



PROPOSED COMMERCIAL DEVELOPMENT

ISSUED FOR DEVELOPMENT PERMIT

18399 BLUNDELL ROAD, RICHMOND, B.C.

MARCH 22, 2024



Prospect & Refuge
LANDSCAPE ARCHITECTS



ARCHITECTURAL DRAWING LIST

A0.0 COVER SHEET
A0.1 CONTEXT PLAN
SITE SURVEY PLAN
A1.0 SITE PLAN
A1.1 FIRE ACCESS PLAN
A2.0 FLOOR PLAN
A3.0 BUILDING A ELEVATIONS
A3.1 BUILDING B ELEVATIONS
A3.2 BUILDING A RENDERS
A3.3 BUILDING B RENDERS
A3.4 COURTYARD VIEWS
A3.5 STREETScape

LANDSCAPE DRAWING LIST

L0 LANDSCAPE COVER SHEET
L1 LANDSCAPE MATERIAL AND LAYOUT PLAN
L2 LANDSCAPE PLANTING PLAN
L3 LANDSCAPE DETAIL

CIVIL DRAWING LIST

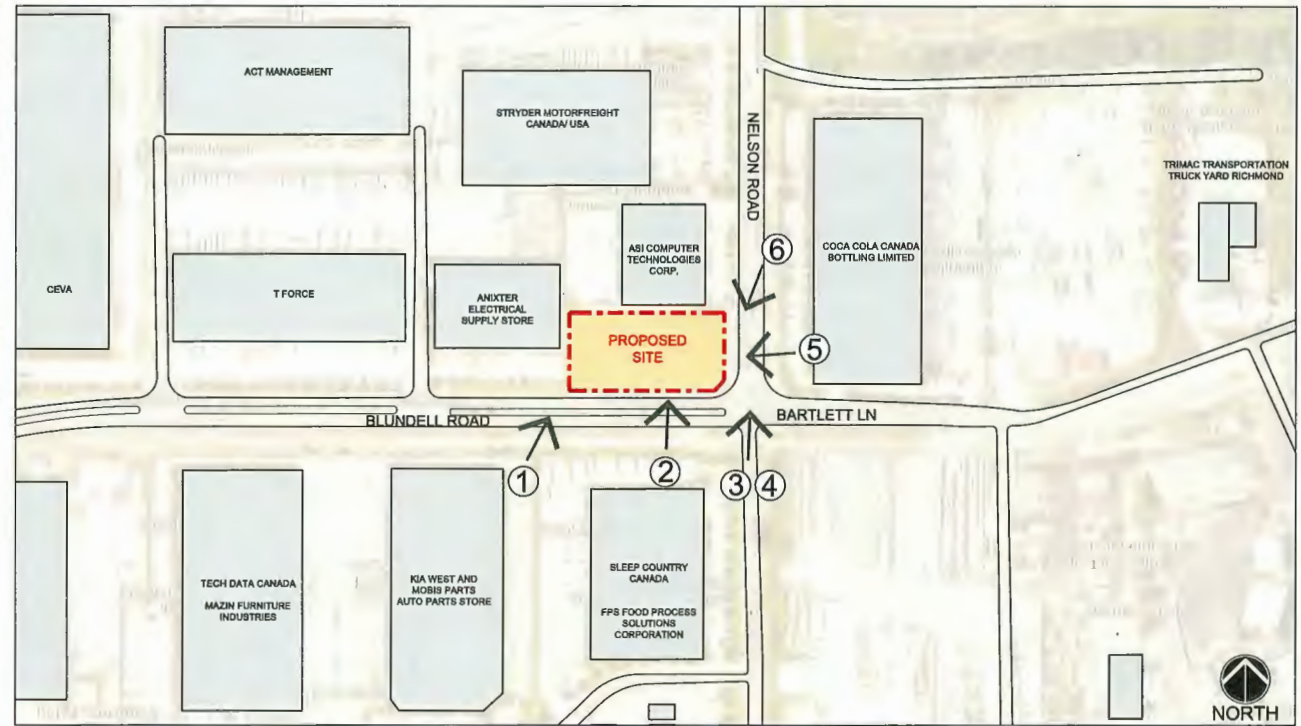
LOT GRADING PLAN



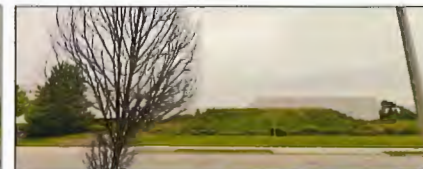


VICINITY PLAN

SCALE: NTS



① VIEW LOOKING NORTH FROM BLUNDELL ROAD



② VIEW LOOKING NORTH FROM BLUNDELL ROAD EXISTING BUS STOP



③ VIEW NORTH AT INTERSECTION OF BLUNDELL AND NELSON ROAD



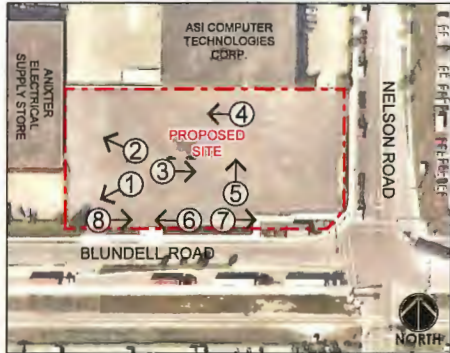
④ VIEW NORTH AT INTERSECTION OF BLUNDELL AND NELSON ROAD



⑤ VIEW LOOKING WEST FROM NELSON ROAD



⑥ VIEW LOOKING SOUTH WEST FROM NELSON ROAD



SITE PLAN

SCALE: NTS



① VIEW FROM THE SITE LOOKING TO SOUTH-WEST SITE CORNER



② VIEW FROM THE SITE LOOKING TO NORTH-WEST SITE CORNER



VICINITY PLAN

SCALE: NTS

LEGEND:

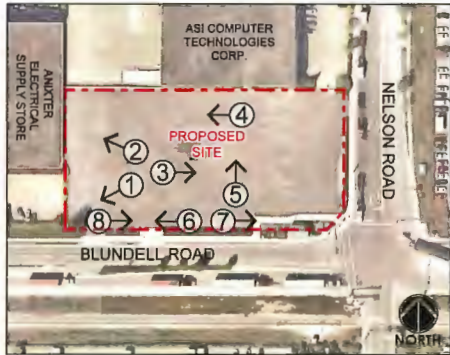
- a) PROPOSED SITE
- b) TUGBOAT ANNIE'S PUB & GRILLE
- c) NANAKSAR GURDWARA GURSIKH TEMPLE



③ VIEW FROM THE SITE LOOKING WEST TO NELSON ROAD



④ VIEW FROM THE SITE LOOKING EAST TO ANIXTER ELECTRICAL BUILDING



SITE PLAN

SCALE: NTS



⑤ VIEW FROM THE SITE LOOKING NORTH TO ASI COMPUTER BUILDING



⑥ VIEW FROM BLUNDELL ROAD LOOKING WEST



VICINITY PLAN

SCALE: NTS

LEGEND:

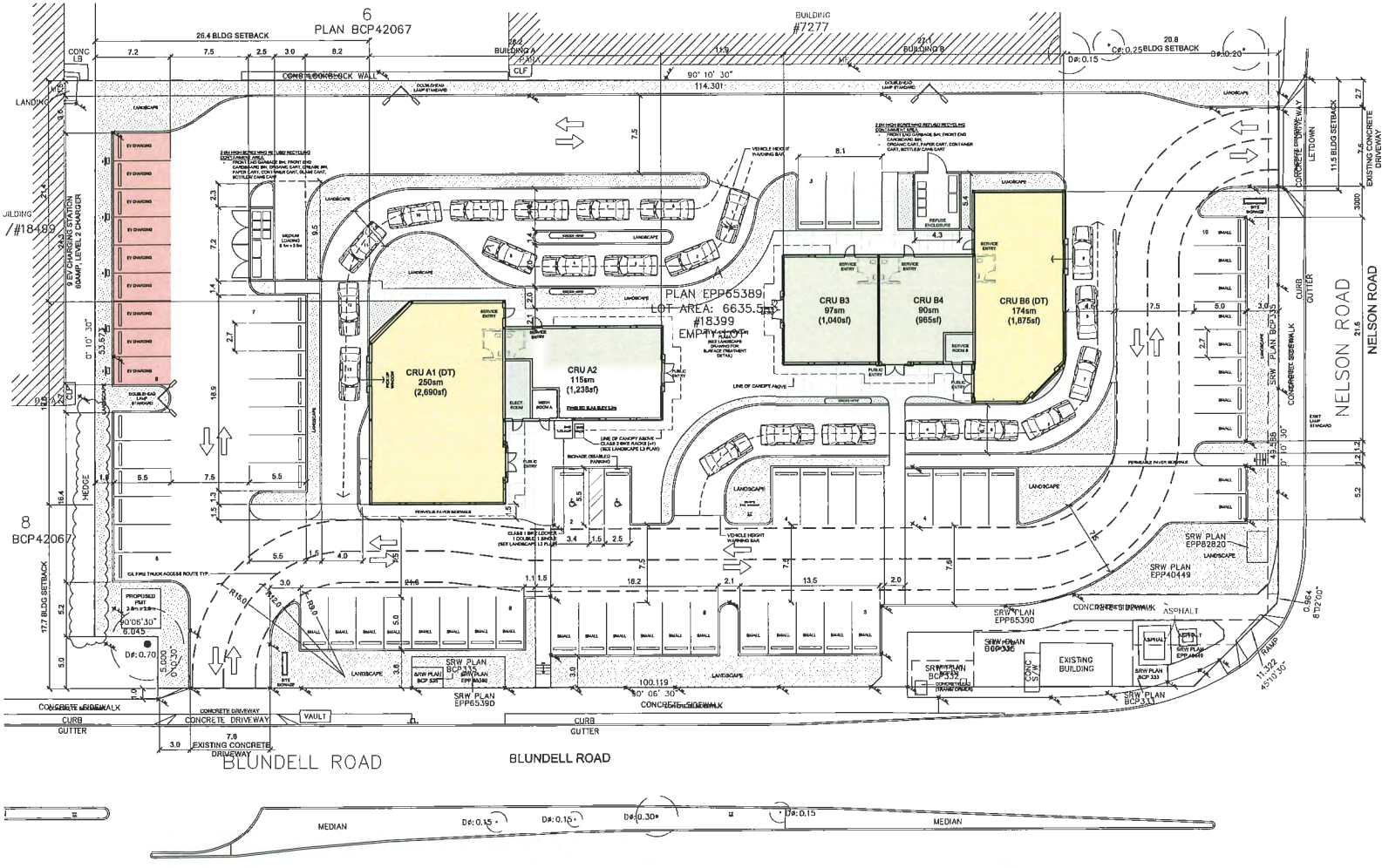
- a) PROPOSED SITE
- b) TUGBOAT ANNIE'S PUB & GRILLE
- c) NANAKSAR GURDWARA GURSIKH TEMPLE



⑦ VIEW FROM BLUNDELL ROAD LOOKING EAST



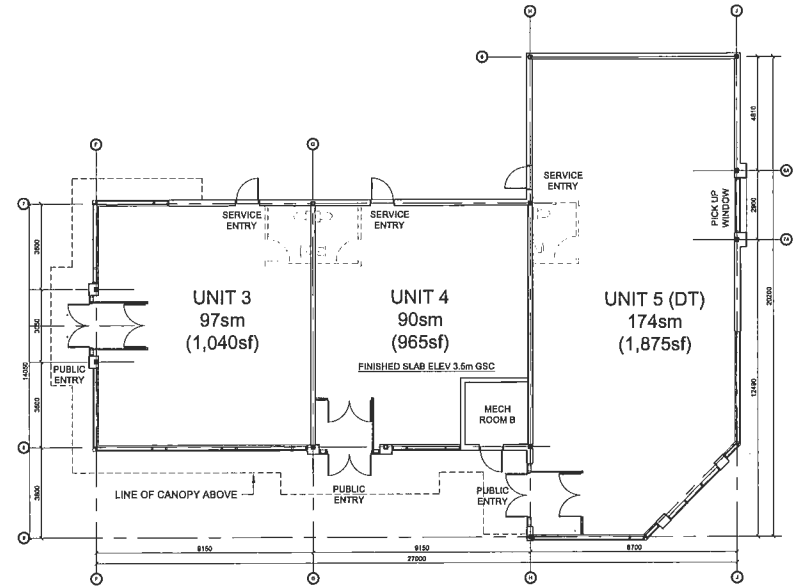
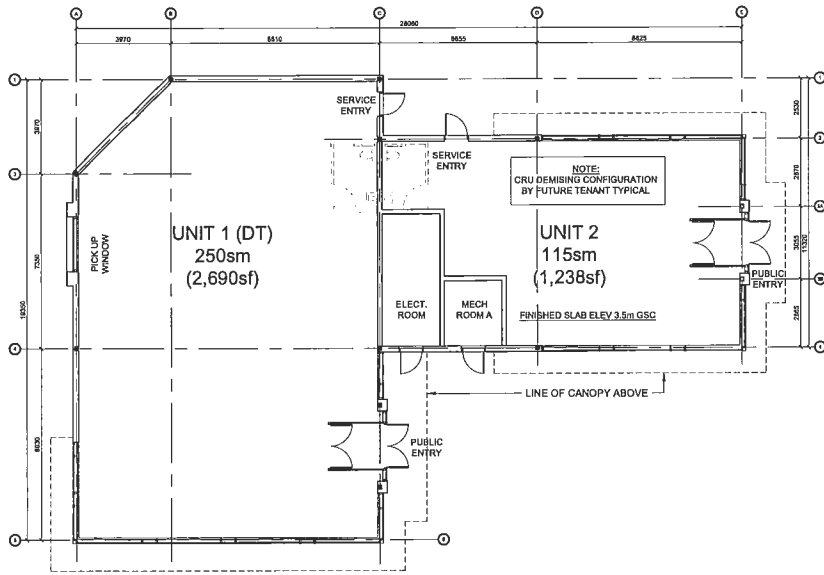
⑧ VIEW FROM BLUNDELL ROAD LOOKING EAST

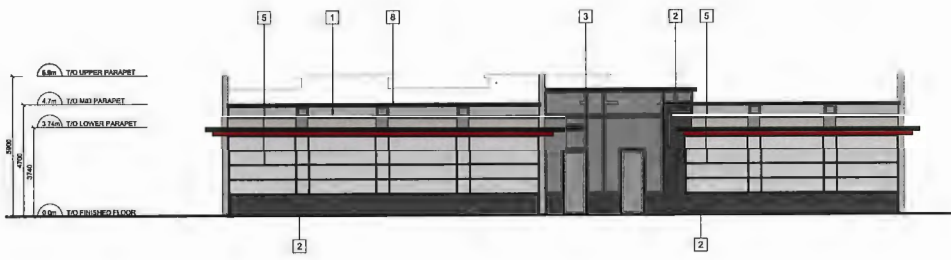


PROPOSED COMMERCIAL DEVELOPMENT KINGSWOOD INDUSTRIAL PARK 18399 BLUNDELL ROAD			
ZONING	INDUSTRIAL (I)		
LEGAL DESCRIPTION	LOT 7 SEC18 BLK 4 NORTH RANGE 4 WEST WESTMINSTER DISTRICT PL BCP42067		
PERMITTED USE	GENERAL INDUSTRY, DRIVE THROUGH, RESTAURANT		
PROPOSED USE	GENERAL INDUSTRY, DRIVE THROUGH, RESTAURANT		
LOT AREA	6,635.5 m ² (71,424sf)		
PERMITTED LOT COVERAGE	MAX 75%		
PROPOSED LOT COVERAGE	11.4%		
PROPOSED BUILDING FOOTPRINT	759 m ² (8,199sf)		
PERMITTED FLOOR AREA RATIO (FAR)	1.0		
PROPOSED FLOOR AREA RATIO (FAR)	0.11		
BUILDING SETBACKS	REQUIRED	PROPOSED	
FRONT YARD (NELSON RD)	3.0m	20.6m	
REAR YARD (WEST)	-	28.4m	
INTERIOR SIDE YARD (NORTH)	-	11.5m	
EXTERIOR SIDE YARD (BLUNDELL RD)	3.0m	17.7m	
HEIGHT	MAX 16.0m	4.7m	
NOTE: ACCENT PANEL HEIGHTS VARY FROM 5.9m TO 7.5m			
PARKING SIZE	STANDARD	2.65m W x 5.5m L ONE PER STALL TO BE PROVIDED FOR 21 SPACES ON SMALL	
	ACCESSIBLE	2.50m W x 5.5m L 1.2m SHARED ASBLE	
aisle width (TWO-WAY)	7.5m		
PARKING			
REQUIRED PARKING SPACES			
PARKING BY-LAW USE CATEGORY	PARKING SPACES REQUIRED	PARKING SPACES REQUESTED	PARKING SPACES PROVIDED
RESTAURANT	8 SPACES PER 100m LP TO 200m LP 10 SPACES FOR EACH ADDITIONAL 100m	24	30
DRIVE-THRU	7 SPACES PER 100m LP TO 150m LP 8 SPACES FOR EACH ADDITIONAL 100m LP MIN. 8 VEHICLE QUEUEING AREA IN AVANCE OF FULLY WINDOWY	30	32
ACCESSIBLE PARKING	1 PER 140 SPACES 1 ADDL PER NEXT 80 SPACES (36 STANDARD + 29 SMALL)	2	2
LOADING			
REQUIRED/ PROVIDED	1 MEDIUM SIZE LOADING		
BICYCLE PARKING REQUIRED/ PROVIDED			
REQUIRED (NOTE: 3 CLASS 1 SPACES + 4 CLASS 2 SPACES)	7 SPACES		

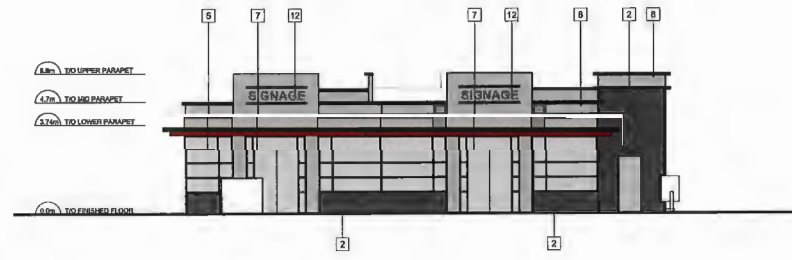
LEGEND	
	LANDSCAPE AREA
	PAVEMENT AREA
	PROPOSED BY CHARGING STATION (8 DEDICATED BY STALLS WITH 5 PEDESTALS - GOAMP LEVEL 2 CHARGER)



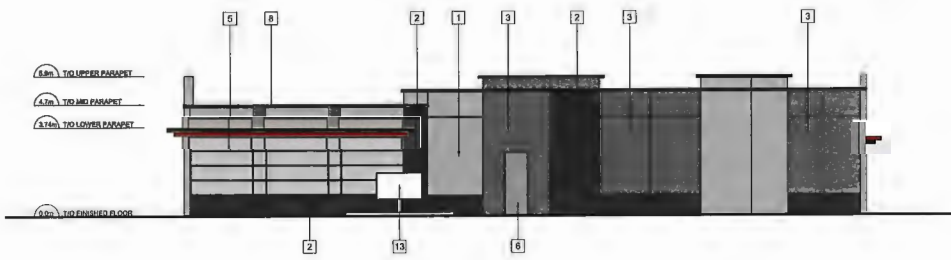




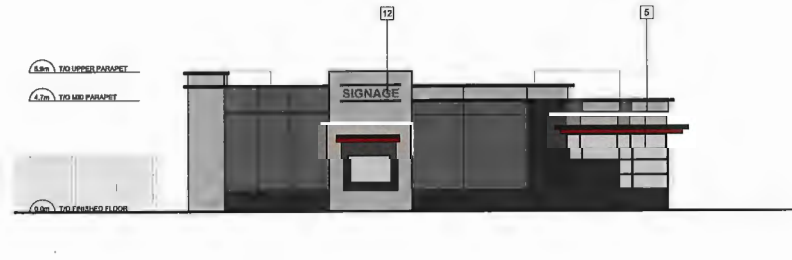
A SOUTH ELEVATION



B EAST ELEVATION

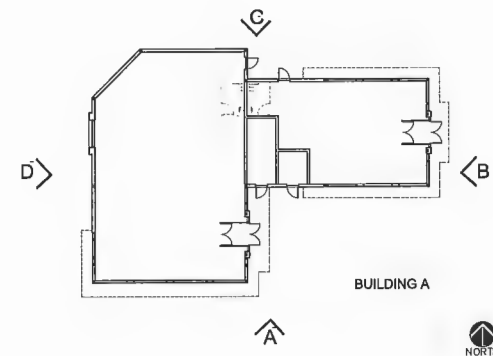


C NORTH ELEVATION



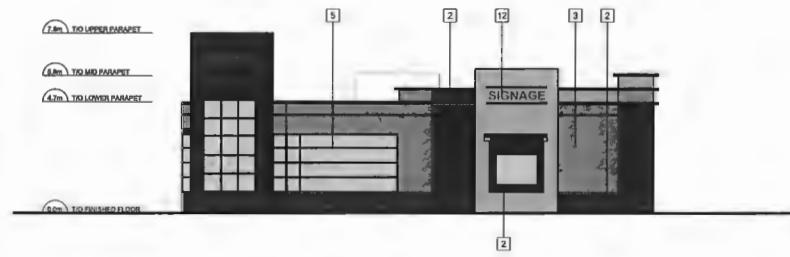
D WEST ELEVATION

MATERIAL LEGEND	
1	INSULATED METAL PANEL, LIGHT GRAY COLOUR: SHALE GRAY (OR EQUIVALENT)
2	INSULATED METAL PANEL, DARK GRAY COLOUR: BASALT (OR EQUIVALENT)
3	INSULATED METAL PANEL, MEDIUM GRAY COLOUR: WINDSPRAY (OR EQUIVALENT)
4	REARVIEW
5	GREY TINTED SEALED GLAZ WITH BLACK ANODIZED ALUMINUM GLAZING BALLJOINTS
6	INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED, COLOUR: GREY TBC
7	GREY TINTED STONEFRONT ENTRY DOUBLE DOORS
8	PREFINISHED METAL FLASHING, COLOUR: CHARCOAL BY VICKREY
9	PREFINISHED METAL CAVITY FLASHING, COLOUR: BLACK BRUSH BY VICKREY
10	PREFINISHED METAL FASCIA FLASHING, COLOUR: DARK RED BRUSH BY VICKREY
11	GARAGE SCREENING ENCLOSURE
12	SIGNAGE, SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
13	ORDER MENU SIGNETARD
14	HURRICANE REVEAL

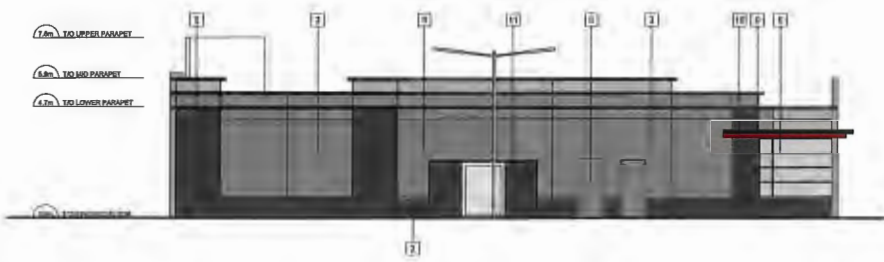




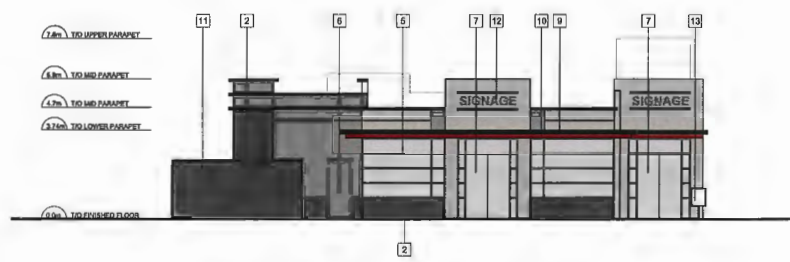
A SOUTH ELEVATION



B EAST ELEVATION



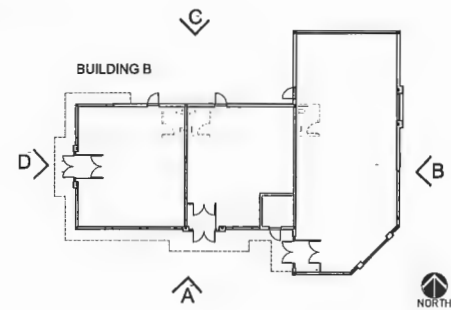
C NORTH ELEVATION



D WEST ELEVATION

MATERIAL LEGEND	
1	INSULATED METAL PANEL, LIGHT GRAY COLOUR, SHAPE GREY (OR EQUIVALENT)
2	INSULATED METAL PANEL, DARK GRAY COLOUR, BARNET (OR EQUIVALENT)
3	INSULATED METAL PANEL, MEDIUM GRAY COLOUR, THRESHWAY (OR EQUIVALENT)
4	NEBRVED
5	GREY TINTED SEALED LANEY WITH BLACK ANODIZED ALUMINUM GLAZING MULLIONS
6	INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED, COLOUR GREY TSC
7	GREY TINTED STOREFRONT ENTRY DOUBLE DOORS
8	PREFABRICATED METAL FLASHING, COLOUR CHARCOAL BY VICKREY
9	PREFABRICATED METAL CANOPY FLASHING, COLOUR BLACK 888M BY VICKREY
10	PREFABRICATED METAL FASCIA FLASHING, COLOUR DARK TUD 888M BY VICKREY
11	DAMAGE SCREENING ENCLOSURE
12	SIGNAGE, SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
13	ORDER MENU SIGN/STAND
14	MULTIFUNCTION REVEAL

MATERIAL LEGEND	
	1
	2
	3
	4
	5
	6
	7
	8
	9
	10
	11
	12
	13
	14





SOUTHEAST CORNER



NORTHEAST CORNER



SOUTHWEST CORNER



NORTHWEST CORNER



SOUTHEAST CORNER



NORTHWEST CORNER



SOUTHWEST CORNER



NORTHEAST CORNER



COURTYARD VIEW A



COURTYARD VIEW B



A STREETScape VIEW FROM BLUNDELL ROAD



B STREETScape VIEW FROM NELSON ROAD

PROJECT NAME: Proposed Commercial Development

PROJECT NO: 2023-26

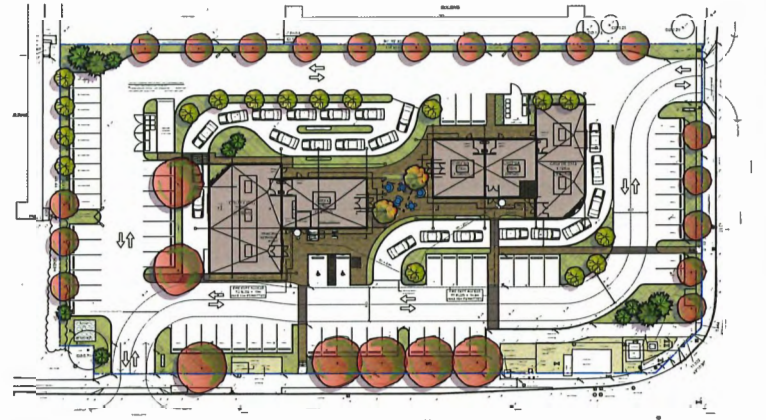
PROJECT ADDRESS: 18399 Blundell Road, Richmond, BC

DATE: 2024-03-20

ISSUED FOR: Re-Issue for DP

TABLE OF CONTENTS	
Sheet Number	Sheet Title
L0	Landscape Cover Sheet
L1	Landscape Materials and Layout Plan
L2	Landscape Planting Plan
L3	Landscape Details

CONTEXT PLAN

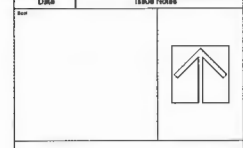


PACKAGE IS ONLY TO SCALE WHEN PRINTED ON 24"x36" SHEETS UNLESS OTHERWISE INDICATED

CONSULTANT LIST

GWA Architects Inc.
MPT Engineering Co. Ltd.

Date	Issue Notes
2024-03-20	Re-Issue for DP
2023-12-13	Issue for DP
2023-11-14	Issue for DP
2023-11-07	Issue for DP coord



Design & Define
LANDSCAPE ARCHITECTS
2025-1040-101 West Bay Terrance, BC V6L 1P3
604-276-1552 info@designanddefine.ca
Building us over 25 years of history as Jonathan Lewis, Ltd.

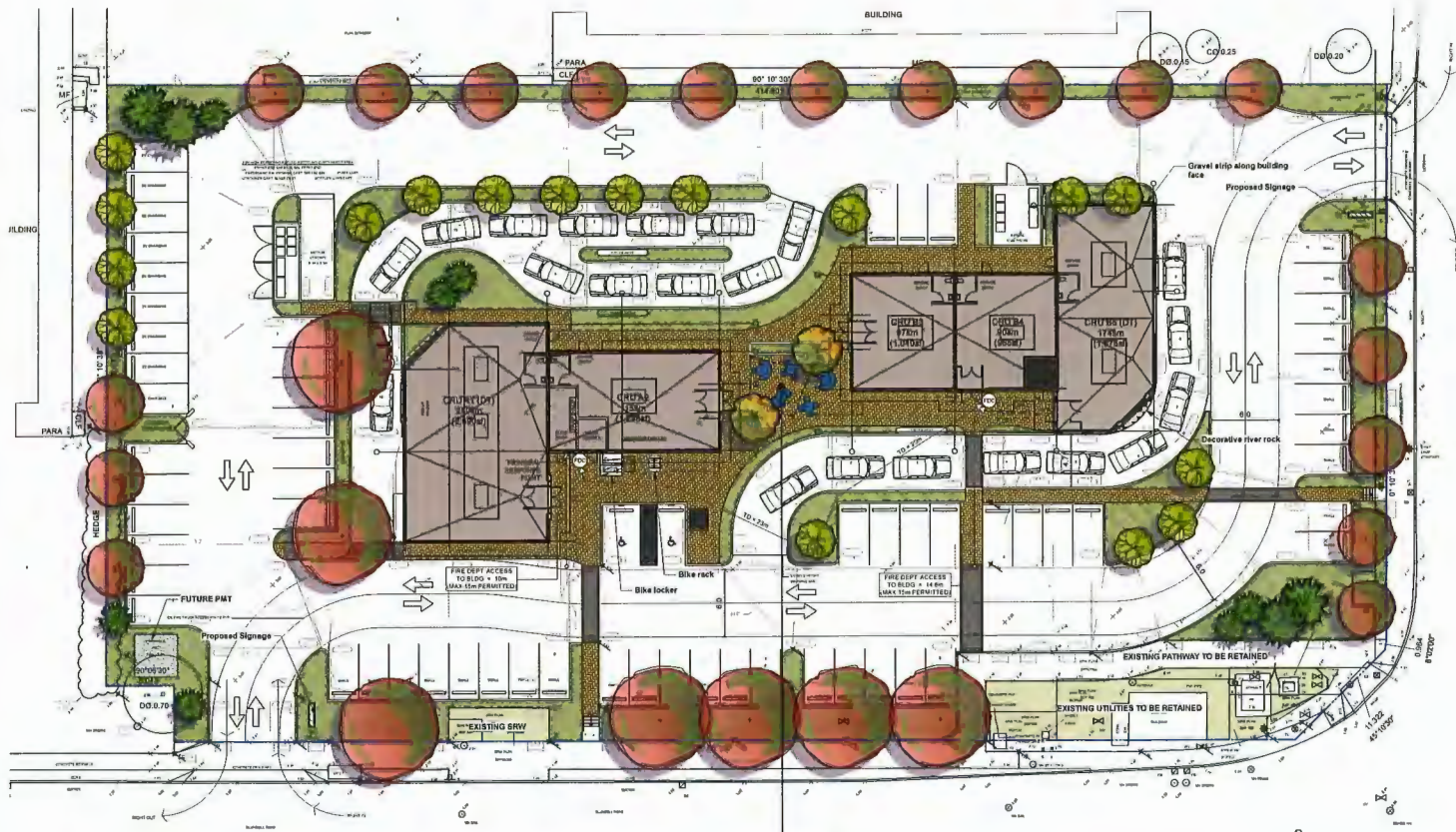
Project Title: Proposed Commercial Development
18399 Blundell Road, Richmond, BC

Project Contact: Cozette Salih

Sheet Title: Landscape Cover Sheet

Project No:	2023-26
Sheet No:	L0

Project Name:	CV
Reference:	AS



LANDSCAPE GENERAL NOTES

1. All landscape material and installation shall conform to the Canadian Landscape Standard, all applicable and noted codes, bylaws and specifications, and the safety requirements of the "Minimum For Construction".
2. Do not construct from these drawings unless marked "Minimum For Construction".
3. The Landscape Contractor shall submit all questions, reports, inquiries and requests pertaining to these drawings or their construction in writing to the Landscape Consultant.
4. Existing condition plans were prepared by others and actual conditions may vary from those shown. The Landscape Contractor shall conduct a site visit to review existing conditions and report all discrepancies between the plans and actual site to the Landscape Consultant prior to construction. The Landscape Contractor shall assume responsibility for actual site conditions (including sub-surface).
5. The Landscape Contractor shall conduct a site visit and review to determine the extent of work required (including but not limited to demolition, preparation and removal). Landscape Contractor shall report any discrepancies between the required and proposed work to the Landscape Consultant prior to construction.
6. The Landscape Contractor shall verify all scaled and written dimensions in the contract document and on site prior to construction. The Landscape Contractor shall report any discrepancies or incompatibilities to the Landscape Consultant.
7. Provide positive grade away from buildings and buried lawn drains and catch basins. Slope away from building at a minimum of 2%.
8. All landscaping shall have a high efficiency irrigation system to SUDC standards. Unless otherwise specified, the irrigation system shall be designed by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant approval.
9. All substitutions shall be approved by the Landscape Consultant.
10. The Landscape Contractor shall report any damage resulting from work on site.
11. The Landscape Contractor shall provide 1 year of CLG level 1 maintenance (including watering) after the date of substantial completion.
12. All walls 2' or taller, all panels, all concrete footings and all steel shall be designed by structural engineer. All walls shall be inspected and approved by geotechnical and structural engineer. Ensure positive drainage behind all walls.
13. When working within the City of Vancouver, the Landscape Contractor shall ensure all project activities conform to Japanese Beetle Regulation.

LANDSCAPE TREE NOTES

1. All landscape construction activities have a high potential for causing damage to trees, roots and soil. The Landscape Contractor shall coordinate with the project Architect prior to the start of landscape operations to avoid tree protection non-compliance and bylaws issues.
2. Install temporary tree protection fencing as per arborist report or tree protection plan. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction.
3. Removal of the tree barriers requires advance coordination and approval by the project Architect.

LEGEND

- Property Lines
- Tree protection fence

HARDSCAPE MATERIALS:

- Aquapave Permeable Paver system from Belgard or approved equivalent. Size: 110mm x 221.5mm x 80mm, Colour: Harvest
- Aquapave Permeable Paver system from Belgard or approved equivalent. Size: 110mm x 221.5mm x 80mm, Colour: Harvest
- Cast in Place Concrete (Pedestiles)

SOFTSCAPE MATERIALS:

- Planting Bed

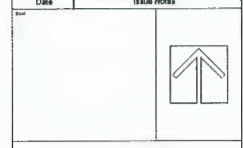
SITE FURNISHINGS:

- Magna Fawn Clarier Seating, various seating options
- Tree Rack
- Bike Locker, Double and Single

LINE & SYMBOL

- Building envelope
- Building roof overhang

Date	Issue Notes
2024-03-20	Re-issue for DP
2023-12-13	Issue for DP
2023-11-14	Issue for DP
2023-11-07	Issue for DP coord.



Prospect & Refuge
 LANDSCAPE ARCHITECTS
 4182 West 4th Ave Vancouver, BC V6R 2P2
 604-683-0333 | info@prospectandrefuge.ca
 Building on over 25 years of ability as a landscape firm.

Proposed Commercial Development
 18190 Bluswell Road, Richmond, BC

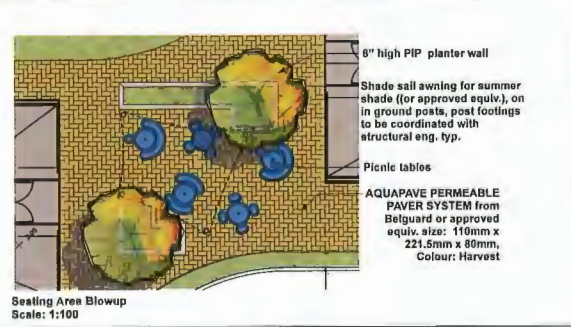
Project Name: Coast Salish

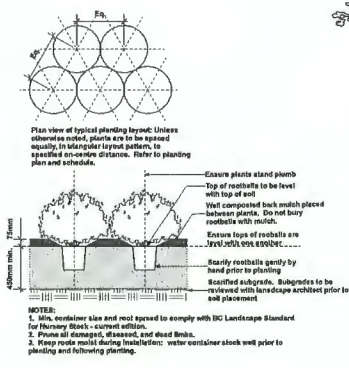
Landscape Materials and Layout Plan

Project No:	2023-26	Scale:	1/8" = 1'-0"
Project Name:	CV	Sheet No.:	L1
Revision:	AS		

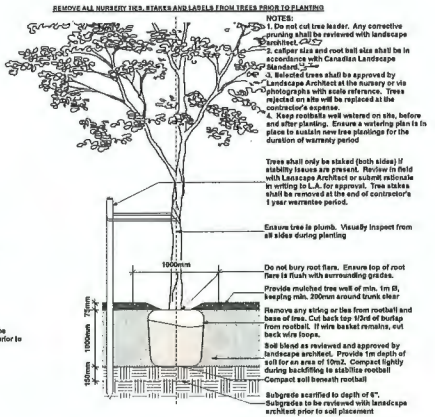


Shade Sall shade awning (or approved equiv.) to provide summer shade at amenity space
 Colour TBD to match architecture.





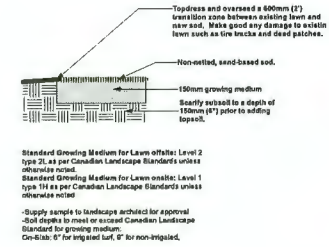
1 **Shrub and Perennial Planting**
Scale: 1:24



2 **Tree Planting**
Scale: 1:24



3 **Top Soil**
Scale: 1:24



4 **Sodded Lawn**
Scale: 1:24

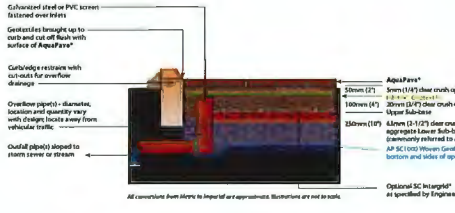


5 **Cora Bike Rack W3606**
Scale: NTS

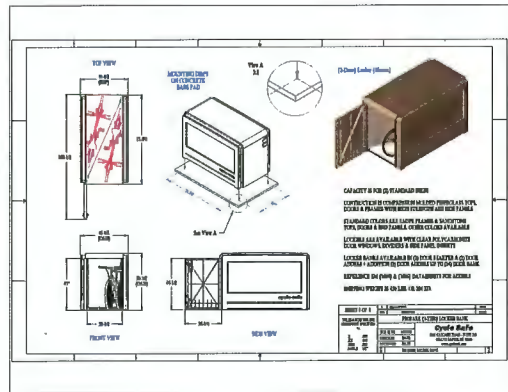
Surface mount to concrete slab base with tamper proof hardware

AQUAPave® Permeable On-Site Stormwater Source Control System

Partial Exfiltration System



6 **Permeable Pavers**
Scale: Actual Size



7 **Bike Locker**
Scale: NTS

Dynamic cluster seating with a twist

Fabricated flexible

We're seating for 4-6, and weather-resistant and easy. Each modular table is designed to comfortably serve a seat at the table.

Features

- Tinted Support Frame
- 40" Diameter Table Top
- Material: High Density Polyethylene
- Wheelchair Accessible
- Underline table

Always supportive

Frame loaded frame supports with 4" air. Each modular table has a same frame allowing adjustable seating configurations.

MAGLIN
Seat Furniture

8 **Cluster Seating**
Scale: NTS

Date	Issue Notes
2024-03-20	Re-issue for DP
2023-12-13	