



City of  
Richmond

## Report to Development Permit Panel

---

**To:** Development Permit Panel

**Date:** September 21, 2016

**From:** Wayne Craig  
Director, Development

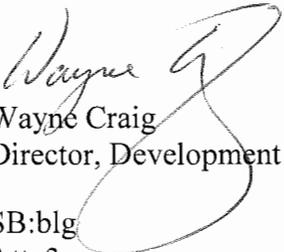
**File:** DP 11-564405

**Re:** **Application by Dava Development Ltd. for a General Compliance Ruling at Portions of 10111, 10197 & 10199 River Drive (formerly Portions of 10111 & 10199 River Drive)**

---

### Staff Recommendation

1. That the attached plans involving changes to the design of building "G" (addressed as 10177 River Drive), drive aisle and parkade entry be considered in General Compliance with the approved Development Permit (DP 11-564405).

  
Wayne Craig  
Director, Development

SB:blg  
Att. 3

## Staff Report

### Origin

Dava Development Ltd. has requested a General Compliance Ruling regarding a portion of the previously issued Development Permit (DP 11-564405) for proposed development on a portion of 10111, 10197 and 10199 River Drive (formerly portions of 10111 & 10199 River Drive) (Attachment 1), which was endorsed by the Development Permit Panel at its meeting held on April 11, 2012 and approved by Council on July 24, 2012. The approved Development Permit was for the first phase of the overall Parc Riviera development.

The proposed changes to the approved Development Permit include modifications to building "G" (addressed as 10177 River Drive) and proposed localized changes to the landscaping design in the area surrounding the building, drive aisle and parkade entry. Copies of the relevant approved plans (Attachment 2) and the plans outlining proposed changes (Attachment 3) are attached to this report.

### Background

Development surrounding the subject site is as follows:

- To the North and West, are City park and City dike along the north arm of the Fraser River; which are being developed as part of the overall Parc Riviera development.
- To the East, is the next phase of the overall development; also zoned "Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)". A Development Permit Application (DP 15-694616) is currently under review for a proposed townhouse development located at 10199 River Drive.
- To the South, across River Drive, are single-family homes on lots zoned "Single Detached (RS1/B, RS1/C and RS1/D)".

### Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the "Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)" zone and side yard variance approved through the approved Development Permit.

## **Analysis**

The proposed changes to the mixed-use building are within the scope of the General Compliance Guidelines as adopted by Council.

### ***Form and Character***

The proposed changes are consistent with the overall architectural form and character approach of the approved Development Permit (DP 11-564405). These include the following proposed design modifications at building “G”, drive aisle and parkade entry:

- The architectural design is proposed to be revised to enhance the building’s individual character. The approved material and colour palette remains the same to provide continuity in character with the constructed apartment buildings “E” & “F”, but the colour arrangement and framing details are proposed to be revised to provide building “G” with individuality for visual interest and wayfinding.
- The building articulation is proposed to be revised to enhance views, enhance privacy, accommodate unit layout revisions and incorporate weather protection consistent with building envelope best practices. The elevator overrun roof element has been reduced to the required size and a second roof element has been added for the required mechanical room. Some building bays, columns and fin walls have been reduced or relocated to maximize views to the river. Some building bays facing west have been adjusted to separate balconies to increase privacy of outdoor balconies. Design details are proposed to be revised to ensure good weather protection of building projections, including adjustments to projecting balconies and floor projections.
- The landscape design is revised to provide an appropriate interface from the approved design for Phase 1 over an underground parkade to the future Phase 2; which is under application for townhouses at grade and was originally anticipated in the rezoning to also be developed over an underground parkade. The north-south drive aisle ramps up from the lower River Drive elevation to the building “G” entry lobby elevation and adjacent loading bay, and then descends back down to the proposed loading area for the neighbouring future Phase 2. The grade transition at the north and south ends of building “G” is accommodated with tiered planters separating the semi-private outdoor decks from the shared pedestrian route and drive aisle.
- The pedestrian route and drive aisle paving treatment is proposed to be revised to enhance the building’s individual character and provide an appropriate transition to the neighbouring future Phase 2. Decorative pavers will continue to be used, but with different patterning.

### ***Parking Layout***

- The parkade entry ramp located between building “G” and building “C5” and the parking layout inside the underground parkade have been revised to locate the resident parking for building “C5” underneath building “C5” and to provide a setback to accommodate an appropriate grade transition to the neighbouring future Phase 2 development. A required pedestrian exit has also been added at the northeast corner of the parkade.

- The revised parking layout for building “C5” includes six (6) tandem parking spaces. Registration of a legal agreement requiring tandem parking spaces to be assigned to the same unit is a consideration of the General Compliance approval.

### *Accessible Housing*

- The approved development includes two (2) basic universal housing units in building “G” that are designed to be easily renovated to accommodate a future resident in a wheelchair. These two (2) units are now proposed to be located on floors 1 & 2 as identified on the replacement floor plans. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City’s Zoning Bylaw, and are permitted a density exclusion of 1.86 m<sup>2</sup> (20 ft<sup>2</sup>) per unit.
- In addition to the two (2) basic universal housing units noted above, the proposed development also includes three (3) adaptable units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. These three (3) units are proposed to be located on floors 3, 4 & 5 as identified on the replacement floor plans. These single-storey units are required to comply with the BC Building Code requirements for adaptable housing. These units do not include all of the features identified in the Basic Universal Housing Features section of the City’s Zoning Bylaw and therefore, do not qualify for the Zoning Bylaw density exclusion of 1.86 m<sup>2</sup> (20 ft<sup>2</sup>) per unit.

### **Conclusions**

Dava Development Ltd. has requested a General Compliance ruling on the approved mixed-use development project for portions of 10111, 10197 and 10199 River Drive (formerly portions of 10111 and 10199 River Drive) to modify the architectural plans for building “G” (building addressed as 10177 River Drive). The proposed modification is within the scope of the General Compliance Guidelines as adopted by Council. Staff have no objection to the proposed revisions. Staff recommend support of this General Compliance request for the proposed changes to the approved Development Permit.

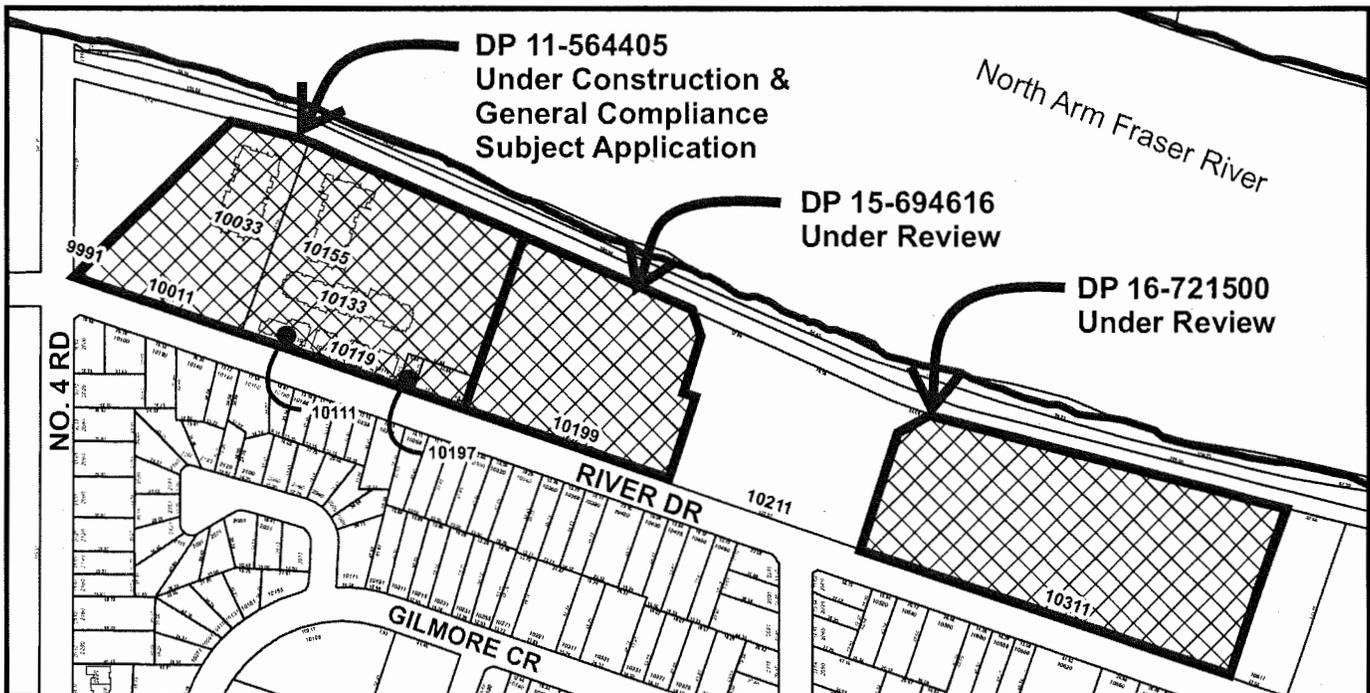
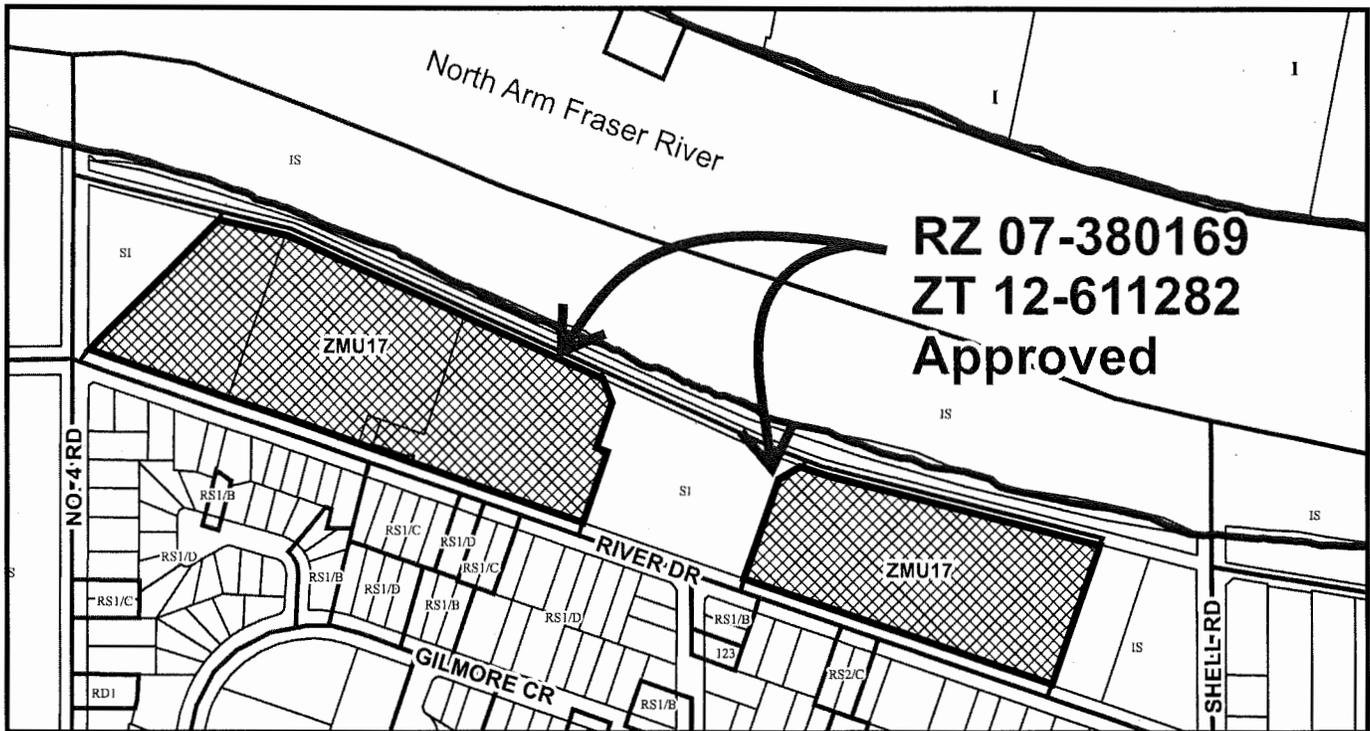
*Sara Badyal*

Sara Badyal  
Planner 2  
(604-276-4282)

SB:blg

Prior to forwarding this application to Council for consideration of approval, the developer is required to complete registration of a legal agreement on Title; ensuring that where two (2) parking spaces are provided in a tandem arrangement both parking spaces must be assigned to the same dwelling unit.

Attachment 1: Parc Riviera Context Map – Development Application History  
Attachment 2: Copies of relevant approved Development Permit Plans and  
Attachment 3: Proposed new Development Permit Plan



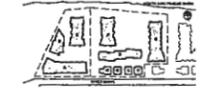
Parc Riviera Context Map  
Development Application History  
General Compliance Request to  
DP 11-564405

Original Date: 06/16/15

Revision Date: 09/21/16

Note: Dimensions are in METRES

KEY PLAN



- OPTED PRINCIPLES**
- light coloured painted finish to walls, columns, etc.
  - avoid hollow corners and inset corners where not required.
  - provide clear paths to doors leading to publicly accessible areas.
  - provide glazing to elevator lobbies.
  - ensure adequate lighting throughout underground parking areas.
  - install handrails along all public ramps.
  - provide enough surface finish to ramps to clear obstacles.

- LEGEND**
- AREA OF BUILDING FOOTPRINT WITH SETBACK
  - AREA OF ROOF OVERHANG & BAY PROJECTIONS WITH SETBACK

- SETBACK NOTES**
- BUILDING A**  
NONE
- BUILDING B**  
PRINCIPAL BUILDING FOOTPRINT DOES NOT ENROACH INTO SETBACK. ROOF OVERHANG AND SUPPORTING COLUMNS DOES PROJECT INTO SETBACK SPACE TO PROVIDE BUILT-IN FOR GATHERING SPACE AS A PUBLIC AMENITY FRONTING THE PARK.

- BUILDING C**  
TYPICALLY AT SECOND FLOOR BEDROOMS ALONG RIVER DRIVE, A BAY AND THE ROOF OVERHANG PROJECTS APPROXIMATELY 0.8 METERS INTO FRONT SETBACK.

- BUILDING D**  
NONE

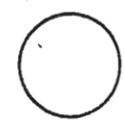
- BUILDING E**  
BALCONIES AT NORTH FACE ABOVE GROUND ARE CANTILEVERED INTO THE EIA SETBACK ZONE.

- BUILDING G**  
AS INDICATED ON ROOF PLAN, THE SOUTH END OF THE 5th STREET PORTION OF BUILDING G PARTIALLY EXTENDS INTO THE ZONED HEIGHT LIMIT AREA OF 15M. REQUIRES A VARIANCE.

3

Annotated Approved DP Plan 3

MAR 12 2012



**cotter ARCHITECTS**  
4215 - 1380 NO. 5 ROAD, RICHMOND, BC V7A 5J7  
TEL: 604 273 2997 FAX: 604 273 2998 WWW.COTTERARCHITECTS.COM

**PARC RIVIERA**  
A MIXED-USE DEVELOPMENT  
Mixed-use Development  
10071-10311 River Drive & 1680 No. 4 Road  
Richmond, B.C.  
DEVELOPER  
DAVA Development Ltd.  
(River Drive) Corp.  
ORIS CONSULTING  
(River Drive) Corp.

|             |      |
|-------------|------|
| DESIGNED BY | DATE |
| DRAWN BY    | DATE |
| CHECKED BY  | DATE |
| SCALE       | DATE |
| DATE        | DATE |

ROOF PLAN W/ SETBACKS



A-110 F

REDUCED SETBACK VARIANCE FROM 6m TO 2.7m.

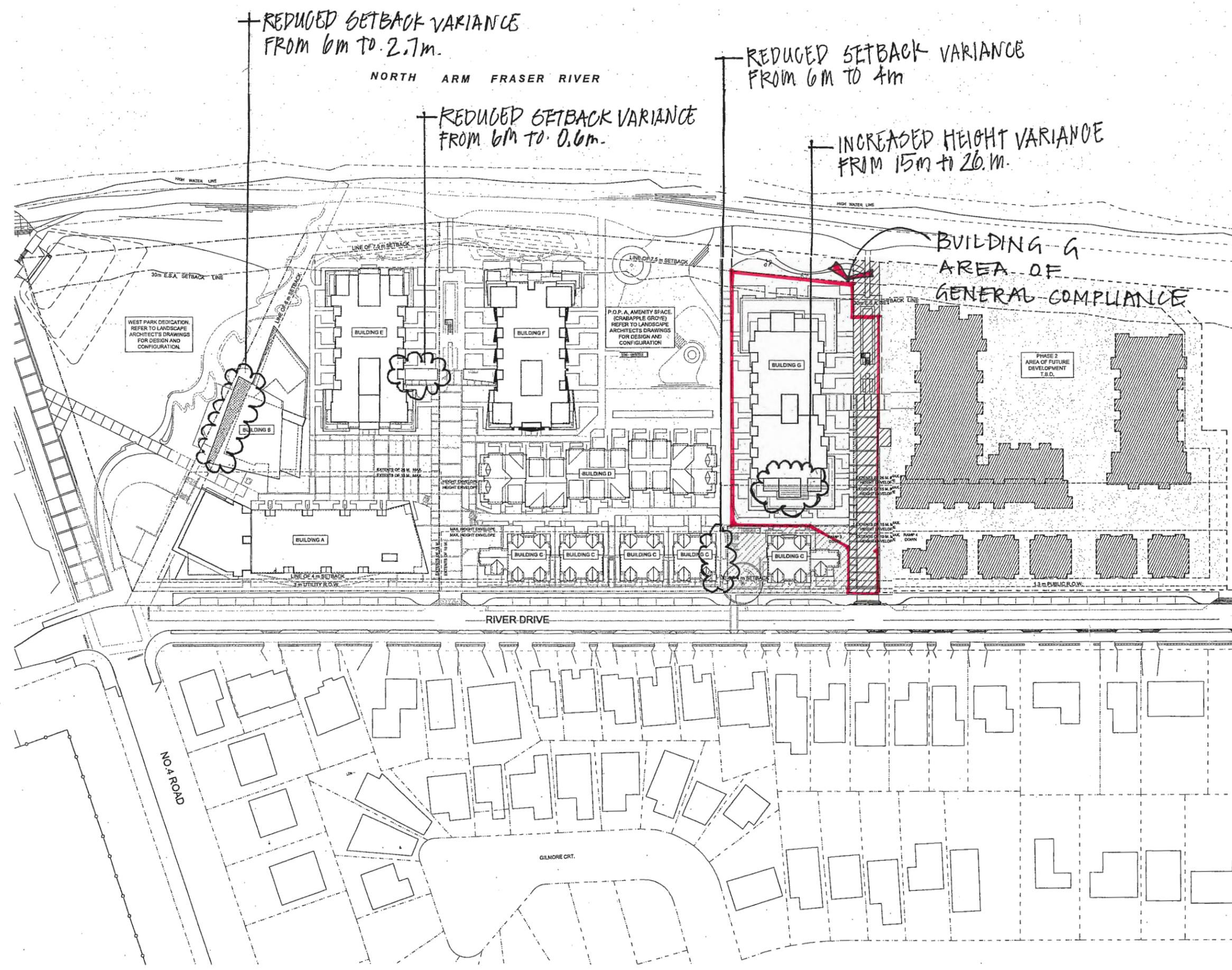
NORTH ARM FRASER RIVER

REDUCED SETBACK VARIANCE FROM 6m TO 4m

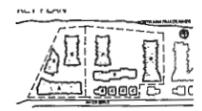
REDUCED SETBACK VARIANCE FROM 6m TO 0.6m.

INCREASED HEIGHT VARIANCE FROM 15m TO 20m.

BUILDING G AREA OF GENERAL COMPLIANCE



P-11564405



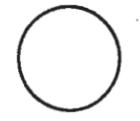
- OPTED PRINCIPLES**
- Light coloured painted finish to walls, columns, floors as needed.
  - Avoid hidden corners and install convex mirrors as needed.
  - Provide vision panels in doors, leading to publicly accessible areas.
  - Provide lighting to elevator lobbies.
  - Provide signage for lighting throughout underground parking area.
  - Install hard wired video surveillance equipment to parking areas.
  - Provide rough surface finish to ramps to deter skateboarders.

- LEGEND:**
- ◻ EGRESS POINT
  - ◻ LOW BED COMPACTOR
  - ◻ 4 CU YD GARBAGE/RECYCLING CART
  - ◻ GREASE/FAT METAL COLLECTION CONTAIN
  - ◻ 80 GAL / 95 GAL RECYCLING/FOOD SCRAP CONTAINER
  - ◻ CLASS 1 1.8m L X 0.6m W X 1.5m HORIZONTAL BIKE STALL
  - ◻ CLASS 1 1.8m L X 0.6m W X 1.5m VERTICAL BIKE STALL
  - ◻ STANDARD PARKING STALL (5.5m X 2.5m)
  - ◻ DISABLED PARKING STALL (5.5m X 3.7m)
  - ◻ SMALL PARKING STALL (4.6m X 2.3m)

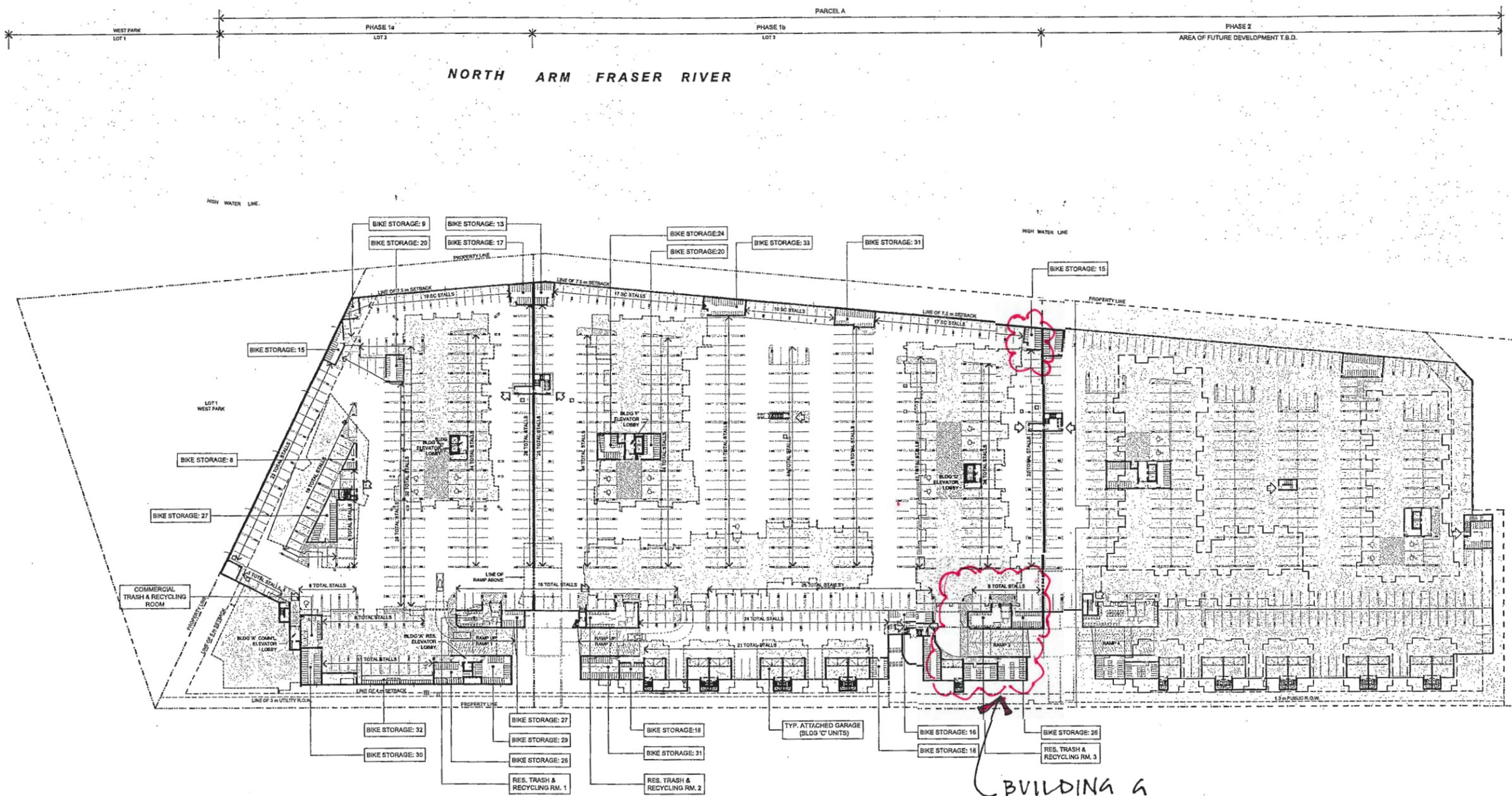
5

Plan 5  
ANNOTATED  
Approved DP

MAR 12 2012



DP-11564405



BUILDING A  
AREAS OF  
GENERAL  
COMPLIANCE

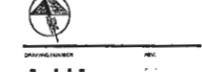
| REV | DATE     | DESCRIPTION                   |
|-----|----------|-------------------------------|
| 001 | 08/21/11 | Working drawings              |
| 002 | 09/01/11 | Revised drawings per comments |
| 003 | 09/01/11 | Revised drawings per comments |
| 004 | 09/01/11 | Revised drawings per comments |
| 005 | 09/01/11 | Revised drawings per comments |

**cotter architects**  
4735 - 11200 RD. 2 ROAD, RICHMOND, B.C. V7A 5T7  
Tel: 604 273 3400 Fax: 604 273 3401 www.cotterarchitects.com

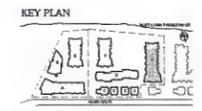
**PARC RIVIERA**  
A MIXED-USE DEVELOPMENT  
Mixed-use Development  
10071-10311 River Drive &  
1800 No. 4 Road  
Richmond, B.C.  
DAVA Development Ltd.  
(River Drive) Corp.  
Oris Consulting  
(River Drive) Corp.

| DRAWN BY   | DATE |
|------------|------|
|            |      |
| CHECKED BY | DATE |
|            |      |
| SCALE      | DATE |
|            |      |
| DATE       | DATE |
|            |      |

LEVEL P1  
OVERALL PARKING PLAN







**LEGEND**

|     |          |
|-----|----------|
| 1 A | COLOUR   |
| 1   | MATERIAL |

**NOTE**  
 All colours and materials indicated are representative of design intent. Contractor and other trade selected materials may vary.

**MATERIAL LIST**

- FIBER CEMENT BOARD / SIDING / SHINGLES WITH METAL TRIM / REVEAL
- ARCHITECTURAL CONCRETE
- GALVALUME METAL SIDING
- STOREFRONT GLAZING
- ALUMINUM FRAMED GLAZING
- METAL CLAD VINYL WINDOWS
- ARCHITECTURAL ASPHALT SHINGLES
- STANDING SEAM METAL ROOFPANEL
- STAINED CEDAR WOOD
- PAINTED WOOD
- BREAK METAL PANEL
- PHOTOIC RESIN PANEL
- GLAZED RAILING
- SPLIT FACE CONCRETE BLOCK
- METAL CANOPY
- HIGH DENSITY POLYETHYLENE PIPE
- PAINTED METAL FASCIA
- ALUMINUM RAILING
- PAINTED STRUCTURE
- SPLIT FACED CONCRETE BLOCK
- PAINTED WOOD FASCIA
- SOFFIT

**COLOUR LIST**

|   |                        |
|---|------------------------|
| A | WHITE                  |
| B | BLACK                  |
| C | RED                    |
| D | BLUE                   |
| E | GREEN                  |
| F | GREY                   |
| G | TAN                    |
| H | WOOD GRAY              |
| J | NATURAL CEDAR FINISH   |
| K | GALVALUME METAL FINISH |
| L | RED                    |
| M | BLUE                   |
| N | GREEN                  |
| P | GREY                   |
| Q | WHITE                  |
| R | BLACK                  |
| S | WOOD GRAY              |
| T | BLUE                   |
| U | CREAM                  |
| V | WOOD GRAY              |
| W | WOOD GRAY              |



1 BUILDING G EAST ELEVATION  
A-316



2 BUILDING G WEST ELEVATION  
A-316



3 BUILDING G NORTH ELEVATION  
A-316



4 BUILDING G SOUTH ELEVATION  
A-316

Reference Plan DP 11-564405  
Supplements Plan 19 with  
coloured Building G elevation



**PARC RIVIERA**  
 A RIVERVIEW SUBURB  
 Mixed-use Development  
 10071-10311 River Drive &  
 1850 No. 4 Road  
 Richmond, B.C.  
 CLIENT: DAVA Development Ltd. (River Drive) Corp.  
 Oris Consulting (River Drive) Corp.

**PROJECT INFORMATION**

|             |                       |
|-------------|-----------------------|
| PROJECT NO. | 11-564405             |
| DATE        | 2011-05-10            |
| SCALE       | 1/8" = 1'-0"          |
| DATE        | 2011-05-10            |
| PROJECT     | BUILDING G ELEVATIONS |

Fraser River

hapa  
COLLABORATIVE

Landscape architecture  
environmental design  
115 - 125 West Hastings Street  
Vancouver BC V6E 1G6  
604 683 4150 | www.hapacollab.com

24

BUILDING G  
AREA OF  
GENERAL  
COMPLIANCE

ANNOTATED  
Approved DP Plan 24

MAR 12 2012

DP-11564405

DP-11564405

PARC RIVIERA  
A RESIDENTIAL COMMUNITY

Mixed-use Development  
10071-10311 River Drive S  
1680 No. 4 Road  
Richmond, B.C.

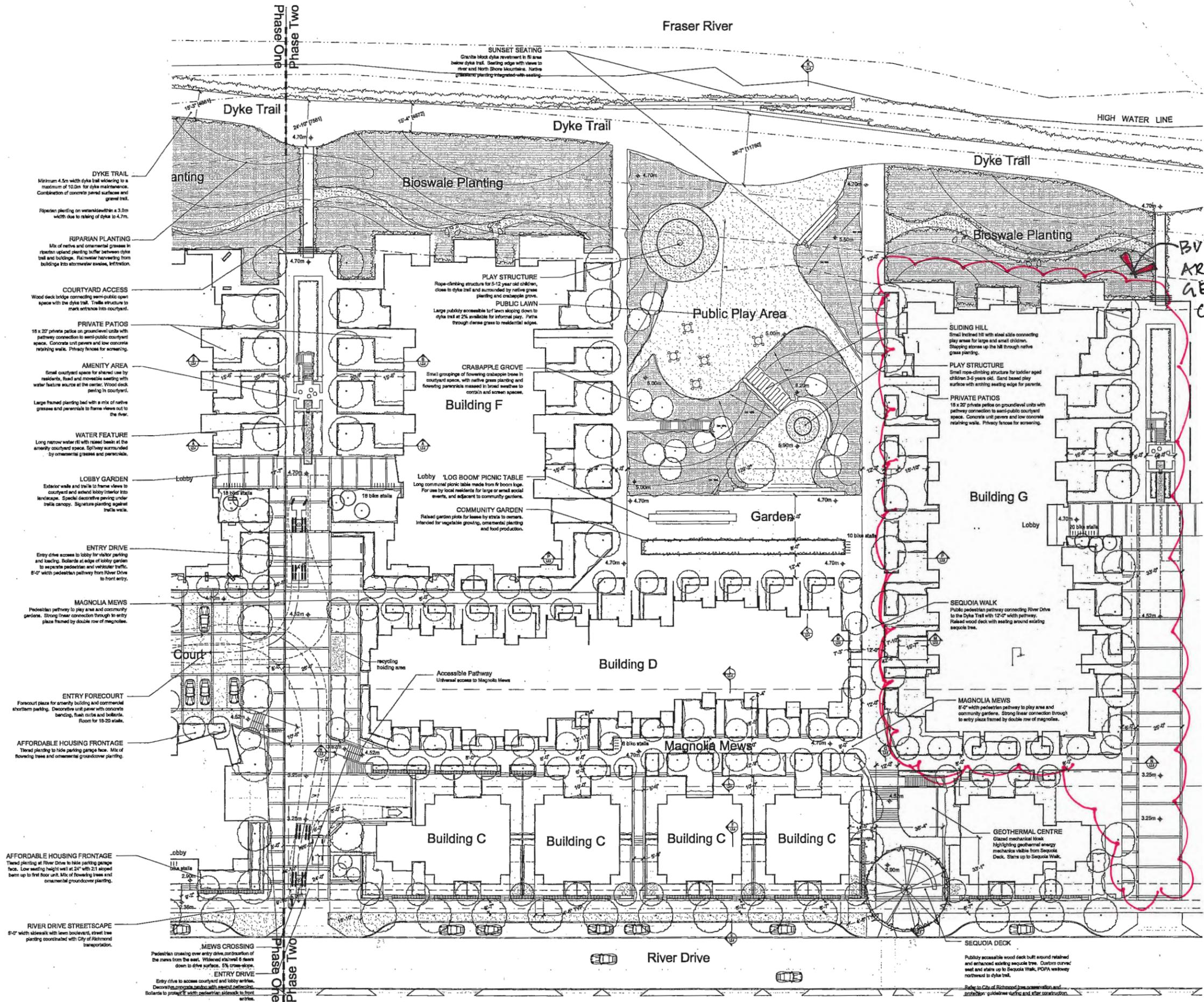
DAVA Development Ltd.  
(River Drive) Corp.  
Oris Consulting  
(River Drive) Corp.

| No. | Description    | Date       |
|-----|----------------|------------|
| 3   | Revised for DP | Feb. 29/12 |
| 2   | Revised for DP | Jan. 13/12 |
| 1   | Issued for DP  | Feb. 09/11 |

Parc Riviera  
Multi-Use Development  
Richmond BC

Landscape  
Detail Plan  
Phase Two

Scale: 1/8" = 1'-0"  
Drawing Number: L2.2  
Date: 03/12/12



- DYKE TRAIL**  
Minimum 4.5m width dyke trail widening to a maximum of 10.0m for dyke maintenance. Combination of concrete paved surface and gravel trail.  
Riparian planting on wetland within a 3.0m width due to railing of dyke to 4.7m.
- RIPARIAN PLANTING**  
Mix of native and ornamental grasses in tractor upland planting buffer between dyke trail and buildings. Rainwater harvesting from buildings into stormwater swales, infiltration.
- COURTYARD ACCESS**  
Wood deck bridge connecting semi-public open space with the dyke trail. Trade structure to mark entrance into courtyard.
- PRIVATE PATIOS**  
18 x 20' private patios on groundlevel units with pathway connection to semi-public courtyard space. Concrete unit pavers and low concrete retaining walls. Privacy fences for screening.
- AMENITY AREA**  
Small courtyard space for shared use by residents. Board and movable seating with water feature source at the center. Wood deck paving in courtyard.  
Large framed planting bed with a mix of native grasses and perennials to frame views out to the river.
- WATER FEATURE**  
Long narrow water pit with raised basin at the amenity courtyard space. Pathway surrounded by ornamental grasses and perennials.
- LOBBY GARDEN**  
Exterior walls and trails to frame views to courtyard and amenity lobby interior into landscape. Special decorative paving under trellis canopy. Signature planting against trellis walls.
- ENTRY DRIVE**  
Entry drive access to lobby for visitor parking and loading. Bollards at edge of lobby garden to separate pedestrian and vehicular traffic. 8'-0" wide pedestrian pathway from River Drive to front entry.
- MAGNOLIA MEWS**  
Pedestrian pathway to play area and community gardens. Strong linear connection through to entry plaza framed by double row of magnolias.
- ENTRY FORECOURT**  
Forecourt plaza for amenity building and commercial short-term parking. Decorative unit paver with concrete banding. Flush curbs and bollards.  
Room for 18-20 stalls.
- AFFORDABLE HOUSING FRONTAGE**  
Themed planting to hide parking garage face. Mix of flowering trees and ornamental groundcover planting.
- AFFORDABLE HOUSING FRONTAGE**  
Themed planting at River Drive to hide parking garage face. Low seating height wall at 24" with 2:1 sloped berm up to first floor unit. Mix of flowering trees and ornamental groundcover planting.
- RIVER DRIVE STREETSCAPE**  
8'-0" wide sidewalk with lawn boulevard, street tree planting coordinated with City of Richmond transportation.
- MEWS CROSSING**  
Pedestrian crossing over entry drive, contraction of the mews from the east. Widened raised 6' down to drive surface. 5% cross-slope.
- ENTRY DRIVE**  
Entry drive to access courtyard and lobby entries. Decorative concrete paving with repeat pattern. Bollards to protect 8" wide pedestrian sidewalk to front entries.

**SUNSET SEATING**  
Concrete block dyke revetment in fit area below dyke trail. Seating edge with views to river and North Shore Mountains. Native grassland planting integrated with seating.

**Bioswale Planting**

**PLAY STRUCTURE**  
Rope-climbing structure for 5-12 year old children, close to dyke trail and surrounded by native grass planting and crabapple grove.  
**PUBLIC LAWN**  
Large publicly accessible turf lawn sloping down to dyke trail at 2% available for informal play. Paths through dense grass to residential edges.

**CRABAPPLE GROVE**  
Small groupings of flowering crabapple trees in courtyard spaces, with native grass planting and flowering perennials matted in broad swales to contain and screen spaces.

**LOBBY 'LOG BOOM' PICNIC TABLE**  
Long communal picnic table made from fir boom logs. For use by local residents for large or small social events, and adjacent to community gardens.

**COMMUNITY GARDEN**  
Raised garden plots for leases by tenants to owners. Intended for vegetable growing, ornamental planting and food production.

**Public Play Area**

**SLIDING HILL**  
Small inclined hill with steel slide connecting play areas for large and small children. Sloping stones up the hill through native grass planting.

**PLAY STRUCTURE**  
Small rope-climbing structure for toddler aged children 3-5 years old. Sand based play surface with seating edge for parents.

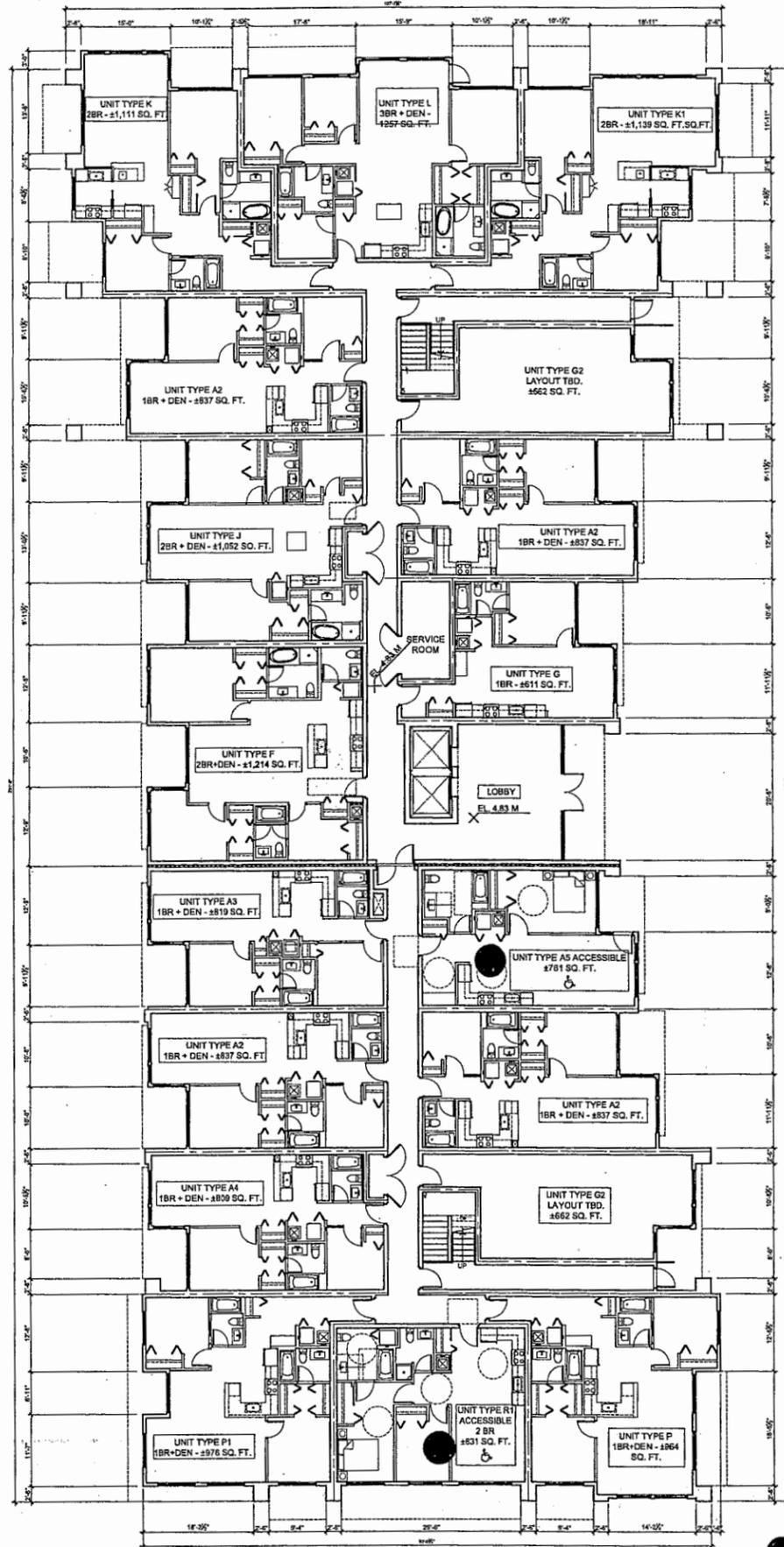
**PRIVATE PATIOS**  
18 x 20' private patios on groundlevel units with pathway connection to semi-public courtyard space. Concrete unit pavers and low concrete retaining walls. Privacy fences for screening.

**SEQUOIA WALK**  
Public pedestrian pathway connecting River Drive to the Dyke Trail with 12'-0" wide pathway. Raised wood deck with seating around existing sequoia tree.

**MAGNOLIA MEWS**  
8'-0" wide pedestrian pathway to play area and community gardens. Strong linear connection through to entry plaza framed by double row of magnolias.

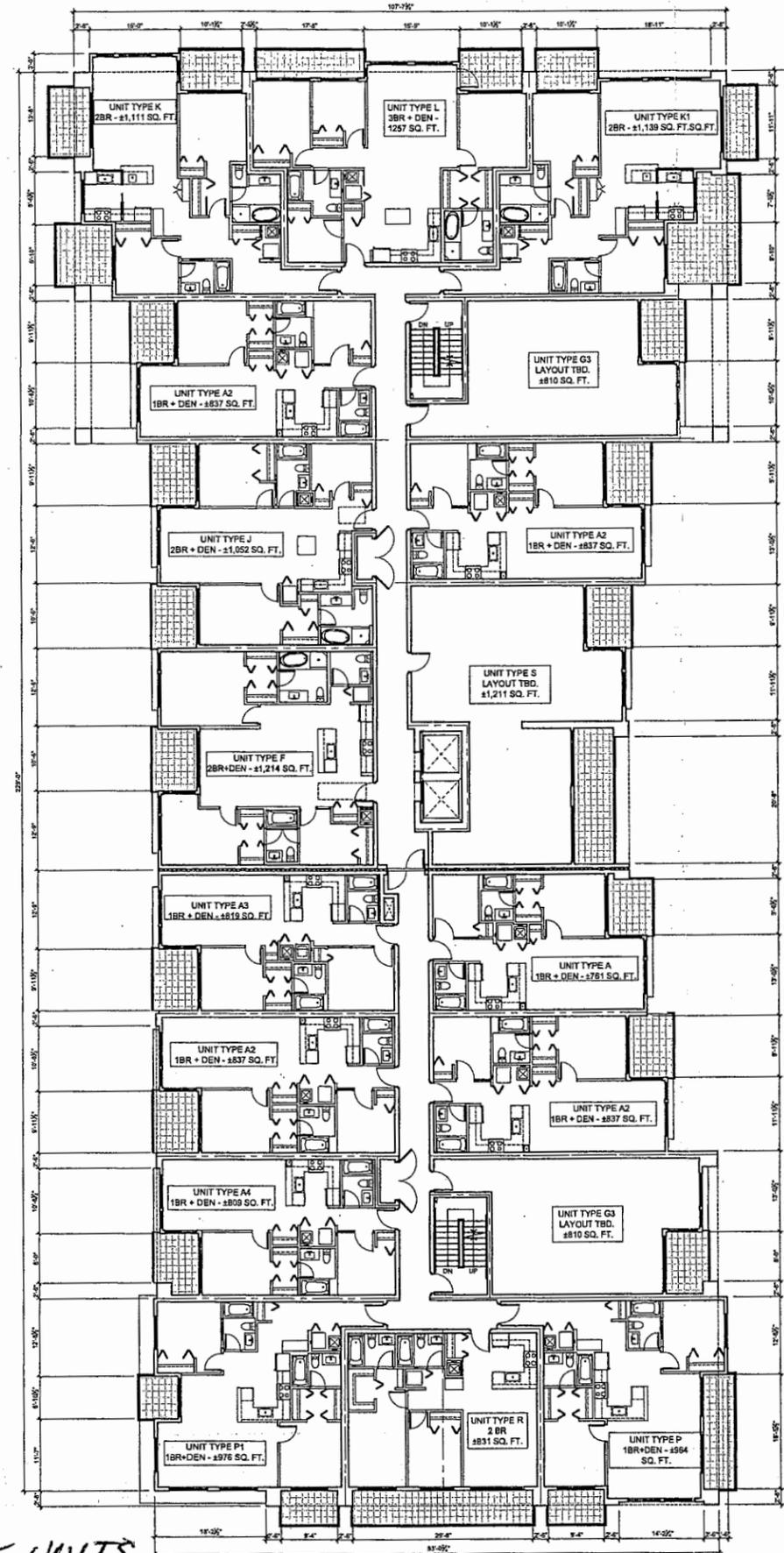
**GEOTHERMAL CENTRE**  
Glazed mechanical kiosk highlighting geothermal energy mechanics visible from Sequoia Deck. Stairs up to Sequoia Walk.

**SEQUOIA DECK**  
Publicly accessible wood deck built around retained and enhanced existing sequoia tree. Custom curved seat and stairs up to Sequoia Walk, POPA walkway reinforced to dyke trail.  
Refer to City of Richmond tree preservation and protection guidelines during and after construction.



● ACCESSIBLE UNITS

1 BUILDING G - LEVEL 1 FLOOR PLAN



2 BUILDING G - LEVELS 2-4 FLOOR PLAN



**CPTED PRINCIPLES**

- Light colored polished finish to walls, columns, mirrors as needed.
- Provide vision panels in doors leading to publicly accessible areas.
- Provide grating to elevator lobbies.
- Provide adequate lighting throughout underground parking areas.
- Provide hand rail along ramp/staircase movement to parking areas.
- Provide rough surface finish to ramps to clear auto-entrances.

**AGING IN PLACE PRINCIPLES (GENERAL NOTES)**

**Doors:**

- Minimum clear opening width of unit entry door to be min. 2' - 10".
- Minimum clear opening of health privacy doors to be 2' - 8".
- Sliding glass doors shall have a minimum clear opening width of 2' - 10".
- All suite door sills shall be 1/2" or less in height.
- All door hardware easily actuated by the user (i.e. with minimum physical effort).

**Windows:**

- Windows to be accessible (i.e. 1 per bedroom and living room) shall be provided with a minimum sill height of 2' - 0" low EMI glass and easy to operate window hardware.

**Bathrooms:**

Provide one bathroom with the following requirements:

- 6' - 0" x 2' - 0" clear area adjacent the sink.
- Provide secure placement of walls (i.e. plywood immediately adjacent the toilet door and bath tub in anticipation of the installation of grab bars).
- Bathroom fixtures to be easily actuated (i.e. lever type).
- Clearances of rear stool to be min. 1' - 6" from outer face of vanity.
- Provide 2' - 0" clear for the full length of the vanity.

**Kitchen:**

- Provide allowance for 2' - 0" clear vertical height underneath kitchen sink in anticipation of future access under sink for workspace.
- Kitchen fixtures to be easily actuated (i.e. lever type).

**Bedrooms:**

- Provide one bedroom with the following requirements:
- Provide a minimum 6' - 0" clear turning path on one side of a standard sized double bed.
- Provide a closet with a minimum clear opening of 2' - 0" and a minimum internal space 6' - 0" x 2' - 0" and provision for a rod to be located at 2' - 0" in height.

**Electrical/Accessories:**

- Rough-in wiring to be provided in anticipation of automatic door opener at unit entry door.
- Thermostats to be mounted at 2' - 0" to 4' - 0" AFF.
- Sensors and Electrical Panels to be mounted maximum 4' - 0" AFF.
- Light switches shall be toggle type and mounted maximum 4' - 0" AFF.

**ACCESSIBILITY NOTES**

In addition to applying aging-in-place principles to all residential units, a minimum of two (2) units within Building G (A-G) will be accessible to an enhanced accessible unit. This will include the provision of at least one wheelchair accessible bathroom. A full listing of accessibility features will be located in the Building Permit drawing administration.

|     |      |             |
|-----|------|-------------|
| NO. | DATE | DESCRIPTION |
| 1   |      |             |
| 2   |      |             |
| 3   |      |             |
| 4   |      |             |
| 5   |      |             |
| 6   |      |             |
| 7   |      |             |
| 8   |      |             |
| 9   |      |             |
| 10  |      |             |

**cotter ARCHITECTS**  
 8335 - 11200 RD. 5 ROAD, RICHMOND, BC V7A 5J7  
 TEL: 604 273 1111 FAX: 604 273 1111 EMAIL: info@cotterarchitects.com  
 WWW: www.cotterarchitects.com

**PARC RIVIERA**  
 A RESIDENT COMMUNITY  
 Mixed-Use Development  
 1007-1031 River Drive & 1880 No. 4 Road  
 Richmond, B.C.

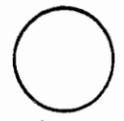
CLIENT: DAVA Development Ltd. (River Drive) Corp.  
 ORIS Consulting (River Drive) Corp.

PROJECT: PARC RIVIERA  
 SHEET TITLE: BUILDING G LEVELS 1-4 FLOOR PLANS  
 DATE: 11/20/11  
 DRAWN: [Name]  
 CHECKED: [Name]  
 SCALE: 1/8" = 1'-0"  
 PROJECT NO.: [Number]  
 SHEET NO.: [Number]

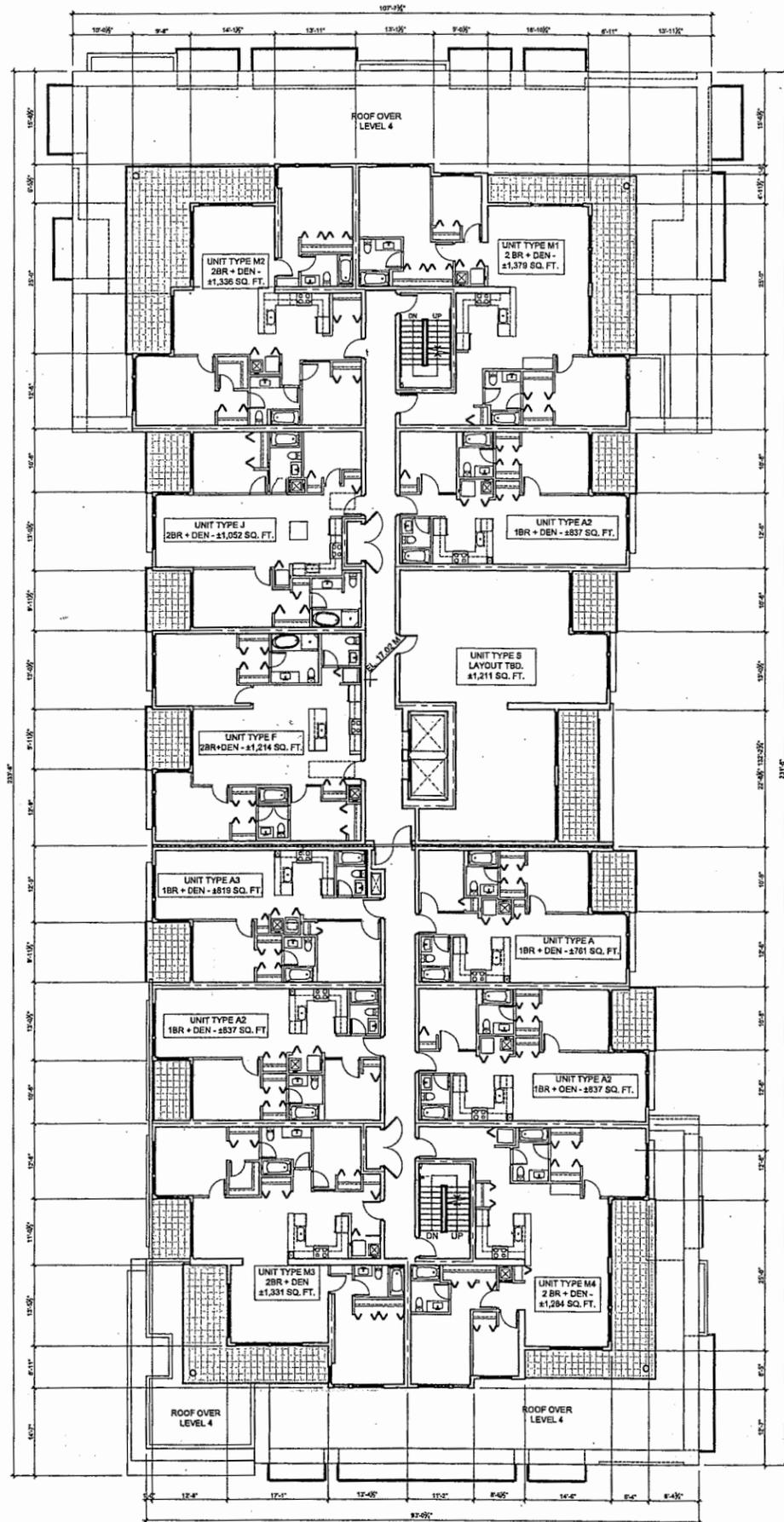
Approved DP Reference Plan

REFERENCE

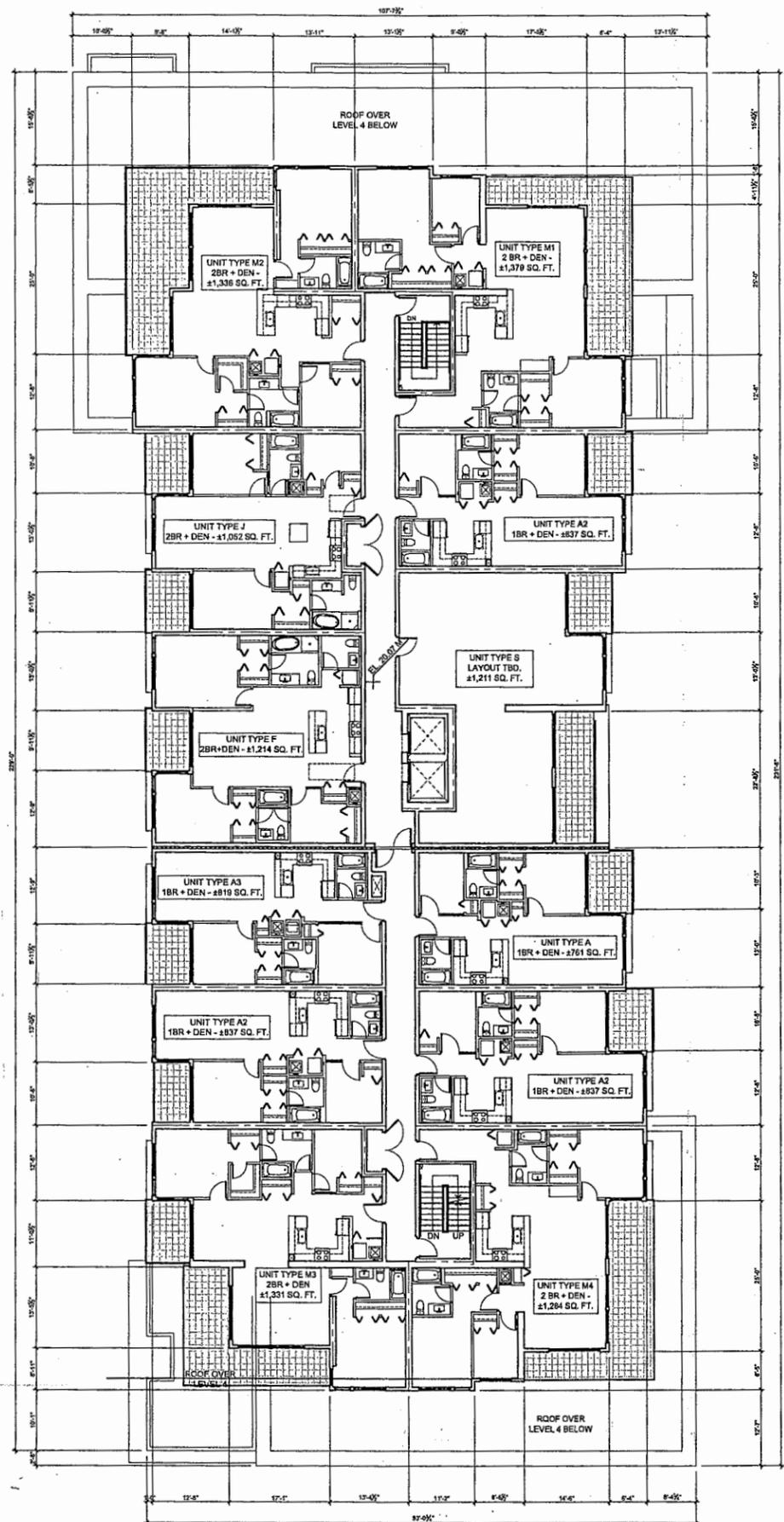
MAR 12 2012



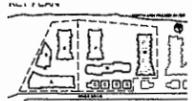
DP-11564405



1 BUILDING G - LEVEL 5 FLOOR PLAN



2 BUILDING G - LEVEL 6 FLOOR PLAN



**CITED PRINCIPLES**

- Light colored painted walls to walls, columns, and ceiling.
- Provide vision panels in doors leading to publicly accessible areas.
- Provide glazing to elevator lobbies.
- Ensure adequate lighting throughout underground parking area.
- Provide hand held video surveillance equipment to parking area.
- Provide rough surface finish to ramps to deter maintenance.

**AGING IN PLACE PRINCIPLES (GENERAL NOTES)**

- Doors**
- Minimum clear opening width of unit entry door to be min. 2' - 10"
  - Minimum clear opening of in-suite power door to be 2' - 0"
  - Dado/Patio doors shall have a minimum clear opening width of 2' - 10"
  - All suite door sets shall be 14" or less in height.
  - All door hardware easily articulated by the user (i.e. with minimum physical effort).
- Windows**
- Windows to be accessible (i.e. 1 per bedroom and entry room shall be provided with a minimum sill height of 2' - 0" clear height and maximum sill to facilitate window hardware).
- Bathrooms**
- Provide one bathroom with the following requirements:
- 4' - 0" x 2' - 0" clear area adjacent the sink.
  - Provide adequate reinforcement at walls (i.e. plywood immediately adjacent the toilet door and wall in anticipation of the installation of grab bars).
  - Bathroom fixtures to be easily articulated (i.e. lever type).
  - Centerline of water closet to be min. 1' - 0" from exterior face of entrance.
  - Provide 2' - 0" clear for the full length of the bathtub.
- Kitchen**
- Provide allowance for 2' - 8" clear vertical height underneath kitchen sink in anticipation of future access under sink for maintenance.
  - Kitchen fixtures to be easily articulated (i.e. lever type).
- Bedrooms**
- Provide one bedroom with the following requirements:
- Provide a minimum 6' - 0" clear turning radius on one side of a standard sized double bed.
  - Provide a closet with a minimum clear opening of 2' - 0" and a minimum internal depth of 4' - 0" x 2' - 0" and provision for a rod to be lowered to 4' - 0" in height.
- Elevators/Accesibility**
- Rough-in wiring to be provided in anticipation of automatic door opener at unit entry door.
  - Thermostats to be mounted at 2' - 0" or 4' - 0" AFF.
  - Telephone and Electrical Panels to be provided maximum 4' - 0" AFF.
  - Light switches shall be paddle type and provided maximum 4' - 0" AFF.

**ACCESSIBILITY NOTES**

In addition to applying aging-in-place principles to all residential units, a minimum of two (2) units within Building G shall be accessible to an enhanced accessible unit. This will include the provision of at least one wheelchair accessible bathroom. A full listing of accessibility features will be detailed in the Building Permit drawing submittal.

|     |            |                       |
|-----|------------|-----------------------|
| NO. | DATE       | DESCRIPTION           |
| 1   | 03/12/2012 | ISSUED FOR PERMITTING |
| 2   | 03/12/2012 | ISSUED FOR PERMITTING |
| 3   | 03/12/2012 | ISSUED FOR PERMITTING |
| 4   | 03/12/2012 | ISSUED FOR PERMITTING |
| 5   | 03/12/2012 | ISSUED FOR PERMITTING |
| 6   | 03/12/2012 | ISSUED FOR PERMITTING |
| 7   | 03/12/2012 | ISSUED FOR PERMITTING |
| 8   | 03/12/2012 | ISSUED FOR PERMITTING |
| 9   | 03/12/2012 | ISSUED FOR PERMITTING |
| 10  | 03/12/2012 | ISSUED FOR PERMITTING |

**cotter ARCHITECTS**  
 #235 - 11300 NO. 5 ROAD, RICHMOND, BC V7A 5J7  
 TEL: 604 273 5477 FAX: 604 273 5478 WWW.COTTERARCHITECTS.COM

**PARC RIVIERA**  
 A SUPERPREST DEVELOPMENT  
 Mixed-Use Development  
 10071-10311 River Drive & 1880 No. 4 Road  
 Richmond, B.C.  
 DAVA Development Ltd. (River Drive) Corp.  
 Oris Consulting (River Drive) Corp.

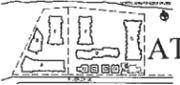
DATE: 03/12/2012  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: 1/8" = 1'-0"  
 SHEET NO.: [Number]  
 TOTAL SHEETS: [Number]  
 PROJECT: BUILDING G  
 BUILDING G  
 LEVEL 5 & 6 FLOOR PLANS

Approved DP Reference Plan

REFERENCE

MAR 12 2012

DP-11564405



- OPTED PRINCIPLES**
- light coloured perforated finish to walls, columns
  - avoid hidden corners and blind corners
  - mirror as needed
  - provide vision panels in doors leading to publicly accessible areas
  - provide glazing to elevator lobbies
  - ensure adequate lighting throughout underground parking area
  - install hand wired video surveillance equipment to parking areas
  - provide rough surface finish to ramps to deter skateboarders

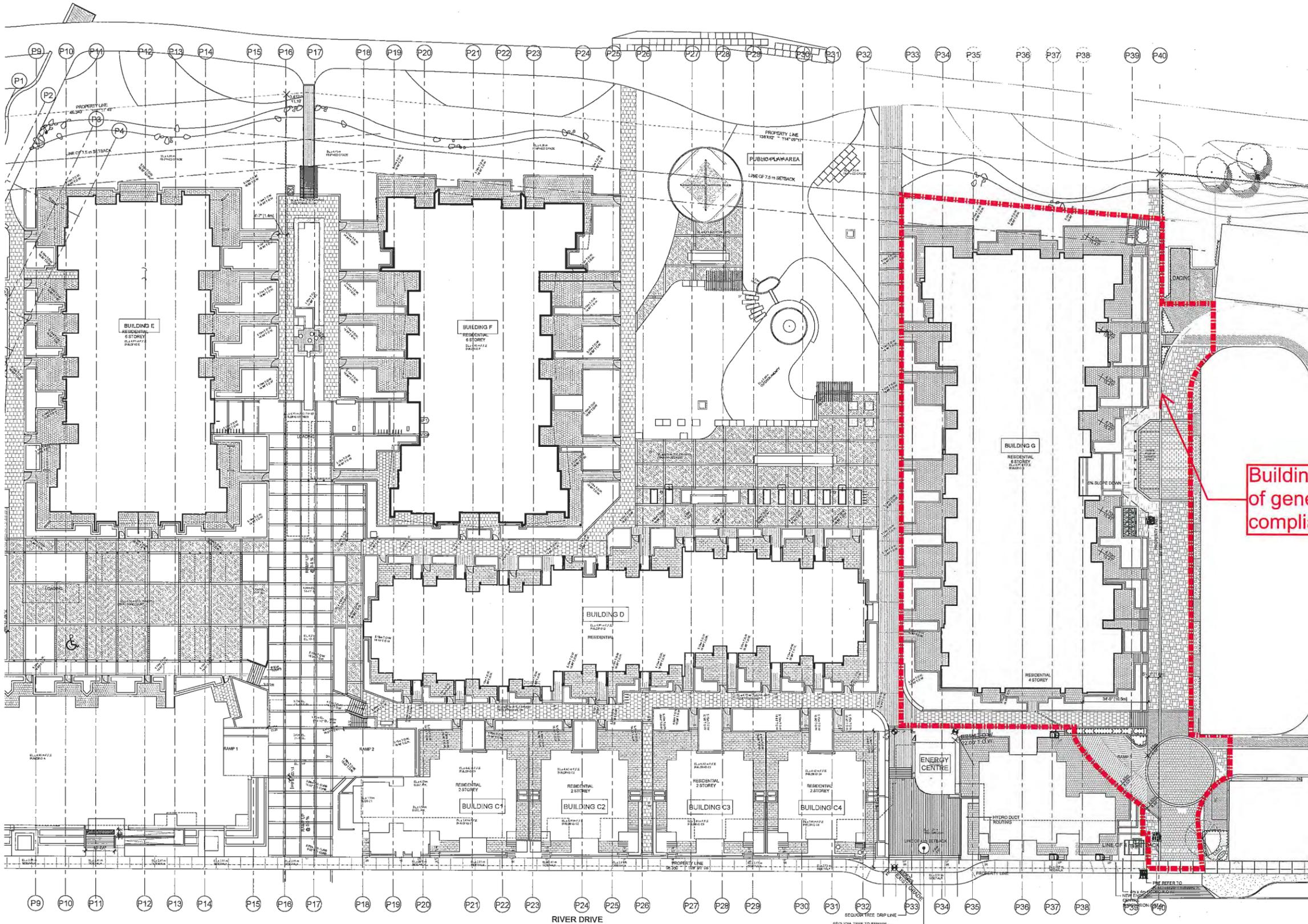
**LEGEND**

- AREA OF BUILDING FOOTPRINT WITH SETBACK
  - AREA OF ROOF OVERHANG & BAY PROJECTIONS WITH SETBACK
- SETBACK NOTES**
- BUILDING A**  
NONE
- BUILDING B**  
PRINCIPAL BUILDING FOOTPRINT DOES NOT ENCRoACH INTO SETBACK. ROOF OVERHANG AND SUPPORTING COLUMNS OVERHANG PROJECTS APPROXIMATELY 0.6 METERS INTO FRONT SETBACK.
- BUILDING C**  
TYPICALLY AT SECOND FLOOR BEDROOMS ALONG RIVER DRIVE, A BAY AND THE ROOF OVERHANG PROJECTS APPROXIMATELY 0.6 METERS INTO FRONT SETBACK.
- BUILDING D**  
DUE TO CONVERTING THE EAST PHASE LINE BETWEEN PHASE 1 & 2 INTO A FORMAL PROPERTY LINE, THE EASTERNMOST BUILDING FOOTPRINT IS NOW ENCRoACHING INTO A SIDE SETBACK AS INDICATED IN DRAWING.
- BUILDING E**  
NONE
- BUILDING E/F/G**  
BALCONIES AT NORTH FACE ABOVE GROUND ARE CANTILEVERED INTO THE ESA SETBACK ZONE.
- BUILDING G**  
AS INDICATED ON ROOF PLAN, THE SOUTH END OF THE SIX STOREY PORTION OF BUILDING G PARTIALLY EXTENDS INTO THE ZONED HEIGHT LIMIT AREA OF 15M, REQUIRING A VARIANCE.

Supplements Plan 3 to identify area of revisions at Building G and drive aisle

Plan 3c Sept 15, 2016 DP 11-564405

Building G area of general compliance



ZGF COTTER

900-838 West Hastings Street, Vancouver, BC V6C 0A5  
TEL: 604-272-1477 FAX: 604-272-1475 EMAIL: info@zgfco.com  
WWW.ZGFCOTTER.COM

PARC RIVIERA  
A RESIDENTIAL COMMUNITY  
Mixed-Use Development  
10011 River Drive  
Richmond BC

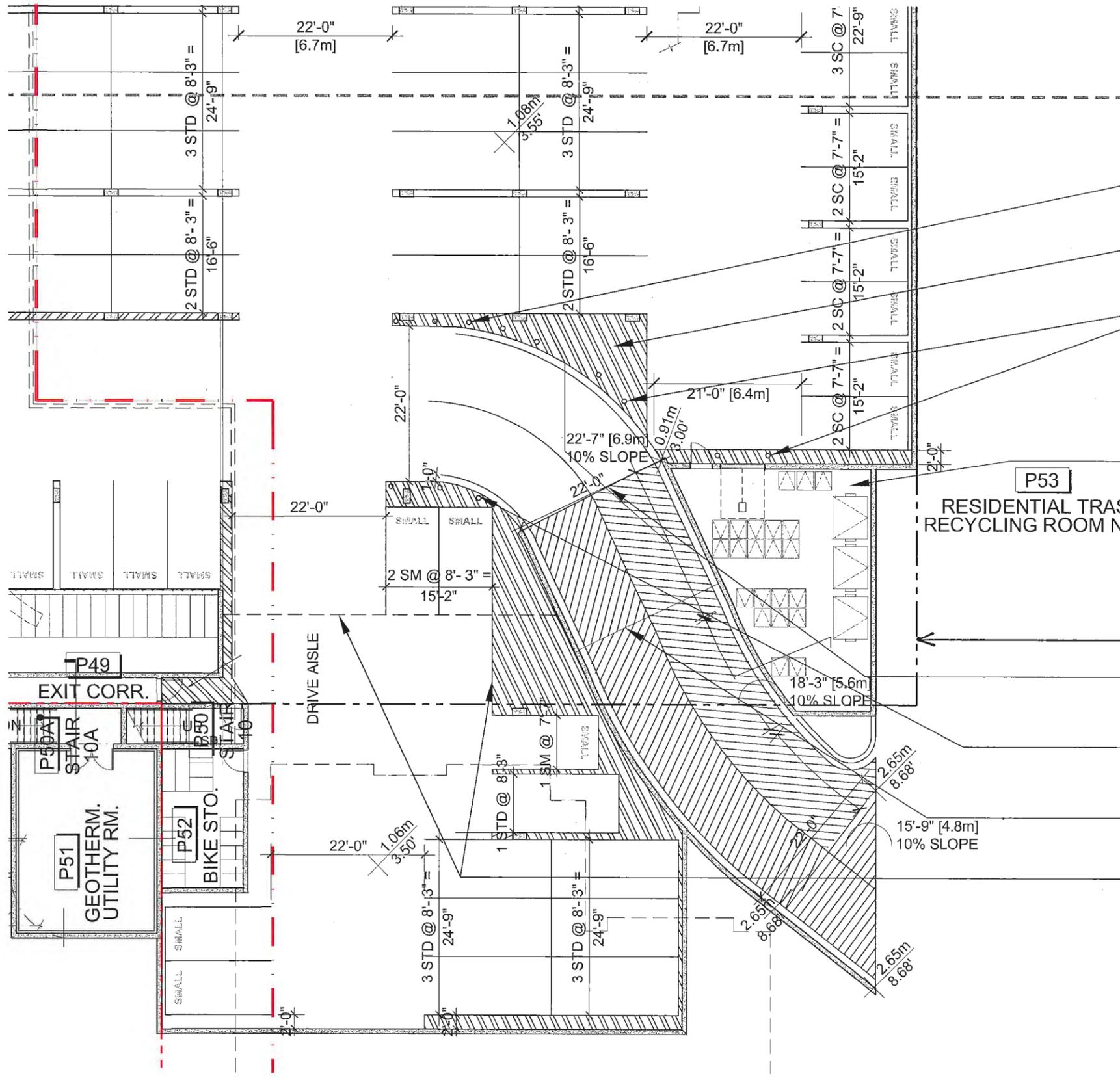
TEAM  
PARC RIVIERA  
PROJECTS INC.

|             |                            |
|-------------|----------------------------|
| PROJECT NO. | 1011                       |
| DATE        | 2016.08.25                 |
| SCALE       | 1/8" = 1'-0"               |
| TITLE       | EAST SITE PLAN W/ SETBACKS |

1 SITE PLAN  
A-111



A-111



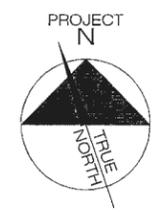
BOLLARDS (7)  
 PED & TRASH ACCESS ONLY  
 BOLLARDS

RECYCLING: 12 X 95 GALLON BLUE CARTS  
 ORGANIC: 4 X 65 GALLON FOOD SCRAPS BINS  
 GARBAGE: 3 X 4 CUBIC YARD GARBAGE BIN  
 CARDBOARD: 3 X 4 CUBIC YARD CARDBOARD RECYCLING BIN

PROPERTY LINE  
 BOTTOM OF RAMP  
 BOLLARDS (3)  
 GARAGE DOOR LOCATION  
 LIMIT OF BUILDING G AIR SPACE PARCEL

Supplements Plan 5 with revised ramp and parking layout at Building C5 and G

Plan 5a Sept 15, 2016  
 DP 11-564405





**LEGEND**

- 1A — COLOUR
- MATERIAL

**MATERIAL LIST**

- 1 FIBER CEMENT PANEL SIDING
- 2 ALUMINUM TRIM REVEALS
- 3 STOREFRONT GLAZING
- 4 VINYL WINDOWS
- 5 PRE-FINISHED METAL RAILING
- 6 CORRUGATED METAL SIDING
- 7 PAINTED WOOD FASCIA
- 8 PRE-FINISHED METAL FLASHING
- 9 FIBER CEMENT SOFFIT

**COLOUR LIST**

- A WHITE
- B CERTAINTED - VANILLA WHITESNOW
- C DARK GREY
- D CERTAINTED - FLAGSTONE
- E GREY
- F CERTAINTED - SILVERPLASTERLING GRAY
- G CEDAR
- H CERTAINTED - CEDAR
- I CORRUGATED METAL FINISH
- J CASCADIA METALS - GALVULUME
- K DARK GREY: RAILINGS
- L BENJAMIN MOORE COLOUR 2125-20
- M GREY (FLASHING)
- N MARON METALS - REGENT GREY
- O EVENING BLUE
- P JAMES HARDIE #07330
- Q CEDAR STAIN
- R COLOUR TO MATCH CEDAR SIDING

Revised

**ZGF  
COTTER**

**PARC RIVIERA**  
Mixed-Use Development  
10011 Rivers Drive  
Richmond BC

Design Title  
**BUILDING G  
ELEVATIONS**

Date: 09-15-2016  
Job No: V2306  
Drawn By: MC  
Checked By: Checker  
Drawing No.

**A-301**

**REVIEW**

Replacement for Plan 19 with revised elevations for Building G

Plan 19 Sept 15, 2016  
DP 11-564405

9/15/2016 2:12:05 PM

SEAL:

Supplements Plan 24 with layout, trees and materials at Building G and drive aisle

Plan 24a Sept 15, 2016  
DP 11-564405

|     |           |          |
|-----|-----------|----------|
| 3   | 16 AUG 23 | NE       |
| 2   | 16 AUG 13 | PL       |
| 1   | 15 MAY 18 | PA       |
| NO. | DATE      | REVISION |

CLIENT:

PROJECT:

**MULTI-FAMILY DEV.**

RIVER DR.  
RICHMOND, B.C.

DRAWING TITLE:

**LANDSCAPE TREE PLAN**

DATE: 16 APR 21

SCALE: 1"=20'-0"

DRAWN: MM

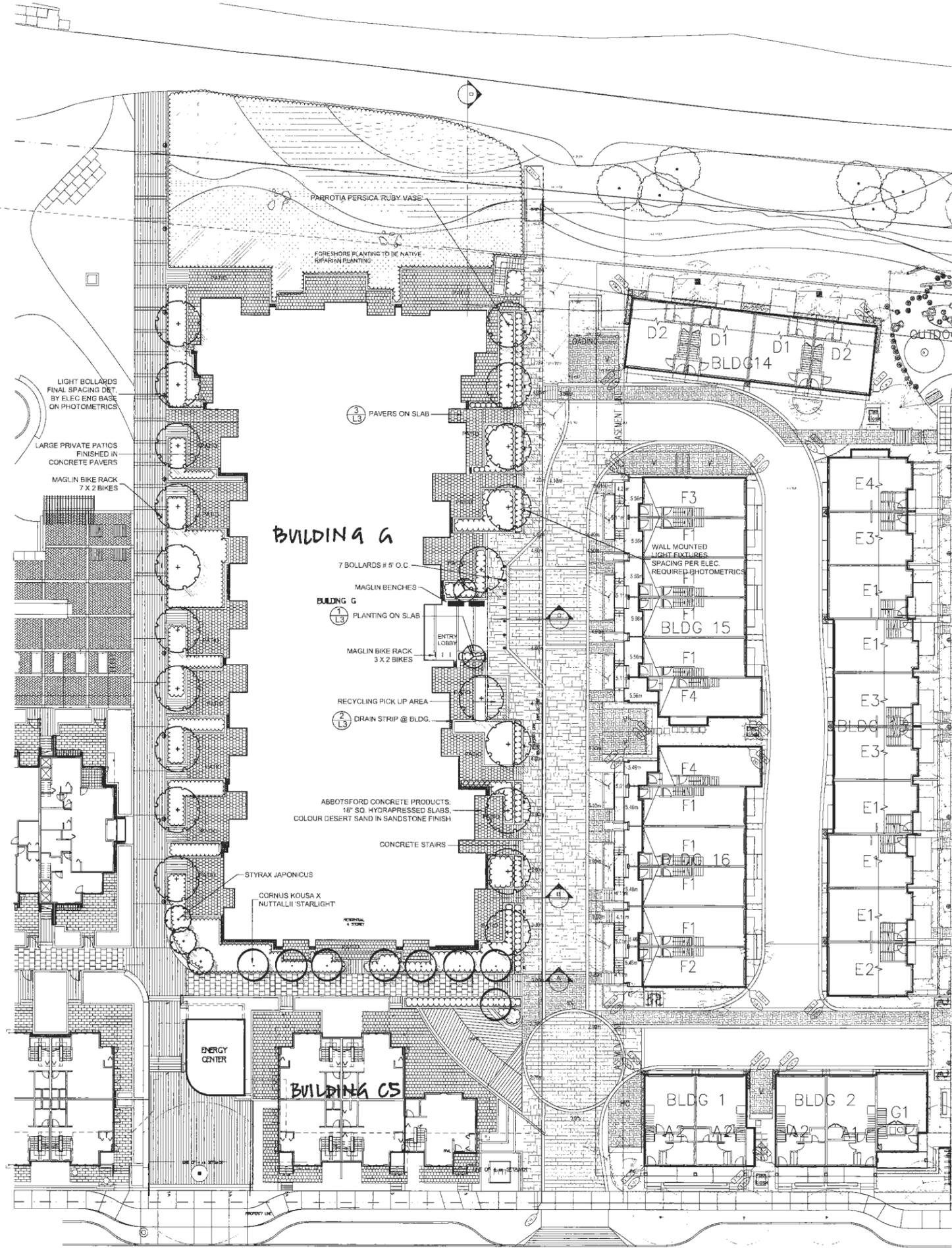
DESIGN: MCV/MM

CHKD:

DRAWING NUMBER:

**L1**

OF 5



| PLANT SCHEDULE   |     |                                       |                            | PMG PROJECT NUMBER: 16-062           |
|------------------|-----|---------------------------------------|----------------------------|--------------------------------------|
| KEY              | QTY | BOTANICAL NAME                        | COMMON NAME                | PLANTED SIZE / REMARKS               |
| <b>TREE</b>      |     |                                       |                            |                                      |
| (A)              | 2   | ACER PALMATUM                         | JAPANESE MAPLE             | 5CM CAL. 1.2M STD. MIN 2.75M HT. B&B |
| (B)              | 8   | CORNUS KOUSA X NUTTALLII 'STARLIGHT'  | STARLIGHT HYBRID DOGWOOD   | 5CM CAL., 1.5M STD. B&B              |
| (C)              | 20  | PARROTIA PERSICA 'RUBY VASE'          | RUBY VASE PERSIAN IRONWOOD | 6CM CAL., 1.8M STD. B&B              |
| (D)              | 3   | STYRAX JAPONICUS                      | JAPANESE SNOWBELL          | 5CM CAL., 1.5M STD. B&B              |
| <b>SHRUB</b>     |     |                                       |                            |                                      |
| (E)              | 148 | AZALEA JAPONICA 'HINO WHITE'          | AZALEA: HARDY WHITE        | #2 POT: 25CM                         |
| (F)              | 17  | CEANOTHUS THYRSIFLORUS 'VICTORIA'     | CALIFORNIA LILAC           | #3 POT: 50CM                         |
| (G)              | 44  | DAHPNE X BURKWOODII 'CAROL MACKIE'    | DAHPNE                     | #2 POT: 25CM                         |
| (H)              | 36  | HYDRANGEA MACROPHYLLA 'RED SENSATION' | BIGLEAF HYDRANGEA: RED     | #2 POT: 40CM                         |
| (I)              | 2   | HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS' | OAKLEAF HYDRANGEA: PINK    | #3 POT: 80CM                         |
| (J)              | 138 | ROSA MEIDLAND 'BONICA'                | MEIDLAND ROSE: PINK        | #2 POT: 40CM                         |
| (K)              | 385 | TAXUS X MEDIA 'HICKSII'               | HICK'S YEW                 | 1.2M B&B                             |
| (L)              | 4   | VACCINIUM OVALIFOLIUM                 | OVAL-LEAF BLUEBERRY        | #3 POT: 60CM                         |
| <b>GRASS</b>     |     |                                       |                            |                                      |
| (M)              | 1   | BROMUS SITCHENSIS                     | ALASKA BROME               | #1 POT                               |
| (N)              | 1   | CALAMAGROSTIS NUTKAENSIS              | NOOTKA REEDGRASS           | #1 POT                               |
| (O)              | 266 | CAREX 'THE BEATLES'                   | THE BEATLES SPRING SEDGE   | #1 POT                               |
| (P)              | 1   | CAREX PACHYSTACHYA                    | CHAMISSO SEDGE             | #1 POT                               |
| (Q)              | 1   | DESCHAMPSIA CESPITOSA                 | TUFTED HAIR GRASS          | #1 POT                               |
| (R)              | 1   | ELYMUS MOLLIS                         | COMMON DUNE GRASS          | #1 POT                               |
| (S)              | 122 | HELICTOTRICHON SEMPERVIRENS           | BLUE CAT GRASS             | #1 POT                               |
| (T)              | 1   | JUNCUS EFFUSUS                        | COMMON RUSH                | #1 POT                               |
| <b>VINE</b>      |     |                                       |                            |                                      |
| (U)              | 20  | PARTHENOCESSUS QUINQUEFOLIA           | VIRGINIA CREEPER           | #2 POT: 60CM: STAKED                 |
| <b>PERENNIAL</b> |     |                                       |                            |                                      |
| (V)              | 96  | HELLEBORUS X 'ROYAL HERITAGE'         | LENTEN ROSE                | 15CM POT                             |
| (W)              | 342 | HEMEROCALLIS 'CRIMSON RED'            | DAYLILY: RED               | #1 POT: 1-2 FAN                      |
| (X)              | 21  | SEDUM 'DRAGON'S BLOOD'                | DRAGON'S BLOOD STONECROP   | 9CM POT                              |
| (Y)              | 21  | SEDUM 'DRAGON'S BLOOD'                | DRAGON'S BLOOD STONECROP   | 9CM POT                              |

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

SITE FURNITURE:  
BIKE RACKS: MAGLIN MBR 200 SERIES BOLT DOWN  
BENCHES: MAGLIN MLB 870-PCC BOLT DOWN



JAPANESE MAPLE



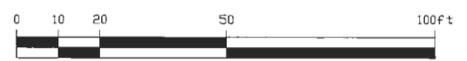
FLOWERING DOGWOOD



IRONWOOD TREE

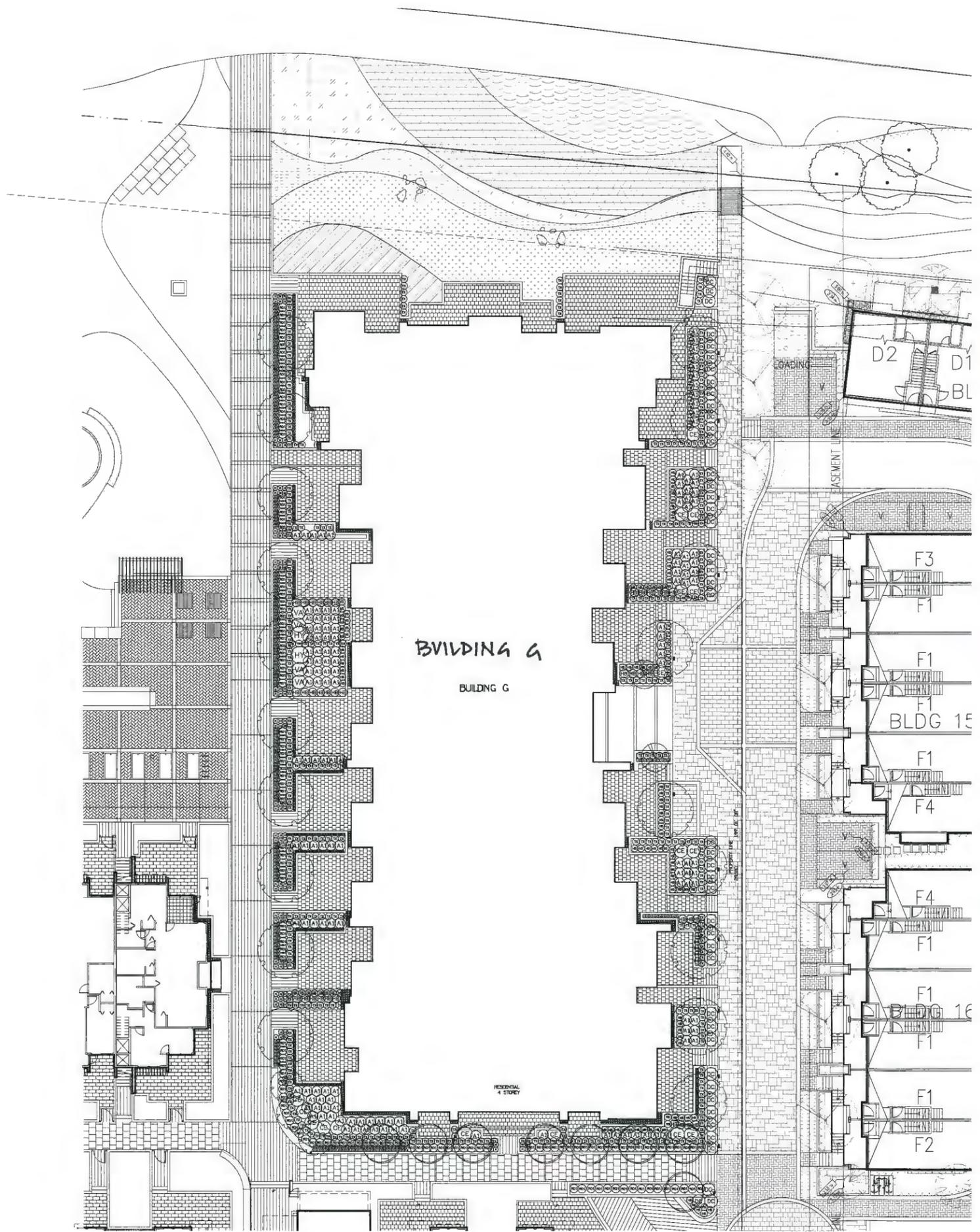


STYRAX



SEAL:

Supplements Plan 24 with shrub layout at Building G



CEANOTHUS



DAPHNE



FERNS



HYDRANGEA



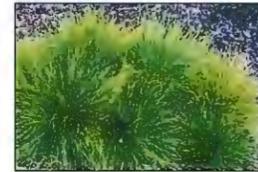
MEDILAND ROSE



YEW HEDGE



VACCINIUM



BEATLE SEDGE



CHAMISSO SEDGE



FEATHER GRASS



JUNCUS



PENNISETUM



SEDUM



HELLEBORUS



HEMEROCALLIS

| NO. | DATE      | REVISION |
|-----|-----------|----------|
| 3   | 16.AUG.13 | F        |
| 2   | 16.AUG.11 | P        |
| 1   | 16.MAY.18 | F        |

CLIENT:

PROJECT:

**MULTI-FAMILY DEV.**

RIVER DR.  
RICHMOND, B.C.

DRAWING TITLE:

**LANDSCAPE SHRUB PLAN**

DATE: 16.APR.11

SCALE: 1/16"=1'-0"

DRAWN: MM

DESIGN: MCV/MM

CHKD:

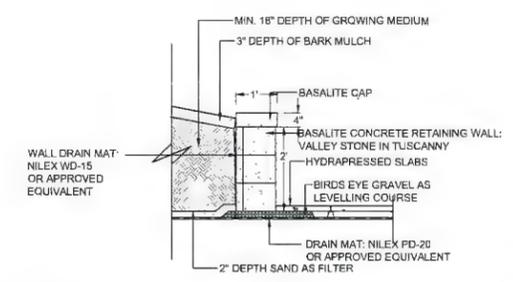
DRAWING NUMBER:

**L2**

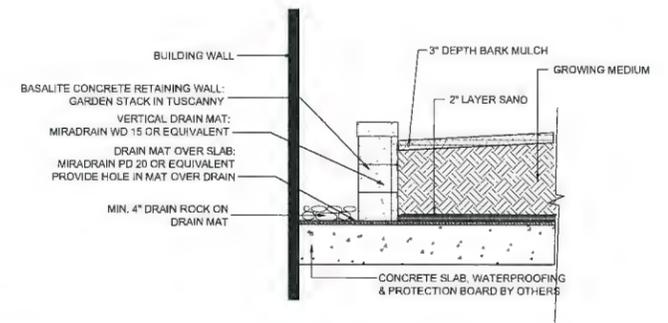
OF 5

SEAL:

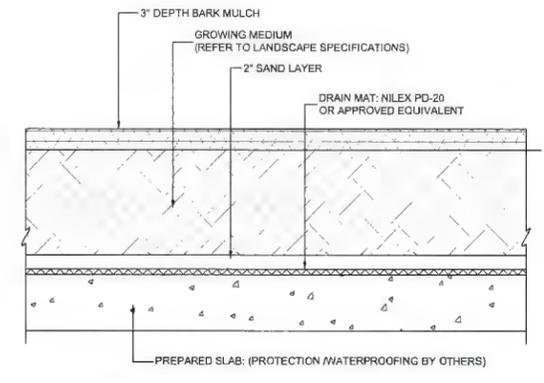
Supplements Plan 24 with details at Building G



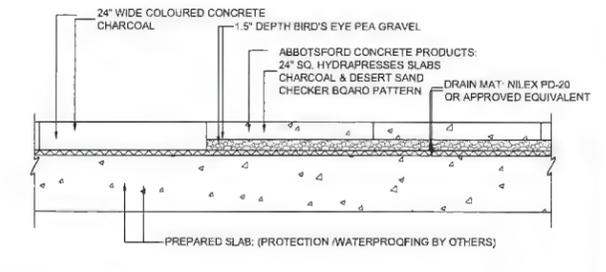
**1**  
L1  
BASALITE: VALLEY STONE RET. WALL ON SLAB  
1/2"-1'-0"



**2**  
L1  
DRAIN STRIP AT BLDG.  
1/2"-1'-0"



**3**  
L1  
PLANTING ON SLAB  
1"-1'-0"



**4**  
L1  
HYDRAPRESSED PAVERS ON SLAB  
1"-1'-0"



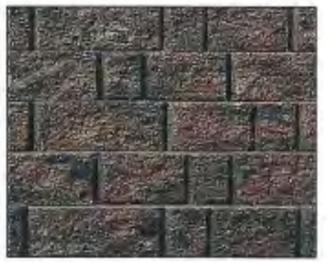
LIGHT BOLLARDS



BENCHES



BIKE RACKS



PLANTER WALLS



PAVERS



WOONERF EXAMPLES IN LOWER MAINLAND

| NO. | DATE      | REVISION |
|-----|-----------|----------|
| 3   | 16.AUG.23 | ME       |
| 2   | 16.AUG.11 | PLA      |
| 1   | 16.MAY.18 | PAR      |

Plan 24c Sept 15, 2016  
DP 11-564405

CLIENT:

PROJECT:  
**MULTI-FAMILY DEV.**  
RIVER DR.  
RICHMOND, B.C.

DRAWING TITLE:  
**INSPIRATION & DETAILS**

DATE: 16.APR.21 DRAWING NUMBER:  
SCALE: AS SHOWN **L3**  
DRAWN: MM  
DESIGN: MM  
CHK'D: MCY OF 5

SEAL:

Supplements Plan 24 with sections at Building G

Plan 24d Sept 15, 2016  
DP 11-564405

| NO. | DATE      | REVISION |
|-----|-----------|----------|
| 3   | 16.AUG.23 | A        |
| 2   | 16.AUG.11 | P        |
| 1   | 16.MAY.18 | P        |

CLIENT:

PROJECT:

**MULTI-FAMILY DEV.**

RIVER DR.  
RICHMOND, B.C.

DRAWING TITLE:

**LANDSCAPE SECTIONS**

DATE: 16.APR.21 DRAWING NUMBER:

SCALE: 1/4"=1'-0"

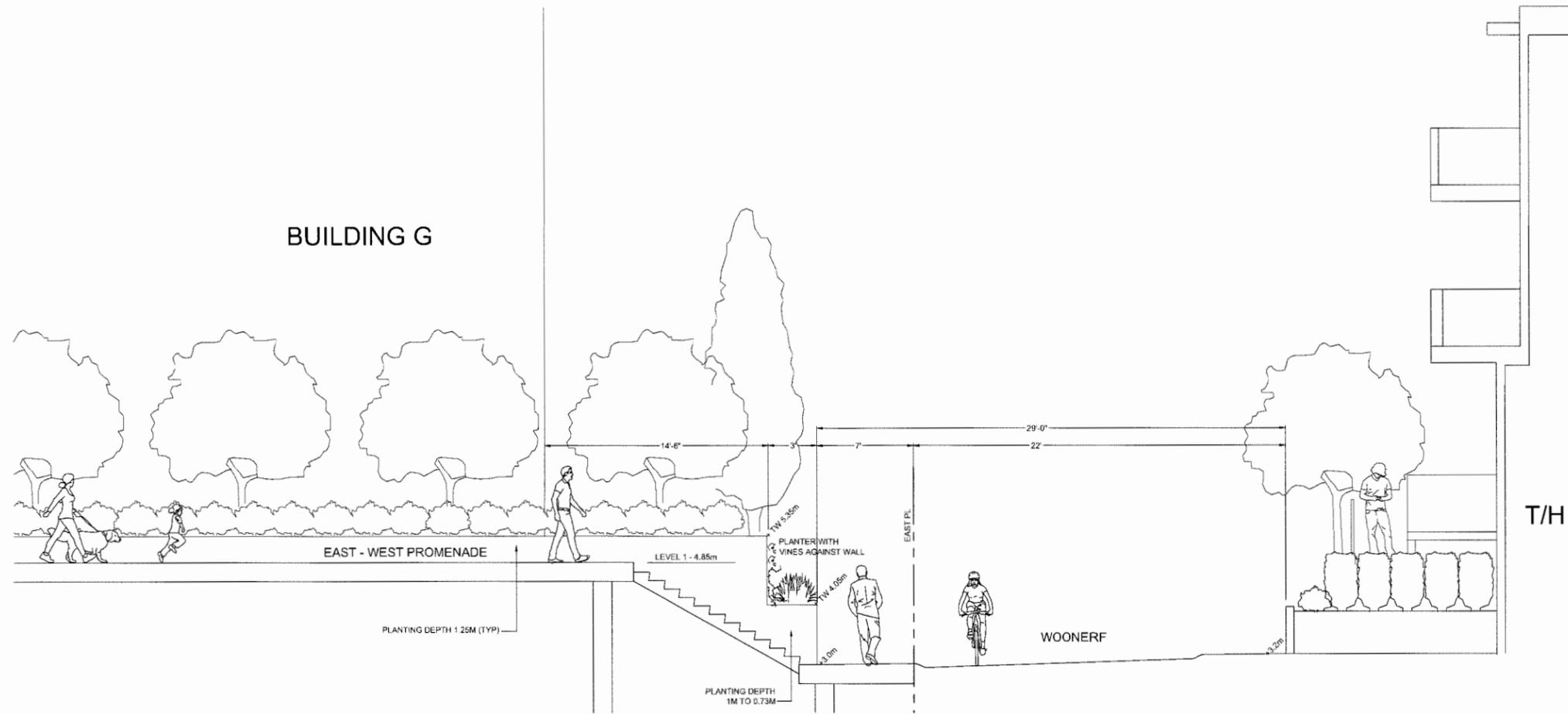
DRAWN: MM

DESIGN: MCY/MM

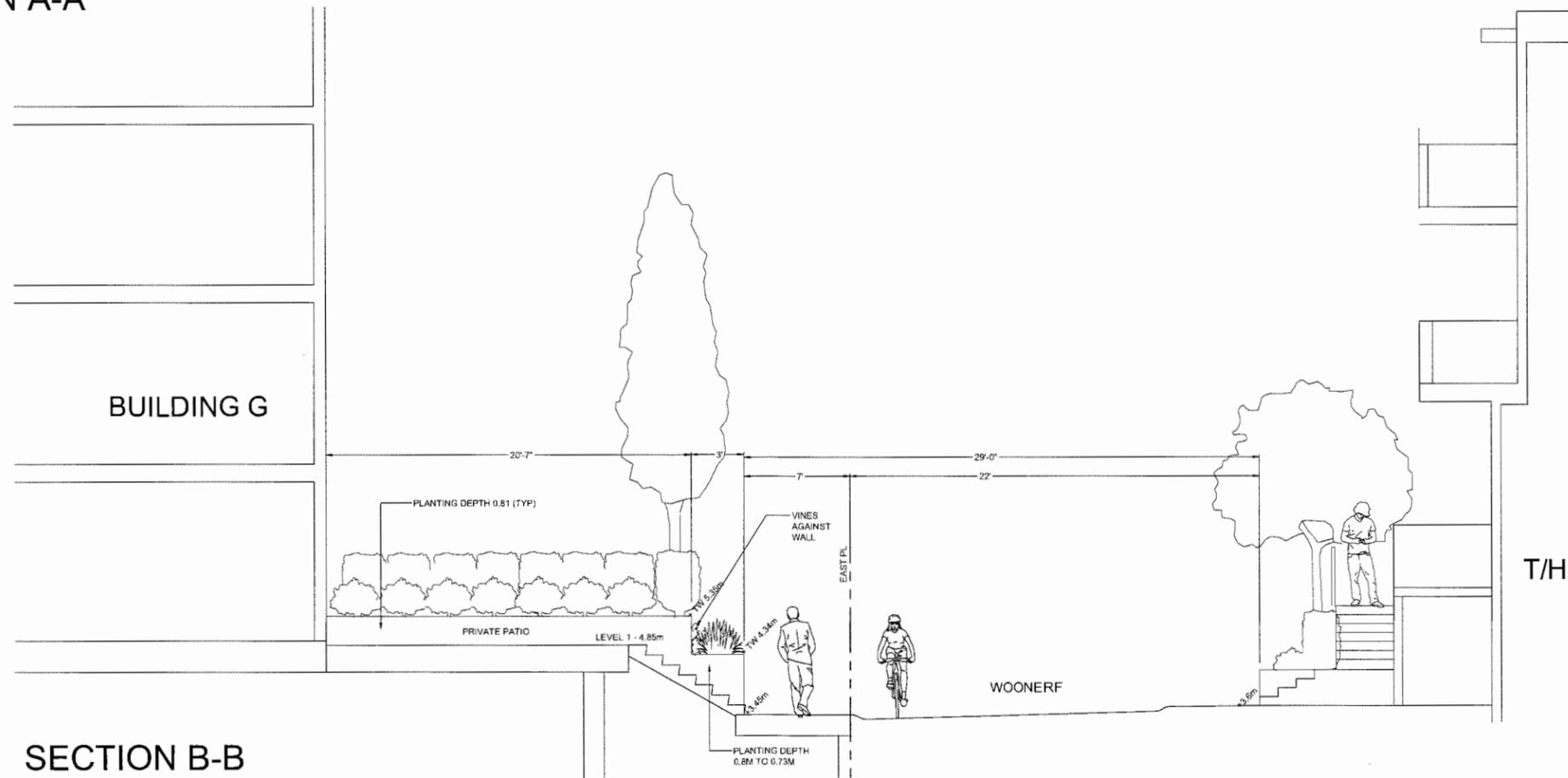
CHKD:

**L4**

OF 5



SECTION A-A



SECTION B-B

SEAL:

Supplements Plan 24 with sections at Building G

Plan 24e Sept 15, 2016  
DP 11-564405

| NO. | DATE      | REVISION |
|-----|-----------|----------|
| 3   | 16 AUG.23 | NI       |
| 2   | 16 AUG.11 | PL       |
| 1   | 16 MAY.18 | PA       |

CLIENT:

PROJECT:

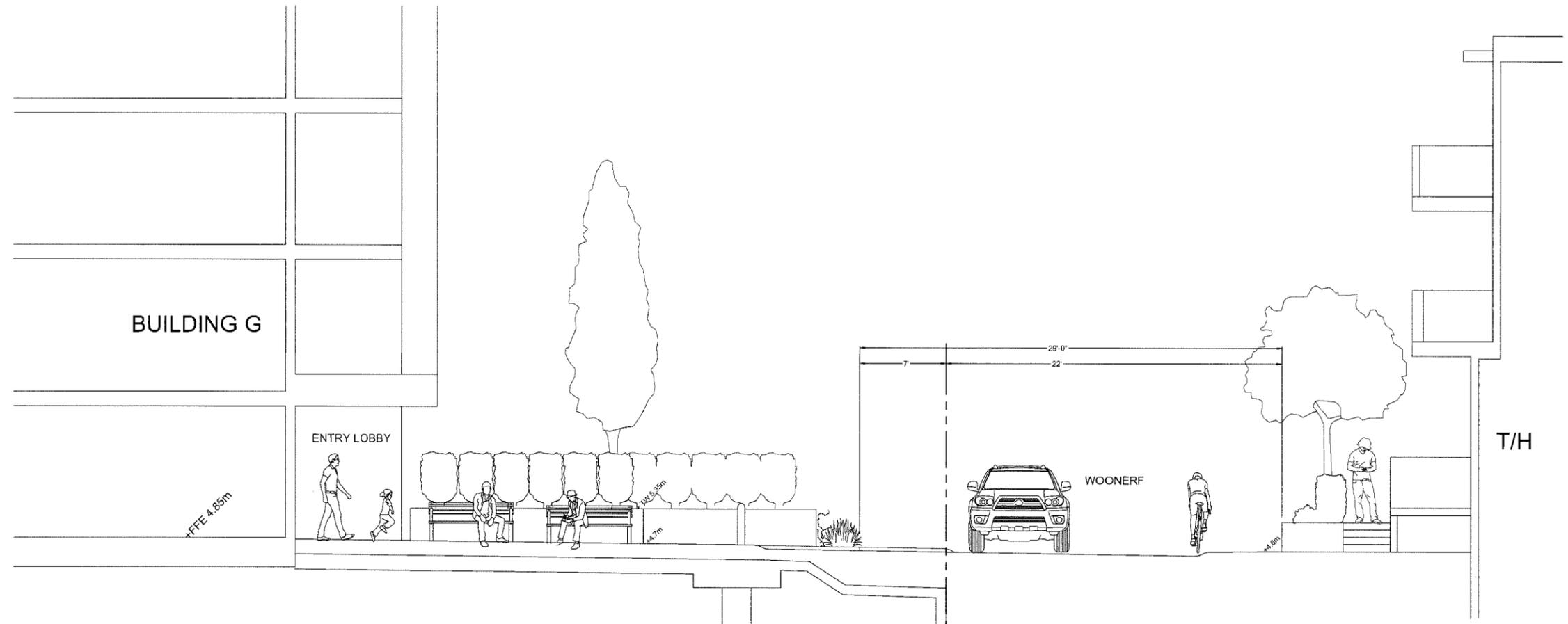
**MULTI-FAMILY DEV.**

**RIVER DR.  
RICHMOND, B.C.**

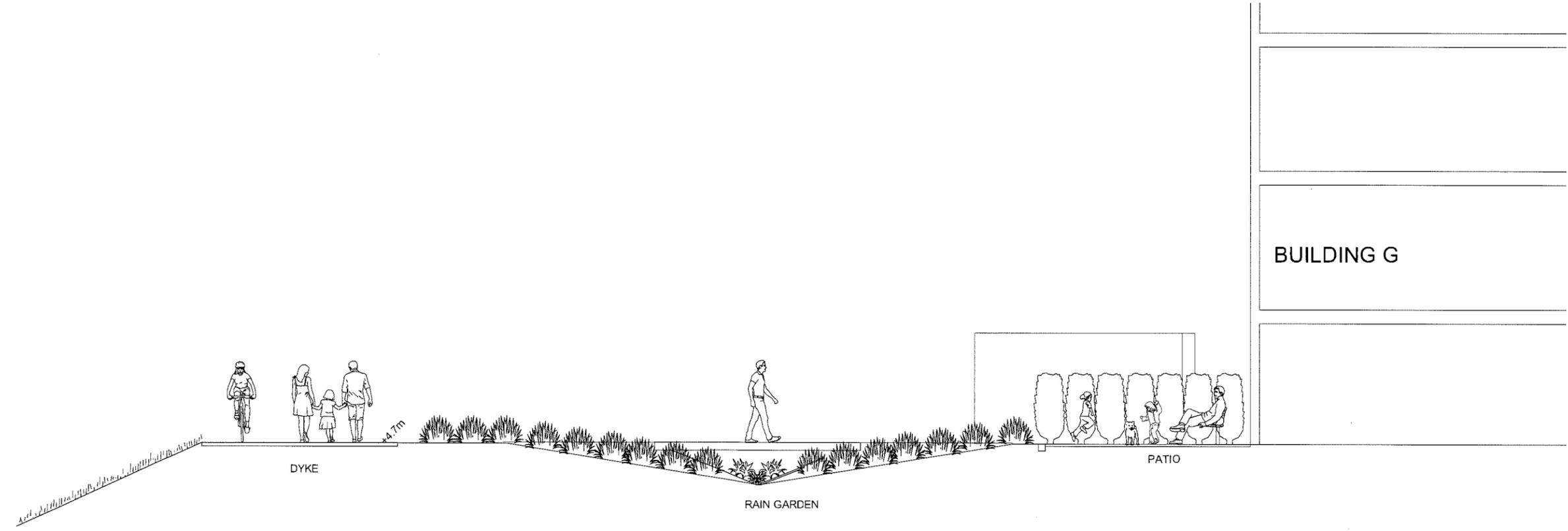
DRAWING TITLE:  
**LANDSCAPE SECTIONS**

DATE: 16.APR.21 DRAWING NUMBER:  
SCALE: 1/4"=1'-0"  
DRAWN: MM  
DESIGN: MCY/MM  
CHK'D: OF 5

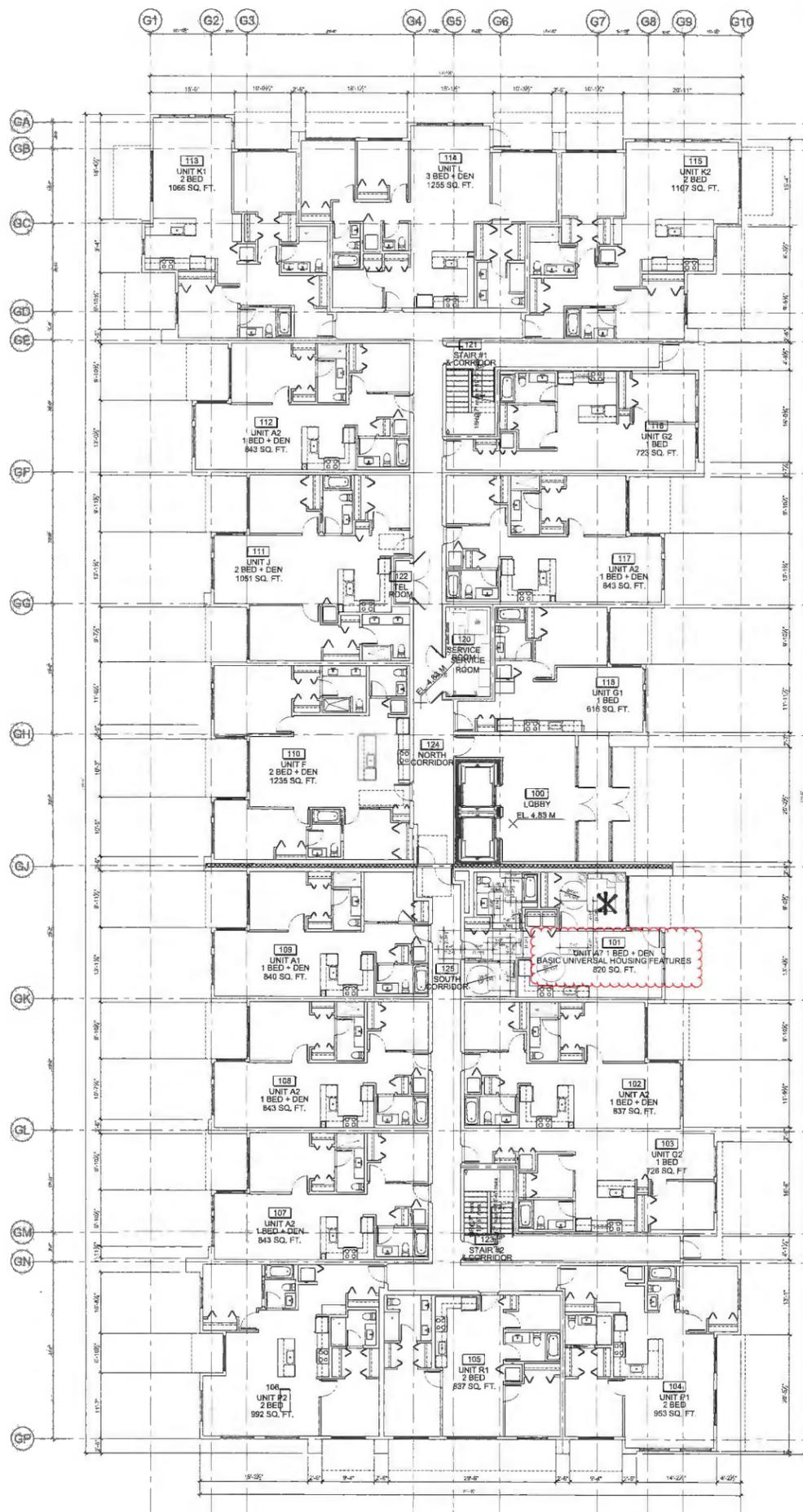
PMG PROJECT NUMBER: 16-062



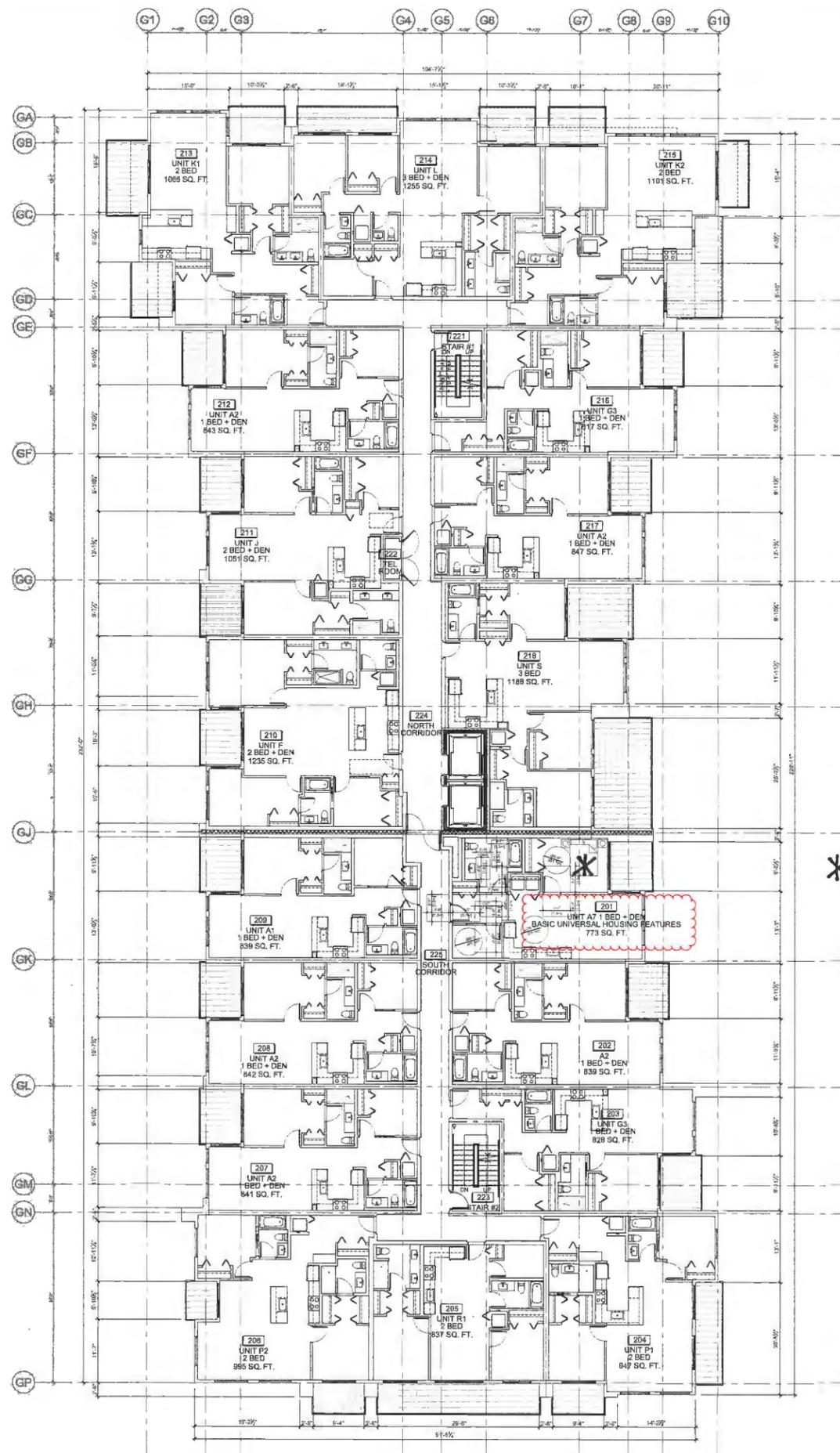
SECTION C-C



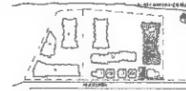
SECTION D-D



1 BUILDING G - LEVEL 1 FLOOR PLAN  
220



2 BUILDING G - LEVEL 2 FLOOR PLAN  
220



- OPTED PRINCIPLES**
- light color/low opacity for walls, columns
  - avoid floor corners and small corners
  - avoid small rooms
  - provide open space in common areas to allow for community events
  - provide lighting to minimize loss
  - provide adjustable lighting from underground parking area
  - provide handrails and safety features in underground parking area
  - provide enough surface finish to substandard

Replacement reference plan  
with Basic Universal Housing  
Feature Units

Reference Plan Sept 15, 2016  
DP 11-564405

\* BVHF UNITS (2)  
TO COMPLY WITH  
ZONING BYLAW  
SECTION 4.16

**ZGF  
COTTER**  
OF BOSTON ARCHITECTS

903-804 West Hastings Street, Vancouver, BC V6C 0A6  
100-1000 1777 East Ave 270-2711, Seattle, WA 98101  
www.zgfcotter.com



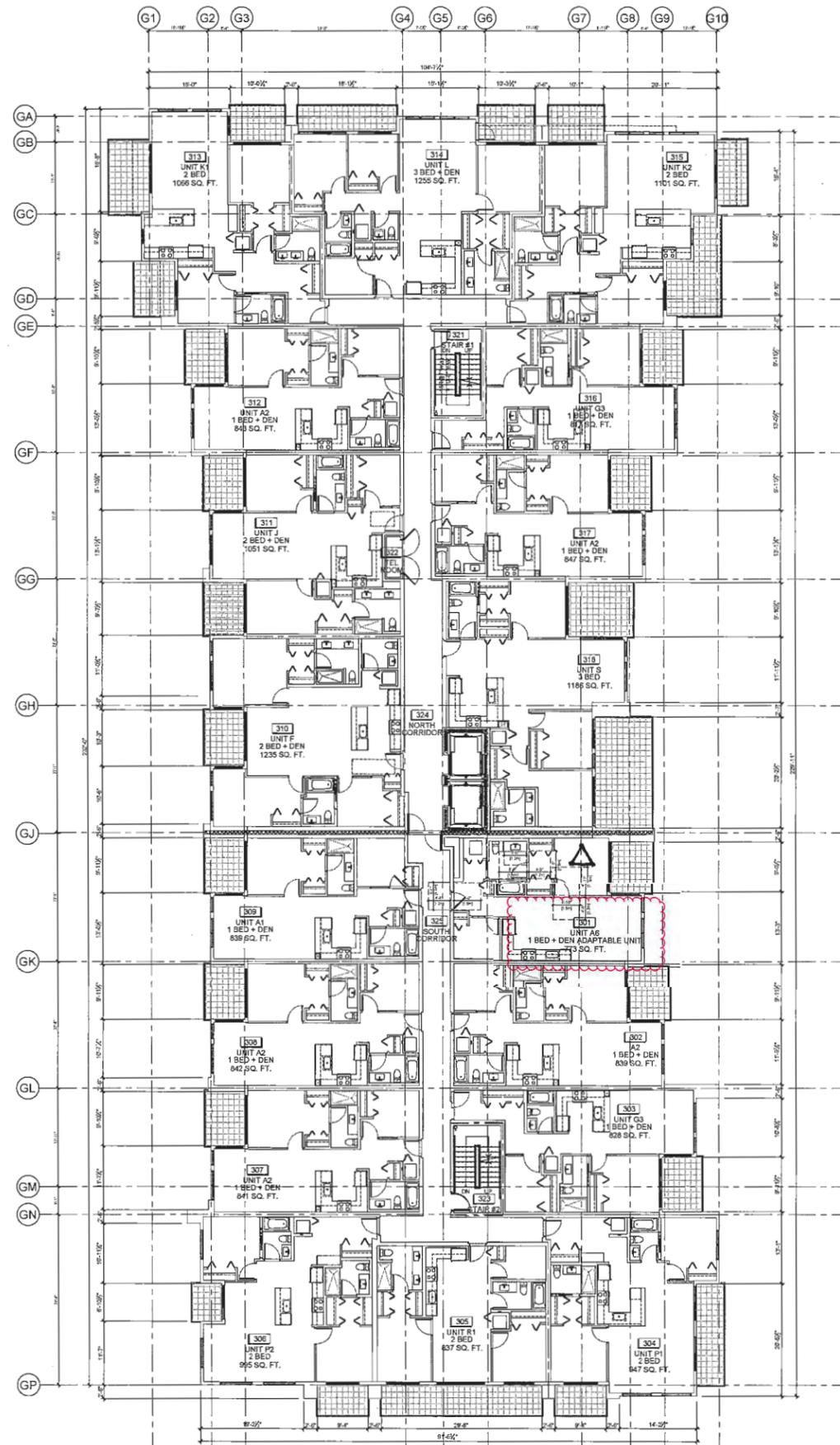
**PARC RIVIERA**  
A RIVERFRONT COMMUNITY  
Mixed-Use Development  
1001 1 River Drive  
Richmond BC

3-617  
**PARC RIVIERA  
PROJECTS INC.**

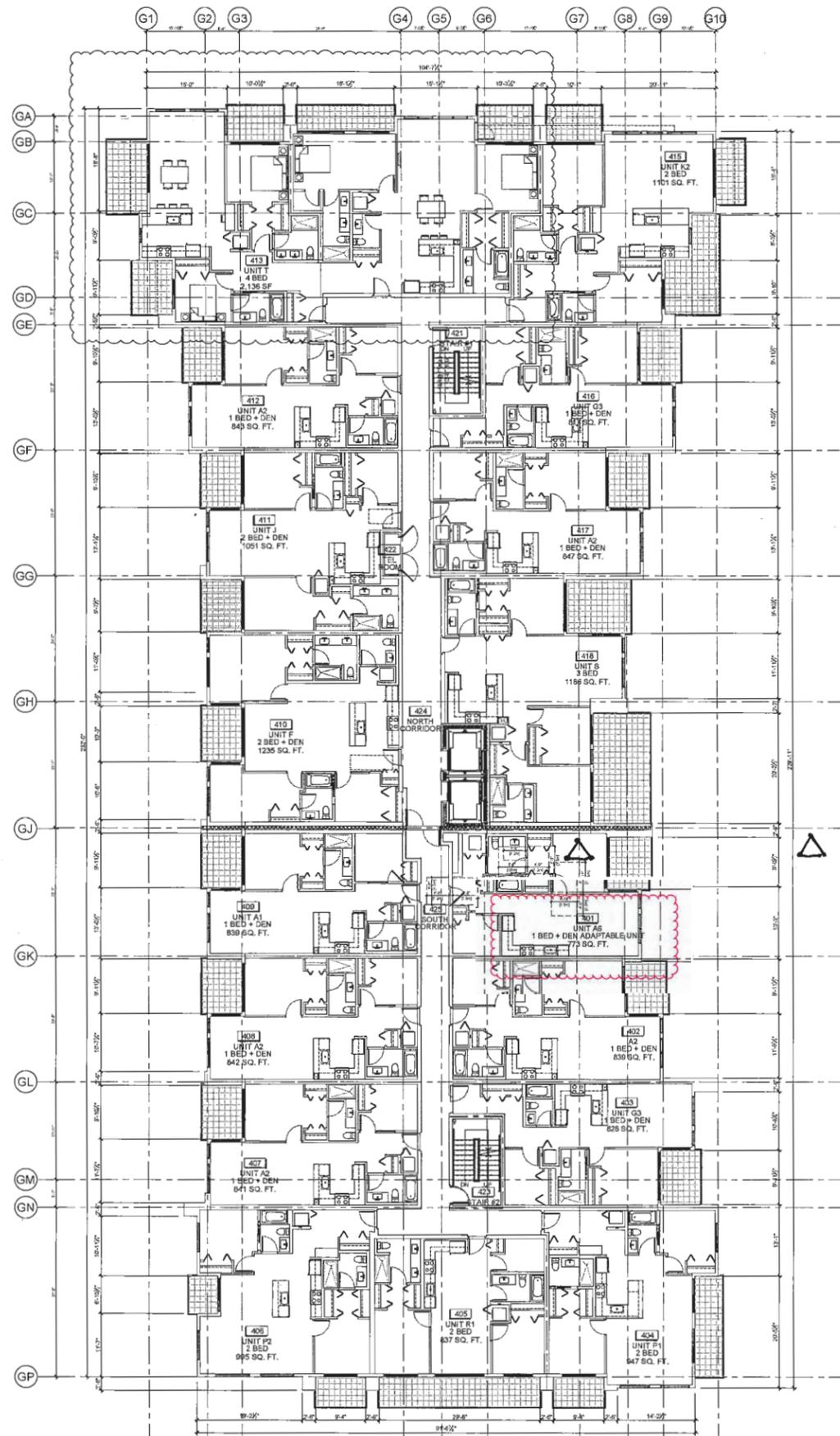
|      |          |
|------|----------|
| DATE | 11-15-16 |
| BY   | MM       |
| CHKD | MM       |
| APPD | MM       |
| DATE | 11-15-16 |

BUILDING G  
LEVELS 1 - 2 FLOOR PLANS





1 BUILDING G - LEVEL 3 FLOOR PLAN  
221



2 BUILDING G - LEVEL 4 FLOOR PLAN  
221

**KEY PLAN**

**CEPT PRINCIPLES**

- light colored painted finish to walls, columns
- wood louver covers and metal convex mirror are needed.
- provide lobby panels in lobby, leading to facility accessible areas.
- ensure adequate lighting throughout underground parking area.
- install hand color video surveillance equipment to parking area.
- provide rough surface finish to ramps to show skateboarders.

Replacement reference plan  
with Adaptable Units in  
Building G

Reference Plan Sept 15, 2016  
**DP 11-564405**

△ ADAPTABLE  
UNITS (3)  
TO COMPLY  
WITH BCBC

**ZGF  
COTTER**  
ARCHITECTS

303-538 West Hastings Street, Vancouver, BC V6C 4G6  
TEL: 604-271-1477 FAX: 604-681-8161 WWW.ZGFCOTTER.COM

**PARC RIVIERA**  
A RESIDENT COMMUNITY  
Mixed-use Development  
10011 River Drive  
Richmond BC

CLIENT  
**PARC RIVIERA  
PROJECTS INC.**

EXHIBIT A-221: THIS PLAN SHALL BE USED IN CONJUNCTION WITH THE EXHIBIT A-220: GENERAL NOTES AND THE EXHIBIT A-222: GENERAL NOTES.

|          |         |              |
|----------|---------|--------------|
| DATE     | TITLE   | BY           |
| 09/15/16 | REVISED | GA           |
| 09/15/16 | SCALE   | 1/8" = 1'-0" |

**EXHIBIT A-221  
LEVELS 3-4 FLOOR PLANS**



