

Schedule 1 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
June 12, 2024



## 6071 AZURE ROAD - RICHMOND, BC

DEVELOPMENT PERMIT PANEL MEETING - JUN 12, 2024



HNSA ARCHITECTURE + PLANNING INC.

DURANTE KREUK LTD.

# PROJECT OVERVIEW

## SITE INFORMATION



**CIVIC ADDRESS**  
6071 Azure Road, Richmond, British Columbia

**LEGAL DESCRIPTION**  
LOT 592 SEC 7 BLK 4N RG 6W PL NWP25611 LOT 592, BLOCK 4N, PLAN NWP25611, SECTION 7, RANGE 6W, NEW WESTMINSTER LAND DISTRICT

**SITE AREA**  
BEFORE DEDICATION: 12,005 SQ.M (129,221 SQ.FT)  
AFTER DEDICATION: 11,606 SQ.M (124,933 SQ.FT)

**LAND USE**  
MULTI-FAMILY RESIDENTIAL

**CURRENT ZONING**  
RTL1 - LOW DENSITY TOWNHOUSES

## EXECUTIVE SUMMARY

PROJECT AREAS	
Building A : LEMR + HILs + RENTAL MARKET	5,490 Sq.m. - FAR
Building B : HILs + RENTAL MARKET	12,087 Sq.m. - FAR
Building C : LEMR + RENTAL MARKET	6,804 Sq.m. - FAR

Total Project Areas	24,381 Sq.m. - FAR
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FAR SUMMARY	
Proposed FAR:	21 FAR

PROJECT UNITS	
Building A	56 Units
Building B	177 Units
Building C	97 Units

INDOOR AMENITY	
2.00 Sq.m per unit	300 Sq.m. Req'd      371 Sq.m. - Proposed

OUTDOOR AMENITY	
5.95 Sq.m per unit	1,980 Sq.m. Req'd      3,565 Sq.m. - Proposed
West Side - yard outdoor open space:	360 Sq.m

PARKING	
Total Required	272 Car stalls
Total Provided	275 Car stalls

LOADING	
Total Required	1 Loading bay
Total Provided	2 Loading bays

BIKE STALLS		
Total Required	660 class 1 bikes	66 class 2 bikes
Total Provided	660 class 1 bikes	67 class 2 bikes

SETBACKS	Required	Proposed
Front Yard - North PL : at Westminter highway	14.76 ft (4.5 m) to new PL	15 ft (4.57m)
Side Yard - East PL : at Azure Blvd	14.76 ft (4.5 m) to PL	15 ft (4.57m)
Side Yard - West PL : at Neighbour	14.76 ft (4.5 m) to PL	23 ft (7.01m)
Rear Yard - South PL : at Azure Rd	14.76 ft (4.5 m) to PL	15 ft (4.57m)

SETBACKS VARIANCES	Required	Proposed
1- Front Yard - North PL : at Westminter highway (Behind Bus Stop)	14.76 ft (4.5m) to new PL	14.27 ft (4.35m)
2- Front Yard - North PL : at Westminter highway (At North-East Corner)	14.76 ft (4.5m) to new PL	13.58 ft (4.14m)

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## 3.0 LANDSCAPE DRAWINGS



# 1.0

## DESIGN RATIONALE

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## SITE CONTEXT

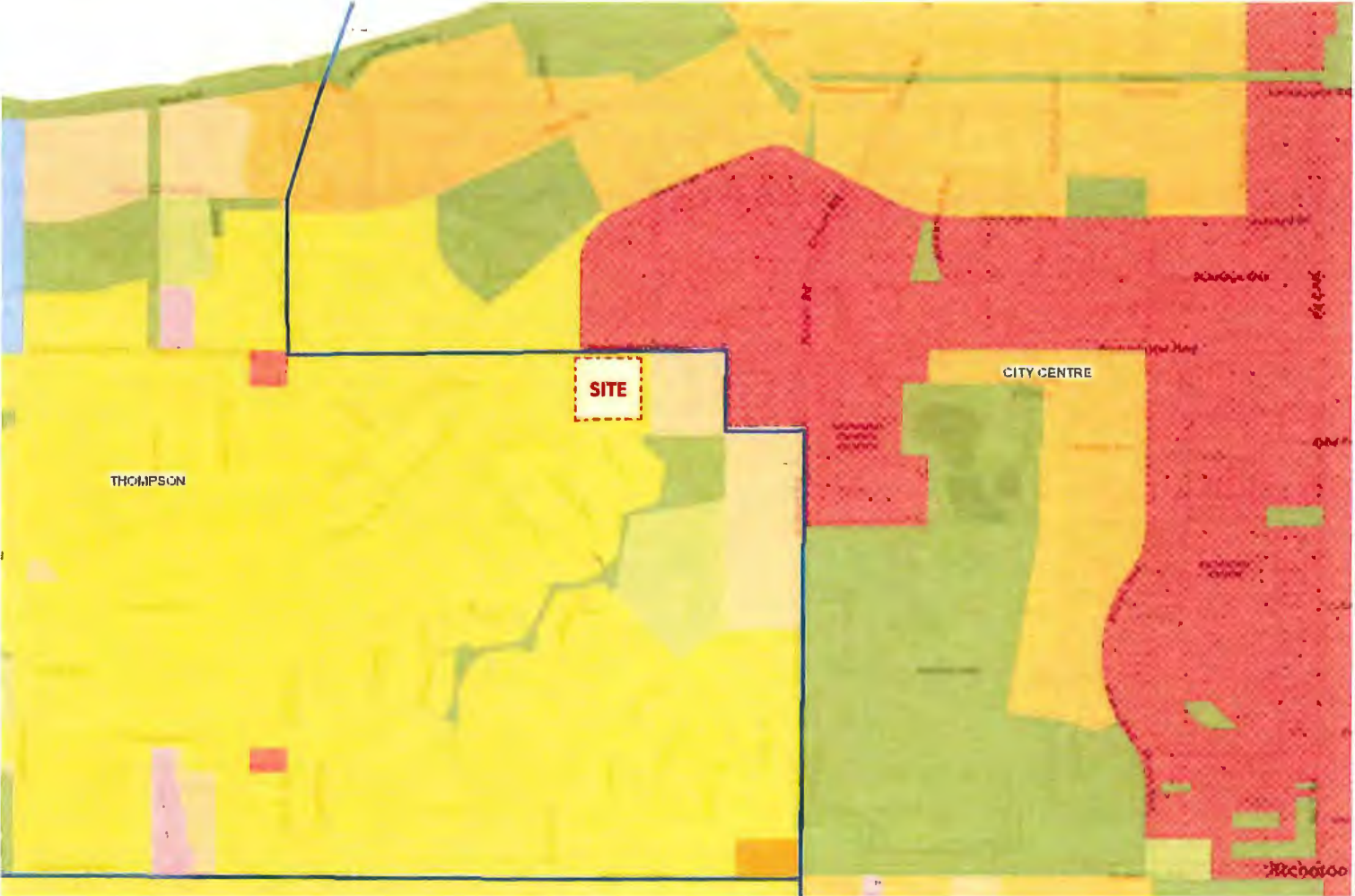
This project is located at 6071 Azure Road, at the intersection of Azure Road and Westminster Highway. The site is located within Richmond's Thompson area. It is adjacent to Richmond's City Centre and surrounded by many of Richmond's major commercial establishments, parks, hospital and recreational facilities.

The area is currently occupied by a number of lowrise residential buildings. The buildings are decades old and are in desperate need of major renewal. Given the site's adjacency to Westminster Highway, redevelopment of the site will also bring refreshing changes to this major street in Richmond.

The site is in a transitional area between single family house neighborhood on the west and multifamily housing on the east, institution and industrial facilities crossing the street. The site is within convenient walking distance to the city centre and has good access to public transit.

# SITE CONTEXT

OCP LAND USE MAP



### MAP LEGEND

- Apartment Residential
- Commercial
- Community Institutional
- Downtown Mixed Use
- Industrial
- Limited Mixed Use
- Mixed Use
- Neighbourhood Residential
- Park
- School

# SITE CONTEXT

## WALK RADIUS MAP



### MAP LEGEND

#### HOSPITAL

- 1 Richmond Hospital

#### PARKS

- 2 Minoru Park
- 3 Brighthouse Neighbourhood Park
- 4 Dover Neighbourhood Park
- 5 North-Arm Dyke

#### SCHOOLS

- 6 Samuel Brighthouse Elementary

#### DAYCARES

- 7 Chosen Children Learning Center
- 8 Bowling Green Children's Center

#### POINTS OF INTEREST

- 9 CF Richmond Centre
- 10 Olympic Experience at Richmond Olympic Oval
- 11 The World of Kidtopolis

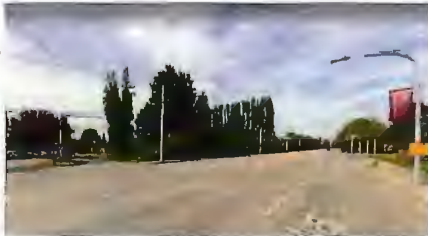
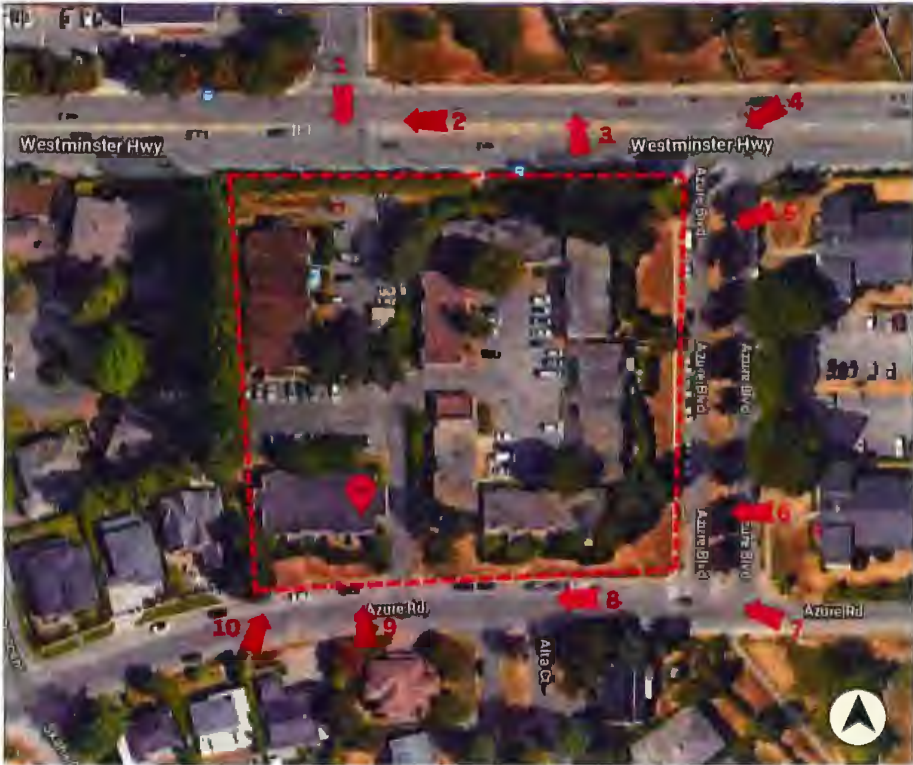
#### SKYTRAIN STATION

- 12 Richmond-Brighthouse Station



# SITE CONTEXT

SITE PHOTOS



# HOUSING AND LIVABILITY

## A 100% RENTAL HOUSING DEVELOPMENT

The proposed development is comprised of three buildings that will supply a total of 330 much-needed rental units to the area and the City of Richmond. 48% of the units are affordable rental housing.

### 50 LEMR Unit

Total 50 Low-End Market Rental Housing (LEMR) units in Building A and C. The types, sizes, rental rates, and occupant income restrictions for LEMR units are in accordance with the City's Affordable Housing Strategy and guidelines for Low End Market Rental (LEMR) housing

### 110 HILs Unit

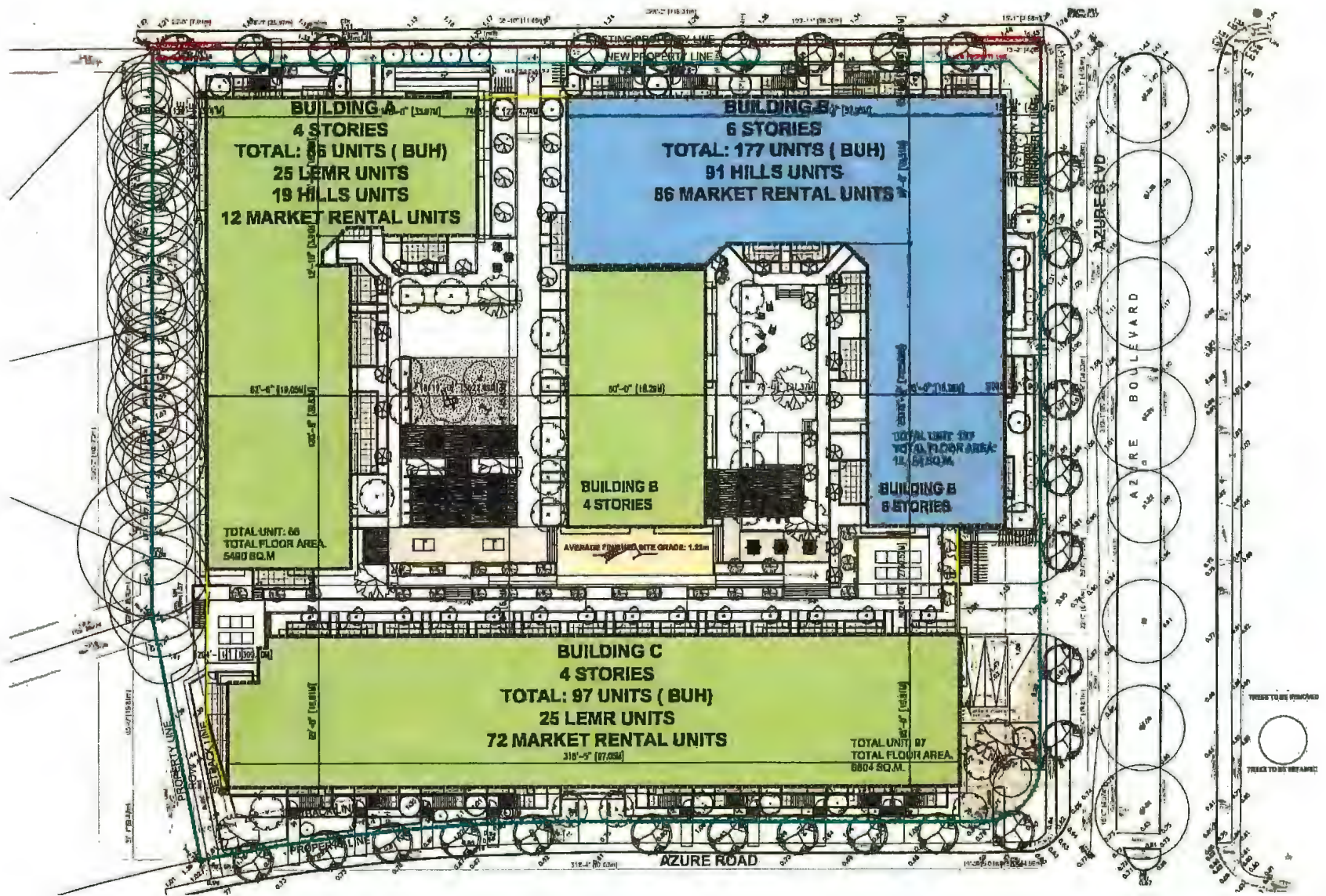
110 Moderate Income Rental Housing unit with the Housing Income Limits (HILs) are located in Building A and B.

### 170 Market Rental Housing Unit

170 Market Rental Housing units in Building A , B and C.

56% units are family unit with 2 or more bedrooms

RENTAL UNIT TYPES CALCULATION							
	LEMR		HILS		Market Rental		TOTAL
Total Unit	50		110		170		330
STUDIO	0	0%	24	22%	19	11%	43
1 BEDROOM	4	8%	62	56%	69	41%	135
2 BEDROOM	14	28%	20	18%	49	29%	83
3 BEDROOM	29	58%	4	4%	33	19%	66
4 BEDROOM	3	6%	0		0		3
BUH Unit	50	100%	110	100%	170	100%	



## SITE PLAN AND MASSING

### SITE PLANNING PRINCIPLES

#### An appropriate fit for the site context

The development places three buildings on site with the two 4-story building on the west and south sides which faces existing single-family houses. The 6-story building is placed at the northeast corner of the site away from the single-family house neighborhood. On the west side, the development is setback by 23' to allow the existing row of trees to be kept and to have minimum impact on the adjacent property on the west.

#### A balanced massing design for the site

While the new development is higher and denser than the existing one, the massing design breaks down the building mass by varying building façades with colors, materials and frames to create interest and visually break down the massing.

#### Accessible Outdoor Amenities

The placement of the three buildings naturally forms a courtyard in the centre, to be shared by all residents. The courtyard is easily accessed from the lower level of the buildings and also from the streets via steps and ramps.



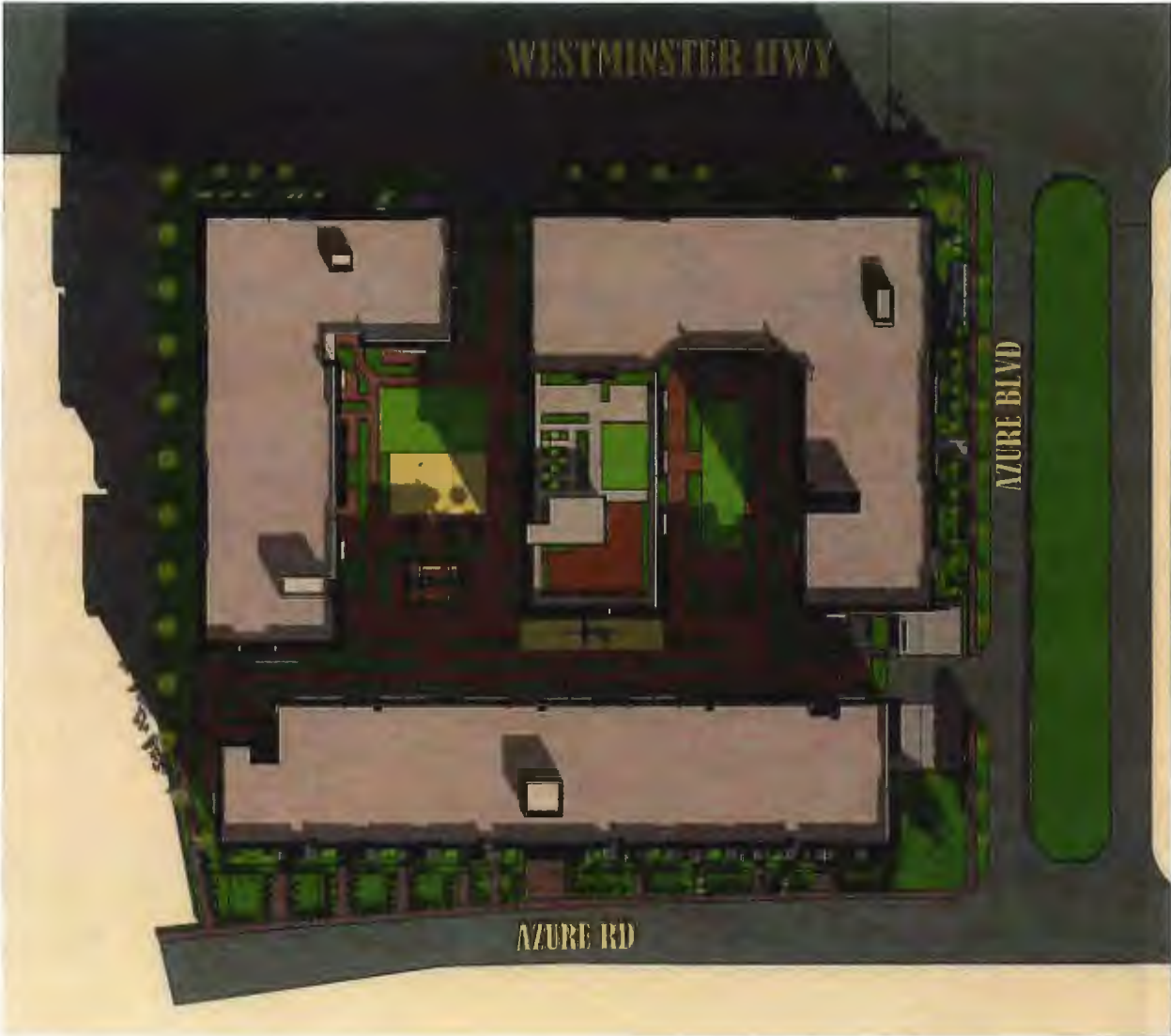


# SITE PLAN AND MASSING

## SHADOW STUDY

More than 75% units have direct sunlight in all seasons.

People in center courtyard can enjoy sunlight even during the winter with worst sun shade situation.



Worst Shading Situation During the Year



10:00 am Mar/Sep 21



12:00 pm Mar/Sep 21



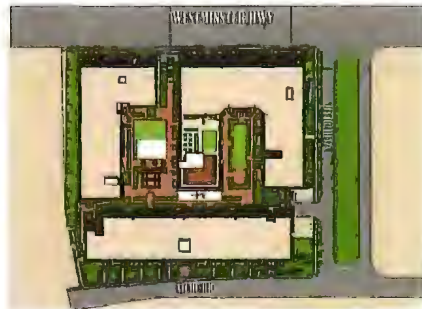
2:00 pm Mar/Sep 21



4:00 pm Mar/Sep 21



10:00 am Jun 21



12:00 pm Jun 21



2:00 pm Jun 21



4:00 pm Jun 21



10:00 am Dec 21



12:00 pm Dec 21



2:00 pm Dec 21



4:00 pm Dec 21

## PUBLIC REALM DESIGN

### STREETSCAPE

With the introduction of colors and varied design language, streetscapes are animated and lively. Both Westminster HWY and Azure road facades have a variety of design treatments – landscape over parkade, access to the plaza, and stepped planters/ground floor unit accesses from streets make up a much more vibrant streetscape.



North Streetscape





East Streetscape.



South Streetscape

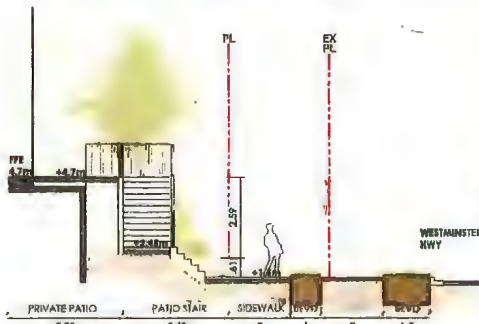
## PUBLIC REALM DESIGN

### TRANSITION

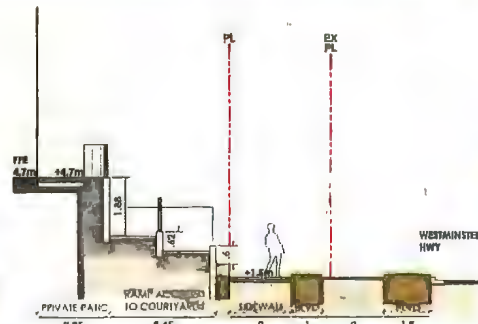
Entrances of three buildings are located at the sidewalk level. Plus all of the 1st floor residential units facing the street have direct access from sidewalk.

Designated stepped landscape planters wrap around the parkade structure, which soften the edge of the building and bring the human scale to the sidewalk.

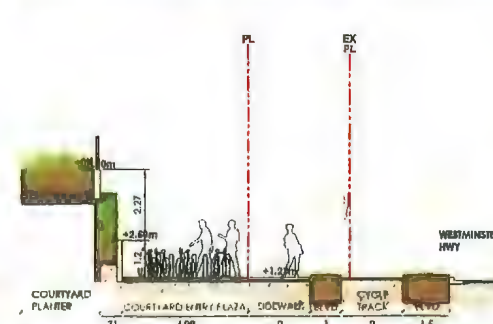




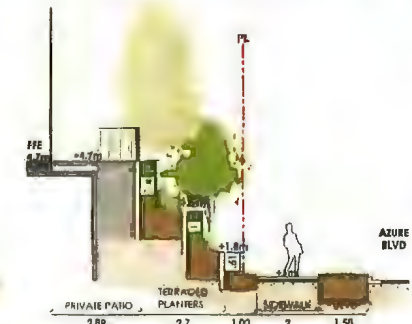
SECTION A: BLDNG A PATIOS/ WESTMINSTER HWY



SECTION B: BLDNG A PATIOS/ COURTYARD RAMP ACCESS



SECTION C: COURTYARD STAIR ACCESS/ WESTMINSTER HWY

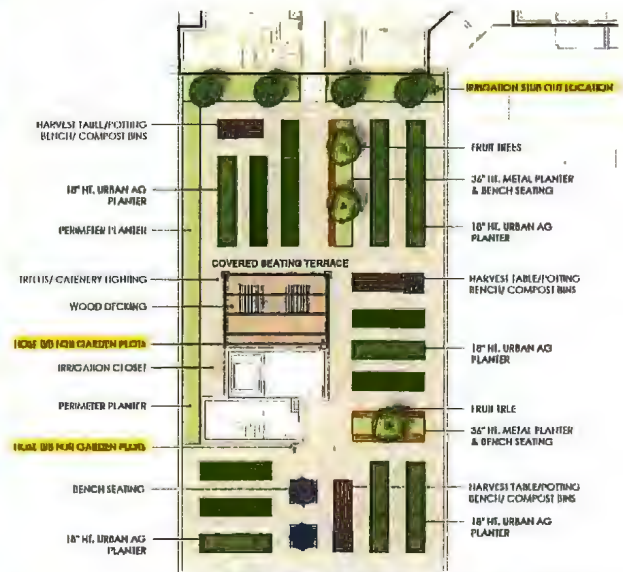


SECTION D: BLDNG B PATIOS/ AZURE BLVD

## **PUBLIC REALM DESIGN**

### **PLAZA**

The central plaza can be accessed by everyone in the area with its provisions such as a children's play area, seating, and a paved path for an evening stroll. It is designed to be enjoyed by all residents and the public. The much-landscaped plaza is semi-private and connects the development to the outdoor world. It provides areas for outdoor activities.

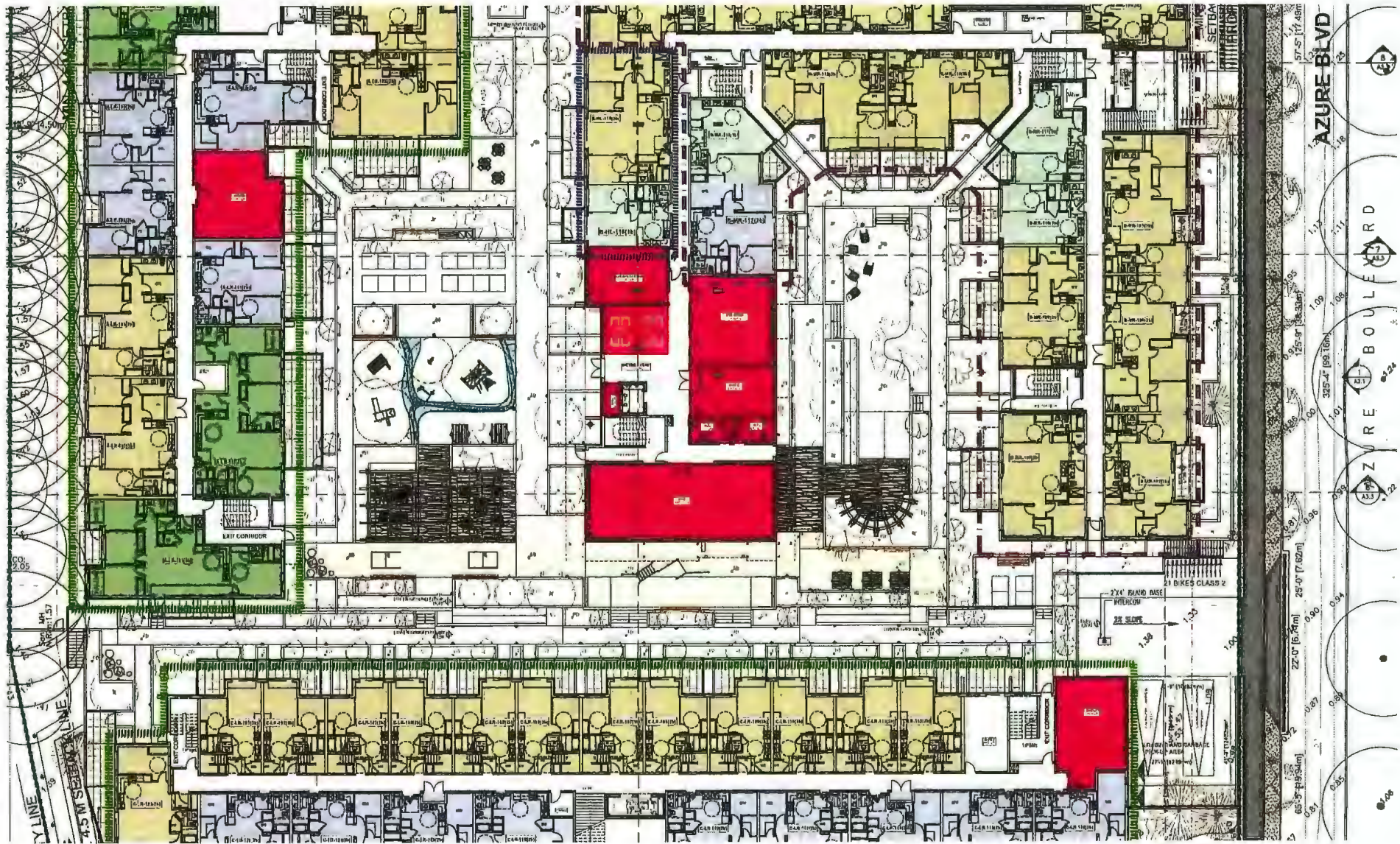


Roof Deck: Amenities and Urban Agriculture

## **PUBLIC REALM DESIGN**

### **INDOOR AMENITIES**

Each building provides indoor amenity spaces for its residents. These spaces are conveniently located at the center of plaza level and have an easy connection between indoor and outdoor amenity space.



# BUILDING CHARACTERS

## ARCHITECTURE STYLE

The exterior façade design of the buildings aims to create a fresh, vibrant appearance, to animate the streets it faces. Three buildings will each have a color theme, to have its unique identity in the complex. Varied façade design languages break up the massing for a lively streetscape.



Site North Elevation



Site East Elevation





Site South Elevation

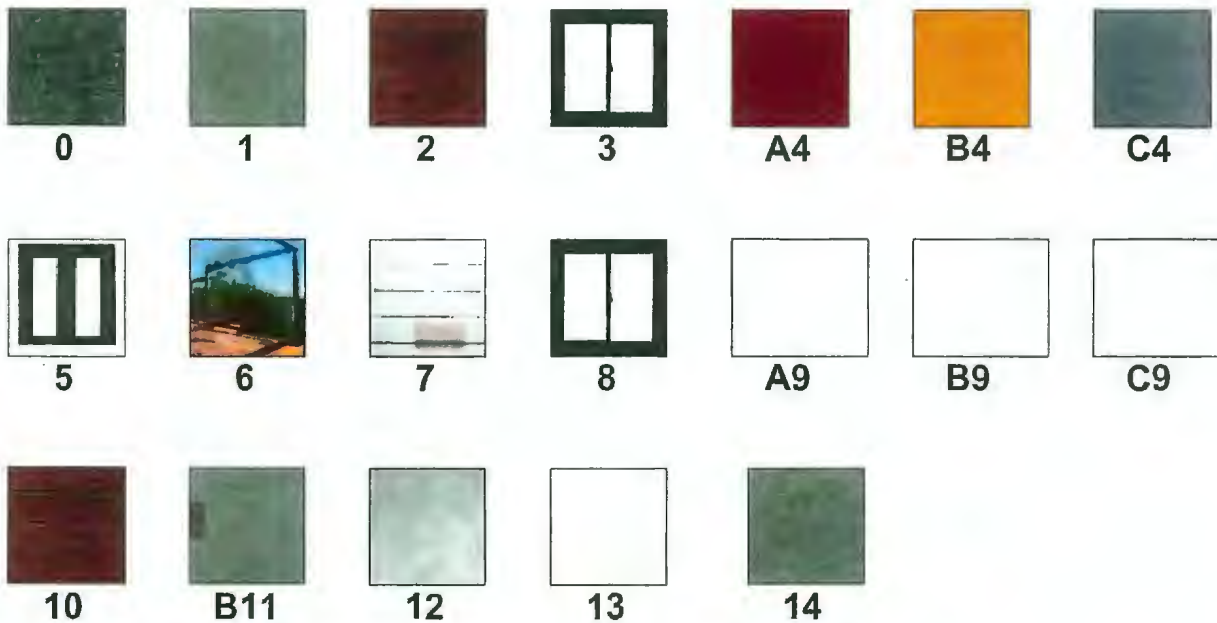


Site West Elevation

# BUILDING CHARACTERS

## MATERIALITY

The building materials are made up of a neutral colour palette including metal paneling, different colours of cementitious panels, glass, and wood. Both interior and exterior materials will comprise of durable materials sourced locally where possible. Low VOC finishes will be specified for the residential suites and all circulation areas.



Material Legend

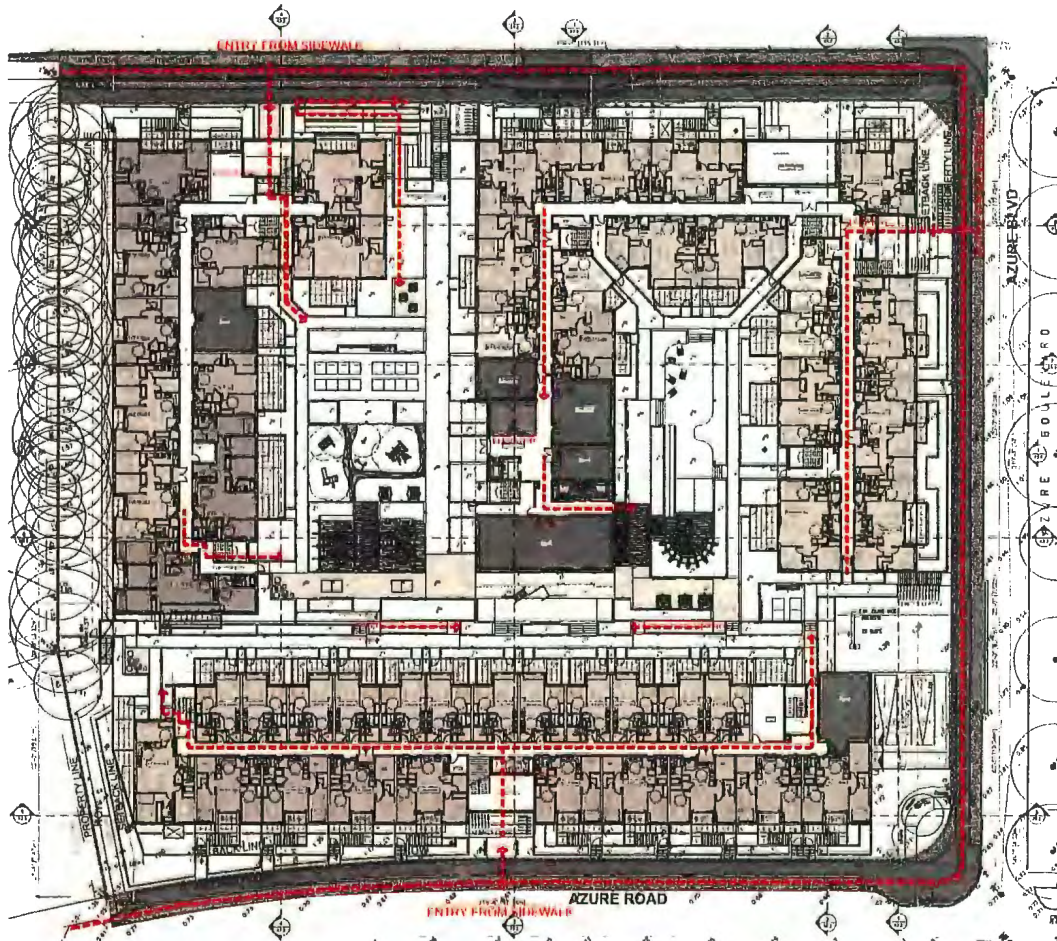
KEY VALUE	SAMPLE	LOCATION	ELEVATION MATERIAL LEGEND	COLOUR
0		ROOFING	2 PLY SBS ROOFING	LIGHT GREY
1		FASCIA & TRIM	METAL FLASHING	DARK GREY
2		PERFORATED SOFFIT	METAL PERFORATED SOFFIT	WOOD GRAINS
3		WINDOW	DOUBLE-GLAZED VINYL WINDOW	BLACK
A4		CLADDING BUILDING A	HARDIE PANEL	DARK-RED
B4		CLADDING BUILDING B	HARDIE PANEL	DARK-YELLOW
C4		CLADDING BUILDING C	HARDIE PANEL	DARK-BLUE
5		DOOR	DOUBLE-GLAZED VINYL DOOR	BLACK
6		METAL GUARD RAIL	METAL MATERIALITY	BLACK
7		SIDING & TRIM	EXPOSURE FIBRE CEMENT	NEUTRAL
8		FIT WINDOW	DOUBLE-GLAZED VINYL FIT WINDOW	BLACK
A9		CLADDING BUILDING A	HARDIE PANEL	WHITE
B9		CLADDING BUILDING B	HARDIE PANEL	WHITE
C9		CLADDING BUILDING C	HARDIE PANEL	WHITE
10		WALL SCREEN	HARDIE SIDING	WOOD GRAINS
B11		CLADDING BUILDING B	HARDIE PANEL	DARK-BROWN
12		CONCRETE FOUNDATION WALL	PAINTED ARCHITECTURAL CONCRETE	NATURAL CONCRET COLOUR
13		GLASS GUARD PANEL	LAMINATED SAFETY GLASS PANEL	CLEAR
14		FASCIA COLUMN	HARDIE PANEL	DARK GREY



# ACCESSIBILITY

## Accessibility Strategy

- Accessible path connecting public sidewalks to the main entries,
- Accessible path to the plaza and outdoor amenity space,
- Accessible parking is at visible location near elevator lobby in parkade.
- Access to the recycling and garbage room is wheel chair accessible.



## Accessibility Units

100% units meet the Basic Universal Housing (BUH) requirement.  
In-suite stairs are designed for future stair lift installation

Figure 1. Clear Opening Measurement For Doors



Figure 2. Front Approach, Pull Side (R9/Rev 07/24, Sep 9/17)

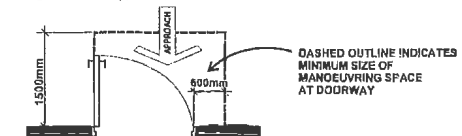


Figure 3. Front Approach, Push Side (R9/Rev 07/24, Sep 9/17)

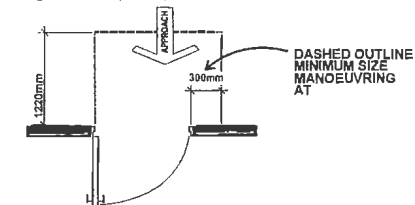


Figure 4. Separation of Doors in Series

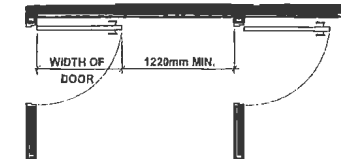


Figure 5. Clear Floor Area at Sink

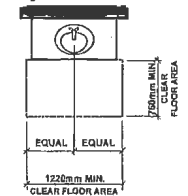
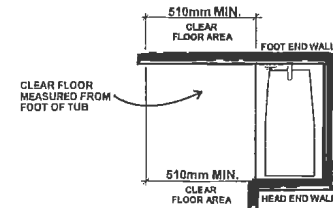


Figure 6. Clear Floor Area at Tub (R9/Rev 07/24, Sep 9/17)



# STEP CODE COMPLIANCE

The 6071 Azure Rd Multi-Family Residential Building is attempting to meet the energy and emission performance limits under the City of Richmond's Bulletin BUILDING-40 Rev.: 2023-12-08. The proposed building is a non-combustible construction and is required to meet Step 3 w/ EL-1 or Step 2 w/ EL-2. Emission Level (EL) information of EL-1 and EL-2 are listed in the BC Building Code Section 10.3.

The proposed project will follow the energy compliance path to meet the BC Energy Step 2 w/ EL-2.

The proposed energy conservation measures (ECMs) to help the project achieve the energy and emission performance requirements are listed below:

- High-performance building envelope considering the thermal bridging effect

Model Inputs	Proposed
High-Performance Glazing System	U 0.32 (Btu/h.ft <sup>2</sup> .°F) SHGC 0.30
Overall wall effective R or U-value (ft <sup>2</sup> .°F.h/Btu)	Steel frame wall with exterior insulation overall R10.2, derating 30% from effective R17.4" semi-rigid insulation - 2X6 steel frame @16OC - 1/2" GWB
Overall roof effective R-value (ft <sup>2</sup> .°F.h/Btu)	Flat Roof eff R28 - R10 polyiso insulation - R20 rigid insulation

- Direct Ventilation with in-suite HRV (72% SRE) will be incorporated into the ventilation system design
- High-efficiency HVAC system with air source heat pump heating and cooling at suite level (heating COP of 3.5 and cooling SEER of 3.8)



3D VISUALIZATIONS





# 3D VISUALIZATIONS



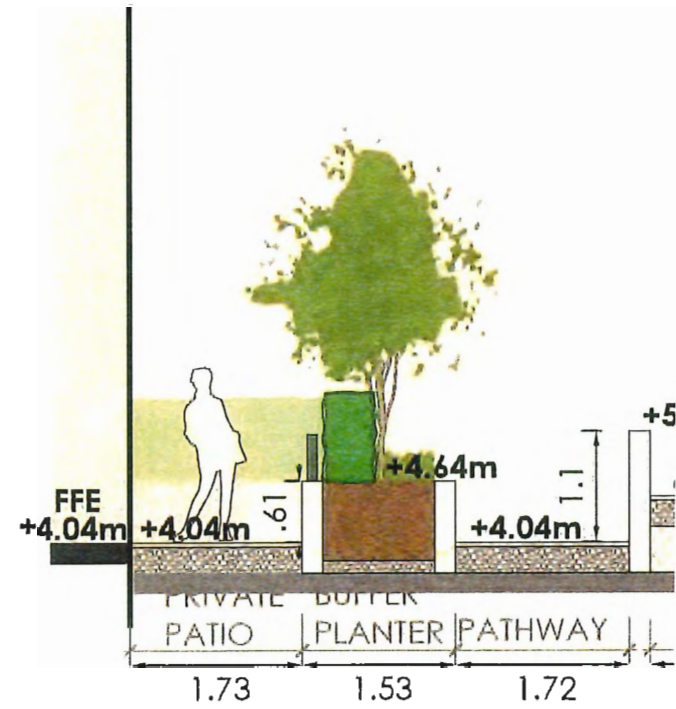




# 3.0

## LANDSCAPE DRAWINGS

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3	MAY 17 - 24	ISSUED FOR DP RESPONSE
2	APR 15 - 24	ISSUED FOR DP
1	FEB 10 - 24	ISSUED FOR DP
no.	date:	item:



Project:  
**6071 AZURE ROAD**  
 RICHMOND, BC

Drawn by: **AG/JW**  
 Checked by: **PK**  
 Date: **MAY 2024**  
 Scale: **M9803 1:127.50**

Drawing title:  
**COVERSHEET**

Project No.:  
**21122**

Sheet No.:

**L1.0**

- LANDSCAPE NOTES**
1. All work shall meet or exceed the requirements as outlined in the current Edition of the B.C. Landscaping Standards.
  2. Plant sizes and related conflict markers are specified according to the B.C. Landscaping Standards (unless otherwise specified). For conflict markers, plant sizes shall be as shown in the plan (up to 100mm standard for all other plants, height and size as indicated in the plan) as shown in the plan (up to 100mm standard for all other plants, height and size as indicated in the plan).
  3. All areas to be staked in accordance with O.C.T.R. Standards.
  4. ALL SITES TREES: Initial 0 x 2" Deep Foot Board carried an excavation below tree trunk (150mm) 2000mm IDEAS: C.I.B. AND S.P.W.A.S.
  5. For all trees on the topographic survey symbols refer to survey drawings.
  6. All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within the 180 days of the date of issuance of any required regulatory permits, or any other applicable regulatory approvals, and shall be completed in accordance with the approved drawings and any applicable regulatory approvals.
  7. All Patios shall be completed within 180 days.
  8. All irrigation valve boxes shall be installed within 180 days.



3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 16-24	ISSUED FOR DP
	NO. 1	NO. 2
Revisions:		

**pk** Paradiso Kiehl Ltd.  
 102-1037 West 5th Avenue  
 Vancouver BC V6J 1H5  
 T: 604 684 4831  
 F: 604 684 0577  
 www.pk.bc.ca

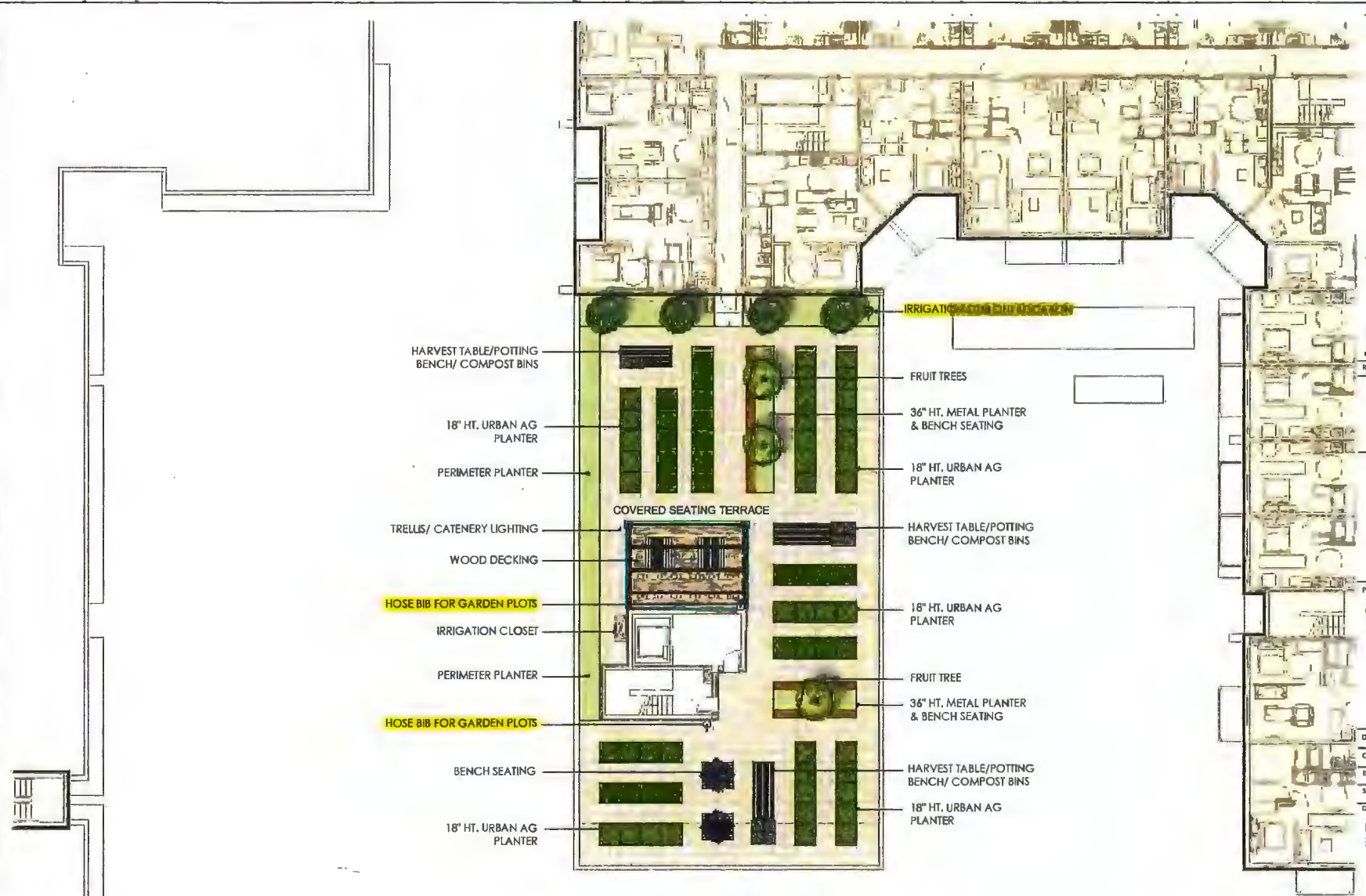
Project:  
**6071 AZURE ROAD**  
 RICHMOND, BC

Drawn by: AG/JW  
 Checked by: PK  
 Date: MAY 2024  
 Scale: @100% 11x17 Size

Drawing Title:  
**LANDSCAPE PLAN**  
**LEVEL 5**

Project No:  
**21122**

Sheet No.:





EXISTING PROPERTY LINE

NEW PROPERTY LINE



4	MAY 17-24	ISSUED FOR DP RESPONSE
3	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
rev.   date   flow.		
Revisions:		



Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JH  
Checked by: PK  
Date: MARCH 17 2024  
Scale: 1:100

Drawing Title:  
**MATERIALS &  
GRADING PLAN**

Project No.:  
**21122**  
Sheet No.:

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3 MAY 17-24 ISSUED FOR DP RESPONSE  
2 APR 13-24 ISSUED FOR DP  
1 FEB 10-24 ISSUED FOR DP  
max | dates | theme

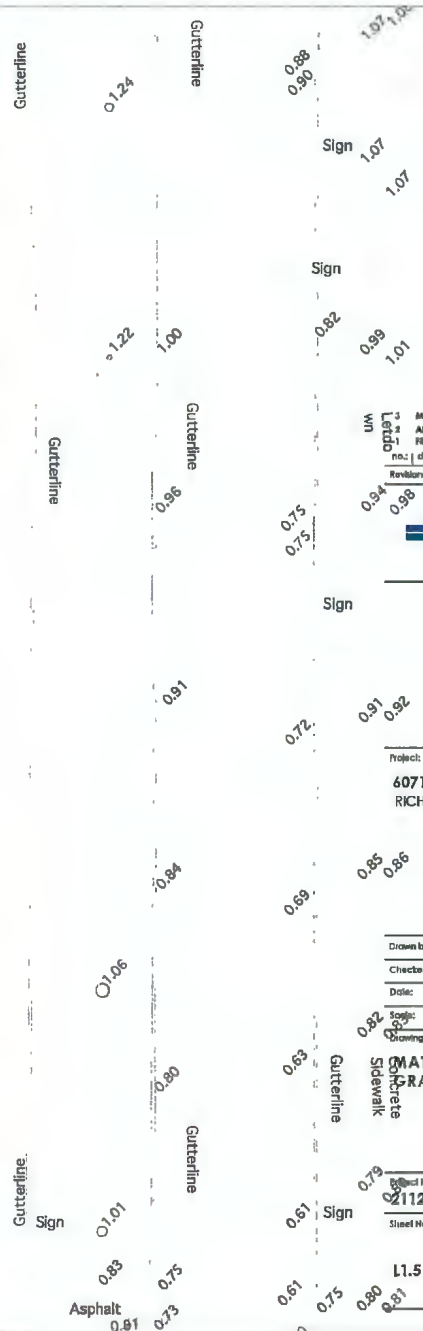
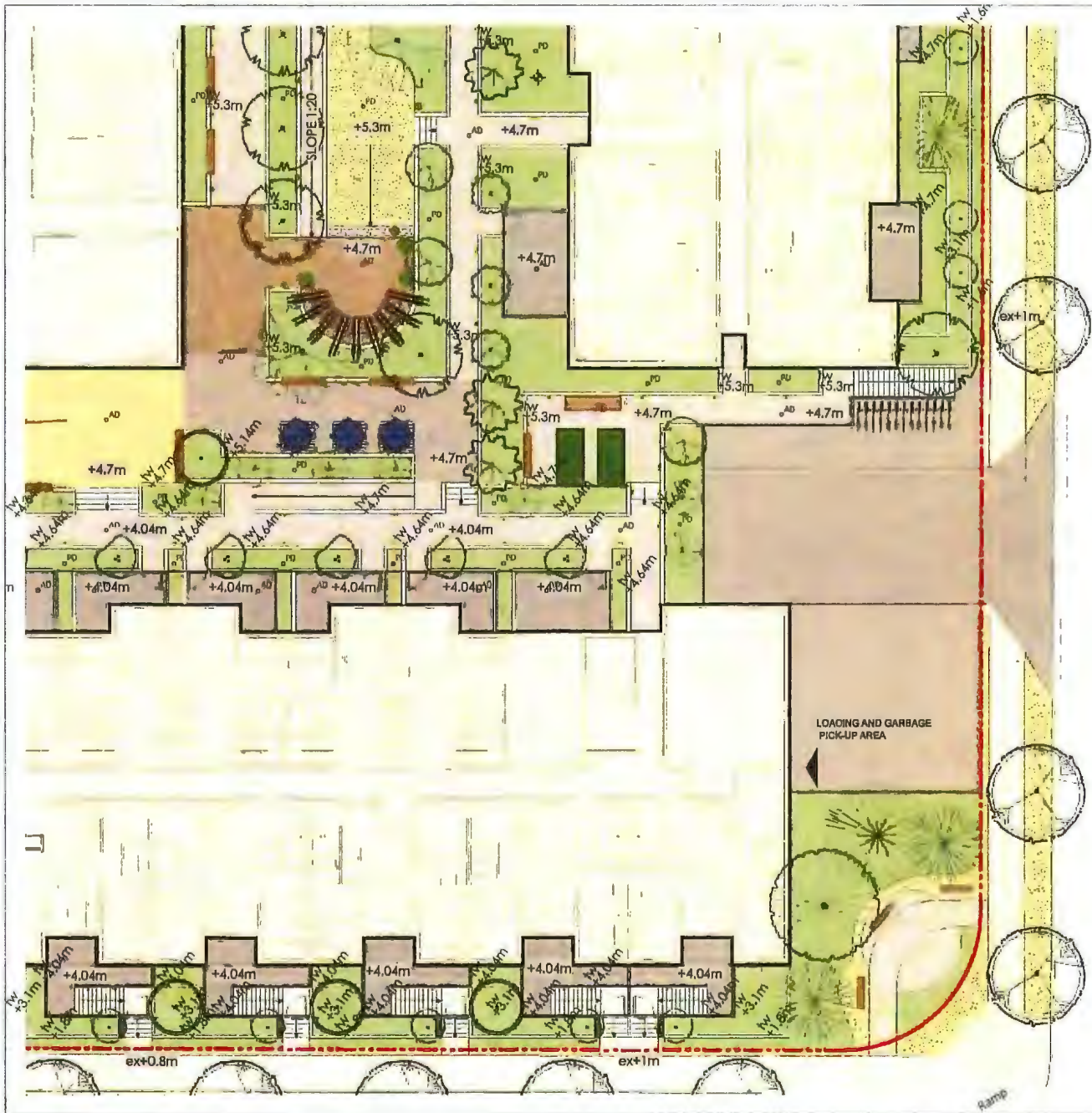
Revisions:  
AD  
Curtis & Brock Ltd  
182 - 1827 104th St  
Vancouver BC V6J 1K5  
1 604 684 4811  
1 604 684 0577  
4791yc.ca

Project:  
6071 AZURE ROAD  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
Scale: NTD (1:1x17) Rev

Drawing Title:  
**MATERIALS & GRADING PLAN**  
Sheet No: 21122  
Sheet Title: ex+0.8m  
11.4 ex+0.8m

ex+1.2m



MAY 17-24 ISSUED FOR DP RESPONSE  
 APR 13-24 ISSUED FOR DP  
 FEB 10-24 ISSUED FOR DP  
 Rev: 1 Date: Item:

**DK** Davella Young Ltd.  
 102 - 1037 West 5th Avenue  
 Vancouver BC V6J 1N5  
 Tel: 604 694 4811  
 Fax: 604 694 0277  
 www.dk.bc.ca

Project:  
**6071 AZURE ROAD**  
 RICHMOND, BC

Drawn by: JW  
 Checked by: PK  
 Date: MAY 2024  
 Scale: 1/1600 1/1617 size  
 Drawing title:

**MATERIALS & GRADING PLAN**

Sheet No.:  
**021122**  
 Sheet No.:

L1.5



MH  
N.Rim:  
1.31

GV  
1.20  
Sign

Ramp  
1.23  
1.25  
1.24

Concrete  
Sidewalk  
1.45  
1.44

Concrete  
Sidewalk  
1.41

Sign  
1.31  
1.35

1.15

1.11

1.28  
1.30

1.35

1.28

1.24

1.17

1.10

0.99  
0.97  
0.95

0.88  
0.86

0.80

Gutterline 1.58

Gutterline 1.43 1.44

Gutterline 1.58 1.62 1.42

Gutterline 1.35

Gutterline 1.35 1.28

Gutterline 1.24

Gutterline 1.17

Gutterline 1.10

Sign 0.88

Gutterline 0.88

Sign 1.24

Gutterline 1.10

Sign 0.88

Gutterline 0.88

1.31 1.35

MAY 17-24 ISSUED FOR DP RESPONSE

APR 18-24 ISSUED FOR DP

FEB 18-24 ISSUED FOR DP

no. | date | time

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**DK** Dunlop Group Ltd.  
122 - 6027 West 5th Avenue  
Vancouver BC V6M 1H5  
T: 604 884 4811  
F: 604 494 0577  
www.dk.bc.ca

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Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW

Checked by: PK

Date: MAY 2024

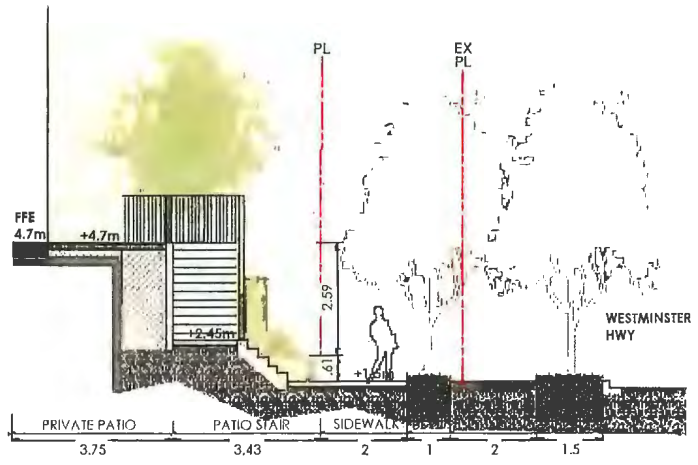
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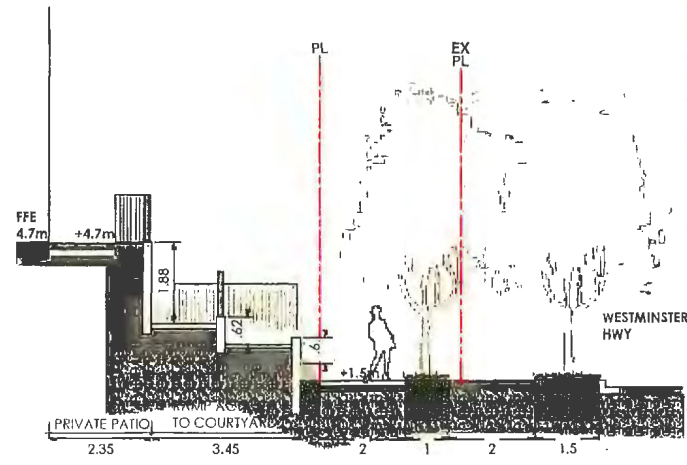
Let's  
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Sheet No.: L1.6

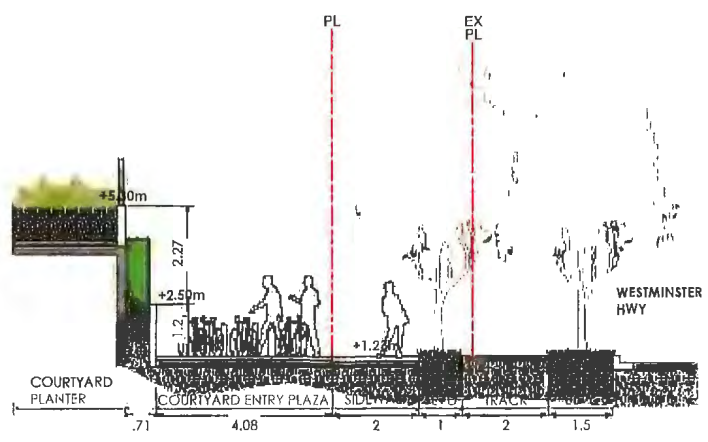




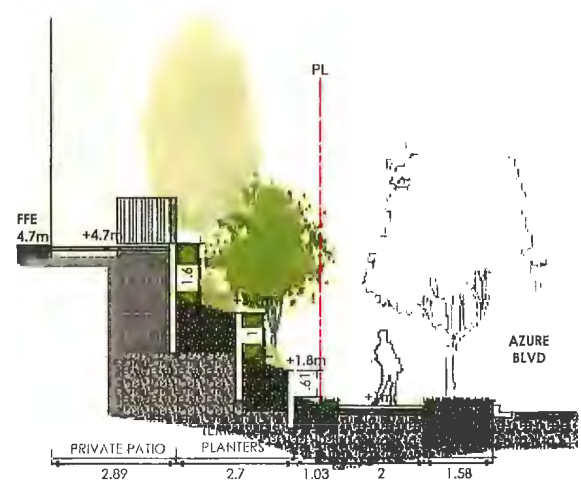
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SCALE 1:50



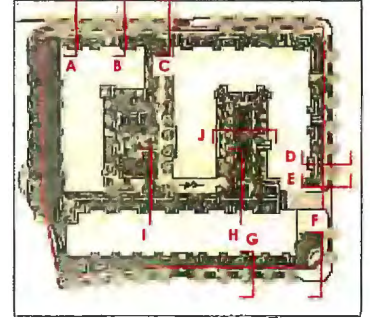
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SCALE 1:50



SECTION C: COURTYARD STAIR ACCESS/ WESTMINSTER HWY  
SCALE 1:50



SECTION D: BLDNG B PATIOS/ AZURE BLVD  
SCALE 1:50



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  - 2 APR 12-24 ISSUED FOR DP
  - 1 FEB 10-24 ISSUED FOR DP
- na: [ ] date: [ ] sheet: [ ]

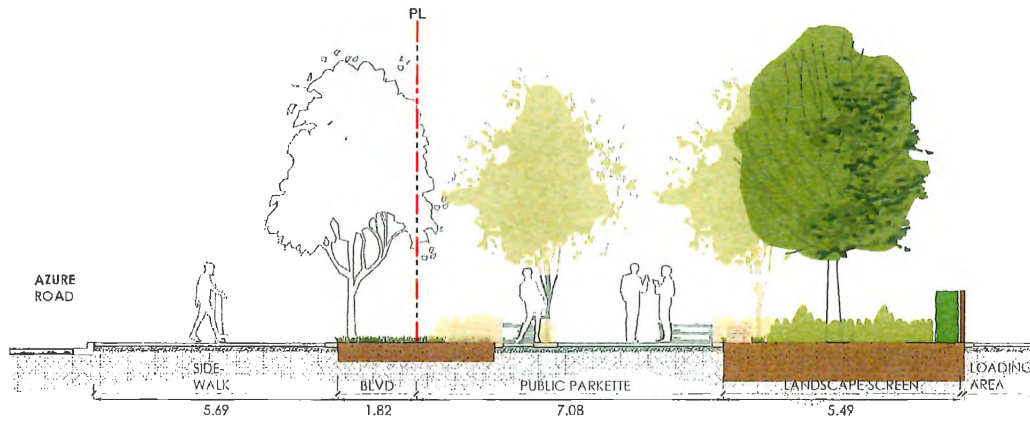
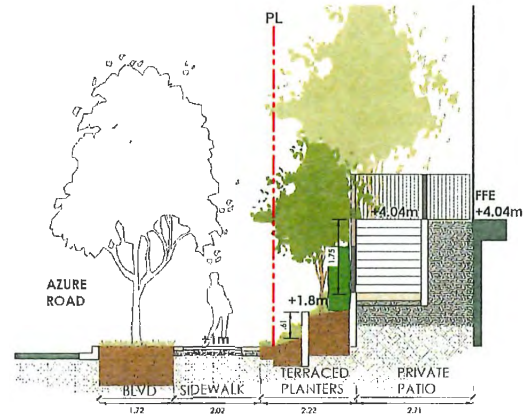
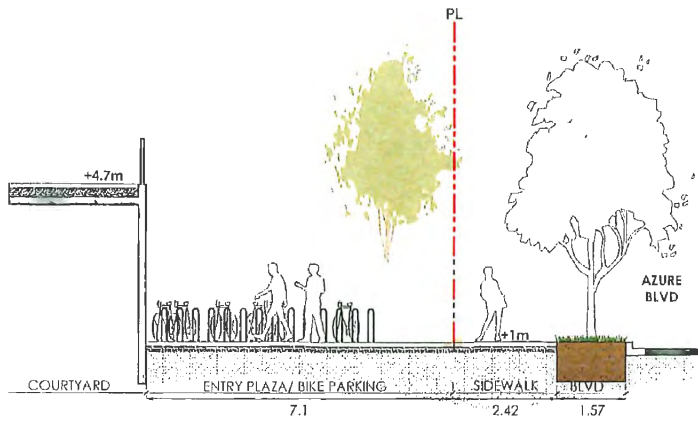


Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
Scale: @300/11x17 size  
Drawing Title:

**LANDSCAPE SECTIONS**

Project No.:  
**21122**  
Sheet No.:



3 MAY 17-24 ISSUED FOR DP RESPONSE  
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Revisions:  
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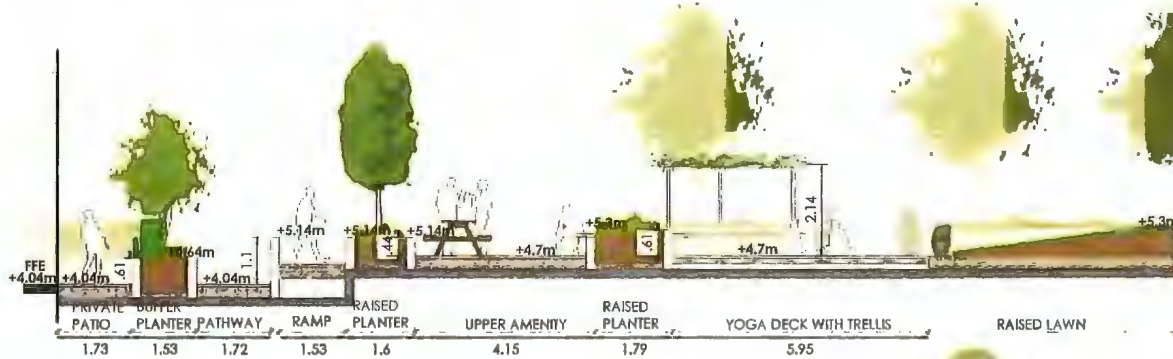
Project:  
**6071 AZURE ROAD**  
 RICHMOND, BC

Drawn by: JW  
 Checked by: PK  
 Date: MAY 2024  
 Scale: HORIZONTAL 11x17 size  
 Drawing Title:

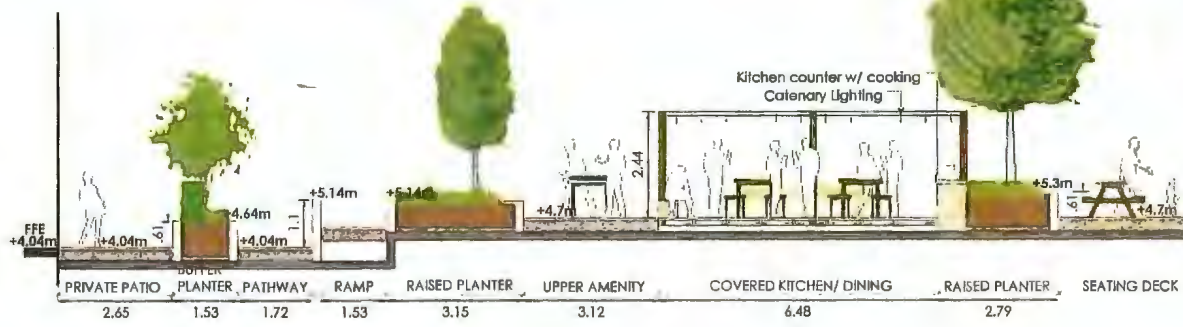
**LANDSCAPE SECTIONS**

Project No.:  
**21122**  
 Sheet No.:

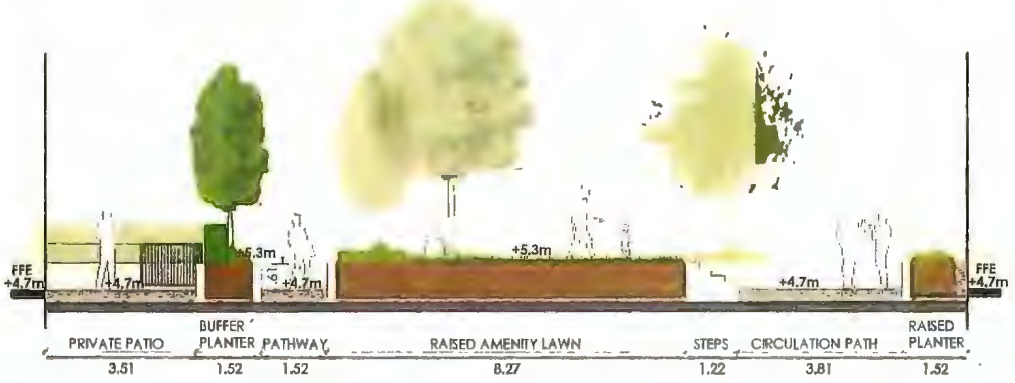
**L3.2**



SECTION H: BLDG C PATIOS @ EASTERN AMENITY GARDEN  
SCALE 1:50



SECTION I: BLDG C PATIOS @ WESTERN AMENITY GARDEN  
SCALE 1:50



SECTION J: BLDG B PATIOS @ EASTERN AMENITY GARDEN  
SCALE 1:50

3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 18-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
Rev.	date:	drawn



Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by:	JW
Checked by:	PK
Date:	MAY 2024
Scale:	1800x11 at 1/8" size

**LANDSCAPE SECTIONS**

Project No.:  
**21122**

Sheet No.:

**Horse**  
1000



The Horse is a traditionally strong spring rider. It is made of galvanized steel and is available in a variety of colors. The riding platform is a solid piece of galvanized steel. The horse is mounted on a spring rider that is made of galvanized steel. The horse is mounted on a spring rider that is made of galvanized steel.

Name: 10000-010	
Model: 10000-010	
Dimensions (LxWxH)	2000x1500x1500
Age group	3-12
Play Assembly Count	1
Color options	10000-010



10000-010

**Kids Play - Spring Horse**  
1000

**Play Panel 3 - Learning, Classic**  
1000



The Learning Play Panel 3 is a classic play panel. It is made of galvanized steel and is available in a variety of colors. The play panel is made of galvanized steel. The play panel is made of galvanized steel.

Name: 10000-010	
Model: 10000-010	
Dimensions (LxWxH)	2000x1500x1500
Age group	3-12
Play Assembly Count	1
Color options	10000-010



10000-010

**Kids Play - Play Panel**  
1000

**Playhut with Side, Gable & Desks**  
1000



The playhut is a classic playhut. It is made of galvanized steel and is available in a variety of colors. The playhut is made of galvanized steel. The playhut is made of galvanized steel.

Name: 10000-010	
Model: 10000-010	
Dimensions (LxWxH)	2000x1500x1500
Age group	3-12
Play Assembly Count	1
Color options	10000-010



10000-010

**Kids Play - Play Hut**  
1000

**Play Tower with Slide**  
1000



The Play Tower with Slide is a classic play tower. It is made of galvanized steel and is available in a variety of colors. The play tower is made of galvanized steel. The play tower is made of galvanized steel.

Name: 10000-010	
Model: 10000-010	
Dimensions (LxWxH)	2000x1500x1500
Age group	3-12
Play Assembly Count	1
Color options	10000-010



10000-010

**Kids Play - Play Tower**  
1000

**Climbing Net**  
1000



The Climbing Net is a classic climbing net. It is made of galvanized steel and is available in a variety of colors. The climbing net is made of galvanized steel. The climbing net is made of galvanized steel.

Name: 10000-010	
Model: 10000-010	
Dimensions (LxWxH)	2000x1500x1500
Age group	3-12
Play Assembly Count	1
Color options	10000-010



10000-010

**Kids Play - MicroClimber**  
1000

**EVION POWERPANEL CABLE SYSTEM**

EVION POWERPANEL CABLE SYSTEM

EVION POWERPANEL CABLE SYSTEM

**EVION POWERPANEL CABLE SYSTEM**

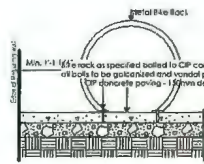
EVION POWERPANEL CABLE SYSTEM

EVION POWERPANEL CABLE SYSTEM

**Landscape Lighting - Hanging String Lights**  
1000

**LANDSCAPE LIGHTING**

**Wishbone**



**Metal Pipe Rock**  
Scale 1/4"=1'-0"

Technical drawing of a metal pipe rock with dimensions and specifications.



Photograph of a landscape lighting fixture at night.

**Landscape Lighting - Recused Wall Lights**  
1000

**EVERGREEN LIGHTING**

**BALDWIN BOLLARD SERIES**

BALDWIN BOLLARD SERIES

EVERGREEN LIGHTING

**Landscape Lighting - Bollard Lights**  
1000

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Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JWF

Checked by: PK

Date: MAY 2024

Scale: 1/8"=1'-0" (1:12)

Drawing Title:  
**LANDSCAPE SECTIONS**

Project No.:  
**21122**

Sheet No.:

L4.4

**PLANT LIST**

**TREES**

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	30	Shrub trees, final location and species to be determined by the City of Richmond		
	16	<i>Acer glabrum</i>	Paperbark Maple	6cm cal. B&B
	17	<i>Magnolia 'Coburn'</i>	Glory Magnolia	5cm cal. B&B
	15	<i>Prunus serrulata 'Kawazumi'</i>	Kwanzon Flowering Cherry	6cm cal. B&B
	25	<i>Acer palmatum 'Chakalaoi'</i>	Chakalaoi Japanese Maple	6cm cal. B&B
	13	<i>Amelanchier canadensis</i>	Serviceberry	6cm cal. B&B
	4	<i>Alnus incana (var. B&amp;B plant)</i>	Pacific Crabapple	6cm cal. B&B
	8	<i>Acer x leucolatum 'Autumn Blaze'</i>	Ashlar - "Blaze of Autumn" Maple	6cm cal. B&B
	8	<i>Quercus coccinea</i>	Scarlet Oak	7cm cal. B&B
	16	<i>Acer glabrum 'Common Service'</i>	Common Service Maple	6cm cal. B&B
	4	<i>Caedaphnopyrum lappaceum</i>	Kelsoa Tree	6cm cal. B&B
	10	<i>Prunus sanguinalis 'Rebecca'</i>	Rebecca Flowering Cherry	6cm cal. B&B
	6	<i>Pinus ponderosa</i>	Ponderosa Pine	3m H B&B
	7	<i>Thuja plicata 'holgate'</i>	Fastigiate Red Cedar	3m H B&B
	3	<i>Picea glauca</i>	White Spruce	3m H B&B

**SHRUBS/FERNS**

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
az	110	<i>Azalea 'Hood White'</i>	Hood White Azalea	#2 pot, 16" o.c.
AZ	10	<i>Azalea 'Hood Pink'</i>	Hood Pink Azalea	#2 pot, 16" o.c.
Bc	14	<i>Buxus microphylla</i>	Winter Green Boxwood	#2 pot, 15" o.c.
Cl	187	<i>Chelys ternata</i>	Moosebark Orange	#3 pot, 24" o.c.
CS	21	<i>Comma sericea 'Aristo Fire'</i>	Aristo Fire Fire-Coral Dogwood	#2 pot, 30" o.c.
De	8	<i>Chrysanthemum 'Yellow Star'</i>	Autumn Fern	#2 pot, 16" o.c.
G	107	<i>Gaillardia spicata</i>	Scarlet	#2 pot, 15" o.c.
HS	12	<i>Hydrangea 'rebecca Blue Bird'</i>	Rebecca Blue Bird Hydrangea	#2 pot, 30" o.c.
LP	225	<i>Lonicera japonica</i>	Prince of Orange	#2 pot, 24" o.c.
MA	12	<i>Mahoe aquinum</i>	Oregon Grape Holly	#3 pot, 24" o.c.
Ma	229	<i>Mahoe repens</i>	Creeping Oregon Grape Holly	#1 pot, 18" o.c.
PL	8	<i>Phlox paniculata 'Chia Lily'</i>	Lavender Hedge	#2 pot, 30" o.c.
Plm	214	<i>Polysiphon maritimum</i>	Swirl Fern	#2 pot, 16" o.c.
R	47	<i>Rhododendron 'Uniquo'</i>	Uniquo Rhododendron	#3 pot, 24" o.c.
Rh	103	<i>Rhododendron 'Rubi'</i>	Rubi Rhododendron	#3 pot, 24" o.c.
RH	64	<i>Rhododendron 'Anna Kravitz'</i>	Anna Kravitz Rhododendron	#3 pot, 24" o.c.
SH	81	<i>Sieris japonica 'Kawachiya humilis'</i>	Dwarf Sweet Dog	#2 pot, 18" o.c.
SH	87	<i>Sieris japonica 'Kawachiya'</i>	Sweet Dog	#2 pot, 30" o.c.
VS	175	<i>Verbena spicata</i>	Island Verbena	#2 pot, 24" o.c.

**PERENNIALS/GRASSES**

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
oo	260	<i>Carex oshimensis 'Evergold'</i>	Evergold Japanese Sedge	#1 pot, 12" o.c.
c	66	<i>Clematis integrifolia</i>	Evergreen Clematis	#2 pot, 16" o.c., min 3 trailers
c	68	<i>Colemania corymbosa</i>	Redberry Colemansia	#1 pot, 15" o.c.
e	149	<i>Erica carnea</i>	Winter Heath	#1 pot, 12" o.c.
f	60	<i>Festuca glauca 'Elijah Blue'</i>	Blue Fescue	#1 pot, 12" o.c.
H	8	<i>Hemerocallis 'Star Wars'</i>	Star Wars Day Lily	#1 pot, 15" o.c.
h	173	<i>Hemerocallis 'Amber Waves'</i>	Amber Waves Coral Bell	#1 pot, 12" o.c.
hg	180	<i>Hemerocallis 'Green Spots'</i>	Green Spots Coral Bell	#1 pot, 12" o.c.
H	260	<i>Hemerocallis 'Lime Bicyc'</i>	Lime Coral Bell	#1 pot, 12" o.c.
hp	32	<i>Hemerocallis 'Shanghai Purple'</i>	Purple Coral Bell	#1 pot, 12" o.c.
lo	102	<i>Lavandula angustifolia 'Hidcote Blue'</i>	Hidcote Blue Lavender	#1 pot, 14" o.c.
L	600	<i>Liriodendron 'Big Blue'</i>	Lily Turf	#1 pot, 12" o.c.
L	153	<i>Lithodora diffusa 'Grace Ward'</i>	Grace Ward Lithodora	#1 pot, 14" o.c.
M	46	<i>Miscanthus sinensis 'Magical Pearl'</i>	Magic Grass	#2 pot, 18" o.c.
e	284	<i>Ophiopogon japonicus 'Nana'</i>	Dwarf Mondo Grass	6cm pot, 12" o.c.
e	61	<i>Platanus racemosa 'Golden Wonder'</i>	Golden Wonder	#2 pot, 18" o.c., min 3 trailers
sp	589	<i>Pachyandra terminalis</i>	Pachyandra	6cm pot, 12" o.c.
P	85	<i>Phlox subulata 'Scarlet Flame'</i>	Scarlet Flame Creeping Phlox	#1 pot, 14" o.c.
r	14	<i>Phlox subulata 'Golf Course'</i>	Black Eye Buzzards	#2 pot, 15" o.c.
sl	50	<i>Sisyrinchium alba</i>	Melanch Feather Grass	#1 pot, 12" o.c.

**DRAWING LIST**

L1.0	COVER SHEET	L2.3	PLANTING PLAN
L1.1	LANDSCAPE SITE PLAN	L2.4	PLANTING PLAN
L1.2	LANDSCAPE SITE PLAN - LEVEL 5	L2.5	PLANTING PLAN - LEVEL 5
L1.3	MATERIALS & GRADING PLAN	L3.1	LANDSCAPE SECTIONS
L1.4	MATERIALS & GRADING PLAN	L3.2	LANDSCAPE SECTIONS
L1.5	MATERIALS & GRADING PLAN	L3.3	LANDSCAPE SECTIONS
L1.6	MATERIALS & GRADING PLAN	L4.1	LANDSCAPE DETAILS
L2.1	PLANTING PLAN	L4.2	LANDSCAPE DETAILS
L2.2	PLANTING PLAN	L4.3	LANDSCAPE DETAILS
		L4.4	LANDSCAPE DETAILS

**MATERIALS KEY**

KEY	MATERIAL
<b>SURFACING</b>	
[Symbol]	SODDED LAWN
[Symbol]	LAYERED SHRUB PLANTING
[Symbol]	GARDENING PLOTS
[Symbol]	24"X24" HYDRAPRESSED CONCRETE PAVERS HARVEST GREY
[Symbol]	CIP CONCRETE (BEFORE FINISHED PATHWAYS, DRIVEWAYS, TRUCK, SAWCUT AS PER PLAN, REFER TO CIVIL FOR SPEC.)
[Symbol]	FEATURE CONCRETE PAVING HARVEST GREY 4" X 8" HOLLAND PAVES (WITH CURB AT PARKABLE DRIVE, BURNING BAND)
[Symbol]	GRAVEL/RIVER ROCK (ERRANDICE SITE)
[Symbol]	PIP RUBBER PLAT SURFACING
[Symbol]	WOOD DECKING FEATURE PAVING
[Symbol]	POUR-IN-PLACE VIRGIN RUBBER PLAY SURFACING (GRAVELLED WITH EDGE, COLOURS, FINE)
<b>SURFACING</b>	
[Symbol]	CIP CONCRETE WALLS/CURBS
[Symbol]	CIP CONCRETE STEPS
[Symbol]	BRICK/STONE FACE ARCHITECTURAL WALL
[Symbol]	METAL FENCING & GATE (BLACK ALUMINUM PICKET)
[Symbol]	LOADING ZONE FENCING
<b>FURNISHING</b>	
[Symbol]	VISITOR BIKE PARKING
[Symbol]	DINING SEATING
[Symbol]	CUSTOM BENCH SEATING
[Symbol]	PICNIC TABLE WITH UMBRELLA HOLDER
[Symbol]	MOVEABLE LOUNGE SEATER
[Symbol]	ALL-SEASON PING PONG TABLE
[Symbol]	KIDS PLAY PLAY PANEL
[Symbol]	KIDS PLAY SPRINGER HORSE
[Symbol]	KIDS PLAY PLAY TOWER
[Symbol]	KIDS PLAY HUT
[Symbol]	KIDS PLAY CLIMBER
[Symbol]	OUTDOOR GYM EQUIPMENT
[Symbol]	BBQ W/ COUNTERTOP SPACE (HARDWARE, POLISHED CHROME COUPLER)
[Symbol]	LEVEL 5 FURNISHING (GLOSTER)
[Symbol]	LEVEL 5 FURNISHING (HARVEST TABLE)
<b>FURNISHING</b>	
[Symbol]	RECESSED STEP LIGHTING (REFER TO ELECTRICAL FOR FURTHER DETAILS)
[Symbol]	LANDSCAPE BOLLARD LIGHTING (REFER TO ELECTRICAL FOR FURTHER DETAILS)
[Symbol]	HANGING STRING LIGHTS
<b>GRADING</b>	
TW	TOP OF WALL
BW	BOTTOM OF WALL
+3.21	SPOT ELEVATION (METERS)
FFE	FINISHED FLOOR ELEVATION

**LANDSCAPE NOTES**

- All work shall meet or exceed the requirements as outlined in the current Edition of the B.C. Landscape Standard.
- Plant sizes and related container classes are specified according to the B.C. Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the BCNTA (ANSI) Standard.
- All trees to be staked in accordance with BCNTA Standards.
- ALL STREET TREES install 8" x 24" Deep Root Barrier centred on each tree between tree pit and sidewalk (ON BOTH SIDES; CURB AND SIDEWALK).
- For all existing on-site services and survey symbols refer to survey drawings.
- All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good conditions.
- All Patios shall be equipped with hose bibs.
- All irrigation valve boxes equipped with quick-couplers.
- Coniferous replacement trees shall be 4m height and deciduous replacement trees shall be 8cm caliper per City of Richmond.

**DESIGN RATIONALE**

The landscape design creates attractive and safe public, semi-private and private spaces for residents and the neighbourhood.

The residential courtyard aims to provide a sense of community and inclusivity by offering a variety of opportunities for different user groups to socialize and enjoy. Two distinct courtyard spaces encourage active and passive types of use. The west space adjacent to building A provides lots of social gathering opportunities on a large seating terrace overlooking a kids play space and flexible use open lawn. Within the east courtyard encircled by building B, a raised garden is proposed. Surrounded by trees and lush planting, the create a relaxed and intimate garden. Connecting these spaces east and west runs a central spine with a fitness amenity zone and rows of tree planting. All units have been designed to have a private patio or an entry porch with private access to the courtyard spaces.

Along the street frontages, grade differentials to private patios at Westminster Hwy, Azure Blvd and Azure Road are addressed through terracing of landscape planters. These terraces are designed to provide effective privacy screening without compromising soil volumes for semi-mature tree plantings. Finished soil levels will be sloped to further assist in bedding the terraced walls into the landscape. Where feasible, stepped access is provided for residents to gain access to private patios from street level.

The project contributes to the neighbourhood by providing an attractive public parkette tucked back from the junction of Azure Road and Azure Blvd. Building entry plazas provide opportunities for public seating and gathering along all three sides.

On the level 5 amenity terrace, the range of programs include an outdoor kitchen and dining, outdoor lounges, sun lawn and urban agriculture planters. A trellis with catenary lighting will enclose and protect the kitchen/dining space with attractive timber decking. Trees will be planted in raised planters to provide additional shade.

**PRECEDENT IMAGERY**



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Project:

6071 AZURE ROAD  
 RICHMOND, BC

Drawn by: AGJ/JW

Checked by: PK

Date: MAY 2024

Scale: 1/8" = 1' x 1/16" = 1/8"

Drawing Title:

COVER SHEET

Project No.:

21122

Sheet No.:

L1.0