



**Development Permit Panel
Wednesday, June 12, 2024**

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Wayne Craig, General Manager, Planning and Development, Chair
Cecilia Achiam, General Manager, Community Safety
Kirk Taylor, Director, Real Estate Services

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on May 29, 2024 be adopted.

CARRIED

1. DEVELOPMENT PERMIT 23-023854
(REDMS No. 7681802)

APPLICANT: HNPA Architecture & Planning Inc.

PROPERTY LOCATION: 6071 Azure Road

INTENT OF PERMIT:

1. Permit the construction of a low-rise to mid-rise residential development comprising 330 residential units, including 50 low-end-of-rental (LEMR) units, 110 moderate-income rental units and 170 market rental units at 6071 Azure Road on a site zoned “Low to Mid Rise Apartment (ZLR45) – Thompson”; and

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2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) reduce the minimum setback from Westminster Highway from 4.5 m to 4.35 m behind the bus stop and 4.14 m at the Westminster Highway and Azure Boulevard corner cut; and
 - (b) reduce the minimum manoeuvring aisle width from 6.7 m to 6.1 m.

Applicant's Comments

Jun Nan, HNPA Architecture and Planning Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the proposed development, highlighting the following:

- the existing rental residential site with 50 townhouse units will be redeveloped into two four-storey apartment buildings and one six-storey apartment building with 330 units consisting of 50 low-end-of-market rental (LEMR) units, 110 moderate-income rental housing units and 170 market rental units;
- 46 percent of the total number of units are family-friendly units or units having two to four bedrooms,
- the building height steps down to provide an appropriate interface with the adjacent single-detached homes;
- the buildings are arranged to surround two major courtyards on podium level with a single-level parking structure below;
- the outdoor amenity spaces provided on the podium level and at the fifth floor of the northeastern building are for the shared use of all residents in the proposed development;
- indoor amenity spaces are provided in each building and most are located to open up visually or physically to the outdoor amenity spaces;
- the total area proposed for indoor and outdoor amenity spaces exceeds the City requirements;
- the use of different materials and colours visually breaks down the building massing and provides identity to each building;
- the podium level central courtyard is accessible from the street;
- all of the units meet Basic Universal Housing (BUH) requirements; and
- the project meets the City's energy efficiency and parking requirements.

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James Whelan, Durante Kreuk Ltd., with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) the western courtyard has been designed for active uses while the eastern courtyard has been designed for passive uses, (ii) urban agriculture areas are located in the podium level outdoor amenity area and at the fifth floor level of the northeastern building which also provides opportunities for social gathering and events, (iii) all urban agriculture planters have been designed to be accessible for all users, (iv) grade changes along the three road frontages are addressed through tiered retaining walls and significant planting, (v) a grove of trees along the western edge of the site have been retained, (vi) proposed planting includes native and non-native and deciduous and coniferous species, (vii) open spaces for public use are proposed on ground level, and (viii) a variety of play equipment and elements are proposed for the children's play area to cater to different children's age groups.

Staff Comments

In reply to queries from the Panel, staff noted that (i) there is a Servicing Agreement associated with the project including but not limited to the design and construction of road works including road widening on Westminster Highway and frontage improvements along the three road frontages of the site, traffic calming, utility connections and sanitary sewer upgrades, (ii) the proposed parking complies with the Zoning Bylaw requirements and a package of Transportation Demand Management (TDM) measures is proposed to reduce vehicle ownership in the proposed development, (iii) the subject site is impacted by aircraft noise and the project has been designed to meet the City's aircraft noise interior sound levels and thermal comfort requirements during summer, (iv) the project has been designed to achieve Step 3 of the BC Energy Step Code with a low-carbon energy system and will connect to a City District Energy Utility (DEU) facility for domestic hot water heating when one is available in the area, (v) the rooftop urban agriculture is provided for the shared use of all residents in the proposed development, (vi) a significant number of trees along the west property line of the subject site will be retained and protected to provide a buffer to the single-family homes to west, and (vii) the applicant is required to plant 90 replacement trees to compensate for some existing trees being removed from the site but the applicant is proposing to plant 154 trees.

Panel Discussion

In reply to queries from the Panel, staff confirmed that (i) the Transit Pass Program is part of the proposed TDM measures and is offered to all residents of the development and provides a two-zone monthly bus pass for a period of one year, (ii) the proposed 50 LEMR rental housing units are replacement units for the existing rental housing units on the subject site and existing tenants will be offered the option of renting a replacement LEMR unit in the proposed development, and (iii) the six rental housing units currently tenanted by Vancouver Coastal Health (VCH) clients will continue to be offered to VCH when construction of the LEMR units in the development is completed.

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Discussion ensued regarding access to the podium level central courtyard and it was noted that (i) the central courtyard is only for private use of residents and is not publicly accessible, (ii) there are no gates or fencing proposed at the top or bottom of the ramp and stairs, and (iii) the elevation change from street level sidewalk to the podium level central courtyard marks the transition from the public realm to the semi-private realm.

Following discussion, the applicant was advised to install appropriate signage on the site to inform pedestrians that the podium level courtyard is a private space.

In reply to queries from the Panel, the applicant advised that (i) different types of lighting for different areas in the development are proposed, (ii) all planted areas in the development will be irrigated, (iii) the applicant will work with the arborist to ensure appropriate measures are taken during construction to ensure the protection and survival of existing trees along the west property line, and (iv) the urban agriculture areas are provided with tool storage spaces as well as potting benches and compost storage areas.

Discussion ensued regarding the location of mechanical units and it was noted that (i) majority of mechanical units for the low-carbon energy system will be located in the parkade, (ii) a limited number of mechanical units for corridor ventilation are proposed to be located on building rooftops, and (iii) the provision of a heat pump for each unit and their proposed location in balconies are currently in the planning stage.

As a result of the discussion, the applicant was advised to take into consideration in their planning the noise that will be generated by the heat pumps and introduce appropriate noise mitigation measures.

In reply to a query from the Panel, staff confirmed a tree survival security is required to be provided by the applicant to ensure the survival of on-site trees identified for retention.

Discussion ensued regarding the proposed architectural and landscape treatment for ground level exterior walls facing property lines and it was noted that (i) fencing and landscape screening are proposed for the loading area along Azure Boulevard, (ii) there is a high cast-in-place concrete wall adjacent to the bicycle parking area near the parkade entry on Azure Boulevard, (iii) flush landscaping is proposed at the bicycle parking area on Azure Boulevard near the northeast corner of the site, and (iii) there is a long concrete parkade wall along the west property line adjacent to the retained grove of trees.

Following discussion, the applicant was advised to (i) investigate opportunities to add more interest to the treatment of concrete walls along the west property line and adjacent to bicycle parking areas along Azure Boulevard, and (ii) introduce appropriate treatment to discourage tagging on smooth cast-in-place concrete walls.

In reply to the query from the Panel regarding the anticipated time frame for the development of the project and projected start date of tenant relocation, the applicant advised that (i) tenant relocation will only commence after Building Permit issuance, and (ii) subject to the timing of Building Permit issuance and completion of pre-construction activities, construction could start in June of next year at the earliest.

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In reply to a query from the Panel regarding details of the tenant relocation plan associated with the proposed development, staff noted that the tenant relocation plan secured at rezoning includes (i) providing tenants with a minimum of four months' notice to end the tenancy, (ii) offering tenants the option of renting a replacement LEMR unit and the six housing units currently tenanted by VCH clients in the existing development will continue to be offered to VCH in the new development, (iii) offering tenants who have resided in the existing development longer than one year the choice of four months' free rent or lump sum equivalent, exceeding the OCP policy requirement of three months' free rent or lump sum equivalent, and (iv) acknowledging that some tenants may require additional assistance throughout the relocation process.

Correspondence

Susan Campbell, 6051 Azure Road ([Schedule 2](#))

In reply to concerns indicated in the letter regarding hospital personnel and visitors using the neighbourhood for parking and opposition to the subject application moving forward, staff noted that (i) staff has followed up with the Richmond resident to confirm that parking needs of the proposed development are provided on-site and there are TDM measures proposed to reduce vehicle ownership, (ii) as directed by Council, staff conducted a consultation with residents in the neighbourhood on the potential of introducing a resident only parking program, and (iii) the completed survey indicated little support for the program, except for one small street in the area which is proceeding with the program on a pilot basis.

Gallery Comments

None.

Panel Discussion

The Panel expressed support for the project, noting that the proposed development provides 100 percent rental housing units with a high percentage of family-friendly units and varying levels of affordability.

In addition, staff was directed to work with the applicant to (i) investigate opportunities to install access controls such as signage to the outdoor amenity area from public areas, and (ii) review the treatment of exposed walls along the Azure Boulevard frontage and west property line of the subject site.

Also, the applicant was advised to coordinate with City staff regarding phasing of construction of the development if they have not done so already.

Development Permit Panel
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Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of a low-rise to mid-rise residential development comprising 330 residential units, including 50 low-end-of-rental (LEMR) units, 110 moderate-income rental units and 170 market rental units at 6071 Azure Road on a site zoned “Low to Mid Rise Apartment (ZLR45) – Thompson”; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the minimum setback from Westminster Highway from 4.5 m to 4.35 m behind the bus stop and 4.14 m at the Westminster Highway and Azure Boulevard corner cut; and*
 - (b) *reduce the minimum manoeuvring aisle width from 6.7 m to 6.1 m.*

CARRIED

2. New Business

It was moved and seconded

That the Development Permit Panel meeting tentatively scheduled on Wednesday, June 26, 2024 be cancelled.

3. Date of Next Meeting: July 10, 2024

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (4:26 p.m.).

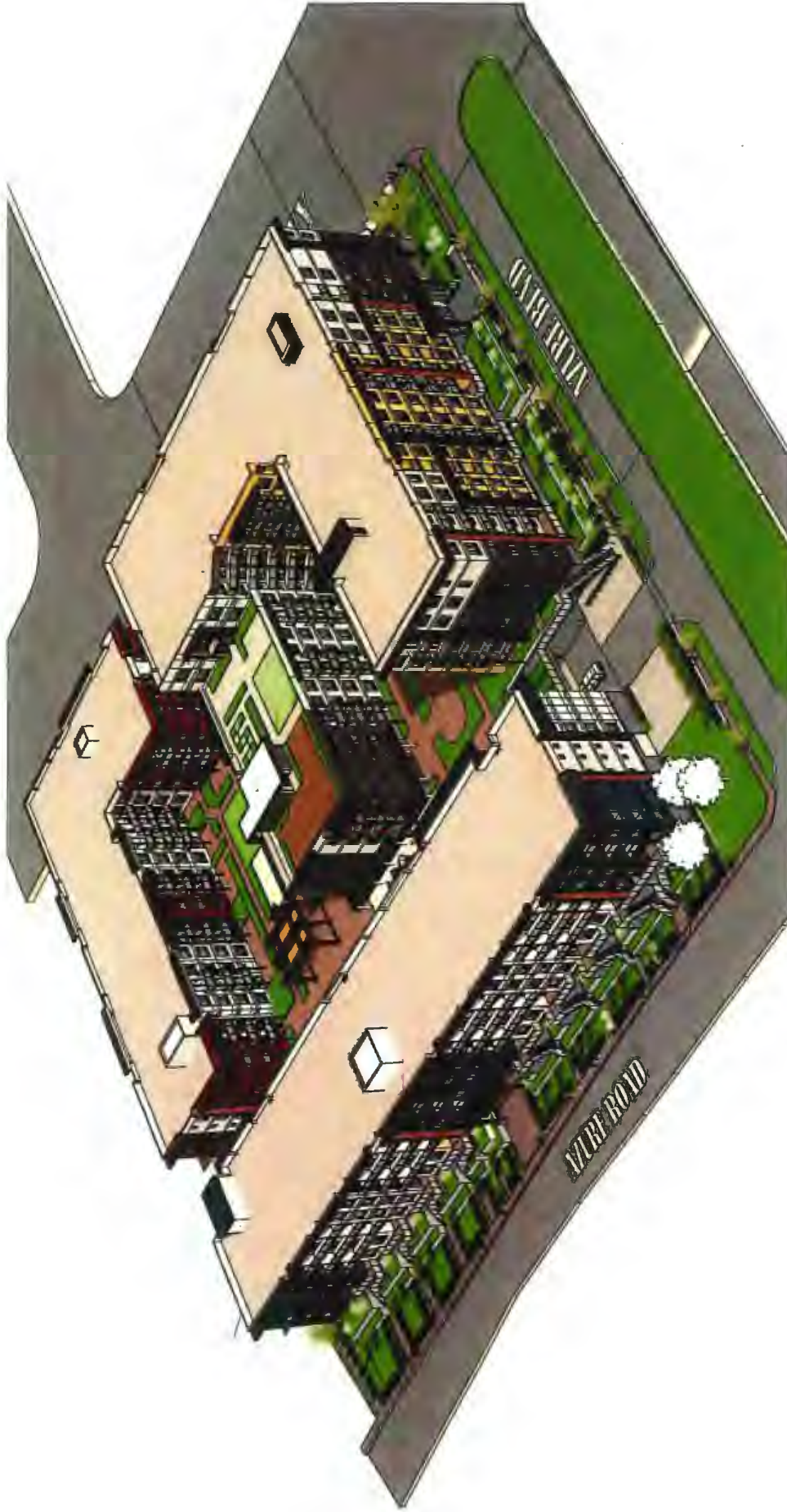
CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, June 12, 2024.

Wayne Craig
Chair

Rustico Agawin
Committee Clerk

Schedule 1 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
June 12, 2024



CNCL - 255

6071 AZURE ROAD - RICHMOND, BC

DEVELOPMENT PERMIT PANEL MEETING - JUN 12, 2024



HNPA ARCHITECTURE + PLANNING INC.



DURANTE KREUK LTD.

PROJECT OVERVIEW

SITE INFORMATION



CIVIC ADDRESS
6071 Azure Road, Richmond, British Columbia

LEGAL DESCRIPTION
LOT 592 SEC 7 BLK 4N FG 6W PL NWP25611 LOT 592, BLOCK 4N, PLAN NWP25611, SECTION 7, RANGE 6W, NEW WESTMINSTER LAND DISTRICT

SITE AREA
BEFORE DEDICATION: 12,005 SQ.M (129,221 SQ.FT)
AFTER DEDICATION: 11,606 SQ.M (124,933 SQ.FT)

LAND USE
MULTI-FAMILY RESIDENTIAL

CURRENT ZONING
RTL1 - LOW DENSITY TOWNHOUSES

EXECUTIVE SUMMARY

PROJECT AREAS
Building A: LEMR + HILs + RENTAL MARKET 5,490 Sq.m. - FAR
Building B: HILs + RENTAL MARKET 12,087 Sq.m. - FAR
Building C: LEMR + RENTAL MARKET 6,804 Sq.m. - FAR
Total Project Areas 24,381 Sq.m. - FAR

FAR SUMMARY
Proposed FAR: 2:1 FAR

PROJECT UNITS
Building A 56 Units
Building B 177 Units
Building C 97 Units

INDOOR AMENITY
2.00 Sq.m per unit 300 Sq.m. Req'd 371 Sq.m. - Proposed

OUTDOOR AMENITY
5.95 Sq.m per unit 1,980 Sq.m. Req'd 3,565 Sq.m. - Proposed
West Side - yard outdoor open space: 360 Sq.m

PARKING
Total Required 272 Car stalls
Total Provided 275 Car stalls

LOADING
Total Required 1 Loading bay
Total Provided 2 Loading bays

BIKE STALLS
Total Required 660 class 1 bikes
Total Provided 660 class 1 bikes
66 class 2 bikes
67 class 2 bikes

SETBACKS	Required	Proposed
Front Yard - North PL.: at Westminster highway	14.76 ft (4.5 m) to new PL	15 ft (4.57m)
Side Yard - East PL.: at Azure Blvd	14.76 ft (4.5 m) to PL	15 ft (4.57m)
Side Yard - West PL.: at Neighbour	14.76 ft (4.5 m) to PL	23 ft (7.01m)
Rear Yard - South PL.: at Azure Rd	14.76 ft (4.5 m) to PL	15 ft (4.57m)

SETBACKS VARIANCES	Required	Proposed
1- Front Yard - North PL.: at Westminster highway (Behind Bus Stop)	14.76 ft (4.5m) to new PL	14.27 ft (4.35m)
2- Front Yard - North PL.: at Westminster highway (At North-East Corner)	14.76 ft (4.5m) to new PL	13.58 ft (4.14m)

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- 2 Housing and Livability
- 3 Site Plan and Massing
- 4 Public Realm Design
- 5 Building Characters
- 6 3D Visualizations

2.0 ARCHITECTURAL DRAWINGS

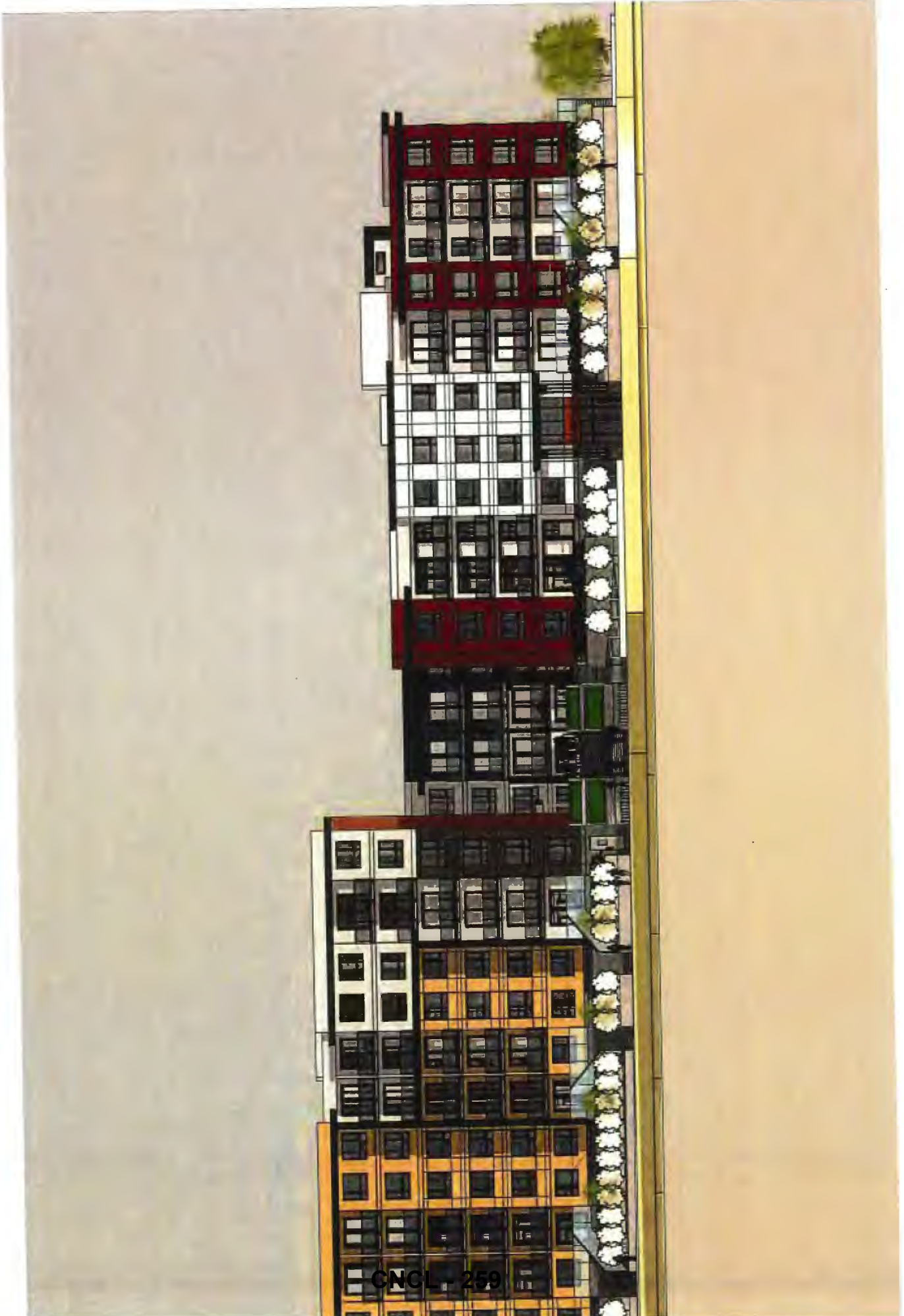
3.0 LANDSCAPE DRAWINGS



1.0

DESIGN RATIONALE





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SITE CONTEXT

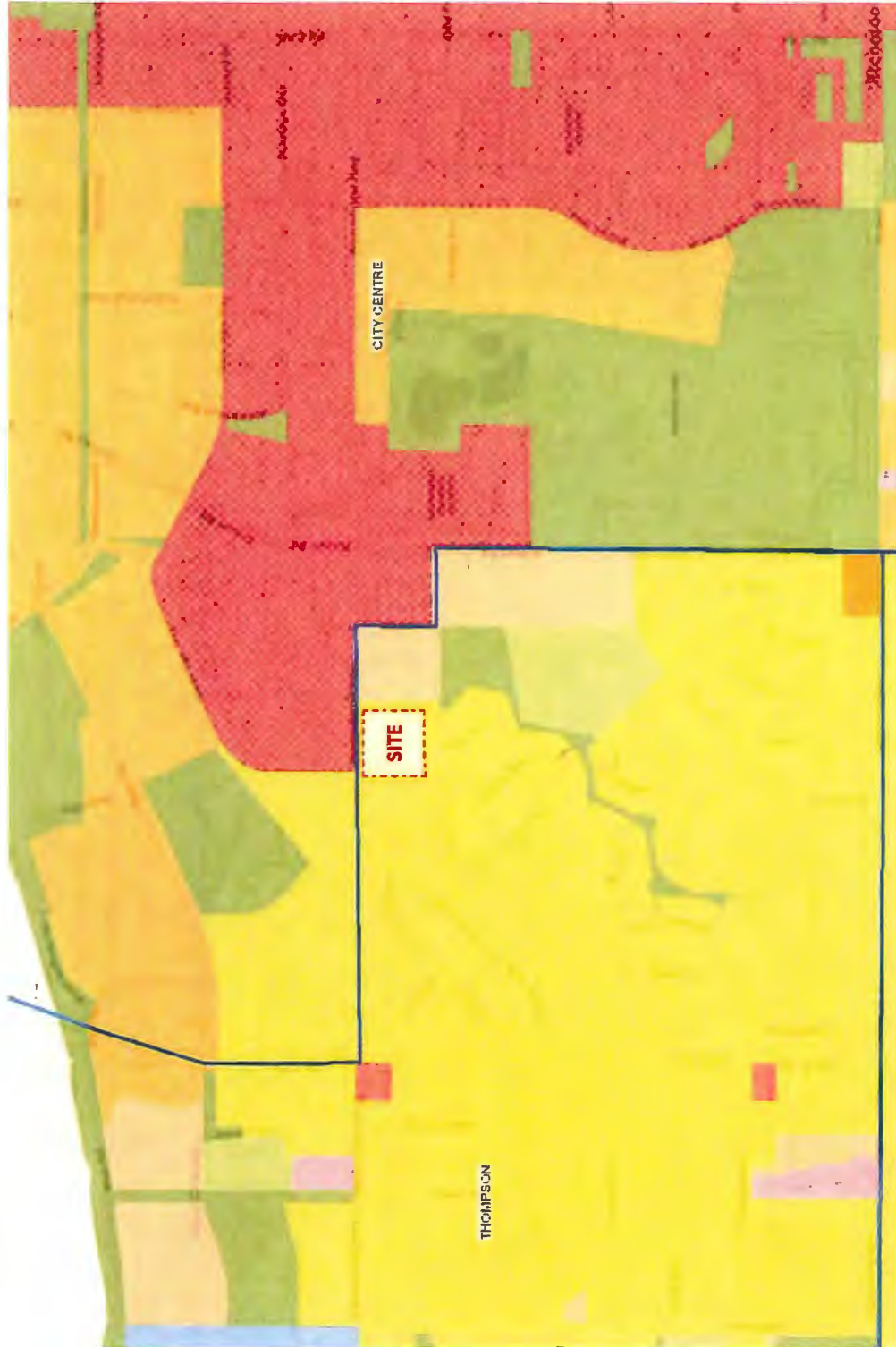
This project is located at 6071 Azure Road, at the intersection of Azure Road and Westminster Highway. The site is located within Richmond's Thompson area. It is adjacent to Richmond's City Centre and surrounded by many of Richmond's major commercial establishments, parks, hospital and recreational facilities.

The area is currently occupied by a number of lowrise residential buildings. The buildings are decades old and are in desperate need of major renewal. Given the site's adjacency to Westminster Highway, redevelopment of the site will also bring refreshing changes to this major street in Richmond.

The site is in a transitional area between single family house neighborhood on the west and multifamily housing on the east, institution and industrial facilities crossing the street. The site is within convenient walking distance to the city centre and has good access to public transit.

SITE CONTEXT

OCPLAND USE MAP



SITE CONTEXT
WALK RADIUS MAP



MAP LEGEND

HOSPITAL

- 1 Richmond Hospital

PARKS

- 2 Minoru Park
- 3 Brighouse Neighbourhood Park
- 4 Dover Neighbourhood Park
- 5 North-Arm Dyke

SCHOOLS

- 6 Samuel Brighouse Elementary

DAYCARES

- 7 Chosen Children Learning Center
- 8 Bowling Green Children's Center

POINTS OF INTEREST

- 9 CF Richmond Centre
- 10 Olympic Experience at Richmond
- 11 The World of Kidtopolis

SKYTRAIN STATION

- 12 Richmond-Brighouse Station

SITE CONTEXT
SITE PHOTOS



HOUSING AND LIVABILITY

A 100% RENTAL HOUSING DEVELOPMENT

The proposed development is comprised of three buildings that will supply a total of 330 much-needed rental units to the area and the City of Richmond. 48% of the units are affordable rental housing.

50 LEMR Unit

Total 50 Low-End Market Rental Housing (LEMUR) units in Building A and C. The types, sizes, rental rates, and occupant income restrictions for LEMR units are in accordance with the City's Affordable Housing Strategy and guidelines for Low End Market Rental (LEMUR) housing

110 Hills Unit

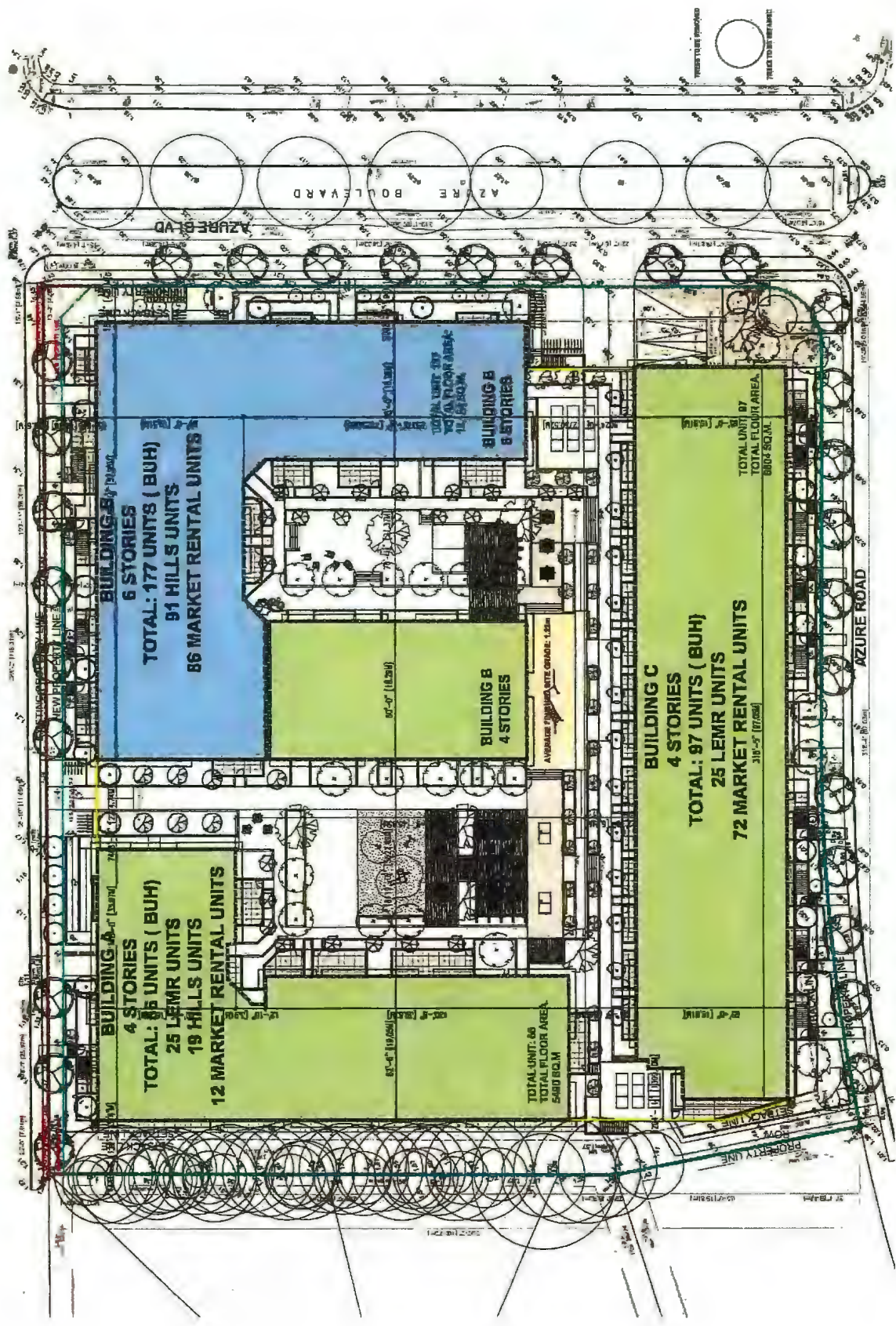
110 Moderate Income Rental Housing unit with the Housing Income Limits (HILs) are located in Building A and B.

170 Market Rental Housing Unit

170 Market Rental Housing units in Building A, B and C.

56% units are family unit with 2 or more bedrooms

RENTAL UNIT TYPES CALCULATION							
	LEMUR		HILLS		Market Rental		TOTAL
Total Unit	50		110		170		330
STUDIO	0	0%	24	22%	19	11%	43
1 BEDROOM	4	8%	62	56%	69	41%	135
2 BEDROOM	14	28%	20	18%	49	29%	83
3 BEDROOM	29	58%	4	4%	33	19%	66
4 BEDROOM	3	6%	0		0		3
BUH Unit	50	100%	110	100%	170	100%	



SITE PLAN AND MASSING

SITE PLANNING PRINCIPLES

An appropriate fit for the site context

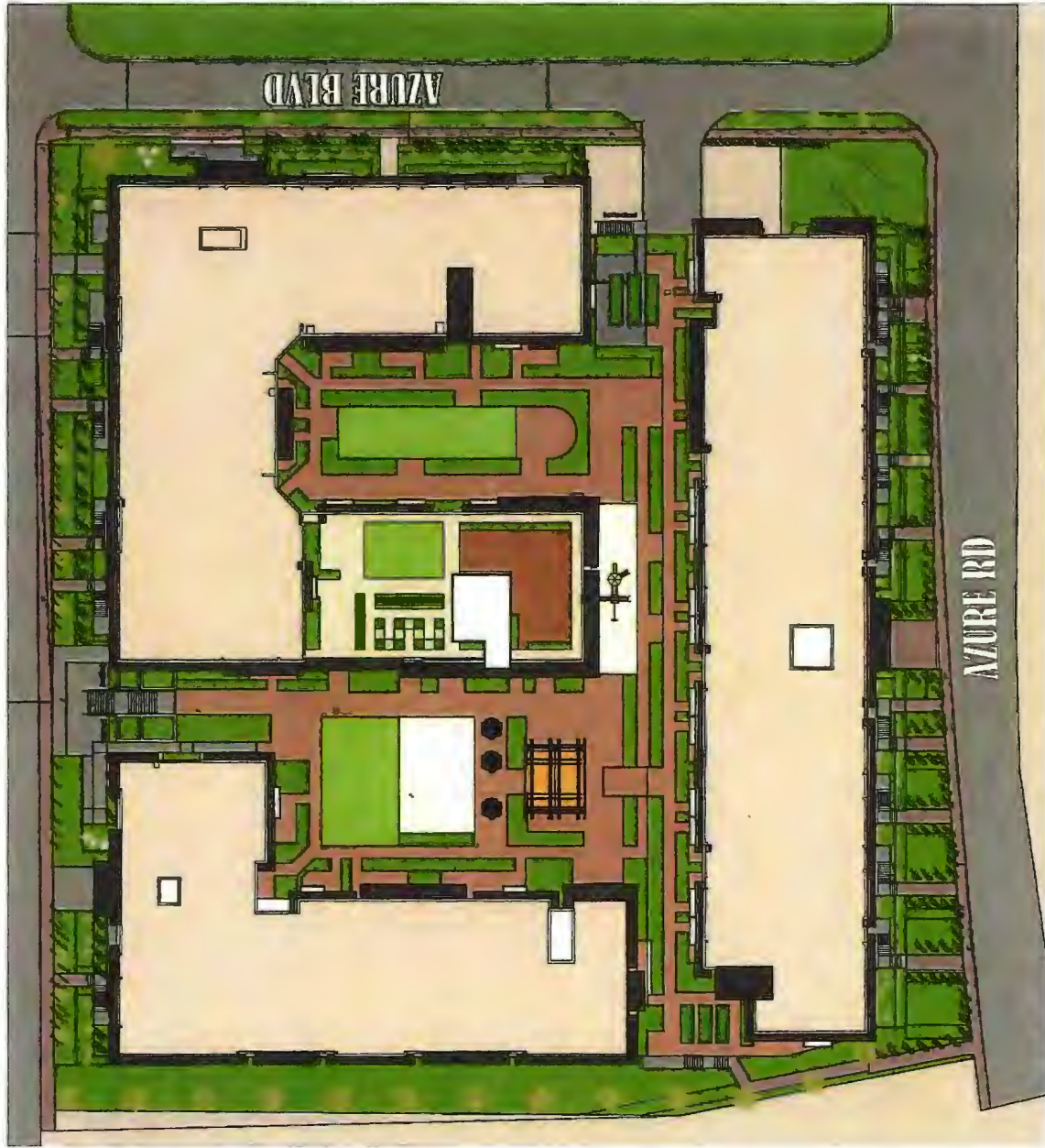
The development places three buildings on site with the two 4-story building on the west and south sides which faces existing single-family houses. The 6-story building is placed at the northeast corner of the site away from the single-family house neighborhood. On the west side, the development is setback by 23' to allow the existing row of trees to be kept and to have minimum impact on the adjacent property on the west.

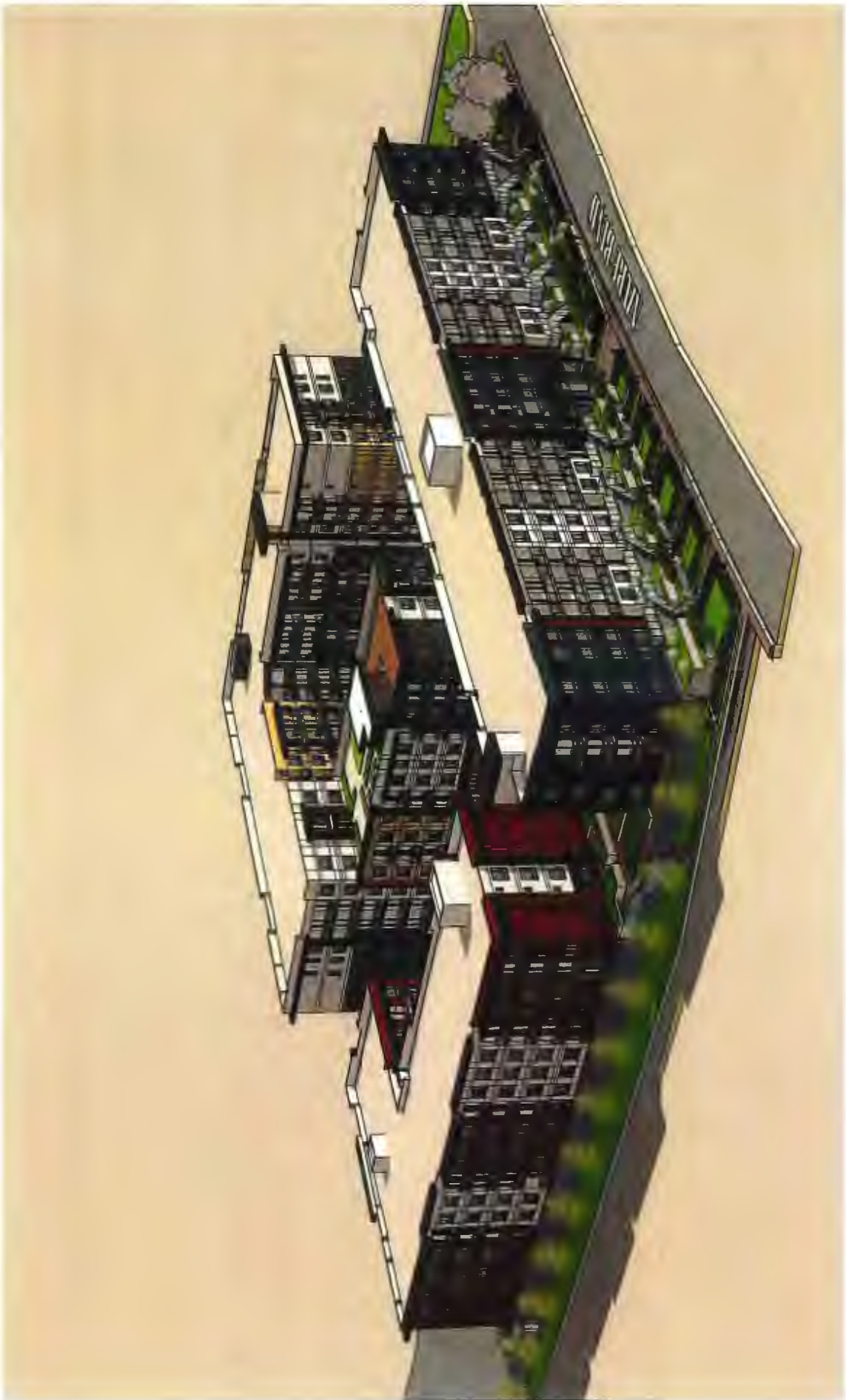
A balanced massing design for the site

While the new development is higher and denser than the existing one, the massing design breaks down the building mass by varying building facades with colors, materials and frames to create interest and visually break down the massing.

Accessible Outdoor Amenities

The placement of the three buildings naturally forms a courtyard in the centre, to be shared by all residents. The courtyard is easily accessed from the lower level of the buildings and also from the streets via steps and ramps.





SITE PLAN AND MASSING SHADOW STUDY

More than 75% units have direct sunlight in all seasons.

People in center courtyard can enjoy sunlight even during the winter with worst sun shade situation.



Worst Shading Situation During the Year



10:00 am Mar/Sep 21



12:00 pm Mar/Sep 21



2:00 pm Mar/Sep 21



4:00 pm Mar/Sep 21



10:00 am Jun 21



12:00 pm Jun 21



2:00 pm Jun 21



4:00 pm Jun 21



10:00 am Dec 21



12:00 pm Dec 21



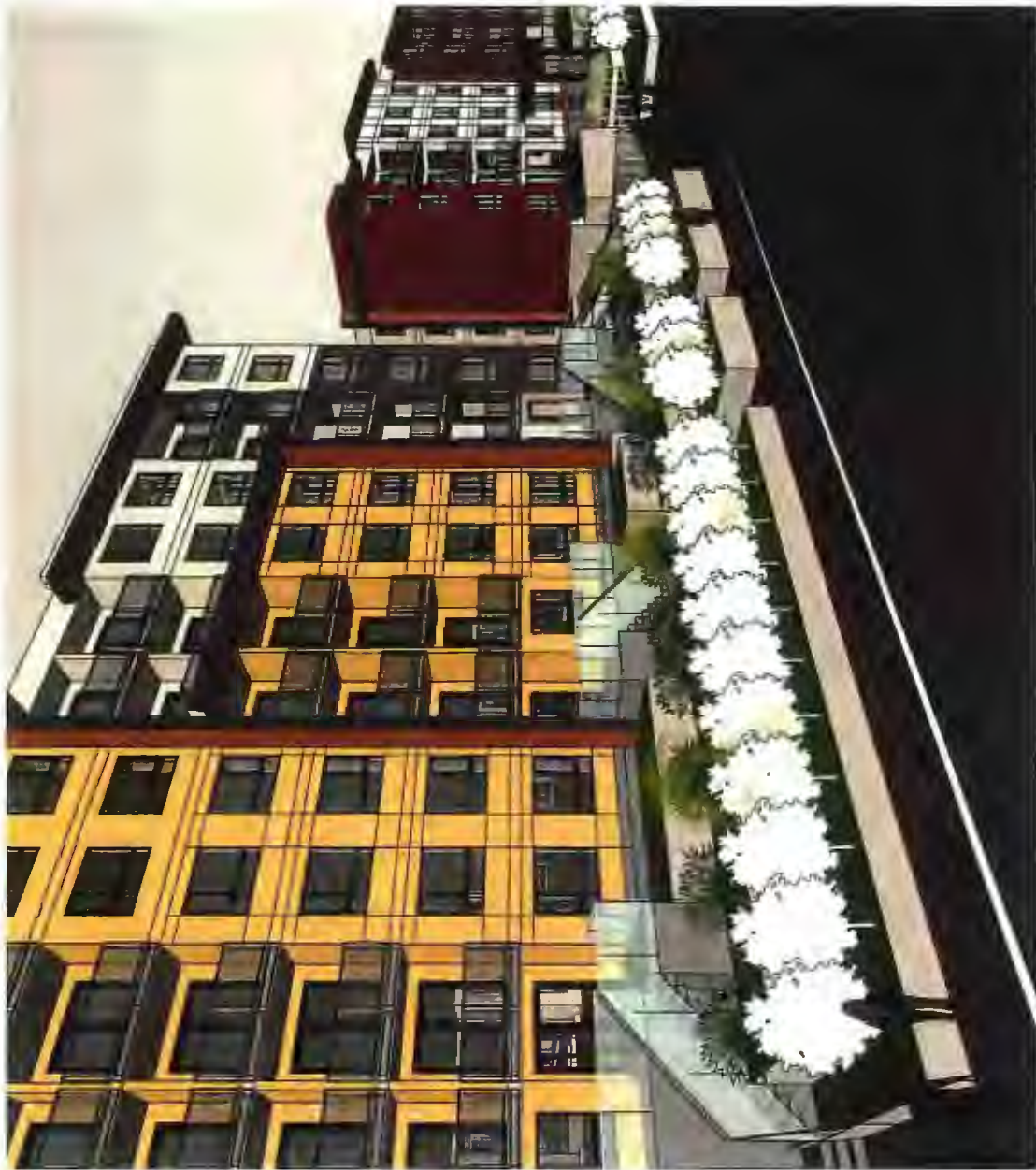
2:00 pm Dec 21



4:00 pm Dec 21

PUBLIC REALM DESIGN STREETSCAPE

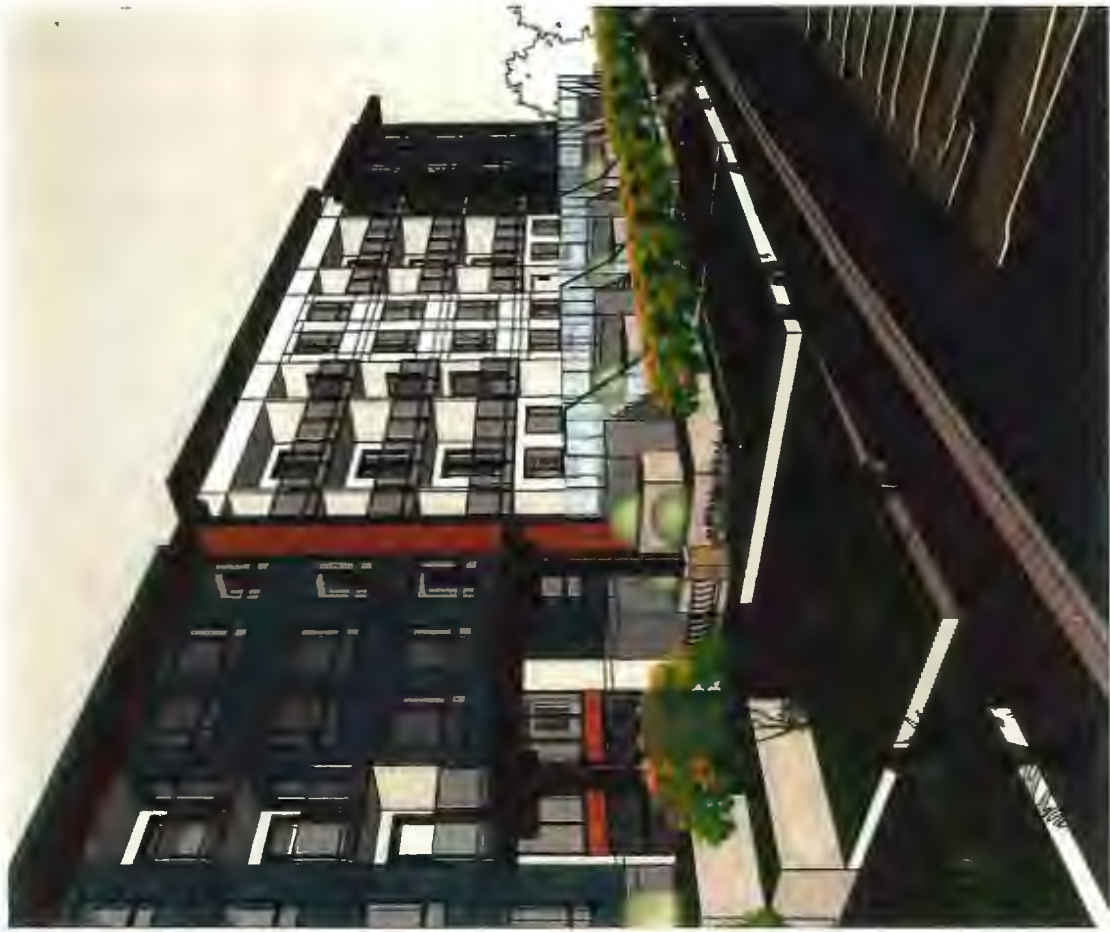
With the introduction of colors and varied design language, streetscapes are animated and lively. Both Westminister HWY and Azure road facades have a variety of design treatments – landscape over parkade, access to the plaza, and stepped planters/ground floor unit accesses from streets make up a much more vibrant streetscape.



North Streetscape



East Streetscape



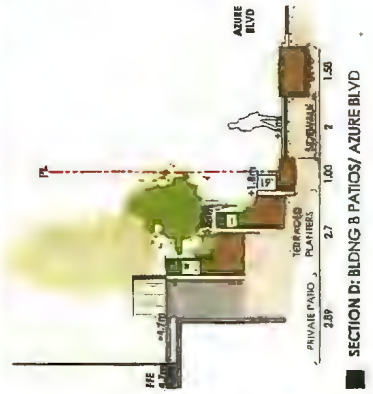
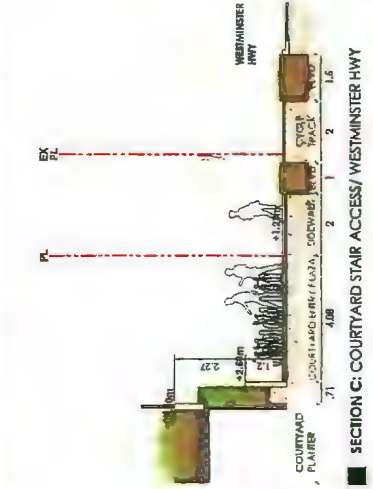
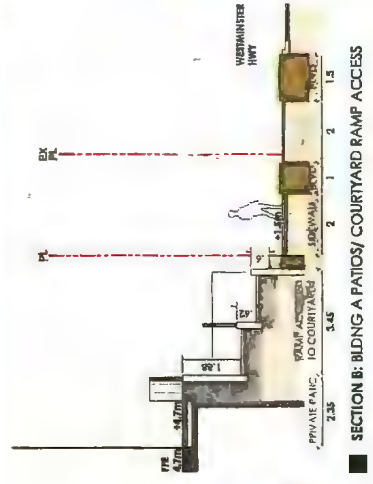
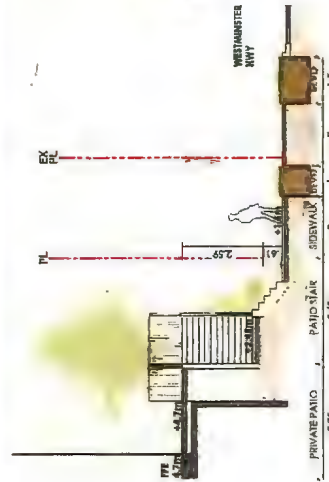
South Streetscape

PUBLIC REALM DESIGN TRANSITION

Entrances of three buildings are located at the sidewalk level. Plus all of the 1st floor residential units facing the street have direct access from sidewalk.

Designated stepped landscape planters wrap around the parkade structure, which soften the edge of the building and bring the human scale to the sidewalk.





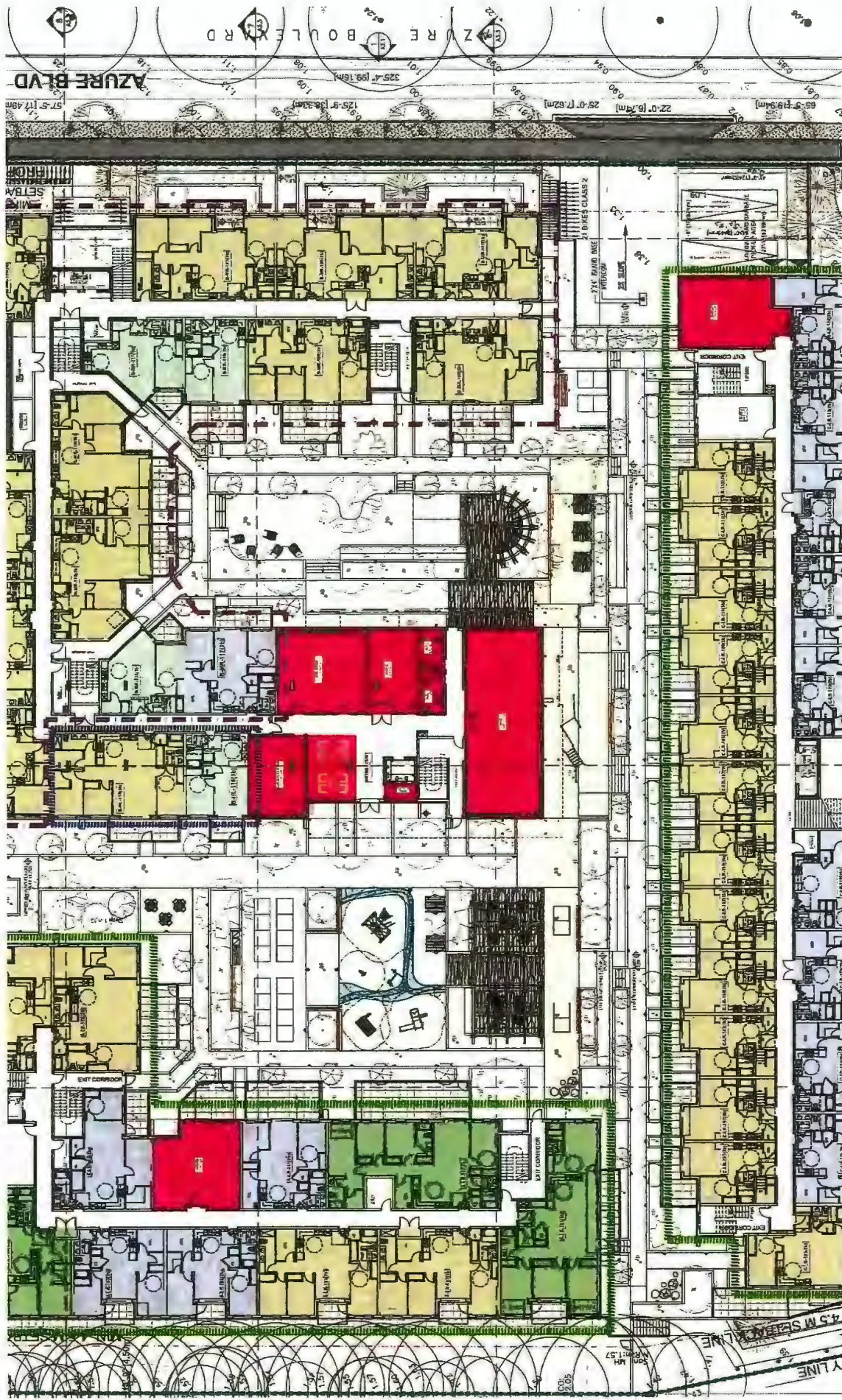
PUBLIC REALM DESIGN PLAZA

The central plaza can be accessed by everyone in the area with its provisions such as a children's play area, seating, and a paved path for an evening stroll. It is designed to be enjoyed by all residents and the public. The much-landscaped plaza is semi-private and connects the development to the outdoor world. It provides areas for outdoor activities.

PUBLIC REALM DESIGN

INDOOR AMENITIES

Each building provides indoor amenity spaces for its residents. These spaces are conveniently located at the center of plaza level and have an easy connection between indoor and outdoor amenity space.



BUILDING CHARACTERS ARCHITECTURE STYLE

The exterior façade design of the buildings aims to create a fresh, vibrant appearance, to animate the streets it faces. Three buildings will each have a color theme, to have its unique identity in the complex. Varied façade design languages break up the massing for a lively streetscape.



Site North Elevation



Site East Elevation



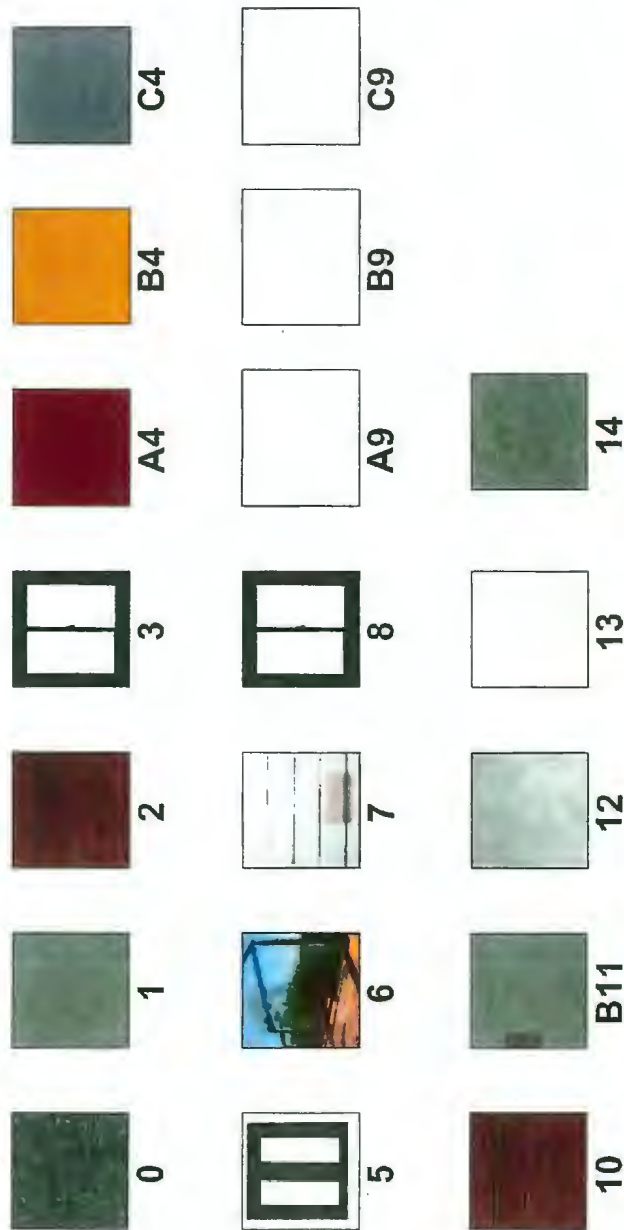
Site South Elevation



Site West Elevation

BUILDING CHARACTERS MATERIALITY

The building materials are made up of a neutral colour palette including metal paneling, different colours of cementitious panels, glass, and wood. Both interior and exterior materials will comprise of durable materials sourced locally where possible. Low VOC finishes will be specified for the residential suites and all circulation areas.



Material Legend

KEY VALUE	SAMPLE	LOCATION	ELEVATION MATERIAL LEGEND	COLOUR
0		ROOFING	2 PLY SBS ROOFING	LIGHT GREY
1		FASCIA & TRIM	METAL FLASHING	DARK GREY
2		PERFORATED SOFFIT	METAL PERFORATED SOFFIT	WOOD GRAINS
3		WINDOW	DOUBLE-GLAZED VINYL WINDOW	BLACK
A4		CLADDING BUILDING A	HARDIE PANEL	DARK-RED
B4		CLADDING BUILDING B	HARDIE PANEL	DARK-YELLOW
C4		CLADDING BUILDING C	HARDIE PANEL	DARK-BLUE
5		DOOR	DOUBLE-GLAZED VINYL DOOR	BLACK
8		METAL GUARD RAIL	METAL/TERMINALITY	BLACK
7		SIDING & TRIM	EXPOSURE FIBRE CEMENT	NEUTRAL
8		FIT WINDOW	DOUBLE-GLAZED VINYL FIT WINDOW	BLACK
A9		CLADDING BUILDING A	HARDIE PANEL	WHITE
B9		CLADDING BUILDING B	HARDIE PANEL	WHITE
C9		CLADDING BUILDING C	HARDIE PANEL	WHITE
10		WALL SCREEN	HARDIE SIDING	WOOD GRAINS
B11		CLADDING BUILDING B	HARDIE PANEL	DARK-BROWN
12		CONCRETE FOUNDATION WALL	PAINTED ARCHITECTURAL CONCRETE	NATURAL CONCRETE COLOUR
13		GLASS GUARD PANEL	LAMINATED SAFETY GLASS PANEL	CLEAR
14		FASCIA COLUMN	HARDIE PANEL	DARK GREY

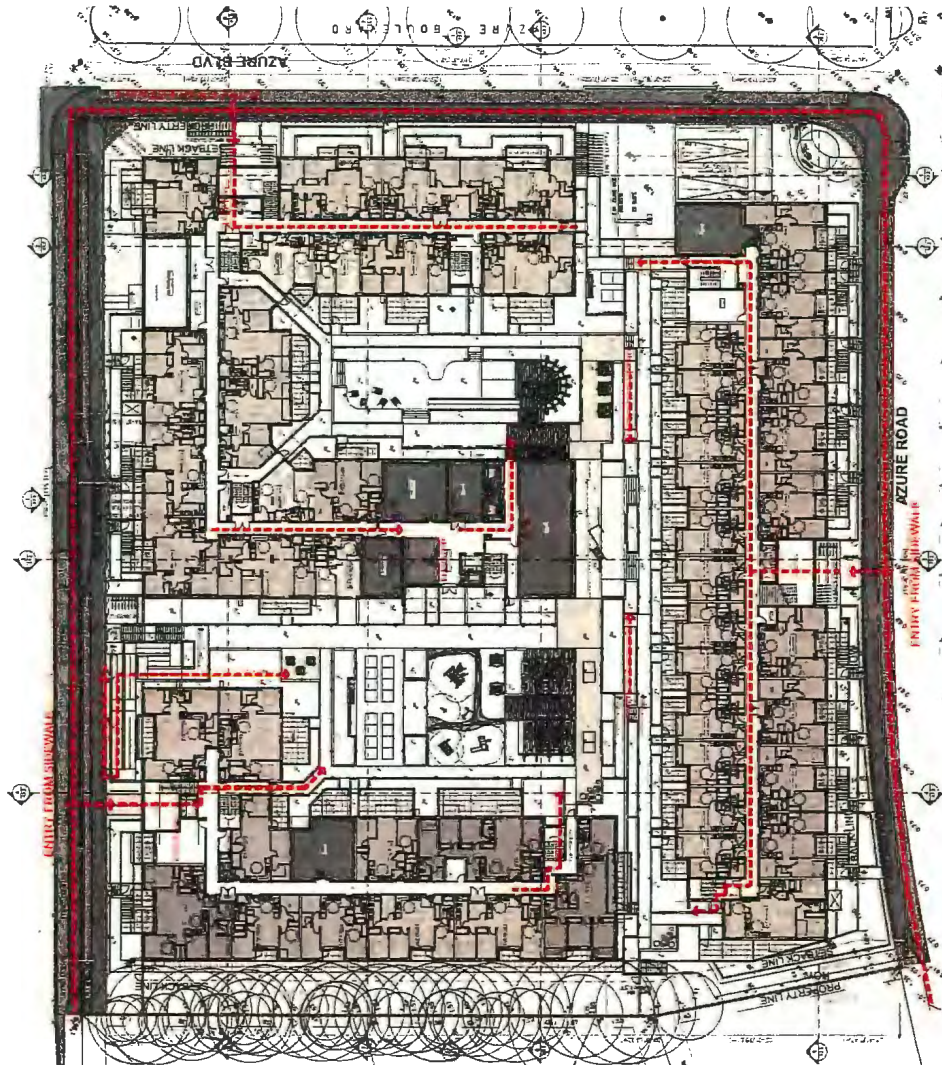


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ACCESSIBILITY

Accessibility Strategy

- Accessible path connecting public sidewalks to the main entries,
- Accessible path to the plaza and outdoor amenity space,
- Accessible parking is at visible location near elevator lobby in parkade.
- Access to the recycling and garbage room is wheel chair accessible.



Accessibility Units
 100% units meet the Basic Universal Housing (BUH) requirement.
 In-suite stairs are designed for future stair lift installation

Figure 1. Clear Opening Measurement For Doors



Figure 2. Front Approach, Pull Side (R=914mm, W=914mm, Sep 9/17)

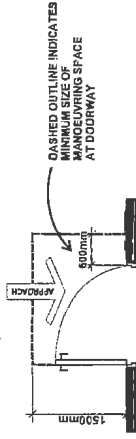


Figure 3. Front Approach, Push Side (R=914mm, W=914mm, Sep 9/17)

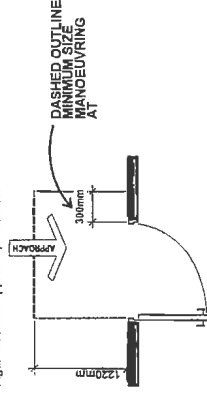


Figure 4. Separation of Doors in Series

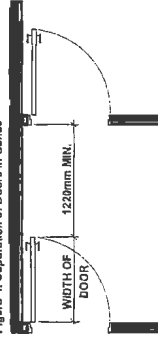


Figure 5. Clear Floor Area at Sill

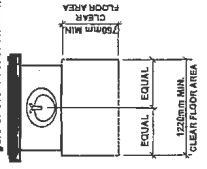
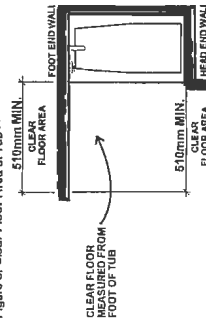


Figure 6. Clear Floor Area at Tub (R=914mm, W=914mm, Sep 9/17)



STEP CODE COMPLIANCE

The 6071 Azure Rd Multi-Family Residential Building is attempting to meet the energy and emission performance limits under the City of Richmond's Bulletin BUILDING-40 Rev.: 2023-12-08. The proposed building is a non-combustible construction and is required to meet Step 3 w/ EL-1 or Step 2 w/ EL-2. Emission Level (EL) information of EL-1 and EL-2 are listed in the BC Building Code Section 10.3.

The proposed project will follow the energy compliance path to meet the BC Energy Step 2 w/ EL-2.

The proposed energy conservation measures (ECMs) to help the project achieve the energy and emission performance requirements are listed below:

- High-performance building envelope considering the thermal bridging effect

Model Inputs	Proposed
High-Performance Glazing System	U 0.32 (Btu/h.ft ² .°F) SHGC 0.30
Overall wall effective R or U-value (ft ² .°F.h/Btu)	Steel frame wall with exterior insulation overall R10.2, derating 30% from effective R17.4" semi-rigid insulation - 2X6 steel frame @16OC - 1/2 GWB
Overall roof effective R-value (ft ² .°F.h/Btu)	Flat Roof eff R28 - R10 polyiso insulation - R20 rigid insulation

- Direct Ventilation with in-suite HRV (72% SRE) will be incorporated into the ventilation system design
- High-efficiency HVAC system with air source heat pump heating and cooling at suite level (heating COP of 3.5 and cooling SEER of 3.8)



3D VISUALIZATIONS



CNCL - 284



CNCL - 285

3D VISUALIZATIONS



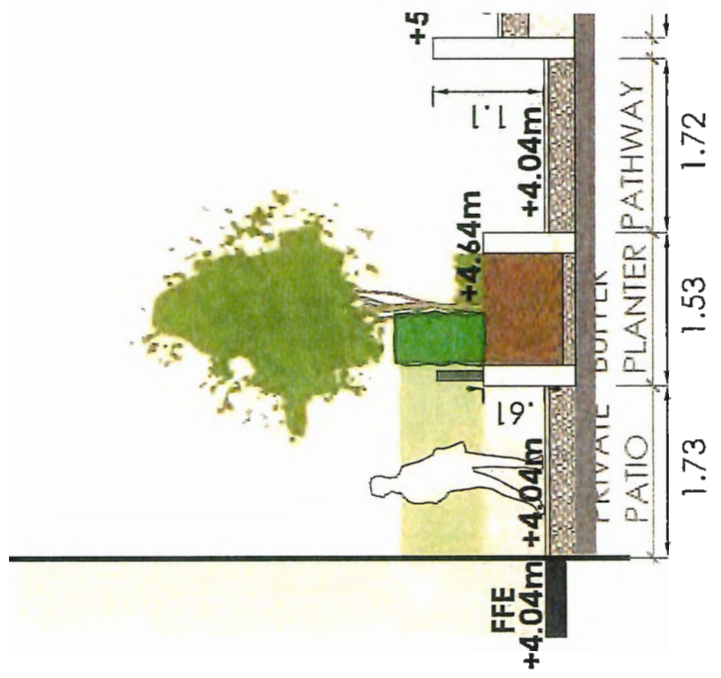
CNCL - 286

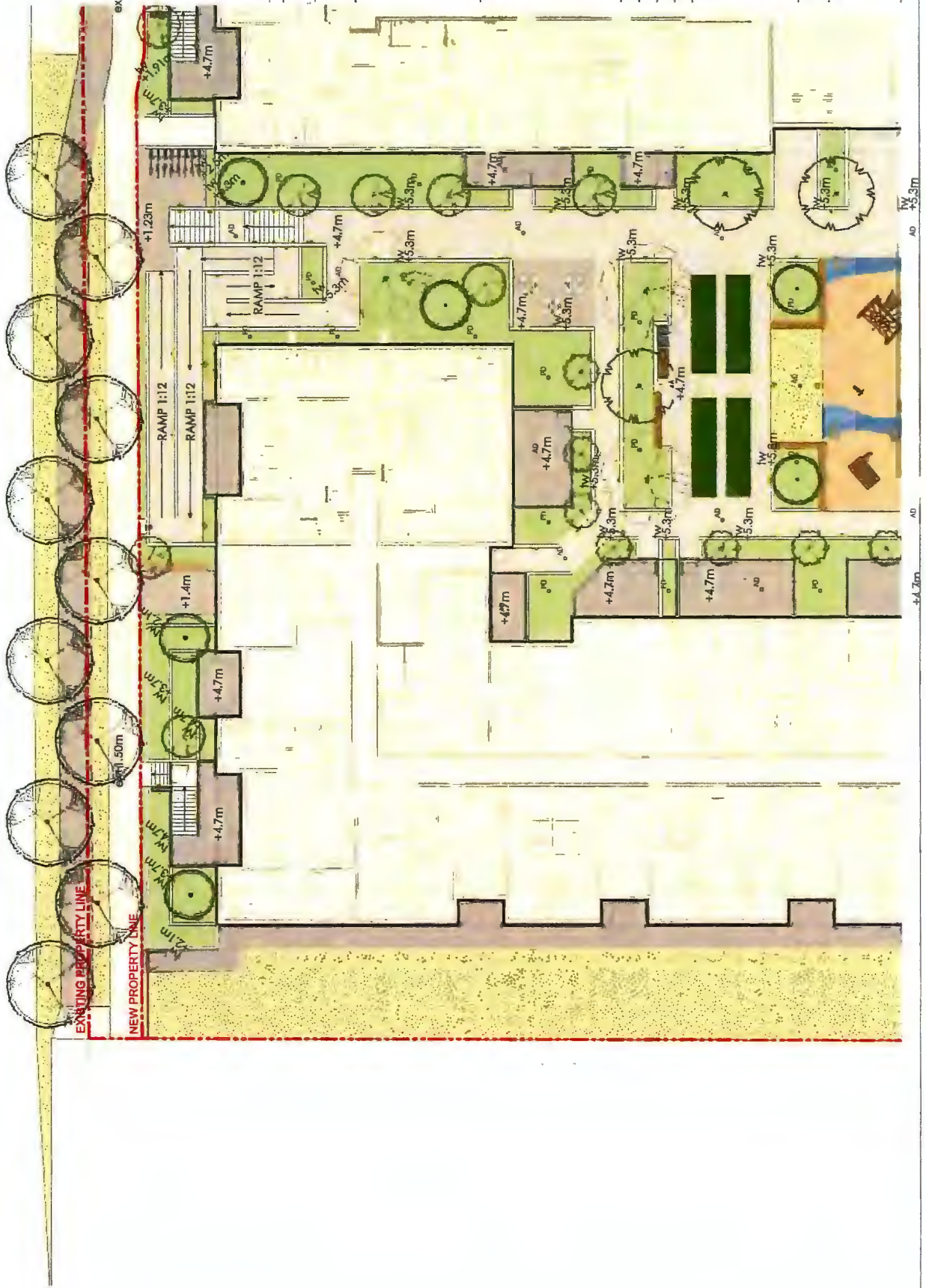


CNCL - 287

3.0

LANDSCAPE DRAWINGS





ext +1.31m
 x 1.91m
 x 3.5m
 +4.7m

3 MAY 15 24 ISSUED FOR RESPONSE
 1 APR 15 24 ISSUED FOR CF
 1 FEB 15 24 ISSUED FOR CF
 rev: | date: | desc: | by: |
 Revisions:

PK
 Clarence Kramel, L.L.C.
 102-1027 10th Ave SW
 Richmond, BC V6V 1K6
 604-273-8811
 1-800-844-0111
 www.pk.ca

Project:
 6071 AZURE ROAD
 RICHMOND, BC
 +4.7m

Drawn by: JW
 Checked by: RK
 Date: 04/25/2017
 Scale: 1:100

Drawing Title:
**MATERIALS &
 GRADING PLAN**

Project No.:
 21122
 Sheet No.:

L1.3



3 MAY 12-24 ISSUED FOR RESPONSE
 2 APR 12-08 ISSUED FOR DP
 1 FEB 12-24 ISSUED FOR DP
 Date: 12/11/12
 Drawn by: JH
 Checked by: PK
 Date: MAY 2014
 Scale: R100 (1/8"=1')
 Drawing Title: MATERIALS & GRADING PLAN

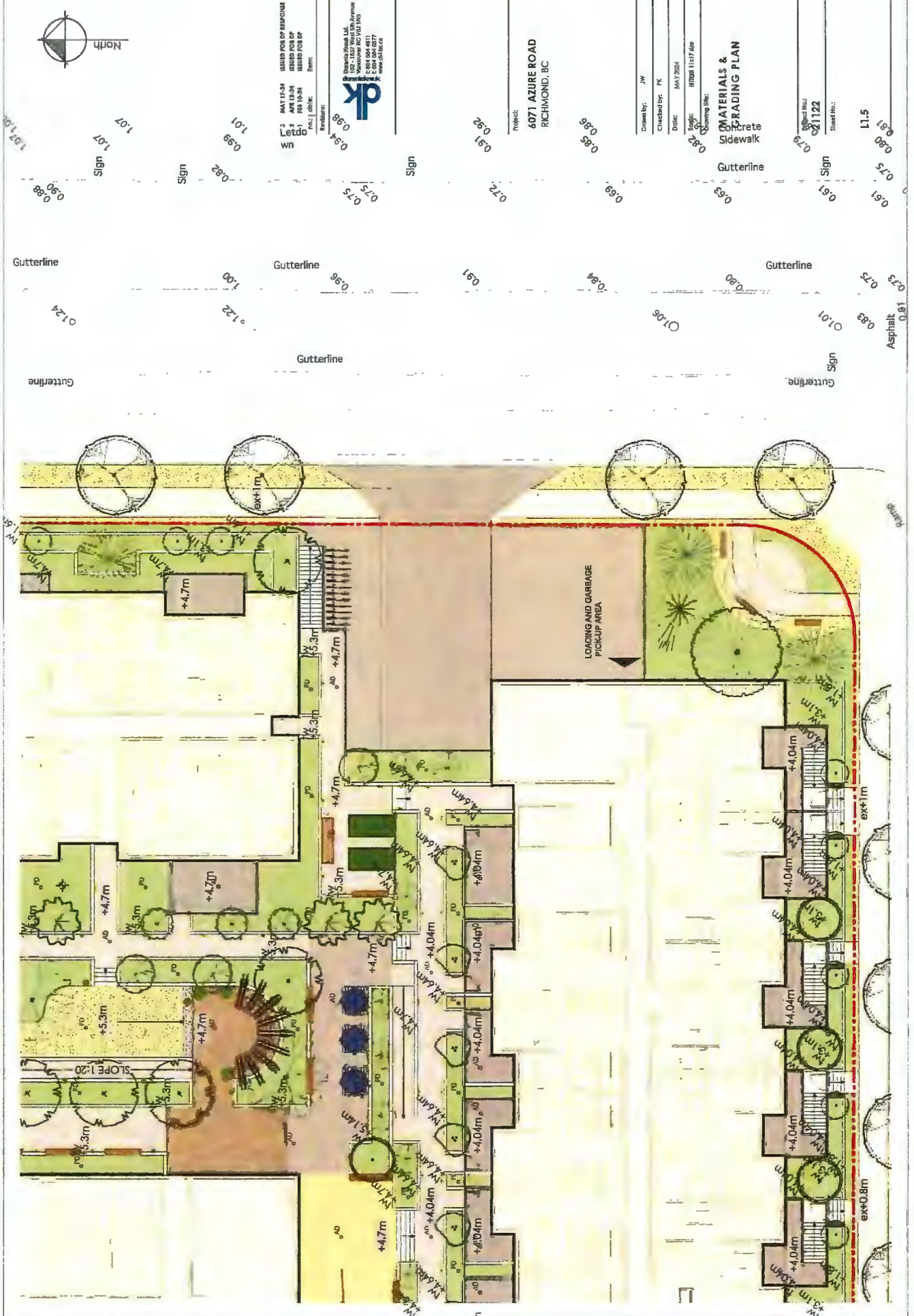


Project: 6071 AZURE ROAD
 RICHMOND, BC



Drawn by: JH
 Checked by: PK
 Date: MAY 2014
 Scale: R100 (1/8"=1')
 Drawing Title: MATERIALS & GRADING PLAN

9x1.2m



3 MAY 17-24 ISSUED FOR RF RESPONSE
 2 APR 13-24 ISSUED FOR EP
 1 FEB 10-24 ISSUED FOR EP
 rev: 001: 1:00: 1:00: 1:00:
 Revision:



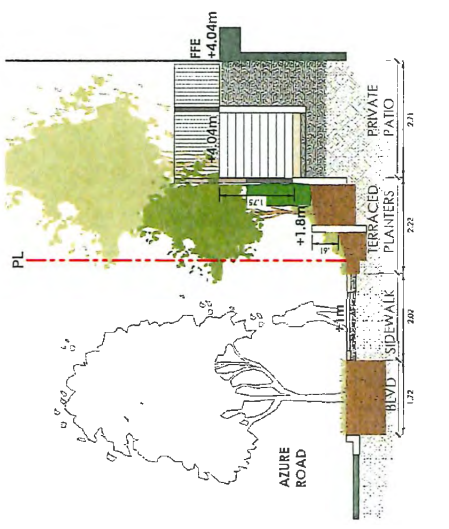
Project:
6071 AZURE ROAD
 RICHMOND, BC

Drawn by: JFW
 Checked by: PK
 Date: MAY 2024
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 Drawing Title:

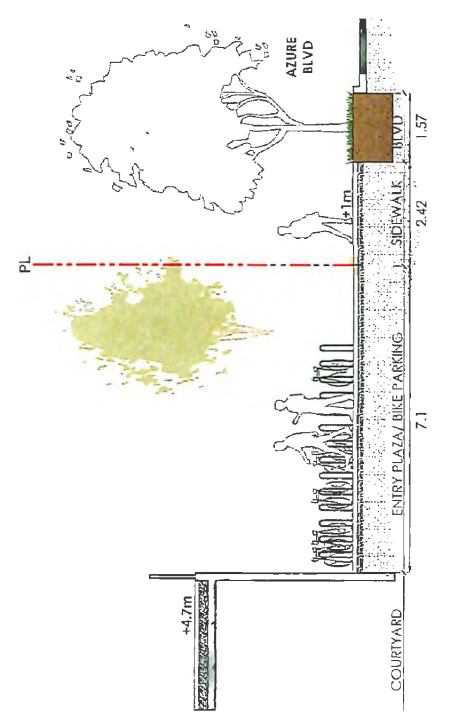
LANDSCAPE SECTIONS

Project No.:
21122
 Sheet No.:

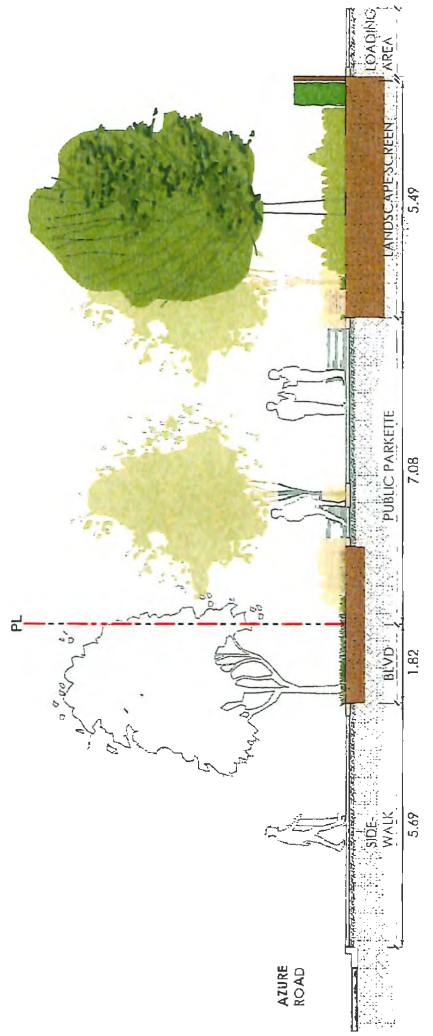
L3.2



SECTION G: AZURE ROAD/ BLDNG C PATIOS
 SCALE 1:50



SECTION E: COURTYARD/ VISITOR BIKE PARKING/ AZURE BLVD
 SCALE 1:50



SECTION F: AZURE ROAD/ PUBLIC PARKETTE/ LOADING AREA
 SCALE 1:50

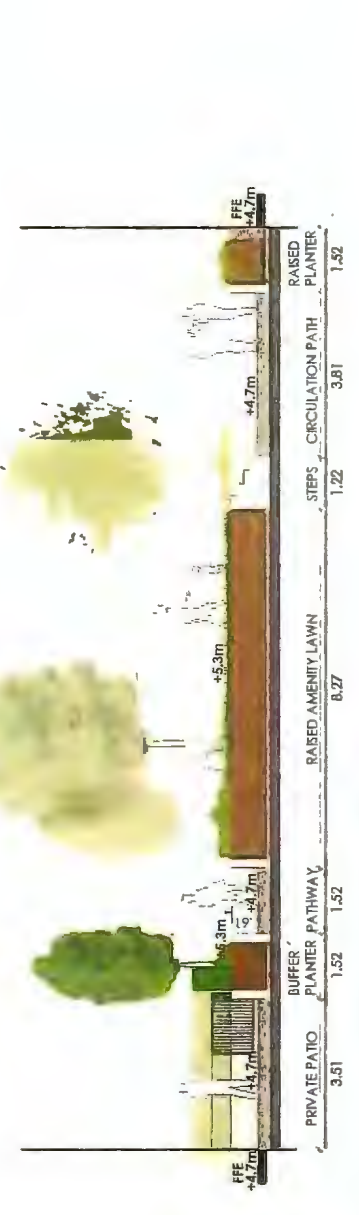
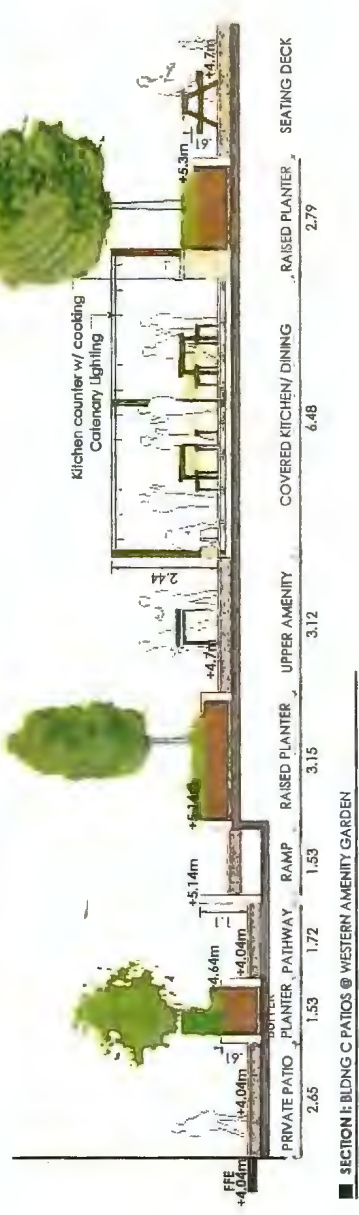
3 MAY 17-24 ISSUED FOR RESPONSE
 2 APR 13-24 ISSUED FOR OF
 1 FEB 10-24 ISSUED FOR OF
 Rev. | date: | By: |
 Description:



Project:
 6071 AZURE ROAD
 RICHMOND, BC

Drawn by: JH
 Checked by: PK
 Date: MAY 2024
 Scale: 1/8" = 1'-0" / 1:96"
 Drawing No: LANDSCAPE SECTIONS

Project No.: 21122
 Sheet No.: L3.3



TREES

SYN	QTY	BOTANICAL NAME	COMMON NAME	SIZE
35	1	Shrub trees, tree locations and depths listed separately in the City of Richmond		
16	1	Acacia grahamii		
17	1	Magnolia Gilbertii		
18	1	Prunus pennsylvanica		
19	1	Prunus pennsylvanica		
20	1	Acacia grahamii		
21	1	Prunus pennsylvanica		
22	1	Prunus pennsylvanica		
23	1	Prunus pennsylvanica		
24	1	Prunus pennsylvanica		
25	1	Prunus pennsylvanica		
26	1	Prunus pennsylvanica		
27	1	Prunus pennsylvanica		
28	1	Prunus pennsylvanica		
29	1	Prunus pennsylvanica		
30	1	Prunus pennsylvanica		
31	1	Prunus pennsylvanica		
32	1	Prunus pennsylvanica		
33	1	Prunus pennsylvanica		
34	1	Prunus pennsylvanica		
35	1	Prunus pennsylvanica		
36	1	Prunus pennsylvanica		
37	1	Prunus pennsylvanica		
38	1	Prunus pennsylvanica		
39	1	Prunus pennsylvanica		
40	1	Prunus pennsylvanica		
41	1	Prunus pennsylvanica		
42	1	Prunus pennsylvanica		
43	1	Prunus pennsylvanica		
44	1	Prunus pennsylvanica		
45	1	Prunus pennsylvanica		
46	1	Prunus pennsylvanica		
47	1	Prunus pennsylvanica		
48	1	Prunus pennsylvanica		
49	1	Prunus pennsylvanica		
50	1	Prunus pennsylvanica		

SHRUBS/FERNS

SYN	QTY	BOTANICAL NAME	COMMON NAME	SIZE
01	1	Hydrangea paniculata		
02	1	Hydrangea paniculata		
03	1	Hydrangea paniculata		
04	1	Hydrangea paniculata		
05	1	Hydrangea paniculata		
06	1	Hydrangea paniculata		
07	1	Hydrangea paniculata		
08	1	Hydrangea paniculata		
09	1	Hydrangea paniculata		
10	1	Hydrangea paniculata		
11	1	Hydrangea paniculata		
12	1	Hydrangea paniculata		
13	1	Hydrangea paniculata		
14	1	Hydrangea paniculata		
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24	1	Hydrangea paniculata		
25	1	Hydrangea paniculata		
26	1	Hydrangea paniculata		
27	1	Hydrangea paniculata		
28	1	Hydrangea paniculata		
29	1	Hydrangea paniculata		
30	1	Hydrangea paniculata		

PERENNIALS/GRASSES

SYN	QTY	BOTANICAL NAME	COMMON NAME	SIZE
01	1	Coreopsis lanceolata		
02	1	Coreopsis lanceolata		
03	1	Coreopsis lanceolata		
04	1	Coreopsis lanceolata		
05	1	Coreopsis lanceolata		
06	1	Coreopsis lanceolata		
07	1	Coreopsis lanceolata		
08	1	Coreopsis lanceolata		
09	1	Coreopsis lanceolata		
10	1	Coreopsis lanceolata		
11	1	Coreopsis lanceolata		
12	1	Coreopsis lanceolata		
13	1	Coreopsis lanceolata		
14	1	Coreopsis lanceolata		
15	1	Coreopsis lanceolata		
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18	1	Coreopsis lanceolata		
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25	1	Coreopsis lanceolata		
26	1	Coreopsis lanceolata		
27	1	Coreopsis lanceolata		
28	1	Coreopsis lanceolata		
29	1	Coreopsis lanceolata		
30	1	Coreopsis lanceolata		

DRAWING LIST

L1.0	COVER SHEET
L1.1	LANDSCAPE SITE PLAN
L1.2	LANDSCAPE SITE PLAN - LEVEL 5
L1.3	LANDSCAPE SECTIONS
L1.4	MATERIALS & GRADING PLAN
L1.5	MATERIALS & GRADING PLAN
L1.6	MATERIALS & GRADING PLAN
L2.1	PLANTING PLAN
L2.2	PLANTING PLAN
L2.3	PLANTING PLAN
L2.4	PLANTING PLAN - LEVEL 5
L3.1	LANDSCAPE SECTIONS
L3.2	LANDSCAPE SECTIONS
L3.3	LANDSCAPE SECTIONS
L4.1	LANDSCAPE DETAILS
L4.2	LANDSCAPE DETAILS
L4.3	LANDSCAPE DETAILS
L4.4	LANDSCAPE DETAILS

MATERIALS KEY

KEY	MATERIAL
1	FOODIEB LAWN
2	LAYERED SHRUB PLANNING
3	GARDENING FLOIS
4	26-32" HYDRO-PRESSED CONCRETE / PAVERS
5	CIP CONCRETE
6	FORMAL CONCRETE PAVING
7	GRAVEL/INVER ROCK
8	PIP RUBBER PLAT SURFACING
9	WOOD DECKING FEATURE PAVING
10	FOUR-IN-PLACE VIRGIN RUBBER PLAY SURFACING
11	CIP CONCRETE WALLS/CURBS
12	CIP CONCRETE STEPS
13	METAL FENCING & GATE
14	LOADING TONE FENCING
15	VISITOR BIKE PARKING
16	DINING SEATING
17	CUSTOM BENCH SEATING
18	PICNIC TABLE WITH UMBRELLA HOLDER
19	MOVABLE LOUNGE SEATER
20	ALL-SEASON RING PONG TABLE
21	KIDS PLAY PLANT PANEL
22	KIDS PLAY SPRINGER HORSE
23	KIDS PLAY PLAY TOWER
24	KIDS PLAY HUT
25	KIDS PLAY CLIMBER
26	OUTDOOR GYM EQUIPMENT
27	BIG W/ COURTERTOP SPACE
28	LEVEL 5 FURNISHING
29	LEVEL 5 FURNISHING
30	RECESSED ITEM LIGHTING
31	LANDSCAPE BOLLARD LIGHTING
32	HANGING STRING LIGHTS
33	TOP OF WALL
34	BOTTOM OF WALL
35	SPOT ELEVATION (METERS)
36	FINISHED FLOOR ELEVATION

DESIGN RATIONALE

The landscape design creates attractive and safe public, semi-private and private spaces for residents and the neighbourhood. The residential courtyard aims to provide a sense of community and inclusivity by offering a variety of opportunities for different user groups to socialize and enjoy. Two distinct courtyard spaces encourage active and passive types of use. The west space adjacent to building A provides a social gathering opportunity and is suitable for use as a play area. The east courtyard is enclosed by building B, a raised garden is proposed. Surrounded by trees and lush planting, the create a relaxed and intimate garden. Connecting these spaces east and west runs a central spine with a fitness amenity zone and rows of tree planting. All units have been designed to have a private patio or an entry porch with private access to the courtyard spaces.

Along the street frontages, grade differentials to private patios at Westminster Hwy, Azure Blvd and Azure Road are addressed through terracing of landscape planters. These terraces are designed to provide effective privacy screening without compromising soil volumes for semi-mature tree plantings. Finished soil levels will be raised into the landscape. Where feasible, stepped access is provided for residents to gain access to private patios from street level.

The project contributes to the neighbourhood by providing an attractive public parkette tucked back from the junction of Azure Road and Azure Blvd. Building entry passages provide opportunities for public seating and gathering along all three sides. On the level 5 amenity terrace, the range of programs include an outdoor kitchen and dining, outdoor lounges, sun lawn and urban agriculture planters. A trellis with catenary lighting will enclose and protect the kitchen/dining space with attractive timber decking. Trees will be planted in raised planters to provide additional shade.

LANDSCAPE NOTES

- All units shall meet or exceed the requirements of Standard, in the current Edition of the B.C. Landscaping Standard.
- Plant lists and related container classes are specified according to the U.C. Landscaping Standard (current edition) and shall be used for all plantings.
- Plantings shall be installed in the plant list and the Standard for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for 15 cm containers, these shall be as defined in the U.C. (ANSI) Standard.
- All plants shall be installed in accordance with BCNCA Standards.
- All street trees shall be 18" x 24" Deep from Jambor certified on each tree between tree pit and sidewalk (ON BOTH SIDES CURB AND SIDEWALK).
- On-site services and survey symbols refer to survey drawings.
- All landscaping and placement of the open positions of the site shall be completed in accordance with the approved drawings, within six (6) months of the date of occupancy of the proposed development (not requiring an occupancy permit, and thereafter permanently maintained in good condition.
- All plant shall be equipped with tags, labels.
- Continuous replacement trees shall be firm height and deciduous replacement trees shall be firm height per City of Richmond.

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PRECEDENT IMAGERY



Project:
6071 AZURE ROAD
RICHMOND, BC

Drawn by: AGJ/JW
Checked by: PK
Date: MAY 2024
Scale: 1/8" = 1'-0" / 1/4" = 1'-0"
Drawing Title: COVERSHEET

Project No.: 21122
Sheet No.:

L1.0

Schedule 2 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
June 12, 2024

To Development Permit Panel	
Date:	JUNE 12, 2024
Item #:	7
Re:	DP 23-023854

From: susancampbell@shaw.ca
Sent: June 11, 2024 8:26 AM
To: CityClerk
Subject: DP 23-023854 for 6071 Azure Road

City of Richmond Security Warning: This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe.

City Clerk:

I sent a letter of opposition to the original rezoning of this property citing traffic concerns. Apparently those concerns were not considered as Council passed the rezoning and now we are at the Development Permit phase. I imagine my concerns will continue to be ignored but once again I would like to restate and re-emphasize my concerns.

I live at 6051 Azure and hospital personnel use our neighbourhood to park in preferring to park here for free than pay the parking fee in the hospital parking parkade. Visitors to the hospital also use the area for free parking as well. There is just no parking in the area at all and I cannot imagine the chaos that will occur when the City adds another potentially 330 cars in the area trying to find parking. It is madness. I will, of course, speak through the ballot box but the damage has been done. I urge City Council to not pass this DP – stop the development at this stage. There is no parking and even if Council decided to implement resident parking only in our area (which I asked for years ago) adding a potential of 330 additional cars will not help.

I urge City Council to not issue the DP.

Best wishes, Susan

