



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: March 1, 2021

From: Wayne Craig
Director, Development

File: DP 20-896600

Re: Application by Headwater Living Inc. for a Development Permit
at 5500 No. 3 Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a high-rise mixed-use development containing approximately 637 m² (6,855 ft²) of commercial space and 149 market rental housing units at 5500 No. 3 Road on a site zoned "High Density Market Rental Residential/Limited Commercial (ZMU45) – Lansdowne Village (City Centre)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum balcony projection into the Lansdowne Road setback from 1.66 m to 2 m.

Wayne Craig
Director, Development
(604-247-4625)

WC:sb
Att. 3

Staff Report

Origin

Headwater Living Inc. has applied to the City of Richmond for permission to develop a mixed-use high-rise residential and commercial development at 5500 No. 3 Road on a site zoned “High Density Market Rental Residential/Limited Commercial (ZMU45) – Lansdowne Village (City Centre)”.

The applicant is a company incorporated in BC under the number BC1097036. The directors of the company are Erin Gibault and John Thiessen. The owners of the property are Richard and Leslie Ames as executors of the wills of Clifford and Surella Ames. The beneficial owner is HPL3 Limited Partnership and Richard and Leslie Ames are the company directors. The application was submitted by McGregor Wark, authorized agent for the applicant and owners.

The site is being rezoned from “Downtown Commercial (CDT1)” to “High Density Market Rental Residential/Limited Commercial (ZMU45) – Lansdowne Village (City Centre)” for this project under Bylaw 10130 (RZ 19-858804).

Key components of the proposal include:

- A single 15-storey tower with 11 floors of residential apartments and resident indoor amenity spaces over a four-storey podium containing ground level commercial retail units, four levels of parking, resident indoor amenity and service spaces.
- A maximum floor area ratio (FAR) of 3.77, additional floor area ratio (FAR) of 0.06 for resident indoor amenity space, and a maximum height of 47m geodetic.
- A total floor area of approximately 10,065 m² (108,334 ft²) comprised of approximately:
 - 637 m² (6,855 ft²) of commercial space.
 - 9,428 m² (101,479 ft²) of residential space.
- Additional 170 m² (1,829 ft²) of indoor amenity space for residents.
- Approximately 149 market rental housing units.
- Road dedication and statutory right-of-way (SRW) and construction of road widening across the north (exterior side) frontage of the site.
- Lane statutory right-of-way (SRW) and construction of lane widening across the east (rear) frontage of the site.

The site is comprised of one lot which is currently vacant and previously contained a single storey commercial building.

A Servicing Agreement is required as a condition of rezoning adoption and includes, but is not limited to, lane and road works, frontage improvements and utility upgrades.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north: Across Lansdowne Road is Lansdowne Mall. The site is the subject of a separate application (CP 15-717017) and separate staff report to amend the Official Community Plan (OCP) to adjust land use designation boundaries to facilitate future development of the site as a mixed-use neighbourhood.
- To the south: A recently constructed development (DP 14-660885) featuring a 15-storey building with 139 residential units and commercial space at grade.
- To the east: Across the lane is an existing 16-storey residential building with 262 residential units.
- To the west: Across No. 3 Road are a number of low rise commercial developments in single storey form on properties zoned "CA (Auto-Oriented Commercial)".

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on April 20, 2020. Discussion and public correspondence considered at the Public Hearing meeting included the following concerns regarding the development:

- Amount of Accessible Housing:

Staff can confirm that 100% of the market rental housing units incorporate basic universal housing features in compliance with the Zoning Bylaw and Market Rental Housing Policy, which allow for future conversion into accessible units.

- Traffic and Parking:

The proposal will improve the existing rear lane through lane widening from the existing interim 6 m width to the standard City Centre 9 m width. Frontage improvements are also proposed to be provided along No. 3 Road and Lansdowne Road. The proposed parking is consistent with the Zoning Bylaw 8500 requirements, including the owner's submission of a traffic study prepared by a professional traffic consultant and the provision of transportation demand management measures. Transportation staff have reviewed and accept the report findings. The applicant is required to submit a construction parking and management plan as part of the Building Permit application process.

- Consultation with Neighbours:

The applicant has reached out to both neighbouring high-rise development's stratas, providing them with copies of the revised design proposal and will remain in ongoing discussion during the construction process.

- Impact to Neighbour Views:

The proposed development complies with OCP and CCAP Policies regarding building size and location. The podium roof design has carefully considered the existing neighbouring building to the south. Podium parapets have been aligned so that no exposed walls are visible to residents in either building. Terraced landscaping and fences/guardrails allow for visually appropriate privacy and security between the two buildings. While the proposed podium roof deck is slightly higher than the existing adjacent building, terraced planters step down to meet the same parapet elevation.

- Overlook Impact to Neighbour Privacy:

Tower separation is maximized and impacts minimized by anchoring the tower massing on the lane and offsetting from the existing neighbouring tower, and locating the lower proposed eight-storey streetwall along the Lansdowne Road north edge of the site. The Development Application for the recent neighbouring development to the south of the subject site provided for the existing tower massing.

- Neighbour Shadowing Impacts:

Prepared shadow studies were analyzed and provided in the drawing package for reference. The proposed tower will not shade the neighbouring tower located south of the subject site and the proposed tower shape and setbacks from the south and east property lines reduce the afternoon shading of the neighbouring tower located across the lane to the east of the subject site.

- Trespass potential at the podium roof level between the development and existing neighbouring development to the south:

The potential for trespassing between the sites is mitigated through access and design. Typical of residential developments, only residents of the subject development will have access to the proposal's outdoor amenity space. Along the south edge of the proposal, a stepped planter with landscaping and 1.8 m fencing provide physical barriers between the proposed podium roof and the neighbouring development to the south.

- Impacts to neighbouring emergency exiting from neighbouring development to the south:

As required by the BC Building Code, the proposal provides emergency exit routes throughout building and parking areas, exiting out to public streets/lanes. The proposed development is proposed on the subject site only and will not impact the neighbouring site's emergency exiting.

- Construction subsidence and disturbance impacts on neighbours:

Through the future Building Permit application process, Geotechnical report, Engineering and Architectural designs will be submitted confirming compliance with the requirement that the design not adversely impact the adjacent neighbouring structures.

Construction activities will comply with the City's Good Neighbour Program, the City's Noise Regulation Bylaw and the Unsightly Premises Regulation Bylaw.

- Construction Safety:

The applicant is required to comply with all safety measures in accordance with requirements of all governing bodies.

Staff Comments

The proposed scheme attached to this Staff Report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the “High Density Market Rental Residential/Limited Commercial (ZMU45) – Lansdowne Village (City Centre)” zone except for the zoning variance noted below.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Increase the maximum balcony projection into the Lansdowne Road setback from 1.66 m to 2 m.

(Staff supports the proposed variance as it accommodates the provision of visual interest through building articulation and the colour treatment to the underside of the balconies, accommodates the provision of private outdoor space, does not impact pedestrian circulation at the grade level as the balconies are located on the fifth to fifteenth floor levels, and does not adversely impact any neighbouring developments resulting from the proposed development on the subject site with development constraints of being a small orphan lot, having frontage setbacks on three sides and providing road dedication and additional statutory rights-of-way on two sides.)

Advisory Design Panel Comments

On September 23, 2020, the Advisory Design Panel (ADP) supported the subject Development Permit application moving forward to the Development Permit Panel, subject to the applicant giving consideration to the ADP’s comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (Attachment 2), together with the applicant’s design response in ‘**bold italics**’.

Analysis

Conditions of Adjacency

- The proposed development includes enhancement of the Lansdowne Road streetscape with active commercial uses, residential indoor amenity space and residential entry lobby. The limited solid façade screening interior service uses at the lane is treated with blue colour and granite and standing seam texture for visual interest and screened with on-site tree planting. A tiered 15-storey building massing is provided along the Lansdowne Road streetscape.
- The proposed development includes enhancement of the No. 3 Road streetscape with active commercial uses. A tiered eight-storey building massing is provided along the No. 3 Road streetscape, setback from the Canada Line guideway.

- The interface with the rear (east) lane is enhanced with lane widening. This interface includes the main access to the parking structure and loading space. A tiered 15-storey building massing is provided along the lane frontage.
- A three-storey podium party wall is proposed along the south property line, adjacent to the existing three-storey podium party wall of the neighbouring development to the south with parapet heights aligned so that no exposed walls are visible to residents in either building. The fourth level of the four-storey podium has been set back from the south property line to accommodate terraced planters that step down to the parapet, providing a landscape buffer along the south edge of the podium roof. A tiered 15-storey building massing is provided along the south side of the site.
- The interface with the neighbouring high-rise tower to the south of the subject site reflects the unique site context. The tower shape and placement on the subject site is designed to maximize tower and mid-rise building separation from the existing high-rise tower to the south. The proposed tower has been designed to mitigate privacy impacts through providing solid wall and orienting windows away from the neighbouring development.
- The subject site is impacted by Canada Line, traffic, mixed use and aircraft noise and the proposed development is acoustically designed to ensure the dwelling units comply with CMHC interior noise standards in accordance with legal agreements secured through the rezoning.

Urban Design and Site Planning

- The proposed tiered massing includes a single 15-storey tower consisting of a four-storey podium containing commercial, office, resident indoor amenity, service and parking uses, four-storey mid-level podium and adjacent 11-storey tower portion both containing market rental residential and resident amenity uses.
- The proposed building heights comply with NAV Canada building height restrictions.
- Registration of a legal agreement is required, ensuring the provision of energized electric vehicle (EV) charging outlets for 100% of residential unit parking, 10% of the shared visitor/commercial parking spaces (208V - 240V), and 10% of Class 1 secure bicycle storage spaces in all bicycle storage rooms (120V).
- Parking, loading bay, garbage and recycling facilities are located inside the parking structure with vehicle access from the rear lane.

Architectural Form and Character

- The proposed development contributes towards contemporary architectural expression including a high level of architectural design and material quality. The design includes articulation along the building facades, terraced building massing, a substantial podium with commercial base to anchor the building along No. 3 Road and a high-rise tower to anchor the building along Lansdowne Road. Framed louvres provide roofline interest as well as screening for rooftop mechanical equipment.
- The proposed cladding materials (metal panels, standing seam metal panelling, window wall, glass panels, granite metal louver screens, and glass guard rails) are consistent with the Official Community Plan (OCP) guidelines and contribute towards a distinct identity and urban environment.

- The palette of colours includes white, grey and black tones with blue accents. When used in combination with variations in massing and materials, helps break up the massing, reinforce the identity of the project and project a crisp, contemporary image.

Landscape Design and Open Space Design

- The CCAP encourages the provision of additional open space to enhance the urban environment. The subject development's public open space contributions are provided along No. 3 Road and Lansdowne Road. The proposed frontage improvements will help frame the future linear park designated to be provided through future development across the road on the north side of Lansdowne Road.
- 1,078 m² (11,607 ft²) of residential outdoor amenity space with landscape buffer is provided, which exceeds the 894 m² (9,623 ft²) requirement based on the OCP standard of 6 m² (65 ft²) per dwelling unit, comprising two roof top, irrigated, landscaped multi-use outdoor spaces with landscape buffers and accessed from the interior corridor and the fifth floor indoor amenity room.
- Private outdoor patios or balconies are provided for most dwelling units, and six one-bedroom units are provided with Juliette balconies. The outdoor amenity area is oversized to accommodate an additional 36 m² (388 m²) to offset the units with Juliette balconies.
- As noted in the rezoning Staff Report, 12 replacement trees are required in compensation for the removal of six trees from the site based on the 2:1 tree removal compensation ratio. There are a total of 19 new trees included in the Development Permit plans and the trees being removed are indicated on the tree management plan included in the Development Permit plans.
- At grade, the overall landscape design approach is to provide an urban streetscape interface softened with planting to Lansdowne Road. The plant palette at grade is colourful with Japanese Snowbell trees, ornamental grasses and perennials.
- At the fifth floor level, the outdoor amenity design approach is to facilitate a variety of social interactive and exercise spaces with a mini golf area for older children, climbing stumps for younger children, seating and picnic table areas, and BBQ patio area adjacent to indoor amenity space. Planting at the fifth level provides semi-private patios with screening, edge planters facing east, west and south and a plant palette of Paperbark Maple and Serbian Spruce trees, shrubs, and perennials.
- At the ninth floor level, the outdoor amenity design approach is to provide a variety of social and active areas. Active children's play opportunities with activity areas for hopscotch, twister, and bean bag toss, turf area, storage box with loose play equipment, sand box with play table, climber/slide play equipment, climbing boulders, balance logs, stepping stones, and a ping pong table. Also provided are seating areas, fire pit, harvest table, picnic tables, BBQ, dog relief station and walking paths. Planting at the ninth level surrounds, complements and softens the outdoor amenity areas with a plant palette of Japanese Stewartia and Japanese Snowbell trees, shrubs, ornamental grasses, and perennials.
- All landscaped areas will be serviced by an irrigation system.
- Prior to forwarding the subject application to Council, the applicant is required to provide to the City, a Letter of Credit for landscaping in the amount of \$300,034.35, as estimated by the project Landscape Architect, to ensure that on-site landscape features are provided in accordance with the Development Permit.

Shared Indoor Amenity Space

- The OCP requires that multi-family development comprising 40 units or more provide at least 100 m² (1,076 ft²) of indoor amenity space. The subject development exceeds the OCP minimum, providing 165 m² (1,776 ft²) of indoor amenity space.
- An open multi-purpose meeting room is located on the ground floor level.
- An area providing communal access to the parking podium roof top outdoor amenity area and to facilitate social activities, including lounge seating area, kitchenette area, and washroom facility is located on the fifth-floor level.
- An area to facilitate social activities, including lounge seating area, kitchenette area, washroom facility, and connection to the larger mid-rise roof top outdoor amenity area is located on the ninth-floor.

Crime Prevention Through Environmental Design

- CPTED measures enhance safety and personal security in and around the proposed building.
- Casual surveillance is provided through minimizing blind corners, prominent residential lobby and commercial entrances, locating car-share and shared visitor/commercial parking close to the entries in the parkade, clear sightlines to exits within the parkade (mirrors where needed), glazed vestibules, and lighting in all pedestrian areas.
- The streetscape and common area design is defined and visually permeable to establish a sense of territoriality that contributes toward overall safety.
- Target hardening security features are provided at all pedestrian and parking entrances.

Accessible Housing

- The development includes 100% basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.

Sustainability Measures

- District Energy Utility (DEU) legal agreement registration was secured through the rezoning. The development will provide an on-site low carbon energy plant and the development will be designed to facilitate a future connection to a future off-site City Centre district energy utility (DEU) system.
- The development is being designed to meet the sustainability requirements set out in the applicable sections of Richmond's BC Energy Step Code, which is step 2 with a low carbon building energy system.

Dwelling Unit Mix

- The OCP Market Rental Housing policy requires multiple family market rental residential developments to provide at least 40% of units with two or more bedrooms that are suitable for families with children. The proposed development complies, with 42% of units overall having two bedrooms.

- Staff support the applicant's proposal, which includes the following mix of market rental housing unit sizes:

Unit Type	Average Unit Area	# of Units	% of Units	BUH
Studio	40 m ² (431 ft ²)	7	4.7%	100%
1-Bedroom	47.1 m ² (507 ft ²)	79	53%	100%
2-Bedroom	74.6 m ² (803 ft ²)	63	42.3%	100%
3-Bedroom	N/A	0	0%	0%
Total	Varies	134	100%	100%

Conclusions

The proposed development is consistent with Richmond's objectives for the subject site and Lansdowne Village as set out in the Official Community Plan (OCP), City Centre Area Plan (CCAP), and Zoning Bylaw. The project will enhance the Lansdowne Village urban community through its on-site pedestrian circulation works, street-fronting commercial space, articulated form, pedestrian-oriented streetscape, and market rental housing incorporating basic universal housing features. The proposed development will also enhance the community through the developer's concurrent construction of off-site pedestrian and road network improvements. The applicant has agreed to complete Development Permit considerations (Attachment 3). On this basis, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

Sara Badyal

Sara Badyal
Planner 2
(604-276-4282)

SB:blg

Attachments:

Attachment 1: Development Application Data Sheet

Attachment 2: Advisory Design Panel Meeting Minutes Annotated Excerpt (Sept 23, 2020)

Attachment 3: Development Permit Considerations



Development Application Data Sheet

Development Applications Department

DP 20-896600

Address: 5500 No. 3 Road

Applicant: Headwater Living Inc.

Richard and Leslie Ames, Executors of the Wills of Clifford and Surella Ames

Owner: (Beneficial Owner: HPL3 Limited Partnership)

Planning Area(s): Lansdowne Village (City Centre)

	Existing	Proposed	
Site Area	2,917.5 m ² (31,403.7 ft ²)	2,671.6 m ² (28,756.9 ft ²)	
Land Uses	Vacant	Apartment Residential and Commercial	
OCP Designation	Mixed Use	Complies	
CCAP Designation	Urban Core T6 (45m)	Complies	
Zoning:	High Density Market Rental Residential/Limited Commercial (ZMU45) – Lansdowne Village (City Centre)	Variance noted below	
Number of Units:	Vacant	5 retail units, 1 office and 149 Market Rental Units	
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio	Max. 3.77 FAR including Min. 0.2 VCB (non-residential) & 149 market rental units	3.77 FAR including 0.24 non-residential (637 m ²) & 149 market rental units (9,428 m ²)	None permitted
Lot Coverage	Max. 80%	77%	None
Setback – No. 3 Road	Min. 3.0 m	4 m	None
Setback – Lansdowne Road	Min. 5.0 m, and Max. 1.66 m balcony projections	5 m, and 2 m balcony projections	0.34 m
Setback – South Side Yard	Min. 0.0 m	0 m	None
Setback – East Rear Yard	Min. 1.5 m	3 m	None
Height	Max. 47 m geodetic	47 m geodetic	None
Lot Size	Min. 2,400 m ²	2,671.6 m ²	None
Lot Dimensions	Width: Min. 30 m Depth: Min. 75 m	Width: 33.3 m Depth: 80.3 m	None
Parking Spaces	City Centre Zone 1 with TDMs: Market Rental (4% TDM): 115 Visitor/commercial (6.7% TDM, including 1 car-share): 28 Total: 143	With TDMs: Market Rental: 116 Visitor/commercial (including 1 car-share): 28 Total: 144	None
Parking – Accessible Spaces	Min. 2%	2.8 %	None
Parking – Small Car Spaces	Max. 50%	50 %	None
Parking – Tandem Spaces	Permitted (residents only)	None	None
Off-Street Loading	1 medium space (shared)	1 medium space (shared)	None
Bicycle Storage	187 class 1 secure bike spaces 30 class 2 bike rack spaces	With TDMs: 265 class 1 secure bike spaces 33 class 2 bike rack spaces	None
EV (Energized) Charging for Cars	Market Rental: 100% energized Commercial: 10% energized Car-share: 240V charging station	Market Rental: 100% energized Commercial: 10% energized Car-share: 240V charging station	None
Amenity Space – Indoor	Min. 100 m ²	170 m ²	None
Amenity Space – Outdoor	Min. 894 m ²	1,078 m ²	None

Annotated Excerpt from the Minutes from Advisory Design Panel Meeting

September 23, 2020

DP 20-896600 - High-rise market rental tower with ground floor retail

ARCHITECT: Musson Cattell Mackay Partnership
LANDSCAPE ARCHITECT: Prospect & Refuge Landscape Architects
PROPERTY LOCATION: 5500 No. 3 Road

Applicant's Presentation

Peter Odegaard, Musson Cattell Mackay Partnership, and Alyssa Semczyszyn, Prospect & Refuge Landscape Architects, presented the project and answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- Appreciate the high quality of the submission package and the applicant's presentation which are easy to follow and understand; (this was a common comment from Panel members regarding the subject proposal) – ***Noted.***
- Appreciate the design of the project for its accessibility and inclusiveness for people of all ages, including those with disabilities – ***Noted.***
- Appreciate the Basic Universal Housing (BUH) unit design for all rental units; consider installing pocket doors for all washrooms, closets and powder rooms, if any – ***Pocket doors incorporated where feasible.***
- Consider installing outward-opening doors for all accessible public/common washrooms in the project; e.g. in the indoor amenity washroom on Level 5 – ***Incorporated.***
- Consider providing additional accessible parking stalls for the residents, visitors, and customers – ***2% of parking spaces are accessible spaces in compliance with zoning bylaw.***
- Review the location and design of the garbage and recycling room and loading area at the prominent northeast corner of the site – ***Reviewed and design improved by extending façade articulation down from residential levels.***
- The building's west façade needs more articulation to better address No. 3 Road, which is a major road in Richmond – ***Design improved with additional elements to create a more granular streetscape; separated entry door portals and sign locations for CRU units add articulation and pedestrian-orientation to this façade.***
- The diagram on page 43 of the proposal package indicates that the separation between the subject tower and existing neighbouring towers does not meet the minimum tower separation guideline; encourage review of the design of the subject building to achieve the minimum tower separation and in order to provide privacy between towers – ***The tower floor plan layout is designed to maximize tower separation. A limited façade portion is located within 24 meters of the adjacent tower and has been designed to mitigate privacy impacts through use of solid walls and orienting windows away from neighbouring building.***

- Consider providing more articulation to the tower roof to celebrate the tower rooftop – ***The building façade expression has been carried up above the parapet to provide a varied roofline expression, with articulated screening for roof top equipment.***
- The south façade of the tower and west facade of the midrise building need more articulation as they read like a plain surface and to prevent overheating – ***The building envelope design has employed passive design principals such as 40% window to wall ratio, superior detailing, U-values, and glazing with lower solar heat gain coefficient.***
- Review the location of accessible parking stalls along the ramp – ***Accessible parking spaces provided in flat area.***
- Appreciate the usability of public spaces in the project – ***Noted.***
- At grade landscaping is successful in providing a mix of flexible and programmed outdoor spaces – ***Noted.***
- The question of activation of the outdoor space under the Canada Line guideway along No. 3 Road is intriguing as weather protection would be provided throughout the year – ***This will be reviewed by the applicant separate from the Development Permit application process.***
- Look at the balance between private and common amenity outdoor spaces and the accessibility of both private and common amenity outdoor spaces – ***Accessible paths are provided via corridors and indoor amenity spaces to common outdoor amenity spaces.***
- Appreciate the separation of private patios from the common outdoor amenity spaces by locating them on different levels; review the usability of the play equipment and natural play elements in the children's play area; consider installing a shaded seating area close to the children's play area for parents and caregivers – ***Reviewed. Incorporated shaded seating area by relocating trellis to play area and redesigning to incorporate benches underneath. Natural play area on south side of the path is in a raised planter, and grading of wall was revised to provide low points to allow children to climb into it more easily. The stepping stones encourage informal access, and the planter is planted with plant material that provide sensory play and play materials (loose parts) for children.***
- Appreciate the use of colour and texture throughout the project – ***Noted.***
- Appreciate that the soffits of tower balconies are not painted, as one would expect, in dark tones at the base graduating to lighter tones at the top rather than the proposed opposite approach – ***Noted.***
- The project is well done and a good addition to the City Centre Area – ***Noted.***
- Appreciate the simple concrete paving treatment for the northwest corner of the site which is an appropriate surface paving treatment under the Canada Line guideway and on the upgraded Lansdowne Road streetscape; further resolution would be needed for this corner to activate it if the ultimate programming is for a restaurant – ***Noted. Commercial tenants in building are unknown at this time.***
- The streetscape along Lansdowne Road is successful in bridging the transition from commercial to residential through breaks in massing through differentiation in the façade; the northeast façade on the ground level presents an interesting frame for the owner to incorporate an art piece to provide visual reference – ***Noted.***

- Appreciate the flexibility of use of common outdoor amenity spaces, particularly on Level 5 podium roof; consider a wilder border as opposed to a formal landscaping in the transition area between the two projects to differentiate it from the formal landscaping on the podium of the adjacent building to the south – ***Incorporated. Formal landscaping in the transition area to the neighbouring project revised to a mixed planting of bird friendly plant material that does not need pruning to maintain its ultimate shape.***
- Appreciate the programming of the common outdoor amenity space on Level 9 which provide for a diversity and flexibility of uses for residents, including children; consider providing additional shading through either enhancing the proposed trellis to provide more shade or installing outdoor umbrellas and canopies – ***Trellis design improved as noted above.***
- In general, the project is successful; appreciate the building massing being broken down into three boxes; understand the challenges of treating a parkade wall facing a main frontage road; the exterior cladding treatment for the parkade wall above the restaurant volume is successful; however, it is least successful above the retail and amenity spaces and at base of tower; consider replacing the coloured metal screen with either the black panels from the midrise volume above in terms of cladding and detailing, down to grade to frame the retail and amenity spaces, or simply extend the raised glazed wall treatment right to the tower – ***The design team have revised the façade articulation, the treatment of the residential tower was brought down to the parkade levels, and the glazed treatment was raised up from the retail spaces to the parkade levels, replacing the previous metal screens. The revisions have simplified the expression and reinforced the relationship between the various building volumes.***
- Also consider bringing down the materials and cladding treatment for the tower down to grade for the parkade wall treatment above the garbage and recycling and site services rooms along the Lansdowne Road elevation, or choosing a different colour or material approach to the blank punch openings on tower façade at parking levels; currently the stark blue cuts the vertical expression off at parking and works against the desire to bring the tower façade down to grade – ***Design improved as noted above.***
- Review the proposed landscaping at the main residential entry along Lansdowne Road to create more visual and physical openness at grade as the planters impede pedestrian access to the building and work against the idea of bringing down the tower to grade – ***Design improved, ground level planting revised to under 300 mm tall groundcover to open up the site lines and tree to have a 6' clear trunk.***
- Consider introducing vertical landscaping, e.g. installing trees, to provide additional screening for the garbage and recycling overhead doors at the corner of Lansdowne Road and the lane – ***There are trees proposed against the building along Lansdowne that will act as screening for this corner.***
- The tower element is one of the three boxes; however, the south and west facades of the tower could be considered almost a fourth element due to their faceted geometry; consider introducing a change to colour, changing the materials and treatment for these facades – ***Considered. The south and west tower façades include discrete detailing and articulated white, grey and black façades.***
- Consider introducing a slight setback at the midrise building along the Lansdowne Road elevation to create more opportunities to play with the materials and elements at the fourth level – ***Addressed above. The north façade composition has been revised as noted above.***

- Some residents may not feel comfortable with the proposed vision glass material enclosing three sides of the tower balconies due to height exposure – ***Balconies as designed are consistent with standards in the region.***
- The balcony placement “stagger” makes sense, though they result in a lack of rain protection as compared to “stacked” balcony placement – ***Noted.***
- The proposed colour palette is interesting; the black and white contrast for the midrise building is a popular colour treatment and could become a classic; however, consider introducing an additional colour on the building façades outside of the midrise building – ***Considered. Blue colour treatment is provided underneath the balconies and at the base of the tower and the tower incorporates white and grey volumes.***
- The proposal package is very informative and pleasant to read; the design rationale is very well presented – ***Noted.***
- Overall massing to break down the mass is successful and the building itself fits well into the context to the south – ***Noted.***
- Large CRU along No. 3 Road seems out of scale for pedestrians; it fits within the context, but the long façade at grade along No. 3 Road could use some articulation to bring it back to a more pedestrian-friendly scale – ***Design improved as noted above. Also, this façade is less than 100’ wide and will likely be occupied by multiple commercial tenants.***
- Above grade parking is well hidden from the exterior; one barely notices there is a parkade – ***Noted.***
- Downside of the above grade parking are the four levels; the base of the building looks very high in relation to the overall massing; consider visually reducing the height of the base by playing with cladding materials from above – ***Design improved as noted above.***
- The transition between the last parkade floor and the upper residential floors is too horizontal and abrupt; consider extending the tall massing down or the connection element between both residential blocks, to break that horizontality – ***Design improved as noted above.***
- Connection element appears to be transparent on the renderings, but is in fact aluminum panels; this is somewhat misleading – ***Drawing clarified, grey colour connection is spandrel glass.***
- Solar shading is minimal on the west and south elevations; consider providing additional solar shading – ***Addressed above.***
- Support the project – ***Noted.***

Panel Decision

It was moved and seconded

That DP 20-896600 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



City of Richmond

Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 5500 No. 3 Road

File No.: DP 20-896600

Prior to forwarding this Development Permit to Council for approval, the owner must complete the following:

- Landscape Security:** Receipt of a Letter-of-Credit for landscaping in the amount of \$300,034.35
- Charging Infrastructure for Electric Vehicles (EV) & "Class 1" Bicycle Storage:** Registration of a legal agreement on title, securing the owner's commitment to voluntarily provide, install, and maintain EV charging infrastructure within the building on the subject site. More specifically, the minimum required rates for EV charging infrastructure shall be the greater of the following table or as per the Official Community Plan or Zoning Bylaw rates in effect at the time of Development Permit approval.

User/Use	Energized Outlet – Minimum Permitted Rates	
	Vehicle Parking (1)	"Class 1" (Secured) Bike Storage (2)
Residential (i.e. resident parking & bike storage)	(1 per parking space as per Zoning Bylaw)	1 per each 10 bikes or portion thereof in a bike storage room or locker (which Energized Outlet shall be located to facilitate shared use with bikes in the room/locker)
Non-Residential (i.e. commercial)	1 in 10 parking spaces (as per OCP)	
Car-Share	1 per parking space (as per TDMs)	N/A

- (1) "Vehicle Parking" "Energized Outlet" shall mean all the wiring, electrical equipment, and related infrastructure necessary to provide Level 2 charging (as per SAE International's J1772 standard) or higher to an electric vehicle.

NOTE: Richmond's Electric Vehicle Charging Infrastructure Bylaw provides that, where an electric vehicle energy management system is implemented, the Director of Engineering may specify a minimum performance standard to ensure a sufficient rate of electric vehicle charging. For the purposes of the Bylaw, electric vehicle energy management system means a system to control electric vehicle supply equipment electrical loads comprised of monitor(s), communications equipment, controller(s), timer(s), and other applicable devices.

- (2) "Class 1 (Secured) Bike Storage" "Energized Outlet" shall mean an operational 120V duplex outlet for the charging of an electric bicycle and all the wiring, electrical equipment, and related infrastructure necessary to provide the required electricity for the operation of such an outlet

Prior to Building Permit* issuance, the owner must complete the following requirements:

- Legal Agreements:** Confirmation of compliance with existing, Rezoning and Development Permit legal agreements.
- Rezoning/Development Permit:** Incorporation of features in Building Permit plans as determined via the Rezoning and/or Development Permit processes, including accessibility, sustainability, amenity and landscape design measures. All landscaped areas are to be provided with an irrigation system.
- Electric Vehicles (EV):** Incorporation of EV features in Building Permit plans as determined via the Rezoning and/or Development Permit processes, including providing a minimum of 10% of the commercial parking spaces (four spaces) with 240 V electrical charging outlets, and providing the one car-share parking space with an electric vehicle (EV) quick-charge (240 V) charging station.
- Accessible Housing Measures:** Include notations on the Building Permit Plans demonstrating that all Market Rental units will meet the Basic Universal Housing provisions and as requested for calculation of density within Zoning Bylaw 8500.

5. **Aircraft Noise Sensitive Development:** Confirmation that the proposed development is designed in a manner that mitigates potential aircraft noise to the proposed dwelling units, including submission of:
- Acoustic report prepared by a registered professional confirming design achieves the following CMHC interior noise level guidelines:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- Mechanical report prepared by a registered professional confirming design achieves the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
6. **Construction Parking and Traffic Management Plan*:** Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
7. **Latecomer Works:** If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
8. **Construction Hoarding*:** Obtain a Building Permit* for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.
9. **TransLink:** Prior to Building Permit issuance, the owner must obtain and provide to the City TransLink concurrence, in writing, regarding adequate completion or otherwise successful resolution of TransLink's adjacent and integrated development (AID) project consent process.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]

Signed

Date



City of Richmond

Development Permit

No. DP 20-896600

To the Holder: HEADWATER LIVING INC.
Property Address: 5500 NO. 3 ROAD
Address: C/O MCGREGOR WARK
1021 WEST HASTINGS STREET, UNIT 3350
VANCOUVER, BC V6E 0C3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Increase the maximum balcony projection into the Lansdowne Road setback from 1.66 m to 2 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #41 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$300,034.35 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 20-896600

To the Holder: HEADWATER LIVING INC.

Property Address: 5500 NO. 3 ROAD

Address: C/O MCGREGOR WARK
1021 WEST HASTINGS STREET, UNIT 3350
VANCOUVER, BC V6E 0C3

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

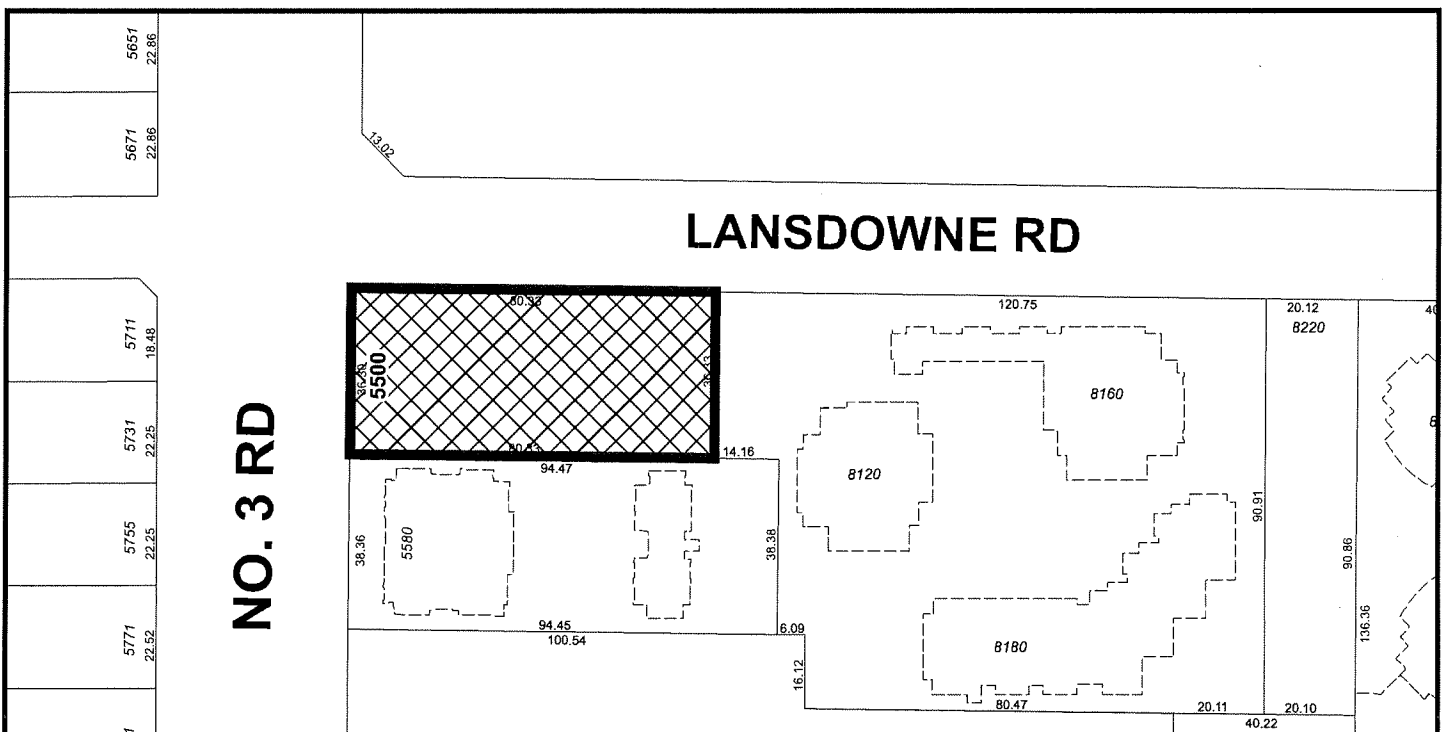
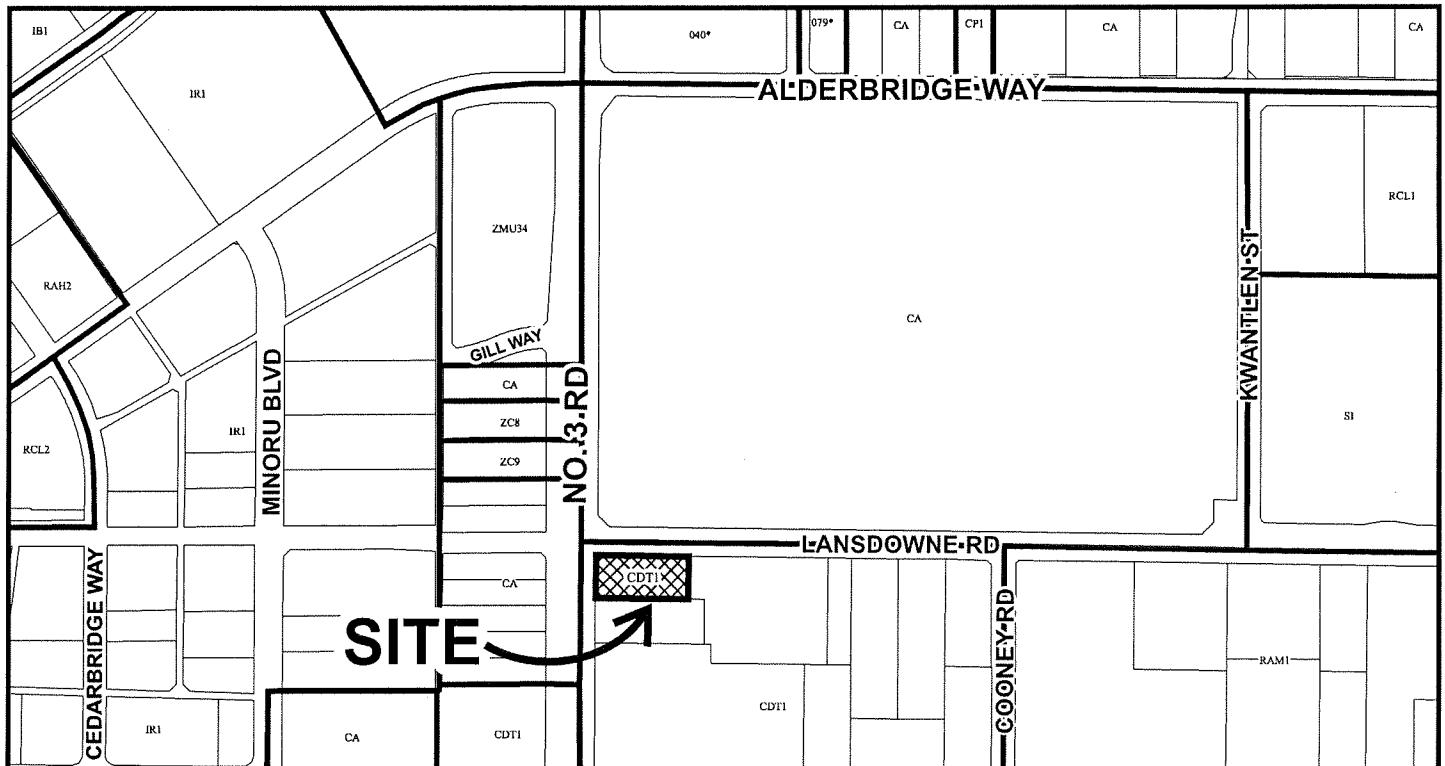
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond

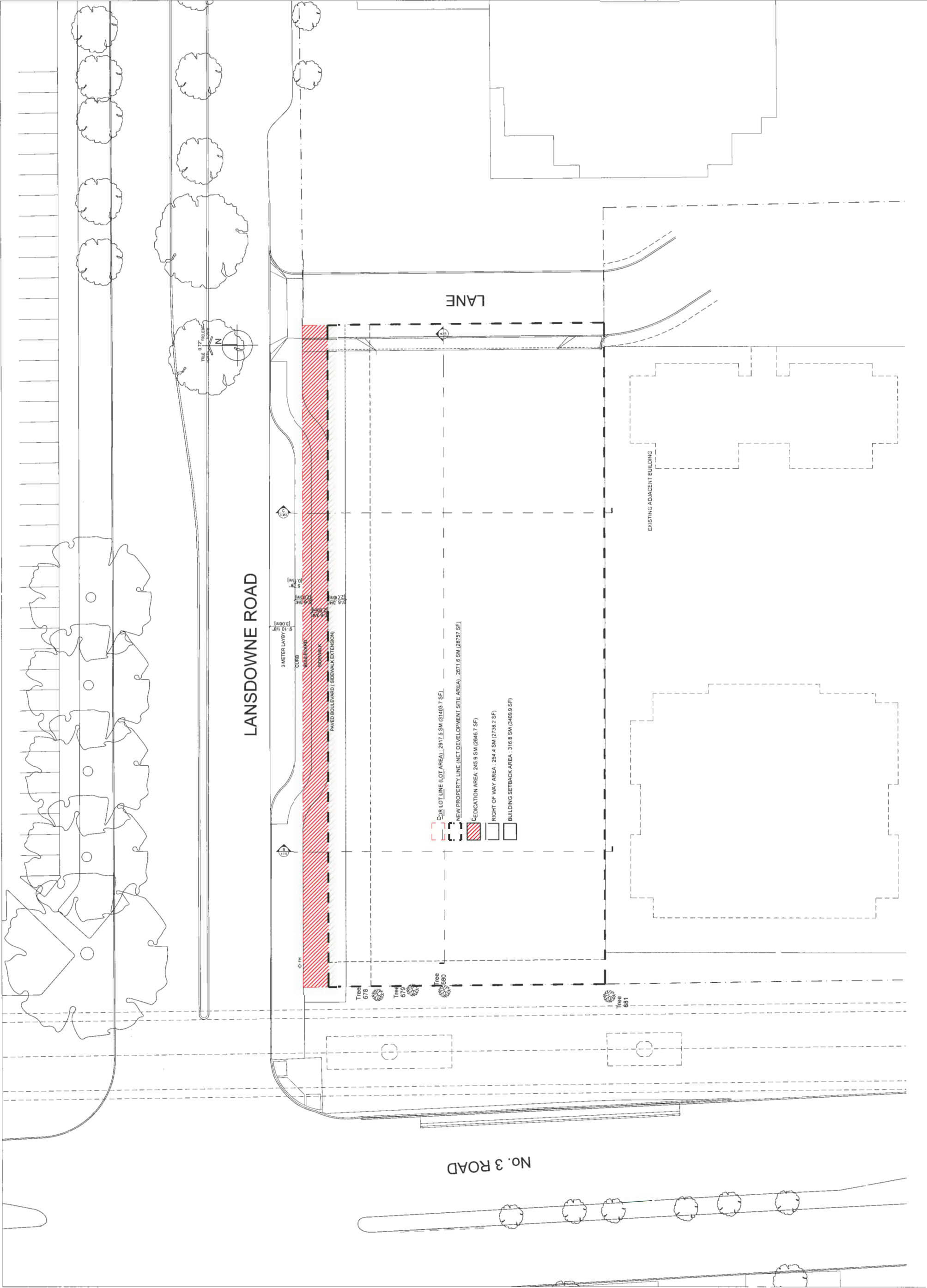


DP 20-896600

Original Date: 03/19/20

Revision Date:

Note: Dimensions are in METRES



Musson
Cattell
Mackey
Partnership

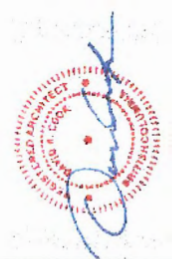
Architects Designers Planners
Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T: 604.682.2990
F: 604.682.1771
MCMPartners.com



Plan #2
DP 20-896600
March 1, 2021

08 | 2021.03.18 ISSUE FOR DP RE-SUB
03 | 2020.03.13 ISSUE FOR DP
01 | 2019.04.18 ISSUE FOR REZONING

Revisions
YYYY-MM-DD



Seal
MIXED USE
RENTAL
RESIDENTIAL
BUILDING
5500 No. 3 Rd.
RICHMOND, BC
Project

SITE
DEDICATION PLAN

Drawing
Scale
1/32" = 1'-0"
Project
218029
Sheet
A105.



Plan #3
DP 20-896600
March 1, 2021

06 | 2021.02.11 ISSUED FOR 50% WD
05 | 2021.01.27 ISSUED FOR 50% BG
04 | 2020.12.24 ISSUED FOR 25% WD
03 | 2020.12.09 ISSUED FOR DP RE-SUB
02 | 2020.03.19 ISSUE FOR DP
01 | 2019.04.19 ISSUE FOR REZONING

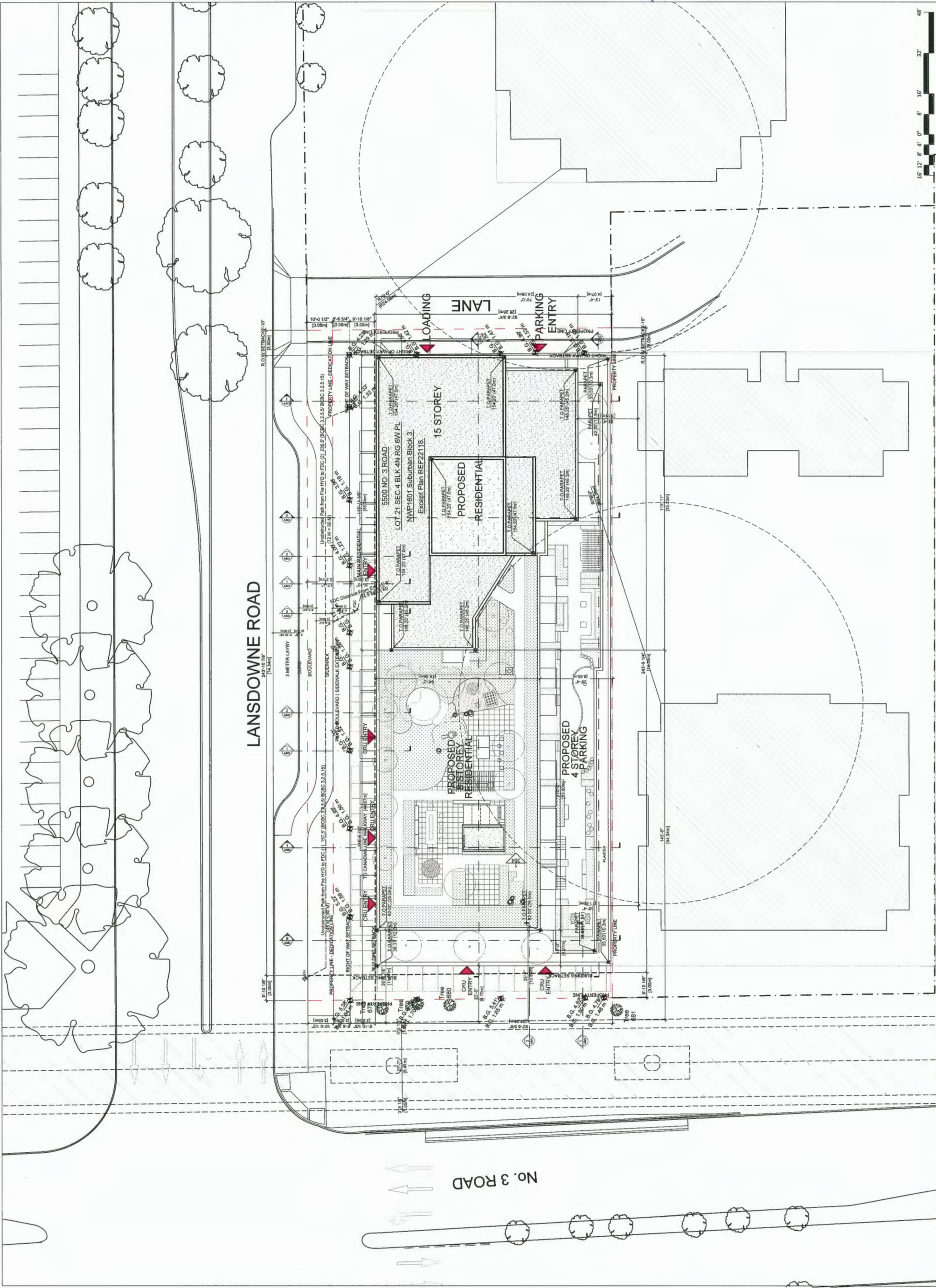
Revisions
YYYY-MM-DD

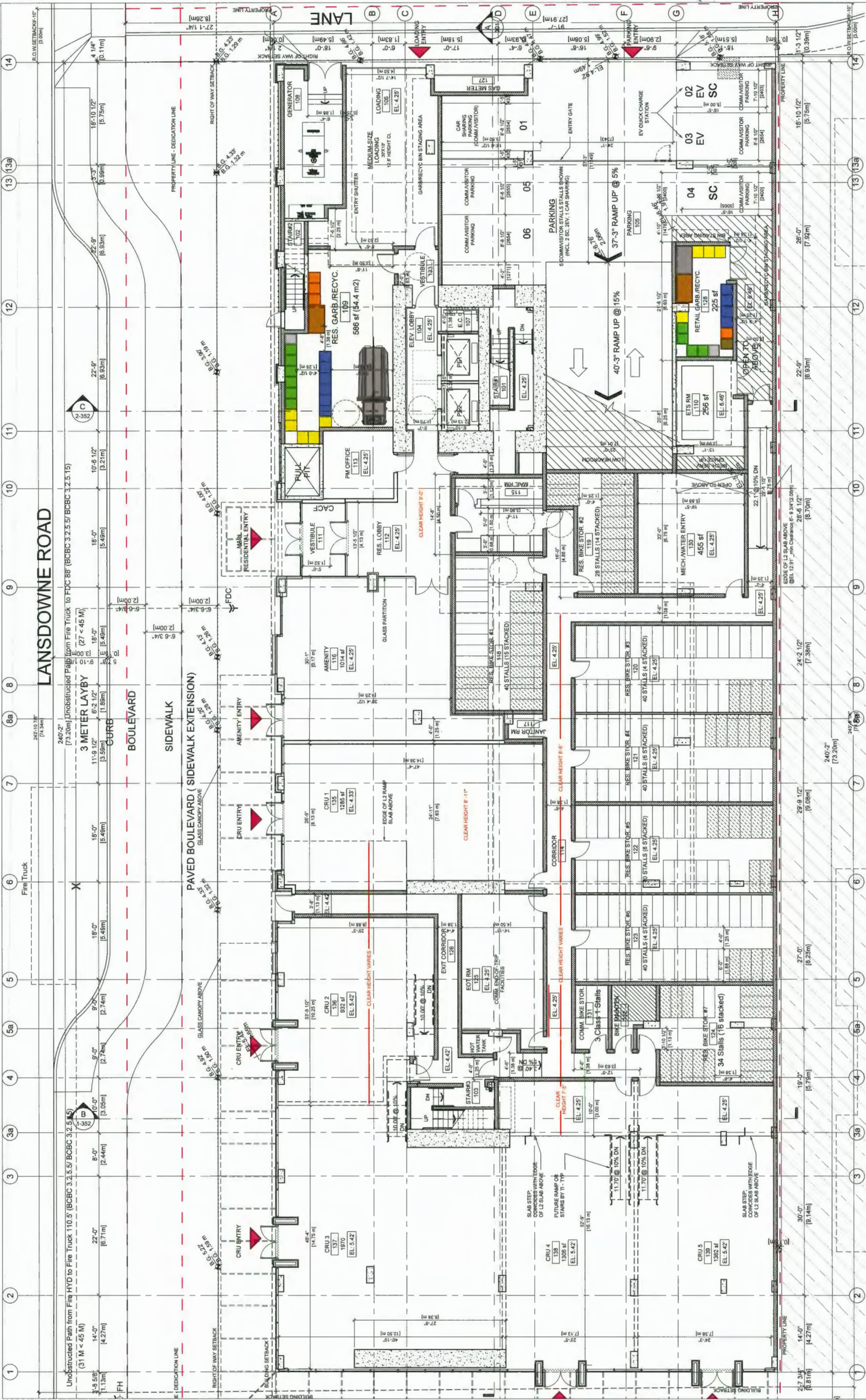


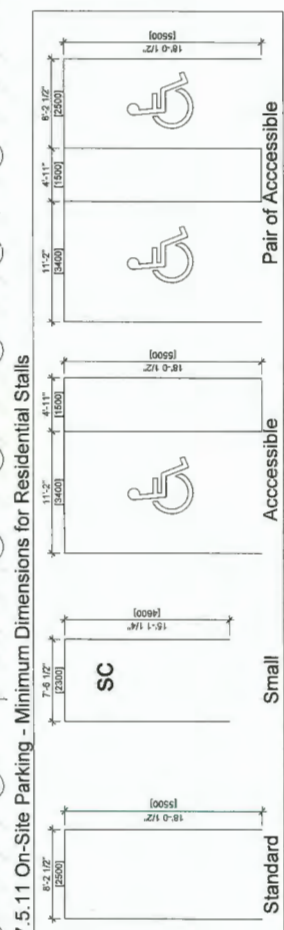
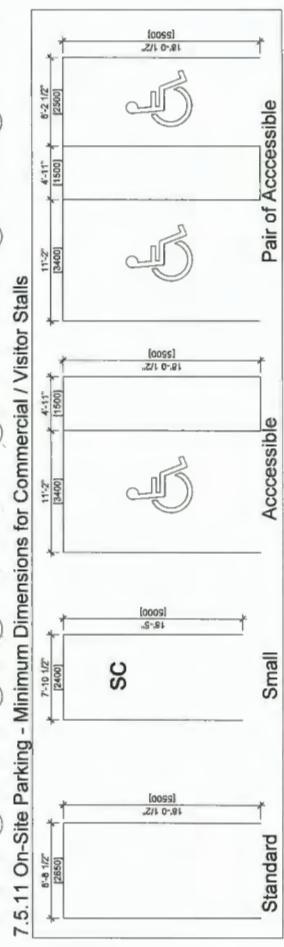
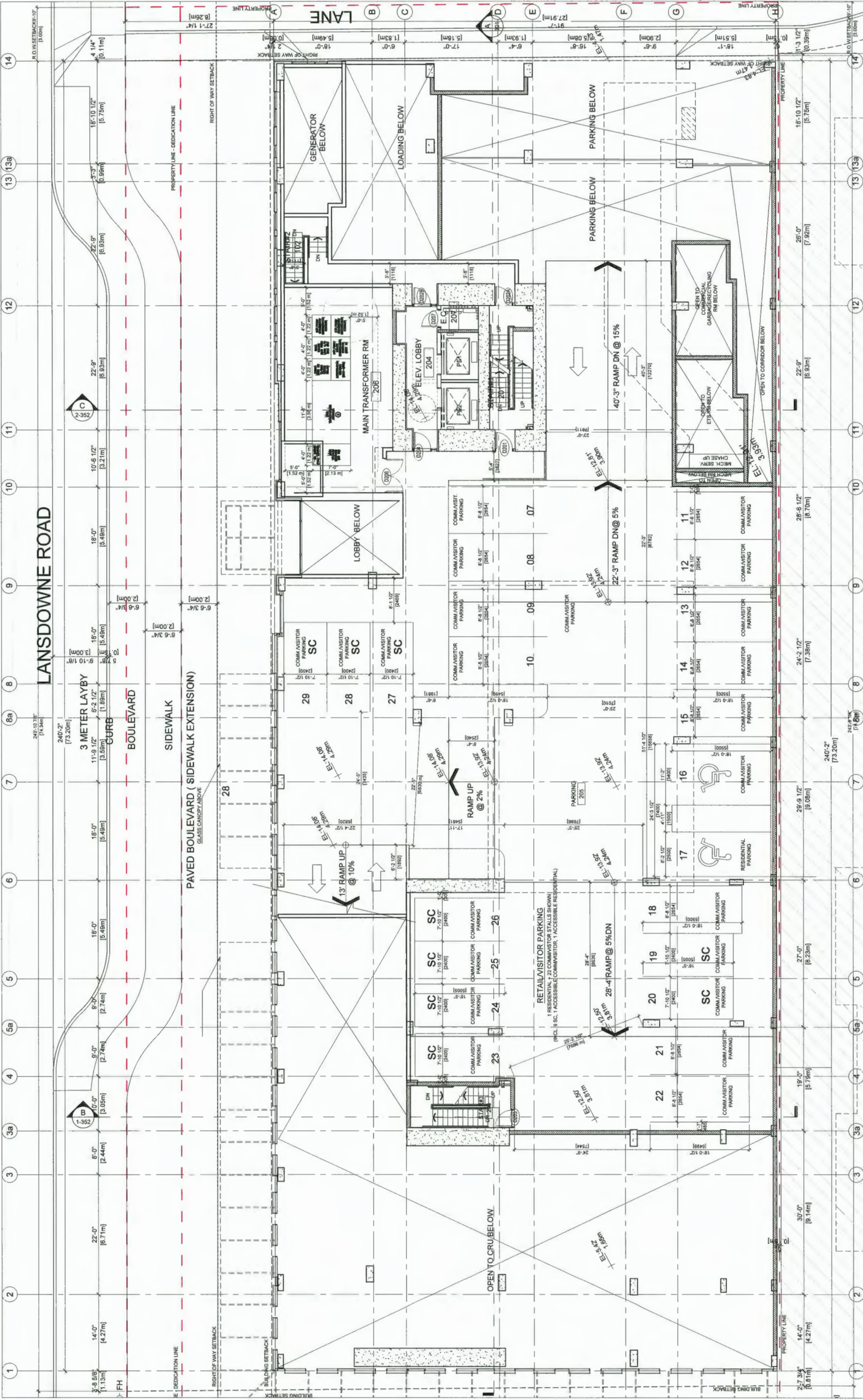
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RESIDENTIAL
BUILDING
5500 No. 3 Rd.
RICHMOND, BC
Project

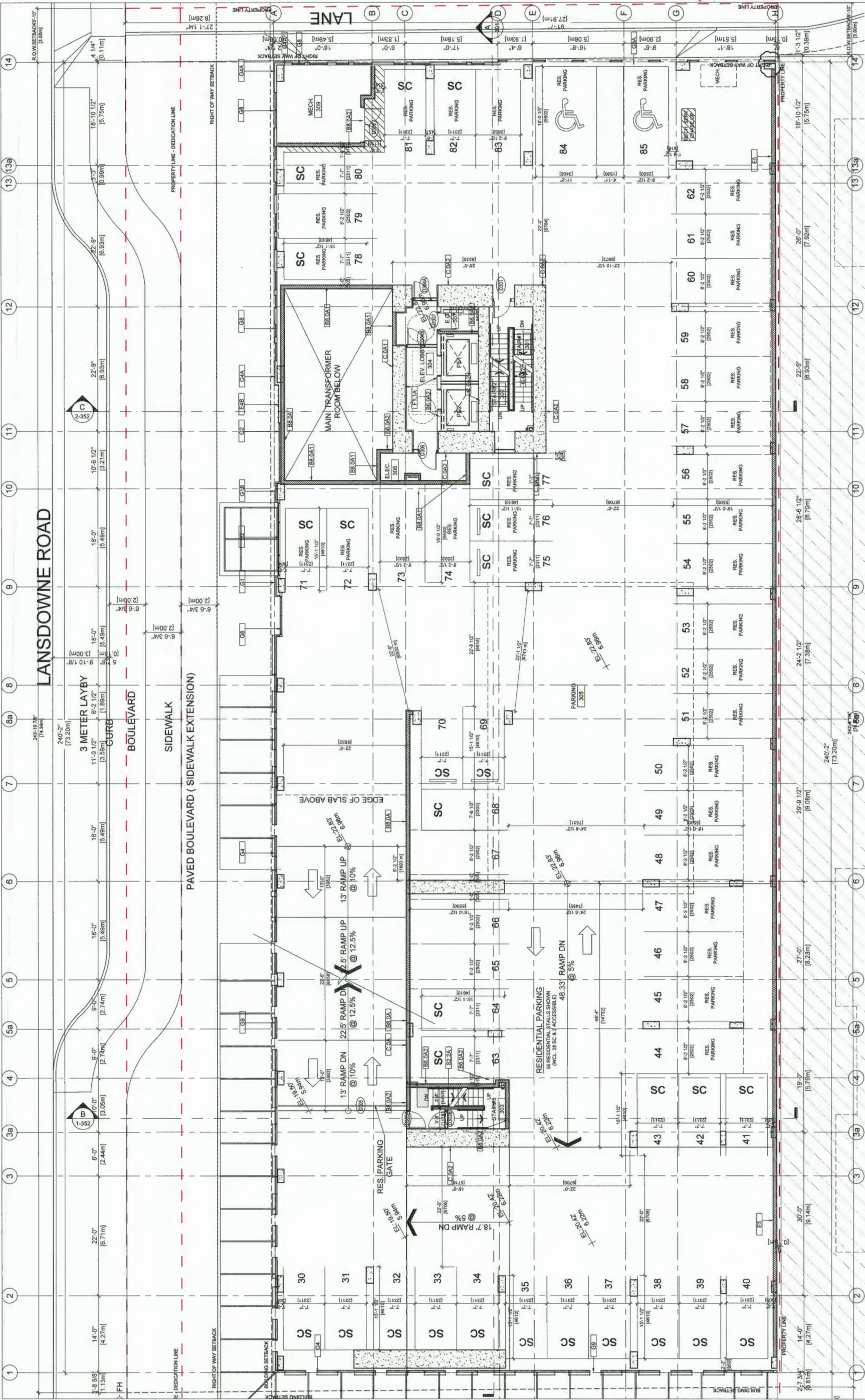
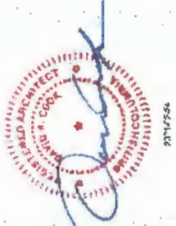
SITE PLAN

Drawing
Scale
1/16" = 1'-0"
Project
218029
Sheet
A106

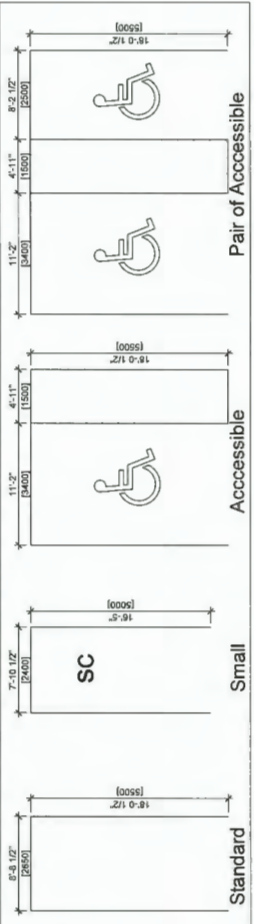




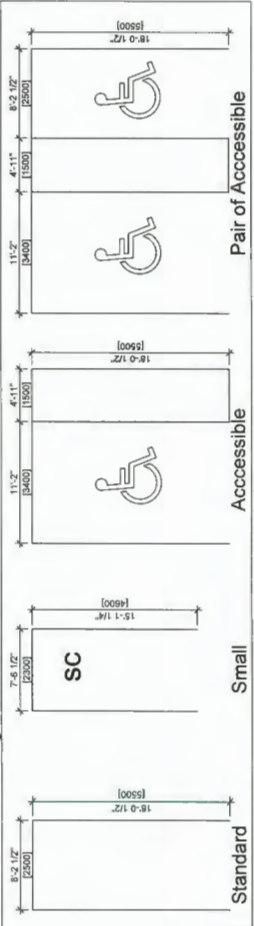


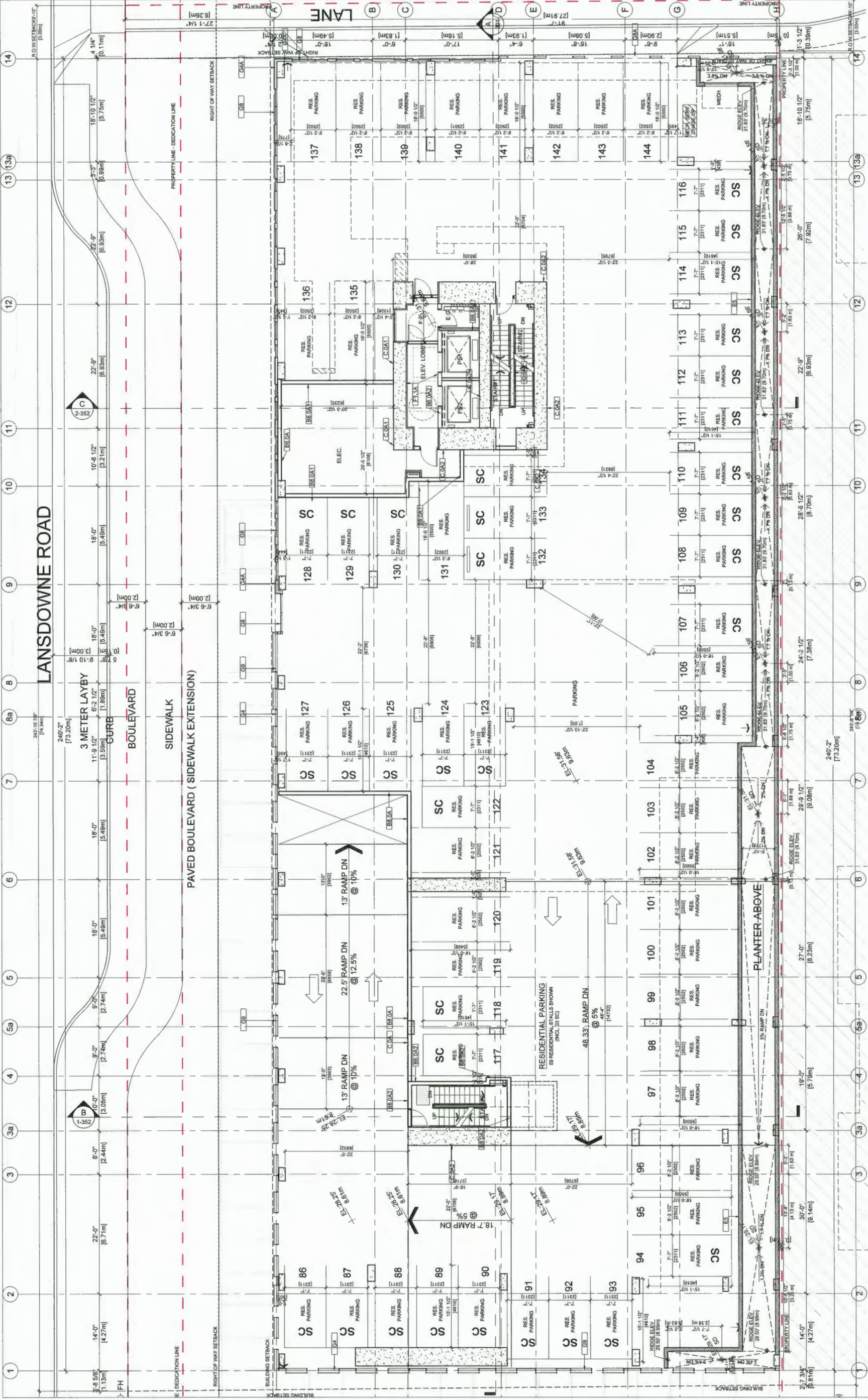


7.5.11 On-Site Parking - Minimum Dimensions for Commercial / Visitor Stalls

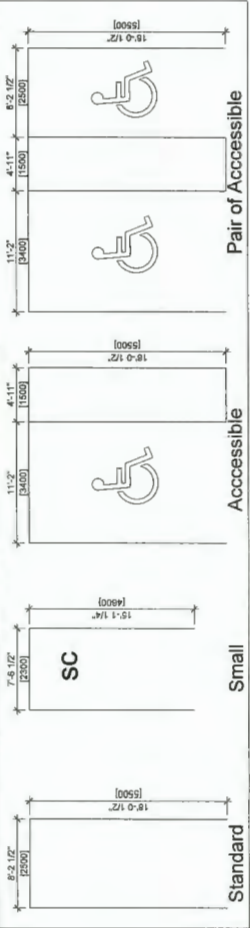


7.5.11 On-Site Parking - Minimum Dimensions for Residential Stalls

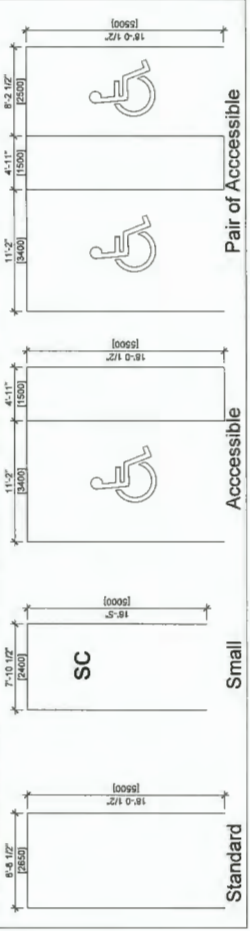


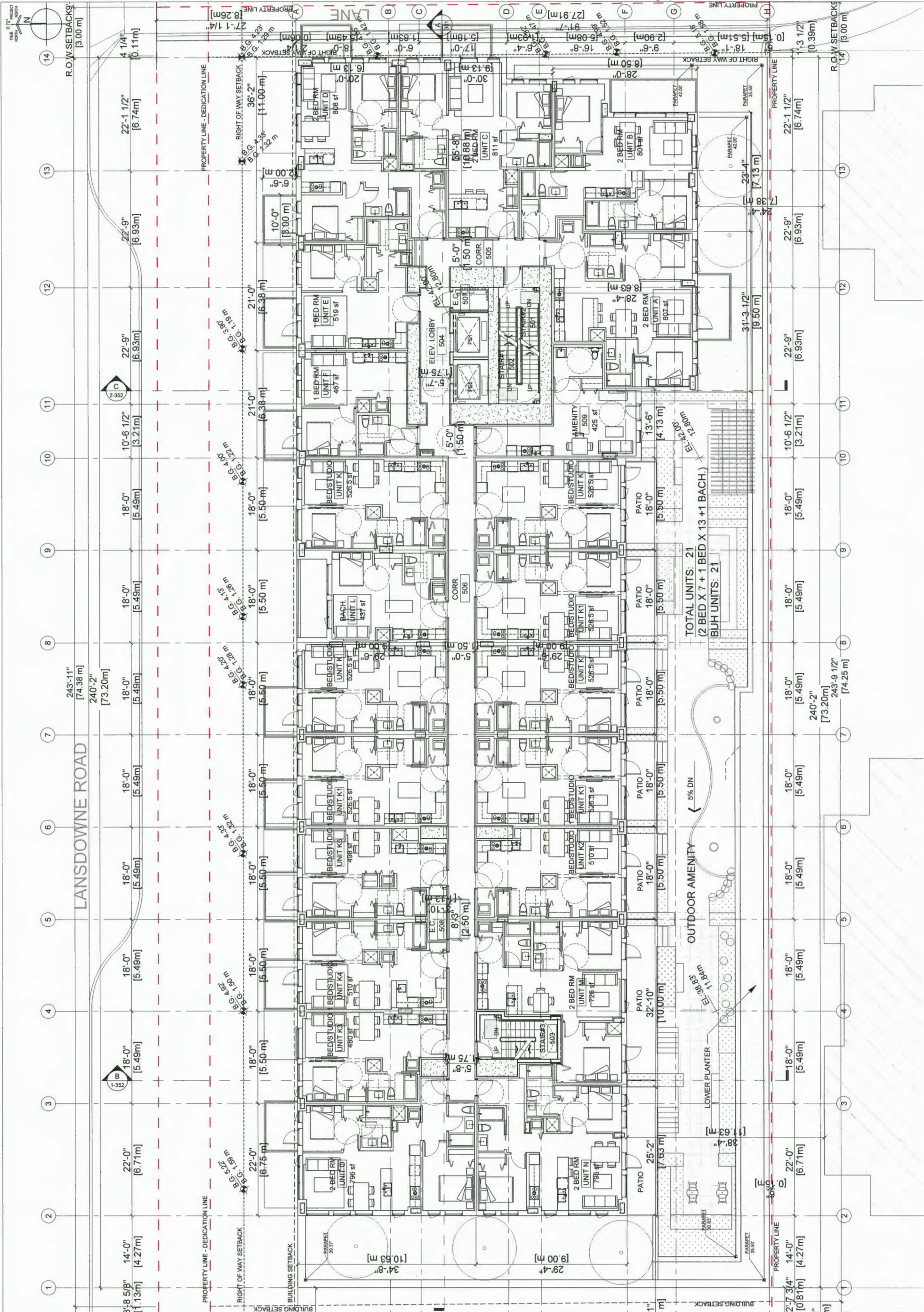


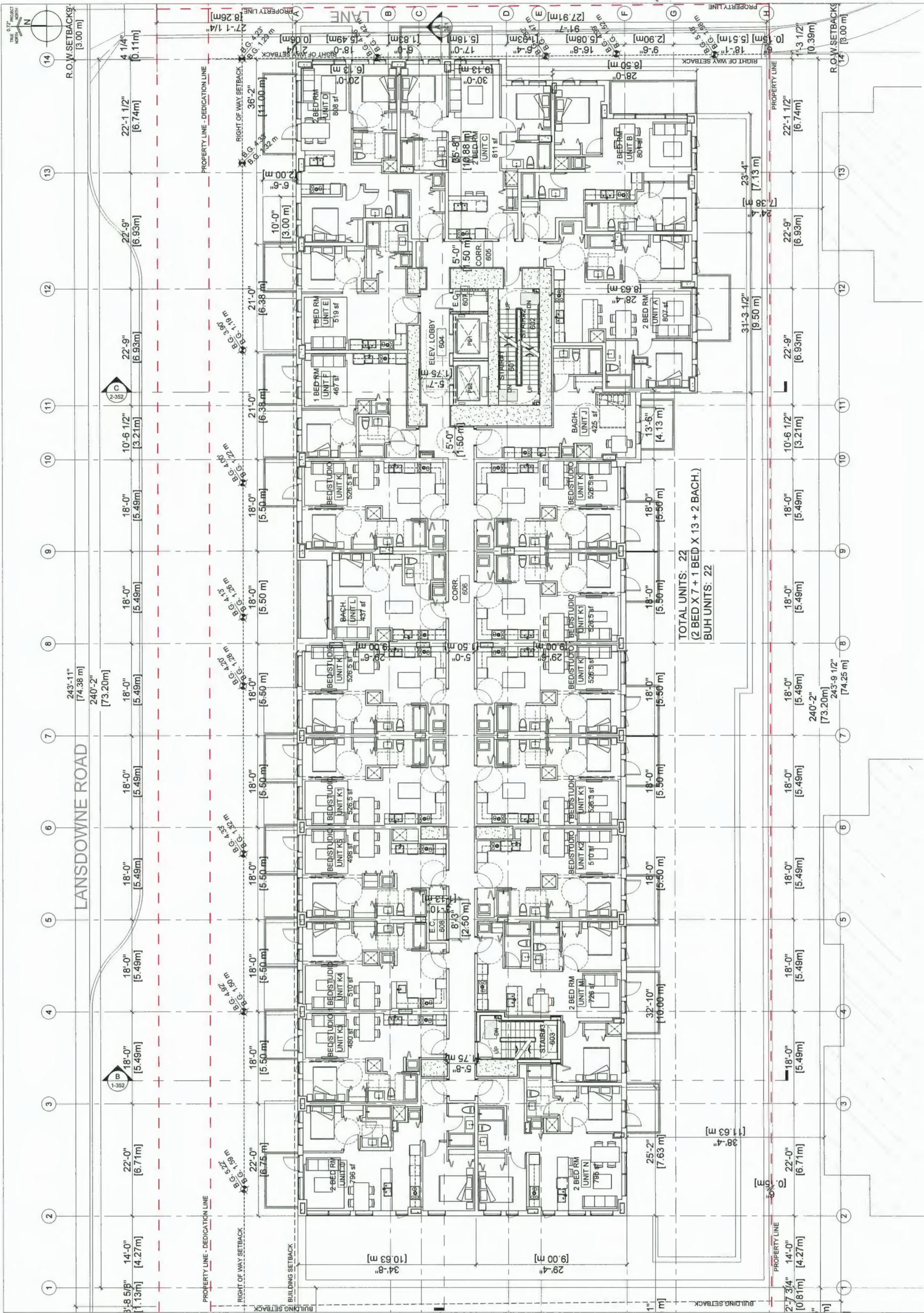
7.5.11 On-Site Parking - Minimum Dimensions for Residential Stalls

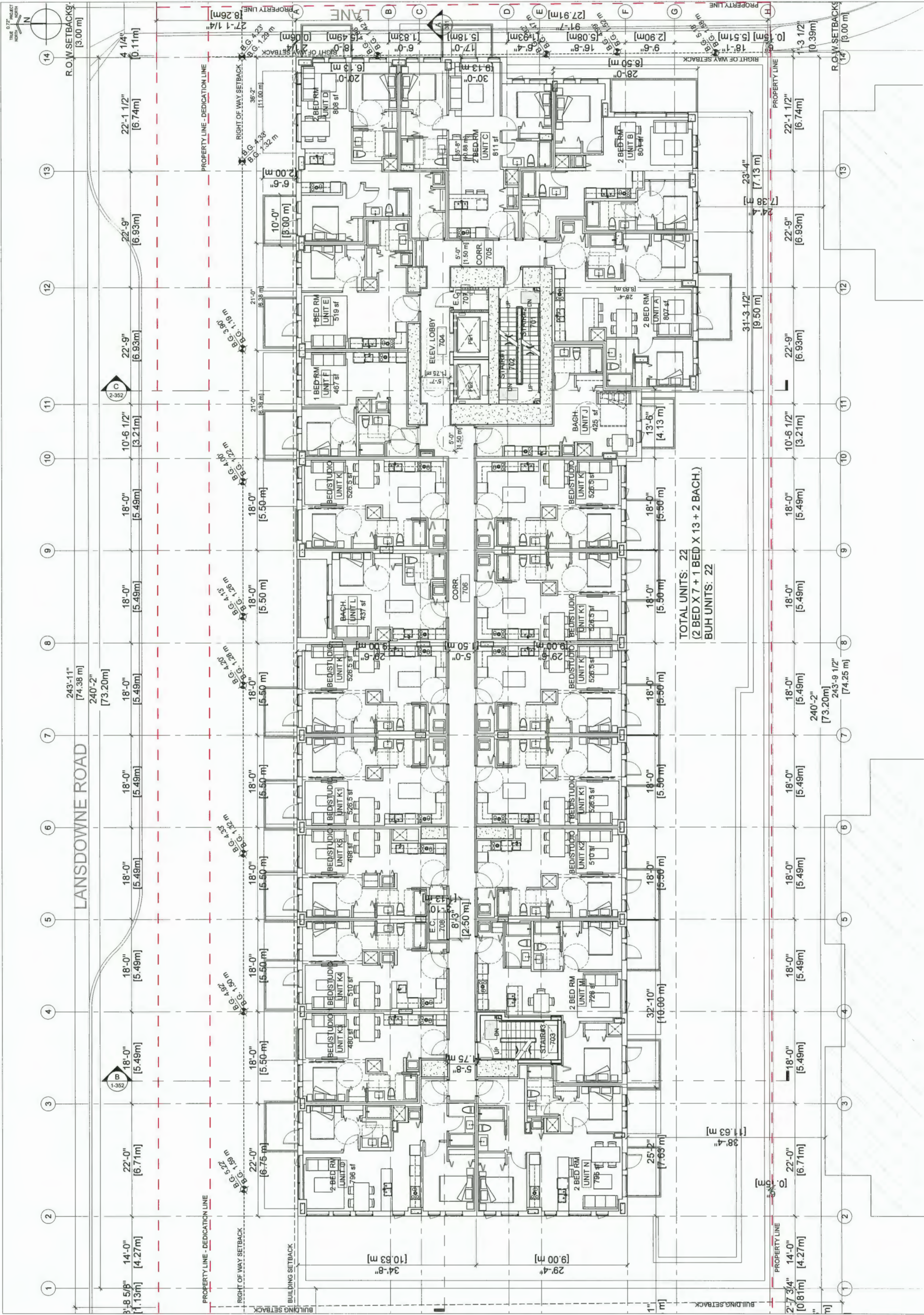


7.5.11 On-Site Parking - Minimum Dimensions for Commercial / Visitor Stalls











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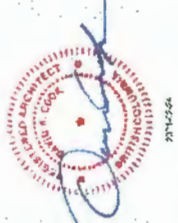
Architects Designers Planners
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1065 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
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Headwater
HEADWATER PROJECTS

Plan #11
DP 20-896600
March 1, 2021

01 | 2021.01.18 ISSUE FOR DP RE-SUB
02 | 2020.03.19 ISSUE FOR DP
03 | 2020.04.19 ISSUE FOR REZONING

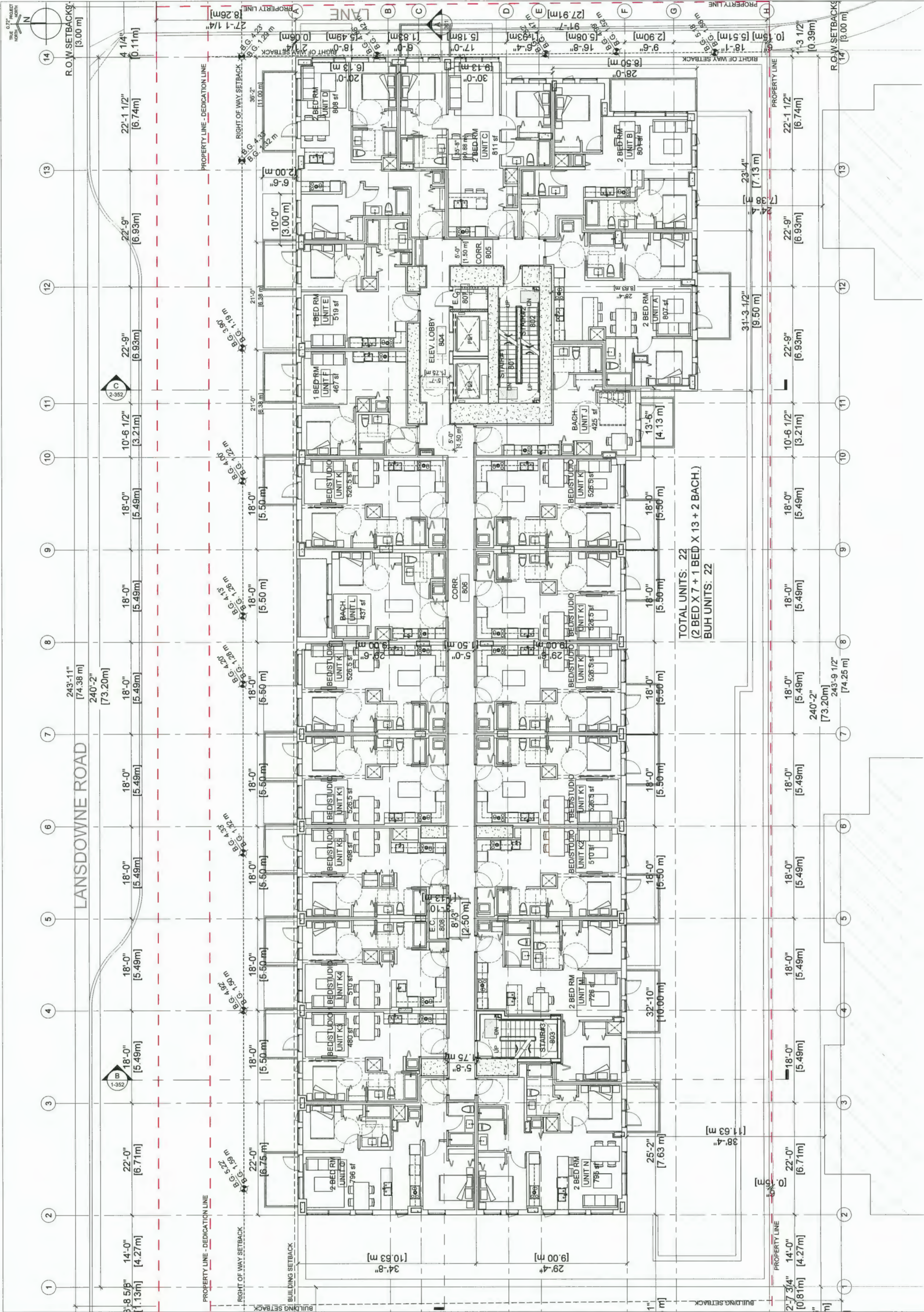
Revisions
YYY-AMM-00

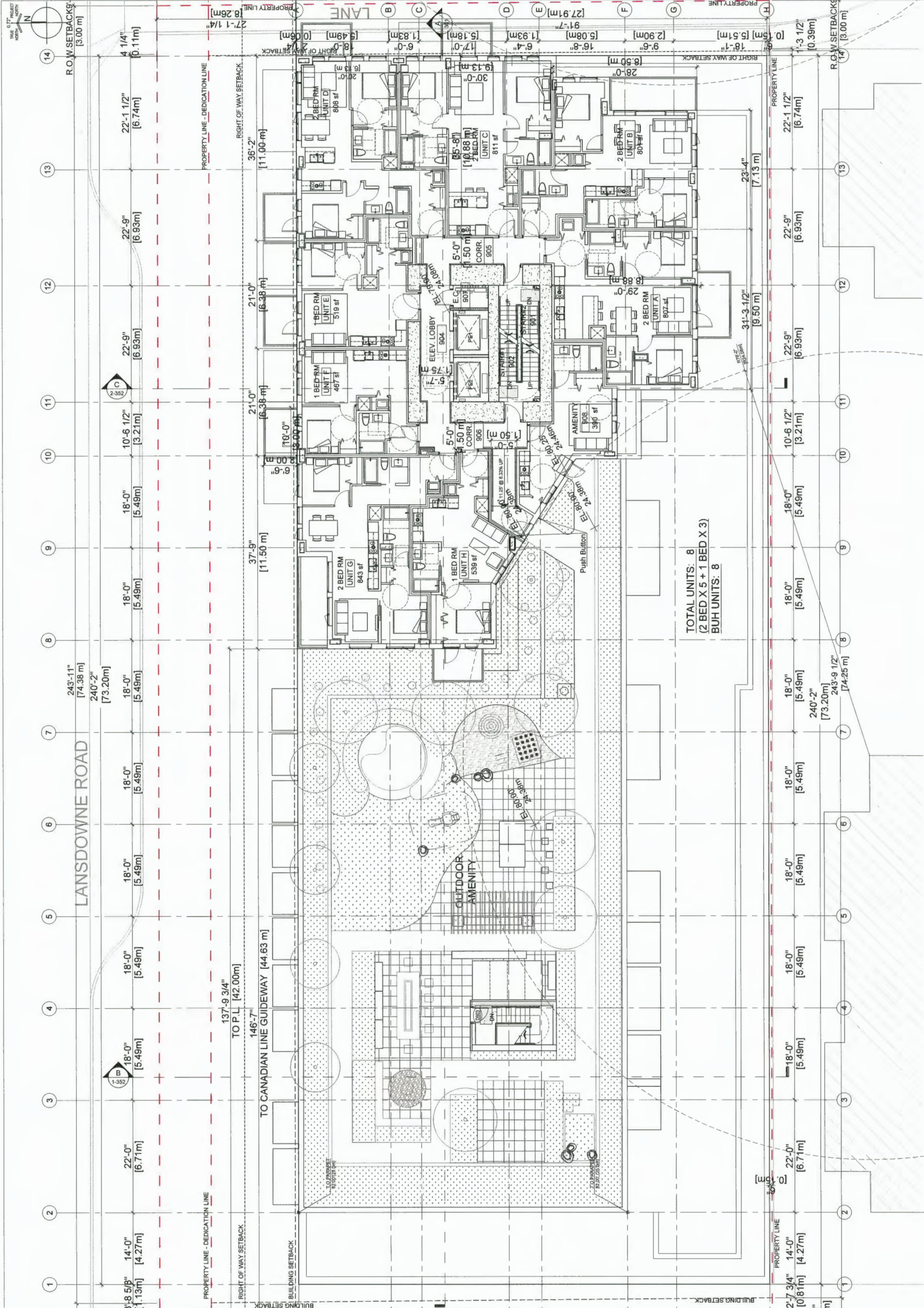


MIXED USE
RENTAL
RESIDENTIAL
BUILDING
5500 No. 3 Rd.
RICHMOND, BC
Project

L8 FLOOR
PLAN

Drawing
Scale
Project
Sheet
1/16" = 1'-0"
218029
A208.







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Mackey
Partnership

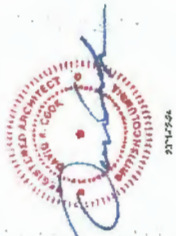
Architects Designers Planners
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Suite 1900
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F: 604.682.1771
MCMPartnership.com

Headwater
HEADWATER PROJECTS

Plan #13
DP 20-896600
March 1, 2021

03 | 2021.01.18 ISSUE FOR DP RE-SUB
02 | 2020.03.12 ISSUE FOR DP
01 | 2019.04.18 ISSUE FOR RECORDING

Revisions
YYYY-MM-DD



MIXED USE
RENTAL
RESIDENTIAL
BUILDING

5500 No. 3 Rd.
RICHMOND, BC
Project

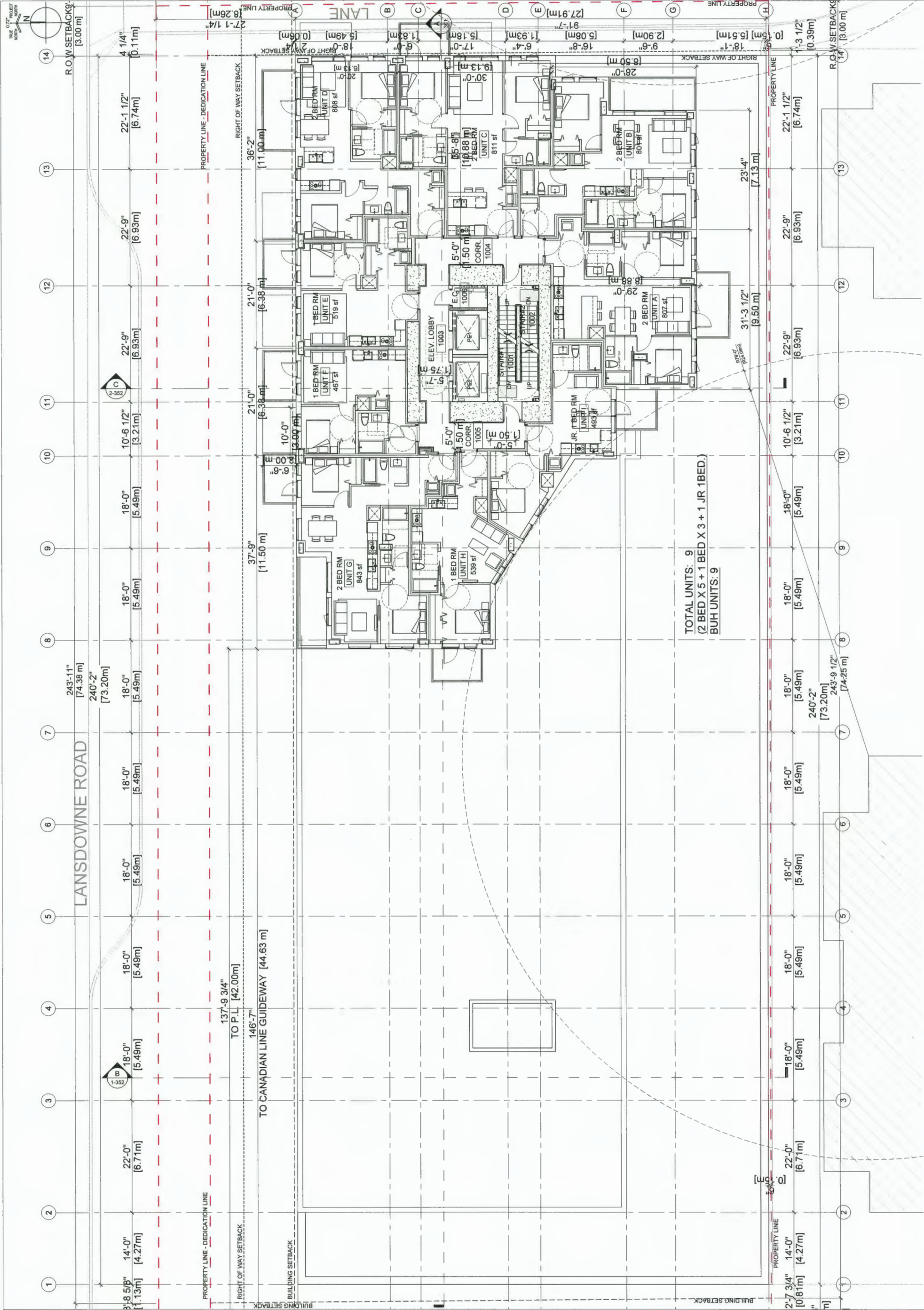
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PLAN

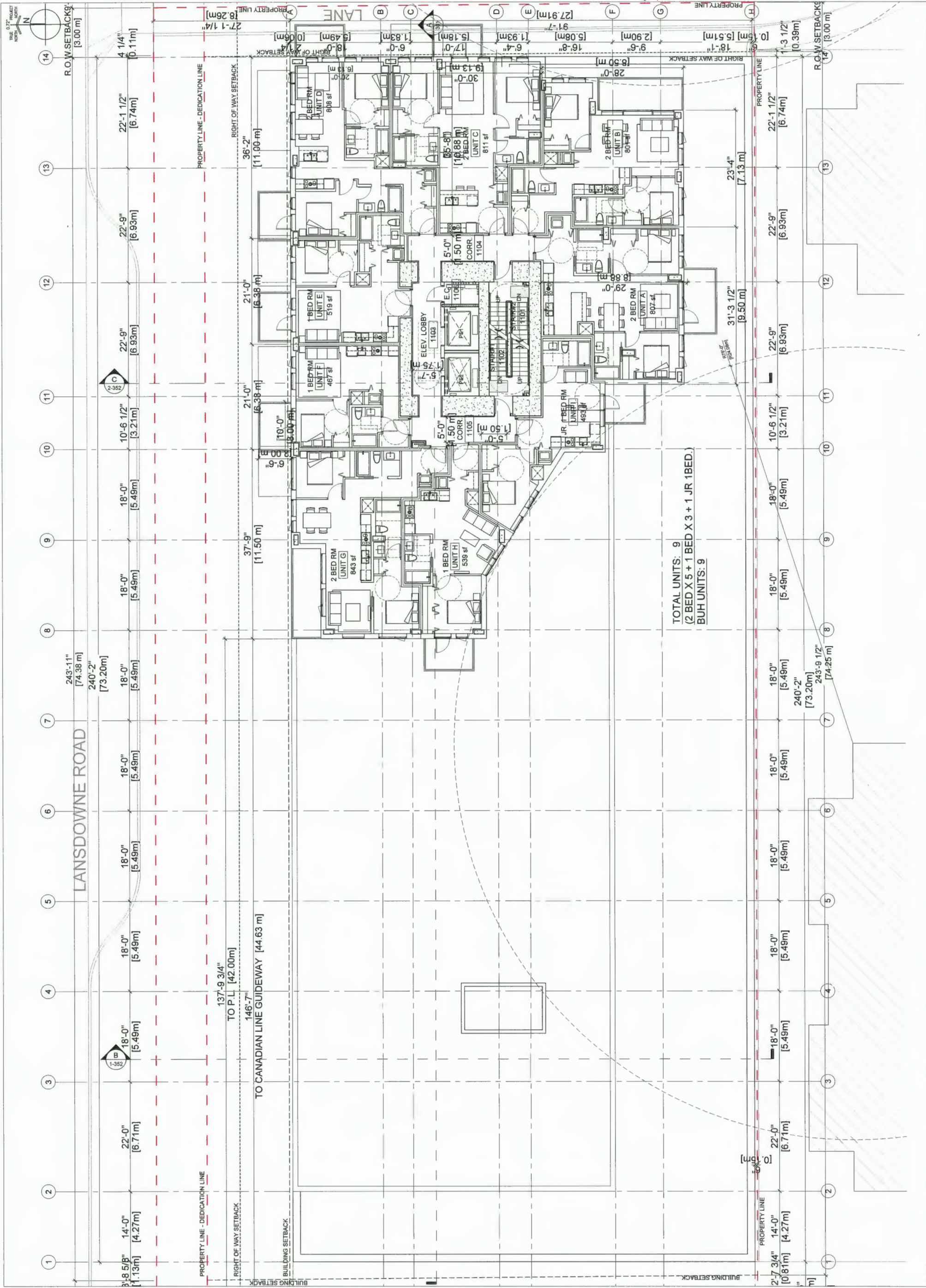
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Scale
Project
Sheet

1/16" = 1'-0"

218029

A210.





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Mackey
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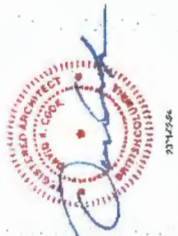
Architects Designers Planners
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Vancouver, British Columbia
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Headwater
HEADWATER PROJECTS

Plan #14
DP 20-896600
March 1, 2021

01 | 2021.01.18 ISSUE FOR DP RE-SUB
02 | 2020.03.13 ISSUE FOR DP
03 | 2020.04.18 ISSUE FOR RECONING

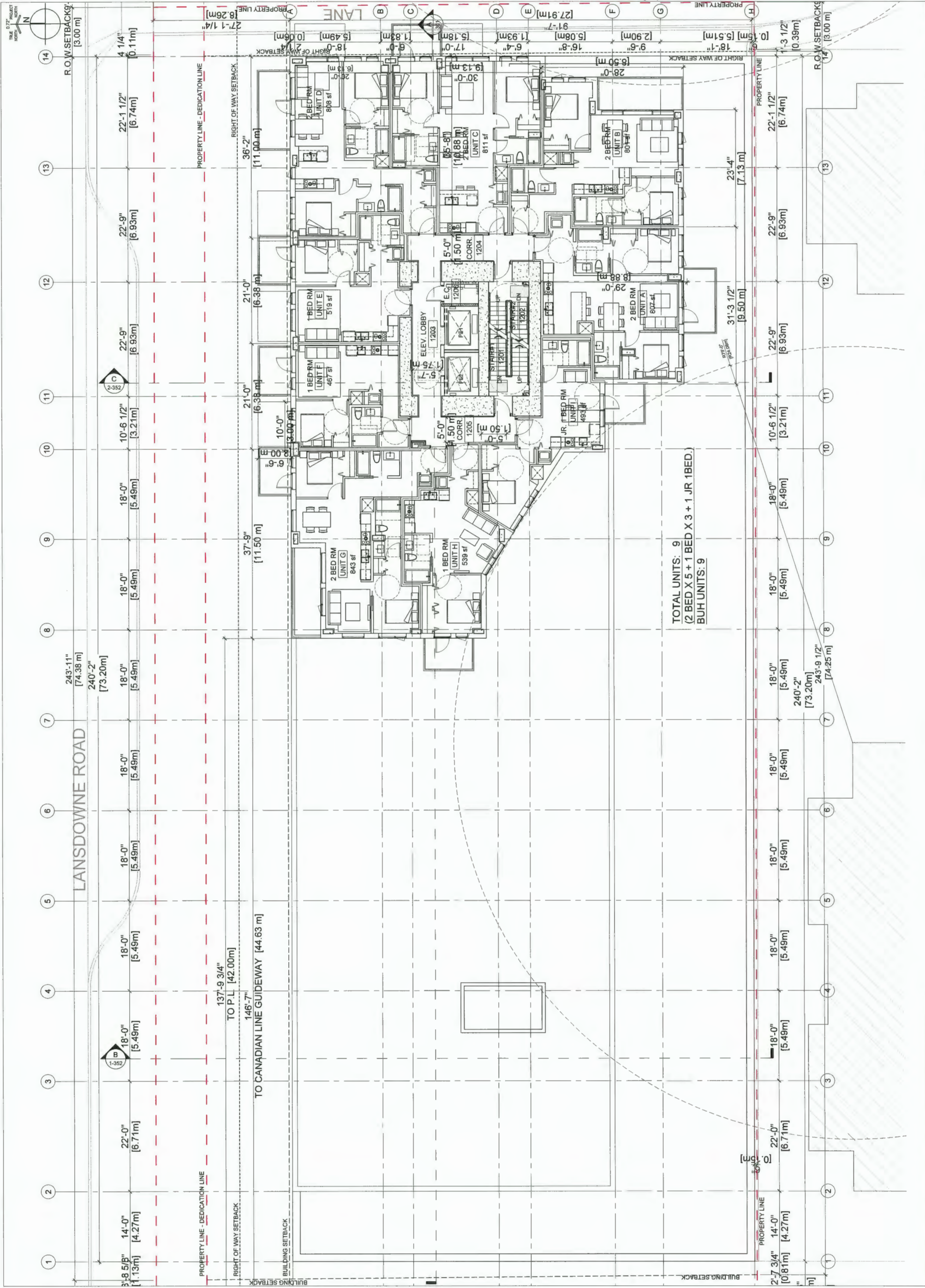
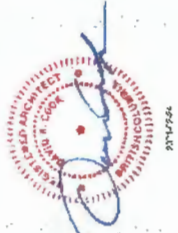
Revisions
YYY-MM-DD



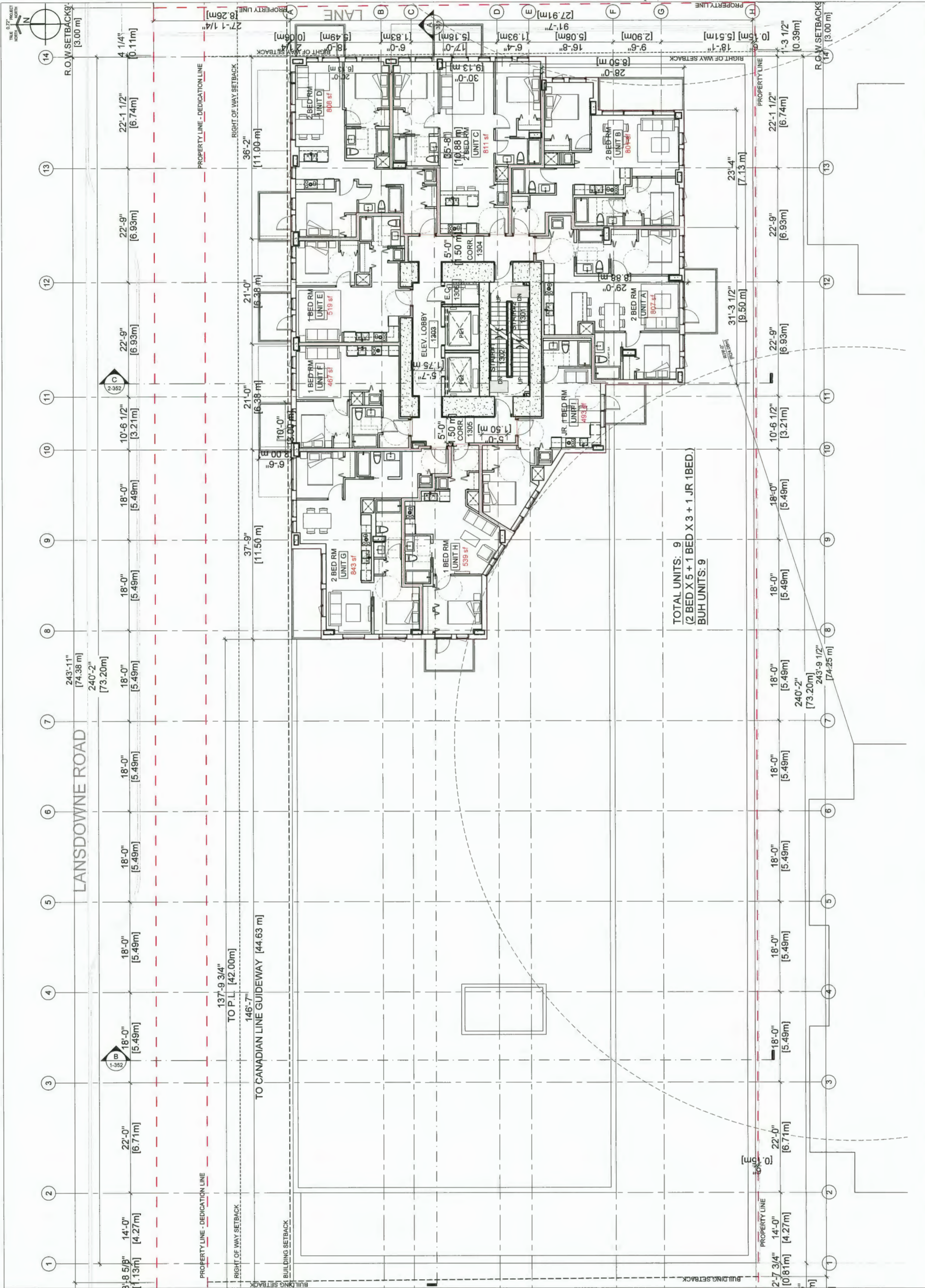
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RESIDENTIAL
BUILDING
5500 No. 3 Rd.
RICHMOND, BC
Project

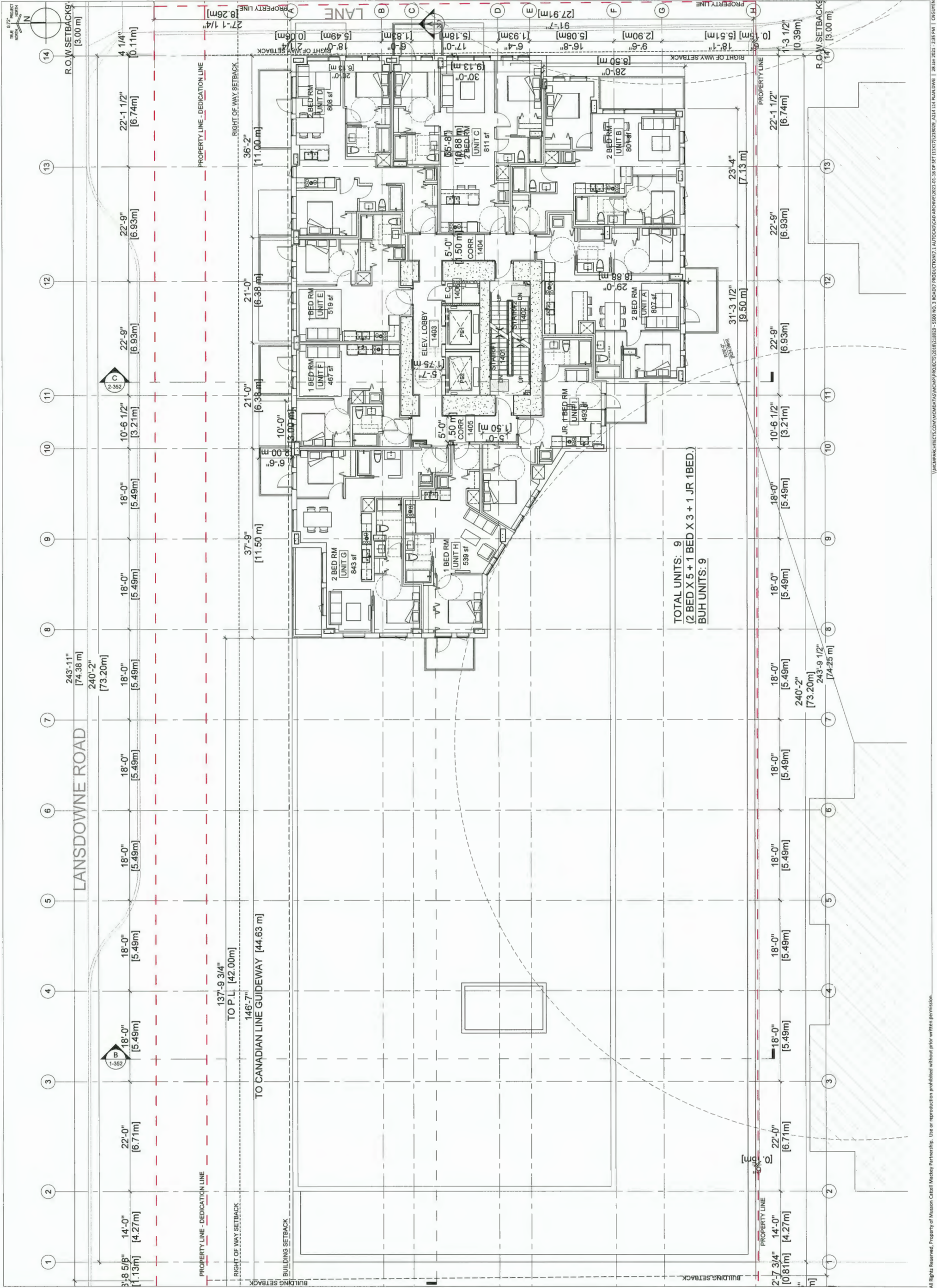
L11 FLOOR
PLAN

Drawing
Scale
1/16" = 1'-0"
Project
218029
Sheet
A211.



TOTAL UNITS: 9
(2 BED X 5 + 1 BED X 3 + 1 JR 1BED.)
BUH UNITS: 9





**Musson
Cattell
Mackey
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Plan #17
DP 20-896600
March 1, 2021

03 | 2021.01.18 ISSUE FOR DP RE-SUB
02 | 2020.03.11 ISSUE FOR DP
01 | 2019.04.18 ISSUE FOR REZONING

Revisions
YYY-MM-DD



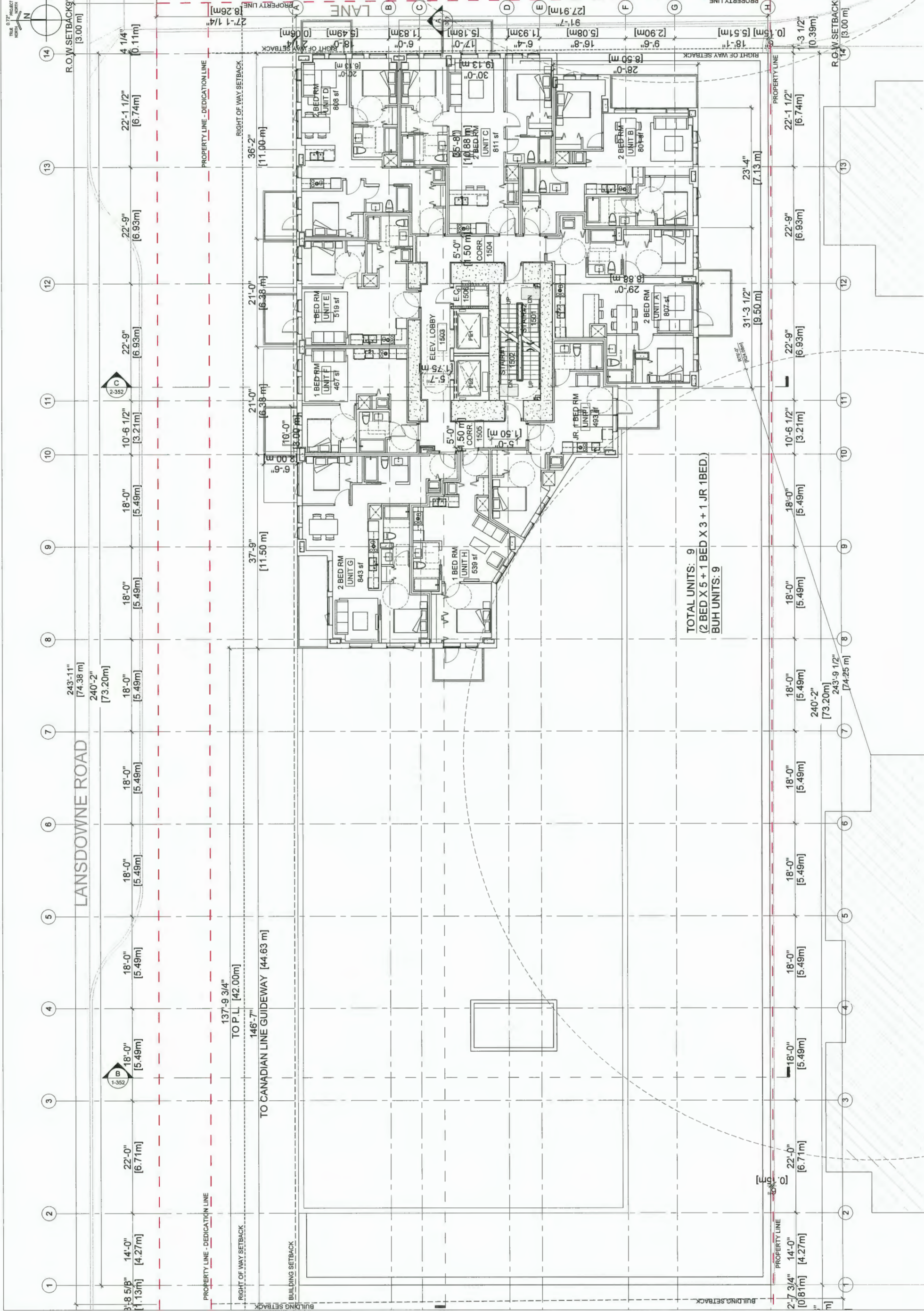
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RENTAL
RESIDENTIAL
BUILDING**

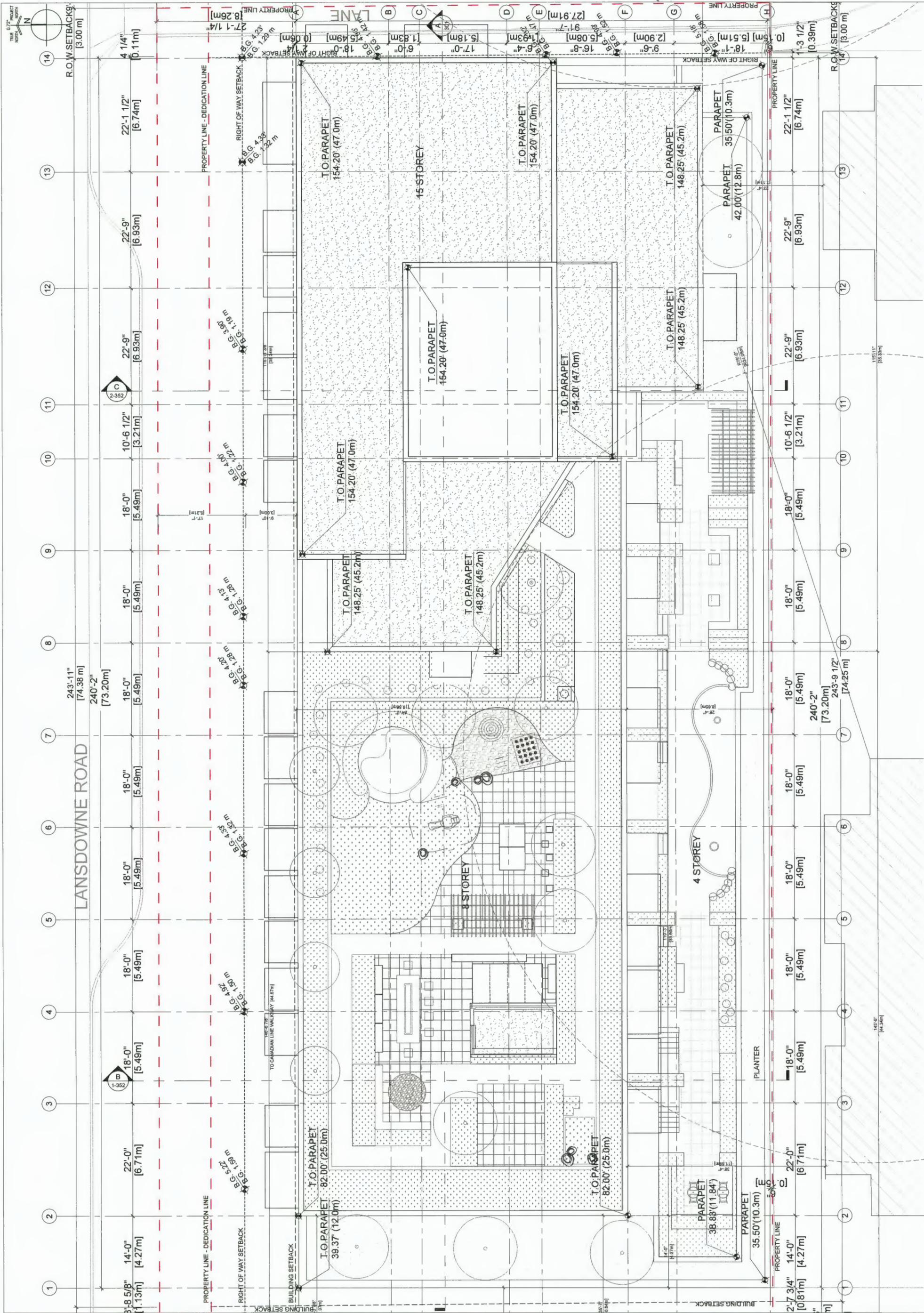
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RICHMOND, BC

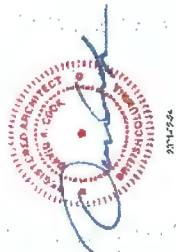
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**L14 FLOOR
PLAN**

Drawing
Scale
1/16" = 1'-0"
Project
218029
Sheet
A214.







Seal

MIXED USE
RENTAL
RESIDENTIAL
BUILDING

5500 No. 3 Rd.
RICHMOND, BC

Project

COLOUR
ELEVATION
NORTH

Drawing

Scale 1/32" = 1'-0"

Project 218029

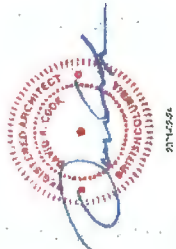
Sheet A304.



1 BUILDING NORTH ELEVATION
A304 SCALE: 1/16" = 1'-0"

MATERIAL LEGEND

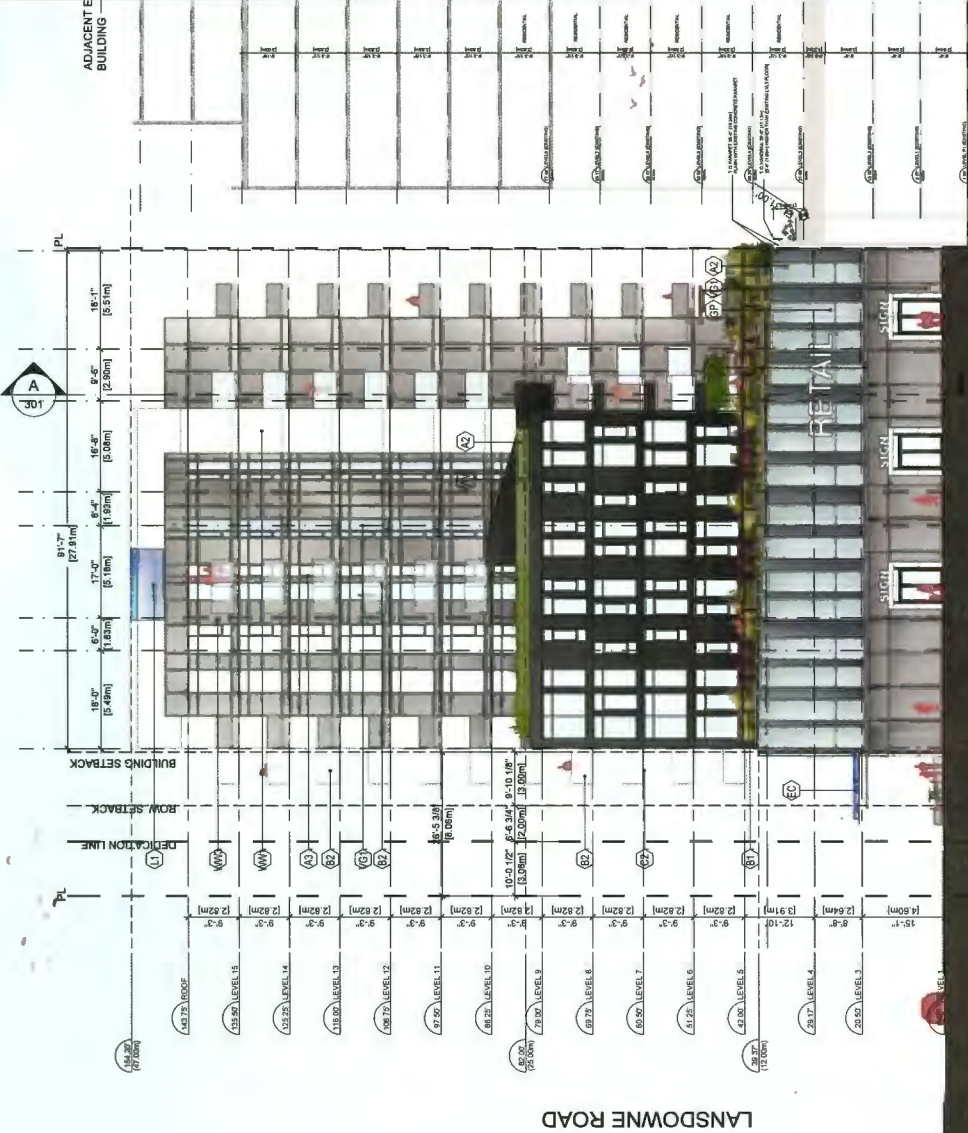
(A1) Window Wall System - Mullion (Bone White)	(W1) Window Wall System-Raised Metal Panel - Bone White	(B1) Wired Mesh Guardrail with Metal Rails and Posts
(A2) Window Wall System - Mullion (Charcoal Grey)	(W2) Window Wall System-Raised Metal Panel - Charcoal Grey	(B2) Glass Guardrail with Metal Rails and Posts
(A3) Window Wall System - Mullion (Light Gray)	(W3) Window Wall System - Glass Spandrel - Light Gray	(B3) Steel-Glass Juliette Balcony
(G1) Window Wall Double Glazing Vision Glass	(C1) Concrete Wall	(C4) Glass Canopy /Metal Frame - Light Gray
(L1) Metal Louver Screen -Light Blue-Gray	(C2) Painted Concrete (w/ balcony slab) - Various Blue	(E1) Entry Glass Canopy /Metal Frame - Blue
(SM) Standing Seam Metal Panel - Various Blue	(S1) Light Grey Natural Granite Retail Storefront Columns	(GP) Translucent Glass Panel screen in front of Solid Spandrel Panel - complete assembly to be 100% opaque



1. BUILDING SOUTH ELEVATION
SCALE: 1/16\"/>

MATERIAL LEGEND

(A1) Window Wall System - Mullion (Bone White)	(WW1) Window Wall System-Raised Metal Panel - Bone White	(G1) Wired Mesh Guardrail with Metal Rails and Posts.
(A2) Window Wall System - Mullion (Charcoal Gray)	(WW2) Window Wall System-Raised Metal Panel - Charcoal Gray	(G2) Glass Guardrail with Metal Rails and Posts.
(A3) Window Wall System - Mullion (Light Gray)	(WW3) Window Wall System - Glass Spandrel - Light Gray	(JB) Steel-Glass Juliette Balcony
(G3) Window Wall Double Glazing Vision Glass	(C1) Concrete Wall	(C4) Glass Canopy /Metal Frame - Light Gray
(L1) Metal Louver Screen -Light Blue-Gray	(C2) Painted Concrete (vis balcony slab) - Various Blue	(EC) Entry Glass Canopy /Metal Frame - Blue
(SM) Standing Seam Metal Panel - Various Blue	(S1) Light Grey Natural Granite Retail Storefront Columns	(GP) Translucent Glass Panel screen in front of Solid Spandrel Panel - complete assembly to be 100% opaque



2 BUILDING WEST ELEVATION
A306. SCALE: 1/16" = 1' - 0"

MATERIAL LEGEND		
	Window Wall System - Mullion (Bone White)	Window Wall System-Raised Metal Panel - Bone White
	Window Wall System - Mullion (Charcoal Gray)	Window Wall System-Raised Metal Panel - Charcoal Gray
	Window Wall System - Mullion (Light Gray)	Window Wall System - Glass Spandrel - Light Gray
	Window Wall Double Glazing Vision Glass	Concrete Wall
	Metal Lower Screen -Light Blue-Gray	Painted Concrete (1/8 balcony slab) - Various Blue
	Standing Seam Metal Panel - Various Blue	Light Grey Natural Granite Retail Storefront Columns
		Window Wall System-Raised Metal Panel - Bone White
		Window Wall System-Raised Metal Panel - Charcoal Gray
		Window Wall System - Glass Spandrel - Light Gray
		Concrete Wall
		Painted Concrete (1/8 balcony slab) - Various Blue
		Light Grey Natural Granite Retail Storefront Columns
		Wired Mesh Guardrail with Metal Rails and Posts.
		Glass Guardrail with Metal Rails and Posts.
		Steel-Glass Juliette Balcony
		Glass Canopy /Metal Frame - Light Gray
		Entry Glass Canopy /Metal Frame - Blue
		Translucent Glass Panel screen in front of Solid Spandrel Panel - complete assembly to be 100% opaque



2 BUILDING EAST ELEVATION
A305. SCALE: 1/16" = 1' - 0"



Wired Mesh Guardrail with Metal Rails
and Posts

B1



Window Wall System-Raised Metal Panel
- Charcoal Grey

WW2



Window Wall System-Glass Spandrel
- Light Grey

WW3



Window Wall System-Raised Metal Panel
- Bone White

WW1



Metal Louver Screen (Light Blue-Grey)

L1



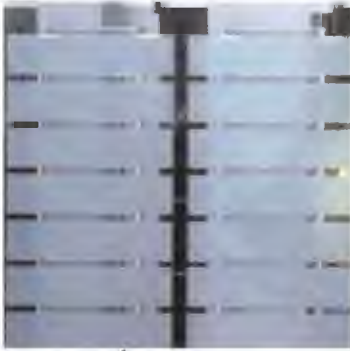
Printed Concrete (Various Blue Color)

C2



Glass Guardrail with metal rail and posts

B2



Translucent Glass Panels in front of Spandrel

GP

NOTE:
IMAGE FOR TRANSLUCENT GLASS PANEL MATERIAL
(REFERENCE ONLY)
PROPOSED BUILDING WILL USE SOLID WINDOW WALL METAL
PANELS TO ENCLOSE ENTIRE PARKING LEVELS BEHIND
TRANSLUCENT GLASS PANELS



Glass Canopy/Metal Frame (Light Grey)

CA



Glass Canopy/Metal Frame (Blue)

EC



Light Grey Natural Granite Retail
Storefront Columns

S1



Standing Seam Metal Panel
(Various Blue Colors)

SM



Musson
Cattell
Mackey
Partnership

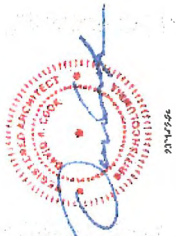
Architects Designers Planners
Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3K1
T: 604.682.2990
F: 604.682.1771
MCMPartnership.com



Plan #24
DP 20-896600
March 1, 2021

08 | 2021.01.18 ISSUE FOR DP RE-SUB
02 | 2020.03.15 ISSUE FOR DP
01 | 2019.04.15 ISSUE FOR RECONING

Revisions
YYYY-MM-DD



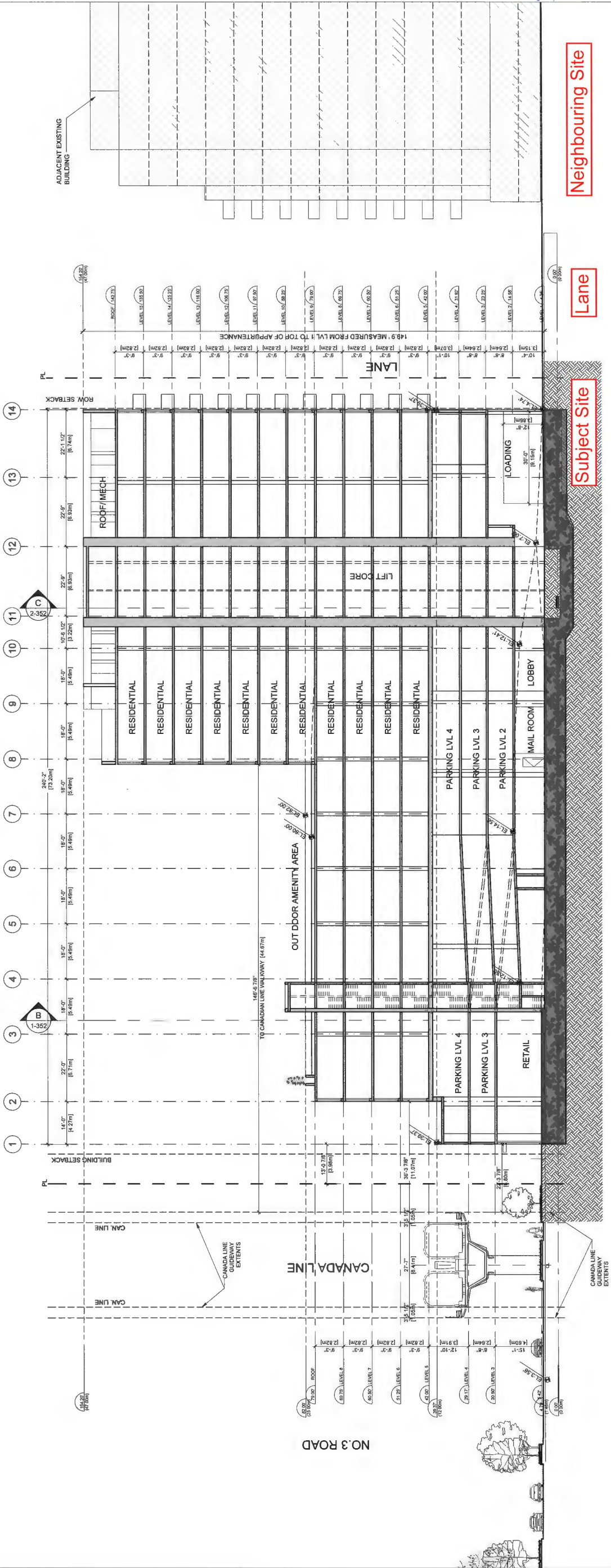
Seal

MIXED USE
RENTAL
RESIDENTIAL
BUILDING

5500 No. 3 Rd.
RICHMOND, BC
Project

SECTION
A

Drawing
Scale
1/8" = 1'-0"
Project
218029
Sheet
A351.



1. BUILDING SECTION A
A351, SCALE: 1/16" = 1'-0"



Musson
Cattell
Mackey
Partnership

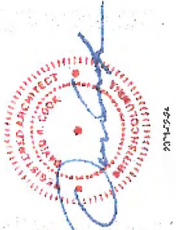
Architects Designers Planners
Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3A1
T: 604.687.2990
F: 604.687.1771
MCMPartners.com



Plan #25
DP 20-896600
March 1, 2021

08 | 2021.01.18 ISSUE FOR DP RE-SUB
12 | 2020.09.18 ISSUE FOR REVISIONS
01 | 2019.04.18 ISSUE FOR REZONING

Revisions
YYYY-MM-DD



Seal
974-2944

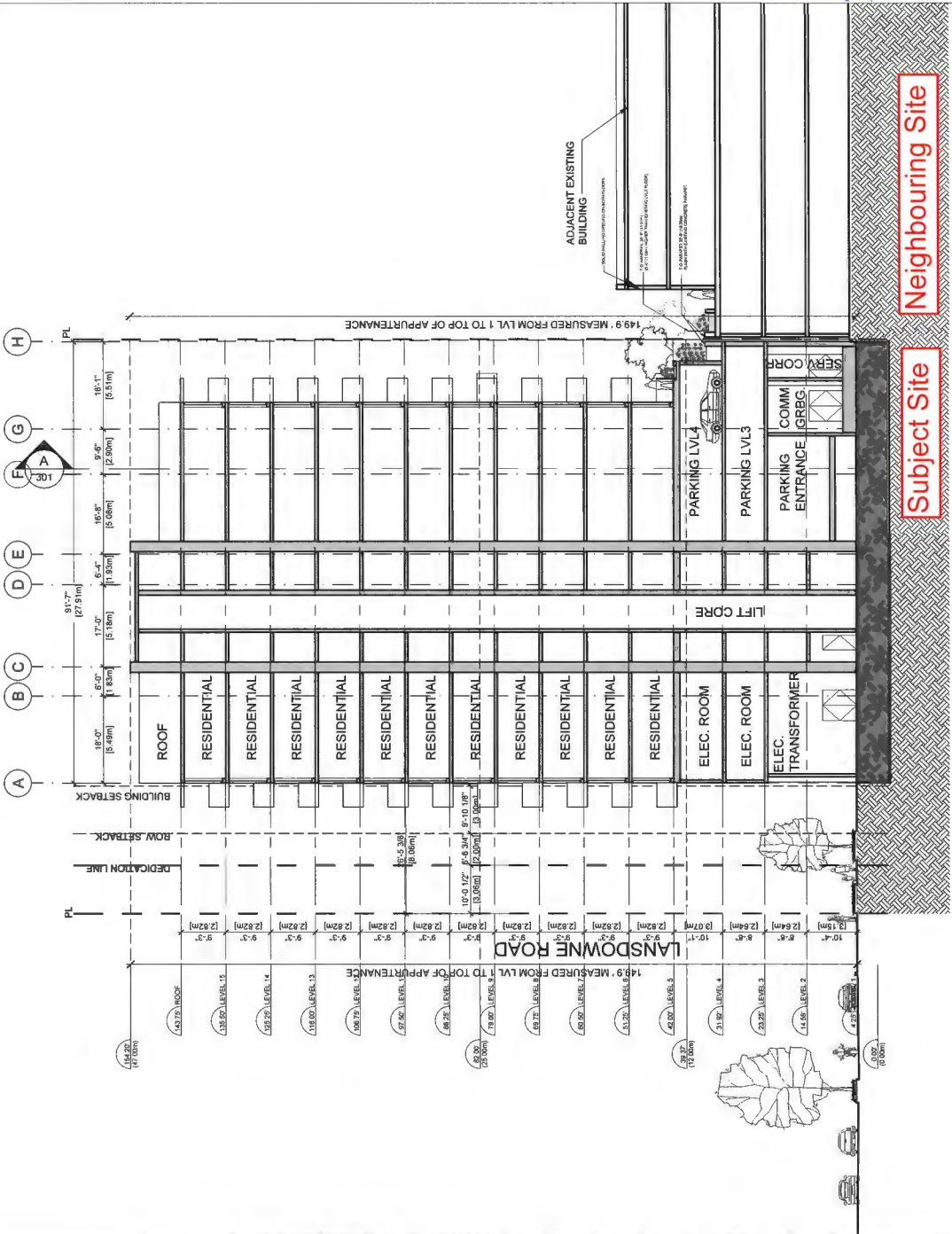
MIXED USE
RENTAL
RESIDENTIAL
BUILDING

5500 No. 3 Rd.
RICHMOND, BC

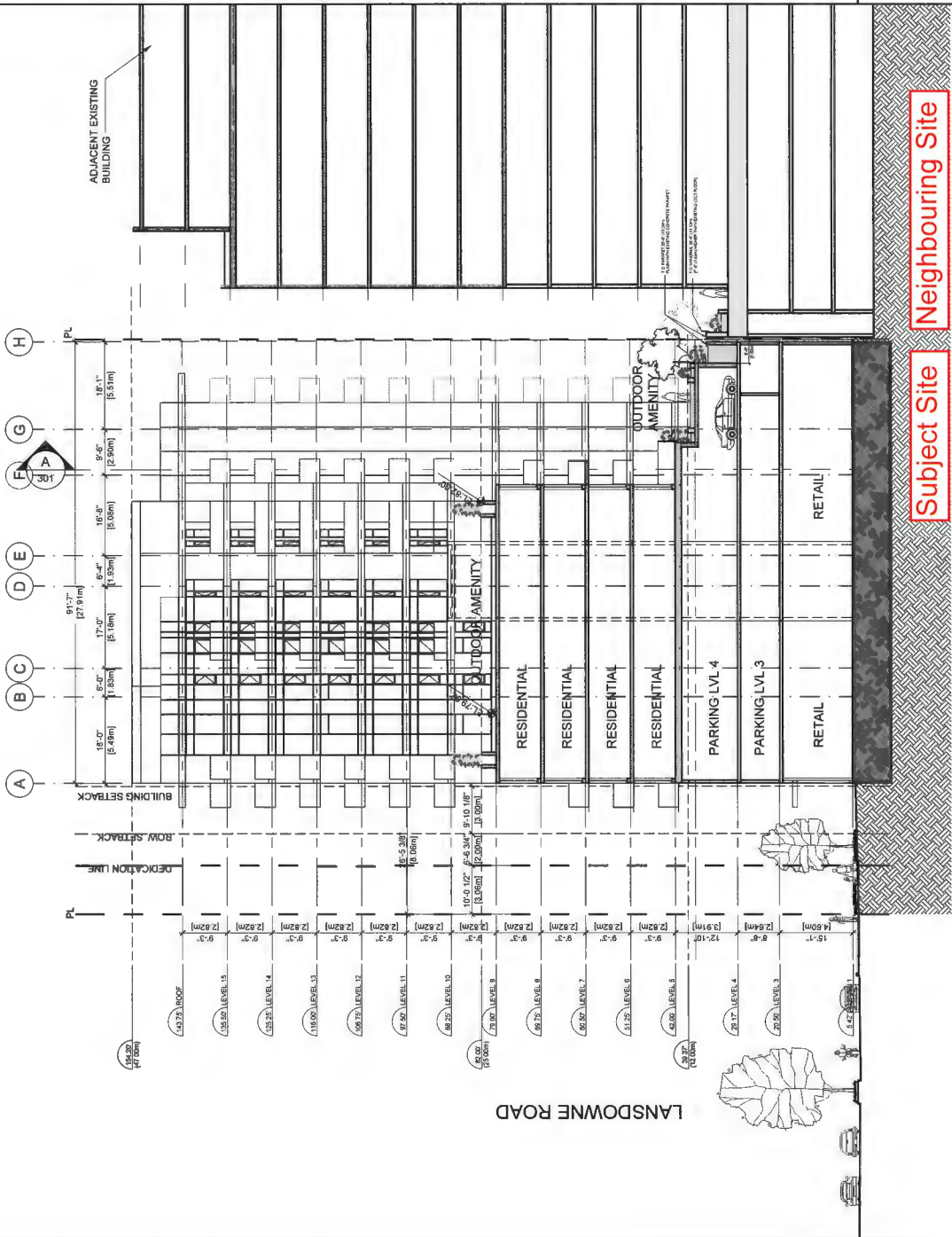
Project

SECTION
B & C

Drawing
Scale
1/8" = 1'-0"
Project
218029
Sheet
A352.



2 BUILDING SECTION C
A352 SCALE: 1/16" = 1'-0"



1 BUILDING SECTION B
A352 SCALE: 1/16" = 1'-0"



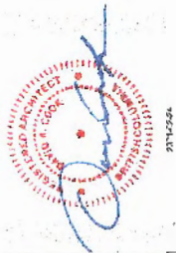
Musson
Cattell
Mackey
Partnership

Architects Designers Planners
Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T: 604.682.2990
F: 604.682.1771
MCMPartners.com

Headwater
HEADWATER PROJECTS

Plan #26
DP 20-896600
March 1, 2021

08 | 2021.01.18 ISSUE FOR DP RE-SUB
02 | 2020.03.13 ISSUE FOR DP
01 | 2019.04.18 ISSUE FOR REZONING
Revisions
YYY-MM-DD

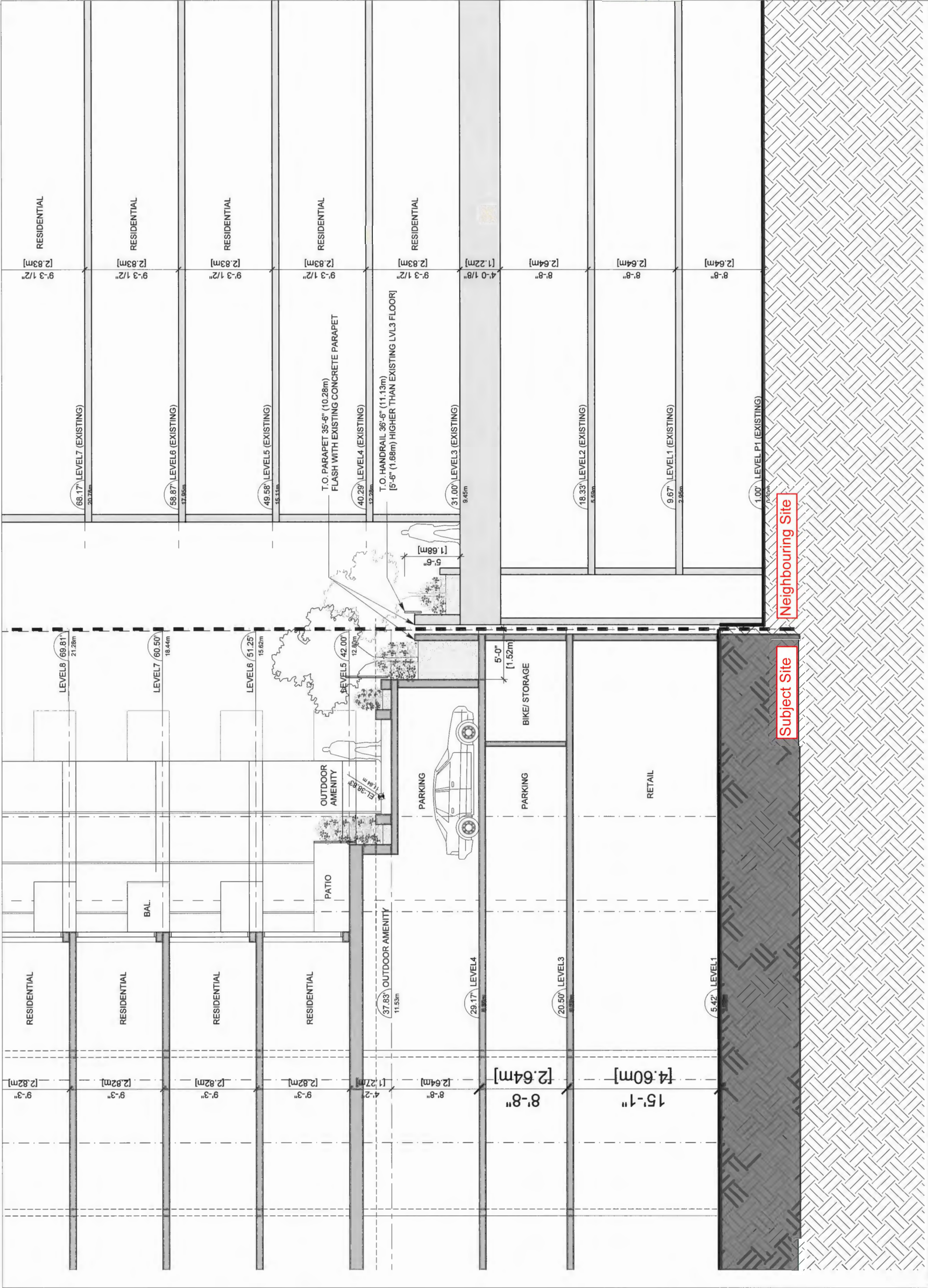


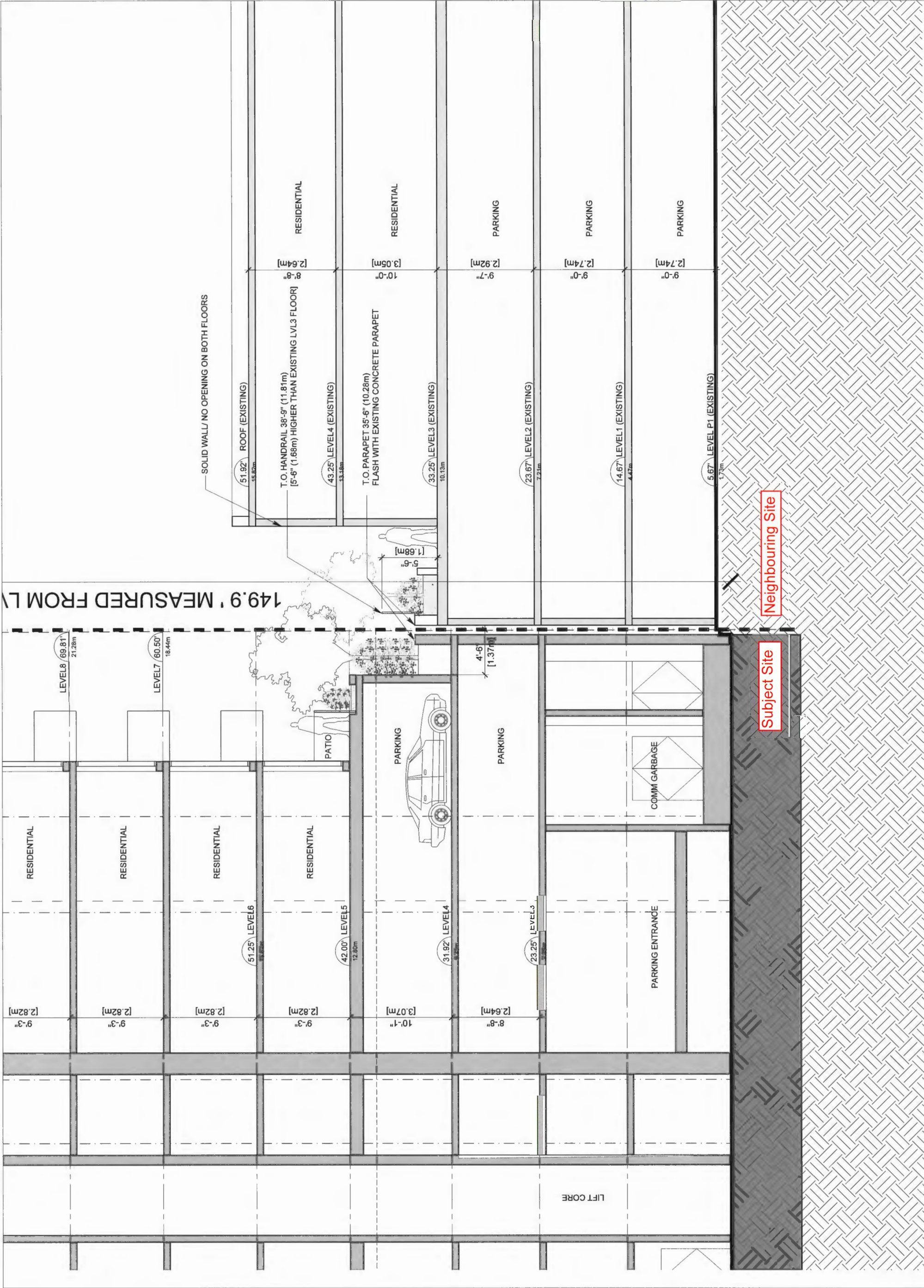
Seal
MIXED USE
RENTAL
RESIDENTIAL
BUILDING

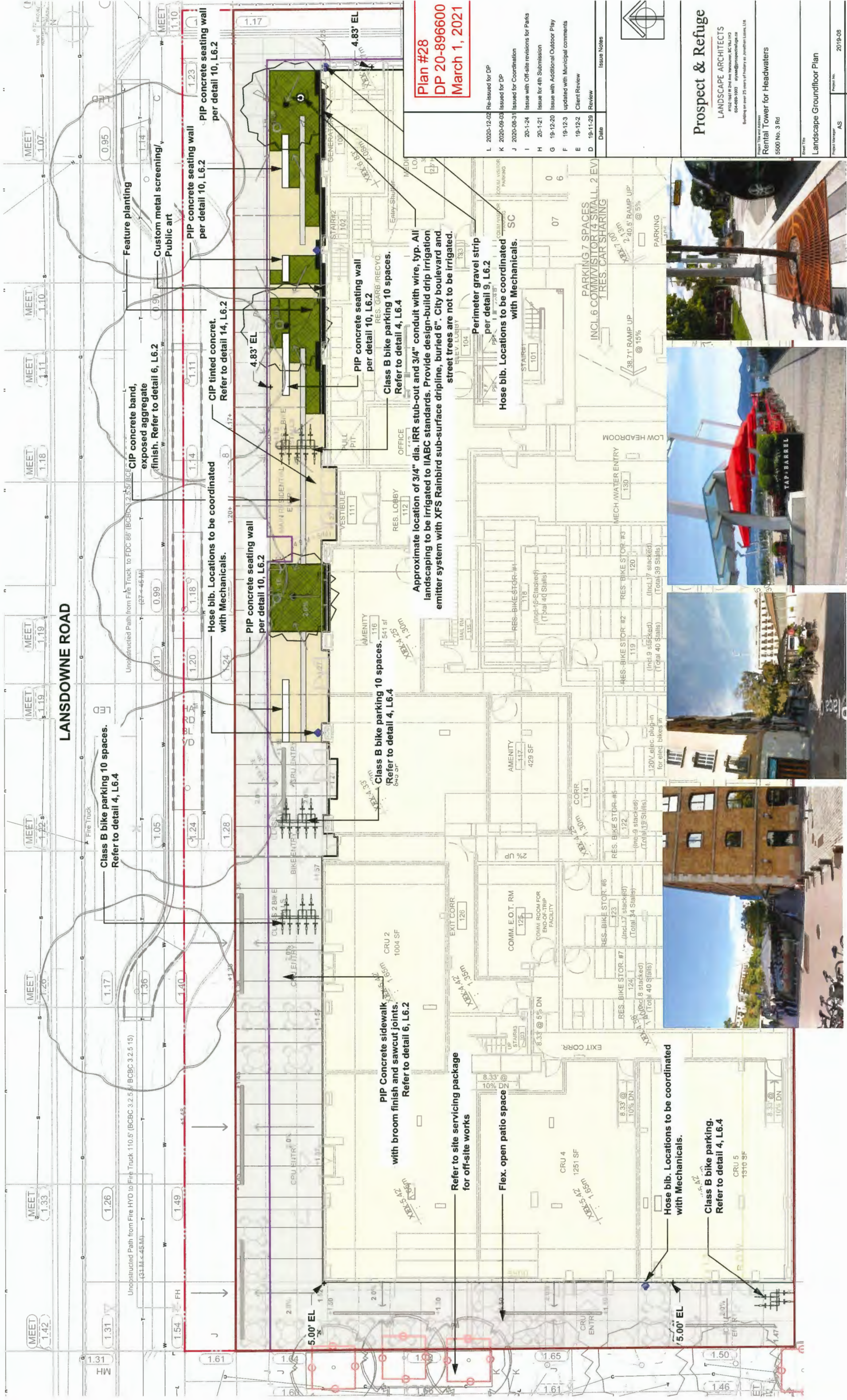
5500 No. 3 Rd.
RICHMOND, BC
Project

STREET
ELEVATIONS

Drawing
Scale
1/8" = 1'-0"
Project
218029
Sheet
A354.







Plan #28
DP 20-896600
March 1, 2021

L	2020-12-02	Re-issued for DP
K	2020-09-03	Issued for DP
J	2020-08-31	Issued for Coordination
I	20-1-24	Issue with Off-site revisions for Parks
H	20-1-21	Issue for 4th Submission
G	19-12-20	Issue with Additional Outdoor Play
F	19-12-3	Updated with Municipal comments
E	19-12-2	Client Review
D	19-11-29	Review

Date	Issue Notes
------	-------------



Prospect & Refuge
LANDSCAPE ARCHITECTS
#132-1441 W 2nd Ave Vancouver, BC, V6J 1G3
604-689-1000 aryne@prospectandrefuge.ca
Building on over 25 years of history at Jonathan Lewis Ltd.

Project Title and Address
Rental Tower for Headwaters
5500 No. 3 Rd

Sheet Title
Landscape Groundfloor Plan

Project Manager	AS	2019-08
Drawn By	NR	1/16" = 1'-0"
Reviewed By	AS	Sheet No.

Date
2020-12-14
L1.1



Street Trees in Grates



Plaza Restaurant Patio in Vancouver



Examples of Front Boulevard Restaurant Patios from Barcelona



Examples of Front Boulevard Restaurant Patios from Barcelona

THE
NORTH
D'ARCY



1. All landscape construction to meet the current edition of the Canadian Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material to Washington and BC.

2. Strips on the planting plan shall be considered minimum sizes.
3. Root balls to be free of pernicious weeds.
4. Top soil mixtures for the project shall be tested for particle size, pH, and nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Provide verification of fertilizer and lime applications and rates during the installation and maintenance periods. Off site minimum soil depths are 6" (150mm) for lawn areas and 18" (450mm) for shrub beds and ground cover plantings. Install 2" (50mm) of composted organic mulch on all shrub beds after planting and rake smooth.
5. The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Slightly compacted subgrades to a minimum depth of 6" (150mm) immediately before placing growing medium. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope toward lawn basins at minimum 4%. Slope lawn and grass areas minimum 2% and maximum 3:1 slopes. Slope grass slopes (without additional erosion protection) along river minimum 1% and maximum 10% and along side slopes minimum 6:1 slope and maximum 3:1 slope.
6. Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 (oroned as per Canadian Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
7. Protection of existing trees/shrubs to remain: install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.
8. Planting material on City Boulevard to require the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
9. All landscaping to have high efficiency irrigation system to IASBC standards.
10. All the proposed on-site trees (18 in total) to be replacement trees per CORR requirement.

PLANT LIST GROUND/FLOOR						
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes	
TREES						
Sjn	Styrax japonicus	Japanese snowbell	3	6cm cal	B & B - Replacement Tree	
SHRUBS						
Az	Azalea japonica	Evergreen Azalea	15	#1 pot	Cont.	
Eart	Echinacea 'Art's Pride' P.P.# 15090	Orange Meadowbrite Coneflower	12	#2 pot	C0nt.	
Hm-1	Hakonechloa macra 'aurea'	Golden Japanese Forest Grass	10	#1 pot	B & B	
LaTL	Lavandula angustifolia 'Thumbelina Leigh'	Thumbelina Leigh English Lavender	18	#1 pot	Cont.	
Lxs	Leucanthemum x superbum 'Agalaia'	Agalaia Shasta Daisy	14	#2 pot	Cont.	
Ste	Nessella tenuissima	Mexican feather grass	28	#1 pot	Cont.	
Pach	Pachysandra terminalis	Japanese spurge	218	----	Cont.	
Rh	Rhododendron 'Hino-crimson'	Evergreen Azalea	29	#1 pot	Cont.	
Rf	Rudbeckia hirta 'Cappuccino'	Black Eyed Susan Cappuccino	21	#1 pot	B & B	
GROUNDCOVER						
Assorted perennials selected by Landscape Architect			100	#1 pot	Cont.	

	Date	Issue Notes
L 2020-12-02	Re-issued for DP	
K 2020-09-03	Issued for DP	
J 2020-08-31	Issued for Coordination	
I 20-1-24	Issue with Off-site revisions for Parks	
H 20-1-21	Issue for 4th Submission	
G 19-12-20	Issue with Additional Outdoor Play	
F 19-12-3	updated with Municipal comments	
E 19-12-2	Client Review	
D 19-11-29	Review	

Prospect & Refuge

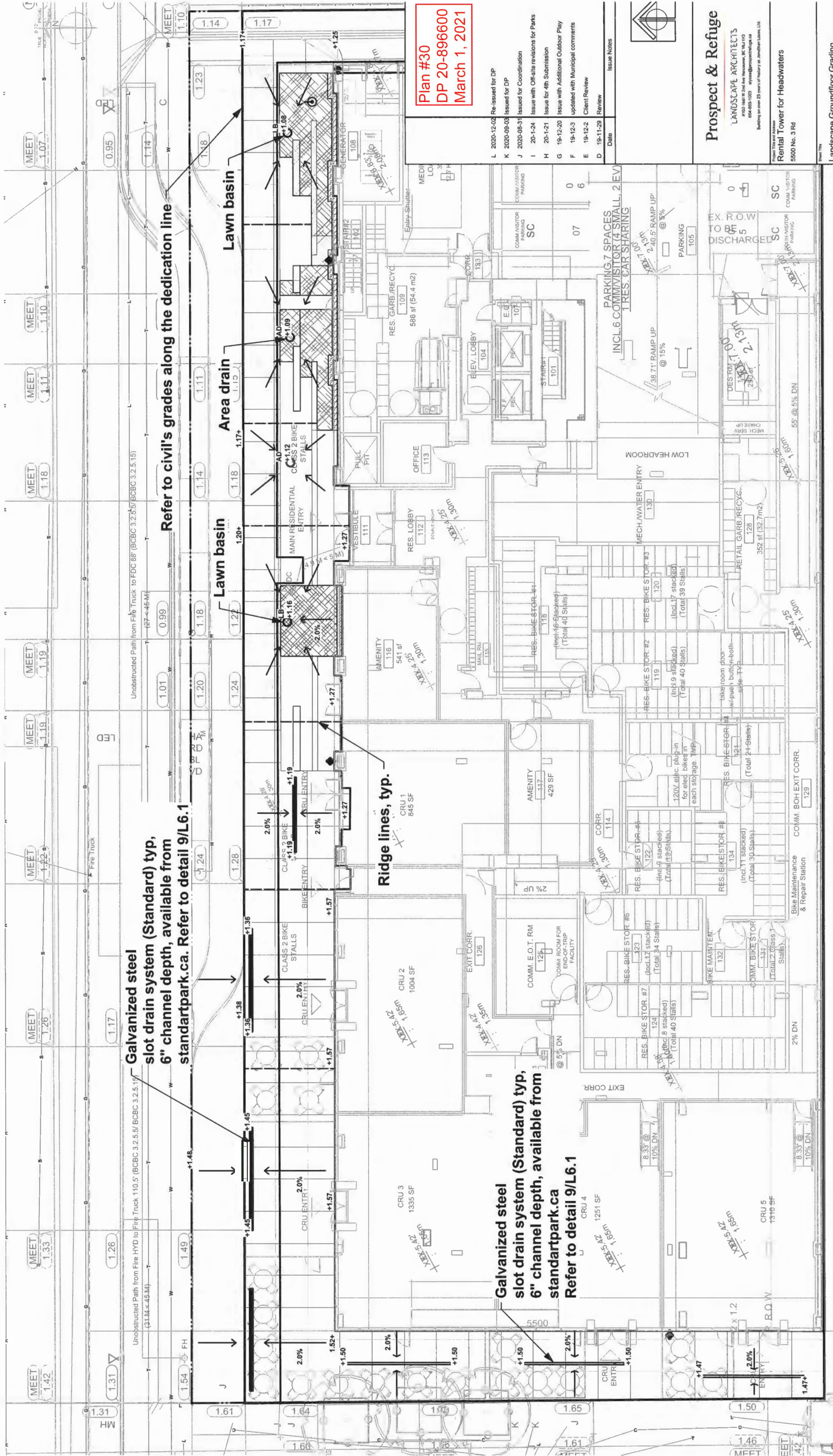
LANDSCAPE ARCHITECTS
#702-364-7178 | 2nd Ave. Vancouver, BC V6J 1H9
604-669-1003 nysae@prospectrefuge.ca
Building up over 25 years of history as a sustainable design firm.

Project Title and Address
Rental Tower for Headwaters
5500 No. 3 Rd.

Sheet Size
A
Landscape Groundfloor - East side planting

Project Manager	AS	Project No.	2019-08
Drawn By	NR	Scale	1/16" = 1'-0"
Reviewed By	AS	Sheet No.	
Date	2020-12-14		

L1.2



**Galvanized steel
slot drain system (Standard) typ,
6" channel depth, available from
standartpark.ca. Refer to detail 9**

Ridge lines, typ.

Galvanized steel
slot drain system (Standard) typ,
6" channel depth, available from
standardpark.ca
Refer to detail 9/L6.1

Plan #30
DP 20-896600
March 1, 2021

2020-12-02	Re-issued for DP
2020-09-03	Issued for DP
2020-08-31	Issued for Coordination
20-1-24	Issue with Off-site revisions for Parks
20-1-21	Issue for 4th Submission
19-12-20	Issue with Additional Outdoor Play
19-12-3	updated with Municipal comments
19-12-2	Client Review

Date	Issue Notes
------	-------------

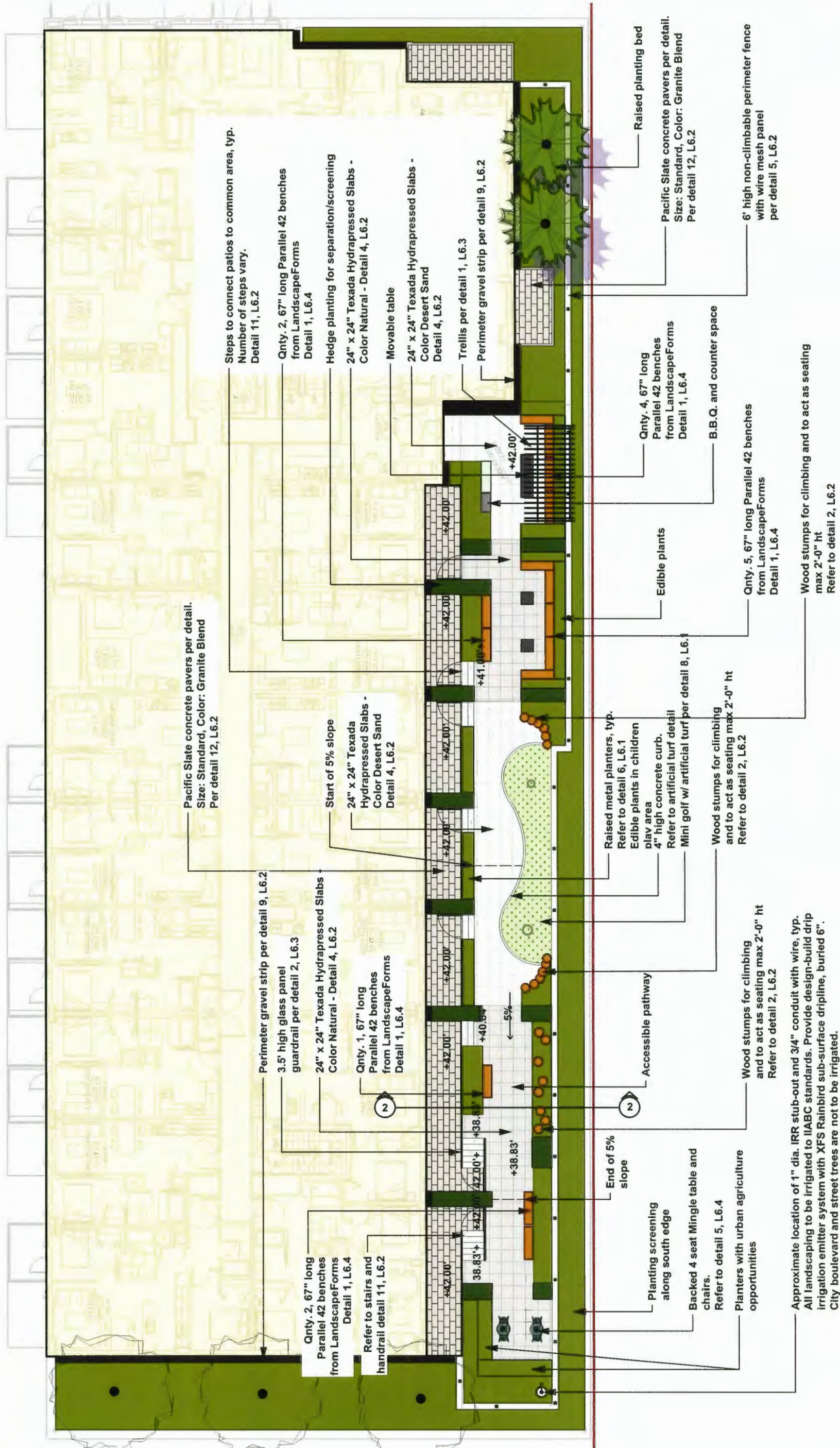


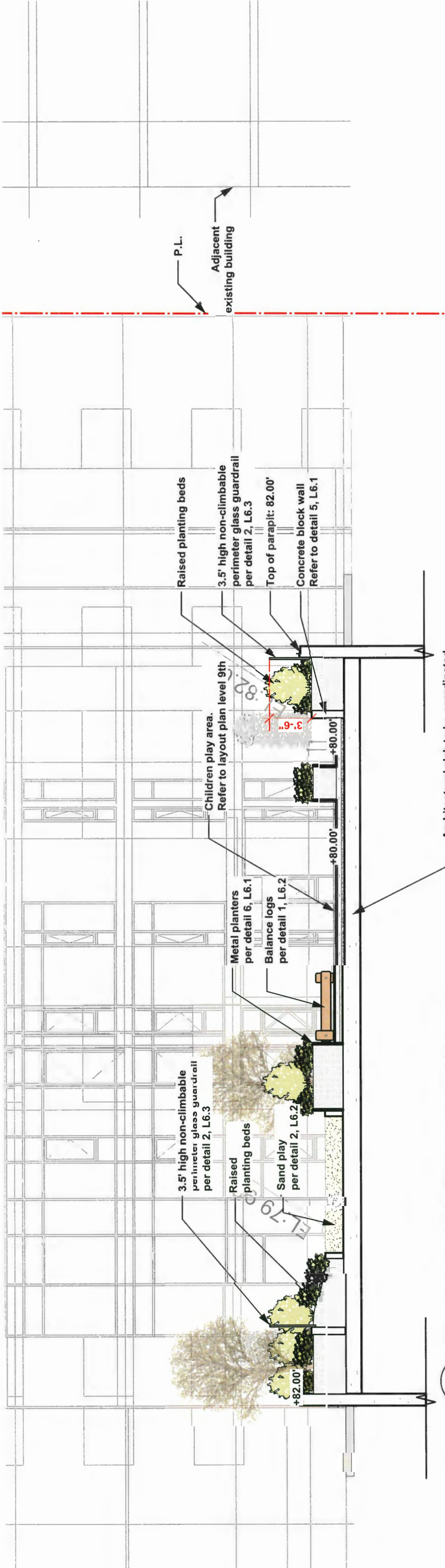
Prospect & Refuge

'LANDSCAPE ARCHITECTS
#102-1641 W 2nd Ave Vancouver, BC V6J 1H3
604-689-1003 ajlyssa@prospectivage.ca
Building for over 25 years of history at Jomedan Lassen, Ltd.

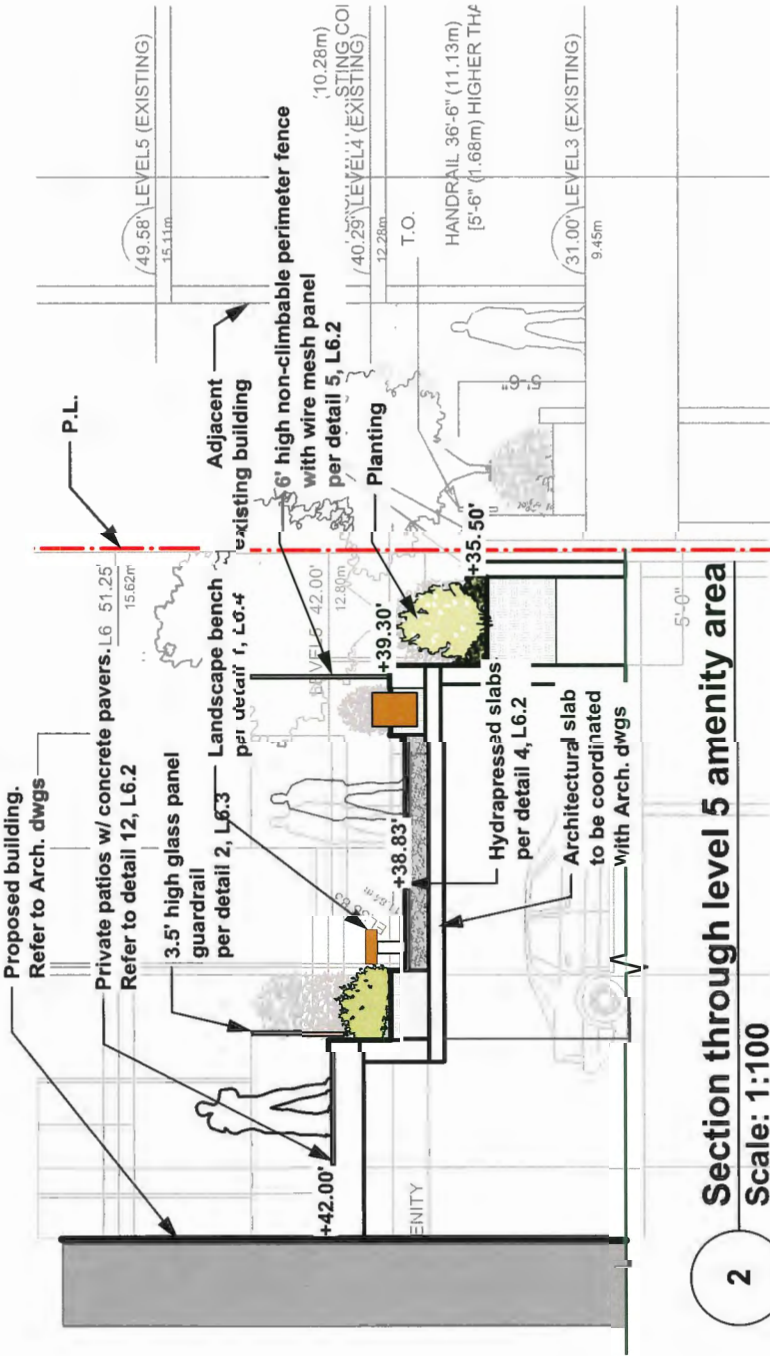
20 No. 3 Rd

Landscape Groundfloor Grading	Manager	AS	Project No.	2019-08
	Sy	NR	Scale	1/16" = 1'-0"
	ed by	AS	Sheet No.	L1.3
				2020-12-14

[illegible]



1 Section through 9th level amenity area
Scale: 1:100



2 Section through level 5 amenity area
Scale: 1:100

Plan #36
DP 20-896600
March 1, 2021

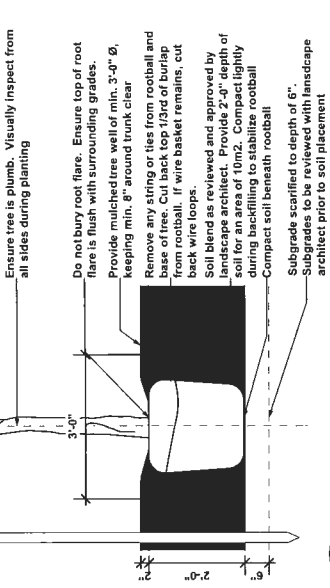
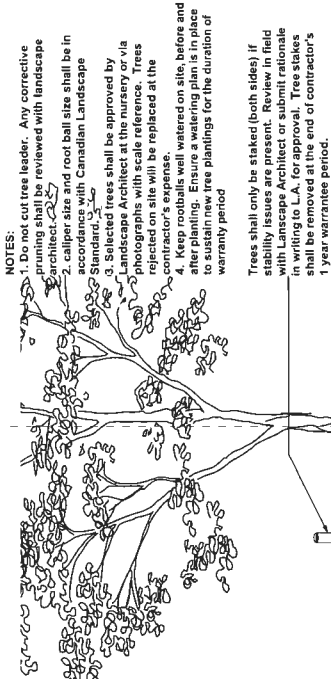
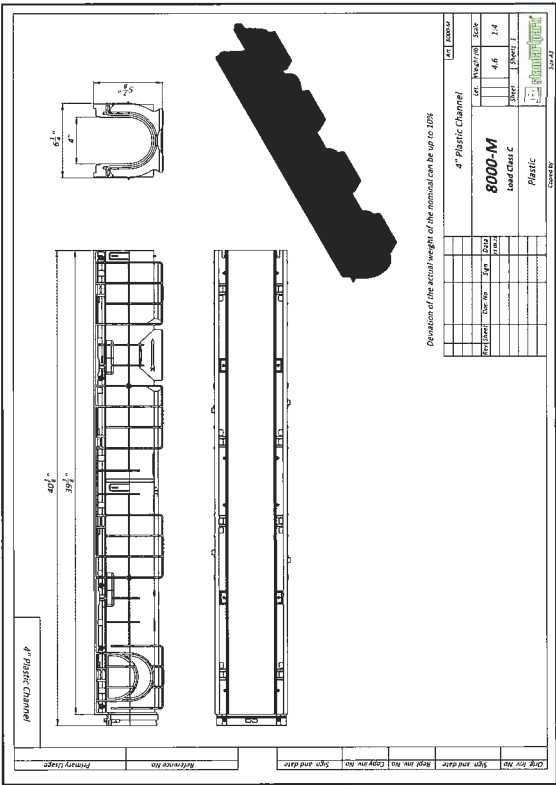
L	2020-12-02	Re-issued for DP
K	2020-09-03	Issued for DP
J	2020-08-31	Issued for Coordination
I	20-1-24	Issue with Off-site revisions for Parks
H	20-1-21	Issue for 4th Submission
G	19-12-20	Issue with Additional Outdoor Play
F	19-12-3	updated with Municipal comments
E	19-12-2	Client Review
D	19-11-29	Review
Date	Issue Notes	

Prospect & Refuge
LANDSCAPE ARCHITECTS
#102-144118 2nd Ave Newswam, BC V6A 1V3
604-669-1023 alyssa@prospectandrefuge.ca
Building on over 25 years of history as Jonathan Lyons, Ltd.

Project Title and Address
Rental Tower for Headwaters
5500 No. 3 Rd

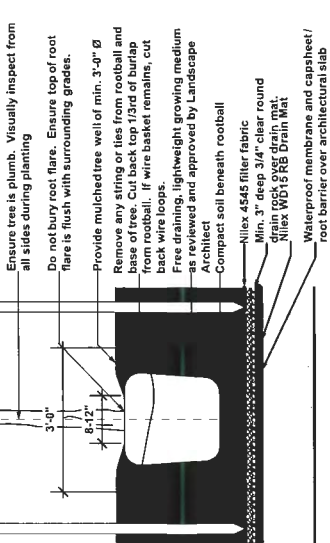
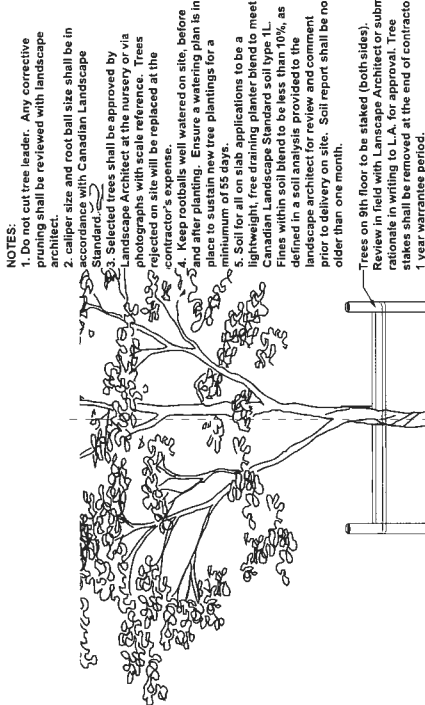
Project Manager	AS	2019-08
Drawn By	NR	1/8" = 1'-0"
Reviewed By	AS	Sheet No.
Date	2020-12-14	

Landscape Groundfloor Plan



1 Tree planting on Grade

L6.1 Scale: 1/4" = 1'-0"



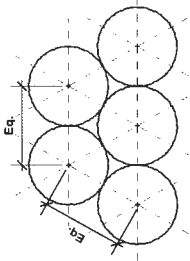
2 Tree planting on Slab

L6.1 Scale: 1/4" = 1'-0"

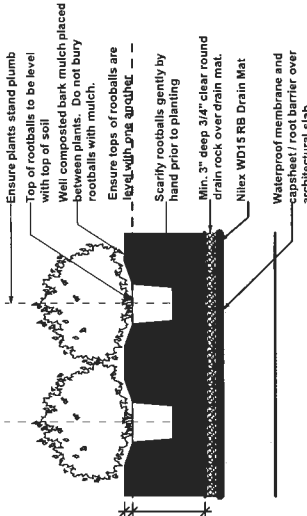


9 W/ 4" Plastic channel and 6" deep GALVANIZED STEEL SLOT DRAIN SYSTEM (STANDARD)

L6.1 Scale: Actual Size

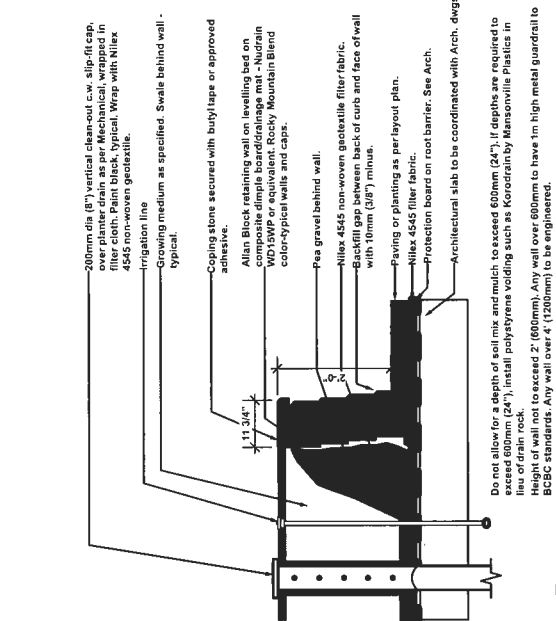
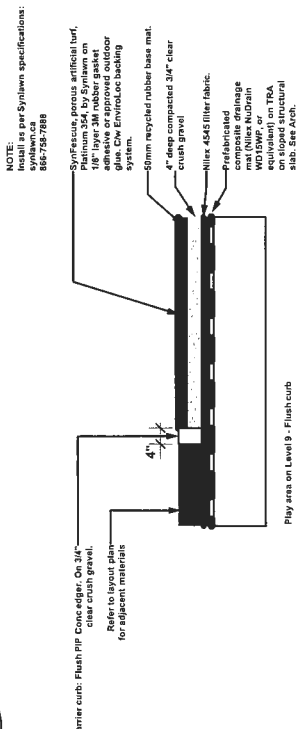


- NOTES:
- Min. container size and root spread to comply with BC Landscape Standard for Nursery Stock - current edition.
 - Prune all damaged, diseased, and dead limbs.
 - Keep roots moist during installation. Water container stock well prior to planting and following planting.
 - Soil for all on slab applications to be a lightweight, free draining planter blend to meet Canadian Landscape Standard soil type 1L. Fines within soil blend to be less than 10%, as defined in a soil test report. Soil test report shall be reviewed and approved by landscape architect prior to delivery on site. Soil report shall be no older than one month.



4 Shrub and Perennial planting on Slab

L6.1 Scale: 1/4" = 1'-0"



5 Concrete block wall

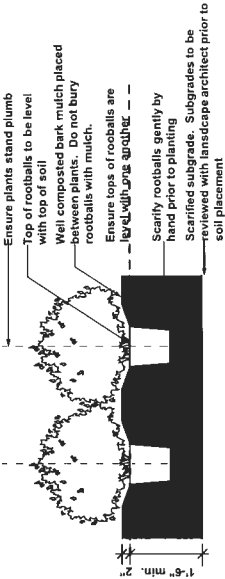
L6.1 Scale: 1/4" = 1'-0"



Permanent hopsotch and Twister board games to be painted on concrete with CONFLX SHERLASTIC elastomeric coating available from www.sherwin-williams.com, or approved equivalent.

7 Permanent coating on concrete

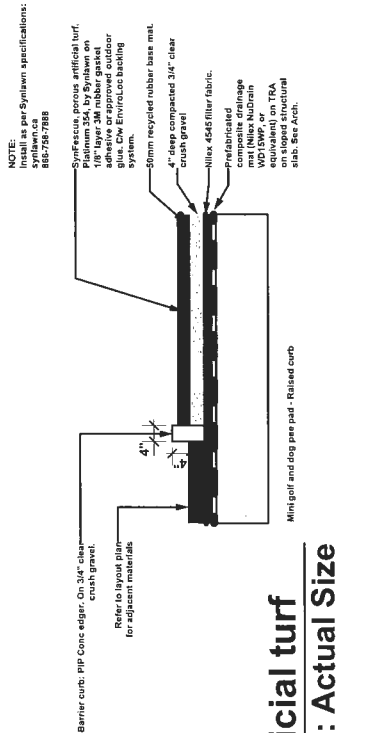
L6.1



- NOTES:
- Min. container size and root spread to comply with BC Landscape Standard for Nursery Stock - current edition.
 - Prune all damaged, diseased, and dead limbs.
 - Keep roots moist during installation. Water container stock well prior to planting and following planting.

3 Shrub and Perennial planting on Grade

L6.1 Scale: 1/4" = 1'-0"



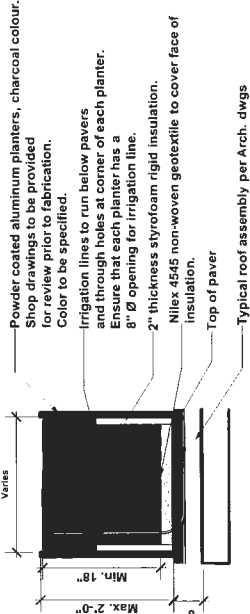
8 Artificial turf

L6.1

Scale: Actual Size

NOTES:

- Growing medium depth to exceed BCSLA/CSLA standards
- Planter height varies as noted on the plan.



6 L6.1

Scale: 1/4" = 1'-0"

Plan #37
DP 20-896600
March 1, 2021

L	2020-12-02	Re-issued for DP
K	2020-09-03	Issued for DP
J	2020-08-31	Issued for Coordination
I	20-1-24	Issue with Off-site revisions for Parks
H	20-1-21	Issue for 4th Submission
G	19-12-20	Issue with Additional Outdoor Play
F	19-12-3	Updated with Municipal comments
E	19-12-2	Client Review
D	19-11-29	Review

Date	Issue Notes
------	-------------



Prospect & Refuge

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#102-10111 2nd Ave S.W. #102, V1V 1V1
604-699-1003 info@prospectandrefuge.ca
P: 438-10111 F: 438-10111

Project Title and Address Rental Tower for Headwaters 5500 No. 3 Rd	Project No. AS	Project No. 2019-08
Sheet Title Landscape Details	Drawn By NR	Scale As Noted
Project Manager AS	Reviewed By AS	Sheet No. L6.1
Size 2100x-12-14		

Parallel 42®
Installation Guide

Bench

www.landscapelforms.com

Date: April 9, 2015
P/N: 800321-2545

Left unit

Right unit

Wedge unit

Wedge options

Included components:

• Bench ships fully assembled

• For surface mount option: (4) each: stainless steel mounting blocks, drop-in screw anchors for Ø3/8-16 screw, 3/8-16 x 3/4" hex socket head cap screws, 3/8" washers, and 1/4-20 x 1/2" button socket head cap screws.

4x – mounting block

4x – HSHCS

4x – washer

4x – drop-in anchor

1x – setting tool

Tools Required for Surface Mount option

• Safety glasses

• Hammer drill with masonry bits

• Hex keys, 5/16" and 5/32"

• Hammer

Fig. 1.1

Fig. 1.2

Page 1 of 1

ASSEMBLE WITH CARE! Prospekt 180 Polyester Powdercoat is a strong, long-lasting finish. To protect this finish during assembly, place unwrapped powdercoated parts on packaging foam or other non-marring surface. Do not place or slide powdercoated parts on concrete or other hard or textured surface – this will damage the finish causing rust to occur. Use touch-up paint on any gouges in the finish caused by assembly tools.

PROCEDURE FOR INSTALLATION:

1. Prepare proper concrete slab as required.

2. Free-standing bench ships with glides installed. Bench can be set in place.

Note: DO NOT DRAG bench across concrete or other rough surfaces. This could damage the powdercoat finish.

For SURFACE MOUNT bench:

1. Set bench into position and adjust glides as necessary. Trace around glides to mark hole locations.

2. Move bench and drill holes according to Fig.1.2. Clear holes of debris.

3. Install drop-in anchors flush with surface of concrete.

4. Expand anchors with setting tool. Anchor is properly expanded when shoulder of anchor is flush with surface of concrete.

5. Set mounting block over drop-in anchor. Install washer and socket head cap screw as shown in Fig. 1.1. Tighten to 55-60 ft-lbs.

6. Reset unit in position, aligning glides over mounting blocks.

7. Install button head cap screw through the hole in the glide as shown in Fig. 1.2. Repeat for all glide locations.

8. Periodically check fasteners and tighten if required.



1. 67" long Straight Parallel 42 bench from LandscapeForms

Mingle™
Installation Guide

Table

www.landscapelforms.com

Date: January 01, 2020
P/N: 800321-2546

ASSEMBLE WITH CARE! Prospekt 180 Polyester Powdercoat is a strong, long-lasting finish. To protect this finish during assembly, place unwrapped powdercoated parts on packaging foam or other non-marring surface – this will damage the finish causing rust to occur. Use touch-up paint on any gouges in the finish caused by assembly tools.

WARNING! TABLES WITH AN UMBRELLA MUST BE FASTENED SECURELY TO HARD SURFACING TO PREVENT TIPPING DUE TO WIND.

PROCEDURE FOR TABLETOP AND SEAT INSTALLATION:

1. Lay tabletop upside down on a non-marring surface.

2. Place table support upside down on tabletop. Center support on top and align holes in support plate to threaded holes in the tabletop.

3. Turn support plate 1/4 turn. The use of power drivers is not recommended with Marmaxx tabletops. Threaded inserts may be damaged or broken due to over-torquing.)

4. Turn table unit right side up, using at least 2 people.

5. Place stem on seat bottom into tube on table support. The pin in the stem fits into the groove on the underside of the seat. For backless seats, install with the head of the pin pointing closest to the table.

6. Turn set screw in until snug, then tighten an additional 1/4 turn.

Included components:

• Tabletop

• Table support

• Seats

• 4x 5 and 6 seat surface mount units with base expanding glides installed.

• Surface mount units are welded on all 2 and 3 seat units. These must be anchored.

• (6) 1/4-20 x 3/4" Phillips tapping screws for Criteria or Steelhead tabletop

• (6) 1/4-20 x 5/8" Phillips machine screws with washers for Marmaxx tabletop

• 3/8-16 x 3/4" set screw per seat (factory installed in seat stem)

Tools required:

• #3 Phillips screwdriver for attaching tabletop to support

• 3/32 hex key for installing seats

For backless seats:

• Anchoring hardware not included for surface mount units. 2, 3 and 4 seat units require 4 anchor bolts. 5 seat unit requires 5 bolts. 6 seat unit requires 6 bolts.

• Hammer drill with 3/8" diameter carbide tipped drill bit

• Hammer

• Wrench

Fig. 1 – Install seat

Fig. 2 – Seat stem detail

Page 1 of 2

5. Backed 4 seat Mingle table and chairs from LandscapeForms



4. Key bike racks, color red from LandscapeForms

Key
Bike Rack

www.landscapelforms.com

Date: September 9, 2016
P/N: 800.521.2546

Embedded

Tools Required

• Unit ships assembled

Side Elevation, showing core drill sizes

Optional bike rack spacing

INSTALLATION:

1. Lay bike rack in position and mark hole locations.

2. Core drill 1-1/4" diameter (minimum) holes 6" deep

3. Prepare the holes for outdoor anchoring cement, such as Swisshack™ or Super Por-rock®. Follow the manufacturer's instructions for blowing out dust, filling with water, scrubbing, and removing excess water.

4. Fill the holes with anchoring cement and place the bike rack back into position.

HANDLE WITH CARE! Key's finish can be scuffed by contact with tools, concrete, or other abrasive surfaces. To protect this finish during assembly, use padding during installation. Use touch-up paint to repair any powder coat finish abrasions.

Recommended spacing, according to Association of Pedestrian and Bicycle Professionals (APBP)

Key's finish can be scuffed by contact with tools, concrete, or other abrasive surfaces. To protect this finish during installation, use padding during installation. Use touch-up paint to repair any powder coat finish abrasions.

Page 1 of 1

STICKS & STONES
ARCHITECTURAL
CONCRETE
PRODUCTS

Model: Luna
Type: Fire Pit
Description: Isometric Drawings With Dimensions

Weight: Top ~ 180 lbs (81.5 kg)
Weight: Bottom ~ 129 lbs (58.5 kg)
Weight: Total ~ 309 lbs (140 kg)

Drawn By: Caroline Palmer
Approved: Ross Kennedy

EXPLODED VIEW OF PARTS

3D RENDER
"Concrete" material library

PLAN VIEW

SIDE ELEVATION

Note: Make sure gas supply for firepit is provided on level 9th.

2. Luna Firepit - 3rd Floor Amenity

L6.4 NTS



3. 10'-6" long "Harvest Table" available from www.lifespacgardens.com

3. Harvest Table



Morrison
Wood Insert

www.landscapelforms.com

Date: May 17, 2017
P/N: 800.521.2546

EXPLODED VIEW OF PARTS

3D RENDER
"Concrete" material library

PLAN VIEW

SIDE ELEVATION

Note: Make sure gas supply for firepit is provided on level 9th.

6. Wood insert Morrison movable stools from LandscapeForms

L6.4

Plan #40
DP 20-896600
March 1, 2021

L	2020-12-02	Re-issued for DP
K	2020-09-03	Issued for DP
J	2020-08-31	Issued for Coordination
I	20-1-24	Issue with Off-site revisions for Parks
H	20-1-21	Issue for 4th Submission
G	19-12-20	Issue with Additional Outdoor Play
F	19-12-3	Updated with Municipal comments
E	19-12-3	Client Review
D	19-11-29	Review



Prospect & Refuge
LANDSCAPE ARCHITECTS
8102-1st St 2nd Ave Vancouver, BC V6J 1V3
604-685-1003
info@prospectandrefuge.ca
Building in over 25 years of history in Javalley Lane, U.S.

Project Name and Address	Rental Tower for Headwaters 5500 No. 3 Rd
Sheet Title	Landscape Details
Project Manager	AS
Drawn By	NR
Reviewed By	AS
Project No	2019-08
Scale	As Noted
Sheet No	
Date	2020-12-14

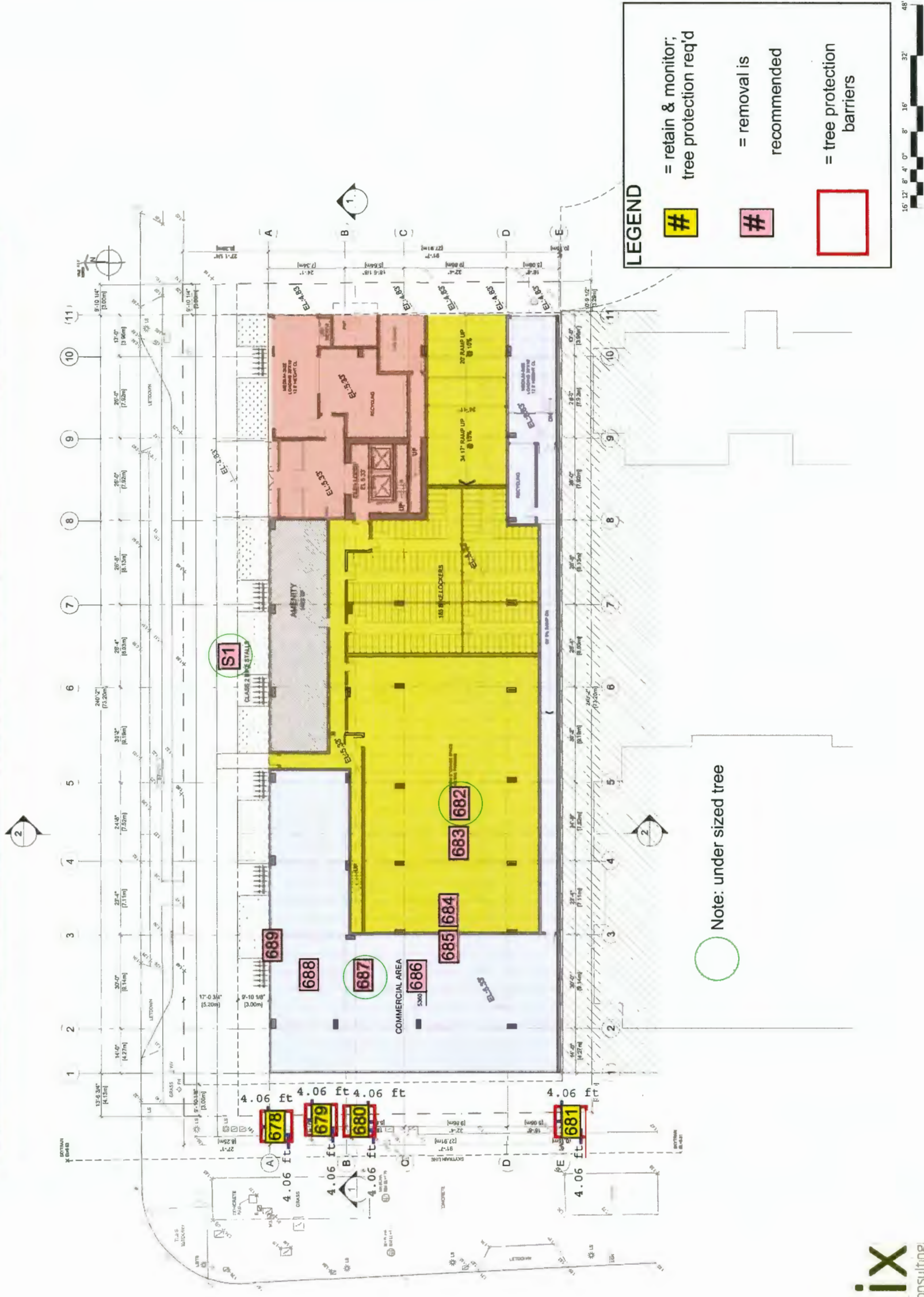
L6.4

REMOVAL, RETENTION & PROTECTION PLAN

5500 No. 3 Rd, Richmond

Please refer to Recommendations section for further info on protection parameters for site trees

The Project Arborist must be on-site when excavation or construction activities are occurring within the protection zones prescribed for the site trees.





A Variety of Seating Options Creating Spaces for Gathering



Dog Relief Station



Mini-putt and outdoor games



Areas Divided into Outdoor Rooms to Increase Usability of Spaces



Harvest Table seating



Street Bond Used for Marking Paving



Blue Imp Tree Stump Slide



Natural Play Sandbox for Children's Area



Active Play Box for Children's Area



Log ends for soil retention, climbing and sitting opportunities



Metal Ping Pong Table



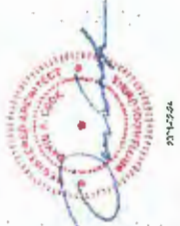
Painted Outdoor Games



	<div>Reference Plan DP 20-896600 March 1, 2021</div>
L 2020-12-02	Re-issued for DP
K 2020-09-03	Issued for DP
J 2020-08-31	Issued for Coordination
I 20-1-24	Issue with Off-site revisions for Parks
H 20-1-21	Issue for 4th Submission
G 19-12-20	Issue with Additional Outdoor Play
F 19-12-3	updated with Municipal comments
E 19-12-2	Client Review
D 19-11-29	Review
Date	Issue Notes
<div>Prospect & Refuge</div> <div>LANDSCAPE ARCHITECTS</div> <div>#102-1464 W 2nd Ave Vancouver, BC V6J 1G3</div> <div>604-699-1002 info@prospectandrefuge.ca</div> <div>Building on over 25 years of history as Jonathan Lewis, Ltd.</div>	
<div>Project Title and Address</div> <div>Rental Tower for Headwaters</div> <div>5500 No. 3 Rd</div>	
Sheet Title	
Image Board	
Project Manager	AS
Drawn By	NR
Reviewed By	AS
Project No.	2019-08
Scale	1/16" = 1'-0"
Sheet No.	
Date	2020-12-14
L4.1	

Reference Plan
DP 20-896600
March 1, 2021

03 | 2021.01.18 ISSUE FOR DP RE-SUB
02 | 2020.03.13 ISSUE FOR DP
01 | 2019.04.18 ISSUE FOR REZONING
Revisions
YYY-MM-DD



Seal
MIXED USE
RENTAL
RESIDENTIAL
BUILDING
5500 No. 3 Rd.
RICHMOND, BC
Project

RENDER

Drawing
Scale
Project
218029
Sheet
A001.



LANSDOWNE RD - FACING EAST



LANSDOWNE RD - FACING WEST

RENDER



Musson
Cattell
Mackey
Partnership

Architects Designers Planners
Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T: 604.682.2990
F: 604.682.1771
MCMPartners.com



Reference Plan
DP 20-896600
March 1, 2021

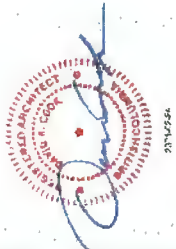
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02 | 2020.03.13 ISSUE FOR DP
01 | 2019.04.18 ISSUE FOR REZONING

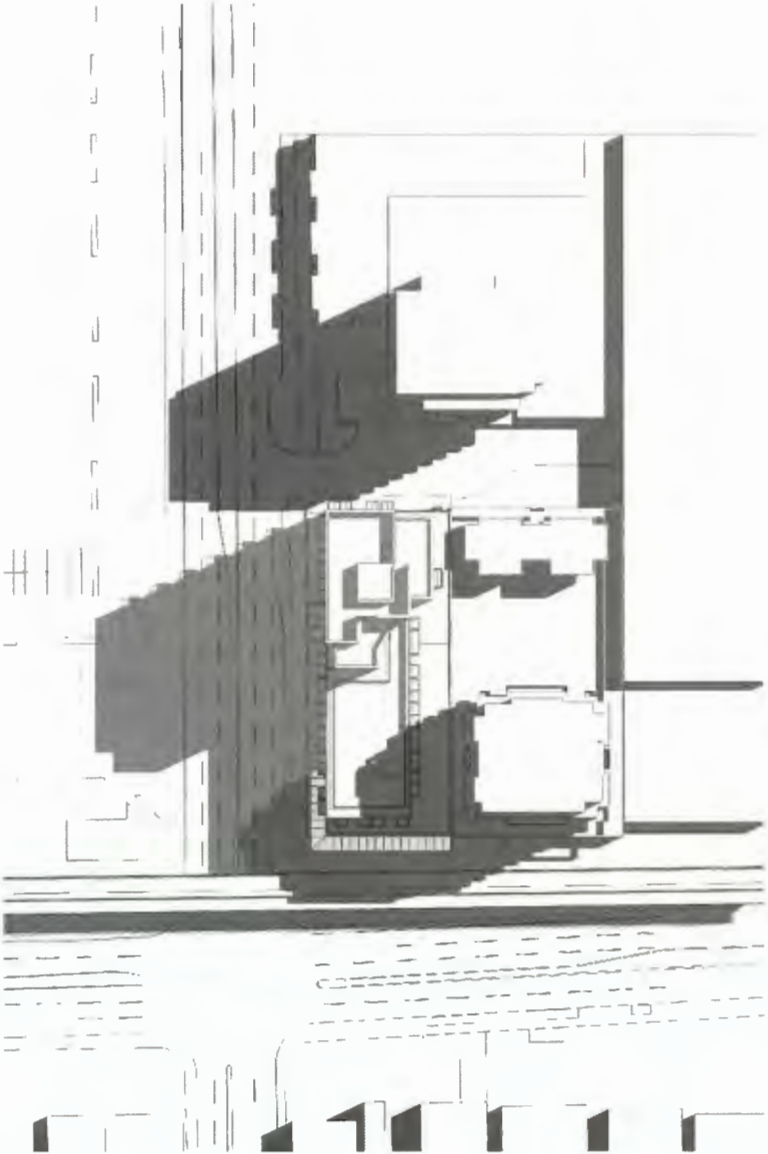
Revisions YYY-MM-DD



Seal
MIXED USE
RENTAL
RESIDENTIAL
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5500 No. 3 Rd.
RICHMOND, BC
Project

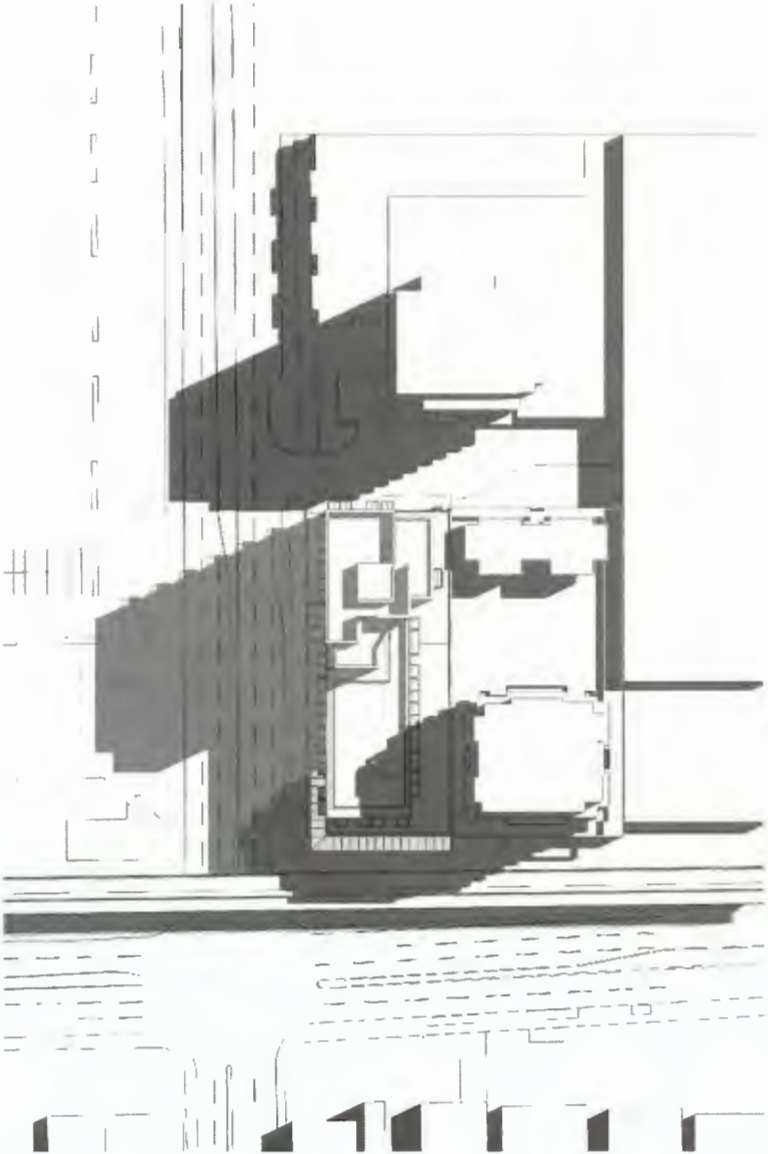
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Project
218029
Sheet
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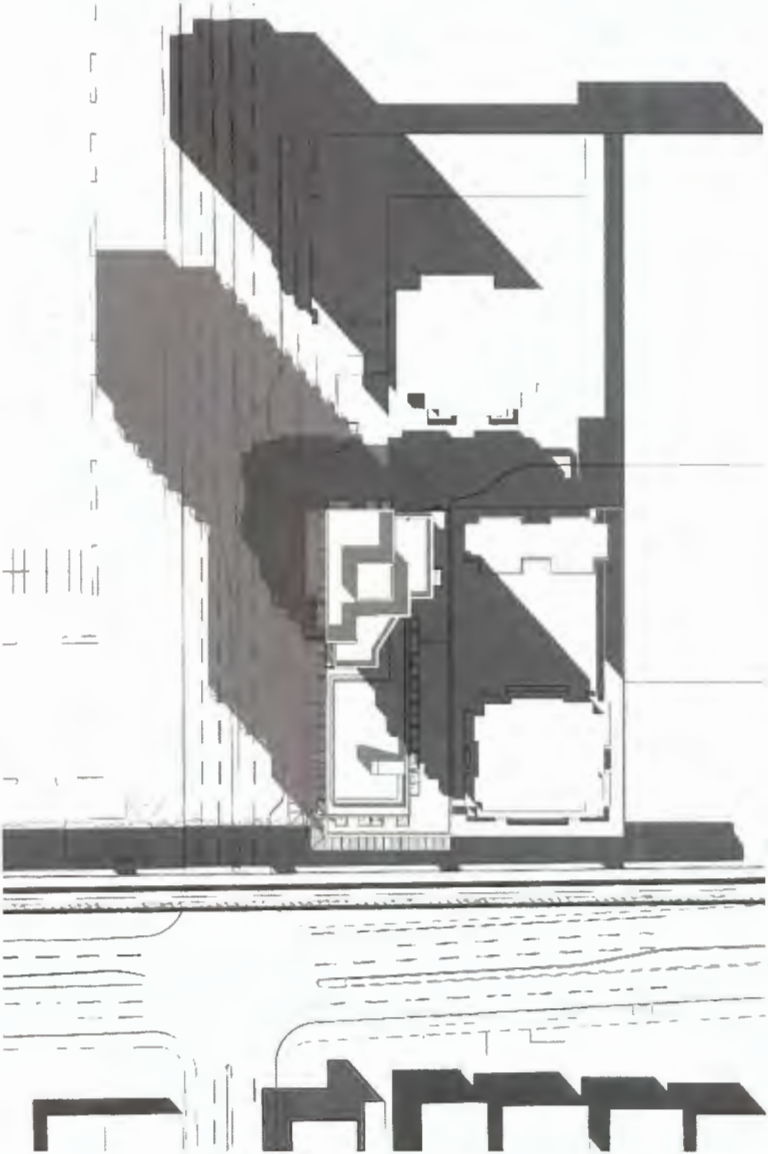
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A108



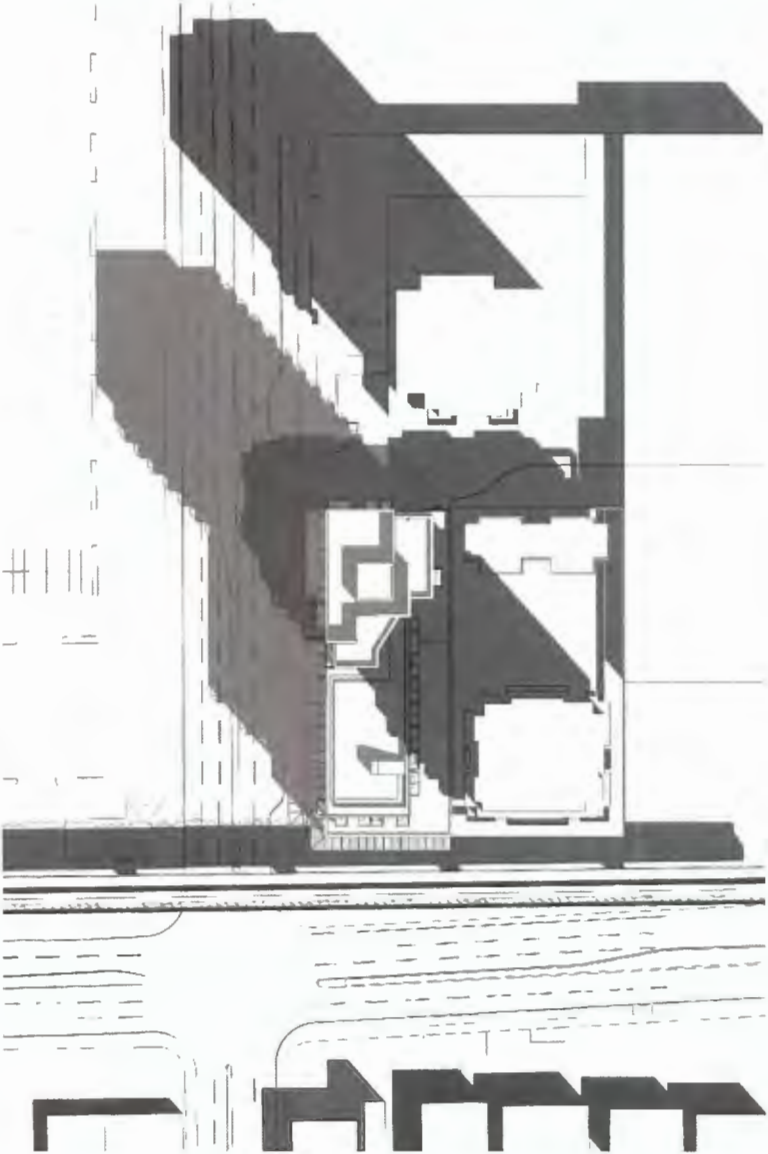
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A108



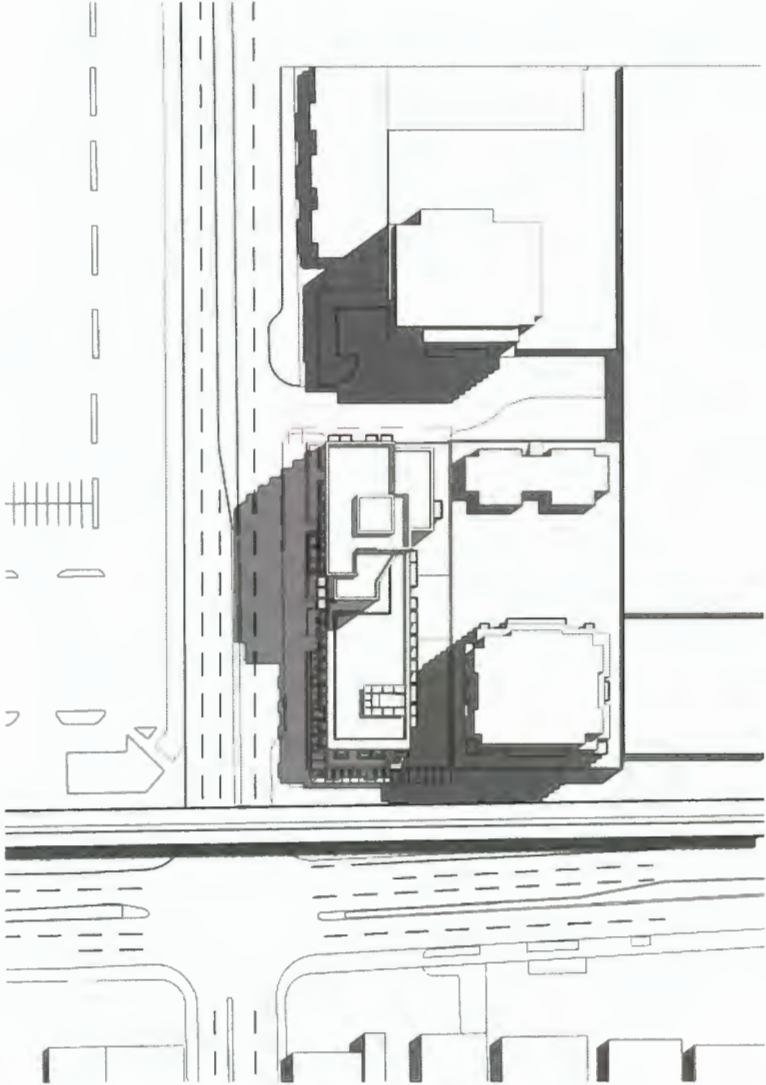
3 SUMMER SOLSTICE JUNE 21 @ 2 pm (UTC -7)

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A108

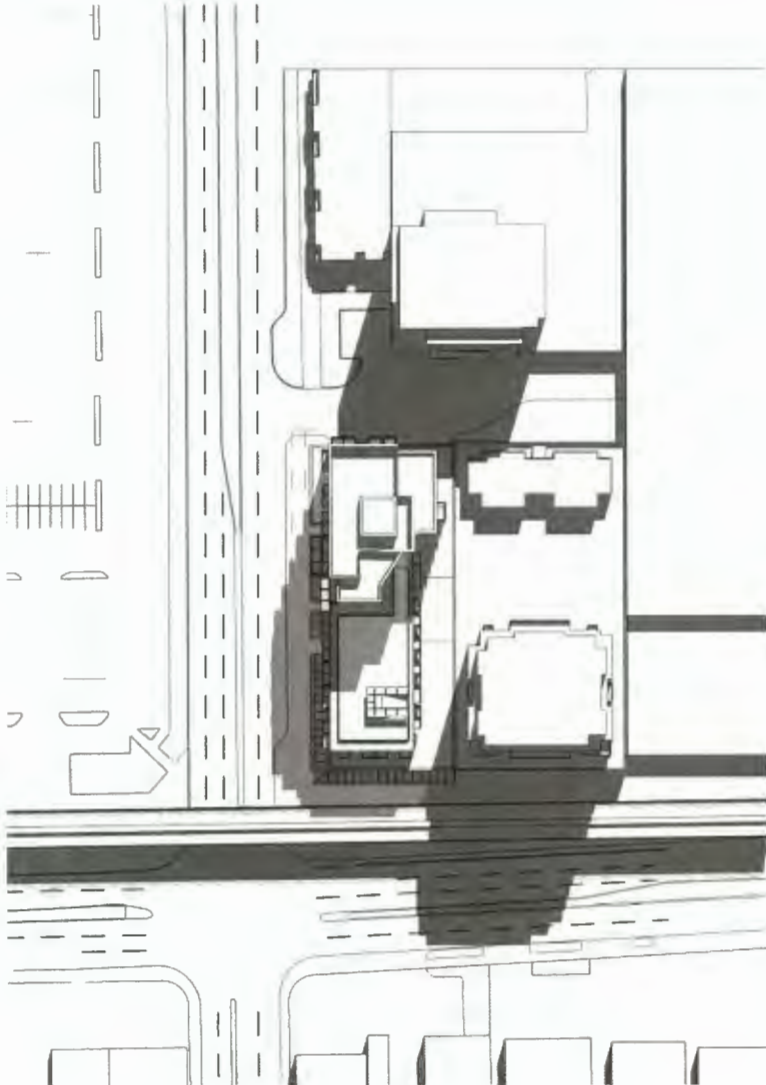


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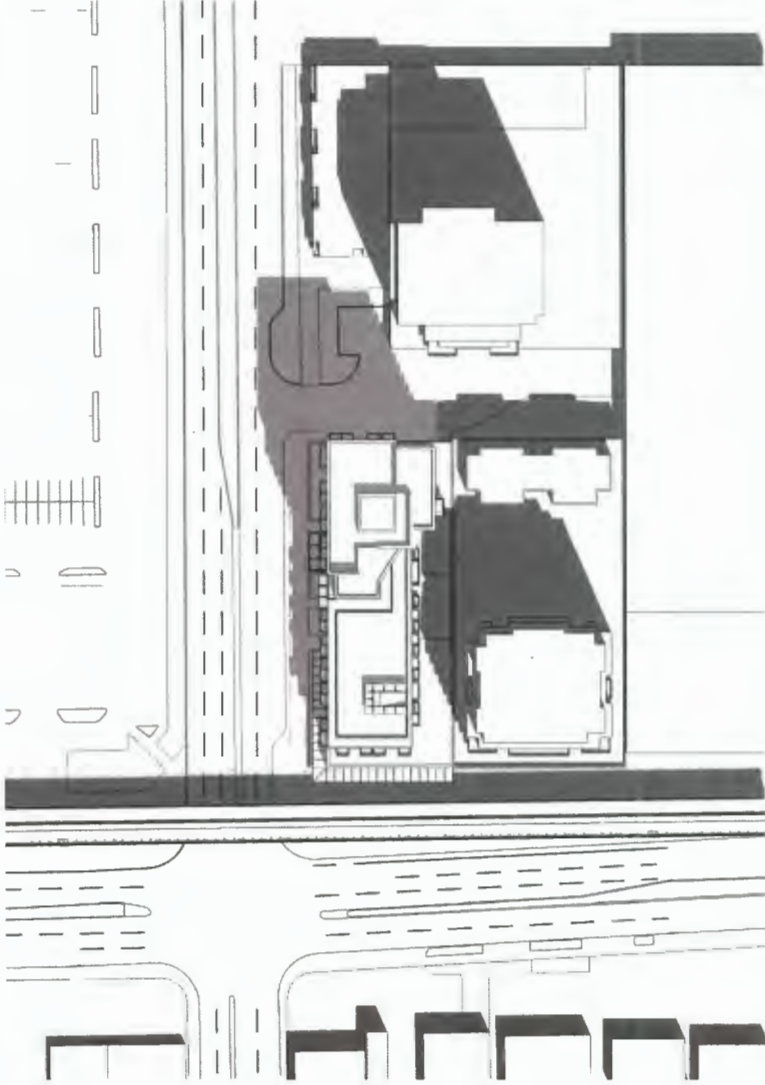
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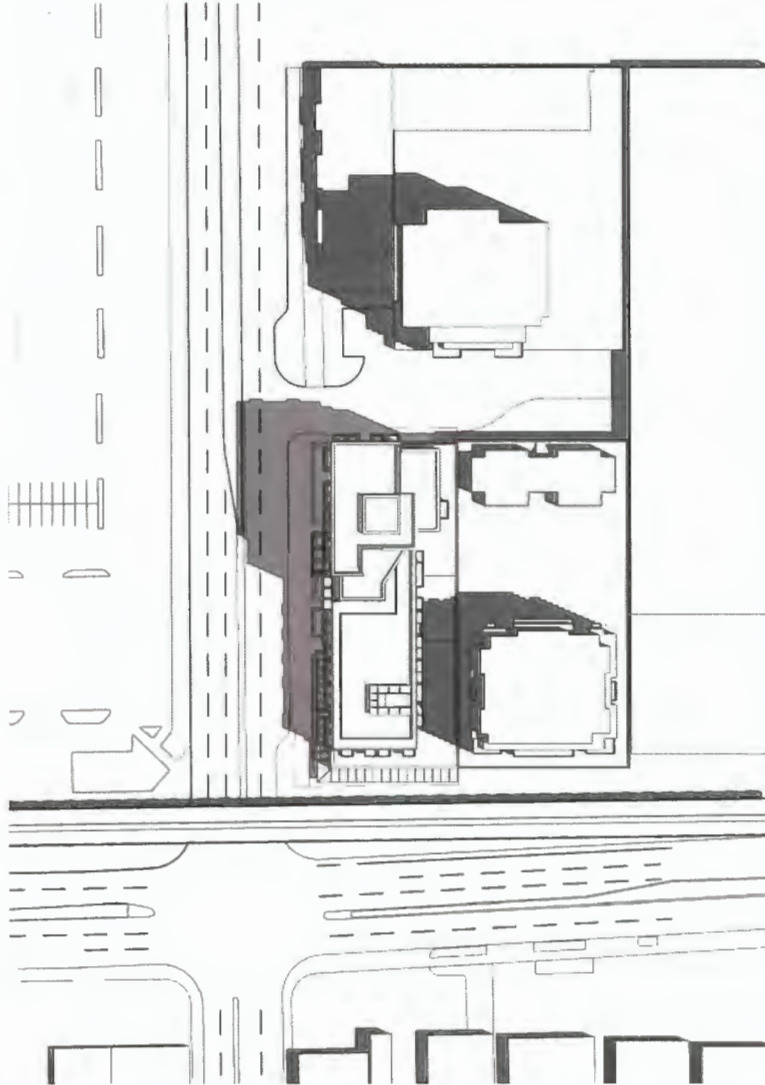
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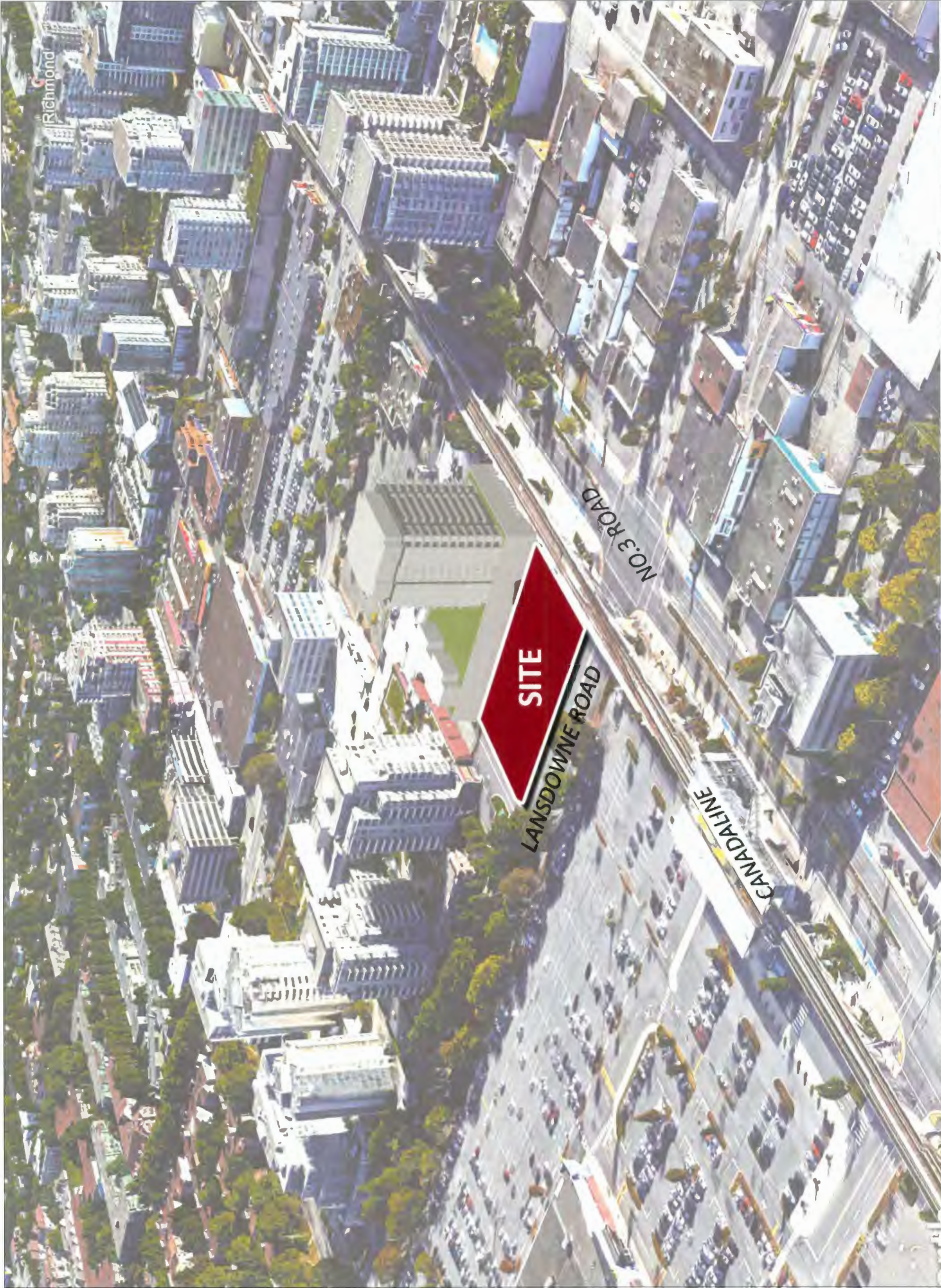
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3 SUMMER SOLSTICE JUNE 21 @ 4 pm (UTC -7)



4 SUMMER SOLSTICE JUNE 21 @ 12 pm (UTC -7)



MCM

Musson
Cattell
Mackey
Partnership

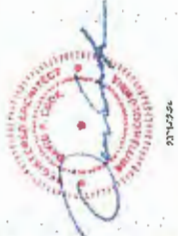
Architects Designers Planners
Oasenic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T: 604. 682. 2990
F: 604. 682. 1771
MCMPartners.com

Headwater
HEADWATER PROJECTS

Reference Plan
DP 20-896600
March 1, 2021

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Revisions
YYYY-MM-DD



Seal

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RENTAL
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BUILDING

5500 No. 3 Rd,
RICHMOND, BC

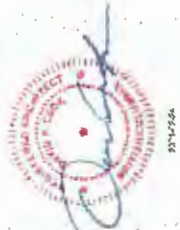
Project

AERIAL VIEW

Drawing
Scale
Project
218029
Sheet
A101.

Reference Plan
DP 20-896600
March 1, 2021

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Revisions
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5500 No. 3 Rd.
RICHMOND, BC
Project

SITE PHOTOS

Drawing
Scale
Project
218029
Sheet
A103.

