



**Development Permit Panel
Wednesday, May 15, 2024**

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Wayne Craig, General Manager, Planning and Development, Chair
Cecilia Achiam, General Manager, Community Safety
Marie Fenwick, Director, Arts, Culture and Heritage

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on April 24, 2024 be adopted.

CARRIED

**1. DEVELOPMENT PERMIT 21-945917
(REDMS No. 7658413)**

APPLICANT: Arno Matis Architecture

PROPERTY LOCATION: 6851 and 6871 Elmbridge Way

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INTENT OF PERMIT:

1. Permit the construction of 376 residential units, hotel and accompanying commercial uses in a high-rise mixed use development containing three 15 storey towers at 6851 and 6871 Elmbridge Way on a site zoned “High-Density Mixed Use (ZMU52) – Oval Village (City Centre)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development’s podium (Levels 3 to 6) for components of the building and residential balcony units; and
 - (b) not require a large size on-site loading space in the proposed development.

Applicant’s Comments

Arno Matis, Arno Matis Architecture, with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the proposed development, highlighting the following:

- the project consists of three 15-storey towers for hotel, residential and commercial uses;
- a total of 376 residential units are proposed, including 341 market residential units and 35 low-end-of-market (LEMR) housing units, 22 of which are two- to three-bedroom units;
- 38 Basic Universal Housing (BUH) units will be provided and 11 hotel units are proposed for hearing-impaired hotel guests;
- a total of 682 parking stalls are provided on-site, including 52 parking stalls reserved for special events use at the neighbouring Richmond Olympic Oval facility;
- four at grade public plazas are located in all four corners of the site and additional public plazas are located at mid-block;
- the existing lane between the subject development and Ora mixed-use development to the east will be widened;
- a new west road will be constructed along the west property line of the subject site;
- the architectural design of the proposed three towers was inspired by the City’s natural landscape;
- the siting of the three towers considered the existing location of neighbouring towers as well as the Richmond Olympic Oval to maximize views and minimize shadowing;
- the primary vehicle access to the parkade for residents and hotel guests is located mid-block of the new west road;

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- a secondary vehicle access for hotel and on-site employees only is proposed off the existing lane to the east which will be widened;
- extensive wayfinding signage will be installed to minimize traffic along the lane;
- a comprehensive package of Transportation Demand Management (TDM) measures is proposed to reduce vehicle ownership in the proposed development;
- the project will comply with Step 2 of the BC Energy Step Code and will be connected to a City District Energy Utility (DEU) facility;
- extensive sustainability measures are proposed to enhance energy efficiency in the proposed development;
- accessibility routes are provided for accessible pedestrian circulation at grade and in the common outdoor amenity area on level 6;
- exclusive as well as shared indoor and outdoor amenity spaces for residents and hotel guests are provided; and
- proposed building and exterior cladding materials include, among others, glass and concrete.

Jeffrey Staates, PFS Studio, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) the overall landscape design is consistent with the river-inspired theme of the architectural design of the buildings, (ii) ground level hard and soft landscaping include the use of banding for surface paving treatment and planting around the bands, (iii) the proposed outdoor amenity area on level 6 of the project podium includes, among others, layered planting, small and medium-sized trees, seating, multi-purpose lawn, outdoor pool, and small decks overlooking the street below, (iv) a terrace is provided at the south end on level 8 of the hotel (east) building, (v) on level 9, terraces and green roof are proposed for the hotel building and the principal children's play area for the residential use is proposed to be located in the courtyard area between the two residential towers, and (vi) a series of patios with stair access and small planting strips are proposed on the rooftop of residential towers.

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Staff Comments

Suzanne Smith, Program Manager, Development, noted that (i) there is a Servicing Agreement associated with the project which includes, among others, frontage works, a new west road along the western edge of the site that will connect Elmbridge Way and River Drive, and widening of the existing lane to the east and related works, (ii) 52 parking stalls will be allocated to Richmond Olympic Oval for use during special events and can be used by the public at other times, (iii) an interim asphalt walkway will be installed on the south side of River Road to connect the subject site to Oval Way and provide an additional pedestrian route to access the Richmond Olympic Oval facility, (iv) the project includes a comprehensive package of Transportation Demand Management (TDM) measures secured through the rezoning process, (v) the project has been designed to comply with Step 2 of the BC Energy Step Code and will be connected to the City Centre District Energy Utility (DEU) for space and domestic hot water heating and cooling through an on-site low carbon energy system, and (vi) six on-site trees were identified for removal at the time of rezoning and 83 trees are proposed to be planted on-site which exceed the City's Official Community Plan requirements.

In addition, Ms. Smith stated that there are two proposed variances associated with the project, noting that (i) the proposed variance on the minimum road setback along River Road applies only to one small corner portion of the development's podium on levels 3 to 6 which will not impact the pedestrian streetscape at-grade and will enable the units at this corner portion to achieve adequate private outdoor amenity space, and (ii) the proposed variance to not require a large size on-site loading space in the development is supported by staff as it was determined at rezoning that a medium size loading space is sufficient for the proposed uses in the development.

In closing, Ms. Smith noted that a public art contribution in the amount of approximately \$330,000 will be provided by the applicant and a Public Art Plan is required for the project which will be brought forward for Council approval prior to the issuance of a Building Permit.

Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) a digital model was used in a previous presentation of the project to illustrate the project's site layout and building massing which could be made available to the Panel, (ii) there will be a comprehensive signage strategy around the perimeter of the site that will be developed and implemented to assist in wayfinding, (iii) the adjacent Ora mixed-use development to the east of the subject site has two vehicle access points from the existing lane to their below grade and above grade parking system, and (iv) the subject development's secondary vehicle access from the lane is located directly across from Ora's below grade parkade entrance for safety and visibility reasons.

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With regard to the query on parking and traffic management to mitigate and manage traffic in the area during construction, the Chair advised that a Construction Parking and Traffic Management Plan is required should the application move forward to Building Permit stage.

In reply to further queries from the Panel, the applicant noted that (i) the owner has engaged the services of a public art consultant and they are currently in the process of selecting an artist for the project's public art; however, no specific choice of public art and their location in the subject site have been determined, and (ii) the applicant has incorporated noise mitigation measures in the building design to comply with the City's noise mitigation standards.

In reply to further queries from the Panel, the applicant confirmed that (i) portions of the green roof on the ninth floor of the hotel building where there are no public access there is an intensive green roof component, (ii) the applicant will look into the impact of the use of banding and contrast in colours for at grade paving treatment on visually impaired persons and will address the connection of the public walkways to the pedestrian entrances of buildings, (iii) the street-fronting commercial units can be accessed from at grade parking level 1 (P1) through the pedestrian circulation zone along the ramp and out to the new west road walkway, and (iv) the parking stalls allocated to the Richmond Olympic Oval for use during special events are located in parking levels P1 and P2 which can be accessed from the new west road.

The Chair advised the applicant to review the proposed ground level paving treatment in order to assist the on-site circulation of visually impaired persons and provide an efficient and accessible connection from the sidewalks/pathways to the building entries prior to the project moving forward to Council for consideration.

Correspondence

Luo Yilei (Elaine Luo), 3600 Broadway St. ([Schedule 2](#))

Staff noted that Ms. Luo's email indicated she has no concerns and comments regarding the proposal.

Gallery Comments

None.

Panel Discussion

The Panel expressed support for the project, noting that (i) it nicely complements the Richmond Olympic Oval, (ii) it is carefully designed and well thought out, and (iii) it is a good addition to the area.

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Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of 376 residential units, hotel and accompanying commercial uses in a high-rise mixed use development containing three 15 storey towers at 6851 and 6871 Elmbridge Way on a site zoned “High-Density Mixed Use (ZMU52) – Oval Village (City Centre)”;* and
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development’s podium (Levels 3 to 6) for components of the building and residential balcony units; and*
 - (b) *not require a large size on-site loading space in the proposed development.*

CARRIED

2. DEVELOPMENT PERMIT 22-008932

(REDMS No. 7540972)

APPLICANT: Kenneth Kim (Kenneth Kim Architecture Inc.)

PROPERTY LOCATION: 6500 Cooney Road

INTENT OF PERMIT:

Permit the construction of six townhouse units over a common parking structure at 6500 Cooney Road on a site zoned “Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)”.

Applicant’s Comments

Cavan KaiYue Liao, Kenneth Kim Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 3), provided background information on the proposed development, highlighting the following:

- the project includes a three-storey building with six townhouse units over a single level parking structure at grade;
- the building height is consistent with neighbouring three-storey townhouse buildings;
- a north-south lane is proposed along the east property line of the subject site that will provide access to the parkade from Cook Road;
- a total of 10 parking stalls will be provided on-site;
- the common outdoor amenity space and shared facilities are located along Cooney Road and an accessible pathway will be provided to enhance on-site accessibility;

6.

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- the proposed townhouse units will be located fronting Cook Road;
- the project provides one convertible unit;
- non-combustible exterior cladding materials are proposed;
- a variety of private outdoor spaces are provided for each townhouse unit; and
- the single slope roof of the building is a distinctive design feature of the project.

Fred Liu, Fred Liu and Associates Inc., with the aid of the same visual presentation, briefed the Panel on the proposed landscaping for the project, noting that (i) two significant elm trees along Cook Road will be retained and protected, (ii) adjustments to landscape design have been made to ensure the protection of the two retained trees, (iii) four conifer trees are proposed to be planted on-site as replacements trees, (iv) coniferous shrubs will be planted in between individual patios to provide privacy, (v) layered planting is proposed to provide separation between the sidewalk and the patios along Cook Road, (vi) a small playhouse and natural logs will be installed in the children's play area, (vii) a bench is provided in the west side yard that could be used by parents to supervise children in the children's play area, (viii) two street trees are proposed to be planted, and (ix) climbing vines will be planted to soften the appearance of the fence along the north property line of the subject site.

Staff Comments

Ms. Smith noted that (i) there is a Servicing Agreement associated with the project which includes, among others, utility upgrades and frontage improvements along Cooney Road and Cook Road frontages, intersection improvements, and construction of a new north-south lane along the east property line which will be widened through future development to the east and provide future connection from Cook Road to Spires Gate, (ii) all of the proposed units will incorporate aging-in-place features, (iii) the development will provide one convertible unit, (iv) the development will comply with Step 3 of the BC Energy Step Code, (v) the proposed ten parking stalls will be provided with Level 2 electric vehicle (EV) charging, (vi) six trees are proposed to be planted on-site for the three on-site trees identified for removal at rezoning and a voluntary cash-in-lieu contribution to the City's Tree Compensation Fund will be provided by the applicant for the additional four trees that the applicant had originally committed to provide at rezoning stage but could not be accommodated on-site due to installation of required utilities on-site, and (vii) significant efforts were made to retain and protect two City trees along Cook Road including adjusting the design of the Cook Road sidewalk to ensure the retention and protection of the two City trees.

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Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) the proposed design of the development's parkade does not include an entrance gate as recommended by the City's Transportation Department, (ii) the applicant will consider installing a gate for the parkade entrance should it be required for security reasons; however, the significant width and height of the parkade entrance would need to be considered, (iii) Crime Prevention Through Environmental Design (CPTED) measures have been incorporated in the design of the parkade including using bright paint and installing appropriate lighting, (iv) there will be no privacy concerns for the adjacent development to the east as the proposed north-south lane along the east property line of the subject site will provide more than adequate separation between the proposed development and the adjacent development to the east which also have an existing lane adjacent to the proposed lane of the subject site, and (v) to address potential privacy concerns of the adjacent development to the north, the building height of the proposed development has been lowered to match the height of the adjacent development to the north and a five-foot fence will be installed along the north property line of the subject development.

In addition, the Chair advised that a comprehensive Construction Parking and Traffic Management Plan will be required as a condition for Building Permit issuance should the application move forward to this stage.

The Panel then directed staff to work with the applicant to investigate opportunities to install an entrance gate for the parkade to address CPTED concerns prior to the application moving forward to Council for consideration.

Correspondence

None.

Gallery Comments

None.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of six townhouse units over a common parking structure at 6500 Cooney Road on a site zoned "Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)".

CARRIED

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3. **DEVELOPMENT PERMIT 23-034544** (REDMS No. 7643815)

APPLICANT: Maskeen (Hamilton) Properties Corp.

PROPERTY LOCATION: 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361, 23381 Gilley Road

INTENT OF PERMIT:

Permit the construction of a mixed-use mid-rise development comprising commercial space, City-owned community amenity space and 186 residential units, including 19 low-end-of-market (LEMR) units at 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361, 23381 Gilley Road on a site zoned "Residential/Limited Commercial (ZMU53) - Neighbourhood Village Centre (Hamilton)".

Applicant's Comments

Sameh Guindi, Ionic Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 4), provided background information on the proposed development, highlighting the following:

- the project consists of one four-storey apartment building, one five-storey mixed-use building and a two-storey amenity building;
- the existing public strollway along the western edge of the site will be widened;
- the developer will design and construct a Community Policing Office with turnkey finish which will be transferred to the City;
- surface parking for visitors as well as for the two reserved parking stalls for the Community Policing Office will be provided on the podium level central courtyard;
- a green roof will be installed on top of the two-storey amenity building and an elevator will be provided to provide accessibility; and
- proposed landscaping along Smith Crescent include tiered planters to provide screening to the parkade wall.

Ben Aldaba, PMG Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) landscaping along the Smith Crescent and Garripie Avenue frontages includes tiered planters and planting at grade to help screen the parkade wall, (ii) vertical landscape screening is proposed along Gilley Road to screen the tapered retaining wall, (iii) the large central courtyard on the podium level includes multiple uses for residents including among others, open play turf and lawn areas, children's play area, seating areas, and gathering spaces, (iv) the proposed landscaping in the central courtyard has been designed to integrate with the amenity building, (v) bollard lighting is provided throughout the courtyard to enhance security and assist in wayfinding, (vi) street lighting will be installed along the three road frontages, and (vii) permeable pavers are proposed for visitor parking stalls in the central courtyard.

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Staff Comments

Joshua Reis, Program Manager, Development, noted that (i) the project is required to provide a City-owned Community Policing Office with a turnkey level of finish, (ii) the project will provide 19 low-end-of-market (LEMR) residential units, 17 of which consist of two- to three-bedroom units, (iii) the publicly accessible areas on the site include the extension of the public plaza and the north-south public strollway along the west property line, (iv) there is a comprehensive Servicing Agreement associated with the project as a condition of rezoning adoption including, among others, the extension of Garripie Avenue, widening of Smith Crescent, the public plaza and the public strollway along the west property line, frontage improvements, and service utility connections, (v) there is a cash-in-lieu contribution towards the Hamilton Area Sanitary Pump Station, (vi) the project provides a comprehensive package of TDM measures, and (vii) staff have coordinated with the applicant who has committed to work with owners of adjacent properties, developers and the neighbouring school and provide information regarding construction traffic management plans and schedules for the proposed development.

Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) the podium level central courtyard which includes, among others, the common outdoor amenity space is publicly accessible and is not fenced, (ii) the amenity building is not publicly accessible, and (iii) the amenity building provides indoor amenity spaces for all residents including, among others, activity rooms, accessible washroom, bicycle room and access to the green roof area.

In reply to a further query from the Panel, the applicant reviewed the building elevations of the proposed development, noting that (i) majority of commercial units have a large frontage and are clad with clear glazing and aluminum panels above for installation of signage, (ii) the proposed exterior cladding materials for the residential buildings include, among others, glazing, fibre cement panel, metal panel, and stone cladding materials, (iii) identical exterior cladding materials and colours are proposed for the two residential buildings, and (iv) there is variation in exterior cladding treatment for the amenity building from the two residential buildings to provide more visual interest.

In reply to a query from the Panel, staff confirmed that the public strollway and Garripie Avenue extension will be designed through the Servicing Agreement that is required as a condition of rezoning adoption.

Gallery Comments

None.

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Correspondence

None.

Panel Discussion

Staff were directed by the Panel to work with the applicant to review the design of the podium level central courtyard taking into consideration measures to ensure that the resident's amenity areas are appropriately secured from general public access.

It was moved and seconded

That a Development Permit be issued which would permit the construction of a mixed-use mid-rise development comprising commercial space, City-owned community amenity space and 186 residential units, including 19 low-end-of-market (LEMR) units at 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361, 23381 Gilley Road on a site zoned "Residential/Limited Commercial (ZMU53) - Neighbourhood Village Centre (Hamilton)".

CARRIED

4. New Business

None.

5. Date of Next Meeting: May 29, 2024

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (5:14 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, May 15, 2024.

Wayne Craig
Chair

Rustico Agawin
Committee Clerk

6851 - 6871 ELMBRIDGE WAY

DP BOARD PANEL PRESENTATION

PROJECT TIMELINE:

DATED AUG 16TH 2017 (UNDER PREVIOUS OWNERSHIP)

LANDA ACQUIRES PROJECT: JAN 2020.

REZONING AMENDMENT SUBMISSION: JUNE 3, 2021

SITE AREA: 148,887 SF (AFTER DEDICATIONS)

HEIGHT: 15 STOREYS (47M)

GROSS FLOOR AREA: 781,041 SF

FAR: 3.05 (INCLUDE AMENITY)



PUBLIC BENEFITS



\$6 MILLION CONTRIBUTION TOWARD COMMUNITY AMENITIES
(LARGEST IN RICHMOND HISTORY)



35 AFFORDABLE HOUSING UNITS
38 BASIC UNIVERSAL HOUSING UNITS (ACCESSIBLE)
(32 AFFORDABLE AND 6 MARKET)
11 HEARING-IMPARED HOTEL UNITS



52 PARKING STALLS FOR THE OLYMPIC OVAL;



4 PUBLIC PLAZAS AT GRADE;



A NEW NORTH-WEST CONNECTOR ROAD;



214 NEW HOTEL ROOMS TO PROVIDE:
105 HOTEL JOBS + 62 RETAIL JOBS TO BE CREATED*;

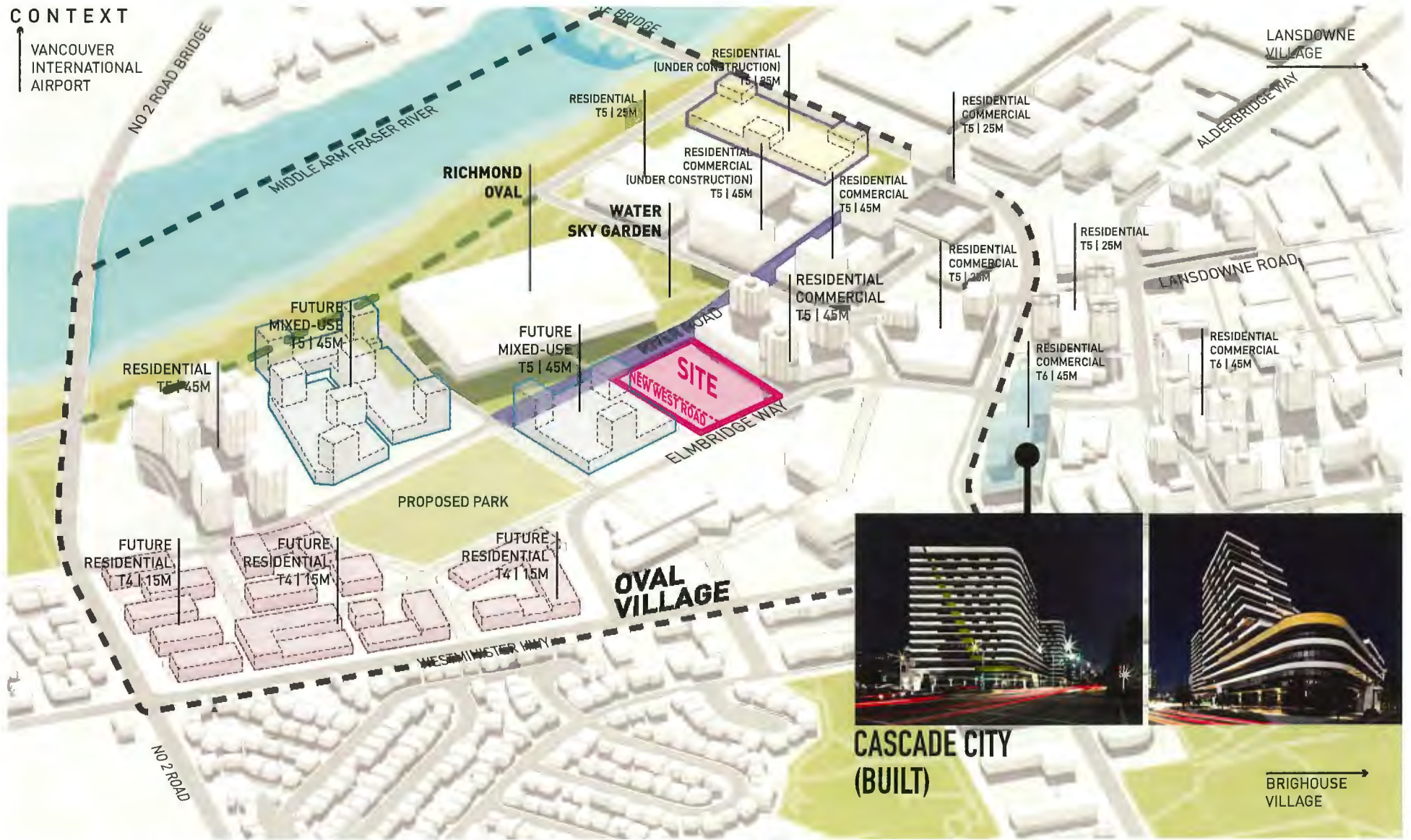


SUSTAINABLY-BUILT LOW-EMISSIONS BUILDING
CONNECTED TO OVAL VILLAGE DISTRICT ENERGY UTILITY;

*CALCULATIONS BASED ON: EMPLOYMENT DENSITIES: A FULL GUIDE; ARUP ECONOMICS + PLANNING / EMPLOYMENT DENSITY DRIVERS JONAS DELOITTE.

CONTEXT

VANCOUVER INTERNATIONAL AIRPORT



CASCADE CITY (BUILT)

BRIGHOUSE VILLAGE

MODELED AS PER CITY CENTRE AREA OVAL VILLAGE SPECIAL LAND USE MAP

CONCEPT



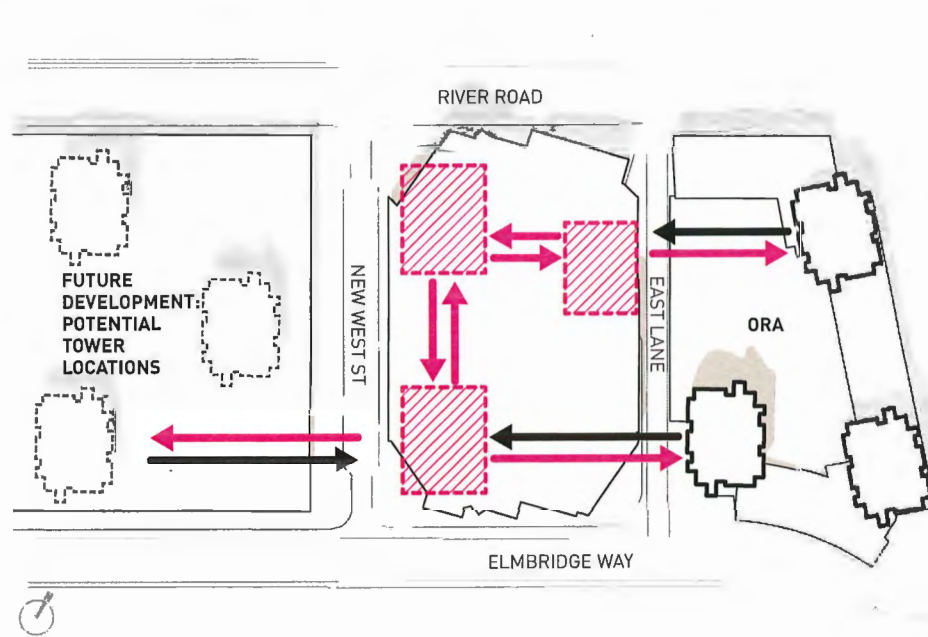
RIPPLED SAND PATTERNS FOUND IN TIDAL FLATS OF THE RIVER DELTA



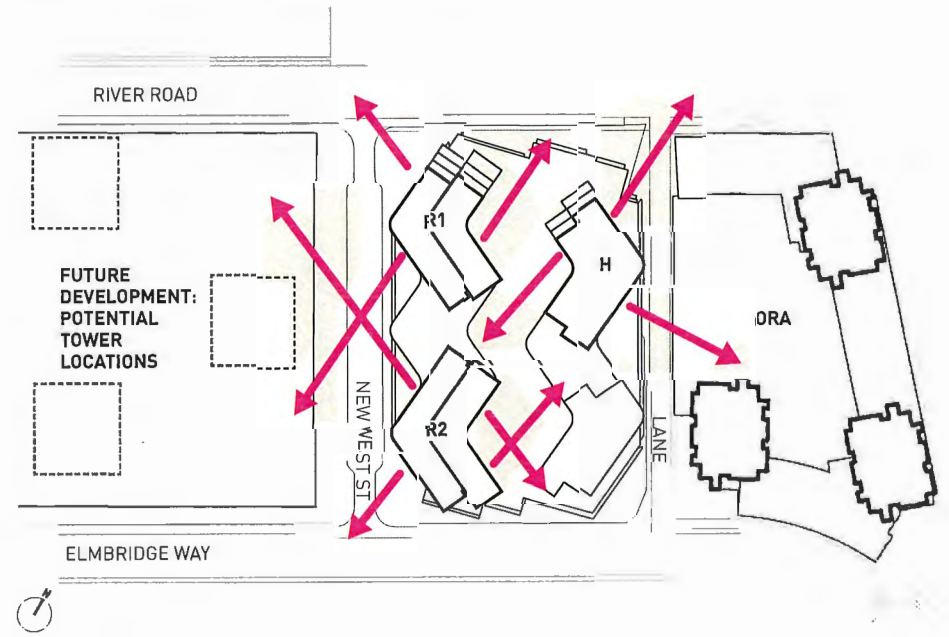
UNDULATING TOPOGRAPHICAL FORM

TOWER LOCATION AND ORIENTATION

*SQUARED TOWER FORM: RESULTS IN INCREASED OVERLOOK.
LACK OF PRIVACY FOR RESIDENTS*

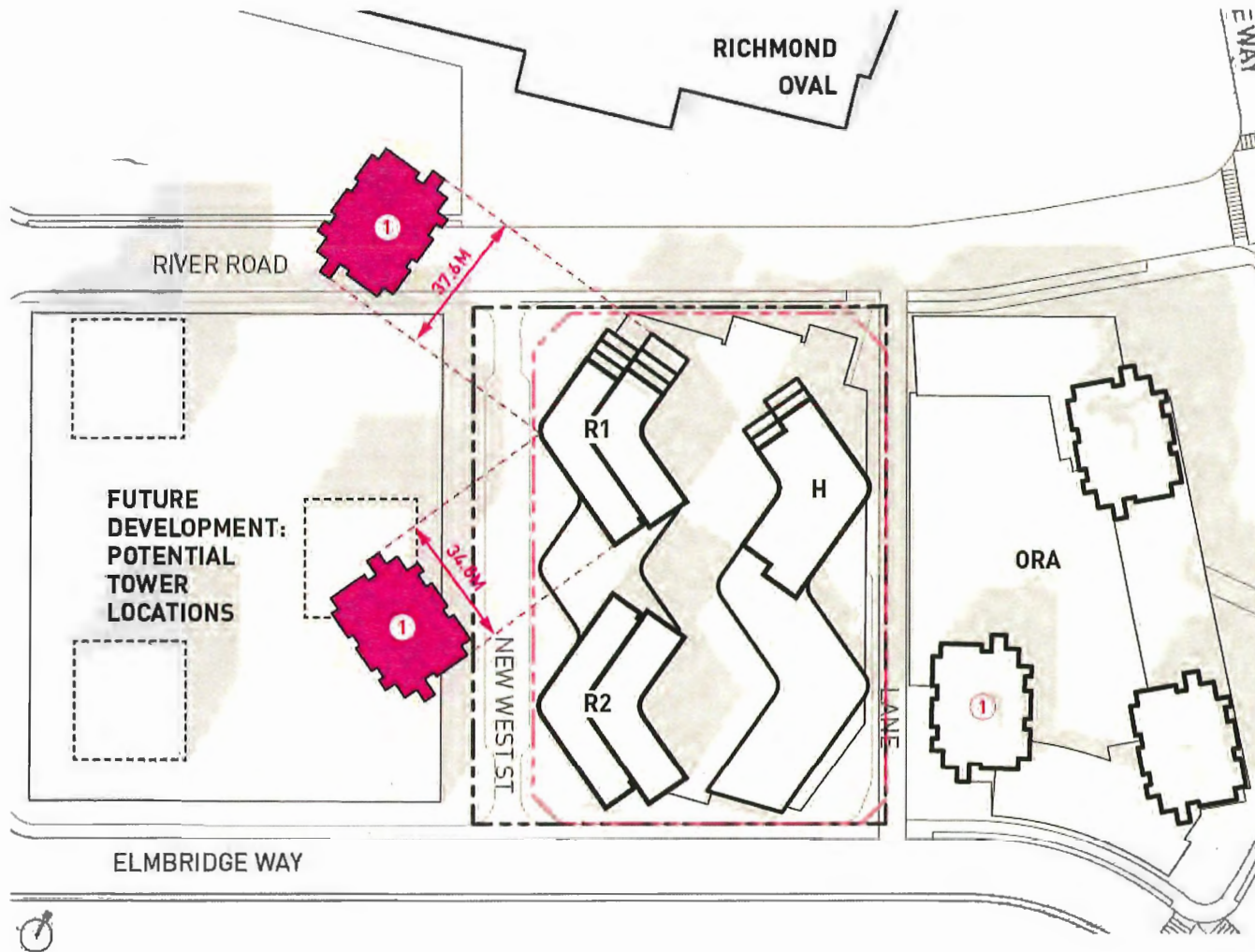


*BENT-SLAB TOWER FORM REDUCES OVERLOOK,
INCREASED PRIVACY FOR RESIDENTS*



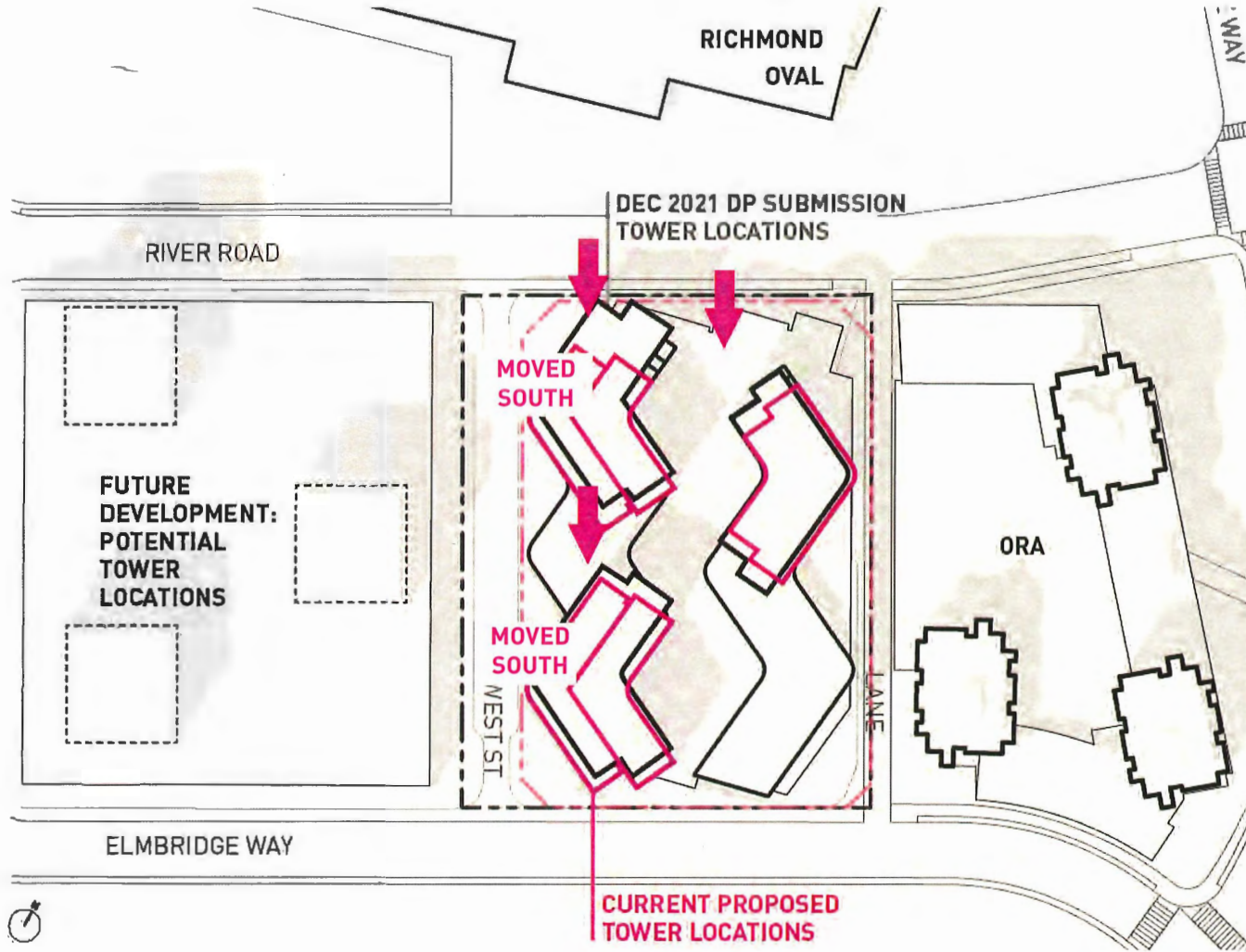
TOWER LOCATION AND ORIENTATION

BENT-SLAB BLOCK MASSING DIMENSIONALLY SIMILAR TO STANDARD RICHMOND FLOORPLATE:



TOWER LOCATION

PROPOSED TOWER LOCATIONS ARE STEPPED AND SHIFTED SOUTH TO REDUCE SHADOWING



PROGRAM

PROGRAM	UNITS
AFFORDABLE UNITS	35 (32 BUH)
AFFORDABLE FAMILY UNITS	22 (62%)

MARKET RESIDENTIAL	341 (6 BUH)
MARKET FAMILY HOUSING	161 (42%)

TOTAL BUH UNITS	38 (MARKET AND AFFORDABLE)
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HOTEL ROOMS TOTAL	214
ACCESSIBLE HOTEL ROOMS	6
HEARING IMPAIRED ROOMS	11

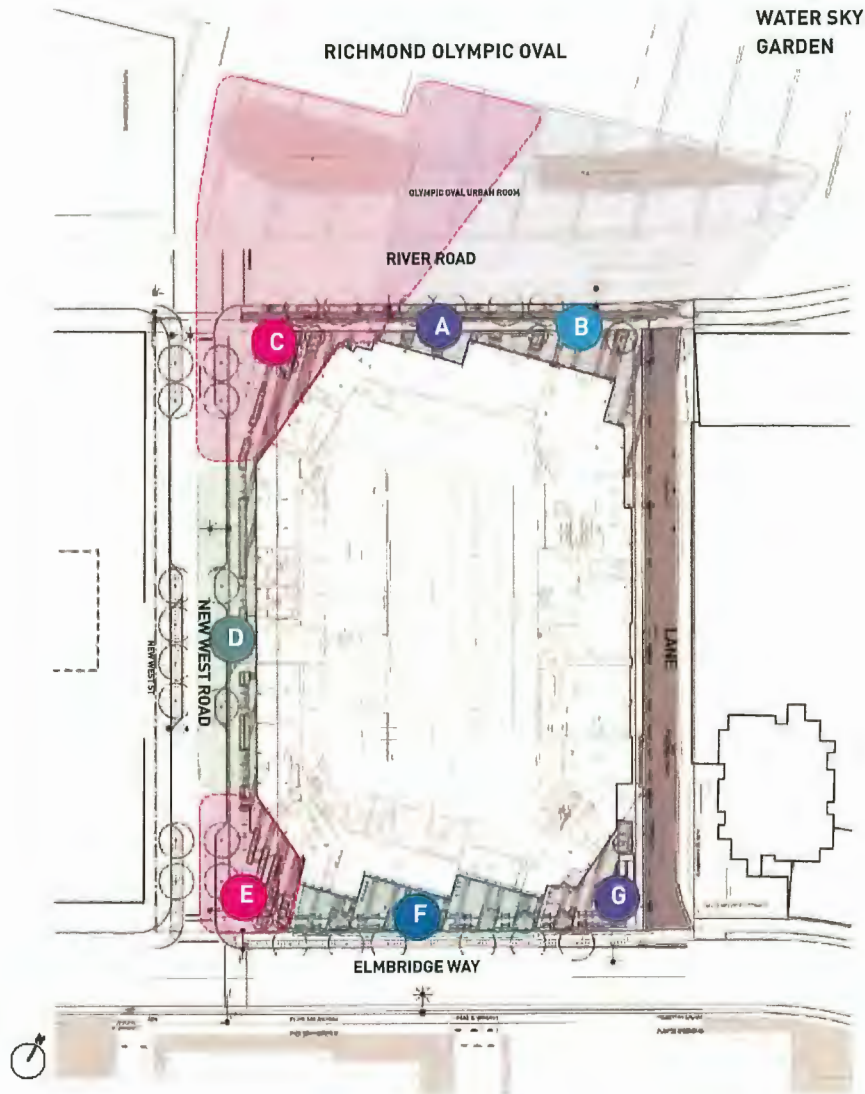
PARKING	STALLS
RESIDENTIAL (INCLUDES AH)	350
OVAL	52
MIXED (CRU/OFFICE/HOTEL/RESI VISITOR)	273
CAR SHARE/CARPOOL	7
TOTAL CAR STALLS	682
TOTAL BIKE PARKING	782 (INCL. SHORT-TERM BIKE PARKING)
LOADING	6 SM, 5 MID (INCL. 1 FOR HOTEL SHUTTLE BUS), 1 LARGE

AREAS:	SF:
COMMERCIAL	15,538 SF
HOTEL	139,573 SF
AFFORDABLE HOUSING	29,784 SF
RESIDENTIAL	291,625 SF
RES AMENITY	8,105 SF



PUBLIC PLAZA

PROJECT FEATURES PLAZAS RANGING IN SIZE FROM 2350-4200 SQFT



A HOTEL-CAFE/RESTAURANT + URBAN ROOM



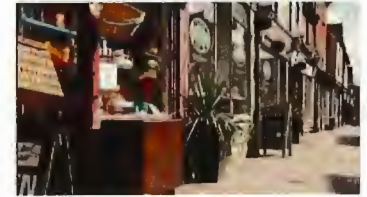
B NORTH 'LIGHT' PLAZA



C WINTER SPORTS LEGACY PLAZA



D SMALL BUSINESS RETAIL PROMENADE



E BOTANICAL PLAZA



F SUN-ORIENTED SOUTHERN WALKWAY & BOUTIQUE RETAIL EDGE



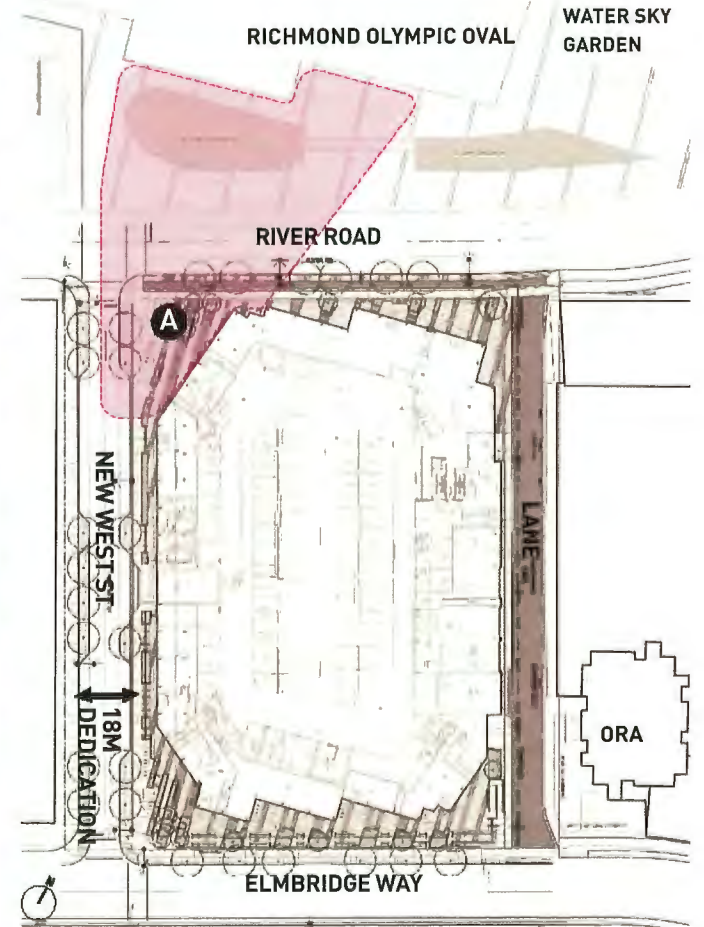
G SUN-ORIENTED PLAZA



PUBLIC PLAZAS



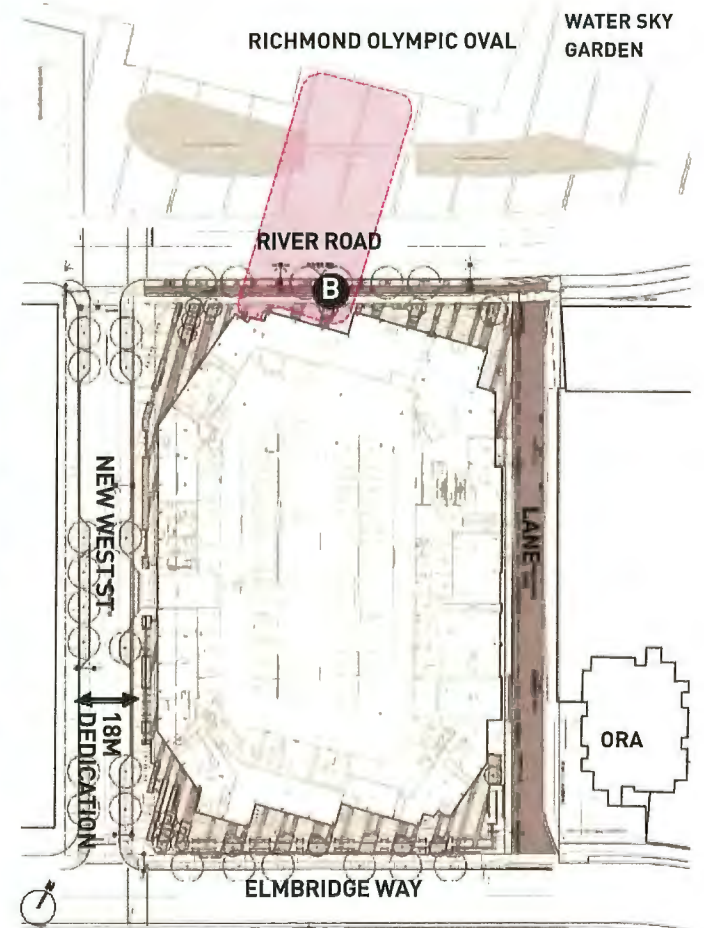
A WINTER SPORTS LEGACY PLAZA



PUBLIC PLAZAS



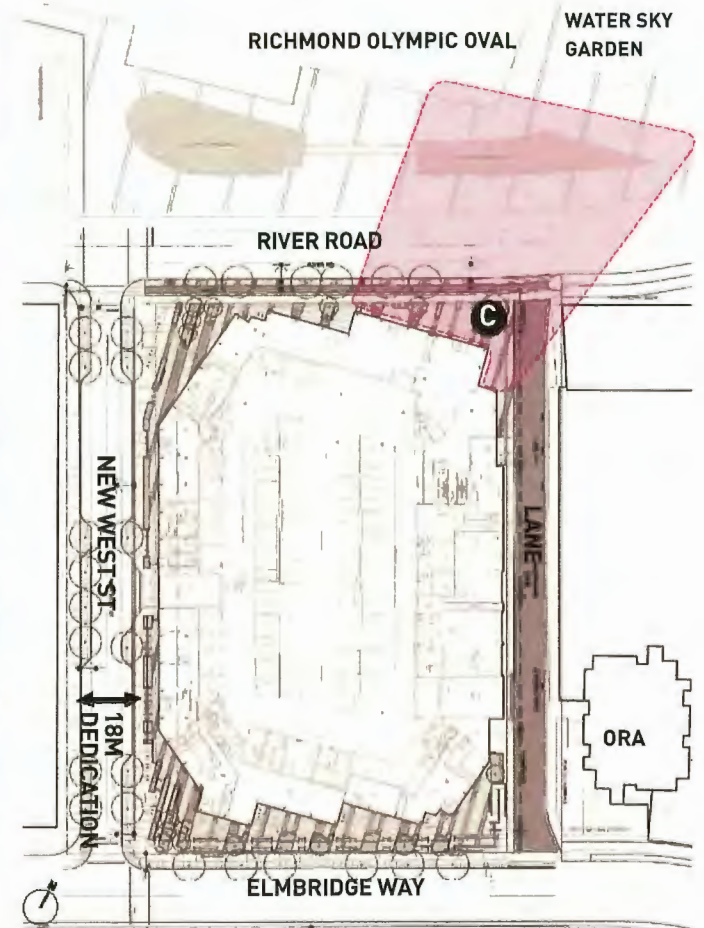
B HOTEL-CAFE/RESTAURANT + URBAN ROOM



PUBLIC PLAZAS



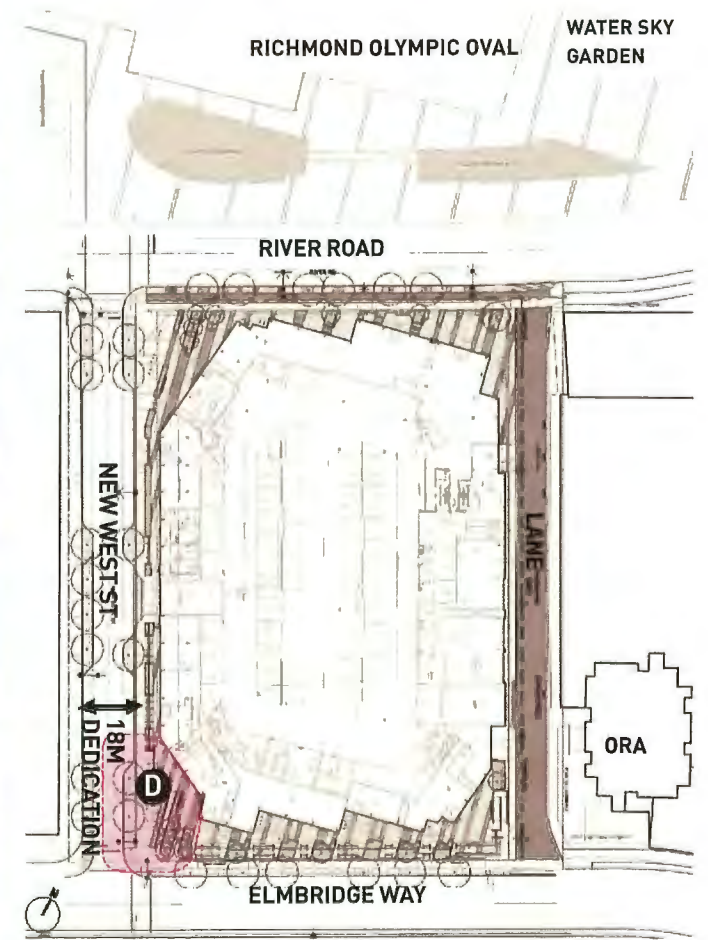
C NORTH 'LIGHT' PLAZA



PUBLIC PLAZAS



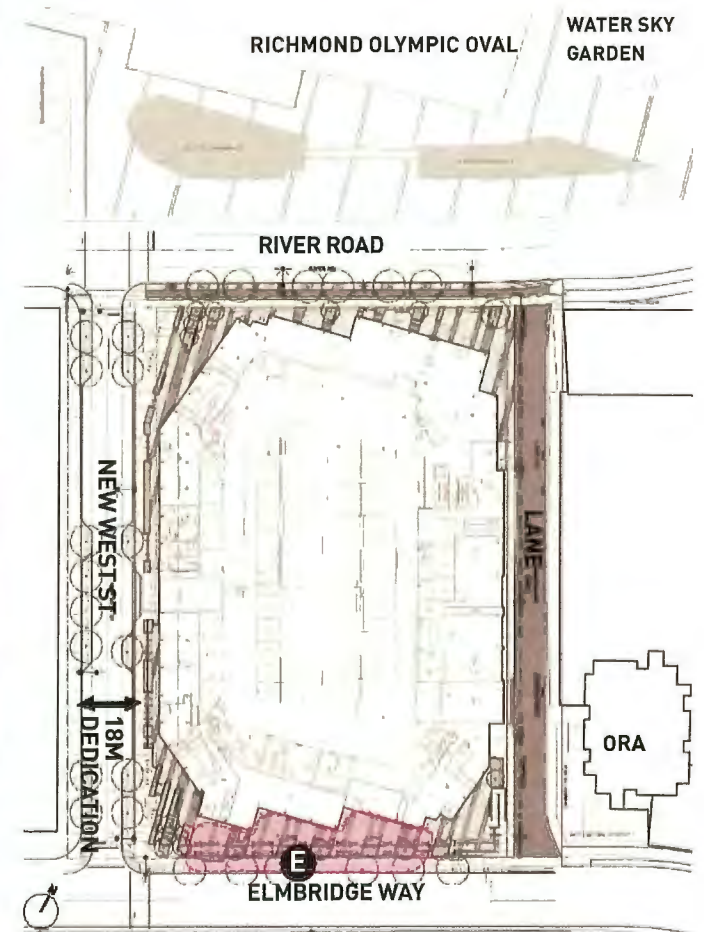
D BOTANICAL PLAZA



PUBLIC PLAZAS



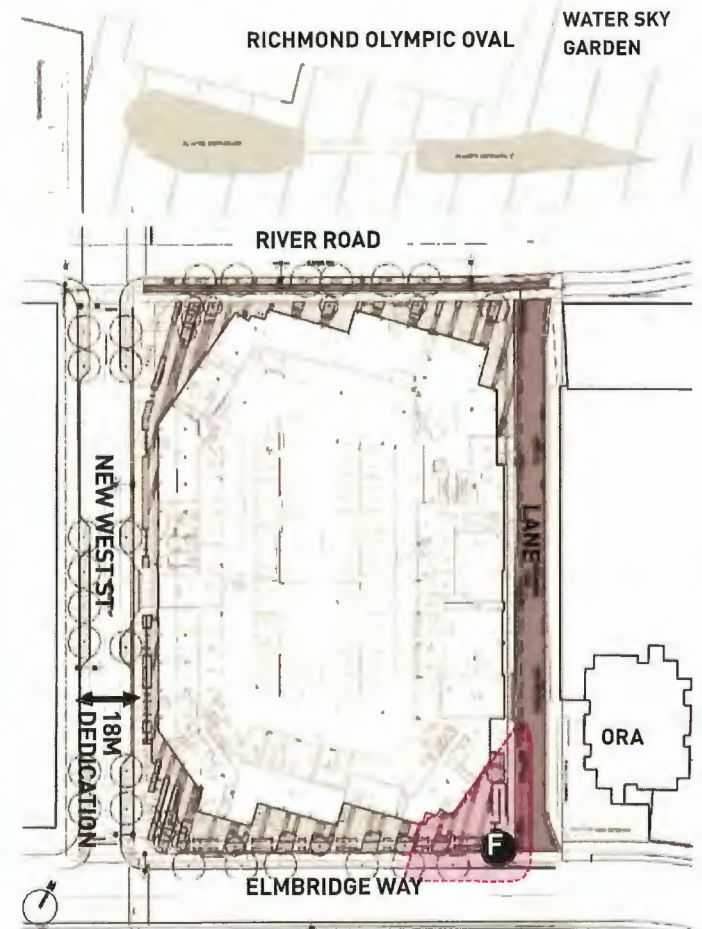
E SUN-ORIENTED SOUTHERN WALKWAY & BOUTIQUE RETAIL EDGE



PUBLIC PLAZAS



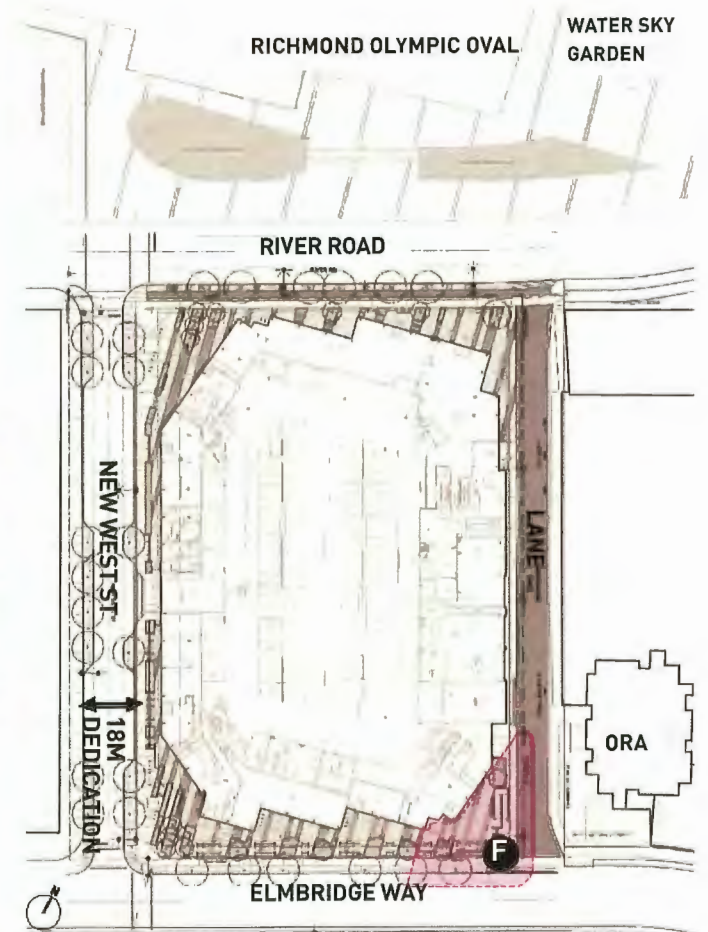
F ENTRY PLAZA



PUBLIC PLAZAS



F ENTRY PLAZA



VEHICLE ACCESS

PRIMARY VEHICLE ACCESS
NEW WEST RD. (ALL VEHICLES)

ELMBRIDGE WAY

RESIDENTIAL
TOWER 1

NEW WEST ROAD

RESIDENTIAL
TOWER 2

HOTEL

SECONDARY VEHICLE ACCESS
LANE (HOTEL/ON-SITE EMPLOYEE ONLY)

RIVER ROAD

LANE

ORA

OLYMPIC OVAL



OUTREACH TIMELINE

THE TEAM HAS WORKED EXTENSIVELY WITH THE NEIGHBOURHOOD TO IMPROVE VEHICLE ACCESS

DEC 6, 2022	MEETING #1 WITH ORA STRATA COUNCIL
DEC 8, 2022	CANVASS OF BUSINESSES ADJACENT TO THE SITE
FEB 22, 2023	MEETING #2 WITH ORA STRATA COUNCIL
FEB 24, 2023	MEETING WITH T&T MANAGEMENT TEAM
MARCH 20, 2023	CANVASS OF ORA COMMERCIAL TENANTS
MARCH 29, 2023	FOLLOW UP LETTER SENT TO ORA STRATA COUNCIL VIA THE PROPERTY MANAGER SUMMARIZING PROPOSED REDESIGN OF THE LANE

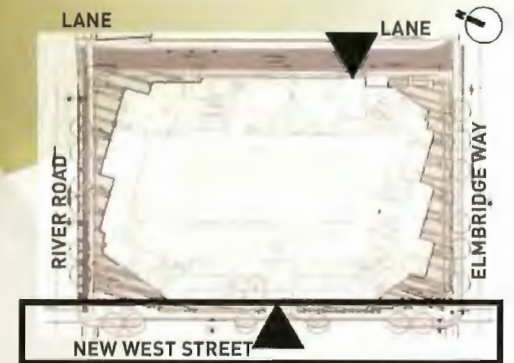
PRIMARY VEHICLE ACCESS



PRIMARY VEHICLE ACCESS

NEW WEST RD.

- MAIN ACCESS FOR ALL VEHICLES
- GATED WITH INTERCOM
- GATE TO REMAIN OPEN DURING REGULAR BUSINESS HOURS FOR COMMERCIAL USE
- INTERCOM SYSTEM TO BE AVAILABLE FOR NON-RESIDENTIAL USERS WHEN GATE IS CLOSED

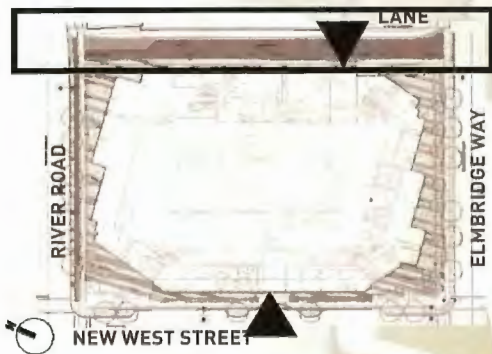


SECONDARY VEHICLE ACCESS

SECONDARY VEHICLE ACCESS LANE

SIGNIFICANT IMPROVEMENTS MADE TO REDUCE LANE TRAFFIC

- HOTEL/ON-SITE EMPLOYEE USE ONLY
- REGULATED THROUGH USE OF FOB
- SECURITY GATE TO BE ADDED
- LANE WILL BE WIDENED
- SIDEWALK PROVIDED ALONG LANE **DANGER**
- WAYFINDING SIGNAGE TO BE ADDED
- HOTEL DROP-OFF TO BE MOVED FROM LANE TO INSIDE PARKADE



TDM MEASURES

TDM MEASURES TO REDUCE VEHICLE OWNERSHIP:



CAR SHARE VEHICLES AND STALLS



CAR POOLING STALLS



**25% ADDITIONAL LONG-TERM BIKE PARKING,
AND 5% SHORT-TERM BIKE PARKING**



2-ZONE TRANSIT PASS SUBSIDY



END-OF-TRIP FACILITIES



ELECTRICAL OUTLET FOR LONG TERM CLASS A BIKE PARKING



BICYCLE MAINTENANCE AND REPAIR STATION

SUSTAINABILITY



Connection to Oval Village District Energy Utility (OVDEU)



Sustainability-Built Low Emissions building

(meeting Step 2 of BC Energy Step Code referenced in BC Building Code 2018)



782 Bike Stalls



Addition of 26 off-site trees and 93 on-site trees



Intensively landscaped podium roof to reduce runoff and store water



Passive daylight control through balcony frame expression

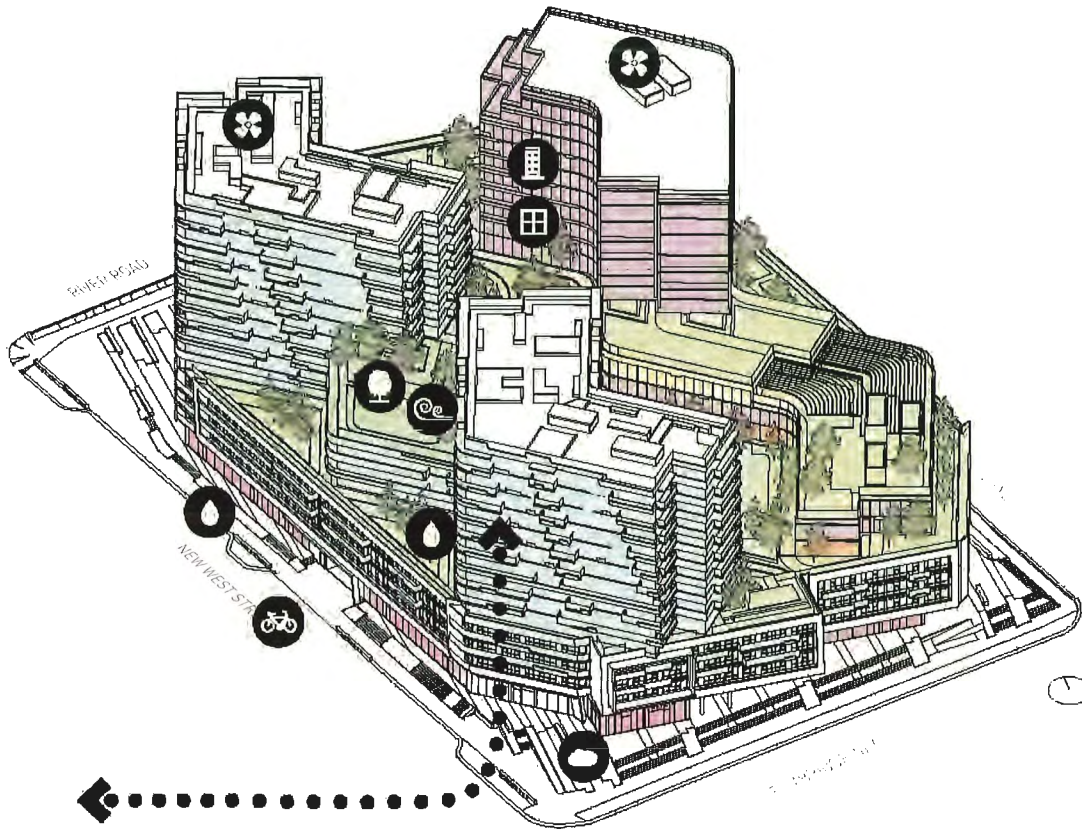


Use of green concrete resulting in reduced embodied emissions










SUSTAINABILITY

PROJECT COMPLIES WITH STEP 2 OF BC ENERGY STEP CODE REFERENCED IN BC BUILDING CODE 2018 VIA THE LOW CARBON BUILDING ENERGY SYSTEMS COMPLIANCE PATHWAY.

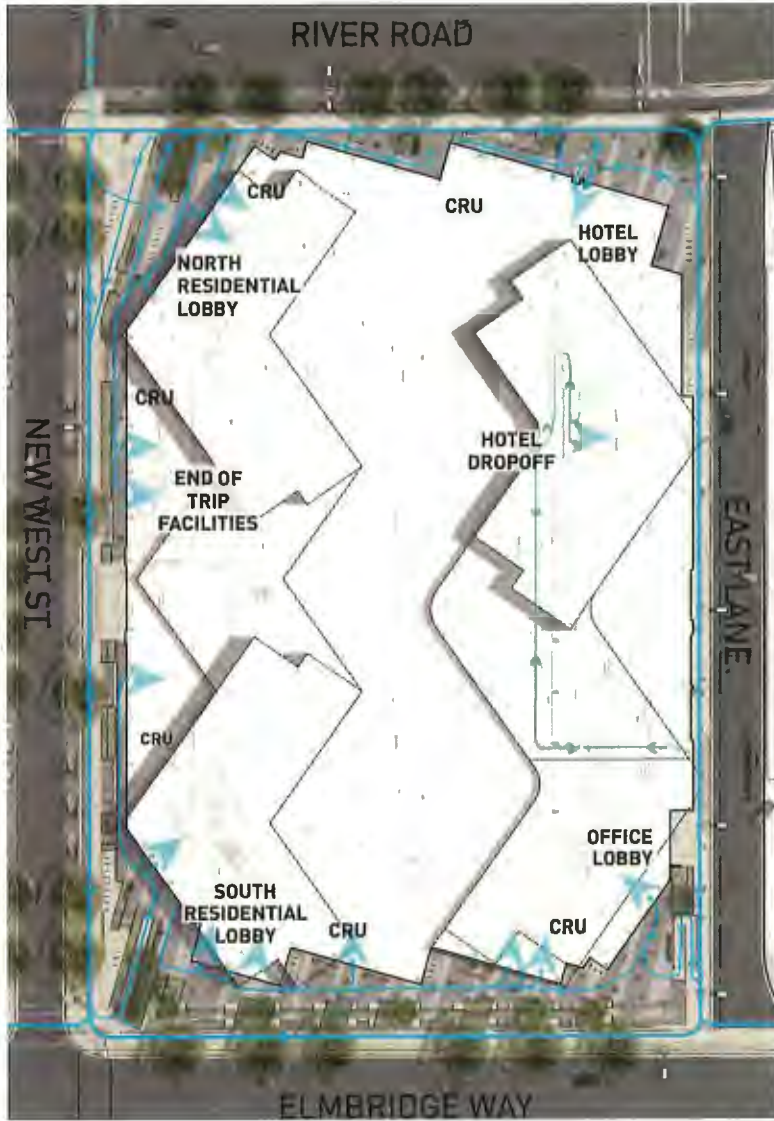


CONNECTION TO OVAL VILLAGE DISTRICT ENERGY UTILITY (OVDEU);

-  HIGH PERFORMANCE BUILDING ENVELOPE
-  OPTIMIZED GLAZING PLACEMENT
-  HYDRONIC FAN COIL UNITS WITH EC MOTORS
-  RAINWATER MANAGEMENT VIA ROOF LANDSCAPED PODIUM ROOF/AT GRADE
-  REDUCED HEAT ISLAND EFFECT
-  PASSIVE SHADING
-  GREENING OF SITE
-  ADDITIONAL BIKE PARKING
REQUIRED: 769
PROVIDED: 782

ACCESSIBILITY

ACCESSIBILITY ROUTES - AT GRADE



ACCESSIBILITY ROUTES - AMENITY SPACES AT L6



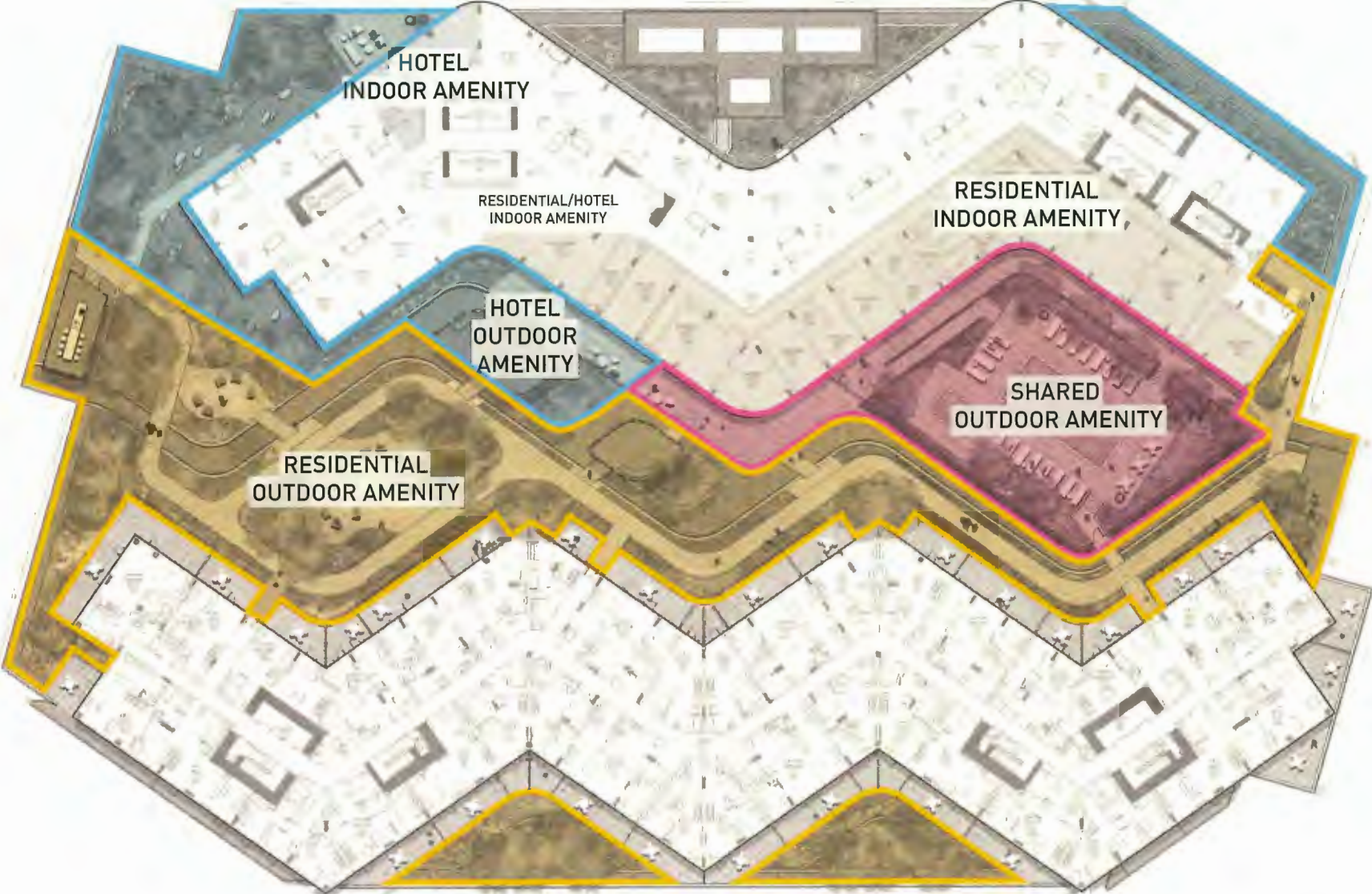
A M E N I T Y

RESIDENTIAL AMENITY SPACE REQUIREMENT

	NUMBER OF UNITS	AREA REQUIRED	AREA PROPOSED
RESIDENTIAL INDOOR AMENITY SPACE	376 <i>(341 MARKET + 35 AFFORDABLE)</i>	752 SQM <i>(25QM PER UNIT)</i>	753 SQM
RESIDENTIAL OUTDOOR AMENITY SPACE	376 <i>(341 MARKET + 35 AFFORDABLE)</i>	2256 SQM <i>(6SQM PER UNIT)</i>	3139 SQM <i>(2039 SQM L6 RESIDENTIAL + 649 SQM L6 SHARED + 451 SQM L9 RESIDENTIAL)</i>

PER CITY CENTRE AREA PLAN 3-32, 3.1.8 MULTIPLE-FAMILY B. AMENITY SPACE: • "NOTWITHSTANDING THE ABOVE PROVISIONS, IN THE CASE OF LARGE PROJECTS (TYPICALLY EXCEEDING 400 DWELLING UNITS), THE MINIMUM AMENITY SPACE MAY BE REDUCED, PROVIDED THAT THE DEVELOPMENT INCLUDES ONE OR MORE SPECIAL RECREATIONAL FACILITIES, TOGETHER WITH MULTI-PURPOSE SPACE, TO THE SATISFACTION OF THE CITY;"

AMENITY: LEVEL 6



AMENITY: LEVEL 9



MATERIALS & WEST ELEVATION



PODIUM COMMERCIAL

RESIDENTIAL TOWERS & PODIUM RESIDENTIAL



- A** ALUMINUM STOREFRONT GLAZING SYSTEM. COLOUR: CHARCOAL GREY FRAME
- C** GLAZED SHADOW BOX SPAN-DREL. COLOUR: LIGHT GREY



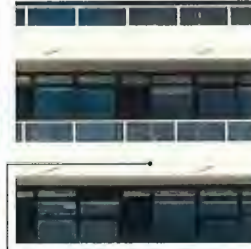
- 6** PAINTED CONCRETE (ARCHITECTURAL FINISH) COLOUR: WHITE



- 1** ALUMINUM PERFORATED SCREEN



- B** WINDOW WALL GLAZING SYSTEM. CHARCOAL GREY FRAME
- D** GLAZED SHADOW BOX SPAN-DREL. COLOUR: LIGHT & CHARCOAL GREY



- 6** PAINTED CONCRETE (ARCHITECTURAL FINISH) COLOUR: WHITE

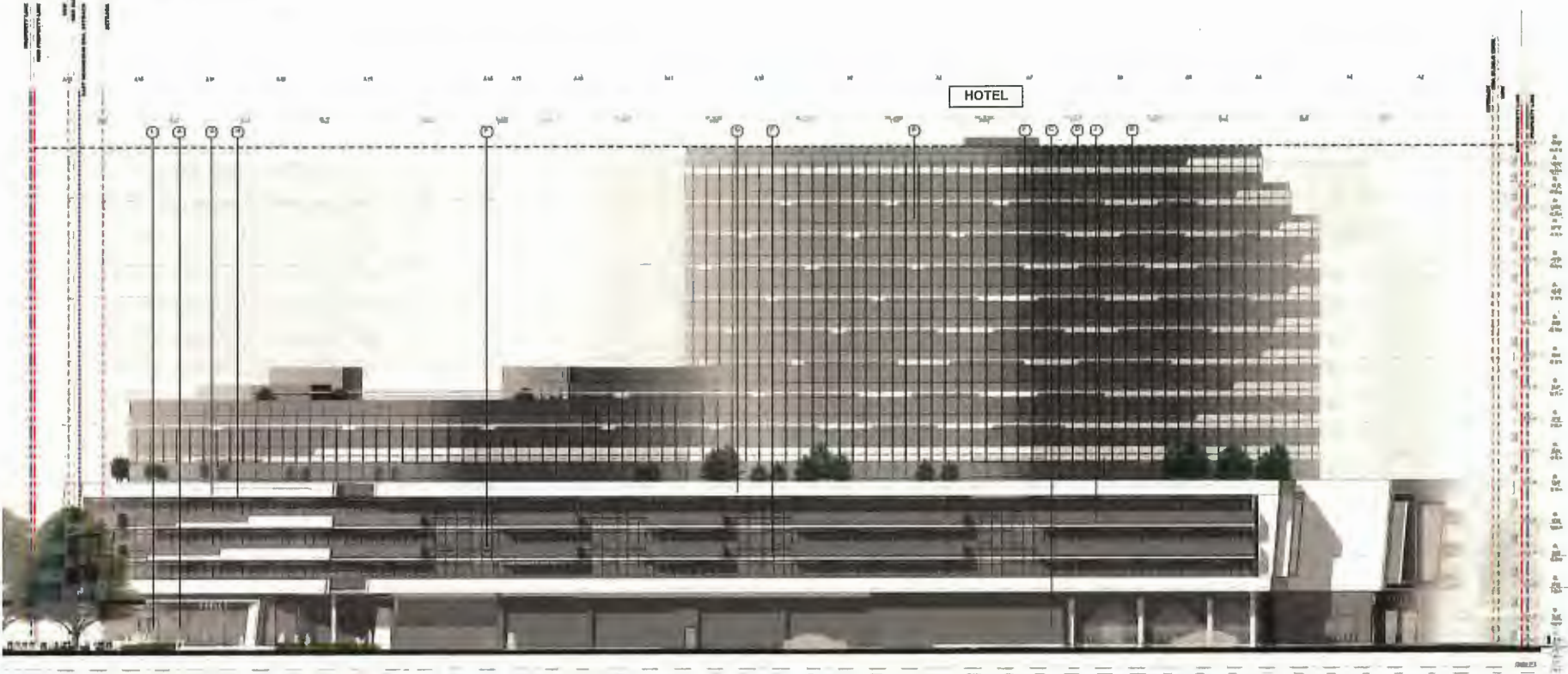


- 1** ALUMINUM GLASS GUARD. FRAME COLOUR: CHARCOAL GREY

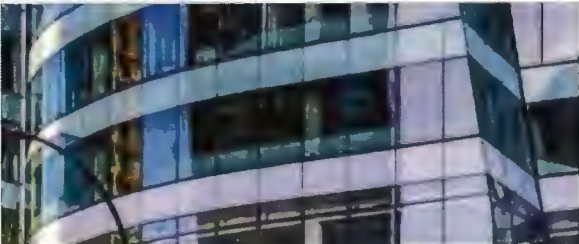


- 8** FULL HEIGHT FROSTED GLASS PRIVACY SCREEN

MATERIALS & EAST ELEVATION



HOTEL TOWER

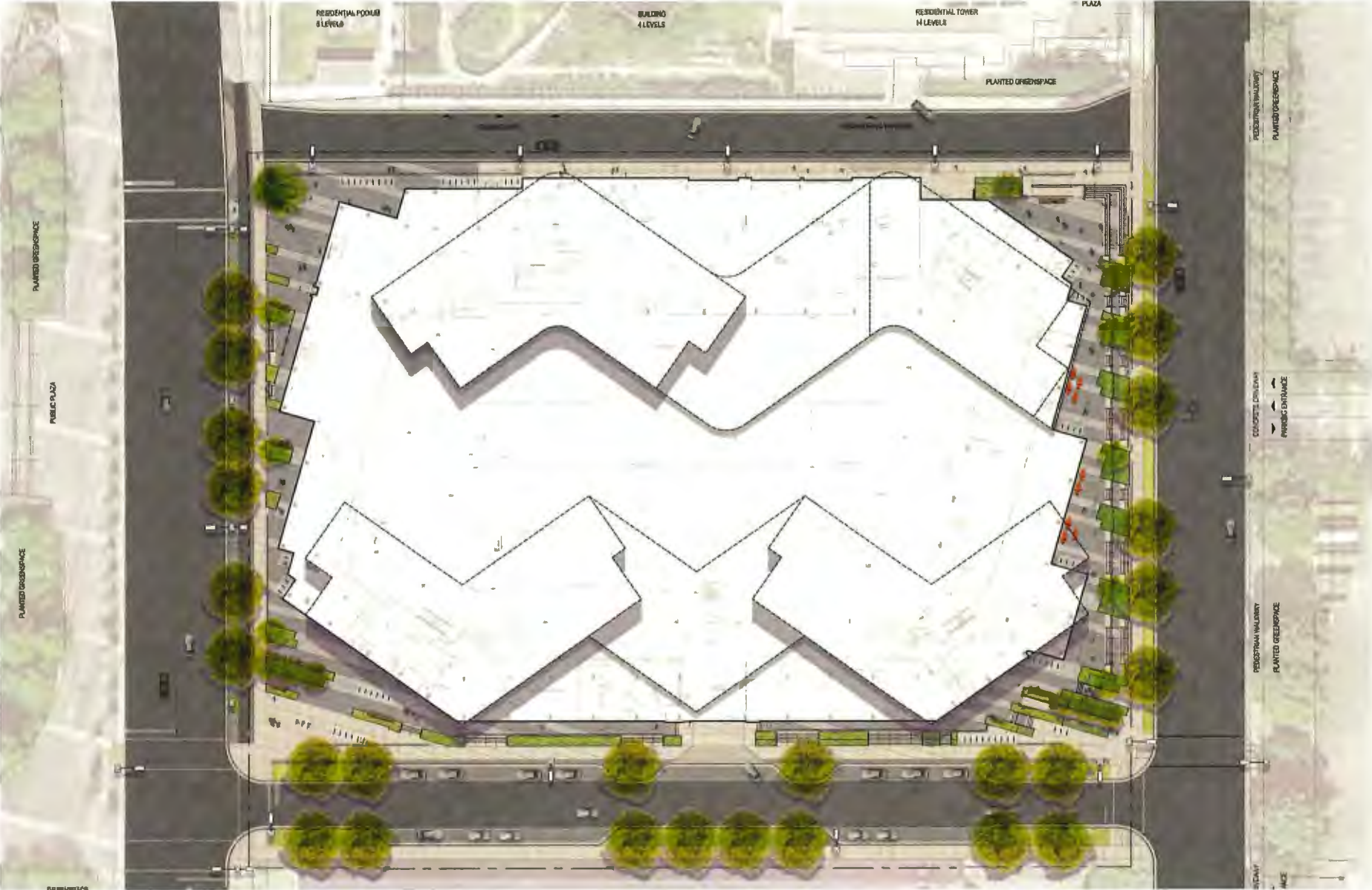


4-SSG CURTAIN WALL FRAME. COLOUR: CHARCOAL GREY

CASE STUDY - CASCADE CITY



LANDSCAPE: GROUND LEVEL



LANDSCAPE: GROUND LEVEL PRECEDENT IMAGES



FEATURE UNIT PAVING WITH BANDS



PLANTING WITH TREES AND EDGE SEATING



MOVABLE FURNITURE AT CRU PATIOS



TERRACED PLANTING



PUBLIC ART OPPORTUNITIES



LANDSCAPE: LEVEL 6 PLAN



LANDSCAPE: LEVEL 6 PRECEDENT IMAGES



STEPPING STONE PATH



LANDSCAPED ISLAND



'RIVER' AS DRY CREEK



MEADOW PLANTING



LAWN



OUTDOOR FITNESS

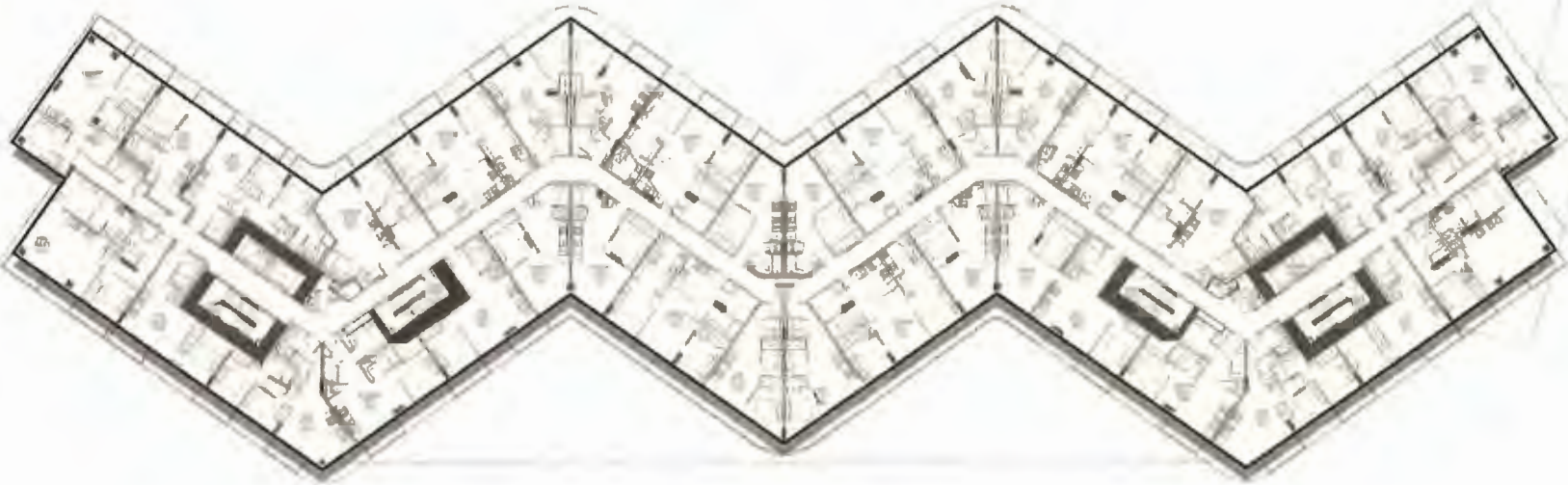


LANDSCAPE STRUCTURE



POOL DECK

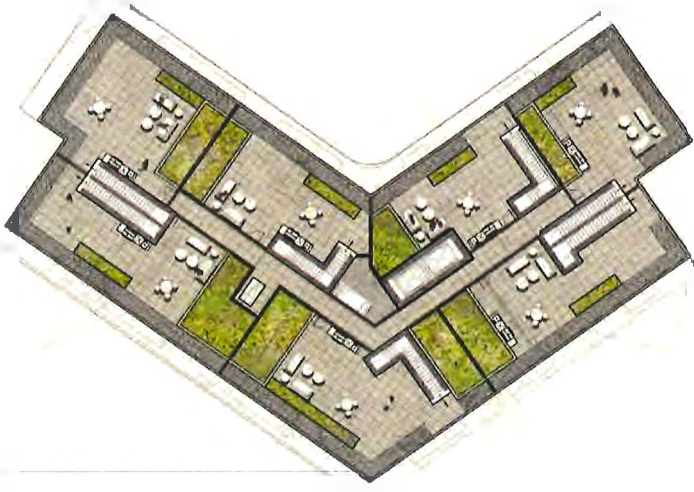
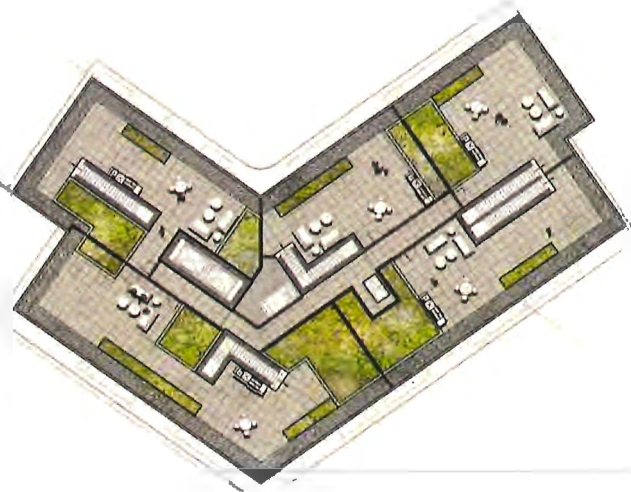
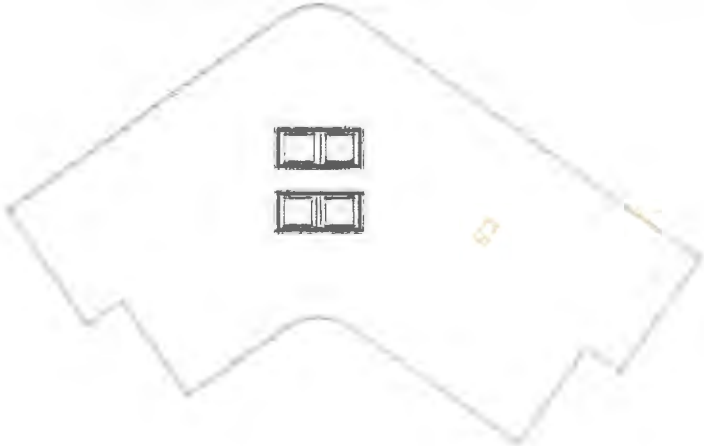
LANDSCAPE: LEVEL 8 PLAN



LANDSCAPE: LEVEL 9 PLAN



LANDSCAPE: ROOF TOP PLAN



LANDSCAPE: LEVEL 9 AND ROOF PRECEDENT IMAGES



HOTEL CRU TERRACE



TOPOGRAPHY PLAY



PLAY STRUCTURE



PENTHOUSE ROOF TERRACE



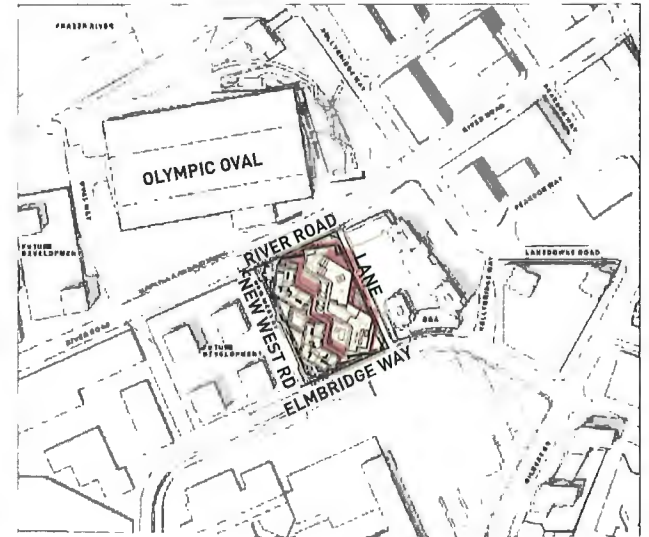
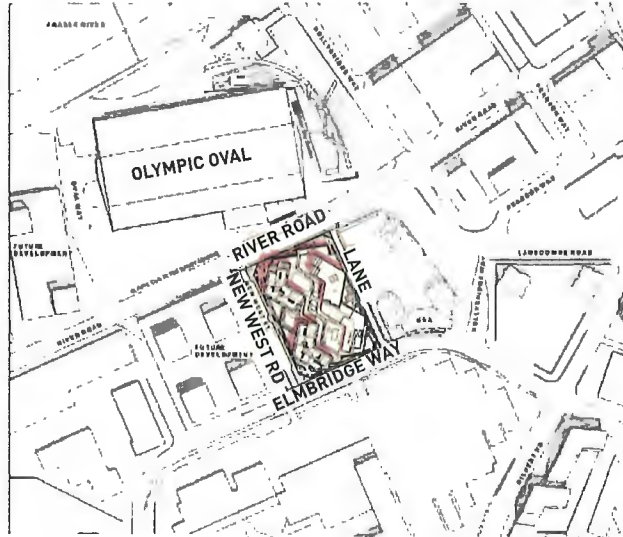
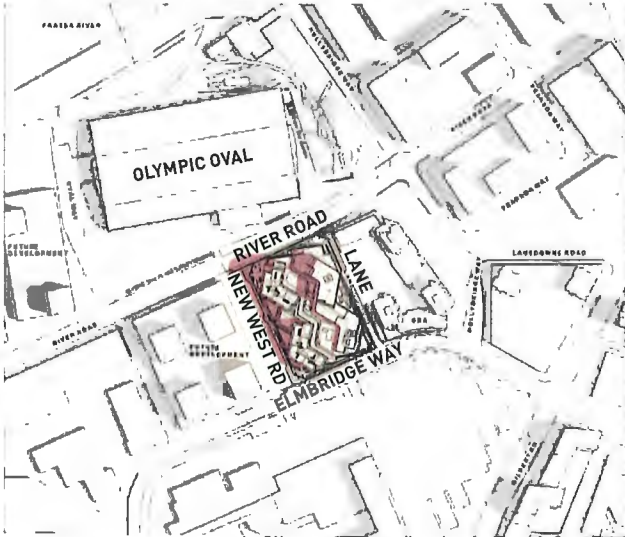
SHADOW STUDY

10 AM

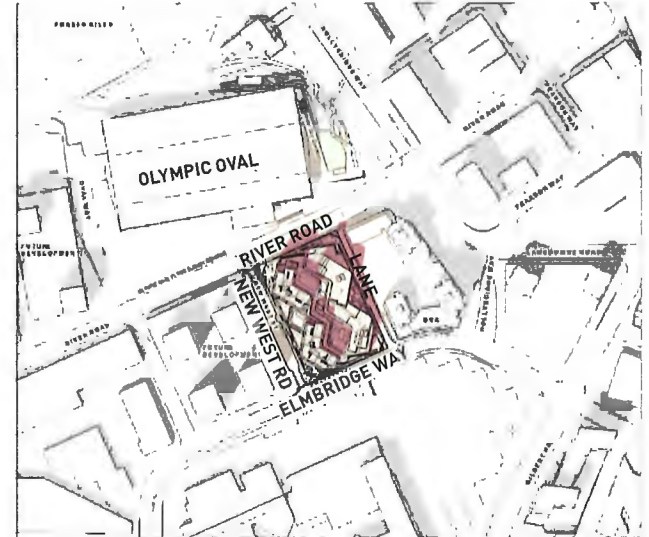
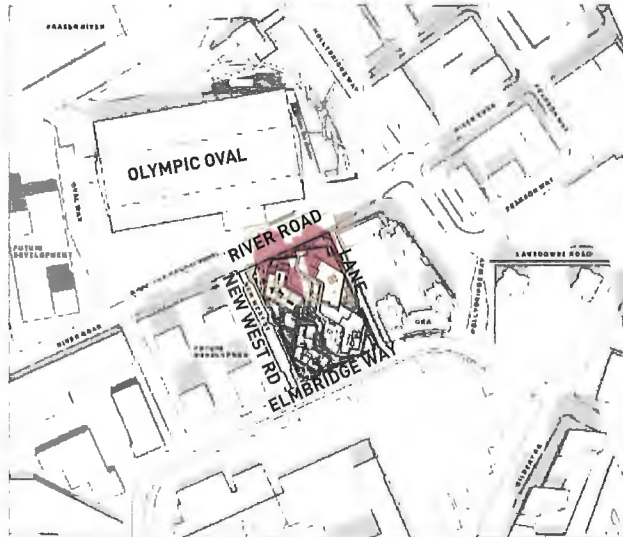
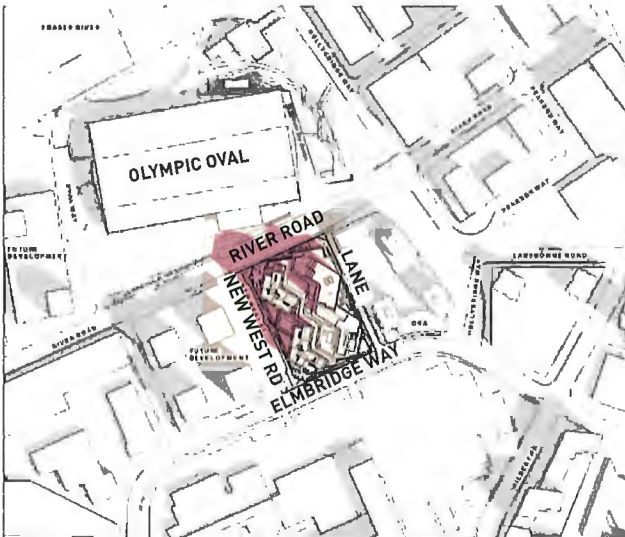
12 PM

2 PM

SUMMER



FALL



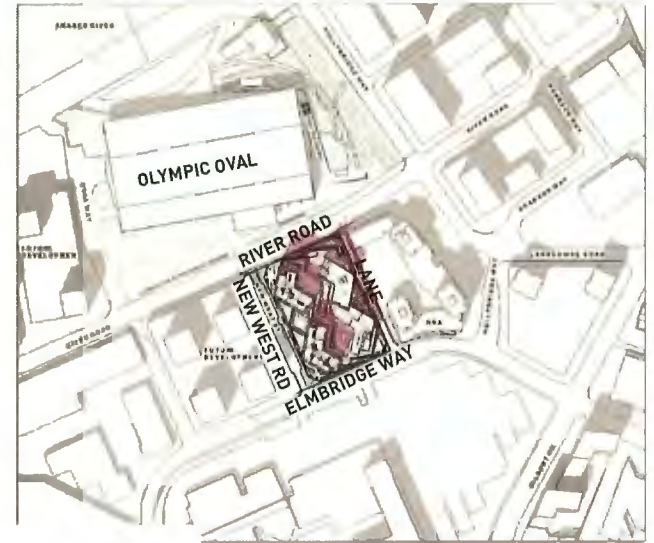
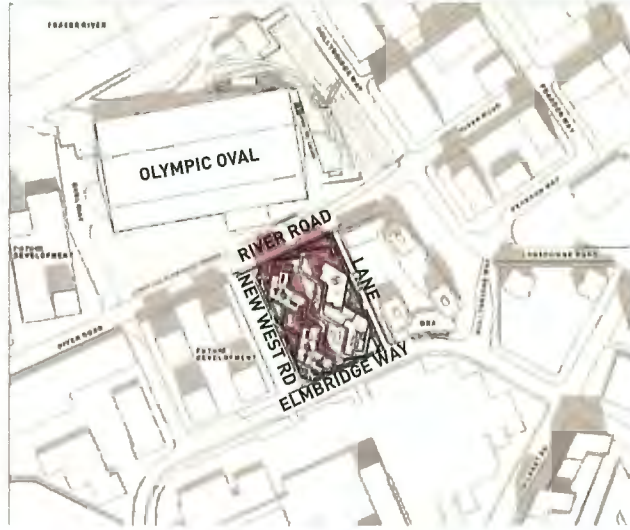
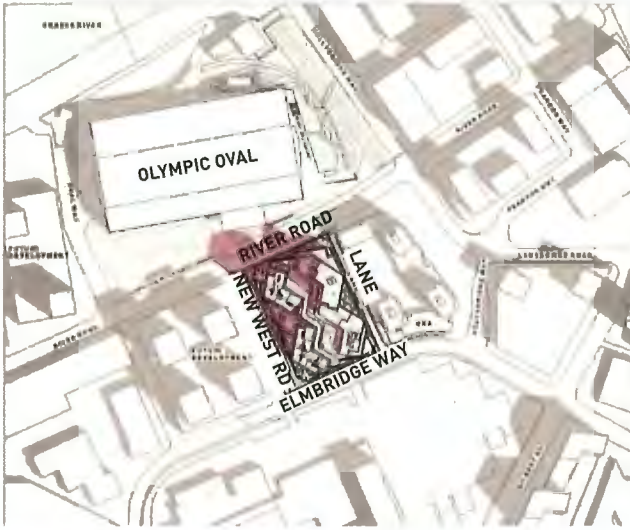
SHADOW STUDY

10 AM

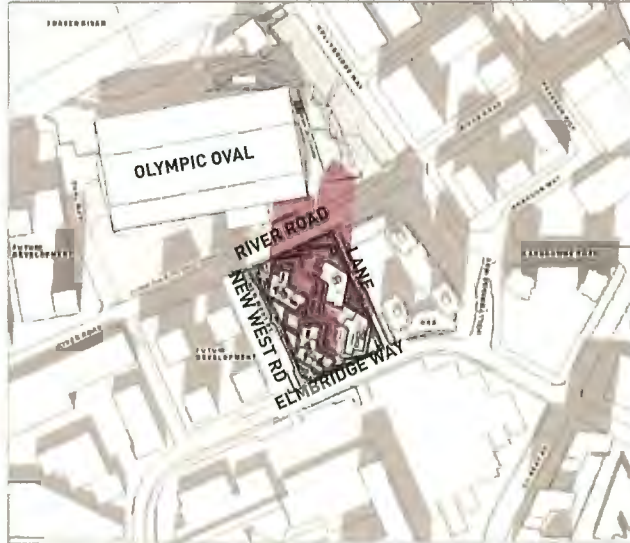
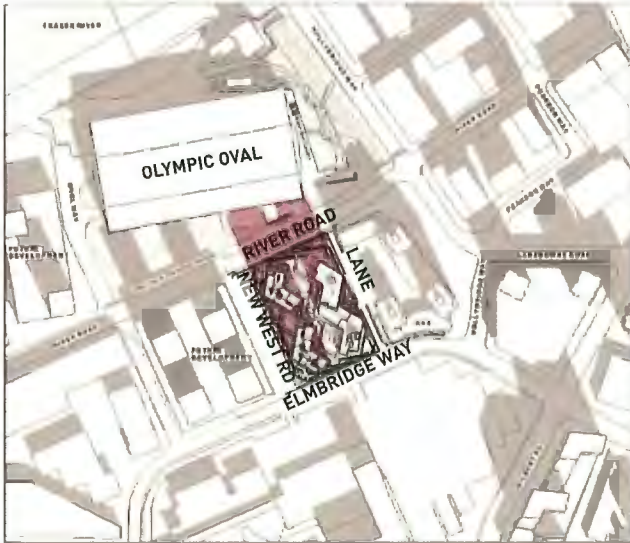
12 PM

2 PM

SPRING



WINTER



THANK YOU!

6851-6871 ELMBRIDGE WAY



LANDA

CNCL - 307

Schedule 2 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
May 15, 2024

From: Elaine Luo <luoelaine@outlook.com>
Sent: May 3, 2024 9:23 AM
To: CityClerk
Subject: Notice of Development Permit

Categories: Rustico

To Development Permit Panel	
Date:	MAY 15, 2024
Item #	1
Re:	DP 21-945917

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Luo Yilei
3600 Broadway St
Richmond BC V7E 2X8

I am unable to attend Development Permit Panel meeting due to being unavailable May 15th 2024.
The purpose of the development permit to be issued on site 6851 and 6871 Elmbridge Way seems fine, no extra comments.



6500 COONEY RD - 6 UNIT TOWNHOUSE DEVELOPMENT

PROJECT SUMMARY

OWNER ADDRESS: 6500 COONEY ROAD, RICHMOND, BC
 LEGAL DESCRIPTION: LOT 20 SECTION 9, BLOCK 40 RANGE 6W HWY PLAN 18292
 LOT SIZE:
 ORIGINAL SITE: 1704.9 SM (374.5 SF)
 ROAD DEDICATIONS: 2.4M ALONG COONEY ROAD, 1.8M ALONG COOK ROAD, 5M X 5M AT SW CORNER
 LANE DEDICATIONS: 6M ALONG EAST PROPERTY LINE
 NET SITE AREA: 632.9 SM (8811.4 SF) (PARTIAL SUBDIVISION PLAN APR 2024)

	Current Proposal (2021)	Bylaw Requirement (ETRS)
FAR DENSITY	1.2	1.2 Max
LOT COVERAGE - BUILDING	52.4%	55 % Max
LOT COVERAGE - NON-POROUS	74.1%	75 % Max
SETBACK - COONEY	20%	20 % Min
SETBACK - COOK	3.19 m	3 m Min
SETBACK - CORNER CUT	4.6 m	3 m Min
SETBACK - LAKE	3.03 m	3 m Min
SETBACK - NORTH INTERIOR SIDE YARD	0.68 m	0 m Min
BUILDING HEIGHT	15.43 m & 4-stories	15.5 m Min
LOT WIDTH	20.34 m	20 m Min
LOT DEPTH	31.62 m	30 m Min
LOT AREA	632.9 m ²	600 m ² Min
PARKING		
PARKING REQUIRED	10 (8 Residents + 2 Visitors)	10 (1.25/Res + 0.25/Vis)
TANDEM PARKING	25% (2 out of 8)	50 % Max
BICYCLE PARKING	8 Class 1 + 2 Class 2	8 Class 1 (1.25/Res) + 2 Class 2 (0.25/Vis)
ACCESSIBLE PARKING	0	Not required
EY CHARGING	100% of resident parking spaces	10 Level 2, 12% Ey Charging outlets
OCF/CCAP		
AMENITY - BIROOD	Cash-in-lane	50 m ² Min
AMENITY - OUTDOOR		36 m ² Min
CCAP ADDITIONAL OUTDOOR AMENITY		63.1 m ² Min (10% of Net Site Area)
PRIVATE OUTDOOR SPACE	38.28 - 40.54 m ²	37 m ² Min



AERIAL VIEW OF THE SUBJECT PROPOSAL



VIEW FROM LANE AT COOK ROAD



VIEW OF CHILDREN PLAY AREA

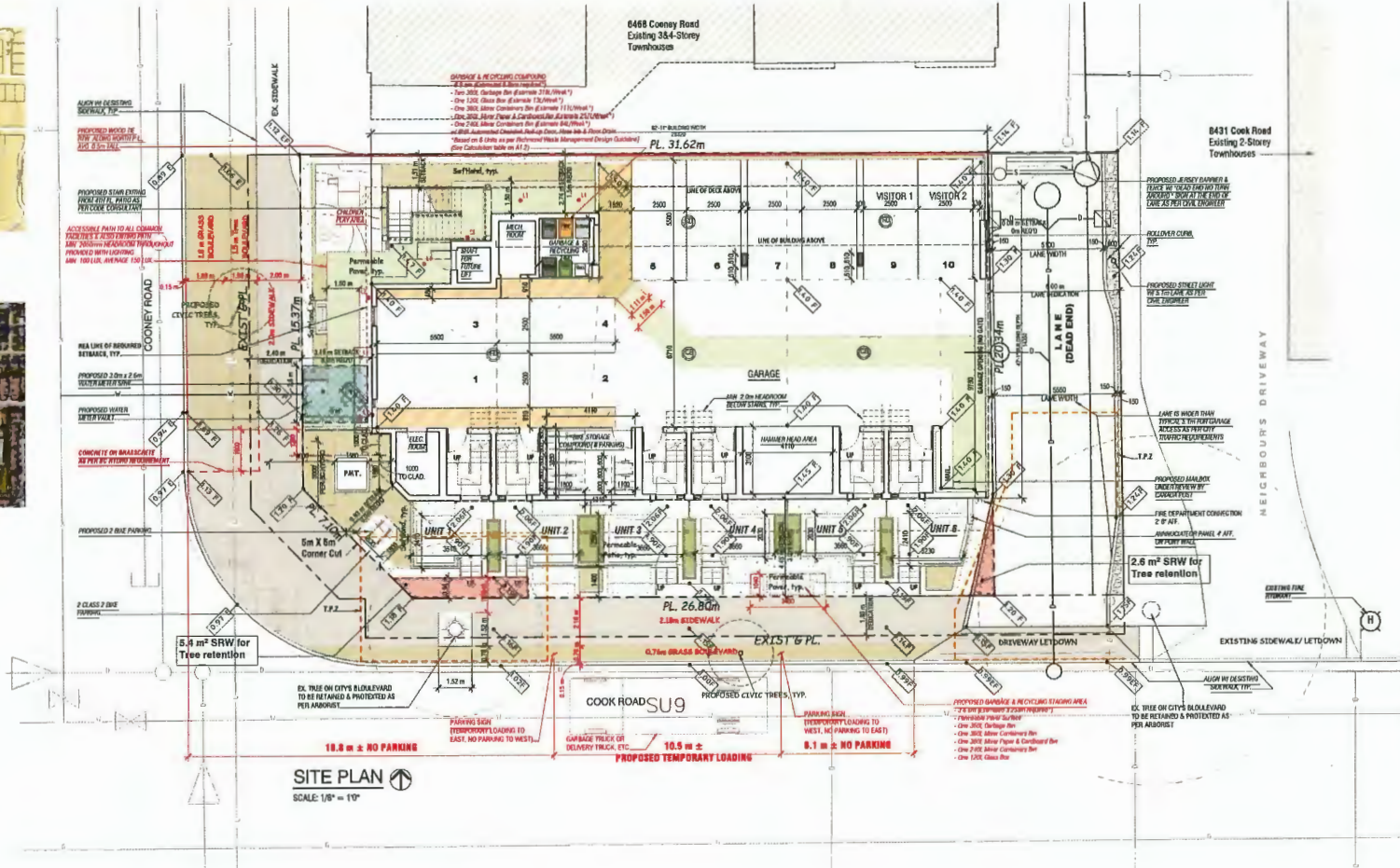


LOCATION PLAN



SITE AERIAL PHOTO

- LEGEND**
- Existing Storm Service
 - Proposed Storm Service
 - Existing Sanitary Service
 - Proposed Sanitary Service
 - Existing Water Service
 - Proposed Water Service
 - Existing Gas Line
 - Existing Street Light Duct
 - Proposed recessed light
 - Proposed wall sconce light



Kim Architecture Inc
 779-779-8818 / 1-604-800-0775
 k.ivanov@kim.ca
 21-2223 West Broadway
 Vancouver, B.C. V6J 2E4

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Project Title
6-UNIT TOWNHOUSE
 6500 Cooney Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

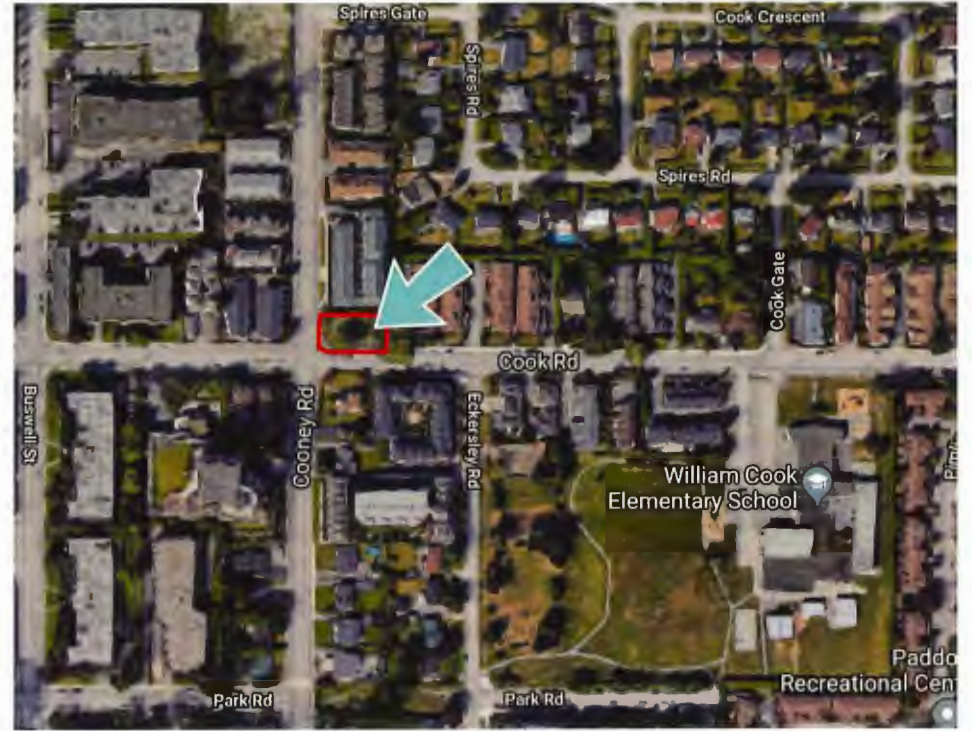
No.	Date	Revision
12	May 8 2024	Issued for DPP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DPP Revision 2
10	Jun 12 2023	DPP Revision 1
9	Jun 9 2023	BP Revision 1
8	Aug 19 2022	Fire fighting updates
7	Jul 29 2022	Abstract update
6	Jul 9 2022	BP Submission
5	Jun 21 2022	BP Updated Set
4	Feb 25 2022	DPP Submission Set
3	Jun 9 2021	Prepping application (Traffic Revision)
2	May 13 2021	Prepping application (Revised)
1	Jan 13 2020	Prepared for Parking Layout

Sheet Title
PROJECT DATA & SITE PLAN

Drawn: **CL**
 Checked: **KK**
 Scale:
 Print date: **May 2, 2024**
 Dwg. no. **A1.0**

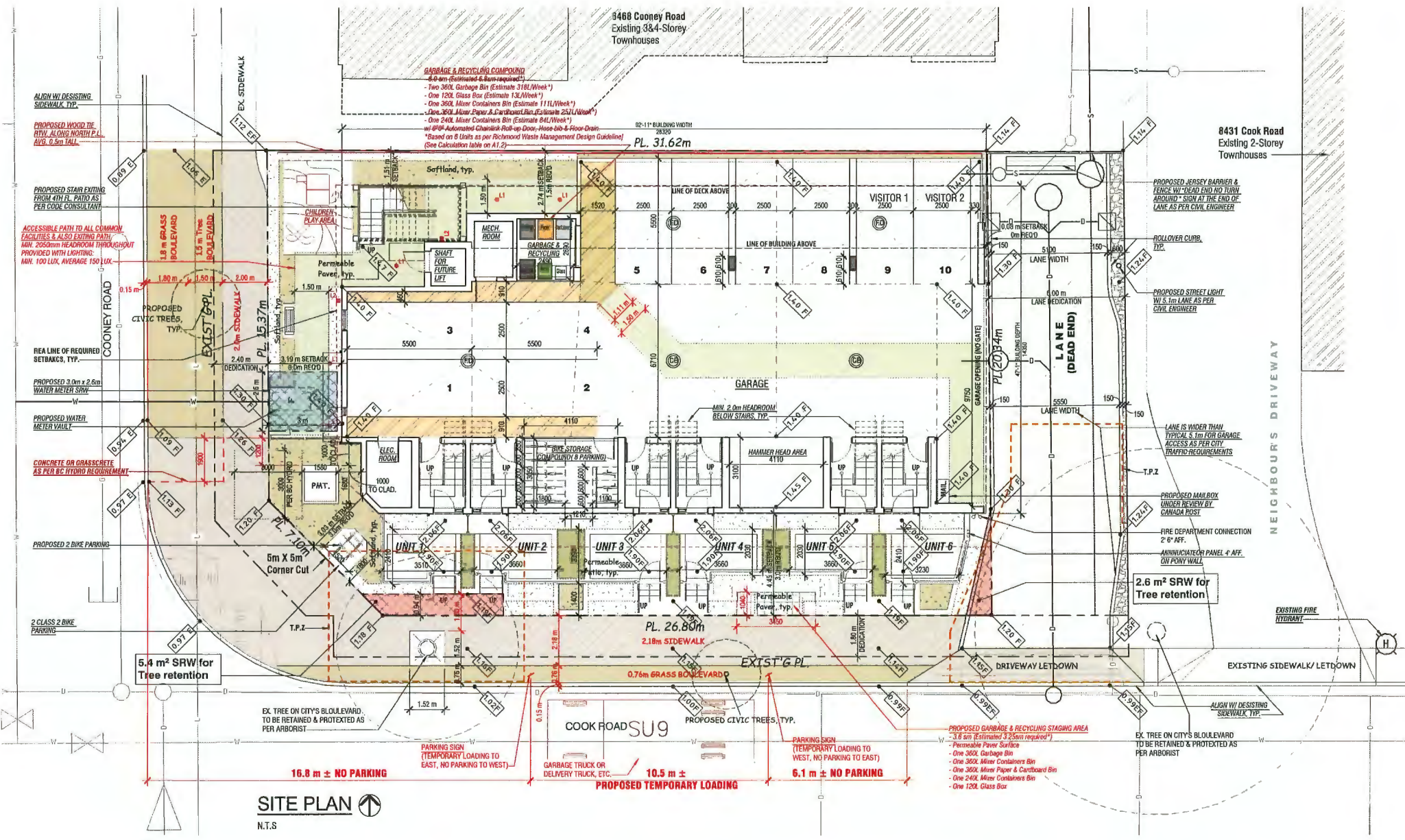


LOCATION PLAN 

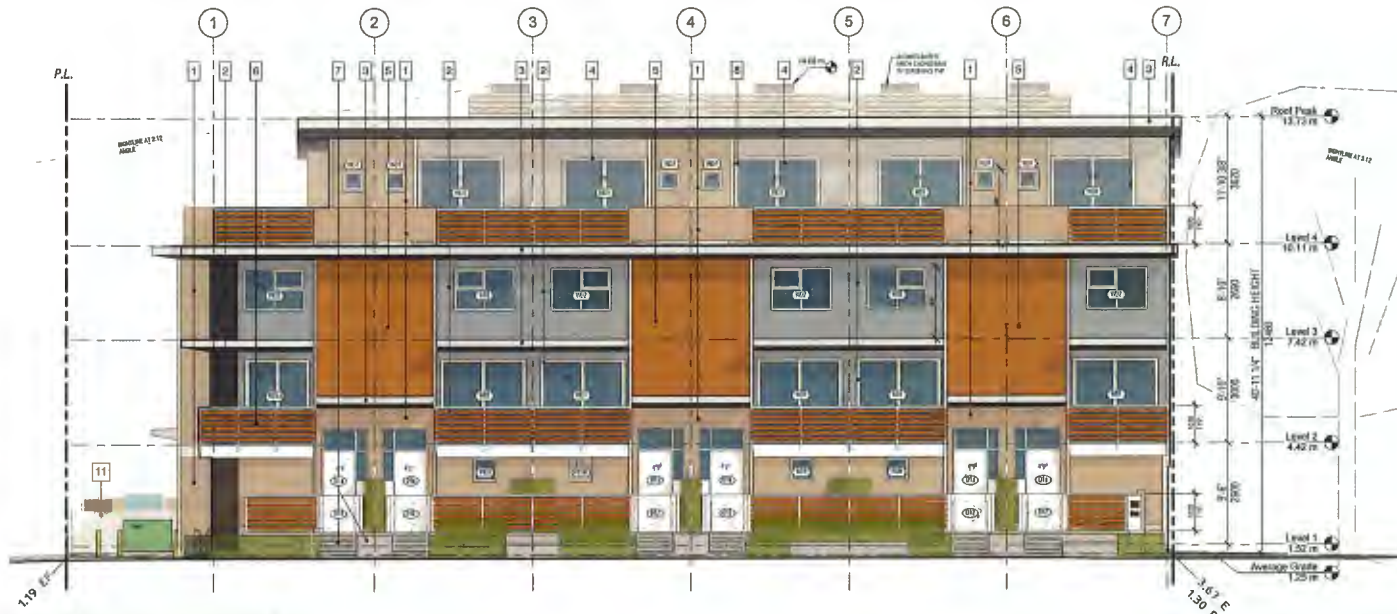


SITE AERIAL PHOTO 

 <p>Kenneth Kim Architecture Inc t: 778-379-8918 f: 604-900-0775 e: kkim@kka.ca 211-2223 West Broadway Vancouver, B.C. V6K 2E4</p>	<p><small>THIS DRAWING MUST BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LINES PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.</small></p> <p><small>COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND SHALL REMAIN AT ALL TIMES THE EXCLUSIVE PROPERTY OF KENNETH KIM ARCHITECTURE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.</small></p>	<p>Project Title</p> <p>6-UNIT TOWNHOUSE</p>	<p>Consultants</p>	<table border="1"> <thead> <tr> <th>No</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>May 8 2024</td> <td>Issued for DPP</td> </tr> </tbody> </table>	No	Date	Revision	1	May 8 2024	Issued for DPP	<p>Sheet Title</p> <p>CONTEXT PLANS</p>	<p>File number:</p> <p>Drawn: CL</p> <p>Checked: KK</p> <p>Print date: May 8, 2024</p>	<p>Scale:</p> <p>Dwg. no.</p> <p>A0.1</p>
		No	Date	Revision									
1	May 8 2024	Issued for DPP											
<p>6500 Conney Rd (Existing) 8399 Cooney Rd (Proposed) Richmond, BC</p>													

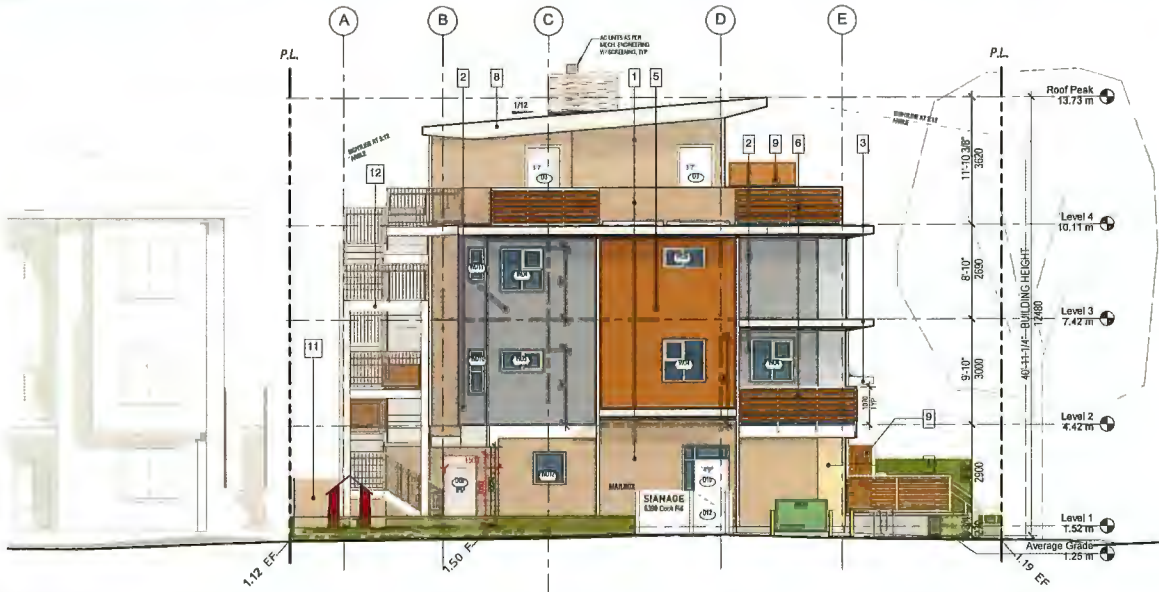


SITE PLAN
N.T.S.



SOUTH ELEVATION (COOK RD)

SCALE: 3/16" = 1'-0"



WEST ELEVATION (COONEY RD)

SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

- 1 Horizontal HardiePlank Siding
COLOUR: Light Brown
- 2 Slapdash Stucco Finish
COLOUR: Slate Gray
- 3 Metal Flashing
COLOUR: Silver/light gray
- 4 Slapdash Stucco Finish
COLOUR: Light Gray
- 5 Horizontal Siding
(Aluminum, Steel or Composite)
(e.g. Longboard® Tongue and Groove)
COLOUR: Simulated Wood
- 6 Alum/Glass Balcony Guards
w/ Decorative Wood Slats (Painted) @
Outside of Glass
COLOUR: Medium Brown
- 7 Concrete- Painted
COLOUR: Light Gray
- 8 Wood Trim/Fascia/Downspout- painted
COLOUR: Ivory White
- 9 Open Trills Privacy Screen
Between Units
COLOUR: Medium Brown
- 11 Wood Painted Privacy Fencing to
Neighbour
COLOUR: Medium Brown
- 12 Exit Stairs
Steel Structure: Silver/light gray
Railing: Light Brown
Tread & Landing: Light Gray



Kenneth
Kim
Architecture
Inc
1. 778-770-8016 / F. 604-600-0775
e. kenneth@kkai.ca
211-2223 West Broadway
Vancouver, B.C. V6K 2E4

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**6-UNIT
TOWNHOUSE**
6500 Cooney Rd (Existing)
8399 Cooney Rd (Proposed)
Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 9 2024	Issued for DPP
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10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
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5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Permitting application (Traffic Revision)
2	May 13 2021	Permitting application (Fire/Access)
1	Jan 13 2020	Proposed w/ Fire Parking Layout

Sheet Title
**SOUTH & WEST
ELEVATION**

Drawn: **CL**

Checked: **KK**

Scale:

Print date: **May 2, 2024**

Dwg. no. **A3.1**



1 778-779-8818 / 1 604-600-0775
 4 Kennedy@kka.ca
 211-2223 West Broadway
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5	Jun 21 2022	DP Updated Set
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2	May 13 2021	Planning application (Revised)
1	Jan 19 2020	Proposed w/ New Parking Layout

Sheet Title
**NORTH & EAST
 ELEVATION**

Drawn: **CL**

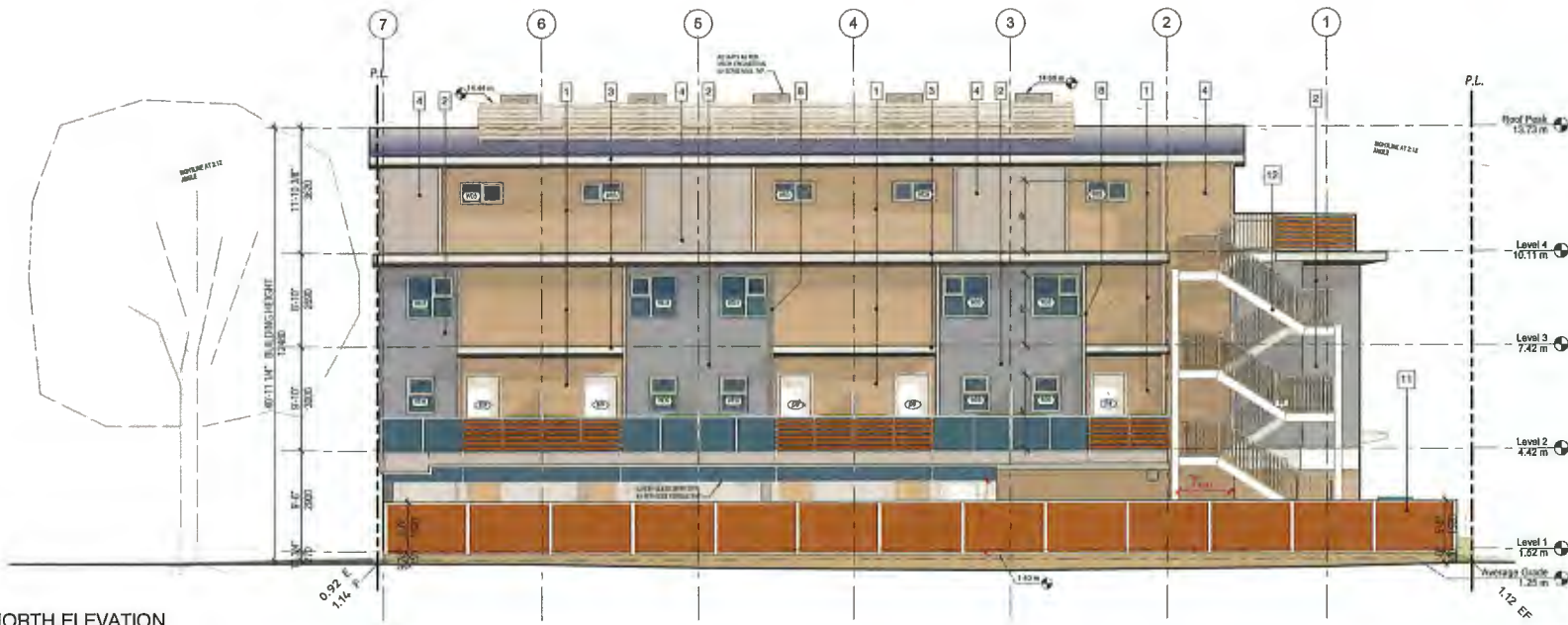
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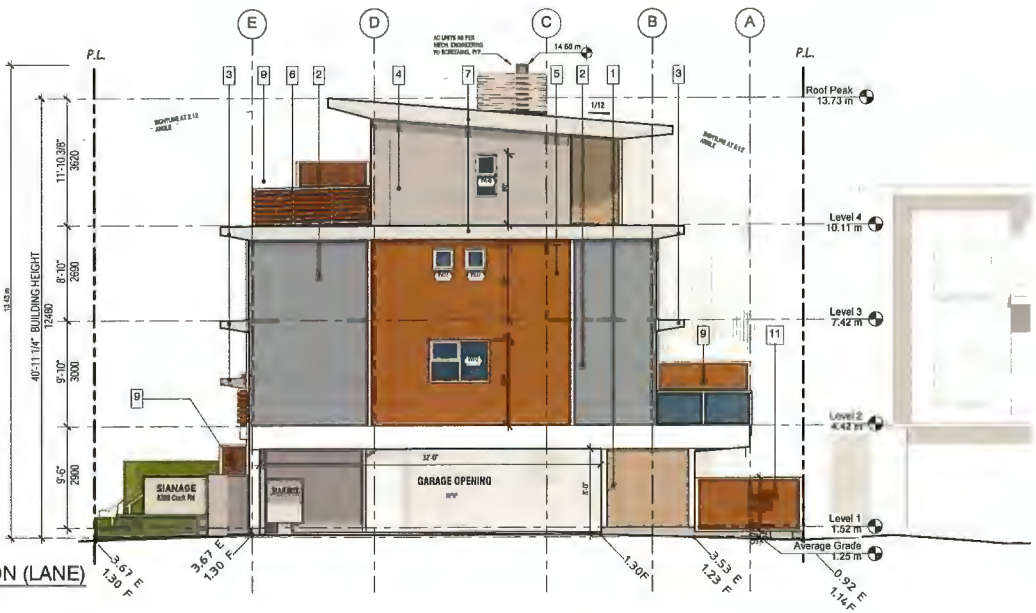
Print date: **May 2, 2024**

Dwg. no.

A3.2



NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



EAST ELEVATION (LANE)
 SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

- 1 Horizontal HardiePlank Sliding
 COLOUR: Light Brown
- 2 Slapdash Stucco Finish
 COLOUR: Slate Gray
- 3 Metal Flashing
 COLOUR: Silver/light gray
- 4 Slapdash Stucco Finish
 COLOUR: Light Gray
- 5 Horizontal Sliding
 (Aluminum, Steel or Composite)
 (e.g. Longboard® Tongue & Groove)
 COLOUR: Simulated Wood
- 6 Alum/Glass Balcony Guards
 w/ Decorative Wood Slats (Painted) @
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 COLOUR: Medium Brown
- 7 Concrete- Painted
 COLOUR: Light Gray
- 8 Wood Trim/Fascia/Downspout- painted
 COLOUR: Ivory White
- 9 Open Trellis Privacy Screen
 Between Units
 COLOUR: Medium Brown
- 11 Wood Painted Privacy Fencing to
 Neighbour
 COLOUR: Medium Brown
- 12 Exit Stairs
 Steel Structure: Silver/light gray
 Railing: Light Brown
 Tread & Landing: Light Gray



Aerial View of the Project



View from Cooney Rd



View from Cooney Rd & Cook Rd Intersection



View from Cook Rd



View from Lane at Cook Rd


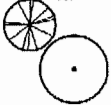





View from North side of Project



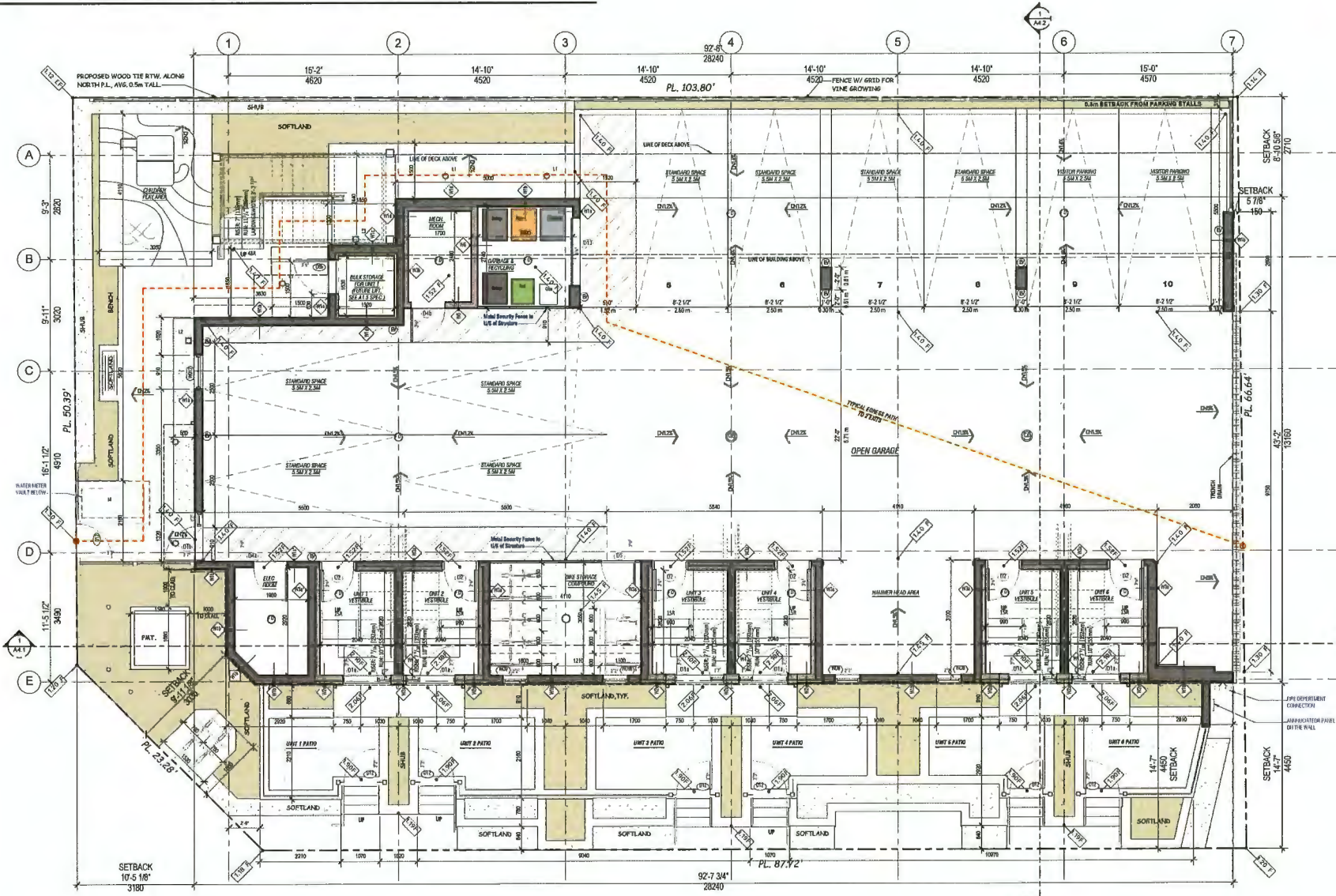
View of Children Play Area

APPENDIX 1: PLANT LIST & LANDSCAPE PLAN (LINE DRAWING)

P L A N T L I S T				Project No. 220102.KIM Updated @2024-04-18
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTED SIZE
	2	MAGNOLIA S. VULCAN	Vulcan Sav. Magnolia	3 @B&B 6cm cal., 1.75m std.
	4	PINUS CONTORTA CONTORTA	Shore Pine	B&B 5.5m+ ht.
	2	STEWARTIA PSEUDOCAMELLIA	Japanese Stewartia	B&B 5.0m+ ht. B&B 9cm cal., 1.75m std.
a	20	ABELIA EDWARD GOUCHER	Dwarf Abelia	#2 pot 40cm ht.
H	6	HYDRANGEA SERRATA BLUE BIRD	Blue Bird Hydrangea	#5 pot 50cm ht.
L	44	LAVANDULA SPICA MUNSTEAD	English Lavender	#1 pot heavy
OS	6	OSMAREA BURKWOODII	Burkwood Osmaria	#3 pot 60cm ht.
	55	LEUCOTHOE AXEL	Cherry Laurel	#2 pot 30cm ht.
△	28	RHODODENDRON DWARF (Hyb. TBD)	Dwarf Rhododendron	#2 pot 35cm ht.
Allowed	6	ROSA MEIDI BONICA/RED SEVILLENA	Meldiland Rose	#2 pot 35cm ht.
	31	TAXUS MEDIA HICKSII	Hick's Yew	B&B 1.5m+ ht.
V	3	VIBURNUM BURKWOODII	Burkwood Viburnum	#3 pot 60cm ht., bushy
	8	HYDRANGEA A. PETIOLARIS	Climbing Hydrangea	#3 pot Stkd., Heavy


- NOTE:
1. All plant materials shall meet or exceed BCSLA/BCLNA Standard.
 2. All grass areas shall be sodded unless otherwise indicated.
 3. "Hyb. TBD" denotes hybrids to be determined at the nursery during plant material inspection.
 4. For all other requirements, see Landscape Specifications & Details on 8.5"x11" sheets.
(Spec. is to be included for tendering & construction use)

APPENDIX 2: FLOOR PLANS & SECTIONS



FIRST FLOOR PLAN
SCALE: 1/4" = 10"

- ⊙ LEVEL 2 EV CHARGING OUTLET, 12KW, 1 FOR EACH PARKING SPACE
- ⊙ PROPOSED RECESSED LIGHT
- ⊙ PROPOSED WALL SCONCE LIGHT



Kenneth Kim Architecture Inc

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Project Title
6-UNIT TOWNHOUSE
6500 Conney Rd (Existing)
8399 Cooney Rd (Proposed)
Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 6 2024	Issued for DPP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DIP Revision 2
10	Jun 12 2023	DIP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abstract update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DIP Updated Set
4	Feb 29 2022	DIP Submission Set
3	Jun 9 2021	Resubmitting application (Traffic Reduction)
2	May 13 2021	Resubmitting application (Revised)
1	Jan 13 2020	Propositor We Near Parking Layout

Sheet Title
FIRST FLOOR PLAN

Drawn: **CL**

Checked: **KK**

Scale:

Print date: **May 2, 2024**

Dwg. no. **A2.1**



1 778-378-8818 / 1 204-800-0775
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Project Title
**6-UNIT
 TOWNHOUSE**
 6500 Conroy Rd (Existing)
 8399 Conroy Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 9 2024	Issued for DPP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abomit update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Planning application (Traffic Revision)
2	May 13 2021	Planning application (Revised)
1	Jan 13 2020	Proposed site have Parking Layout

Sheet Title
**SECOND FLOOR
 PLAN**

Drawn: **CL**

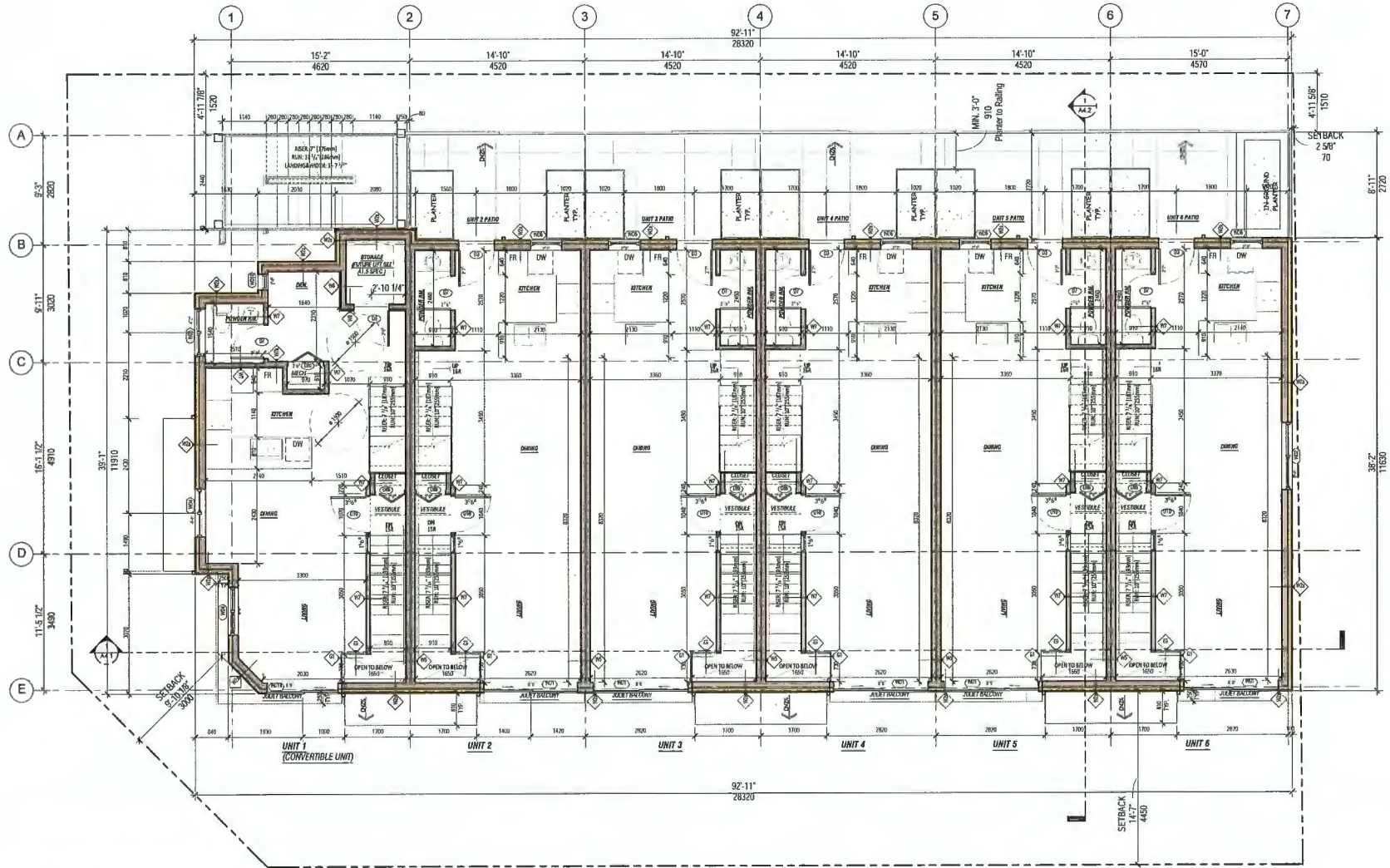
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Scale:

Print date: **May 2, 2024**

Dwg. no.

A2.2



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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Project Title
**6-UNIT
 TOWNHOUSE**
 6500 Conroy Rd (Existing)
 8399 Conroy Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 8 2024	Issued by DFP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire lighting Update
7	Jul 29 2022	Absorb Update
6	Jul 8 2022	BP Submission
5	Jan 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Planning application (Traffic Revision)
2	May 13 2021	Planning application (Revised)
1	Jan 13 2020	Proposed new Parking Layout

Sheet Title
THIRD FLOOR PLAN

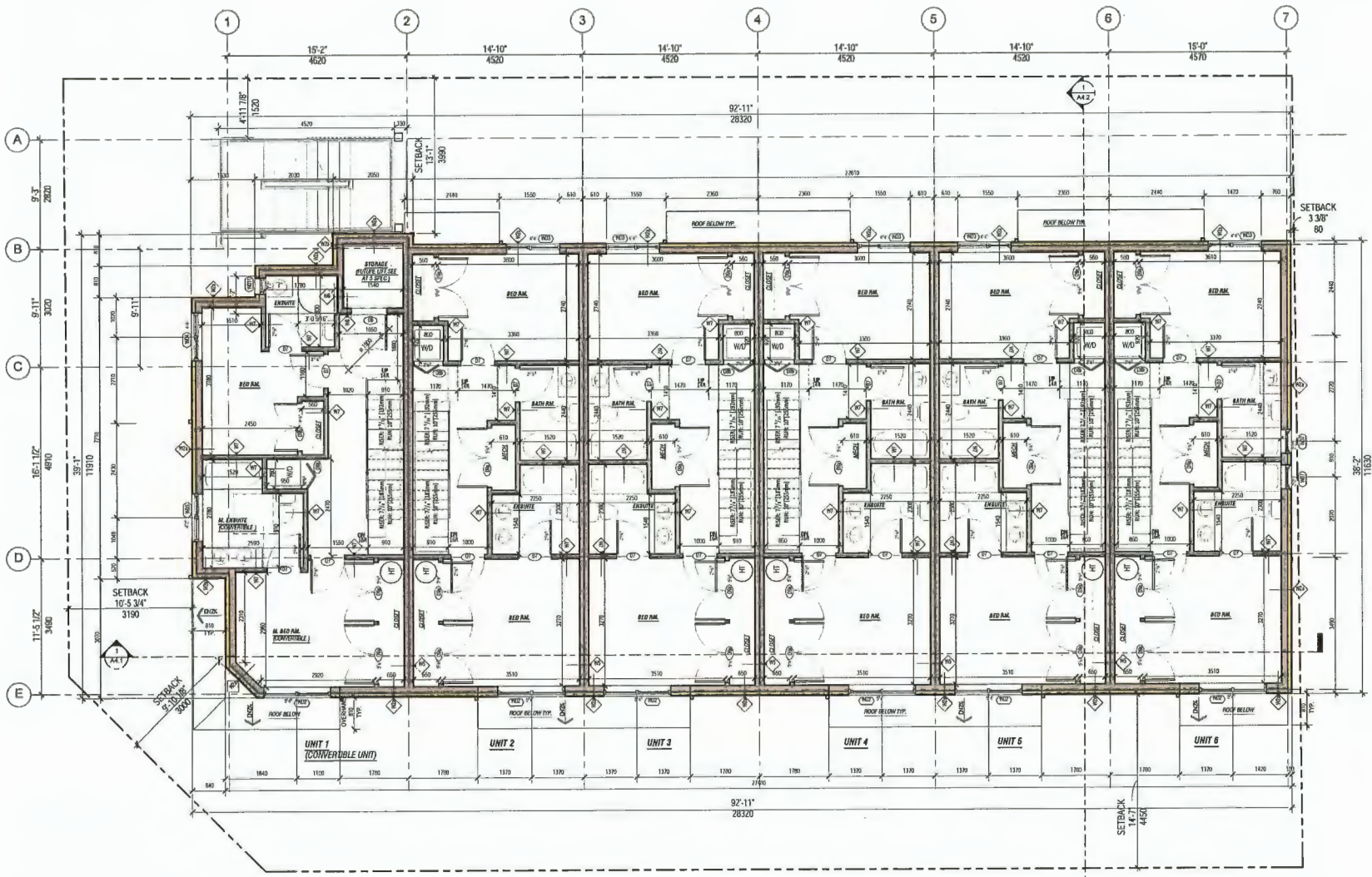
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Checked: **KK**

Scale:

Print date: **May 2, 2024**

Dwg. no.
A2.3



THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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Project Title
**6-UNIT
 TOWNHOUSE**
 6500 Conney Rd (Existing)
 8399 Conney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 9 2024	Issued for ODP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire lighting update
7	Jul 29 2022	Abolish update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Resubmission application (Traffic Revision)
2	May 13 2021	Resubmission application (Revised)
1	Jun 13 2020	Proposed w/ New Parking Layout

Sheet Title
**FOURTH FLOOR
 PLAN**

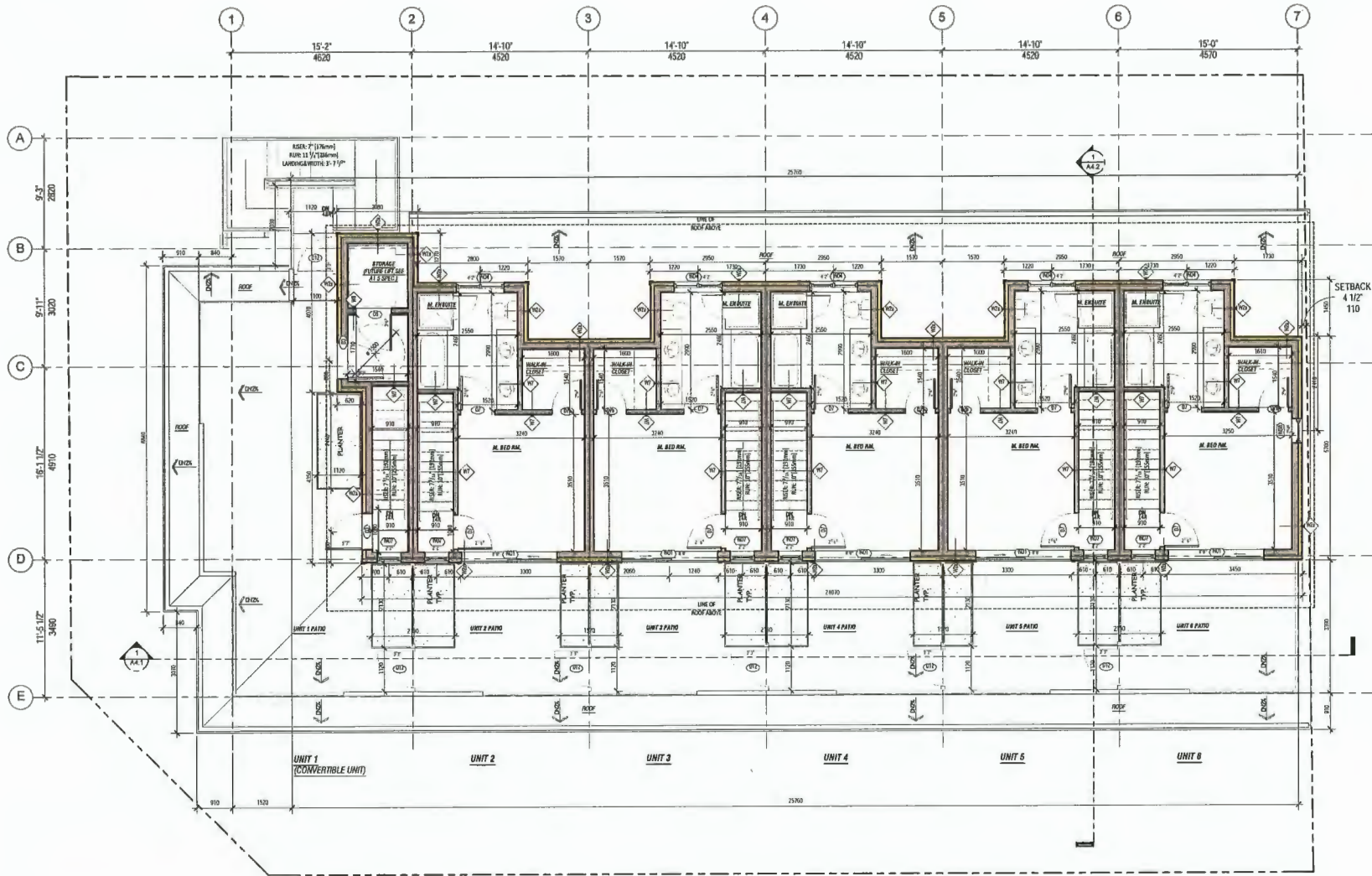
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Checked: **KK**

Scale:

Print date: **May 2, 2024**

Dwg. no.
A2.4



FOURTH FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 778-378-8918 / 1 604-600-0775
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Project Title
6-UNIT TOWNHOUSE
 6500 Conney Rd (Existing)
 8399 Conney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 8 2024	Issued for DPP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abomit update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Revising approval (Final Revision)
2	May 13 2021	Revising approval (Revised)
1	Jan 13 2020	Proposed w/ Fire Ratings Layout

Sheet Title
ROOF PLAN

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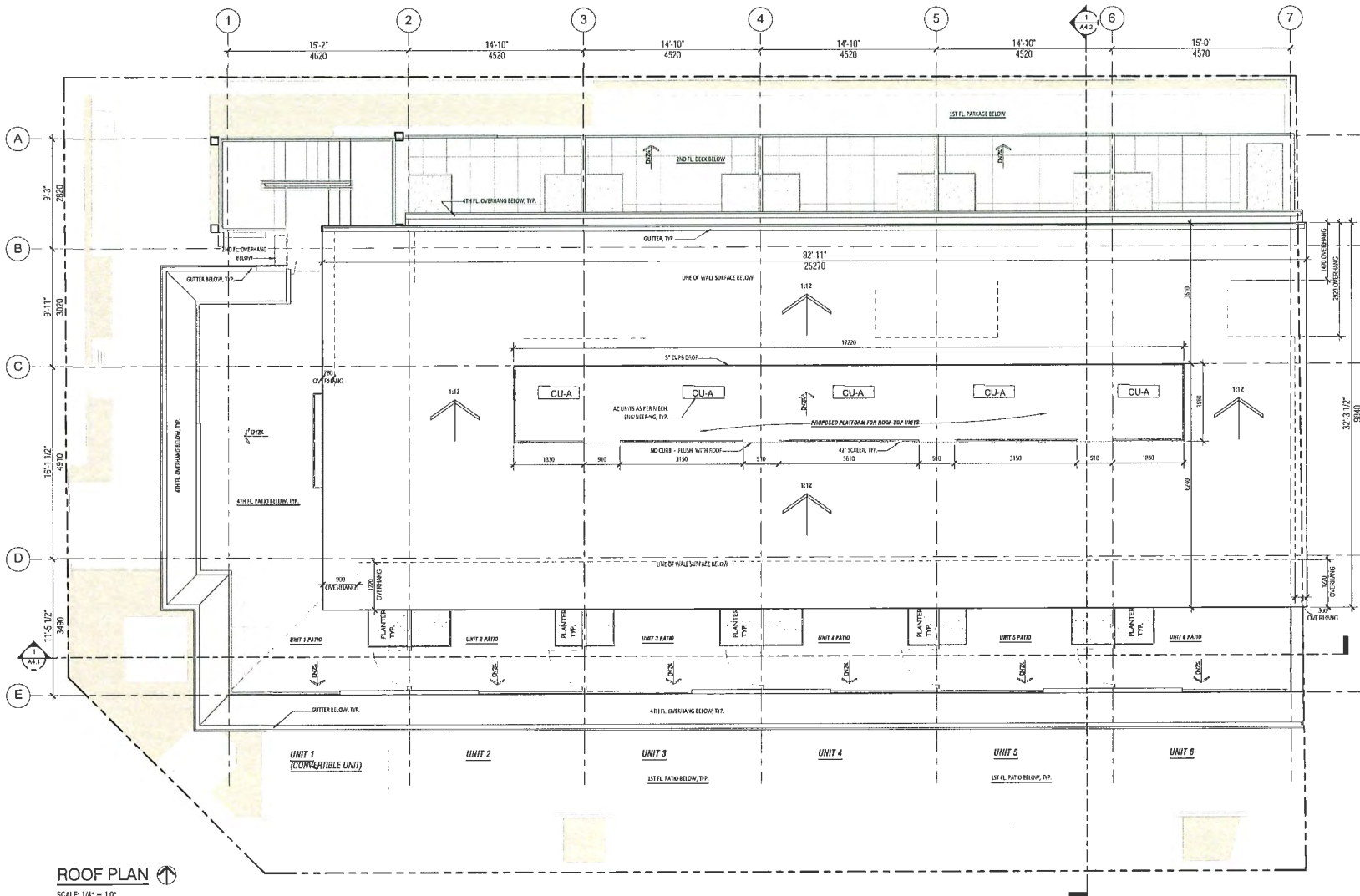
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Print date: **May 2, 2024**

Dwg. no.

A2.5



ROOF PLAN
 SCALE 1/4" = 10"

NOTE: ALL ROOF COVERING MATERIALS SHALL BE CLASS A, B, OR C AS PER CAN/ULC-S107- *FIRE TEST OF ROOF COVERINGS*



1 778.579-8218 / 1 604-600-0775
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Project Title
**6-UNIT
 TOWNHOUSE**
 6500 Cooney Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 6 2024	Issued for OHP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 25 2022	Abort update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Planning application (Final Revision)
2	May 13 2021	Planning application (Revised)
1	Jan 13 2020	Preparation of Final Parking Layout

Sheet Title
**LONGITUDINAL
 SECTION 1**

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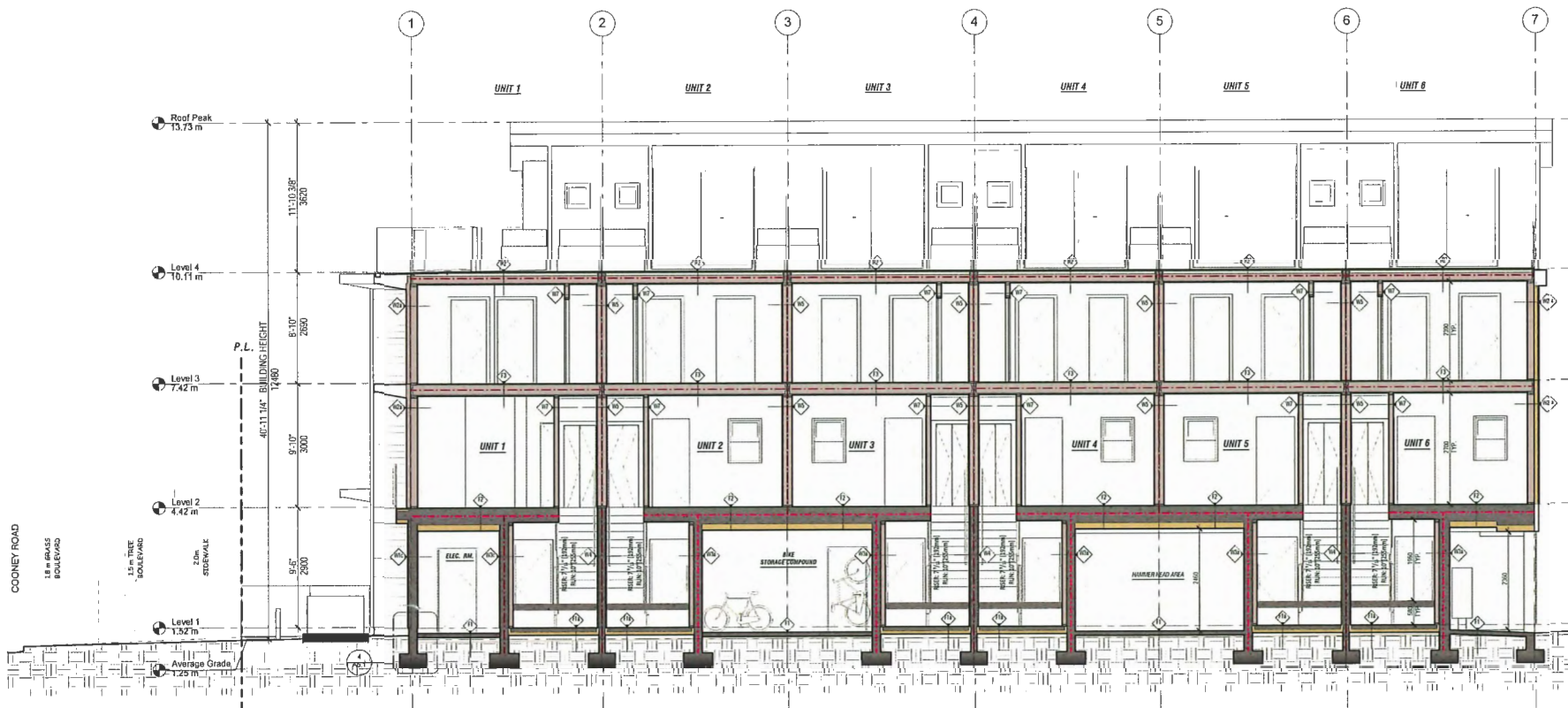
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Print date: **May 2, 2024**

Dwg. no.

A4.1



LONGITUDINAL SECTION 1

SCALE: 1/4" = 1'-0"
 --- 1 5/8" IRR Separation
 --- 1 3/4" IRR Separation

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Project Title
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 6500 Conroy Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 8 2024	Issued for DPP
12	May 3 2024	BP Revis on 2
11	Apr 23 2024	BP Revis on 2
10	Jun 12 2023	BP Revis on 1
9	Jun 9 2023	BP Revis on 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	About update
6	Jul 6 2022	BP Submission
5	Jun 21 2022	CP Updated Set
4	Feb 25 2022	CP Submission Set
3	Jun 9 2021	Prezoning application (draft) based on Rezoning application (revised)
2	May 13 2021	Prezoning application (revised)
1	Jan 13 2020	Proposed New Parking Layout

Sheet Title
CROSS SECTION 1

Drawn: **CL**

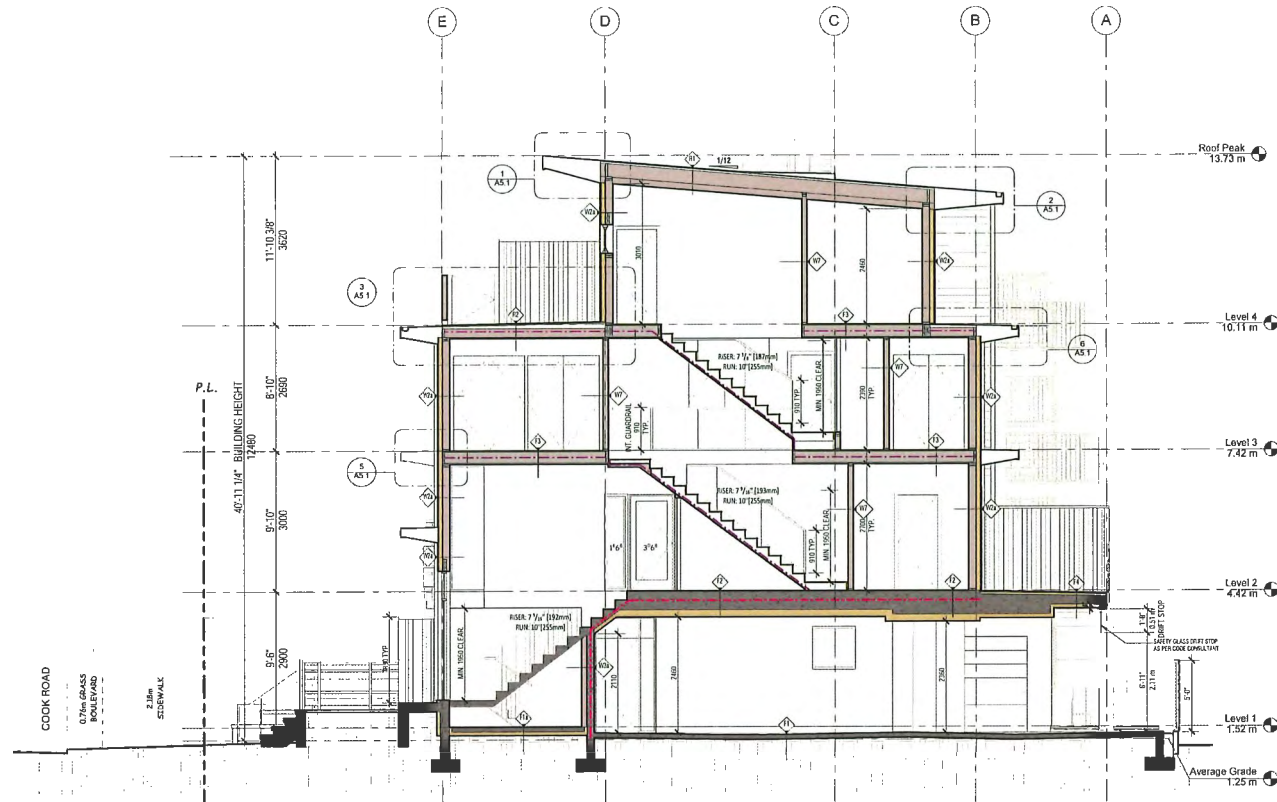
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Print date: **May 2, 2024**

Dwg. no.

A4.2



CROSS SECTION 1

SCALE: 1/4" = 1'-0"

1.5m RFR Spacing
 1.0m RFR Spacing

APPENDIX 3: SHADOW ANALYSIS



SPRING/FALL EQUINOX 10AM



SPRING/FALL EQUINOX 2PM



SUMMER SOLSTICE 10AM



SUMMER SOLSTICE 2PM

SHADOW ANALYSIS 
SCALE= 1:300



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 Vancouver, B.C. V6K 2E4

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Project Title
**6-UNIT
 TOWNHOUSE**
 6500 Conney Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

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10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 18 2022	Fire lighting update
7	Jul 29 2022	Abortit update
6	Jul 5 2022	BP Submission
5	Jan 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Precedent Application (Traffic Revision)
2	May 13 2021	Precedent Application (Revised)
1	Jan 13 2020	Proposed New Parking Layout

Sheet Title
SHADOW ANALYSIS

Drawn: **CL**

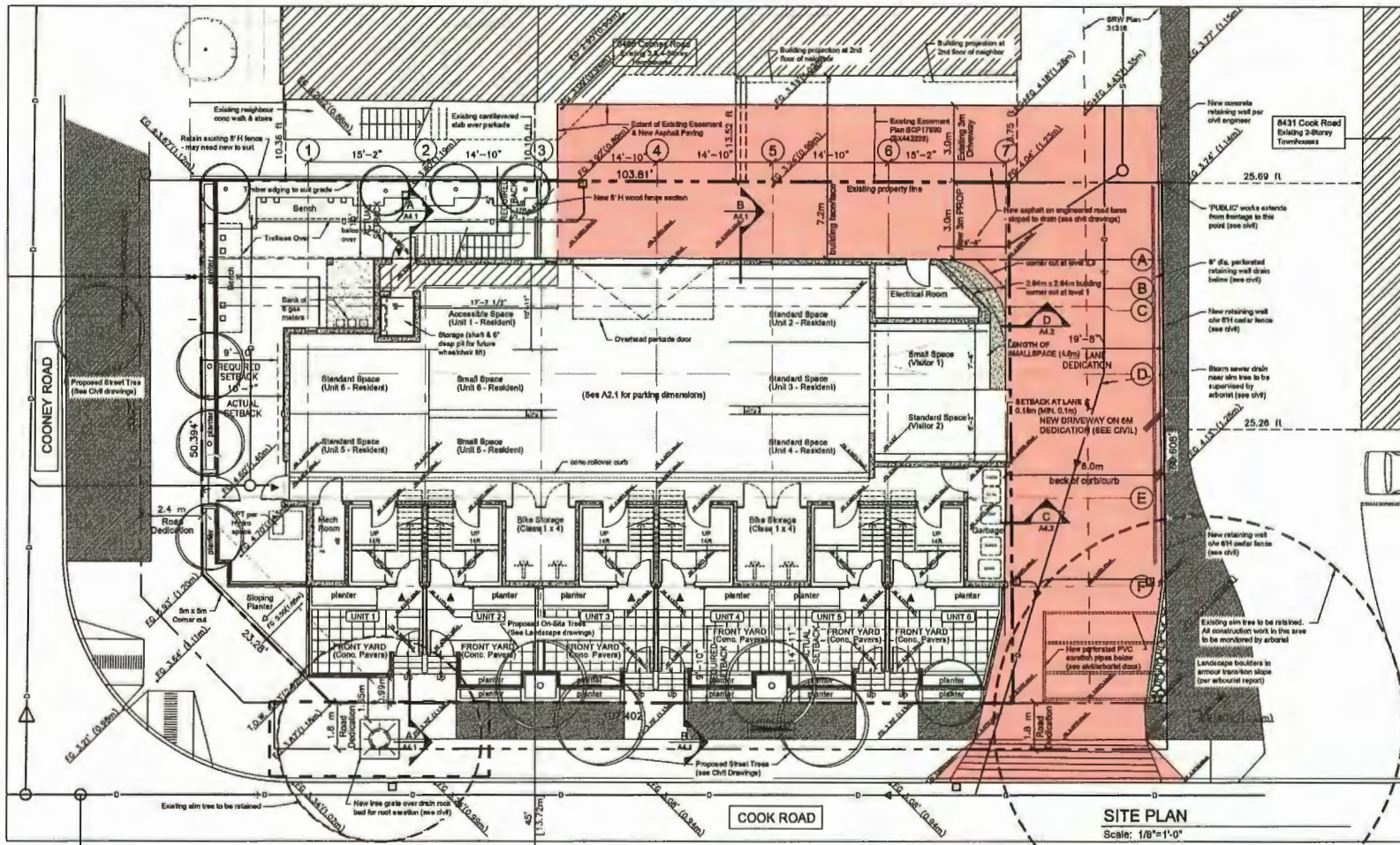
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Scale:

Print date: **May 2, 2024**

Dwg. no.
A1.4

APPENDIX 4: THE ORIGINAL OF CURRENT PROPOSAL



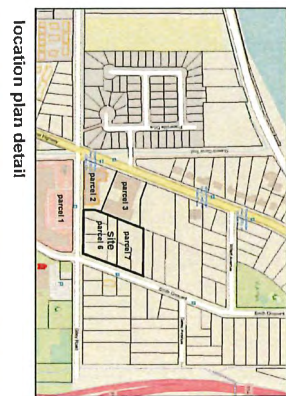
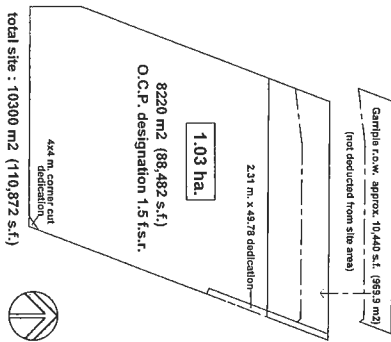
OLD SITE PLAN

N.T.S



NOTE: This page is only a reference to help explain the background of this project.

<p>Kenneth Kim Architecture Inc t: 778-379-9918 f: 604-800-0775 e: kkim@kkaia.ca 211-2223 West Broadway Vancouver, B.C. V6K 2E4</p>	<p>THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.</p> <p>COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND SHALL REMAIN AT ALL TIMES THE EXCLUSIVE PROPERTY OF KENNETH KIM ARCHITECTURE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.</p>	<p>Project Title 6-UNIT TOWNHOUSE</p> <p>6500 Conney Rd (Existing) 8399 Cooney Rd (Proposed) Richmond, BC</p>	<p>Consultants</p>	<table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>May 8 2024</td> <td>Issued for DPP</td> </tr> </tbody> </table>	No.	Date	Revision	1	May 8 2024	Issued for DPP	<p>Sheet Title PROJECT HISTORY/ OLD SITE PLAN</p>	<p>File number: _____ Scale: _____</p> <p>Drawn: CL Dwg. no. _____</p> <p>Checked: KK</p> <p>Print date: May 8, 2024</p>	<p>A7.2</p>
		No.	Date	Revision									
1	May 8 2024	Issued for DPP											
<p>Scale: 1/8"=1'-0"</p>													



project data :
proposed zoning : ZMU53 Neighbourhood Village Centre (Hamilton)
site area :
 110,872 s.f. (10,300 m² = 1.03ha)
 (after road dedications)
building areas :

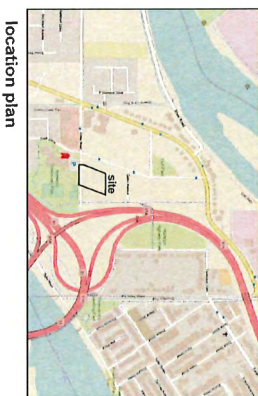
Block A -

ground floor -	24,696 s.f.
2nd floor -	22,374 s.f.
3rd floor -	22,374 s.f.
4th floor -	22,374 s.f.
5th floor -	22,374 s.f.
total -	114,152 s.f. (10,608.4 m²)

Block B -

ground floor -	12,892 s.f.
2nd floor -	12,892 s.f.
3rd floor -	12,892 s.f.
4th floor -	12,892 s.f.
total -	50,848 s.f. (4,723.8 m²)

total buildings A & B - 165,000 s.f. (15,332.2 m²)
 (includes office, rooms
 as permitted by zoning bylaw - refer to diag. 1(a))
F.A.R. : 114,401 + 50,475 = 164,877 / 110,872 = 1.48Z
site coverage : 4223 m² 43%



unit types : **Block A :** **Block B :** **total :**

studio	35	2	7.2%
1-bedroom	59	76	17.4%
2-bedroom	59	97	46.8%
3-bedroom	131	86	40.2%
total	284	161	100%

parking provision :

required per bylaw :
 standard apt. - 1.57 x 1.4 = 2.24 (TDM rate)
 affordable apt. - 1.9 x 1 = 1.9
 CPO - 1.45 x 1.45 = 2.09
 commercial - 7.43 m² / 1500 s.f. = 4.95
 total req'd - 253 spaces
 provided - 24 surface spaces
 -253 spaces

(TDMs to support 1.4 residential parking ratio - refer to CTR report)

bicycle parking required :
 residential spaces required : 186 x 1.5 = 279 spaces
 provided : parkade - 279 spaces
 total : 279 spaces

commercial spaces required : 5 spaces total
 provided : 2 class 1, bike lockers in parkade
 (2 spaces within CPO not counted)
 total : 479 spaces

indoor amenity :
 required : 1,076 s.f. (100 m²)
 provided : 2,550 s.f. (238 m²)

outdoor amenity :
 required : 785 x 6 = 4,710 m² (1,201.3 s.f.)
 provided : approx. 13,200 s.f. = 1226 m²

building height :
 max. allowed per bylaw : 4-storey @ 17.0 m. (55.77 ft.)
 5-storey @ 20.0 m. (65.61 ft.) fronting Gully
 4-storey @ 15.55 m. (50.69 ft.) side @
 5-storey @ 19.35 m. (63.48 ft.) side @

affordable housing data :

minimum unit areas per AHS Strategy :

studio unit	400 s.f. / 37 m ²
1-bedroom unit	500 s.f. / 46 m ²
2-bedroom unit	741 s.f. / 69 m ²
3-bedroom unit	980 s.f. / 91 m ²

affordable units provided :

studio units	none
1-bedroom BS	2 x 522 = 1,044 s.f.
1-bedroom CS	2 x 478 = 956 s.f.
2-bedroom CA	9 x 548 = 4,932 s.f.
2-bedroom CB	1 x 854 = 854 s.f.
3-bedroom D1	3 x 1072 = 3,216 s.f.
3-bedroom D2	3 x 1020 = 3,060 s.f.
19 units total - 16,090 s.f.	

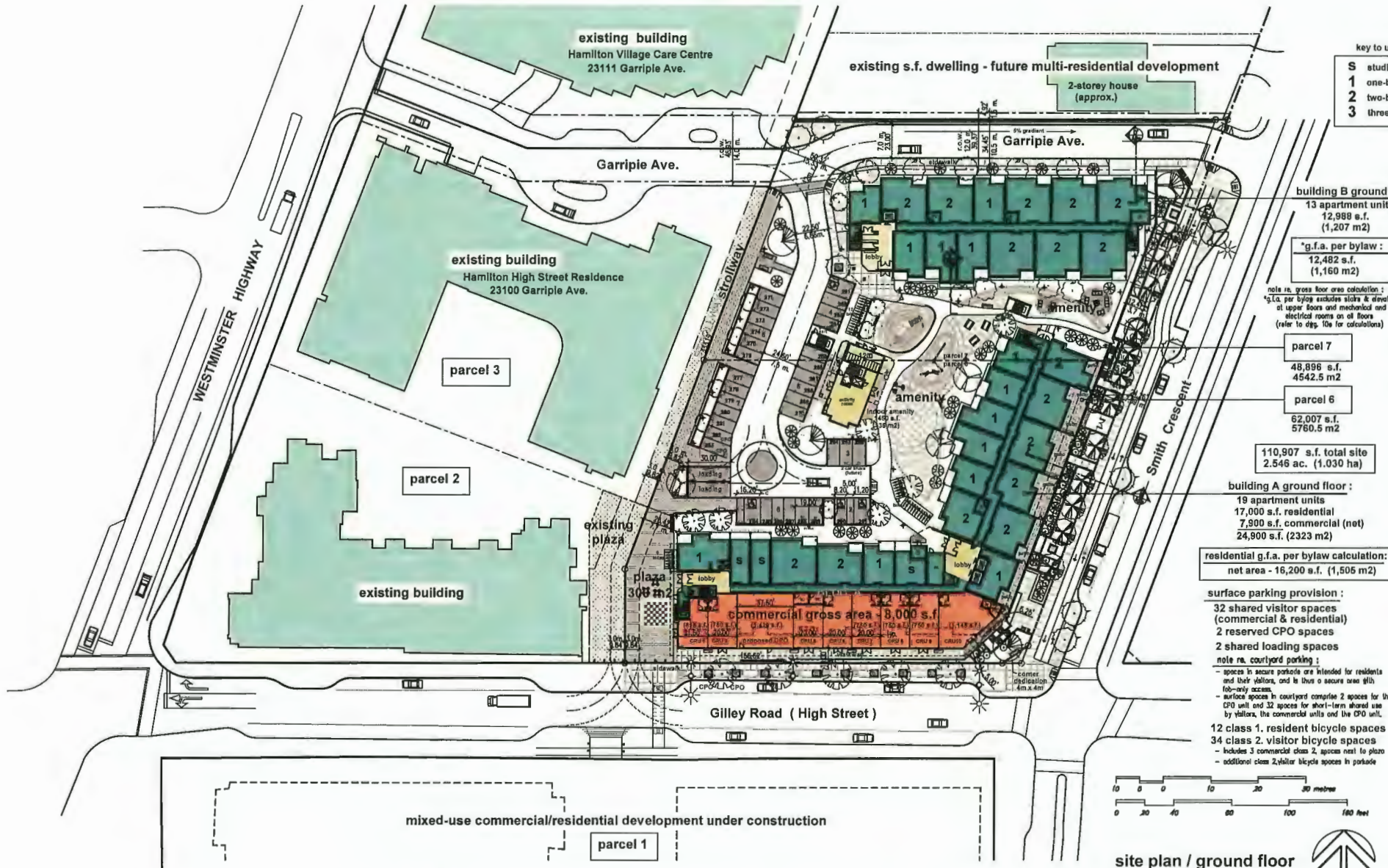
(min. required area = 15,089 s.f. - 546 (56)
 100%)

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands

Richmond B.C.

ADP submission
 Feb. 26, 2024
 revised to April 12, 2024

Rev	05	04	03	02	01
Date	February 2022	Feb 2022	Feb 2022	Feb 2022	Feb 2022
By	1010 Architects Inc.	1010 Architects Inc.	1010 Architects Inc.	1010 Architects Inc.	1010 Architects Inc.
Project No.	21-2138	21-2138	21-2138	21-2138	21-2138
Project Name	proposed development parcels 6 & 7 - Hamilton Lands	proposed development parcels 6 & 7 - Hamilton Lands	proposed development parcels 6 & 7 - Hamilton Lands	proposed development parcels 6 & 7 - Hamilton Lands	proposed development parcels 6 & 7 - Hamilton Lands



key to unit types :

- S studio unit
- 1 one-bedroom unit
- 2 two-bedroom unit
- 3 three-bedroom unit

building B ground floor :
13 apartment units
12,988 s.f.
(1,207 m²)

*g.f.a. per bylaw :
12,482 s.f.
(1,160 m²)

note re. gross floor area calculation :
*g.f.a. per bylaw excludes stairs & elevator
at upper floors and mechanical and
electrical rooms on all floors
(refer to diag. 10a for calculations)

parcel 7
48,896 s.f.
4542.5 m²

parcel 6
62,007 s.f.
5760.5 m²

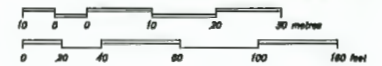
110,907 s.f. total site
2.546 ac. (1.030 ha)

building A ground floor :
19 apartment units
17,000 s.f. residential
7,900 s.f. commercial (net)
24,900 s.f. (2323 m²)

residential g.f.a. per bylaw calculation:
net area - 16,200 s.f. (1,506 m²)

surface parking provision :

- 32 shared visitor spaces (commercial & residential)
- 2 reserved CPO spaces
- 2 shared loading spaces
- note re. courtyard parking :
 - spaces in secure parkade are intended for residents and their visitors, and to thus a secure area with 100%-only access.
 - surface spaces in courtyard comprise 2 spaces for the CPO unit and 32 spaces for short-term shared use by visitors, the commercial units and the CPO unit.
- 12 class 1. resident bicycle spaces
- 34 class 2. visitor bicycle spaces
 - includes 3 commercial class 2, spaces next to plaza
 - additional class 2, visitor bicycle spaces in parkade



site plan / ground floor

Rev.	Date	Description
06	2-20-24	released for DP
04	11-27-23	revised for DP submission
03	7-17-23	revised for DP submission
02	4-12-23	revised remaining submission
01	10-05-21	original master submission

Sheet	of	Drawn	Checked	Date	Project Name	Project No.	Revision
05	21-38			05	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.		A-3

issued for D.P.

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands Richmond B.C.

ADP submission
Feb. 26 2024
revised to May 6 2024

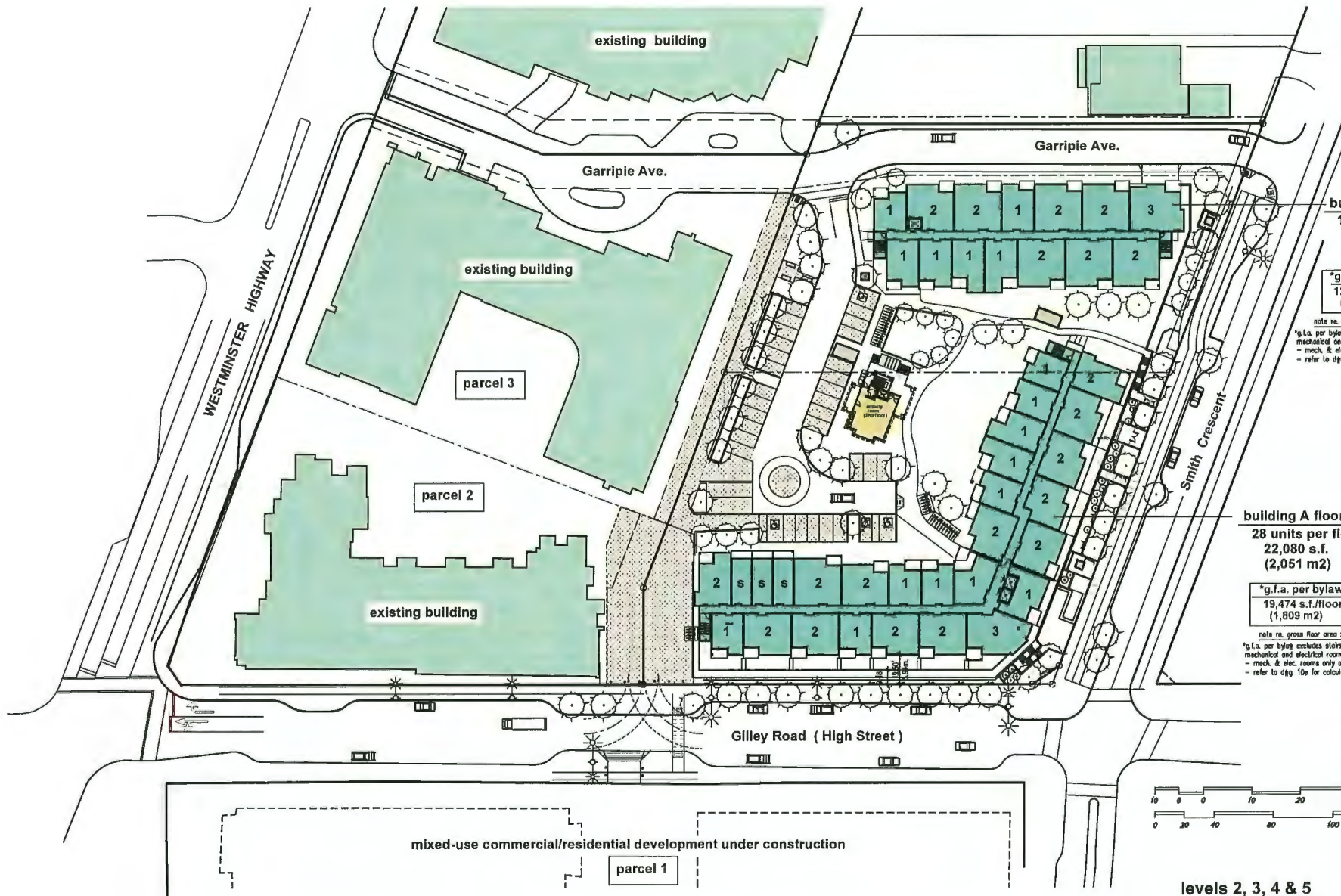


parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands Richmond B.C.

ADP submission for review
 May 5 2024
3a

site plan / dedications & r.o.w.'s

Issue	as noted	Sheet	of	Project title	site plan - dedications & r.o.w.'s	ionic Architecture Inc. architects a.l.b.c. 800-999-1111 1220 871-8718 1220 871-8718 1220 871-8718 1220 871-8718	01	2-28-24	submitted for 02/ADP
Date	July 2023			Project title	proposed development		02	18-07-23	issued for 03
Drawn	Project title			Project title	parcels 6 & 7 - Hamilton Lands		03	11-01-23	issued for coordination
02	21-2138	A3a		Project title	Richmond B.C.		04	11-01-23	issued for coordination
Res.	Date			Project title			05	11-01-23	issued for coordination
				Project title			06	11-01-23	issued for coordination



- key to unit types :
- S** studio unit
 - 1** one-bedroom unit
 - 2** two-bedroom unit
 - 3** three-bedroom unit

building B floors 2,3,4 :
 14 units per floor
 13,072 s.f./floor
 (1,215 m²)

***g.f.a. per bylaw :**
 12,712 s.f./floor
 (1,181 m²)

note re. gross floor area :
 *g.l.a. per bylaw excludes stairs, elevators and mechanical and electrical rooms on all floors
 - mech. & elec. rooms only on ground floor
 - refer to dpg. 10e for calculations

building A floors 2,3,4,5 :
 28 units per floor
 22,080 s.f.
 (2,051 m²)

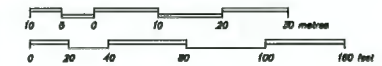
***g.f.a. per bylaw :**
 19,474 s.f./floor
 (1,809 m²)

note re. gross floor area :
 *g.l.a. per bylaw excludes stairs, elevators and mechanical and electrical rooms on all floors
 - mech. & elec. rooms only on ground floor
 - refer to dpg. 10e for calculations

Rev.	Date	Description
01	2-20-24	issued for DP
02	11-27-23	issued for U.P. submission
03	7-17-23	issued for U.P. submission
04	4-12-23	issued for zoning
05	10-05-23	original zoning submission

Ionic Architecture inc.
 architects
 201-442-1010
 201-442-1010
 201-442-1010

proposed development
 parcels 6 & 7 - Hamilton Lands
 Richmond B.C.

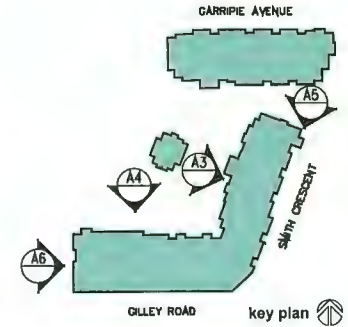


levels 2, 3, 4 & 5

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands Richmond B.C.

issued for D.P.

ADP submission
 Feb. 26 2024
 revised to May 6 2024



EXTERIOR MATERIALS & FINISHES :	
MATERIAL / FINISH	COLOUR
① STONE	IXL - HARTON ESTATE STONE
② JAMES HARDIE PANELS VERTICAL SIDING STYLE	SMOOTH - PRÄIE - NIGHT GRAY
③ JAMES HARDIE PANELS	SMOOTH - PRÄIE - NIGHT GRAY
④ JAMES HARDIE PANELS	SMOOTH - PRÄIE - ARCTIC WHITE
⑤ JAMES HARDIE PANELS	SMOOTH - PRÄIE - COBBLE STONE
⑥ JAMES HARDIE SOFFIT	SMOOTH - PRÄIE - ARCTIC WHITE
⑦ FAST PLANK SYSTEM	DARK WALNUT
⑧ AL13 METAL PANEL SOLUTION	PEWTER METALLIC
⑨ WINDOWS & DOORS - COMMERCIAL UNITS	BLACK ALUMINUM FRAMES CLEAR GLASS
RESIDENTIAL UNITS	BLACK VINYL & CLEAR GLASS
⑩ JAMES HARDIE FASCIA	PRIME COLOR - PEWTER METALLIC
⑪ CONCRETE	NATURAL CONCRETE
⑫ METAL AND GLASS RAILING	BLACK / NATURAL ANOD. ALUM.
⑬ METAL & GLASS CANOPY	PATTERNED GLASS
⑭ COMMERCIAL SIGNAGE	(VARIES, 3D ILLUMINATED)
⑮ SIGN BACKING SUPPORT	B. COMPOSITE WOOD PLASTIC DARK WALNUT (1/2" x 4")

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands Richmond B.C.

ADP submission
Feb. 26 2024
revised to May 6 2024

5b

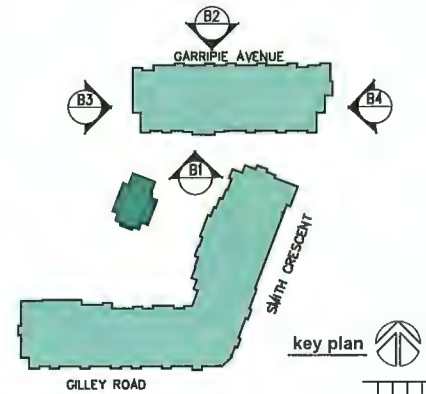
Rev.	Date	Description
01	4-22-24	revised per ADP comments
02	2-25-24	revised for D.P.
03	11-27-23	issued for DP
04	8-30-23	issued for review

Ionic Architecture Inc. architects o.i.b.c. 251-400 123rd Street Surrey B.C. V4W 1A9 604-591-8818 www.ionicarch.com	PROPOSED DEVELOPMENT parcels 6 & 7 - Hamilton Lands Richmond B.C.
---	--

Scale: As Indicated	Sheet: of
Date: AUGUST 2023	Project No: A5a
Revision: D4	21-2138



B1 - south elevation to courtyard



key plan



B3 - west elevation

EXTERIOR MATERIALS & FINISHES :	
MATERIAL / FINISH	COLOR
① STONE	DL - WARTON ESTATE STONE
② JAMES HARDIE PANELS VERTICAL SIDING STYLE	SMOOTH - PRIME - NIGHT GRAY
③ JAMES HARDIE PANELS	SMOOTH - PRIME - NIGHT GRAY
④ JAMES HARDIE PANELS	SMOOTH - PRIME - ARCTIC WHITE
⑤ JAMES HARDIE PANELS	SMOOTH - PRIME - COBBLE STONE
⑥ JAMES HARDIE SOFFIT	SMOOTH - PRIME - ARCTIC WHITE
⑦ FAST PLANK SYSTEM	DARK WALNUT
⑧ ALIS METAL PANEL SOLUTION	PENNER METALLIC
⑨ WINDOWS & DOORS - COMMERCIAL UNITS	BLACK ALUMINUM FRAMES
	CLEAR GLASS
	BLACK VINYL & CLEAR GLASS
⑩ JAMES HARDIE FASCIA	PRIME COLOR - PENNER METALLIC
⑪ CONCRETE	NATURAL CONCRETE
⑫ METAL AND GLASS RAILING	BLACK / NATURAL ANOD. ALUM.
⑬ METAL & GLASS CANOPY	PATTERNED GLASS
⑭ COMMERCIAL SIGNAGE	(VARIES, 3D ILLUMINATED)
⑮ SIGN BACKING SUPPORT	B. COMPOSITE WOOD PLASTIC
	DARK WALNUT (1/2" x 4")



B4 - east elevation



B2 - north elevation to Garrippe Avenue

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands Richmond B.C.

building B elevations

Rev.	Date	Description
01	2-20-24	released for D.P.
02	11-27-23	based for D.P.
03	5-04-23	based for rev. 1

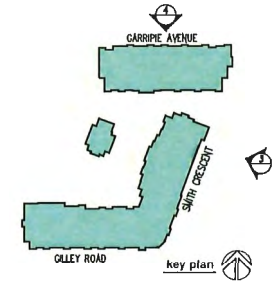
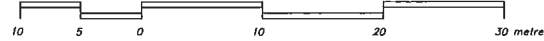
Ionic Architecture Inc.		building B elevations	
architects g.i.b.c.		PROJECT TITLE	
297-4800 Island Street		PROPOSED DEVELOPMENT	
Vancouver, BC V6L 2K8		parcels 6 & 7 - Hamilton Lands	
Tel: (778) 871-0810		Richmond B.C.	
Fax: (778) 871-0808		SHEET NO.	
www.ionicarch.com		A5c	
Scale:	As Noted	Sheet:	of
Date:	AUGUST 2023	Revision:	Project No.
			21-2135
			03

ADP submission
May 6, 2024

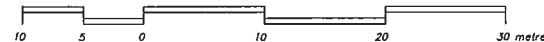
5c



streetscape to Garripie Avenue



streetscape to Smith Crescent



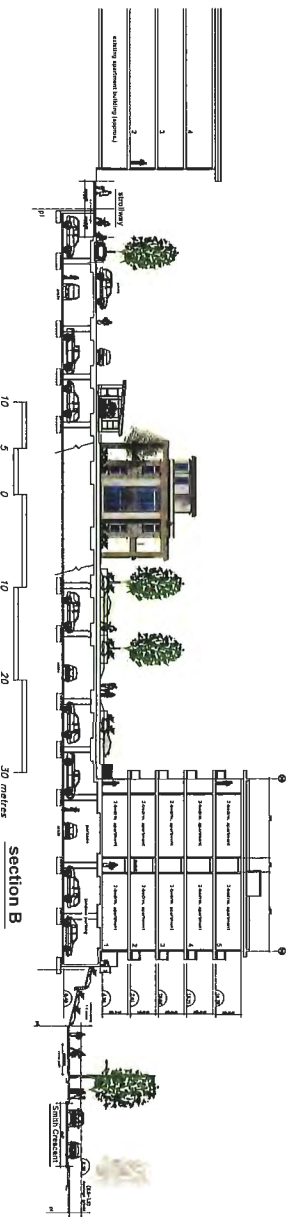
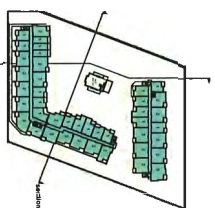
streetscapes

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands Richmond B.C.

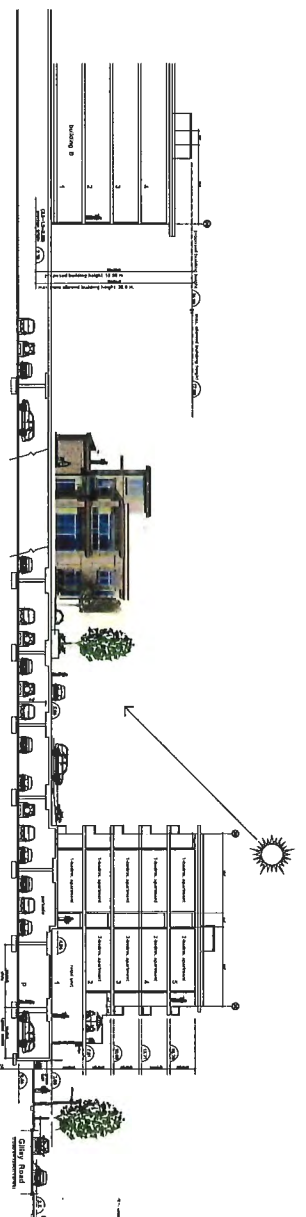
ADP submission
Feb. 26 2024
revised to May 6 2024

6b

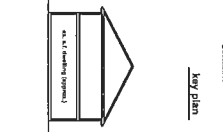
Scale	As Noted	Sheet	6b
Date	March 2022	of	
Revision	03	Project No.	
Drawing Title: streetscapes - Smith Cres. & Garripie Ave.			
Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.			
Ionic Architecture Inc. architects a.i.b.c. 200-6000 Island Street Surrey B.C. V3W 3J8 Tel: (779) 871-9818 Fax: (779) 871-9818 ionic@ionic-architects.com			
Revised for DP	11-27-23	Revised for DP	
Revised for review	11-22-23	Revised for review	
Revised for rezoning	04-19-23	Revised for rezoning	
Issue		Date	
Description			



section B



section A



site sections

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands
Richmond B.C.

ADP submission
Feb. 26, 2024
revised to May 6, 2024

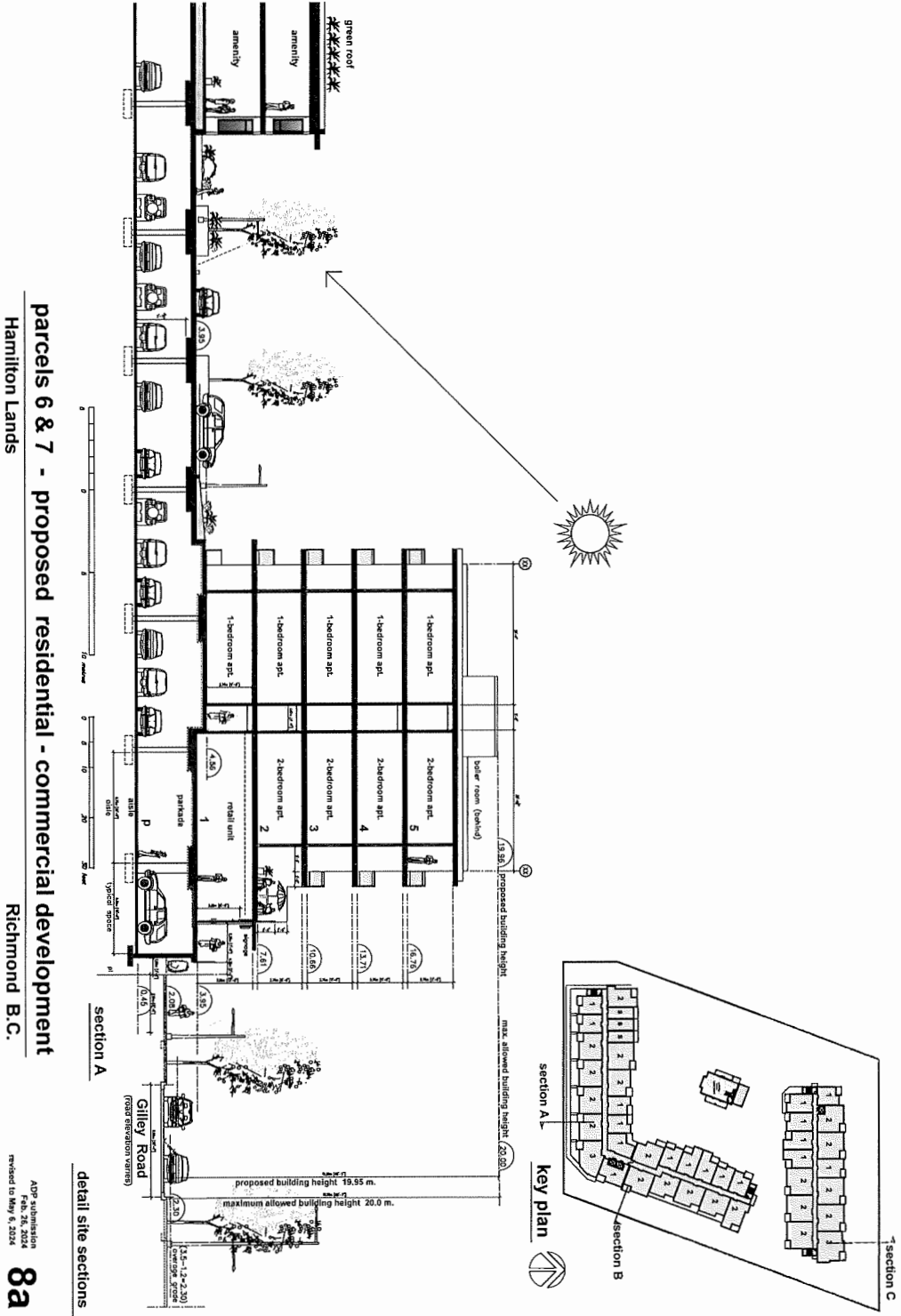
7

CNCL - 344

Ionic Architecture Inc.
architects a.i.b.c.
301-5005 Island Street
Burnaby B.C. V5C 2M8
Tel: (778) 871-2618
Fax: (778) 871-2618
a@ionic-arch.com | www.ionic.com

Rev	Date	Description
04	7-26-24	Issued for ADP
03	11-27-23	Issued for DP
02	6-16-23	Issued for SR
01	4-12-23	Issued for rezoning
Rev	Date	Description

Sheet	as noted	Drawing Title
04	as noted	site sections
04	August 2023	
Project Name: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.		



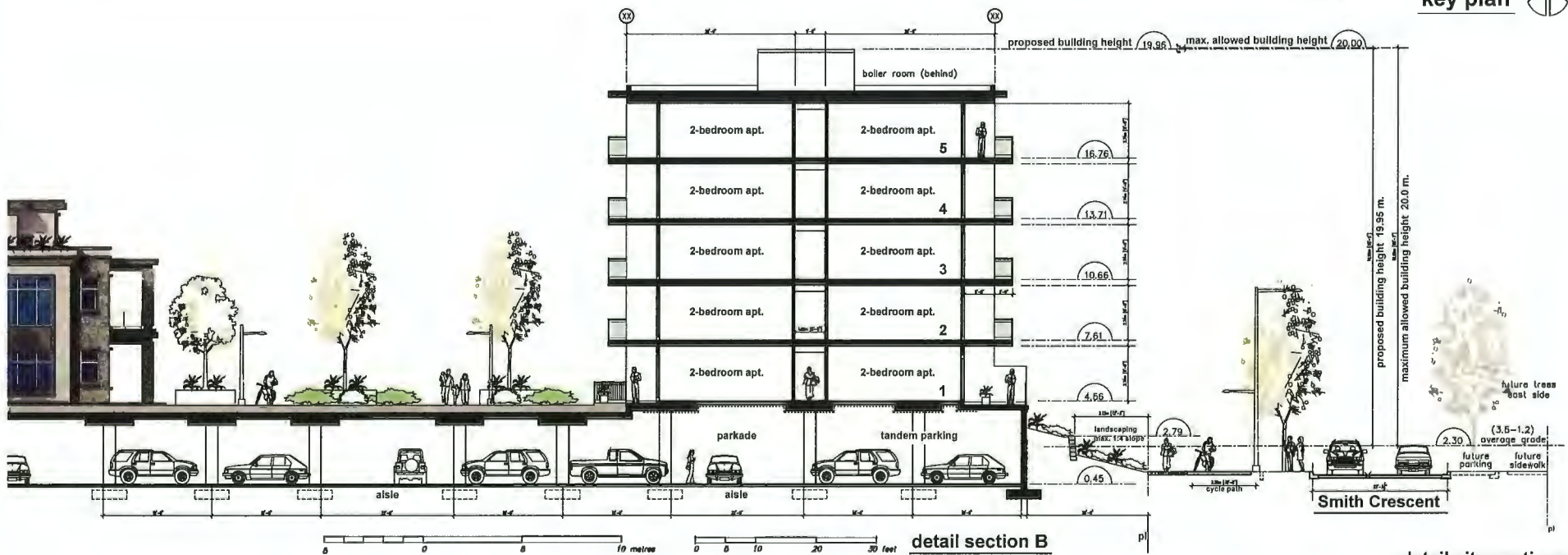
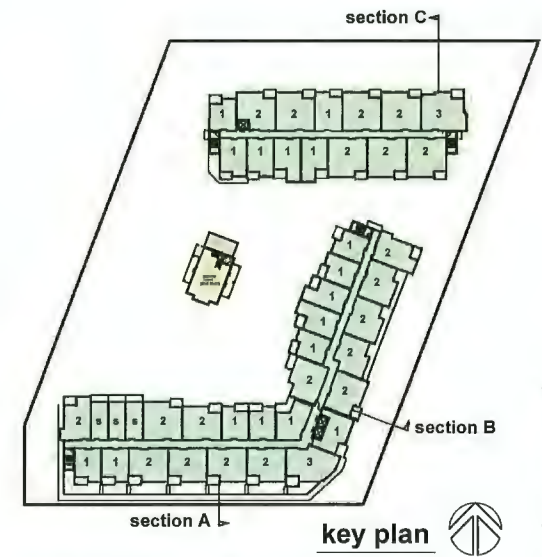
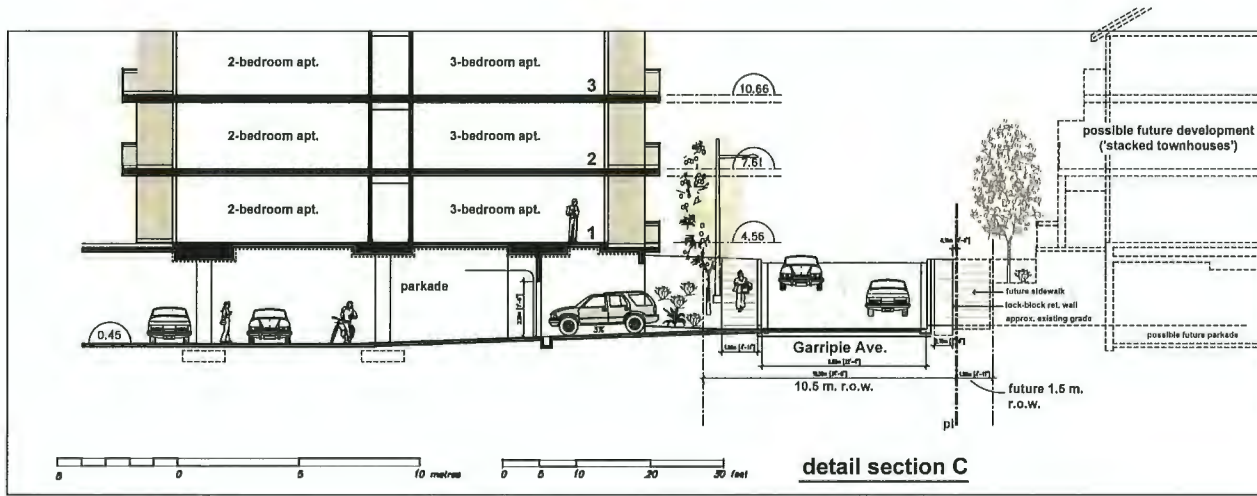
parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands

Richmond B.C.

ADP submission
Feb. 26, 2024
revised to May 9, 2024

8a

Sheet	As Noted	Sheet	Drawn By	Detail site sections	Ionic Architecture Inc. architects a.i.b.c. 201-5002 Howe Street Suite 100 Burnaby B.C. V5A 2H7 Tel: (778) 877-8818 Fax: (778) 877-8819 www.ionic-architects.com	04 4-02-24 re-based for D.P. 05 10-27-23 based for D.P. 06 4-11-23 revised for D.P. 07 4-12-23 issued for rezoning		
Date	Rev	Project No.	Project Name	Parcel No.	Scale	Rev	Date	Description
03	21-2138	A-Ba	proposed development	parcels 6 & 7 - Hamilton Lands Richmond B.C.				



parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands **Richmond B.C.**

Rev.	Date	Description
04	2-28-24	re-based for D.P.
03	05-27-23	based for D.P.
02	6-14-23	revised for D.P.
01	4-12-23	based for rezoning

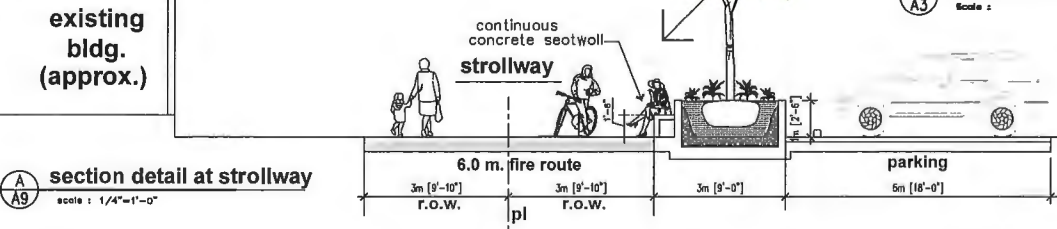
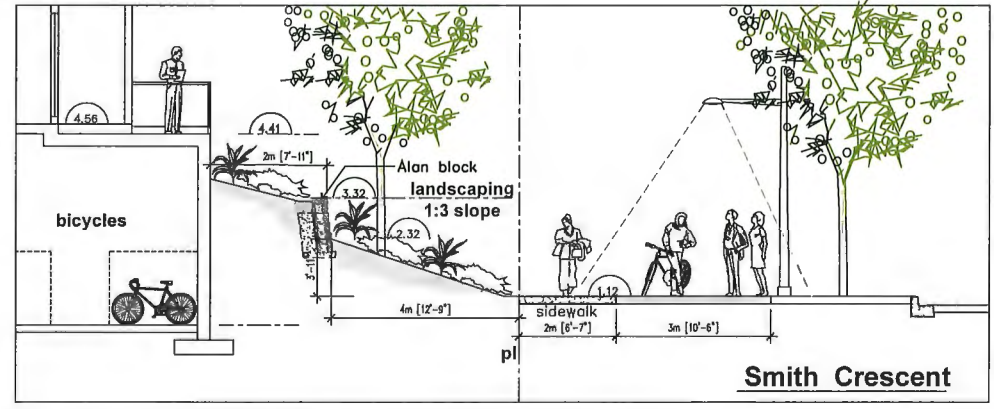
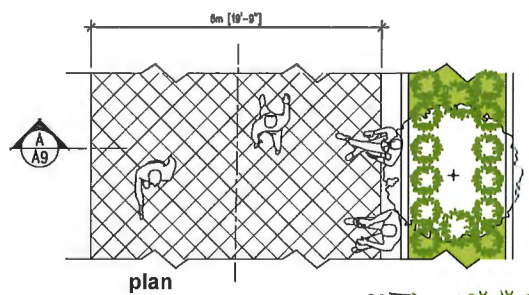
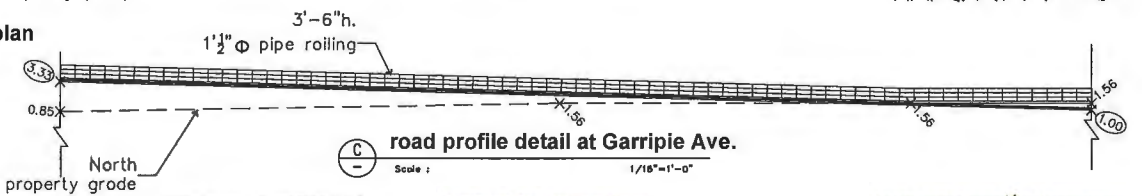
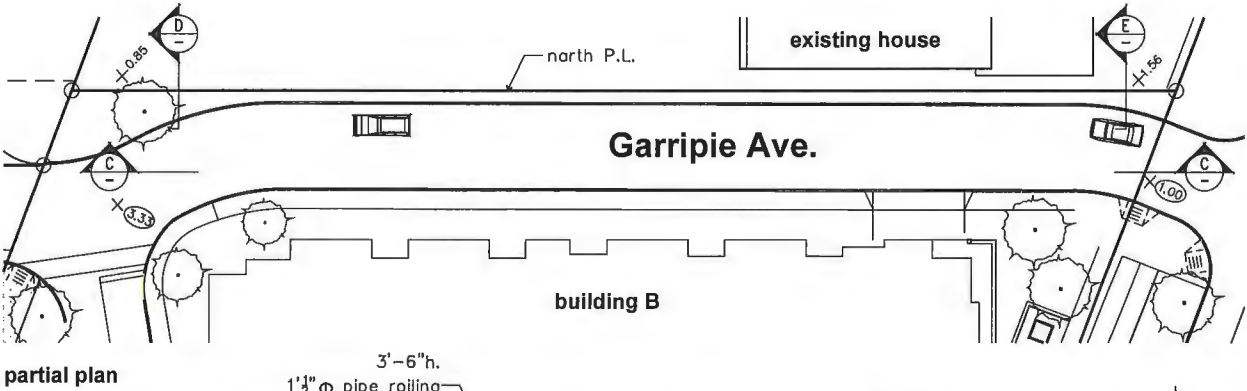
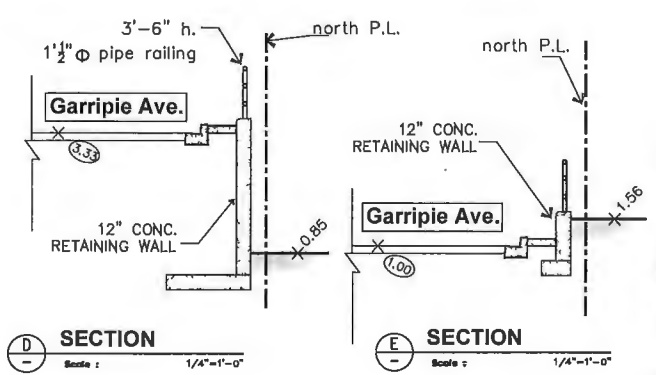
Ionic Architecture Inc.
 architects a.i.b.c.
 201-400 West Street
 Surrey B.C. V4L 1A8
 Tel: (779) 877-0888
 Fax: (779) 877-0888
 www.ionic-arch.com

drawn by: detail site sections
 project name: proposed development
 parcels 6 & 7 - Hamilton Lands
 Richmond B.C.

Sheet	As Noted	March 2022	at	Project No.	Project Name
A-8b				04-21-2135	

ADP submission
 Feb. 26, 2024
 revised to May 6, 2024

8b



parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.

site details

ADP submission
 Feb. 26, 2024
 revised to May 6, 2024

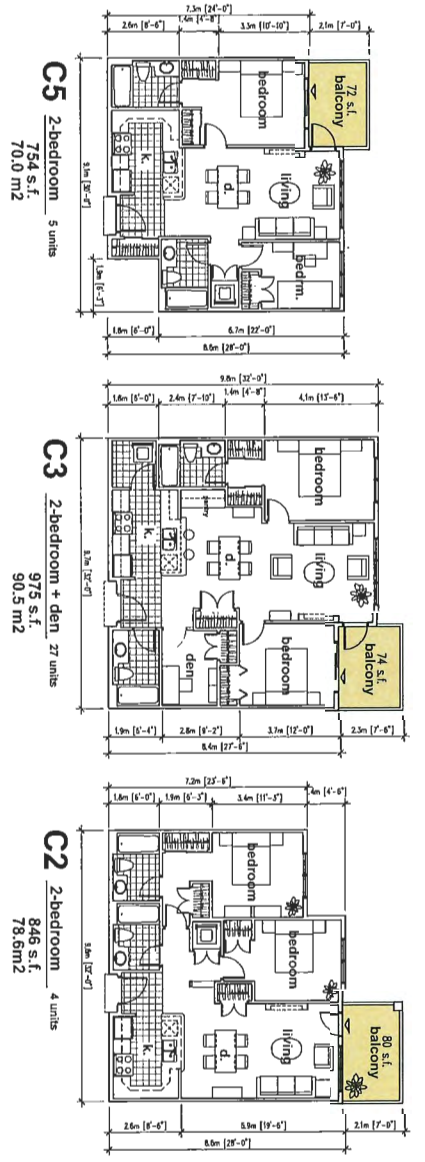
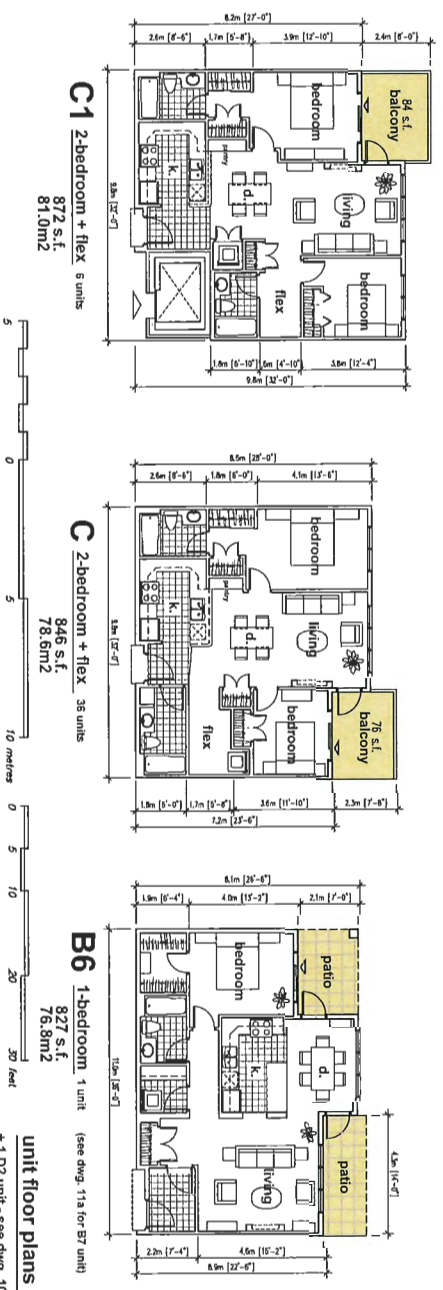
Rev.	Date	Description
04	2-29-24	re-based for D.P.
03	11-27-23	based for U.P.
02	4-16-23	based for naming
01	3-29-22	based for review

Sheet	of	Site details
A-9	1	proposed development parcels 6 & 7 Richmond B.C.

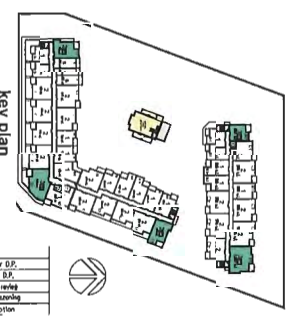
Scale	As Noted	Sheet
D3	21-2136	A-9

Issued for D.P.

parcels 6 & 7 - Proposed residential - commercial development
Hamilton Lands Richmond B.C.



- Key plan**
- A studio unit
 - B one-bedroom unit
 - C two-bedroom unit
 - D three-bedroom unit
- (refer to dng. A-11s for locations)



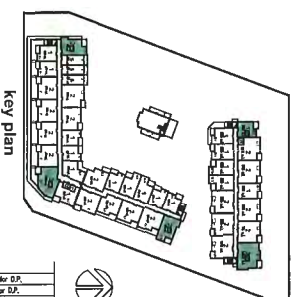
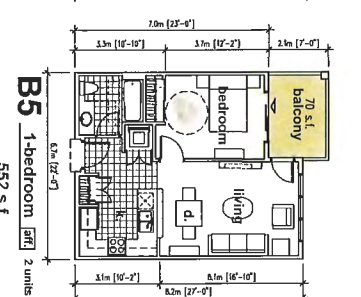
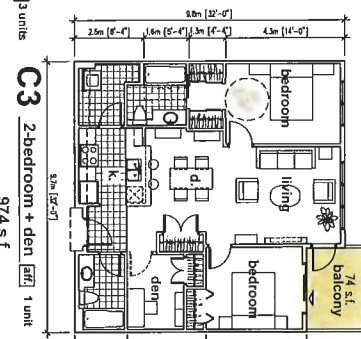
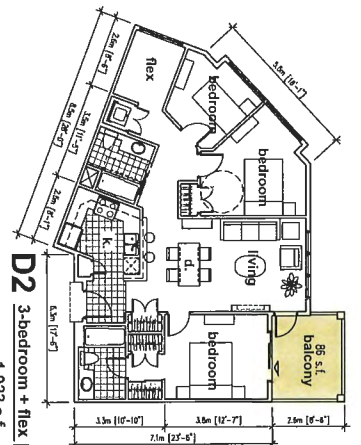
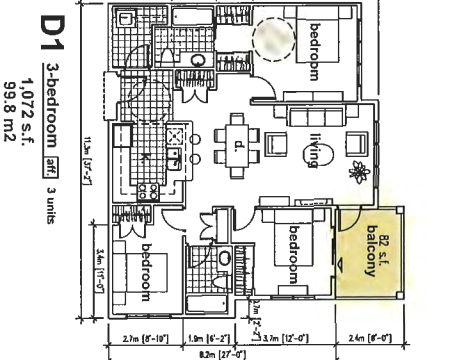
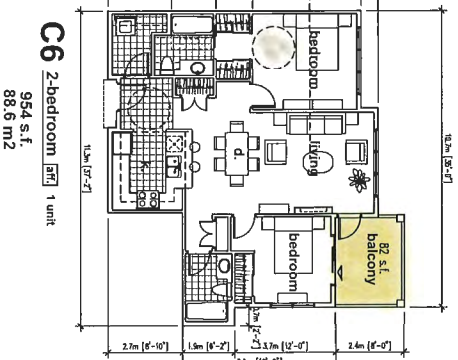
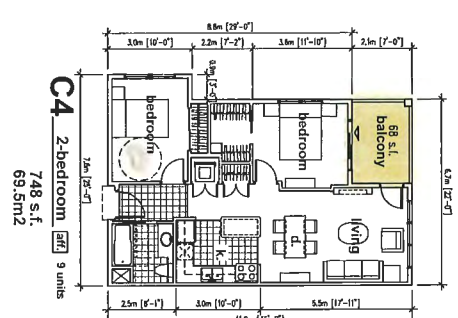
unit floor plans
+ 1 D2 unit - see dng. 10c
ADP submission
Feb. 26, 2024
revised to May 6, 2024

10b

Rev	As noted	Sheet	Revisy Note
01	April 2023	A10b	unit plans - market condo units
02	Project No.	A10b	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.

Ionic Architecture Inc.
architects a.i.b.c.
200-1002 14th Street
Vancouver, BC V6J 1K7
Tel: (604) 278-1177
www.ionicarchitects.com

Rev	Date	Description
01	2-26-24	released for D.P.
02	11-27-23	issued for D.P.
03	8-22-23	revised for review
04	4-12-23	issued for rezoning



Key plan
 A studio unit
 B one-bedroom unit
 C two-bedroom unit
 D three-bedroom unit
 (refer to page 102 for all locations)

affordable housing data :

minimum unit areas per AH Strategy :
 studio unit 400 s.f., 37 m2
 1-bedroom unit 535 s.f., 50 m2
 2-bedroom unit 741 s.f., 69 m2
 3-bedroom unit 980 s.f., 91 m2

affordable units provided :
 none

studio units 2 x 552 = 1104 s.f.
 1-bedroom B5 1 x 874 = 874 s.f.
 2-bedroom C3 9 x 748 = 6732 s.f.
 2-bedroom C4 1 x 854 = 854 s.f.
 3-bedroom D1 3 x 1072 = 3216 s.f.
 3-bedroom D2 3 x 1020 = 3060 s.f.
 19 units total = 15,090 s.f.
 (min. required area : 15,695 s.f. - see 10e)

affordable unit percentages :
 2/19 = 10.5% 1-bedroom units
 9/19 = 47.4% 2-bedroom units
 6/19 = 31.6% 3-bedroom units
 100%

all affordable units (19 units) to have
 Basic Universal Housing Features
 per zoning 591aw section 4.1b

affordable units

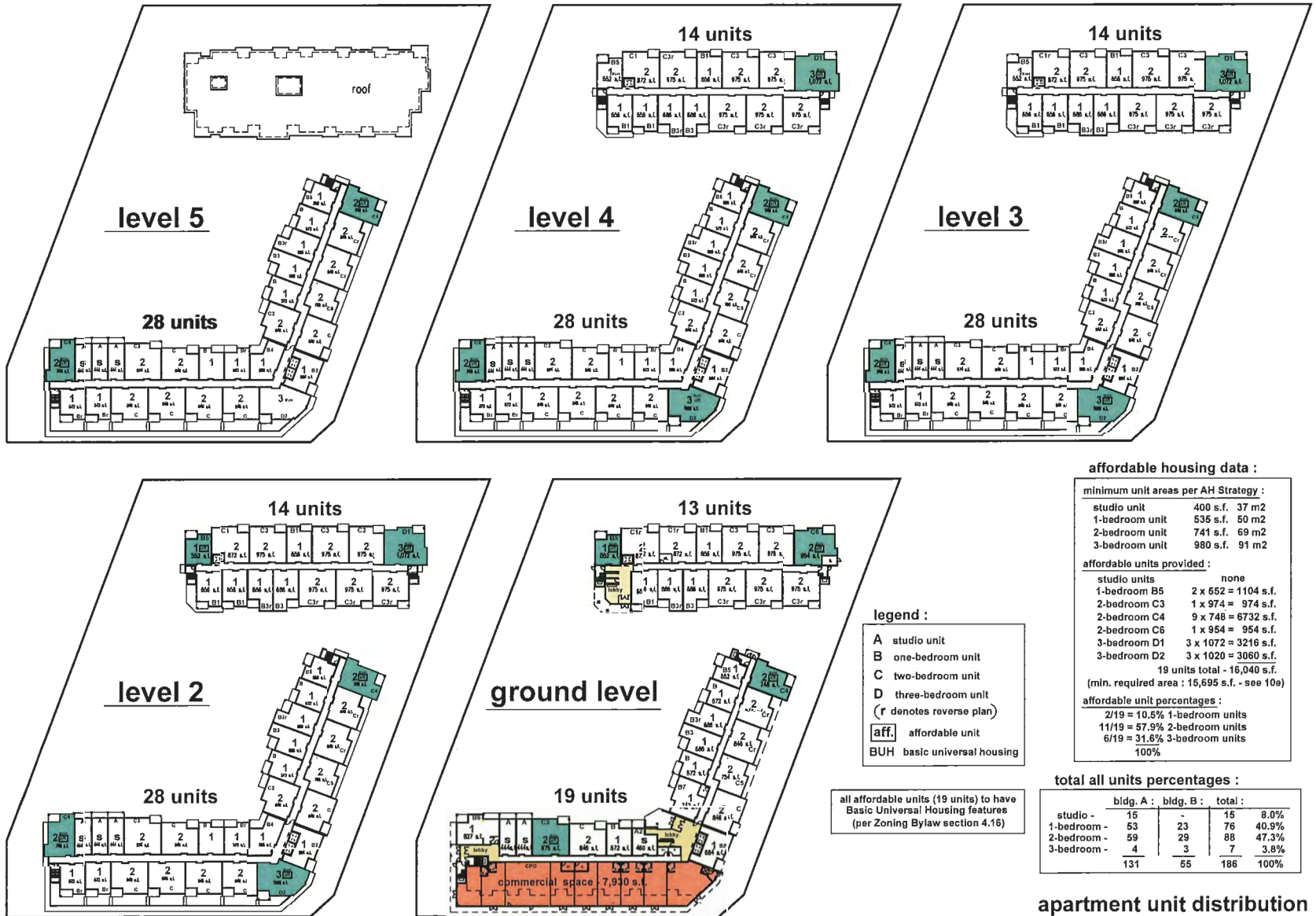
ADP submission
 Feb. 26, 2024
 revised to May 5, 2024

10c

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.

issued for D.P.

Date	in relief	Sheet	Drawing Title	Scale	Author	Checked	Reviewed	Description
03	21-2138	A10c	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.	1:100	ADP	ADP	ADP	issued for D.P.
02	21-2138	A10c	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.	1:100	ADP	ADP	ADP	issued for review
01	21-2138	A10c	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.	1:100	ADP	ADP	ADP	issued for review



parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands
Richmond B.C.

affordable housing data :

minimum unit areas per AH Strategy :

- studio unit 400 s.f. 37 m²
- 1-bedroom unit 535 s.f. 50 m²
- 2-bedroom unit 741 s.f. 69 m²
- 3-bedroom unit 980 s.f. 91 m²

affordable units provided :

studio units none

- 1-bedroom B5 2 x 652 = 1104 s.f.
- 2-bedroom C3 1 x 974 = 974 s.f.
- 2-bedroom C4 9 x 748 = 6732 s.f.
- 2-bedroom C6 1 x 954 = 954 s.f.
- 3-bedroom D1 3 x 1072 = 3216 s.f.
- 3-bedroom D2 3 x 1020 = 3060 s.f.

19 units total - 16,040 s.f.
 (min. required area : 15,695 s.f. - see 10e)

affordable unit percentages :

- 2/19 = 10.5% 1-bedroom units
- 11/19 = 57.9% 2-bedroom units
- 6/19 = 31.6% 3-bedroom units
- 100%

legend :

- A studio unit
- B one-bedroom unit
- C two-bedroom unit
- D three-bedroom unit
- (r denotes reverse plan)
- aff. affordable unit
- BUH basic universal housing

all affordable units (19 units) to have Basic Universal Housing features (per Zoning Bylaw section 4.16)

total all units percentages :

	bldg. A :	bldg. B :	total :	
studio -	15	-	15	8.0%
1-bedroom -	53	23	76	40.9%
2-bedroom -	59	29	88	47.3%
3-bedroom -	4	3	7	3.8%
	131	65	186	100%

apartment unit distribution

ADP submission
 Feb. 26, 2024
 revised to May 6 2024

issued for D.P.



Rev.	Date	Description
04	2-22-24	revised for D.P.
03	11-27-23	based for D.P.
02	8-22-23	revised for review
01	4-15-23	based for review

Ionic Architecture Inc.
 architects o.i.b.c.
 304-4000 Steeles Street
 Scarboro, ON M1V 5P8
 Tel: (770) 971-2818
 ionic@ionic-architecture.com

Drawn	Checked	Scale	Project No.
APR 2023		1:1	A10d

apartment unit distribution
 proposed development
 parcels 6 & 7 - Hamilton Lands
 Richmond B.C.

Issue	Date	Revision	Project No.
04	21-2138		A10d

- A** studio unit
 - B** one-bedroom unit
 - C** two-bedroom unit
 - D** three-bedroom unit
- (refer to dwg. A-11a for locations)

saleable/rentable floor areas :

commercial area :

7,930 s.f. including CPO
(includes mech. & elec. spaces)

saleable residential area :

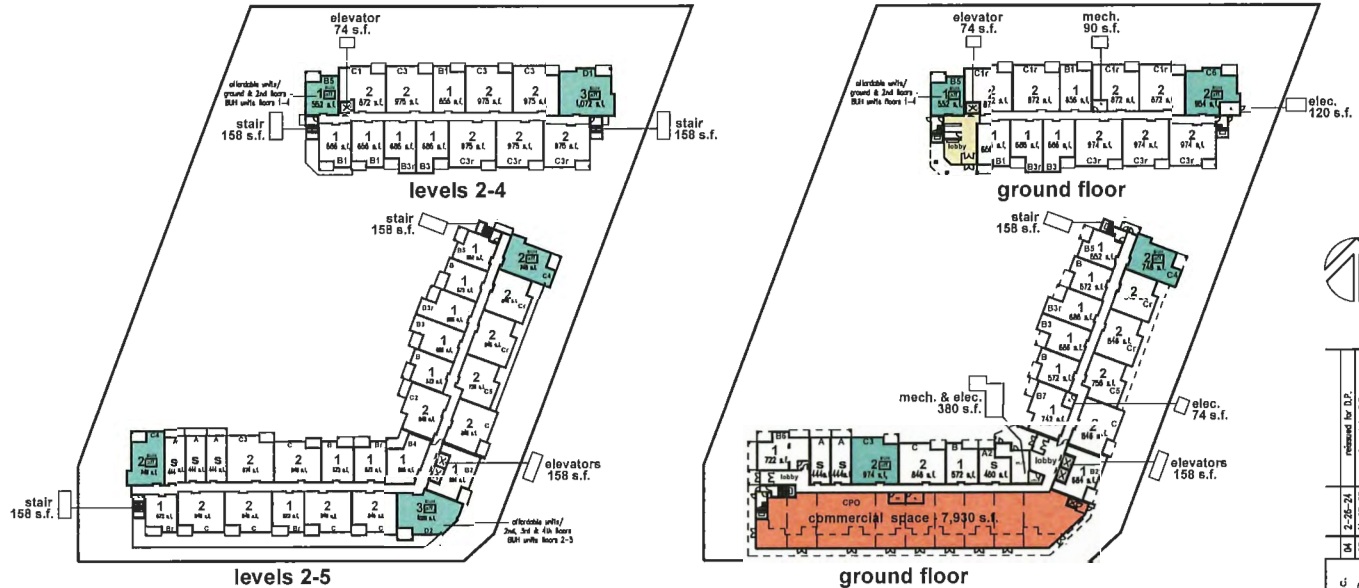
unit type	area	no. units	total area -
A	444 s.f.	14	6,216 s.f.
A1	460 s.f.	1	460 s.f.
B	672 s.f.	26	14,872 s.f.
B1	656 s.f.	7	4,592 s.f.
B2	695 s.f.	5	3,475 s.f.
B3	686 s.f.	18	12,348 s.f.
B4	695 s.f.	4	2,780 s.f.
B5	539 s.f.	11	5,929 s.f.
B6	827 s.f.	1	827 s.f.
B7	742 s.f.	1	742 s.f.
C	846 s.f.	36	30,456 s.f.
C1	872 s.f.	6	5,232 s.f.
C2	846 s.f.	4	3,384 s.f.
C3	975 s.f.	27	26,325 s.f.
C5	764 s.f.	5	3,770 s.f.
D2	1,020 s.f.	1	1,020 s.f.
totals -		167 units	122,571 s.f. (11387 m ²)

rentable residential area :

uniy type	area	no. units	total area -
B6	552 s.f.	2	1,104 s.f.
C3	974 s.f.	1	974 s.f.
C4	748 s.f.	9	8,732 s.f.
C6	954 s.f.	1	954 s.f.
D1	1,072 s.f.	3	3,216 s.f.
D2	1,020 s.f.	3	3,060 s.f.
totals -		19 units	16,040 s.f. (1490.1 m ²)

residential summary :

total units - 167 + 19 = **186 units**
total unit area - 122,571 + 16,158 = **138,729 s.f.**
(12,867.9 m²)



bylaw floor area calculation (net area for density calculation) :

building A :						
floor -	actual gross area -	deductions per zoning bylaw -			bylaw net floor area -	notes -
		elevators	stairs	mech. / elec.		
ground	25,150 s.f. 2336.4 m ²	---	---	454 s.f. ---	24,696 s.f. 2294.3 m ²	- mech. and elec. spaces may be deducted on any floor - stairs and elevators deducted above ground floor only
second	22,848 s.f. 2122.6 m ²	158 s.f. ---	316 s.f. ---	---	22,374 s.f. 2078.5 m ²	
third	22,848 s.f. "	158 s.f. ---	316 s.f. ---	---	22,374 s.f. "	
fourth	22,848 s.f. "	158 s.f. ---	316 s.f. ---	---	22,374 s.f. "	
fifth	22,848 s.f. "	158 s.f. ---	316 s.f. ---	---	22,374 s.f. "	
totals -	116,542 s.f. 10826.8 m²	632 s.f.	58.7 m²	1,264 s.f. 117.4 m²	454 s.f. 42.2 m²	114,192 s.f. 10608.4 m²
building B :						
floor -	actual gross area -	deductions per zoning bylaw -			bylaw net floor area -	notes -
		elevators	stairs	mech. / elec.		
ground	13,012 s.f. 1208.8 m ²	---	---	210 s.f. ---	12,802 s.f. 1189.3 m ²	- mech. and elec. spaces may be deducted on any floor - stairs and elevators deducted above ground floor only
second	13,072 s.f. 1214.4 m ²	74 s.f. ---	316 s.f. ---	---	12,682 s.f. 1178.2 m ²	
third	13,072 s.f. "	74 s.f. ---	316 s.f. ---	---	12,682 s.f. "	
fourth	13,072 s.f. "	74 s.f. ---	316 s.f. ---	---	12,682 s.f. "	
totals -	52,228 s.f. 4852 m²	222 s.f.	20.6m²	948 s.f. 88.1 m²	210 s.f. 19.5 m²	50,848 s.f. 4723.8 m²

total bylaw floor area for site density calculation : 114,192 + 50,848 = 165,040 - (22 x 20') = 164,620 s.f. (*20 s.f./unit deduction for units with BUH features)

bylaw residential area for affordable housing provision requirement :

bylaw total area : 114,192 + 50,848 = 165,040 s.f. bylaw residential area : 165,040 - 7,930 = 157,110 s.f. x 10% = **15,711 s.f. required** area provided : 16,158 s.f.

Rev	Date	Description
04	2-26-24	released for D.P.
03	11-27-23	issued for D.P.
02	8-22-23	revised for mech
01	4-12-23	issued for zoning

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Drawing Title: floor area calculation for FAR
Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.

Sheet: A10e of
Date: November 2023
Revision: 04
Project No.: 21-2138

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands Richmond B.C.

floor area calculations

ADP submission
Feb. 26, 2024
revised to May 6 2024

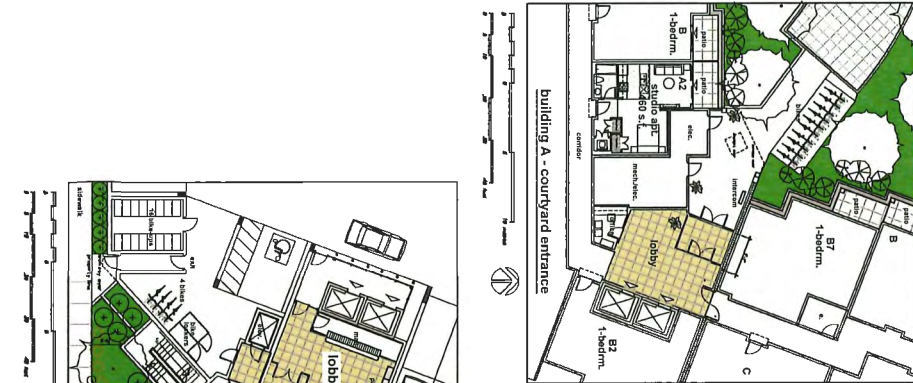
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issued for D.P.

parcels 6 & 7 - proposed residential - commercial development
 Richmond B.C.

ADP submission
 Feb. 26, 2024
 revised to 2026/2024

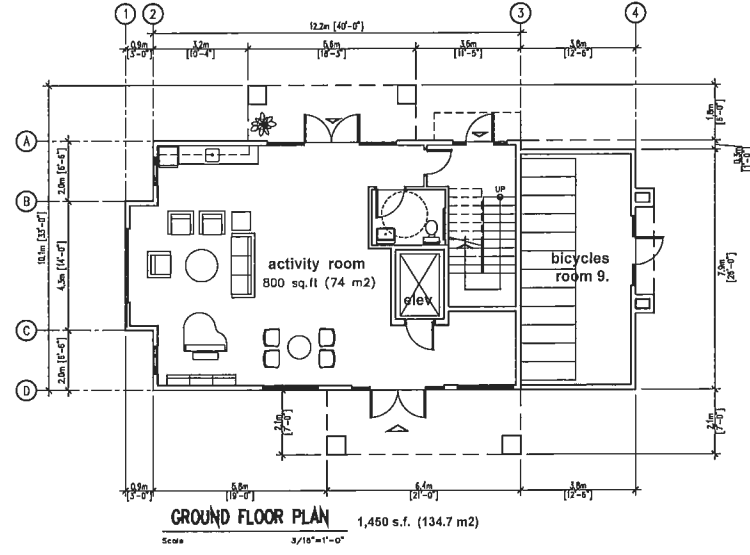
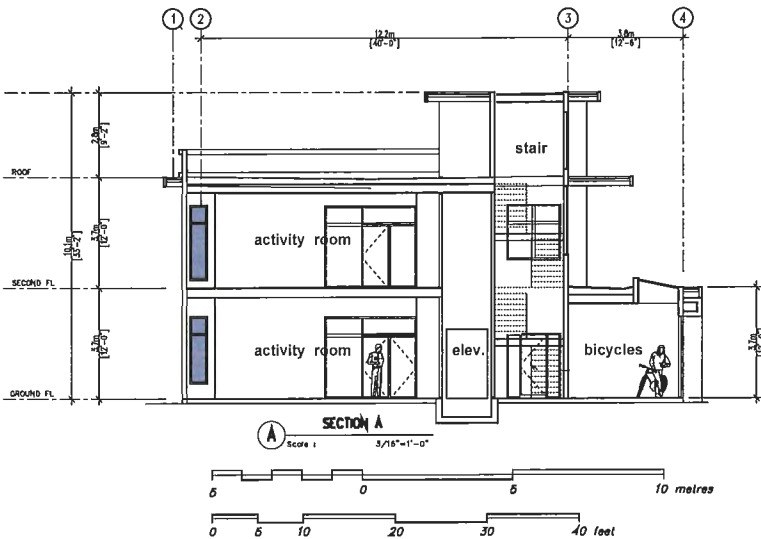
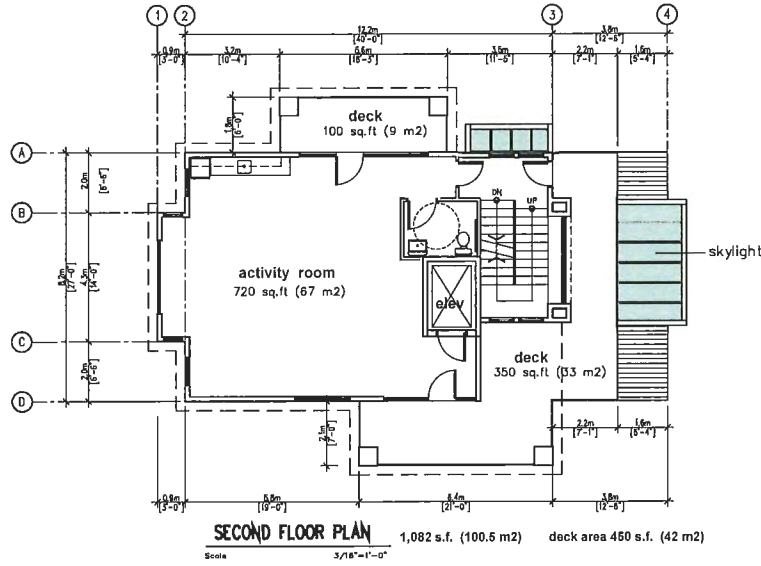
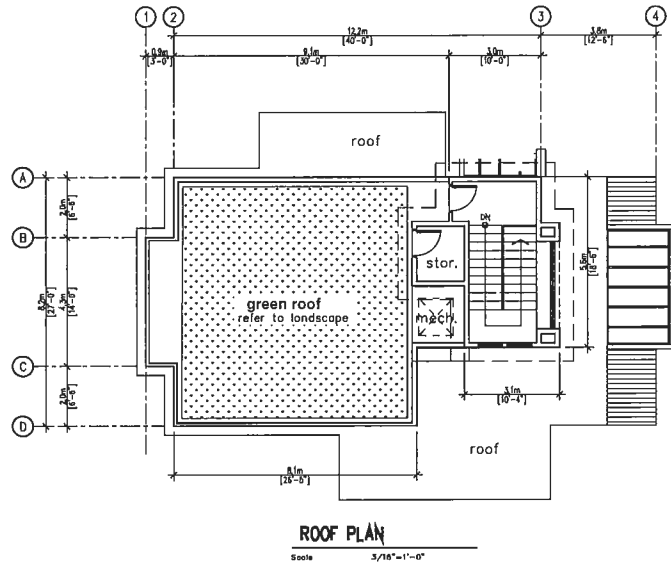
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Sheet	of	Drawn by	Detail floor plans - apartment lobbies
Revised	Feb. 2024	Project Title	proposed development
03	21-2138	Parcel	parcels 6 & 7 - Heritage Lands Richmond B.C.

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01	5-26-24	revised for D.P.
02	7-19-24	issued for D.P.
03	2-26-24	issued for review
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Date	Revised For	Description
06-10-24	RE-SSQD_FDR_JP	
05-10-27-23	based for D.P.	
04-06-23	based for naming	
03-2-22-23	general revisions/updates	
02-3-25-22	revised for naming	
01-2-25-22	based for naming	

No.	Date	Description
06	4-12-24	RE-SSQD_FDR_JP
05	10-27-23	based for D.P.
04	4-06-23	based for naming
03	2-22-23	general revisions/updates
02	3-25-22	revised for naming
01	2-25-22	based for naming

Scale:	as noted	Sheet:	A11a
Date:	February 2022	of	
Number:	Project No.	Drawing Title:	amenity building - plans & section
		Project Title:	proposed development
			parcels 6 & 7 - Hamilton Lands
			Richmond B.C.

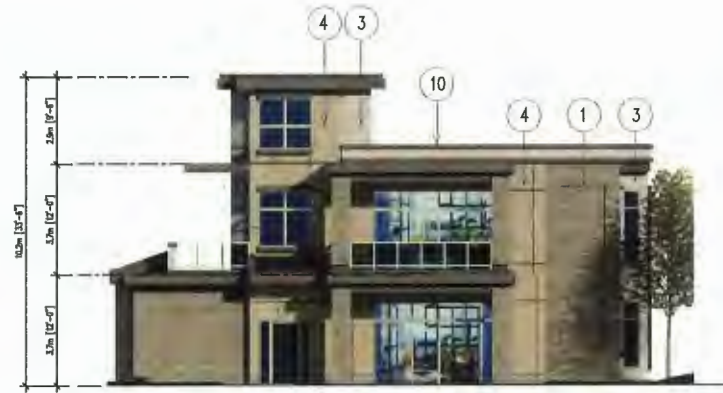
parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands Richmond B.C.

ADP submission
Feb. 26 2024
revised to April 12 2024

11a

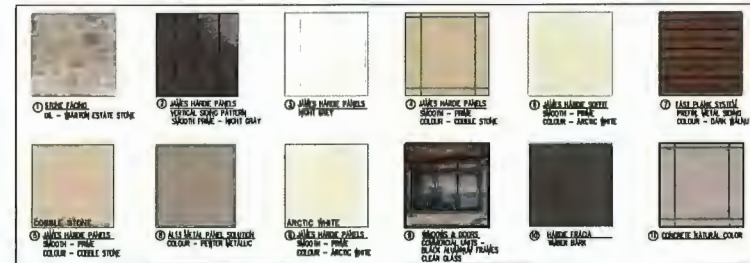


north elevation



west elevation to strollway

EXTERIOR MATERIALS & FINISHES :			
MATERIAL / FINISH	COLOUR	MATERIAL / FINISH	COLOUR
① STONE	IXL - MARTON ESTATE STONE	⑨ WINDOWS & DOORS :	
② JAMES HARDIE PANELS VERTICAL SIDING STYLE	SMOOTH - PRIME - NIGHT GRAY	COMMERCIAL UNITS -	BLACK ALUMINUM FRAMES CLEAR GLASS
③ JAMES HARDIE PANELS	SMOOTH - PRIME - NIGHT GRAY	RESIDENTIAL UNITS -	BLACK VINYL & CLEAR GLASS
④ JAMES HARDIE PANELS	SMOOTH - PRIME - COBBLE STONE	⑩ AMENITY BUILDING	WHITE ENAMEL FRAMES & CLEAR GLASS
⑤ JAMES HARDIE PANELS	SMOOTH - PRIME - ARCTIC WHITE	⑪ HARDIE FASCIA	TIMBER BARK
⑥ JAMES HARDIE SOFFIT	SMOOTH - PRIME - ARCTIC WHITE	⑫ CONCRETE	NATURAL CONCRETE
⑦ FAST PLANK SYSTEM	DARK WALNUT	⑬ ALUM. AND GLASS RAILING	BLACK ENAMEL ALUM. & CLEAR GLASS
⑧ AL13 METAL PANEL SOLUTION	PEWTER METALLIC	⑭ GLASS CANOPY	CLEAR GLASS
		⑮ COMMERCIAL SIGNAGE / SIGN BACKING SUPPORT	B. COMPOSITE WOOD PLASTIC DARK WALNUT (1 1/2 IN+ 4IN)



materials & colours - all buildings



south elevation



east elevation entrance



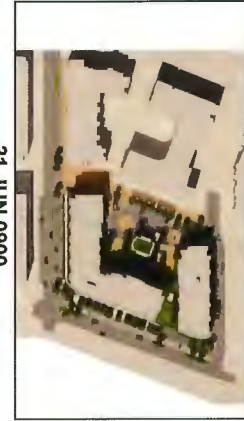
parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands
Richmond B.C.

ADP submission
Feb. 26 2024
revised to April 12 2024

11b

Issue	On Field	Sheet	Drawing Title	Revision	Date	Rev.	Description
06	21-2139	A11b	amenity building - elevations		4-12-24	06	RE-ISSUED FOR DP
05	20-27-23		proposed development		10-27-23	05	Issued for DP
04	20-27-23		proposed development		4-08-23	04	Issued for marketing
03	20-27-23		proposed development		2-22-23	03	general revisions/updates
02	20-27-23		proposed development		3-29-22	02	revised for review
01	20-27-23		proposed development		2-23-22	01	Issued for review

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architects o.i.b.c.
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Suite 100
Burnaby B.C. V5A 1K6
604.291.8888
info@ionic-architecture.com



21 JUN 0900



21 JUN 1200



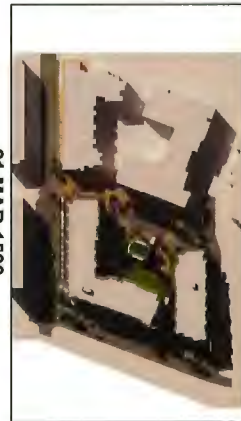
21 JUN 1500



21 MAR 0900



21 MAR 1200



21 MAR 1500



21 DEC 0900



21 DEC 1200



21 DEC 1500

shadow casts

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands
Richmond B.C.

ADP submission
Feb. 26, 2024

Issue	As Issued	Sheet	of	Project Title	shadow casts	Client	Ionix Architecture Inc. architects a.i.b.c.	Rev.	01	2-26-24	Issued for ADP
Revision	March 2024			Project Site	proposed development	Client Contact	301-4601 Island Drive Surrey B.C. V4N 1S6 a.i.b.c@ionix-architects.com		02	11-27-23	Issued for DR
Revision		A13		Project Site	parcels 6 & 7 - Hamilton Lands Richmond B.C.	Client Contact			03	4-15-23	Issued for meeting
Revision	04	21-2138		Project Site		Client Contact			04	4-06-23	Issued for review
								Rev.	Date	Description	

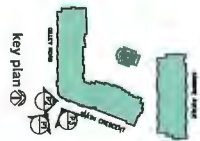


building A - Smith Crescent entrance



building A viewed from Gilley Road 'High Street' / Smith Avenue intersection

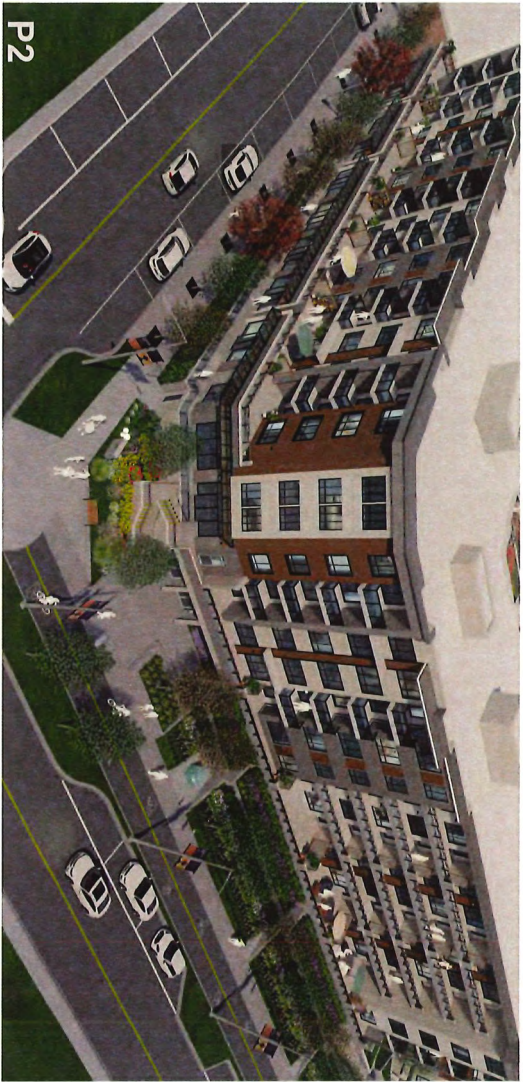
parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.



ADP Administration
 Feb. 26, 2024
 revised to May 6, 2024

14a

Item	As Issued	Sheet	of	Project Name	Client	Project No.	Project Address	Project City	Project State	Project Country	Project Date	Project Description
04	21-2138	14a		Proposed Development parcels 6 & 7 - Hamilton Lands RICHMOND BC	tonic Architecture inc. architects o.i.b.c.	204-8800 Wood Street Burnaby BC V5C 2H8	491 (778) 847-0818	BC	Canada		2024	revised per ADP comments revised for IP based for IP based for rebid



P3
CPO detail view

P4
building B - entrance

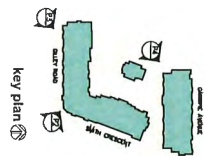


P2
building A - south-east corner view

parcels 6 & 7 - proposed residential - commercial development

Hamilton Lands

Richmond B.C.

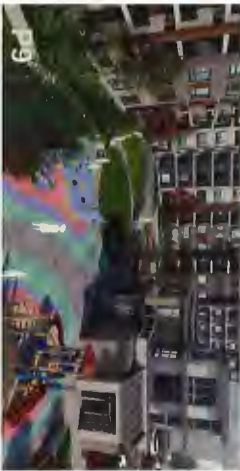
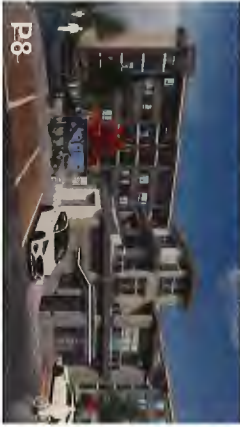
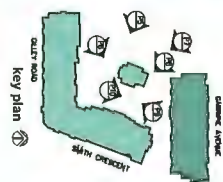
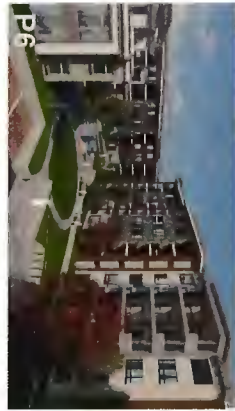


key plan

ADP # 2023-0001
revised to May 5, 2024

14b

Date	As Noted	Sheet	Of	Drawing Title	Client	Revision	Description
04-22-24				perspective views	Ionic Architecture Inc. architects o.l.b.c.	01	revised per ADP comments
03-20-24	August 2023					02	revised for CPO
03-15-23-23						03	issued for CPO
03-05-23						04	issued for review
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amenity building & bidg. A

amenity building & outdoor amenity
Play equipment for illustration only, "equipment as per landscape plans"

courtyard view from building B entry

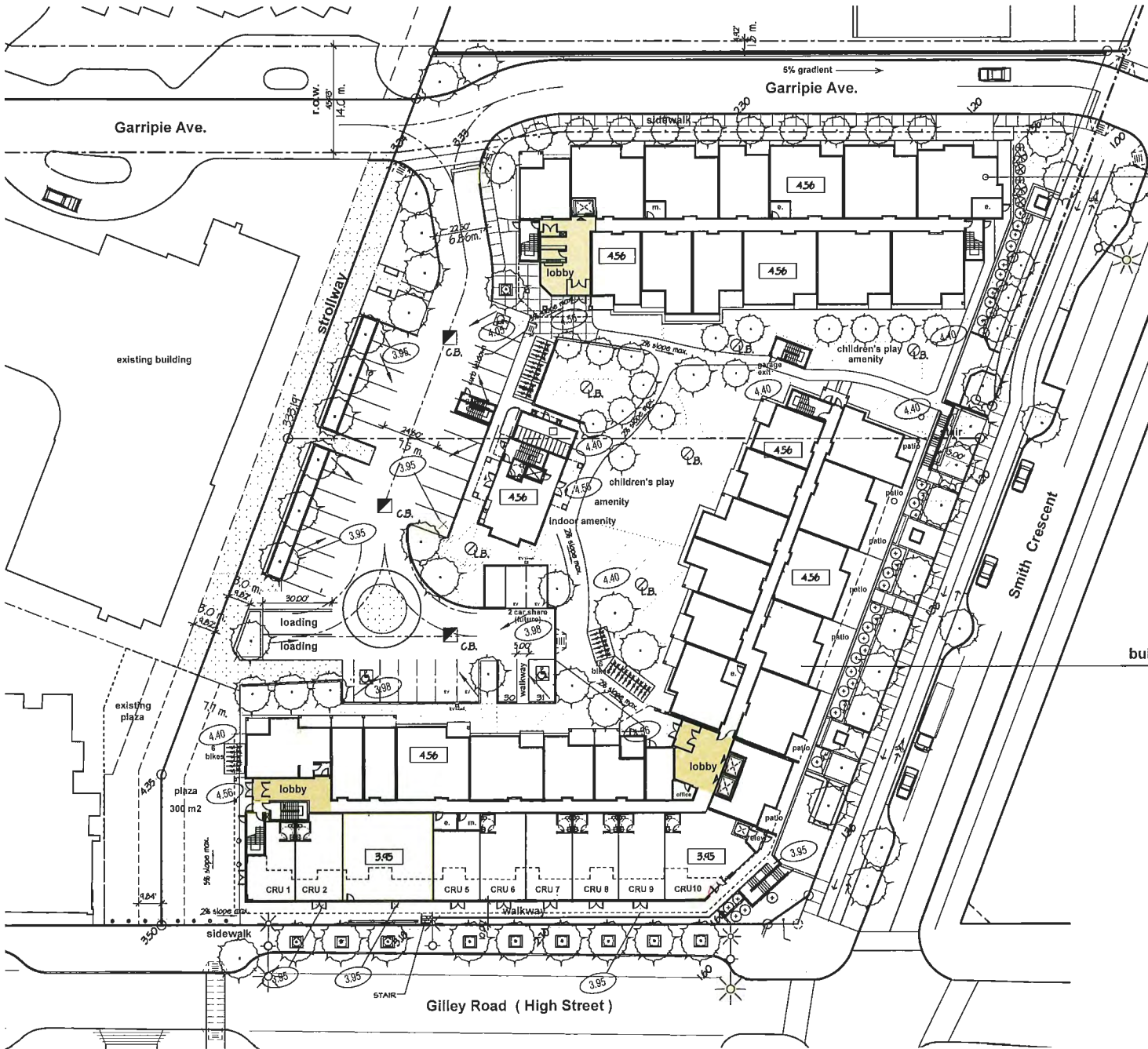
parcels 6 & 7 - proposed residential - commercial development

Hamilton Lands

Richmond B.C.

ADP Presentation
14C
revised to May 9, 2024

Rev	Date	Description
01	2-02-24	revised per ADP comments
02	2-29-24	revised for SP
03	11-21-23	issued for SP
04	5-29-24	issued for rebid
Rev	Date	Description



building B ground floor :

GRADING KEY :

(ELEVATIONS IN METRES)

- EXISTING GRADE
- EX. GRADE (Interpolated)
- PROPOSED GRADE
- FINISH FLOOR ELEVATION
- SURFACE DRAINAGE
- L.B. LAWN BASIN
- C.B. CATCH BASIN
- 3" SLAB DRAIN BELOW ROAD FINISHED
- P.D. PLANTER DRAIN

REFER TO CIVIL ENG. DRAWINGS FOR FINAL GRADING

building A ground floor :

SITE GRADING - ACCESSIBILITY STRATEGY

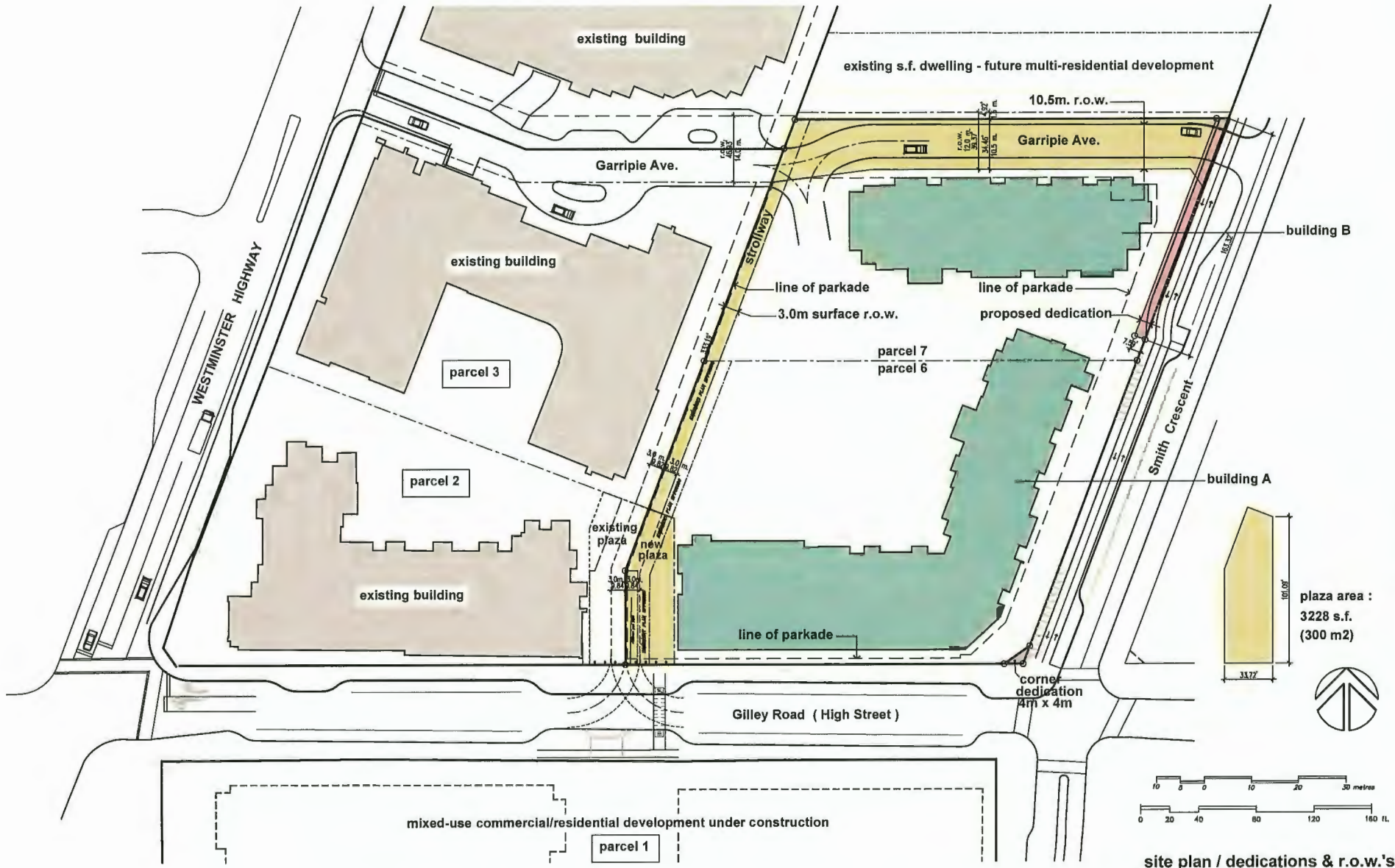
Scale 1"=20'

Rev.	Date	Description
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Drawing Title: SITE GRADING
 Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.

Sheet: S-2
 of: 2
 Date: February 2022
 Project No.: 21-2138



parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands Richmond B.C.

site plan / dedications & r.o.w.'s

ADP submission for review
 Feb. 21 2024
 revised to April 2 2024

S-3

Rev.	Date	Description
01	7-31-23	issued for coordination
02	8-27-23	issued for D.P.
03	9-27-23	submitted for D.P./ADP
04	4-02-24	revised for D.P.

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 architects a.i.b.c.
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 Email: info@ionic-arch.com

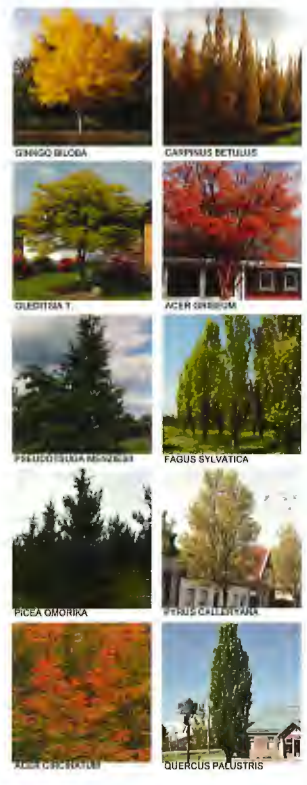
Drawing Title: site plan - dedications & r.o.w.'s
 Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.

Sheet	S-3
Date	July 2023
Project No.	21-2138
Revision	04

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pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 8th Street Drive
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p: 604 294-0011 ; f: 604 294-0022

SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
1	24.MAR.23	CONCEPT	JR
2	24.MAR.23	CONCEPT	JR
3	24.MAR.23	CONCEPT	JR
4	24.MAR.23	CONCEPT	JR
5	24.MAR.23	COMMENTS	JR
6	24.MAR.23	COMMENTS	JR
7	24.MAR.23	COMMENTS	JR
8	24.MAR.23	COMMENTS	JR
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35	24.MAR.23	COMMENTS	JR
36	24.MAR.23	COMMENTS	JR
37	24.MAR.23	COMMENTS	JR
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CLIENT:

PROJECT:

CORNERSTONE

23001, 23324, 23361, 23381
GILLEY RD & 4631, 4671 AND 4651
SMITH CRESCENT, RICHMOND, BC

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 23.MAR.23 DRAWING NUMBER:

SCALE: 1"=20' 0"

DRAWN: JR

DESIGN: JR

CHKD: BA

L1

OF 7

PMG PROJECT NUMBER: 23-053

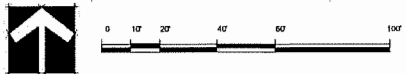
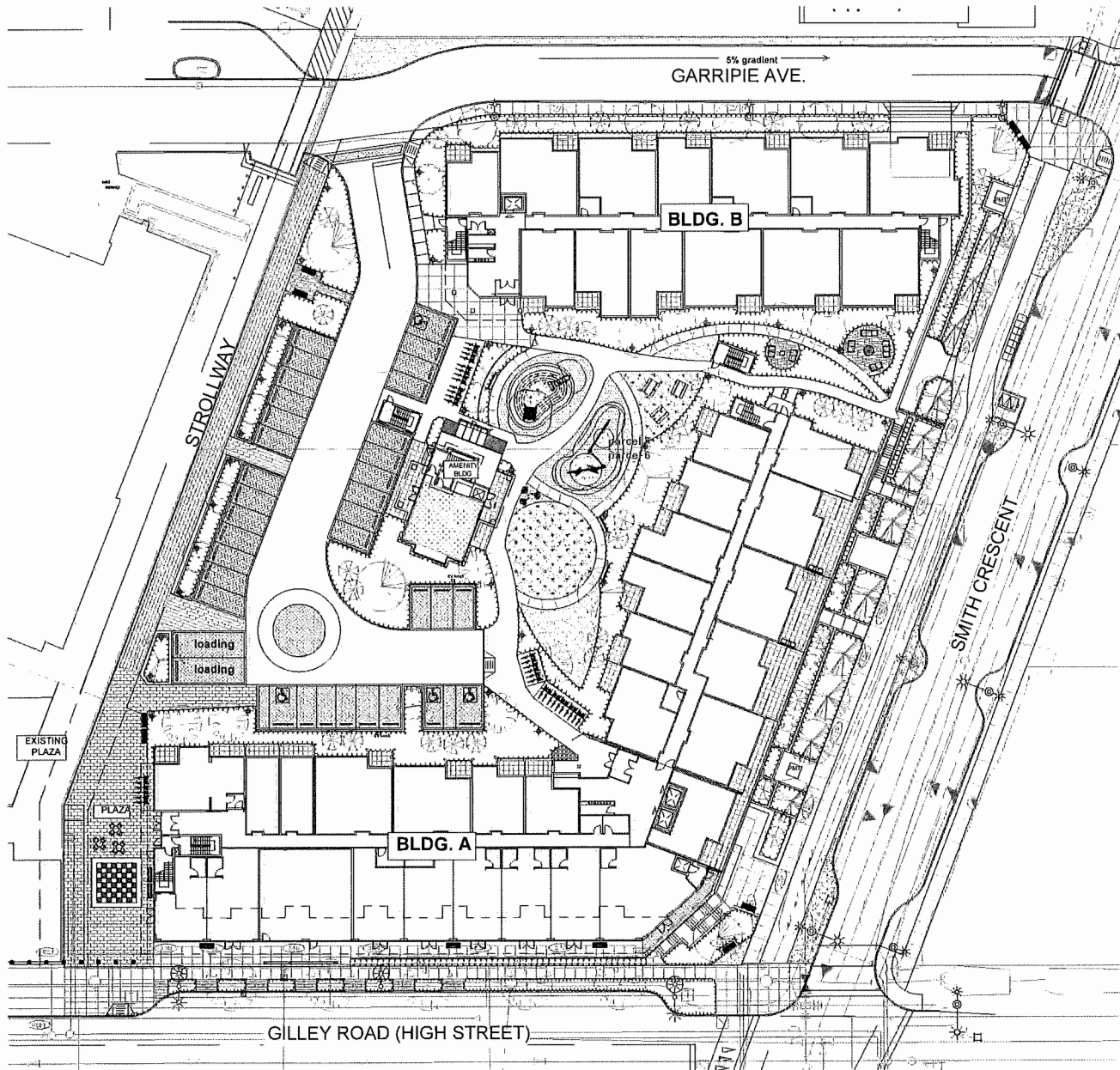


KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	REMARKS
1	4	ACER FRONDOSUM	WINE MAPLE	2500 HT, 1000	3 STEEL CULDEP
2	4	ACER GRIBESUM	PAPERBARK MAPLE	800 CAL, 150 STD, 1000	800 CAL, 100 STD, 1000
3	3	CARPINUS BETULIFOLIA 'FRANS FONTAINE'	COLUMBIA HORSEBEAM	800 CAL, 1000	800 CAL, 1000
4	6	FAGUS SYLVATICA 'DANWYCK GOLD'	DANWYCK GOLD BEECH	800 CAL, 1000	800 CAL, 1000
5	12	QUERCUS BILBOA 'NUTCRACK GOLD'	AUTUMN GOLD OAK	800 CAL, 1000	800 CAL, 1000
6	3	GLEDITSIA T. 'INHERITANCE'	IMPERIAL HONEY LOCUST	1000 HT, 1000	1000 HT, 1000
7	30	PICEA CHOROKA 'SIBIRICA'	BRUSH SPRUCE	500 HT, 1000	500 HT, 1000
8	4	PIEDICULISIA HEDERIFOLIA	DOUGLAS FIR	500 HT, 1000	500 HT, 1000
9	4	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	800 CAL, 1000	800 CAL, 1000
10	4	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN OAK	800 CAL, 1000	800 CAL, 1000

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * CONTAINER SIZES SPECIFIED AS PER CHLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEDIA/SUBSTRATE AND OTHER PLANTING REQUIREMENTS. * SEARCH AND REVIEW SAME PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNSPECIFIED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. * IDENTIFICATION OF COPIES OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

DECIDUOUS TREES: 47
CONIFEROUS TREES: 42





5% gradient
GARRIPIE AVE.

BLDG. B

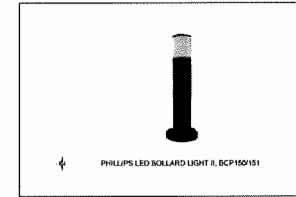
STROLLWAY

SMITH CRESCENT

BLDG. A

GILLEY ROAD (HIGH STREET)

LIGHTING LEGEND



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LANDSCAPE ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

1	23.07.18	ISSUANCE	JA
2	23.07.18	CONSENT	JA
3	13.07.20	NEW SITE PLAN / CONSENT	JA
4	23.07.20	ISSUED FOR IP	JA
5	23.07.21	NEW SITE PLAN / CONSENT	JA

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

CORNERSTONE

23301, 23321, 23361, 23381
GILLEY RD & 4691, 4671 AND 4651
SMITH CRESCENT, RICHMOND, BC

DRAWING TITLE:

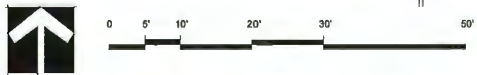
LIGHTING PLAN

DATE: 23 MAR 20 DRAWING NUMBER:
SCALE: 1"=20'-0"
DRAWN: JR
DESIGN: JR
CHKD: BA OF 7

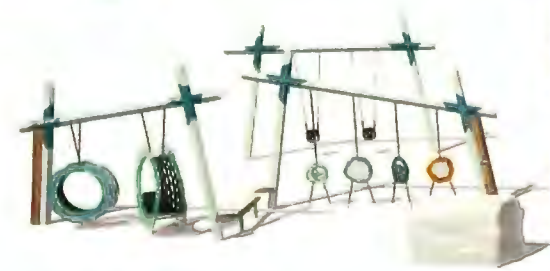
L4

23053-G2P PMG PROJECT NUMBER: 23-053

CNCL - 366



RATANA PARK LANE SOFA, LOVESEAT & END TABLE
 TENDERTUFF PICNIC TABLE (#141694) & BACKED BENCH (#141683)
 SOLUS 30\"/>



LANDSCAPE STRUCTURES PLAY EQUIPMENTS:
 FOX DEN HANGOUTS (#307431), BALANCE BEAM (#307430), FOCAL SENSORY WALL (#307430), SLIDEWINDER2 (#124853), HILL NET CLIMBER (#CP00688), FLOWER ACCENT TOPPER (#212256)



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 p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	CHK.
1	24.APR.24	COMMENTS	JL
2	24.APR.24	COMMENTS	JL
3	24.APR.24	NEW SITE PLAN / CONDITIONS	JL
4	24.APR.24	ISSUES FOR BP	JL
5	25.APR.24	NEW SITE PLAN / CONDITIONS	JL

CLIENT:

PROJECT:
CORNERSTONE
 23301, 23321, 23361, 23381
 GILLEY RD @ 4631, 4671 AND 4651
 SMITH CRESCENT, RICHMOND, BC

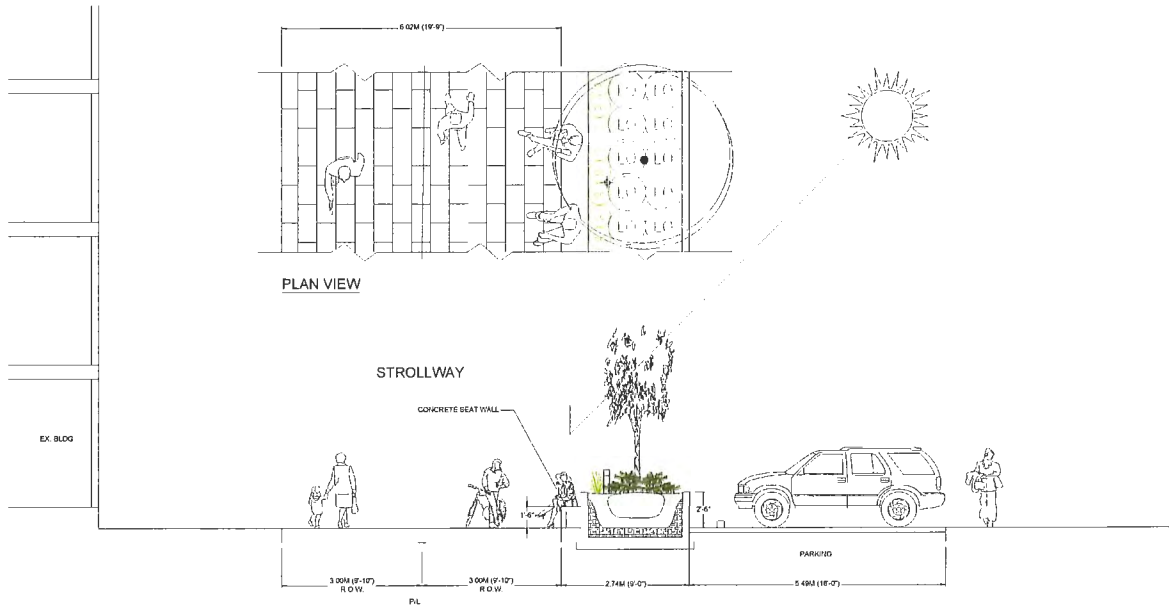
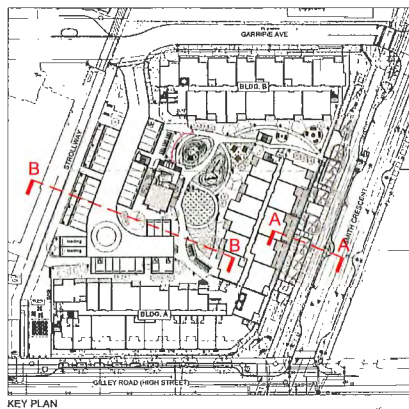
DRAWING TITLE:
AMENITY ENLARGEMENT

DATE: 23.APR.24 DRAWING NUMBER:
 SCALE: 1/8"=1'-0"
 DRAWN: JL **L5**
 DESIGN: JL
 CHCK: BA OF 7

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Burnaby, British Columbia, V5C 6G9
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SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	2023.03.11	CONCEPTS	JA
2	2023.03.11	CONCEPTS	JA
3	2023.03.11	NEW SITE PLAN / CONCEPTS	JA
4	2023.03.11	CONCEPTS	JA
5	2023.03.11	CONCEPTS	JA
6	2023.03.11	CONCEPTS	JA
7	2023.03.11	CONCEPTS	JA
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41	2023.03.11	CONCEPTS	JA
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CLIENT:

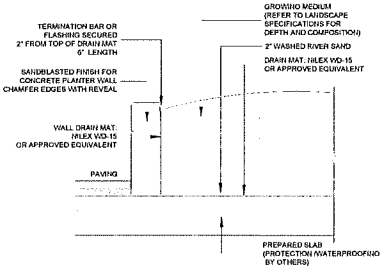
PROJECT:
CORNERSTONE

23301, 23321, 23361, 23381
GILLEY RD & 4631, 4671 AND 4651
SMITH CRESCENT, RICHMOND, BC

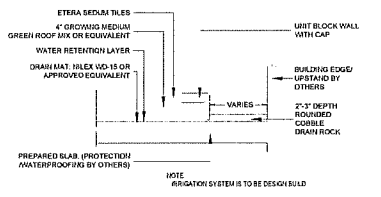
DRAWING TITLE:
LANDSCAPE SECTIONS

DATE: 23 MAR 23 DRAWING NUMBER:
SCALE: AS NOTED
DRAWN: JA **L6**
DESIGN: JR
CHKD: SA OF 7

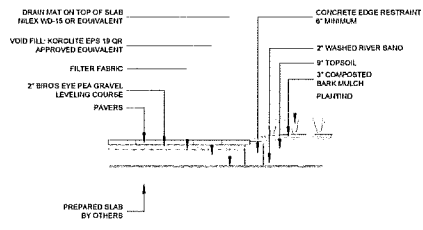
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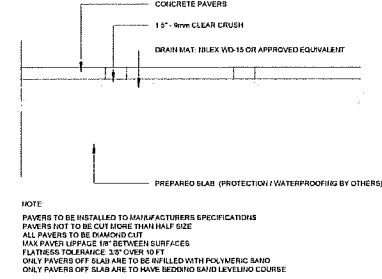
1 PLANTER WALL
1/2" = 1'-0"



2 GREEN ROOF EDGE
1/2" = 1'-0"

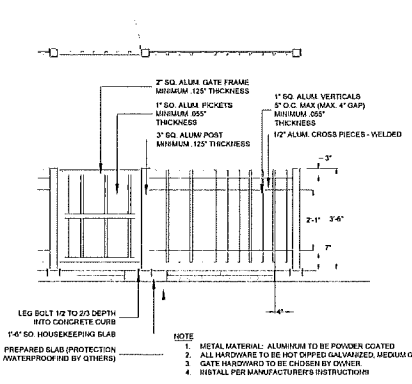


3 PAVER EDGING
SCALE: 1/2" = 1'-0"

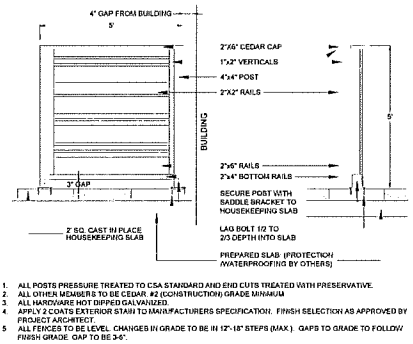


NOTE:
PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS
PAVERS NOT TO BE CUT LESSER THAN HALF SIZE
ALL PAVERS TO BE DIAMOND CUT
MAX PAVES OFFICE 1" BETWEEN SURFACES
FLATNESS TOLERANCE: 3/32" OVER 10 FT
ONLY PAVERS OFF SLAB ARE TO BE FILLED WITH POLYMERIC SAND
ONLY PAVERS OFF SLAB ARE TO HAVE SECOND SAND LEVELING COURSE

4 PAVERS
1" = 1'-0"

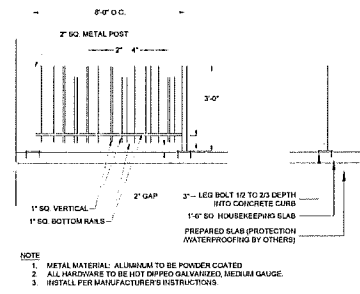


5 ALUMINUM PICKET FENCE
1/2" = 1'-0"

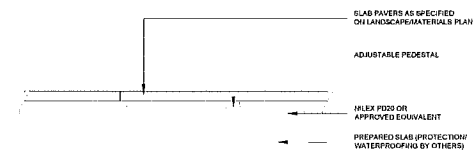


1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIP GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. CAP TO BE 60°.

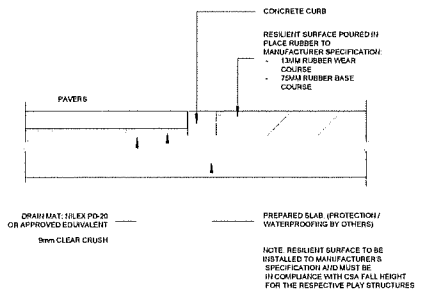
6 PATIO SCREEN
1/2" = 1'-0"



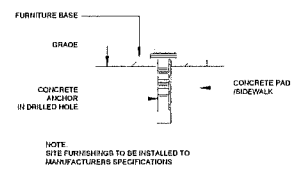
7 ALUMINUM PICKET FENCE AT PLAY AREA
1/2" = 1'-0"



8 HYDRAPRESSED SLABS OVER PEDESTALS
1" = 1'-0"



9 POURED IN PLACE RUBBER PLAY SURFACE EDGE
1" = 1'-0"



10 SITE FURNITURE MOUNTING
1/12" = 1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
1	21.05.18	CONTRACTS	JR
4	21.05.15	CONTRACTS	JR
3	21.05.03	NEW PLAY/CONSULT	JR
2	21.05.19	SHED FOR P	JR
1	21.05.13	NEW PLAY/CONSULT	JR

NO. DATE REVISION DESCRIPTION DR.

CURT:

PROJECT:

CORNERSTONE

23301, 23321, 23361, 23381
GILLEY RD & 4631, 4671 AND 4651
SMITH CRESCENT, RICHMOND, BC

DRAWING TITLE:

LANDSCAPE DETAILS

DATE: 23.MAR.23 DRAWING NUMBER:

SCALE: AS NOTED

DRAWN: JR

DESIGN: JR

CHKD: BA

OF 7

PNG PROJECT NUMBER: 23-053

L7