base
- 5 Compacted soil imported pedestal

3 SHRUB PLANTING



- 1 Building wall. Refer to Architect's detail
- 2 Protection board & membrane. Refer to Architect's detail
- 3 200 x 50 pressure treated timbers, fixed in place with 400 x 50 pressure treated stakes every 1000mm
- 4 Topsoil and mulch (as per specification)
- 5 Prepared Subsoil (free draining)
- 6 25mm round river rock
- 7 20mm (3/4") clear crushed gravel, compact to 95% M.P.D.
- 8 Landscape fabric

4 DRIP STRIP ADJACENT GARDEN BED



- 1 Permeable Paver rated for vehicular traffic
- 2 6mm clear crush at 50mm depth
- 3 100mm or greater of 19mm clear crush.
- 4 Subgrade compacted to 95% MPD

HYDRA
 DESCRIPTION: Paver TEXTURE: Smooth

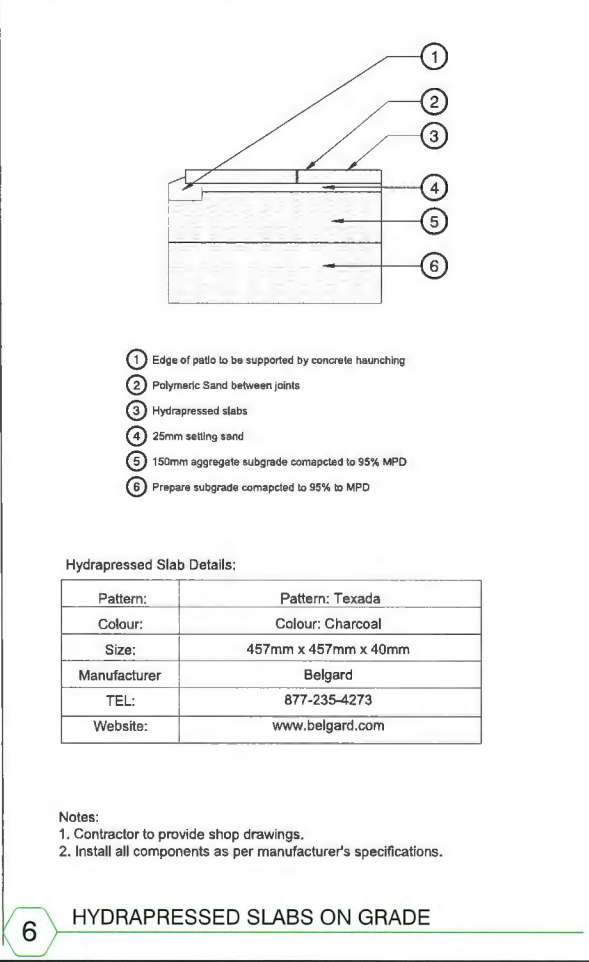
Specifications per pallet	metric	imperial
Coding	63.6m ²	1.36 m ²
Approx. Weight	2,561 kg	7,275 lb
Number of Pavers	6	6
Coverage per area	7.25 m ²	0.77 m ²
Linear spacing per row	11,880 mm	3,898 in.

DIAMETER CHARACTERISTICS
 • Coding as shown on the label indicates the maximum diameter of the paver. The actual diameter may vary slightly from the maximum diameter.
 • All diameters are to be measured to the maximum diameter of the paver.
 • All diameters are to be measured to the maximum diameter of the paver.

NOTES
 • See page 20 of the HYDRA technical data sheet for more information.
 • See page 21 of the HYDRA technical data sheet for more information.

Shale grey for vehicular application Chestnut brown for pedestrian application

5 PERMEABLE PAVERS



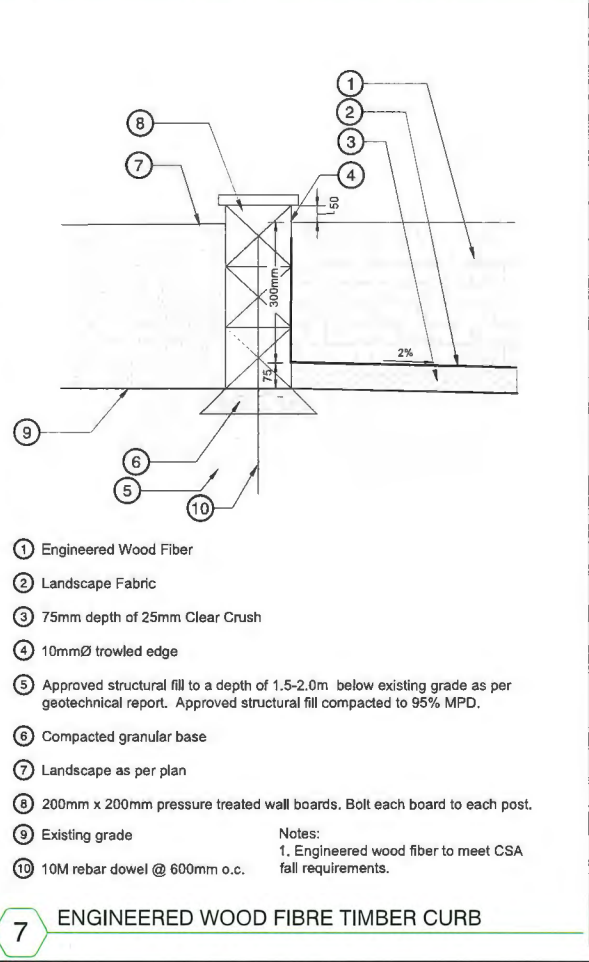
- 1 Edge of patio to be supported by concrete haunching
- 2 Polymeric Sand between joints
- 3 Hydrapressed slabs
- 4 25mm setting sand
- 5 150mm aggregate subgrade compacted to 95% MPD
- 6 Prepare subgrade compacted to 95% to MPD

Hydrapressed Slab Details:

Pattern:	Pattern: Texada
Colour:	Colour: Charcoal
Size:	457mm x 457mm x 40mm
Manufacturer:	Belgard
TEL:	877-235-4273
Website:	www.belgard.com

- Notes:**
1. Contractor to provide shop drawings.
 2. Install all components as per manufacturer's specifications.

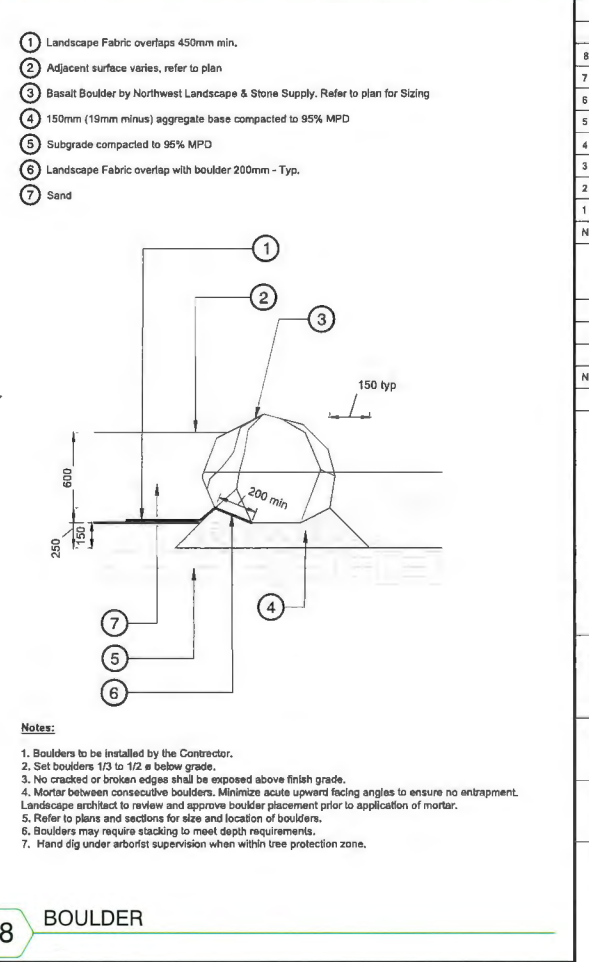
6 HYDRAPRESSED SLABS ON GRADE



- 1 Engineered Wood Fibre
- 2 Landscape Fabric
- 3 75mm depth of 25mm Clear Crush
- 4 10mmØ trowled edge
- 5 Approved structural fill to a depth of 1.5-2.0m below existing grade as per geotechnical report. Approved structural fill compacted to 95% MPD.
- 6 Compacted granular base
- 7 Landscape as per plan
- 8 200mm x 200mm pressure treated wall boards, Bolt each board to each post.
- 9 Existing grade
- 10 10M rebar dowel @ 600mm o.c.

- Notes:**
1. Engineered wood fibre to meet CSA fall requirements.

7 ENGINEERED WOOD FIBRE TIMBER CURB



- 1 Landscape Fabric overlaps 450mm min.
- 2 Adjacent surface varies, refer to plan
- 3 Basalt Boulder by Northwest Landscape & Stone Supply. Refer to plan for Sizing
- 4 150mm (19mm minus) aggregate base compacted to 95% MPD
- 5 Subgrade compacted to 95% MPD
- 6 Landscape Fabric overlap with boulder 200mm - Typ.
- 7 Sand

- Notes:**
1. Boulders to be installed by the Contractor.
 2. Set boulders 1/3 to 1/2 a below grade.
 3. No cracked or broken edges shall be exposed above finish grade.
 4. Mortar between consecutive boulders. Minimize acute upward facing angles to ensure no entrapment. Landscape architect to review and approve boulder placement prior to application of mortar.
 5. Refer to plans and sections for size and location of boulders.
 6. Boulders may require stacking to meet depth requirements.
 7. Hand dig under arborist supervision when within tree protection zone.

8 BOULDER

REVISIONS TABLE FOR DRAWINGS

No.	By:	Description	Date
8	DY	Issued for Rezoning/DP	2024-10-18
7	DY	Issued for Rezoning/DP	2024-08-12
6	DY	Issued for Rezoning/DP	2024-07-30
5	DY	Issued for Rezoning/DP	2024-05-21
4	DY	Issued for DP	2024-05-23
3	DY	Issued for Rezoning/DP	2023-11-20
2	DY	Issued for Rezoning/DP	2022-08-30
1	DY	Issued for Review	2022-07-27

REVISIONS TABLE FOR SHEET

No.	By:	Description	Date

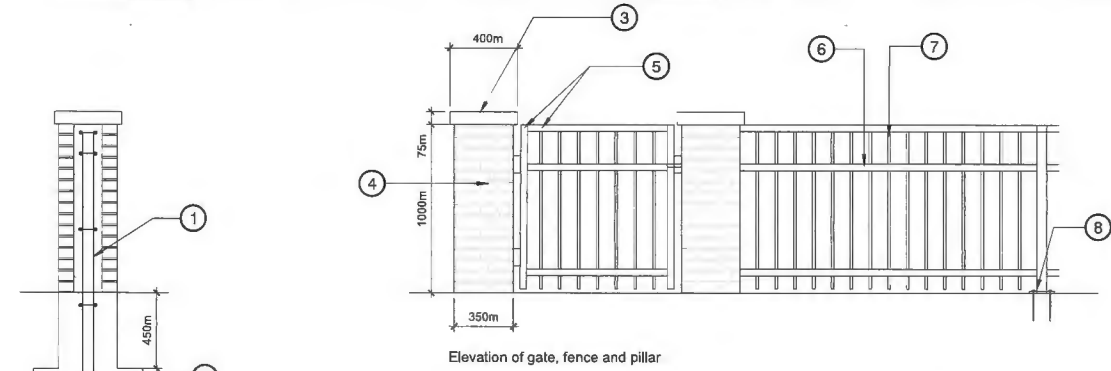
Project:
 FERDALE IV

Location:
 9331 Ferndale Road
 Richmond, B.C.

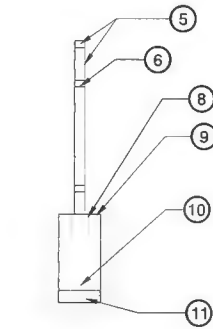
Drawn: DY	Stamp:
Checked: TM	
Approved: TM	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO DRAWINGS MUST BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title: **DETAILS**
 Drawing #: **DP2022-29**
 Drawing #: **LD-01**

DP 22-023115
October 23, 2024
Plan #20



Section of brick pillar

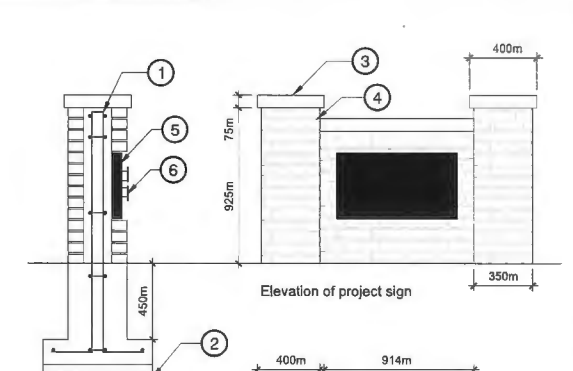


- ① 10M rebar reinforcement 50mm from top 50mm from side Vertical @ 450mm O.C. Horizontal @ 450mm O.C.
- ② 150mm Gravel Subbase 19mm minus @ 95% MPD
- ③ Precast cap 400 x 400 x 75mm
- ④ Brick Pillar 350 c 350 x 1000mm, brick as per architecture
- ⑤ 60mm x 60mm square post, typ.
- ⑥ 38 x 75mm galvanized steel rail, typ.
- ⑦ 20mm square galvanized steel picket, typ.
- ⑧ 150mm x 150mm x 10mm base plate welded to bottom of post
- ⑨ 12"Ø Concrete Footing to Extend 18" Below Grade
- ⑩ Concrete collar. Do not encase bottom of post. At least 1" (25mm) exposed below concrete footing
- ⑪ 150mm Gravel Subbase 19mm minus @ 95% MPD

Notes:
 1. Ensure all fasteners exposed to weather are hot-dipped galvanized to prevent staining.
 2. Apply Sikken's Cetol SRD to all Cedar elements. Colour: White, refer to building wall.
 3. Brick type refer to Arch.
 4. All hardware to be hot dip galvanized.
 5. Fence to receive a matt black rough finish.



1 POST AND PICKET FENCE



Section of brick pillar

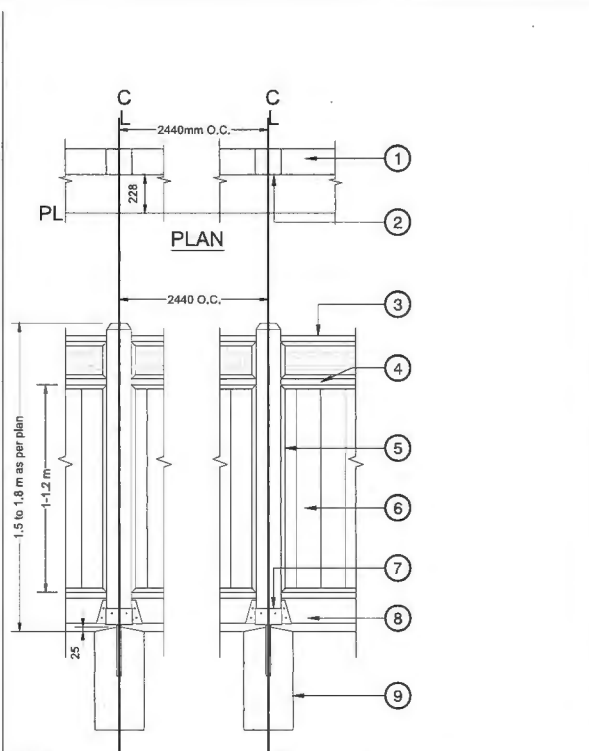
Plan view of project sign

- ① 10M rebar reinforcement 50mm from top 50mm from side Vertical @ 450mm O.C. Horizontal @ 450mm O.C.
- ② 150mm Gravel Subbase 19mm minus @ 95% MPD
- ③ Precast cap 400 x 400 x 75mm
- ④ Brick Pillar 350 c 350 x 1000mm, brick as per architecture
- ⑤ Concrete sign backing
- ⑥ 200mm ht. x 6mm thick pin mounted aluminum letters. See notes for additional information.

Notes:
 1. Ensure all fasteners exposed to weather are hot-dipped galvanized to prevent staining.
 2. Apply Sikken's Cetol SRD to all Cedar elements. Colour: White, refer to building wall.
 3. Brick type refer to Arch.
 4. All hardware to be hot dip galvanized.
 5. Fence to receive a matt black rough finish.

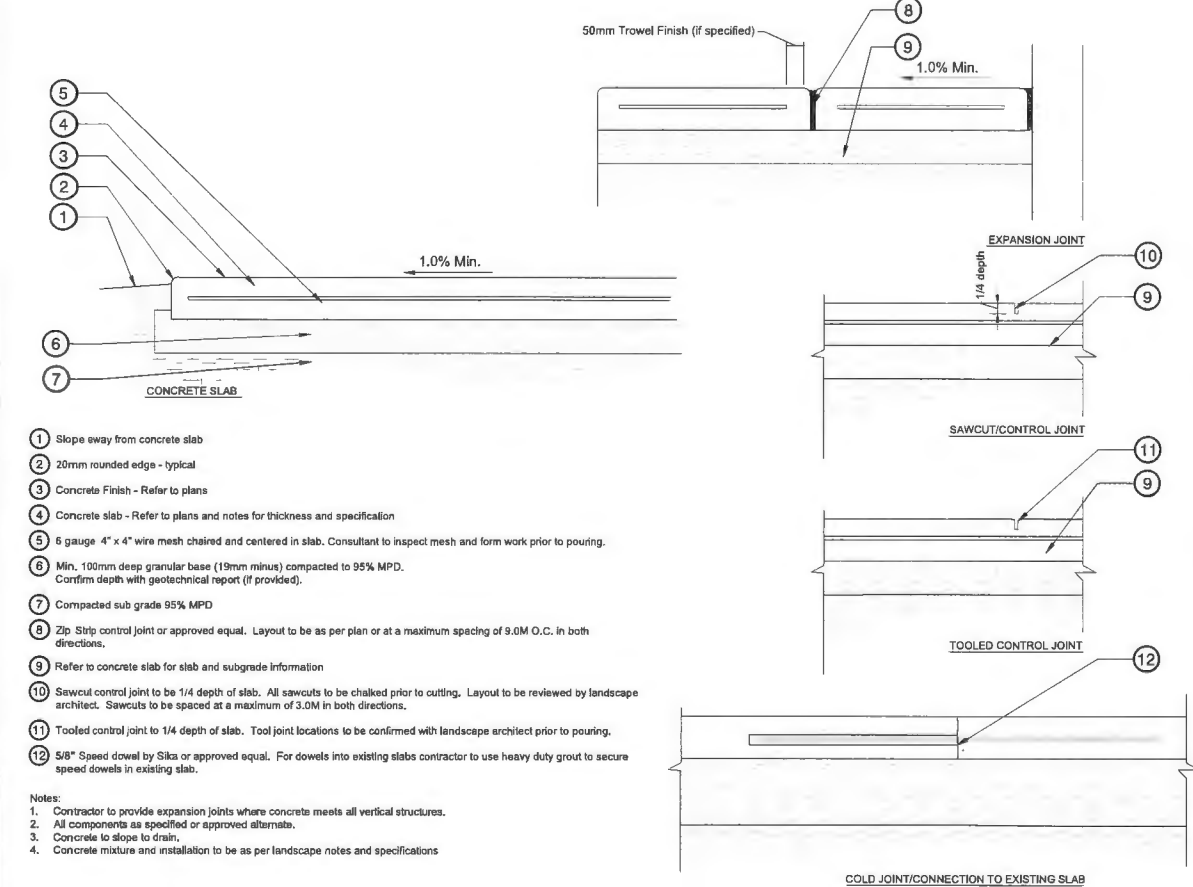


2 PROJECT SIGN



- ① 38x140mm Cedar cap
- ② 140x140mm Cedar post with 4 sided 45° beveled top treatment to prevent and grain rot
- ③ 38x140mm Cedar cap, 38x35mm Cedar cant strips to hold lattice in place
- ④ 38x140mm Cedar top rail, 38x35mm Cedar cant strips to hold lattice and T&G in place
- ⑤ 38x38mm Cedar cant strips to hold T&G boards in place
- ⑥ 19X140mm T&G Cedar toe-nailed in place behind cant strips
- ⑦ 150x150mm post saddle anchored in concrete footing
- ⑧ 38x140mm pressure treated bottom rail centred on posts and held by joist hangers.
- ⑨ 300mmØ concrete footing to extend 450mm below grade

3 WOODEN SCREEN FENCE



- ① Slope away from concrete slab
- ② 20mm rounded edge - typical
- ③ Concrete Finish - Refer to plans
- ④ Concrete slab - Refer to plans and notes for thickness and specification
- ⑤ 6 gauge 4" x 4" wire mesh chained and centered in slab. Consultant to inspect mesh and form work prior to pouring.
- ⑥ Min. 100mm deep granular base (19mm minus) compacted to 95% MPD. Confirm depth with geotechnical report (if provided).
- ⑦ Compacted sub grade 95% MPD
- ⑧ Zip Strip control joint or approved equal. Layout to be as per plan or at a maximum spacing of 9.0M O.C. in both directions.
- ⑨ Refer to concrete slab for slab and subgrade information
- ⑩ Sawcut control joint to be 1/4 depth of slab. All sawcuts to be chiselled prior to cutting. Layout to be reviewed by landscape architect. Sawcuts to be spaced at a maximum of 3.0M in both directions.
- ⑪ Tooled control joint to 1/4 depth of slab. Tool joint locations to be confirmed with landscape architect prior to pouring.
- ⑫ 5/8" Speed dowel by Sika or approved equal. For dowels in existing slabs contractor to use heavy duty grout to secure speed dowels in existing slab.

Notes:
 1. Contractor to provide expansion joints where concrete meets all vertical structures.
 2. All components as specified or approved alternates.
 3. Concrete to slope to drain.
 4. Concrete mixture and installation to be as per landscape notes and specifications

4 CONCRETE SLAB - WIRE MESH

PARKER BENCH
 Model Number: PKB-5, PKB-6 (Standard Assembly), PKB-4, PKB-3 (2024 New Assembly)

DESIGNER NOTES
 The Parker Bench is a versatile and attractive bench which appeals to every demographic. It also satisfies a need to match the curves and flow found in modern day play parks. Incorporated into the design are a lower backrest for comfort and ample space for a dedication plaque. In keeping with our goal of manufacturing products that last a long time, this bench is low maintenance and high durability. The natural flow of the armrests ties in with the leg assembly making this bench both extremely strong and aesthetically pleasing. Available with or without armrests. The "Parker" was a natural name for this bench given that most of the installations are in parks.

AVAILABLE RECYCLED PLASTIC LUMBER COLOURS
 Black, Grey, Redwood, Sand, Walnut

100% Canadian Made

Wishbone site furnishings

PRODUCT SPECIFICATIONS
 Products Re-Plant Advantage™ Recycled Plastic Slats
 10 YEAR LIMITED WARRANTY
 Durable Powder Coated Aluminum Frame
 Standard Colours: Brown Slate, Nickel Ridge II, Nordic Lichen, Timber Rust, Grey Gold, Northern Sparrow, Pristine Sand, Gravelly Rust, Black, Renewed Earth, Oak, Redwood, Modern Walnut
 Long Lasting Stainless Steel Hardware

CUSTOMIZED SOLUTIONS
 Custom Powder Coating (Setup Charges May Apply)
 Gating Program (Custom Insert, Bespoke Plaques)
 LED Lighting (built into the seat, with dual arms (PKBMA-6))
 Center arm
 4 R and 5 R Lengths
 Slate blocks
 Stainless steel bolt down kit

PRODUCT DIMENSIONS
 Total Height: 32 inches / 813mm
 Seat Height: 18 inches / 457mm
 Seat Depth: 14 inches / 356mm
 Total Length: 6 feet / 183cm
 Weight: 115 lbs / 52kg

RECYCLED CONTENT
 78% RECYCLED CONTENT BY WEIGHT
 100% RECYCLABLE

Wishbone Site Furnishings | #210-2700 Gloucester Way | Langley, BC CANADA V4W 3Y5
 1.866.626.0776 sales@wishbonefurniture.com

Bench: 1.5m length
 Name: Parker Bench
 Model: PKB-5
 Color: Sand
 Manufacturer: Wishbone

6 BENCH BY WISHBONE



BIKE RACK
 Name: Bike Rack
 Material: Stainless Steel
 Product: R-8330-S3
 Supplier: Reliance Foundry
 Mount: Surface
 Note: Distance between bike rack as per manufacturer's specifications

7 BIKE RACK RELIANCE FOUNDRY

No.	By	Description	Date
8	DY	Issued for Rezoning/DP	2024-10-18
7	DY	Issued for Rezoning/DP	2024-08-12
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1	DY	Issued for Review	2022-07-27

REVISIONS TABLE FOR DRAWINGS

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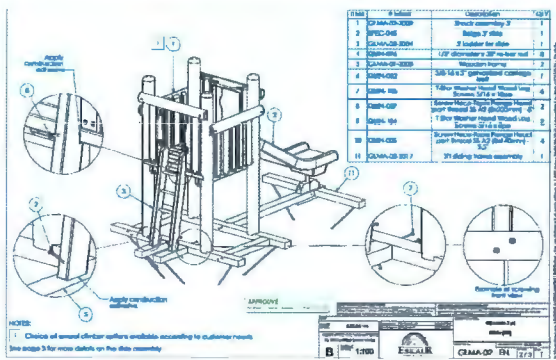
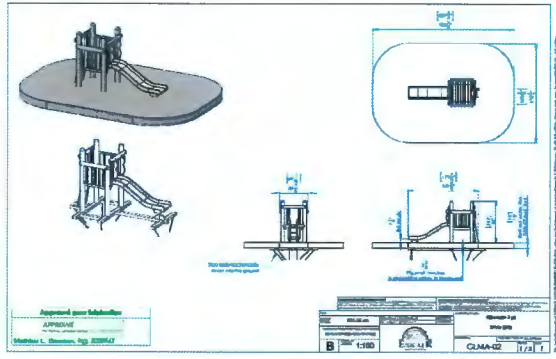
No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project: FERDALE IV

Location: 9331 Ferndale Road Richmond, B.C.

Drawn: DY	Stamp:
Checked: TM	
Approved: TM	Original Sheet Size: 24"x36"

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SLIDE AND CABIN Supplier: WestPlay Manufacturer: Eskair Contact: Deysi Garcia T. (604) 424-4168 Email: deysi@westplay.ca

Note:
All Children's playground equipment and surfacing to be installed to meet CSA requirements.

1 SLIDE AND CABIN GLMA-02

Round table PRODUCT CODE: MDTA-02

Features: Age group: 5+ years, Capacity: 8, Table diameter: 200, Seat height: 38, 36.

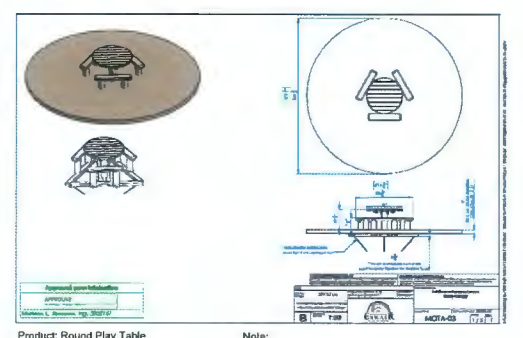
Game values: Location: None, Use: Free and structured play.

Description: A massive custom cedar table built with 2" x 6" planks. The table is attractive, used and very durable! It includes 8 leg seats installed around the table, which is 20" high.

Notes: Accessible for those with reduced mobility: includes 5 leg seats and a low space for a wheelchair. Product Code: MDTA-04. * Joiner slot: table height: 25" - Product code: MDTA-05.

Top view: Above-ground equipment Diameter: 200, 14, 30x6.

Tables being installed, please the addition of metal mesh.



Product: Round Play Table Manufacturer: Eskair Supplier: Habitat Systems c. info@habitat-systems.com p. 1.866.422.4828 Or approved equal

Note:
All Children's playground equipment and surfacing to be installed to meet CSA requirements.

2 ROUND TABLE

Teepee cabin PRODUCT CODE: CRMA-03

Features: Age group: 35 months to 5 years, Capacity: 4 children.

Description: This small cottage is ideal for small groups. It contains a small bench/seat as well as a seat with cushion - ideal for reading or quiet play. It is constructed and ready to install in cedar, pine, oak, grass or even stone.

Notes: To be installed as per CSA requirements.

Product: Elevated Sand Table Model No: CRUC-03

Manufacturer: Eskair Supplier: Westplay L (604) 424-4168 Deysi Garcia Email: deysi@westplay.ca

Or approved equal

Note:
All Children's playground equipment and surfacing to be installed to meet CSA requirements.

PLAYHOUSE Supplier: WestPlay Manufacturer: Eskair Contact: Deysi Garcia Colour: Post and Accent - Deep Ocean Blue, Horizontal Boards - Benjamin Moore AF-685 Thunder T. (604) 424-4168 Email: deysi@westplay.ca

3 ESKAIR CRMA-03 PLAYHOUSE

Mudkitchen PRODUCT CODE: CRUC-03

Features: Age group: 35 months - 5 years, Capacity: 4 children, Children's favorite.

Game values: Creativity, Sensory play, Imaginative play.

Description: Highly demanded by daycare centers and camps, here is the ESKAIR mudkitchen, giving free rein to the child's imagination. It can be used 4 seasons. Stainless steel bowls collect water or other seasonal material. The large counter space is perfect for our budding cooks and clean up easily with a little water.

Surface required: 140" x 120"

Above ground equipment: L: 24" W: 22in. H: 22in.

Representation on the Mudkitchen area: See technical annotations.

Product: Elevated Sand Table Model No: CRUC-03

Manufacturer: Eskair Supplier: Westplay L (604) 424-4168 Deysi Garcia Email: deysi@westplay.ca

Or approved equal

Note:
All Children's playground equipment and surfacing to be installed to meet CSA requirements.

4 SAND TABLE BY ESKAIR

DP 22-023115
October 23, 2024
Plan #21

No.	By	Description	Date
8	DY	Issued for Rezoning/DP	2024-10-18
7	DY	Issued for Rezoning/DP	2024-08-12
6	DY	Issued for Rezoning/DP	2024-07-30
5	DY	Issued for Rezoning/DP	2024-06-21
4	DY	Issued for DP	2024-05-23
3	DY	Issued for Rezoning/DP	2023-11-20
2	DY	Issued for Rezoning/DP	2022-08-30
1	DY	Issued for Review	2022-07-27

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date

Project: FERDALE IV

Location: 9331 Ferndale Road Richmond, B.C.

Drawn: DY
Checked: TM
Approved: TM
Scale: AS SHOWN

Stamp: [Blank]

Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS MUST BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title: DETAILS
VDZ Project #: DP2022-29
LD-03

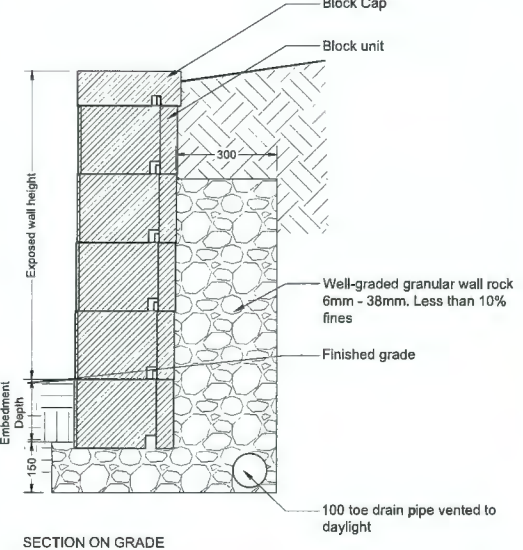


Sandbox

5 SANDBOX

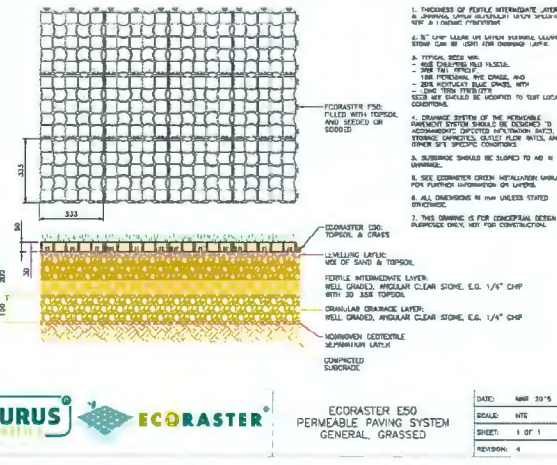


6 MAILBOX SHELTER



NOTE:
1. See architectural and structural for block wall attachment to structure.
2. All walls over 1.2m in height will need to be Structurally Engineered.
3. Colour: Ebony

7 BLOCK WALL

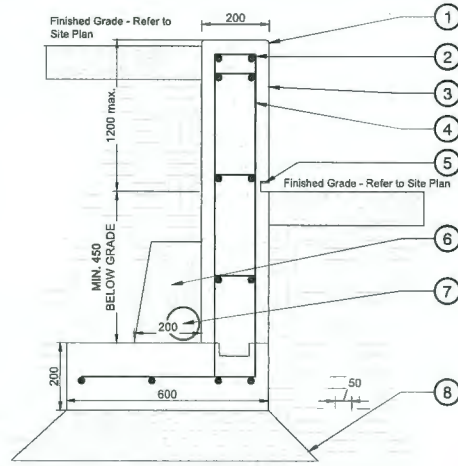


ECORASTER E50 PERMEABLE PAVING SYSTEM GENERAL GRASSED

DATE: MAR 20'15
SCALE: NTC
SHEET: 1 OF 1
REVISION: 4

8 GRASS GRID

Z:\PROJECTS\DEVELOPMENT PERMITS\DP2022-29\9331 FERDALE ROAD\6. DIVISIONS\DETAILS\LD-03



- 1 R10mm fillet (TYP)
 - 2 2-15M @ top, cont.
 - 3 Concrete wall sandblast finish
 - 4 15M rebar reinforcement 50mm from top 50mm from side Vertical @ 450mm O.C Horizontal @ 450mm O.C
 - 5 25mm reveal with LED light strip
 - 6 Greenh Drain, use of clean 19mm minus rock
 - 7 perforated PVC pipe 100mm
 - 8 150mm granular base (19mm minus) compacted to 95% MPD
- Notes:
1. Vertical Control Joints Every 3000mm on center.
 2. Wall heights vary. Refer to Grading Plan.
 3. Perforated pipe to drain to daylight or to tie into storm system.
 4. Ensure 50mm concrete cover over all rebar.
 5. Walls over 1200mm in height to be structurally engineered.

1 CONCRETE L-SHAPE RETAINING WALL

Specification Sheet

Lumenblade Bollard BLD8

Project Name _____ City _____
Type _____ Catalog / Part Number _____

Distributions

Distribution	Description
Type 1	Single-headed, dual-headed, or double-headed bollard.
Type 2	Double-headed bollard.
Type 3	Double-headed bollard with motion detector.
Type 4	Double-headed bollard with motion detector and color temperature control.

Features

- Single-headed, dual-headed, or double-headed bollard.
- 3.1m (10' 2") height.
- Type 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

Colour and Colour Temperature

Colour: Amber, 2700K, 3000K, 3500K, 4000K, 4500K, 5000K, 5500K, 6000K, 6500K, 7000K, 7500K, 8000K, 8500K, 9000K, 9500K, 10000K.

Control

ON/OFF 0-10V LT

Supplier: CDM2 Lighting
Supplier contact: Krista Bruce <kbruce@cdm2lightworks.com> M 604.329.6925
Manufacturer: Lumenpulse
Model name: Lumenblade Bollard BLD8
Mount: Surface

2 BOLLARD

Specification Sheet

Lumenblade Small Wall Mount BLD5 WH1

Project Name _____ City _____
Type _____ Catalog / Part Number _____

Distributions

Distribution	Description
Type 1	Single-headed, dual-headed, or double-headed bollard.
Type 2	Double-headed bollard.
Type 3	Double-headed bollard with motion detector.
Type 4	Double-headed bollard with motion detector and color temperature control.

Features

- Single-headed, dual-headed, or double-headed bollard.
- 3.1m (10' 2") height.
- Type 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

Colour and Colour Temperature

Colour: Amber, 2700K, 3000K, 3500K, 4000K, 4500K, 5000K, 5500K, 6000K, 6500K, 7000K, 7500K, 8000K, 8500K, 9000K, 9500K, 10000K.

Control

ON/OFF 0-10V LT

Supplier: CDM2 Lighting
Supplier contact: Krista Bruce <kbruce@cdm2lightworks.com> M 604.329.6925
Manufacturer: Lumenpulse
Model name: Lumenblade Small Wall Mount BLD5 WH1
Mount: Surface

3 WALL LIGHT

DP 22-023115
October 23, 2024
Plan #22

REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
8	DY	Issued for Rezoning/DP	2024-10-18
7	DY	Issued for Rezoning/DP	2024-08-12
6	DY	Issued for Rezoning/DP	2024-07-30
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3	DY	Issued for Rezoning/DP	2023-11-20
2	DY	Issued for Rezoning/DP	2022-08-30
1	DY	Issued for Review	2022-07-27

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:
FERDALE IV

Location:
9331 Ferndale Road
Richmond, B.C.

Drawn: DY
Checked: TM
Approved: TM

Stamp:

Original Sheet Size:
24"x36"

Scale:
AS SHOWN

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Drawing Title: **DETAILS**

VDZ Project #: **DP2022-29**

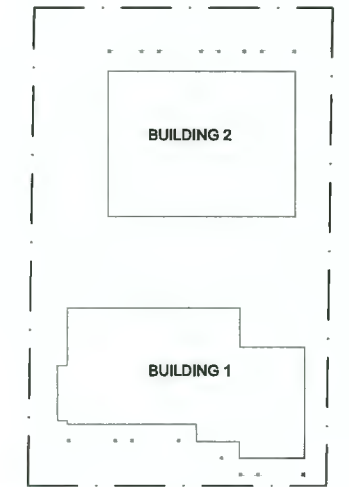
Drawing #: **LD-04**



VIEW 1



VIEW 2



**DP 22-023115
October 23, 2024
Reference Plans**

PERSPECTIVES

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FERNDALE IV
9331 Ferndale Road
for
Western Construction

DP RESUBMISSION
OCTOBER 16, 2024



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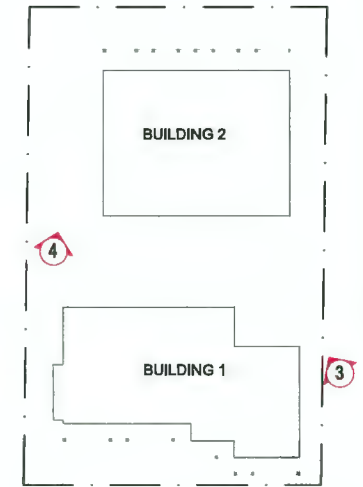
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VIEW 3



VIEW 4



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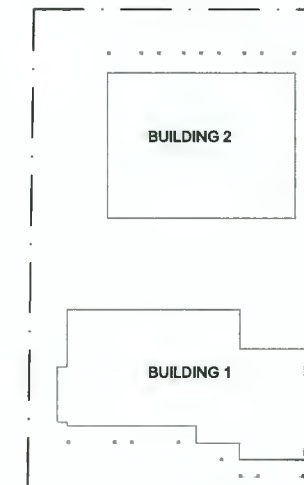
VIEW 5



VIEW 6

6

5



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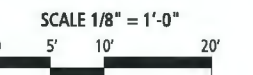
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FIRE FIGHTING PLAN



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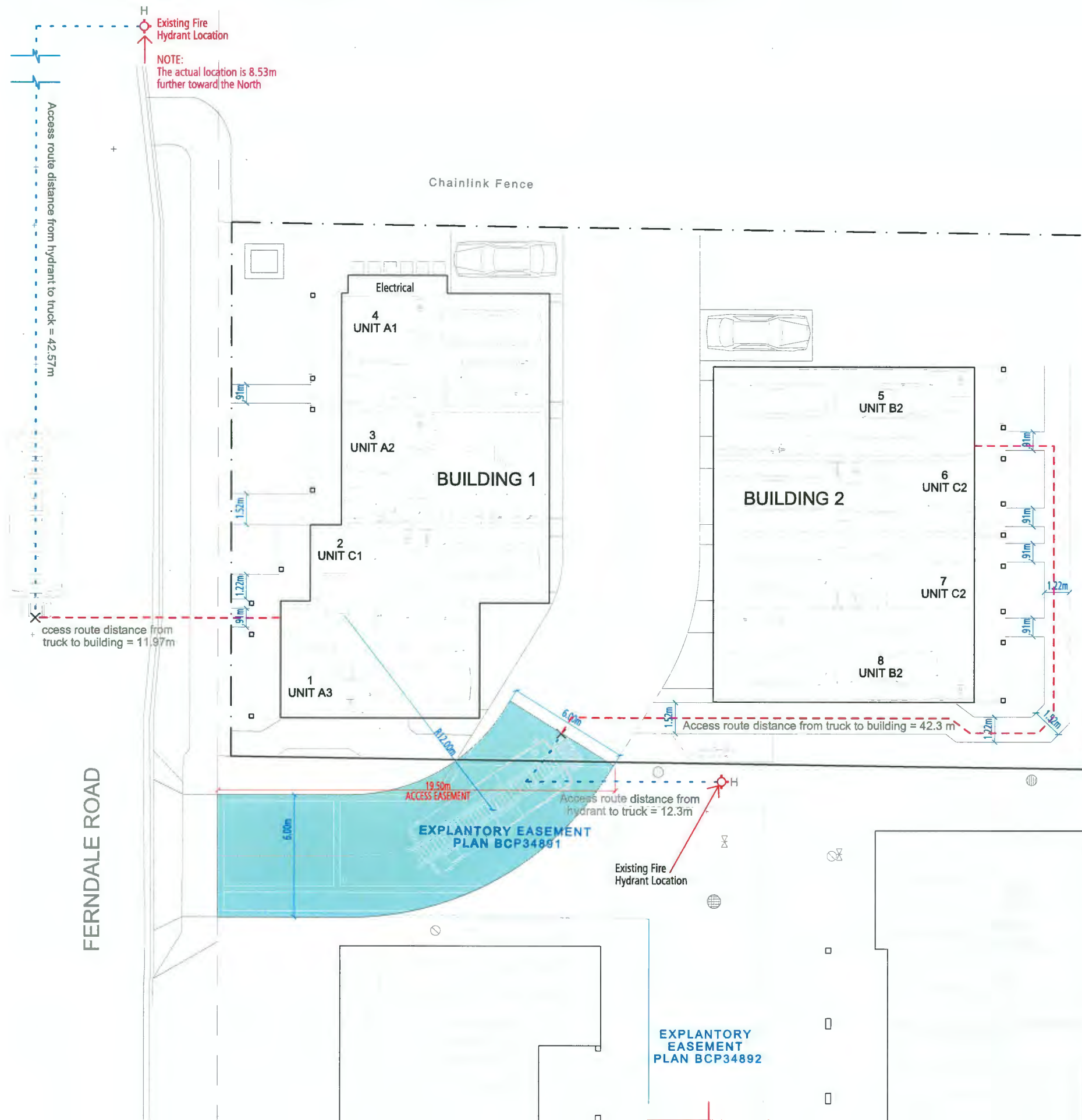
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NOTE:
 The actual location is 8.53m
 further toward the North

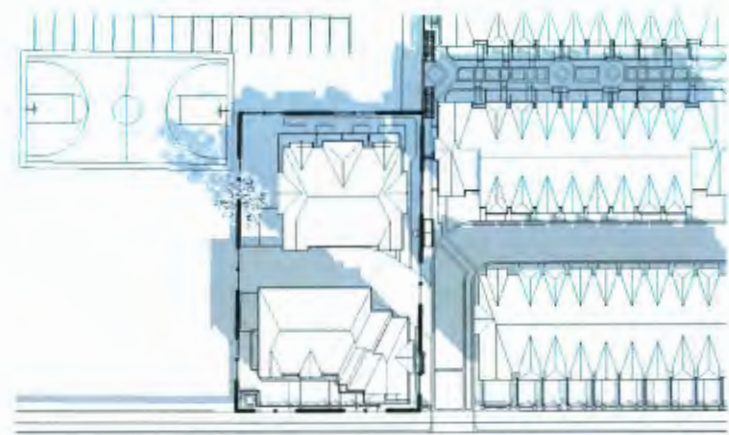
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Access route distance from truck to building = 11.97m

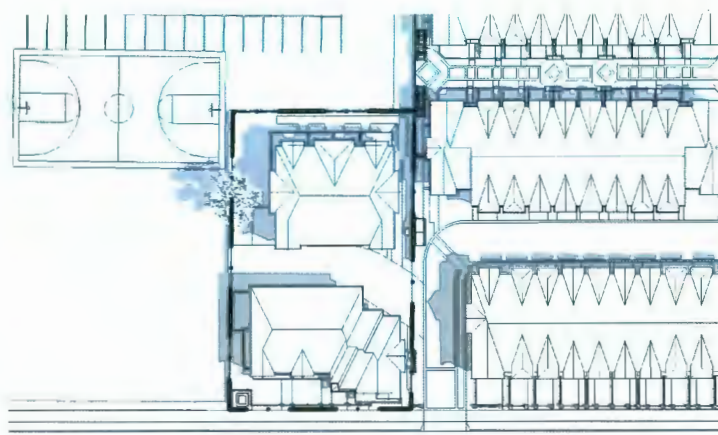
Access route distance from truck to building = 42.3 m

Access route distance from hydrant to truck = 12.3m

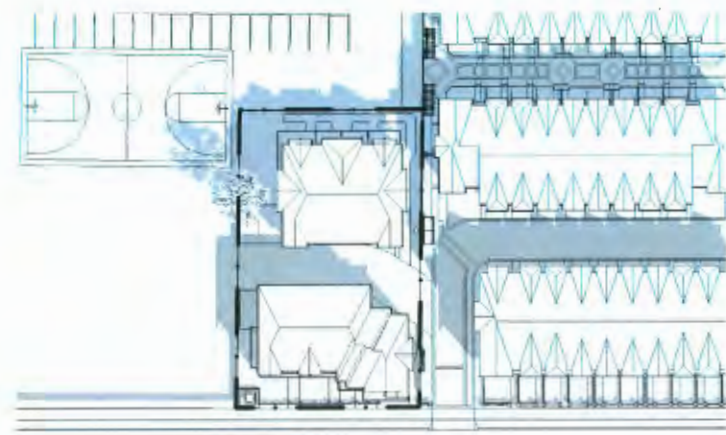
EXPLANTORY EASEMENT PLAN BCP34892



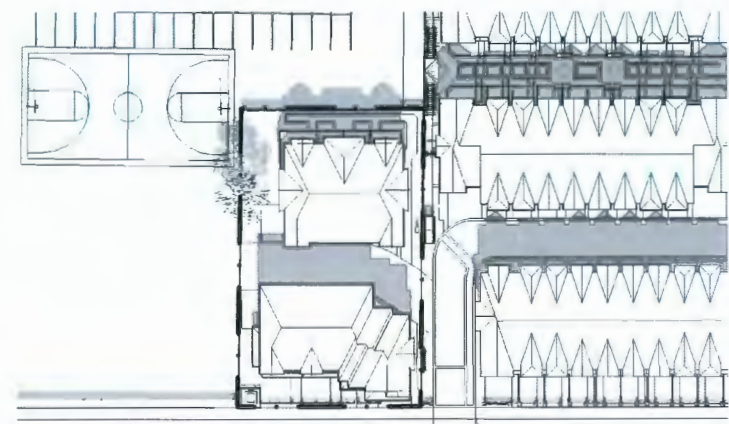
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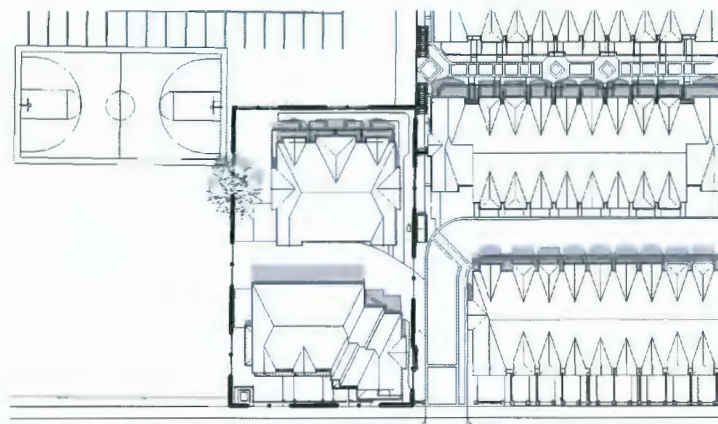
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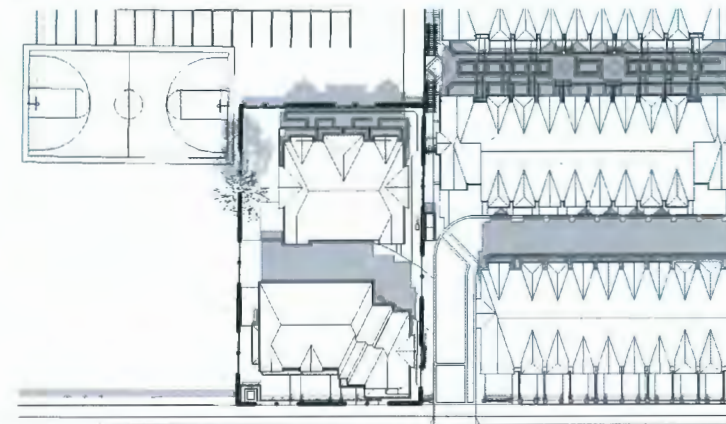
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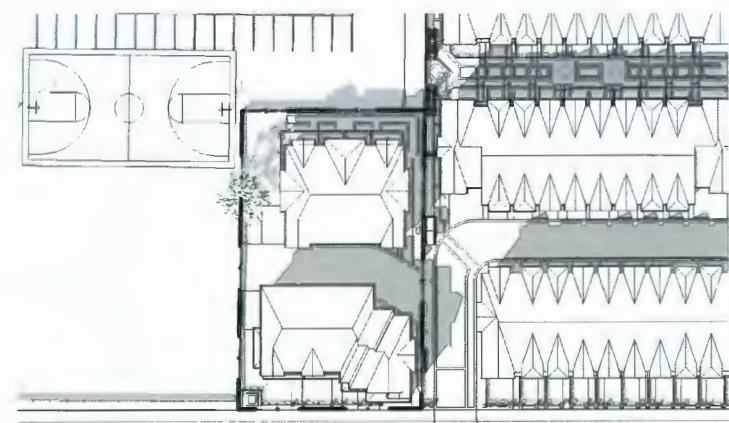
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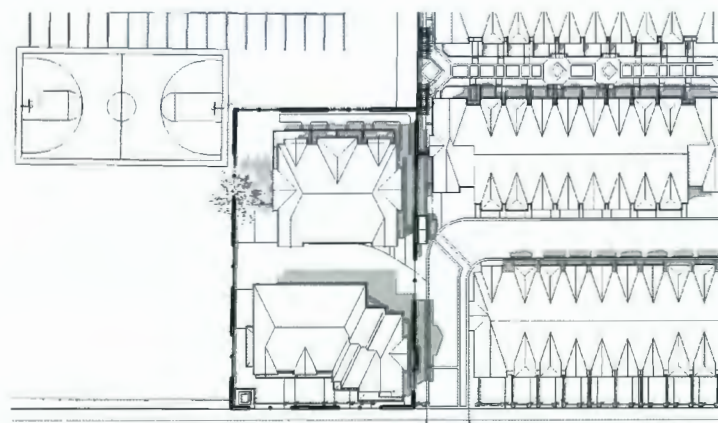
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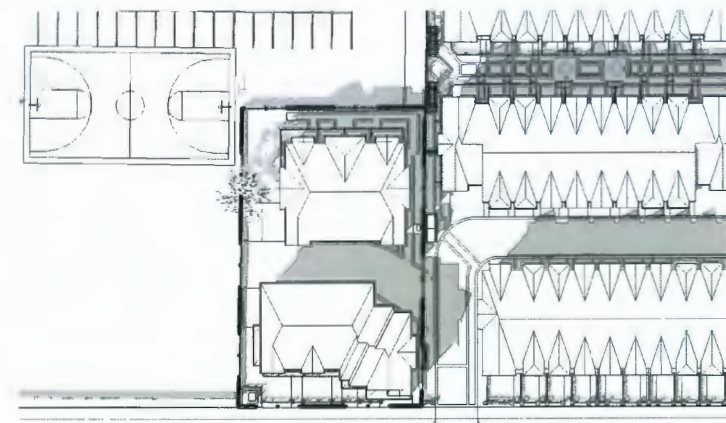
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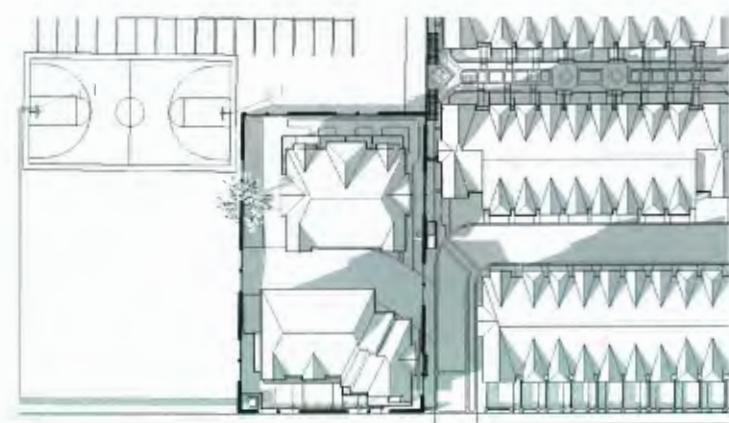
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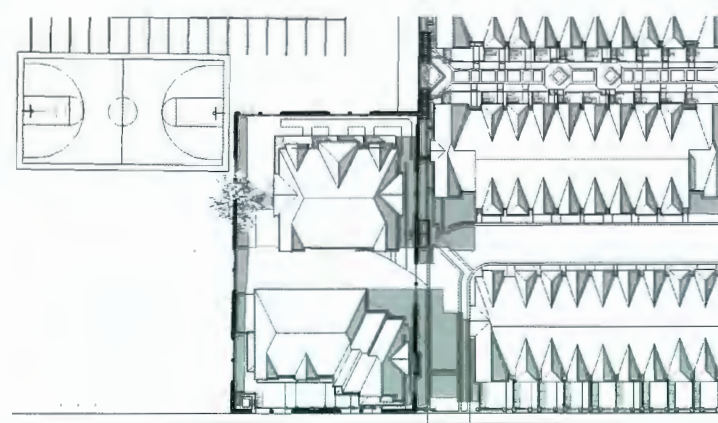
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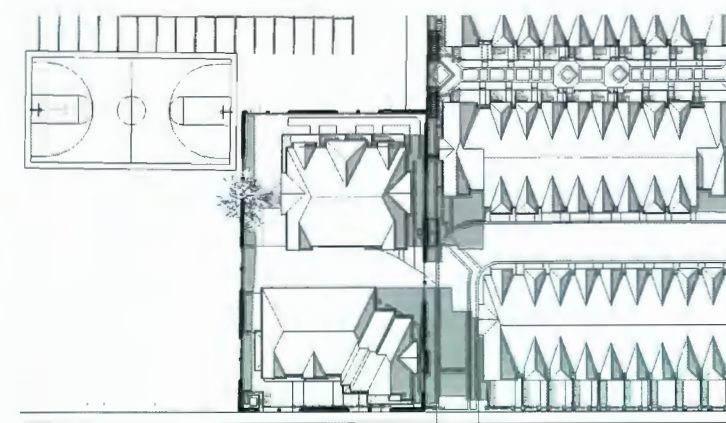
SEPTEMBER 21 - 2 P.M.



MARCH 21 - 4 P.M.



JUNE 21 - 4 P.M.



SEPTEMBER 21 - 4 P.M.

DP 22-023115 October 23, 2024 Reference Plans



SHADOW STUDY

SCALE 1/8" = 1'-0"



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