



City of  
Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** October 24, 2024

**From:** Joshua Reis  
Director, Development

**File:** DP 22-013200

**Re:** **Application by Oval 1 Holdings Ltd. for a General Compliance Ruling at  
6011 River Road**

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### Staff Recommendation

That the attached plans involving changes to the building elevations to incorporate additional balconies, wall system and cladding changes, landscape design as well as changes to parking, and bicycle facilities, be considered to be in General Compliance with the approved Development Permit (DP 22-013200).

Joshua Reis, MCIP, RPP, AICP  
Director, Development  
(604-247-4625)

JR:ac  
Att. 3

## Staff Report

### Origin

Oval 1 Holdings Ltd. has requested a General Compliance ruling regarding changes to the approved Development Permit (DP 22-013200) for a 30,723 m<sup>2</sup> (330,700 ft<sup>2</sup>) residential development at 6011 River Road on a site zoned “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)” (Attachment 1). The project includes three 13-storey residential towers. The Development Permit was endorsed by the Development Permit Panel on November 16, 2023, and was issued by Council on April 22, 2024.

This application proposes modifications to the approved Development Permit including additional balconies, adjustments to the wall system and cladding, and changes to on-site landscaping, private on-site interior and outdoor amenity space areas and parking and bicycle facilities. Attachment 2 offers a side-by-side comparison of the more significant changes between the approved and proposed modifications discussed in this report.

### Background

Existing development surrounding the subject site includes the following:

- To the North: Across the curving River Road diversion, the City dike with public walkway fronting the Moray Channel of the Fraser River.
- To the South: Across River Road, is an existing industrial business park development on lands zoned “Industrial Business Park (IB1)” designated for mixed use low-rise limited commercial & high-density townhouses (General Urban (T4)) in the City Centre Area Plan (CCAP). The site is the subject of a rezoning application for a mixed use development currently under staff review (RZ 22-026618).
- To the East: Across the River Road diversion is the first phase of the River Green development, a high-rise apartment development also zoned “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)”.
- To the West: Across No. 2 Road on the west side of the No. 2 Road Bridge approach, are two vacant lots zoned “High Rise Apartment and Congregate Housing (ZHR3) – Dover Crossing” designated in the Dover Crossing Sub-Area Plan for “Gateway” High-Density Apartments and Affordable Housing. The northern lot is subject to a Development Permit application (DP 22-022039) under staff review for high-rise residential development. A Development Permit (DP 19-866690) was issued in July 2023 for the southern lot to permit a six-storey residential building in partnership with BC Housing and a non-profit housing provider.

### Staff Comments

The proposed changes to the approved Development Permit for the site address some recent design changes requested by the developer. Staff have reviewed the proposed changes and determined they are in general compliance with the original approved Development Permit. The modifications in the proposal (Attachment 3) comply with the intent of applicable design guidelines in the Official Community Plan and the City Centre Area Plan, and with the “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)” zone.

## **Analysis**

### ***A. Changes to Building Facades***

#### ***Additional Balconies on Towers A, B & C***

- The applicant is proposing additional projecting balconies on towers A, B and C in order to enhance the outdoor living spaces available to residents of the building.
- The changes are proposed to select corners of each tower of the proposed development and increase the amount of private outdoor space available.
- The approved Development Permit included the use of offsetting double-height balconies in separated vertical bays. While the applicant's proposal to add more balconies continues to support the gateway expression of the site.

Other changes to balconies proposed by the applicant include:

- Changing balcony fascia cladding from finished metal to glass frit in sandstone colour to better align the overall colour scheme.
- Changing the railings on select balconies from side mount to top mount on Towers A, B & C.
- Replacing portions of the metal panel roof soffit with painted concrete on Towers A, B & C.

#### ***Cladding on Tower A, B & C***

- The applicant proposes changing the cladding on a portion of the Towers A, B & C.
- High gloss metal panel cladding is proposed to replace the previously approved spandrel glass. The stronger contrasts between the glass and solid panels provide a distinct visual identity, ensuring the building stands out while maintaining a welcoming atmosphere.
- The updated design introduces subtle, darker tones and contrasting materials, offering a refined look.
- The change in material will have no impact to the thermal performance of the buildings.
- Though the material change will change the overall appearance of the building, the pre-finished gloss metal panel cladding achieves the desired colour and reflective quality that was previously approved with the spandrel glass cladding.

#### ***Wall System in Tower A Level 9 & Tower B Level 10***

- A window wall system is proposed to replace the previously approved curtain wall system on the 9th Level of Tower A and the 10th Level of Tower B.
- The proposed curtain wall system introduces darker, more contrasting cladding materials, which add depth and visual interest to the structure.
- This change enhances the building's overall presence while providing the same design intent with minimal impact to the exterior appearance of the buildings.

#### ***Retaining Wall Finishes***

- Architectural concrete is proposed to replace the previously approved low stone-clad retaining wall at-grade along a portion of Towers A, B & C, which will also be screened by plant material.

- Building entrances and the entry court will retain the previously approved stone-clad wall finish.
- Architectural concrete is finished to a higher level than standard concrete and is suitable in the public realm.
- The proposed change to the retaining wall finishing is consistent with the finish of other facades on the building.

## ***B. Changes to the Location of On-Site Amenity Areas***

### ***Level 2 Common Outdoor Amenity Area***

- The applicant is proposing changes to the outdoor amenity area located on Level 2 to enhance the overall versatility of the space for future residents.
- The applicant proposes to reduce the number of outdoor plunge pools from three to two.
- The additional space allows for the introduction of a dedicated Tai Chi deck as well as outdoor fitness equipment.
- The proposed amenity area is now proposed to contain both a sauna and a steam room, allowing for a compact hydrotherapy spa circuit.
- The proposed modifications to the Level 2 amenity area will increase the versatility and overall usability of the outdoor space.
- Other key aspects of the podium outdoor amenity space remain unchanged including the presence of ample seating, outdoor BBQ and dining areas, sunbathing areas, open lawn, bermed planting beds and edge planting.

### ***Tower A Rooftop Amenity Area***

- The applicant is proposing minor changes to the rooftop amenity area of Tower A.
- The outdoor garden surrounding the indoor amenity pavilion at Tower A Level 9 is proposed to be revised from a Zen Garden to a garden containing more wildlife-friendly plants to attract birds, bees, and butterflies. The garden also includes a gravel path for maintenance.
- A private patio with hedging and screen was added adjacent to the garden for the southwest corner unit.
- In addition, the access corridor ceiling height leading to the amenity area has been increased to comply with Building Code requirements for minimum.

### ***Tower B Amenity Area***

- The applicant is proposing to relocate the 10th floor indoor and outdoor amenity area of Tower B to the ground level at the southeast corner of Tower B, near the building lobby. This space was previously occupied by residential units.
- The ground floor amenity area includes the same features as the approved 10th floor space including outdoor BBQ and dining areas, social gathering areas, a fire pit and planting beds.

- The proposed new location for amenity space provides direct access for residents and visitors along River Road and allows amenity users to actively engage with the street. This ground-floor outdoor amenity space will be secured from the street by an auto-locking gate. The public will not be able to access the amenity area from the street unless opened by a resident (eg: to let in their own visitors).
- The proposed relocation results in no net loss to amenity space (indoor and outdoor) or residential floor area. The residential floor space on the ground level is proposed to be relocated to the 10th floor of Tower B.

### ***C. Changes to Landscaping***

#### ***Planted Screen Reduction***

- The applicant is proposing to change the method of screening on a portion of the building façade adjacent the public walkway. A planted screen was previously approved along a portion of the building façade adjacent the public walkway.
- It has been determined through design review that there is not enough space to add planters along the edge of Level 2 with sufficient soil volume to allow vines to grow and cascade down the screen wall to screen the building façade on the ground level below. The applicants landscape architect has confirmed it is unlikely vines will be successful growing up from the ground level if planted there.
- Instead, the applicant is proposing to replace the planted screen with metal panels and cedar hedges located on the ground level. Other sections of the façade along the public walkway still contain the previously approved planted screen. The proposed cedar hedges would provide adequate screening of the building façade and maintain the original intent of softening this frontage with natural landscaping.

#### ***Northwest Edge Planter at Level 2***

- The applicant is proposing changes to the northwest edge planter in the Level 2 amenity area, adjacent to the public walkway.
- The applicant is proposing to set the railing and parapet wall back to add a linear planter along the west façade with maintenance access for the future strata and to ensure the plants are able to successfully drape over the edge to meet with the evergreen climbing vines from below.
- This minor alteration will increase the likelihood of long-term planting success and ultimately lead to an improved screened area along the public walkway.

#### ***Tower A Lobby At-Grade Planter Wall***

- The applicant is proposing to alter the approved landscaping design between BC Hydro's Pad-Mounted Transformer, the entry ramp and the lobby of Tower A.
- The approved design included stepped retaining walls with plantings to grow and cover the steps. Through a review of site grading, it was determined that the retaining walls are not required.
- The applicant proposes to replace the retaining wall planted area with a gradually sloped landscaping area. This minor alteration will reduce the amount of exposed wall visible to pedestrians.

### ***Other Changes to Landscaping***

Other minor changes to landscaping and furnishing are proposed as part of the General Compliance including:

- The planter at the Tower B lobby entry is extended slightly to provide more planting area in the arrival court.
- A private patio planter on Level 2 is extended slightly to ensure sufficient privacy from the common amenity area.
- Planting sizes of some specified trees and plantings were reduced due to local nursery inventory issues.
- The details for the climbing and slide play structure and playhouse, bench, urban agriculture planter, Class B bike rack and BBQ are proposed to be replaced with similar products from a domestic provider with a consistent overall look and design.
- An updated landscape cost estimate confirms no additional landscape security is required to be submitted.

### ***D. Changes to Transportation Provisions***

#### ***Additional Parking & Bicycle Lockers***

- Through further plan development, the applicant was able to increase the efficiency of the parkade design.
- As part of the approved design, parking rates were consistent with the Richmond Zoning Bylaw No 8500 parking requirements, including those under the site-specific ZMU4 zone, but were subject to the applicant providing Transportation Demand Management measures (TDMs) including:
  - Provision of more than two Class 1 bicycle storage spaces per dwelling unit which exceeds the City requirement of 1.25 spaces per dwelling unit.
  - Provision of bicycle maintenance and repair facilities in the development.
  - Provision of publicly accessible e-bike and e-scooter parking located within a Public-Rights-of-Passage SRW and generally located at the south end of the SRW along the west edge of the subject site.
  - Provision of Level 2 240V electric plug-ins, with four outlets on a 40-amp branch breaker, for 100 per cent of residential parking spaces and 24 per cent of visitor parking spaces.
  - Provision of two car-share dedicated parking spaces, equipped with quick charge 240V electric charging stations and associated Public-Rights-of-Passage SRW to facilitate public access to the car share vehicles.
- Through the proposed changes summarized in Table 1 below, an additional 21 vehicle parking stalls and 4 additional bicycle lockers have been created through minor design changes. An additional standard City bike rack was added for the bike racks at the Public Bike Share on the southwest corner of the site.
- Previously secured TDMs including, carshare and accessible stalls are unaffected by the proposed changes to the parking area.
- The proposed parking and bicycle parking changes comply with Richmond Zoning Bylaw 8500 and are supported by the Transportation Department.

Table 1: Summary of Proposed Changes to Parking & Bicycle Parking

	Previously Approved	Proposed	Change from DP Staff Report
Parking Spaces	411 Strata residential 66 Visitor 2 car share 479 Total	431 Strata residential 66 Visitor 2 car share 497 Total	+21 Stalls No change No change +21 stalls
Accessible Parking	2.5%	2.5%	No change
Small Car Parking	8.4%	8.4%	No change
Tandem Parking	10 spaces	14 spaces	+4 tandem stalls
Bicycle Spaces	840 Class 1 76 Class 2	844 Class 1 78 Class 2	+4 Class 1 +2 Class 2

**Conclusion**

Oval 1 Holdings Ltd. has requested a General Compliance ruling for proposed changes including additional balconies, adjustments to the wall system and cladding, changes to on-site landscaping, changes to private on-site interior and outdoor amenity space areas, and parking and bicycle facilities. The proposed changes are consistent with the OCP and CCAP Development Permit Guidelines, in compliance with the “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)” zone and are generally consistent with the previous approved Development Permit.

Staff recommends support of this General Compliance request for the proposed changes to the approved Development Permit (DP22-013200).



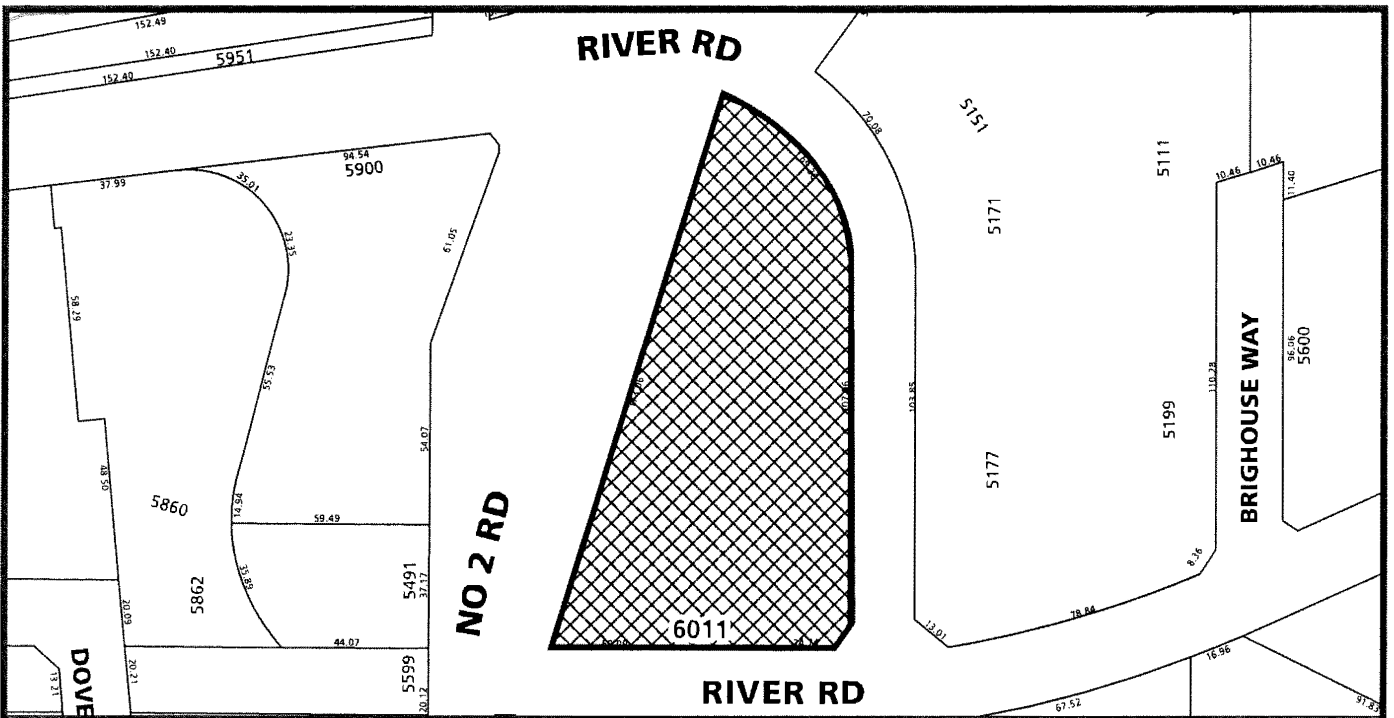
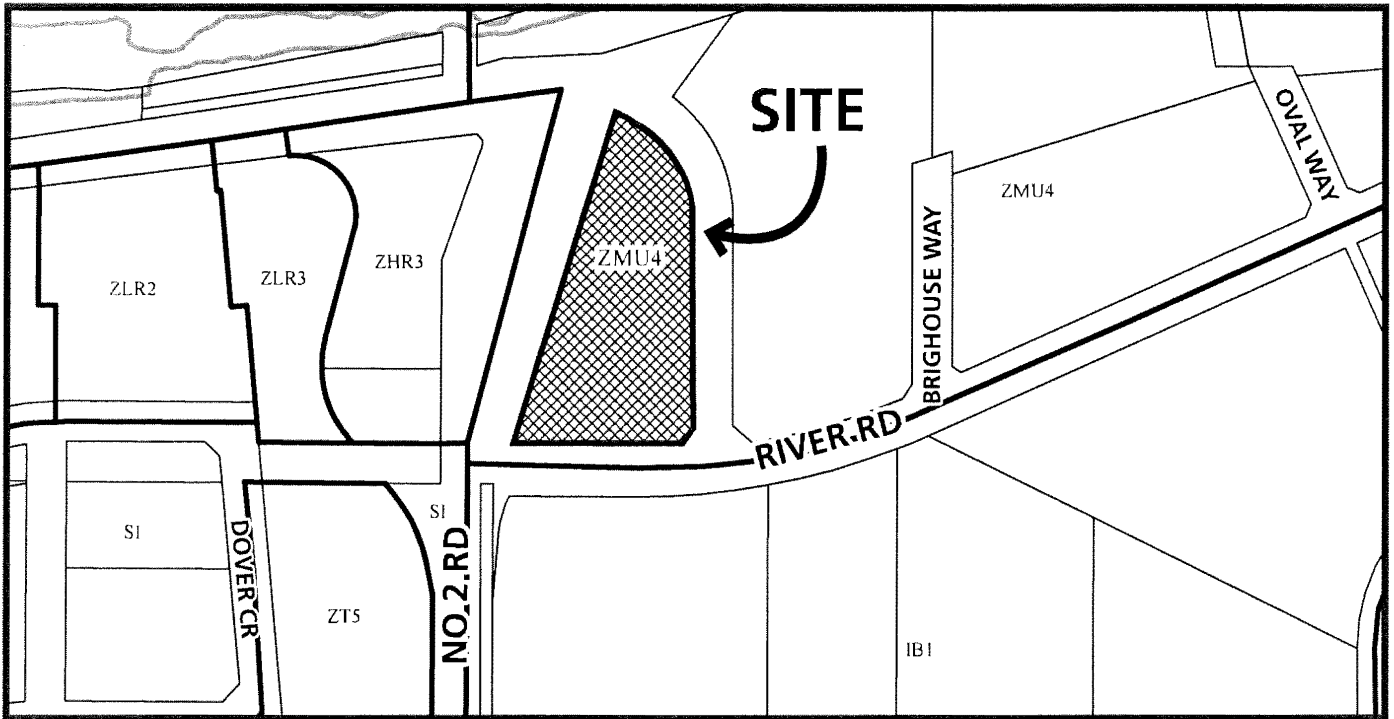
Alex Costin  
Planner 1  
(604-276-4200)

AC:he

- Att. 1: Context Map
- 2: Proposed Changes Comparison
- 3: Proposed replacement Development Permit plans



# City of Richmond



## DP 22-013200

Original Date: 05/31/22  
Revision Date: 10/16/24

Note: Dimensions are in METRES



A. Changes to Building Facades

-Added balconies

Before



After



-Changes to exterior materials

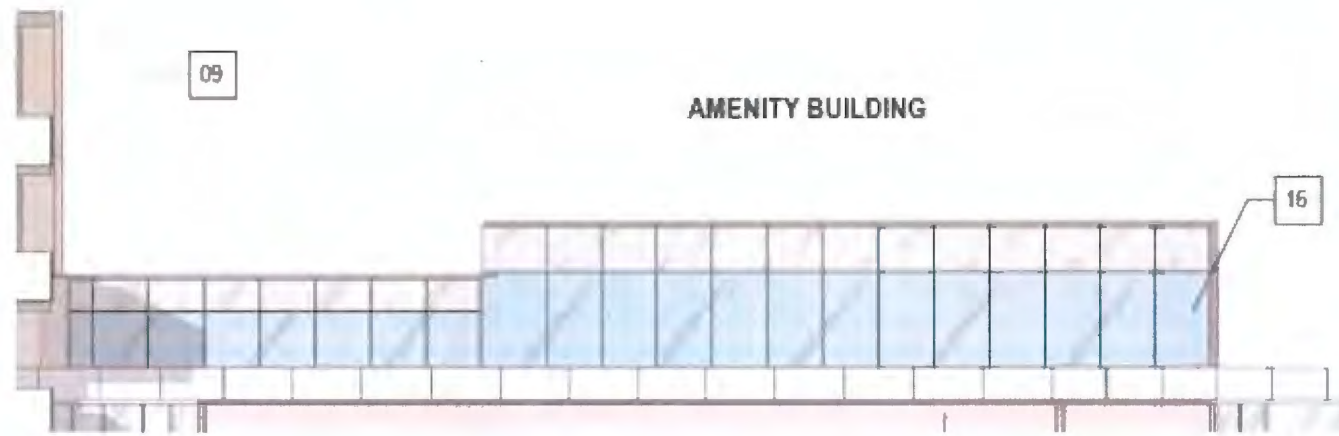
Before



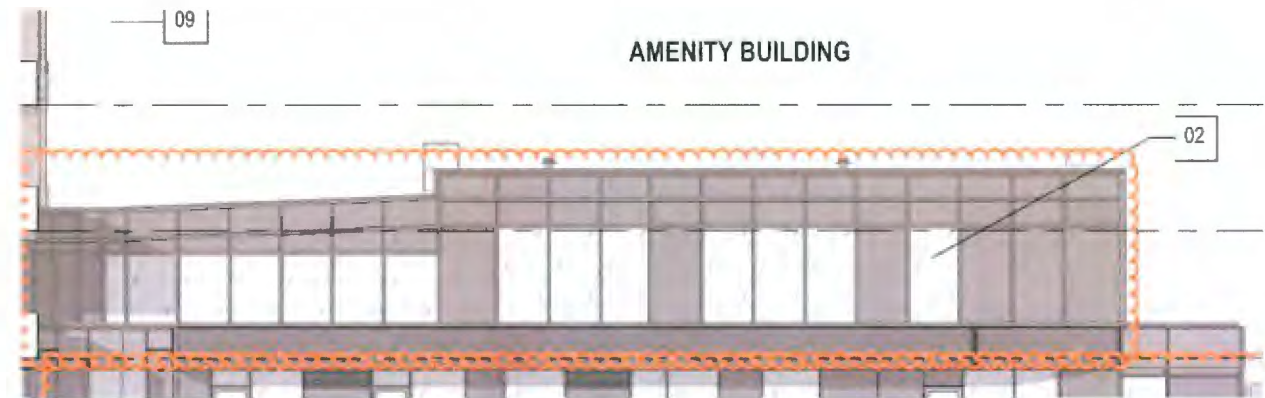
After



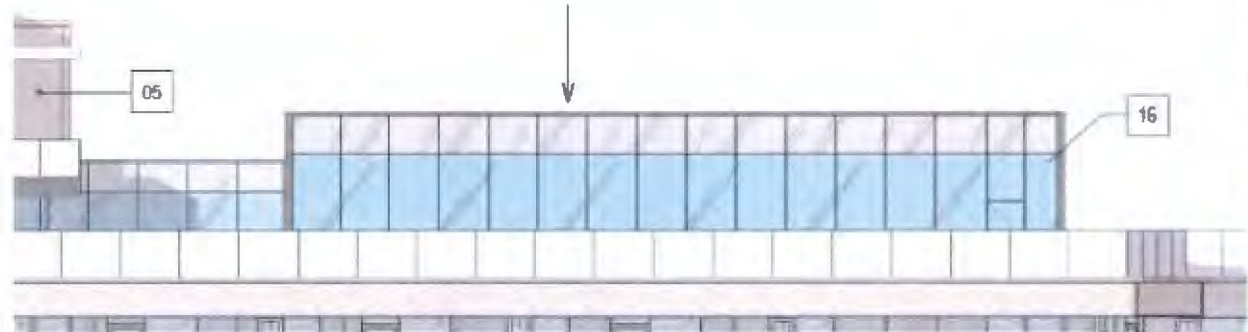
-Window wall system changed:  
Tower A, Level 9  
Tower B, Level 10



Before



After



## B. Changes to Amenity Areas

-Changes to Level 2 common outdoor amenity area

Before

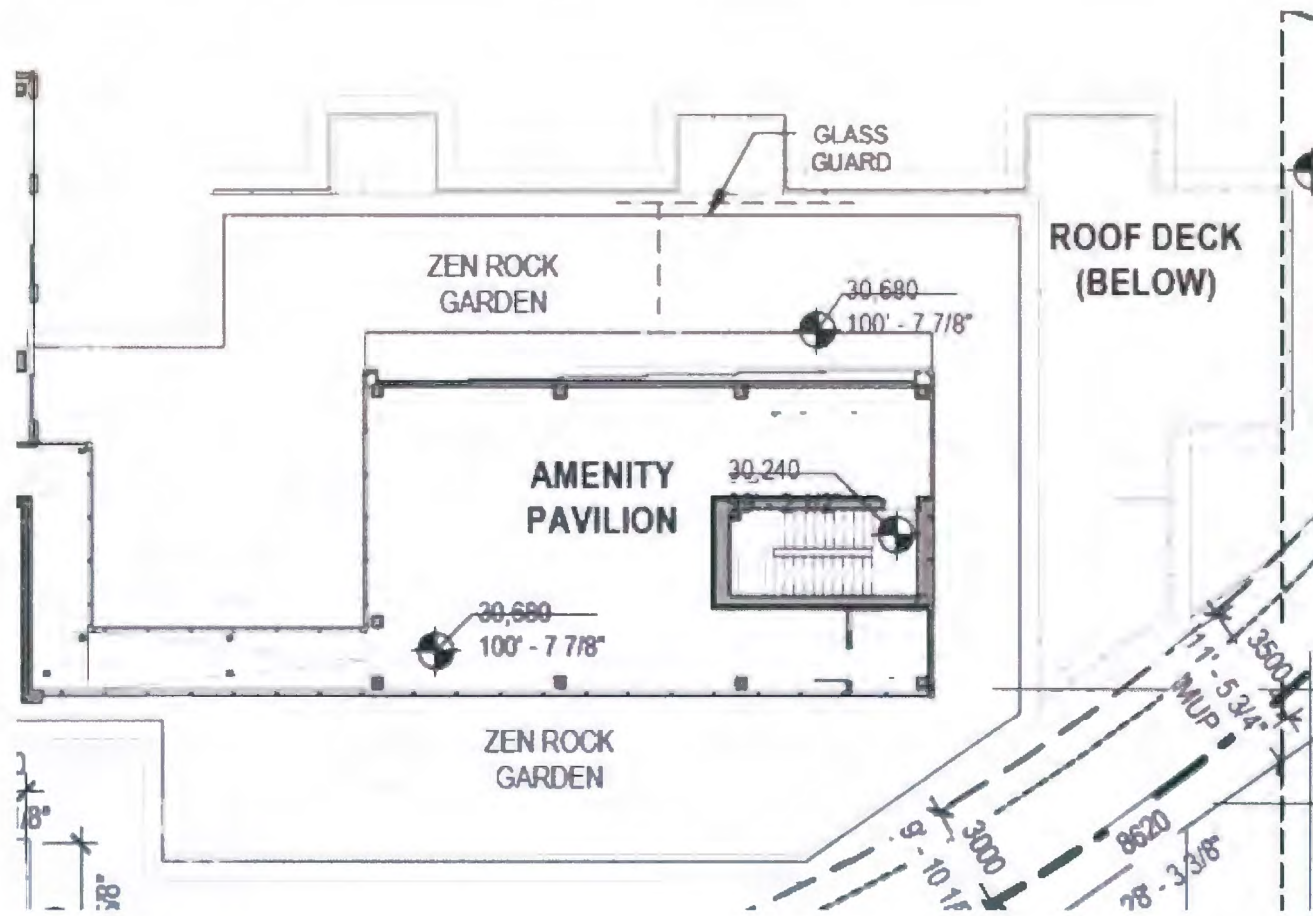


After

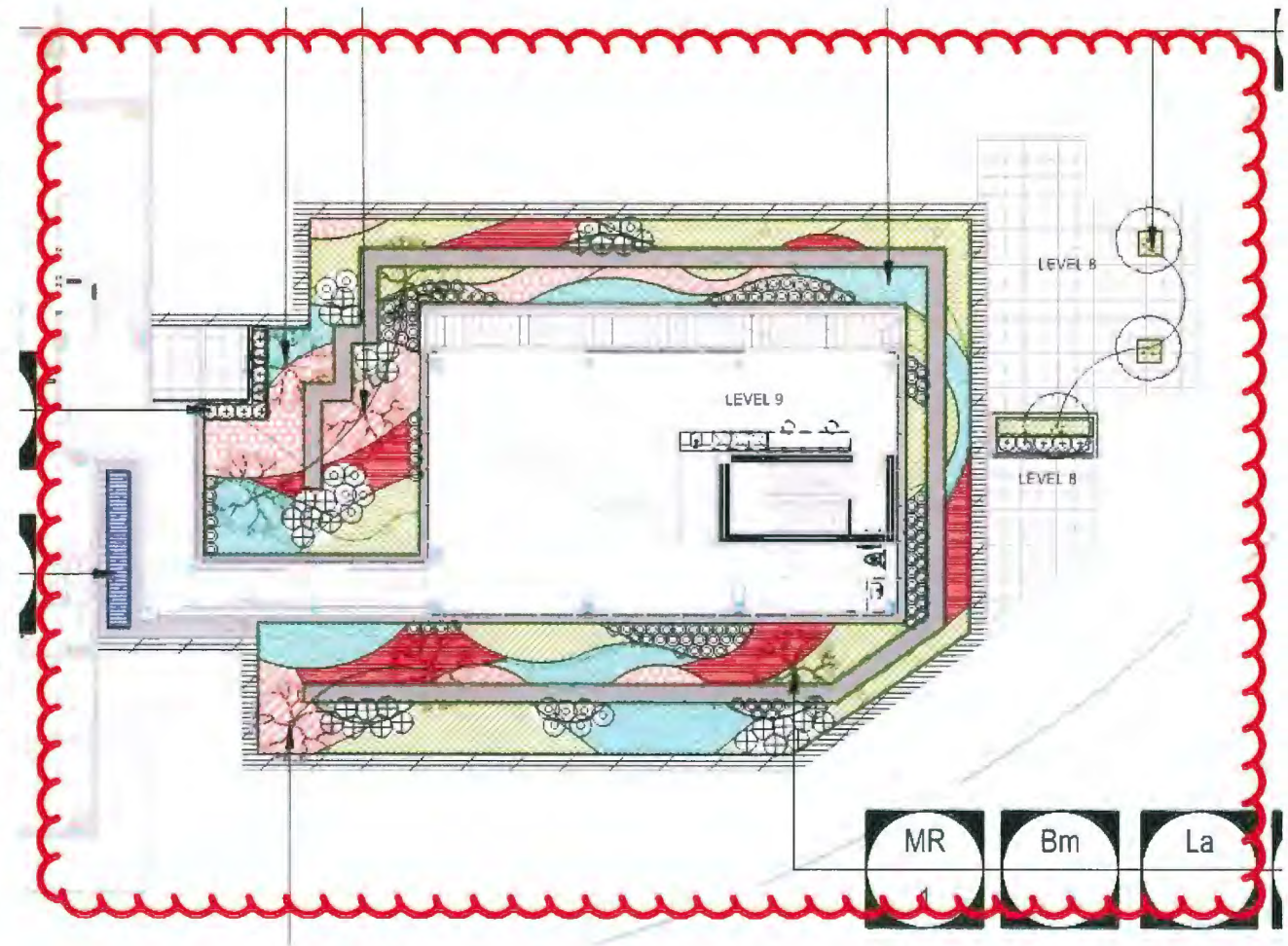


-Improvements to Tower A rooftop amenity area

Before



After

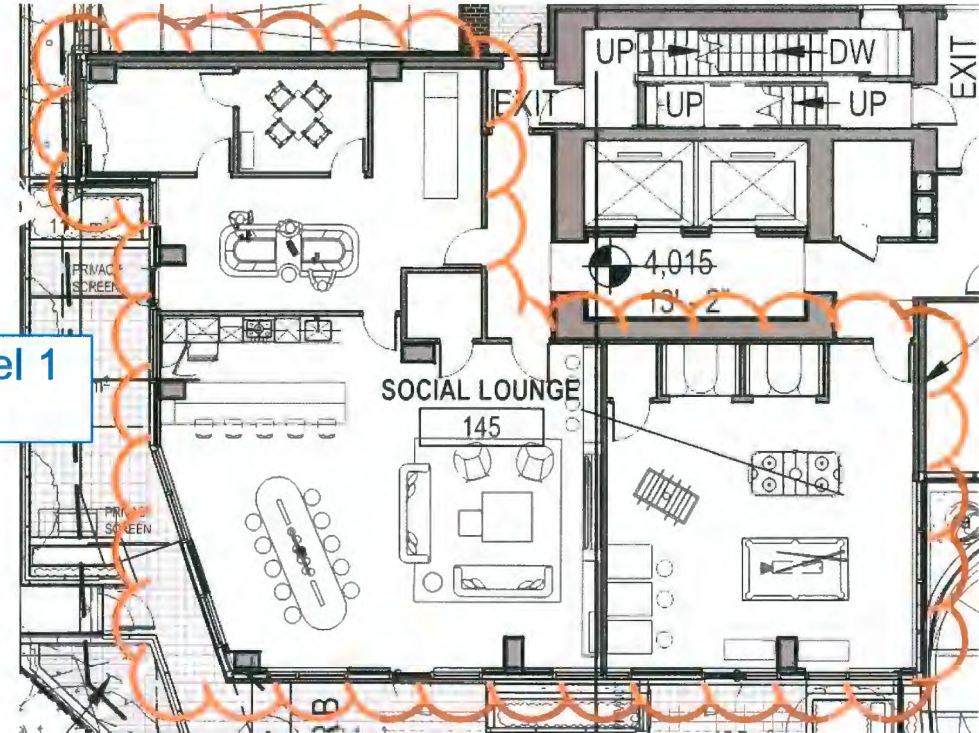


-Tower B amenity area and unit area swapped on Levels 1 & 10

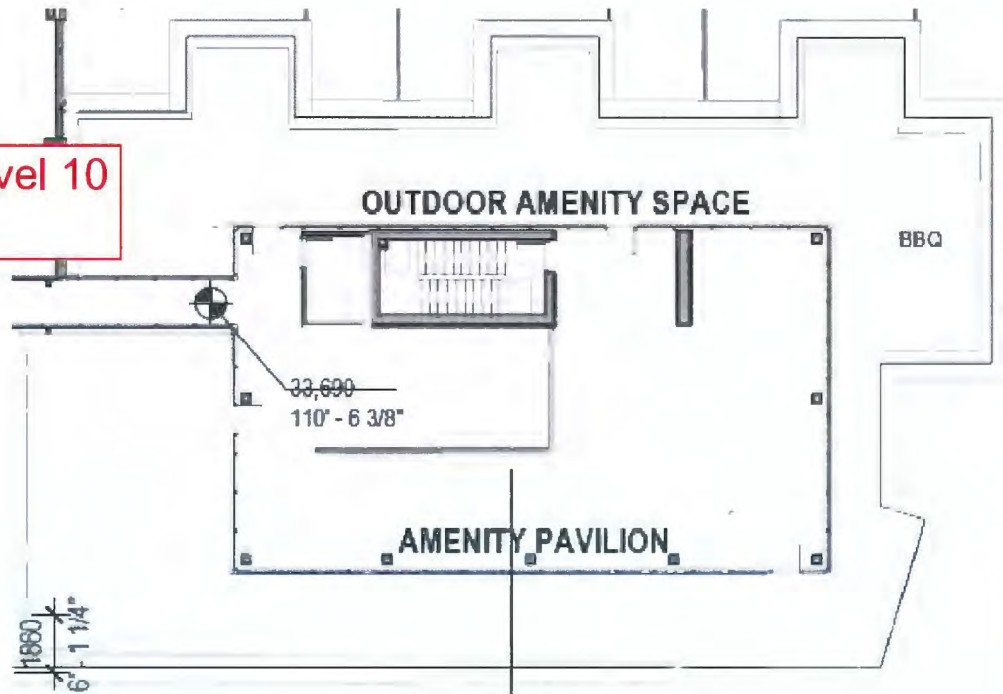
Before - Level 1



After - Level 1



Before - Level 10



After - Level 10

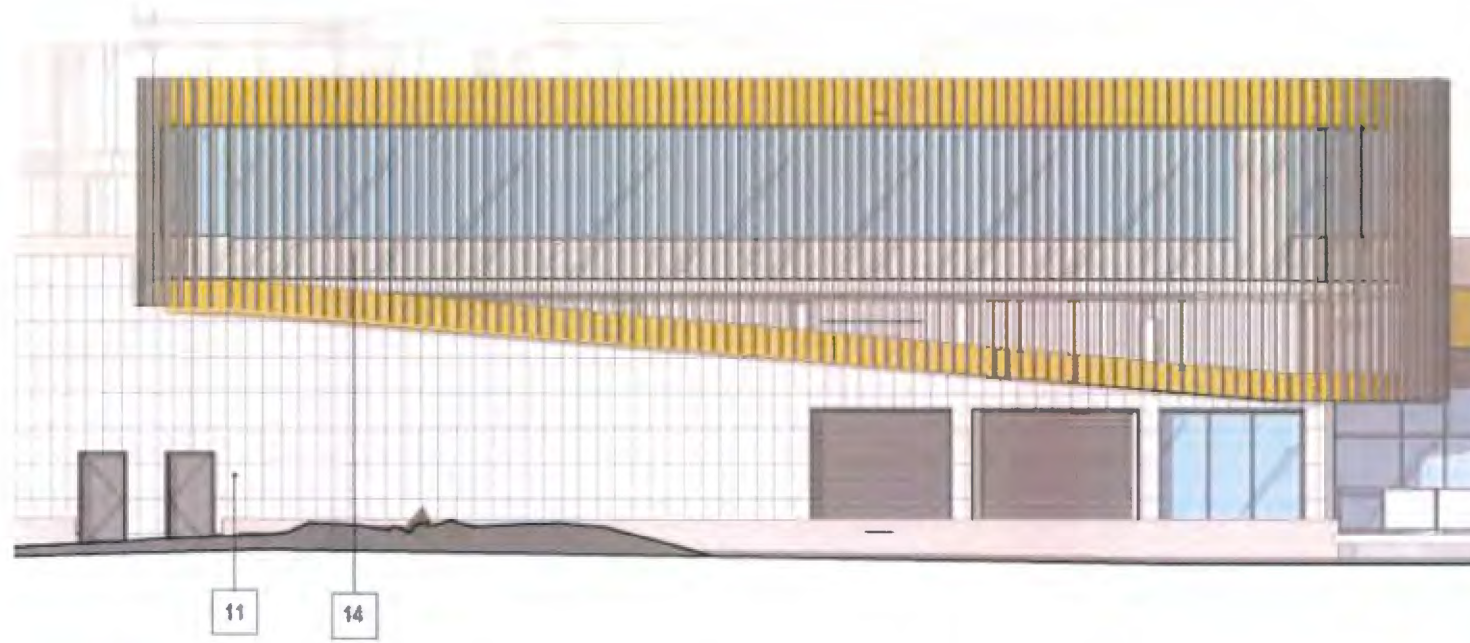




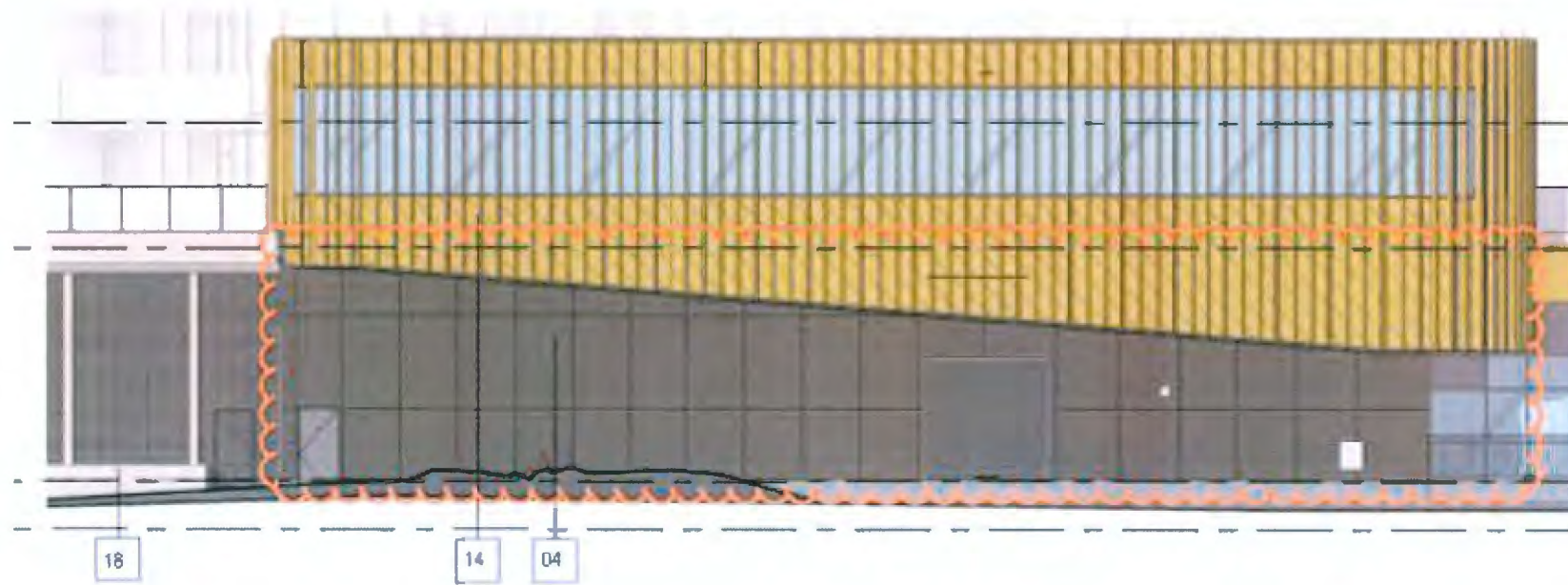
## C. Changes to Landscaping

-Reduction in planted screens

Before

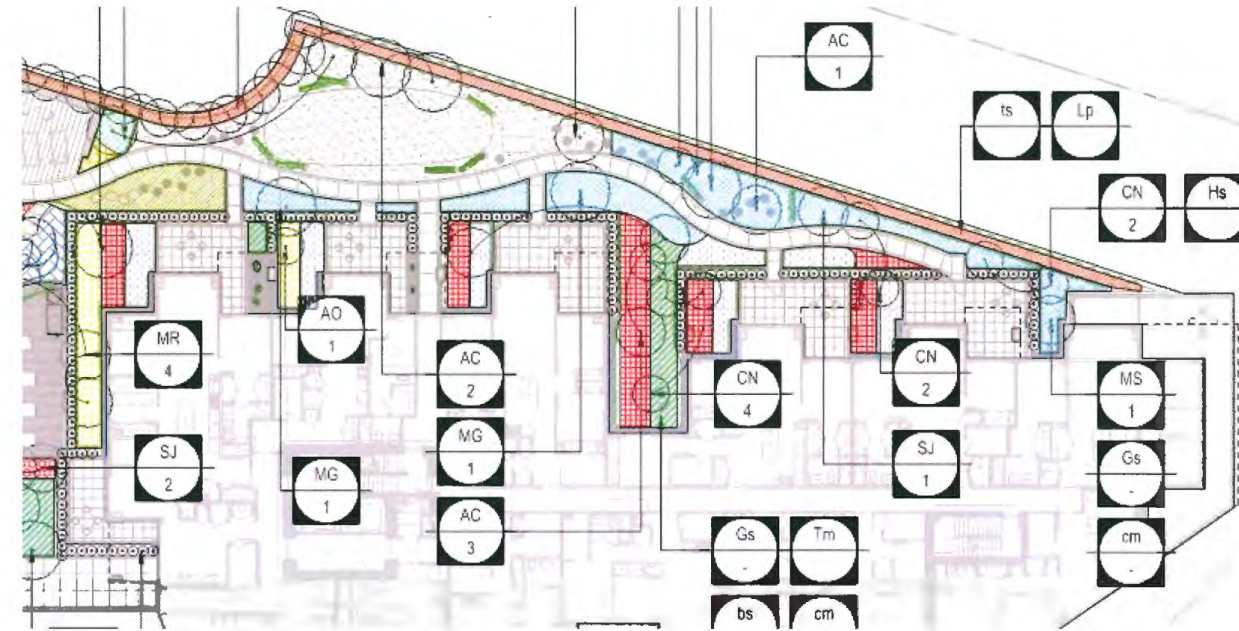


After

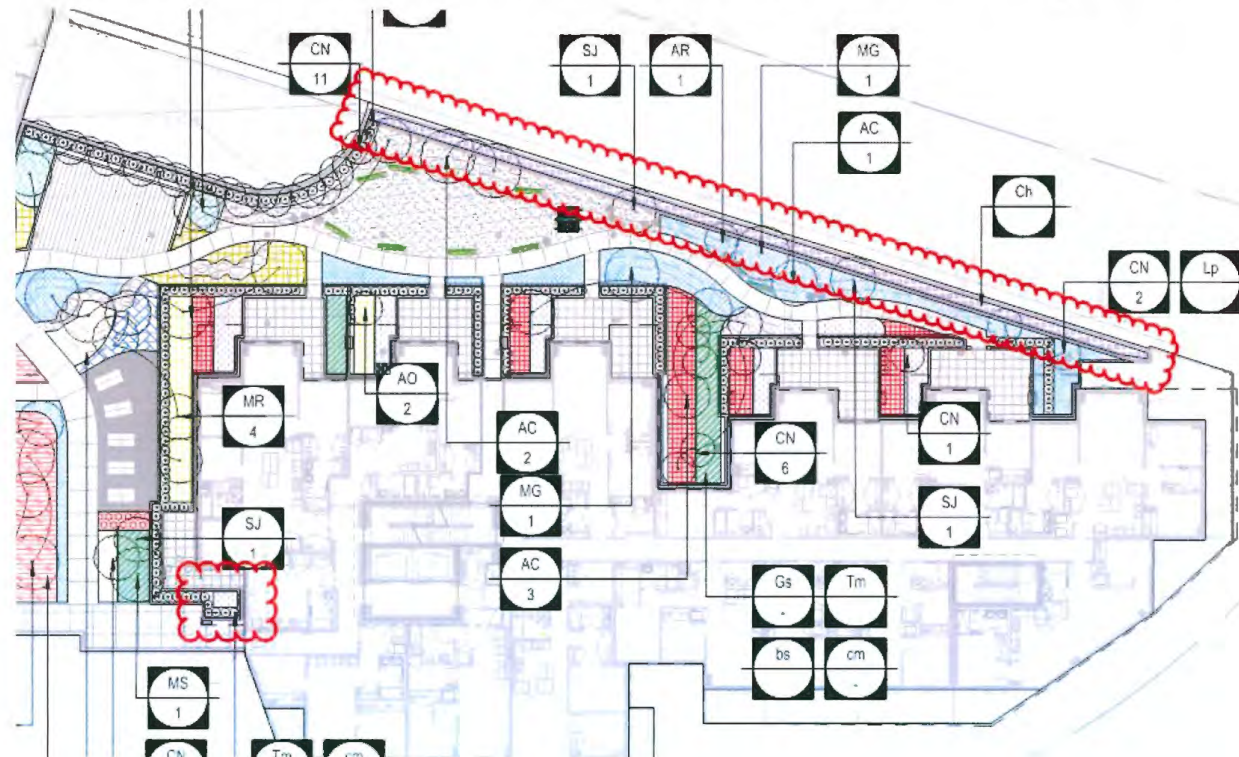


- Improvements to northwest edge planter at Level 2
- Private patio planter extended to ensure sufficient privacy from the common amenity area

Before

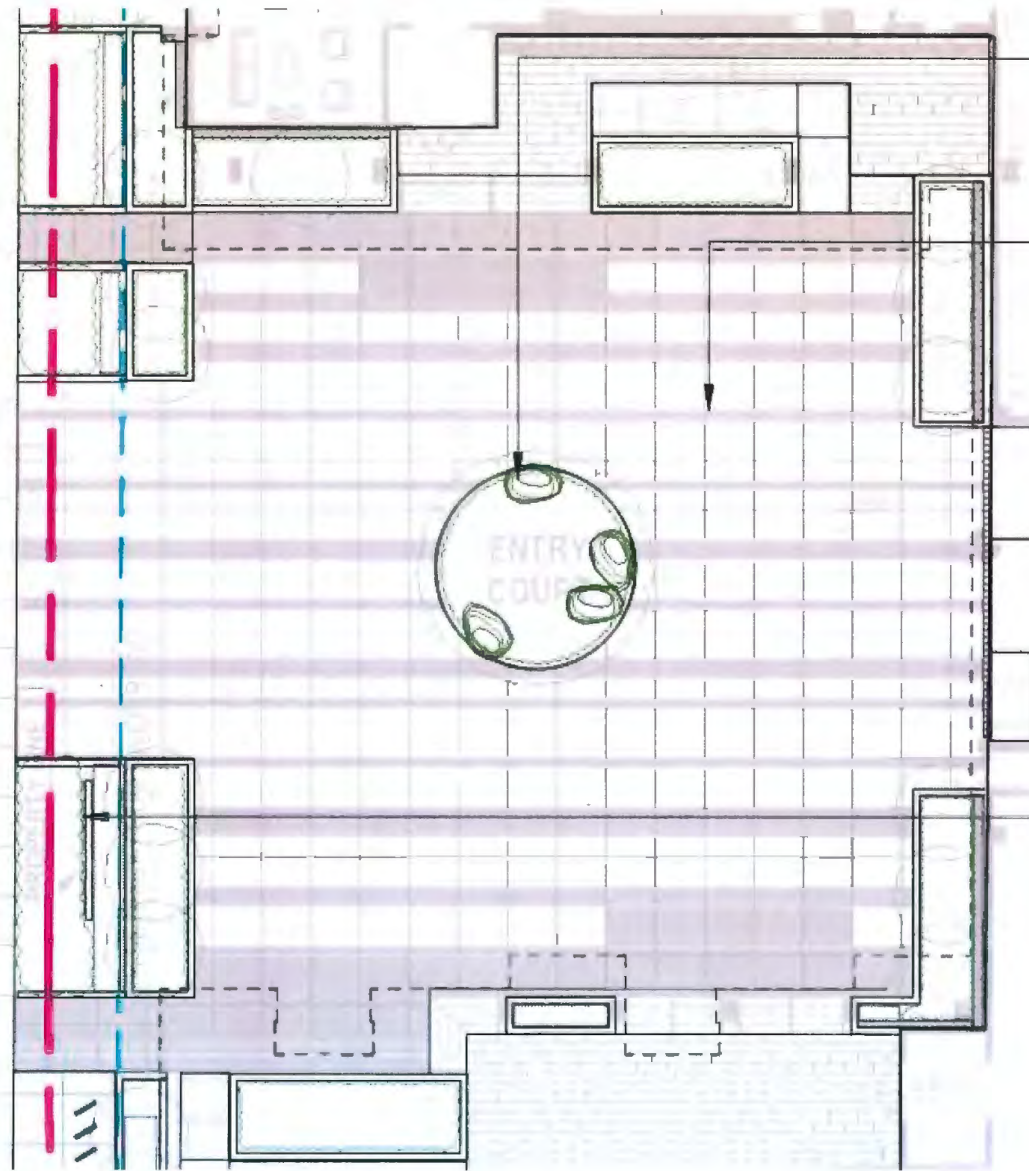


After

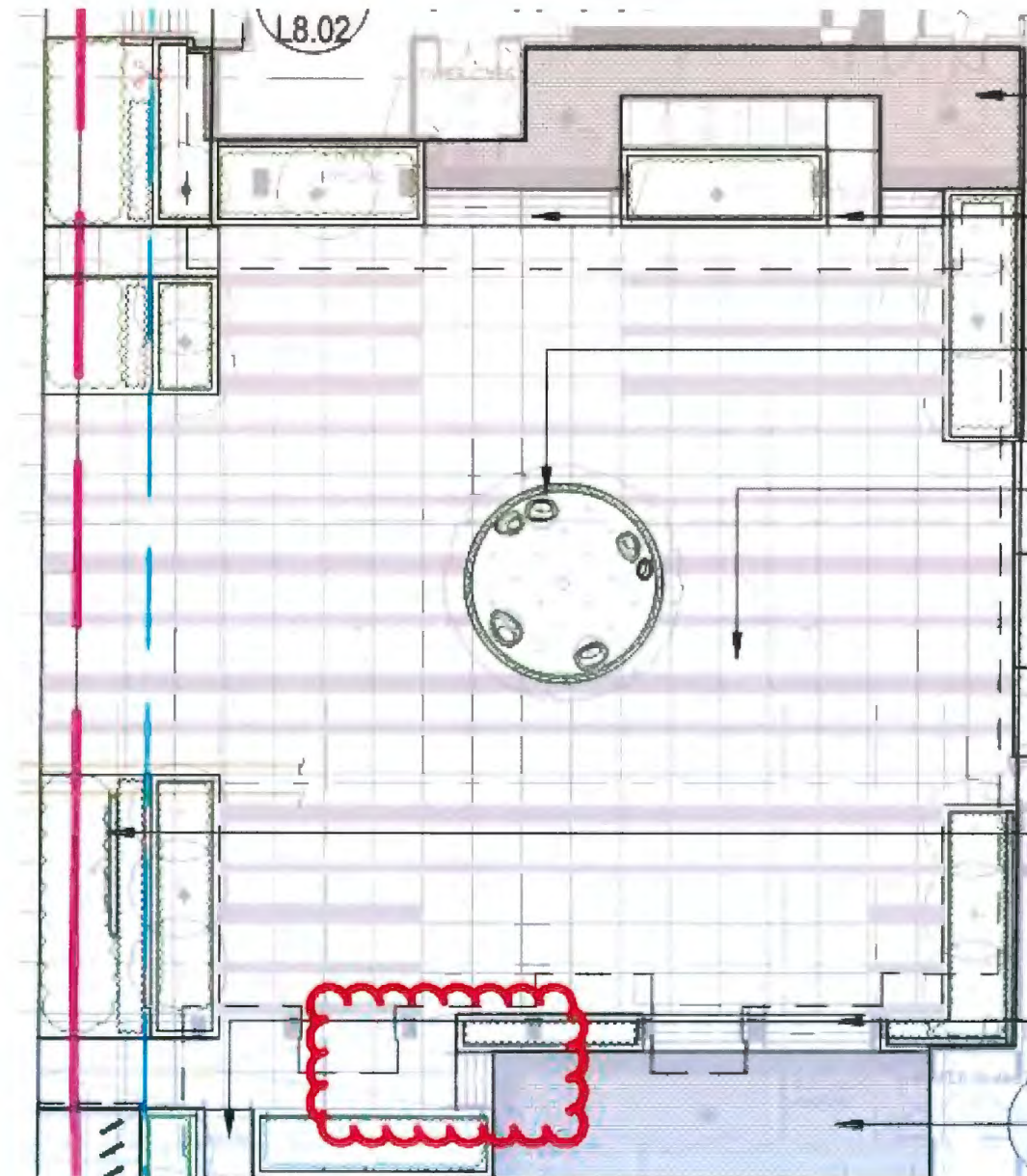


-Planter at Tower B lobby entry extended to provide more planting area in arrival court

Before

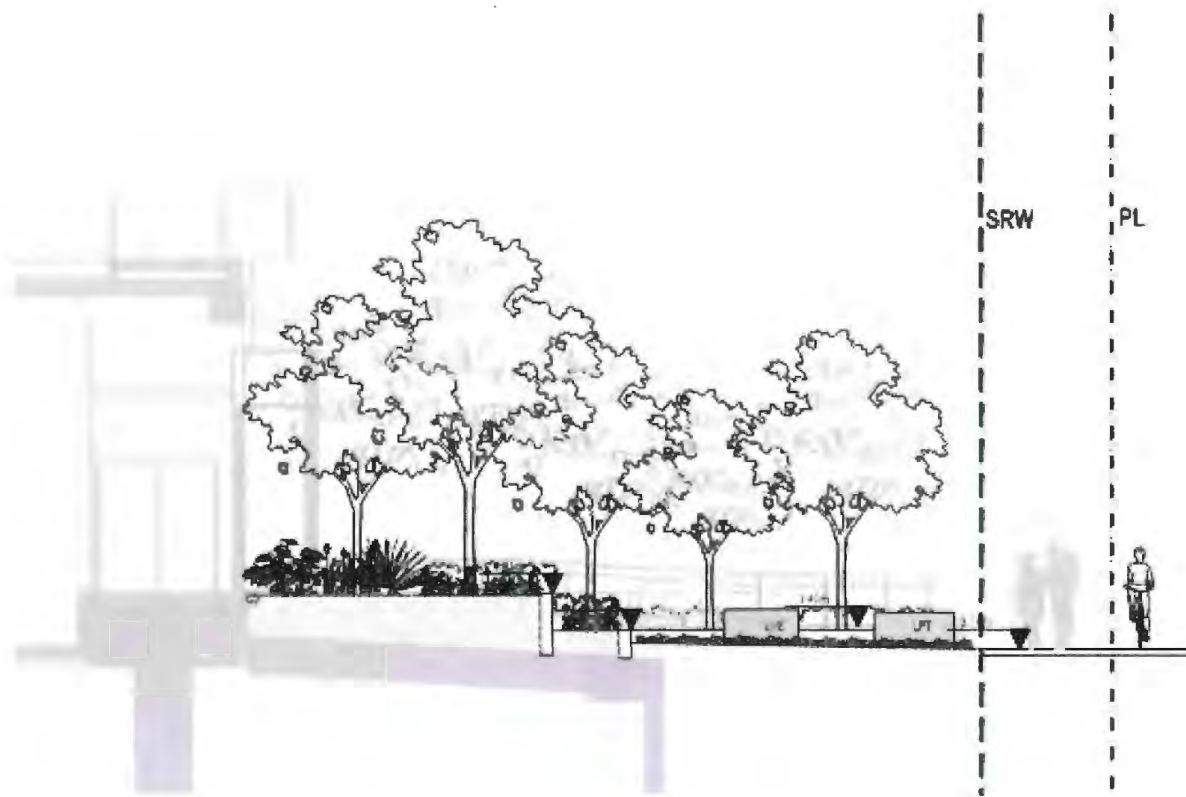


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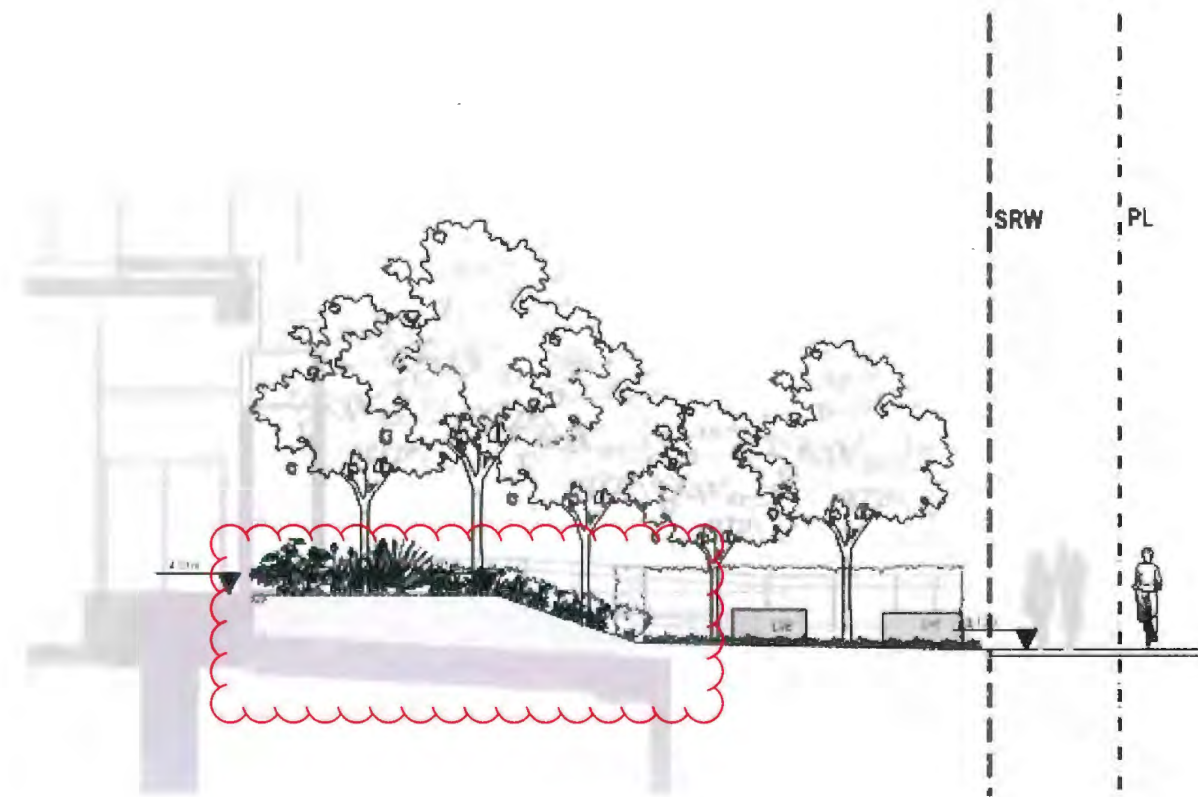


-Improvements to Tower A lobby at-grade planter wall

Before



After



## D. Changes to Transportation Provisions

-Parking increase

Before

**PROVIDED**

Type	Reference	Calculation	Included in Total	# of Stalls
Residential Stalls				411*
	Per 7.5.14	2% of the req'd stalls to be accessible	10	
Visitor Stalls	Per 20.4.10 b)	0.17		66**
	Per 7.5.14	2% of the req'd stalls to be accessible	2	
Accessible Stalls	Total Accessible Stalls (Included in Total)		12	
Car Share Stalls			2	2
			<b>Total Stalls</b>	<b>479</b>

After

**PROVIDED**

Type	Reference	Calculation	Included in Total	# of Stalls
Residential Stalls				431*
	Per 7.5.14	2% of the req'd stalls to be accessible	10	
Visitor Stalls	Per 20.4.10 b)	0.17		66**
	Per 7.5.14	2% of the req'd stalls to be accessible	2	
Accessible Stalls	Total Accessible Stalls (Included in...		12	
			<b>Total Stalls</b>	<b>497</b>

-Bicycle parking increase

Before

Class 1					
Level	Double Stall A (Min. 1.2m x 2.6m)		Double Stall B (Min. 1.2m x 1.82m)		Sub-Total per Level
	# Lockers	# Bikes	# Lockers	# Bikes	# Bikes
L1	41	82	144	288	370
P1	9	18	105	210	228
P2	16	32	105	210	242
Sub-Total		132		708	
Total			840		

Class 2
Class 2 (0.6m x 1.8m)
76
0
0
76

After

Class 1					
Level	Double Stall A (Min. 2.6m x...)		Double Stall B (Min. 1.2m x...)		Sub-Total per Level
	#...	# Bikes	#...	# Bikes	
L1	37	74	142	284	358
P1	9	18	113	226	244
P2	18	36	103	206	242
Sub-Total		128		716	
Total			844		

Class 2
Class 2 (0.6m x...)
78
0
0
78





**RIVER GREEN LOT 1**

**DEVELOPMENT PERMIT AMENDMENT GENERAL COMPLIANCE 24-10-10**

DP 22-013200

6011 RIVER ROAD, RICHMOND, BC

**ASPAC**  
DEVELOPMENTS  
**PFS STUDIO**  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

October 23, 2024  
DP 22-013200  
DP Plan #1



**DIALOG**

### PROJECT DATA

ADDRESS  
 Civil Address: 6011 River Road, Richmond...  
 Legal Description: LOT 1 SECTION 6 BLOCK 4  
 NORTH RANGE 8 WEST  
 NEW WESTMINSTER...

ZONING GUIDELINES:  
 Ref: ZMU424131  
 20.4 High Rise Apartment  
 and Olympic Oval (ZMU4)  
 Oval Village (City Centre)  
 Area: Area "A"

**SITE MEASUREMENTS**

	m	ft
Max. Building Height:	47.00	154'-2"
Finished Grade:	2.21	7'-3"
Site Area:	10,043.00	108,102
Site Dimensions:	Refer to Survey	

**RIGHT OF WAYS**

	m	ft
River Road Sidewalk SRW (SRW PLAN...)	2.15	7'-0 5/8"
No.2 Road Bridge SRW (SRW PLAN...)	10.00	31'-8"

**SETBACKS**

	m	ft
River Road:	3.00	9'-10 1/8"
No.2 Road:	10.00	31'-8"

**SITE COVERAGE**

	Calc.	m2	ft2
Max. Permitted Lot Coverage	40%	4,017	43,241
Proposed Lot Coverage	37%	3,719	40,031

**PROPOSED USE**

	Permits...	Ref:
Residential:	✓	20.4.1
Amenity Space:	✓	20.4.2
On-Site Accessory Parking:	✓	20.4.10

**UNIT MIX & COUNT**

Unit Type	Approx. %	Count	Approx. ft2
Studios	0.0%	0	450
1 Bedroom	25.8%	94	525
1 Bedroom + D	16.2%	59	650
2 Bedroom	31.0%	113	788
2 Bedrooms + D	9.3%	34	690
3 Bedroom	14.0%	51	1,075
3 Bedrooms + D	3.6%	13	1,650
4 Bedroom	0.3%	1	
<b>TOTAL</b>	<b>100%</b>	<b>365</b>	

BUH Units Provided:  
 1 Bedroom: 21 (11%)  
 1 Bedroom + D: 10  
 2 Bedroom: 9

Multiple Family Housing Units with two or more bedrooms: 212 (58%)

### PARKING REQUIREMENTS

**REQUIRED - BYLAW**

Type	Reference	Calculation	Included in Total	# of Stalls
Residential Stalls	Per 20.4.10 a)	1.28 spaces per res. unit		471
	Per 7.5.14	2% of the req'd stalls to be accessible	10	
Visitor Stalls	Per 20.4.10 b)	0.17 spaces per res. unit		63
	Per 7.5.14	2% of the req'd stalls to be accessible	2	
<b>Accessible Stalls</b>	<b>Total Accessible Stalls (Included in...</b>		<b>12</b>	<b></b>
			<b>Total Stalls</b>	<b>534</b>

**PROVIDED**

Type	Reference	Calculation	Included in Total	# of Stalls
Residential Stalls	Per 7.5.14	2% of the req'd stalls to be accessible	10	431*
Visitor Stalls	Per 20.4.10 b)	0.17		66**
	Per 7.5.14	2% of the req'd stalls to be accessible	2	
<b>Accessible Stalls</b>	<b>Total Accessible Stalls (Included in...</b>		<b>12</b>	<b>497</b>
			<b>Total Stalls</b>	<b>497</b>

**PROPOSED PARKING REDUCTION**

Total Required - Bylaw	534
Total Provided	497
<b>Proposed Reduction</b>	<b>37</b>
<b>Proposed Reduction %</b>	<b>6.9%</b>

Note:  
 \*All Residential Parking Stalls to be EV ready with Level 2 240 Volt Plug-in on a load management system as per Electric Vehicle Charging Infrastructure Requirements - Zoning Bylaw 8500, Section 7.15  
 \*\*Anticipating future needs, 15 Visitor Stalls to be EV ready with Level 2 240 Volt Plug-in  
 \*\*\*Refer to TIA for TDM Measures...

### LOADING SPACES REQUIRED

**ZONING REQUIREMENT**

Type	Reference	Calculation	# of Spaces
Medium Sized Loading Spaces	Per Table 7.13.6.1	1 Space + 1 for each add'l 160 dwelling units over 240 dwelling units.	2
Large Sized Loading Spaces	Per Table 7.13.6.1	For buildings that are 5 storeys or higher	n/a

These requirements reflect recently adopted Amendments to Zoning Bylaw 8500 - Section 7 Parking and Loading - amendment Bylaw No. 10077.

### PARKING DISTRIBUTION

**RESIDENT PARKING**

Level	Standard	Small	Tandem	Access...	Total
L1	0	0	0	0	0
P1	14	123	13	4	154
P2	0	234	19	14	267
<b>Total</b>	<b>14</b>	<b>357</b>	<b>32</b>	<b>18</b>	<b>431</b>

**VISITOR PARKING**

Level	Standard	Small	Accessib...	Total
L1	0	0	0	0
P1	57	7	2	66
P2	0	0	0	0
<b>Total</b>	<b>57</b>	<b>7</b>	<b>2</b>	<b>66</b>

### LOADING SPACES PROVIDED

**PROVIDED**

Level	Medium Sized Loading Space	Large Sized Loading Space	Total
L1	2	0	2

### BICYCLE PARKING REQUIRED

Type	Reference	Calculation	# of
Class 1 Bicycle Parking	Per 7.14.9.1	1.25 spaces per dwelling unit	456.8
Class 2 Bicycle Parking Spaces	Per 7.14.9.1	0.2 spaces per dwelling unit	73.4

### BICYCLE PARKING PROVIDED

Level	Class 1			Sub-Total per Level	Class 2 (0.6m x...)
	Double Stall A (Min. 2.6m x...)	Double Stall B (Min. 1.2m x...)	Sub-Total		
L1	37	74	142	284	358
P1	9	18	113	226	244
P2	18	36	103	206	242
<b>Sub-Total</b>	<b>128</b>	<b>128</b>	<b>716</b>	<b>716</b>	<b>716</b>
<b>Total</b>	<b>844</b>				<b>716</b>

Note: The project will be proposing to provide a bicycle repair and maintenance room adjacent to the main entry court.

### PROJECT FAR SUMMARY

	PERMITTED FAR	PERMITTED FAR (AREA)		PROPOSED FAR	PROPOSED FAR (AREA)	
		m2	ft2		m2	ft2
<b>RESIDENTIAL</b>	<b>3.0</b>	<b>30,129</b>	<b>324,306</b>	<b>3.03</b>	<b>30,417</b>	<b>327,405</b>

### DENSITY TABLE

Lot	Site Address	Area (sq.m)	Area (sq.ft)	Maximum Permitted Density FAR		Proposed Density FAR	
				Residential (per sq.m)	Residential (per sq.ft)	Residential (per sq.m)	Residential (per sq.ft)
Lot 1**	6011 River Road	70,543	758,102			30.417	327,405
Lot A**	5600 Brighouse Way	14,812	159,458				
Lot B**	5500 Brighouse Way	14,003	150,721	116,497.3	1,253,869.3	66,080.3	928,564.3
<b>Total</b>		<b>36,808</b>	<b>418,281</b>	<b>3.00</b>	<b>3.00</b>	<b>116,487.3</b>	<b>1,253,969.3</b>

\*\* Lot 1 Proposed FAR Density (DP 22-013200)  
 \*\* Remaining FAR Density for Lot A & Lot B via future Development Permits

### NOTES

**PROPOSED VARIANCES**  
 Balcony Encroachment into SRW:  
 Balconies on the West facade of Tower 'C' are proposed to project into the SRW by up to 0.5m into the 10.0m SRW that runs along the side of the property. The clear height below the projecting balconies is proposed to be no less than 5.8m. Noting that the 10.0m wide portion of the SRW is intended to facilitate maintenance of the bridge, the applicant would note a few factors for consideration of the proposed condition:  
 - the minor encroachment is far enough above the driveable surface of the SRW to permit the clear passage of most standard maintenance vehicles,  
 - the encroachment maintains a minimum 9.5m travel width that is complete clear both horizontally and vertically, and

**Bicycle Stalls:**  
 - Seeking variance from (40) bicycles to (40) bicycle lockers per room to facilitate the large # of DHL.  
**BASIC UNIVERSAL HOUSING PROVISIONS:**  
 The project proposes to provide 39 dwelling units (+10% of the total unit count) that are designed to incorporate all of the Basic Universal Housing (BUH) Features as described in Section 4.15 of the Richmond Zoning Bylaw 8500, the project proposes to claim the 1.86m2 FAR exemption for each of these dwelling units as described in Subsection 4.6.2.



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3	2023-09-09	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4
6	2024-05-27	DP Amendment General Compliance
7	2024-08-15	DPA-GC REVIEW
8	2024-10-10	DPA-GC Revised

October 23, 2024  
 DP 22-013200  
 DP Plan #2

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 SEAL

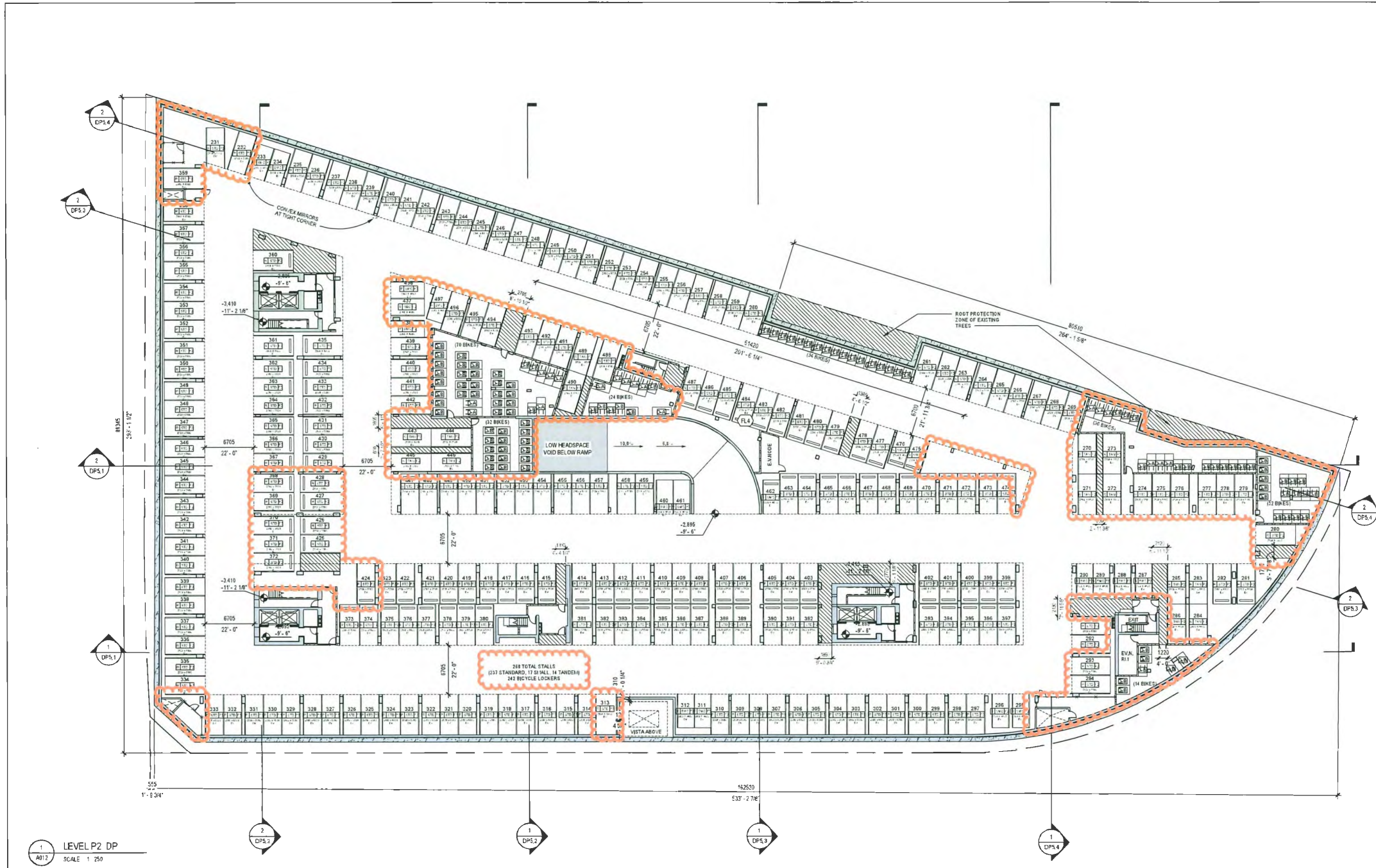


6011, 6033, 6055 RIVER ROAD  
 RIVER GREEN - LOT 1

### PROJECT STATISTICS

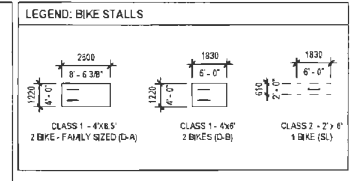
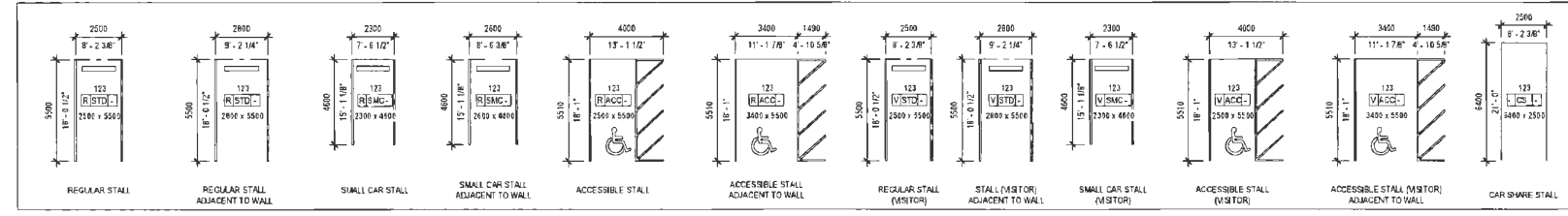
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**DP0.1**



1 LEVEL P2 DP  
SCALE 1/250

LEGEND: PARKING STALLS



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4	2023-10-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4
6	2024-05-27	DP Amendment General Compliance
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6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

P2 PLAN

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DP2.0

BC100179 - 2004354

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4	2023-06-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4
6	2024-05-27	DP Amendment General Compliance
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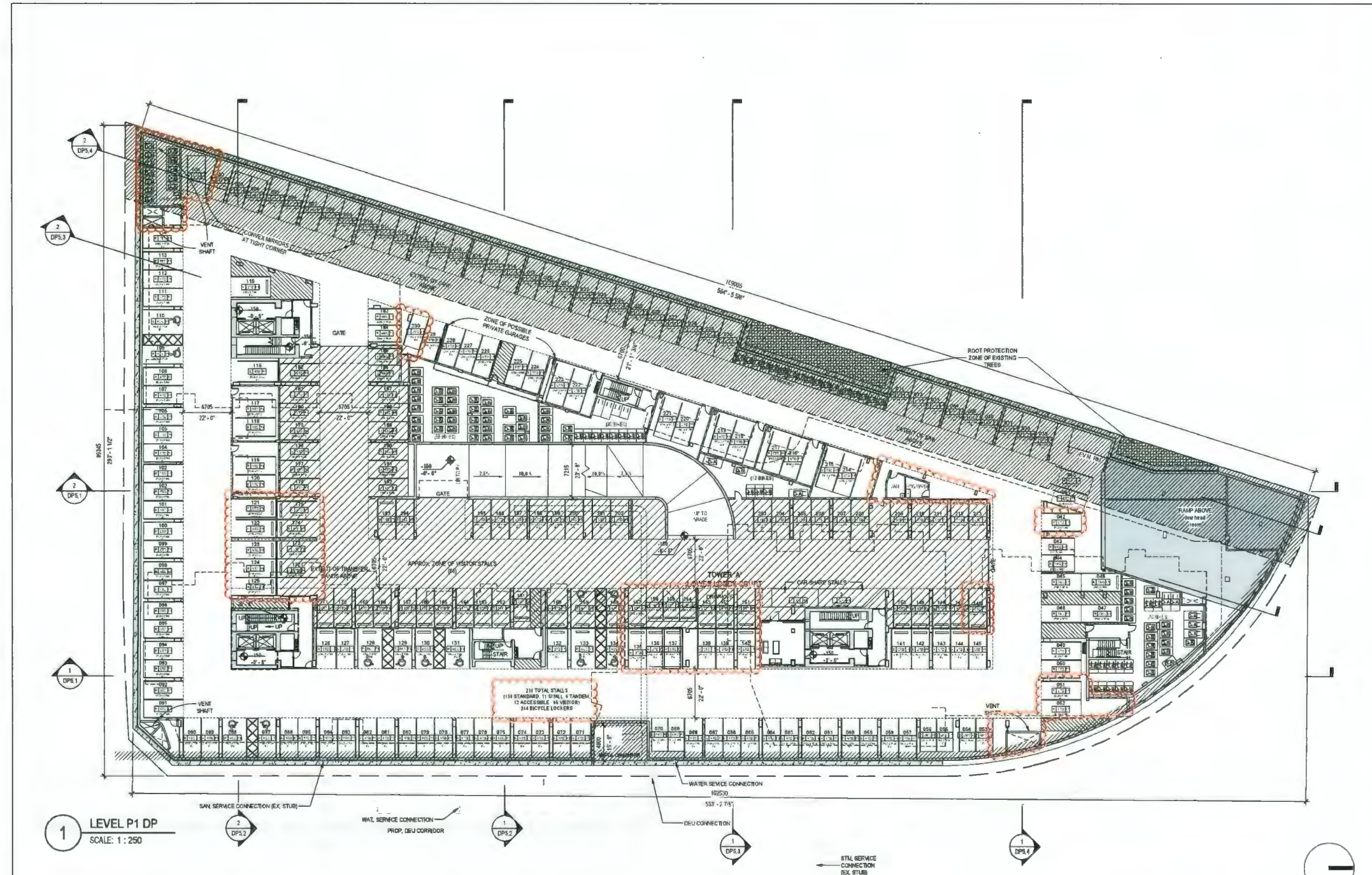
6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

P1 PLAN

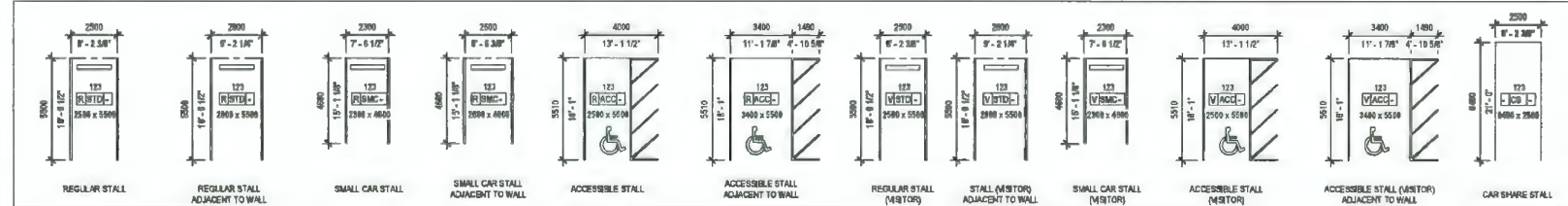
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**DP2.1**

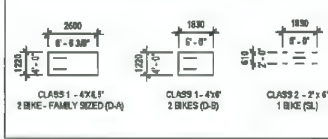
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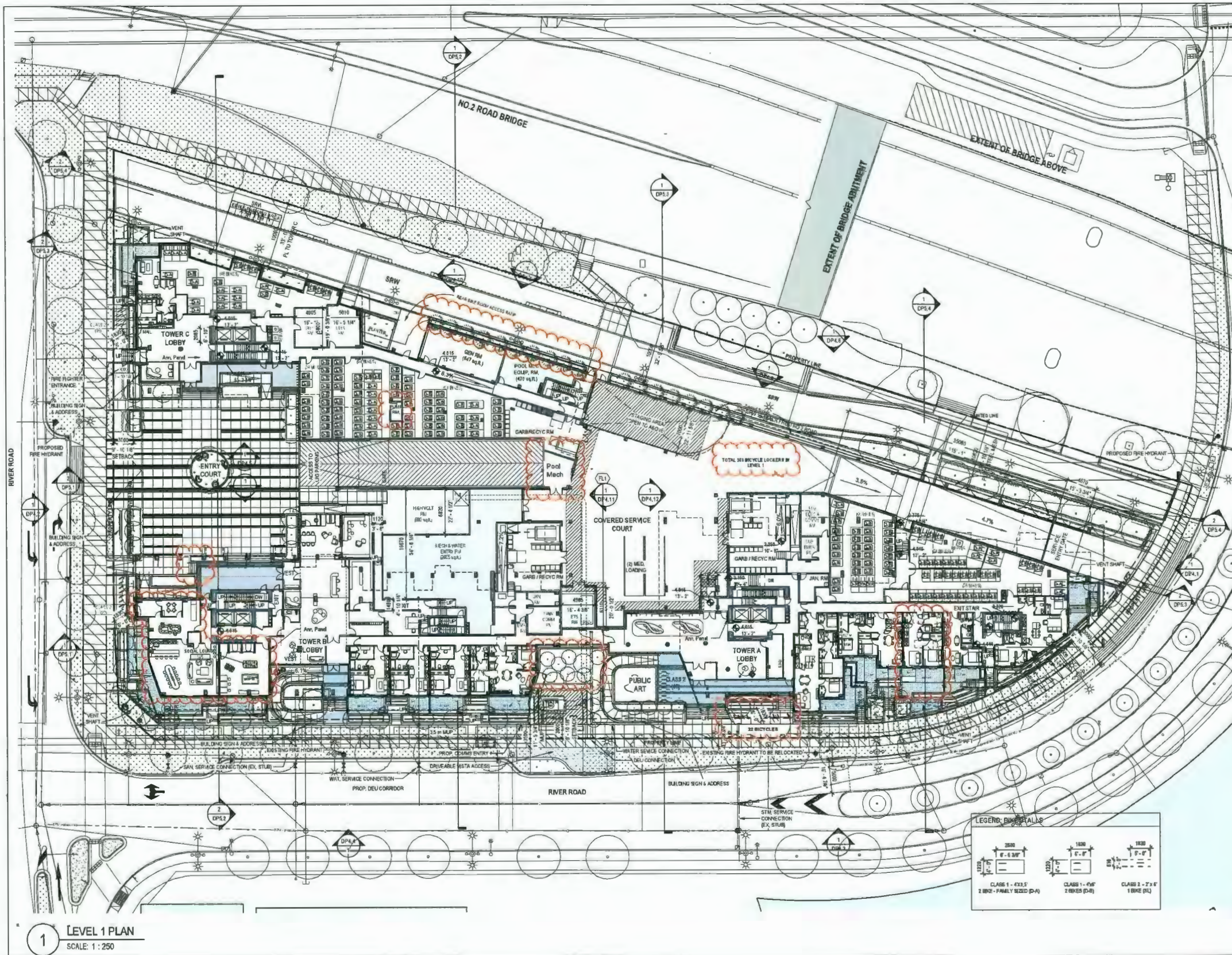


**LEGEND: PARKING STALLS**



**LEGEND: BIKE STALLS**





1 LEVEL 1 PLAN  
SCALE: 1 : 250

**LEGEND: BIKE STALLS**

CLASS 1 - 4x3.5' 2 BIKES - FAMILY SIZED (D-A)	CLASS 1 - 4x6' 2 BIKES (D-B)	CLASS 2 - 7 x 6' 1 BIKE (RL)

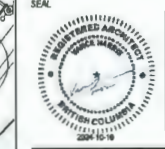
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- 1 2022-05-09 DEVELOPMENT PERMIT APPLICATION
  - 2 2023-02-09 DP RESPONSE #1
  - 3 2023-06-09 DP RESPONSE #2
  - 4 2023-06-19 DP RESPONSE #3
  - 5 2023-10-13 DP RESPONSE #4
  - 6 2024-05-27 DP Amendment General Compliance
  - 7 2024-08-15 DP/ALOC REVIEW
  - 8 2024-10-10 DPA-GC  
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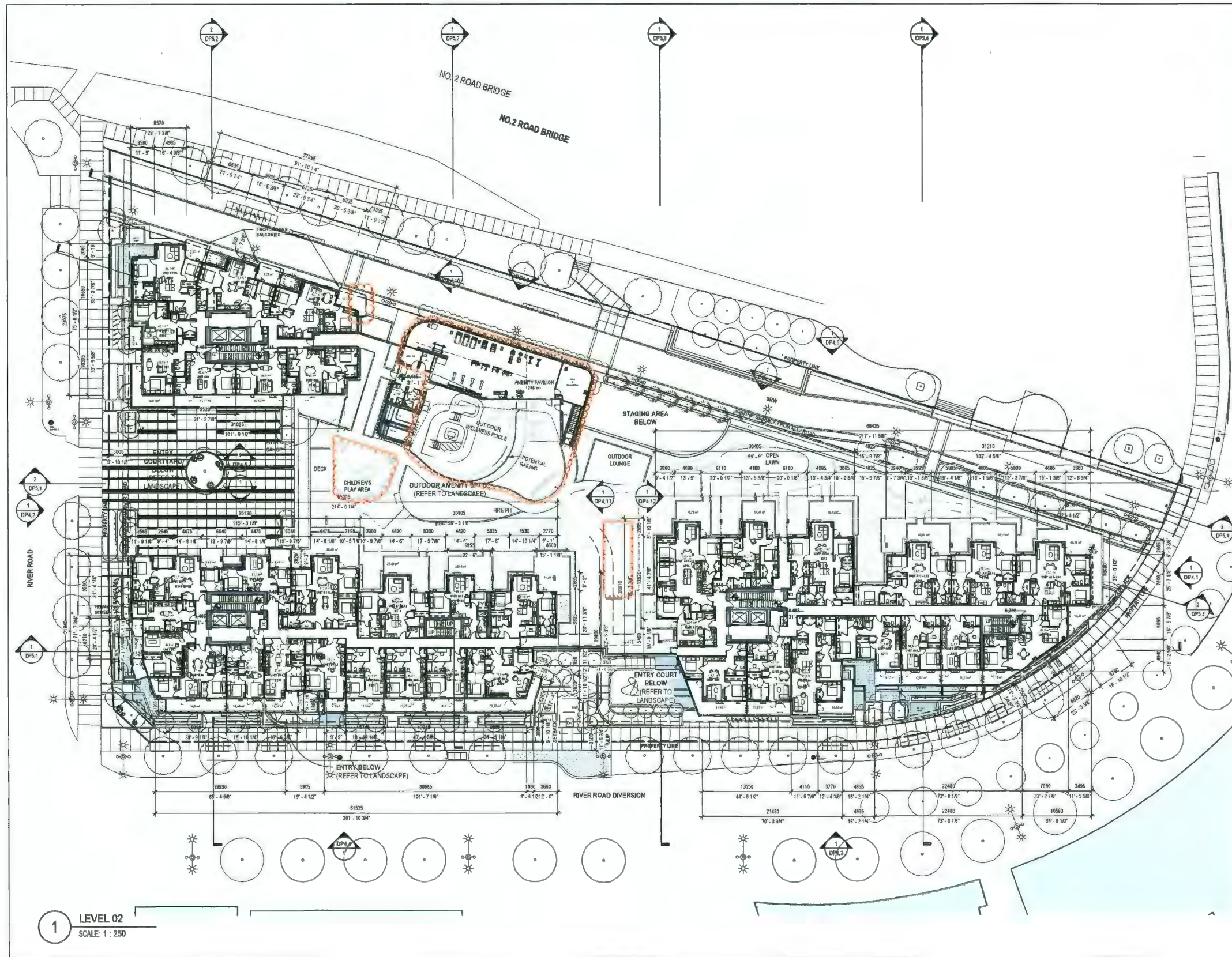
6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

LEVEL 1 PLAN

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**DP2.2**

BC100179 - 2004354  
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1 LEVEL 02  
SCALE 1 : 250

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2	2023-02-06	DP RESPONSE #1
3	2023-06-09	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4
6	2024-05-27	DP Amendment General Compliance
7	2024-08-15	DPA-GC REVIEW
8	2024-10-10	DPA-GC Review

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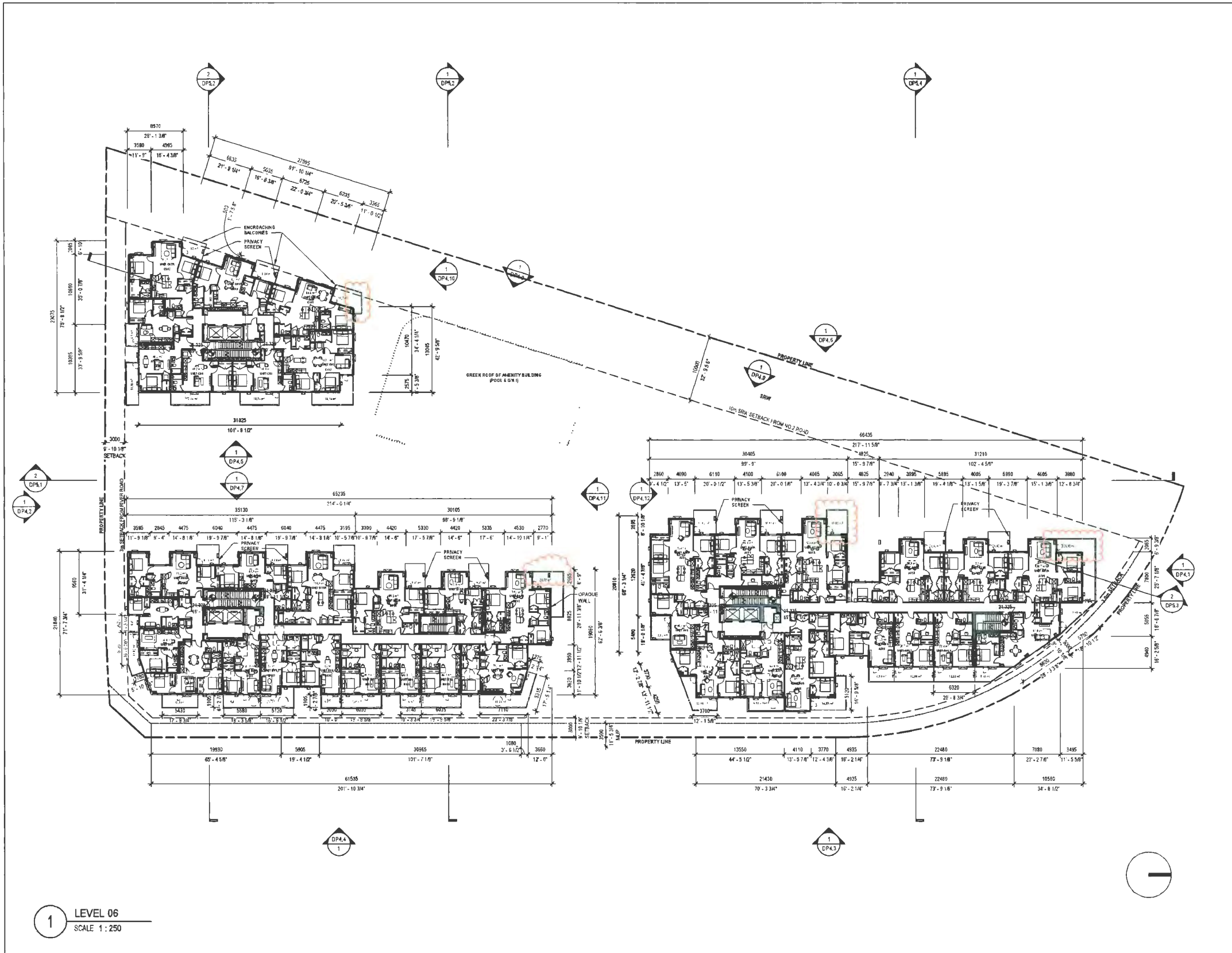


6011, 6033, 6055 RIVER ROAD  
 RIVER GREEN - LOT 1

LEVEL 2 PLAN  
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**DP2.3**

BC100179 - 2004354  
 Author: Dan River Drive\CL\_2024\AS\_251\_01.rvt



1 LEVEL 06  
SCALE 1:250

ISSUED FOR

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-02-22	ISSUE FOR REVIEW
4	2023-08-09	DP RESPONSE #2
5	2023-09-18	DP RESPONSE #3
6	2023-10-18	DP RESPONSE #4
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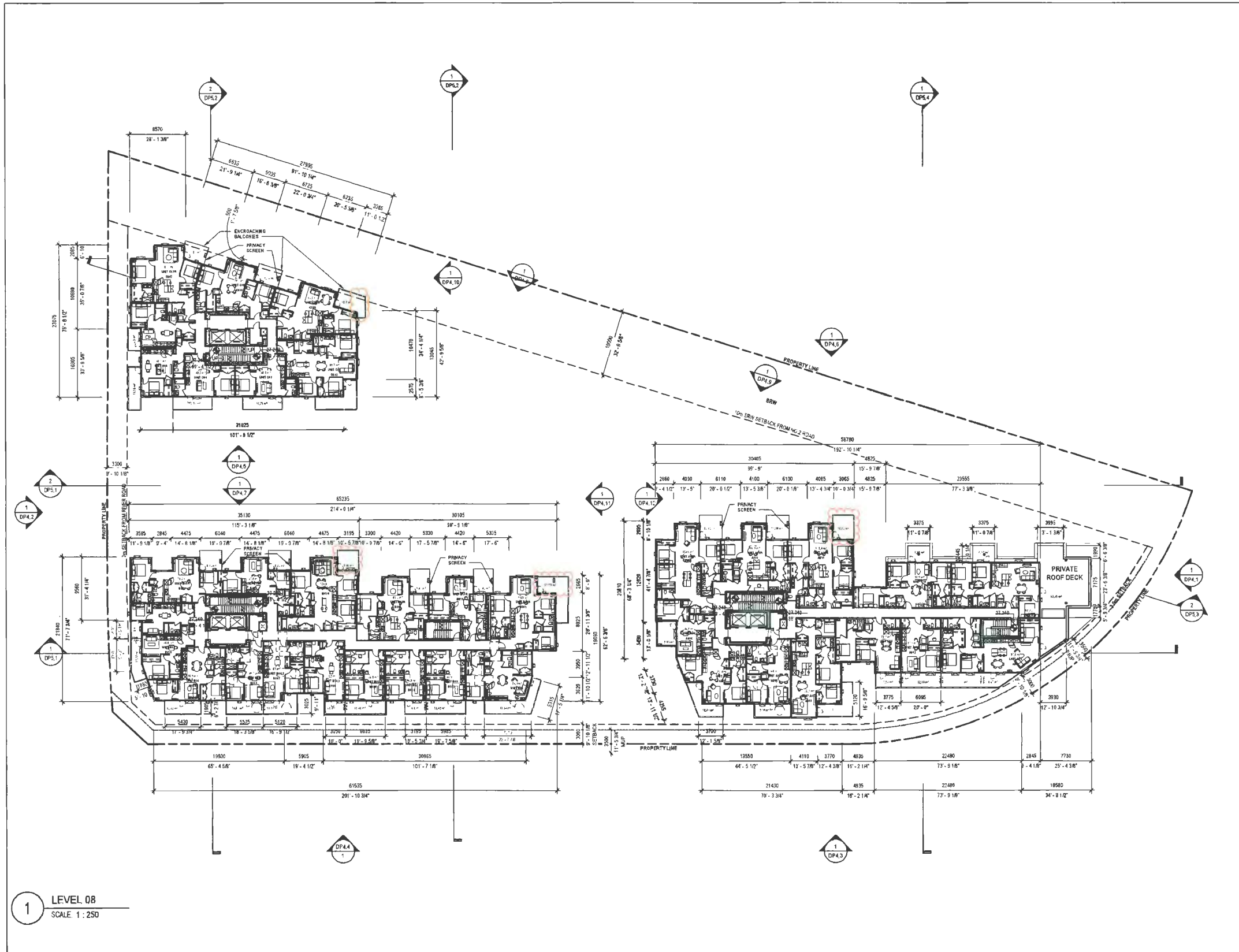


6011, 6033, 6055 RIVER ROAD  
 RIVER GREEN - LOT 1

LEVELS 3-7 PLAN

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**DP2.4**



1 LEVEL 08  
SCALE: 1 : 250

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4	2022-08-09	DP RESPONSE #2
5	2022-09-19	DP RESPONSE #3
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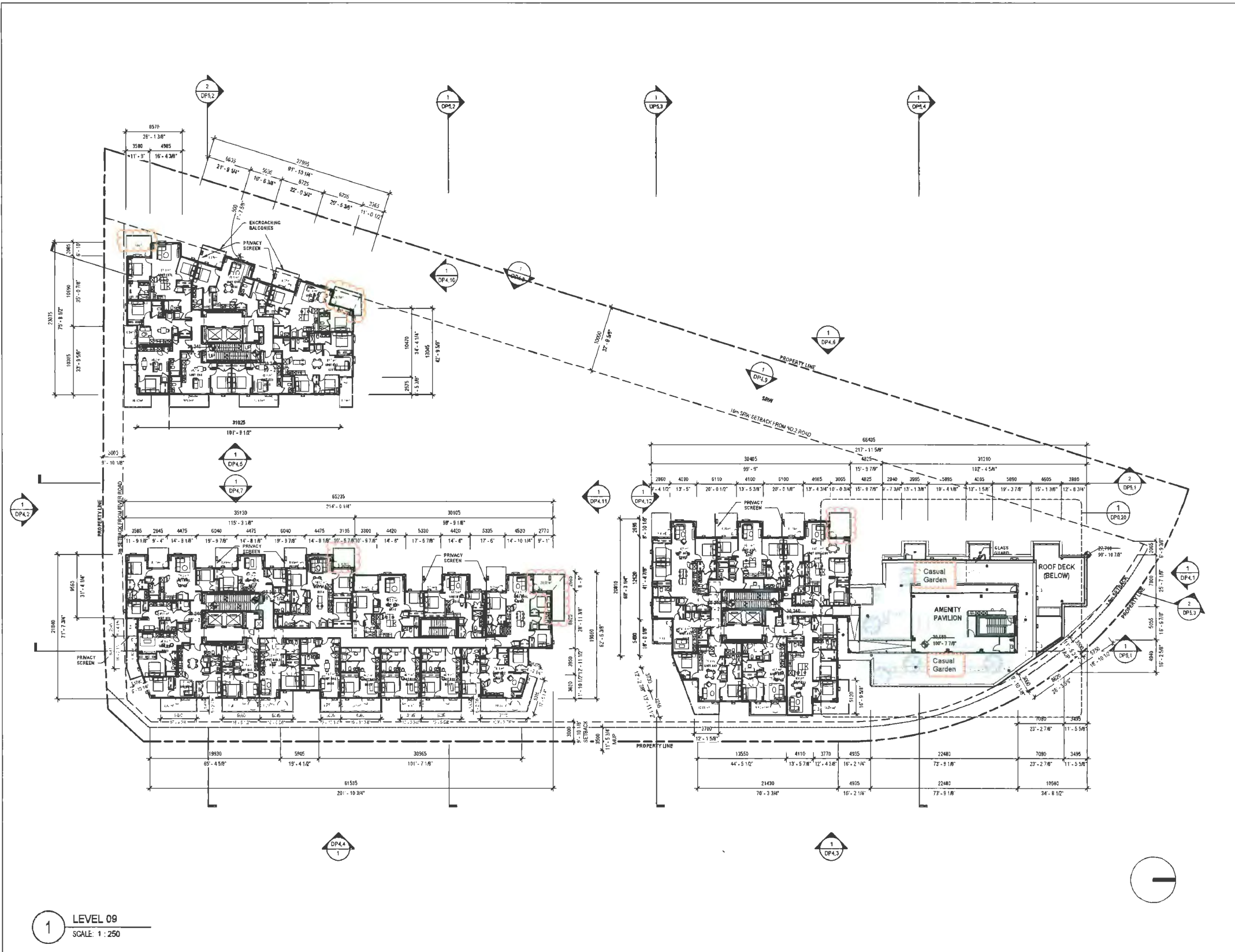


6011, 6033, 6055 RIVER ROAD  
 RIVER GREEN - LOT 1

LEVEL 8 PLAN  
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 PLOT DATE: 15/02/2024 3:55:55 PM  
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**DP2.4a**





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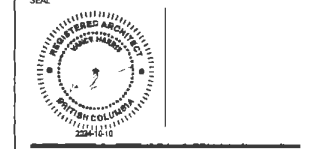
1	2022-05-08	DEVELOPMENT PERMIT APPLICATION
2	2022-12-09	DP RESPONSE #1
3	2023-02-22	ISSUE FOR REVIEW
4	2023-08-08	DP RESPONSE #2
5	2023-03-18	DP RESPONSE #3
6	2023-10-13	DP RESPONSE #4
7	2024-05-27	DP Amendment General Compliance
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**October 23, 2024**  
**DP 22-013200**  
**DP Plan #13**

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1756 W 14th Ave, Vancouver BC  
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Tel: 604.735.5982 Fax:



**6011, 6033, 6055 RIVER ROAD**  
RIVER GREEN - LOT 1

**LEVEL 9 PLAN**  
DRAWN: Author  
PLOT DATE: 10/02/2024 3:55:03 PM  
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**DP2.5**  
BC100179 - 2004354

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4	2023-03-19	DP RESPONSE #3
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8	2024-10-10	DPA-GC

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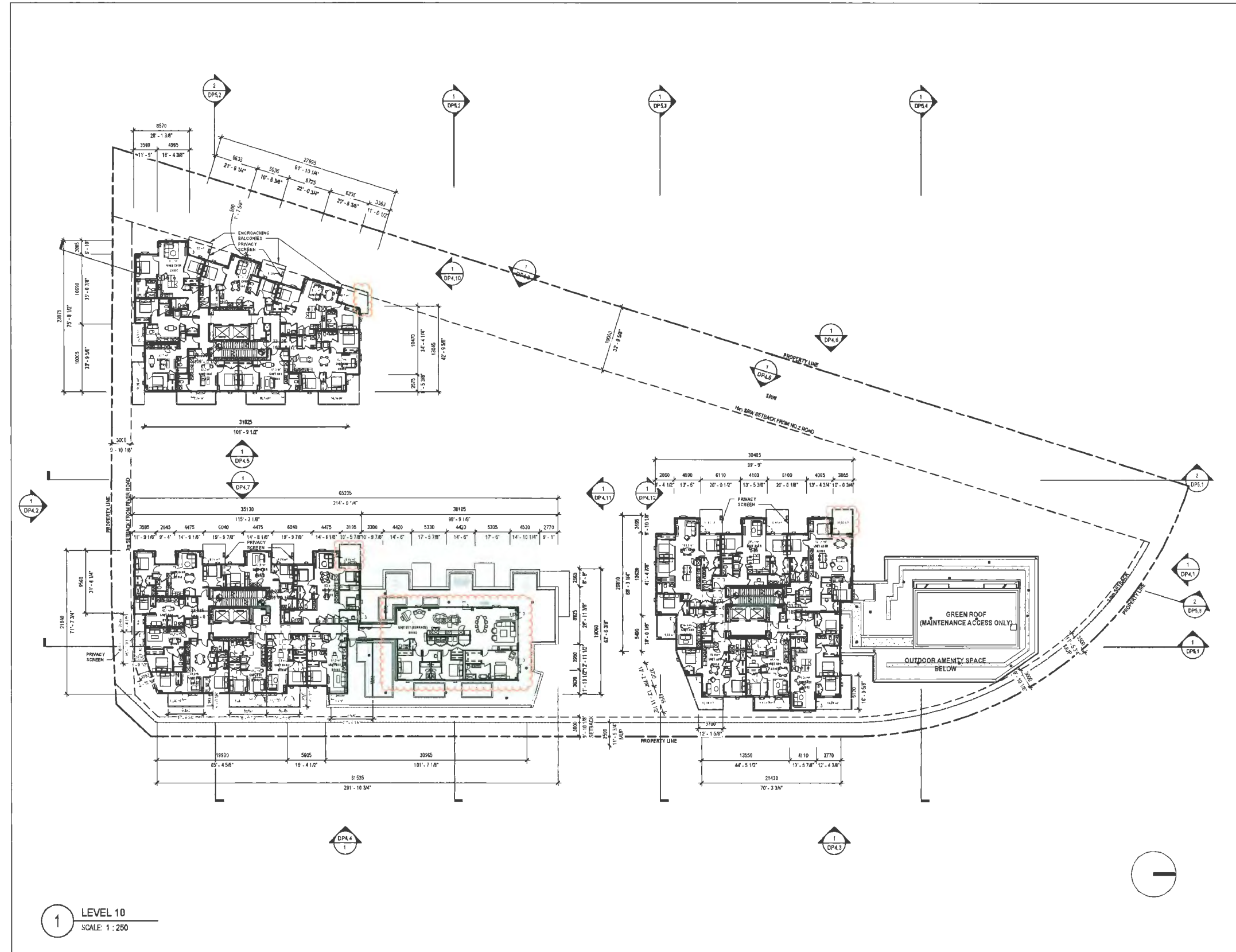
6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

LEVEL 10 PLAN

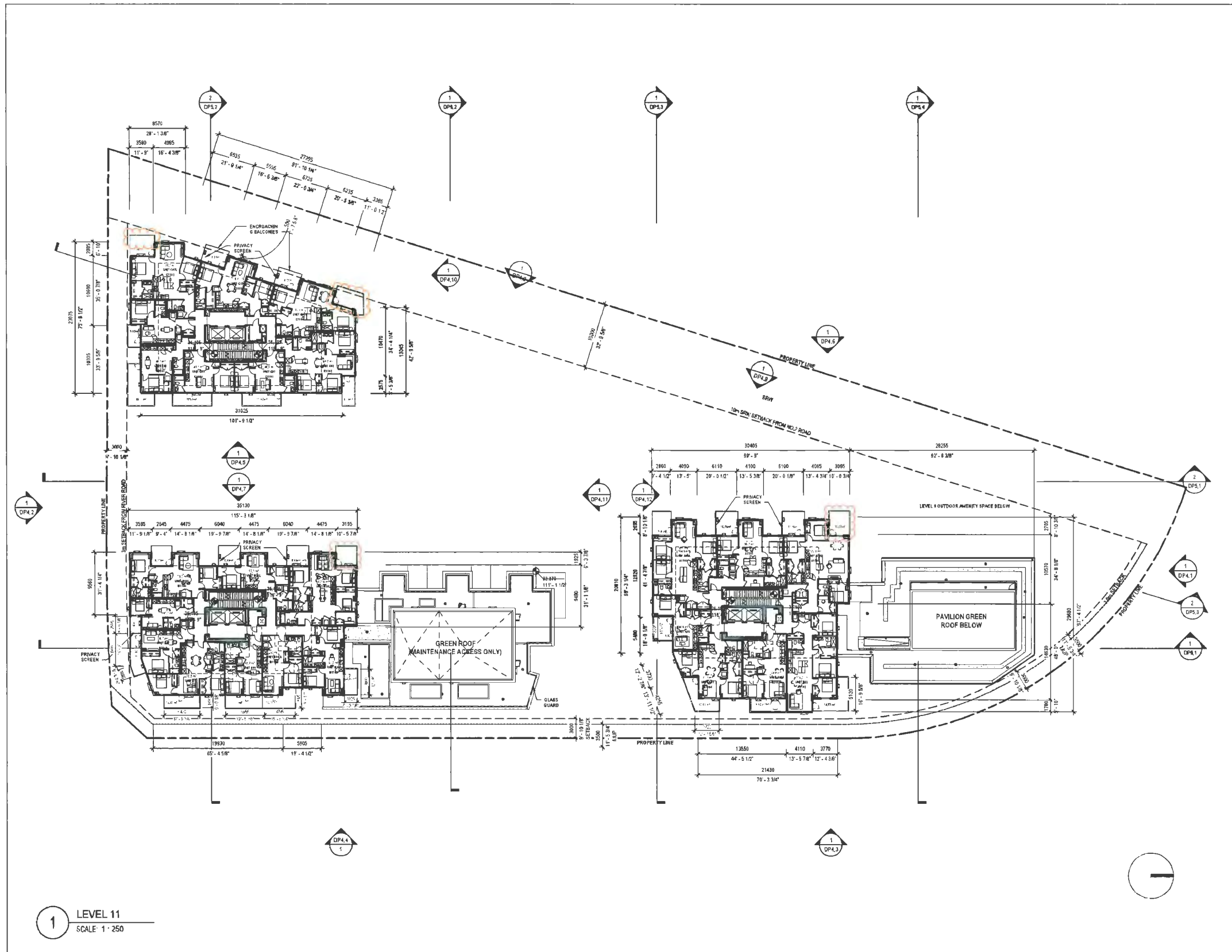
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**DP2.6**

BC100175 - 2004354



1 LEVEL 10  
SCALE: 1 : 250



1 LEVEL 11  
SCALE 1 : 250

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ISSUED FOR

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-02-22	ISSUE FOR REVIEW
4	2023-08-09	DP RESPONSE #2
5	2023-09-19	DP RESPONSE #3
6	2023-10-13	DP RESPONSE #4
7	2024-05-27	DP Amendment General Compliance
8	2024-10-10	DP4-GC Revised

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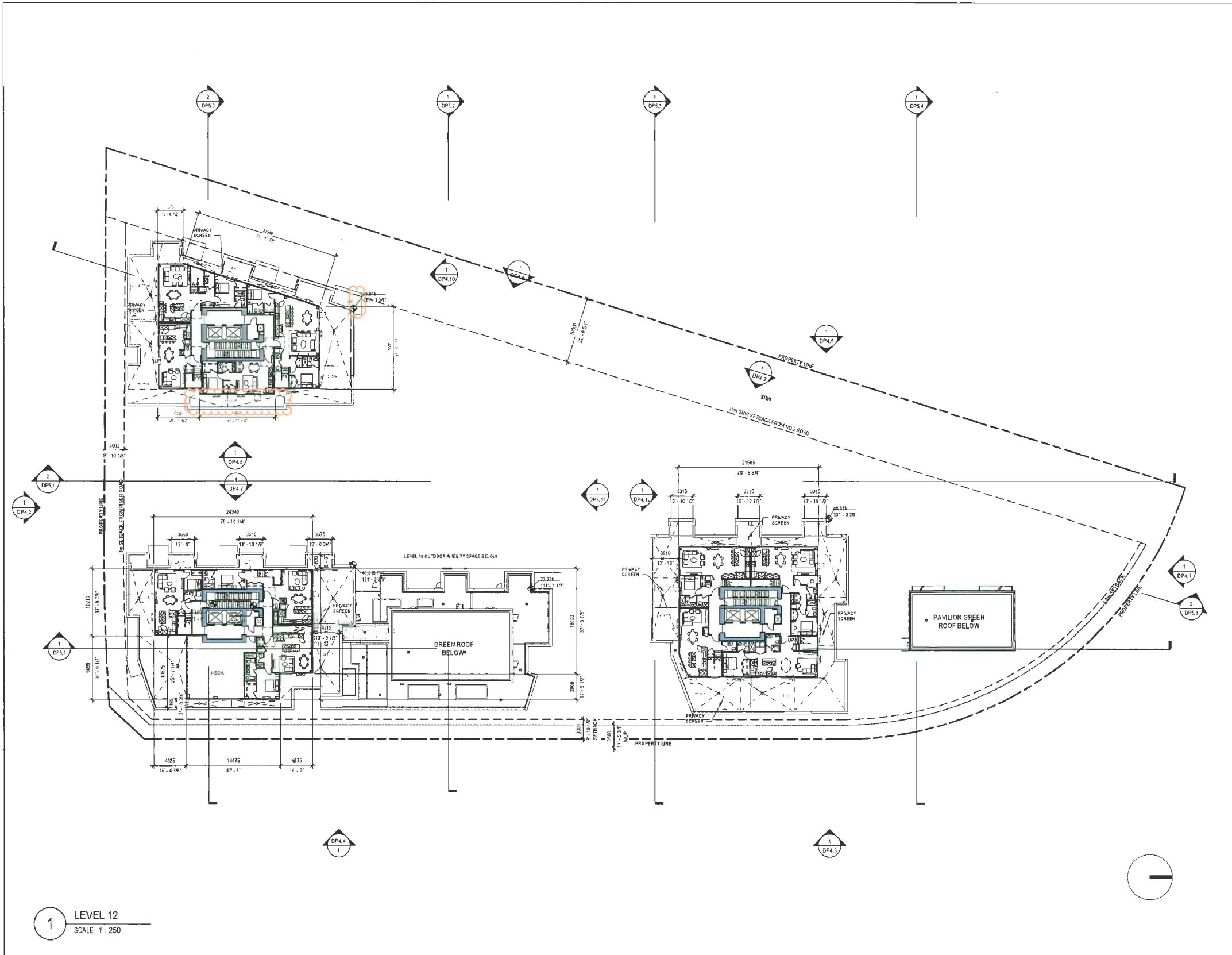
6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

LEVEL 11 PLAN

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**DP2.7**

BC100179 - 2004354



1 LEVEL 12  
SCALE: 1 : 250

ISSUED FOR

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-06	DP RESPONSE #1
3	2023-02-22	ISSUE FOR REVIEW
4	2023-06-06	DP RESPONSE #2
5	2023-09-19	DP RESPONSE #3
6	2023-10-13	DP RESPONSE #4
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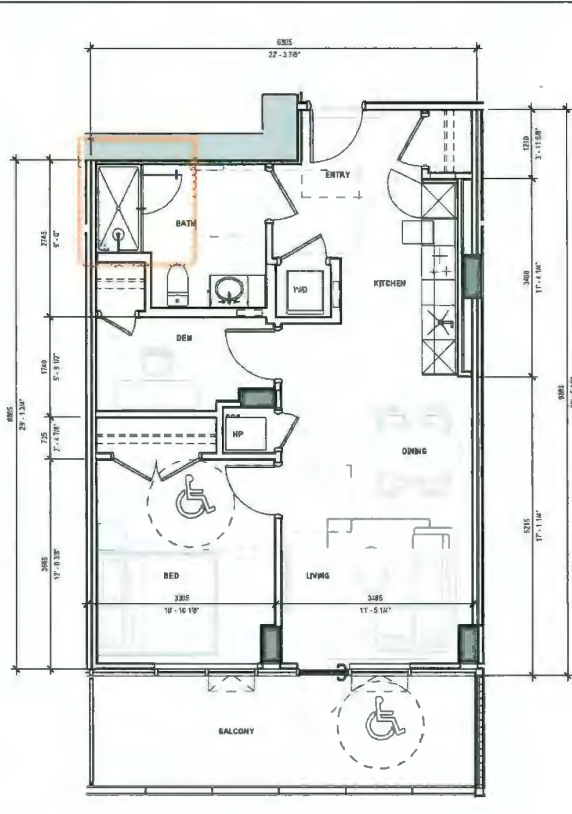
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 RIVER GREEN - LOT 1

LEVEL 12 PLAN

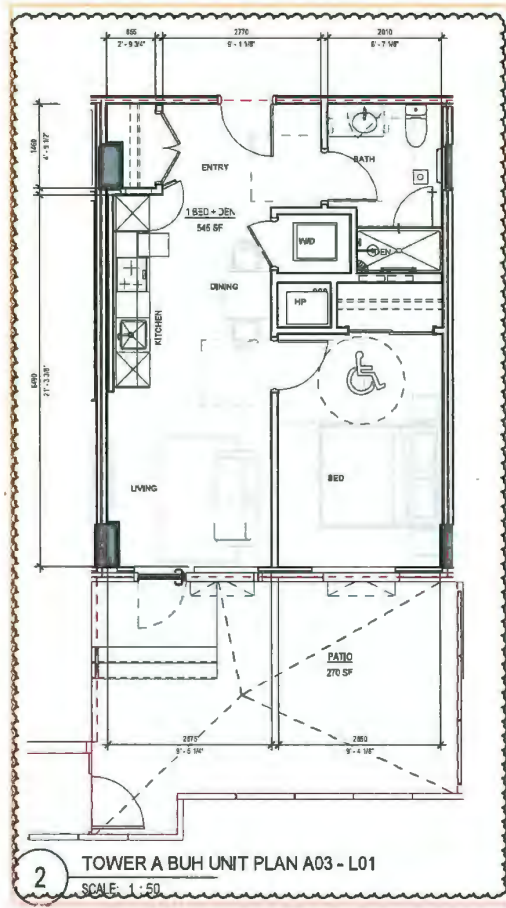
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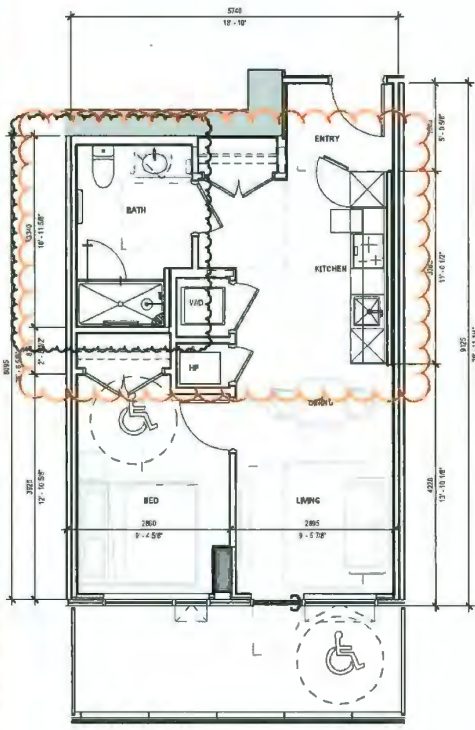
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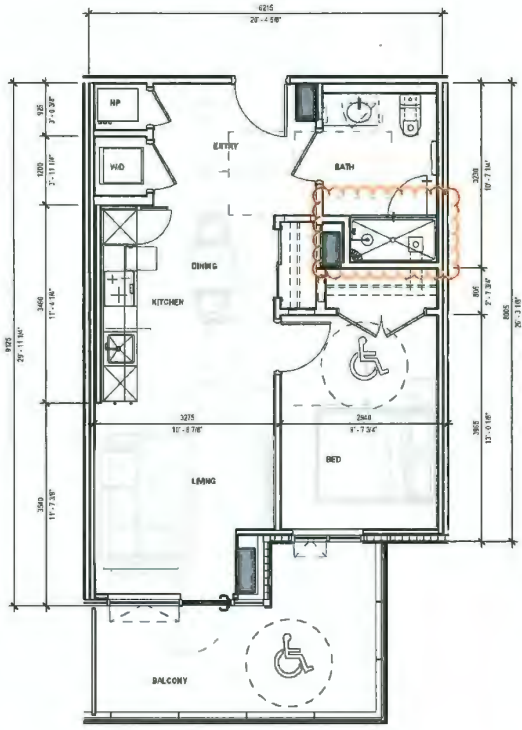
1 TOWER A - BUH UNIT PLAN A06  
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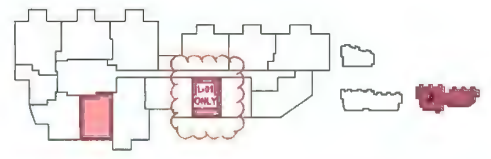
2 TOWER A BUH UNIT PLAN A03 - L01  
SCALE: 1:50



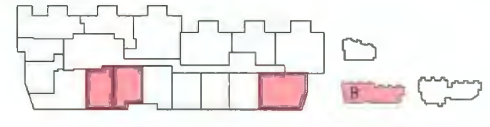
3 TOWER B - BUH UNIT PLAN B05  
SCALE: 1:50



4 TOWER B - BUH UNIT PLAN B04.2  
SCALE: 1:50



TOWER A LEVEL 01 - 11



TOWER B LEVEL 02 - 9



TOWER B LEVEL 10 & 11

**BASIC UNIVERSAL HOUSING FEATURES**

The project proposes to provide 40 dwelling units (+11% of the total unit count) that are designed to incorporate all of the Basic Universal Housing (BUH) Features as described in Section 4.16 of the Richmond Zoning Bylaw 8500; the project proposes to claim the 1.86m2 exemption for each of these dwelling units as described in Subsection 4.6.2—adhering to the guidelines regarding:

- Doors & Doorways
- Manoeuvring Space at Doorways
- Corridor Widths & Clear Area at Elevators
- Floor Surfaces
- Windows
- Outlets & Switches
- Bathrooms
- Kitchens
- Bedroom & Closets
- Patios & Balconies

ISSUED FOR:

1	2022-05-06	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-09-06	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4
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RIVER GREEN - LOT 1

**BASIC UNIVERSAL HOUSING PROVISIONS**

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**DP0.24**

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2	2023-02-09	DP RESPONSE #1
3	2023-06-05	DP RESPONSE #2
4	2023-09-15	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4
6	2024-05-27	DP Amend-in General Compliance

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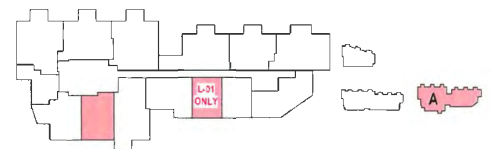
6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

**BASIC UNIVERSAL HOUSING PROVISIONS**

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BC100179 - 2004354  
Address: 2004 River Green, 2004-354 River Green, 44 River Green

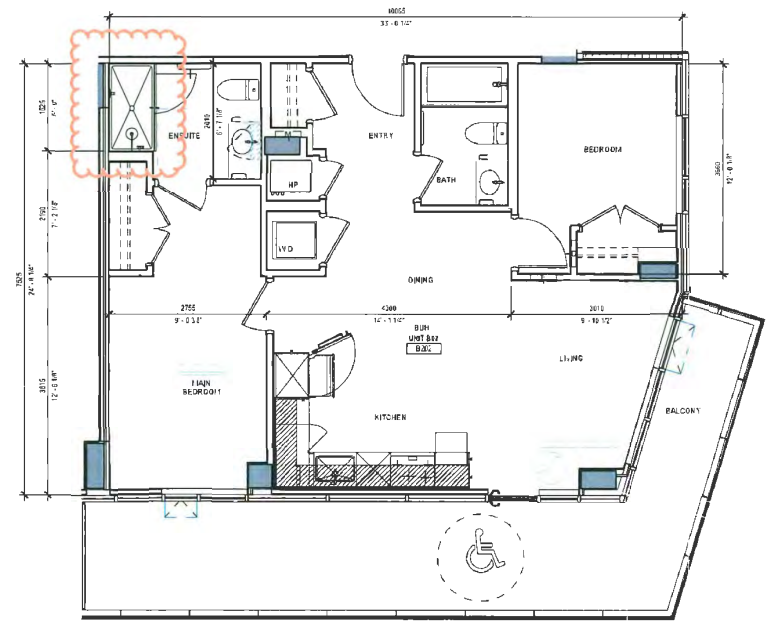


TOWER A LEVEL 01 - 11

**BASIC UNIVERSAL HOUSING FEATURES**

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- Manoeuvring Space at Doorways
- Corridor Widths & Clear Area at Elevators
- Floor Surfaces
- Windows
- Outlets & Switches
- Bathrooms
- Kitchens
- Bedroom & Closets
- Patios & Balconies



5 TOWER B - BUH UNIT PLAN B02  
SCALE: 1 : 50

ISSUED FOR

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3	2023-06-09	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4
6	2024-05-27	DP Amendment General Compliance
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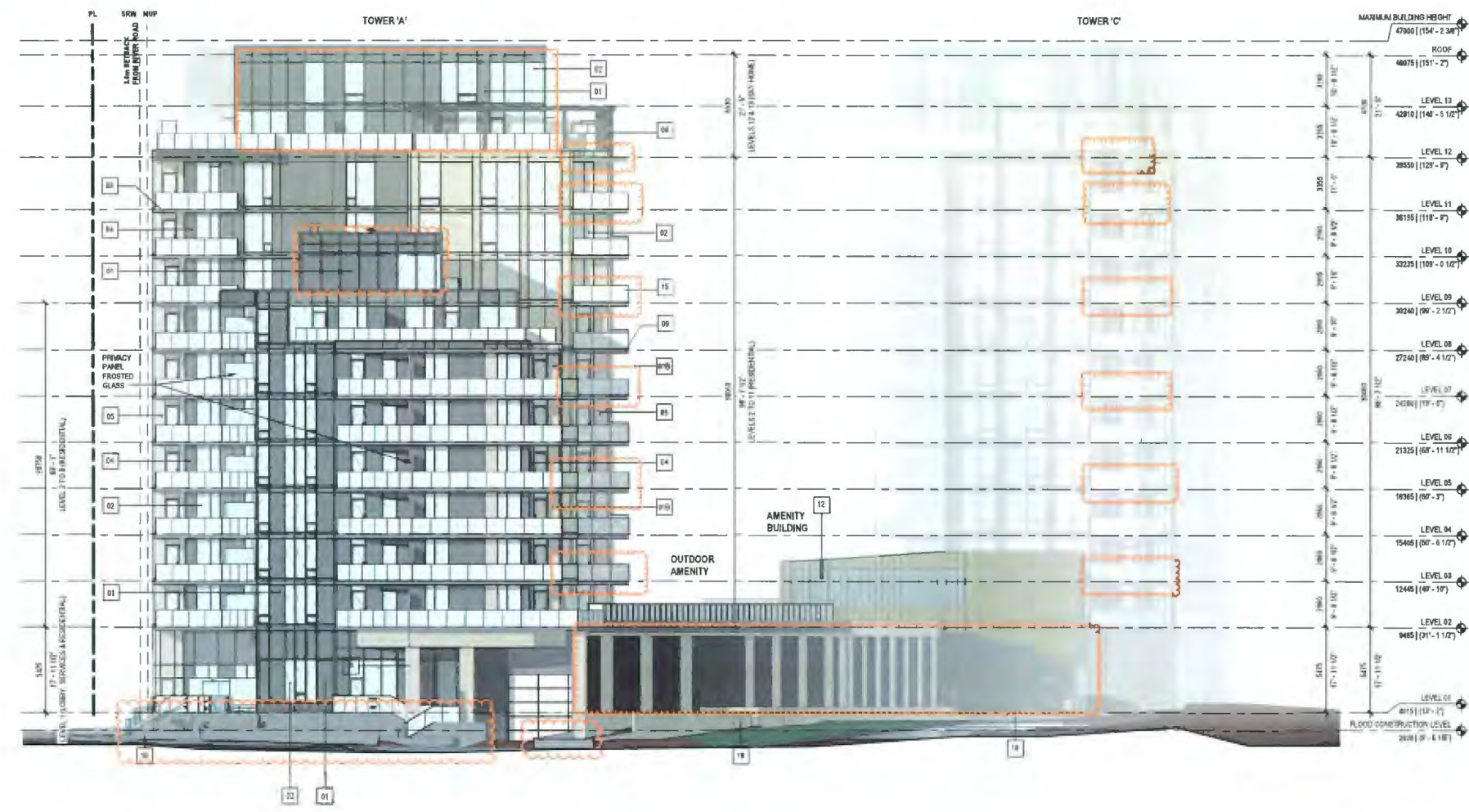
6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

**NORTH ELEVATIONS**

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PLOT DATE: 10/22/2024 1:09:01 PM

**DP4.1**

BC100179 - 2004354  
Accession: Plan 020404\_020404\_01\_01.dwg



**1 NORTH ELEVATION / TOWER A & C**  
SCALE: 1 : 150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01 HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS - BRASS BRUSHING	06 STONE CLADDING PIETRA GREY, HONED	12 CLEAR GLAZING WINDOW WALL SYSTEM 4 - 2000 (100) SERIES WITH CLEAR GLAZING
02 HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS - BRASS BRUSHING	07 STONE TILE PATINA IN BRASS, HONED AT ENTRY LOBBIES SANDSTONE	13 SOLID COLOUR BALCONY FACIA FINIT SANDSTONE
03 CLEAR GLAZING WINDOW WALL SYSTEM BLACK CHARCOAL HOLLOW	08 PAINTED CONCRETE MATCH BACK EXTERIOR GRAY PANEL	14 ANTI-CORROSION COATING - ALUMINUM
04 PREFINISHED METAL LOUVER MATCH BLACK CHARCOAL EDGE	09 PAINTED CONCRETE - LIGHT GREY	15 CLEAR GLAZING ALUMINUM FRAME - CLEAR ANODIZED ALUMINUM MULLIONS
05 PREFINISHED METAL PANEL BLACK CHARCOAL	10 PAINTED CONCRETE MATCH BEIGE PANEL	16 CURTAIN WALL SYSTEM SSG - CLEAR GLAZING - CLEAR ANODIZED BACK BODY CHARCOAL FLASHINGS (JG) 2000 (100) SERIES
06 PREFINISHED METAL PANEL SANDSTONE	11 GALVANIZED STEEL LIVER FOR PLUMBING SUPPORT	17 NOT USED
		18 EXPOSED ARCHITECTURAL CONCRETE

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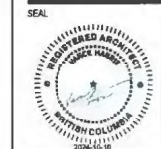
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6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

SOUTH ELEVATION

DRAWN: Author CHECKED: Checka  
PLOT DATE: 10/23/2024 11:56 PM

DP4.2

BC100179 - 2004354

AutoCAD 2024 Plot: 10/23/2024 11:56 PM



1 SOUTH ELEVATION / TOWER B & C  
SCALE: 1 : 150

EXTERIOR ELEVATIONS FINISHES LEGEND

01	HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS #4478 EQUINOX	06	STONE CLADDING PETRA GREY, HONEY COMB	12	CLEAR GLAZING WINDOW WALL SYSTEM - MONOCLIC OPTIC (CLEAR) WITH VERTICAL CHANNELS
02	HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS - #4431 SANDSTONE	07	STONE TILE FATIMA BSA, HONEY AT ENTRY LOBBY SANDSTONE	13	SOLID COLOR BALCONY FASCIA FINIT SANDSTONE
03	CLEAR GLAZING WINDOW WALL SYSTEM BLACK CHARCOAL HOLLOW	08	PAINTED CONCRETE MATCH BLACK CHARCOAL GRAY PANEL	14	CLEAR GLAZING WINDOW WALL SYSTEM - MONOCLIC OPTIC (CLEAR) WITH VERTICAL CHANNELS
04	PREFINISHED METAL PANEL MATCH BLACK CHARCOAL EDGE	09	PAINTED CONCRETE - LIGHT GREY	15	CLEAR GLAZING ALUMINUM PANELING - CLEAR ANODIZED ALUMINUM HOLLOW
05	PREFINISHED METAL PANEL BLACK CHARCOAL	10	PAINTED CONCRETE MATCH BEIGE PANEL	16	CURTAIN WALL SYSTEM SSG - CLEAR GLAZING - CLEAR ANODIZED BACK BODY - CHARCOAL FINISHING
06	PREFINISHED METAL PANEL SANDSTONE	11	SALUMBER STEEL LESH FOR PLANTING SUPPORT	17	NOT USED
				18	EXPOSED ARCHITECTURAL CONCRETE



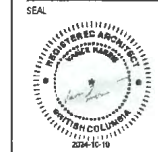
ISSUED FOR

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1708 W 14th Ave, Vancouver BC  
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V6J 4G0  
Tel: 604.738.8362 Fax:



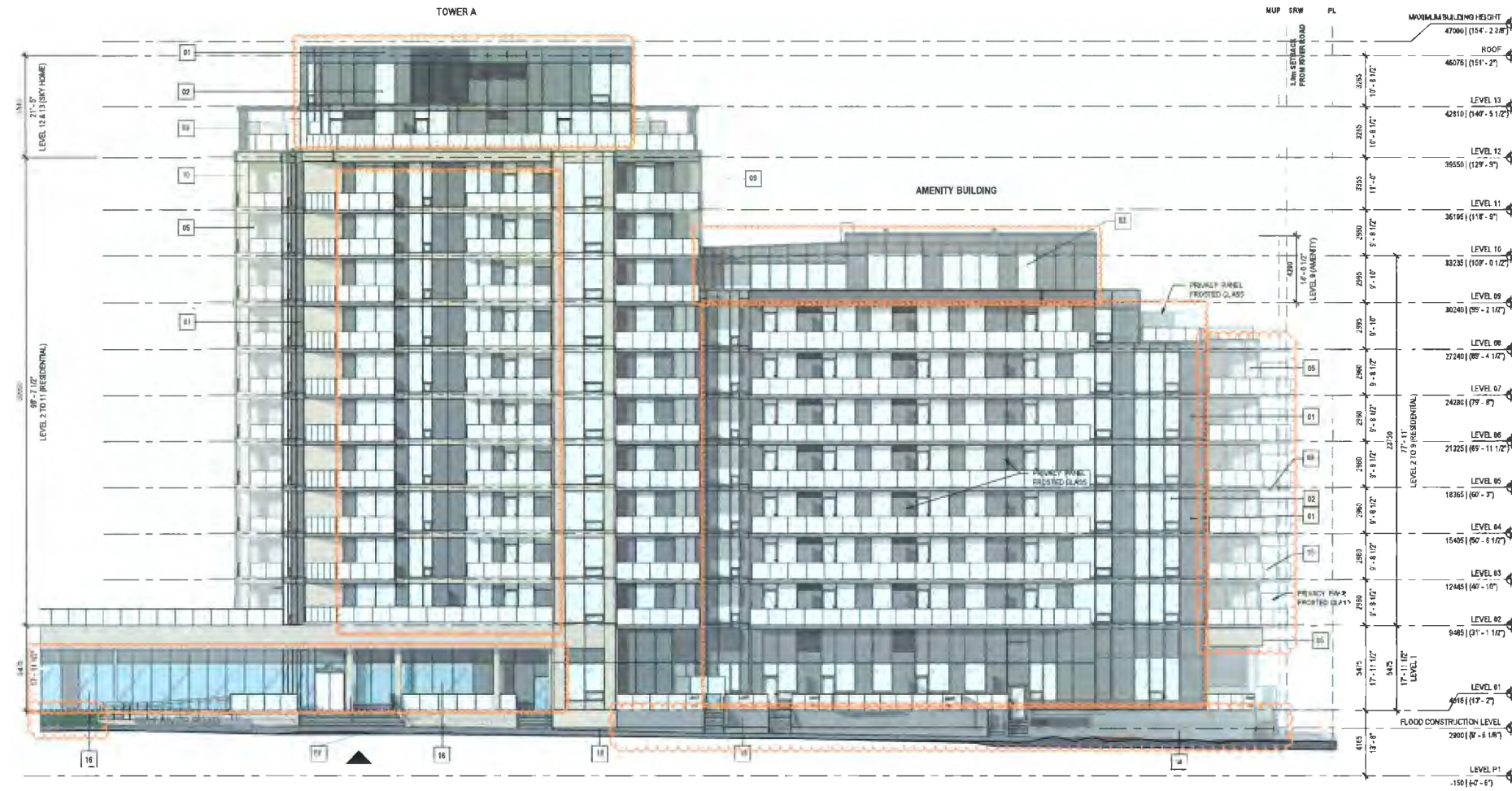
6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

EAST ELEVATION - TOWER A

DRAWN: Author CHECKED: Checker  
PLOT DATE: 10/23/2024 1:12:36 PM

**DP4.3**

BC100179 - 2004354



1 EAST ELEVATION TOWER A  
SCALE: 1 : 150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01 HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS - #A1778 EQUINOX	06 STONE CLADDING PIETRA GREY, HONED	12 CLEAR GLAZING WINDOW WALL SYSTEM 4
02 HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS - #A1421 SANDSTONE	07 STONE TILE FATIMA SPA, HONED AT ENTRY LOBBIES SANDSTONE	13 SOLID COLOR BALCONY FASCIA RUST SANDSTONE
03 CLEAR GLAZING WINDOW WALL SYSTEM BLACK CHARCOAL FINISHES	08 PAINTED CONCRETE MATCH BLACK CHARCOAL GRAY PANEL	14 PAINTED CONCRETE MATCH BLACK CHARCOAL
04 PREFINISHED METAL LOWER MATCH BLACK CHARCOAL BEIGE	09 PAINTED CONCRETE - LIGHT GREY	15 CLEAR GLAZING ALUMINUM FINISH - CLEAR ANODIZED ALUMINUM FINISHES
05 PREFINISHED METAL PANEL BLACK CHARCOAL	10 PAINTED CONCRETE MATCH BEIGE PANEL	16 CURTAIN WALL SYSTEM 550 CLEAR GLAZING CLEAR ANODIZED BACK BODY CHARCOAL FINISHES
06 PREFINISHED METAL PANEL SANDSTONE	11 GALVANIZED STEEL MESH FOR PLANTING SUPPORT	17 NOT USED
		18 EXPOSED ARCHITECTURAL CONCRETE

ISSUED FOR

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2022-02-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-08-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4
6	2024-05-27	DP Amendment General Compliance
7	2024-08-15	DPA-GC RENEW
8	2024-10-10	DPA-GC Revised

October 23, 2024  
DP 22-013200  
DP Plan #25

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**CFL**  
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SEAL



6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

**EAST ELEVATION - TOWER B**

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PLOT DATE: 10/23/2024 11:43:36 PM

**DP4.4**

BC100179 - 2004354

AutoCAD Plot: River Green\2024\20240815\_DP4.4\_RiverGreen.dwg



**1 EAST ELEVATION TOWER B**  
SCALE: 1 : 150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01 HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLAZE - #A177E08B03	06 STONE CLADDING PETRA GREY, HONED	12 CLEAR GLAZING WINDOW WALL SYSTEM & WINDOW DETAIL (INCLUDE WITH SYSTEM DRAWING)
02 HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLAZE - #A141A SANDSTONE	07 STONE TILE PATINA BRN, HONED AT ENTRY LOBBIES SANDSTONE	13 SOLID COLOUR BALCONY FASCIA FINIT SANDSTONE
03 CLEAR GLAZING WINDOW/WALL SYSTEM BLACK CHARCOAL MILLERS	08 PAINTED CONCRETE MATCH BLACK CHARCOAL GRAY PANEL	14 ANODIZED ALUMINUM RAILINGS - CLEAR ANODIZED ALUMINUM MULLIONS
04 PREFINISHED METAL LOWER MATCH BLACK CHARCOAL BRIDGE	09 PAINTED CONCRETE - LIGHT GREY	15 CLEAR GLAZING ALUMINUM RAILING - CLEAR ANODIZED ALUMINUM MULLIONS
05 PREFINISHED METAL PANEL BLACK CHARCOAL	10 PAINTED CONCRETE MATCH BEBBE PANEL	16 CURTAIN WALL SYSTEM: ESG; CLEAR GLAZING; CLEAR ANODIZED BACK BODY; CHARCOAL FINISHES; 2100 CLEAR; 1200 PANELED; 1200 PANELED
06 PREFINISHED METAL PANEL SANDSTONE	11 GALVANIZED STEEL MESH FOR PLANTING SUPPORT	17 NOT USED
		18 EXPOSED ARCHITECTURAL CONCRETE

ISSUED FOR

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-09-15	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4
6	2024-05-27	DP Amendment General Compliance
7	2024-08-15	DPA-GC REVIEW
8	2024-10-10	DPA-GC Revised

**October 23, 2024**  
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**DP Plan #26**

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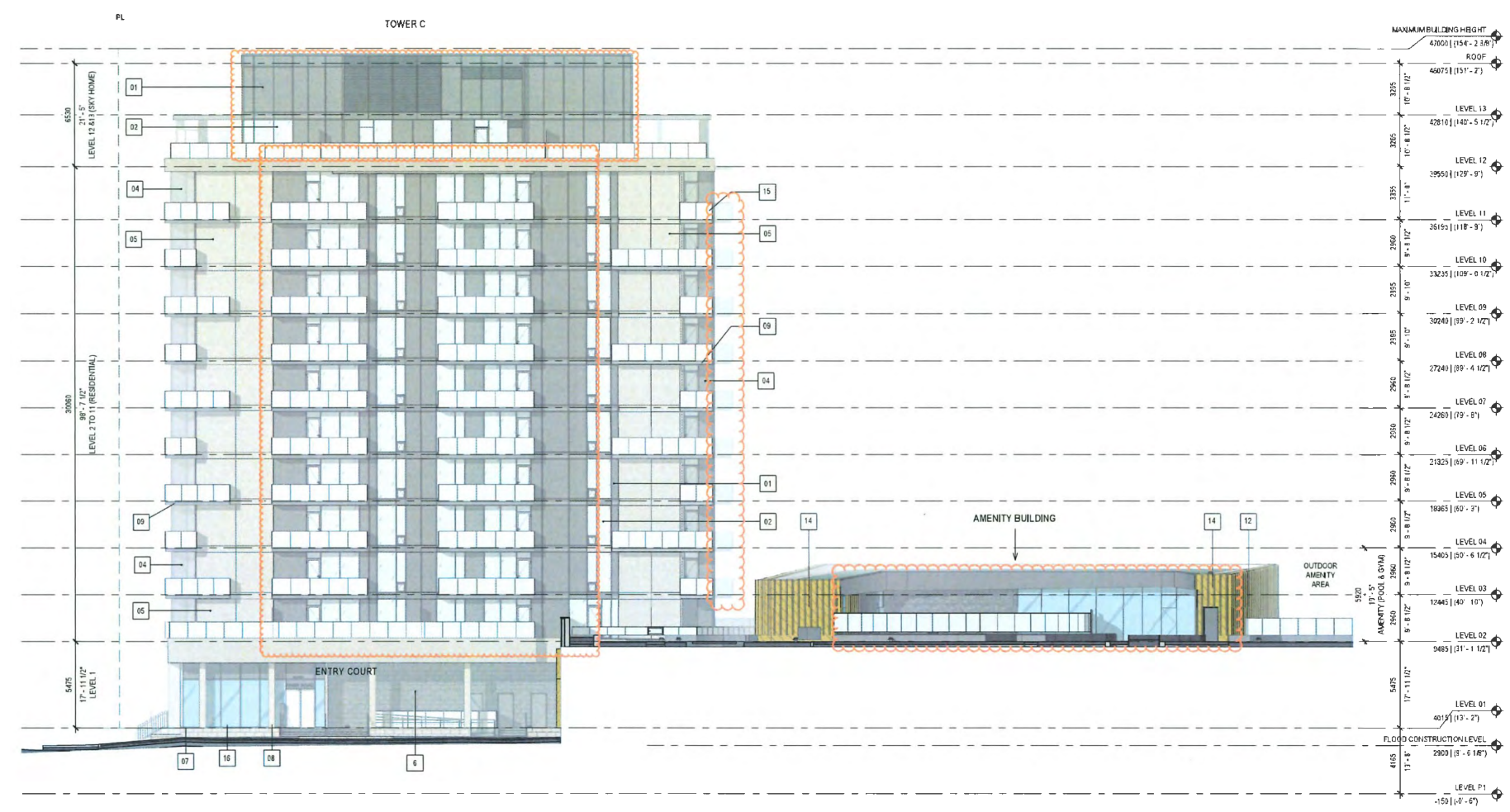
6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

**EAST ELEVATION - TOWER C**

DRAWN: Author PLOT DATE: 10/23/2024 11:56 PM CHECKED: Checker

**DP4.5**

BC100179 - 2004354



**1 EAST ELEVATION TOWER C**  
SCALE 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01 HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS #1417E EQUINOX	06 STONE CLADDING PIETRA GREY, HONED	12 CLEAR GLAZING WINDOW WALL SYSTEM & WINDOW UNIT WITH CLEAR ANTI-REFLECTIVE SANDSTON
01B HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS #14-242E SANDSTONE	07 STONE TILE FATIJA BIA, HONED AT ENTRY LOBBIES SANDSTONE	13 SOLID COLOUR BALCONY FACIA FRUIT SANDSTONE
02 CLEAR GLAZING WINDOW WALL SYSTEM BLACK CHARCOAL MULLIONS	08 PAINTED CONCRETE MATCH BLACK CHARCOAL GRAY PANEL	14 ANODIZED ALUMINIUM FINISH - BRASS EFFECT
03 PREFINISHED METAL LOUVER MATCH BLACK CHARCOAL BEIGE	09 PAINTED CONCRETE - LIGHT GREY	15 CLEAR GLAZING ALUMINIUM FINISH CLEAR ANODIZED ALUMINIUM MULLIONS
04 PREFINISHED METAL PANEL BLACK CHARCOAL	10 PAINTED CONCRETE MATCH BEIGE PANEL	16 CURTAIN WALL SYSTEM (CG) CLEAR GLAZING CLEAR ANODIZED BACK BODY CHARCOAL FLASHINGS AND GLAZING GASKET PROTECTED
05 PREFINISHED METAL PANEL SANDSTONE	11 GALVANIZED STEEL I-BEAM FOR PLANTING SUPPORT	17 NOT USED
		18 EXPOSED ARCHITECTURAL CONCRETE

ISSUED FOR

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-08-15	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4
6	2024-05-27	DP Amendment General Compliance
7	2024-05-15	DPA-GC REVIEW
8	2024-10-10	DPA-GC Revised

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DP Plan #27

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2005 W 4th AVE/AVE/AVE VANCOUVER BC  
V6U 1V3  
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SEAL



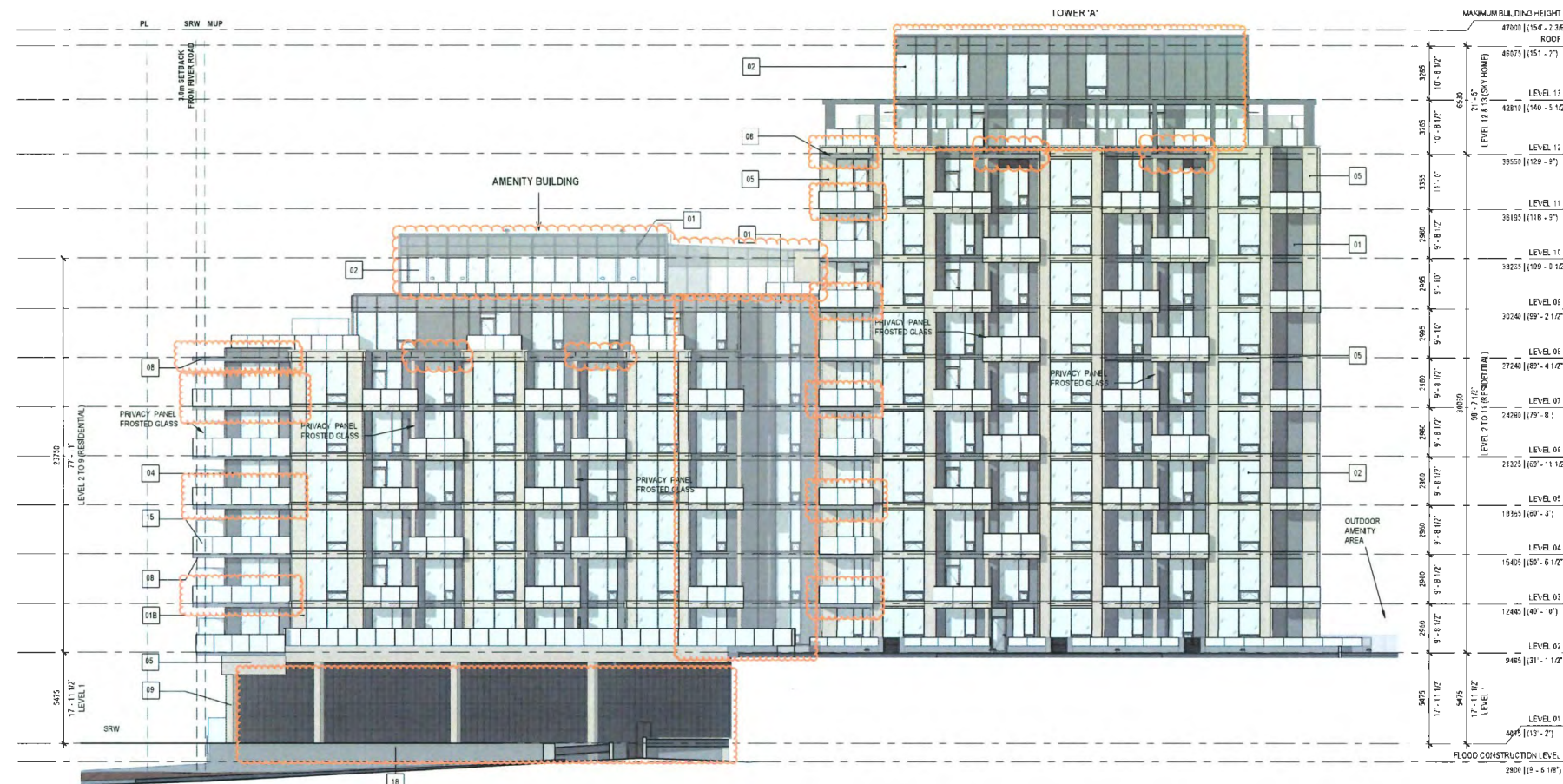
6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - .01 1

WEST ELEVATION - TOWER A

DRAWN Author P. DATE 10/23/24 1:38 PM CHECKED Checker

**DP4.6**

BC100175-2004354



1 WEST ELEVATION TOWER A  
SCALE 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01	HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS - #4175 EQUINOX	06	STONE CLADDING PETRA GREY, HONED	12	CLEAR GLAZING WINDOW WALL SYSTEM & CURTAIN WALL SYSTEM WITH VERTICAL SLATS
11B	HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS - #A1431 SANDSTONE	07	STONE TILE FATIJA BRA, HONED AT ENTRY LOBBIES SANDSTONE	13	SOLID COLOUR BALCONY FASCIA PINK SANDSTONE
02	CLEAR GLAZING WINDOW WALL SYSTEM BLACK CHARCOAL MULLIONS	08	PAINTED CONCRETE MATCH BACK CHARCOAL GRAY PANEL	14	ANGLED ALU. MULLIONS - BRASS EFFECT
03	PREFINISHED METAL LOUVER MATCH BLACK CHARCOAL BEIGE	09	PAINTED CONCRETE - LIGHT GREY	15	CLEAR GLAZING ALU. W/SLAT SAILING CLEAR ANODIZED ALU. BRUSH FINISH
04	PREFINISHED METAL PANEL BLACK CHARCOAL	10	PAINTED CONCRETE MATCH BEIGE PANEL	16	CURTAIN WALL SYSTEM ESD: CLEAR GLAZING CLEAR ANODIZED BACK BODY CHARCOAL FLASHINGS AND GLAZING SYSTEM SCOTCHWOOD
05	PREFINISHED METAL PANEL SANDSTONE	11	GALVANIZED STEEL MESH FOR PLANTING SUPPORT	17	NOT USED
				18	EXPOSED ARCHITECTURAL CONCRETE

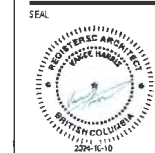
ISSUED FOR:

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-06-09	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #4
5	2023-10-13	DP RESPONSE #4
6	2024-05-27	DP Amendment General Compliance
7	2024-08-15	DPA-GC REVIEW
8	2024-10-10	DPA-GC Revised

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DP 22-013200  
DP Plan #28

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2005 W 46 AVENUE VANCOUVER BC  
V6J 1K3  
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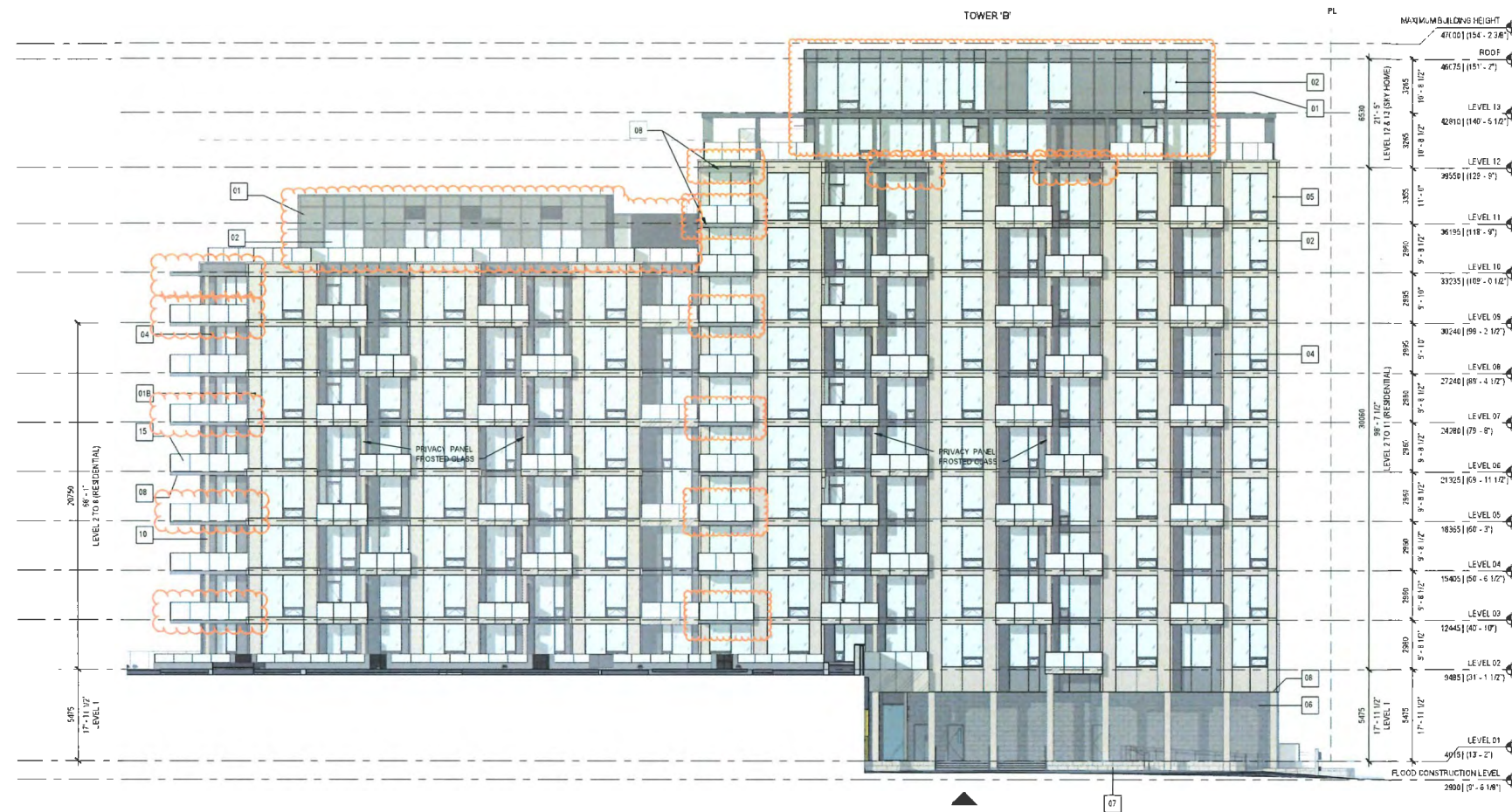
6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

WEST ELEVATION - TOWER B

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PLOTDATE 19/02/24 11:55 PM

**DP4.7**

BC100175 - 2004354



1 WEST ELEVATION TOWER B  
SCALE 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

<p>01 HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS #A-6176 EQUINOX</p> <p>01B HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS #A-7432 SANDSTONE</p> <p>02 CLEAR GLAZING WINDOW/WALL SYSTEM BLACK CHARCOAL MULLIONS</p> <p>03 PREFINISHED METAL LOUVER MATCH BLACK CHARCOAL BEIGE</p> <p>04 PREFINISHED METAL PANEL BLACK CHARCOAL</p> <p>05 PREFINISHED METAL PANEL SANDSTONE</p>	<p>06 STONE CLADDING PIETRA GREY, HONED</p> <p>07 STONE TILE FATIUA BRA, HONED AT ENTRY LOBBIES SANDSTONE</p> <p>08 PAINTED CONCRETE MATCH BLACK CHARCOAL GRAY PANEL</p> <p>09 PAINTED CONCRETE - LIGHT GREY</p> <p>10 PAINTED CONCRETE MATCH BEIGE PANEL</p> <p>11 GALVANIZED STEEL MESH FOR PLANTING SUPPORT</p>	<p>12 CLEAR GLAZING WINDOW/WALL SYSTEM &amp; CURTAIN WALL SYSTEM (SEE CLEAR GLAZING CLEAR ANODIZED ALUMINUM FRAMING)</p> <p>13 SOLID COLOUR BALCONY FASCIA FRIT SANDSTONE</p> <p>14 ANODIZED ALUMINUM FRAMING - BRASS EFFECT</p> <p>15 CLEAR GLAZING ALUMINUM FRAMING - CLEAR ANODIZED ALUMINUM MULLIONS</p> <p>16 CURTAIN WALL SYSTEM (SEE CLEAR GLAZING CLEAR ANODIZED BODY CHARCOAL FLASHINGS)</p> <p>17 NOT USED</p> <p>18 EXPOSED ARCHITECTURAL CONCRETE</p>
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**DIALOG**

**PFS STUDIO**  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**ASPAC**  
DEVELOPMENTS

ISSUED FOR

1	2022-05-08	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-05-09	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4
6	2024-05-27	DP Amendment General Compliance
7	2024-06-15	DPA-OC REPAIR
8	2024-10-10	DPA-OC Revised

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VAN 1Y3  
Tel: 604.738.6552 Fax:

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6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

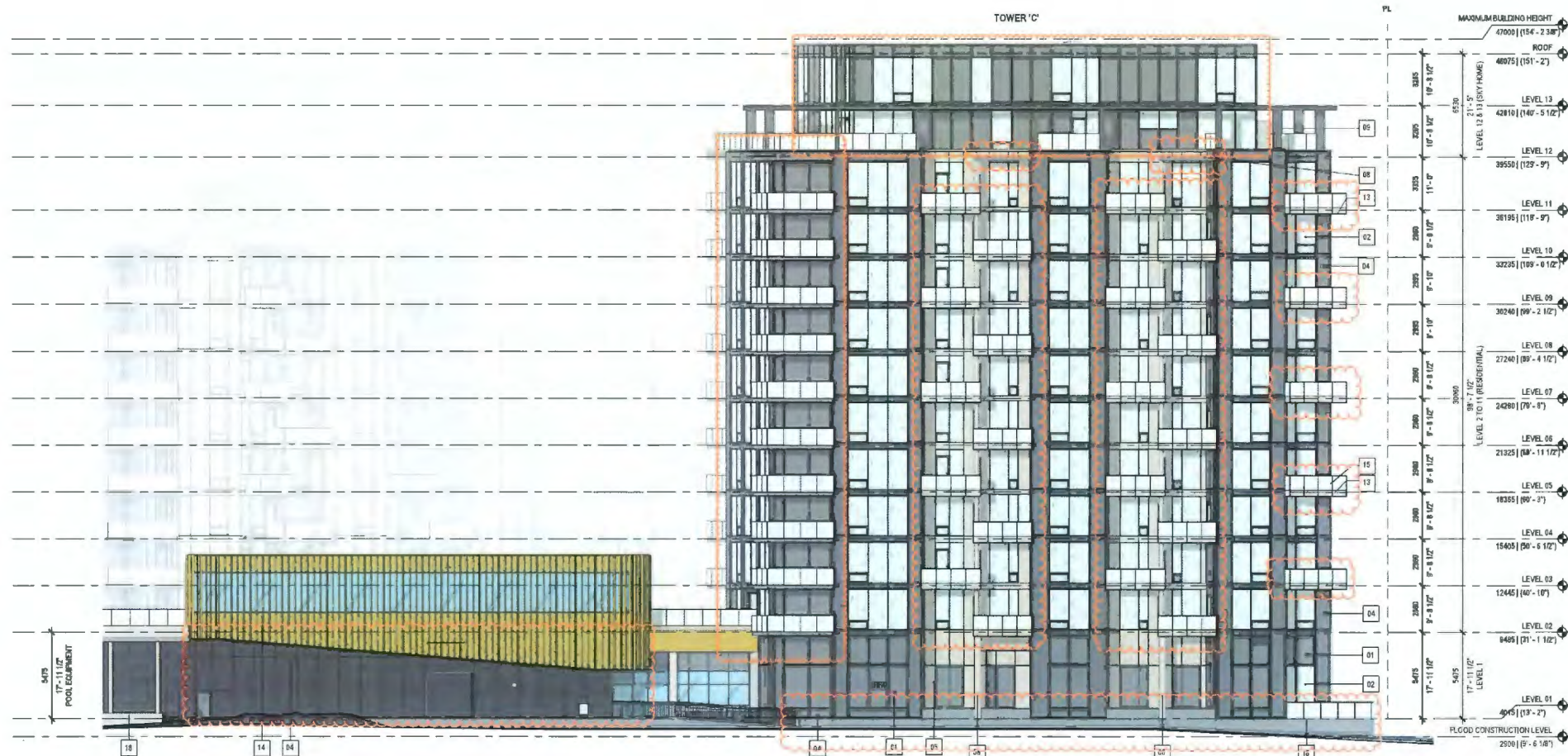
WEST ELEVATION - TOWER C

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PLOT DATE: 10/23/2024 1:20:00 PM

**DP4.8**

BC100179 - 2004354

Autodesk Revit 2024.1.0.0



1 WEST ELEVATION TOWER C  
SCALE: 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01 HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS - #4479 ENBOUY	06 STONE CLADDING PIETRA GREY, HONEY	12 CLEAR GLAZING WINDOW WALL SYSTEM & WEATHERING - METAL - BLACK CHARCOAL MULLIONS
02 HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS - #4479 SANDSTONE	07 STONE TILE PATRIA USA, HONEY AT ENTRY LOBBIES SANDSTONE	13 SOLID COLOR BALCONY FACIA FRUIT SANDSTONE
03 CLEAR GLAZING WINDOW WALL SYSTEM - BLACK CHARCOAL MULLIONS	08 PAINTED CONCRETE MATCH BLACK CHARCOAL GRAY PANEL	14 ANODIZED ALUMINUM FINISH - ANODIZED
04 PREFINISHED METAL LOUVER MATCH BLACK CHARCOAL	09 PAINTED CONCRETE - LIGHT GREY	15 CLEAR GLAZING ALUMINUM RAILING - CLEAR ANODIZED ALUMINUM MULLIONS
05 PREFINISHED METAL PANEL - BLACK CHARCOAL	10 PAINTED CONCRETE MATCH BEIGE PANEL	16 CURTAIN WALL SYSTEM SSG - CLEAR GLAZING - CLEAR ANODIZED BACK BODY - CHARCOAL FLASHINGS
06 PREFINISHED METAL PANEL - SANDSTONE	11 GALVANIZED STEEL LIEB FOR PLANTING SUPPORT	17 NOT USED
		18 EXPOSED ARCHITECTURAL CONCRETE

ISSUED FOR:

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-08-09	DP RESPONSE #2
3	2024-10-10	DPA GC REVIEW

8 2024-10-10 DPA-GC  
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October 23, 2024  
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6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

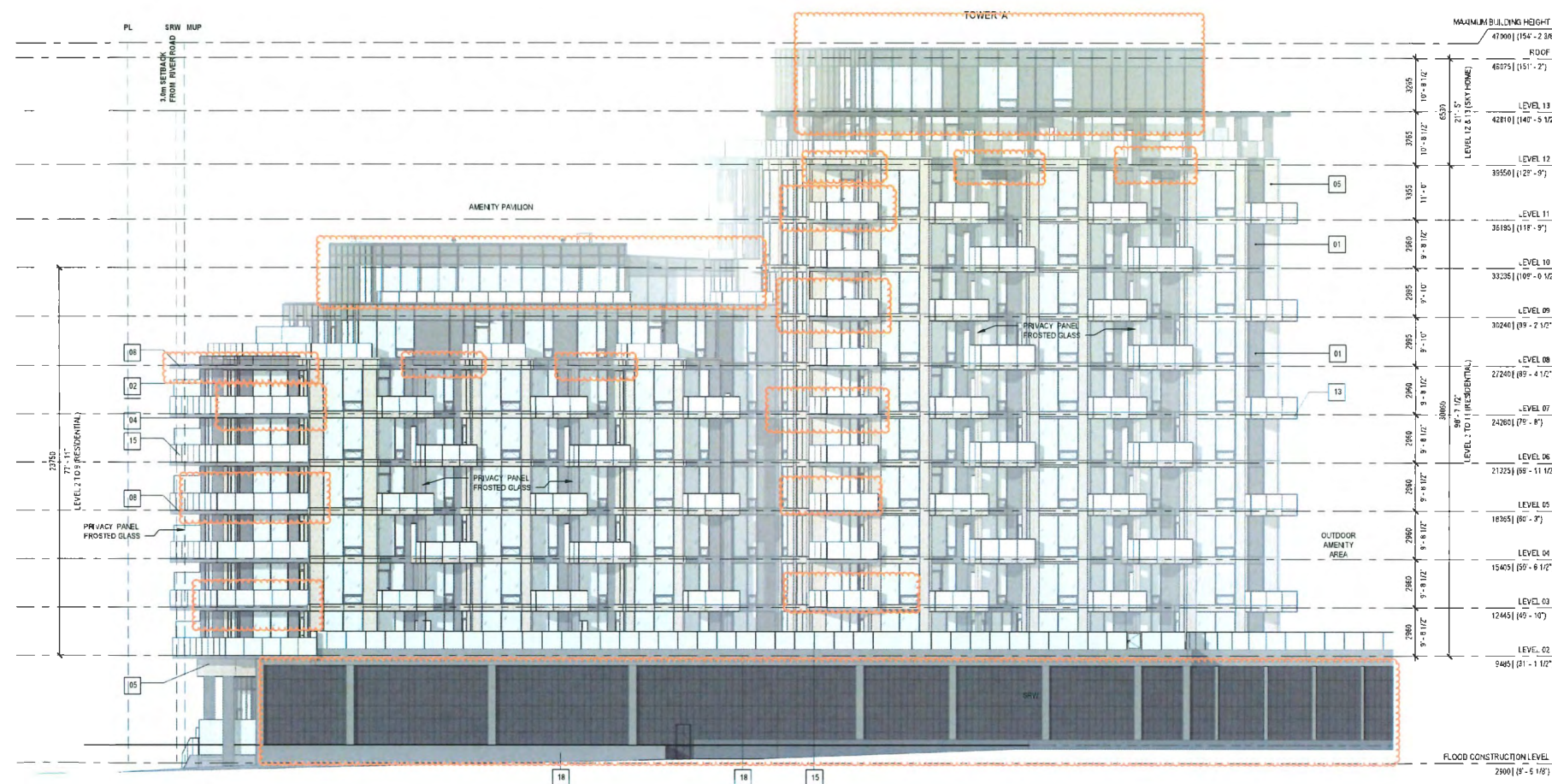
WEST ELEVATION - TOWER A  
2

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PLOT DATE: 10/23/2024 1:22:02 PM  
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**DP4.9**

BC100179 - 2004354

2024-10-23 10:52:45 AM 1/24



1 WEST ELEVATION TOWER A 2  
SCALE 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01 HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS #3477E EMBOSY	06 STONE CLADDING PIETRA GREY, HONED	12 CLEAR GLAZING WINDOW WALL SYSTEM & Lobbies CURTAIN WALL SYSTEM WITH METAL SPANDREL
02 HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS #4474H SANDSTONE	07 STONE TILE FATIMA BIA, HONED AT ENTRY LOBBIES SANDSTONE	13 SOLID COLOUR BALCONY FACIA FRIT SANDSTONE
03 CLEAR GLAZING WINDOW WALL SYSTEM BLACK CHARCOAL MILLIONS	08 PAINTED CONCRETE MATCH BACK CHARCOAL GLOSS PANEL	14 ANGLICISED ALUMINIUM FINISH - DRAPES EFFECT
04 PREFINISHED METAL LOUVER MATCH BLACK CHARCOAL BESE	09 PAINTED CONCRETE - LIGHT GREY	15 CLEAR GLAZING ALUMINIUM FRAMING - CLEAR ANODIZED ALU WITH BRUSH MILLIONS
05 PREFINISHED METAL PANEL BLACK CHARCOAL	10 PAINTED CONCRETE MATCH BESE PANEL	16 CURTAIN WALL SYSTEM SSG, CLEAR GLAZING, CLEAR ANODIZED BACK BODY, CHARCOAL FRAMING AND GWP TAPS WHERE REQUIRED
06 PREFINISHED METAL PANEL SANDSTONE	11 GALVANNEED STEEL I-BEAM FOR PLANTING SUPPORT	17 NOT USED
		18 EXPOSED ARCHITECTURAL CONCRETE

ISSUED FOR:

1	2022-05-08	DEVELOPMENT PERMIT APPLICATION
2	2023-02-08	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-09-15	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4
6	2024-05-27	DP Amendment General Compliance
7	2024-08-15	DPA-GC REVIEW
8	2024-10-10	DPA-GC Revised

October 23, 2024  
DP 22-013200  
DP Plan #31

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**LANDSCAPE ARCHITECT**  
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**STRUCTURAL ENGINEER**  
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Tel: 604.695.8000 Fax: 604.695.8000

**ELECTRICAL ENGINEER**  
NEI/ETZ (SRL) & ASSOCIATES LTD.  
2005 W 4th AVENUE VANCOUVER, BC V6J 1A3  
Tel: 604.736.6562 Fax: 604.736.6562



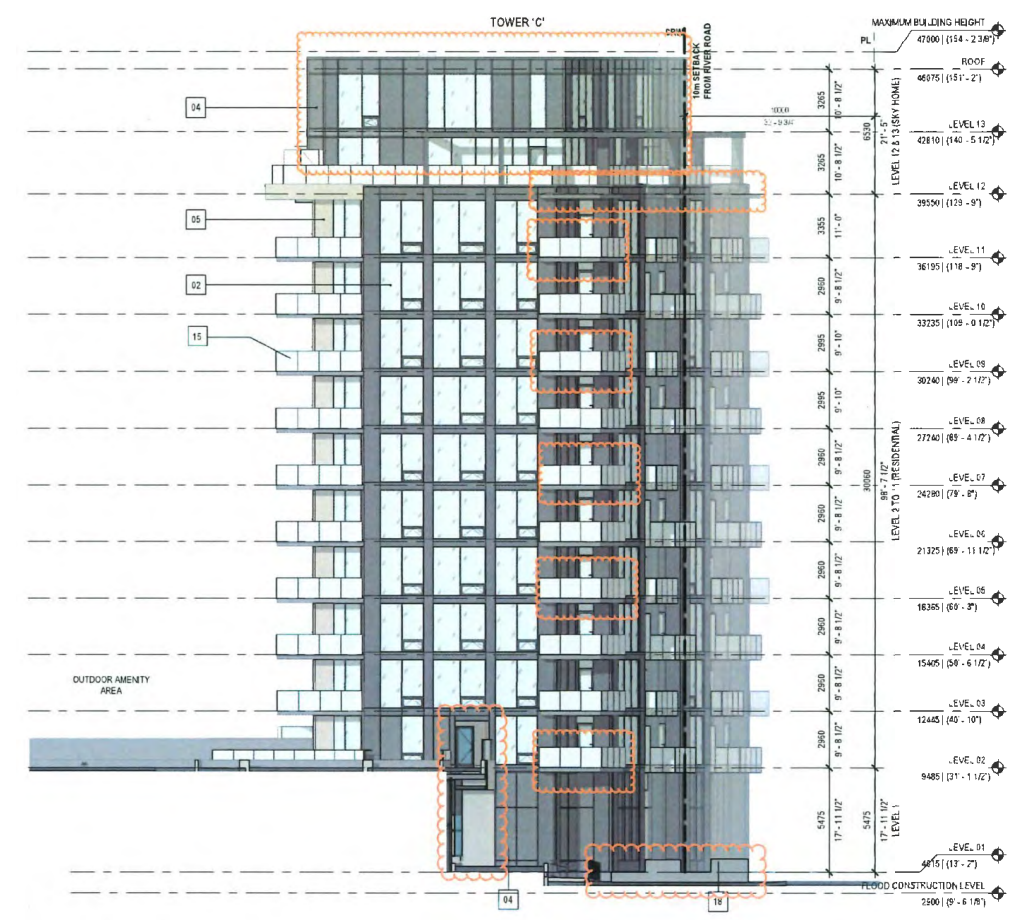
6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

**NORTH ELEVATION - TOWER C**

DRAWN: Author CHECKED: Checkr  
PLOT DATE: 10/20/24 12:24 PM

**DP4.10**

BC100175-2004354  
2024-10-23 10:54:45 AM



**1 NORTH ELEVATION TOWER C**  
SCALE: 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01	HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS #4175 EQUINOX	06	STONE CLADDING PIETRA GREY HONED	12	CLEAR GLAZING WINDOW WALL SYSTEM 4
02	HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS - MATCH SANDSTONE	07	STONE TILE FATIMA BIA, HONED AT ENTRY LOBBIES SANDSTONE	13	SOLID COLOUR BALCONY FASCIA FRIT SANDSTONE
03	CLEAR GLAZING WINDOW WALL SYSTEM 1 BLACK CHARCOAL TALLIES	08	PAINTED CONCRETE MATCH BACK CHARCOAL GRAY PANEL	14	ANGLED ALUMINUM FINISH BRASS EFFECT
04	PREFINISHED METAL LOUVER MATCH BLACK CHARCOAL BEIGE	09	PAINTED CONCRETE - LIGHT GREY	15	CLEAR GLAZING ALUMINUM FINISH PANEL CLEAR ANODIZED ALUMINUM FINISH
05	PREFINISHED METAL PANEL SANDSTONE	10	PAINTED CONCRETE MATCH BEIGE PANEL	16	CURTAIN WALL SYSTEM 250 CLEAR GLAZING CLEAR ANODIZED BACK BODY CHARCOAL FLASHING 250 CLEAR ANODIZED ALUMINUM FINISH
		11	DALVANIZED STEEL MESH FOR PLANTING SUPPORT	17	NOT USED
				18	EXPOSED ARCHITECTURAL CONCRETE



ISSUED FOR:

1	2022-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2023-09-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4
6	2024-03-27	DP Amendment General Compliance
7	2024-05-15	DPA-SC RENEW
8	2024-10-10	DPA-GC Revised

**October 23, 2024**  
**DP 22-013200**  
**DP Plan #32**

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**STRUCTURAL ENGINEER**  
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**MECHANICAL ENGINEER**  
STANTEC  
1100-111 DUNSMuir STREET VANCOUVER, BC V0B 0A3  
Tel: 604.696.8000 Fax: 604.696.8000  
**ELECTRICAL ENGINEER**  
HEWITZ (SIA) & ASSOCIATES LTD.  
2095 W 46 AVENUE VANCOUVER BC V6V 1X3  
Tel: 604.736.1562 Fax: 604.736.1562



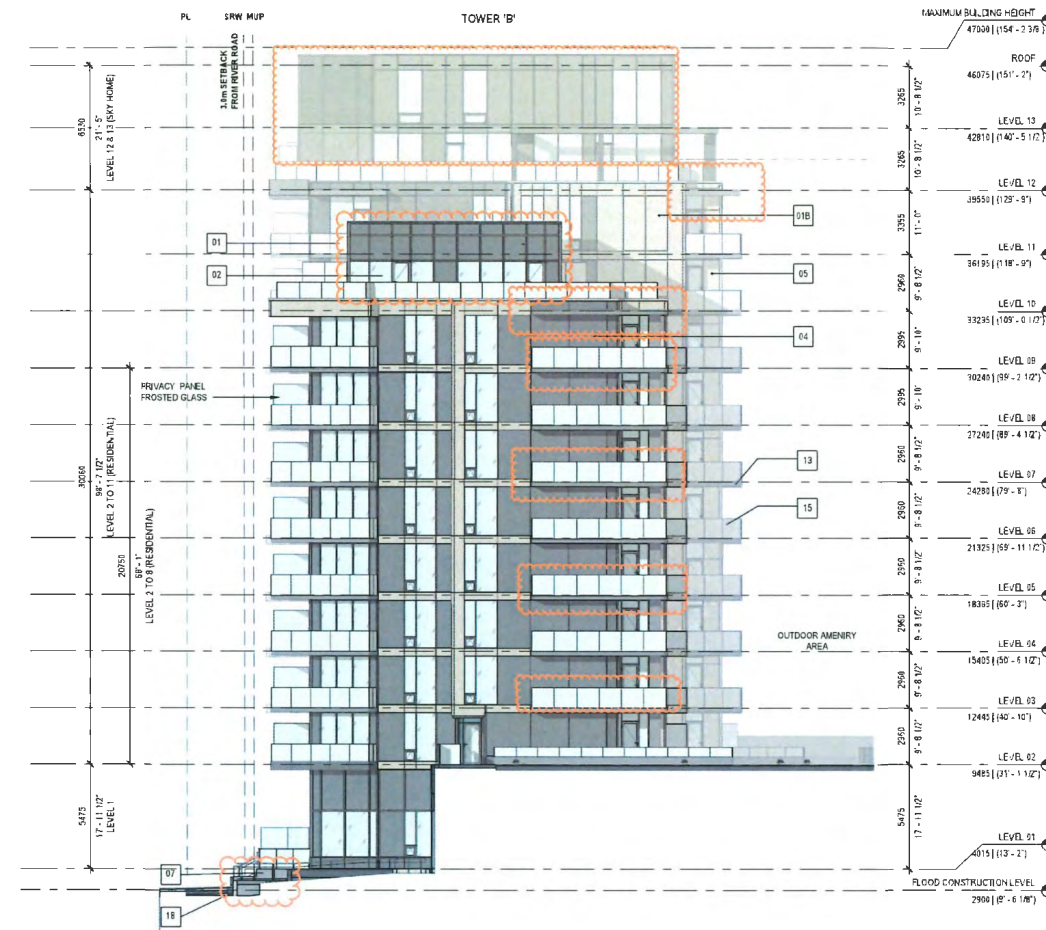
6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

**NORTH ELEVATION - TOWER B**

DRAWN: Author  
PLOT DATE: 10/23/24 1:23:15 PM  
CHECKED: Checker

**DP4.11**

BC100179-2004254



**1 NORTH ELEVATION TOWER B**  
SCALE 1:150

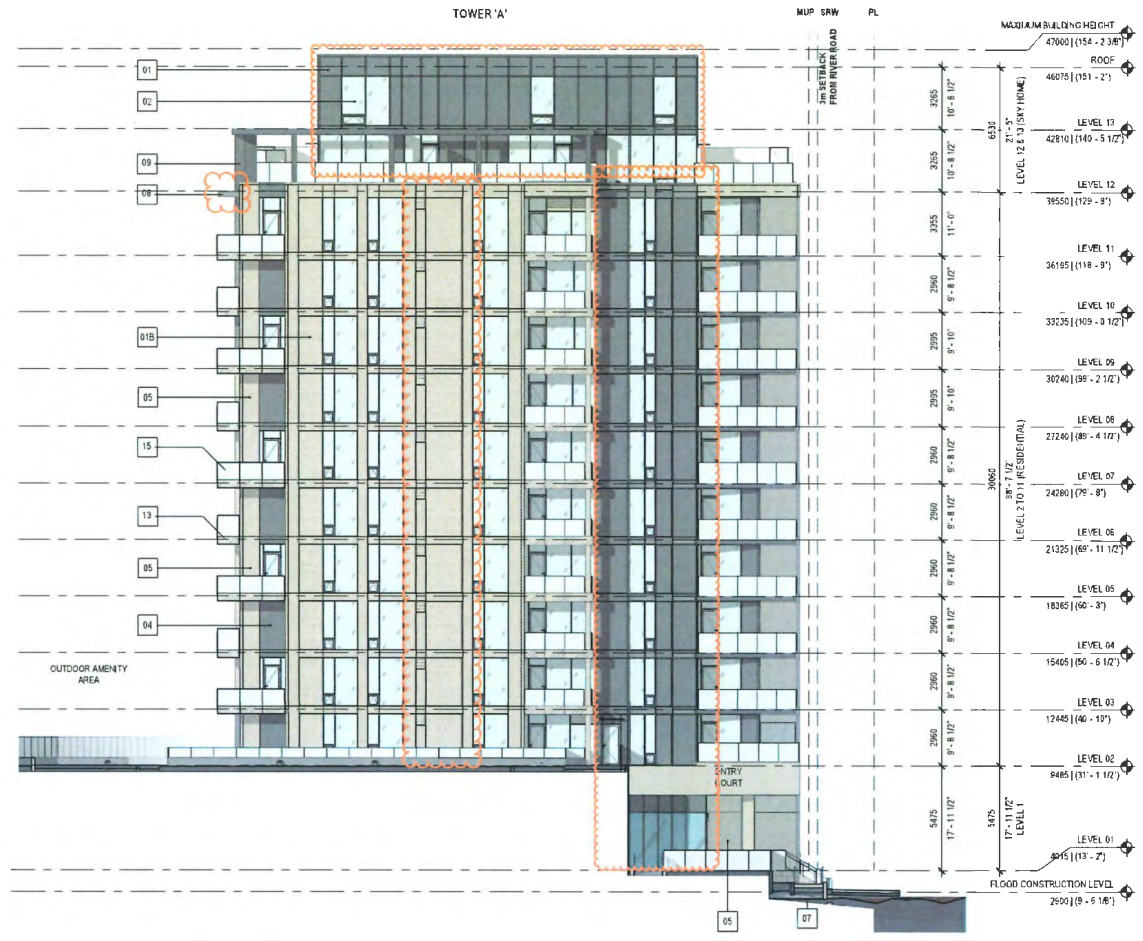
**EXTERIOR ELEVATIONS FINISHES LEGEND**

01 HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS #1-6172 EQUINOX	06 STONE CLADDING PIETRA GREY, HONED	12 CLEAR GLAZING WINDOW WALL SYSTEM & WINDOW GLAZING WITH METALLIC SHADING
01B HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS #1-6172 SANDSTONE	07 STONE TILE FATIHA BROWN, HONED AT ENTRY LOBBIES SANDSTONE	13 SOLID COLOUR BALCONY FASCIA FRIT SANDSTONE
02 CLEAR GLAZING WINDOW WALL SYSTEM BLACK CHARCOAL BULLIONS	08 PAINTED CONCRETE MATCH BLACK CHARCOAL GRAY PANEL	14 ANODIZED ALUMINUM FINISH BRASS EFFECT
03 PREFINISHED METAL LOUVER MATCH BLACK CHARCOAL BEIGE	09 PAINTED CONCRETE LIGHT GREY	15 CLEAR GLAZING ALU/ANODIZED PAINTING CLEAR ANODIZED ALU/ANODIZED
04 PREFINISHED METAL PANEL BLACK CHARCOAL	10 PAINTED CONCRETE MATCH BEIGE PANEL	16 CURTAIN WALL SYSTEM ESG, CLEAR GLAZING, CLEAR ANODIZED BACK BODY CHARCOAL FLASHINGS AND BEIGE FINISH
05 PREFINISHED METAL PANEL SANDSTONE	11 GALVANIZED STEEL FISH FOR PLANTING SUPPORT	17 NOT USED
		18 EXPOSED ARCHITECTURAL CONCRETE

ISSUED FOR:

1	2023-05-09	DEVELOPMENT PERMIT APPLICATION
2	2023-02-09	DP RESPONSE #1
3	2023-08-09	DP RESPONSE #2
4	2022-08-19	DP RESPONSE #3
5	2023-10-13	DP RESPONSE #4
6	2024-05-27	DP Amendment General Compliance
7	2024-08-15	DPA-DC REVIEW
8	2024-10-10	DPA-GC Revised

**October 23, 2024**  
**DP 22-013200**  
**DP Plan #33**



**1 SOUTH ELEVATION TOWER A**  
SCALE 1:150

**EXTERIOR ELEVATIONS FINISHES LEGEND**

01 HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS - #14176 EQUINOX	06 STONE CLADDING PIETRA GREY, HONED	12 CLEAR GLAZING WINDOW WALL SYSTEM & WINDOW WALL SYSTEM WITH VERTICAL GLAZING
01B HIGH GLOSS METAL PANEL TO MATCH SPANDREL GLASS - #14176 SANDSTONE	07 STONE TILE FATIYA BIA, HONED AT ENTRY LOBBIES SANDSTONE	13 SOLID COLOUR BALCONY FASCIA FRET SANDSTONE
02 CLEAR GLAZING WINDOW WALL SYSTEM MATCH BLACK CHARCOAL MULLIONS	08 PAINTED CONCRETE MATCH BLACK CHARCOAL GRAY PANEL	14 ANODIZED ALUMINIUM FINISH - BRASS EFFECT
03 PREFINISHED METAL LOUVER MATCH BLACK CHARCOAL BEIGE	09 PAINTED CONCRETE - LIGHT GREY	15 CLEAR GLAZING ALUMINIUM FINISH - CLEAR ANODIZED ALUMINIUM FINISH
04 PREFINISHED METAL PANEL BLACK CHARCOAL	10 PAINTED CONCRETE MATCH BEIGE PANEL	16 CURTAIN WALL SYSTEM ESG - CLEAR GLAZING - CLEAR ANODIZED BACK BODY CHARCOAL FLASHINGS AND GLAZING SYSTEM FINISH COLOURED
05 PREFINISHED METAL PANEL SANDSTONE	11 GALVANIZED STEEL I-BEAM FOR PLANTING SUPPORT	17 NOT USED
		18 EXPOSED ARCHITECTURAL CONCRETE

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LANDSCAPE ARCHITECT  
CML  
1706 W 1st Ave, Vancouver BC V6J 2E4  
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STRUCTURAL ENGINEER  
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Tel: 604.255.1169 Fax:  
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STANTEC  
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2005 W 4th AVENUE VANCOUVER BC V6J 1R2  
Tel: 604.735.6562 Fax:



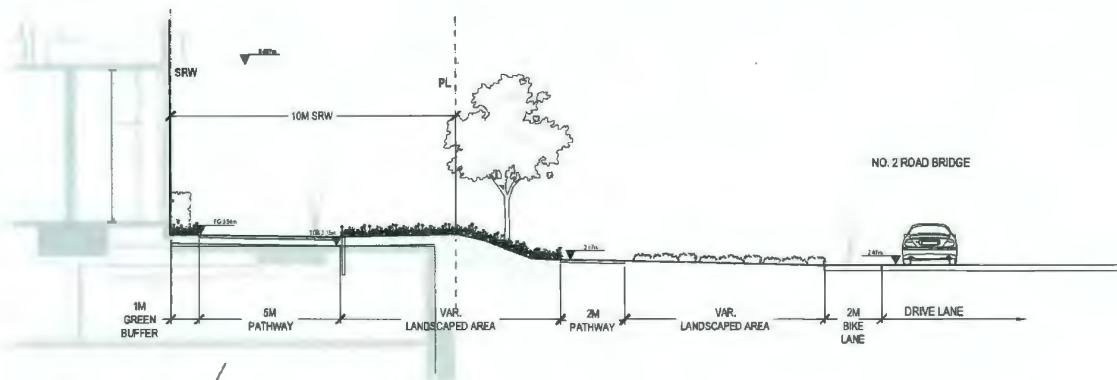
6011, 6033, 6055 RIVER ROAD  
RIVER GREEN - LOT 1

**SOUTH ELEVATION - TOWER A**

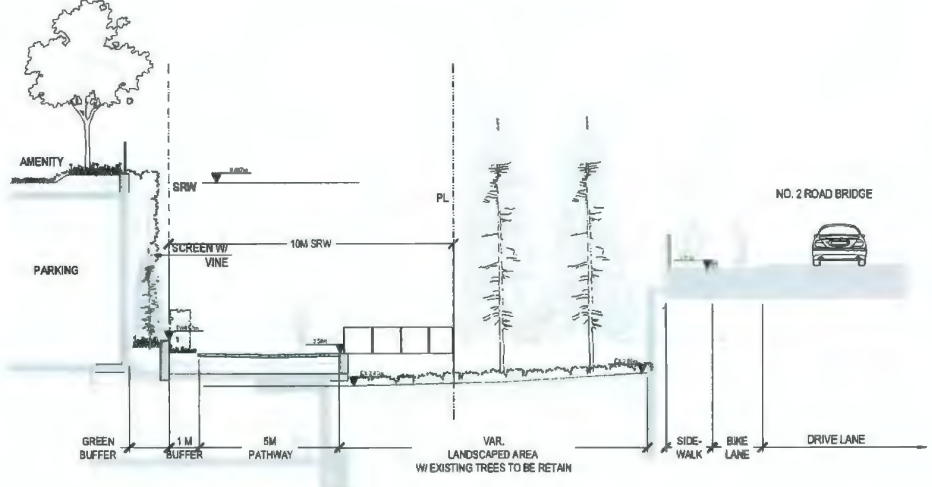
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**DP4.12**

BC100179 - 2004354



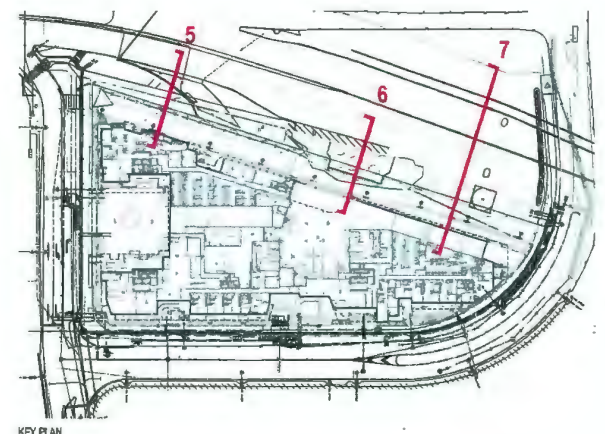
1 SECTION 5  
SCALE: 1:100



2 SECTION 6  
SCALE: 1:100



3 SECTION 7  
SCALE: 1:100



ISSUED FOR

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-08	ISSUED FOR DP
4	2023-03-06	REISSUED FOR DP
5	2023-07-28	REISSUED FOR DP #2
6	2023-09-19	REISSUED FOR DP #3
7	2023-10-06	REISSUED FOR DP #4
8	2023-10-20	PRE-BP REVIEW
9	2023-11-01	ISSUED FOR BP
10	2024-04-30	ISSUED FOR TENDER
11	2024-05-24	DP AMENDMENT - GENERAL COMPLIANCE
12	2024-06-15	DP AMENDMENT - GENERAL COMPLIANCE #2

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1777 W 3RD AVENUE, VANCOUVER, BC  
V6J 1K7  
TEL: 604.736.5168 FAX:

**INTERIOR DESIGN**  
MORRISLEY STUDIOS  
412 - 611 ALEXANDRE STREET, VANCOUVER, BC  
V6A 1E1  
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**STRUCTURAL ENGINEER**  
DIALOG

**October 23, 2024**  
**DP 22-013200**  
**DP Plan #39**

SEAL

NORTH

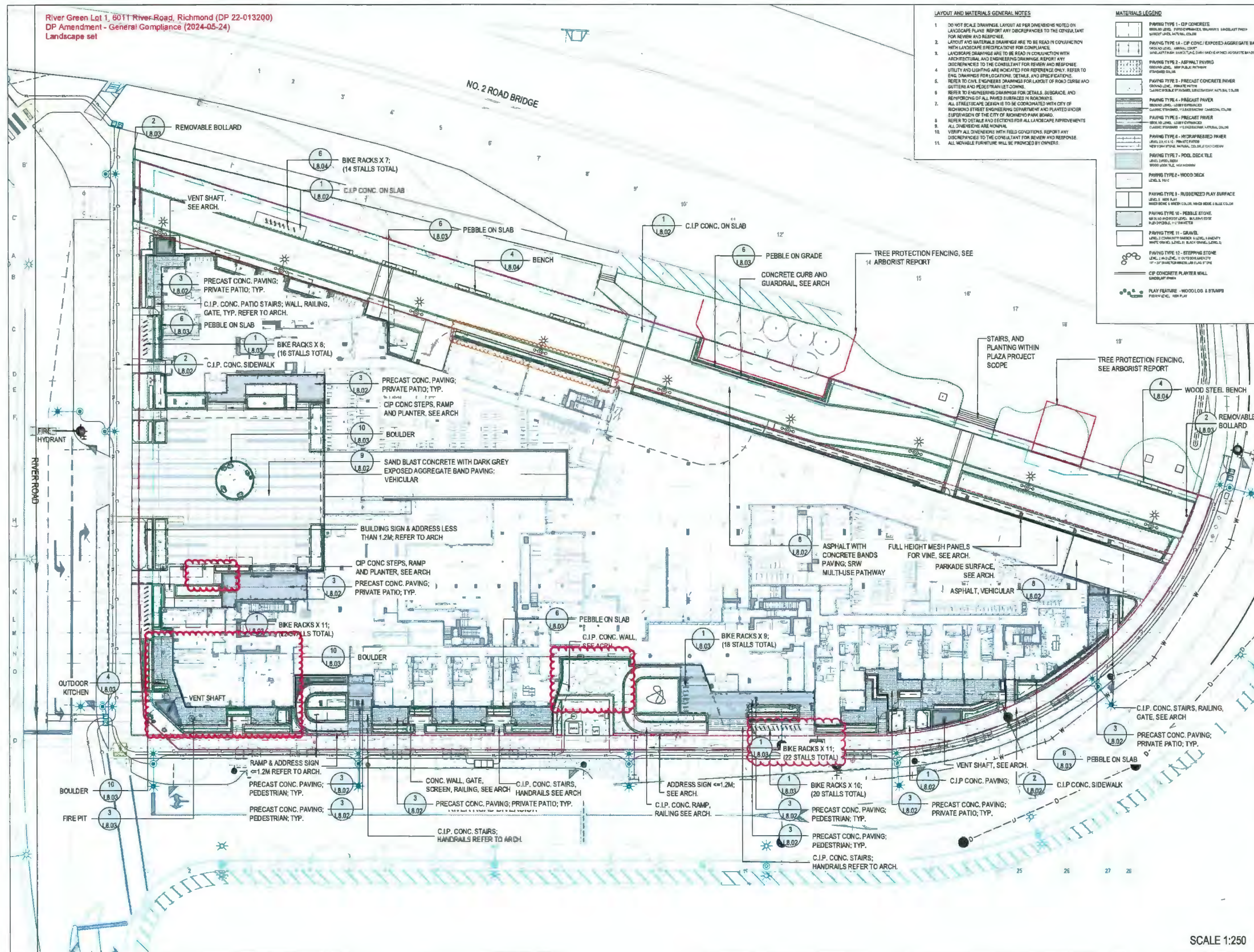
RIVER GREEN - LOT 1

LANDSCAPE SECTIONS

DRAWN: ML  
PLOT DATE: \_\_\_\_\_  
CHECKED: LL

**L7.02**

River Green Lot 1, 6011 River Road, Richmond (DP 22-013200)  
 DP Amendment - General Compliance (2024-05-24)  
 Landscape set



- LAYOUT AND MATERIALS GENERAL NOTES**
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  - LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
  - UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO THE ENGINEER'S DRAWINGS FOR DETAILS AND SPECIFICATIONS.
  - REFER TO CIVIL ENGINEER DRAWINGS FOR LAYOUT OF ROAD CURBS AND SLOTTED AND PEDESTRIAN SET CURBS.
  - REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.
  - ALL STEELWORK DESIGN IS TO BE COORDINATED WITH CITY OF RICHMOND STREET ENGINEERING DEPARTMENT AND PLANTED UNDER SUPERVISION OF THE CITY OF RICHMOND PARK BOARD.
  - REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
  - ALL DIMENSIONS ARE NOMINAL.
  - VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
  - ALL NOMINAL DIMENSIONS SHALL BE PROVIDED BY OWNER.

**MATERIALS LEGEND**

	PAVING TYPE 1 - C/P CONCRETE
	PAVING TYPE 2 - ASPHALT PAVING
	PAVING TYPE 3 - PRECAST CONCRETE PAVING
	PAVING TYPE 4 - PRECAST PAVING
	PAVING TYPE 5 - PEDESTRIAN PAVING
	PAVING TYPE 6 - HYDROSEAL PAVING
	PAVING TYPE 7 - POLY DECK TILE
	PAVING TYPE 8 - WOOD DECK
	PAVING TYPE 9 - RUBBERIZED PLAY SURFACE
	PAVING TYPE 10 - PEBBLE STONE
	PAVING TYPE 11 - GRAVEL
	PAVING TYPE 12 - STEPPING STONE
	CIP CONCRETE PLANTER WALL
	PLAY FEATURE - WOODLODS & STUMPS

**DIALOG**  
**PFS STUDIO**  
 PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**ASPAC**  
 DEVELOPMENTS

**ISSUED FOR**

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-18	ISSUED FOR REVIEW
3	2022-05-06	ISSUED FOR DP
4	2022-02-06	ISSUED FOR DP
5	2023-07-28	ISSUED FOR DP #2
6	2023-09-19	ISSUED FOR DP #3
7	2023-10-06	ISSUED FOR DP #4
8	2023-10-20	PRE-BP REVIEW
9	2023-11-03	ISSUED FOR BP
10	2024-04-30	ISSUED FOR TENDER
11	2024-05-24	DP AMENDMENT - GENERAL COMPLIANCE #1
12	2024-06-16	DP AMENDMENT - GENERAL COMPLIANCE #2

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**STRUCTURAL ENGINEER**  
 DIALOG

**October 23, 2024**  
**DP 22-013200**  
**DP Plan #40**

SEAL

RIVER GREEN - LOT 1

**MATERIALS PLAN**  
**- LEVEL 1**

DRAWN: ML  
 PLOT DATE: \_\_\_\_\_  
 CHECKED: LL

**L2.01**

SCALE 1:250

ISSUED FOR

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-06	ISSUED FOR DP
4	2023-02-06	REISSUED FOR DP
5	2023-07-28	REISSUED FOR DP #2
6	2023-09-19	REISSUED FOR DP #3
7	2023-10-06	REISSUED FOR DP #4
8	2023-10-20	PRE-SP REVIEW
9	2023-11-03	ISSUED FOR SP
10	2024-04-30	ISSUED FOR TENDER
11	2024-05-24	DP AMENDMENT - GENERAL COMPLIANCE
12	2024-08-16	DP AMENDMENT - GENERAL COMPLIANCE #2

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 V6A 1E1  
 Tel: 604.255.1163 Fax: 604.255.1163


**LANDSCAPE ARCHITECT**  
 PFS STUDIO  
 1777 W 3RD AVENUE, VANCOUVER, BC  
 V6J 1K7  
 Tel: 604.735.5168 Fax: 604.735.5168

**INTERIOR DESIGN**  
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 412 - 611 ALEXANDRE STREET, VANCOUVER, BC  
 V6A 1E1  
 Tel: 778.379.6761 Fax: 778.379.6761

**STRUCTURAL ENGINEER**  
 DIALOG  
 405 - 611 ALEXANDRE STREET, VANCOUVER, BC

**October 23, 2024**  
**DP 22-013200**  
**DP Plan #41**

SEAL



NORTH

RIVER GREEN - LOT 1

**MATERIALS PLAN**  
 - LEVEL 2

DRAWN: ML PLOT DATE: CHECKED: LL

**L2.02**

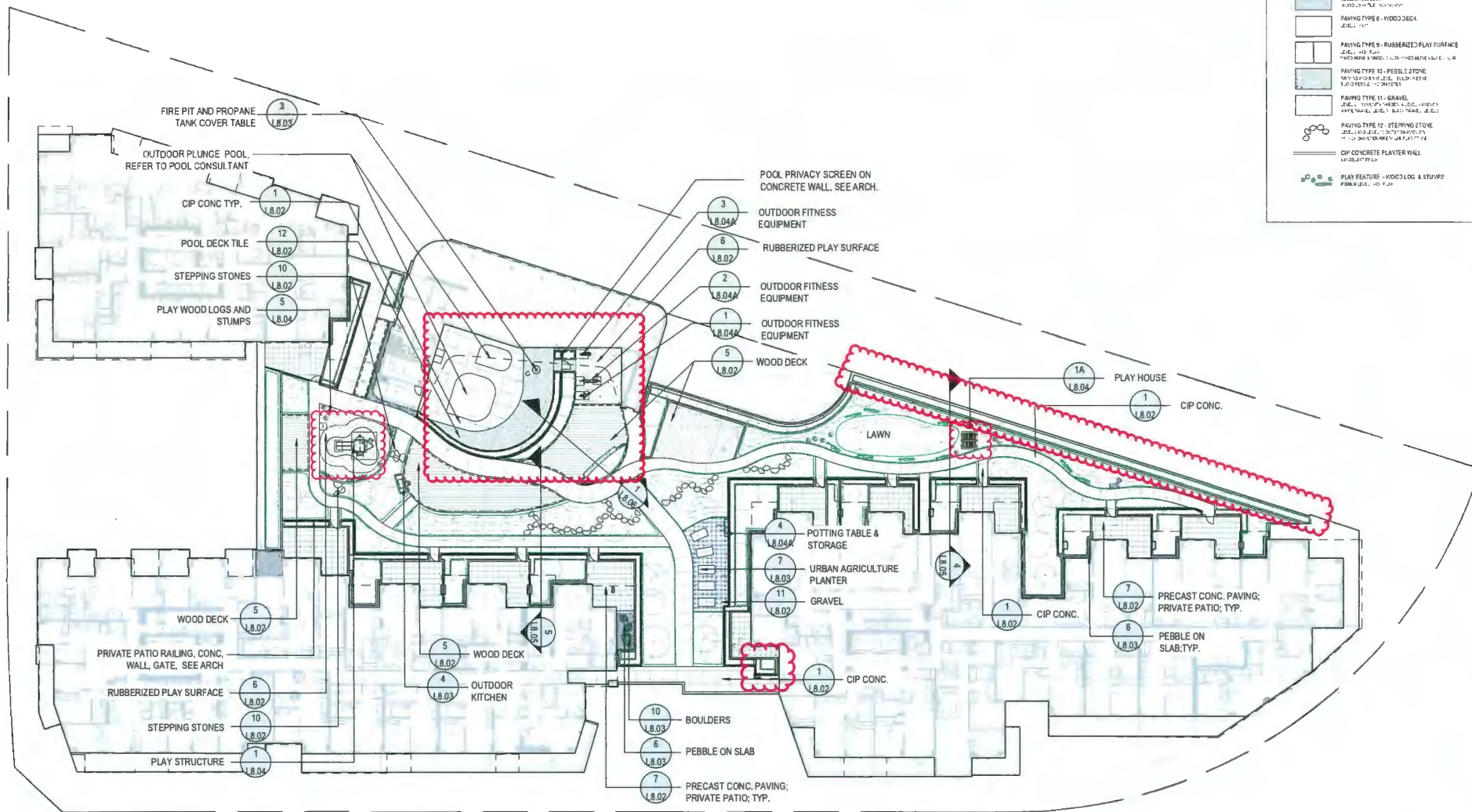
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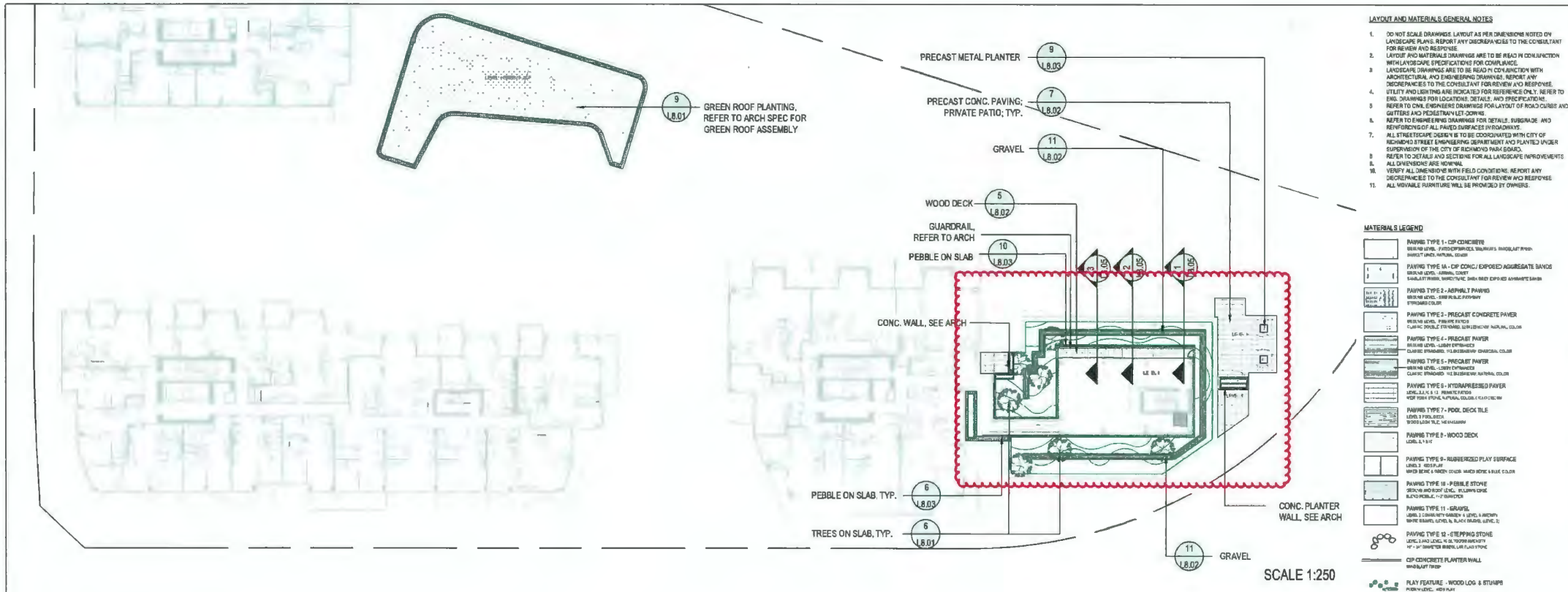
**LAYOUT AND MATERIALS GENERAL NOTES**

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- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO E-INT. DRAWINGS FOR COORDINATE, DETAILS AND SPECIFICATIONS.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR LAYOUT OF ROAD CURVES AND GUTTERS AND PRESET TRAVEL CURVES.
- REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.
- ALL STREETCAMEL SECTIONS TO BE COORDINATED WITH CITY OF RICHMOND STREET ENGINEERING DEPARTMENT AND PLANNED UNDER SUPERVISION OF THE CITY OF RICHMOND BOARD.
- REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- ALL DIMENSIONS ARE METRIC.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- ALL VISIBLE FURNITURE WILL BE PROVIDED BY OWNER.

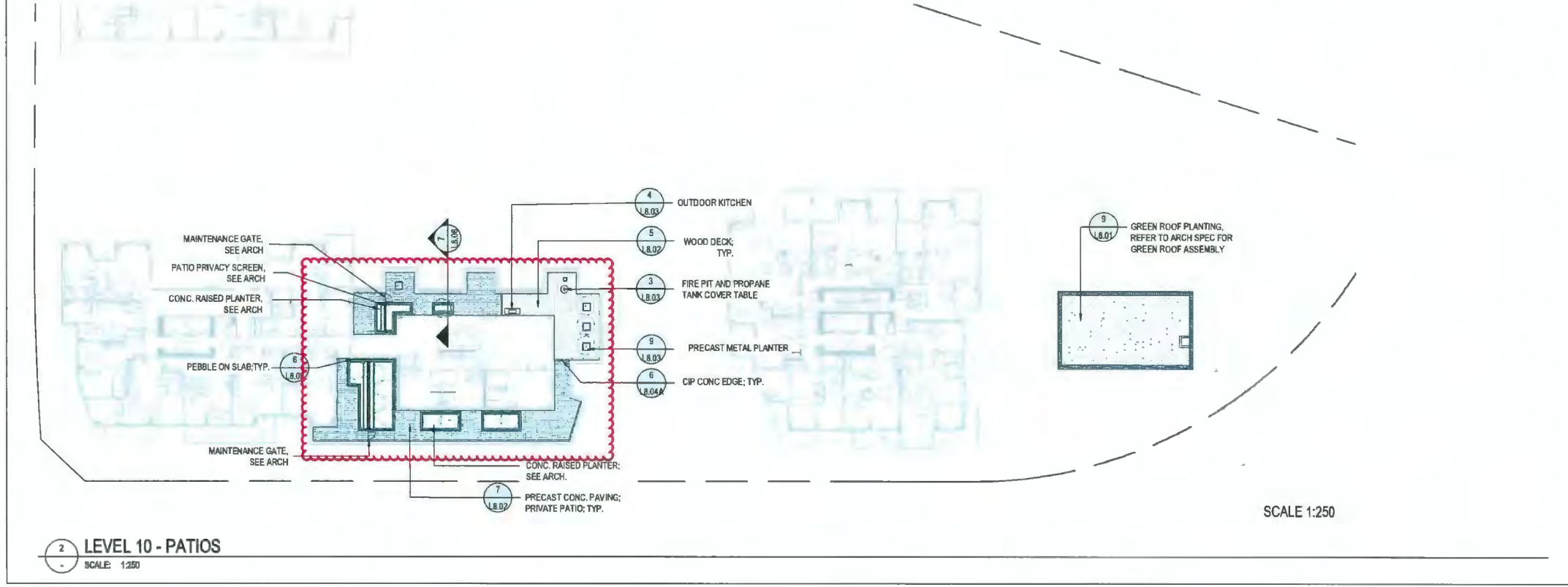
**MATERIALS LEGEND**

[Symbol]	PAVING TYPE 1 - CIP CONCRETE
[Symbol]	PAVING TYPE 1A - CIP CONC. EXPOSED AGGREGATE SURFACE
[Symbol]	PAVING TYPE 2 - ASPHALT PAVING
[Symbol]	PAVING TYPE 2 - PRECAST CONCRETE PAVES
[Symbol]	PAVING TYPE 3 - PRECAST PAVES
[Symbol]	PAVING TYPE 4 - PRECAST PAVES
[Symbol]	PAVING TYPE 5 - PRECAST PAVES
[Symbol]	PAVING TYPE 6 - HYDRAPRESSED PAVES
[Symbol]	PAVING TYPE 7 - POOL DECK TILE
[Symbol]	PAVING TYPE 8 - WOOD DECK
[Symbol]	PAVING TYPE 9 - RUBBERIZED PLAY SURFACE
[Symbol]	PAVING TYPE 10 - PEBBLE STONE
[Symbol]	PAVING TYPE 11 - GRAVEL
[Symbol]	PAVING TYPE 12 - STEPPING STONE
[Symbol]	CIP CONCRETE PLANTER WALL
[Symbol]	PLAY FEATURE - WOOD LOG & STUMP





1 LEVEL 9 - AMENITY  
SCALE: 1:250



2 LEVEL 10 - PATIOS  
SCALE: 1:250

ISSUED FOR

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2023-05-05	ISSUED FOR DP
4	2023-05-06	REISSUED FOR DP
5	2023-07-28	REISSUED FOR DP #2
6	2023-08-19	REISSUED FOR DP #3
7	2023-10-05	REISSUED FOR DP #4
8	2023-10-20	PRE-8P REVIEW
9	2023-11-03	ISSUED FOR 8P
10	2024-04-30	ISSUED FOR TENDER
11	2024-05-24	DP AMENDMENT - GENERAL COMPLIANCE
12	2024-08-15	DP AMENDMENT - GENERAL COMPLIANCE #2

REVISION

1	2024-05-15	IFT ADDENDUM #1
---	------------	-----------------

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V6J 1K7  
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**INTERIOR DESIGN**  
MICHELLEY STUDIOS  
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**STRUCTURAL ENGINEER**  
DIALOG

October 23, 2024  
DP 22-013200  
DP Plan #42



RIVER GREEN - LOT 1

MATERIALS PLAN  
- LEVEL 9 & 10

DRAWN: ML  
PLOT DATE: \_\_\_\_\_  
CHECKED: LL

**L2.03**

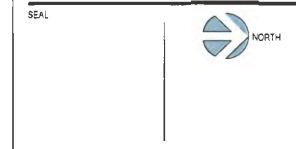
ISSUED FOR

1	2022-01-28	ISSUED FOR REVIEW
2	2022-09-10	ISSUED FOR REVIEW
3	2022-09-08	ISSUED FOR DP
4	2022-02-06	REISSUED FOR DP
5	2022-07-28	REISSUED FOR DP #2
6	2022-09-15	REISSUED FOR DP #3
7	2022-10-06	REISSUED FOR DP #4
8	2023-10-20	PRE-BP REVIEW
9	2023-11-03	ISSUED FOR BP
10	2024-04-30	ISSUED FOR TENDER
11	2024-05-24	DP AMENDMENT - GENERAL COMPLIANCE
12	2024-08-16	DP AMENDMENT - GENERAL COMPLIANCE #2

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V6J 1K7  
Tel: 604.736.5168 Fax:  
**INTERIOR DESIGN**  
MCKINLEY STUDIOS  
412-611 ALEXANDRE STREET, VANCOUVER, BC  
V6A 1E1  
Tel: 778.379.6761 Fax:  
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**October 23, 2024**  
**DP 22-013200**  
**DP Plan #43**



RIVER GREEN - LOT 1

**MATERIALS PLAN**  
- LEVEL 12

DRAWN: ML PLOT DATE: CHECKED: LL

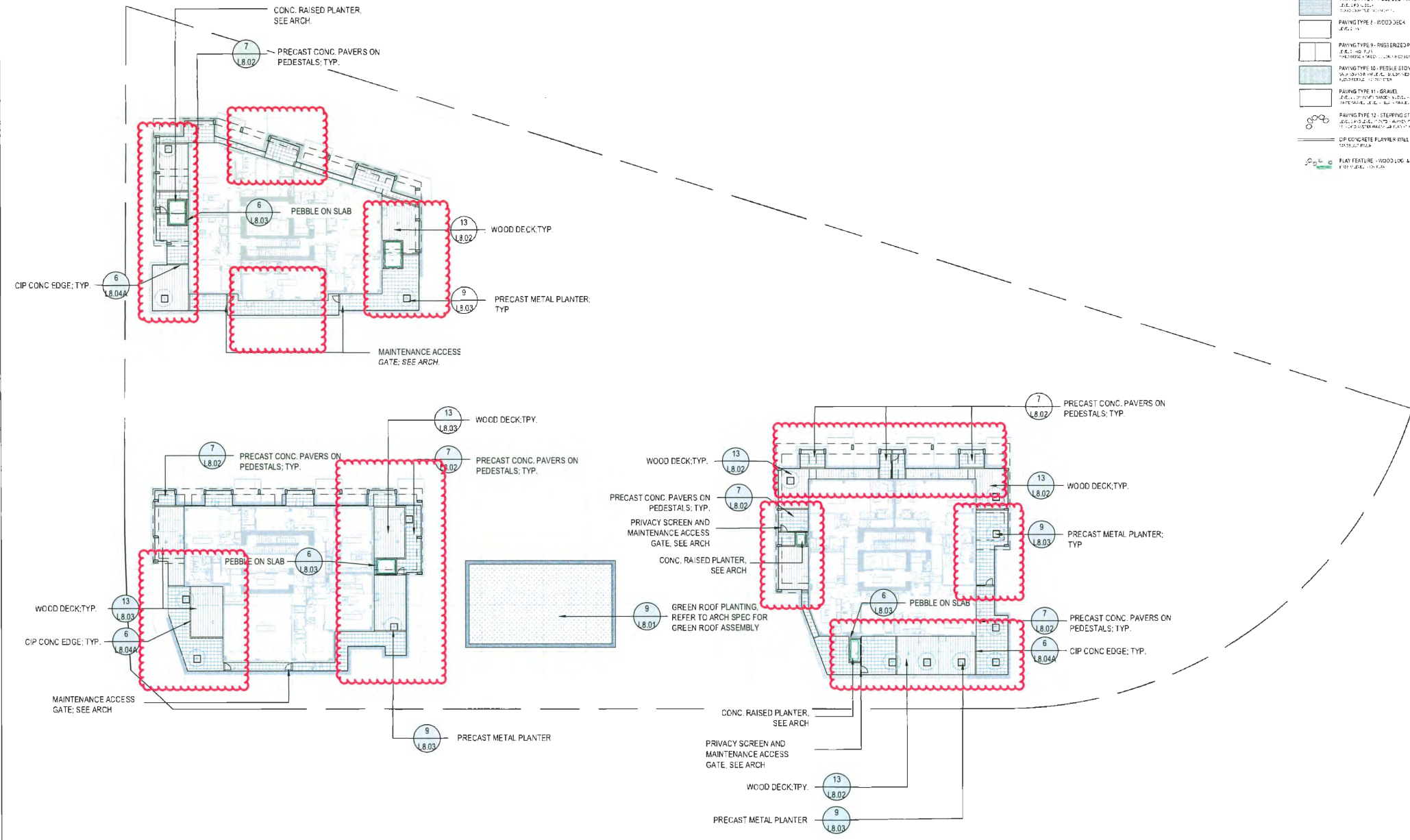
**L2.04**

**LAYOUT AND MATERIALS GENERAL NOTES**

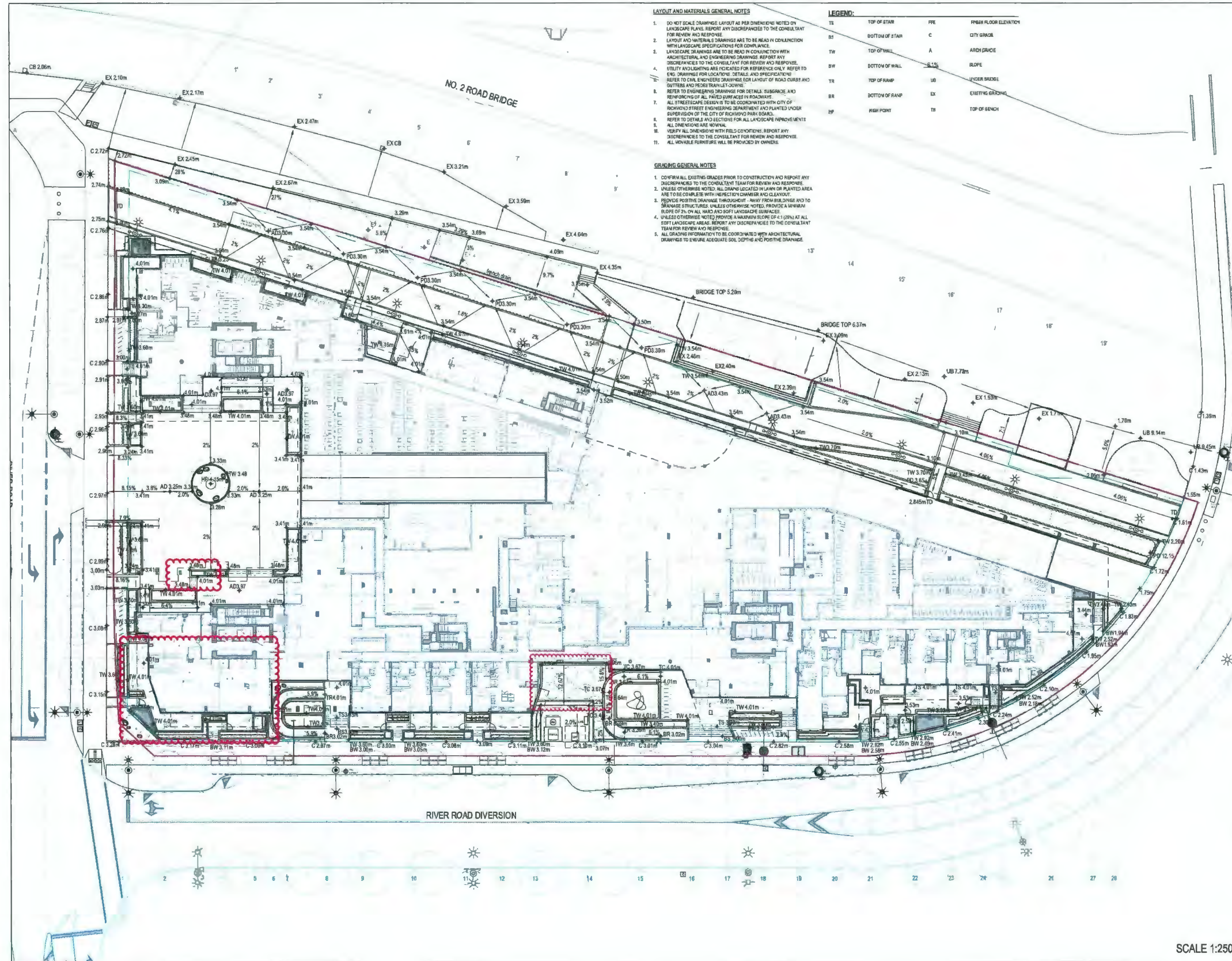
- DO NOT SCALE DRAWINGS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENCL. DRAWINGS FOR LOCATIONS, DETAILS, AND SPECIFICATIONS.
- REFER TO ENCL. ENGINEERING DRAWINGS FOR LAYOUT OF ROAD CURBS AND CURBERS AND PEDESTRIAN SET-BACKS.
- REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE AND REPAIRS OF ALL PAVED SURFACES IN PLAZAS.
- ALL SITEWORK IS TO BE COMPLETED WITHIN THE CITY OF RICHMOND STREET ENGINEERING DEPARTMENT AND PLANNED UNDER SUPERVISION OF THE CITY OF RICHMOND PLAN. REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
- ALL DIMENSIONS ARE METRIC.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- ALL VERTICAL FURNITURE WILL BE PROVIDED BY OTHERS.

**MATERIALS LEGEND**

- PAVING TYPE 1: CIP CONCRETE
- PAVING TYPE 1A: CIP CONC. EXPOSED AGGREGATE BAND
- PAVING TYPE 2: ASPHALT PAVING
- PAVING TYPE 3: PRECAST CONCRETE PAVES
- PAVING TYPE 4: PRECAST PAVES
- PAVING TYPE 5: PRECAST PAVES
- PAVING TYPE 6: PRECAST PAVES
- PAVING TYPE 7: POOL DECK TILE
- PAVING TYPE 8: WOOD DECK
- PAVING TYPE 9: FINISHED PAVED SURFACE
- PAVING TYPE 10: FINISHED PAVED SURFACE
- PAVING TYPE 11: GRANITE STONE
- PAVING TYPE 12: STEPPING STONE
- CIP CONCRETE PLANTER WALL
- PLAN FEATURE - WOOD LOG & STUMPS



SCALE 1:250



ISSUED FOR

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-08	ISSUED FOR DP
4	2023-02-08	REISSUED FOR DP
5	2023-07-28	REISSUED FOR DP #2
6	2023-09-15	REISSUED FOR DP #3
7	2023-10-26	REISSUED FOR DP #4
8	2023-10-26	PRE-BP REVIEW
9	2023-11-03	ISSUED FOR BP
10	2024-04-30	ISSUED FOR TENDER
11	2024-05-24	DP AMENDMENT - GENERAL COMPLIANCE
12	2024-08-15	DP AMENDMENT - GENERAL COMPLIANCE #2

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**October 23, 2024**  
**DP 22-013200**  
**DP Plan #44**

SEAL: \_\_\_\_\_

NORTH

**RIVER GREEN - LOT 1**

**GRADING PLAN**  
**- LEVEL 1**

DRAWN: HL CHECKED: LL  
 PLOT DATE: \_\_\_\_\_

**L3.01**

SCALE 1:250



**LAYOUT AND MATERIALS GENERAL NOTES**

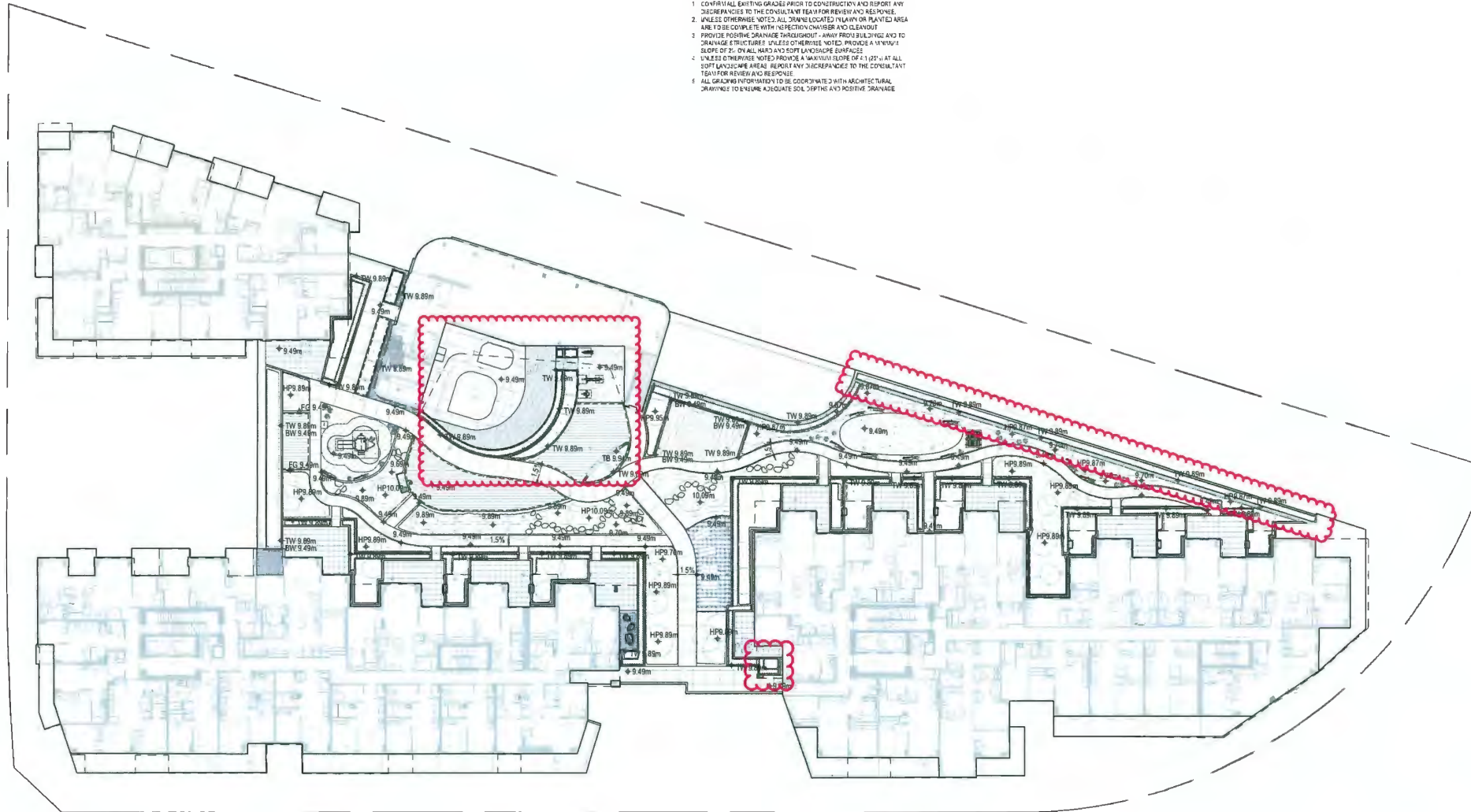
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- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO THE DRAWINGS FOR LOCATIONS, DETAILS AND SPECIFICATIONS.
- REFER TO CIVIL ENGINEER DRAWINGS FOR LAYOUT OF ROAD CURVES AND CUTTERS AND DETAIL LETTERING.
- REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE AND REINFORCING OF ALL PAVED SURFACES IN ROADWAY.
- ALL STREETSCAPE DESIGN IS TO BE COORDINATED WITH CITY OF RICHMOND STREET ENGINEERING DEPARTMENT AND PLANTED UNDER SUPERVISION OF THE CITY OF RICHMOND PARK BOARD.
- REFER TO DETAIL AND SECTION FOR ALL LANDSCAPE IMPROVEMENTS.
- ALL DIMENSIONS ARE METRIC.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- ALL VISIBLE FURNITURE WILL BE PROVIDED BY CLIENT.

**LEGEND:**

T2	TOP OF STAIR	FFE	FINISH FLOOR ELEVATION
B3	BOTTOM OF STAIR	C	CITY GRADE
TW	TOP OF WALL	A	ARCH GRADE
SW	BOTTOM OF WALL	6.15	SLOPE
TR	TOP OF RAUP	US	UNDER BRIDGE
BR	BOTTOM OF RAUP	EA	EXISTING GRADING
HP	HIGH POINT	TS	TOP OF SEWCH

**GRADING GENERAL NOTES**

- CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS LOCATED ON PLANNED AREA ARE TO BE COMPLETE WITH INJECTION CHAMBER AND CLEANOUT.
- PROVIDE POSITIVE DRAINAGE DRAINAGE - AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM SLOPE OF 2% ON ALL LAND AND SOFT LANDSCAPE SURFACES.
- UNLESS OTHERWISE NOTED, PROVIDE A MAXIMUM SLOPE OF 1:1 (25%) AT ALL SOFT LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- ALL GRADING INFORMATION IS TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS TO ENSURE ADEQUATE SOIL DIPPING AND POSITIVE DRAINAGE.



**ISSUED FOR:**

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-06	ISSUED FOR DP
4	2023-03-06	REISSUED FOR DP
5	2023-07-28	REISSUED FOR DP #2
6	2023-09-19	REISSUED FOR DP #3
7	2023-10-06	REISSUED FOR DP #4
8	2023-10-20	PRE-BP REVIEW
9	2023-11-03	ISSUED FOR BP
10	2024-04-30	ISSUED FOR TENDER
11	2024-05-24	DP AMENDMENT - GENERAL COMPLIANCE
12	2024-08-16	DP AMENDMENT - GENERAL COMPLIANCE #2

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INTERIOR DESIGN  
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406 - 611 ALEXANDRE STREET, VANCOUVER, BC

**October 23, 2024**  
**DP 22-013200**  
**DP Plan #45**

SEAL



RIVER GREEN - LOT 1

GRADING PLAN  
- LEVEL 2

DRAWN: ML  
PLOT DATE: CHECKED: LL

**L3.02**

SCALE 1:250

DIALOG<sup>®</sup>

PFS STUDIO  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

ASPAC  
DEVELOPMENTS

ISSUED FOR

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-18	ISSUED FOR REVIEW
3	2022-05-08	ISSUED FOR DP
4	2023-03-08	REISSUED FOR DP
5	2023-07-28	REISSUED FOR DP #2
6	2023-09-19	REISSUED FOR DP #3
7	2023-10-08	REISSUED FOR DP #4
8	2023-10-20	PRE-SP REVIEW
9	2023-11-02	ISSUED FOR SP
10	2024-04-30	ISSUED FOR TENDER
11	2024-05-24	DP AMENDMENT - GENERAL COMPLIANCE
12	2024-08-16	DP AMENDMENT - GENERAL COMPLIANCE #2

REVISION

1	2024-05-15	IFT ADDENDUM #1
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METRIC

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V6J 1K7  
TEL: 604.726.5162 Fax:

INTERIOR DESIGN

MICHAEL STUDIOS  
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V6A 1E1  
TEL: 778.579.9161 Fax:

STRUCTURAL ENGINEER  
DIALOG  
406-611 ALEXANDRE STREET, VANCOUVER, BC

October 23, 2024  
DP 22-013200  
DP Plan #46

SCALE

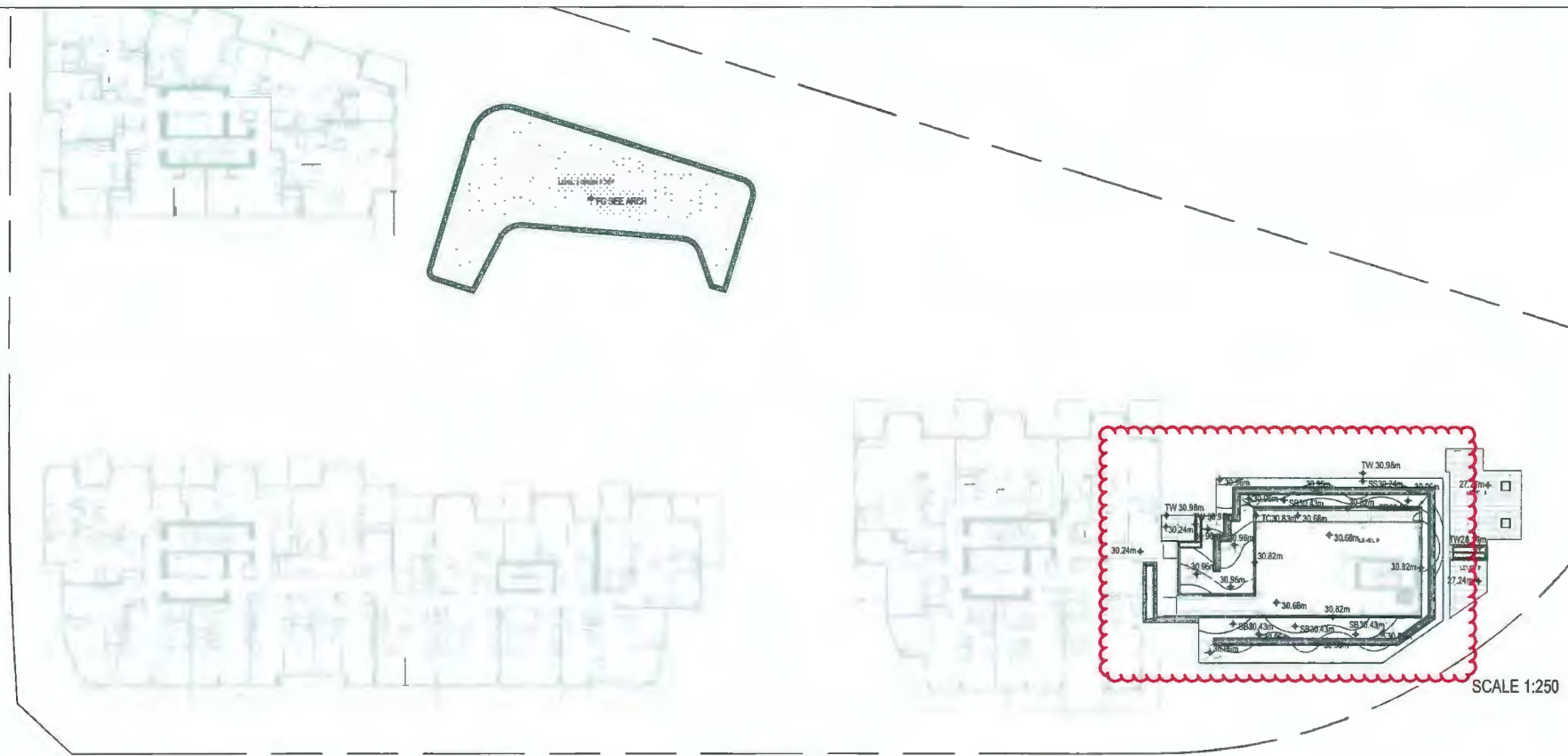


RIVER GREEN - LOT 1

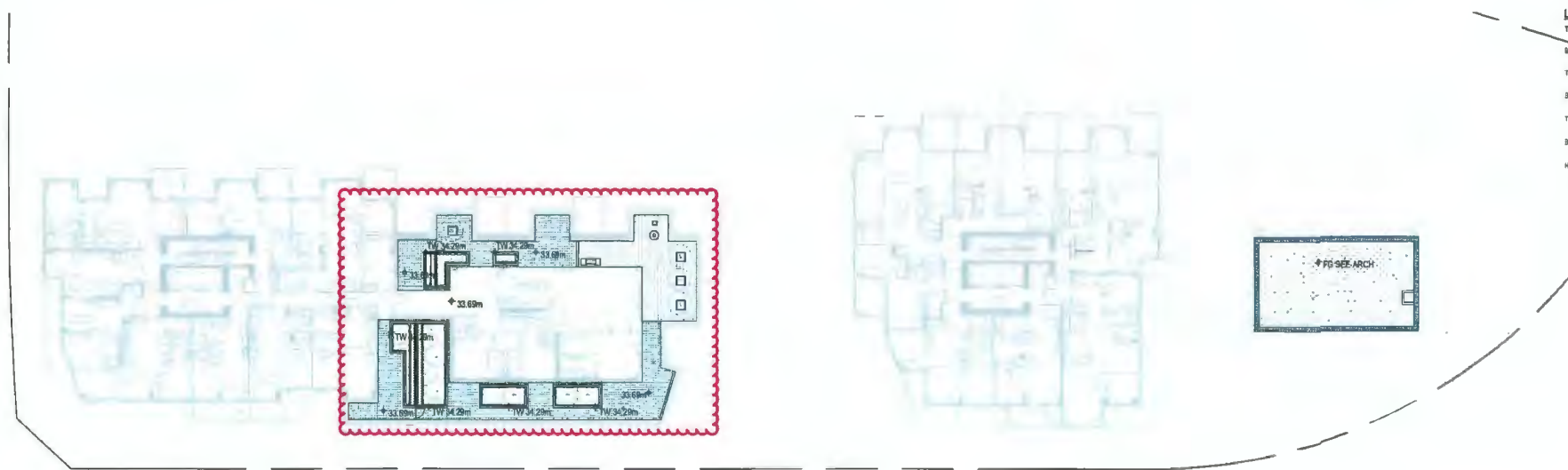
GRADING PLAN  
- LEVEL 9 & 10

DRAWN: ML CHECKED: LL  
PLOT DATE:

L3.03



1 LEVEL 9 - AMENITY  
SCALE: 1:250



2 LEVEL 10 - PATIOS  
SCALE: 1:250

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1. DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONED NOTES ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
2. LAYOUT AND MATERIALS DIMENSIONS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
3. LANDSCAPE DIMENSIONS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
4. UTILITY HOUSING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENR DRAWINGS FOR LOCATIONS, DETAILS AND SPECIFICATIONS.
5. REFER TO CIVIL ENGINEERS DRAWINGS FOR LAYOUT OF ROAD CURBS AND DISTRESS AND RESET/PARKING LAYOUT.
6. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE AND REPAIRS OF ALL PAVED SURFACES IN ROADWAY.
7. ALL STREETSCAPE DESIGN IS TO BE COORDINATED WITH CITY OF RICHMOND STREET IMPROVEMENTS DEPARTMENT AND PLANTED UNDER SUPERVISION OF THE CITY OF RICHMOND PARKING.
8. REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
9. ALL DIMENSIONS ARE IN MM.
10. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
11. ALL MOVABLE FURNITURE WILL BE PROVIDED BY OWNERS.

GRADING GENERAL NOTES

1. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
2. UNLESS OTHERWISE NOTED, ALL DIMS ARE LOCATED IN PLAIN OR PLANTED AREA ARE TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT.
3. PROVIDE POSITIVE DRAINAGE THROUGHOUT - AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE SURFACES.
4. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM SLOPE OF 4:1 AT ALL SOFT LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
5. ALL GRADING INFORMATION TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS TO ENSURE ADEQUATE SOIL DEPTHS AND POSITIVE DRAINAGE.

LEGEND:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
FE	TOP OF STAIR	FFE	FRESH FLOOR ELEVATION
BE	BOTTOM OF STAIR	C	CITY GRADE
TW	TOP OF WALL	A	ARCH GRADE
BW	BOTTOM OF WALL	S.1%	SLOPE
TR	TOP OF RAISE	US	UNDER BRIDGE
BR	BOTTOM OF RAISE	EX	EXISTING GRADING
HP	HIGH POINT	TB	TOP OF BENCH

SCALE 1:250

**LAYOUT AND MATERIALS GENERAL NOTES**

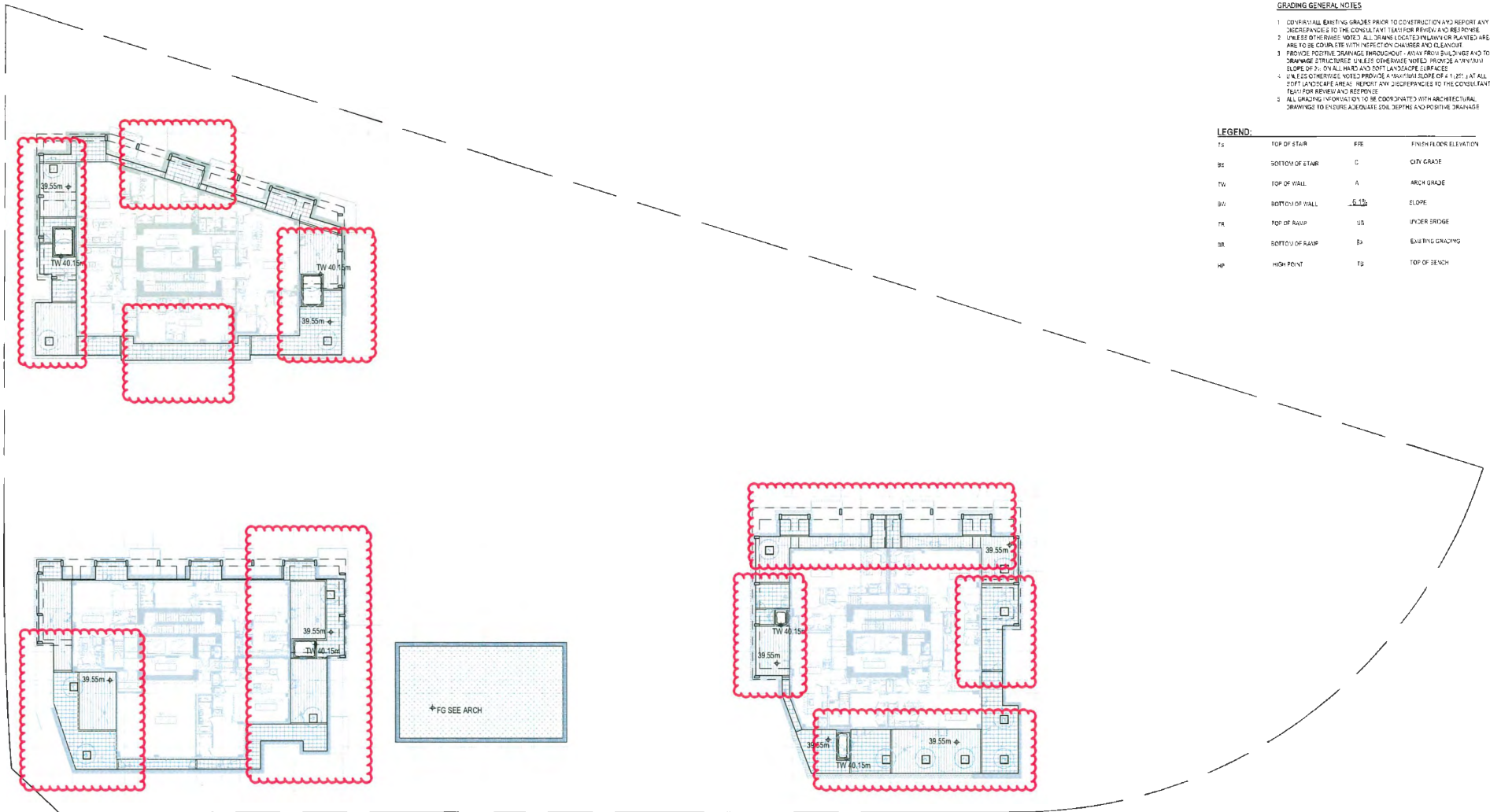
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- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ELEC. DRAWINGS FOR LIGHTING DETAILS AND SPECIFICATIONS.
- REFER TO CIVIL ENGINEER DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND DETAIL SCHEDULES.
- REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE AND REINFORCING OF ALL PAVED SURFACES IN WOODSIDE.
- ALL STREETCAMS ARE TO BE COORDINATED WITH CITY OF RICHMOND STREET ENGINEERING DEPARTMENT AND PLANNED UNDER SUPERVISION OF THE CITY OF RICHMOND PARK ROAD.
- REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS. ALL DRAWINGS ARE METRIC.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- ALL FURNITURE LEVELS SHALL BE PROVIDED BY OWNER.

**GRADING GENERAL NOTES**

- CONTRACTOR SHALL VERIFY GRADES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED, ALL DRAINS LOCATED IN PLANS OR PLANTED AREAS ARE TO BE CONSTRUCTED WITH INJECTION CURABLE AND CLEANOUT.
- PROVIDE POSITIVE DRAINAGE THROUGHOUT. AVOID PROTRUSIONS AND TO DRAINAGE STRUCTURES. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM SLOPE OF 1% ON ALL HARDS AND SOFT LANDSCAPE SURFACES.
- UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM SLOPE OF 1:10% AT ALL SOFT LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- ALL GRADING VOLUMES ARE TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS TO ENSURE ADEQUATE SOIL DEPTHS AND POSITIVE DRAINAGE.

**LEGEND:**

TS	TOP OF STAIR	FFE	FINISH FLOOR ELEVATION
SE <td>SOTTOM OF STAIR <td>C <td>GUT. GRADE</td> </td></td>	SOTTOM OF STAIR <td>C <td>GUT. GRADE</td> </td>	C <td>GUT. GRADE</td>	GUT. GRADE
TW <td>TOP OF WALL <td>A <td>ARCH GRADE</td> </td></td>	TOP OF WALL <td>A <td>ARCH GRADE</td> </td>	A <td>ARCH GRADE</td>	ARCH GRADE
SO <td>BOTTOM OF WALL <td>E 1%</td> <td>SLOPE</td> </td>	BOTTOM OF WALL <td>E 1%</td> <td>SLOPE</td>	E 1%	SLOPE
TR <td>TOP OF RAMP <td>US</td> <td>UPPER BRIDGE</td> </td>	TOP OF RAMP <td>US</td> <td>UPPER BRIDGE</td>	US	UPPER BRIDGE
BR <td>BOTTOM OF RAMP <td>SA</td> <td>EXISTING GRAZING</td> </td>	BOTTOM OF RAMP <td>SA</td> <td>EXISTING GRAZING</td>	SA	EXISTING GRAZING
HP <td>HIGH POINT <td>TS</td> <td>TOP OF SLOPE</td> </td>	HIGH POINT <td>TS</td> <td>TOP OF SLOPE</td>	TS	TOP OF SLOPE



**ISSUED FOR**

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-06	ISSUED FOR DP
4	2022-03-06	REISSUED FOR DP
5	2023-07-28	REISSUED FOR DP #2
6	2023-09-19	REISSUED FOR DP #3
7	2023-10-05	REISSUED FOR DP #4
8	2023-10-20	PRELIMINARY REVIEW
9	2023-11-02	ISSUED FOR DP
10	2024-04-30	ISSUED FOR TENDER
11	2024-05-24	DP AMENDMENT - GENERAL COMPLIANCE
12	2024-05-16	DP AMENDMENT - GENERAL COMPLIANCE #2

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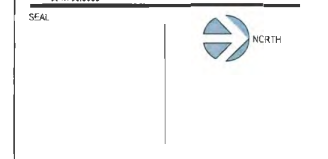
**ARCHITECT & PRIME CONSULTANT**  
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**October 23, 2024**  
**DP 22-013200**  
**DP Plan #47**



RIVER GREEN - LOT 1

**GRADING PLAN**  
**- LEVEL 12**

DRAWN: ML  
 PLOT DATE: CHECKED: LL

**L3.04**

SCALE 1:250

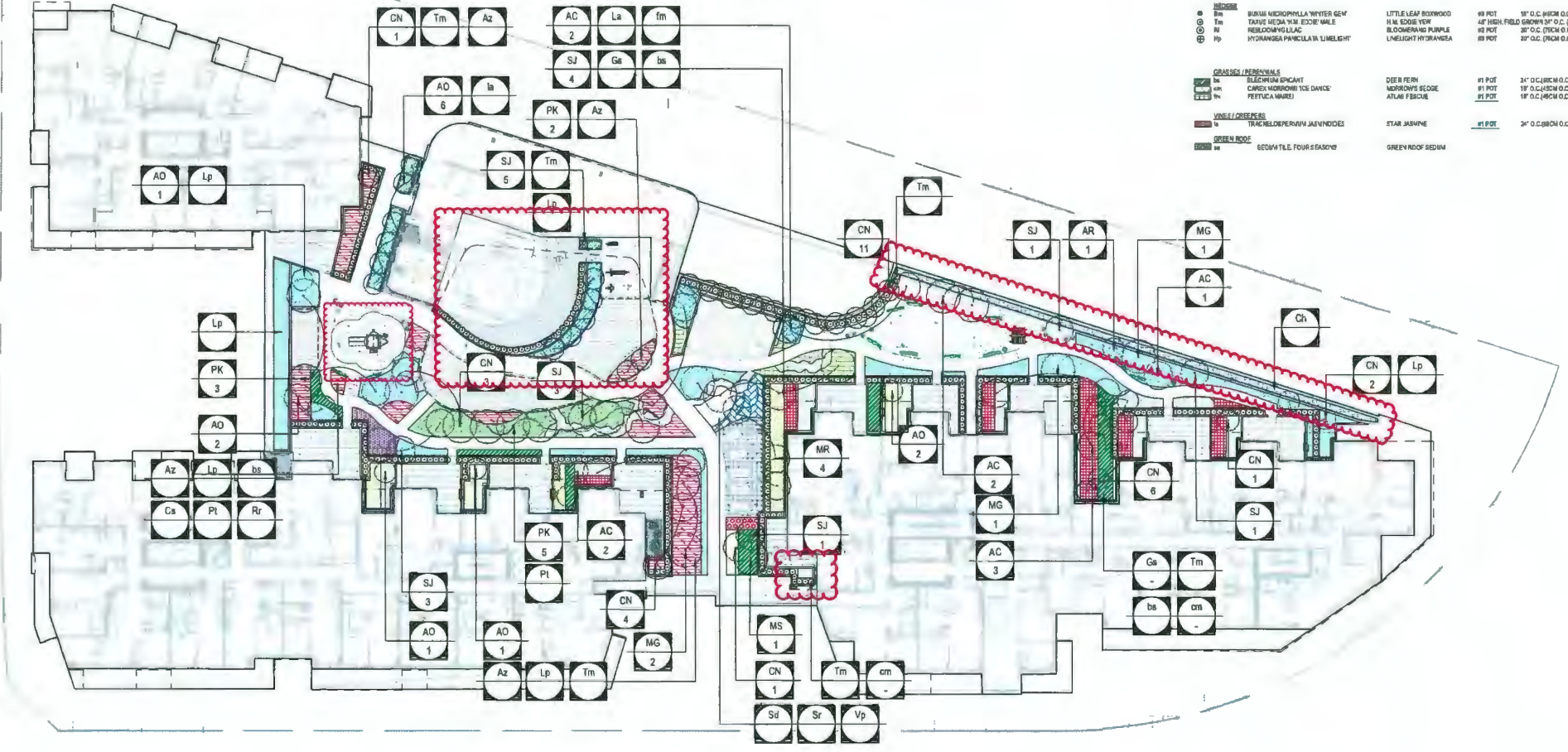


**PLANTING GENERAL NOTES**

- GREEN ROOF TILES PLANT SPECIES REFER TO SUPPLIER'S DESIGN.
- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARD SPECIFIED IN THE CURRENT EDITION OF THE BC LANDSCAPE STANDARD. THIS STANDARD IS PUBLISHED ANNUALLY BY THE SOCIETY OF LANDSCAPE ARCHITECTS (SOLA) AND THE BC LANDSCAPE AND NURSERY ASSOCIATION (BCNA).
- SEARCH AREA FOR ALL PLANT MATERIAL SHALL INCLUDE ALL OF WESTERN NORTH AMERICA OR AS SPECIFIED.
- PLANT MATERIAL SIZES SPECIFIED ARE THE MINIMUM ACCEPTABLE SIZES TO BE SUPPLIED TO THE PROJECT.
- ALL PLANT MATERIAL SHALL BE WELL ESTABLISHED AND UNIFORM IN SHAPE AND SIZE.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED. ONLY CERTIFIED 5.0 D. NURSERY STOCK WILL BE ACCEPTED.
- THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT 4-8 WEEKS PRIOR TO THE START OF CONSTRUCTION.
- GROWING MEDIUM SUPPLIED TO THE SITE OR INSTALLED ON SITE PRIOR TO CONSULTANT APPROVAL SHALL BE REJECTED AT THE OWNER'S RISK.
- THE CONTRACTOR SHALL CONFIRM PLANT QUANTITIES ON THE DRAWINGS CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
- PLANT LIST TO BE READ IN CONJUNCTION WITH SPECIFICATIONS FOR COMPLIANCE.
- BEFORE THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF THE PLANT MATERIAL SPECIFIED AS PER SPECIFICATIONS, ALLOWING FOR AIR AND ALL REQUIRED APPROVALS. PLANT MATERIAL NOT CONFIRMED AND APPROVED BY THE CONSULTANT WILL BE REJECTED.
- AUTOMATIC IRRIGATION SHALL BE PROVIDED FOR ALL PUBLIC OPEN SPACE, GREEN ROOF, COURTYARDS AND LARGER PRIVATE PATIOS. AUTOMATICALLY IRRIGATION SYSTEM WITH WEATHER SENSOR CONTROLLER SHALL BE PROVIDED FOR WATER EFFICIENCY.
- HOSE BIBES SHALL BE PROVIDED FOR COMMON AREAS AND SOME PRIVATE PATIOS. REFER TO ARCHITECTURAL DRAWINGS FOR HOSE BIB LOCATIONS.
- OFF-SITE PLANTING DESIGN ARE INCLUDED IN SA. REFER TO THE PROJECT AMENDMENT DRAWINGS FOR EXISTING TREE MANAGEMENT. REFER TO THE ENVIRONMENTAL CONSULTANT'S DRAWINGS FOR THE LOT 11 PLANTING DESIGN.
- WATER IRRIGATION ZONES INDICATE A TYPICAL PLANT PLACEMENT LAYOUT OF SPECIES GROUPS IN A 300MM LAYER MESH FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF IRRIGATION ZONES.

**PLANTS SCHEDULE**

KEY	CITY	BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION
AD	AC	ACER PALMATHUT/DONKAZHT	OSASAZHI JAPANESE MAPLE	1.5M HT. 100	MULTI-STEMMED (3 MIN.) FULL
AC	AC	ACER CROMATUM	WINE MAPLE	2.5M HT. 100	MULTI-STEMMED (3 MIN.) FULL
AR	AC	ACER RUBRUM/RED SUMMIT	RED SPURGEY MAPLE	1.5M HT. 100	MULTI-STEMMED (3 MIN.) FULL
AM	AC	ACER RUBRUM/RED SUMMIT	SCARLET/STURTELL PEEPER MAPLE	1.5M HT. 100	MULTI-STEMMED (3 MIN.) FULL
CH	CO	CORNUS EDGEMONTI/WHITE WITCHER	EDGEMONT WHITE WITCHER	2.5M HT. 100	FULL UNIFORM SIZE & QUALITY
MS	MO	MORUS ALBA/WHITE MULBERRY	EUROPEAN MULBERRY	2.5M HT. 100	FULL UNIFORM SIZE & QUALITY
MR	MO	MORUS ALBA/WHITE MULBERRY	ROYAL CROWN MULBERRY	2.5M HT. 100	FULL UNIFORM SIZE & QUALITY
MS	MO	MORUS ALBA/WHITE MULBERRY	RED BERRY MULBERRY	2.5M HT. 100	FULL UNIFORM SIZE & QUALITY
MR	MO	MORUS ALBA/WHITE MULBERRY	GRASSY MULBERRY	2.5M HT. 100	FULL UNIFORM SIZE & QUALITY
PK	PR	PRUNUS SPENSIS	SPRING PINE	2.5M HT. 100	FULL UNIFORM SIZE & QUALITY
PK	PR	PRUNUS SPENSIS	WESTERN CHERRY	2.5M HT. 100	FULL UNIFORM SIZE & QUALITY
ST	ST	STYRAX JAPONICUS	JAPANESE SNOWBALL TREE	2.5M HT. 100	SPECIES QUALITY (5 FT.) FULL
TR	TR	TRIFOLIUM ALPINE	TRIFOLIUM	2.5M HT. 100	FULL UNIFORM SIZE & QUALITY
TR	TR	TRIFOLIUM ALPINE	EXCELSA RED CEDAR	2.5M HT. 100	FULL UNIFORM SIZE & QUALITY
TR	TR	TRIFOLIUM ALPINE	NORTHERN SPURGE RED CEDAR	2.5M HT. 100	FULL UNIFORM SIZE & QUALITY



**DIALOG**  
PFS STUDIO  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**ASPAC**  
DEVELOPMENTS

**ISSUED FOR**

1	2022-01-28	ISSUED FOR REVIEW
2	2022-05-19	ISSUED FOR REVIEW
3	2022-05-06	ISSUED FOR DP
4	2022-02-06	REISSUED FOR DP
5	2022-07-28	REISSUED FOR DP #2
6	2022-09-19	REISSUED FOR DP #3
7	2022-10-06	REISSUED FOR DP #4
8	2022-10-20	PRE-BP REVIEW
9	2023-11-02	ISSUED FOR BP
10	2024-04-30	ISSUED FOR TENDER
11	2024-05-24	DP AMENDMENT - GENERAL COMPLIANCE
12	2024-08-16	DP AMENDMENT - GENERAL COMPLIANCE #2

**REVISION**

1	2024-05-16	IFT ADDENDUM #1
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STRUCTURAL ENGINEER

**October 23, 2024**  
**DP 22-013200**  
**DP Plan #49**



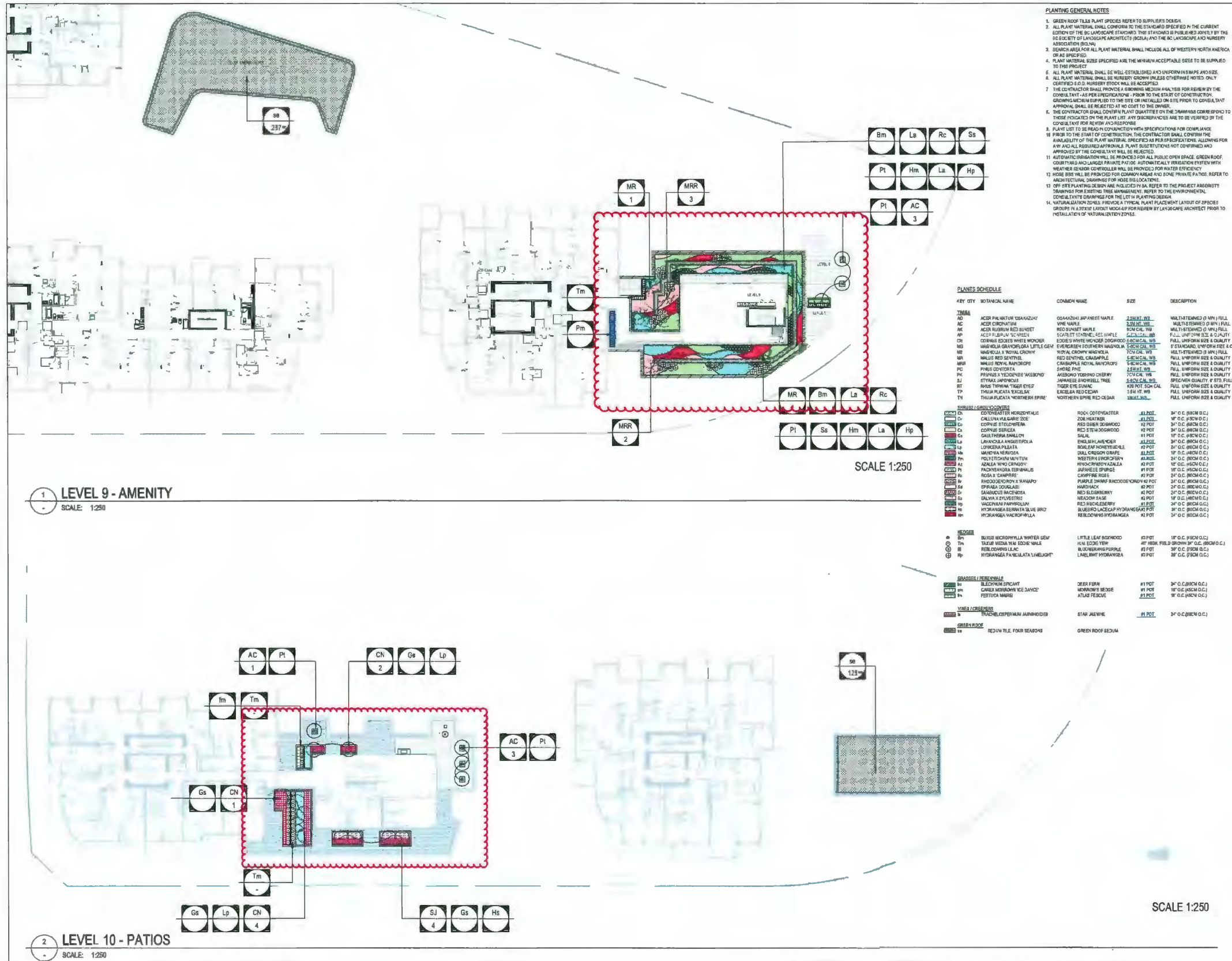
RIVER GREEN - LOT 1

PLANTING PLAN  
- LEVEL 2

DRAWN: ML PLOT DATE: CHECKED: LL

**L4.02**

SCALE 1:250



- PLANTING GENERAL NOTES**
- GREEN ROOF TILE PLANT SPECIES REFER TO SUPPLIER'S DATA.
  - ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARD SPECIFIED IN THE CURRENT EDITION OF THE BC LANDSCAPE STANDARD THE STANDARD IS PUBLISHED JOINTLY BY THE SOCIETY OF LANDSCAPE ARCHITECTS (SCLA) AND THE BC LANDSCAPE AND NURSERY ASSOCIATION (BLNA).
  - GENERAL AREA FOR ALL PLANT MATERIAL SHALL INCLUDE ALL OF WESTERN NORTH AMERICA OR AS SPECIFIED.
  - PLANT MATERIAL SIZES SPECIFIED ARE THE MINIMUM ACCEPTABLE SIZES TO BE SUPPLIED TO THE PROJECT.
  - ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND UNIFORM IN SHAPE AND SIZE.
  - ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED. ONLY CERTIFIED S.O.D. NURSERY STOCK WILL BE ACCEPTED.
  - THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATION - PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SHALL BE APPLIED TO THE SITE OR INSTALLED ON SITE PRIOR TO CONSULTANT APPROVAL. APPROVAL SHALL BE REQUESTED AT NO COST TO THE OWNER.
  - THE CONTRACTOR SHALL CONFIRM PLANT QUANTITIES ON THE DRAWINGS CORRESPOND TO THOSE LOCATED ON THE PLANT LIST. ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
  - PLANT LIST TO BE READ IN CONJUNCTION WITH SPECIFICATIONS FOR COMPLIANCE.
  - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF THE PLANT MATERIAL SPECIFIED AS PER SPECIFICATIONS. ALLOWING FOR AIR AND ALL RESIDUAL APPROVALS. PLANT SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE CONSULTANT WILL BE REJECTED.
  - AUTOMATIC IRRIGATION WILL BE PROVIDED FOR ALL PUBLIC OPEN SPACE, GREEN ROOF, COURTYARDS AND LARGER PRIVATE PLOTS. AUTOMATIC IRRIGATION SYSTEMS WITH WEATHER SENSOR CONTROLLERS WILL BE PROVIDED FOR WATER EFFICIENCY.
  - HOSE BIBS WILL BE PROVIDED FOR COMMON AREAS AND SOME PRIVATE PATIOS. REFER TO ARCHITECTURAL DRAWINGS FOR HOSE BIB LOCATIONS.
  - OFF-SITE PLANTING DESIGN ARE INCLUDED IN SA. REFER TO THE PROJECT AGREEMENTS DRAWINGS FOR EXISTING TREE MANAGEMENT. REFER TO THE ENVIRONMENTAL CONSULTANTS DRAWINGS FOR THE LOT 11 PLANTING DESIGN.
  - NATURALIZATION ZONES PROVIDE A TYPICAL PLANT PLACEMENT LAYOUT OF SPECIES GROUPS IN A ZONED LAYOUT MODIFIED FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF NATURALIZATION ZONES.

**PLANTS SCHEDULE**

KEY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION
MR	MR	ACER PALMUTUM 'OSAKAZUKI'	OSAKAZUKI JAPANESE MAPLE	2.5M HT. W/ 2.5M SP. W/	MULTI-TRUNKED (0.5M) FULL
AC	AC	ACER CERNICORNIA	VINE MAPLE	2.5M HT. W/ 2.5M SP. W/	MULTI-TRUNKED (0.5M) FULL
AC	AC	ACER RUBRUM 'RED SWEEP'	RED SWEEP MAPLE	2.5M HT. W/ 2.5M SP. W/	MULTI-TRUNKED (0.5M) FULL
CH	CH	ACER FRAXINUM 'SCARLET'	SCARLET FRENCH MAPLE	2.5M HT. W/ 2.5M SP. W/	FULL UNIFORM SIZE & QUALITY
CH	CH	CORNUS ALBA 'WHITE WONDER'	WHITE WONDER DOGWOOD	2.5M HT. W/ 2.5M SP. W/	FULL UNIFORM SIZE & QUALITY
MD	MD	MAQUILA GIBBERNIFOLIA 'LITTLE GEM'	EVERGREEN GIBBERNIFOLIA	2.5M HT. W/ 2.5M SP. W/	FULL UNIFORM SIZE & QUALITY
MR	MR	MAQUILA X ROYAL CROWN	ROYAL CROWN MAQUILA	2.5M HT. W/ 2.5M SP. W/	MULTI-TRUNKED (0.5M) FULL
MR	MR	MAQUILA RED SENTINEL	RED SENTINEL MAQUILA	2.5M HT. W/ 2.5M SP. W/	FULL UNIFORM SIZE & QUALITY
MR	MR	MAQUILA ROYAL MANICURE	ROYAL MANICURE MAQUILA	2.5M HT. W/ 2.5M SP. W/	FULL UNIFORM SIZE & QUALITY
PC	PC	PRUNUS COCCINIFERA	SHRUB PINE	2.5M HT. W/ 2.5M SP. W/	FULL UNIFORM SIZE & QUALITY
PC	PC	PRUNUS YEDONENSIS 'SWEETBERRY'	EVERGREEN SWEETBERRY	2.5M HT. W/ 2.5M SP. W/	FULL UNIFORM SIZE & QUALITY
SJ	SJ	STYMAX JAPONICUS	JAPANESE BROWNELL TREE	2.5M HT. W/ 2.5M SP. W/	SPECIFIC QUALITY # STD. FULL
BT	BT	BETULA TRICHOCARPUS 'EYES'	TRICHOCARPUS BIRCH	2.5M HT. W/ 2.5M SP. W/	FULL UNIFORM SIZE & QUALITY
BT	BT	TRILIACIA PLUCATA 'EXCELSA'	EXCELSA RED CEDAR	1.5M HT. W/ 1.5M SP. W/	FULL UNIFORM SIZE & QUALITY
TP	TP	THUJA PLUCATA 'NORTHERN SPICE'	NORTHERN SPICE RED CEDAR	1.5M HT. W/ 1.5M SP. W/	FULL UNIFORM SIZE & QUALITY
RO	RO	ROCK COTONEASTER	ROCK COTONEASTER	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
ZO	ZO	ZOE HEATHER	ZOE HEATHER	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
RE	RE	RED TOWER DOGWOOD	RED TOWER DOGWOOD	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
ST	ST	STYMAX JAPONICUS	STYMAX JAPONICUS	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
SA	SA	SALAL	SALAL	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
EN	EN	ENGLISH LAVENDER	ENGLISH LAVENDER	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
BO	BO	BOULEAU HONOREE DE LAZARIE	BOULEAU HONOREE DE LAZARIE	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
DA	DA	DALY ELDERBERRY	DALY ELDERBERRY	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
WE	WE	WESTERN SPUR DOGWOOD	WESTERN SPUR DOGWOOD	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
HI	HI	HINDICREMYNIA ALBA	HINDICREMYNIA ALBA	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
JA	JA	JAPANESE SPURGE	JAPANESE SPURGE	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
CA	CA	CAMPFIRE ROSE	CAMPFIRE ROSE	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
PA	PA	PINKIE DAZZLE HYDRANGEA	PINKIE DAZZLE HYDRANGEA	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
HA	HA	HARDYACK	HARDYACK	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
ME	ME	MEADOW SAKE	MEADOW SAKE	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
RE	RE	REBLOOMING HYDRANGEA	REBLOOMING HYDRANGEA	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
RE	RE	REBLOOMING HYDRANGEA	REBLOOMING HYDRANGEA	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
LI	LI	LITLIE LEAF BURNING	LITLIE LEAF BURNING	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
EM	EM	EMERALD GEM	EMERALD GEM	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
LA	LA	LABELLANT HYDRANGEA	LABELLANT HYDRANGEA	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
BL	BL	BLUETOP SPICANT	BLUETOP SPICANT	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
CA	CA	CAREX MORROW 'ICE DANCE'	MORROW'S ICE DANCE	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
FE	FE	FESTUCA MARIS	ATLAS FESCUE	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
ST	ST	STAR JASMINE	STAR JASMINE	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)
RE	RE	REBLOOMING HYDRANGEA	REBLOOMING HYDRANGEA	1.5M HT. W/ 1.5M SP. W/	1" O.C. (BROWN O.C.)

**1 LEVEL 9 - AMENITY**  
SCALE: 1:250

**2 LEVEL 10 - PATIOS**  
SCALE: 1:250



**ISSUED FOR**

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-06	ISSUED FOR DP
4	2022-02-26	REISSUED FOR DP
5	2022-07-28	REISSUED FOR DP #2
6	2022-09-15	REISSUED FOR DP #3
7	2023-10-08	REISSUED FOR DP #4
8	2023-10-26	PRE-SUB REVIEW
9	2023-11-02	ISSUED FOR DP
10	2024-04-30	ISSUED FOR TENDER
11	2024-05-24	DP AMENDMENT - GENERAL COMPLIANCE
12	2024-06-18	DP AMENDMENT - GENERAL COMPLIANCE #2

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**October 23, 2024**  
**DP 22-013200**  
**DP Plan #50**

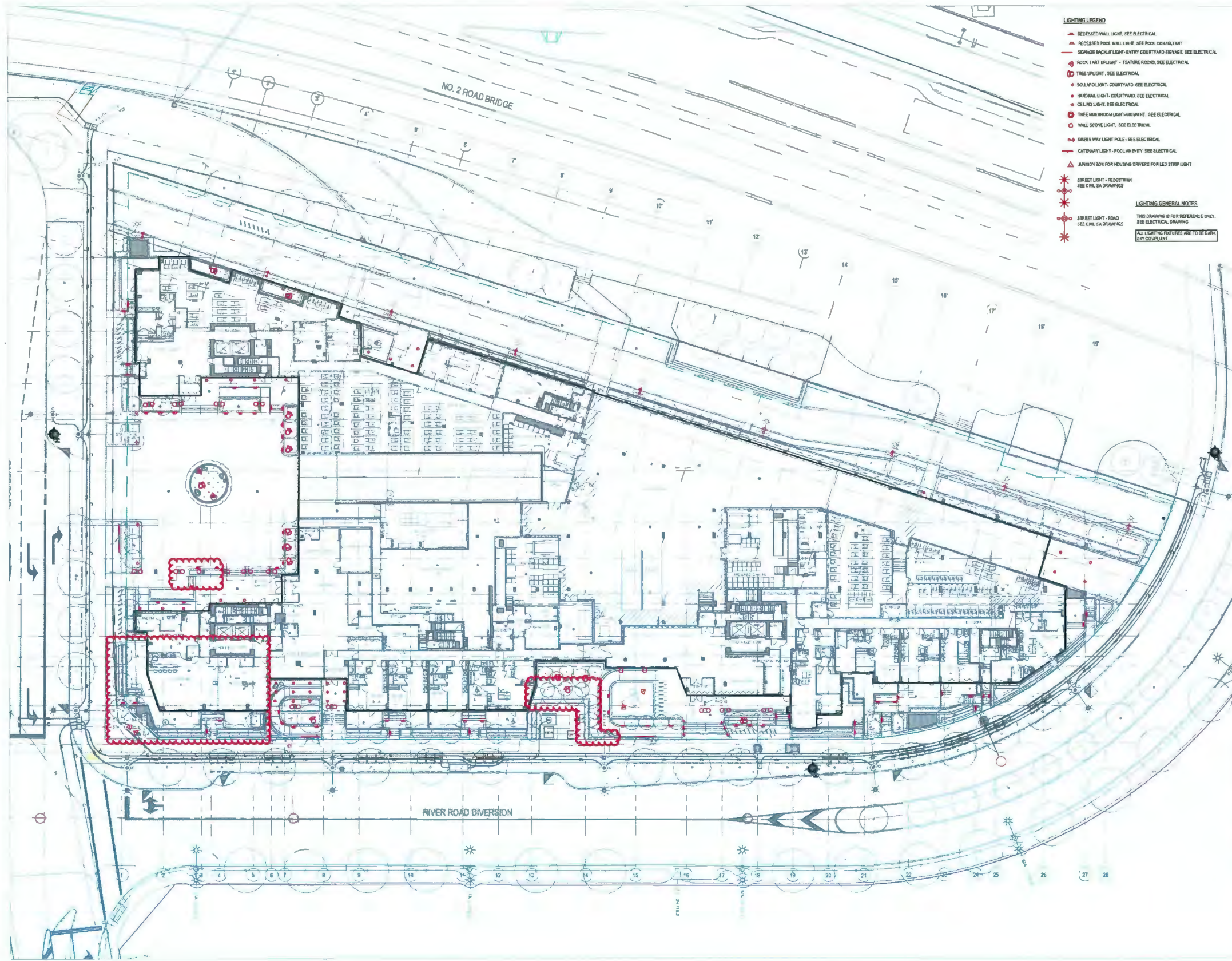
RIVER GREEN - LOT 1

**PLANTING PLAN**  
- LEVEL 9 & 10

DRAWN: ML CHECKED: LL  
PLOT DATE:

**L4.03**





- LIGHTING LEGEND**
- RECESSED WALL LIGHT - SEE ELECTRICAL
  - RECESSED POOL WALL LIGHT - SEE POOL CONSULTANT
  - EDGEWALL LIGHT - ENTRY COURTYARD ESPACE - SEE ELECTRICAL
  - ROCK / ART UPLIGHT - FEATURE ROCK-03 - SEE ELECTRICAL
  - TREE UPLIGHT - SEE ELECTRICAL
  - BOLLARD LIGHT - COURTYARD - SEE ELECTRICAL
  - WALL LIGHT - SEE ELECTRICAL
  - CILING LIGHT - SEE ELECTRICAL
  - THREE BARRHOOD LIGHT - GREENWAY - SEE ELECTRICAL
  - WALL SCENE LIGHT - SEE ELECTRICAL
  - GREENWAY LIGHT POLE - SEE ELECTRICAL
  - CATEGORY LIGHT - POOL AREA ENTRY - SEE ELECTRICAL
  - JUNCTION BOX FOR HANGING DRIVER FOR LED STRIP LIGHT
  - STREET LIGHT - PEDESTRIAN - SEE CIVIL/SA DRAWINGS
  - STREET LIGHT - ROAD - SEE CIVIL/SA DRAWINGS
- LIGHTING GENERAL NOTES**
- THIS DRAWING IS FOR REFERENCE ONLY. SEE ELECTRICAL DRAWING.
- ALL LIGHTING FIXTURES ARE TO BE DARK GLAZED COMPLIANT.

**DIALOG**  
**PFS STUDIO**  
 PLANNING URBAN DESIGN LANDSCAPE ARCHITECTURE

**ASPAC**  
 DEVELOPMENTS

ISS

1	FOR RE 161
2	ISSUED FOR
3	ISSUED FOR
4	ISSUED FOR DP #2
5	ISSUED FOR DP #2
6	ISSUED FOR DP #4
7	PRE-8P RE 161A
8	ISSUED FOR DP
9	ISSUED FOR UNDER

METRIC

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 PFS STUDIO  
 1777 W. 3RD AVENUE

INTERIOR DESIGN  
 K'ONLINE STUDIOS  
 CRE 100E

STRUCTURAL ENGINEER  
 DIALOG  
 S. EET

**October 23, 2024**  
**DP 22-013200**  
**DP Plan #52**

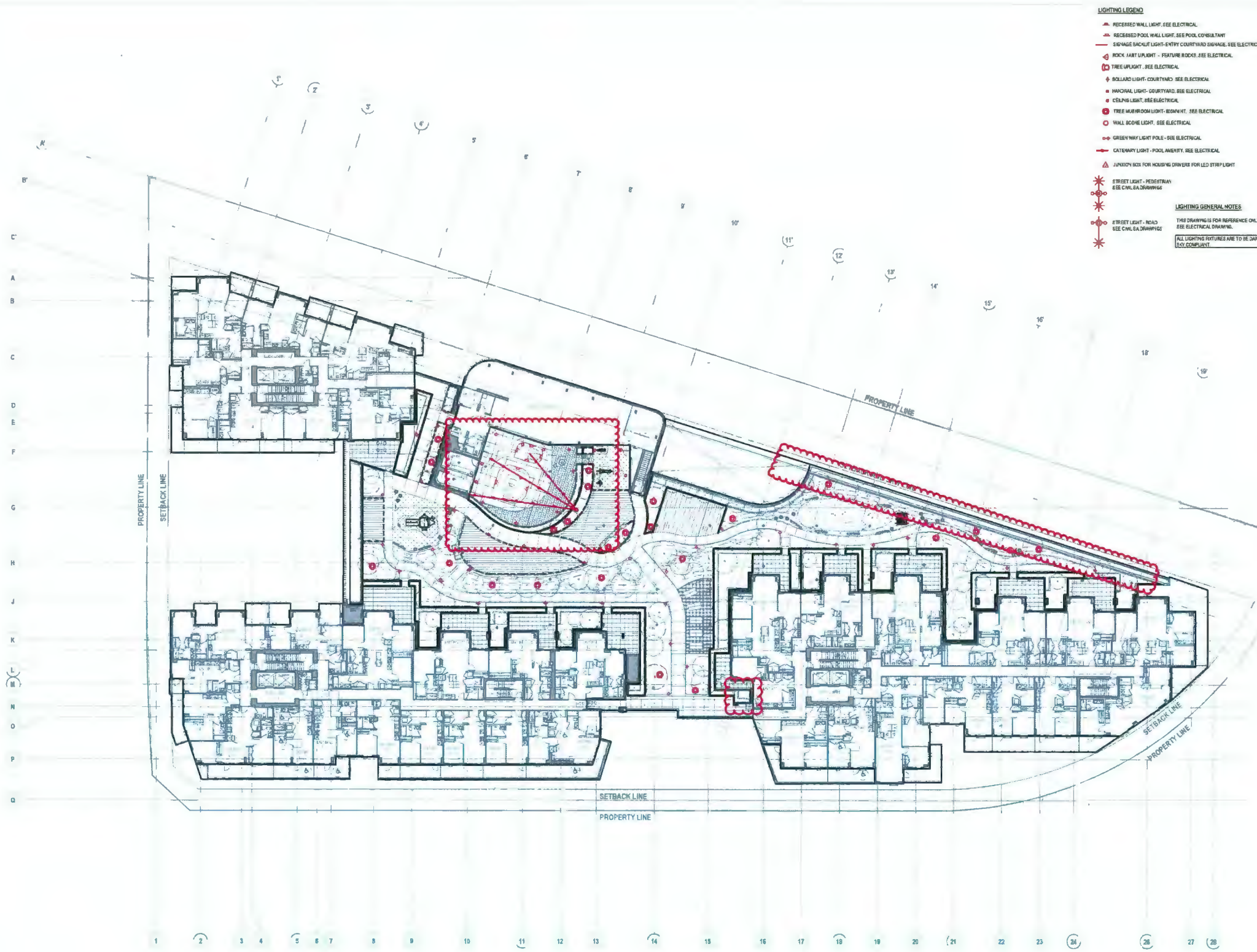
SEAL

RIVER GREEN - LOT 1

LIGHTING PLAN  
 - LEVEL 1

**L6.01**





- LIGHTING LEGEND**
- ▲ RECESSED WALL LIGHT - SEE ELECTRICAL
  - RECESSED POOL WALL LIGHT - SEE POOL CONSULTANT
  - SIGNAGE BACKLIT LIGHT - ENTRY COURTYARD SIGNAGE - SEE ELECTRICAL
  - ◇ ROCK JAR LIGHT - FEATURE ROCKS - SEE ELECTRICAL
  - TREE UPLIGHT - SEE ELECTRICAL
  - ◇ BOLLARD LIGHT - COURTYARD - SEE ELECTRICAL
  - MANORAL LIGHT - COURTYARD - SEE ELECTRICAL
  - CEILING LIGHT - SEE ELECTRICAL
  - TREE MURBROOM LIGHT - ROOM HT. - SEE ELECTRICAL
  - WALL ROOM LIGHT - SEE ELECTRICAL
  - ◇ GREEN WAY LIGHT POLE - SEE ELECTRICAL
  - CATEWAY LIGHT - POOL AMENITY - SEE ELECTRICAL
  - ▲ JUNCTION BOX FOR HOUSING DRIVERS FOR LED STRIP LIGHT
  - STREET LIGHT - PEDESTRIAN - SEE CHLS&A DRAWING
  - STREET LIGHT - ROAD - SEE CHLS&A DRAWING
- LIGHTING GENERAL NOTES**
- THIS DRAWING IS FOR REFERENCE ONLY - SEE ELECTRICAL DRAWING.
  - ALL LIGHTING FIXTURES ARE TO BE DARK-SCULPTURAL.

**DIALOG**  
**PFS STUDIO**  
 PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**ASPAC**  
 DEVELOPMENTS

ISSUED FOR:

4	ISSUED FOR REVISION
7	ISSUED FOR DP
8	ISSUED FOR DP
9	ISSUED FOR DP
10	ISSUED FOR DP
11	ISSUED FOR DP
12	ISSUED FOR DP
13	ISSUED FOR DP
14	ISSUED FOR DP
15	ISSUED FOR DP
16	ISSUED FOR DP
17	ISSUED FOR DP
18	ISSUED FOR DP
19	ISSUED FOR DP
20	ISSUED FOR DP
21	ISSUED FOR DP
22	ISSUED FOR DP
23	ISSUED FOR DP
24	ISSUED FOR DP
25	ISSUED FOR DP
26	ISSUED FOR DP
27	ISSUED FOR DP
28	ISSUED FOR DP

METRIC

ARCHITECT & PRIME CONSULTANT  
 PFS STUDIO  
 1777 W 3RD AVENUE  
 SUITE 107

LANDSCAPE ARCHITECT  
 PFS STUDIO  
 1777 W 3RD AVENUE  
 SUITE 107

INTERIOR DESIGN  
 ALDIPLEY STUDIOS  
 412 1/2 W 3RD AVENUE  
 SUITE 107

STRUCTURAL ENGINEER  
 DIALOG

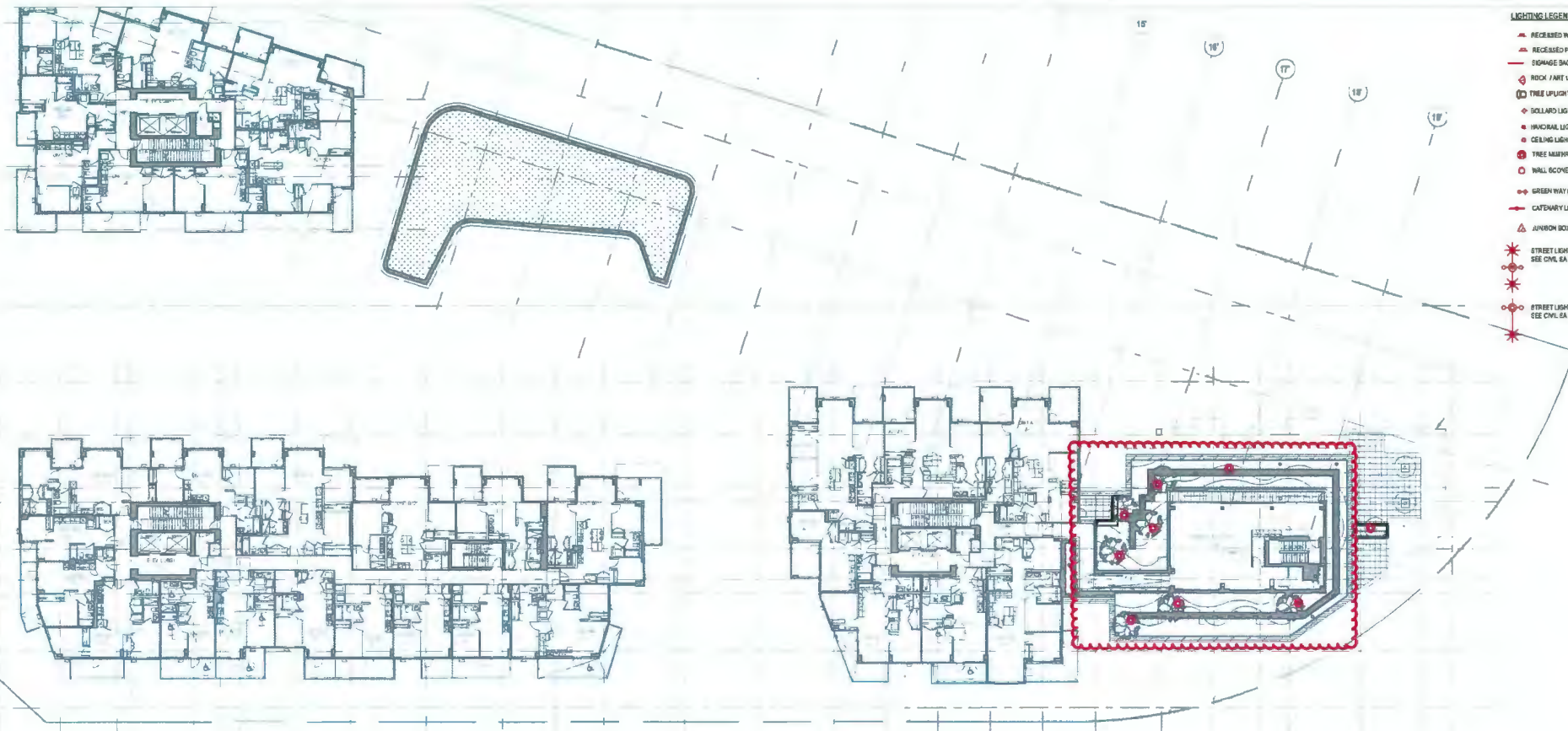
**October 23, 2024**  
**DP 22-013200**  
**DP Plan #53**



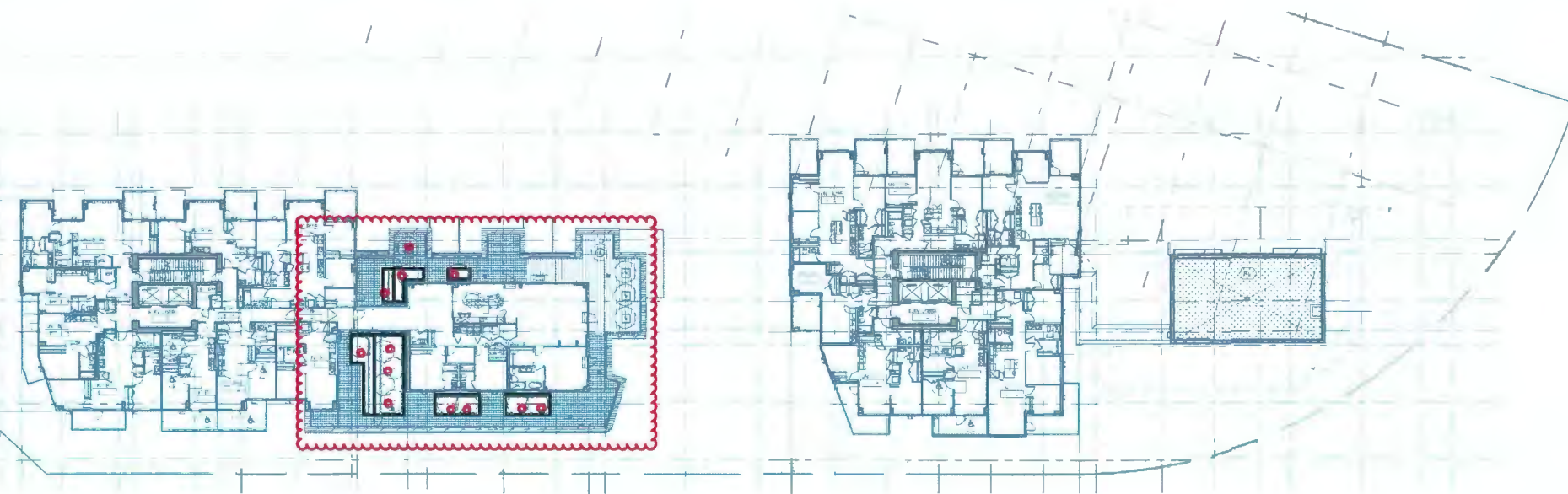
RIVER GREEN - LOT 1

LIGHTING PLAN  
 - LEVEL 2

**L6.02**



1 LEVEL 9 - AMENITY  
SCALE: 1/250



2 LEVEL 10 - PATIOS  
SCALE: 1/250

- LIGHTING LEGEND**
- ▲ RECESSED WALL LIGHT - SEE ELECTRICAL
  - ▲ RECESSED POOL WALL LIGHT - SEE POOL CONSULTANT
  - CHANGE BACKLIT LIGHT - ENTRY COURTYARD SIGNAGE - SEE ELECTRICAL
  - ◇ ROCK / ART UPLIGHT - FEATURE ROCKS - SEE ELECTRICAL
  - ⊙ TREE UPLIGHT - SEE ELECTRICAL
  - ◇ SOLIARD LIGHT - COURTYARD - SEE ELECTRICAL
  - WINDMILL LIGHT - COURTYARD - SEE ELECTRICAL
  - CEILING LIGHT - SEE ELECTRICAL
  - TREE MARIORUM LIGHT - WINDMILL - SEE ELECTRICAL
  - WALL ROCK LIGHT - SEE ELECTRICAL
  - ◇ GREENWAY LIGHT POLE - SEE ELECTRICAL
  - CATERWAY LIGHT - POOL/AMENITY - SEE ELECTRICAL
  - ▲ JUNCTION BOX FOR HOUSING DRIVERS FOR LED STRIP LIGHT
  - ★ STREET LIGHT - PEDESTRIAN - SEE CIVIL/EA DRAWINGS
  - ★ STREET LIGHT - ROAD - SEE CIVIL/EA DRAWINGS

**LIGHTING GENERAL NOTES**

THIS DRAWING IS FOR REFERENCE ONLY. SEE ELECTRICAL DRAWINGS.

ALL LIGHTING FIXTURES ARE TO BE DARK ELEGANT.

**DIALOG**  
PFS STUDIO  
PLANNING URBAN DESIGN + LANDSCAPE ARCHITECTURE

**ASPAC**  
DEVELOPMENTS

ISSUED FOR

1	RE 15A
2	ISSUED FOR RE 15B
3	ISSUED FOR DP
4	REISSUED FOR DP
5	REISSUED FOR DP #2
6	REISSUED FOR DP #4
7	PRE-SP RE 15C
8	ISSUED FOR SP
9	ISSUED FOR TENDER
10	
11	
12	

REVISION

1	2024-05-15	IFT ADDENDUM #1
---	------------	-----------------

METRIC

ARCHITECT & PRIME CONSULTANT

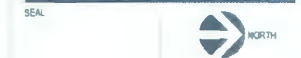
F4

LANDSCAPE ARCHITECT  
PFS STUDIO  
1777 W. 3RD AVENUE  
# 47

INTERIOR DESIGN  
MICHAEL STUDIOS  
412 611 ALEXANDRE STREET  
1E1

STRUCTURAL ENGINEER  
D. L.

October 23, 2024  
DP 22-013200  
DP Plan #54

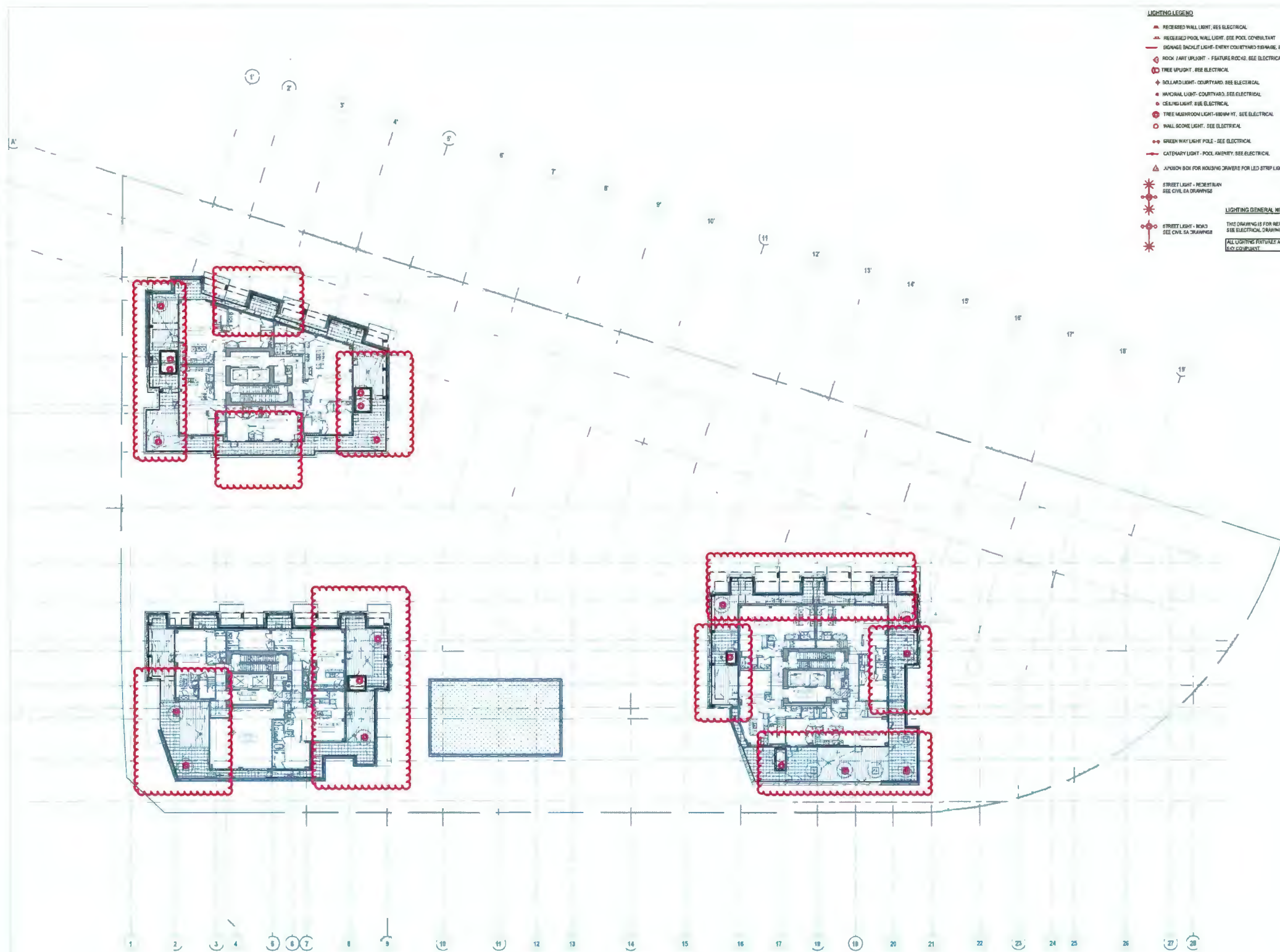


RIVER GREEN - LOT 1

LIGHTING PLAN  
- LEVEL 9 & 10

PLOT DATE: CHECKED

L6.03



- LIGHTING LEGEND**
- ▲ RECESSED WALL LIGHT - SEE ELECTRICAL
  - RECESSED POOL WALL LIGHT - SEE POOL CONSULTANT
  - ◇ SIGNAGE BACKLIT LIGHT - ENTRY COURTYARD SIGNAGE - SEE ELECTRICAL
  - ◇ ROCK / ART UP LIGHT - FEATURE ROCK - SEE ELECTRICAL
  - TREE UP LIGHT - SEE ELECTRICAL
  - ◇ SOLAR LIGHT - COURTYARD - SEE ELECTRICAL
  - HORIZONTAL LIGHT - COURTYARD - SEE ELECTRICAL
  - CEILING LIGHT - SEE ELECTRICAL
  - TREE MASHROOM LIGHT - 800MM HT. - SEE ELECTRICAL
  - WALL SCENE LIGHT - SEE ELECTRICAL
  - GREEN WAY LIGHT POLE - SEE ELECTRICAL
  - CATENARY LIGHT - POOL / AMENITY - SEE ELECTRICAL
  - ▲ JUNCTION BOX FOR HOUSING DRIVERS FOR LED STRIP LIGHT
- LIGHTING GENERAL NOTES**
- \* STREET LIGHT - PEDESTRIAN - SEE CIVIL SA DRAWINGS
  - \* STREET LIGHT - ROAD - SEE CIVIL SA DRAWINGS
- THIS DRAWING IS FOR REFERENCE ONLY. SEE ELECTRICAL DRAWING.  
 ALL LIGHTING FIXTURES ARE TO BE DARK ENCLOSURE.

**DIALOG**  
**PFS STUDIO**  
 PLANNING URBAN DESIGN LANDSCAPE ARCHITECTURE

**ASPAC**  
 DEVELOPMENTS

ISSUED FOR

21	REVIEW
2022-05	ISSUED FOR DP
2022-07	REISSUED FOR DP #2
2022-09	REISSUED FOR DP #3
2022-11	ISSUED FOR DP #4
2023-01	ISSUED FOR DP #5
2023-03	ISSUED FOR TENDER

METRIC

ARCHITECT & PRIME CONSULTANT

LANDSCAPE ARCHITECT

INTERIOR DESIGN

STRUCTURAL ENGINEER

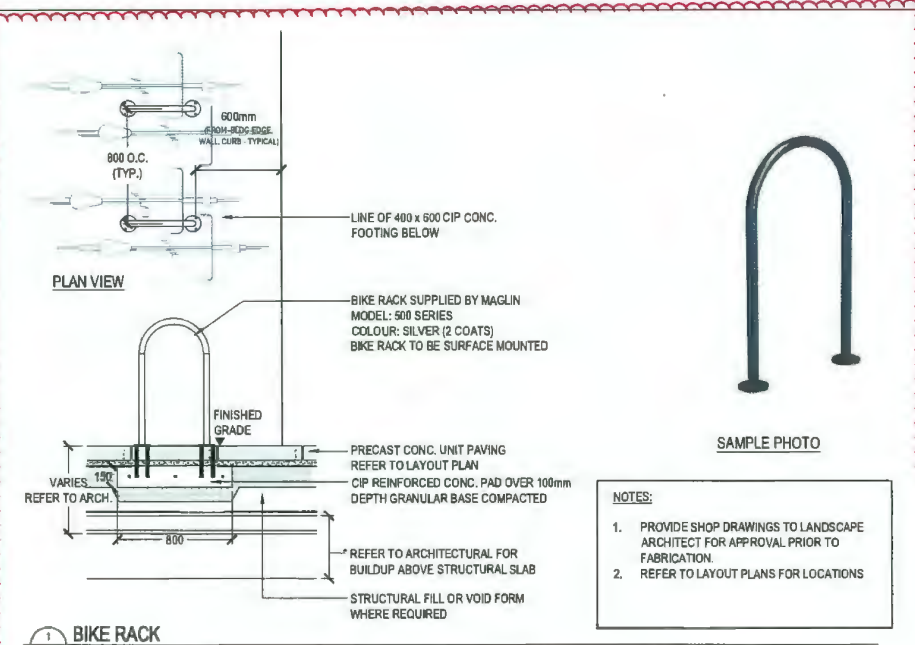
**October 23, 2024**  
**DP 22-013200**  
**DP Plan #55**



RIVER GREEN - LOT 1

LIGHTING PLAN  
 - LEVEL 12

**L6.04**

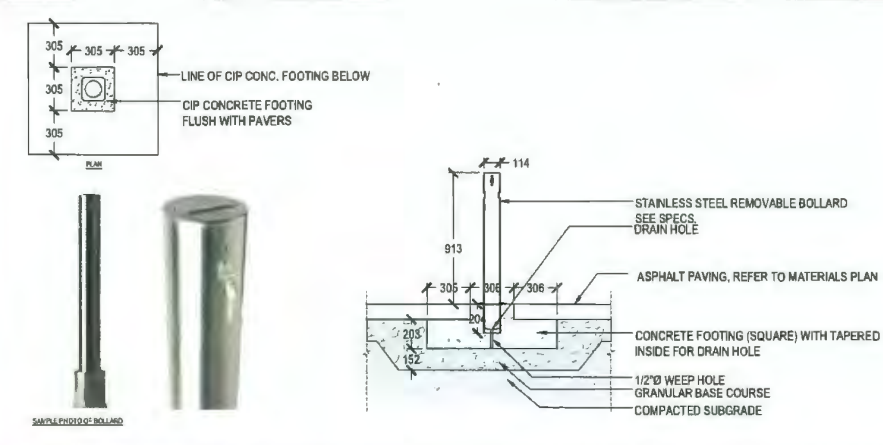


1 BIKE RACK  
SCALE: 1:20

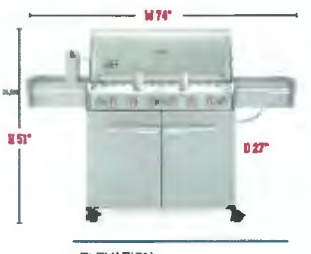


SAMPLE PHOTO

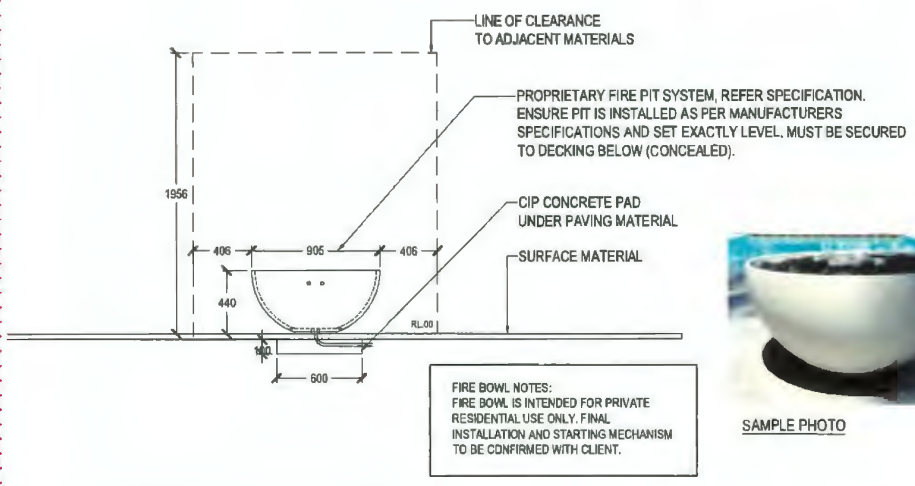
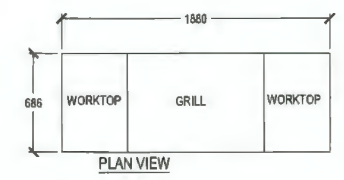
- NOTES:**
1. PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
  2. REFER TO LAYOUT PLANS FOR LOCATIONS



2 MOVABLE BOLLARD  
SCALE: 1:20



4 OUTDOOR KITCHEN BBQ SEE SPECS  
SCALE: 1:20



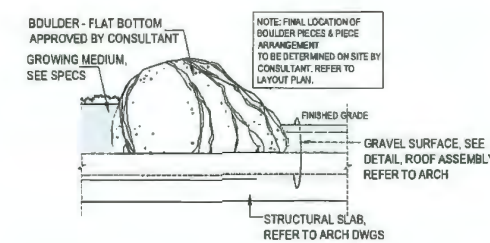
3 FIRE PIT W/ TANK COVER TABLE, SEE SPECS  
SCALE: 1:20



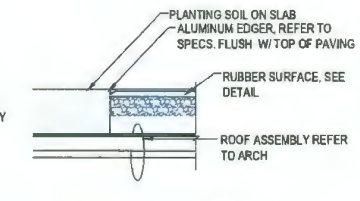
SAMPLE PHOTO



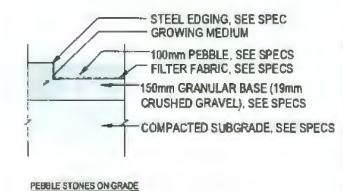
SAMPLE PHOTO



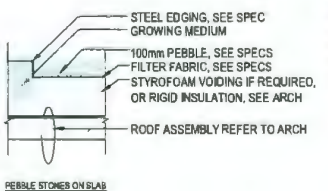
10 BOULDER ON SLAB  
SCALE: 1:20



5 RUBBER SURFACE EDGING  
SCALE: 1:20

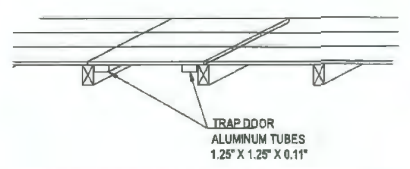


6 PEBBLE ON GRADE / ON SLAB  
SCALE: -



STEEL PLANTER 72\"/>

7 URBAN AGRICULTURE PLANTER, SEE SPECS  
SCALE: -



8 WOOD DECK TRAP DOOR  
SCALE: -



36\"/>

9 METAL PLANTER, SEE SPECS  
SCALE: -

ISSUED FOR

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-10	ISSUED FOR REVIEW
3	2022-05-06	ISSUED FOR DP
4	2022-03-26	REISSUED FOR DP
5	2022-07-28	REISSUED FOR DP #2
6	2022-09-15	REISSUED FOR DP #3
7	2023-10-06	REISSUED FOR DP #4
8	2023-10-26	PRE-8P REVIEW
9	2023-11-01	ISSUED FOR 8P
10	2024-04-30	ISSUED FOR TENDER
11	2024-05-24	DP AMENDMENT - GENERAL COMPLIANCE
12	2024-08-15	DP AMENDMENT - GENERAL COMPLIANCE #2

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V6A 1E1  
TEL: 604.255.1169 Fax: -

**LANDSCAPE ARCHITECT**  
PFS STUDIO  
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V6J 1K7  
TEL: 604.730.5166 Fax: -

**INTERIOR DESIGN**  
MORINLEY STUDIOS  
412 - 611 ALEXANDRE STREET, VANCOUVER, BC  
V6A 1E1  
TEL: 778.579.6761 Fax: -

**STRUCTURAL ENGINEER**  
DIALOG

**October 23, 2024**  
**DP 22-013200**  
**DP Plan #58**

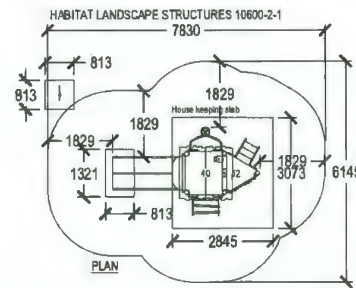


RIVER GREEN - LOT 1

LANDSCAPE DETAILS  
FURNISHING

DRAWN: ML  
PLOT DATE: -  
CHECKED: LL

**L8.03**

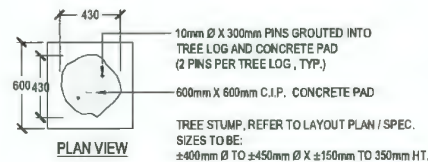


ELEVATION



SAMPLE PHOTO

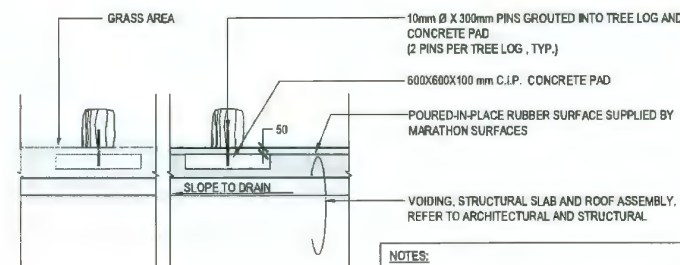
**1 PLAY STRUCTURE**  
SCALE: NTS



PLAN VIEW



SAMPLE PHOTO

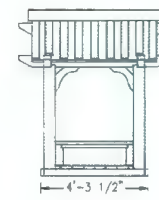
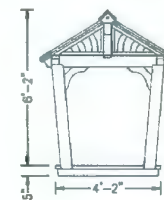
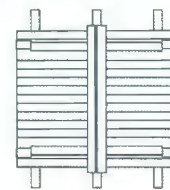


NOTES:

1. TREE STUMPS SIZE & SHAPE SHOWN INDICATIVE ONLY.
2. FINAL LOCATIONS OF TREE STUMP ARRANGEMENT TO BE DETERMINED ON SITE BY CONSULTANT.

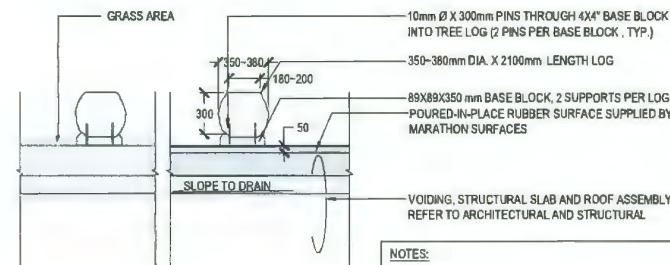
**2 WOOD STUMP**  
SCALE: 1:20

**HABITAT PLAY HOUSE**



SAMPLE PHOTO

**1A PLAY HOUSE**  
SCALE: MTS



NOTES:

1. TREE LOGS SIZE & SHAPE SHOWN INDICATIVE ONLY.
2. FINAL LOCATIONS OF TREE LOGS ARRANGEMENT TO BE DETERMINED ON SITE BY CONSULTANT.

**WOOD LOGS**  
SCALE: 1:20

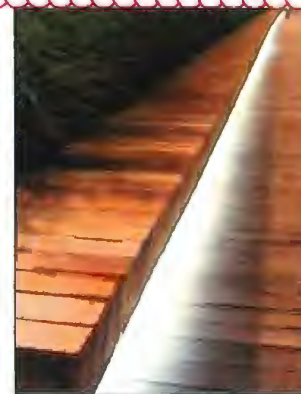
**ADDITIONAL DETAIL**



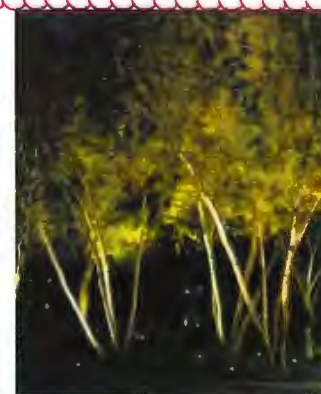
LIGHT BOLLARD  
SAMPLE PHOTO



RECESSED WALL LIGHT  
SAMPLE PHOTO



BENCH LIGHT  
SAMPLE PHOTO



TREE LIGHT  
SAMPLE PHOTO

NOTE:

LIGHTING FIXTURES ARE FOR REFERENCE ONLY. TO BE DESIGN BY LIGHTING CONSULTANT.

**3 LIGHTIG FIXTURES, REFERENCE ONLY, SEE ELECTRICAL**  
SCALE: NTS



PUBLIC EBIKE STATION BIKE RACK  
SAMPLE PHOTO

**BIKE RACK @ PUBLIC BIKE SHARE**  
SCALE: NTS

**ADDITIONAL DETAIL**

MBE-0970-00009  
Legacy # MLE3708 W D3



MAGLIN BENCH 70\"/>

**BENCH**  
SCALE: NTS

ISSUED FOR

- |    |            |                                      |
|----|------------|--------------------------------------|
| 1  | 2022-01-28 | ISSUED FOR REVIEW                    |
| 2  | 2022-02-10 | ISSUED FOR REVIEW                    |
| 3  | 2022-04-06 | ISSUED FOR DP                        |
| 4  | 2022-02-06 | REISSUED FOR DP                      |
| 5  | 2022-07-28 | REISSUED FOR DP #2                   |
| 6  | 2022-09-19 | REISSUED FOR DP #3                   |
| 7  | 2023-10-06 | REISSUED FOR DP #4                   |
| 8  | 2023-10-30 | PRE-SP REVIEW                        |
| 9  | 2022-11-03 | ISSUED FOR SP                        |
| 10 | 2024-04-30 | ISSUED FOR TENDER                    |
| 11 | 2024-05-24 | DP AMENDMENT - GENERAL COMPLIANCE    |
| 12 | 2024-08-16 | DP AMENDMENT - GENERAL COMPLIANCE #2 |

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406-611 ALEXANDRE STREET, VANCOUVER, BC  
V6A 1E1  
TEL: 604.286.1169 FAX:

LANDSCAPE ARCHITECT  
PFS STUDIO  
1777 W 3RD AVENUE, VANCOUVER, BC  
V6J 1K7  
TEL: 604.738.5168 FAX:

INTERIOR DESIGN  
NICOLE BY STUDIOS  
412-611 ALEXANDRE STREET, VANCOUVER, BC  
V6A 1E1  
TEL: 778.979.6761 FAX:

STRUCTURAL ENGINEER  
DIALOG

October 23, 2024  
DP 22-013200  
DP Plan #59

SEAL

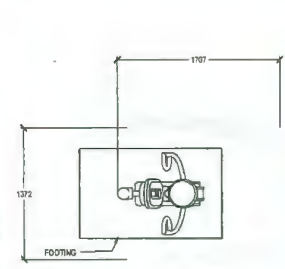


RIVER GREEN - LOT 1

LANDSCAPE DETAILS  
FURNISHING

DRAWN: ML PLOT DATE: CHECKED: LL

**L8.04**



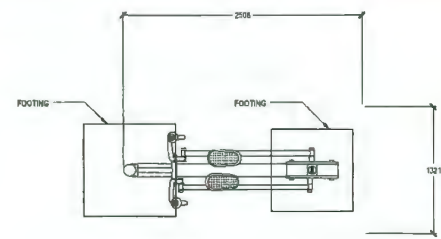
192456  
HEALTHBEAT  
CHEST/BACK PRESS  
DESIGNED FOR AGES  
13 YEARS AND OLDER



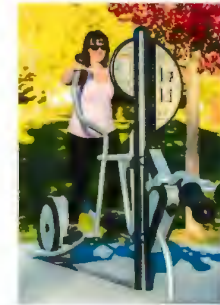
SAMPLE PHOTO

1 FITNESS EQUIPMENT - CHEST/BACK PRESS

SCALE: NTS



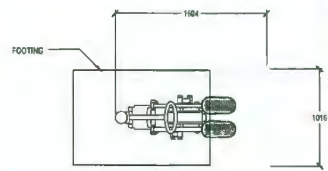
192457  
HEALTHBEAT  
ELLIPTICAL  
DESIGNED FOR AGES  
13 YEARS AND OLDER  
1-207607  
HEALTHBEAT  
BLANK SIGN SET



SAMPLE PHOTO

2 FITNESS EQUIPMENT - ELLIPTICAL

SCALE: NTS



192455  
HEALTHBEAT  
CARDIO STEPPER  
DESIGNED FOR AGES  
13 YEARS AND OLDER



SAMPLE PHOTO

3 FITNESS EQUIPMENT - STEPPER

SCALE: NTS

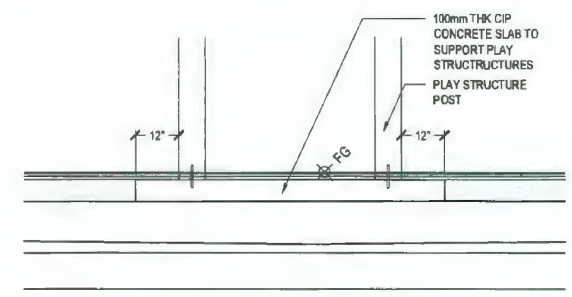
ADDITIONAL DETAIL



Detail was moved from 6/ LB.04 to here and replaced with a dimensioned product

4 POTTING TABLE / STORAGE

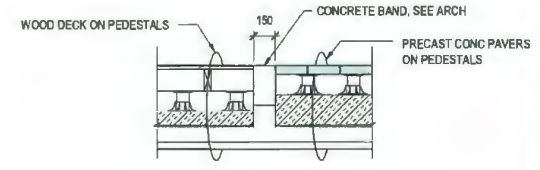
SCALE: NTS



5 PLAY STRUCTURE ON CIP CONG SLAB

SCALE: 1/20

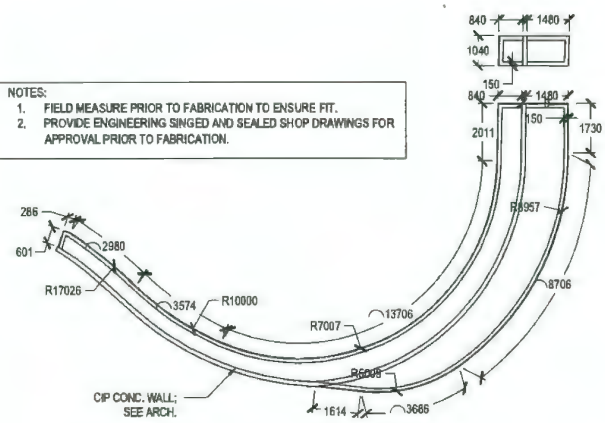
ADDITIONAL DETAIL



6 CIP CONG BAND ON SLAB

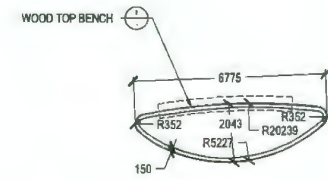
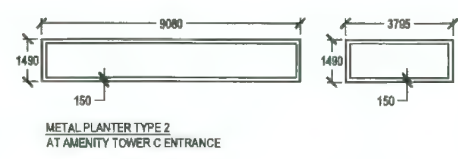
SCALE: 1/20

NOTES:  
1. FIELD MEASURE PRIOR TO FABRICATION TO ENSURE FIT.  
2. PROVIDE ENGINEERING SIGNED AND SEALED SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.

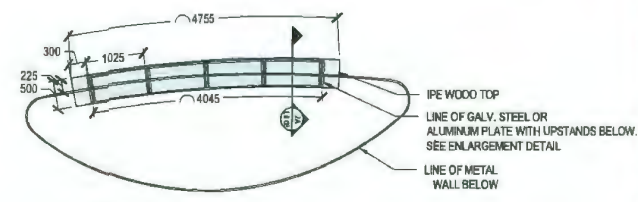


7 CUSTOM METAL PLANTERS

SCALE: 1/20



ADDITIONAL DETAIL



8 PLANTER WOOD TOP BENCH

SCALE: 1/20

**DIALOG**

**PFS STUDIO**  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**ASPAC**  
DEVELOPMENTS

ISSUED FOR

1	2022-01-28	ISSUED FOR REVIEW
2	2022-02-19	ISSUED FOR REVIEW
3	2022-05-05	ISSUED FOR DP
4	2022-02-05	REISSUED FOR DP
5	2022-07-28	REISSUED FOR DP #2
6	2022-05-19	REISSUED FOR DP #3
7	2022-10-06	REISSUED FOR DP #4
8	2022-10-28	PRE-AP REVIEW
9	2023-11-03	ISSUED FOR DP
10	2024-04-30	ISSUED FOR TENDER
11	2024-05-24	DP AMENDMENT - GENERAL COMPLIANCE
12	2024-05-16	DP AMENDMENT - GENERAL COMPLIANCE #2

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PFS STUDIO  
1777 W 3RD AVENUE, VANCOUVER, BC  
V6J 1K7  
Tel: 604.738.5168 Fax:  
**INTERIOR DESIGN**  
MICKLEY STUDIOS  
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**STRUCTURAL ENGINEER**  
DIALOG  
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**October 23, 2024**  
**DP 22-013200**  
**DP Plan #59a**



RIVER GREEN - LOT 1

LANDSCAPE DETAILS  
FURNISHING

DRAWN: ML  
PLOT DATE: CHECKED: LL

**L8.04A**

ADDITIONAL PAGE