



**To:** Development Permit Panel  
**From:** Suzanne Smith  
Program Manager, Planning & Development  
**Date:** May 22, 2024  
**File:** DP 23-023854  
**Re:** **Application by HNP Architecture & Planning Inc. for a Development Permit at 6071 Azure Road**

---

**Staff Recommendation**

That a Development Permit be issued which would:

1. Permit the construction of a low-rise to mid-rise residential development comprising 330 residential units, including 50 low-end-of-rental (LEMR) units, 110 moderate-income rental units and 170 market rental units at 6071 Azure Road on a site zoned “Low to Mid Rise Apartment (ZLR45) – Thompson”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - a) Reduce the minimum setback from Westminster Highway from 4.5 m to 4.35 m behind the bus stop and 4.14 m at the Westminster Highway and Azure Boulevard corner cut; and
  - b) Reduce the minimum manoeuvring aisle width from 6.7 m to 6.1 m.

Suzanne Smith  
Program Manager, Planning and Development  
(604-276-4138)

SS:sb

Att. 2

## Staff Report

### Origin

HNSA Architecture & Planning Inc., on behalf of owner Sun Valley Rental Ltd. Inc. No. BC 0923745 (Directors: Yiwei Xuan, Hanping Xuan and Minrong Zhang), has applied to the City of Richmond for permission to develop a residential rental tenure low-rise to mid-rise development at 6071 Azure Road on a site zoned “Low to Mid Rise Apartment (ZLR45) – Thompson”.

The site is being rezoned from the “Low Density Townhouses (RTL1)” zone to the “Low to Mid Rise Apartment (ZLR45) – Thompson” zone for this project under Richmond Zoning Bylaw 8500, Amendment Bylaw 10406 (RZ 21-942276). The site is also subject to an associated amendment to the City’s Official Community Plan (OCP) City of Richmond 2041 OCP Land Use Map to change the designation of the subject site from “Neighbourhood Residential” to “Apartment Residential” under Official Community Plan Bylaw 9000, Amendment Bylaw 10407.

Highlights of the proposed development include:

- Redevelopment of an existing rental residential site with 330 residential rental units including 50 Low-End Market Rental (LEMR) units, 110 moderate-income rental units and 170 market rental units.
- Two four-storey apartment buildings located at the west and south edges of the subject site and one six-storey apartment building located in the northeast corner of the subject site. All three buildings are located over a single-level parking structure.
- A total floor area of approximately 24,371 m<sup>2</sup> (262,327 ft<sup>2</sup>) comprised of:
  - Approximately 4,486 m<sup>2</sup> (48,287 ft<sup>2</sup>) of LEMR housing units distributed over most floors of two buildings.
  - Approximately 5,946 m<sup>2</sup> (64,002 ft<sup>2</sup>) of moderate-income rental housing units provided over two buildings.
  - Approximately 13,942 m<sup>2</sup> (150,069 ft<sup>2</sup>) of market rental housing units and common circulation space provided over the three buildings.
- Additional approximately 510 m<sup>2</sup> (5,490 ft<sup>2</sup>) indoor amenity space provided over the three buildings.
- The developer intends to phase construction of the development. The first phase would consist of the southern building fronting Azure Road, the northwestern building fronting Westminster Highway and the parking structure. The second phase would consist of the northeastern building as shown in the DP plans. The first phase includes all of the LEMR units, 17 per cent of the moderate-income rental units and 49 per cent of the market rental units. The first phase includes residential amenity spaces in both buildings, which would be supplemented with amenity use of the rental management offices until the second phase is completed, which will be secured by legal agreement.

A Servicing Agreement is required as a condition of rezoning and includes, but is not limited to, Westminster Highway widening, Azure Road traffic calming, frontage improvements, sanitary sewer upgrades and utility connections.

## Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

## Background

Development surrounding the subject site is as follows:

- To the North: Across Westminster Highway, in the Oval Neighbourhood (City Centre) is the WorkSafe BC complex and a warehousing complex. The WorkSafe BC lot is zoned “Downtown Commercial (CDT1)” and is designated in the CCAP for high-rise residential, commercial, mixed-use and institutional development (Urban Core T6 (45m) and Institution). The warehousing lot is zoned “Industrial Business Park (IB1)” and is in an area designated in the CCAP for low-rise residential and limited commercial development (General Urban T4 (15m)).
- To the South: Across Azure Road, are single-detached homes on lots zoned “Single Detached (RS1/E)” and designated in the OCP for Neighbourhood Residential development. Further to the southeast are Brighthouse Neighbourhood School City Park and Samuel Brighthouse Elementary School.
- To the East: Across Azure Boulevard, is a three-storey rental apartment complex on a lot zoned “Medium Density Low Rise Apartments (RAM1)” and designated in the OCP for multi-family apartment development (Apartment Residential).
- To the West: Along the west edge of the site, are five adjacent single-detached homes fronting onto Azure Road and Camsell Crescent on lots zoned “Single Detached (RS1/E)” and designated in the OCP for Neighbourhood Residential development.

## Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on October 17, 2022. At the Public Hearing, the following architectural form and character concerns about rezoning the property were expressed by area residents:

- Loss of views and change in skyline.  
*The proposal includes four and six-storey buildings, which will introduce a varied roofline on the subject site and in the neighbourhood and provides for building height stepping down to interface with the adjacent single-detached home neighbourhood.*
- Tree removal.  
*Tree management was addressed in the rezoning staff report, including the removal of 45 existing bylaw-size trees on the subject site and the retention and protection of trees along the west property line. Three trees are being retained and the protection of all trees on the neighbouring properties to the west is required, including 33 trees located on the neighbouring adjacent properties to the west and 16 trees along the shared property line that are jointly owned with the neighbouring adjacent properties.*

- Privacy impacts.  
*Tree retention and protection of the neighbouring and jointly owned trees along the west property line, including a significant building setback, provides a significant buffer to the single-family lots to the west. The presence of setbacks, street frontages and roads to the north, east and south provide adequate buffer along the other site edges.*
- The provision of parking and concerns related to existing on-street parking, traffic congestion and safety.  
*The development proposal accommodates the anticipated needs for on-site resident and visitor vehicle parking and bicycle storage identified by the consultant transportation engineer in a parking study submitted in support of the development. The study includes the provision of Transportation Demand Management (TDM) measures to enhance use of transit, bicycle and car-share alternate modes of transportation.  
A construction traffic and parking management plan is required to be submitted to the City prior to construction. The Brighthouse Elementary School Principal will be consulted as part of the development and approval of the plan to ensure any specific concerns related to the school are considered.  
Traffic Bylaw 5870 restricts on-street parking to no more than three hours between 8:00 am and 6:00 pm (residents parking in front of their homes excluded). Should there be an issue, residents may contact Community Bylaws with concerns for enforcement of the bylaw. Staff was directed from the Planning Committee to explore a resident-only pilot parking project in the vicinity of the proposed development. Consultation was done with neighbourhood residents and a resident only pilot parking program has been initiated along Alta Court.*
- Construction noise impacts.  
*The developer is aware of and has committed to comply with the City's Good Neighbour Program. The developer is required to comply with the City's Noise Regulation Bylaw.*

### Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Low to Mid Rise Apartment (ZLR45) – Thompson" zone, except for the zoning variances noted below.

### Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum setback from Westminster Highway from 4.5 m to 4.35 m behind the bus stop and 4.14 m at the Westminster Highway and Azure Boulevard corner cut.  
*(Staff supports the requested variance as it allows for a development with 330 rental housing units to be constructed and the variance is limited to portions of the site adjacent to Westminster Highway. The variance results from a localized area of required road widening for a new bus stop and a full-width bike path and sidewalk behind the bus stop along Westminster Highway as well as a required corner cut at the corner of Westminster Highway and Azure Boulevard).*

- 2) Reduce the minimum manoeuvring aisle width from 6.7 m to 6.1 m.  
*(Staff supports the requested variance in this neighbourhood with its unique parking concerns as the variance allows for the number of parking spaces to be maximized on a site that provides rental housing towards meeting community needs. A Transportation Engineer has confirmed that the manoeuvring aisle width is designed to accommodate small and regular sized vehicles manoeuvring into and out of the parking spaces. The owner is required to enter into a legal agreement prior to DP issuance advising tenants that the parkade design does not accommodate parking for vehicles larger than 5.5 m in length (e.g. larger pick up trucks). City transportation staff have reviewed the proposed variance and are in support).*

**Advisory Design Panel Comments**

The Advisory Design Panel was supportive of the application. An annotated copy of the relevant excerpt from the Advisory Design Panel Minutes from February 22, 2024 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in *'bold italics'*.

**Analysis**

***Housing***

- The following table indicates the proposed unit mix of LEMR units to replace existing rental units, moderate-income rental units and market rental units, with the overall number of units remaining the same as noted at rezoning. Unit mix changes were made due to further design refinement and the requirement to comply with the minimum floor area within moderate-income rental units, the minimum number of market rental units, the maximum permitted floor area and the BC Building Code. The moderate-income rental unit mix includes one less one-bedroom unit and one additional three-bedroom unit. The market rental unit mix includes 15 additional studio units, 13 additional one-bedroom units, 39 fewer two-bedroom units and 11 fewer three-bedroom units. Despite these changes, the application complies with City policy with 46 per cent of the units being family-friendly with two to four bedrooms.

Unit Type	LEMR	Moderate-income Rental	Market Rental	Total
Studio	0% (0 units)	22% (24 units)	11% (19 units)	13% (43 units)
1-bedroom	8% (4 units)	56% (62 units)	41% (69 units)	41% (135 units)
2-bedroom	28% (14 units)	18% (20 units)	29% (49 units)	25% (83 units)
3-bedroom	58% (29 units)	4% (4 units)	19% (33 units)	20% (66 units)
4-bedroom	6% (3 units)	0% (0 units)	0% (0 units)	1% (3 units)
<b>Total</b>	<b>50 Units</b>	<b>110 Units</b>	<b>170 Units</b>	<b>330 Units</b>

- All of the units are rental and will be secured via Housing Agreements and bylaw secured through the rezoning which will come forward to Council for consideration prior to adoption.
- All of the proposed units are basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair.

These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City’s Zoning Bylaw, and are permitted a density exclusion of 1.86 m<sup>2</sup> (20 ft<sup>2</sup>) per unit.

- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell hand rails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

***Conditions of Adjacency***

- The massing of the development is broken down into three buildings arranged surrounding central open spaces, providing movement through the site and podium stair connections to Westminster Highway, Azure Boulevard and Azure Road along the west edge of the site.
- Tree retention and tree protection zone provide a landscape buffer that is fenced and gated along the west property line adjacent to neighbouring single-detached home properties.
- Long frontages are visually broken up with articulation provided with vertically stacked balconies and colour changes for visual interest and a more pedestrian-compatible scale and form.
- Podium-level units are proposed with raised semi-private balconies and grade change landscape buffer screening in terraced planters facing the Westminster Highway, Azure Boulevard and Azure Road fronting roads. The building lobbies are accessed from the fronting sidewalks.
- The site is subject to aircraft noise and the development is required to be designed and constructed to achieve OCP Aircraft Noise Sensitive Development policy indoor noise level and thermal comfort standards as secured through the rezoning. As part of the Building Permit application process, the applicant is required to provide acoustical and thermal reports and recommendations prepared by an appropriate registered professional, which demonstrates that the interior noise levels and noise mitigation standards comply with the City’s Official Community Plan and Noise Bylaw requirements. The standard required for air conditioning systems and their alternatives (e.g. ground source heat pumps, heat exchangers and acoustic ducting) is the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard and subsequent updates as they may occur. Maximum interior noise levels (decibels) within the dwelling units must achieve CMHC standards follows:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

***Urban Design and Site Planning***

- The proposed building height is six-storeys at the northeastern portion of the site and fronting onto Westminster Highway and Azure Boulevard, and steps down in height to four-storeys toward Azure Road and the single-detached homes to the south, and four-storeys in the

northwestern portion of the site and the single-detached homes to the west.

This provides for transition in building form and density across the site stepping down toward the single detached housing areas.

- The buildings are arranged surrounding podium-level central open space and on top of a shared enclosed one-level parking structure which accommodates shared outdoor amenity space, semi-private decks and pedestrian access to all buildings, central indoor amenity area and stair connections to Westminster Highway, Azure Boulevard and Azure Road.
- Vehicle access to the one-level parking structure and loading area will be provided from Azure Boulevard on the east side of the site. Garbage/recycling storage is located inside the parking structure and collection will be accommodated from the open loading area.
- A six-storey building anchors the intersection of Westminster Highway and Azure Boulevard.
- The southern building has an entry lobby facing the public sidewalk on Azure Road. The northwestern building has an entry lobby facing the public sidewalk on Westminster Highway. The northeastern building has an entry lobby facing the public sidewalk on Azure Boulevard.
- Indoor amenity space proposed in this development exceeds Official Community Plan (OCP) requirements. Approximately 510 m<sup>2</sup> (5,490 ft<sup>2</sup>) of indoor amenity space is provided for the shared use of all residents in the development primarily in a central location of the main floor of the northeastern building and additional indoor amenity space is provided on the main floor of the northwestern building and the southern building and in the lobbies of all three buildings.
- Outdoor amenity space proposed in this development exceeds Official Community Plan (OCP) requirements. Approximately 3,565 m<sup>2</sup> (38,373 ft<sup>2</sup>) of outdoor amenity space is provided for the shared use of all residents in the development and is located in the central courtyard and the fifth-level of the northeastern building. Further details are provided in the Landscape Design and Open Space Design section of this report.
- The proposed development meets the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood plain indemnity covenant on Title was secured through the rezoning.

### ***Architectural Form and Character***

- The project proposes a contemporary architectural style. Articulation is provided through vertical balcony stacks and framing elements separating different materials and colours. A projecting framing element addresses the Westminster Highway and Azure Boulevard intersection. The scale of the building design elements on the low-rise and mid-rise buildings is pedestrian-friendly and provides visual interest.
- The exterior cladding is a combination of fibre cement panel with metal trim, fibre cement horizontal plank cladding, architectural concrete, metal and glass guardrails materials.
- Entry lobbies are identified with columns and covered areas framing entries with clear-glazing and generous interiors.
- The colour palette of white, dark red, dark yellow and dark blue with accents of medium grey, wood-tone and wood-tone soffit provides visual interest.

### ***Transportation***

- One vehicle access will be provided off Azure Boulevard, providing access to the parking structure and adjacent loading area for residents and garbage/recycling collection.
- The proposed number of parking spaces is consistent with the Richmond Zoning Bylaw parking requirements, subject to the provision of the Transportation Demand Management measures (TDMs) secured through the rezoning, including:
  - Transit Pass Program with monthly bus pass (two-zone) offered to 100 per cent of the rental housing units (330 units) for a period of one year.
  - Additional Class 1 Bicycle Parking – provision of Class 1 bicycle spaces at the rate of two spaces for each rental housing unit (instead of 1.25 spaces per housing unit). Bike storage rooms will have outlets for bicycle charging.
  - E-bike and e-scooter storage area.
  - Bicycle Maintenance Facility - provision of a bicycle maintenance room for shared use by all residents, including a bike stand, repair tools and bike washing area.
  - Car-share parking – provision of two car-share parking spaces (equipped with quick charge 240V electric vehicle charging stations).
- The proposed number of bicycle storage spaces is consistent with Richmond Zoning Bylaw requirements.
  - There is a total of 660 Class 1 bicycle storage spaces provided in the parking structure.
  - There is a total of 67 Class 2 bicycle storage spaces provided outside the Westminster Highway, Azure Boulevard and Azure Road building entry lobbies and near the parking structure entry.

### ***Tree Management***

- Tree management was addressed at rezoning. There are 45 existing trees being removed from the development site. Existing trees are required to be protected including three trees on the subject site, 33 trees located on the neighbouring adjacent properties to the west and 16 trees along the shared property line that are jointly owned with the neighbouring adjacent properties.
- Based on City policy of a 2:1 ratio of tree replacement 90 replacement trees were required through rezoning. Through the Development Permit the applicant proposes to plant 154 new trees.
- To ensure the protection of the three trees on site, the applicant is to enter into a tree survival agreement and provision of a \$35,000.00 tree survival security, as was secured through the rezoning.
- To ensure the protection of the existing trees on the adjacent properties to the west, the provision of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones was secured through the rezoning.

### ***Landscape Design and Open Space Design***

- Along Westminster Highway, Azure Boulevard and Azure Road, raised semi-private patios are buffered with planting in tiered planters.
- Along the west edge of the subject site, a fenced and gated tree protection area is planted with grass under the existing trees being retained and protected.



- Class 2 bicycle racks are located at grade around the perimeter of the site in close proximity to two of the building entry lobbies and the parking structure entry.
- Outdoor amenity space is provided on the parkade structure podium and at the fifth-floor level of the northeastern building for the shared use of all residents in the development. A variety of tables and seating areas are provided, as well as a BBQ area. Exercise areas are provided. Shrub and tree planting is provided throughout the central courtyard and provides screening along the edges of the courtyard to surrounding semi-private patios.
- The outdoor amenity space at the fifth-floor level of the northeastern building is for urban agriculture use as secured at rezoning. Two additional urban agriculture planter areas are provided in the podium-level outdoor amenity area.
- Children's play is accommodated in the podium-level outdoor amenity space with five play structures, open lawn areas as well as exercise deck areas. The children's play structures accommodate climbing, sliding and spring movement and social and imaginative play activities.
- The plant palette selection includes native and non-native, deciduous and coniferous species with a variety of textures and colours, providing all-season interest. The landscape design includes planting of 154 trees of fourteen species, including coniferous species of cedar, pine and spruce, and deciduous species of flowering cherry, katsura, magnolia, maple and oak. In addition, fruit bearing tree species of crabapple and serviceberry are proposed.
- Lighting details are included in the landscape DP plans. Downward focussed wall and stair mounted lighting and bollard lighting will be provided throughout the podium-level and fifth-floor level outdoor amenity spaces.
- An on-site automatic irrigation system will be provided for all planted areas.
- To ensure the provision of landscaping, a legal agreement and associated landscape security in the amount of \$1,328,911.65 is required prior to Development Permit issuance.

### ***Crime Prevention Through Environmental Design***

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the proposed development.
- Public areas, and resident private/semi-private areas are designed to be well-defined by soft landscaping to clearly delineate boundaries of uses.
- The entry lobbies are designed with a high level of visibility from the fronting sidewalks.
- The parkade entry (overhead gate) is designed with clear sight lines.
- Views from interior spaces provide passive surveillance opportunities to outdoor amenity areas, patios and west side yard. Views from upper units provide passive surveillance opportunities of public sidewalks.

### ***Sustainability and Renewable Energy***

- The developer has committed to design the subject development to meet the City's application Step Code requirement of Step 3 with a privately owned low-carbon energy system.
- The development is being designed and constructed to connect to a District Energy Utility for domestic hot water heating when one is available, as secured at rezoning.

- The project includes planting on the parking podium, reducing urban heat island effect and improving air quality.

**Conclusions**

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

*Sara Badyal*

Sara Badyal  
Planner 3  
(604-276-4282)

SB:js

- Att. 1: Development Application Data Sheet  
2: Advisory Design Panel Minutes (Annotated Excerpt from February 22, 2024)

The following are to be met prior to forwarding this application to Council for approval:

1. (DP Panel Notification Fee) Payment of all fees in full for the cost associated with the Development Permit Panel Notices, consistent with the City’s Consolidated Fees Bylaw No 8636, as amended.
2. (Landscape Security) Entering into a legal agreement and submission of a landscaping security in the amount of \$1,328,911.65.
3. (Phasing Agreement) Entering into a legal agreement ensuring that any phasing of the development includes in the first phase the provision of all of the LEMR units and the use of the rental management offices for shared indoor amenity space use by the residents until the second phase is completed to ensure at least 100 m<sup>2</sup> of indoor amenity space is provided in each building.
4. (Parking Agreement) Entering into a legal agreement registered on Title requiring the owner to advise potential tenants and include in any rental agreements notification that the parkade design does not accommodate parking for vehicles larger than 5.5 m in length (e.g. larger pickup trucks).

Prior to future Building Permit issuance, the developer is required to complete the following:

- (Rezoning/Development Permit requirements) Compliance with legal agreements secured via the Rezoning and/or Development Permit processes.
- (Accessibility Measures) Incorporation of accessibility measures in Building Permit as determined via the Rezoning and/or Development Permit processes.
- (Aircraft Noise) Provision of and compliance with complete acoustical and thermal reports and recommendations prepared by an appropriate registered professional, which demonstrates that the interior noise levels and noise mitigation standards comply with the City's Official Community Plan and Noise Bylaw requirements. The standard required for air conditioning systems and their alternatives (e.g. ground source heat pumps, heat exchangers and acoustic ducting) is the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard and subsequent updates as they may occur. Maximum interior noise levels (decibels) within the dwelling units must achieve CMHC standards follows:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- (Construction Hoarding) The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- (Construction Traffic and Parking Management) Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).
- (Latecomer) If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



DP 23-023854		Attachment 1	
Address	6071 Azure Road		
Applicant	HNPA Architecture & Planning Inc.		
Owner	Sun Valley Rental Ltd., Inc. No. BC0923745		
Planning Area(s)	Thompson		
	<b>Existing</b>	<b>Proposed</b>	
Site Area	12, 005 m <sup>2</sup>	11,606.6 m <sup>2</sup>	
Land Uses	Multiple Family Residential	Multiple Family Residential	
OCP Designation	Apartment Residential	Complies	
Zoning	Low to Mid Rise Apartment (ZLR45) – Thompson	Requested variances noted below	
Number of Units:	50 market rental units	50 LEMR units 110 moderate income rental units 170 market rental units	
	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Floor Area Ratio	Max. 2.1 (24,373.9 m <sup>2</sup> )	2.1 (24,371 m <sup>2</sup> )	None permitted
Lot Coverage	Max. 90%	50%	None
Setbacks <b>Westminster Highway</b> Azure Boulevard Azure Road Interior Side Yard	<b>Min. 4.5 m</b> Min. 4.5 m Min. 4.5 m Min. 4.5 m	<b>Min. 4.14 m to 4.5 m</b> 4.5 m 4.5 m 4.5 m to 7 m	<b>Reductions of 0.36 m at corner cut and 0.15 m at bus stop</b>
Building Height	Max. 25 m	24 m	None
Lot Size	10,000 m <sup>2</sup> Width: 80 m Depth: 100 m	11,606 m <sup>2</sup> Width: Approx. 93 m Depth: Approx. 117 m	None
Parking Space rates	272 with TDMs LEMR: 30 Moderate Income Rental: 66 Market Rental: 123 Visitor: 53 including 2 car-share	275 with TDMs LEMR: 30 Moderate Income Rental: 66 Market Rental: 126 Visitor: 53 including 2 car-share	None
Accessible Parking Spaces	Min. 2%	2%	None
Small Car Parking Spaces	Max. 50%	50%	None
Tandem Parking Spaces	Not Permitted	None	None
Loading Spaces	2 medium	2 medium	None
Bicycle Storage	Class 1: 660 (TDM) Class 2: 66	Class 1: 660 (TDM) Class 2: 67	None
EV (Energized) Car Charging	100% resident parking spaces 100% car share parking spaces	100% resident parking spaces 100% car share parking spaces	None
Amenity Space – Indoor	Min. 300 m <sup>2</sup>	510 m <sup>2</sup>	None
Amenity Space – Outdoor	Min. 1,980 m <sup>2</sup>	3,565 m <sup>2</sup>	None

**Annotated Excerpt from the Minutes from  
Advisory Design Panel Meeting**

**Wednesday, February 22, 2024 – 4:00 p.m.  
Remote (Webex) Meeting**

**Panel Discussion**

*Comments from Panel members were as follows:*

- The western edge of the site should be considered from a CPTED perspective; clarify the nature of proposed lighting on the ground level and ensure that it will not impact the livability of apartment units above – ***CPTED addressed with fencing and locked gate accesses provided at both ends of west yard for resident access only. Lighting details are shown on the landscape DP plans.***
- Consider further articulation to the corner treatment of the building at the intersection of Westminster Highway and Azure Boulevard as it is a prominent corner; the location of the double height space at the building entry near the corner helps; however, further articulation to the corner would provide visual interest to motorists and pedestrians passing by – ***Design improved with added windows and design refinement.***
- Appreciate that the proposed development will provide 100 percent rental housing units – ***Noted.***
- Appreciate the provision of safe common outdoor amenity spaces for families with children – ***Noted.***
- Investigate opportunities for utilizing at least portions of roof spaces for usable common outdoor spaces, e.g. incorporating urban agriculture as opposed to full green roof – ***Urban agriculture is provided at the fifth-floor level and shared outdoor amenity space is provided at podium-level. The upper building rooftops will be treated with standard roofing materials and will not be treated with green roof or water retention blue roof.***
- Appreciate the project’s accessibility strategy as presented by the applicant – ***Noted.***
- Consider locating the intercom for access to the parkade on the driver’s side to enhance the accessibility of the parkade to drivers with disabilities – ***Incorporated.***
- The project is well considered; appreciate the green separation between the residential units and garden spaces in the courtyard on the parkade roof; also appreciate the landscaping on the southwest corner to create a public space; consider a similar approach to the northeast corner of the subject site – ***Considered. A landscaped area with planting and seating is provided at the intersection of Azure Road and Azure Boulevard and seating is provided on Westminster Highway.***
- Consider introducing landscape elements to soften the long planters along Westminster Highway that are usable to the public – ***Addressed above.***
- Consider relocating the proposed urban agriculture areas, the southeast corner will be shaded and will not thrive; a similar condition exists for another urban agriculture on the parkade roof due to the Katsura trees planted on the east side; consider relocating or installing a different tree species to allow more sunlight exposure into this area – ***Urban agriculture***

*planters are provided at the fifth floor level of the northeastern building. This south facing raised area will benefit from sunlight exposure.*

- The proposed play equipment for the children's play area may not provide adequate play opportunities for different age groups of children considering the size of the project; consider adding another separate location for the children's play area, which would also manage the noise and occupancy of each play area – ***Design improved. Children's play area redesigned to include greater concentration of play elements for multiple age groups as well as an adjacent area of flexible use lawn space with seating opportunities for passive observation included adjacent.***
- The rendering on the courtyard on the parkade roof on page 18 of the package would look more inviting if it included the landscape – ***Noted.***
- The loading bay adjacent to the parking ramp is exposed; consider installing a green buffer to screen the loading bay – ***Design improved with landscape screening along south edge of loading area and fencing along east and south edges.***
- Consider installing planters on the hardscape along the perimeter of the outdoor amenity space on the rooftop deck at the 5th floor level of the middle building to soften the perimeter – ***Considered. This area is required for urban agriculture.***
- Consider installing a hedge or taller planting on the sidewalk level to mitigate the hardscape feel of the retaining wall planters – ***Incorporated.***
- The project is well thought out – ***Noted.***
- The Pinus ponderosa trees proposed to be planted in the courtyard on the parkade roof between Building A and Building B will grow into large trees; consider species and ensure adequate soil volume for the planters – ***Design improved with deciduous species with lighter canopies to maximize daylight gain to podium level internal patios.***
- Ensure that the proposed urban agriculture on the 5th floor rooftop deck should be accessible to people using walkers and in wheelchairs and should be provided full irrigation – ***Accessible planters at 0.45 m height are provided with irrigation.***
- The proposed urban agriculture on the main level will be in shade; consider moving some of the urban agriculture up to the open lawn area or the raised amenity area and utilize the side areas as gathering places – ***Addressed above.***
- The proposed play feature appears blocky and sparse with a large safety zone around it; consider an alternate play feature that has more of a flow through – ***Addressed above.***
- Appreciate the provision of green and permeable spaces in the proposed development; however, the applicant is encouraged to further enhance the project's stormwater management through installing blue/green roofs on Buildings A, B and C – ***Addressed above.***
- Appreciate the applicant's presentation and package provided to the Panel – ***Noted.***
- Support the Panel comment to provide more architectural interest to the building corner at the key intersection of Westminster Highway and Azure Boulevard – ***Addressed above.***
- The length of the massing along Azure Road is long; consider further articulation to the entry area to help provide greater differentiation along the long façade – ***Design improved, elevation broken down with massing articulation, materials and colour.***
- There is a significant grade change along Azure Road and Westminster Highway; investigate further opportunities for planting to screen and soften the exposed concrete retaining walls; review the proposed planting materials to increase the height and density of planting; further treatment to the concrete retaining walls would generate pedestrian interest – ***Design improved. Multiple levels of planters provided at streetscape to soften the building base,***

*planted with larger shrub planting at wall faces and soil sloped at maximum 1:2.5 to provide additional screening.*

- The western edge of the site is challenging from a CPTED perspective; also look at the relationship of this edge with the adjacent blank parkade wall; investigate opportunities to soften the blank wall appearance – *Addressed above.*
- The lobby entries and the area adjacent to the stair access to the courtyard are congested with bicycle parking; consider distributing bicycle parking around the subject site – *Incorporated.*
- Clarify the intent of the exercise patio space in the central courtyard as there are differences in the renderings and landscape drawings; also consider installing additional planting in the space to soften the transition to the adjacent pathway – *Exercise patio is located at upper slab area with direct connection to east and west courtyard spaces. Stepped access and landscaped planters provide increased separation from circulation pathway to south.*
- The connection of the amenity space to the public realm is tenuous due to its location on the corner; consider swapping it with the unit to the south to create more direct access; investigate opportunities to configure the relationship of the amenity space to the courtyard through the patio zone in a more inviting way that does not look like one of the other private patios – *Considered. Indoor amenity space is centrally located in the development.*
- In general, the architectural expression is reasonable; clarify if the hardie panel is meant to be provided with metal trims or shadow gap – *Metal trims will be provided.*
- Support the proposed colour palette – *Noted.*
- Consider introducing architectural treatment around the parkade walls to provide pedestrian interest – *Considered. Pedestrian interest provided with planting in multiple levels of planters.*
- Look at the CPTED issue under the staircase at Azure Boulevard; consider integrating with the podium mass to help resolve the covered space under the staircase – *Incorporated.*
- The garbage area is exposed; consider screening the area with architectural and landscape elements to mitigate its visibility – *Addressed above.*
- Appreciate that all residential units are Basic Universal Housing (BUH) units – *Noted.*
- Note that BCBC accessibility requirements have been changed; review the accessibility features in the project, e.g. size of turning radius – *Noted.*
- Pedestrian pathways from the elevator to the central courtyard are sometimes circuitous for people in wheelchairs; investigate opportunities for providing more direct routes to encourage residents to use the central courtyard for recreational and social gathering space – *Sloped access provided to all areas of amenity courtyard including raised lawn space to eastern courtyard.*

### **Panel Decision**

It was moved and seconded

*That DP 23-023854 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.*

**CARRIED**



# City of Richmond

## Development Permit

No. DP 23-023854

To the Holder: HNSA Architecture & Planning Inc.  
2983 41st Avenue  
Vancouver, BC V6N 3C8

Property Address: 6071 Azure Road

Address: Jun Nan  
c/o HNSA Architecture & Planning Inc.  
2983 41st Avenue  
Vancouver, BC V6N 3C8

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - a) Reduce the minimum setback from Westminster Highway from 4.5 m to 4.35 m behind the bus stop and 4.14 m at the Westminster Highway and Azure Boulevard corner cut; and
  - b) Reduce the minimum manoeuvring aisle width from 6.7 m to 6.1 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #40 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,328,911.65. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.



**Development Permit**  
**No. DP 23-023854**

To the Holder: HNPA Architecture & Planning Inc.  
2983 41st Avenue  
Vancouver, BC V6N 3C8

Property Address: 6071 Azure Road

Address: Jun Nan  
c/o HNPA Architecture & Planning Inc.  
2983 41st Avenue  
Vancouver, BC V6N 3C8

---

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

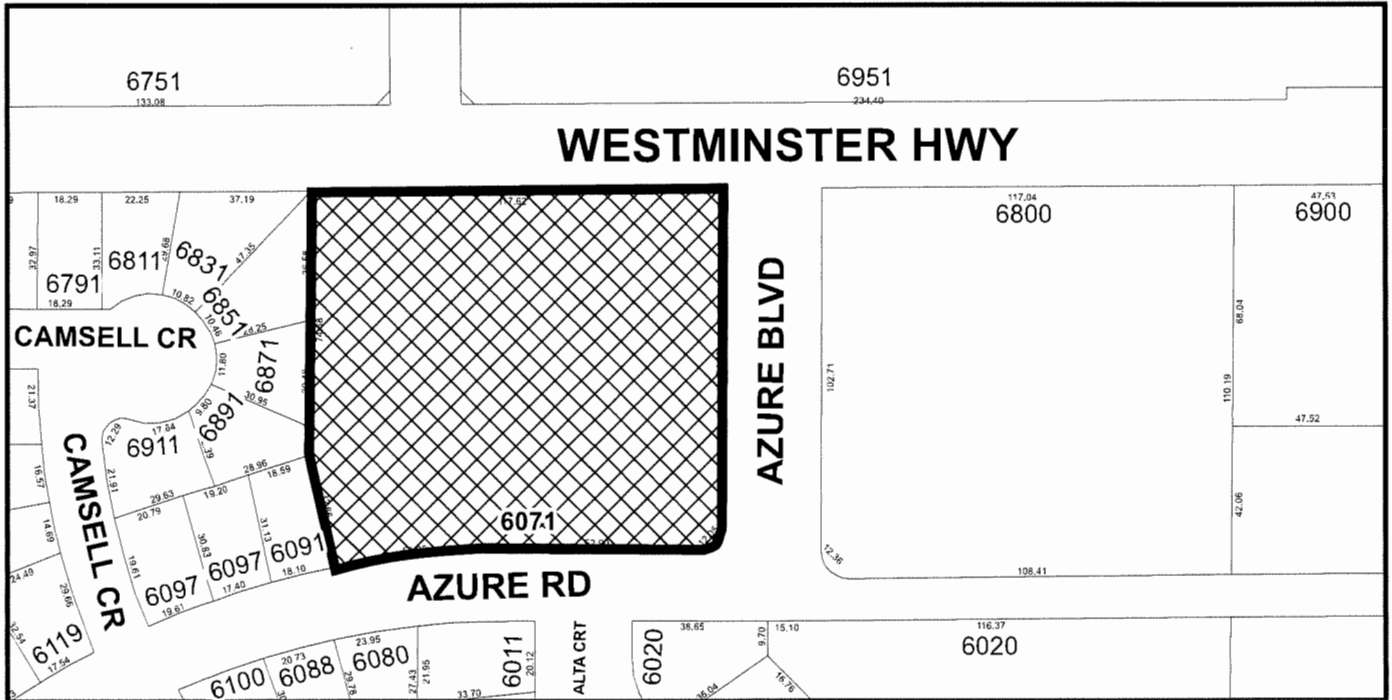
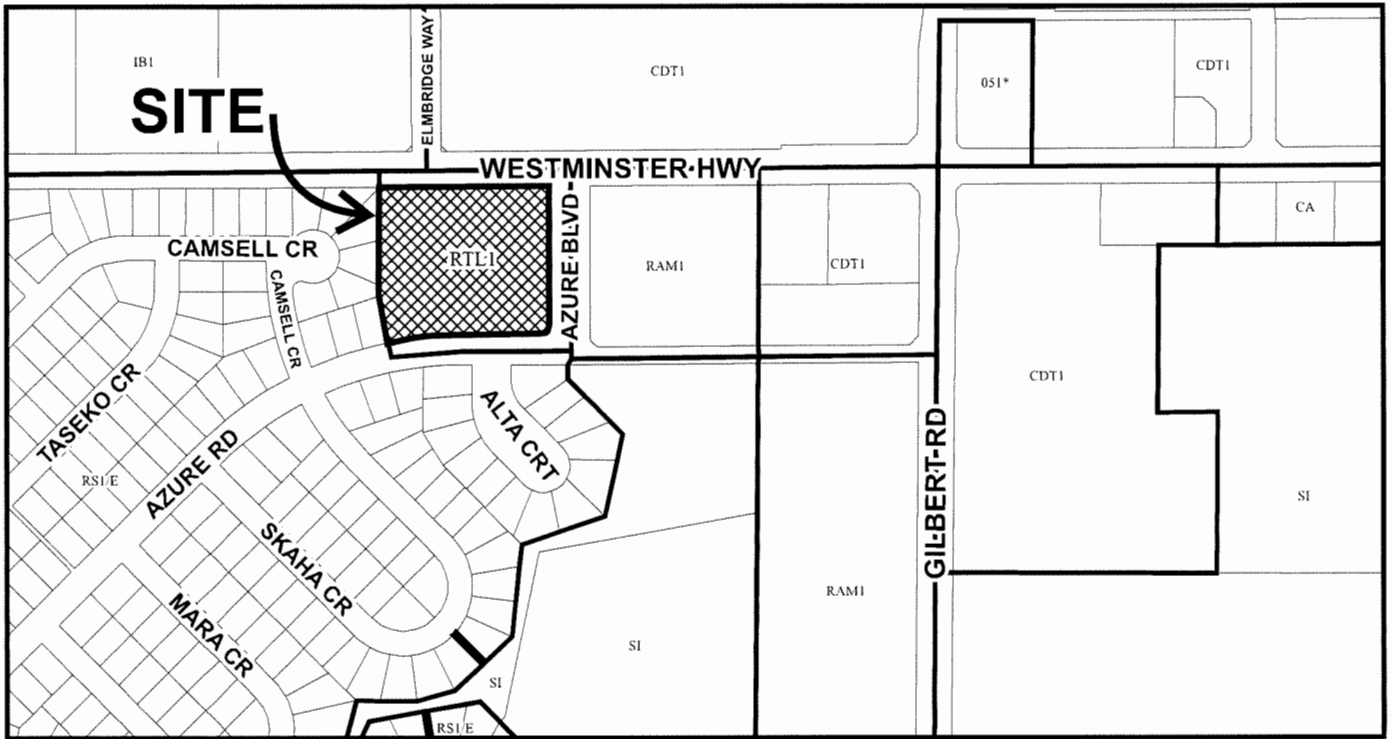
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE  
DAY OF , .

DELIVERED THIS DAY OF , .

\_\_\_\_\_  
MAYOR



# City of Richmond



	<h2>DP 23-023854</h2> <h2>SCHEDULE "A"</h2>	<p>Original Date: 08/24/23</p> <p>Revision Date:</p> <p>Note: Dimensions are in METRES</p>
--	---	--

# 6071 AZURE ROAD

## DEVELOPMENT PERMIT APPLICATION

### PROJECT SITE INFORMATION

**CIVIC ADDRESS**

6071 AZURE ROAD, RICHMOND, BC, V7C 2P3

**LEGAL DESCRIPTION**

LOT 592 SEC 7 BLK 4N RG 6W PL NWP25611 LOT 592, BLOCK 4N, PLAN NWP25611, SECTION 7, RANGE 6W, NEW WESTMINSTER LAND DISTRICT

**SITE AREA**

BEFORE DEDICATION: 12,005 SQ.M ( 129,221 SQ.FT.)  
AFTER DEDICATION: 11,606 SQ.M (124,933 SQ.FT)

**Notes:**

- 100% rental development, 50 LEMR units, 110 Moderate Income Rental units, 170 Market Rental units
- All units to comply with Zoning Bylaw BUH features
- All units to feature aging-in-place features (lever type plumbing and door handles, solid wall blocking for future grab bar installation at all toilets, showers and bath tubs.
- Variance to Westminster Highway setbacks - Min. 4.35 m setback behind bus stop and Min. 4.14 m at corner cut
- Variance - Min. 6.1 m manoeuvring aisle width in parkade
- Automatic irrigation system for all planted areas
- 2 car-share parking spaces
- No large vehicle parking in parkade (e.g. large pick up trucks)
- Off-site works via separate Servicing Agreement

Proposed FAR : 2.1 FAR

**PROJECT UNITS**

Building A	56 Units
Building B	177 Units
Building C	97 Units

**INDOOR AMENITY**

2.00 Sq.m per unit	300 sq.m. Req'd	510 sq.m. - Proposed
--------------------	-----------------	----------------------

**OUTDOOR AMENITY**

5.95 Sq.m per unit	1,980 sq.m. Req'd	3,565 sq.m. - Proposed
West Side-yard outdoor open space:		360 sq.m

**PARKING**

Total Required	272 Car stalls
Total Provided	275 Car stalls

**LOADING**

Total Required	1 Loading stall
Total Provided	2 Loading stalls

**BIKE STALLS**

Total Required	660 class 1 bikes	66 class 2 bikes
Total Provided	660 class 1 bikes	67 class 2 bikes

**SETBACKS**

	Required	Proposed
Front Yard - North PL : at Westminter highway	14.76 FT (4.50 m) to new PL	15 FT (4.57 m)
Side Yard - East PL : at Azure Blvd	14.76 FT (4.50 m) to PL	15 FT (4.57 m)
Side Yard - West PL : at Neighbour	14.76 FT (4.50 m) to PL	23 FT (7.01 m)
Rear Yard - South PL : at Azure Rd	14.76 FT (4.50 m) to PL	15 FT (4.57 m)

**SETBACKS VARIANCES**

	Required	Proposed
1- Front Yard - North PL : at Westminter highway (BEHIND BUS STOP)	14.76 FT (4.50 m) to new PL	14.27 FT (4.35 m)
2- Front Yard - North PL : at Westminter highway (AT NORTH-EAST CORNER)	14.76 FT (4.50 m) to new PL	13.58 FT (4.14 m)

### TABLE OF CONTENTS

#### RICHMOND APARTMENT

Sheet Number	Sheet Title
A1.0	COVER SHEET
A1.1	STATISTICS- OVERALL&PARKING
A1.2	STATISTICS BUILDING A
A1.3	STATISTICS BUILDING B
A1.4	STATISTICS BUILDING C
A1.5	EXISTING PLAN
PH-00	PHASING- STATISTIC
PH-01	PHASING PLAN-SITE PLAN
A2.0	SITE PLAN
A2.1	PARKADE FLOOR PLAN
A2.2	MAIN PLAZA FLOOR PLAN
A2.3	2ND FLOOR PLAN
A2.4	3RD FLOOR PLAN
A2.5	4TH FLOOR PLAN
A2.6	5TH FLOOR PLAN
A2.7	6TH FLOOR PLAN
A2.8	ROOF FLOOR PLAN
A2.9	ACCESSIBILITY PATHWAYS
A3.0A	MATERIAL BOARD
A3.0	NORTH-SOUTH ELEVATIONS
A3.1	EAST-WEST ELEVATIONS
A3.2	SITE SECTION 1
A3.3	SITE SECTION 2
A5.0	PARKADE AREA OVERLAY
A5.1	FIRST FLOOR AREA OVERLAY
A5.2	SECOND FLOOR AREA OVERLAY
A5.3	THIRD FLOOR AREA OVERLAY
A5.4	FOURTH FLOOR AREA OVERLAY
A5.5	FIFTH FLOOR AREA OVERLAY
A5.6	SIXTH FLOOR AREA OVERLAY

#### BUILDING A

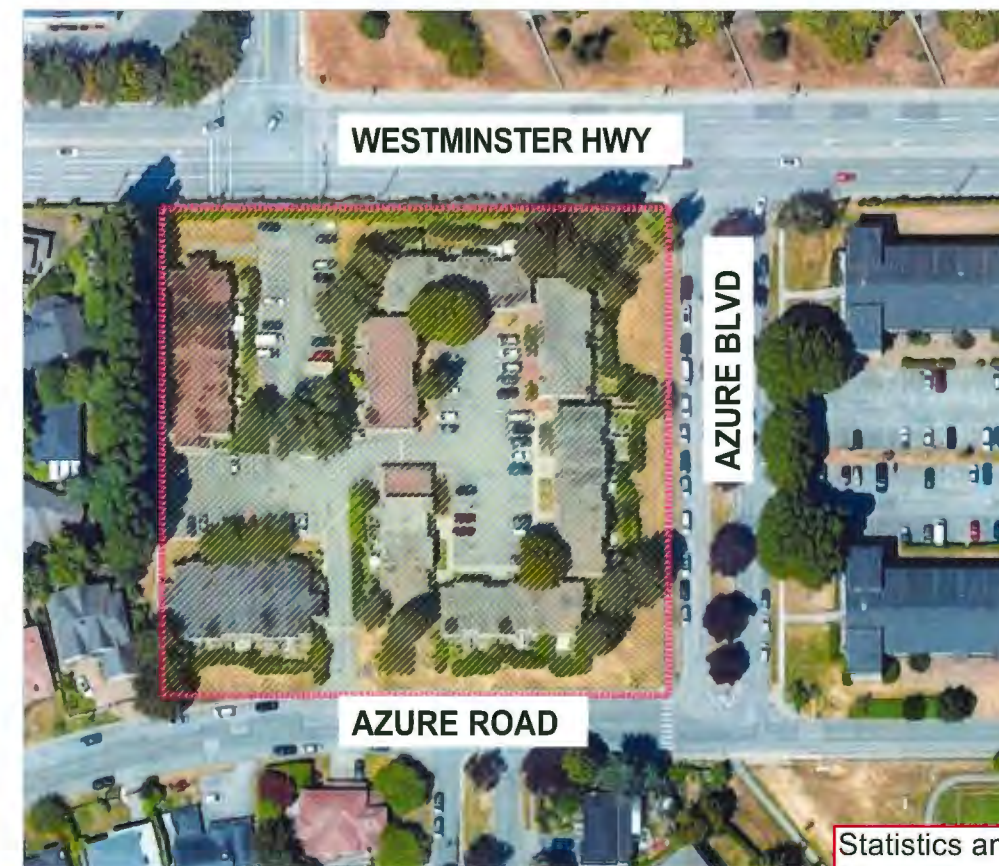
Sheet Number	Sheet Title
A-A1	1ST&2ND FLOOR PLAN BLDG A
A-A2	3RD&4TH FLOOR PLAN BLDG A
A-A3	ROOF FLOOR PLAN BLDG A
A-A4	ELEVATIONS BLDG A
A-A5	SECTIONS BLDG A

#### BUILDING B

Sheet Number	Sheet Title
A-B1	1ST FLOOR PLAN BLDG B
A-B2	2ND FLOOR PLAN BLDG B
A-B3	3RD FLOOR PLAN BLDG B
A-B4	4TH FLOOR PLAN BLDG B
A-B5	5TH FLOOR PLAN BLDG B
A-B6	6TH FLOOR PLAN BLDG B
A-B7	ROOF FLOOR PLAN BLDG B
A-B8	NORTH-SOUTH ELEVATION BLDG B
A-B9	EAST-WEST ELEVATION BLDG B
A-B10	SECTIONS 1,2 BLDG B
A-B11	SECTIONS 3,4 BLDG B
A-B12	SECTION 5,6 BLDG B

#### BUILDING C

Sheet Number	Sheet Title
A-C1	1ST & 2ND FLOOR PLAN BLDG C
A-C2	3RD & 4TH FLOOR PLAN BLDG C
A-C3	ROOF FLOOR PLAN
A-C4	BLDG C ELEVATIONS
A-C5	SECTIONS BUILDING C



Statistics and Notes Sheet

CONSULTANTS
RICHMOND APARTMENT
6071 AZURE ROAD RICHMOND, BC.

DP 23-023854  
May 22, 2024  
DP Plan # 1

18	MAY 23, 2024	ISSUED FOR STAFF COMMENTS
17	MAY 21, 2024	ISSUED FOR STAFF COMMENTS
16	MAY 17, 2024	ISSUED FOR STAFF COMMENTS
15	MAY 17, 2024	RE-SUBMIT OF APPLICATION
14	MAY 17, 2024	RE-SUBMIT OF APPLICATION
13	MAY 17, 2024	RE-SUBMIT OF APPLICATION
12	MAY 17, 2024	RE-SUBMIT OF APPLICATION
11	MAY 17, 2024	RE-SUBMIT OF APPLICATION
10	MAY 17, 2024	RE-SUBMIT OF APPLICATION
9	MAY 17, 2024	RE-SUBMIT OF APPLICATION
8	MAY 17, 2024	RE-SUBMIT OF APPLICATION
7	MAY 17, 2024	RE-SUBMIT OF APPLICATION
6	MAY 17, 2024	RE-SUBMIT OF APPLICATION
5	MAY 17, 2024	RE-SUBMIT OF APPLICATION
4	MAY 17, 2024	RE-SUBMIT OF APPLICATION
3	MAY 17, 2024	RE-SUBMIT OF APPLICATION
2	MAY 17, 2024	RE-SUBMIT OF APPLICATION
1	MAY 17, 2024	RE-SUBMIT OF APPLICATION
DATE	DATE	DESCRIPTION
PROJECT NO.	2311	
CDR FILE	2311-001-000-000-01-01-000	
DRAWN BY	RM	
CHECK BY	JM	
COPYRIGHT		
SHEET TITLE	COVER SHEET	
SHEET	A1.0	OF



# STATISTICS: Summary - Overall & Parking

## Richmond Project- Multi family Residential Development



FAR	
AREA CALCULATIONS	
GROSS SITE AREA	12,005 m2 (129,221 SQ.FT.)
DEDICATION	
NET SITE AREA	11,606 m2(124,933 SQ.FT)
FAR	2.1
SITE COVERAGE	48.97%
AVERAGE FINISHED GRADE	1.22M

RENTAL UNIT TYPES CALCULATION							
Total Unit	LEMR		HILS		Market Rental		TOTAL
	Count	Percentage	Count	Percentage	Count	Percentage	
STUDIO	0	0%	24	22%	19	11%	43
1 BEDROOM	4	8%	62	56%	69	41%	135
2 BEDROOM	14	28%	20	18%	49	29%	83
3 BEDROOM	29	58%	4	4%	33	19%	66
4 BEDROOM	3	6%	0	0%	0	0%	3
BUH Unit	50	100%	110	100%	170	100%	

BUILDING AREA CALCULATION																								
LEVEL	BUILDING A (SQ.M.)								BUILDING B (SQ.M.)								BUILDING C (SQ.M.)							
	LEMR Units Floor Area	HILS Units Floor Area	Market Rental Floor Area	Common Area	Subtotal	Amenity Floor Area	Area Included From FSR	Area Excluded From FSR	LEMR Units Floor Area	HILS Units Floor Area	Market Rental Floor Area	Common Area	Subtotal	Amenity Floor Area	Area Included From FSR	Area Excluded From FSR	LEMR Units Floor Area	HILS Units Floor Area	Market Rental Floor Area	Common Area	Subtotal	Amenity Floor Area	Area Included From FSR	Area Excluded From FSR
PARKING						7								7										
LEVEL 1	1,091	0	0	250	1,341	70	75		0	156	1,312	478	1,946	348		104	1,924	0	0	293	2,217	68		72
LEVEL 2	823	366	74	119	1,382		46			1,196	831	236	2,263			94	169	0	758	154	1,080			49
LEVEL 3	479	582	201	119	1,382		46			814	1,213	236	2,263			94	0	0	1,594	154	1,748			49
LEVEL 4		530	733	119	1,382		46			814	1,213	236	2,263			94	0	0	1,594	154	1,748			49
LEVEL 5										767	738	178	1,683			72								
LEVEL 6										721	773	179	1,673			76								
Total	2,394	1,479	1,008	608	5,489	77	213	0		4,467	6,081	1,543	12,091	355		536	2,093	0	3,946	755	6,794	78		219

FAR CALCULATION		
Rental Type	Total Floor Area (SQ.M.)	FAR
LEMR Units	4,487	0.39
HILS Units	5,946	0.51
Market Rental	11,034	0.95
Common Area	2,906	0.25
Total	24,373	2.1

AMENITY SPACE CALCULATIONS			
		AREA REQUIRED (Sq.m)	AREA PROVIDED (Sq.m.)
INDOOR	21.5 sq.ft per Unit (2.0 sq.m per Unit)	300	510
OUTDOOR	5.95 sm/64 sq.ft per Unit	1,980	Total: 3,565 sq.m
			(1st floor: 3015sq.m + 5th Floor: 550 sq.m)

RESIDENTIAL UNIT CALCULATION			
LEVEL	BUILDING A	BUILDING B	BUILDING C
PARKING			
LEVEL 1	11	17	22
LEVEL 2	15	34	17
LEVEL 3	15	34	29
LEVEL 4	15	34	29
LEVEL 5	-	29	-
LEVEL 6	-	29	-
SUBTOTAL	56	177	97
NET TOTAL		330	

PARKING PROVISION					
	BYLAWS	TOTAL UNIT	PARKING REQUIRED	PARKING PROVIDED	NOTE
MARKET RENTAL	0.72 PER UNIT	170	123	222	
HILS UNITS	0.6 PER UNIT	110	66		
LEMR UNITS	0.6 PER UNIT	50	30		
VISITOR	0.16 PER UNIT	330	53	53	
TOTAL			272	275	
				6 HC PARKING	( 2% ACCESSIBLE STALLS)
				137 SMALL CAR	(49.81% SMALL CAR STALLS)

BICYCLE PARKING PROVISION				
	BYLAWS	TOTAL UNIT	PARKING REQUIRED	TOTAL PROVIDED
CLASS 1	2 PER UNIT	330	660	660 (219 VERTICAL= 33.2%)
CLASS2	0.2 PER UNIT	330	66	67

MULTI-FAMILY WASTE ROOM INFORMATION TABLE				
SIZE	1659 sq.f (154 sq.m)			
LOCATION	PARKADE LEVEL-AT GRADE			
ACCESS INFORMATION	OPEN TO RESIDENTS 24/7			
NUMBER OF UNITS	330			
WASTE SERVICES PROVIDED	STORAGE ARE REQUIRED FOR ONE	NUMBER OF BINS	TOTAL SPACE REQUIRED	
RESIDENTIAL MIXED CONTAINERS	1.26m2	14	17.64m2	189.88ft2
RESIDENTIAL REFUNDABLE BEVERAGE CONTAINERS	0.97m2	7	6.79m2	73.09ft2
RESIDENTIAL MIXED PAPER	1.26m2	10	12.60m2	135.63ft2
RESIDENTIAL GLASS	0.97m2	2	1.94m2	20.88ft2
RESIDENTIAL FOOD SCRAPS, AND YARD TRIMMINGS	0.97m2	13	12.61m2	135.73ft2
RESIDENTIAL CORRUGATED CARDBOARD	7.67m2	1	7.67m2	82.56ft2
RESIDENTIAL GARBAGE	7.67m2	7	53.69m2	577.91ft2
TOTAL			112.94m2	1215.67ft2
SPACE ALLOCATION FOR STORAGE FACILITY NEEDED:			122.15m2	1314.81ft2

UNIT COUNT							
BUILDING A - LEMR+HILS+MARKET RENTAL							
	Studio	1BR	2BR	3BR	4BR	Total	
Level 1	0	1	3	4	3	11	
Level 2	0	1	7	7	0	15	
Level 3	0	1	7	7	0	15	
Level 4	0	1	7	7	0	15	
Total	0	4	24	25	3	56	
Percentage	0%	7%	43%	45%	5%	100%	

UNIT COUNT							
BUILDING B - LEMR + HILS+MARKET RENTAL							
	Studio	1BR	2BR	3BR	4BR	Total	
Level 1	0	3	0	14	0	17	
Level 2	4	15	12	3	0	34	
Level 3	4	15	12	3	0	34	
Level 4	4	15	12	3	0	34	
Level 5	8	16	3	2	0	29	
Level 6	8	16	3	2	0	29	
Total	28	80	42	27	0	177	
Percentage	16%	45%	24%	15%	0%	100%	

UNIT COUNT							
BUILDING C - LEMR +MARKET RENTAL							
	Studio	1BR	2BR	3BR	4BR	Total	
Level 1	0	0	9	13	0	22	
Level 2	5	9	2	1	0	17	
Level 3	5	21	2	1	0	29	
Level 4	5	21	2	1	0	29	
Total	15	51	15	16	0	97	
Percentage	15%	53%	15%	16%	0%	100%	

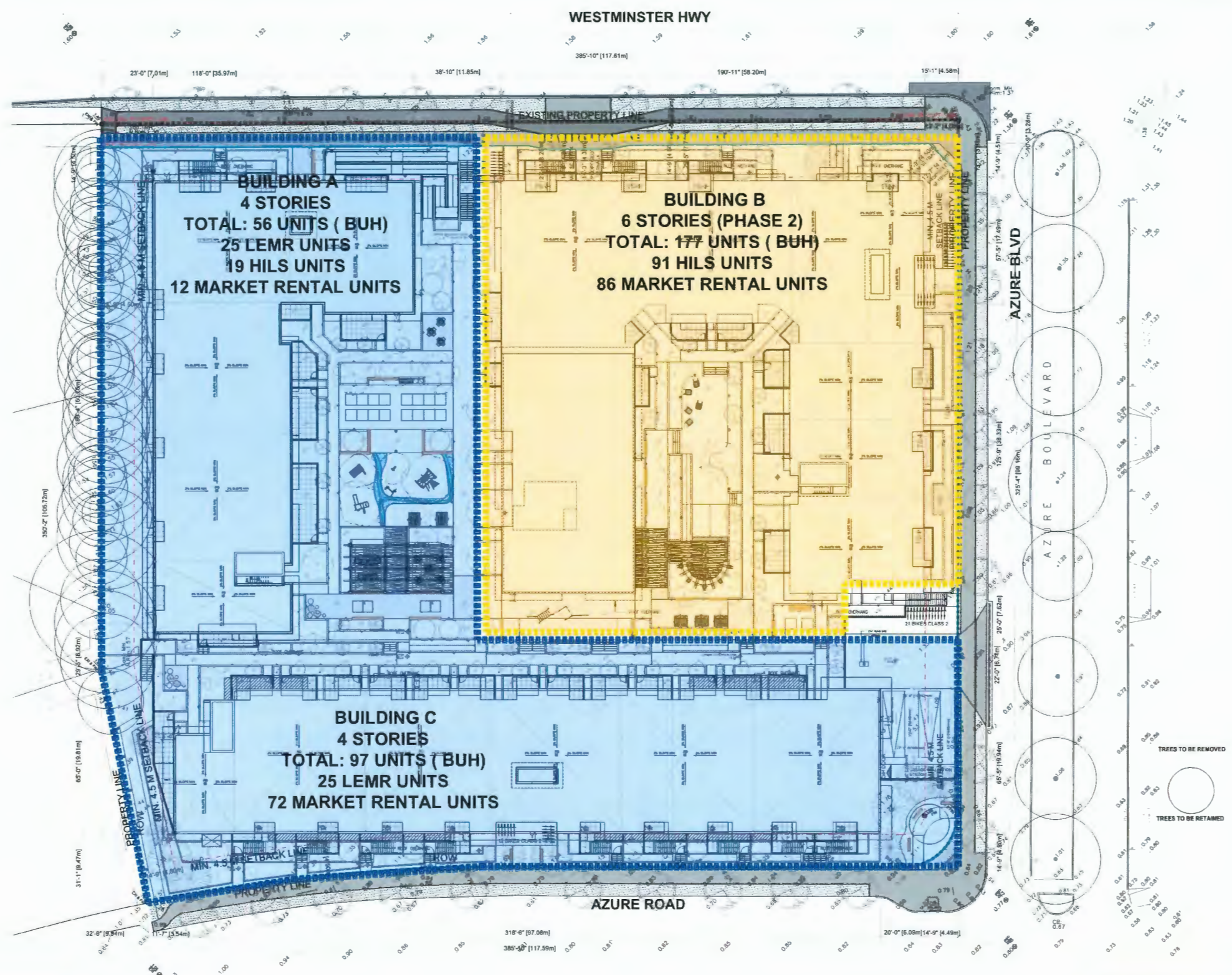
LOADING PROVISION	
REQUIRED	1
PROVIDED	2

DP 23-023854  
May 22, 2024  
DP Plan # 2

PROJECT NO:	2311
DATE FILED:	MAY 22 2024
DRAWN BY:	BR
CHECKED BY:	JH
COPYRIGHT:	
SHEET TITLE:	STATISTICS-OVERALL&PARKING
SHEET NO:	A1.1
TOTAL SHEETS:	1



DP 23-023854  
 May 22, 2024  
 DP Plan # 3



**PHASE 1 - SITE PLAN**

TOTAL: 153 UNITS (BUH) - BLDG A&C  
 50 LEMR UNITS  
 19 HILS UNITS  
 84 MARKET RENTAL UNITS  
 INCLUDED FULL PARKADE  
 BLDG A&C + PARKING ENTRY AREA  
 FULLY FINISHED AND OPERATION

BLDG B SERVICE ROOM TO BE FINISHED  
 THE REST ARE UP TO STRUCTURE  
 COMPLETION

**1 PHASING PLAN-SITE PLAN**  
 PH-01 SCALE: 3/32"=1'-0"

TOTAL: PHASE 1+ PHASE 2  
 330 UNITS (BUH)  
 50 LEMR UNITS  
 110 HILS UNITS  
 170 MARKET RENTAL UNITS  
 PARKING :  
 REQUIRED 272  
 PROVIDED 275



**PHASE 2**  
 TOTAL: 177 UNITS (BUH) - BLDG B  
 0 LEMR UNITS  
 91 HILS UNITS  
 86 MARKET RENTAL UNITS

NO.	DATE	DESCRIPTION
1	2024.05.22	ISSUED FOR SHAW CONSULTING
2	2024.05.22	ISSUED FOR SHAW CONSULTING
3	2024.05.22	ISSUED FOR SHAW CONSULTING
4	2024.05.22	ISSUED FOR SHAW CONSULTING
5	2024.05.22	ISSUED FOR SHAW CONSULTING
6	2024.05.22	ISSUED FOR SHAW CONSULTING
7	2024.05.22	ISSUED FOR SHAW CONSULTING
8	2024.05.22	ISSUED FOR SHAW CONSULTING
9	2024.05.22	ISSUED FOR SHAW CONSULTING
10	2024.05.22	ISSUED FOR SHAW CONSULTING
11	2024.05.22	ISSUED FOR SHAW CONSULTING
12	2024.05.22	ISSUED FOR SHAW CONSULTING
13	2024.05.22	ISSUED FOR SHAW CONSULTING
14	2024.05.22	ISSUED FOR SHAW CONSULTING
15	2024.05.22	ISSUED FOR SHAW CONSULTING
16	2024.05.22	ISSUED FOR SHAW CONSULTING
17	2024.05.22	ISSUED FOR SHAW CONSULTING
18	2024.05.22	ISSUED FOR SHAW CONSULTING
19	2024.05.22	ISSUED FOR SHAW CONSULTING
20	2024.05.22	ISSUED FOR SHAW CONSULTING
21	2024.05.22	ISSUED FOR SHAW CONSULTING
22	2024.05.22	ISSUED FOR SHAW CONSULTING
23	2024.05.22	ISSUED FOR SHAW CONSULTING
24	2024.05.22	ISSUED FOR SHAW CONSULTING
25	2024.05.22	ISSUED FOR SHAW CONSULTING
26	2024.05.22	ISSUED FOR SHAW CONSULTING
27	2024.05.22	ISSUED FOR SHAW CONSULTING
28	2024.05.22	ISSUED FOR SHAW CONSULTING
29	2024.05.22	ISSUED FOR SHAW CONSULTING
30	2024.05.22	ISSUED FOR SHAW CONSULTING
31	2024.05.22	ISSUED FOR SHAW CONSULTING
32	2024.05.22	ISSUED FOR SHAW CONSULTING
33	2024.05.22	ISSUED FOR SHAW CONSULTING
34	2024.05.22	ISSUED FOR SHAW CONSULTING
35	2024.05.22	ISSUED FOR SHAW CONSULTING
36	2024.05.22	ISSUED FOR SHAW CONSULTING
37	2024.05.22	ISSUED FOR SHAW CONSULTING
38	2024.05.22	ISSUED FOR SHAW CONSULTING
39	2024.05.22	ISSUED FOR SHAW CONSULTING
40	2024.05.22	ISSUED FOR SHAW CONSULTING
41	2024.05.22	ISSUED FOR SHAW CONSULTING
42	2024.05.22	ISSUED FOR SHAW CONSULTING
43	2024.05.22	ISSUED FOR SHAW CONSULTING
44	2024.05.22	ISSUED FOR SHAW CONSULTING
45	2024.05.22	ISSUED FOR SHAW CONSULTING
46	2024.05.22	ISSUED FOR SHAW CONSULTING
47	2024.05.22	ISSUED FOR SHAW CONSULTING
48	2024.05.22	ISSUED FOR SHAW CONSULTING
49	2024.05.22	ISSUED FOR SHAW CONSULTING
50	2024.05.22	ISSUED FOR SHAW CONSULTING
51	2024.05.22	ISSUED FOR SHAW CONSULTING
52	2024.05.22	ISSUED FOR SHAW CONSULTING
53	2024.05.22	ISSUED FOR SHAW CONSULTING
54	2024.05.22	ISSUED FOR SHAW CONSULTING
55	2024.05.22	ISSUED FOR SHAW CONSULTING
56	2024.05.22	ISSUED FOR SHAW CONSULTING
57	2024.05.22	ISSUED FOR SHAW CONSULTING
58	2024.05.22	ISSUED FOR SHAW CONSULTING
59	2024.05.22	ISSUED FOR SHAW CONSULTING
60	2024.05.22	ISSUED FOR SHAW CONSULTING
61	2024.05.22	ISSUED FOR SHAW CONSULTING
62	2024.05.22	ISSUED FOR SHAW CONSULTING
63	2024.05.22	ISSUED FOR SHAW CONSULTING
64	2024.05.22	ISSUED FOR SHAW CONSULTING
65	2024.05.22	ISSUED FOR SHAW CONSULTING
66	2024.05.22	ISSUED FOR SHAW CONSULTING
67	2024.05.22	ISSUED FOR SHAW CONSULTING
68	2024.05.22	ISSUED FOR SHAW CONSULTING
69	2024.05.22	ISSUED FOR SHAW CONSULTING
70	2024.05.22	ISSUED FOR SHAW CONSULTING
71	2024.05.22	ISSUED FOR SHAW CONSULTING
72	2024.05.22	ISSUED FOR SHAW CONSULTING
73	2024.05.22	ISSUED FOR SHAW CONSULTING
74	2024.05.22	ISSUED FOR SHAW CONSULTING
75	2024.05.22	ISSUED FOR SHAW CONSULTING
76	2024.05.22	ISSUED FOR SHAW CONSULTING
77	2024.05.22	ISSUED FOR SHAW CONSULTING
78	2024.05.22	ISSUED FOR SHAW CONSULTING
79	2024.05.22	ISSUED FOR SHAW CONSULTING
80	2024.05.22	ISSUED FOR SHAW CONSULTING
81	2024.05.22	ISSUED FOR SHAW CONSULTING
82	2024.05.22	ISSUED FOR SHAW CONSULTING
83	2024.05.22	ISSUED FOR SHAW CONSULTING
84	2024.05.22	ISSUED FOR SHAW CONSULTING
85	2024.05.22	ISSUED FOR SHAW CONSULTING
86	2024.05.22	ISSUED FOR SHAW CONSULTING
87	2024.05.22	ISSUED FOR SHAW CONSULTING
88	2024.05.22	ISSUED FOR SHAW CONSULTING
89	2024.05.22	ISSUED FOR SHAW CONSULTING
90	2024.05.22	ISSUED FOR SHAW CONSULTING
91	2024.05.22	ISSUED FOR SHAW CONSULTING
92	2024.05.22	ISSUED FOR SHAW CONSULTING
93	2024.05.22	ISSUED FOR SHAW CONSULTING
94	2024.05.22	ISSUED FOR SHAW CONSULTING
95	2024.05.22	ISSUED FOR SHAW CONSULTING
96	2024.05.22	ISSUED FOR SHAW CONSULTING
97	2024.05.22	ISSUED FOR SHAW CONSULTING
98	2024.05.22	ISSUED FOR SHAW CONSULTING
99	2024.05.22	ISSUED FOR SHAW CONSULTING
100	2024.05.22	ISSUED FOR SHAW CONSULTING

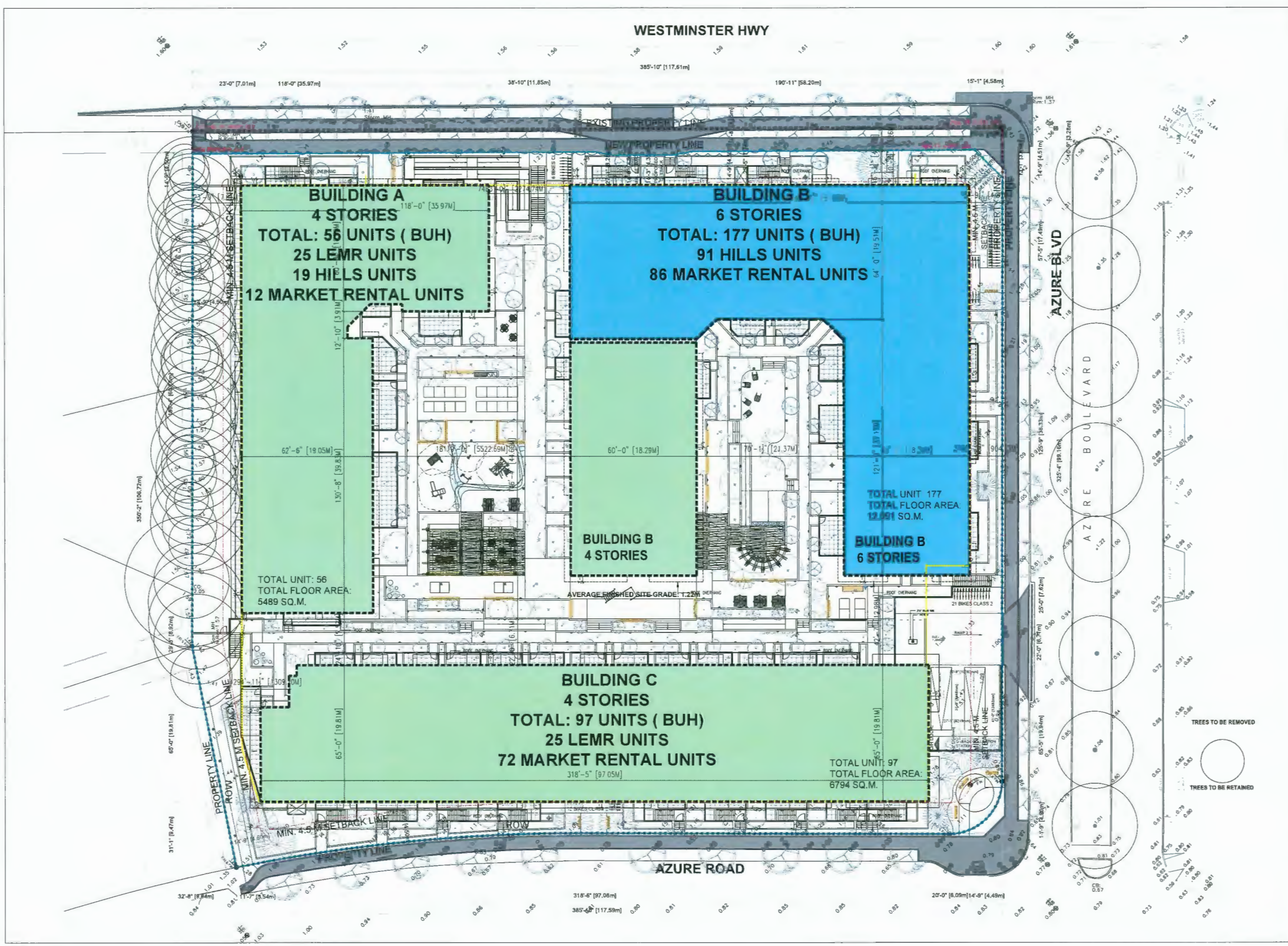




**HNP**  
 ARCHITECTURE+PLANNING INC  
 2983 W. 41ST AVENUE  
 VANCOUVER, BC CANADA V6N 3C8  
 EMAIL: office@hnpdesign.com  
 TEL: 604-726-1338  
 604-559-8566

RICHMOND APARTMENT  
 6071 AZURE ROAD  
 RICHMOND, BC.

DP 23-023854  
 May 22, 2024  
 DP Plan # 4



SETBACKS	Required	Proposed
Front Yard - North PL : at Westminter highway	14.76 FT (4.50 m) to new PL	15 FT (4.57 m)
Side Yard - East PL : at Azure Blvd	14.76 FT (4.50 m) to PL	15 FT (4.57 m)
Side Yard - West PL : at Neighbour	14.76 FT (4.50 m) to PL	23 FT (7.01 m)
Rear Yard - South PL : at Azure Rd	14.76 FT (4.50 m) to PL	15 FT (4.57 m)

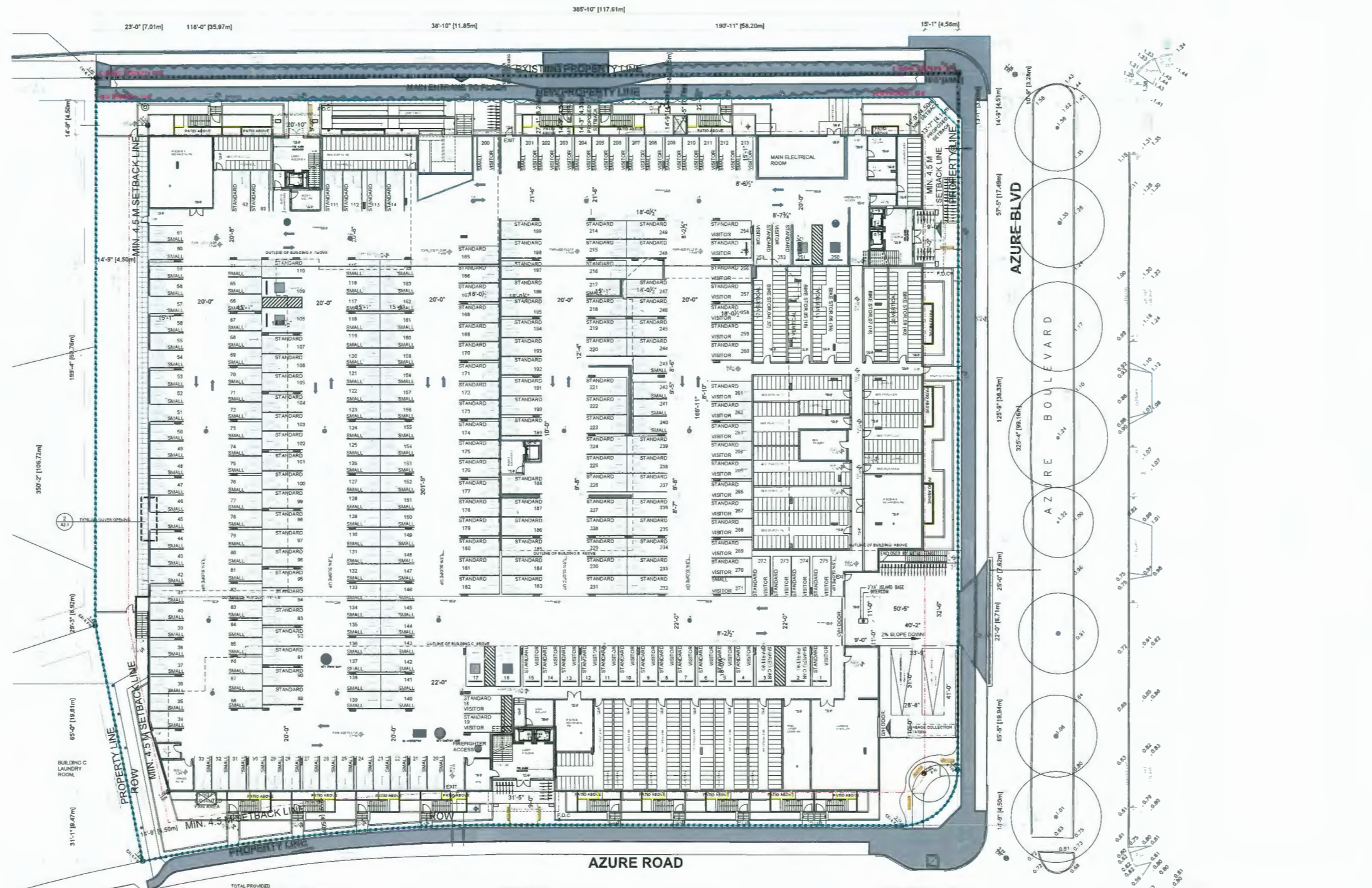
SETBACKS VARIANCES	Required	Proposed
1- Front Yard - North PL : at Westminter highway (BEHIND BUS STOP)	14.76 FT (4.50 m) to new PL	14.27 FT (4.35 m)
2- Front Yard - North PL : at Westminter highway (AT NORTH-EAST CORNER)	14.76 FT (4.50 m) to new PL	13.58 FT (4.14 m)

**SITE PLAN**  
 SCALE: 1/16"=1'-0"

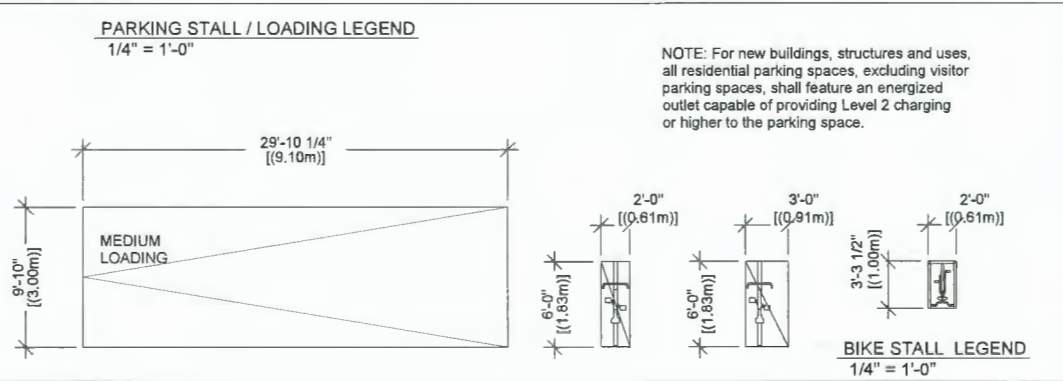
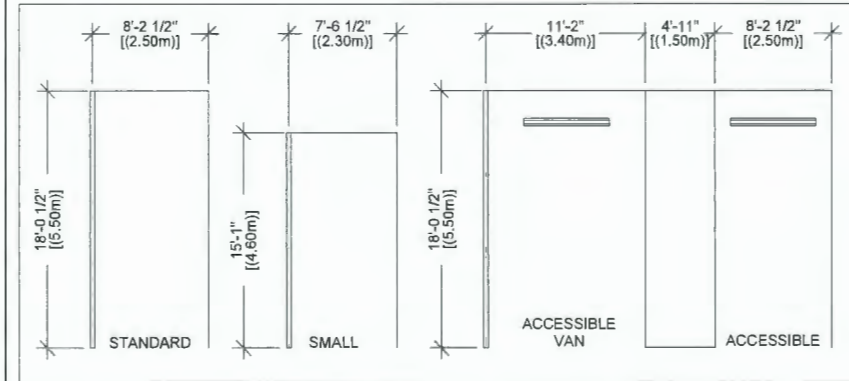
18	MAY 21 2024	ISSUE FOR PERMITS
17	MAY 21 2024	ISSUE FOR PERMITS
16	MAY 21 2024	ISSUE FOR PERMITS
15	MAY 21 2024	ISSUE FOR PERMITS
14	MAY 21 2024	ISSUE FOR PERMITS
13	MAY 21 2024	ISSUE FOR PERMITS
12	MAY 21 2024	ISSUE FOR PERMITS
11	MAY 21 2024	ISSUE FOR PERMITS
10	MAY 21 2024	ISSUE FOR PERMITS
9	MAY 21 2024	ISSUE FOR PERMITS
8	MAY 21 2024	ISSUE FOR PERMITS
7	MAY 21 2024	ISSUE FOR PERMITS
6	MAY 21 2024	ISSUE FOR PERMITS
5	MAY 21 2024	ISSUE FOR PERMITS
4	MAY 21 2024	ISSUE FOR PERMITS
3	MAY 21 2024	ISSUE FOR PERMITS
2	MAY 21 2024	ISSUE FOR PERMITS
1	MAY 21 2024	ISSUE FOR PERMITS
PROJECT NO	2301	
DATE FILED	MAY 22 2024 10:48 AM	
DRAWN BY	MM	
CHECKED BY	MM	
COPYRIGHT		
SHEET TITLE	SITE PLAN	
SHEET NO	A2.0	



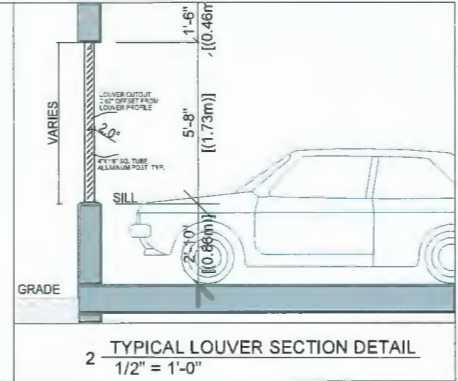
WESTMINSTER HWY



1 PARKADE FLOOR PLAN  
SCALE: 1/16" = 1'-0"



NOTE: For new buildings, structures and uses, all residential parking spaces, excluding visitor parking spaces, shall feature an energized outlet capable of providing Level 2 charging or higher to the parking space.



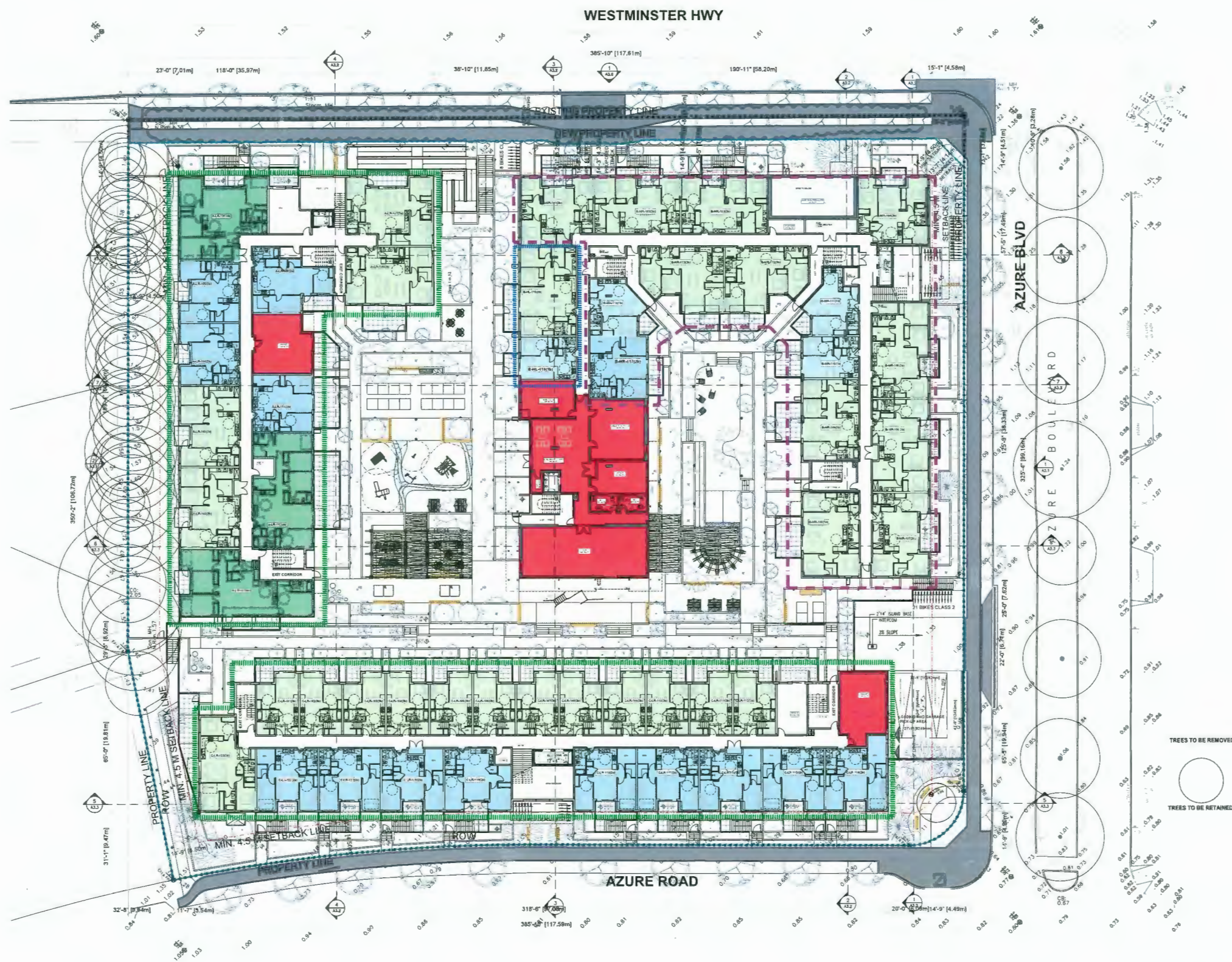
DP 23-023854  
May 22, 2024  
DP Plan # 5

**H N P A**  
ARCHITECTURE+PLANNING INC  
2983 W. 41ST AVENUE  
VANCOUVER, BC CANADA V6N 3C8  
EMAIL: office@hnpdesign.com  
TEL: 604-726-1338  
604-559-8566

RICHMOND APARTMENT  
6071 AZURE ROAD  
RICHMOND, BC.

17	REV 23	2024	ISSUE FOR SHOT CONCRETE
16	REV 22	2024	ISSUE FOR SHOT CONCRETE
15	REV 21	2024	ISSUE FOR SHOT CONCRETE
14	REV 20	2024	ISSUE FOR SHOT CONCRETE
13	REV 19	2024	ISSUE FOR SHOT CONCRETE
12	REV 18	2024	ISSUE FOR SHOT CONCRETE
11	REV 17	2024	ISSUE FOR SHOT CONCRETE
10	REV 16	2024	ISSUE FOR SHOT CONCRETE
9	REV 15	2024	ISSUE FOR SHOT CONCRETE
8	REV 14	2024	ISSUE FOR SHOT CONCRETE
7	REV 13	2024	ISSUE FOR SHOT CONCRETE
6	REV 12	2024	ISSUE FOR SHOT CONCRETE
5	REV 11	2024	ISSUE FOR SHOT CONCRETE
4	REV 10	2024	ISSUE FOR SHOT CONCRETE
3	REV 09	2024	ISSUE FOR SHOT CONCRETE
2	REV 08	2024	ISSUE FOR SHOT CONCRETE
1	REV 07	2024	ISSUE FOR SHOT CONCRETE
DATE	1	DESCRIPTION	
PROJECT NO.	2311		
CAD FILE	2311-02-01-01-01 PARKADE FLOOR PLAN		
DRAWN BY	MP		
CHECKED BY	AM		
COPYRIGHT			
SHEET TITLE	PARKADE FLOOR PLAN		
SHEET NO.	A2.1		





WESTMINSTER HWY

AZURE ROAD

AZURE BLVD

AZURE BOULEVARD

1 MAIN PLAZA FLOOR PLAN  
A2.2 SCALE: 1/16"=1'-0"

LEGEND:

**NOTE on BUH Requirement**  
All Units of housing in this project will be designed and designated as "Basic Universal Housing" (BUH)

RICHMOND APARTMENT  
6071 AZURE ROAD  
RICHMOND, BC.

DP 23-023854  
May 22, 2024  
DP Plan # 6

LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM

- LEMR UNITS AREA (ZONE 1)
- HILLS UNITS AREA (ZONE 2)
- MARKET RENTAL UNITS AREA (ZONE 3)

NO.	DATE	DESCRIPTION
18	MAY 21, 2024	ISSUE FOR PERMITS
17	MAY 21, 2024	ISSUE FOR PERMITS
16	MAY 21, 2024	ISSUE FOR PERMITS
15	MAY 21, 2024	ISSUE FOR PERMITS
14	MAY 21, 2024	ISSUE FOR PERMITS
13	MAY 21, 2024	ISSUE FOR PERMITS
12	MAY 21, 2024	ISSUE FOR PERMITS
11	MAY 21, 2024	ISSUE FOR PERMITS
10	MAY 21, 2024	ISSUE FOR PERMITS
9	MAY 21, 2024	ISSUE FOR PERMITS
8	MAY 21, 2024	ISSUE FOR PERMITS
7	MAY 21, 2024	ISSUE FOR PERMITS
6	MAY 21, 2024	ISSUE FOR PERMITS
5	MAY 21, 2024	ISSUE FOR PERMITS
4	MAY 21, 2024	ISSUE FOR PERMITS
3	MAY 21, 2024	ISSUE FOR PERMITS
2	MAY 21, 2024	ISSUE FOR PERMITS
1	MAY 21, 2024	ISSUE FOR PERMITS

NO.	DATE	DESCRIPTION
18	MAY 21, 2024	ISSUE FOR PERMITS
17	MAY 21, 2024	ISSUE FOR PERMITS
16	MAY 21, 2024	ISSUE FOR PERMITS
15	MAY 21, 2024	ISSUE FOR PERMITS
14	MAY 21, 2024	ISSUE FOR PERMITS
13	MAY 21, 2024	ISSUE FOR PERMITS
12	MAY 21, 2024	ISSUE FOR PERMITS
11	MAY 21, 2024	ISSUE FOR PERMITS
10	MAY 21, 2024	ISSUE FOR PERMITS
9	MAY 21, 2024	ISSUE FOR PERMITS
8	MAY 21, 2024	ISSUE FOR PERMITS
7	MAY 21, 2024	ISSUE FOR PERMITS
6	MAY 21, 2024	ISSUE FOR PERMITS
5	MAY 21, 2024	ISSUE FOR PERMITS
4	MAY 21, 2024	ISSUE FOR PERMITS
3	MAY 21, 2024	ISSUE FOR PERMITS
2	MAY 21, 2024	ISSUE FOR PERMITS
1	MAY 21, 2024	ISSUE FOR PERMITS

PROJECT NO: 2211  
DATE: 2024-05-21  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
DATE: 2024-05-21

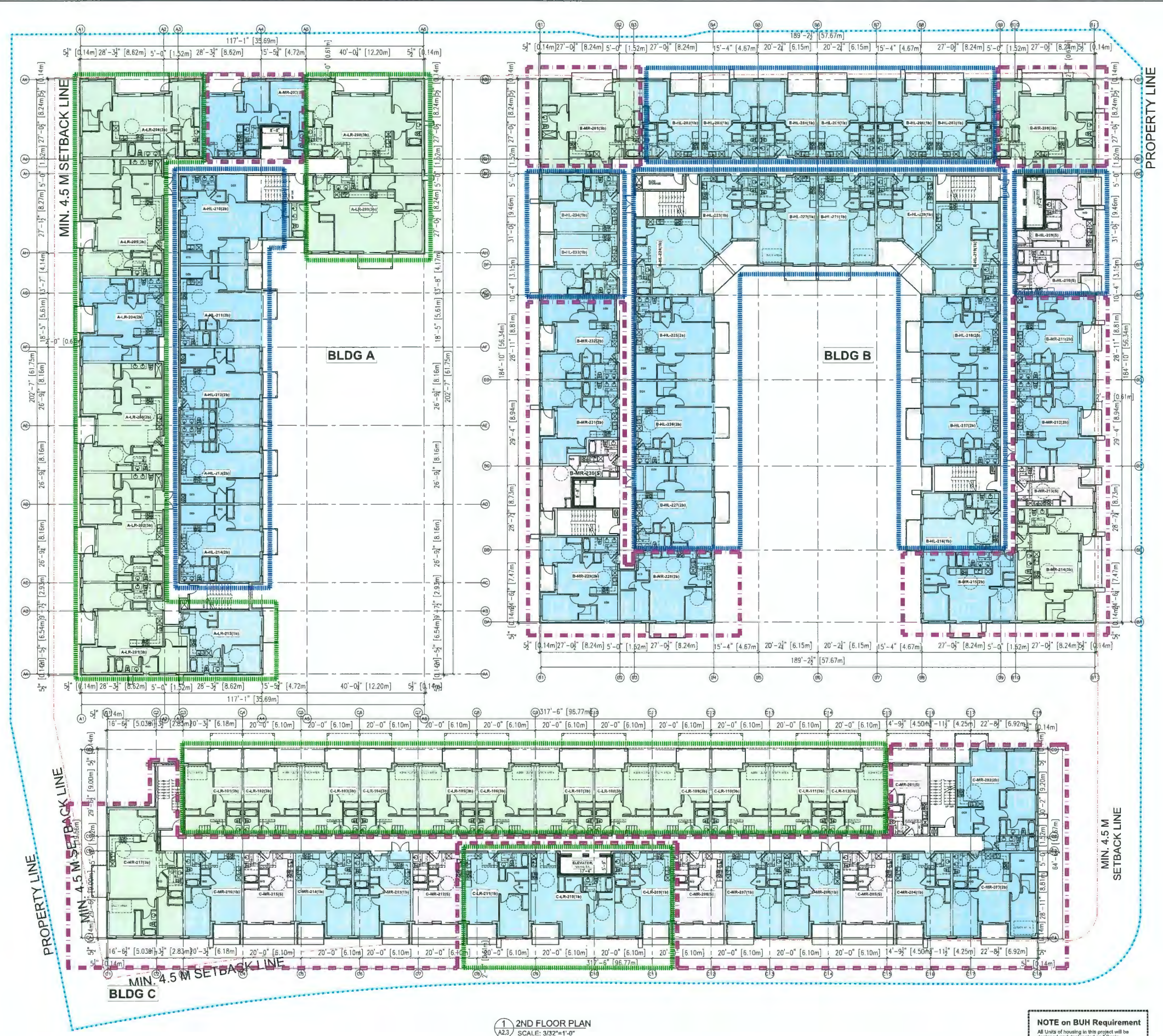
SHEET TITLE: MAIN PLAZA FLOOR PLAN  
SHEET NO: A2.2



**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 7**

**LEGEND**

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM
- LEMR UNITS AREA
- HILS UNITS AREA
- MARKET RENTAL UNITS AREA

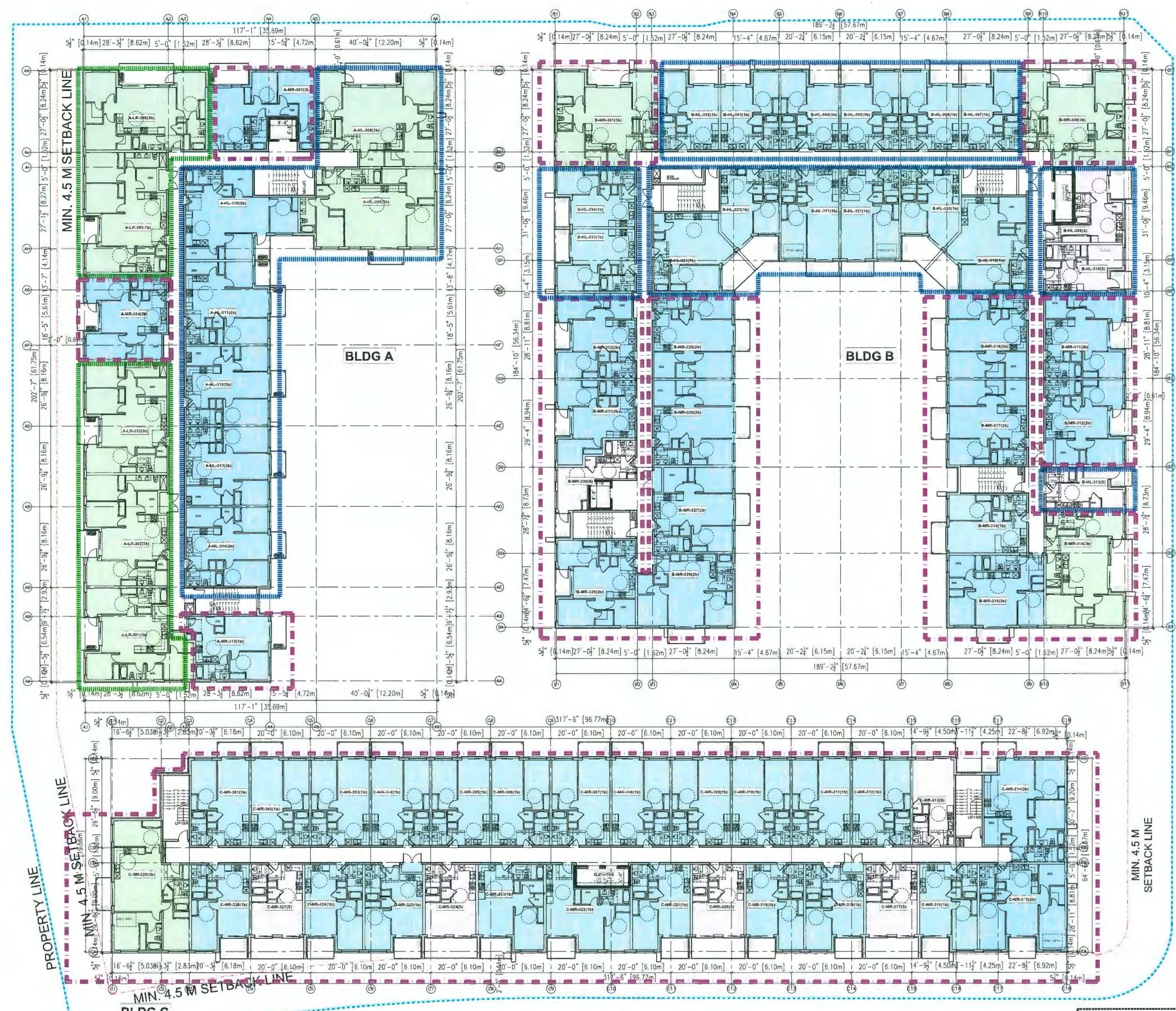


**1 2ND FLOOR PLAN**  
 SCALE: 3/32"=1'-0"

**NOTE on BUH Requirement**  
 All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH

18	1807-21-2014	ISSUE FOR SHEET CHANGES
17	1807-21-2014	ISSUE FOR SHEET CHANGES
16	1807-21-2014	RE-CHECK OF APPLICATION
15	1807-21-2014	RE-CHECK OF APPLICATION
14	1807-21-2014	RE-CHECK OF APPLICATION
13	1807-21-2014	RE-CHECK OF APPLICATION
12	1807-21-2014	RE-CHECK OF APPLICATION
11	1807-21-2014	RE-CHECK OF APPLICATION
10	1807-21-2014	RE-CHECK OF APPLICATION
9	1807-21-2014	RE-CHECK OF APPLICATION
8	1807-21-2014	RE-CHECK OF APPLICATION
7	1807-21-2014	RE-CHECK OF APPLICATION
6	1807-21-2014	RE-CHECK OF APPLICATION
5	1807-21-2014	RE-CHECK OF APPLICATION
4	1807-21-2014	RE-CHECK OF APPLICATION
3	1807-21-2014	RE-CHECK OF APPLICATION
2	1807-21-2014	RE-CHECK OF APPLICATION
1	1807-21-2014	RE-CHECK OF APPLICATION





**DP 23-023854**  
 May 22, 2024  
 DP Plan # 8

**LEGEND**

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM

- LEMR UNITS AREA
- HILS UNITS AREA
- MARKET RENTAL UNITS AREA

NO.	DATE	DESCRIPTION
1	2023-05-22	ISSUE FOR PERMITS
2	2023-05-22	ISSUE FOR PERMITS
3	2023-05-22	ISSUE FOR PERMITS
4	2023-05-22	ISSUE FOR PERMITS
5	2023-05-22	ISSUE FOR PERMITS
6	2023-05-22	ISSUE FOR PERMITS
7	2023-05-22	ISSUE FOR PERMITS
8	2023-05-22	ISSUE FOR PERMITS
9	2023-05-22	ISSUE FOR PERMITS
10	2023-05-22	ISSUE FOR PERMITS
11	2023-05-22	ISSUE FOR PERMITS
12	2023-05-22	ISSUE FOR PERMITS
13	2023-05-22	ISSUE FOR PERMITS
14	2023-05-22	ISSUE FOR PERMITS
15	2023-05-22	ISSUE FOR PERMITS
16	2023-05-22	ISSUE FOR PERMITS
17	2023-05-22	ISSUE FOR PERMITS
18	2023-05-22	ISSUE FOR PERMITS
19	2023-05-22	ISSUE FOR PERMITS
20	2023-05-22	ISSUE FOR PERMITS
21	2023-05-22	ISSUE FOR PERMITS
22	2023-05-22	ISSUE FOR PERMITS
23	2023-05-22	ISSUE FOR PERMITS
24	2023-05-22	ISSUE FOR PERMITS
25	2023-05-22	ISSUE FOR PERMITS
26	2023-05-22	ISSUE FOR PERMITS
27	2023-05-22	ISSUE FOR PERMITS
28	2023-05-22	ISSUE FOR PERMITS
29	2023-05-22	ISSUE FOR PERMITS
30	2023-05-22	ISSUE FOR PERMITS
31	2023-05-22	ISSUE FOR PERMITS
32	2023-05-22	ISSUE FOR PERMITS
33	2023-05-22	ISSUE FOR PERMITS
34	2023-05-22	ISSUE FOR PERMITS
35	2023-05-22	ISSUE FOR PERMITS
36	2023-05-22	ISSUE FOR PERMITS
37	2023-05-22	ISSUE FOR PERMITS
38	2023-05-22	ISSUE FOR PERMITS
39	2023-05-22	ISSUE FOR PERMITS
40	2023-05-22	ISSUE FOR PERMITS
41	2023-05-22	ISSUE FOR PERMITS
42	2023-05-22	ISSUE FOR PERMITS
43	2023-05-22	ISSUE FOR PERMITS
44	2023-05-22	ISSUE FOR PERMITS
45	2023-05-22	ISSUE FOR PERMITS
46	2023-05-22	ISSUE FOR PERMITS
47	2023-05-22	ISSUE FOR PERMITS
48	2023-05-22	ISSUE FOR PERMITS
49	2023-05-22	ISSUE FOR PERMITS
50	2023-05-22	ISSUE FOR PERMITS
51	2023-05-22	ISSUE FOR PERMITS
52	2023-05-22	ISSUE FOR PERMITS
53	2023-05-22	ISSUE FOR PERMITS
54	2023-05-22	ISSUE FOR PERMITS
55	2023-05-22	ISSUE FOR PERMITS
56	2023-05-22	ISSUE FOR PERMITS
57	2023-05-22	ISSUE FOR PERMITS
58	2023-05-22	ISSUE FOR PERMITS
59	2023-05-22	ISSUE FOR PERMITS
60	2023-05-22	ISSUE FOR PERMITS
61	2023-05-22	ISSUE FOR PERMITS
62	2023-05-22	ISSUE FOR PERMITS
63	2023-05-22	ISSUE FOR PERMITS
64	2023-05-22	ISSUE FOR PERMITS
65	2023-05-22	ISSUE FOR PERMITS
66	2023-05-22	ISSUE FOR PERMITS
67	2023-05-22	ISSUE FOR PERMITS
68	2023-05-22	ISSUE FOR PERMITS
69	2023-05-22	ISSUE FOR PERMITS
70	2023-05-22	ISSUE FOR PERMITS
71	2023-05-22	ISSUE FOR PERMITS
72	2023-05-22	ISSUE FOR PERMITS
73	2023-05-22	ISSUE FOR PERMITS
74	2023-05-22	ISSUE FOR PERMITS
75	2023-05-22	ISSUE FOR PERMITS
76	2023-05-22	ISSUE FOR PERMITS
77	2023-05-22	ISSUE FOR PERMITS
78	2023-05-22	ISSUE FOR PERMITS
79	2023-05-22	ISSUE FOR PERMITS
80	2023-05-22	ISSUE FOR PERMITS
81	2023-05-22	ISSUE FOR PERMITS
82	2023-05-22	ISSUE FOR PERMITS
83	2023-05-22	ISSUE FOR PERMITS
84	2023-05-22	ISSUE FOR PERMITS
85	2023-05-22	ISSUE FOR PERMITS
86	2023-05-22	ISSUE FOR PERMITS
87	2023-05-22	ISSUE FOR PERMITS
88	2023-05-22	ISSUE FOR PERMITS
89	2023-05-22	ISSUE FOR PERMITS
90	2023-05-22	ISSUE FOR PERMITS
91	2023-05-22	ISSUE FOR PERMITS
92	2023-05-22	ISSUE FOR PERMITS
93	2023-05-22	ISSUE FOR PERMITS
94	2023-05-22	ISSUE FOR PERMITS
95	2023-05-22	ISSUE FOR PERMITS
96	2023-05-22	ISSUE FOR PERMITS
97	2023-05-22	ISSUE FOR PERMITS
98	2023-05-22	ISSUE FOR PERMITS
99	2023-05-22	ISSUE FOR PERMITS
100	2023-05-22	ISSUE FOR PERMITS

**NOTE on BUH Requirement**  
 All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH.

1 3RD FLOOR PLAN  
 AZ.4  
 SCALE: 3/32"=1'-0"

SHEET TITLE  
 3RD FLOOR PLAN





**HNPA**  
 ARCHITECTURE+PLANNING INC  
 2883 W. 41ST AVENUE  
 VANCOUVER BC CANADA V6N 3C8  
 EMAIL: office@hnpadesign.com  
 TEL: 604-726-1238  
 604-559-8586

CONTRACT

RICHMOND APARTMENT

6071 AZURE ROAD  
 RICHMOND, BC.

DP 23-023854  
 May 22, 2024  
 DP Plan # 9

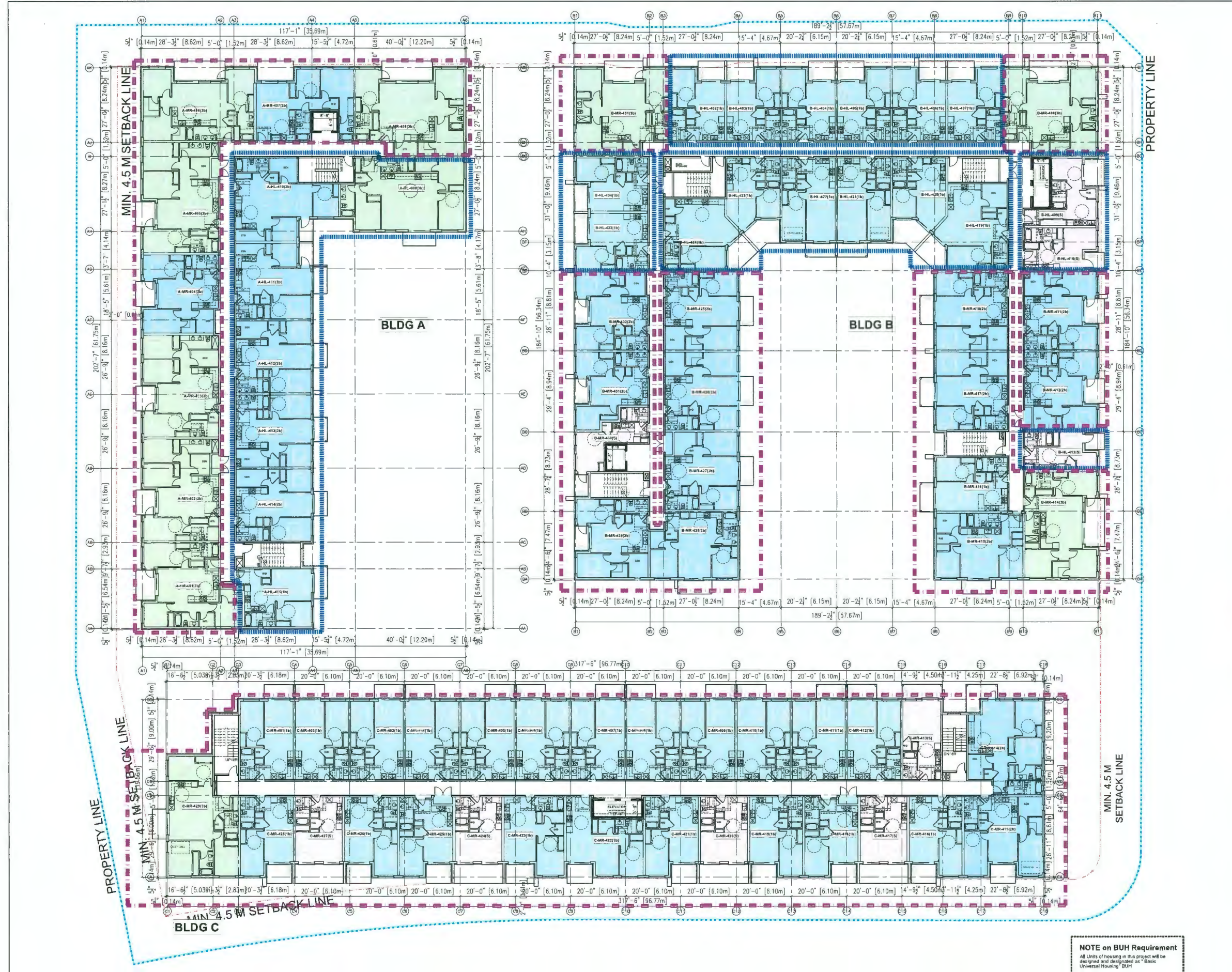
LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM

- LEMR UNITS AREA
- HILLS UNITS AREA
- MARKET RENTAL UNITS AREA

NO.	DATE	DESCRIPTION
18	MAY 21 2024	ISSUED FOR SHOP DRAWINGS
17	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
16	APR 15 2024	ISSUED FOR SHOP DRAWINGS
15	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
14	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
13	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
12	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
11	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
10	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
9	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
8	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
7	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
6	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
5	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
4	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
3	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
2	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
1	MAY 13 2024	ISSUED FOR SHOP DRAWINGS

PROJECT NO:	2311
CAD DWG FILE:	2311-000-01-404-000-FLOOR PLAN.rvt
DRAWN BY:	ME
CHECKED BY:	JM
COPYRIGHT:	
SHEET TITLE:	4TH FLOOR PLAN
	A2.5
SHEET	OF



**NOTE on BUH Requirement**  
 All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH

1 4TH FLOOR PLAN  
 A2.5 SCALE: 3/32"=1'-0"





**HNP**  
**ARCHITECTURE-PLANNING INC**  
 2883 W. 41ST AVENUE  
 VANCOUVER BC CANADA V6N 3C8  
 EMAIL: office@hnpdesign.com  
 TEL: 604-726-1338  
 604-559-8566

CONSULTANTS

RICHMOND APARTMENT

6071 AZURE ROAD  
 RICHMOND, BC.

**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 10**

**LEGEND**

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM

- LEMR UNITS AREA
- HILLS UNITS AREA
- MARKET RENTAL UNITS AREA

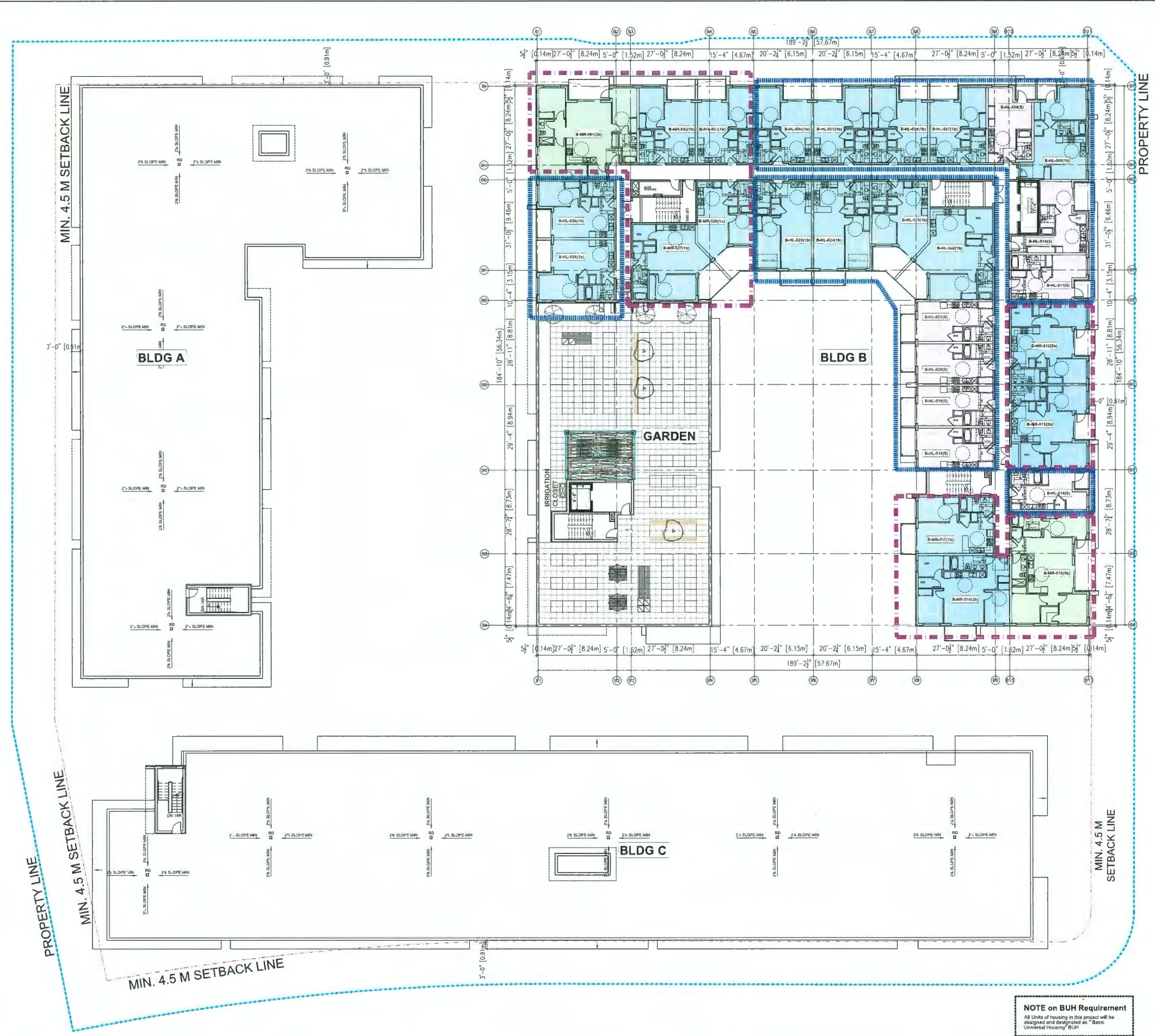
NO.	DATE	DESCRIPTION
18	MAY 31 2024	ISSUE FOR SHOP DRAWINGS
17	MAY 14 2024	ISSUE FOR SHOP DRAWINGS
16	APR 15 2024	REVISION OF APPLICATION
15	FEB 26 2024	REVISION OF APPLICATION
14	FEB 17 2024	REVISION OF APPLICATION
13	FEB 06 2024	REVISION OF APPLICATION
12	SEP 26 2023	REVISION OF APPLICATION
11	JUN 27 2023	REVISION OF APPLICATION
10	MAY 18 2023	REVISION OF APPLICATION
9	APR 24 2023	REVISION OF APPLICATION
8	APR 24 2023	REVISION OF APPLICATION
7	MAY 31 2022	REVISION OF APPLICATION
6	MAY 24 2022	REVISION OF APPLICATION
5	MAY 18 2022	REVISION OF APPLICATION
4	MAY 18 2022	REVISION OF APPLICATION
3	MAY 18 2022	REVISION OF APPLICATION
2	MAY 18 2022	REVISION OF APPLICATION
1	MAY 18 2022	REVISION OF APPLICATION

NO.	DATE	DESCRIPTION
1	MAY 18 2022	REVISION OF APPLICATION
2	MAY 18 2022	REVISION OF APPLICATION
3	MAY 18 2022	REVISION OF APPLICATION
4	MAY 18 2022	REVISION OF APPLICATION
5	MAY 18 2022	REVISION OF APPLICATION
6	MAY 18 2022	REVISION OF APPLICATION
7	MAY 18 2022	REVISION OF APPLICATION
8	MAY 18 2022	REVISION OF APPLICATION
9	MAY 18 2022	REVISION OF APPLICATION
10	MAY 18 2022	REVISION OF APPLICATION
11	MAY 18 2022	REVISION OF APPLICATION
12	MAY 18 2022	REVISION OF APPLICATION
13	MAY 18 2022	REVISION OF APPLICATION
14	MAY 18 2022	REVISION OF APPLICATION
15	MAY 18 2022	REVISION OF APPLICATION
16	MAY 18 2022	REVISION OF APPLICATION
17	MAY 18 2022	REVISION OF APPLICATION
18	MAY 18 2022	REVISION OF APPLICATION

PROJECT NO: 2311  
 C/O: HNP TEL: 604-726-1338 FAX: 604-559-8566  
 DRAWN BY: SM  
 CHECKED BY: JM  
 COPYRIGHT: HNP

SHEET TITLE:  
**5TH FLOOR PLAN**

A2.6



**NOTE on BUH Requirement**  
 All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH

**5TH FLOOR PLAN**  
 SCALE: 3/32"=1'-0"





**HNP A**  
**ARCHITECTURE+PLANNING INC**  
 2883 W. 41ST AVENUE  
 VANCOUVER BC CANADA V6N 3C8  
 EMAIL: office@hnpa.ca  
 TEL: 604-726-1338  
 604-559-8588

CONSULTANTS

RICHMOND APARTMENT

6071 AZURE ROAD  
 RICHMOND, BC.

**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 11**

LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM

- LEMR UNITS AREA
- HILS UNITS AREA
- MARKET RENTAL UNITS AREA

NO.	DATE	DESCRIPTION
18	SEP 11, 2024	ISSUE FOR STAFF COMMENTS
17	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
16	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
15	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
14	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
13	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
12	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
11	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
10	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
9	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
8	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
7	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
6	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
5	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
4	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
3	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
2	SEP 10, 2024	ISSUE FOR STAFF COMMENTS
1	SEP 10, 2024	ISSUE FOR STAFF COMMENTS

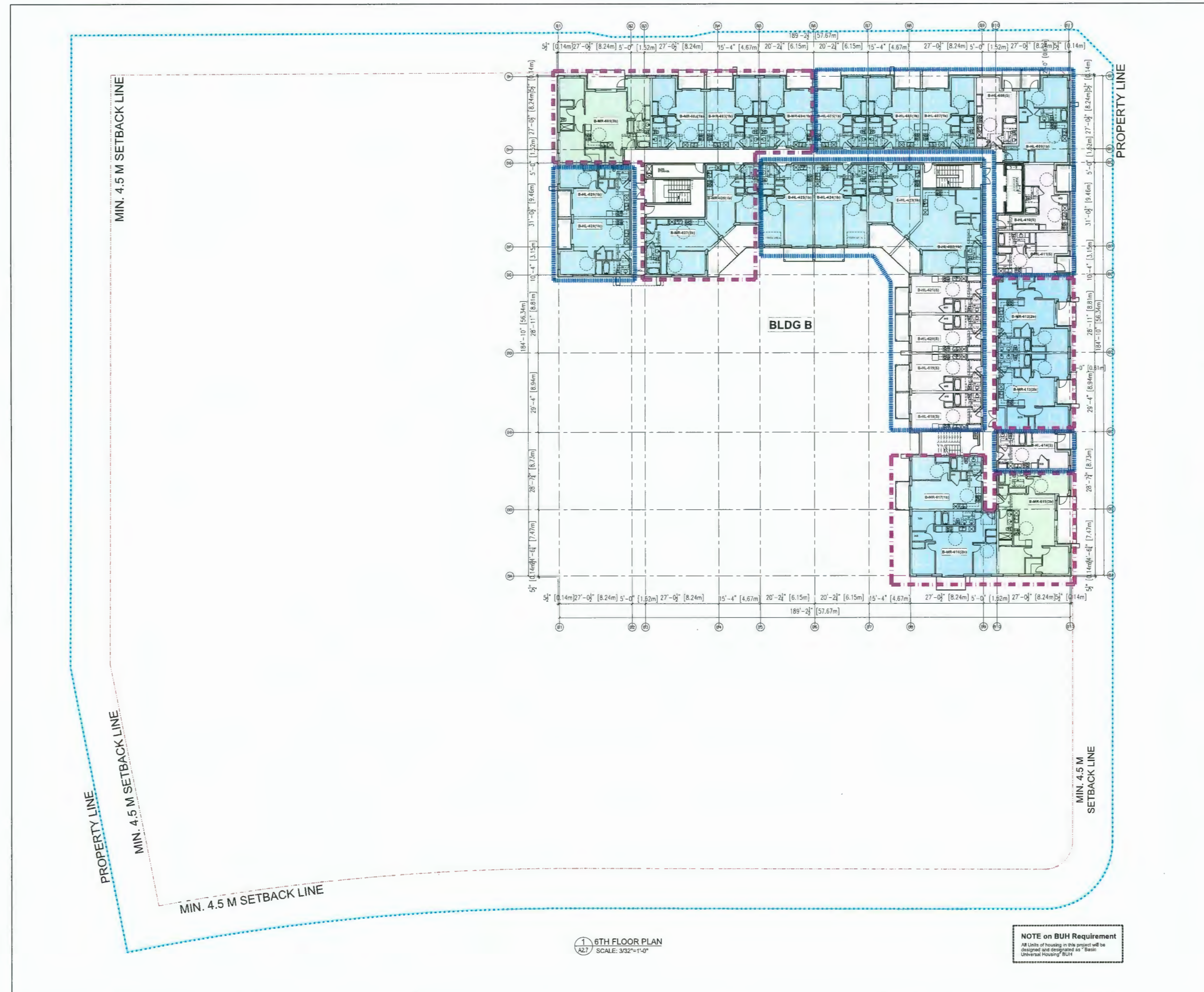
PROJECT NO:	2311
DATE (REV. / I.L.):	2024-05-22-01-REV. 01-11
DRAWN BY:	BN
CHECKED BY:	JM
DATE:	
DESCRIPTION:	

SHEET TITLE

6TH FLOOR PLAN

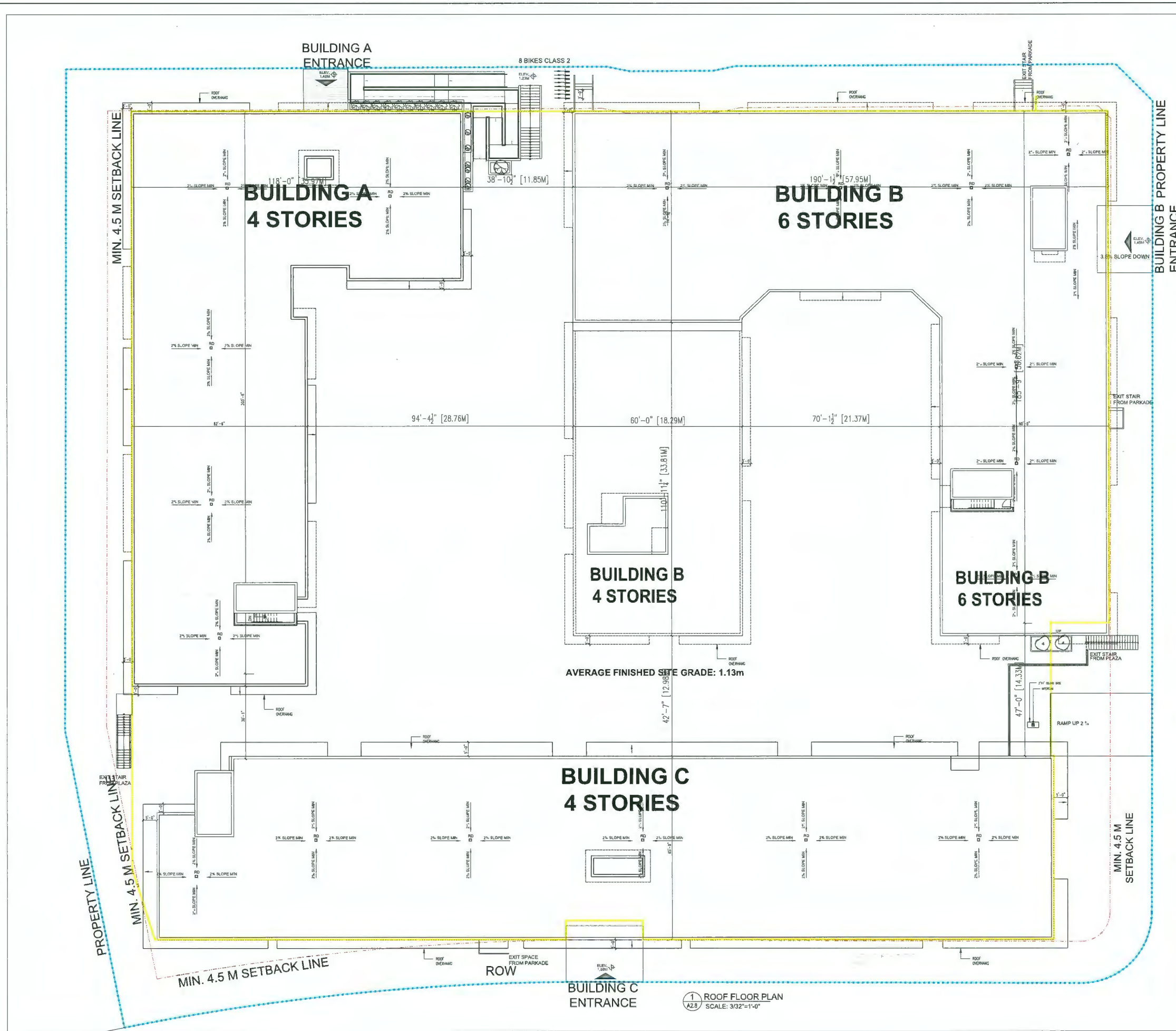
A2.7

SHEET



**1 6TH FLOOR PLAN**  
 A2.7 SCALE: 3/32"=1'-0"

**NOTE on BUH Requirement**  
 All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH



DP 23-023854  
 May 22, 2024  
 DP Plan # 12

18	MAY 21 2024	ISSUE FOR STAFF DRAWING
17	MAY 15 2024	ISSUE FOR STAFF DRAWING
16	MAY 13 2024	RE-CORRECTED APPROVALS
15	MAY 08 2024	RE-CORRECTED APPROVALS
14	APR 30 2024	RE-CORRECTED APPROVALS
13	MAY 20 2024	RE-CORRECTED APPROVALS
12	MAY 20 2024	RE-CORRECTED APPROVALS
11	MAY 17 2024	RE-CORRECTED APPROVALS
10	MAY 16 2024	RE-CORRECTED APPROVALS
9	MAY 14 2024	RE-CORRECTED APPROVALS
8	MAY 14 2024	RE-CORRECTED APPROVALS
7	MAY 11 2024	RE-CORRECTED APPROVALS
6	MAY 10 2024	RE-CORRECTED APPROVALS
5	MAY 10 2024	RE-CORRECTED APPROVALS
4	MAY 09 2024	RE-CORRECTED APPROVALS
3	MAY 09 2024	RE-CORRECTED APPROVALS
2	MAY 09 2024	RE-CORRECTED APPROVALS
1	MAY 09 2024	RE-CORRECTED APPROVALS
DRAWN BY: [REDACTED]		
PROJECT NO: 2311		
DATE: [REDACTED]		
DRAWN BY: [REDACTED]		
CHECKED BY: [REDACTED]		
DATE: [REDACTED]		
SHEET TITLE: ROOF FLOOR PLAN		
SHEET NO: A2.8		





0



1



2



3



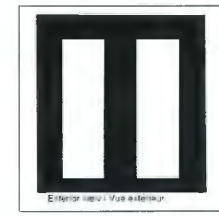
A4



B4



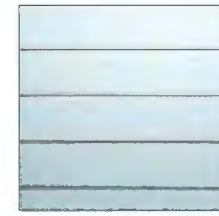
C4



5



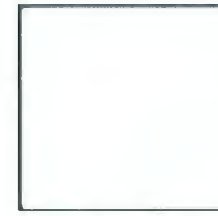
6



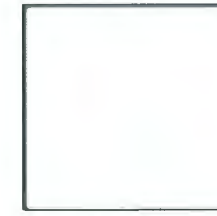
7



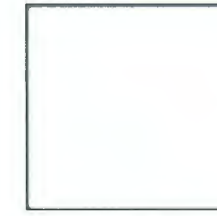
8



A9



B9



C9



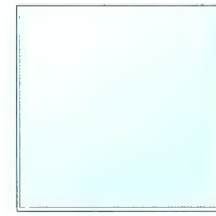
10



B11



12



13



14

## MATERIAL LEGEND

### MATERIALITY

The building materials are made up of a neutral colour palette including metal paneling, different colours of cementitious panels, glass and wood. Both interior and exterior materials will comprise of durable materials sourced locally where possible. Low VOC finishes will be specified for the residential suites and all circulation areas.

KEY VALUE	SAMPLE	LOCATION	ELEVATION MATERIAL LEGEND	COLOUR
0		ROOFING	2 PLY SBS ROOFING	LIGHT GREY
1		FASCIA & TRIM	METAL FLASHING	DARK GREY
2		PERFORATED SOFFIT	METAL PERFORATED SOFFIT	WOOD GRAINS
3		WINDOW	DOUBLE-GLAZED VINYL WINDOW	BLACK
A4		CLADDING BUILDING A	HARDIE PANEL	DARK-RED
B4		CLADDING BUILDING B	HARDIE PANEL	DARK-YELLOW
C4		CLADDING BUILDING C	HARDIE PANEL	DARK- BLUE
5		DOOR	DOUBLE-GLAZED VINYL DOOR	BLACK
6		METAL GUARD RAIL	METAL MATERIALITY	BLACK
7		SIDING & TRIM	EXPOSURE FIBRE CEMENT	NEUTRAL
8		FIT WINDOW	DOUBLE-GLAZED VINYL FIT WINDOW	BLACK
A9		CLADDING BUILDING A	HARDIE PANEL	WHITE
B9		CLADDING BUILDING B	HARDIE PANEL	WHITE
C9		CLADDING BUILDING C	HARDIE PANEL	WHITE
10		WALL SCREEN	HARDIE SIDING	WOOD GRAINS
B11		CLADDING BUILDING B	HARDIE PANEL	DARK- BROWN
12		CONCRETE FOUNDATION WALL	PAINTED ARCHITECTURAL CONCRETE	NATURAL CONCRET COLOUR
13		GLASS GUARD PANEL	LAMINATED SAFETY GLASS PANEL	CLEAR
14		FASCIA COLUMN	HARDIE PANEL	DARK GREY

EXTERIOR FINISH

DP 23-023854  
 May 22, 2024  
 DP Plan # 13

NO.	DATE	DESCRIPTION
18	MAY 21 2024	ISSUED FOR SHOT DOCUMENTS
17	MAY 15 2024	ISSUED FOR SHOT DOCUMENTS
16	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
15	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
14	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
13	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
12	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
11	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
10	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
9	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
8	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
7	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
6	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
5	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
4	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
3	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
2	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS
1	MAY 15 2024	RE-CORRECTED SHOT DOCUMENTS

PROJECT NO: 2311  
 DATE: MAY 22 2024  
 DRAWN BY: JM  
 CHECKED BY: JM  
 COPYRIGHT: HNPA

SHEET TITLE: MATERIAL BOARD  
 SHEET NO: A3.0A  
 OF: 01





**H N P A**  
 ARCHITECTURE+PLANNING INC  
 2883 W. 41ST AVENUE  
 VANCOUVER BC CANADA V6N 3C8  
 EMAIL: office@hnpdesign.com  
 TEL: 604-726-1338  
 604-559-8566

CONSULTANTS

RICHMOND APARTMENT

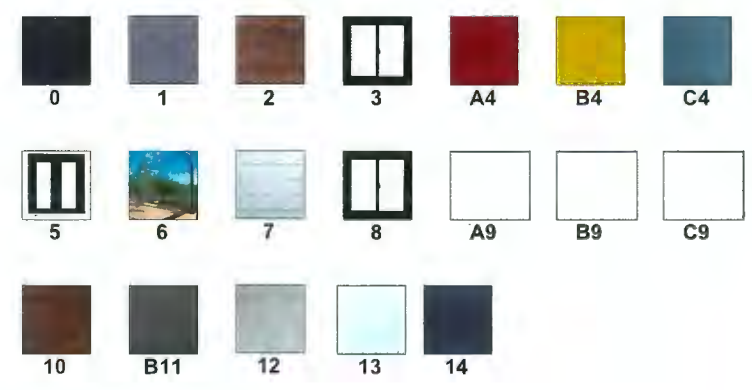
6071 AZURE ROAD  
 RICHMOND, BC.



1 NORTH ELEVATION BLDG C  
 A3.0 SCALE: 3/32"=1'-0"



2 SOUTH ELEVATION BLDG A  
 A3.0 SCALE: 3/32"=1'-0"



MATERIAL LEGEND

KEY VALUE	SAMPLE	LOCATION	ELEVATION MATERIAL LEGEND	COLOUR
0	[Swatch]	ROOFING	2 PLY SBS ROOFING	LIGHT GREY
1	[Swatch]	FASCIA & TRIM	METAL FLASHING	DARK GREY
2	[Swatch]	PERFORATED SOFFIT	METAL PERFORATED SOFFIT	WOOD GRAINS
3	[Swatch]	WINDOW	DOUBLE-GLAZED VINYL WINDOW	BLACK
A4	[Swatch]	CLADDING BUILDING A	HARDIE PANEL	DARK-RED
B4	[Swatch]	CLADDING BUILDING B	HARDIE PANEL	DARK-YELLOW
C4	[Swatch]	CLADDING BUILDING C	HARDIE PANEL	DARK-BLUE
5	[Swatch]	DOOR	DOUBLE-GLAZED VINYL DOOR	BLACK
6	[Swatch]	METAL GUARD RAIL	METAL	BLACK
7	[Swatch]	SIDING & TRIM	EXPOSURE FIBRE CEMENT	NEUTRAL
8	[Swatch]	FIT WINDOW	DOUBLE-GLAZED VINYL FIT WINDOW	BLACK
A9	[Swatch]	CLADDING BUILDING A	HARDIE PANEL	WHITE
B9	[Swatch]	CLADDING BUILDING B	HARDIE PANEL	WHITE
C9	[Swatch]	CLADDING BUILDING C	HARDIE PANEL	WHITE
10	[Swatch]	WALL SCREEN	HARDIE SIDING	WOOD GRAINS
B11	[Swatch]	CLADDING BUILDING B	HARDIE PANEL	DARK-BROWN
12	[Swatch]	CONCRETE FOUNDATION WALL	PAINTED ARCHITECTURAL CONCRETE	NATURAL CONCRET COLOUR
13	[Swatch]	GLASS GUARD PANEL	LAMINATED SAFETY GLASS PANEL	CLEAR
14	[Swatch]	FASCIA COLUMN	HARDIE PANEL	DARK GREY

EXTERIOR FINISH

DP 23-023854  
 May 22, 2024  
 DP Plan # 14

NO.	DATE	DESCRIPTION
18	MAY 21 2024	ISSUED FOR PERMIT
17	MAY 15 2024	ISSUED FOR PERMIT
16	MAY 15 2024	ISSUED FOR PERMIT
15	MAY 15 2024	ISSUED FOR PERMIT
14	MAY 15 2024	ISSUED FOR PERMIT
13	MAY 15 2024	ISSUED FOR PERMIT
12	MAY 15 2024	ISSUED FOR PERMIT
11	MAY 15 2024	ISSUED FOR PERMIT
10	MAY 15 2024	ISSUED FOR PERMIT
9	MAY 15 2024	ISSUED FOR PERMIT
8	MAY 15 2024	ISSUED FOR PERMIT
7	MAY 15 2024	ISSUED FOR PERMIT
6	MAY 15 2024	ISSUED FOR PERMIT
5	MAY 15 2024	ISSUED FOR PERMIT
4	MAY 15 2024	ISSUED FOR PERMIT
3	MAY 15 2024	ISSUED FOR PERMIT
2	MAY 15 2024	ISSUED FOR PERMIT
1	MAY 15 2024	ISSUED FOR PERMIT

SHEET TITLE  
 NORTH-SOUTH ELEVATIONS

A3.0

SHEET NO.





**H N P A**  
 ARCHITECTURE+PLANNING INC  
 2883 W. 41ST AVENUE  
 VANCOUVER BC CANADA V6N 3C8  
 EMAIL: office@hnpdesign.com  
 TEL: 604-725-1338  
 604-559-8566

CONSULTANTS

RICHMOND APARTMENT

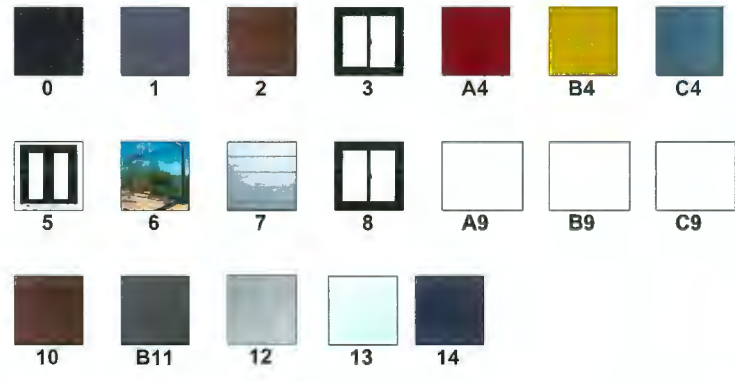
6071 AZURE ROAD  
 RICHMOND, BC.



1 EAST ELEVATION BLDG A  
 A3.1 SCALE: 3/32"=1'-0"



2 WEST ELEVATION BLDG A  
 A3.1 SCALE: 3/32"=1'-0"



MATERIAL LEGEND

KEY VALUE	SAMPLE	LOCATION	ELEVATION MATERIAL LEGEND	COLOR
0	[Swatch]	ROOFING	2 PLY SBS ROOFING	LIGHT GREY
1	[Swatch]	FASCIA & TRIM	METAL FLASHING	DARK GREY
2	[Swatch]	PERFORATED SOFFIT	METAL PERFORATED SOFFIT	WOOD GRAINS
3	[Swatch]	WINDOW	DOUBLE-GLAZED VINYL WINDOW	BLACK
A4	[Swatch]	CLADDING BUILDING A	HARDIE PANEL	DARK RED
B4	[Swatch]	CLADDING BUILDING B	HARDIE PANEL	DARK YELLOW
C4	[Swatch]	CLADDING BUILDING C	HARDIE PANEL	DARK BLUE
4	[Swatch]	DOOR	DOUBLE-GLAZED VINYL DOOR	BLACK
5	[Swatch]	METAL GUARD RAIL	METAL	BLACK
6	[Swatch]	ROOFING & TRIM	EXPOSURE FIBRE CEMENT	NEUTRAL
7	[Swatch]	FIT WINDOW	DOUBLE-GLAZED VINYL FIT WINDOW	BLACK
A8	[Swatch]	CLADDING BUILDING A	HARDIE PANEL	WHITE
B9	[Swatch]	CLADDING BUILDING B	HARDIE PANEL	WHITE
C9	[Swatch]	CLADDING BUILDING C	HARDIE PANEL	WHITE
10	[Swatch]	WALL SCREEN	HARDIE SIDING	WOOD GRAINS
B11	[Swatch]	CLADDING BUILDING B	HARDIE PANEL	DARK BROWN
12	[Swatch]	CONCRETE FOUNDATION WALL	PAINTED ARCHITECTURAL CONCRETE	NATURAL CONCRETE COLOUR
13	[Swatch]	GLASS QUARD PANEL	LAMINATED SAFETY GLASS PANEL	CLEAR
14	[Swatch]	PALISER COLUMN	HARDIE PANEL	DARK GREY

EXTERIOR FINISH

DP 23-023854  
 May 22, 2024  
 DP Plan # 15

REV	DATE	DESCRIPTION
1	2024.05.22	ISSUE FOR PERMIT
2	2024.05.22	ISSUE FOR PERMIT
3	2024.05.22	ISSUE FOR PERMIT
4	2024.05.22	ISSUE FOR PERMIT
5	2024.05.22	ISSUE FOR PERMIT
6	2024.05.22	ISSUE FOR PERMIT
7	2024.05.22	ISSUE FOR PERMIT
8	2024.05.22	ISSUE FOR PERMIT
9	2024.05.22	ISSUE FOR PERMIT
10	2024.05.22	ISSUE FOR PERMIT
11	2024.05.22	ISSUE FOR PERMIT
12	2024.05.22	ISSUE FOR PERMIT
13	2024.05.22	ISSUE FOR PERMIT
14	2024.05.22	ISSUE FOR PERMIT
15	2024.05.22	ISSUE FOR PERMIT
16	2024.05.22	ISSUE FOR PERMIT
17	2024.05.22	ISSUE FOR PERMIT
18	2024.05.22	ISSUE FOR PERMIT

PROJECT NO: 2311  
 CDD DWG FILE: HNP-23-023854-01-001-REV-01-001-001  
 DRAWN BY: BM  
 CHECKED BY: JM  
 CADDWGS:

SHEET TITLE  
 EAST-WEST ELEVATIONS

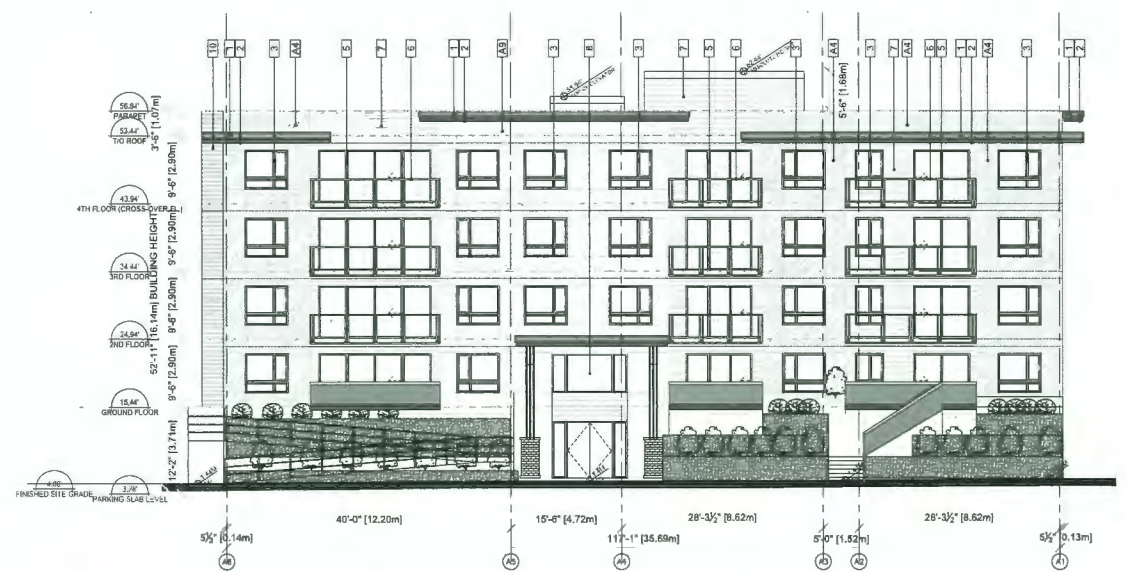




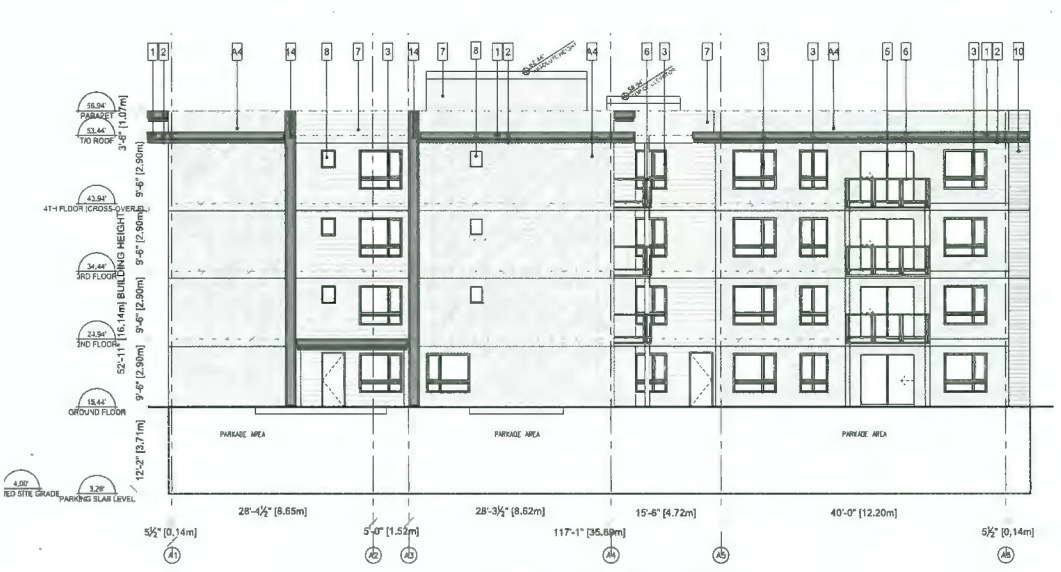
**HNP A**  
 ARCHITECTURE+PLANNING INC  
 2883 W. 41ST AVENUE  
 VANCOUVER BC CANADA V6N 3C8  
 EMAIL: office@hnpadesign.com  
 TEL: 604-726-1338  
 604-559-8566

RICHMOND APARTMENT  
 6071 AZURE ROAD  
 RICHMOND, BC.

DP 23-023854  
 May 22, 2024  
 DP Plan # 16



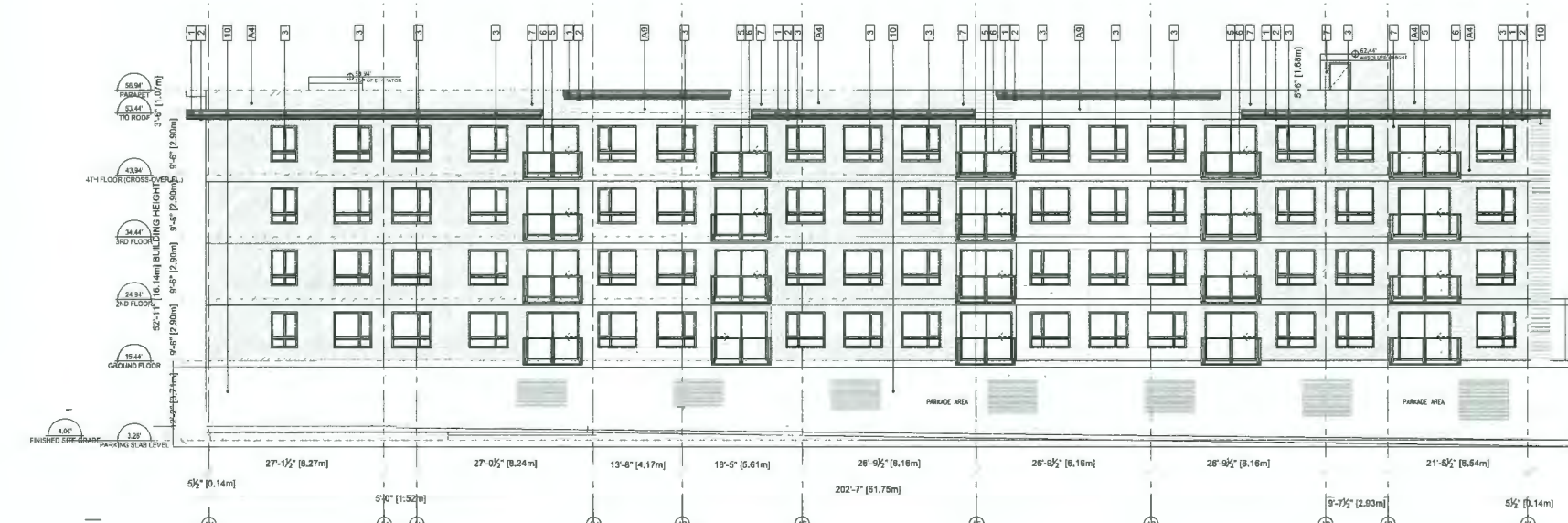
1 NORTH ELEVATION BLDG A  
 SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION BLDG A  
 SCALE: 1/8"=1'-0"



3 EAST ELEVATION BLDG A  
 SCALE: 1/8"=1'-0"



4 WEST ELEVATION BLDG A  
 SCALE: 1/8"=1'-0"

KEY VALUE	SAMPLE	LOCATION	ELEVATION MATERIAL LEGEND	COLOUR
0	[Sample]	ROOFING	2 PLY SBS ROOFING	LIGHT GREY
1	[Sample]	FASCIA & TRIM	METAL FLASHING	DARK GREY
2	[Sample]	PERFORATED SOFFIT	METAL PERFORATED SOFFIT	WOOD GRAINS
3	[Sample]	WINDOW	DOUBLE-GLAZED VINYL WINDOW	BLACK
A4	[Sample]	CLADDING BUILDING A	HARDIE PANEL	DARK-RED
B4	[Sample]	CLADDING BUILDING B	HARDIE PANEL	DARK-YELLOW
C4	[Sample]	CLADDING BUILDING C	HARDIE PANEL	DARK-BLUE
5	[Sample]	DOOR	DOUBLE-GLAZED VINYL DOOR	BLACK
6	[Sample]	METAL GUARD RAIL	METAL	BLACK
7	[Sample]	SIDING & TRIM	EXPOSURE FIBRE CEMENT	NEUTRAL
8	[Sample]	FIT WINDOW	DOUBLE-GLAZED VINYL FIT WINDOW	BLACK
A9	[Sample]	CLADDING BUILDING A	HARDIE PANEL	WHITE
B9	[Sample]	CLADDING BUILDING B	HARDIE PANEL	WHITE
C9	[Sample]	CLADDING BUILDING C	HARDIE PANEL	WHITE
10	[Sample]	WALL SCREEN	HARDIE SIDING	WOOD GRAINS
B11	[Sample]	CLADDING BUILDING B	HARDIE PANEL	DARK-BROWN
12	[Sample]	CONCRETE FOUNDATION WALL	PAINTED ARCHITECTURAL CONCRETE	NATURAL CONCRET COLOUR
13	[Sample]	GLASS GUARD PANEL	LAMINATED SAFETY GLASS PANEL	CLEAR
14	[Sample]	FASCIA COLUMN	HARDIE PANEL	DARK GREY

EXTERIOR FINISH

NO.	REV.	DESCRIPTION
18	01	ISSUED FOR PERMIT
17	01	ISSUED FOR PERMIT
16	01	ISSUED FOR PERMIT
15	01	ISSUED FOR PERMIT
14	01	ISSUED FOR PERMIT
13	01	ISSUED FOR PERMIT
12	01	ISSUED FOR PERMIT
11	01	ISSUED FOR PERMIT
10	01	ISSUED FOR PERMIT
9	01	ISSUED FOR PERMIT
8	01	ISSUED FOR PERMIT
7	01	ISSUED FOR PERMIT
6	01	ISSUED FOR PERMIT
5	01	ISSUED FOR PERMIT
4	01	ISSUED FOR PERMIT
3	01	ISSUED FOR PERMIT
2	01	ISSUED FOR PERMIT
1	01	ISSUED FOR PERMIT

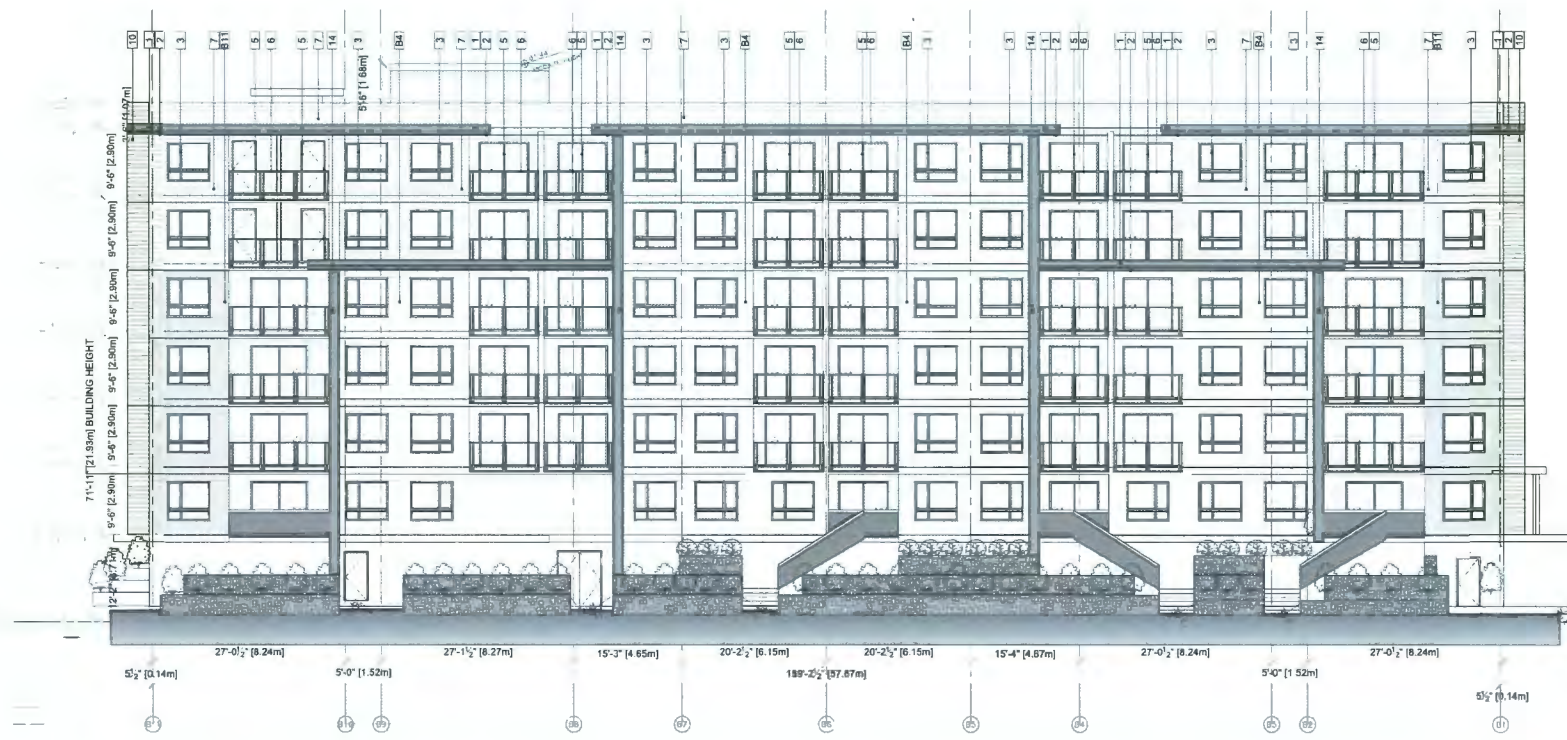
PROJECT NO: 2311  
 DATE FILE: 2023-05-22  
 DRAWN BY: BM  
 CHECKED BY: JM  
 COPYRIGHT: HNP A

SHEET TITLE: ELEVATIONS BLDG A  
 SHEET NO: A-A4

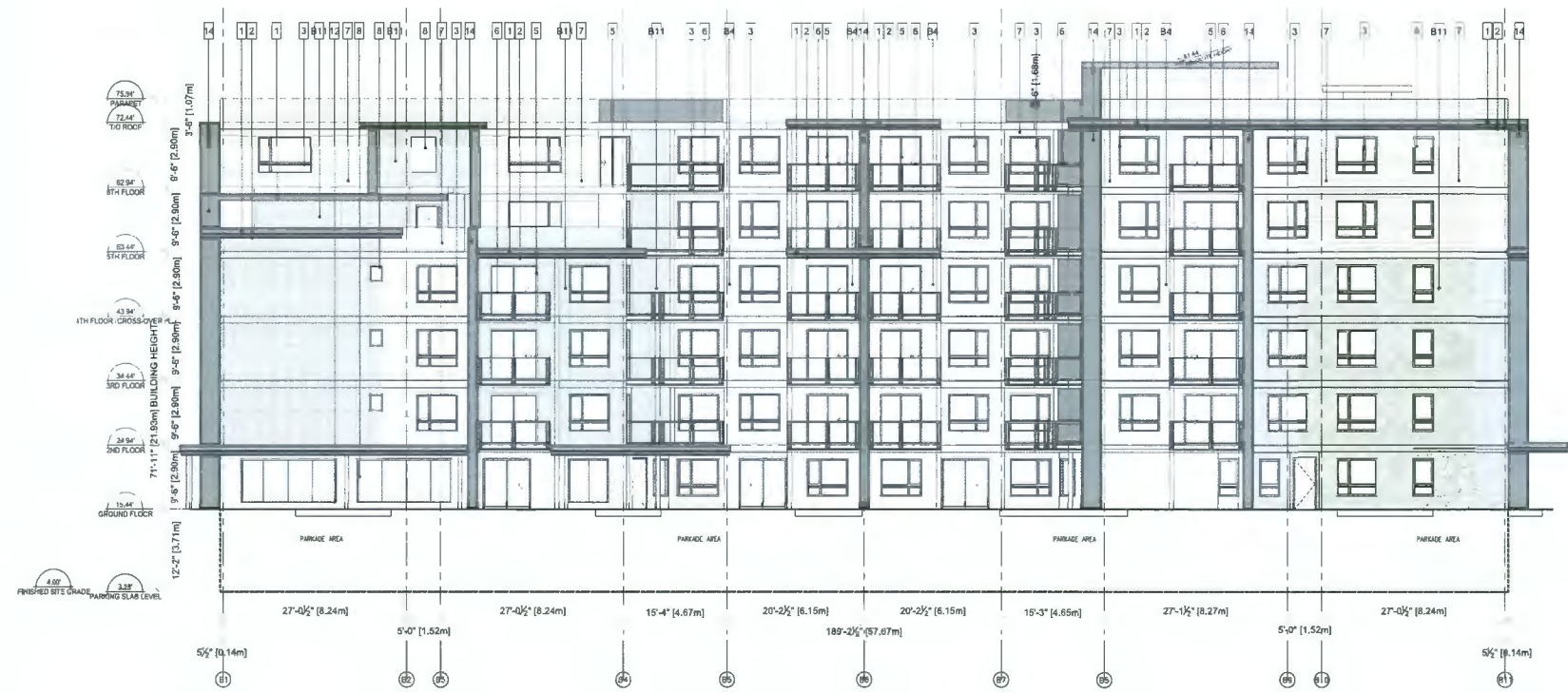




**H N P A**  
**ARCHITECTURE+PLANNING INC**  
 2883 W. 41ST AVENUE  
 VANCOUVER BC CANADA V6N 3C8  
 EMAIL: office@hnpdesign.com  
 TEL: 604-726-1338  
 604-559-8566



**1 NORTH ELEVATION BLDG B**  
 A-B8 SCALE: 1/8"=1'-0"



**2 SOUTH ELEVATION BLDG B**  
 A-B8 SCALE: 1/8"=1'-0"

KEY VALUE	SAMPLE	LOCATION	ELEVATION MATERIAL LEGEND	COLOUR
0		ROOFING	2 PLY SBS ROOFING	LIGHT GREY
1		FASCIA & TRIM	METAL FLASHING	DARK GREY
2		PERFORATED SOFFIT	METAL PERFORATED SOFFIT	WOOD GRAINS
3		WINDOW	DOUBLE-GLAZED VINYL WINDOW	BLACK
A4		CLADDING BUILDING A	HARDIE PANEL	DARK-RED
B4		CLADDING BUILDING B	HARDIE PANEL	DARK-YELLOW
C4		CLADDING BUILDING C	HARDIE PANEL	DARK-BLUE
5		DOOR	DOUBLE-GLAZED VINYL DOOR	BLACK
6		METAL GUARD RAIL	METAL	BLACK
7		SIDING & TRIM	EXPOSURE FIBRE CEMENT	NEUTRAL
8		FIT WINDOW	DOUBLE-GLAZED VINYL FIT WINDOW	BLACK
A9		CLADDING BUILDING A	HARDIE PANEL	WHITE
B9		CLADDING BUILDING B	HARDIE PANEL	WHITE
C9		CLADDING BUILDING C	HARDIE PANEL	WHITE
10		WALL SCREEN	HARDIE SIDING	WOOD GRAINS
B11		CLADDING BUILDING B	HARDIE PANEL	DARK-BROWN
12		CONCRETE FOUNDATION WALL	PAINTED ARCHITECTURAL CONCRETE	NATURAL CONCRET COLOUR
13		GLASS GUARD PANEL	LAMINATED SAFETY GLASS PANEL	CLEAR
14		FASCIA COLUMN	HARDIE PANEL	DARK GREY

**EXTERIOR FINISH**

DP 23-023854  
 May 22, 2024  
 DP Plan # 17

18	MAY 21 2024	ISSUED FOR START CONSTRUCTION
17	MAY 15 2024	ISSUED FOR START CONSTRUCTION
16	MAY 14 2024	ISSUED FOR START CONSTRUCTION
15	MAY 14 2024	ISSUED FOR START CONSTRUCTION
14	MAY 14 2024	ISSUED FOR START CONSTRUCTION
13	MAY 14 2024	ISSUED FOR START CONSTRUCTION
12	MAY 14 2024	ISSUED FOR START CONSTRUCTION
11	MAY 14 2024	ISSUED FOR START CONSTRUCTION
10	MAY 14 2024	ISSUED FOR START CONSTRUCTION
9	MAY 14 2024	ISSUED FOR START CONSTRUCTION
8	MAY 14 2024	ISSUED FOR START CONSTRUCTION
7	MAY 14 2024	ISSUED FOR START CONSTRUCTION
6	MAY 14 2024	ISSUED FOR START CONSTRUCTION
5	MAY 14 2024	ISSUED FOR START CONSTRUCTION
4	MAY 14 2024	ISSUED FOR START CONSTRUCTION
3	MAY 14 2024	ISSUED FOR START CONSTRUCTION
2	MAY 14 2024	ISSUED FOR START CONSTRUCTION
1	MAY 14 2024	ISSUED FOR START CONSTRUCTION

PROJECT NO: 2311  
 DATE FILED: MAY 22 2024  
 DRAWN BY: JM  
 CHECKED BY: JM  
 CORRECTED:

SHEET TITLE  
**NORTH-SOUTH ELEVATION BLDG B**

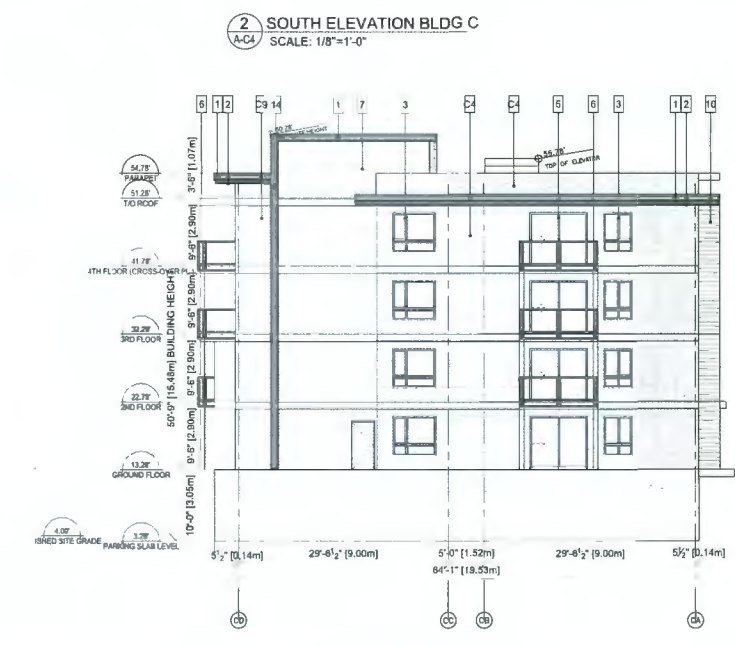
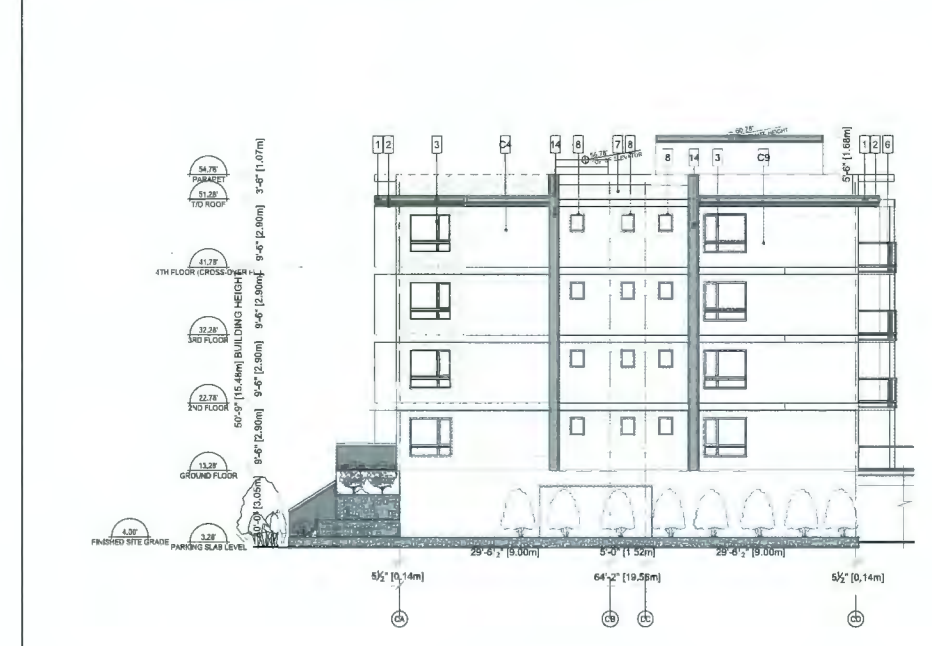
A-B8







**DP 23-023854**  
 May 22, 2024  
 DP Plan # 19



KEY VALUE	SAMPLE	LOCATION	ELEVATION MATERIAL LEGEND	COLOUR
0	[Image]	ROOFING	2 PLY SBS ROOFING	LIGHT GREY
1	[Image]	FASCIA & TRIM	METAL FLASHING	DARK GREY
2	[Image]	PERFORATED SOFFIT	METAL PERFORATED SOFFIT	WOOD GRAINS
3	[Image]	WINDOW	DOUBLE-GLAZED VINYL WINDOW	BLACK
A4	[Image]	CLADDING BUILDING A	HARDIE PANEL	DARK-RED
B4	[Image]	CLADDING BUILDING B	HARDIE PANEL	DARK-YELLOW
C4	[Image]	CLADDING BUILDING C	HARDIE PANEL	DARK- BLUE
5	[Image]	DOOR	DOUBLE-GLAZED VINYL DOOR	BLACK
6	[Image]	METAL GUARD RAIL	METAL	BLACK
7	[Image]	SIDING & TRIM	EXPOSURE FIBRE CEMENT	NEUTRAL
8	[Image]	FIT WINDOW	DOUBLE-GLAZED VINYL FIT WINDOW	BLACK
A9	[Image]	CLADDING BUILDING A	HARDIE PANEL	WHITE
B9	[Image]	CLADDING BUILDING B	HARDIE PANEL	WHITE
C9	[Image]	CLADDING BUILDING C	HARDIE PANEL	WHITE
10	[Image]	WALL SCREEN	HARDIE SIDING	WOOD GRAINS
B11	[Image]	CLADDING BUILDING B	HARDIE PANEL	DARK- BROWN
12	[Image]	CONCRETE FOUNDATION WALL	PAINTED ARCHITECTURAL CONCRETE	NATURAL CONCRET COLOUR
13	[Image]	GLASS GUARD PANEL	LAMINATED SAFETY GLASS PANEL	CLEAR
14	[Image]	FASCIA COLUMN	HARDIE PANEL	DARK GREY

**EXTERIOR FINISH**

NO.	DATE	DESCRIPTION
18	2024-05-22	ISSUED FOR START CONSTRUCTION
17	2024-05-15	ISSUED FOR START CONSTRUCTION
16	2024-05-15	ISSUED FOR START CONSTRUCTION
15	2024-05-15	ISSUED FOR START CONSTRUCTION
14	2024-05-15	ISSUED FOR START CONSTRUCTION
13	2024-05-15	ISSUED FOR START CONSTRUCTION
12	2024-05-15	ISSUED FOR START CONSTRUCTION
11	2024-05-15	ISSUED FOR START CONSTRUCTION
10	2024-05-15	ISSUED FOR START CONSTRUCTION
9	2024-05-15	ISSUED FOR START CONSTRUCTION
8	2024-05-15	ISSUED FOR START CONSTRUCTION
7	2024-05-15	ISSUED FOR START CONSTRUCTION
6	2024-05-15	ISSUED FOR START CONSTRUCTION
5	2024-05-15	ISSUED FOR START CONSTRUCTION
4	2024-05-15	ISSUED FOR START CONSTRUCTION
3	2024-05-15	ISSUED FOR START CONSTRUCTION
2	2024-05-15	ISSUED FOR START CONSTRUCTION
1	2024-05-15	ISSUED FOR START CONSTRUCTION

PROJECT NO: 2311  
 C&P FILE: 23-023854  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SHEET TITLE: **BLDG C ELEVATIONS**  
 SHEET NO: **A-C4**







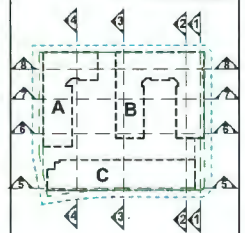


**H N P A**  
 ARCHITECTURE+PLANNING INC  
 2983 W. 41ST AVENUE  
 VANCOUVER BC CANADA V6N 3C8  
 EMAIL: office@hnpa.ca  
 TEL: 604-726-1338  
 604-559-8586

CONSULTANTS

RICHMOND APARTMENT

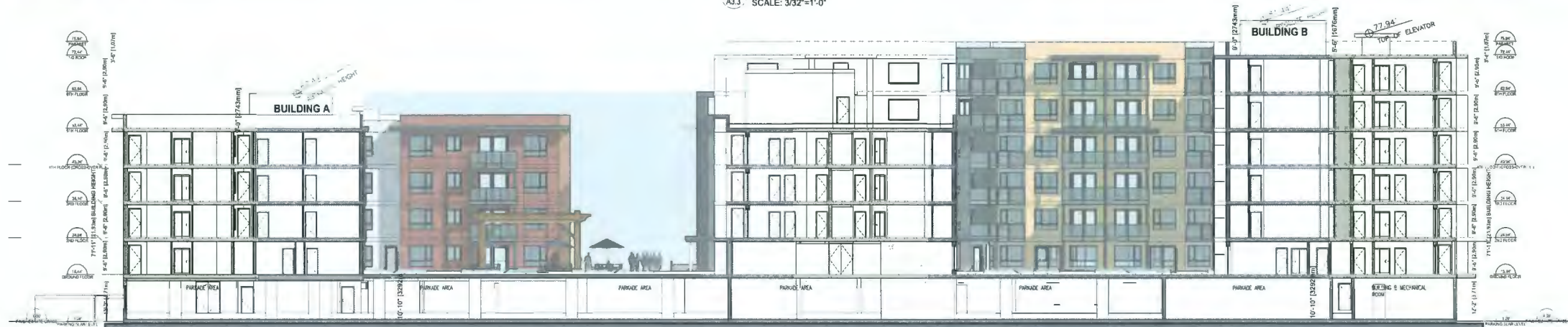
6071 AZURE ROAD  
 RICHMOND, BC.



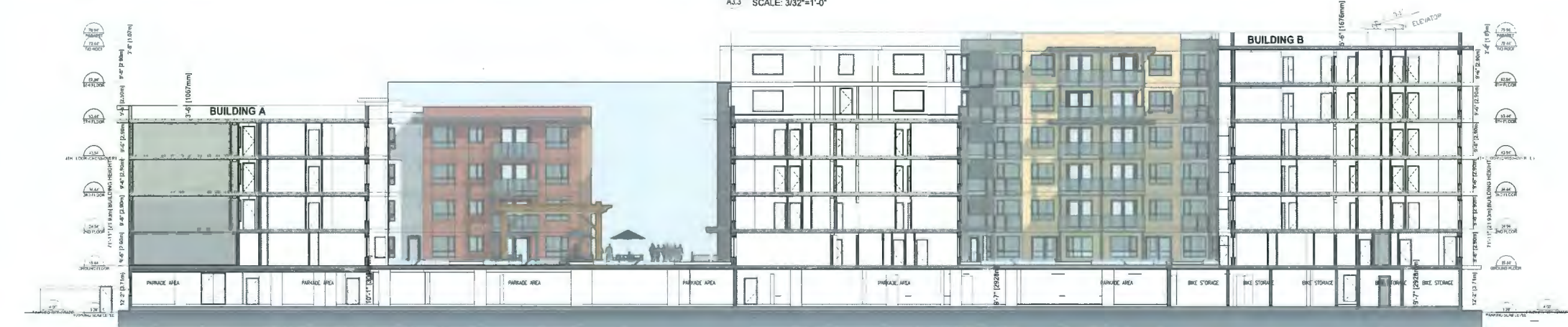
DP 23-023854  
 May 22, 2024  
 DP Plan # 21



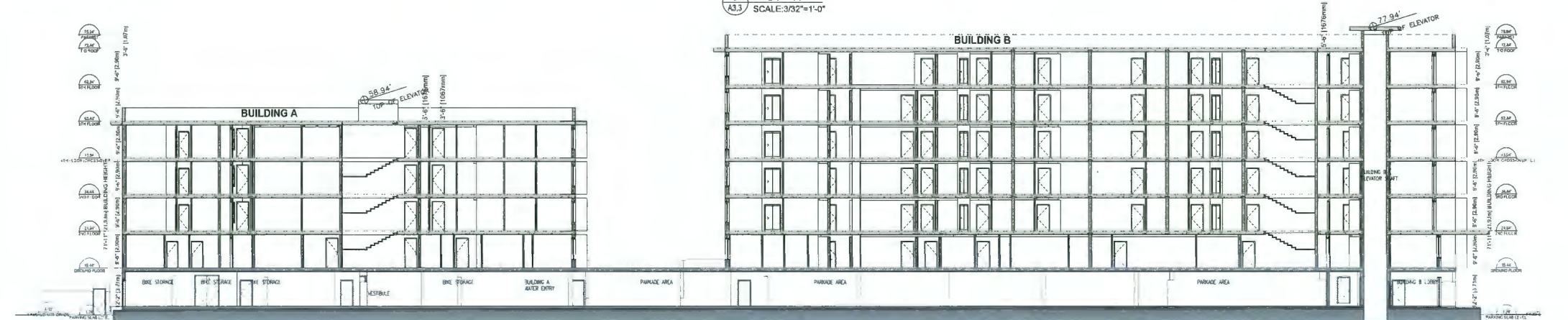
1 SECTION 5-5  
 A3.3 SCALE: 3/32"=1'-0"



2 SECTION 6-6  
 A3.3 SCALE: 3/32"=1'-0"



3 SECTION 7-7  
 A3.3 SCALE: 3/32"=1'-0"

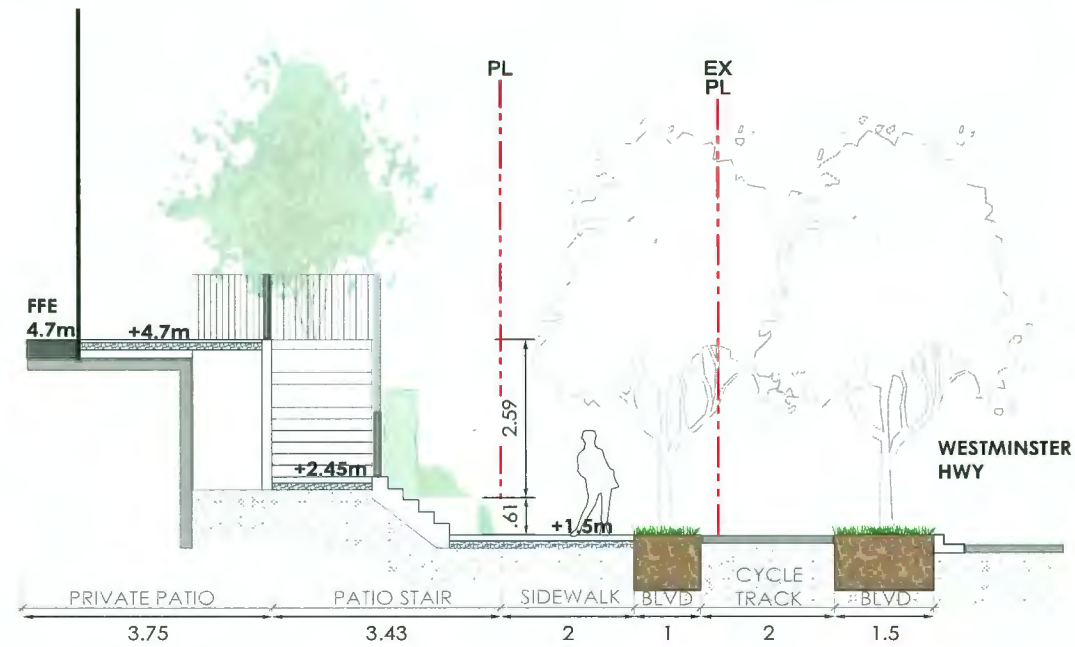


4 SECTION 8-8  
 A3.3 SCALE: 3/32"=1'-0"

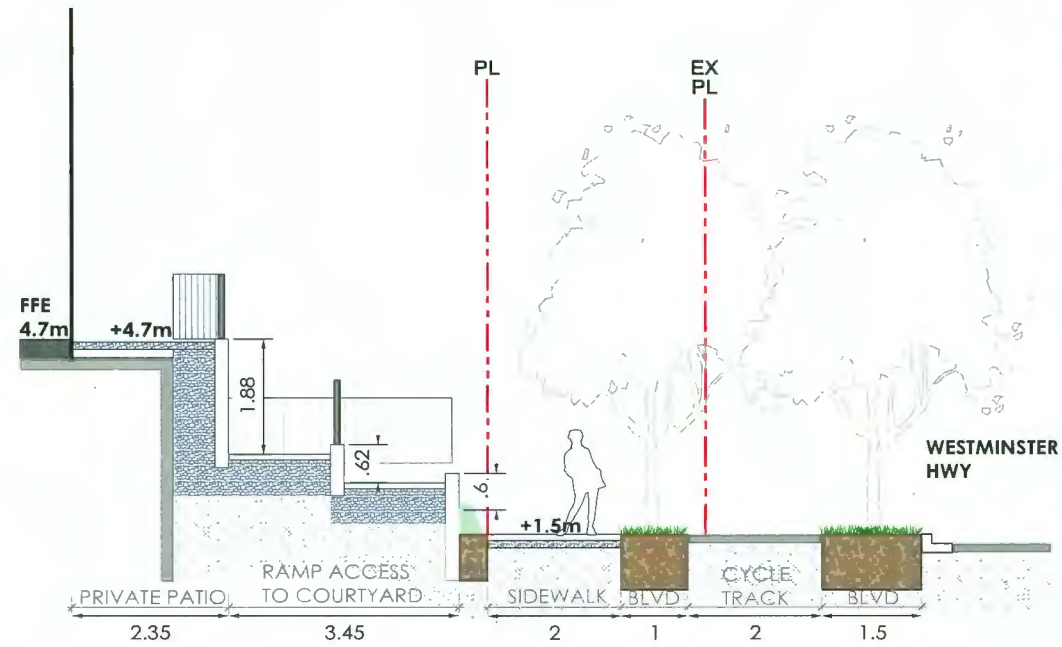
NO.	DATE	DESCRIPTION
18	05/11/2024	ISSUE FOR PERMITS
17	05/15/2024	ISSUE FOR PERMITS
16	05/15/2024	ISSUE FOR PERMITS
15	05/15/2024	ISSUE FOR PERMITS
14	05/15/2024	ISSUE FOR PERMITS
13	05/15/2024	ISSUE FOR PERMITS
12	05/15/2024	ISSUE FOR PERMITS
11	05/15/2024	ISSUE FOR PERMITS
10	05/15/2024	ISSUE FOR PERMITS
9	05/15/2024	ISSUE FOR PERMITS
8	05/15/2024	ISSUE FOR PERMITS
7	05/15/2024	ISSUE FOR PERMITS
6	05/15/2024	ISSUE FOR PERMITS
5	05/15/2024	ISSUE FOR PERMITS
4	05/15/2024	ISSUE FOR PERMITS
3	05/15/2024	ISSUE FOR PERMITS
2	05/15/2024	ISSUE FOR PERMITS
1	05/15/2024	ISSUE FOR PERMITS

PROJECT NO: 2311  
 CAD FILE: 2311-000-01-ALL REV BOUND.dwg  
 DRAWN BY: JM  
 CHECKED BY: JM  
 COPYRIGHT:  
 SHEET TITLE:  
 SITE SECTION 2

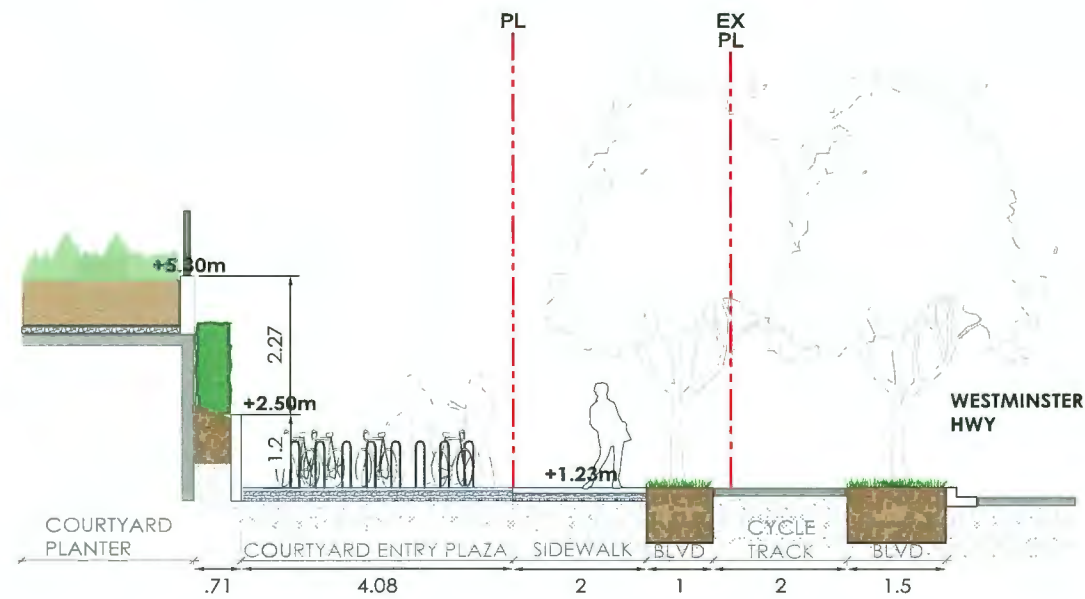




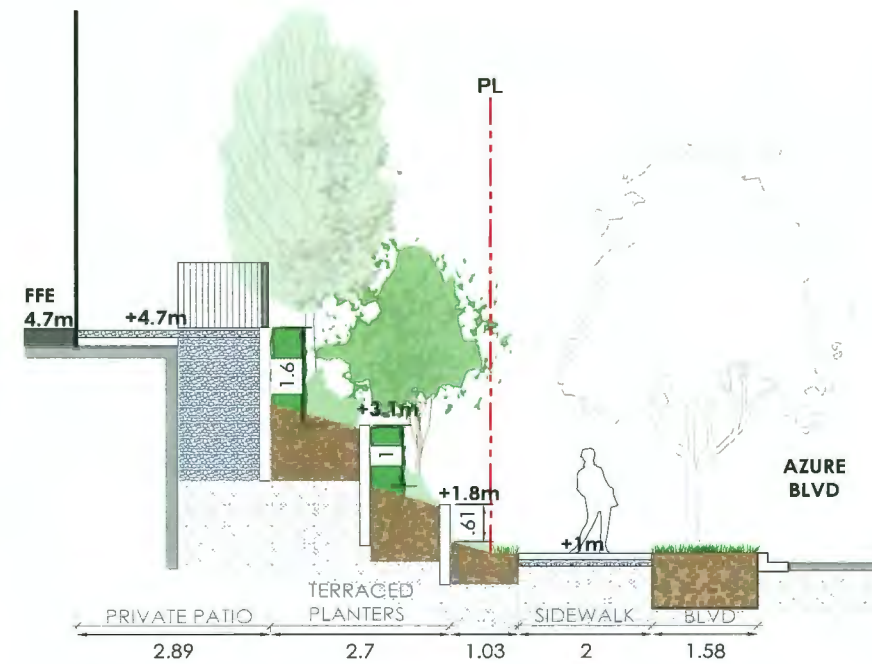
**SECTION A: BLDNG A PATIOS/ WESTMINSTER HWY**  
SCALE 1:50



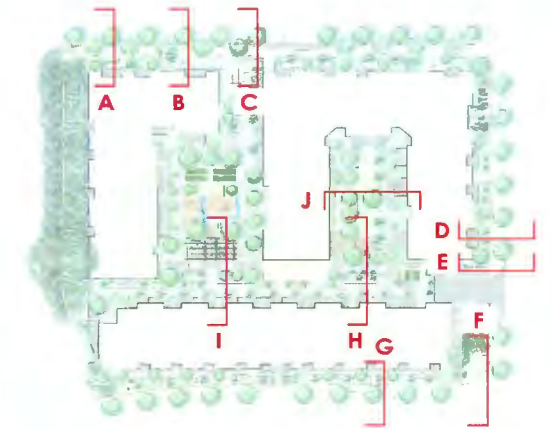
**SECTION B: BLDNG A PATIOS/ COURTYARD RAMP ACCESS/ WESTMINSTER HWY**  
SCALE 1:50



**SECTION C: COURTYARD STAIR ACCESS/ WESTMINSTER HWY**  
SCALE 1:50



**SECTION D: BLDNG B PATIOS/ AZURE BLVD**  
SCALE 1:50



3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:
Revisions:		

**DK** Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4611  
f: 604 684 0577  
www.dki.bc.ca

DP 23-023854  
May 22, 2024  
DP Plan # 22

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

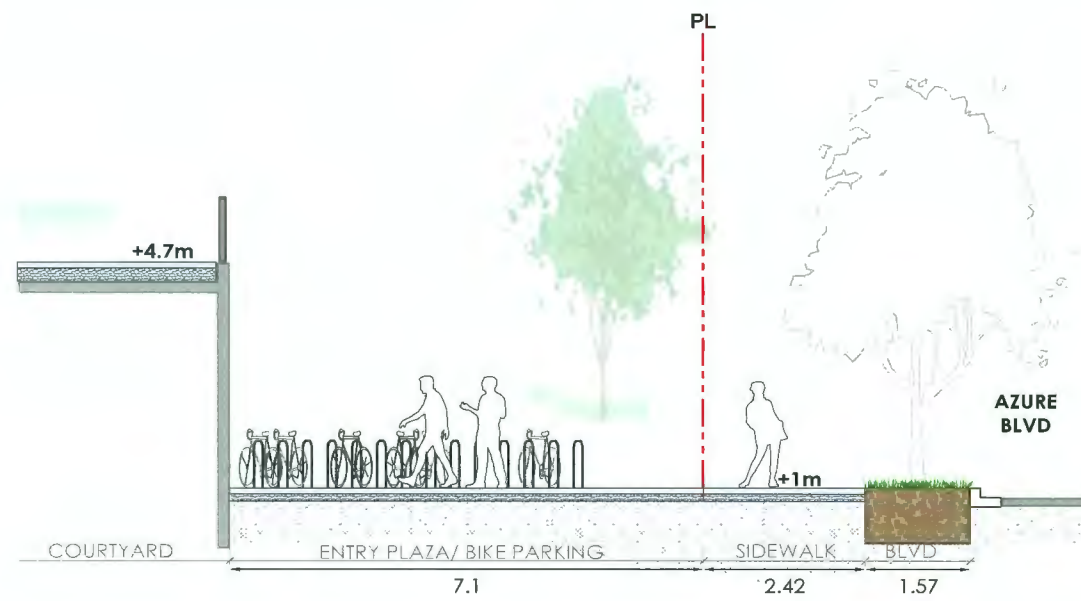
Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
Scale: NTS of 11x17 size  
Drawing Title:

**LANDSCAPE SECTIONS**

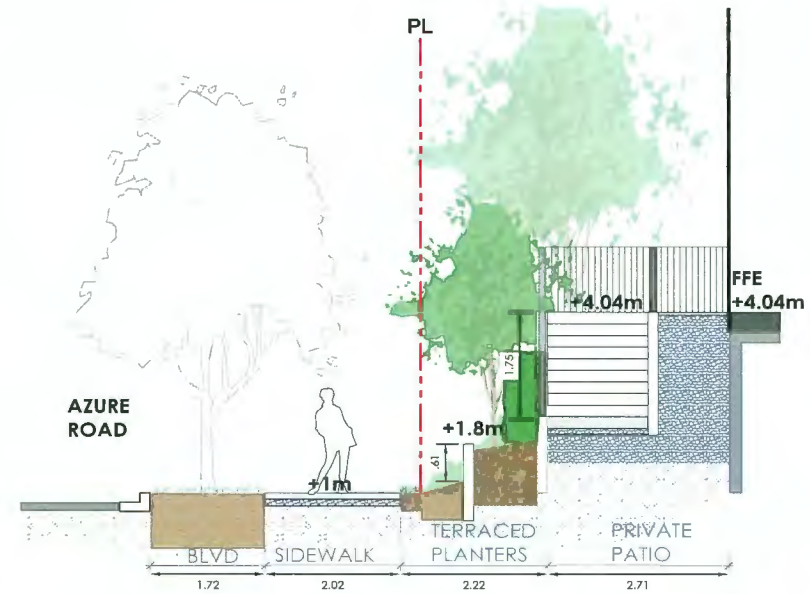
Project No.:  
**21122**  
Sheet No.:

**L3.1**

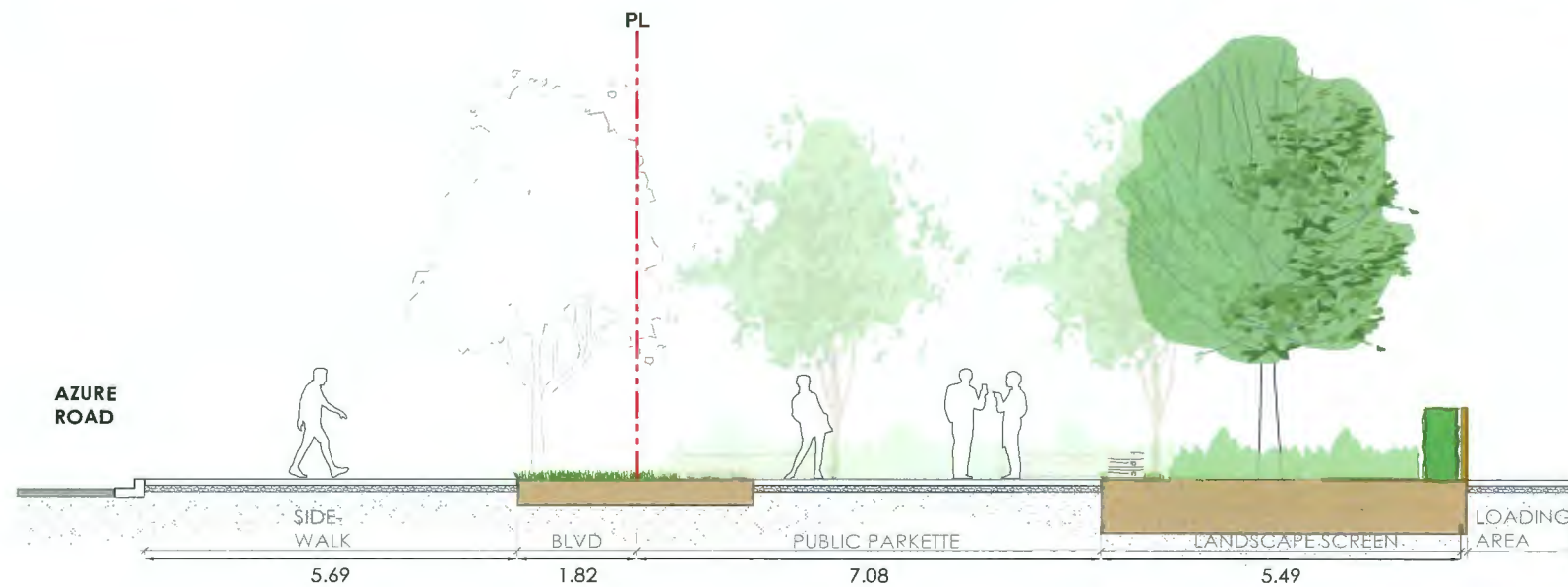




**SECTION E: COURTYARD/ VISITOR BIKE PARKING/ AZURE BLVD**  
SCALE 1:50



**SECTION G: AZURE ROAD/ BLDNG C PATIOS**  
SCALE 1:50



**SECTION F: AZURE ROAD/ PUBLIC PARKETTE/ LOADING AREA**  
SCALE 1:50

3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:

Revisions:

**dk** Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4611  
f: 604 684 0577  
www.dkl.bc.ca

**DP 23-023854**  
May 22, 2024  
DP Plan # 23

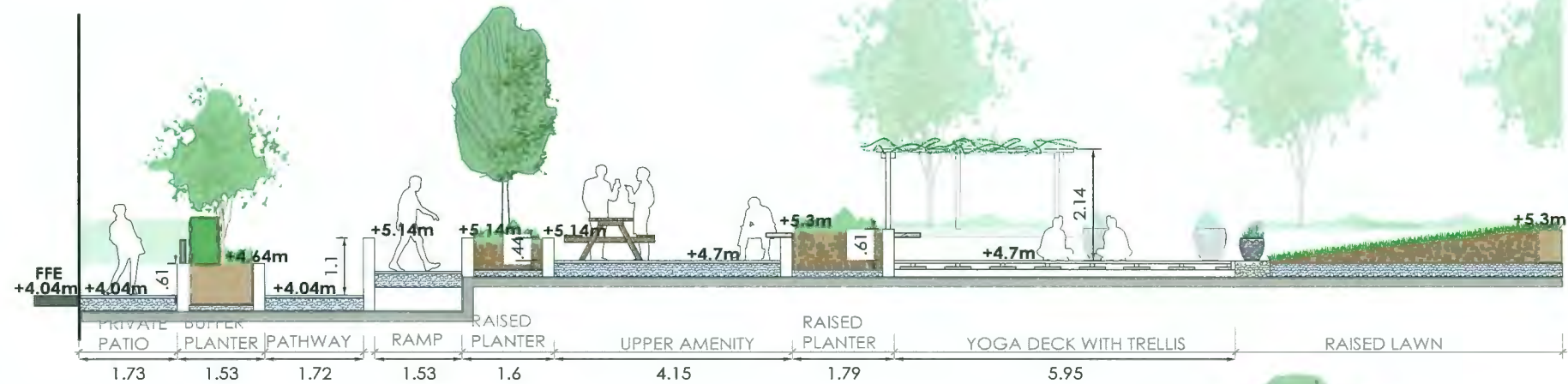
Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
Scale: NTS at 11x17 size  
Drawing Title:

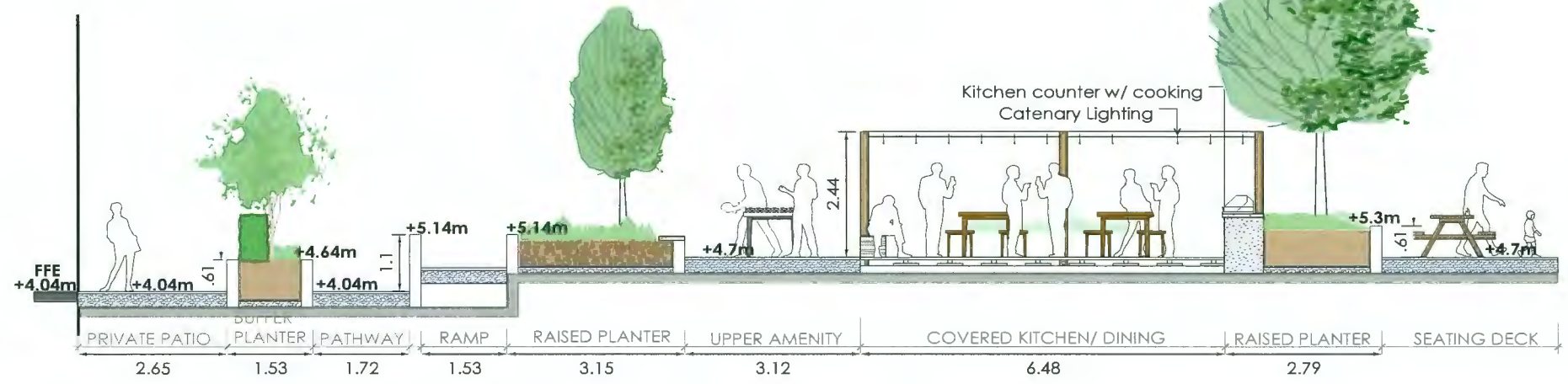
**LANDSCAPE SECTIONS**

Project No.:  
**21122**  
Sheet No.:

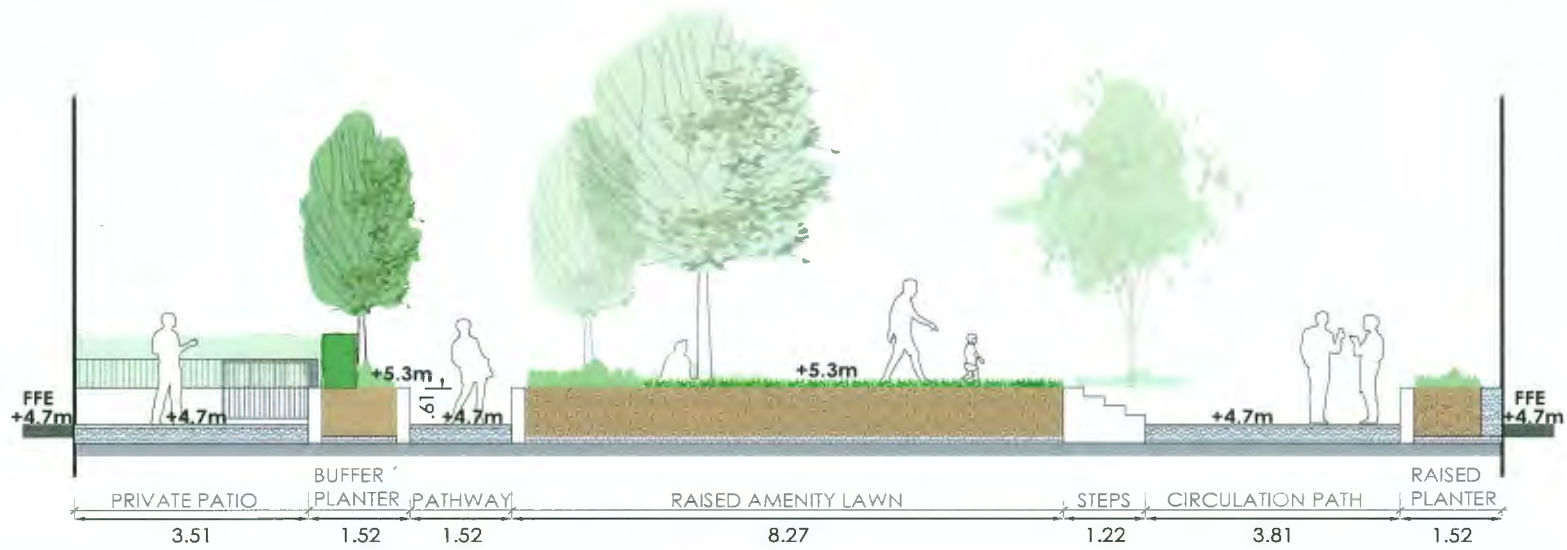
**L3.2**



**SECTION H: BLDNG C PATIOS @ EASTERN AMENITY GARDEN**  
SCALE 1:50



**SECTION I: BLDNG C PATIOS @ WESTERN AMENITY GARDEN**  
SCALE 1:50



**SECTION J: BLDNG B PATIOS @ EASTERN AMENITY GARDEN**  
SCALE 1:50

3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:

Revisions:

**dk** Durante Kreuk Ltd.  
102 - 1837 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4611  
f: 604 684 0577  
www.dk.bc.ca

**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 24**

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by:	JW
Checked by:	PK
Date:	MAY 2024
Scale:	NTS of 11x17 size

Drawing Title:  
**LANDSCAPE SECTIONS**

Project No.:  
**21122**

Sheet No.:

**L3.3**



**PLANT LIST**

**TREES**

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	38	Street trees, final location and species to be determined by the City of Richmond		
	16	Acer griseum	Paperbark Maple	6cm cal. B&B
	17	Magnolia 'Galaxy'	Galaxy Magnolia	5cm cal. B&B
	15	Prunus serrulata 'Kwanzan'	Kwanzan Flowering Cherry	6cm cal. B&B
	25	Acer palmatum 'Osakakazuki'	Osakakazuki Japanese Maple	6cm cal. B&B
	13	Amelanchier x grandiflora	Serviceberry	6cm cal. B&B
	4	Malus fusca (Level 05 planters)	Pacific Crabapple	6cm cal. B&B
	8	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Freeman Maple	6cm cal. B&B
	8	Quercus coccinea	Scarlet Oak	7cm cal. B&B
	18	Acer platanoides 'Crimson Sentry'	Crimson Sentry Maple	6cm cal. B&B
	4	Caraciphytum japonicum	Katsura Tree	6cm cal. B&B
	10	Prunus sargentii 'Rancho'	Rancho Flowering Cherry	6cm cal. B&B
	6	Pinus ponderosa	Ponderosa Pine	3m ht B&B
	7	Thuja plicata 'fastigiata'	Fastigate Red Cedar	3m ht B&B
	3	Picea glauca	White Spruce	3m ht B&B

**SHRUBS/FERNS**

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
az	110	Azalea 'Hino White'	Hino White Azalea	#2 pot, 18" o.c.
AZ	19	Azalea 'Hino Pink'	Hino Pink Azalea	#2 pot, 18" o.c.
Bx	14	Buxus m. Wintergem	Winter Gem Boxwood	#2 pot, 15" o.c.
Ct	187	Chelys tamata	Mexican Mock Orange	#3 pot, 24" o.c.
CS	21	Cornus sericea 'Arctic Fire'	Arctic Fire Red-Osier Dogwood	#2 pot, 30" o.c.
De	9	Dryopteris erythrosora	Autumn Fern	#2 pot, 18" o.c.
G	107	Gaultheria shallon	Salal	#2 pot, 15" o.c.
HS	12	Hydrangea serrata 'Blue Bird'	Blue Bird Hydrangea	#3 pot, 30" o.c.
LP	225	Lonicera pileata	Privet Honeysuckle	#2 pot, 24" o.c.
MA	12	Mahonia aquifolium	Oregon Grape Holly	#3 pot, 24" o.c.
Mr	239	Mahonia repens	Creeping Oregon Grape Holly	#1 pot, 18" o.c.
PL	9	Prunus lauroceras 'Otto Lyukan'	Laurel Hedge	#3 pot, 30" o.c.
Pm	214	Polyalthum minimum	Sword Fern	#2 pot, 18" o.c.
R	47	Rhododendron 'Liriope'	Liriope Rhododendron	#3 pot, 24" o.c.
Rh	108	Rhododendron 'PJM'	PJM Rhododendron	#3 pot, 24" o.c.
Rt	84	Rhododendron 'Anna Krushke'	Anna Krushke Rhododendron	# pot, 24" o.c.
Sh	81	Sarcococca hookeriana humilis	Dwarf Sweet Box	#2 pot, 18" o.c.
SR	87	Sarcococca nuscifolia	Sweet Box	#3 pot, 30" o.c.
Vd	175	Viburnum davidii	David's Viburnum	#2 pot, 24" o.c.

**PERENNIALS/GRASSES**

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
co	288	Carex oshimensis 'Evergold'	Evergold Japanese Sedge	#1 pot, 12" o.c.
	66	Clematis armandii	Evergreen Clematis	#2 pot, 18" o.c., min 3 trailers
c	88	Cotoneaster dammeri	Bearberry Cotoneaster	#1 pot, 15" o.c.
e	149	Erica carnea	Winter Heath	#1 pot, 12" o.c.
f	60	Festuca glauca 'Elijah Blue'	Blue Fescue	#1 pot, 12" o.c.
H	8	Hemerocallis Stella D'oro	Stella D'oro Daylily	#1 pot, 15" o.c.
ha	173	Heuchera 'Amber Waves'	Amber Waves Coral Bells	#1 pot, 12" o.c.
hg	180	Heuchera 'Green Spice'	Green Spice Coral Bells	#1 pot, 12" o.c.
hl	260	Heuchera 'Lime Ricky'	Lime Coral Bells	#1 pot, 12" o.c.
hp	32	Heuchera 'Shanghai Purple'	Purple Coral Bells	#1 pot, 12" o.c.
La	182	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue Lavender	#1 pot, 14" o.c.
li	609	Liriope muscari 'Big Blue'	Lily Turf	#1 pot, 12" o.c.
L	153	Lithodora diffusa 'Grace Ward'	Grace Ward Lithodora	#1 pot, 14" o.c.
Ms	46	Miscanthus sinensis 'Malepartus'	Maiden Grass	#2 pot, 18" o.c.
o	384	Ophiopogon japonicus 'Nana'	Dwarf Mondo Grass	9cm pot, 12" o.c.
	61	Parthenocissus quinquefolia	Virginia Creeper	#2 pot, 18" o.c., min 3 trailers
pt	589	Pachysandra terminalis	Pachysandra	9cm pot, 12" o.c.
P	88	Phlox subulata 'Scarlet Flame'	Scarlet Flame Creeping Phlox	#1 pot, 14 o.c.
r	14	Rudbeckia fulgida 'Goldstrum'	Black Eye Susans	#2 pot, 15" o.c.
st	50	Sipa tenuissima	Mexican Feather Grass	#1 pot, 12" o.c.

**DRAWING LIST**

L1.0 COVER SHEET	L2.3 PLANTING PLAN
L1.1 LANDSCAPE SITE PLAN	L2.4 PLANTING PLAN
L1.2 LANDSCAPE SITE PLAN - LEVEL 5	L2.5 PLANTING PLAN - LEVEL 5
L1.3 MATERIALS & GRADING PLAN	L3.1 LANDSCAPE SECTIONS
L1.4 MATERIALS & GRADING PLAN	L3.2 LANDSCAPE SECTIONS
L1.5 MATERIALS & GRADING PLAN	L3.3 LANDSCAPE SECTIONS
L1.6 MATERIALS & GRADING PLAN	L4.1 LANDSCAPE DETAILS
L2.1 PLANTING PLAN	L4.2 LANDSCAPE DETAILS
L2.2 PLANTING PLAN	L4.3 LANDSCAPE DETAILS
	L4.4 LANDSCAPE DETAILS

**MATERIALS KEY**

KEY	MATERIAL
<b>SURFACING</b>	
	SODDED LAWN
	LAYERED SHRUB PLANTING
	GARDENING PLOTS
	24"x24" HYDRAPRESSED CONCRETE PAVERS NATURAL GREY
	CIP CONCRETE BROOM FINISHED PATHWAYS 100MM THICK, SAWCUT AS PER PLAN. REFER TO CIVIL FOR OFFSITE
	FEATURE CONCRETE PAVING NATURAL GREY 4" x 8" HOLLAND PAVES (VEHICULAR AT PARKADE ENTRY), RUNNING BOND
	GRAVEL/RIVER ROCK DRAINAGE STRIP
	PIP RUBBER PLAY SURFACING
	WOOD DECKING FEATURE PAVING
	POUR-IN-PLACE VIRGIN RUBBER PLAY SURFACING GALVANIZED METAL EDGE, COLOURS: PLINT
<b>SURFACING</b>	
	CIP CONCRETE WALLS/CURBS
	CIP CONCRETE STEPS
	BRICK/STONE FACE ARCHITECTURAL WALL
	METAL FENCING & GATE BLACK ALUMINUM PICKET
	LOADING ZONE FENCING
<b>FURNISHING</b>	
	VISITOR BIKE PARKING
	DINING SEATING
	CUSTOM BENCH SEATING
	PICNIC TABLE WITH UMBRELLA HOLDER
	MOVEABLE LOUNGE SEATER
	ALL-SEASON PING PONG TABLE
	KIDS PLAY PLAY PANEL
	KIDS PLAY SPRINGER HORSE
	KIDS PLAY PLAY TOWER
	KIDS PLAY HUT
	KIDS PLAY CLIMBER
	OUTDOOR GYM EQUIPMENT
	BBQ W/ COUNTERTOP SPACE NAPOLEAN BBQ, POLISHED CONCRETE COUNTER
	LEVEL 5 FURNISHING GLOSTER
	LEVEL 5 FURNISHING HARVEST TABLE
<b>FURNISHING</b>	
	RECESSED STEP LIGHTING REFER TO ELECTRICAL FOR FURTHER DETAIL
	LANDSCAPE BOLLARD LIGHTING REFER TO ELECTRICAL FOR FURTHER DETAIL
	HANGING STRING LIGHTS
<b>GRADING</b>	
TW	TOP OF WALL
BW	BOTTOM OF WALL
+3.21	SPOT ELEVATION (METERS)
FFE	FINISHED FLOOR ELEVATION

**LANDSCAPE NOTES**

- All work shall meet or exceed the requirements as outlined in the current Edition of the B.C. Landscape Standard.
- Plant sizes and related container classes are specified according to the B.C. Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the BCNTA (ANSI) Standard.
- All trees to be staked in accordance with BCNTA Standards.
- ALL STREET TREES Install 8" x 24" Deep Root Barrier centred on each tree between tree pit and sidewalk (ON BOTH SIDES: CURB AND SIDEWALK).
- For all existing on site services and survey symbols refer to survey drawings.
- All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good conditions.
- All Patios shall be equipped with hose bibs.
- All irrigation valve boxes equipped with quick-couplers.
- Coniferous replacement trees shall be 4m height and deciduous replacement trees shall be 8cm caliper per City of Richmond.

**DESIGN RATIONALE**

The landscape design creates attractive and safe public, semi-private and private spaces for residents and the neighborhood.

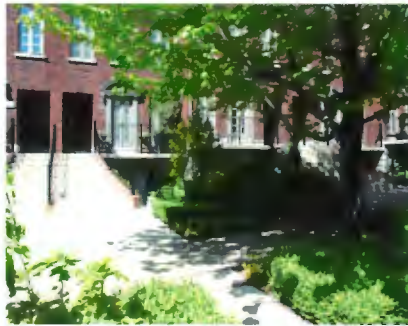
The residential courtyard aims to provide a sense of community and inclusivity by offering a variety of opportunities for different user groups to socialize and enjoy. Two distinct courtyard spaces encourage active and passive types of use. The west space adjacent to building A provides lots of social gathering opportunities on a large seating terrace overlooking a kid's play space and flexible use open lawn. Within the east courtyard encircled by building B, a raised garden is proposed. Surrounded by trees and lush planting, the create a relaxed and intimate garden. Connecting these spaces east and west runs a central spine with a fitness amenity zone and rows of tree planting. All units have been designed to have a private patio or an entry porch with private access to the courtyard spaces.

Along the street frontages, grade differentials to private patios at Westminster Hwy, Azure Blvd and Azure Road are addressed through terracing of landscape planters. These terraces are designed to provide effective privacy screening without compromising soil volumes for semi-mature tree plantings. Finished soil levels will be sloped to further assist in bedding the terraced walls into the landscape. Where feasible, stepped access is provided for residents to gain access to private patios from street level.

The project contributes to the neighbourhood by providing an attractive public parkette tucked back from the junction of Azure Road and Azure Blvd. Building entry plazas provide opportunities for public seating and gathering along all three sides.

On the level 5 amenity terrace, the range of programs include an outdoor kitchen and dining, outdoor lounges, sun lawn and urban agriculture planters. A trellis with catenary lighting will enclose and protect the kitchen/dining space with attractive timber decking. Trees will be planted in raised planters to provide additional shade.

**PRECEDENT IMAGERY**



3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:

**ok** Durante Krauk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4811  
f: 604 684 0577  
www.ok.bc.ca

**DP 23-023854**  
May 22, 2024  
**DP Plan # 25**

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

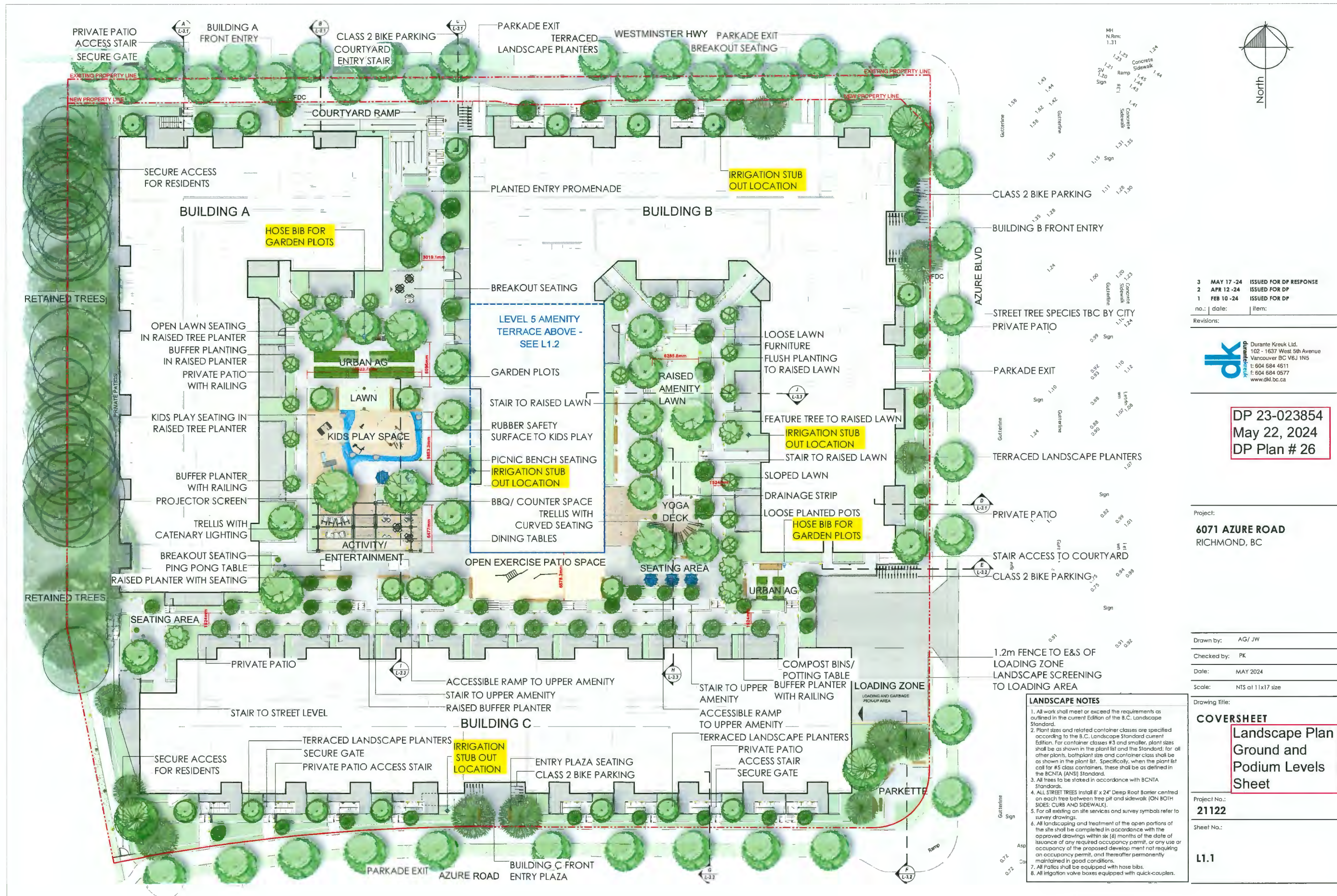
Drawn by:	AGJ/JW
Checked by:	PK
Date:	MAY 2024
Scale:	NTS at 11x17 size

Drawing Title:  
**COVERSHEET**  
**Plant List, Materials and Notes Sheet**

Sheet No.:  
**21122**

L1.0





3 MAY 17-24 ISSUED FOR DP RESPONSE  
 2 APR 12-24 ISSUED FOR DP  
 1 FEB 10-24 ISSUED FOR DP  
 no.: | date: | item:  
 Revisions:



**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 26**

Project:  
**6071 AZURE ROAD**  
 RICHMOND, BC

Drawn by: AG/ JW  
 Checked by: PK  
 Date: MAY 2024  
 Scale: NTS at 1/16" = 1'-0"

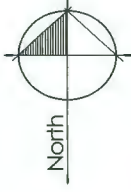
Drawing Title:  
**COVERSHEET**  
**Landscape Plan**  
**Ground and**  
**Podium Levels**  
**Sheet**

Project No.:  
**21122**

Sheet No.:  
**L1.1**

- LANDSCAPE NOTES**
- All work shall meet or exceed the requirements as outlined in the current Edition of the B.C. Landscape Standard.
  - Plant sizes and related container classes are specified according to the B.C. Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the BCNTA (ANSI) Standard.
  - All trees to be planted in accordance with BCNTA Standards.
  - ALL STREET TREES install 8" x 24" Deep Root Barrier centred on each tree between tree pit and sidewalk (ON BOTH SIDES: CURB AND SIDEWALK).
  - For all existing on site services and survey symbols refer to survey drawings.
  - All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development that requiring an occupancy permit, and thereafter permanently maintained in good conditions.
  - All Patios shall be equipped with hose bibs.
  - All irrigation valve boxes equipped with quick-couplers.





3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:

Revisions:



Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4611  
f: 604 684 0577  
www.dk.bc.ca

**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 27**

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

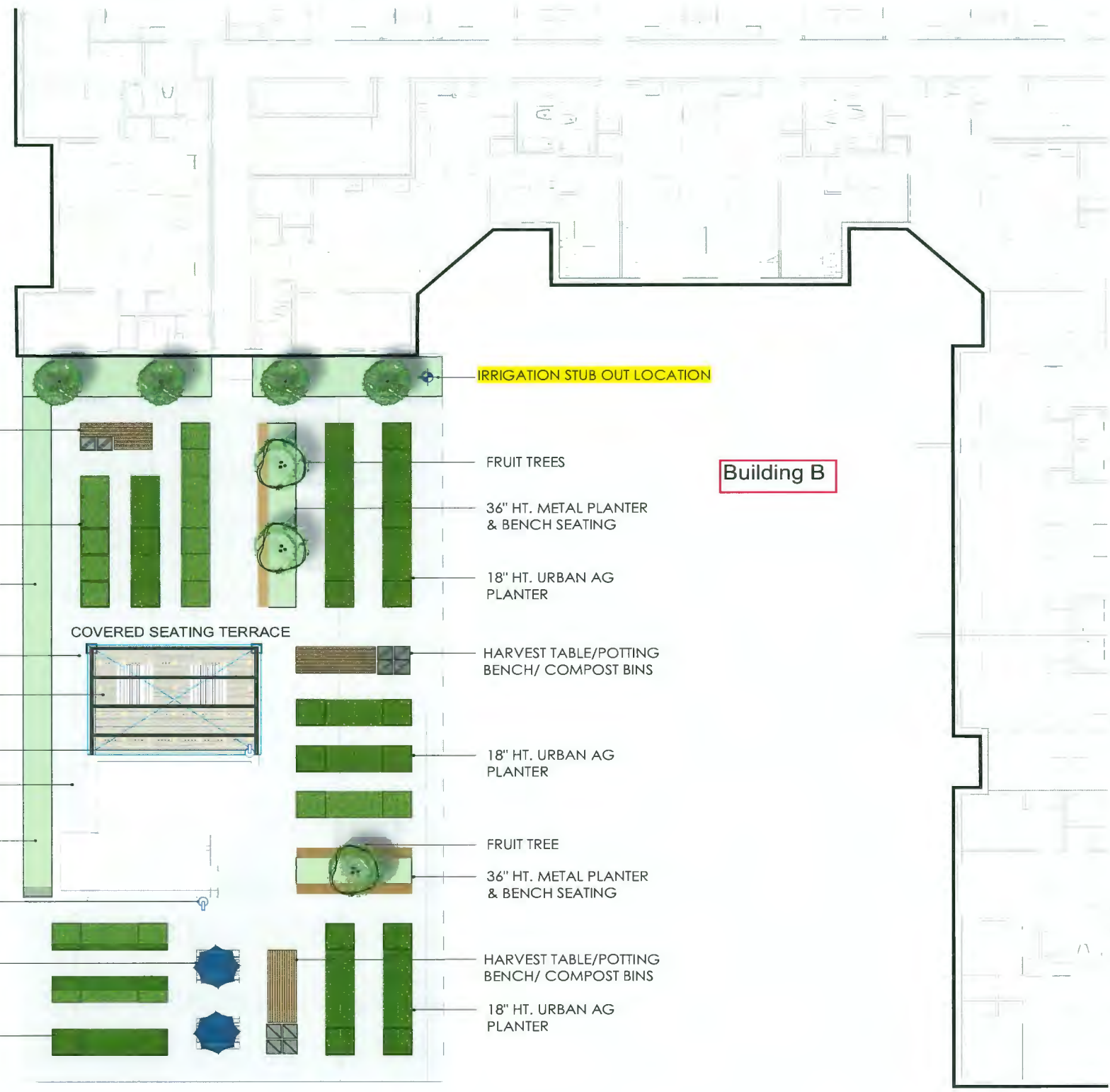
Drawn by: AG/JW  
Checked by: PK  
Date: MAY 2024  
Scale: NTS at 11x17 size  
Drawing Title:

**LANDSCAPE PLAN**  
**LEVEL 5**

Project No.:  
**21122**

Sheet No.:

**L1.2**



HARVEST TABLE/POTTING BENCH/ COMPOST BINS

18" HT. URBAN AG PLANTER

PERIMETER PLANTER

TRELLIS/ CATENERY LIGHTING

WOOD DECKING

HOSE BIB FOR GARDEN PLOTS

IRRIGATION CLOSET

PERIMETER PLANTER

HOSE BIB FOR GARDEN PLOTS

BENCH SEATING

18" HT. URBAN AG PLANTER

IRRIGATION STUB OUT LOCATION

FRUIT TREES

36" HT. METAL PLANTER & BENCH SEATING

18" HT. URBAN AG PLANTER

HARVEST TABLE/POTTING BENCH/ COMPOST BINS

18" HT. URBAN AG PLANTER

FRUIT TREE

36" HT. METAL PLANTER & BENCH SEATING

HARVEST TABLE/POTTING BENCH/ COMPOST BINS

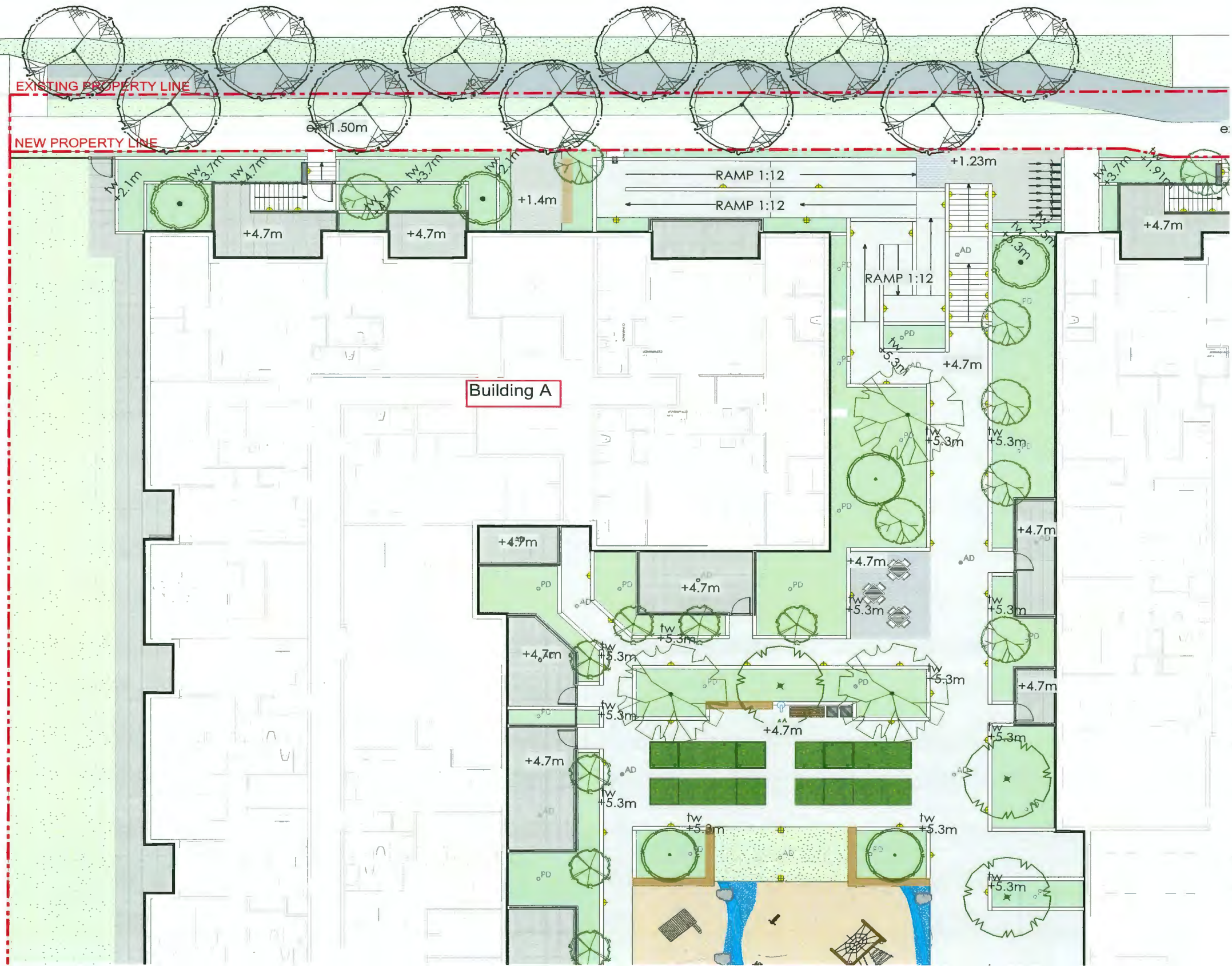
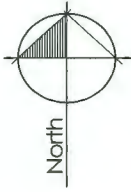
18" HT. URBAN AG PLANTER

**Building B**

COVERED SEATING TERRACE







3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:
Revisions:		

**dk** Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4611  
f: 604 684 0577  
www.dkl.bc.ca

**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 28**

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

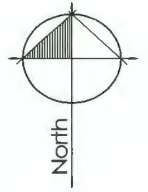
Drawn by: JW  
Checked by: PK  
Date: NTS of 11x17 size  
Scale: 1:100

Drawing Title:  
**MATERIALS & GRADING PLAN**

Project No.:  
**21122**  
Sheet No.:

**L1.3**





3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:

Revisions:



Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4811  
f: 604 684 0577  
www.dkl.bc.ca

DP 23-023854  
May 22, 2024  
DP Plan # 29

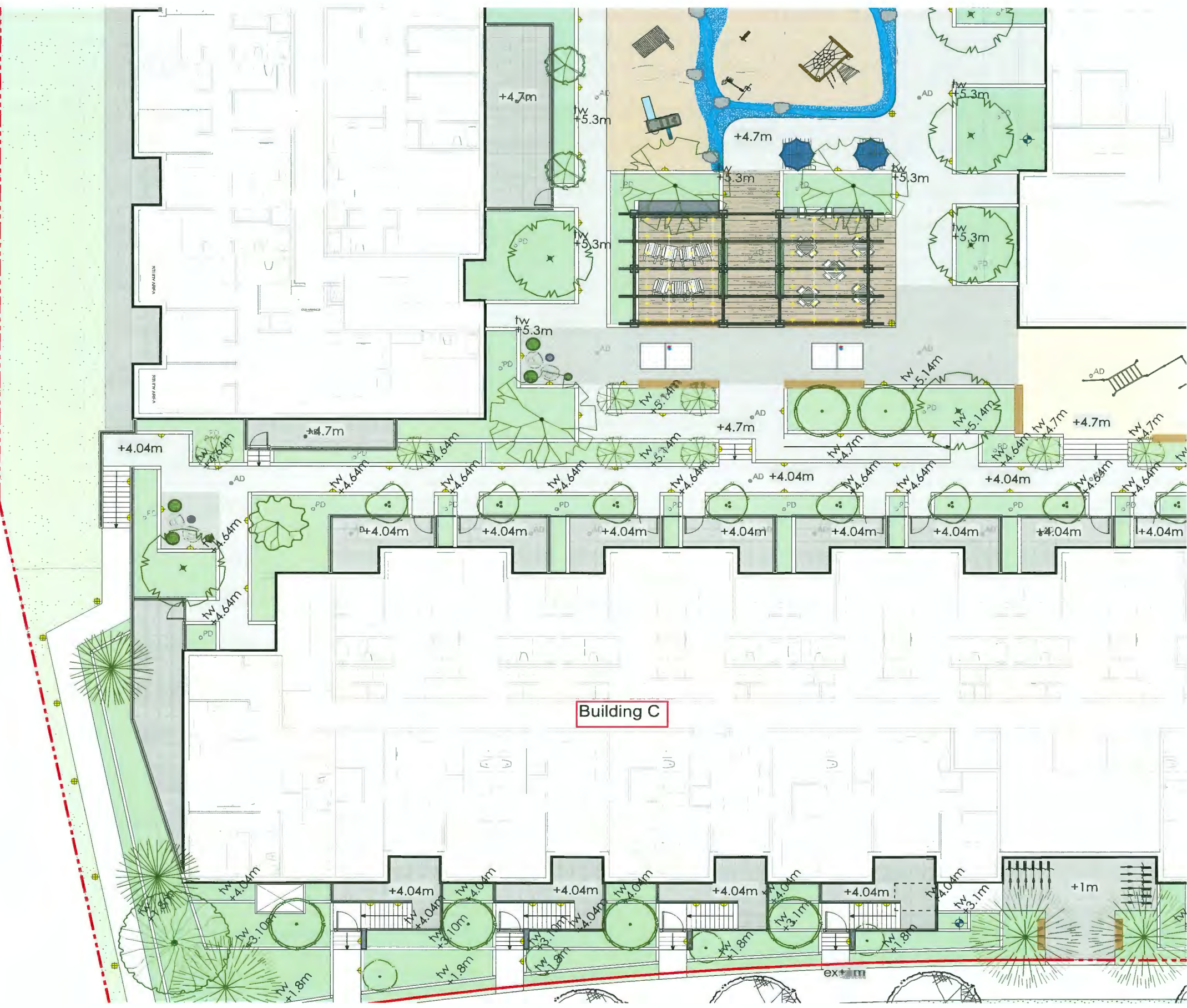
Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
Scale: NTS at 1:1x17 size

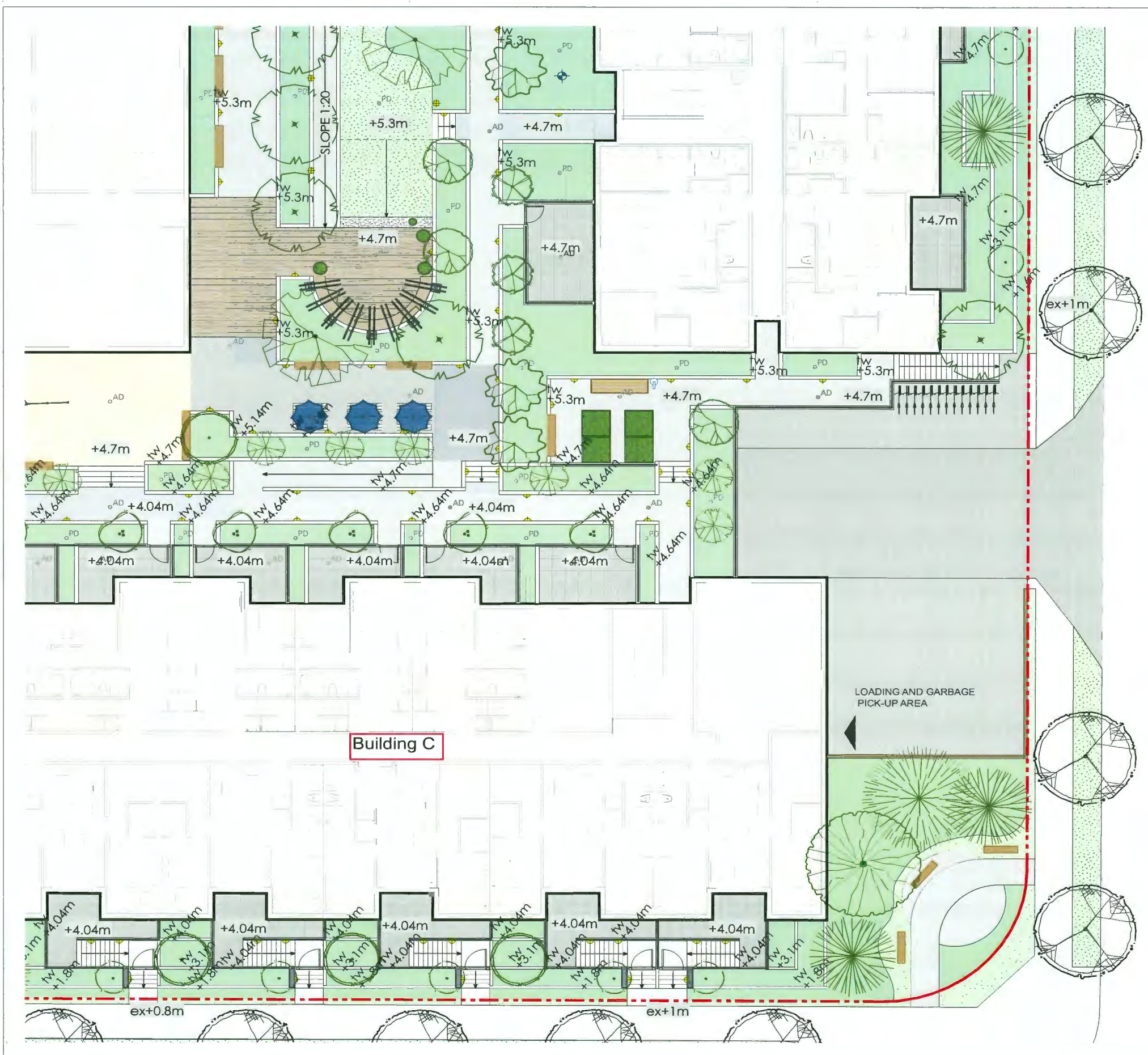
Drawing Title:  
**MATERIALS & GRADING PLAN**

Project No.:  
**21122**

Sheet No.:  
**L1.4**







North

no.:	date:	item:	
3	MAY 17-24	ISSUED FOR DP RESPONSE	
2	APR 12-24	ISSUED FOR DP	
1	FEB 10-24	ISSUED FOR DP	
Revisions:			

Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4611  
f: 604 684 0577  
www.dkl.bc.ca

**DP 23-023854**  
May 22, 2024  
DP Plan # 30

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

---

Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
Scale: NTS at 11x17 size  
Drawing Title:

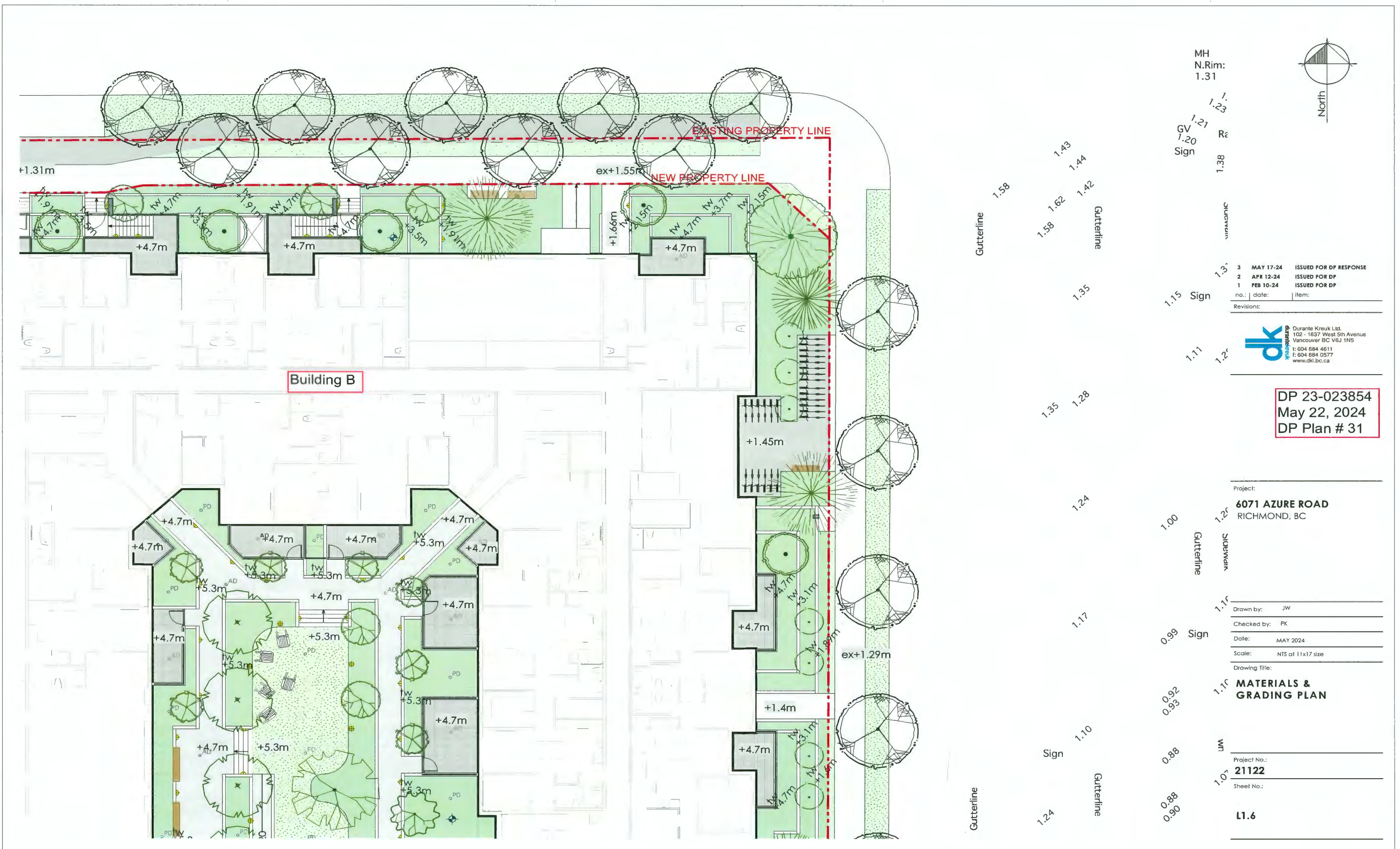
**MATERIALS & GRADING PLAN**

---

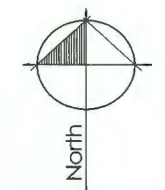
Project No.: **21122**  
Sheet No.:

**L1.5**





MH  
N.Rim:  
1.31



1.23  
1.21  
GV  
1.20  
Sign

1.38  
1.35  
1.32  
1.29  
1.26  
1.23  
1.20  
1.17  
1.14  
1.11  
1.08  
1.05  
1.02  
0.99  
0.96  
0.93  
0.90

3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:
Revisions:		

**dk** Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4611  
f: 604 684 0577  
www.dkl.bc.ca

**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 31**

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
Scale: NTS at 11x17 size  
Drawing Title:

**MATERIALS & GRADING PLAN**

Project No.:  
**21122**  
Sheet No.:

**L1.6**

Gutterline

1.24

Sign

1.10

Gutterline

0.88  
0.85  
0.82

1.05  
1.02  
0.99  
0.96  
0.93  
0.90

1.10  
1.17  
1.24

Gutterline

1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

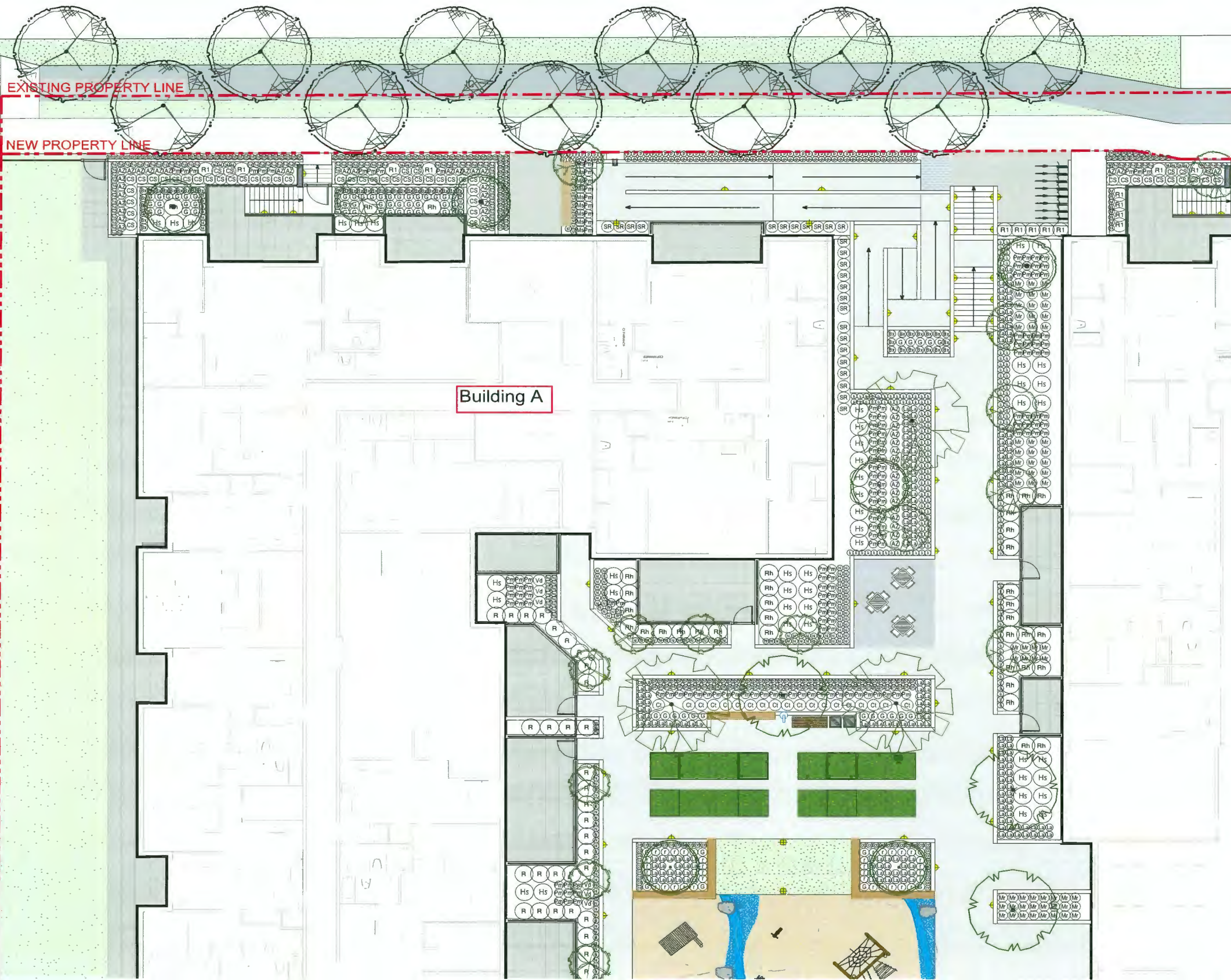
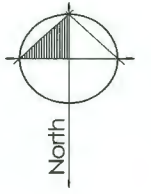
1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70

1.24  
1.21  
1.18  
1.15  
1.12  
1.09  
1.06  
1.03  
1.00  
0.97  
0.94  
0.91  
0.88  
0.85  
0.82  
0.79  
0.76  
0.73  
0.70





3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:

Revisions:



**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 32**

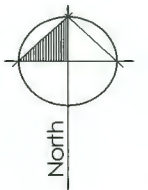
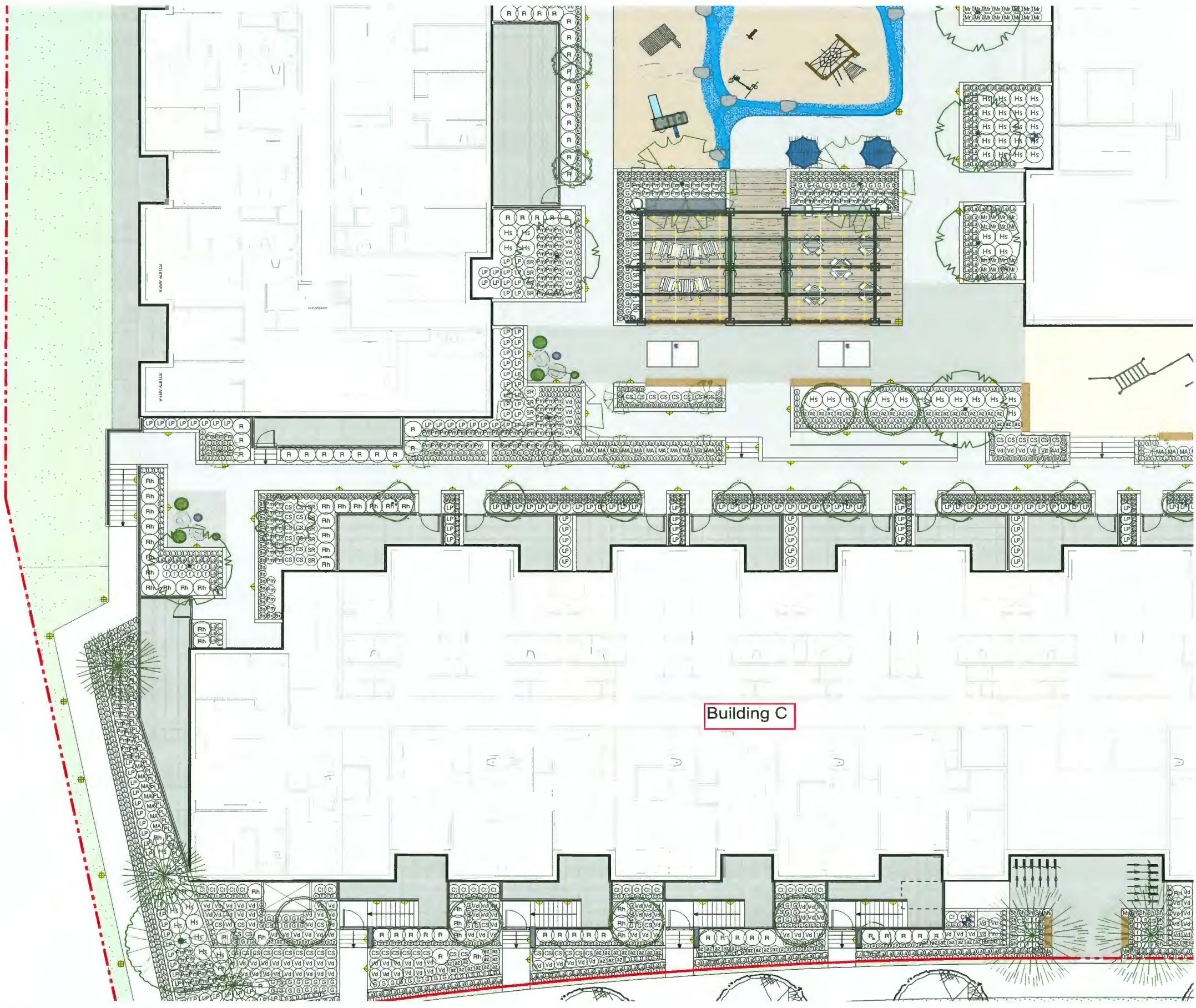
Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: INTS at 11x17 size  
Scale: 1:200  
Drawing Title:  
**PLANTING PLAN**

Project No.:  
**21122**  
Sheet No.:

**L2.1**





3	MAY 17-24	ISSUED FOR DP REPSONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:

Revisions:

**dk** Durante Kreuk Ltd.  
 102 - 1637 West 5th Avenue  
 Vancouver BC V6J 1N5  
 t: 604 684 4611  
 f: 604 684 0577  
 www.dkl.bc.ca

DP 23-023854  
 May 22, 2024  
 DP Plan # 33

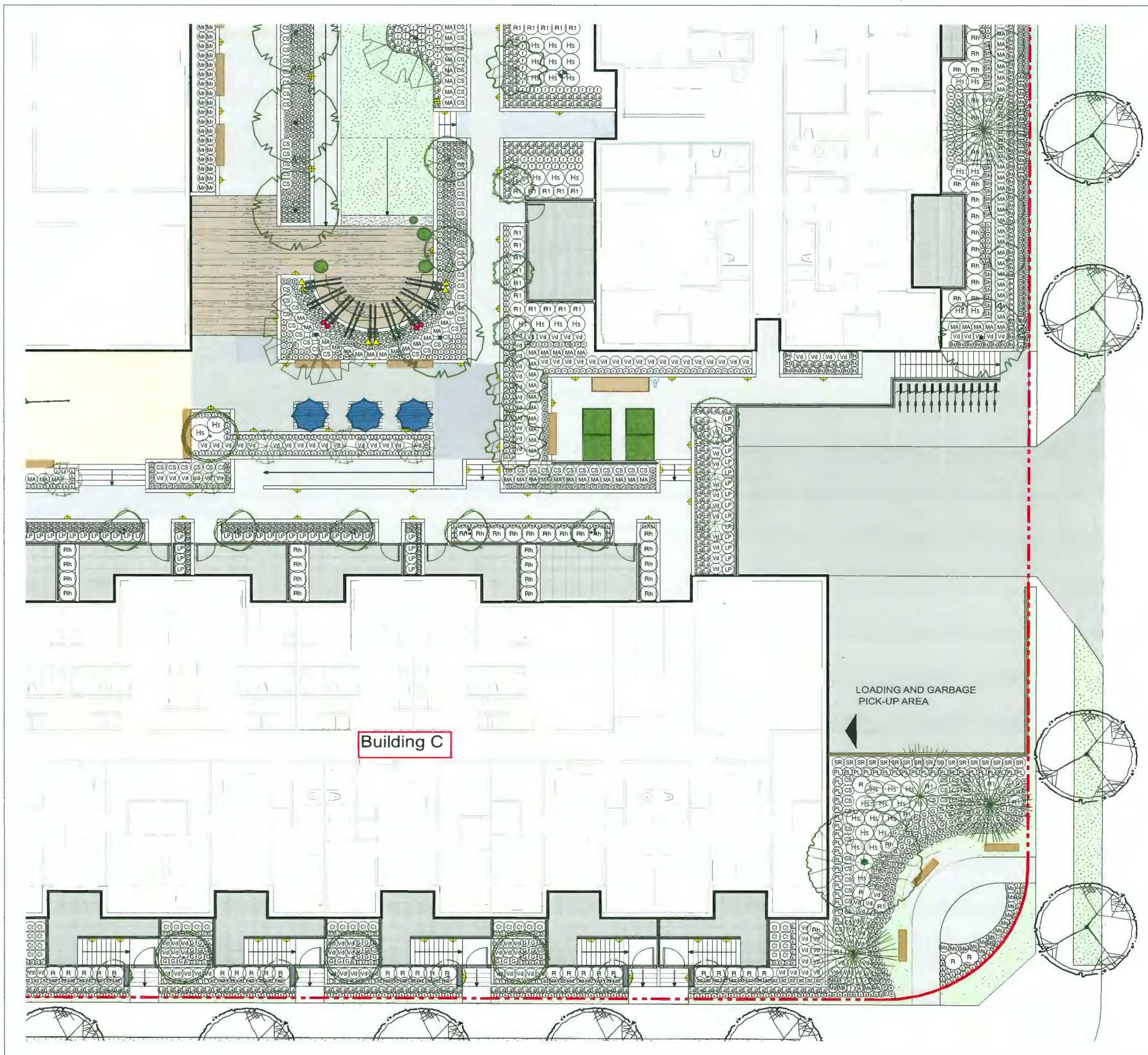
Project:  
**6071 AZURE ROAD**  
 RICHMOND, BC

Building C

Drawn by: JW  
 Checked by: PK  
 Date: MAY 2024  
 Scale: NTS of 1/16 size  
 Drawing Title:  
**PLANTING PLAN**

Project No.:  
**21122**  
 Sheet No.:  
**L2.2**





North

3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:

Revisions:

Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4611  
f: 604 684 0577  
www.dkl.bc.ca

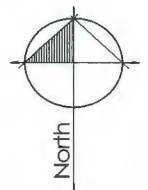
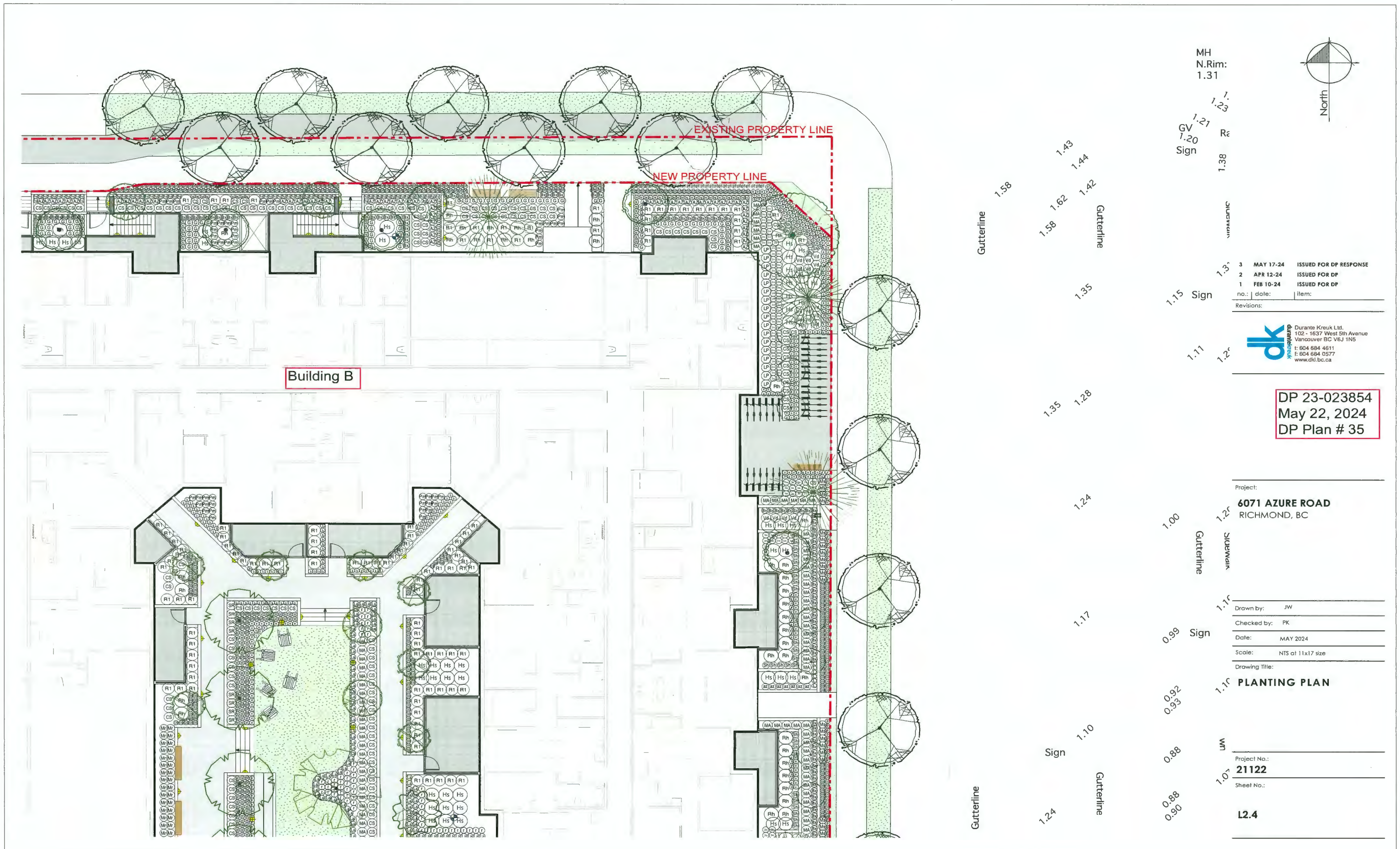
**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 34**

Project:  
**6071 AZURE ROAD**  
 RICHMOND, BC

Drawn by:	JW
Checked by:	PK
Date:	MAY 2024
Scale:	NTS at 11x17 size
Drawing Title:	<b>PLANTING PLAN</b>

Project No.: **21122**  
 Sheet No.: **L2.3**





MH  
N.Rim:  
1.31

1.23  
1.27  
1.20  
Sign  
1.38

Staircase

1.31

1.15 Sign

1.31

1.11

1.21

1.00

1.21

Staircase

0.99 Sign

1.16

0.92  
0.932

1.11

WM

0.88

0.88  
0.90

1.01

3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:

Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4611  
f: 604 684 0577  
www.dkl.bc.ca

DP 23-023854  
May 22, 2024  
DP Plan # 35

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW

Checked by: PK

Date: MAY 2024

Scale: NTS at 1/16" = 1'-0"

Drawing Title:

**PLANTING PLAN**

Project No.: **21122**

Sheet No.:

**L2.4**

Gutterline 1.58

1.43  
1.44  
1.42  
Gutterline

1.35 1.28

1.24

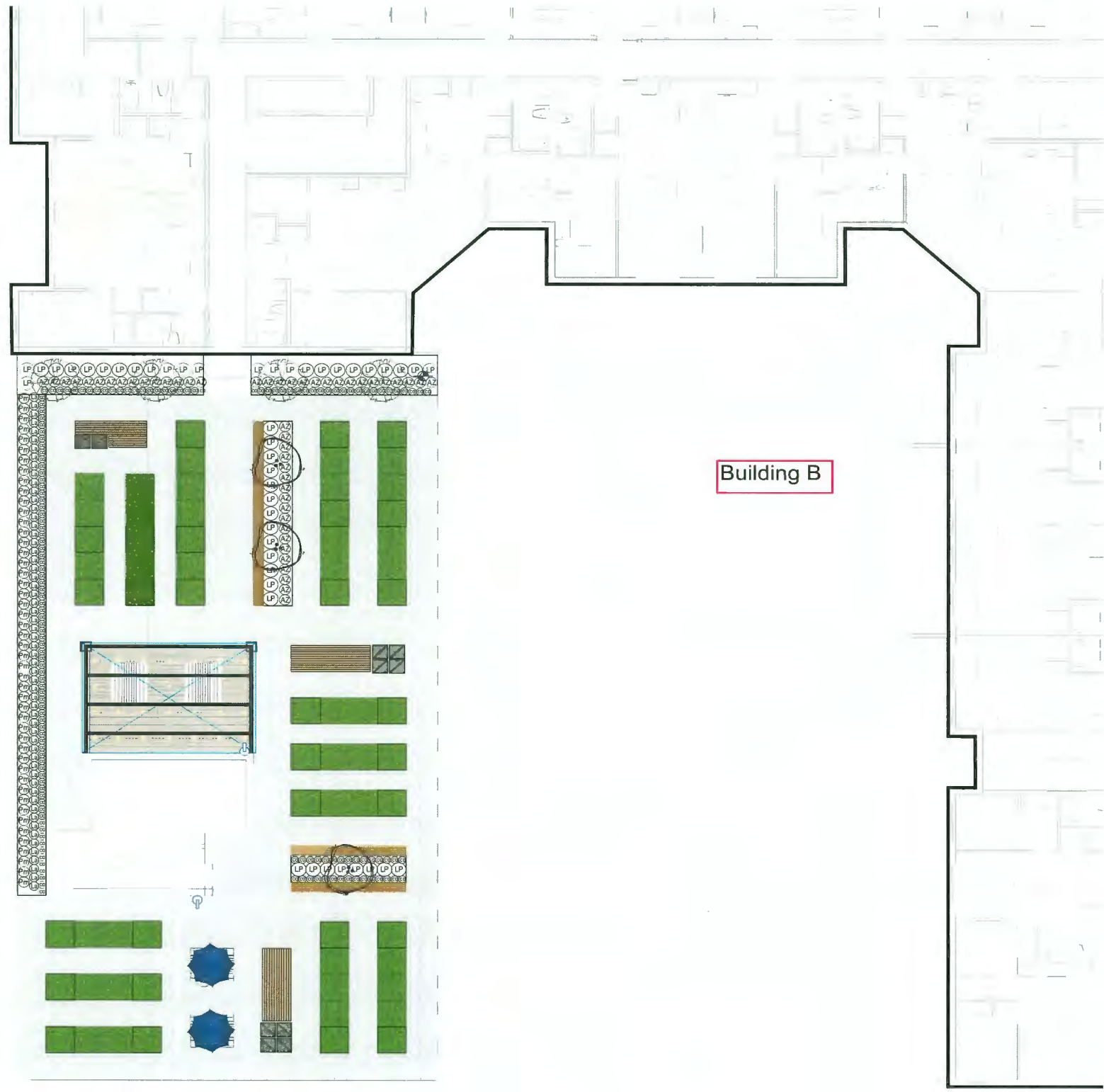
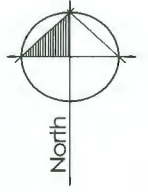
1.17

Sign 1.10

Gutterline 1.24

Gutterline





no.	date	item
3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP

Revisions:

 Durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
t: 604 684 4611  
f: 604 684 0577  
www.dktl.bc.ca

DP 23-023854  
May 22, 2024  
DP Plan # 36

Project:

**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: AG/JW

Checked by: PK

Date: MAY 2024

Scale: NTS at 11x17 size

Drawing Title:

**PLANTING PLAN  
LEVEL 5**

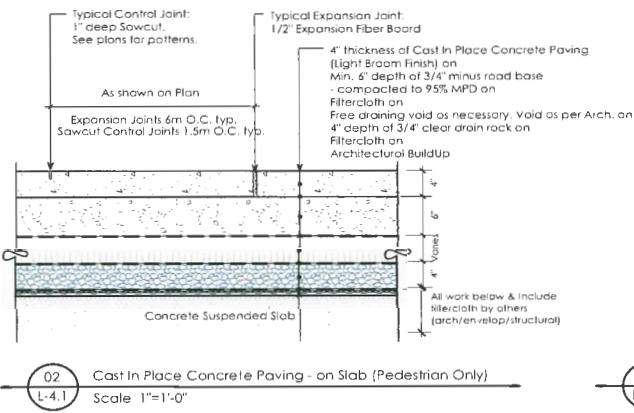
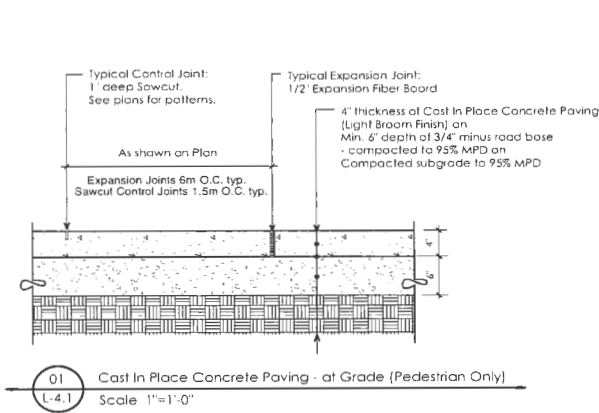
Project No.:  
**21122**

Sheet No.:

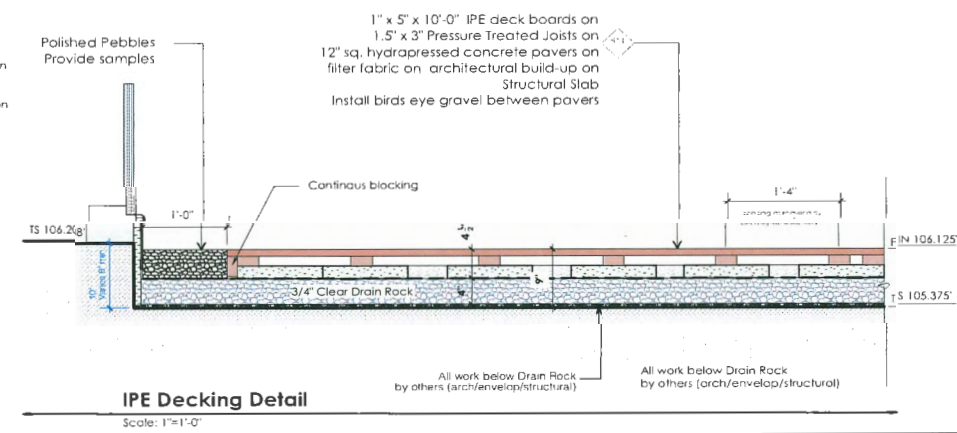
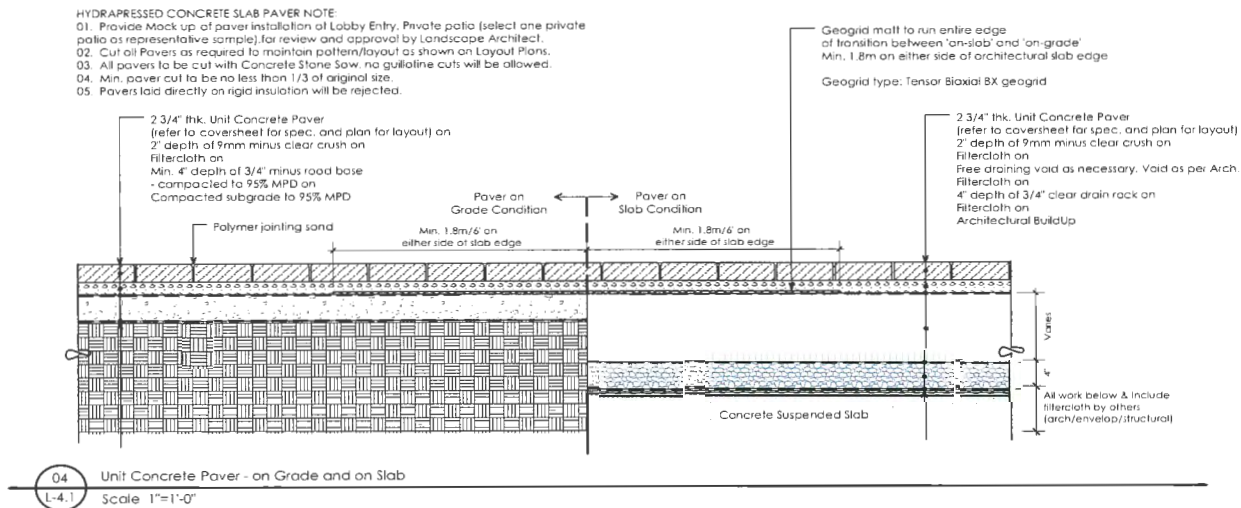
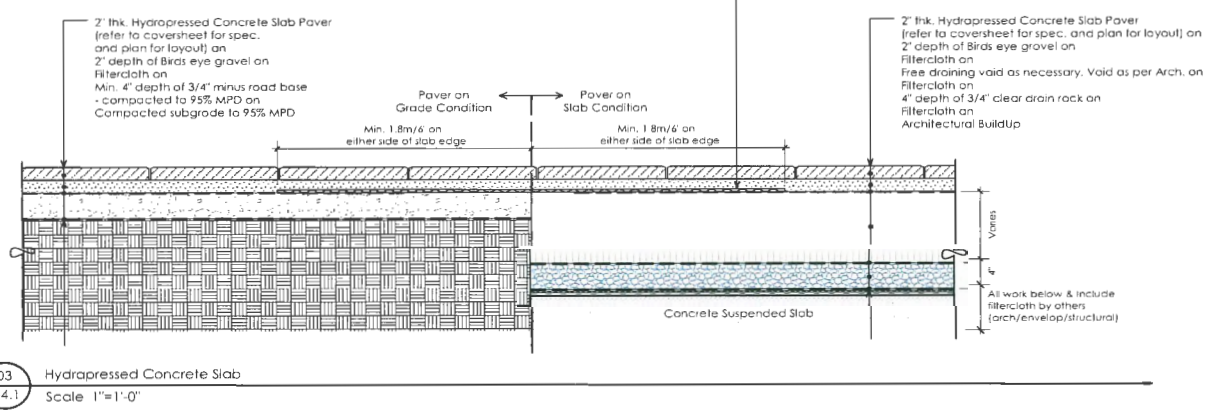
**L2.5**



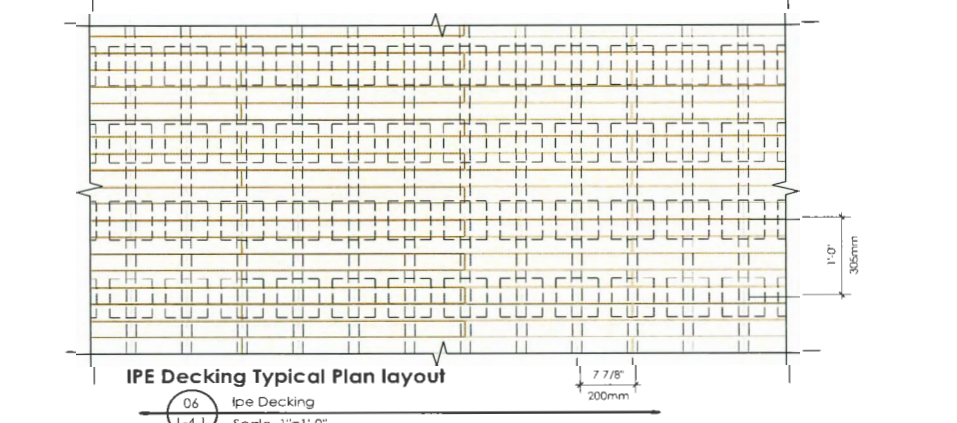
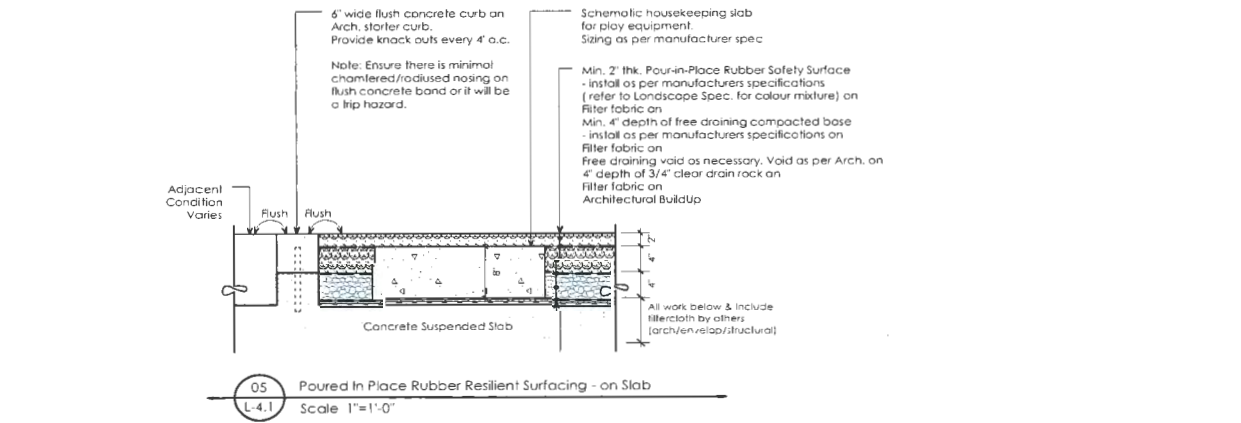




**HYDRAPRESSED CONCRETE SLAB PAVER NOTE:**  
 01. Provide Mock up of paver installation at Lobby Entry, Private patio (select one private patio as representative sample) for review and approval by Landscape Architect.  
 02. Cut all Pavers as required to maintain pattern/layout as shown on Layout Plans.  
 03. All pavers to be cut with Concrete Stone Saw, no guillotine cuts will be allowed.  
 04. Min. paver cut to be no less than 1/3 of original size.  
 05. Pavers laid directly on rigid insulation will be rejected.



**IPE DECKING NOTES:**  
 1. END SEALING: All cut ends of IPE decking to be treated with end grain sealant within 24 hours of cutting. Do Not apply end grain sealant to surface of decking. Sealant to be wiped off surface of deck boards immediately.  
 2. CUTTING AND DRILLING: Due to the hard nature of IPE, premium carbide tipped saw blades to be used for cutting. Use Brad point drill bits or fastner bits to provide cleaner holes.  
 3. FASTENERS: Use only 305 or higher grade stainless steel fasteners to fasten hardwood IPE decking. Pre-drilling is required. Pre-drill all holes with appropriately sized drill bit for your screw size. Use Ipe Clip® Extreme 4 hidden deck fasteners to fasten the deck boards to pressure treated sleepers. Available through <http://www.advantagelumber.com>



3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.	date:	item:

**durante kreuk Ltd.**  
 1 02 - 1637 West 5th Avenue  
 Vancouver BC V6J 1N5  
 t: 604 684 4611  
 f: 604 684 0577  
 w: www.dkl.bc.ca

**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 37**

Project:  
**6071 AZURE ROAD**  
**RICHMOND, BC**

Drawn by: JW  
 Checked by: PK  
 Date: MAY 2024  
 Scale: NTS at 11x17 size

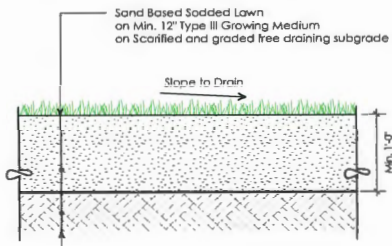
Drawing Title:  
**LANDSCAPE SECTIONS**

Project No.:  
**21122**  
 Sheet No.:

**L4.1**

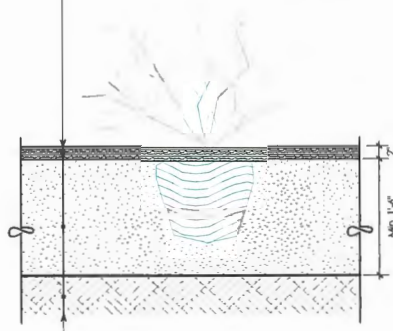


Note:  
Sod other than that with a sand base and/or with mesh will be rejected, and the specified sod re-installed at contractor's expense.



01 Sand Based Sodded Lawn - On Grade  
L-4.2 Scale 1"=1'-0"

2" depth of well compacted Mulch  
(note: ensure plants are not buried by mulch)  
on Min. 18" Type III Growing Medium  
on Scarified and graded free draining subgrade



02 Shrub Planting - On Grade  
L-4.2 Scale 1"=1'-0"

Sand Based Sodded Lawn on Min. 12" Type III Growing Medium on Filter fabric on 4" depth of 3/4" drain rock on Filter fabric on Architectural Buildup

2" deep x 18" wide swale of base of sloping lawn Great Lawn of courtyard

Perforated Drain Line - refer to Mech. Draws.

6" wide flush concrete curb on Arch. starter curb. Provide knock outs every 4' o.c.

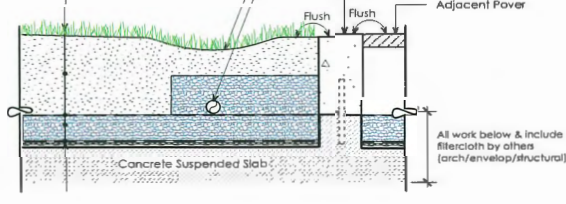
Note: Ensure there is minimal chamfered/radiused nosing on flush concrete bond or it will be a trip hazard.

Adjacent Paver

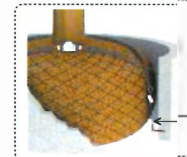
Flush

Concrete Suspended Slab

All work below & include filtercloth by others (arch/envelop/structural)

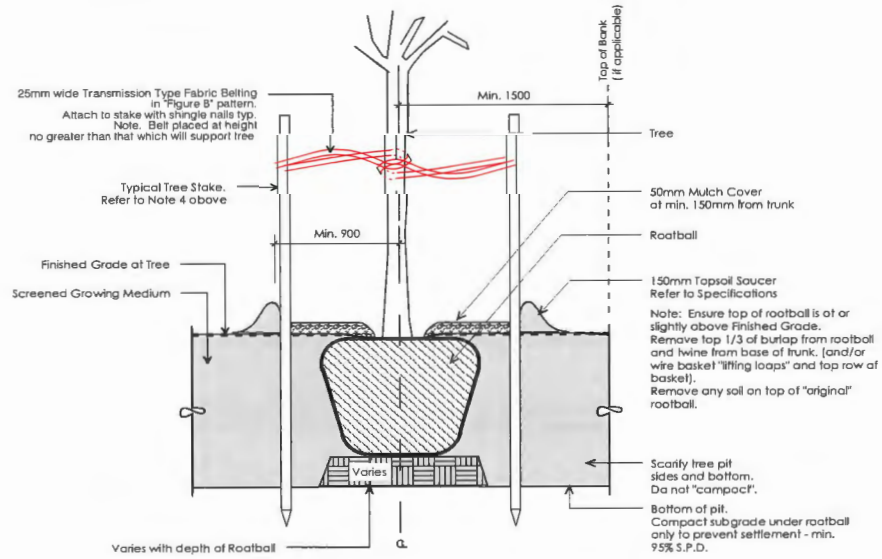


03 Sand Based Sodded Lawn - On Slab  
L-4.2 Scale 1"=1'-0"



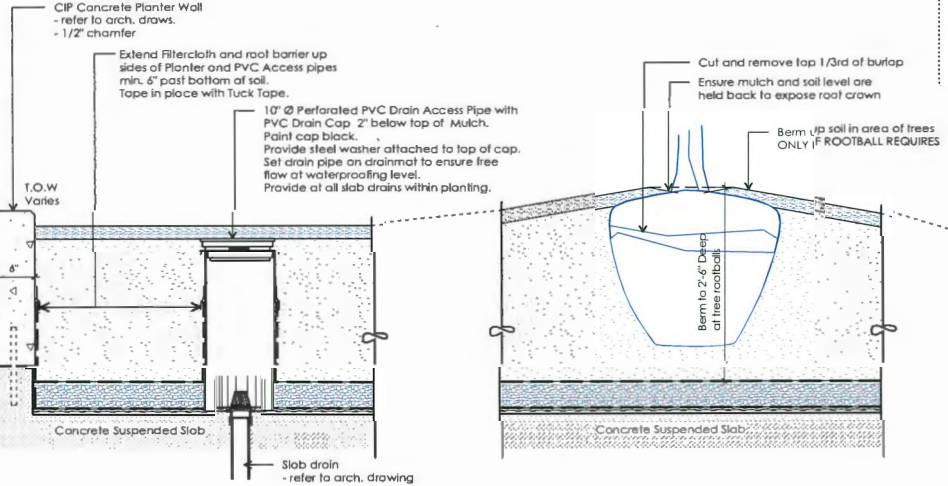
Attach rootball anchoring Res/straps to clips embedded in concrete parapet wall. Alternative system uses soil to loadlock driven anchors (Pialtipus System)

- General Notes:
1. Do not cut Tree Leader.
  2. Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
  3. Ensure tree location does not conflict with Underground Services. "Call before digging".
  4. All steel trees to be staked with 2 - 100mmØ x 2.5m long. Minimum depth of stake embedment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
  5. Provide min. 5 cubic meters of growing medium per tree.
  6. Refer to Growing Medium Chart below for surface area depth of Growing Medium.



Depth of Growing Medium total (mm)	Area (M2)	Variation 1		Variation 2	
		Size of Surface Square	Size of Surface Circle	Size of Surface Square	Size of Surface Circle
450	11.11	3.3 M x 3.3 M	3.80 M Ø		
600	8.33	2.9 M x 2.9 M	3.25 M Ø		
750	6.67	2.6 M x 2.6 M	2.90 M Ø		

04 Typical Tree Planting - On Grade  
L-4.2 NTS



05 Shrub/Tree Planting - On Slab  
L-4.2 SCALE 1"=1'-0"

- 3 MAY 17-24 ISSUED FOR DP RESPONSE  
2 APR 12-24 ISSUED FOR DP  
1 FEB 10-24 ISSUED FOR DP
- no.: | date: | item:

durante Kreuk Ltd.  
102 - 1637 West 5th Avenue  
Vancouver BC V6J 1N5  
604 684 4611  
t: 604 684 0277  
w: www.kl.bc.ca

DP 23-023854  
May 22, 2024  
DP Plan # 38

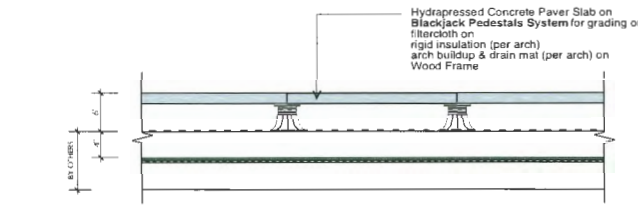
Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
Scale: NTS at 11x17 size

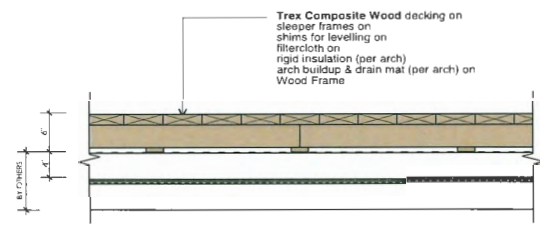
Drawing Title:  
**LANDSCAPE SECTIONS**

Project No.:  
**21122**  
Sheet No.:

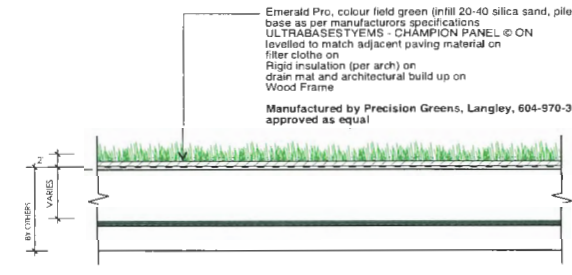




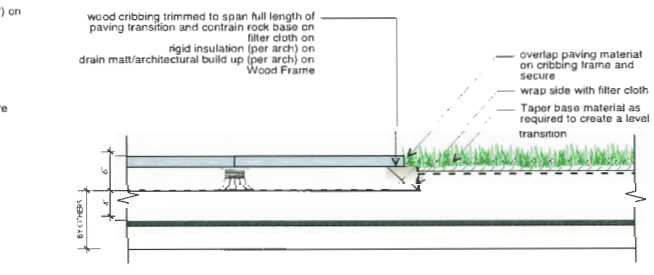
01 Unit Concrete Pavers - On Wood Frame  
L-4.3 Scale 1"=1'-0"



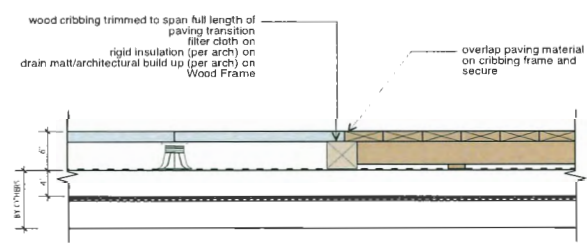
02 Composite Wood Decking - On Wood Frame  
L-4.3 Scale 1"=1'-0"



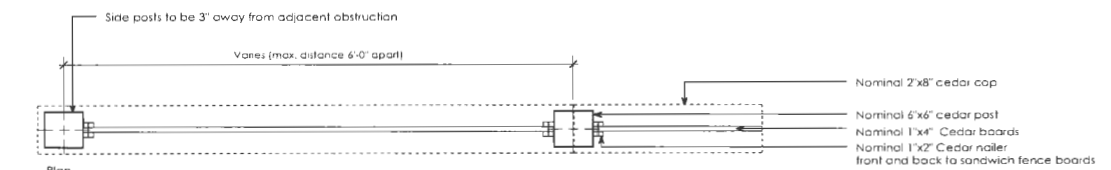
03 Artificial Turf - On Wood Frame  
L-4.3 Scale 1"=1'-0"



04 Unit Concrete Pavers to Artificial Turf Transition - On Wood Frame  
L-4.3 Scale 1"=1'-0"

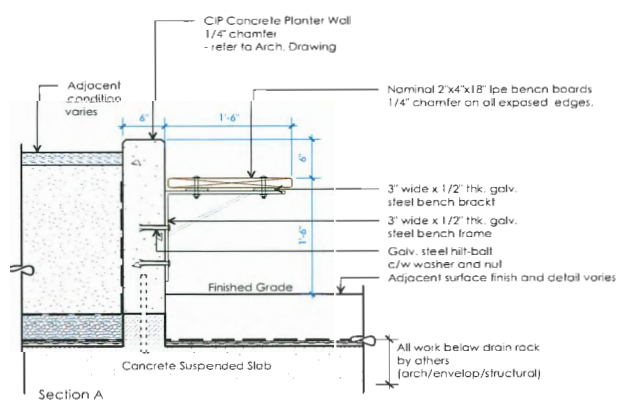


05 Unit Concrete Pavers to Decking Transition - On Wood Frame  
L-4.3 Scale 1"=1'-0"

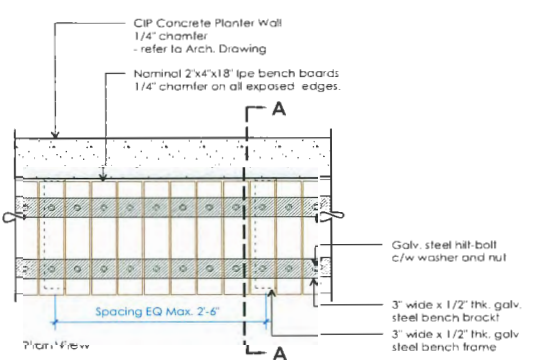


General Wood Notes:  
1. Confirm all dimensions on site.  
2. All fence material to be grade #1 Cedar  
3. Painted to color, Iron Mountain. Color picked by LEDINGHAM McALLISTER.

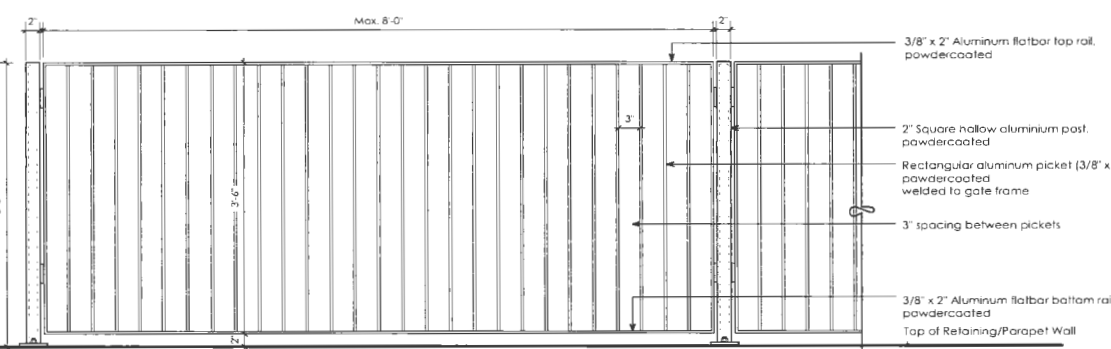
NOTE:  
1. All bench bracket metal to be hot-dipped galvanized steel.  
2. All ball holes to be pre-drilled before hot-dip galvanization.  
3. Galv. steel bracket to be all-weld construction.  
4. Provide shop drawings for benches to be reviewed by Landscape Architect prior to manufacturing.



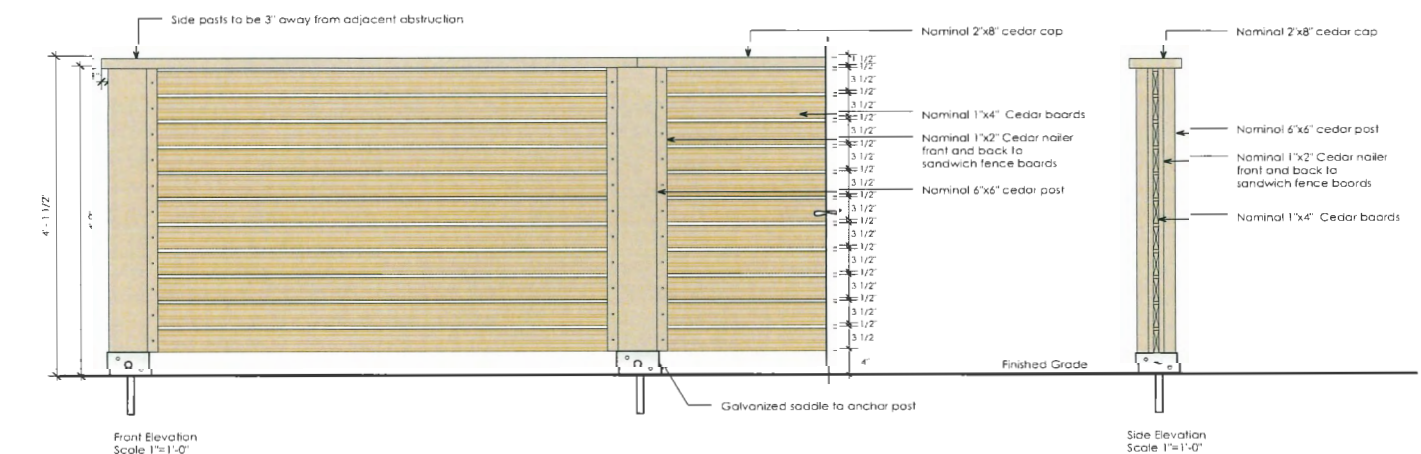
06 Custom Cantilever Bench  
L-4.3 Scale 1"=1'-0"



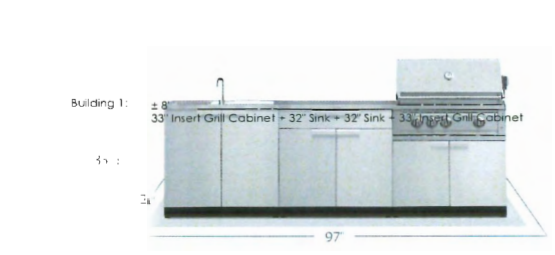
07 Timber Fencing To Loading Zone  
L-4.3 Scale 1"=1'-0"



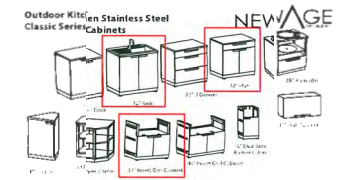
08 Metal Picket Gaurdrail  
L-4.3 Scale 1"=1'-0"



07 Timber Fencing To Loading Zone  
L-4.3 Scale 1"=1'-0"

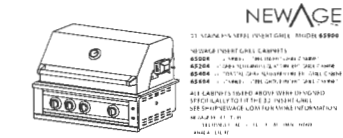


09 Outdoor Kitchen Set  
L-4.3 Scale 1"=1'-0"



**Warning: Excessive weight hazard!**  
Use two or more people to move, assemble, or install cabinets to avoid back injury. Do not leave children unattended near grills or cabinets. High risk of tipping if cabinets are installed improperly. Securely attach cabinets to the wall to avoid serious injury. For assistance, call 1-877-308-8930, fax 1-877-308-8930, or email at info@newageproducts.com.

**ATTENTION** Is your grill damaged? Need help or spare parts? For fastest service, contact NewAge Products at 1-877-308-8930 or support@newageproducts.com. Do not return to the retailer.



**OUTDOOR KITCHEN 33" GRILL**  
Installation and Operation Manual

**Warning: Excessive weight hazard!**  
Use two or more people to move, assemble, or install the grill to avoid back injury. Do not leave children unattended near grill or cabinets. For assistance, call 1-877-308-8930, fax 1-877-308-8930, or email at info@newageproducts.com.

**ATTENTION** Is your grill damaged? Need help or spare parts? For fastest service, contact NewAge Products at 1-877-308-8930 or support@newageproducts.com. Do not return to the retailer.

3 MAY 17-24 ISSUED FOR DP RESPONSE  
2 APR 12-24 ISSUED FOR DP  
1 FEB 10-24 ISSUED FOR DP  
no.: date: item:



DP 23-023854  
May 22, 2024  
DP Plan # 39

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
Scale: NTS at 11x17 size

**LANDSCAPE SECTIONS**

Project No.:  
**21122**  
Sheet No.:

**L4.3**



**Horse**

M12



The Horse is a horizontally-riding spring which allows and supports children's play...  
 understanding of cause and effect in young children that actions have an effect on the world...  
 supporting important life skills such as being able to sit up on a chair or manage toilet hygiene.

...  
 ...  
 ...

**KOMPAN**  
Let's play

Item no. M1201-02UP

**General Product Information**

Dimensions LxWxH 204x221x170 cm  
 Age group 2 - 5  
 Play capacity (users) 1  
 Colour options



Data is subject to change without prior notice

**Play Tower with Slide**

PCM101431



The Play Tower with Slide attracts growing toddlers to physical play again and again...  
 all other motor skills and physical actions...  
 meetings and makes a seat for users. The slide with built-in seat of vinyl...  
 gives a pleasant and sensory input. It also stimulates cross-modal perception...  
 is important for reading.

...  
 ...  
 ...

**KOMPAN**  
Let's play

Item no. PCM101431-0001

**General Product Information**

Dimensions LxWxH 284x221x170 cm  
 Age group 2 - 4  
 Play capacity (users) 12  
 Colour options



Data is subject to change without prior notice

01 Kids Play - Springer Horse  
L-4.4 NTS

02 Kids Play - Play Tower  
L-4.4 NTS

**Play Panel 3 - Learning, Classic**

PNM03021



The Learning Play panel 3 is characterised by...  
 ...  
 ...

...  
 ...  
 ...

**KOMPAN**  
Let's play

Item no. PNM03021-0390

**General Product Information**

Dimensions LxWxH 273x164x75 cm  
 Age group 6 - 8  
 Play capacity (users) 10  
 Colour options



Data is subject to change without prior notice

03 Kids Play - Play Panel  
L-4.4 NTS

**Climbing Net**

NRO013



The Climbing Net is a versatile climber that...  
 ...  
 ...

...  
 ...  
 ...

**KOMPAN**  
Let's play

Item no. NRO013-0001

**General Product Information**

Dimensions LxWxH 240x208x200 cm  
 Age group 5 - 12  
 Play capacity (users) 7  
 Colour options



Data is subject to change without prior notice

04 Kids Play - Microclimber  
L-4.4 NTS

**Playhut with Side, Gable & Desks**

NRO015



Visit This attractive playhut invites children...  
 ...  
 ...

...  
 ...  
 ...

**KOMPAN**  
Let's play

Item no. NRO015-1001

**General Product Information**

Dimensions LxWxH 160x120x150 cm  
 Age group 5 - 8  
 Play capacity (users) 12  
 Colour options



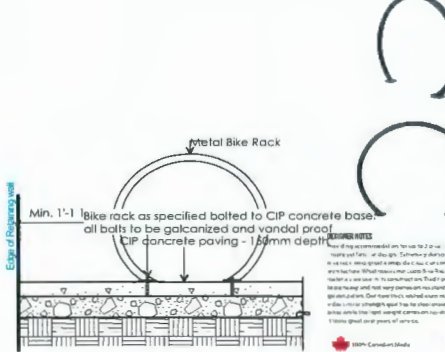
Data is subject to change without prior notice

05 Kids Play - Play Hut  
L-4.3 NTS

08 Landscape Lighting - Hanging String Lights  
L-4.4 NTS

**LOOP 2 SPACE BIKE RACK**

Scale: 1"=1'-0"



06 Metal Bike Rack  
L-4.4 Scale 1"=1'-0"

**Wishbone**

Scale: 1"=1'-0"



07 Landscape Lighting - Recessed Wall Lights  
L-4.4 NTS

**EXTON POWERSPAN CABLE SYSTEM**

**EVERGREEN LIGHTING**

**BALDWIN BOLLARD SERIES**

**EVERGREEN LIGHTING**

**BALDWIN BOLLARD SERIES**

**ORDERING INFORMATION**

Sample Number: BAL-R-42-NW-AB-MP

08 Landscape Lighting - Hanging String Lights  
L-4.4 NTS

09 Landscape Lighting - Bollard Lights  
L-4.4 NTS

- 3 MAY 17-24 ISSUED FOR DP RESPONSE
- 2 APR 12-24 ISSUED FOR DP
- 1 FEB 10-24 ISSUED FOR DP

Revisions:

no.:	date:	item:
------	-------	-------

**durantekreuk**  
 Durante Kreuk Ltd.  
 102 - 1637 West 5th Avenue  
 Vancouver BC V6J 1N5  
 t: 604 684 4611  
 f: 604 684 0577  
 www.dkl.bc.ca

**DP 23-023854**  
 May 22, 2024  
 DP Plan # 40

Project:  
**6071 AZURE ROAD**  
 RICHMOND, BC

Drawn by: JW  
 Checked by: PK  
 Date: MAY 2024  
 Scale: NTS at 11x17 size

Drawing Title:  
**LANDSCAPE SECTIONS**

Project No.:  
**21122**

Sheet No.:  
**L4.4**