



City of  
Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel  
**From:** Josh Reis  
Program Manager, Development

**Date:** May 14, 2024

**File:** DP 18-829207

**Re:** **Application by Arcadis Architects (Canada) Inc. for a Development Permit at  
9520 Beckwith Road**

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### Staff Recommendation

That a Development Permit be issued at 9520 Beckwith Road to permit the construction of a 7-storey light industrial and office building on a site zoned "Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)".

A handwritten signature in black ink that reads "Josh Reis".

Josh Reis, MCIP, RPP, AICP  
Program Manager, Development

JR:ke  
Att. 3

## Staff Report

### Origin

Arcadis Architects (Canada) Inc. (on behalf of Mailin Chen, Adam Wu and Zhiping Zhang, directors of 1128457 BC Ltd.) has applied to the City of Richmond for permission to develop a 7-storey 3,757 m<sup>2</sup> (40,436 ft<sup>2</sup>) light industrial and office building at 9520 Beckwith Road on a site zoned “Single-Detached (RS1/F)”. The site is currently vacant.

The site is being rezoned from the “Single-Detached (RS1/F)” zone to the “Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)” zone for this project under Bylaw 9931 (RZ 18-821103), which was granted 3<sup>rd</sup> reading at the June 17, 2019 Public Hearing.

A previous report was considered and endorsed by the Development Permit Panel on November 14, 2019. Since the project was endorsed at the November 14, 2019 Development Permit Panel meeting, a number of revisions have been undertaken to the proposal and are summarized as follows:

- Revisions to the Environmentally Sensitive Area (ESA) compensation approach at the south edge of the subject site previously approved through General Compliance for 2899 and 2888 Jow Street (DP 18-825006) south of the subject site that was issued by Council on November 28, 2022.
- Requirements for this project to secure legal agreements on neighbouring properties for the purposes of providing parking, vehicle access, loading facilities, a canopy over the main building entrance, and pedestrian/public access for use and the benefit of the development on the subject property.
- Updates to the project’s building energy efficiency performance targets to be in compliance with BC Energy Step Code for applicable portions of the project.

This report focusses on the changes to this project outlined in the above bullets and incorporates these revisions into a modified Development Permit for the project on the subject site.

Except as noted in this report, information in the Development Permit Panel report presented at the November 14, 2019 meeting remains applicable to this proposal and is attached for reference purposes (Attachment A). The proposal’s overall site planning, urban design, architectural and landscape features and vehicle access, site circulation and parking provisions remain consistent with what was presented to the Development Permit Panel on November 14, 2019.

This project is proposed to be the fourth building in the multi-phased development involving the following surrounding properties:

- 2777 Jow Street (to the west) – newly constructed office and industrial building.
- 2899 and 2888 Jow Street (to the south) – proposed hotel on each lot (currently under construction).

The proposed building consists of light industrial uses on levels 1 and 2, off-street parking on levels 3 and 4 and office uses on levels 5, 6 and 7, which complies with the “Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)” zone for this project.

A Servicing Agreement (SA 19-873503) is required as a condition of rezoning adoption and includes, but is not limited to, the following improvements:

- Road and frontage works along the subject site's Beckwith Road frontage (including all applicable transitions and tie-ins).
- Infrastructure works related to service connections and tie-ins and identified upgrades to City storm and water systems in accordance with the rezoning application (RZ 18-821103).

### **Development Information**

Please refer to attached Development Application Data Sheet (Attachment B) for a comparison of the proposed development data with the relevant Bylaw requirements.

### **Background**

Development surrounding the subject site is as follows:

- To the north: across Beckwith Road, single-family homes zoned "Single-Detached (RS1/F)" and designated Industrial Reserve – Limited Commercial in the City Centre Area Plan (CCAP);
- To the east: an existing commercial development zoned "Auto-Oriented Commercial (CA)";
- To the south: a site currently under redevelopment for a proposed hotel zoned "Light Industrial, Office and Hotel (ZI10) – Bridgeport Village (City Centre)"; and
- To the west: a recently constructed business centre building containing offices and light industrial uses zoned "Light Industrial, Office and Hotel (ZI10) – Bridgeport Village (City Centre)".

### **General Compliance at 2899 and 2888 Jow Street**

On November 28, 2022, Council approved a General Compliance for changes to the design of the proposed landscaping and Environmentally Sensitive Area compensation plan for Development Permit (DP 18-825006) that is for two separate hotels located at 2899 and 2888 Jow Street. The reason for the General Compliance was to address the decline in health and death of a stand of trees located on 2888 Jow Street and the subject site (9520 Beckwith Road) that are contained in a designated ESA and previously had been identified for retention. A comprehensive revised ESA compensation plan was developed by the project's Qualified Environmental Professional (QEP) and landscape architect that is coordinated with the approved General Compliance and this Development Permit application for 9520 Beckwith Road.

That General Compliance report noted that the changes to the ESA compensation plan being provided on 9520 Beckwith Road would be confirmed and appropriately secured through the modified Development Permit being presented in this report and included:

- the provision of 14 replacement trees and accompanying shrubs on the subject site; and,
- The conversion of one tree on the subject site which had declined in health to a wildlife tree.

Additional information about the ESA compensation plan being provided for in the Development Permit proposed for the subject site at 9520 Beckwith Road, including the necessary revisions to the implementation measures as a result of the General Compliance approved changes (i.e., legal

agreement updates; landscape security/performance provisions), is provided in latter sections of this report.

### **Staff Comments**

The revised proposal attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application and is consistent with the building design previously considered and endorsed by the Development Permit Panel on November 14, 2019. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is in compliance “Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)” zone for this project.

### **Advisory Design Panel Comments**

The revisions to this project outlined in this report did not result in any changes to the building design or on-site landscape provisions outside of the ESA compensation area. Based on this, subsequent review by the Advisory Design Panel (ADP) was not required.

### **Analysis**

#### ***Overview of ESA Compensation on 9520 Beckwith Road***

- The landscape plans for the compensation to be provided at grade are compliant with the plans presented and approved through the processing of the General Compliance for the properties to the south.
- The plan provides for compensation planting at the south edge of the site and will contain 14 replacement trees and accompanying shrubs and groundcovers. 1 of the 5 wildlife trees (trees that have declined in health and died) will be retained on the subject site to provide additional ecological habitat and function.
- All trees and shrubs consists of native species and verified by the consulting QEP to provide ecological habitat and function in the compensation area. The area of the compensation to be provided for on-site at the south edge of 9520 Beckwith Road at grade is 146 m<sup>2</sup> (1,572 ft<sup>2</sup>)
- Consistent with the rezoning, additional ESA compensation planting in the rooftop areas will be provided on level 5 and level 7 of the development, which will consist of native shrubs, plants and trees. No changes have been made to these compensation areas through the previously referenced General Compliance process. The combined areas of compensation plantings on level 5 and level 7 is 457 m<sup>2</sup> (4,919 ft<sup>2</sup>).
- A total of 603 m<sup>2</sup> (6,491 ft<sup>2</sup>) ESA compensation area achieves a net gain of 333 m<sup>2</sup> (3,584 ft<sup>2</sup>) when compared to the original assessed ESA of 270 m<sup>2</sup> (2,906 ft<sup>2</sup>). The project QEP has confirmed that the proposed ESA compensation plan for the subject site will result in a net gain in habitat area and improvement in ecological function.
- The Landscape cost estimate for the ESA compensation and enhancement areas and associated landscape security and performance provisions have been updated to reflect the changes outlined in this report.

#### ***Overview of Remaining Landscaping on 9520 Beckwith Road***

- Remaining areas of landscaping will be along the subject site’s north property line (Beckwith Road) and portions of the west property line (Jow Street) that will provide a landscaped edge

between the building and sidewalk/grass and treed boulevard along Beckwith and parking and road access along Jow Street.

***Implementation, Monitoring, Maintenance and Performance Provisions – ESA Compensation and On-site Landscape Areas***

- For ESA compensation areas:
  - A legal agreement will be registered on the subject site to secure the ESA compensation areas proposed in this Development Permit proposal. This legal agreement will also cover the ESA compensation area on the neighbouring site directly to the south along the north portion of 2888 Jow Street (to take into account the ESA compensation area that is located both on 9520 Beckwith Road (south portion) and 2888 Jow Street (north portion). This legal agreement will also include ESA compensation post-implementation monitoring and maintenance provisions in accordance with the report and recommendations of the QEP. This legal agreement updates the prior rezoning consideration item to take into account revisions to the ESA compensation approach that was brought forward and approved through the referenced General Compliance review process. This legal agreement will be registered on title as a Development Permit consideration item to be completed for this project (Attachment C).
  - In accordance with the recommendations of the project QEP, once ESA compensation works have been implemented, monitoring will occur over a five year period to ensure vegetation establishment, survivorship and growth. Monitoring and inspections by the consulting QEP will occur twice a year (spring and fall) with the QEP to provide reports to the City after each inspection.
  - Consistent with the prior Development Permit endorsed on November 14, 2019, the Development Permit consideration incorporates monitoring from the project's QEP on bird activity to ensure mitigation measures incorporated into the project's building and landscape design are mitigating the risk of bird strikes in the development.
  - Prior to Development Permit issuance, the applicant is required to submit a landscape security for all proposed ESA compensation works identified in the plans based on 100% (plus a 10% contingency) of the cost estimate provided by the landscape architect. Based on the provided cost estimate, an ESA landscape security of \$110,466 is a required Development Permit consideration for this project.
- For remaining on-site landscaping along the west and north portions of the site and other landscape elements within the project:
  - Prior to Development Permit issuance, the applicant is required to submit a landscape security for all proposed on-site landscaping works identified in the plans based on 100% (plus a 10% contingency) of the cost estimate provided by the landscape architect. Based on the provided cost estimate, an on-site landscape security of \$260,095 is a required Development Permit consideration for this project.
- The applicant has also coordinated and has an agreement with the neighbouring commercial development to the east to update an existing continuous landscaped buffer edge located on this neighbouring site (9711 Bridgeport Road) that would maintain a contiguous landscaped edge between the these two properties.

***Vehicle Access, Parking, Loading and Pedestrian Access Provisions on Neighbouring Sites***

- The development on the site at 9520 Beckwith Road is considered the final phase in the overall project involving the three other development sites (2777 Jow Street – new office and industrial building; 2899 and 2888 Jow Street – Hotel project currently being constructed). These development sites were envisioned to largely function together as a whole consistent with prior approvals.
- The proposed development involves the provision of vehicle access, parking, loading facilities and pedestrian sidewalk that are located on neighbouring properties. To facilitate this arrangement, legal agreements (including public right of passage statutory right of way for the pedestrian sidewalk) are required to be provided by the neighbouring properties to the east (2777 Jow Street and 2899 Jow Street) as a Development Permit consideration. The applicant has provided a letter from their lawyer confirming that the adjacent property owners have not objected to the registration of these agreements.
  - Vehicle Access – Is provided from the north-south road (Jow Street) located on the neighbouring site to the east (2777 Jow Street) that connects Beckwith Road and Bridgeport Street. A legal agreement will be required as a Development Permit consideration for this project that will facilitate vehicle access through the neighbouring property at 2777 Jow Street. The location of the vehicle access is at the south west portion of the subject site and will enable access to Jow Street.
  - Parking – On neighbouring site at 2777 Jow Street between the road and west edge of the subject site, there is an existing row of off-street parking. Through the prior rezoning for 9520 Beckwith Road, 4 parking stalls on 2777 Jow Street will be secured through a rezoning consideration legal agreement to be used solely for the development on the subject site.
  - Loading – The subject site provides for on-site loading facilities (two medium sized loading spaces). In accordance with the previous rezoning, large loading space facilities is being provided on 2899 Jow Street that will be able to be used by the subject development at 9520 Beckwith Road. A legal agreement will be required as a Development Permit consideration for this project that will facilitate shared loading bay facilities located on 2899 Jow Street.
  - Pedestrian Access and Sidewalk – On the neighbouring site to the west (2777 Jow Street) between the road, parking and west property line of 9520 Beckwith Road, there is an existing concrete sidewalk. To ensure access is available to the public along the west frontage of the development at 9520 Beckwith Road that has access to the industrial units and office lobby at-grade, a legal agreement will be required as a Development Permit consideration for this project. This legal agreement will apply to an area 2.9 m (9.5 ft.) in width and 75.2 m (246.7 ft.) in length and located on 2777 Jow Street and will provide for public access and City access for servicing and emergency service purposes.

***Canopy Encroachment into 2777 Jow Street***

- The subject development proposes a canopy over the main entrance to the office component of the project at the south west portion of the building. This canopy is permitted to encroach up to the subject site's west lot line, in accordance with Zoning Bylaw requirements. This development is proposing to encroach this entrance canopy approximately 1.74 m (5.7 ft.)

over the shared property line between of the subject site (9520 Beckwith Road) and 2777 Jow Street.

- To facilitate encroachment of a canopy onto the neighbouring property at 2777 Jow Street, a legal agreement will be required between these two properties that will also need to address the canopy also encroaching over a portion of public access and sidewalk being secured over this area and is a Development Permit consideration item for this project.

### ***Building Energy Efficiency Revisions – Application of BC Energy Step Code Provisions***

- At the time that Development Permit Panel last considered the proposed development, the project had proposed to meet the Leadership in Energy and Environmental Design (LEED) Silver criteria as a sustainability measure proposed for the subject development. Since then and with revisions to the City's sustainability policies, the application of the BC Energy Step Code (to the office use) and other building energy efficiency performance targets (to the industrial use) will be applicable and complied with in this development.
- Through the associated rezoning application, a legal agreement to secure this development's requirement to connect to a District Energy Utility (DEU) is required and ensures the building is designed with the capability of being serviced by a DEU system.
- For the office component of the project, the applicant's consultant has undertaken preliminary modelling to confirm that the proposed building design in this Development Permit application will be able to meet the applicable BC Energy Step Code 3 performance targets for the project. For the industrial component of the building, the applicant's consultant has confirmed the building has been modelled and will be compliant with the National Energy Code of Canada for Buildings (NECB) energy efficiency pathway for this component of the project.

### ***Lighting***

- At-grade, light bollards are integrated along the north and west sides of the building that have been design and oriented to minimize light over spill and glare into surrounding areas.

### **Conclusions**

This Development Permit presents revisions to the project on ESA compensation changes and updated building energy efficiency targets for this project. As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Kevin Eng  
Planner 3

KE:cas

- Att. A Previous Staff Report Considered at November 14, 2019 Development Permit Panel
- Att. B Development Application Data Sheet
- Att. C Development Permit Considerations



City of  
Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** October 24, 2019

**From:** Wayne Craig  
Director, Development

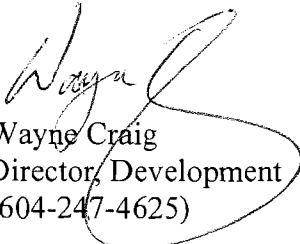
**File:** DP 18-829207

**Re:** **Application by IBI Group Architects (Canada) Inc. for a Development Permit at  
9520 Beckwith Road**

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### Staff Recommendation

That a Development Permit be issued which would permit the construction of a seven-storey light industrial and office building at 9520 Beckwith Road on a site zoned "Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)".

  
Wayne Craig  
Director, Development  
(604-247-4625)

WC:mm  
Att. 5



## Staff Report

### Origin

IBI Group Architects (Canada) Inc. has applied to the City of Richmond for permission to develop a seven-storey, 3,757 m<sup>2</sup> (40,436 ft<sup>2</sup>) light industrial and office building at 9520 Beckwith Road on a site zoned “Single Detached (RS1/F)”. The site is currently vacant.

The site is being rezoned from the “Single Detached (RS1/F)” zone to the “Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)” zone for this project under Bylaw 9931 (RZ 18-821103).

The subject application forms a fourth phase to be added to the three-phase development to the south and west on which City Council approved a rezoning to "Light Industrial, Office Hotel (ZI10) – Bridgeport Village (City Centre)" (RZ 10-539048) on September 11, 2017 (Attachment 2). The three phases within this adjacent development include an 11-storey office/light industrial building in Phase 1 to the west at 9466 Beckwith Road (DP 11– 594571) currently under construction, and two hotels to the south at 9455 and 9533 Bridgeport Road on which a further Development Permit (DP 18-825006) to make several changes to the design of the hotels was issued on April 8, 2019.

As part of this three-phase development, a new north-south street will be constructed which straddles the above-noted hotel and office building sites, and connects Bridgeport Road to Beckwith Road. Public access over this road is secured by a Statutory Right-of-Way (SRW). The street was officially named “Jow Street” by Council at their April 8, 2019 meeting. Jow Street is located immediately adjacent to, and provides access to, the subject development site at 9520 Beckwith Road (to be re-addressed to 2777 Jow Street upon Building Permit application being submitted).

The Servicing Agreement (SA 12-611073) for the above-noted three-phase development to the west and south includes improvements to Beckwith Road to which the subject development’s road works will be designed to match as discussed below. This Servicing Agreement also includes the design of the planned adjacent Jow Street.

As a Rezoning Consideration for the subject site, the applicant has made a Servicing Agreement application (SA 19-873503) for the design and construction of the following works:

- Frontage works along Beckwith Road that includes the widening of the southern half of Beckwith Road to accommodate a 2.0 m wide concrete sidewalk, a 1.5 m wide landscaped boulevard, a 1.8 m wide bike lane, a 3.25 m wide curb lane and a 3.1 m wide centre lane.
- Upgrade of the existing 900 mm storm sewer along the development’s Beckwith Road frontage to 1050 mm.
- Removal of the existing 600 mm storm culvert along the development’s Beckwith Road frontage.

## Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

## Background

Development surrounding the subject site is as follows:

- To the north: Across Beckwith Road, existing single-family homes on lots zoned "Single Detached (RS1/F)" and designated "General Urban (T4) Area B – Industrial Reserve: Limited Commercial" within the City Centre Area Plan (CCAP).
- To the east: There are four large retail/commercial buildings on a site zoned "Auto-Oriented Commercial (CA)" and designated "General Urban (T4) Area B – Industrial Reserve: Limited Commercial" within the CCAP.
- To the south: A large lot at 9533 Bridgeport Road (2899 Jow Street) zoned "Light Industrial and Office (ZI10) – Bridgeport Village (City Centre)" and is subject to a Development Permit (DP 18-825006) which authorizes the construction of a 10-storey hotel.
- To the west: A large lot at 9466 Beckwith Road (2788 Beckwith Road) zoned "Light Industrial and Office (ZI10) – Bridgeport Village (City Centre)" and subject to the above-noted approved Development Permit (DP 11-594571) which authorizes the construction of an 11-storey light industrial/office building on this lot.

## Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Completing a Stage 2 Environmentally Sensitive Area (ESA) report as required under the Rezoning Considerations.
  - The Stage 2 ESA Report has been prepared which includes a detailed invasive species removal plan, a construction monitoring plan, a bird strike monitoring and a plan for removing invasive species. The landscape plans were also revised based on the recommendations in the Stage 2 ESA Report as discussed in the ESA sub-section of this report.
- Preparing irrigation plans for the ground level and on the building terraces.
  - Detailed irrigation plans have been prepared and included within the Development Permit landscape plans.
- Including more detail on the building materials and colours within the architectural plans.
  - More detail on the building materials and colours has been included within the architectural plans. This includes the specifications for metal panel cladding, details on the vertical metal fins and other architectural elements on the building facades as well as the colours for each material.

The Public Hearing for the rezoning of this site was held on June 17, 2019. At the Public Hearing, there were no written submissions or verbal submissions.

## Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is in compliance with Zoning Bylaw 8500.

## Advisory Design Panel Comments

The Advisory Design Panel was in favour of the proposed project. A copy of the relevant excerpt from the Advisory Design Panel Minutes from July 17, 2019 is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

## Analysis

### *Conditions of Adjacency*

- Beckwith Road and Jow Street present the building's face to the public realm with street-oriented, glazed light-industrial units on the first two floors of the building and the offices above.
- There are separate street-oriented entrances to Beckwith Road and Jow Street for each of the ground-level light industrial units, and a lobby entrance fronting Jow Street for the office space on the upper floors.
- There is an existing landscape buffer to the east side of the proposed building on the adjacent lot that is being enhanced with the planting of three additional Maple trees and shrubs in addition to the six existing Maple trees located along the property line on the adjacent site. At such time that the adjacent lot is re-developed, it is anticipated that a new building would be located immediately adjacent to the subject building in place of this landscaping buffer.
- Along the southern property line, the applicant's Qualified Environmental Professional (QEP) identified that 146 m<sup>2</sup> (1,572 ft<sup>2</sup>) of Environmentally Sensitive Area (ESA), including 10 trees, are to be retained near the south property line. Immediately to the south of this natural on-site ESA, there is natural ESA area on the adjacent site at 9533 Bridgeport Road in which a further ten trees are to be retained and maintained.
- The shadow diagrams of the subject building show that the extent of the shadows during most time of the year fall within the shadows of the approved office building and hotels within the existing, adjacent three-phase development.

### *Urban Design and Site Planning*

- The architectural character of the building is generally similar to the 11-storey office and light industrial building being constructed on 9466 Beckwith Road to the west of the subject site.
- The building siting, pedestrian and vehicle access are designed to make the building fit into the urban framework created by the approved three-phase development to the west and south.

- To the south, a surface driveway from Jow Street provides access to the parkade and loading bay within the building and is adjacent to the ESA and tree retention area.
- The stepping back of the fifth to seventh floors of the building reduces shadowing and apparent mass of the building on its north and east elevations.

### ***Parking and Access***

- There are 72 parking spaces within the third and fourth floors of the proposed building and four surface parking spaces (including the two accessible parking spaces) in compliance with Zoning Bylaw 8500.
- The project also will include two medium (SU9) on-site loading spaces within the building and have one WB-17 (large) loading space provided within the adjacent development to the west at 9466 Beckwith Road as permitted under Zoning Bylaw 8500.
- There are four surface parking spaces located on the adjacent site at 9466 Beckwith Road (see Architectural Plan A0.09 in the Development Permit). These four parking spaces are for the exclusive use of the subject building. There is also a WB-17 (large) loading space within the parkade on 9466 Beckwith Road to be shared with the subject building. The sole use of the four parking spaces and sharing of the loading space are being secured by registration of a restrictive covenant and easement prior to rezoning adoption. This document will be registered on the subject site at 9520 Beckwith Road and adjacent lot at 9466 Beckwith Road to ensure access to these parking spaces and loading space are available for use in perpetuity by subject development.
- Prior to Development Permit issuance, the owner will be required to grant a statutory right-of-way (SRW) measuring approximately 2.9 m by 75.2 m (9.5 ft. by 246.7 ft.) adjacent to the west side of the subject site on 9466 Beckwith Road for the sidewalk purposes for public pedestrian and bicycle access and to provide general access by the City for servicing and emergency services purposes.

### ***Architectural Form and Character***

- On the prominent elevations facing Beckwith Road and Jow Street, the building is clad in glass curtain wall that includes vision glass and blue spandrel glass panels with occasional louvered panels to allow for ventilation of the light industrial units.
- The visually prominent northwest and southwest corners of the building are anchored with solid vertical elements that extend from street level to above main roof level and are clad in white metal panels.
- Further visual interest is achieved by terracing inwards the fifth and sixth floors of the building on the north, south and east elevations.
- Visual interest is also achieved by cantilevering outward of the third and fourth storeys facing Beckwith Road and Jow Street.
- The east side elevation is located just off the east property facing the side parking lot and concrete side wall of the adjacent Michael's store. To add visual interest to the first four floors, attractive patterning has been added to the building's east wall, behind which are the

parkade and building service areas. The fifth and sixth floors are terraced inward to reduce the massing of the building.

- The seventh floor is effectively a small penthouse set further back from the edge of the sixth floor on all but the south side.
- The terraces on the fifth to seventh floor of the building are well landscaped for design and ESA compensation purposes.

#### ***Landscape Design and Open Space Design***

- The above-noted grove of existing trees along the south property line will be preserved and additional trees planted as discussed below, and secured by a covenant to be registered on Title as part of the Rezoning.
- There are planters adjacent to the sidewalks adjacent to Beckwith Road and Jow Street.
- The terraces on the fifth and seventh floors of the building are designed with large planters with native species for ESA compensation purposes as discussed below.
- The remainder of the seventh floor is comprised of a large patio covered with pavers and planters with shrubs and trees.
- The applicant will be required to provide a security for landscaping in the amount of \$65,754.70 for the ESA plantings and \$165,901.45 for the other landscaping.

#### ***Tree Retention and Replacement***

As part of the rezoning application, the applicant has submitted a Certified Arborist's Report that was reviewed and accepted by the City as follows:

- The 10 large coniferous trees proposed to be retained on the subject site will complement the further 12 trees being protected on the site to the south at 9533 Bridgeport Road on which the above-noted hotel is planned to be built. Together, these on-site and off-site trees form a viable grove of 22 coniferous and deciduous trees. A Tree Survival Security of \$80,000 for these 10 trees will be provided and retained by the City for a period of three years after occupancy of the building as rezoning consideration (see Landscape Plan L-05 within the Development Permit).
- There are 18 trees located on adjacent neighbouring properties, with six trees located on the property to the east and 12 trees are identified on the property to the south; all of which are in good condition and are to be retained and protected under Development Permit (DP 18-825006) issued for the adjacent hotel site.
- There are a total of 27 on-site replacement trees within the Development Permit plans. This exceeds the 26 replacement trees required for 13 trees removed for project. Of these 13 trees, seven are in good condition but are in conflict with the proposed development and six are not good candidates for retention due to health and structure as identified at the time of the Rezoning application.

- To provide a soft green landscape buffer to the east side of the proposed building, the applicant has obtained written approval from the adjacent commercial property owner immediately to the east to allow for the planting the three additional Maple trees and shrubs.

### ***Environmentally Sensitive Area (ESA)***

There is a mapped ESA Development Permit Area along the southern property line of the site.

The strategy for protection of part of the ESA area and providing ESA compensation was developed as part of the Rezoning application process. Given that modification to this ESA is subject to a Development Permit, the applicant engaged a Qualified Environmental Professional (QEP) to assess the ESA area as part of the Rezoning application and prepared a Stage 1 ESA Report. More specifically, the Stage 1 ESA Report identified that the 270 m<sup>2</sup> (2,906 ft<sup>2</sup>) of mapped ESA is comprised of:

- 146 m<sup>2</sup> (1,571.5 ft<sup>2</sup>) of natural area which includes the above-noted 10 trees proposed to be retained near the south property line and that are outside of the adjacent lawn area to the north.
- 143 m<sup>2</sup> (1,539 ft<sup>2</sup>) within the remaining mapped ESA area, comprised mainly of lawn and having very low environmental value to invertebrates and birds.

Staff have reviewed the Stage 1 ESA Report and agreed that the proposed prescription provides both a net gain in quality and quantity over the current on-site ESA natural area 146 m<sup>2</sup> (1,571 ft<sup>2</sup>) to be maintained within the site to be maintained due to the following:

- Preservation of the natural portion of the ESA area at grade level.
- The provision of additional ESA compensation areas on levels 5 and 7 of the building.
- Vertical and lateral connectivity of ESA within the site and on the building.
- The extensive planting of native shrubs on the ground-level ESA area and roof-top ESA compensation areas, with plant species selected for suitability to urban ecosystems.

The Stage 2 ESA report, prepared for the Development Permit application, confirmed that the removed existing 143 m<sup>2</sup> (1,539 ft<sup>2</sup>) ESA area comprised of lawn will be more than compensated for with proposed ESA compensation areas with native species proposed for the building's terraces. In this regard, under the Rezoning Considerations, the City has required that the applicant provide a net gain of 333 m<sup>2</sup> (3,261 ft<sup>2</sup>) of ESA area comprised of the persevered ESA area and ESA compensation areas. The Stage 2 ESA Report and landscape plans in the Development Permit provide for:

- Remaining natural ESA area of 146 m<sup>2</sup> (1,539 ft<sup>2</sup>) with the existing trees is to be maintained, and the understory being enhanced with the removal of invasive of species and the planting of three native trees and shrubs.
- ESA compensation on level 5 of the building of 198 m<sup>2</sup> (2,131 ft<sup>2</sup>) with the planting of native plants and level 7 with 259 m<sup>2</sup> (2,779 ft<sup>2</sup>) with the planting of native shrubs and trees.

As part of the Development Permit required for project, the applicant's QEP has provided a detailed Stage 2 ESA Report and landscape plans (Attachment 4) that:

- Include a detailed invasive species removal plan.
- Provide detailed site planting and construction monitoring plans.
- Provide a plan for removing invasive species in the other identified landscape areas outside of the ground-level on-site and off-site ESA areas to be maintained and the ESA compensation areas.
- Provide irrigation plans for the ground-level ESA and roof-top ESA compensation areas.
- Provide estimates for the value of the ground-level and roof-top portions of the plantings, and the cost of a five-year monitoring plan.

The QEP has also reviewed the design of the building and ESA landscaping made the following recommendations regarding reducing bird strikes follows:

- Accent lighting included in the previous landscaping plans has been removed to reduce the effects of lighting on the ESA.
- Mitigation to reduce the chances of bird collision risk have been incorporated into the building design including:
  - The south side of the building adjacent to the ground level ESA includes design features that will lower the risk of bird collisions including a mixture of frosted glass windows, opaque spandrel glazed windows, metal paneling, concrete wall and mechanical ventilation louvers.
  - The building façade above the Level 5 ESA compensation area includes architectural features including and ventilation louvers as well as deep and highly accentuated walls. Below the Level 5 ESA compensation area is a three-tone painted concrete wall and textured wall that is not hazardous to birds.
  - To ensure that the risk of bird collision monitored after construction, a biologist will visit the site in the morning as part of a baseline assessment twice a month for the first six months after building completion (which will include a migratory period). Annual monitoring will then extend for the following three years. If there are any areas of the building that are found to have an elevated risk the biologist will specify additional bird-strike migration measures.
- That ESA compensation on Level 7 is has a low risk of bird collision as it is on the top floor with a small penthouse limited clear glazing.
- The remainder of the building is also a mix of design features that will reduce the risk of bird collision including the features described above for the ESA compensation areas as well as mechanical louvers and aluminum fins which all break up the nature of the façade along with the changes in color and shape.

As a Rezoning Consideration, there will also be registration of a legal agreement for the purpose of ensuring the planting and maintenance of the above-noted on-site ESA areas and the existing adjacent 256 m<sup>2</sup> (2,756 ft<sup>2</sup>) ESA area on the hotel site at 9533 Bridgeport Road. The covenant also provides for a three-year to five-year monitoring plan, as needed, for the reviewing the performance of the ESA plantings. The applicant will also provide a \$10,000 security for the five-year ESA monitoring plan and an \$11,000 security for the bird strike monitoring plan.

***Crime Prevention Through Environmental Design***

- The external street frontages provide significant surveillance from the street-oriented light industrial and office units due to the design of the building.
- The substantial area of windows at the hotel lobbies and ground-level amenity spaces provide clear views onto the exterior pedestrian areas associated with the building and Bridgeport Road. Pedestrian-scale bollard lighting is provided on the sites.

***Sustainability***

The proposed development includes the following sustainable features:

- The proposed buildings will continue to meet minimum LEED Silver (version 4) equivalent that provides a range of 52 points up to 73 possible points out of a maximum 110 points with a focus on energy efficient and indoor environmental quality. See Attachment 5 for the LEED checklist (Attachment 5).
- The applicant will be required to register a legal agreement on Title securing the owner's commitment to connect to a District Energy Utility (DEU) that provides that no Building Permit will be issued unless the building is designed with the capability to connect to and be serviced by a DEU. The developer will also be required to provide mechanical drawings and energy modeling, which shall be reviewed by the City and LIEC for compliance with DEU requirements (i.e. capable of connecting to a future DEU system) prior to Building Permit issuance.

***Accessibility***

The proposed development also includes the following accessible design elements:

- There are two accessible parking spaces located in close proximity to the main entrance lobbies for the office and light industrial spaces within the building.
- There is a broad sidewalk that provides level access to all of the light industrial units on the ground floor.

***Public Art***

The applicant will be providing a \$15,235.16 monetary contribution to the City's Public Art Program as a Rezoning Consideration.

***Aircraft Noise Policy & City Noise Bylaw***

The proposed development is located in Area 1A (New Aircraft Noise Sensitive Uses Prohibited) on the Aircraft Noise Sensitive Development Policy. The project includes non-aircraft sensitive uses in compliance with the policy. Thus, there will be registration of an aircraft noise indemnification covenant is required prior to rezoning adoption as part of the rezoning application.

The proposed development must address additional OCP Noise Management Policies related to mixed-use, commercial and ambient noise, as well as other impacts of densification. In this regard, the applicant will also be required to register a legal agreement on Title. This agreement will require that an acoustical engineering report be provided to the City prior to issuance of the Building Permit that confirms that the project mitigates unwanted noise from the building and



that the rooftop HVAC units will not exceed noise levels allowed in the City's Noise Bylaw 8856.

### Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Mark McMullen  
Senior Coordinator - Major Projects  
(604-276-4173)

MM:blg

### Attachments:

- Attachment 1: Development Application Data Sheet
- Attachment 2: Overall Development Site Plan
- Attachment 3: Excerpt from the Advisory Design Panel Minutes
- Attachment 4: ESA Map
- Attachment 5: LEED Scorecard

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$65,754.70 for the ESA plantings and \$165,901.45 for the other landscaping.
- Receipt of a Letter-of-Credit for \$10,000 to secure the five-year environmental monitoring plan and a Letter-of-Credit for \$11,000 to secure the bird strike monitoring plan.
- Granting of an approximately 218 m<sup>2</sup> (2,347 ft<sup>2</sup>) statutory right-of-way measuring approximately 2.9 m by 75.2 m (9.5 ft. by 246.7 ft.) adjacent to the west side of the subject site on 9466 Beckwith Road (2788 Jow Street) for the sidewalk purposes for public pedestrian and bicycle access and general access by the City for servicing and emergency access purposes. The works are to be built by the owner/developer and are to be maintained by the owner. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Make any revisions to the existing SA12-611073 for changes to the design of Jow Street to provide necessary vehicle and pedestrian access and other servicing works for the subject development.
- Submit the following DEU information to Lulu Island Energy Company:
  - a) For review mechanical, plumbing and architectural drawings (in PDF format) showing that a building mechanical system is compatible with the future DEU system and will be able to utilize the DEU for not less than 100% of all the annual space heating and domestic hot water heating for a building as determined in the energy modeling report.
  - b) Submit for review a DEU energy modeling report showing:
    - i. space heating, cooling and domestic hot water heating peak loads and hour by hour consumption, and
    - ii. percentage of annual space heating and domestic hot water requirements supplied by DEU.

- b) Submit for review mechanical, plumbing and architectural drawings (in PDF format) showing that a building mechanical system is compatible with the future DEU system and will be able to utilize the DEU for not less than 100% of all the annual space heating and domestic hot water heating for a building as determined in the energy modeling report.
- c) Confirmation that the room noted as "Combined Mechanical Room": The general guideline for required DEU infrastructure within the building is 6.11m L x 2.83m W x 2.13m H.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).



**DP 18-829207**

**Attachment 1**

Address: 9520 Beckwith Road (2777 Jow Street)

Applicant: IBI Group Architects (Canada) Inc.

Owner: 1128457 B.C. Ltd

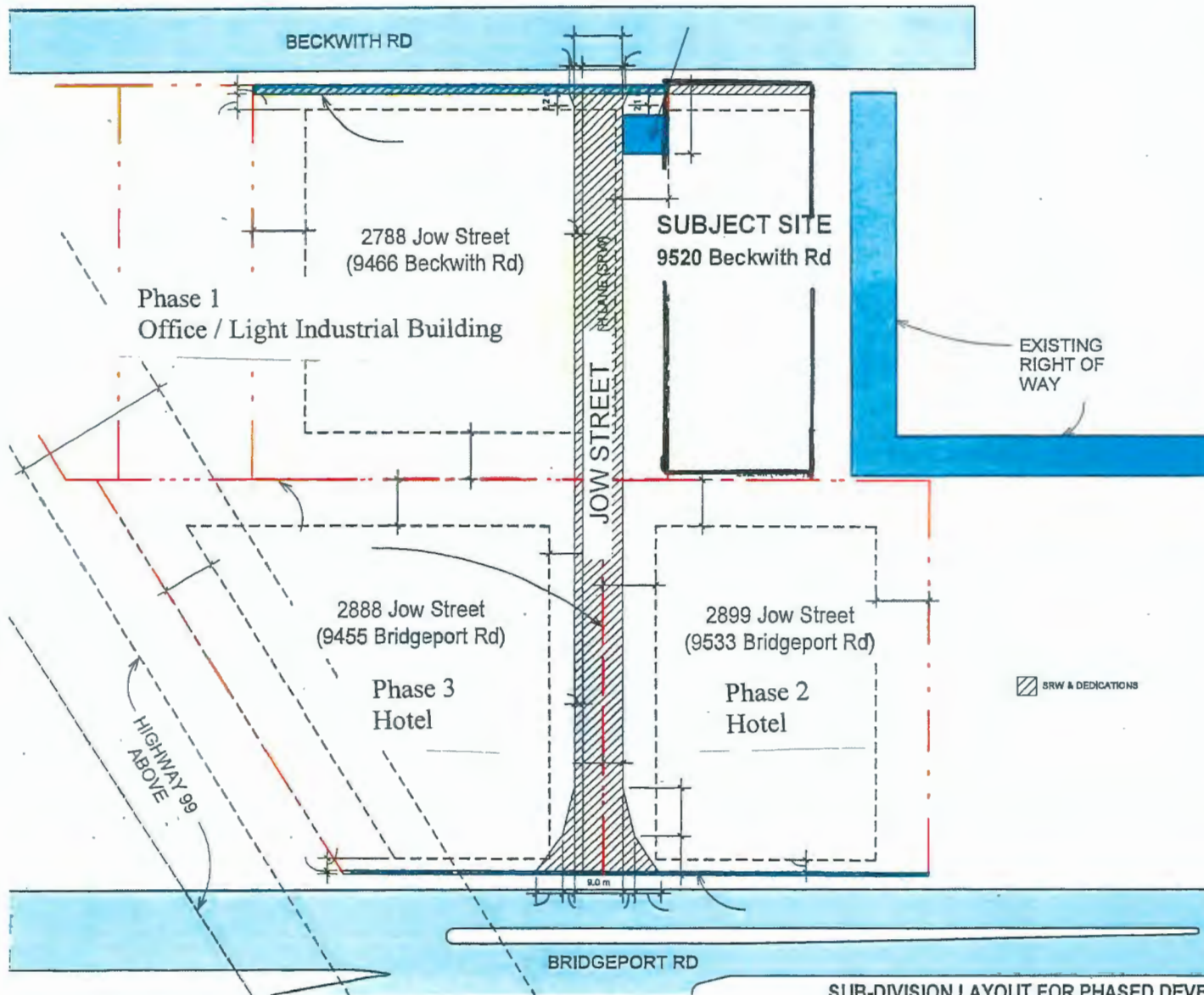
Planning Area(s): City Centre Area Plan

Floor Area Gross: 66,843 ft<sup>2</sup> (6,210 m<sup>2</sup>)

Floor Area Net: 40,436 ft<sup>2</sup> (3,757 m<sup>2</sup>)

	Existing	Proposed
<b>Site Area:</b>	2,097.7 m <sup>2</sup>	2,043.3 m <sup>2</sup>
<b>Land Uses:</b>	Vacant	Office and Light Industrial
<b>OCP Designation:</b>	MEMP – Mixed Employment	MEMP – Mixed Employment
<b>Zoning:</b>	Single Detached (RS1/F)	Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)
<b>Number of Units:</b>	None	None

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.85	1.84	none permitted
Lot Coverage:	Max. 75%	72.72%	none
Setback – Front Yard (Beckwith):	Min. 3.0 m	3.0 m	none
Setback – Side Yard (East):	Min. 0.0 m	0.2 m	none
Setback – Side Yard (West)	Min. 0.5 m	0.7 m	none
Setback – Rear Yard:	Min. 10.0 m	14.1 m	none
Height (m):	Max. 30 m	28.04 m	none
Lot Size:	none	2,043.3 m <sup>2</sup>	none
Off-street Parking Spaces – Regular/Commercial:	74	74	none
Off-street Parking Spaces – Accessible:	2	2	none
Total off-street Spaces:	76	76	none
Tandem Parking Spaces	not permitted	None	none
Amenity Space – Indoor:	N/A	N/A	none
Amenity Space – Outdoor:	N/A	N/A	none



| B |

NEW NORTH-SOUTH ROAD CONNECTING  
BRIDGEPORT RD WITH BECKWITH ROAD

ATTACHMENT 2

SUB-DIVISION LAYOUT FOR PHASED DEVELOPMENT

A 1007

1/32" = 1'-0"

Excerpt from the Minutes from  
**The Design Panel Meeting**

Wednesday, July 17 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall

1. **DP 18-829207 – 7-STOREY MIXED USE LIGHT INDUSTRIAL AND OFFICE DEVELOPMENT**

ARCHITECT: IBI Group Architects

LANDSCAPE ARCHITECT: Van der Zalm and Associates

PROPERTY LOCATION: 9520 Beckwith Road

**Applicant's Presentation**

Salim Narayanan, Architect, IBI Group Architects and Travis Martin, Landscape Architect, van der Zalm + Associates, presented the project and together with Kelly Koome, Arborist, van der Zalm + Associates, answered queries from the Panel on behalf of the applicant.

**Panel Discussion**

*Comments from Panel members were as follows:*

- appreciate the applicant contributing to the City's Public Art Fund; however, the applicant is encouraged to incorporate public art into the project to improve the project's public realm; *IBI: Applicant appreciates the importance of the project as an integral part of Bridgeport community area, and together with design team makes thoroughgoing efforts to maximally enhance the public realm experience. Applicant believes that the City of Richmond has paramount view in regards of city's public art vision. As follows, and due to site conditions and confined quarters, applicant opts to contribute to City's Public Art Fund.*

- appreciate the high density of tree planting and landscaping along the building's Beckwith Road frontage to provide a buffer to the existing single-family homes to the north; however, consider opening up the landscaped area along the north edge of the site to provide additional pedestrian access to the building from the north and address potential CPTED concerns; ***IBI: Landscaping at North elevation, along Beckwith road, was revised accordingly, to open up the elevation and introduce additional pedestrian connection. See A0.09 and L-02A***
- support the terraced building form stepping away from the east property line at the upper levels to reduce the massing of the building; also appreciate the introduction of vertical elements to break down the horizontal mass of the building; consider further breaking down the building massing particularly at the lower levels to provide a more pedestrian-oriented character to the building; ***IBI: Has been done and no further changes are proposed.***
- support the proposed bollard lighting along the west and north sides of the building;
- consider introducing landscaping around the Pad Mounted Transformer (PMT) fronting Beckwith Road to screen it from pedestrian view; ***IBI: Green hedge was added around PMT, to create aesthetic concealment. See A0.09 and L-02A.***
- consider adding lighting to the loading area on the south side of the building to enhance pedestrian experience and safety at night; ***IBI: Upward accent lights and flood lights were added to increase illumination, accentuate the trees, along South elevation. See L-02A.***
- the model and the applicant's presentation helped clarify the project's concept;
- the scale of the project relative to its site context is appropriate; shape and form of the building is also appropriate for its proposed uses;
- the applicant needs to address concerns regarding lighting and ventilation in the two parking levels inside the building; consider incorporating louver strips into the glass material wrapping the parking levels for ventilation; lighting in the parking levels should match the type of glass material for the parking level walls and reduce headlight glare from inside, e.g. obscure, translucent or spandrel; ***IBI: Extensive louver panels were incorporated at North and South elevations. Furthermore, "staggered" curtain wall panels design at West elevation will provide additional parking ventilation. Re: Glazing – spandrel and frosted glass panels are used interchangeably, to create a desirable lighting effect and reduce/block headlight glare. See elevations A2.01, A2.02, A2.03***
- simplicity of articulation on the southwest corner of the building is appropriate; consider mimicking this approach to the northwest corner that has a corner glass condition; consider a more solid corner treatment; ***IBI: A more solid corner treatment adopted – Long staircase window, on North elevation, was deleted. See A2.01***

- articulation of vertical fins on the west face of the building is effective; appreciate the interlacing of vertical fins that aligns with the two middle parking levels in the building; consider highlighting this condition as the project moves forward; also consider a slightly denser articulation of the vertical fins on the north face of the building to highlight the two middle parking levels;

***IBI: Parking levels at North elevation were further accentuated by introducing mechanical louvers. No further changes are proposed.***

- appreciate the amount of planting in the project and extensive use of native species; concerned on vine planting below Level 5 which is not shown on the planting plan for Level 5 as it is technically not on Level 5; applicant needs to consider provision of maintenance access; ***IBI: Guardrail access will be provided to maintain step-down planter. A fixed ladder is shown on A1.05 (at Gridline L1 between Gridlines D/E).***
- shadow study shows that the north elevation is a dark space most of the time; high density of planting including trees, native shrubs and planters along the Beckwith Road frontage will pose sightline issues; consider keeping the planting low and open up some of the trees to allow more sunlight; ***IBI: Landscaping at North elevation was revised accordingly, to allow more sunlight in. See A0.09 and L-02A***
- support the Panel comment regarding the lack of provision for maintenance access for vines on the lower planter below Level 5; consider installing a permanent ladder structure on the outside to connect the higher Level 5 planter to the lower planter;  
***IBI: Guardrail access will be provided to maintain step-down planter. A fixed ladder is shown on A1.05 (at Gridline L1 between Gridlines D/E).***
- programming on the building rooftop could be enhanced; consider breaking up the 20-foot long planting bed into smaller beds as it is difficult to maintain; the applicant could use the freed space for other uses that would benefit office space users; ***IBI: A break in the landscaping was made.***
- support the retention of existing trees along the south property line and the proposed additional planting of trees on the site;

- the project is nice and compact; however, the applicant needs to integrate into the building design the mechanical and ventilation requirements for the building's intended uses, e.g. provision of louvers for the two lower floors of light industrial uses; Canadian Standard Association (CSA) requirements may also impact the design and programming of the rooftop deck to provide for the mechanical equipment requirements of future medical and dental offices should these be located in the building's office spaces; ***IBI: Ventilation louvers are integrated into Light Industrial levels façade and soffit. See A2.01-04. Specialized, open to sky, mechanical area is allocated on Level 7 to serve present and future mechanical needs, and in coordination with Mechanical consultant.***
- applicant needs to be mindful of interconnecting the two floor levels for light industrial uses as this could impact the required space for vestibules on the ground level; ***IBI: Internal stairs shown in Light Industrial spaces are optional, and subject to future TI if needed.***
- support the incorporation of vertical fins on the building façade; however, some of the fins, particularly the intermediate fins, are not deep enough and need further design development;  
***IBI: Has been done and no further changes are proposed.***
- appreciate the proposed mixed light industrial and office use project which is part of an overall project that includes two hotel buildings and a business centre building;
- support the Panel comment for the applicant to consider at this stage of the project the mechanical and ventilation requirements for office and light industrial spaces and incorporate these into the building design and articulation of building facade, e.g. louvers and mechanical equipment; ***IBI: Mechanical and ventilation requirements are incorporated and coordinated with Mechanical consultant.***
- the proposed loading decks are not well resolved; consider a dedicated and more direct passage from the loading decks to the inside of the building that will not go through the garbage and recycling room; applicant could consider utilizing a portion of the office reception/lobby as a passageway from the loading decks to the inside of the building; ***IBI: Service corridor and Garbage/Recycling area were revised to allow a dedicated passage from the loading facilities.***
- the overall articulation of the building is more successfully shown in the model than in the renderings, e.g. showing the contrast in gray tones;



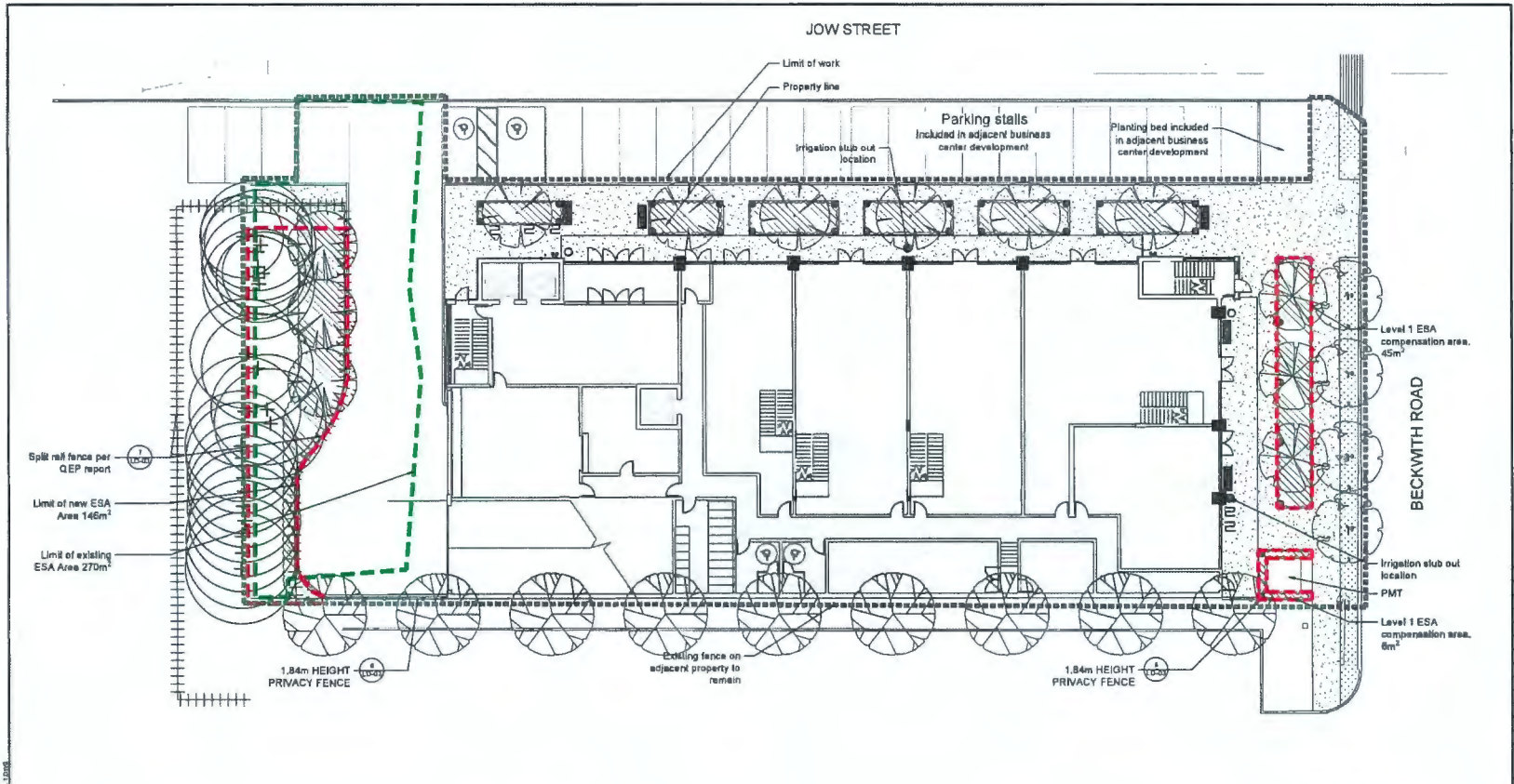
- applicant needs to review the accessibility aspect of the project, e.g. wayfinding for different users of the building, e.g. location of accessible parking; ***IBI: Please, see L-06 for Accessibility Plan. Please, see A0.09 for H/C stalls located at immediate proximity to the main lobby. Accessibility and wayfinding signs will be incorporated throughout in the project within the Building Permit, including electronic H/C door opener at main lobby.***
  
- appreciate the proposed mixed-use building notwithstanding the questions regarding its intended uses;
- the two levels of parking inside the building present an opportunity to repurpose these for other uses as their need diminishes in the future;
- would like to see the definition of the zoning of the subject site and its permitted uses; and
- appreciate how the building fits into the neighbourhood.

**Panel Decision**

It was moved and seconded

***That DP 18-829207 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.***

**CARRIED**

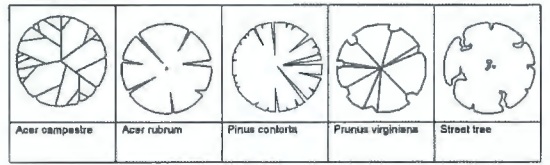


**ESA Calculations:**

Existing ESA area:	270m <sup>2</sup>
Level 1 ESA Post Development:	197m <sup>2</sup>
Level 5 ESA compensation area:	156m <sup>2</sup>
Level 7 ESA compensation area:	254m <sup>2</sup>
<b>Total ESA Post Development:</b>	<b>607m<sup>2</sup></b>
<b>Net change in ESA area:</b>	<b>+337m<sup>2</sup></b>

**NOTE:**  
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

**TREE LEGEND**



**TREE SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
See Legend	9	Acer campestre	Hedge Maple	B&B; 8cm cal.; 3.0m Ht.	Per Plan	
See Legend	6	Acer rubrum	Red Maple	B&B; 8cm cal.; 1.2m sid.	Per Plan	
See Legend	3	Pinus conorta	Shore Pine Spaceman	B&B; 3.0m Ht.; Single leader	Per Plan	Contractor to submit photos for approval prior to installation
See Legend	3	Prunus virginiana	Choke Cherry	B&B; 6cm cal.; 1.2m sid.	Per Plan	
See Legend	4	Street Tree		B&B; 7cm cal.; 1.8m sid.	Per Plan	By city

**LANDSCAPE LEGEND**

KEY	REF.	DESCRIPTION
	2 LD-01	PRECAST CONCRETE Colour: Beige Finish: Beige Manufacturer: Jovivi-Sarcel
		SOIL
		PLANTING AREA
	2 LD-03	BIKE RACK Model: Pro Colour: Metallic Silver Manufacturer: Landscape Forms
	1 LD-03	WASTE RECEPTACLE Colour: PSL Manufacturer: Landscape Forms
	3 LD-03	BENCH Model: Park Center Size: 1800mm x 1100mm x 600mm Manufacturer: Landscape Forms
	5 LD-02	IRRIGATION LIGHT Model: PEP Path Manufacturer: Landscape Forms as approved signal



**REVISIONS TABLE FOR DRAWINGS**

No.	By	Description	Date
7	AD	Issued for Development Permit	Oct 10, 2019
8	OV	Issued for DP, ASP UPGRADE	August 22, 2019
9	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 28, 2019
3	AD	Issued for Development Permit	March 13, 2019
5	AD	Issued for Development Permit	Feb 28, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

**REVISIONS TABLE FOR SHEET**

No.	By	Description	Date

**Project:**  
 9520 Beckwith Road

**Location:**  
 9520 Beckwith Road  
 Richmond, BC

**Drawn:**  
 AD

**Checked:**  
 HVZ

**Approved:**  
 HVZ

**Original Sheet Size:**  
 24"x36"

**Scale:**  
 1:150

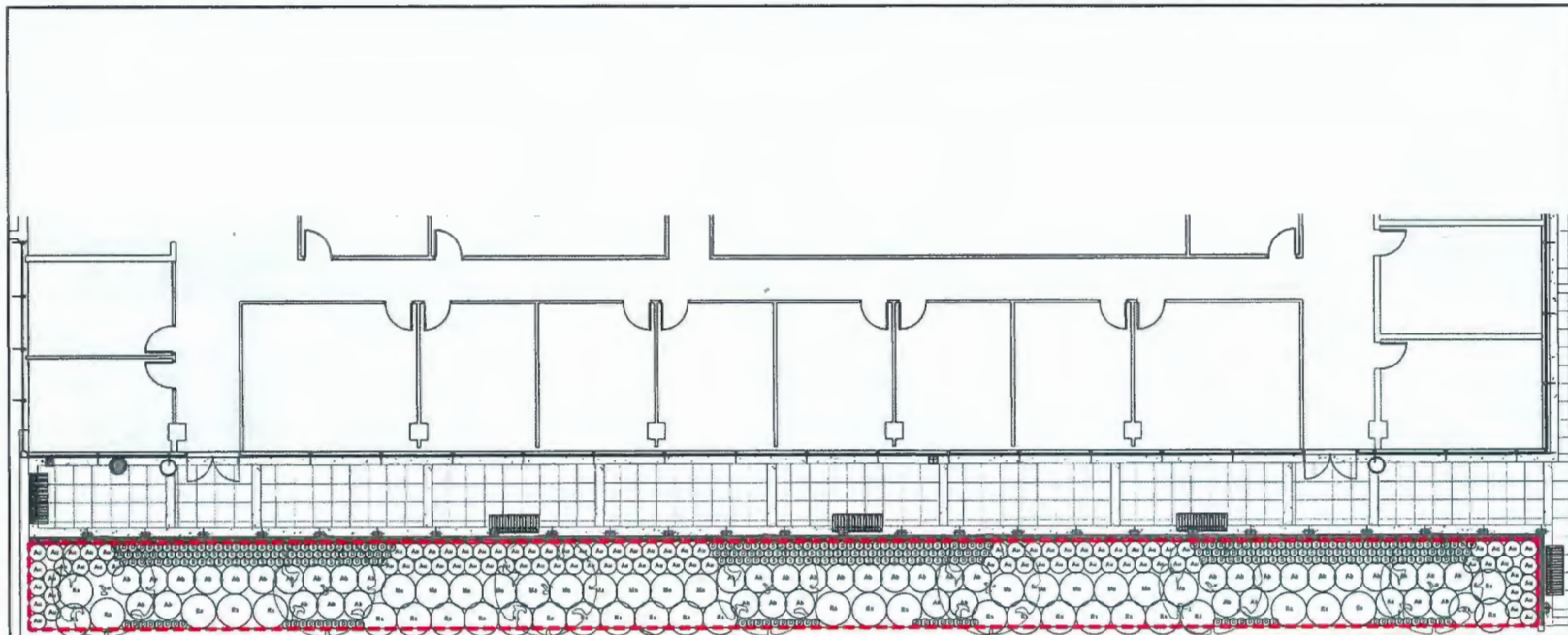
THIS DRAWING IS THE PROPERTY OF VAN DER ZALM & ASSOCIATES INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF VAN DER ZALM & ASSOCIATES INC. THIS DRAWING IS THE PROPERTY OF VAN DER ZALM & ASSOCIATES INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF VAN DER ZALM & ASSOCIATES INC.

Drawing Title: **SITE PLAN - LEVEL 1**

VZ Project #: **DP2018-29**

Drawing #: **L-02A**

**ATTACHMENT 4**



Level 5 ESA compensation area, 156.2m<sup>2</sup>

ESA Calculations:

Existing ESA area:	270m <sup>2</sup>
Level 1 ESA Post Development:	197m <sup>2</sup>
Level 5 ESA compensation area:	254m <sup>2</sup>
Level 7 ESA Post Development:	807m <sup>2</sup>
Net change in ESA area:	+337m <sup>2</sup>

NOTE:  
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
Ab	45	<i>Abies balsamea</i> 'Nana' / Dwarf Balsam Fr	#2 Pot	1m
Au	94	<i>Arctostaphylos uva-ursi</i> / Kinnikinnick	#2 Pot	0.60m
D	144	<i>Deschampsia cespitosa</i> / Tufted Hair Grass	#2 Pot	0.30m
Ma	18	<i>Mahonia aquifolium</i> / Oregon Grape	#3	1.20m
Ra	33	<i>Ribes sanguinum</i> / Red Flowering Currant	#3	1.20m
S	198	<i>Sedum spathulifolium</i> 'Carnea' / Broadleaf Stonecrop	#1	0.30m

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
- Growing medium depths for planting as follows:
  - Shrubs: 450mm
  - Sod: 150mm
  - Tree pits: 1000mm with 300mm (below root ball)
- 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

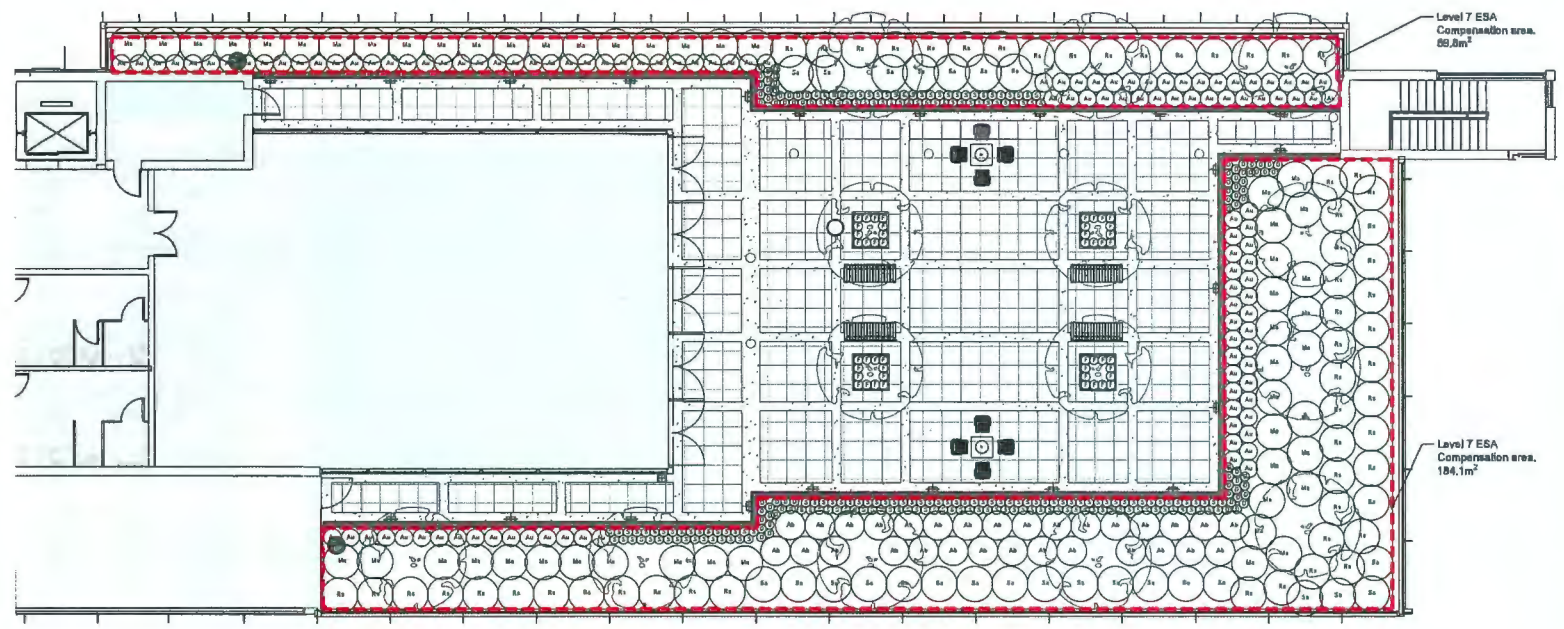
No.	By	Description	Date
1	AD	Issued for Development Permit	Oct 19, 2014
2	DV	Issued for DP, ADP UPGRADE	August 22, 2014
3	AD	Issued for ADP	July 6, 2010
4	AD	Issued for Development Permit	June 28, 2010
5	AD	Issued for Development Permit	March 19, 2010
6	AD	Issued for Development Permit	Feb 28, 2010
7	AD	Issued for Development Permit	Jan 28, 2010

Project:  
 9520 Beckwith Road

Location:  
 9520 Beckwith Road  
 Richmond, BC

Drawn: AD	Checked: MVDZ	Approved: MVDZ	Original Sheet Size: 34"x34"
Scale: 1:75			

Drawing Title: PLANTING PLAN - LEVEL 5  
 Drawing #: L-03B  
 Project #: DP2018-29  
 Date: 1/25/18



**ESA Calculations:**

Existing ESA area:	270m <sup>2</sup>
Level 1 ESA Post Development:	197m <sup>2</sup>
Level 5 ESA compensation area:	156m <sup>2</sup>
Level 7 ESA compensation area:	254m <sup>2</sup>
Total ESA Post Development:	607m <sup>2</sup>
Net change in ESA area:	+337m <sup>2</sup>

NOTE:  
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

**PLANT SCHEDULE**

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
Ab	30	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m
Au	118	Arcostaphylos uva-ursi / Kinnikinnick	#2 Pot	0,60m
D	76	Deschampsia cespitosa / Tufted Hair Grass	#2 Pot	0,30m
F	48	Festuca glauca 'Elijah Blue' / Blue Fescue	#1	0,30m
Ma	51	Mahonia aquifolium / Oregon Grape	#3	1,20m
Ra	56	Ribes sanguineum / Red Flowering Currant	#3	1,20m
S	181	Sedum spathulifolium 'Carnes' / Broadleaf Stonecrop	#1	0,30m
Sa	25	Symphoricarpos albus / Common White Snowberry	#3	1,20m

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoli supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
- Growing medium depths for planting as follows:
  - Shrubs: 450mm
  - Sod: 150mm
  - Tree pits: 1000mm with 300mm (below root ball)
- 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
7	AD	Issued for Development Permit	Oct 16, 2019
6	DV	Issued for DP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 28, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 20, 2019

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:  
9520 Beckwith Road

Location:  
9520 Beckwith Road  
Richmond, BC

Drawn:  
AD

Checked:  
MVDZ

Approved:  
MVDZ

Scale:  
1:75

Original Sheet Size:  
34"x46"



1000 West 10th Avenue, Suite 1000 Vancouver, BC V6H 3G9 Tel: 604.681.1111 Fax: 604.681.1112 www.vdz.com

# LEED



## LEED v4 for BD+C: New Construction and Major Renovation Project Checklist

Project Name: Bridgeport Lowrise  
Date: 2019-M06-26



2019-M06-26

Y	?	N			
			Cv#8	Integrative Process	1
<b>13</b>	<b>1</b>	<b>0</b>		<b>Location and Transportation</b>	<b>16</b>
			Cv#8	LEED for Neighborhood Development Location	16
			Cv#8	Sensitive Land Protection	1
			Cv#8	High Priority Site	2
			Cv#8	Surrounding Density and Diverse Uses	5
			Cv#8	Access to Quality Transit	5
			Cv#8	Bicycle Facilities	1
			Cv#8	Reduced Parking Footprint	1
			Cv#8	Green Vehicles	1
<b>3</b>	<b>4</b>	<b>3</b>		<b>Sustainable Sites</b>	<b>10</b>
			Pr#14	Construction Activity Pollution Prevention	Required
			Cv#8	Site Assessment	1
			Cv#8	Site Development - Protect or Restore Habitat	2
			Cv#8	Open Space	1
			Cv#8	Rainwater Management	3
			Cv#8	Heat Island Reduction	2
			Cv#8	Light Pollution Reduction	1
<b>7</b>	<b>1</b>	<b>0</b>		<b>Water Efficiency</b>	<b>11</b>
			Pr#14	Outdoor Water Use Reduction	Required
			Pr#14	Indoor Water Use Reduction	Required
			Pr#14	Building-Level Water Metering	Required
			Cv#8	Outdoor Water Use Reduction	2
			Cv#8	Indoor Water Use Reduction	6
			Cv#8	Cooling Tower Water Use	2
			Cv#8	Water Metering	1
<b>17</b>	<b>0</b>	<b>0</b>		<b>Energy and Atmosphere</b>	<b>33</b>
			Pr#14	Fundamental Commissioning and Verification	Required
			Pr#14	Minimum Energy Performance	Required
			Pr#14	Building-Level Energy Metering	Required
			Pr#14	Fundamental Refrigerant Management	Required
			Cv#8	Enhanced Commissioning	6
			Cv#8	Optimize Energy Performance	18
			Cv#8	Advanced Energy Metering	1
			Cv#8	Demand Response	2
			Cv#8	Renewable Energy Production	3
			Cv#8	Enhanced Refrigerant Management	1
			Cv#8	Green Power and Carbon Offsets	2

Y	?	N			
<b>0</b>	<b>4</b>	<b>0</b>		<b>Materials and Resources</b>	<b>13</b>
			Pr#14	Storage and Collection of Recyclables	Required
			Pr#14	Construction and Demolition Waste Management Planning	Required
			Cv#8	Building Life-Cycle Impact Reduction	5
			Cv#8	Building Product Disclosure and Optimization - Environmental Product Declarations	2
			Cv#8	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
			Cv#8	Building Product Disclosure and Optimization - Material Ingredients	2
			Cv#8	Construction and Demolition Waste Management	2
<b>10</b>	<b>5</b>	<b>0</b>		<b>Indoor Environmental Quality</b>	<b>16</b>
			Pr#14	Minimum Indoor Air Quality Performance	Required
			Pr#14	Environmental Tobacco Smoke Control	Required
			Cv#8	Enhanced Indoor Air Quality Strategies	2
			Cv#8	Low-Emitting Materials	3
			Cv#8	Construction Indoor Air Quality Management Plan	1
			Cv#8	Indoor Air Quality Assessment	2
			Cv#8	Thermal Comfort	1
			Cv#8	Interior Lighting	2
			Cv#8	Daylight	3
			Cv#8	Quality Views	1
			Cv#8	Acoustic Performance	1
<b>1</b>	<b>5</b>	<b>0</b>		<b>Innovation</b>	<b>6</b>
			Cv#8	Innovation	5
			Cv#8	LEED Accredited Professional	1
<b>0</b>	<b>0</b>	<b>0</b>		<b>Regional Priority</b>	<b>4</b>
			Cv#8	Regional Priority: Specific Credit	1
			Cv#8	Regional Priority: Specific Credit	1
			Cv#8	Regional Priority: Specific Credit	1
			Cv#8	Regional Priority: Specific Credit	1
<b>52</b>	<b>20</b>	<b>3</b>		<b>TOTALS</b>	<b>Possible Points: 110</b>

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110

Attn: City of Richmond  
Re: 9520 Beckwith Road by Chungwa

This letter is written to indicate the progress of Bridgeport - Lowrise (9520 Beckwith Road, Richmond, BC) and to present the preliminary sustainability assessment and implementation of green building strategies in the project design. Furthermore, this letter confirms that E3 Eco Group has been engaged by Chungwa to consult on sustainability strategies during the project development to ensure compliance with Rezoning Considerations 19.

For Rezoning Consideration 19:  
As clearly stated in the Rezoning Consideration (RZ 18-021103), the project is exempt from complying with Step Code due to its Development Permit Application date being prior to the adoption of Step Code by the City of Richmond. Therefore, a preliminary rating has been carried out following the LEED v4 rating system and sufficient points have been selected and incorporated into the design as to be equivalent to a Silver rating. A follow up letter and report will be submitted to the City upon project completion.

Supporting Documentation:  
Simplified Sustainability Checklist 2019-M06-26

Please contact the undersigned if you have any additional questions.

Kind Regards,  
*Kaui Queiroz*  
Kaui Queiroz  
Sustainability consultant  
Project Manager  
E3 Eco Group Inc.

**IBI** GROUP  
ARCHITECTS (CANADA) INC.  
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ibigroup.com

2019-10-01

9520 BECKWITH RD

**A0.03d**



**DP 18-829207**

**Attachment B**

Address: 9520 Beckwith Road

Applicant: Arcadis Architects (Canada) Inc.

Owner: 1128457 BC LTD.

Planning Area(s): City Centre Area Plan – Bridgeport Village

Floor Area Gross: 6,210 m<sup>2</sup>

Floor Area Net: 3,757 m<sup>2</sup>

	Existing	Proposed
<b>Site Area:</b>	2,097.7 m <sup>2</sup>	2,043.3 m <sup>2</sup>
<b>Land Uses:</b>	Vacant	Office and Light Industrial
<b>OCP Designation:</b>	Mixed Employment	Mixed Employment
<b>Zoning:</b>	Single-Detached (RS1/F)	Light Industrial and Office (Z119) – Bridgeport Village (City Centre)

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.85	1.84	none permitted
Lot Coverage:	Max. 75%	72.7%	None
Setback – Front Yard (Beckwith):	Min. 3.0 m	3.0 m	None
Setback – Side Yard (east):	Min. 0.0 m	0.2 m	None
Setback – Side Yard (west):	Min. 0.5 m	2.2 m	None
Setback – Rear Yard (south):	Min. 10.0 m	14.1 m	None
Height (m):	Max. 30.0 m	28 m	None
Off-street Parking Spaces –	74	74	None
Off-street Parking Spaces – Accessible:	2	2	None
Total off-street Spaces:	76	76	None



City of  
Richmond

## Development Permit Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address: 9520 Beckwith Road**

**File No.: DP 18-829207**

**Prior to Development Permit issuance, the following are to be met prior to forwarding this application to Council for approval:**

1. (Landscape Security Non-ESA) - Enter into a security agreement and receipt of a Letter-of-Credit for landscaping in the amount of \$260,095
2. (Landscape Security ESA) - Enter into a security agreement and receipt of a Letter-of-Credit for landscaping in the amount of \$110,466. The terms of release of this security shall be consistent with the monitoring and maintenance recommendations of the consulting Qualified Environmental Professional.
3. (Legal Agreement ESA) – Registration of a legal agreement that includes the following provisions in relation to the Environmentally Sensitive Area compensation and enhancement areas forming part of this Development Permit application.
  - 3.1 Includes at-grade ESA compensation areas located on both 9520 Beckwith Road and 2888 Jow Street.
  - 3.2 Includes all remaining ESA compensation areas on levels 5 and 7 of the subject site
  - 3.3 Applicable BCLS survey plans to be submitted consistent with the Development Permit application that identifies the ESA compensation and enhancement areas.
  - 3.4 The ESA compensation and enhancement areas cannot be disturbed, modified or removed and must be maintained by the developer.
  - 3.5 Include the project’s Qualified Environmental Professional (QEP) post implementation monitoring and maintenance provisions as follows:
    - 3.5.1 5 year monitoring period.
    - 3.5.2 Inspections to occur twice yearly with reports provided by the QEP to the City after each inspection.
    - 3.5.3 QEP responsible for resolving any deficiencies during this monitoring period.
  - 3.6 Implementation of the bird strike monitoring plan in accordance with the report and recommendations of the project QEP that will include:
    - 3.6.1 A minimum of 2 monthly inspections by the QEP for the initial 6 month baseline period once completion of construction and installation of all on-site landscape is complete and the City grants final inspection (or equivalent certification).

- 3.6.2 Annual monitoring for an additional 3 year period beyond the above referenced 6 month initial base line period
    - 3.6.3 Submission of reports from the QEP after the 6 month initial base line period and on an annual basis for the 3 year period thereafter.
  - 3.7 Include provisions for the City to access ESA compensation areas at-grade and on levels 5 and 7 of the development for the purposes of installing, performing maintenance and inspecting works within the ESA compensation areas.
- 4. (Legal Agreement – Vehicle Access from 2777 Jow Street) – Registration of a legal agreement on the property at 2777 Jow Street that grants vehicle access and egress to 9520 Beckwith Road through the property at 2777 Jow Street to Jow Street (secured through the statutory right-of-way EPP72727).
- 5. (Legal Agreement – Loading Facilities on 2899 Jow Street) – Registration of a legal agreement on the property at 2899 Jow Street that grants the shared use of the large on-site loading facility to benefit 9520 Beckwith Road.
- 6. (Legal Agreement – Public Access on 2777 Jow Street) – Registration of a legal agreement and accompanying statutory right-of-way on the property at 2777 Jow Street for an area (approximately 2.9 m in width and 75.2 m in length) located on the east edge of 2777 Jow Street (directly adjacent to and along the shared property line of 9520 Beckwith Road) that grants public access and use of this area for sidewalk purposes and general access to the City for servicing and emergency access purposes. The works are to be built by the owner/developer and are to be maintained by the owner. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works.
- 7. (Legal Agreement – Canopy encroachment into 2777 Jow Street) – Registration of a legal agreement on the property at 2777 Jow Street for the existing entrance canopy affixed to and part of the proposed building at 9520 Beckwith Road. This entrance canopy is proposed to encroach into 2777 Jow Street and a legal agreement is required to:
  - 7.1 Provide allowance for the encroachment with terms that are acceptable to 2777 Jow Street and 9520 Beckwith Road.
  - 7.2 Include terms that ensure appropriate liability provisions and indemnification to the City.
  - 7.3 Include provisions that recognizes the canopy will also encroach over a portion of the public access area secured through Development Permit consideration Item 6.
- 8. (DP Panel Notification Fee) Payment of all fees in full for the cost associated with the Development Permit Panel Notices, consistent with the City’s Consolidated Fees Bylaw 8636, as amended.



**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.
3. Submission and approval of the Construction and Environmental Management Plan (CEMP) to be prepared by the project QEP.

- Signed Copy on File -

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Date



No. DP 18-829207

To the Holder:                      Arcadis Architects (Canada) Inc.

Property Address:                  9520 Beckwith Road

Address:                              C/O Suite 100 1285 West Pender Street  
   Vancouver BC V6E 4B1

---

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #39 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$110,466 for ESA compensation and enhancement plantings and \$260,995 for all other landscaping to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to five years after inspection and completion of the ESA compensation and enhancement plantings and up to one year after inspection and completion of the other on-site landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 18-829207**

To the Holder:                      Arcadis Architects (Canada) Inc.  
Property Address:                    9520 Beckwith Road  
Address:                                C/O Suite 100 1285 West Pender Street  
   Vancouver BC V6E 4B1

---

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF                                ,                                .

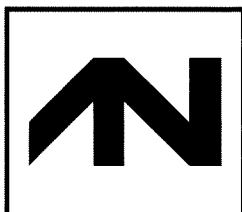
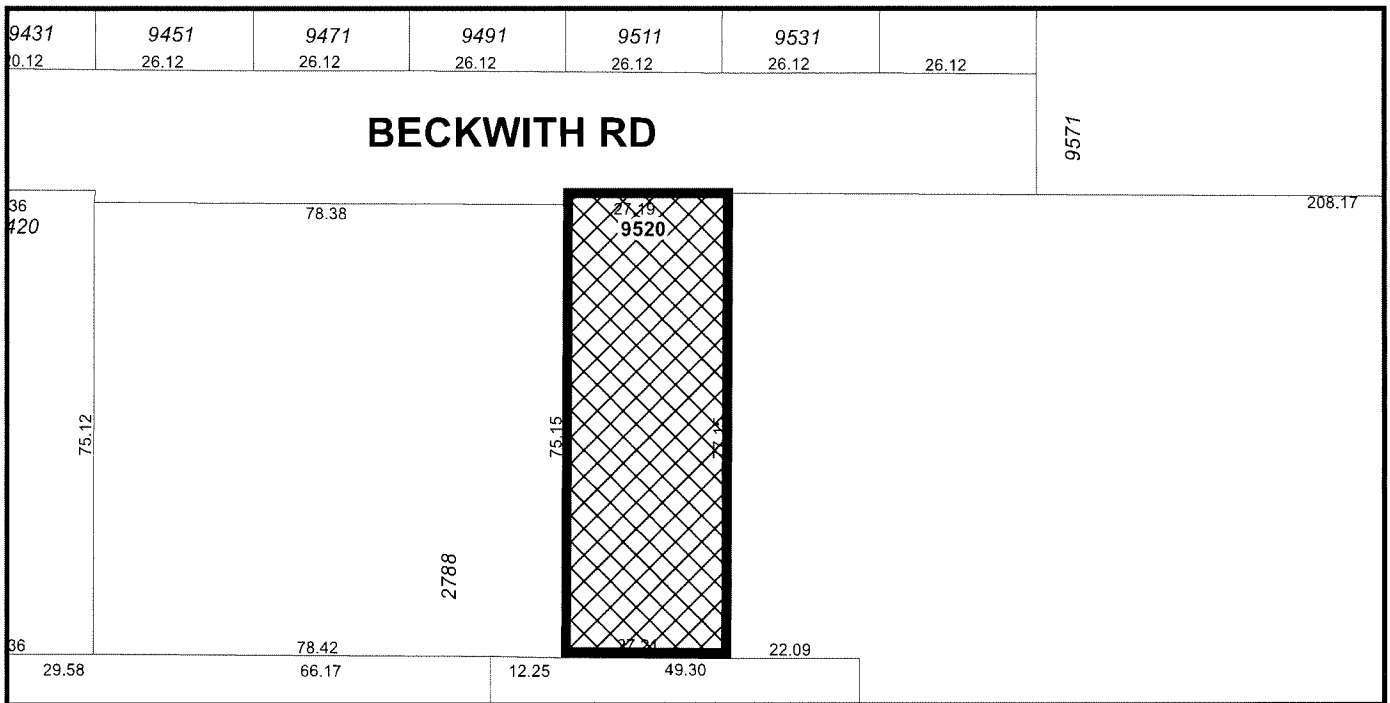
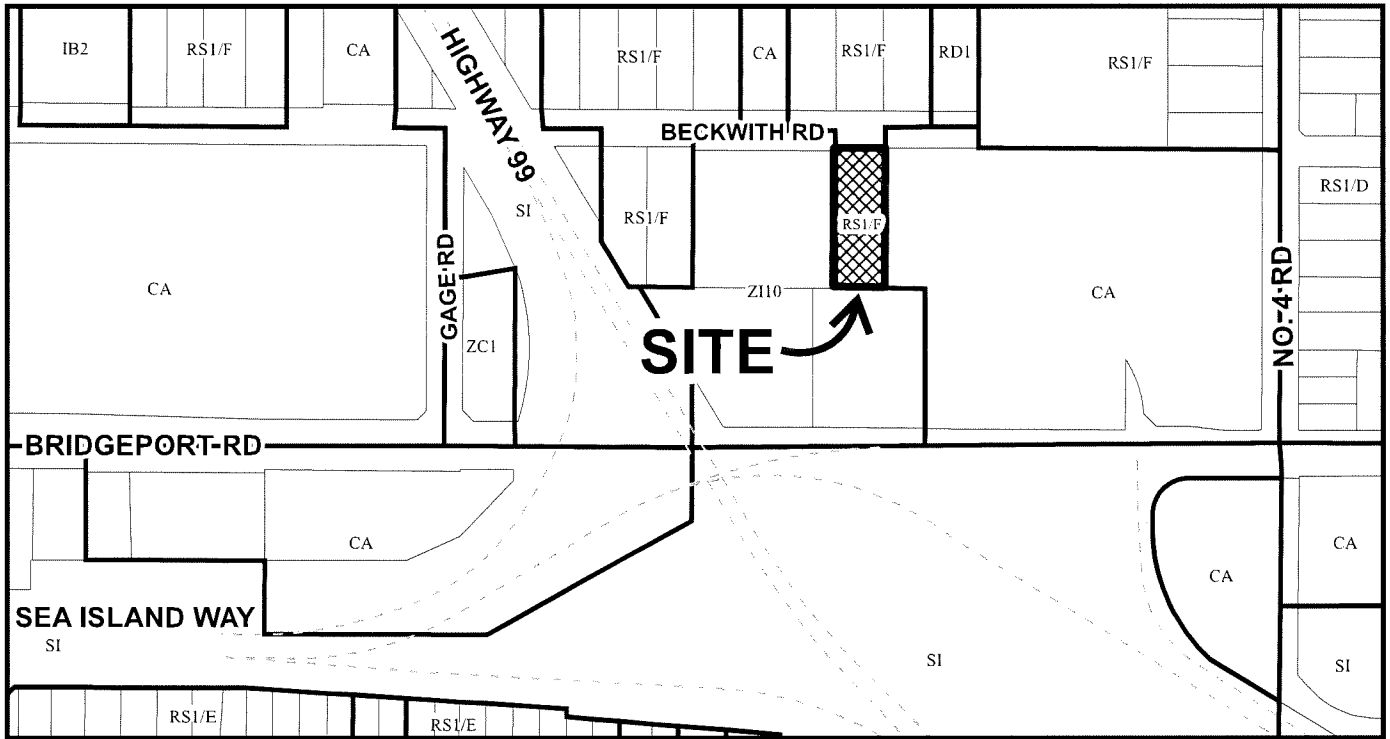
ISSUED BY THE COUNCIL THE

DELIVERED THIS                    DAY OF                                ,                                .

\_\_\_\_\_  
MAYOR



# City of Richmond



## DP 18-829207 SCHEDULE "A"

Original Date: 10/24/18

Revision Date: 02/28/24

Note: Dimensions are in METRES

# Project Statistics

PROJECT STATISTICS			
2788 JOW STREET			
ZONING SUB-AREA	A EA-B; SUB AREA : A2 (EXPECTING OVERLAP)		
SITE AREA (S.F.) (BEFORE DEDICATION)	22,579		
SITE AREA (S.F.) (AFTER DEDICATION)	21,994		
FAR ALLOWED (S.F.)	FSR 1.85 PER AREA-B (T4)		
	TARGET: FSR 1.85 (T4)		40,689
FAR PROVIDED (S.F.)			40,436
	FSR		1.84
DIFFERENCE (S.F.)			- 253
	FSR (S.F.)	MECH./PARKING (S.F.)	GROSS (S.F.)
LOW RISE OFFICE	40,436	26,407	66,843
BIKE PARKING SUMMARY			
	CLASS 1	CLASS 2	TOTAL
LOW RISE OFFICE	REQ 9	REQ 12	REQ 21
	PROV 14	PROV 15	PROV 29
LOADING SUMMARY			
	OFFICE	LIGHT INDUSTRIAL	COMMENTS
MEDIUM SIZE SPACE	1	1	1 PER EACH USE
LARGE SIZE SPACE		1	SHARED WITHIN 50M ON 2777 JOW STREET

AREA BREAKDOWN					
	FSR		FAR SUB-TOTAL	NON FSR (MECH./PARKING)	GROSS FLOOR AREA
	LIGHT INDUSTRY	OFFICE			
7		2,780	2,780	159	2,939
6		9,117	9,117		9,117
5		10,409	10,409		10,409
4			-	13,115	13,115
3			-	9,878	9,878
2	7,244	160	7,404	1,140	8,544
1	8,996	1,730	10,726	2,115	12,841
TOTAL	16,240	24,196	40,436	26,407	66,843
FLOOR AREA RATIO	40.2%	59.8%	TOTAL FLOORS AREA / FAR PROVIDED		
CAR PARKING REQUIRED (BEFORE TDM REDUCTION)	13	63			
CLASS 1 BICYCLE PARKING REQUIRED	3	6	7 HORIZONTAL+7 VERTICAL PROVIDED		
CLASS 2 BICYCLE PARKING REQUIRED	3	9	15 PROVIDED ON SITE WITHIN 15M OF MAIN ENTRANCE		
NOTE	PARKING RATIO CALCULATED BASED ON THE GROSS LEASABLE FLOOR AREA PER SECTION 7.7				
GROSS LEASABLE FLOOR AREA	13,224	22,290	PARKING RATIO CALCULATED BASED ON THE GROSS LEASABLE FLOOR AREA PER SECTION 7.7		
TOTAL BUILDING SITE COVERAGE	TOTAL SITE AREA	TOTAL BUILDING COVERAGE W/PROJECTIONS	TOTAL BUILDING SITE COVERAGE PERCENTAGE		
	21,994	15,995	72.72%		

Electric Vehicle Charging Infrastructure to be in compliance  
with current requirements contained in Zoning Bylaw 8500

DP 18-829207  
May 7, 2024  
Plan # 1



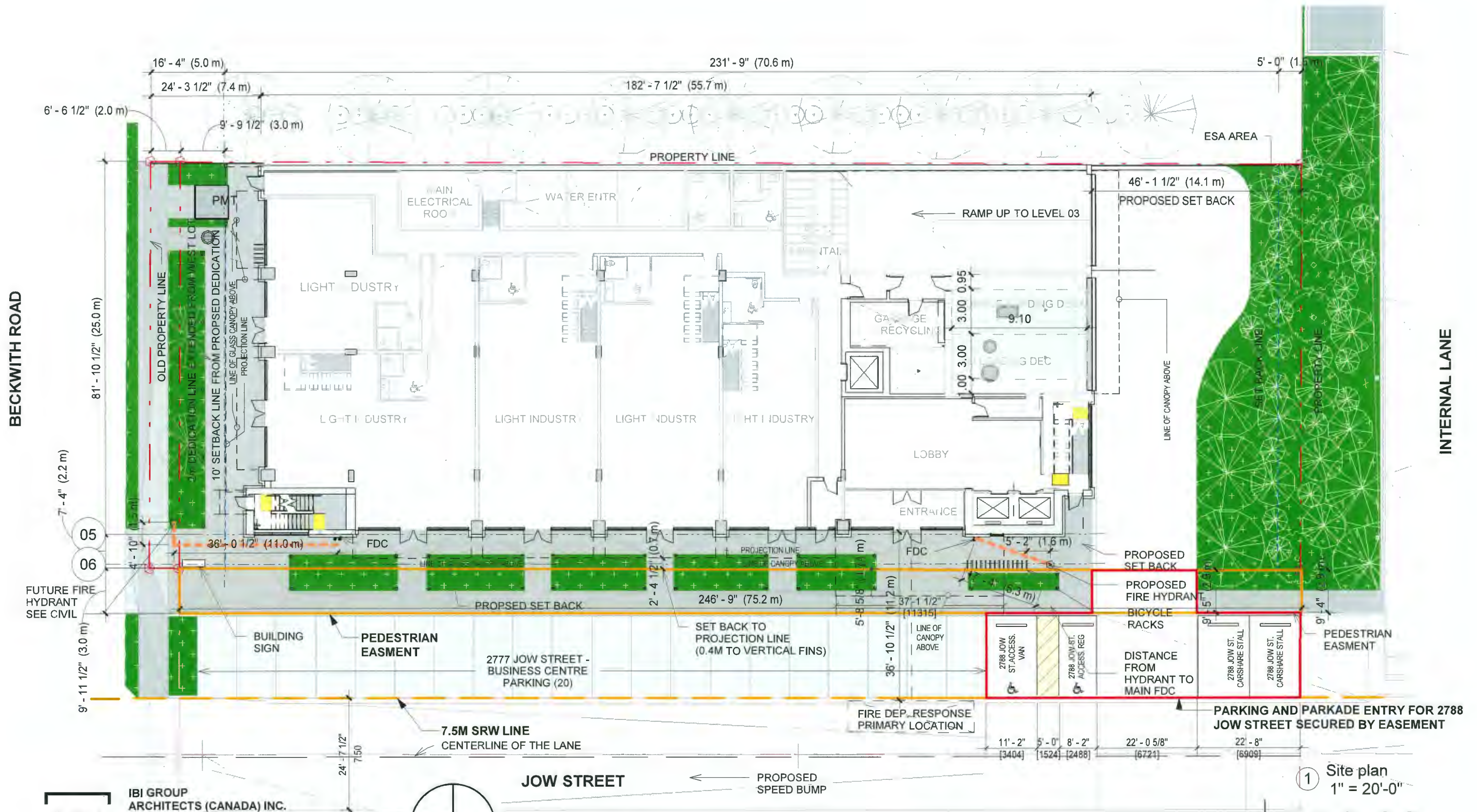
IBI GROUP  
ARCHITECTS (CANADA) INC.  
700 - 1285 West Pender Street  
Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
ibigroup.com

February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

**A0.08**

# Site Plan



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February 27, 2023  
 REVISED 2024-02-20

2788 JOW STREET (9520 BECKWITH ROAD)

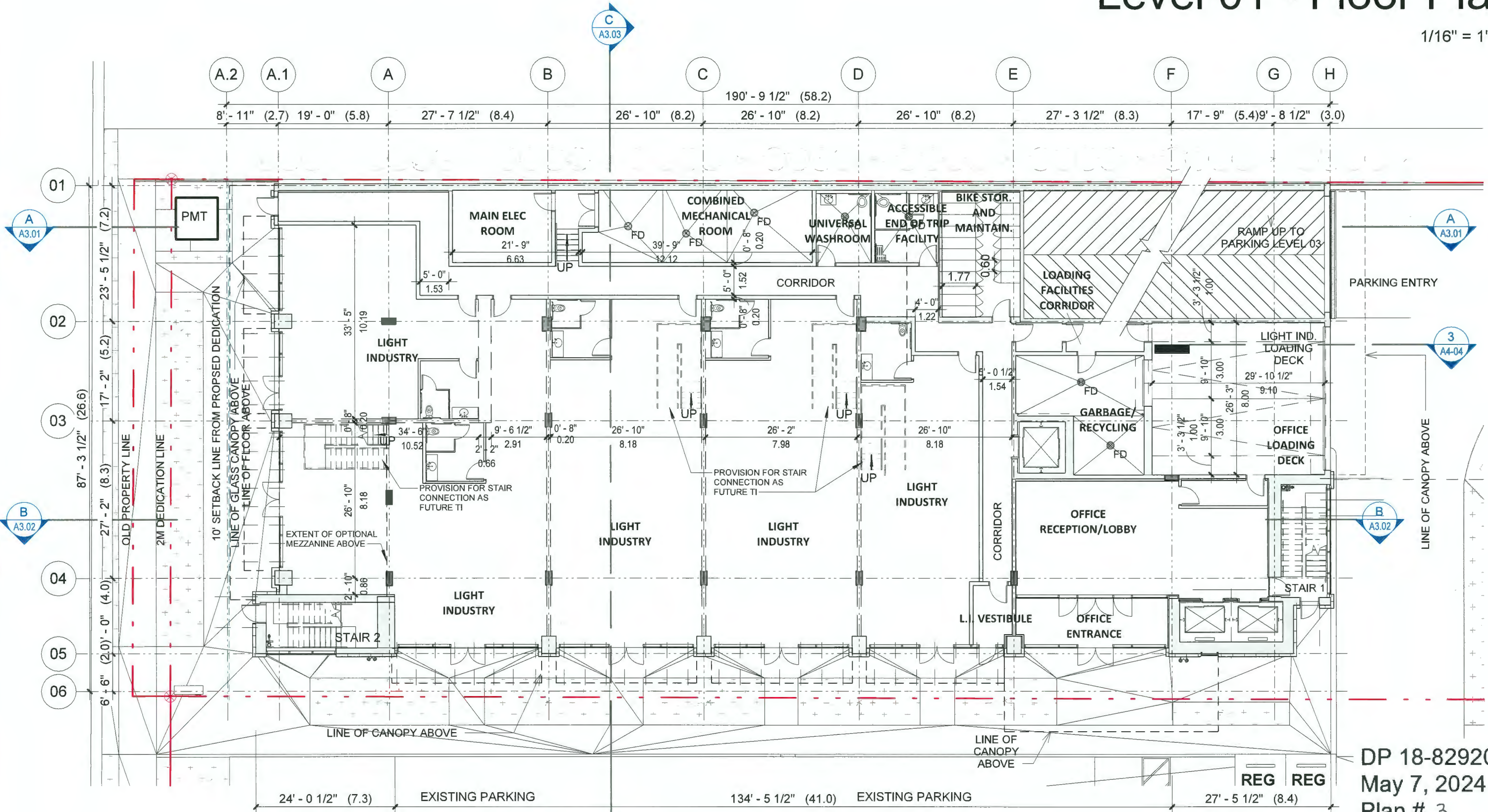
DP 18-829207  
 May 7, 2024  
 Plan # 2

1 Site plan  
 1" = 20'-0"

**A0.09**

# Level 01 - Floor Plan

1/16" = 1'-0"



DP 18-829207  
 May 7, 2024  
 Plan # 3

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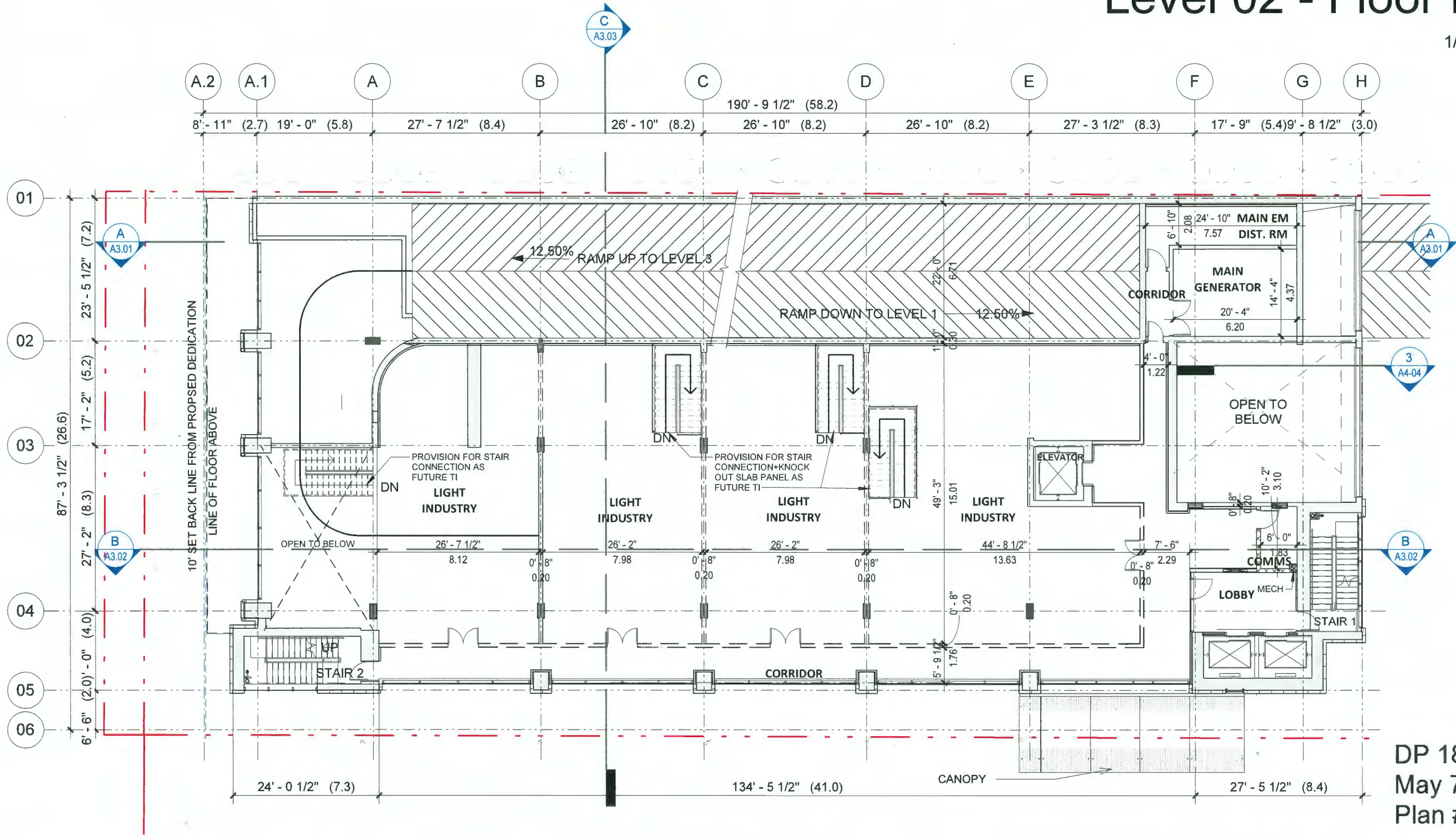
February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

**A1.01**

# Level 02 - Floor Plan

1/16" = 1'-0"



DP 18-829207  
 May 7, 2024  
 Plan # 4

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February 27, 2023

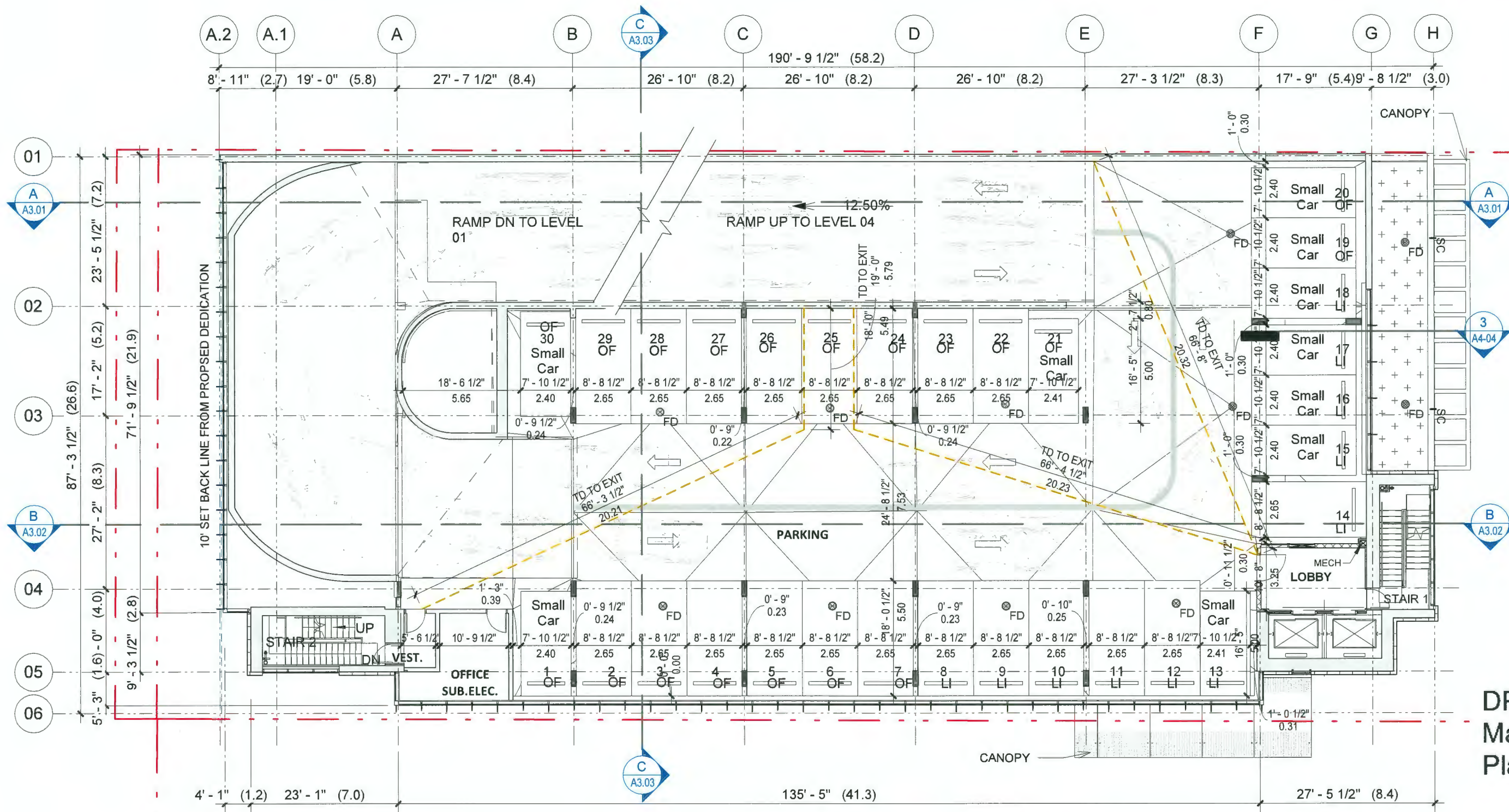
2788 JOW STREET (9520 BECKWITH ROAD)

**A1.02**



# Parking Level 03 - Floor Plan

1/16" = 1'-0"



DP 18-829207  
 May 7, 2024  
 Plan # 5

Electric Vehicle Charging Infrastructure to be in compliance with current requirements contained in Zoning Bylaw 8500

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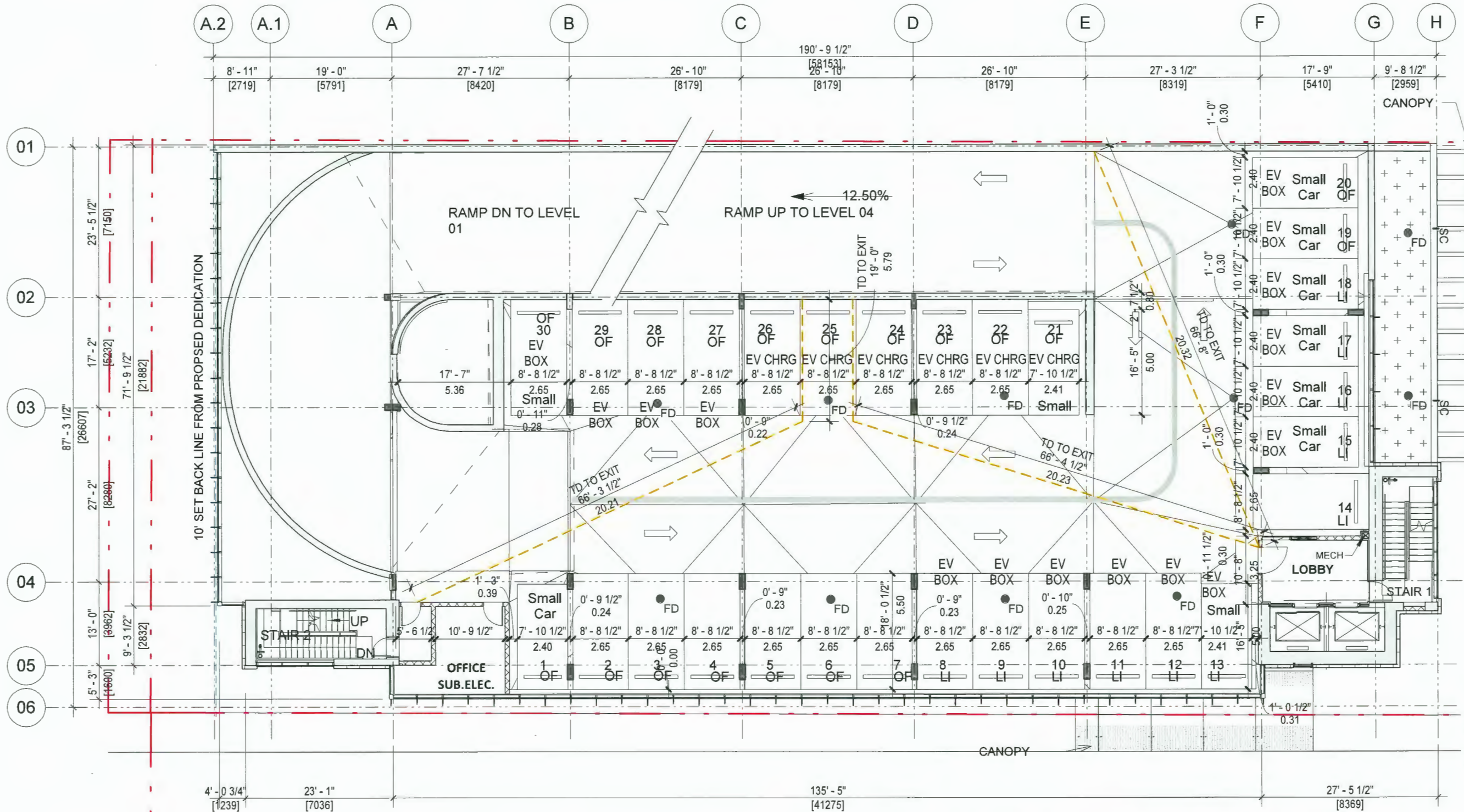


February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

**A1.03**

# Parking Level 03 - Floor Plan



DP 18-829207  
 May 7, 2024  
 Plan # 6

Electric Vehicle Charging Infrastructure to be in compliance  
 with current requirements contained in Zoning Bylaw 8500

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**ARCHITECTS (CANADA) INC.**  
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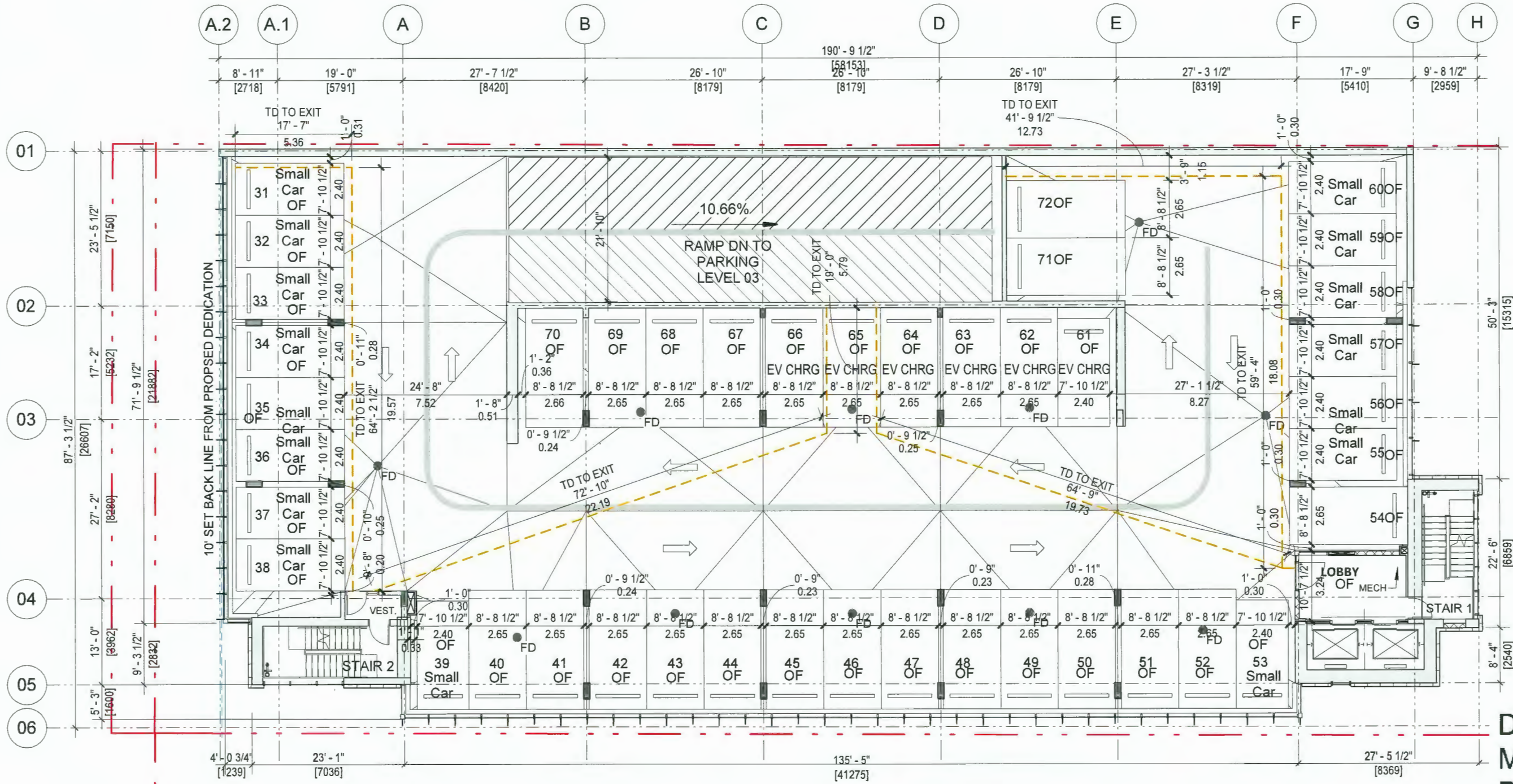


May 06, 2024

2788 JOW STREET (9520 BECKWITH ROAD)

① Parking Level 03  
 1/16" = 1'-0"  
**A1.03**

# Parking Level 04 - Floor Plan



DP 18-829207  
 May 7, 2024  
 Plan # 7

Electric Vehicle Charging Infrastructure to be in compliance  
 with current requirements contained in Zoning Bylaw 8500

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May 06, 2024

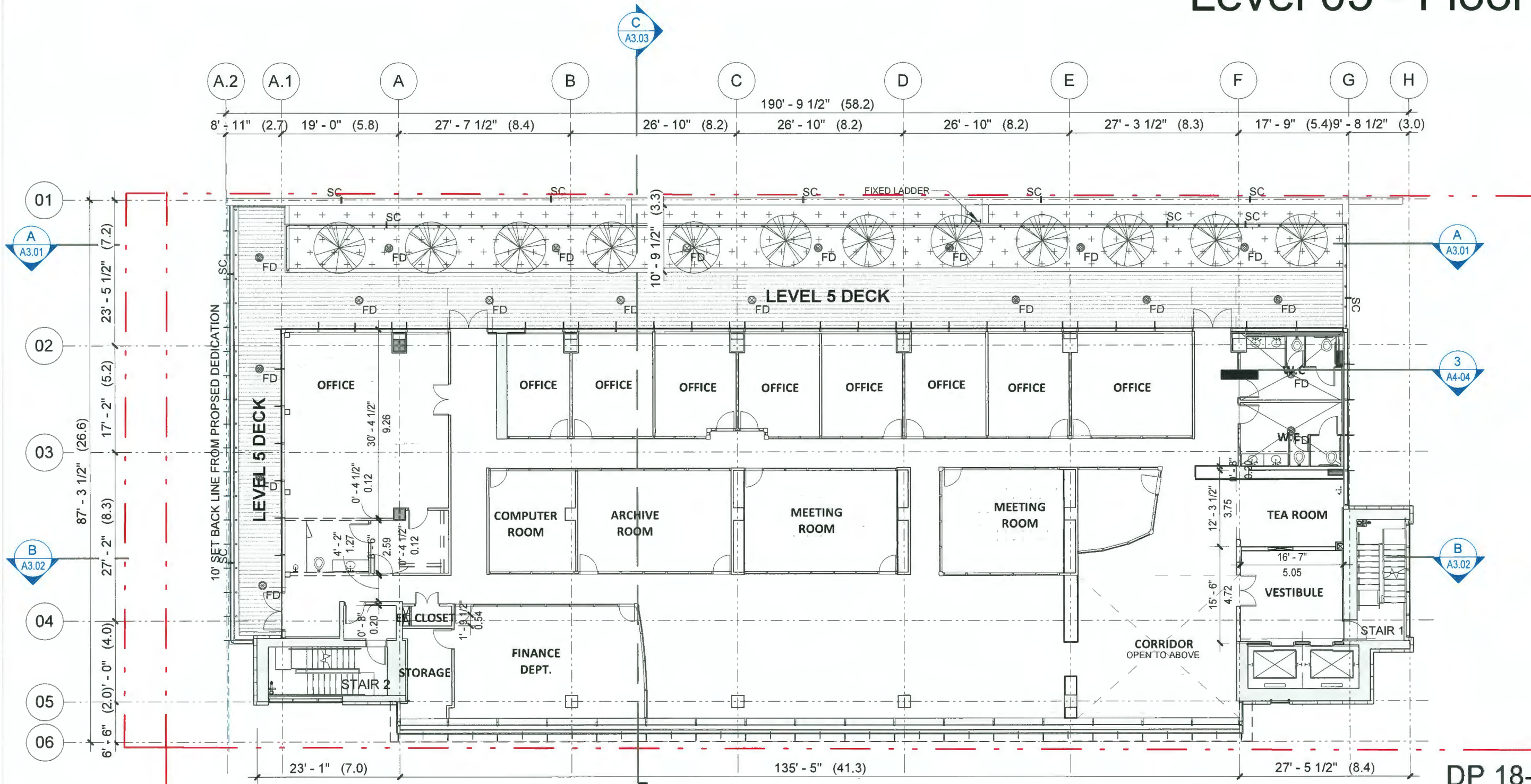
2788 JOW STREET (9520 BECKWITH ROAD)

1 Parking Level 04  
 1/16" = 1'-0"

**A1.04**

# Level 05 - Floor Plan

1/16" = 1'-0"



DP 18-829207  
May 7, 2024  
Plan # 8



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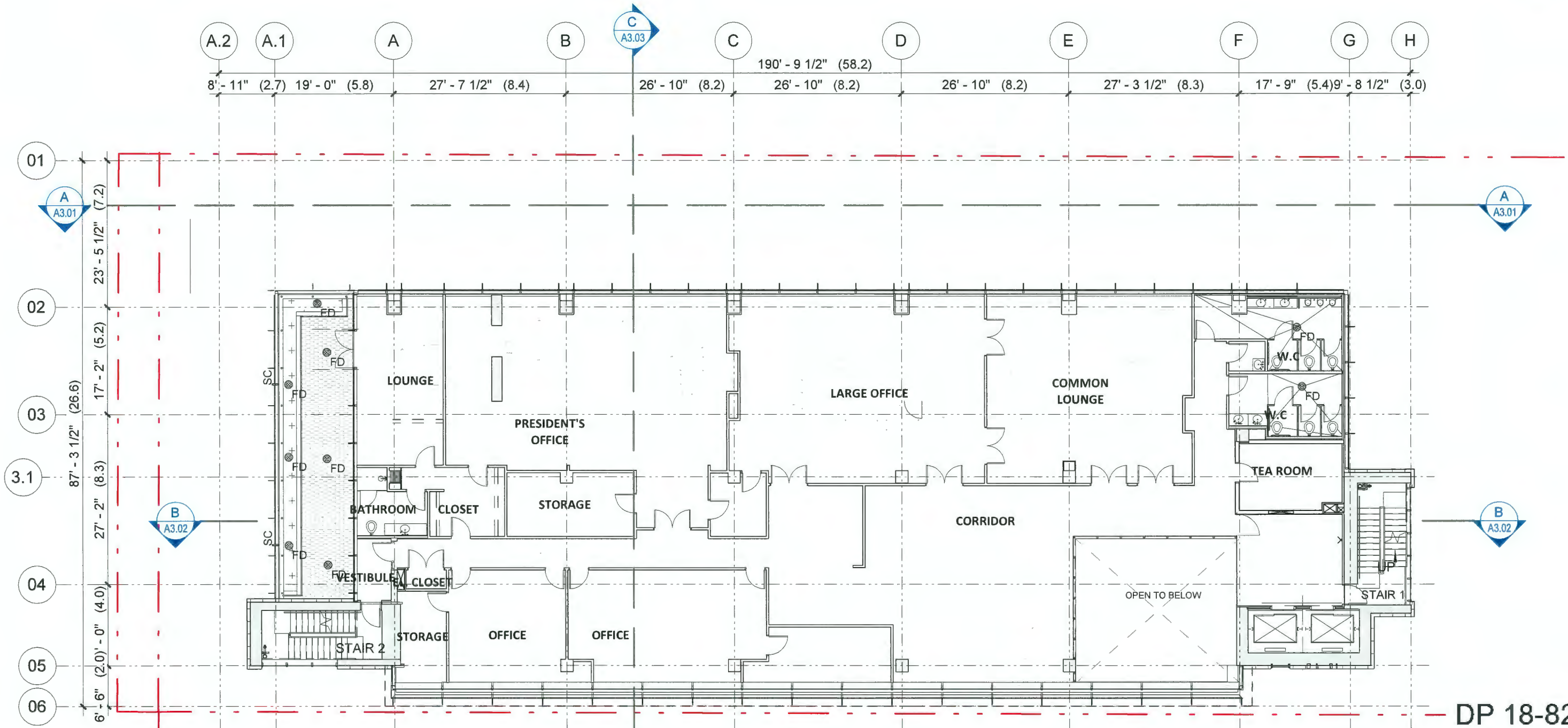
February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

## A1.05

# Level 06 - Floor Plan

1/16" = 1'-0"

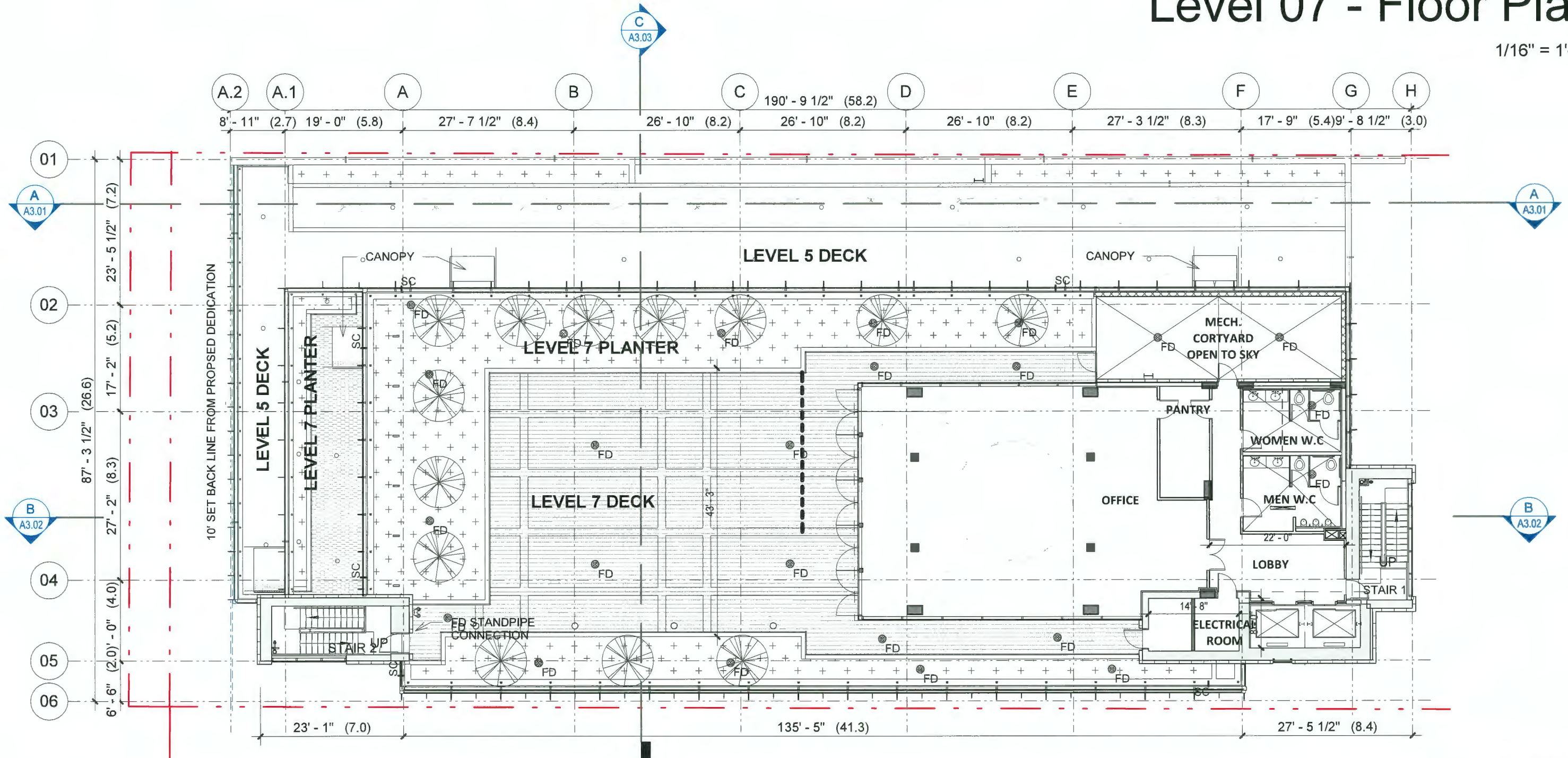


DP 18-829207  
 May 7, 2024  
 Plan # 9



# Level 07 - Floor Plan

1/16" = 1'-0"

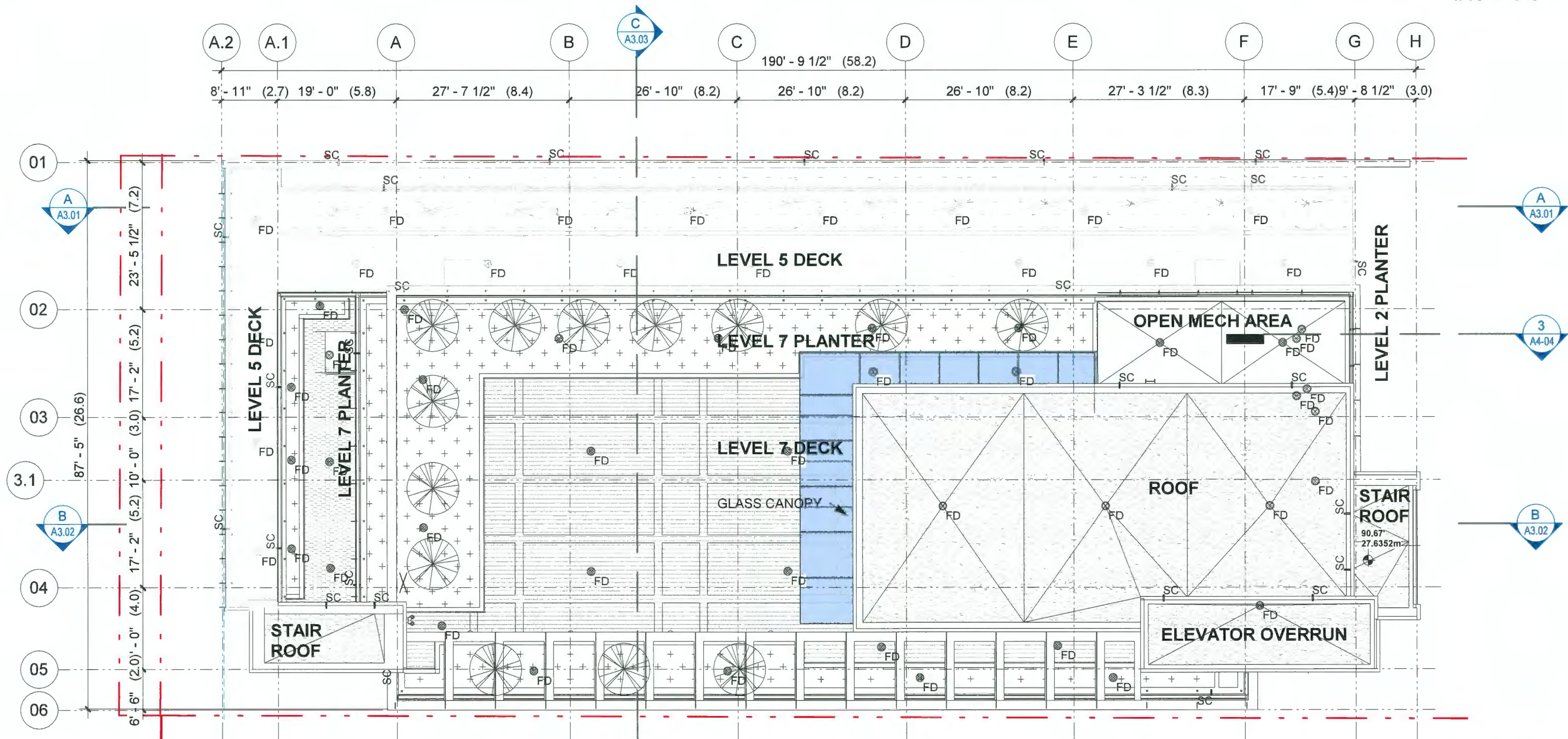


DP 18-829207  
 May 7, 2024  
 Plan # 10



# Roof Plan

1/16" = 1'-0"



DP 18-829207  
May 7, 2024  
Plan # \



IBI GROUP  
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Vancouver BC V6E 4B1 Canada  
tel 604 683 8797 fax 604 683 0492  
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February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

# A1.08

MATERIAL LIST

- 1A LOW-E GLAZED WINDOW SYSTEM
- 1B FROSTED GLASS WINDOW SYSTEM
- 1C SPANDREL GLAZED WINDOW SYSTEM - COBALT BLUE
- 2 STORE FRONT GLAZING - CLEAR
- 3 METAL PANEL CLADDING - WHITE
- 4 3 TONE PAINTED CONCRETE - 2119-40 DARK GRAY, 2119-50 MEDIUM GRAY, 2119-70 LIGHT GRAY (BENJ.MOORE OR SIM)
- 5 MECHANICAL LOUVER - CHARCOAL
- 6 TEXTURED WALL - CONCRETE FORM LINER
- 7 BUILDING SIGNAGE

# North Elevation

1/16" = 1'-0"



DP 18-829207  
 May 7, 2024  
 Plan # 12



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2788 JOW STREET (9520 BECKWITH ROAD)

## A2.01



MATERIAL LIST

- 1A LOW-E GLAZED WINDOW SYSTEM
- 1B FROSTED GLASS WINDOW SYSTEM
- 1C SPANDREL GLAZED WINDOW SYSTEM - COBALT BLUE
- 2 STORE FRONT GLAZING - CLEAR
- 3 METAL PANEL CLADDING - WHITE
- 4 3 TONE PAINTED CONCRETE - 2119-40 DARK GRAY, 2119-50 MEDIUM GRAY, 2119-70 LIGHT GRAY (BENJ.MOORE OR SIM)
- 5 MECHANICAL LOUVER - CHARCOAL
- 6 TEXTURED WALL - CONCRETE FORM LINER
- 7 BUILDING SIGNAGE

# South Elevation

1/16" = 1'-0"



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2788 JOW STREET (9520 BECKWITH ROAD)

## A2.02

MATERIAL LIST

- 1A LOW-E GLAZED WINDOW SYSTEM
- 1B FROSTED GLASS WINDOW SYSTEM
- 1C SPANDREL GLAZED WINDOW SYSTEM - COBALT BLUE
- 2 STORE FRONT GLAZING - CLEAR
- 3 METAL PANEL CLADDING - WHITE
- 4 3 TONE PAINTED CONCRETE - 2119-40 DARK GRAY, 2119-50 MEDIUM GRAY, 2119-70 LIGHT GRAY (BENJ.MOORE OR SIM)
- 5 MECHANICAL LOUVER - CHARCOAL
- 6 TEXTURED WALL - CONCRETE FORM LINER
- 7 BUILDING SIGNAGE

# West Elevation

1/16" = 1'-0"



DP 18-829207  
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February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

## A2.03

MATERIAL LIST

- 1A LOW-E GLAZED WINDOW SYSTEM
- 1B FROSTED GLASS WINDOW SYSTEM
- 1C SPANDREL GLAZED WINDOW SYSTEM - COBALT BLUE
- 2 STORE FRONT GLAZING - CLEAR
- 3 METAL PANEL CLADDING - WHITE
- 4 3 TONE PAINTED CONCRETE - 2119-40 DARK GRAY, 2119-50 MEDIUM GRAY, 2119-70 LIGHT GRAY (BENJ.MOORE OR SIM)
- 5 MECHANICAL LOUVER - CHARCOAL
- 6 TEXTURED WALL - CONCRETE FORM LINER
- 7 BUILDING SIGNAGE

# East Elevation

1/16" = 1'-0"



DP 18-829207  
 May 7, 2024  
 Plan # 15

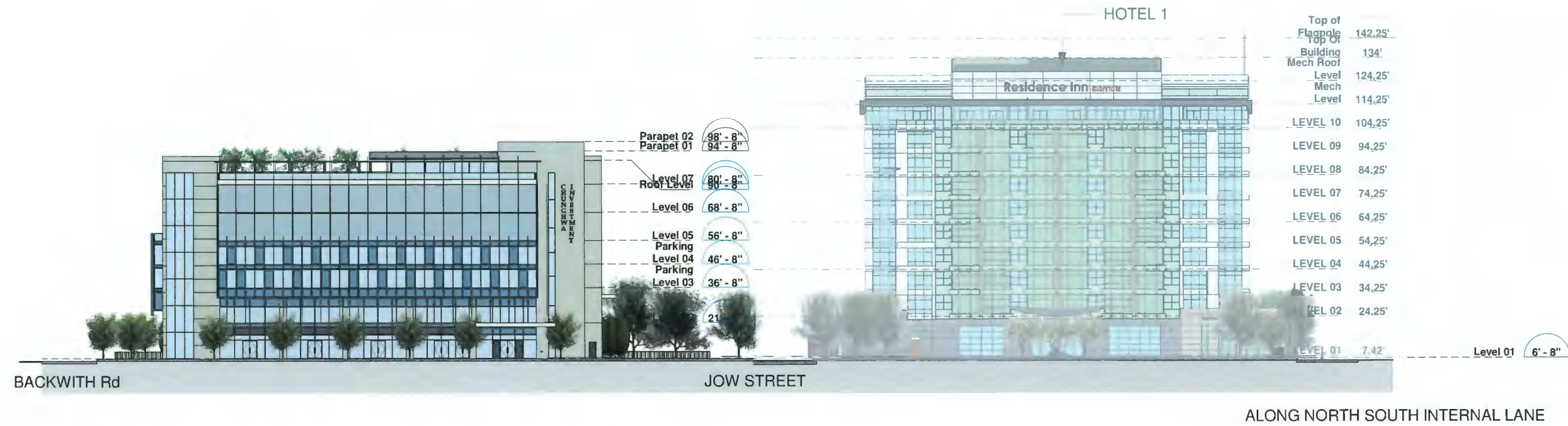
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2788 JOW STREET (9520 BECKWITH ROAD)

## A2.04

# Streetscapes



DP 18-829207  
 May 7, 2024  
 Plan # 16

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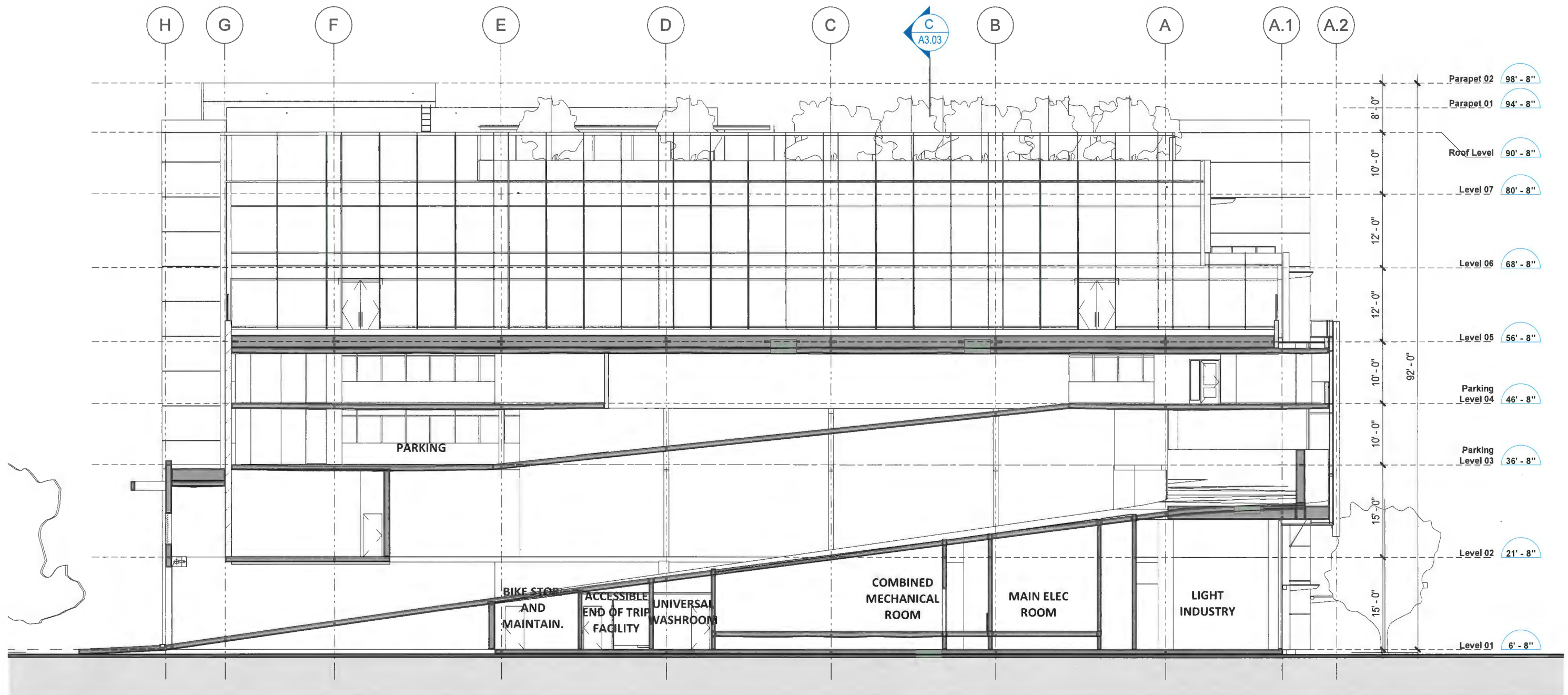
February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

**A2.05**

# Section A-A

1/16" = 1'-0"



DP 18-829207  
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 Plan # 17



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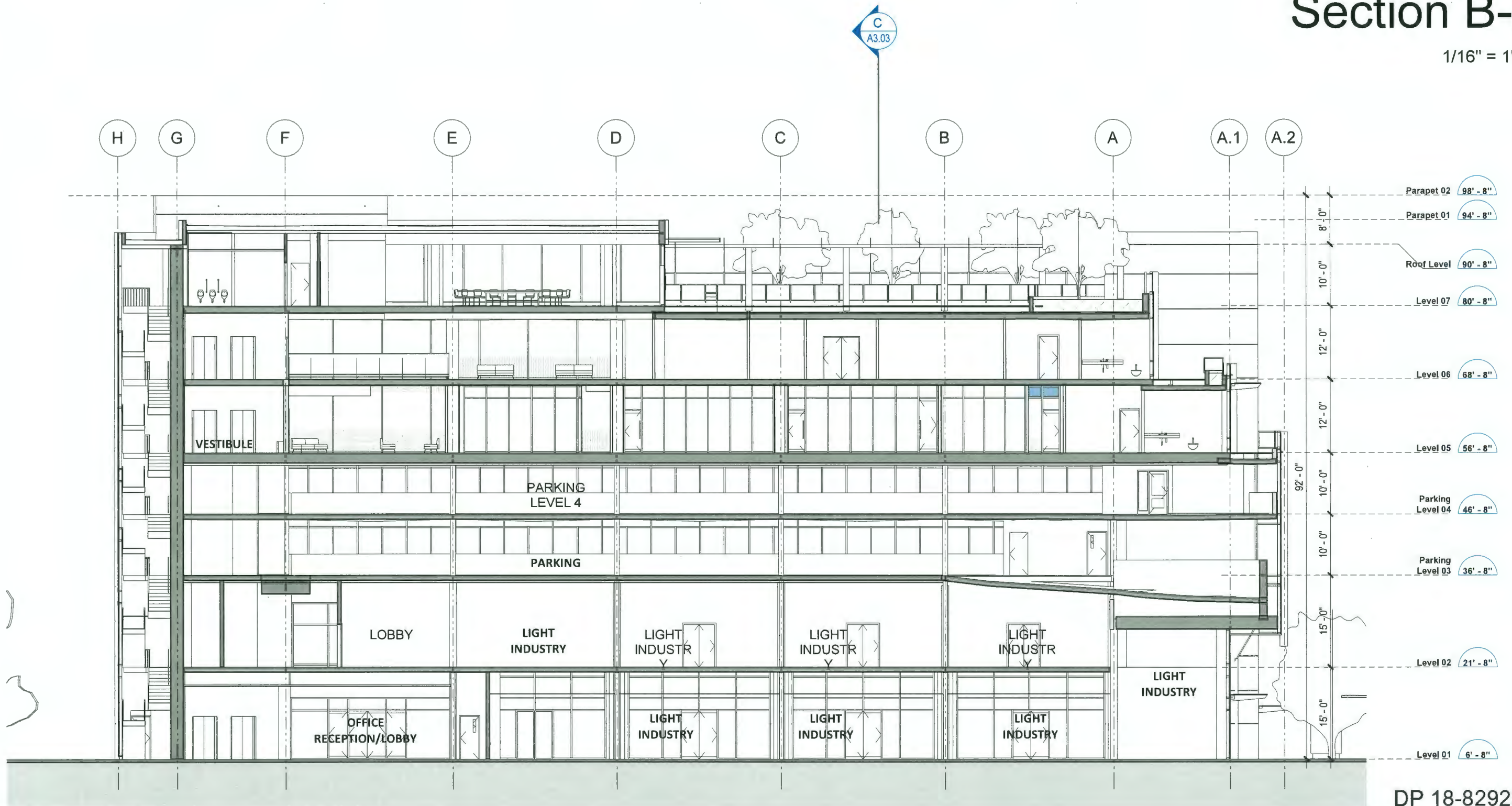
February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

**A3.01**

# Section B-B

1/16" = 1'-0"



DP 18-829207  
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 Plan # 18



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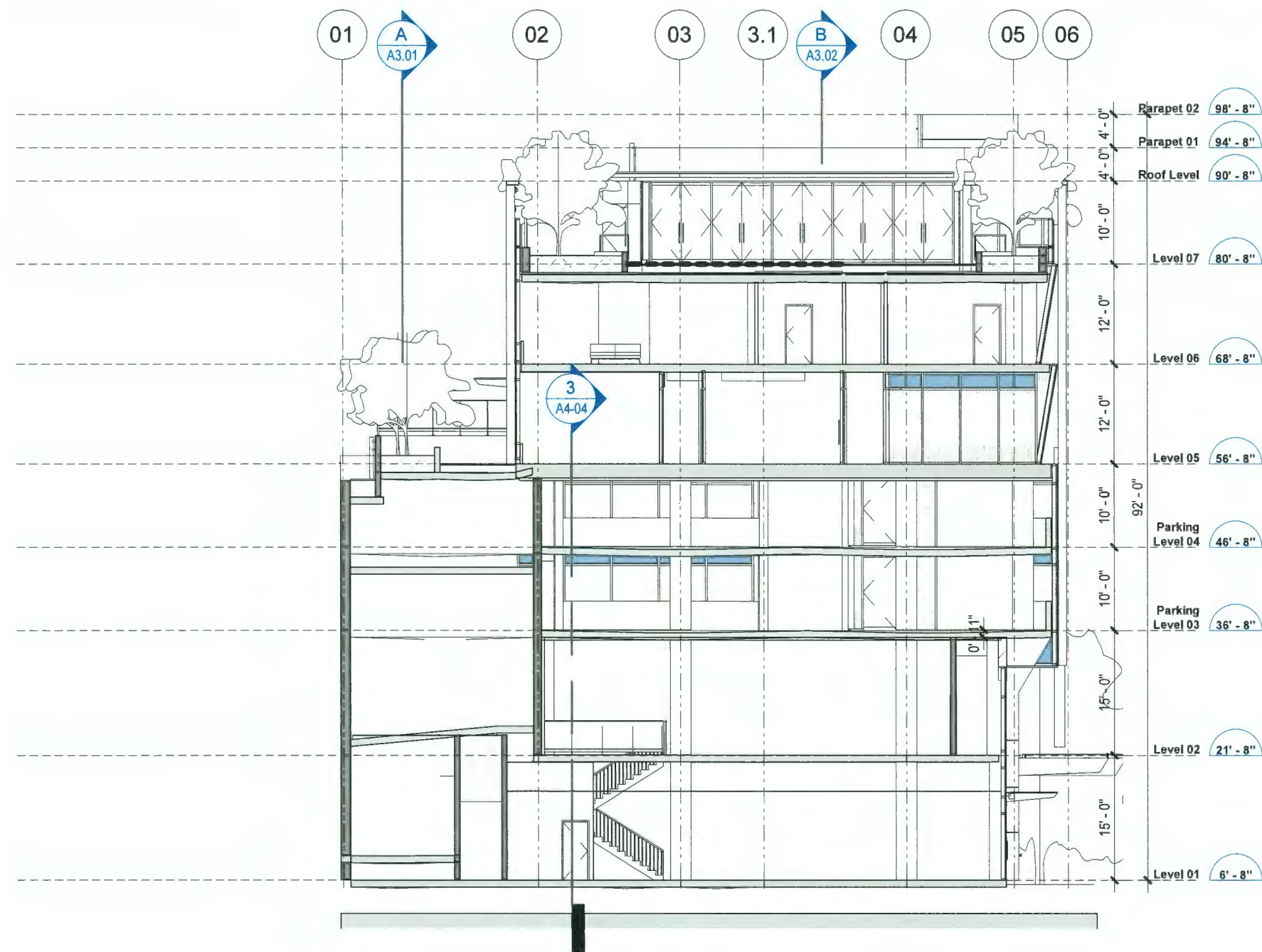
February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

**A3.02**

# Section C-C

1/16" = 1'-0"



DP 18-829207  
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2788 JOW STREET (9520 BECKWITH ROAD)

## A3.03

# Office 2

## Issued for Development Permit



Contact Information	Other Key Contacts:	
<b>VDZ+A</b> Project Landscape Architecture 100-9181 Church Street Langley, British Columbia, V1M 2R8 t. 604 882 0024 f. 604 882 0042 Primary project contact: Andrew Danielson andrew@vdz.ca o. 604 546 0931 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca o. 604 546 0920	<b>Chungwa Investment Co. Ltd.</b> Project Owner Unit 1800 - 570 Granville Street Vancouver, BC V6C 3P1	<b>IBI Group Architects Inc.</b> Project Building Architecture 700-1285 West Pender Street Vancouver, BC V6E 4B1 p. 604 683 8797

### Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02A	SITE PLAN - LEVEL 1
L-02B	SITE PLAN - LEVEL 5
L-02C	SITE PLAN - LEVEL 6
L-02D	SITE PLAN - LEVEL 7
L-03A	PLANTING PLAN - LEVEL 1
L-03B	PLANTING PLAN - LEVEL 5
L-03C	PLANTING PLAN - LEVEL 6
L-03D	PLANTING PLAN - LEVEL 7
L-04	OFFSITE PLAN - ADJACENT SITE TO EAST
L-05	TREE PRESERVATION PLAN
L-06	ACCESSIBILITY PLAN
LD-01	DETAILS

LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LN-01	GENERAL NOTES
LN-02	GENERAL NOTES
IR-01	IRRIGATION PLAN - LEVEL 1
IR-02	IRRIGATION PLAN - LEVEL 5
IR-03	IRRIGATION PLAN - LEVEL 6
IR-04	IRRIGATION PLAN - LEVEL 7
IR-05	IRRIGATION DETAILS

DP 18-829207  
 May 7, 2024  
 Plan # 20

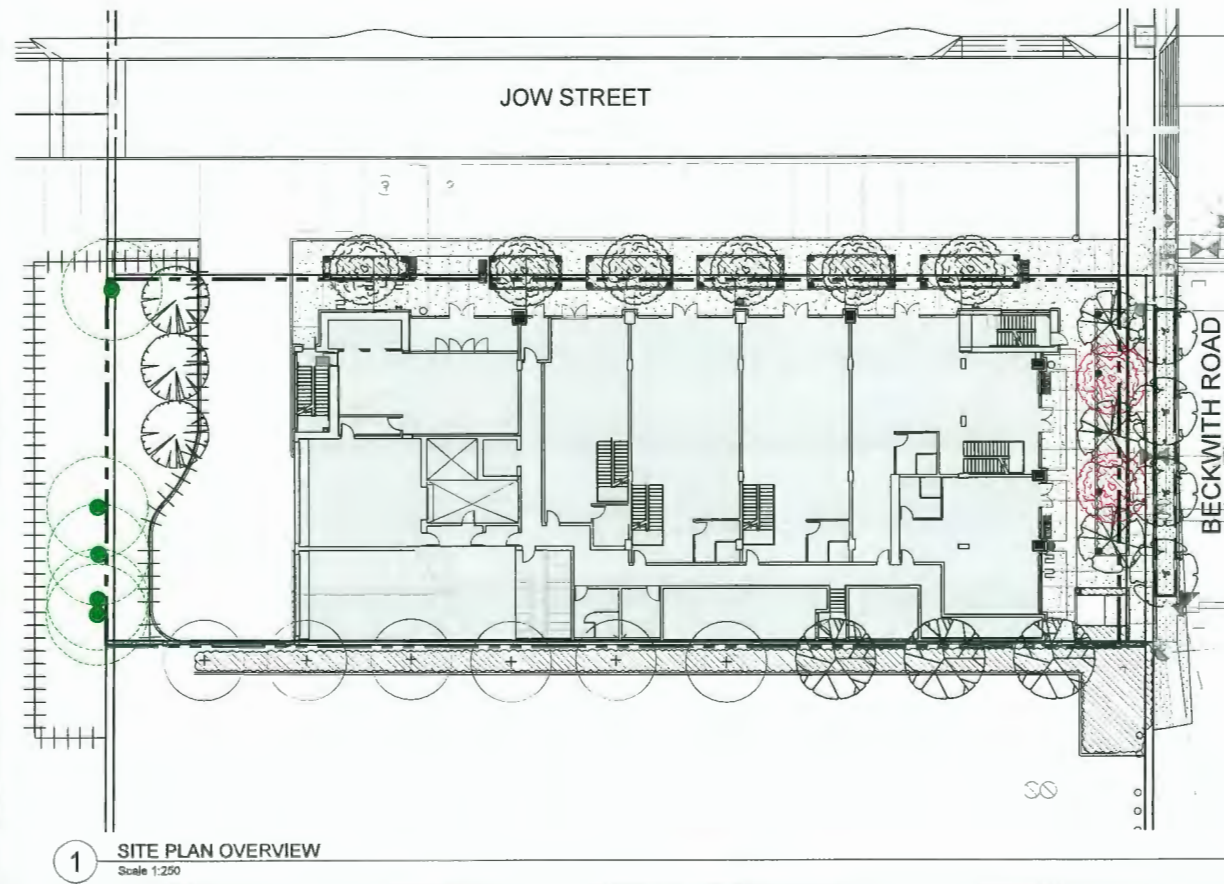
No.	By	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 6, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
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Drawing Title: COVER PAGE

VDZ Project #: DP2018-29

Drawing #: L-01

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DP 18-829207  
 May 7, 2024  
 Plan # 2.1

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10	AD	Issued for Development Permit	Feb 21, 2023
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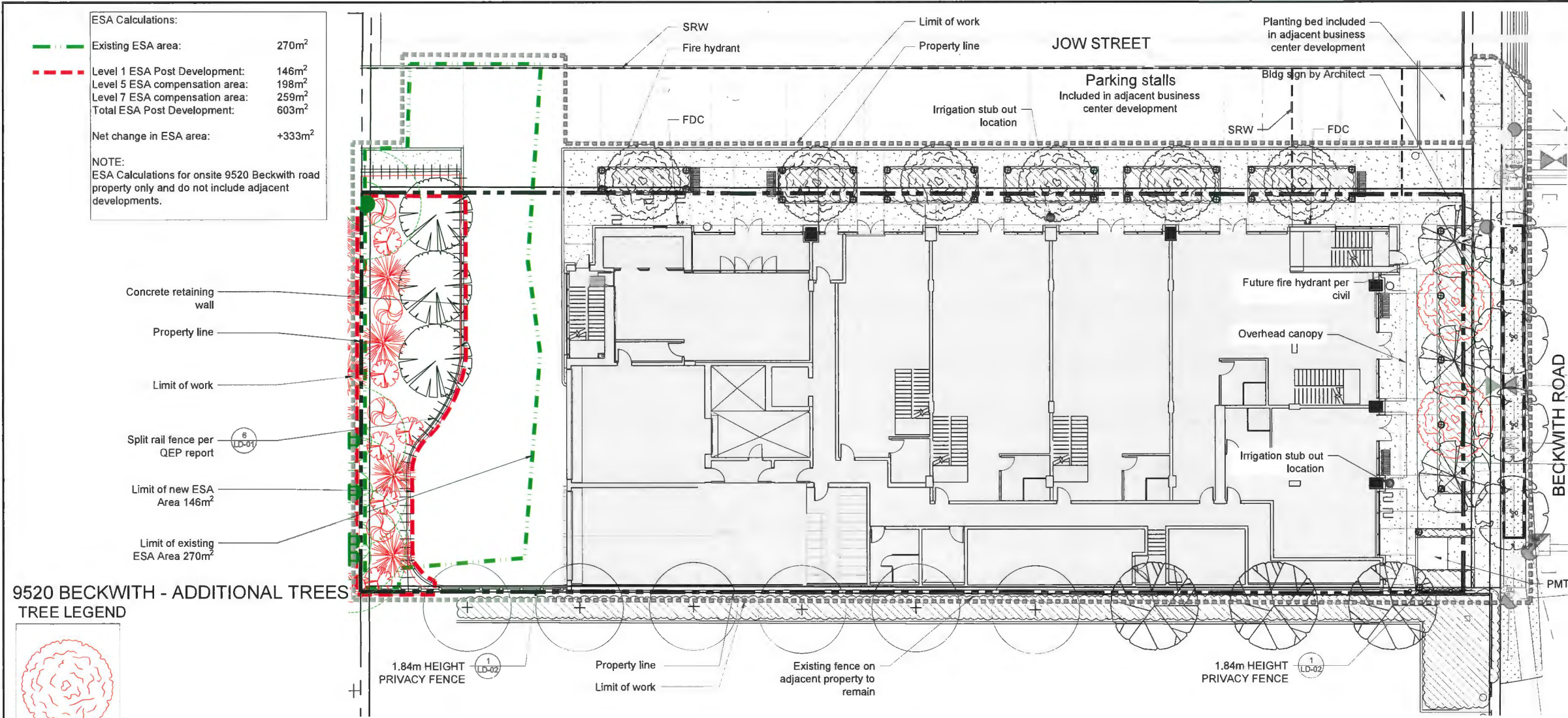
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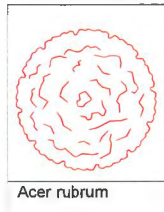
Drawing Title: **SITE PLAN - LEVEL 1**  
 VIZ Project #: **DP2018-29**  
 Drawing #: **L-02A**



ESA Calculations:  
 Existing ESA area: 270m<sup>2</sup>  
 Level 1 ESA Post Development: 146m<sup>2</sup>  
 Level 5 ESA compensation area: 198m<sup>2</sup>  
 Level 7 ESA compensation area: 259m<sup>2</sup>  
 Total ESA Post Development: 603m<sup>2</sup>  
 Net change in ESA area: +333m<sup>2</sup>  
 NOTE:  
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

Concrete retaining wall  
 Property line  
 Limit of work  
 Split rail fence per QEP report  
 Limit of new ESA Area 146m<sup>2</sup>  
 Limit of existing ESA Area 270m<sup>2</sup>

**9520 BECKWITH - ADDITIONAL TREES**  
**TREE LEGEND**

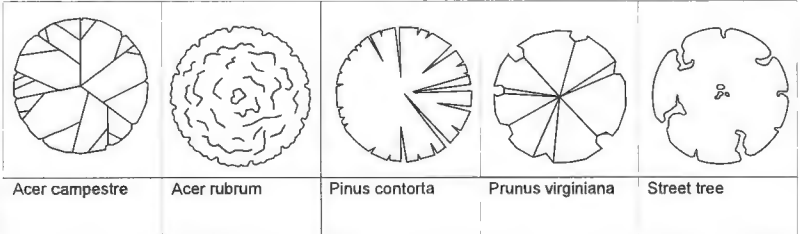


Acer rubrum

**9520 ADDITIONAL TREE SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
See Legend	2	Acer rubrum 'Red Rocket'	Red Maple	B&B; 10cm cal.; 1.8m std.	Per Plan	

**TREE LEGEND**

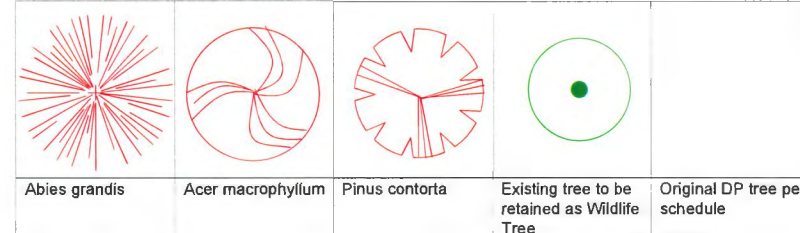


Acer campestre    Acer rubrum    Pinus contorta    Prunus virginiana    Street tree

**TREE SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
See Legend	3	Acer campestre	Hedge Maple	B&B; 6cm cal.; 3.0m Ht.	Per Plan	
See Legend	6	Acer rubrum 'Red Rocket'	Red Maple	B&B; 10cm cal.; 1.8m std.	Per Plan	
See Legend	3	Pinus contorta	Shore Pine Specimen	B&B; 4.0m Ht.; Single leader	Per Plan	Contractor to submit photos for approval prior to installation
See Legend	3	Prunus virginiana	Choke Cherry	B&B; 6cm cal.; 1.2m std.	Per Plan	
See Legend	4	Street Tree		B&B; 7cm cal.; 1.8m std.	Per Plan	By city

**9520 BECKWITH - ESA AREA**  
**TREE LEGEND**



Abies grandis    Acer macrophyllum    Pinus contorta    Existing tree to be retained as Wildlife Tree    Original DP tree per schedule

**ESA TREE SCHEDULE - 9520 BECKWITH**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	4	Abies grandis	Grande Fir	B&B; 4.0m Ht.	
See Legend	4	Acer macrophyllum	Big Leaf Maple	B&B; 10cm cal.	Per Plan
See Legend	6	Pinus contorta	Shore pine	B&B; 4.0m Ht.	Per Plan

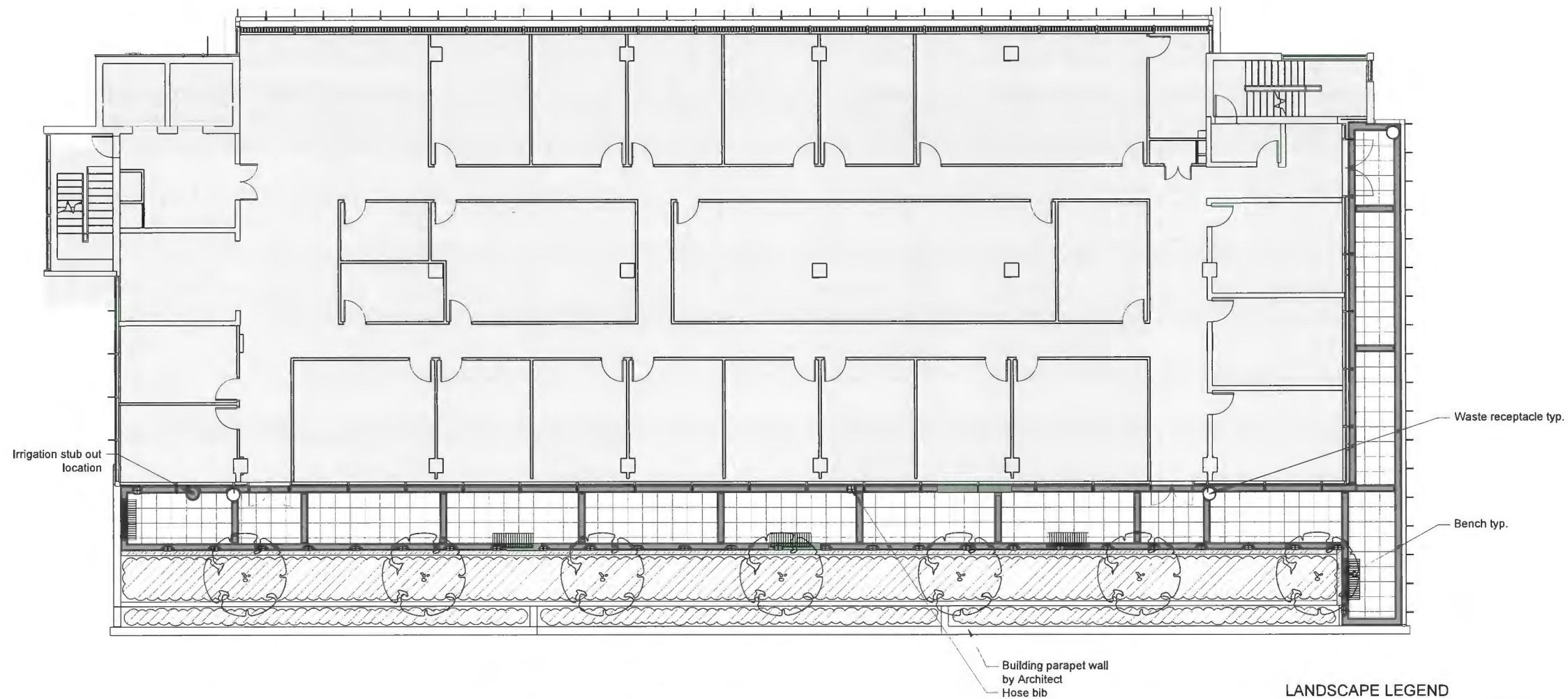
Trees added to ESA on 9520 Beckwith Site for ESA tree removal compensation

**LANDSCAPE LEGEND**

KEY	REF.	DESCRIPTION
	3 LD-01	PEDESTRIAN CONCRETE Colour: Natural Finish: Broom Joints: Sawcut
		SOD
		PLANTING AREA
	2 LD-03	BIKE RACK Model: P6 Colour: Metallic Silver Manufacturer: Landscape Forms
	1 LD-03	WASTE RECEPTACLE Model: Lakeside Colour: IPE Manufacturer: Landscape Forms
	3 LD-03	BENCH Model: Parc Center Size: 610mm x 1702mm x 880mm Manufacturer: Landscape Forms or approved equal
	3 LD-02	BOLLARD LIGHT Model: FGP Path Manufacturer: Landscape Forms or approved equal
	2 LD-01	CONCRETE RETAINING WALL Colour: Natural Finish: Medium Sandblast

1:150 0 1.5m 3 4.5 6 7.5 9 10.5 12 13.5 15 16.5 18 19.5 21 22.5

Z:\PROJECTS\DEVELOPMENT PERMIT\2018-29 9520 BECKWITH ROAD\DRAWINGS\LEVEL 02A SITE PLAN - LEVEL 1.DWG



DP 18-829207  
 May 7, 2024  
 Plan # 2.2

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

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TREE LEGEND - LEVEL 5



TREE SCHEDULE - LEVEL 5

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	7	Acer circinatum	Vine Maple	B&B; 3.0m Ht.	Per Plan

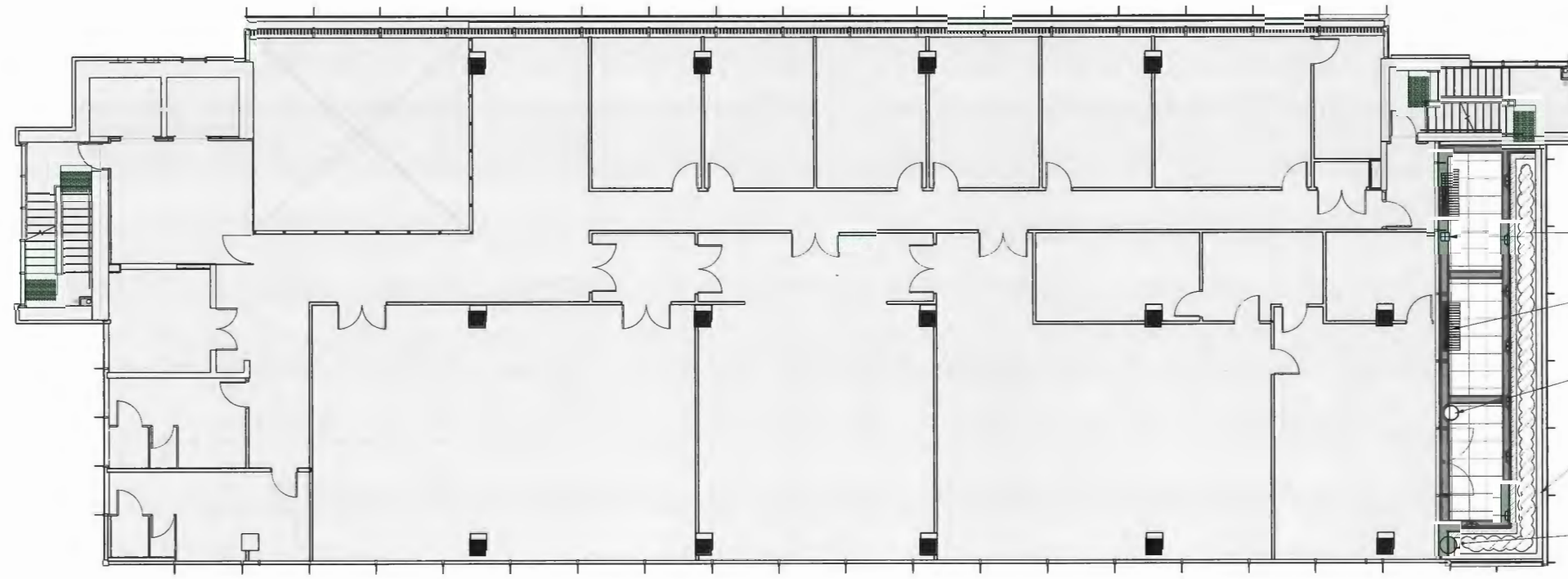
LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Symbol]	5 LD-01	HYDRAPRESSED SLABS Colour: Sandalwood Size: 457mm x 457mm x 50mm Model: New York Stone Series Manufacturer: Abbotsford Concrete
[Symbol]	1 LD-01	CONCRETE PLANTER WALL Colour: Natural Finish: Medium Sandblast
[Symbol]	5 LD-01	HYDRAPRESSED SLABS Colour: Charcoal Size: 305mm x 610mm x 50mm Model: New York Stone Series Manufacturer: Abbotsford Concrete
[Symbol]		PLANTING BED
[Symbol]	1 LD-03	WASTE RECEPTACLE Model: Lakeside Manufacturer: Landscape Forms
[Symbol]	3 LD-03	BENCH Model: Park Center Size: 610mm x 1702mm x 888mm Manufacturer: Landscape Forms
[Symbol]	2 LD-02	WALL LIGHT Model: COB Rectangular Manufacturer: Sistemalux



2: PROJECT DEVELOPMENT PERMIT/ACTIVEDP/2018-29 820 BECKWITH ROAD/VDZ/SHETS/2023 SITE PLAN - LEVEL 5.DWG

Drawing Title: **SITE PLAN - LEVEL 5**  
 Drawing #: **L-02B**  
 Project #: **DP2018-29**  
 Orientation: NORTH



- Hose bib
- Bench typ.
- Waste receptacle typ.
- Building parapet wall by Architect
- Irrigation stub out location

DP 18-829207  
 May 7, 2024  
 Plan # 2.3

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	5 LD-01	HYDRAPRESSED SLABS Colour: Sandalwood Size: 457mm x 457mm x 50mm Model: New York Stone Series Manufacturer: Abbotsford Concrete
	1 LD-01	CONCRETE PLANTER WALL Colour: Natural Finish: Medium Sandblast
	5 LD-01	HYDRAPRESSED SLABS Colour: Charcoal Size: 305mm x 610mm x 50mm Model: New York Stone Series Manufacturer: Abbotsford Concrete
		PLANTING BED
	1 LD-03	WASTE RECEPTACLE Model: Lakeside Colour: Manufacturer: Landscape Forms
	3 LD-03	BENCH Model: Piro Center Size: 610mm x 1702mm x 888mm Colour: Manufacturer: Landscape Forms
	2 LD-02	WALL LIGHT Model: EOS Rectangular Manufacturer: Sistemax

No.	By:	Description	Date
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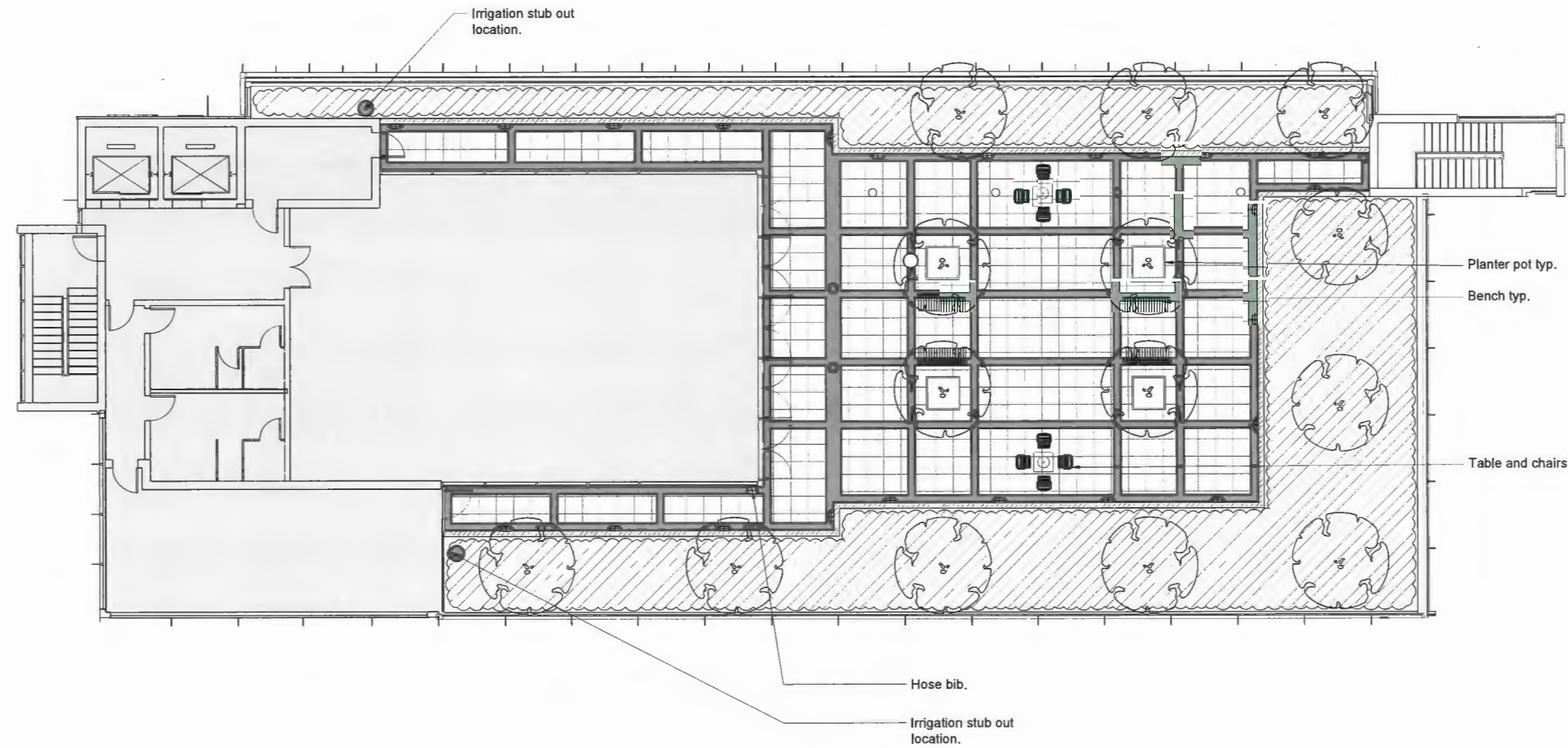
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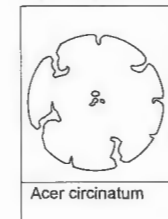
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Drawing #: L-02C  
 DP2018-29  
 NORTH  
 Drawing Title: SITE PLAN - LEVEL 6



DP 18-829207  
 May 7, 2024  
 Plan # 24

**TREE LEGEND - LEVEL 7**



**TREE SCHEDULE - LEVEL 7**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	14	Acer circinatum	Vine Maple	B&B; 3.0m Ht.	Per Plan

**LANDSCAPE LEGEND**

KEY	REF.	DESCRIPTION
[Hatched pattern]	5 LD-01	HYDRAPRESSED SLABS Colour: Sandalwood Size: 457mm x 457mm x 50mm Model: New York Stone Series Manufacturer: Abbotsford Concrete
[Solid grey]	1 LD-01	CONCRETE PLANTER WALL Colour: Natural Finish: Medium Sandblast
[Hatched pattern]	5 LD-01	HYDRAPRESSED SLABS Colour: Charcoal Size: 305mm x 610mm x 50mm Model: New York Stone Series Manufacturer: Abbotsford Concrete
[Hatched pattern]		PLANTING BED
[Circle]	1 LD-03	WASTE RECEPTACLE Model: Lakeside Colour: Manufacturer: Landscape Forms
[Rectangular grid]	3 LD-03	BENCH Model: Parc Center Size: 610mm x 1702mm x 889mm Colour: Manufacturer: Landscape Forms
[Arrow pointing up]	2 LD-02	WALL LIGHT Model: EOS Rectangular Manufacturer: Sistemakuz
[Table and chairs icon]	4 LD-03	TABLE AND CHAIRS Model: Parc Center Colour: Manufacturer: Landscape Forms
[Square]	5 LD-03	PLANTER POT Model: Plaza Size: 1219mm x 1219mm x 813mm Type: Wood 159 Gal. Manufacturer: Landscape Forms

No.	By	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 8, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for OP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 15, 2019
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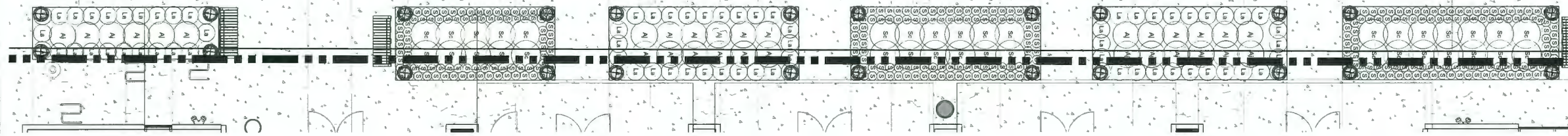


Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVELY\DP18-829207-029 BEGRIMTH ROAD\DWG\SHET\029 SITE PLAN - LEVEL 7.DWG

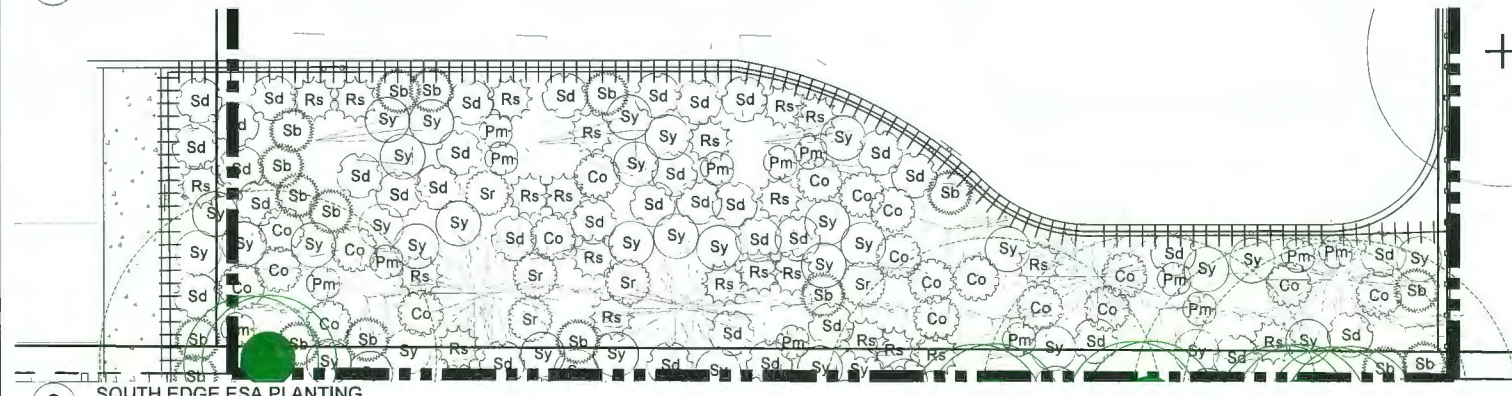
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 DP2018-29  
 NORTH  
 Drawing Title: SITE PLAN - LEVEL 7

JOW STREET

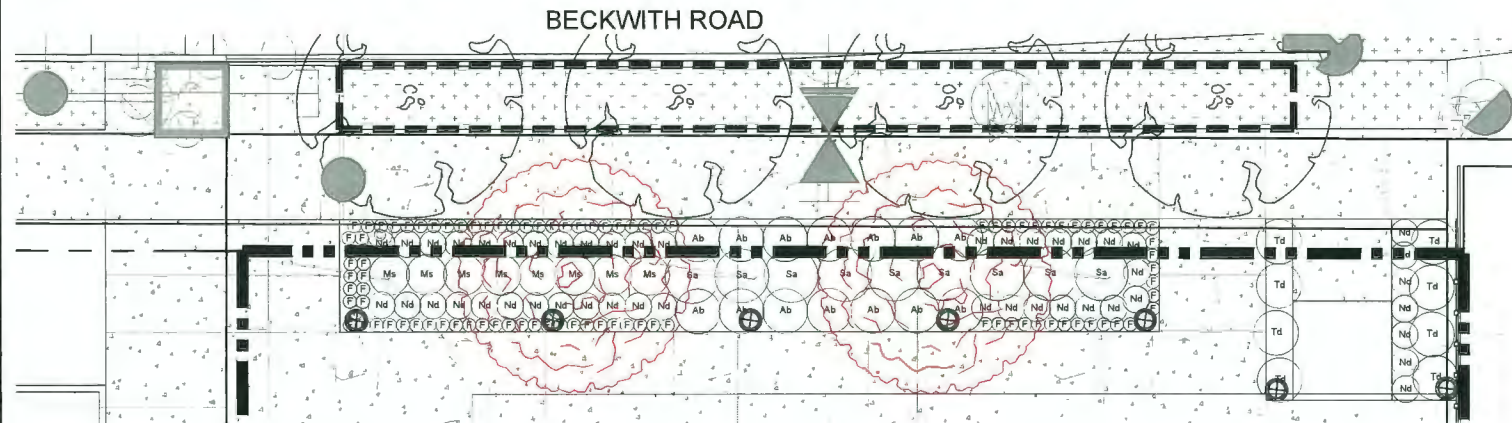
SRW



**1 JOW STREET PLANTING AREAS**  
 Scale 1:75



**2 SOUTH EDGE ESA PLANTING**  
 Scale 1:75



**3 BECKWITH ROAD PLANTING**  
 Scale 1:75

**PLANT SCHEDULE 9520 ESA**

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Co	Cornus sericea / Red Twig Dogwood	#2 Pot	1m	20
Pm	Polystichum munitum / Western Sword Fern	#1 Pot	0.75m	14
Rs	Rubus spectabilis / Salmonberry	#2 Pot	1m	23
Sb	Salix brachycarpa 'Blue Fox' / Blue Fox Willow	#2 Pot	1m	17
Sr	Sambucus racemosa / Red Elderberry	#2 Pot	1m	5
Sd	Spiraea douglasii / Western Spirea	#2 Pot	1m	36
Sy	Symphoricarpos albus / Common White Snowberry	#2 Pot	1m	37

**PLANT SCHEDULE**

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
Ab	14	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m
Aj	57	Azalea japonica 'Gumpo Pink' / Dwarf Pink Azalea	#2 Pot	0.9m
F	95	Festuca glauca 'Elijah Blue' / Blue Fescue	#1	0.3m
La	80	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	#1	0.6m
Mn	97	Mahonia nervosa / Oregon Grape	#2	0.6m
Ms	8	Miscanthus sinensis 'Morning Light' / Eulalia Grass	#2 Pot	0.9m
Nd	48	Nandina domestica 'Fire Power' / Firepower Nandina	#2 Pot	0.6m
Rs	9	Ribes sanguineum / Red Flowering Currant	#3	1.2m
S	320	Sedum spathulifolium 'Carnea' / Broadleaf Stonecrop	#1	0.3m
Sc	36	Spiraea x bumalda 'Crispa' / Crisp Leaf Spirea	#2 Pot	1m
Sa	9	Symphoricarpos albus / Common White Snowberry	#3	1.2m
Td	68	Thuja occidentalis 'Degroot's Spire' / Degroot's Spire Arborvitae	1.8m ht	1m

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
- Growing medium depths for planting as follows:
  - Shrubs: 450mm
  - Sod: 150mm
  - Tree pits: 1000mm with 300mm (below root ball)
- 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

1:75

DP 18-829207  
 May 7, 2024  
 Plan # 2.5

**REVISIONS TABLE FOR DRAWINGS**

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 5, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

**REVISIONS TABLE FOR SHEET**

No.	By:	Description	Date

Project:  
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 Richmond, BC

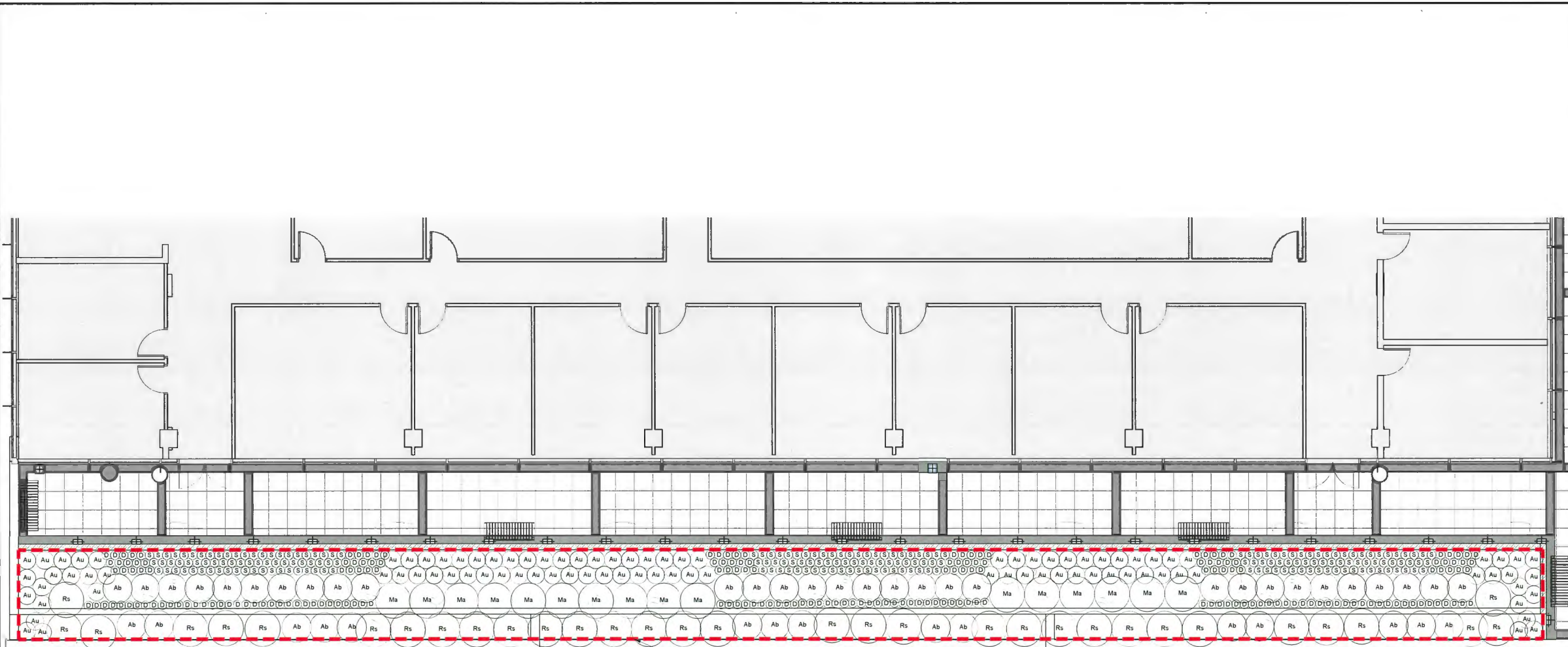
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Drawing Title: **PLANTING PLAN - LEVEL 1**  
 VZD Project #: **DP2018-29**  
 Drawing #: **L-03A**

PROJECT DEVELOPMENT PERMIT/ACTIVITY 2018-29-8920 BECKWITH ROAD/DOUGHERTY/ESA PLANTING PLAN - LEVEL 1.DWG



DP 18-829207  
 May 7, 2024  
 Plan # 26



Level 5 ESA compensation area. 198m<sup>2</sup>

ESA Calculations:

Existing ESA area:	270m <sup>2</sup>
Level 1 ESA Post Development:	146m <sup>2</sup>
Level 5 ESA compensation area:	198m <sup>2</sup>
Level 7 ESA compensation area:	259m <sup>2</sup>
Total ESA Post Development:	603m <sup>2</sup>
Net change in ESA area:	+333m <sup>2</sup>

NOTE:  
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

**PLANT SCHEDULE**

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
Ab	45	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m
Au	94	Arctostaphylos uva-ursi / Kinnikinnick	#2 Pot	0,60m
D	144	Deschampsia cespitosa / Tufted Hair Grass	#2 Pot	0,30m
Ma	16	Mahonia aquifolium / Oregon Grape	#3	1,20m
Rs	33	Ribes sanguineum / Red Flowering Currant	#3	1,20m
S	198	Sedum spathulifolium 'Carnea' / Broadleaf Stonecrop	#1	0,30m

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
- Growing medium depths for planting as follows:
  - Shrubs: 450mm
  - Sod: 150mm
  - Tree pits: 1000mm with 300mm (below root ball)
- 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
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2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

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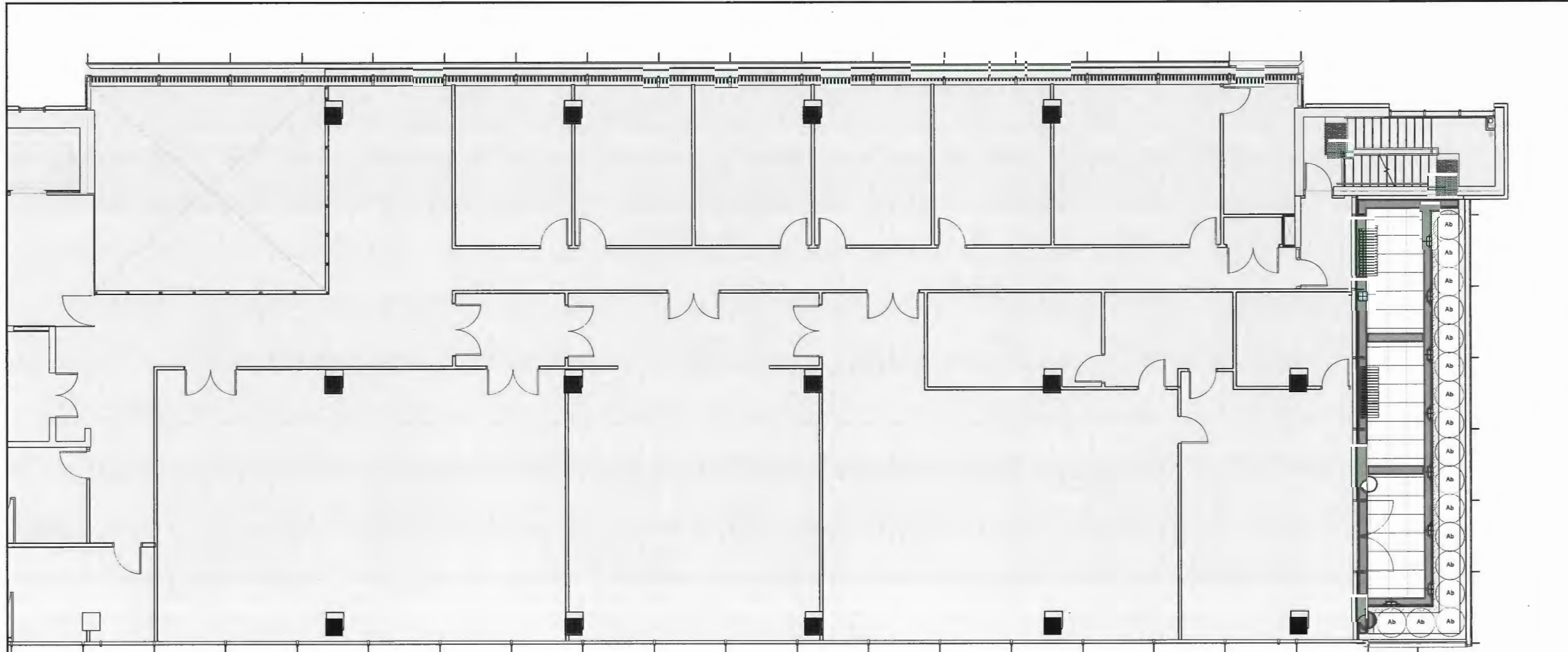
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 Location:  
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Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVE\DP2018-29 9520 BECKWITH ROAD\DWGS\SHEETS\USB PLANTING PLAN - LEVEL 5.DWG

Drawing Title: PLANTING PLAN - LEVEL 5  
 Drawing #: L-03B  
 Project #: DP2018-29  
 Scale: 1:75



DP 18-829207  
 May 7, 2024  
 Plan # 27

**PLANT SCHEDULE**

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
Ab	17	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
- Growing medium depths for planting as follows:
  - Shrubs: 450mm
  - Sod: 150mm
  - Tree pits: 1000mm with 300mm (below root ball)
- 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
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1	AD	Issued for Development Permit	Jan 30, 2019

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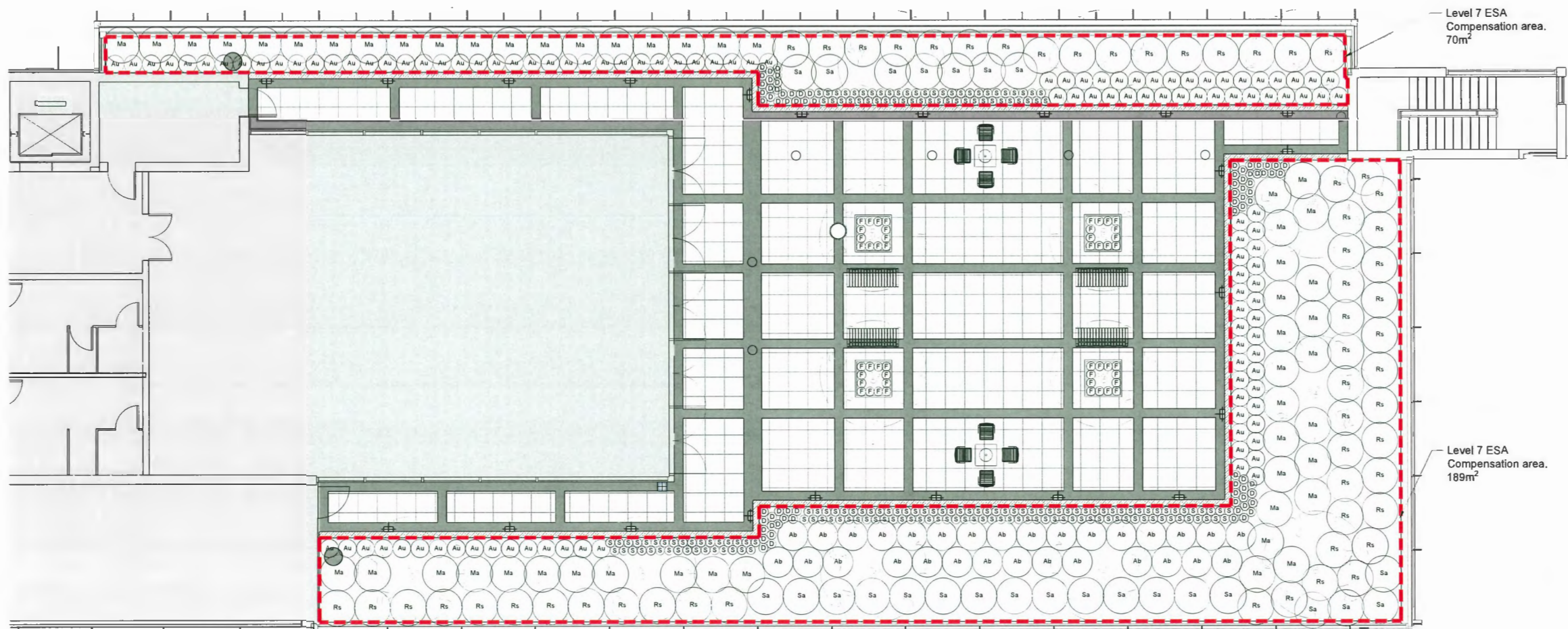
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Drawing Title: **PLANTING PLAN - LEVEL 6**  
 Drawing #: **L-03C**  
 VZD Project #: **DP2018-29**



DP 18-829207  
 May 7, 2024  
 Plan # 2 8

**ESA Calculations:**

Existing ESA area:	270m <sup>2</sup>
Level 1 ESA Post Development:	146m <sup>2</sup>
Level 5 ESA compensation area:	198m <sup>2</sup>
Level 7 ESA compensation area:	259m <sup>2</sup>
<b>Total ESA Post Development:</b>	<b>603m<sup>2</sup></b>
<b>Net change in ESA area:</b>	<b>+333m<sup>2</sup></b>

NOTE:  
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

**PLANT SCHEDULE**

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
Ab	30	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m
Au	118	Arctostaphylos uva-ursi / Kinnikinnick	#2 Pot	0,60m
D	76	Deschampsia cespitosa / Tufted Hair Grass	#2 Pot	0,30m
F	48	Festuca glauca 'Elijah Blue' / Blue Fescue	#1	0,30m
Ma	51	Mahonia aquifolium / Oregon Grape	#3	1,20m
Rs	56	Ribes sanguineum / Red Flowering Currant	#3	1,20m
S	181	Sedum spathulifolium 'Carnea' / Broadleaf Stonecrop	#1	0,30m
Sa	25	Symphoricarpos albus / Common White Snowberry	#3	1,20m

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
- Growing medium depths for planting as follows:
  - Shrubs: 450mm
  - Sod: 150mm
  - Tree pits: 1000mm with 300mm (below root ball)
- 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

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2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

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Drawing Title: **PLANTING PLAN - LEVEL 7**  
 Drawing #: **L-03D**  
 VZ Project #: **DP2018-29**

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**TREE LEGEND**

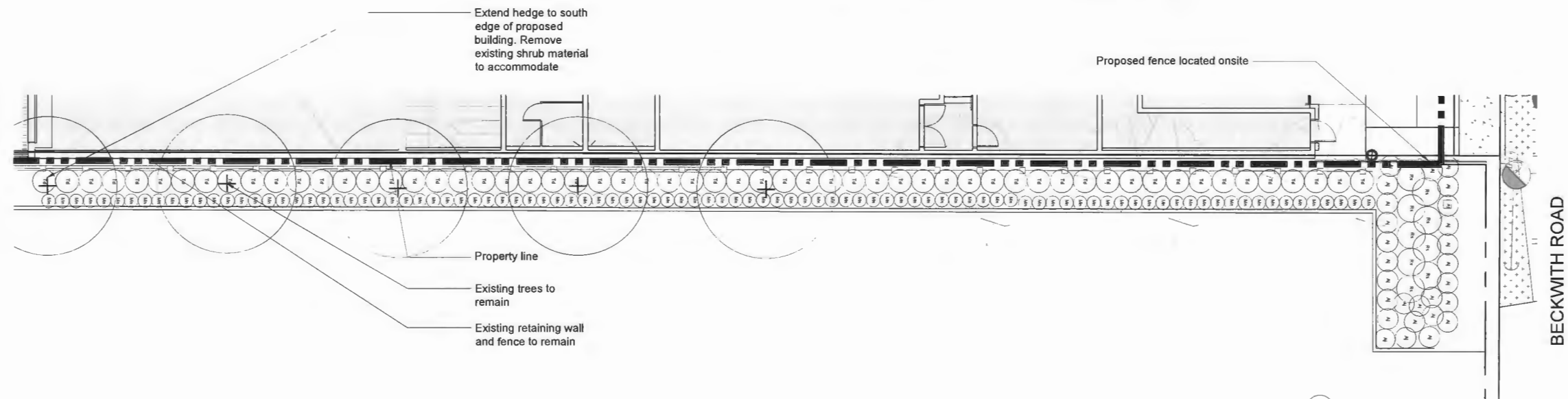
	Acer campestre
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**TREE SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	3	Acer campestre	Hedge Maple	B&B; 6cm cal.; 3.0m Ht.	Per Plan

**OFFSITE PLANT SCHEDULE**

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT
Aj	27	Azalea japonica 'Gumpo Pink' / Dwarf Pink Azalea	#2 Pot
Mn	97	Mahonia nervosa / Oregon Grape	#2 Pot
Rs	9	Ribes sanguineum / Red Flowering Currant	#2 Pot
Td	58	Thuja occidentalis 'Degroot's Spire' / DeGroot's Spire Cedar	2.5m ht.



DP 18-829207  
 May 7, 2024  
 Plan # 29

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
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3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

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2	AD	Issued for Neighbour Review	Jan 28, 2019
1	AD	Issued for Development Permit	Jan 18, 2019

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Drawing Title: OFFSITE PLAN - ADJACENT SITE TO EAST  
 Drawing #: L-04  
 Project #: DP2018-29  
 H-L-R-I-O-N

**Tree Protection Zone**

The Tree Protection Zone (TPZ) encompasses the drip line of the tree as illustrated in Fig. 1a and 1b.

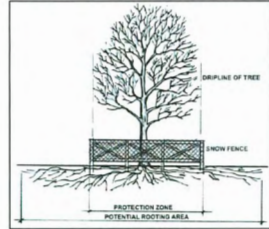


Fig. 1a - Example of a drip line on a tree

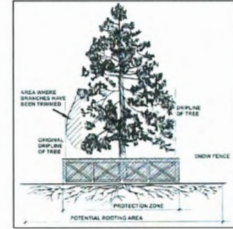


Fig. 1b - Example of a drip line on a tree with one side pruned

Note: If the tree is on an adjacent property, the drip line must still be protected on your side of the property line. If the branches have been cut or pruned, the TPZ must protect the original drip line of the tree (Fig. 1b).

**Tree Protection Distance Table**

Tree Trunk Diameter		Distance from Trunk		Total Diameter	
cm	inches	feet	m	feet	m
20	8	0.6	1.2	3.9	2.90
25	10	0.8	1.5	4.9	3.25
30	12	1.0	1.8	5.9	3.90
35	14	1.2	2.1	6.9	4.55
40	16	1.3	2.4	7.9	5.20
45	18	1.5	2.7	8.9	5.85
50	20	1.7	3.0	9.8	6.50
55	22	1.8	3.3	10.8	7.15
60	24	2.0	3.6	11.8	7.80
75	30	2.5	4.5	14.8	9.75
90	36	3.0	5.0	16.4	10.90
100	40	3.3	6.0	19.7	13.00

**Tree Protection Zone Signage**

All TPZ are required to have signage as shown in Fig. 2. The signage must be a minimum of 11"x14" in size on at least 2 sides. A sign is now available for download from the City of Richmond's Tree Bylaw webpage at [www.richmond.ca/sustainability/environment/treeremoval.htm](http://www.richmond.ca/sustainability/environment/treeremoval.htm)

For Tree Protection Barrier inspection requests and enquiries call 604-247-4684.

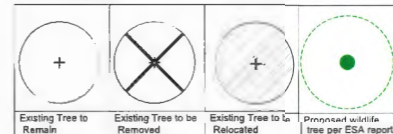
NOTE: Failure to maintain tree protection barriers may result in fines of up to \$10,000.00 per offence.



Fig. 2 Tree Protection Zone Sign

**2 TREE PROTECTION FENCE**  
N.T.S.

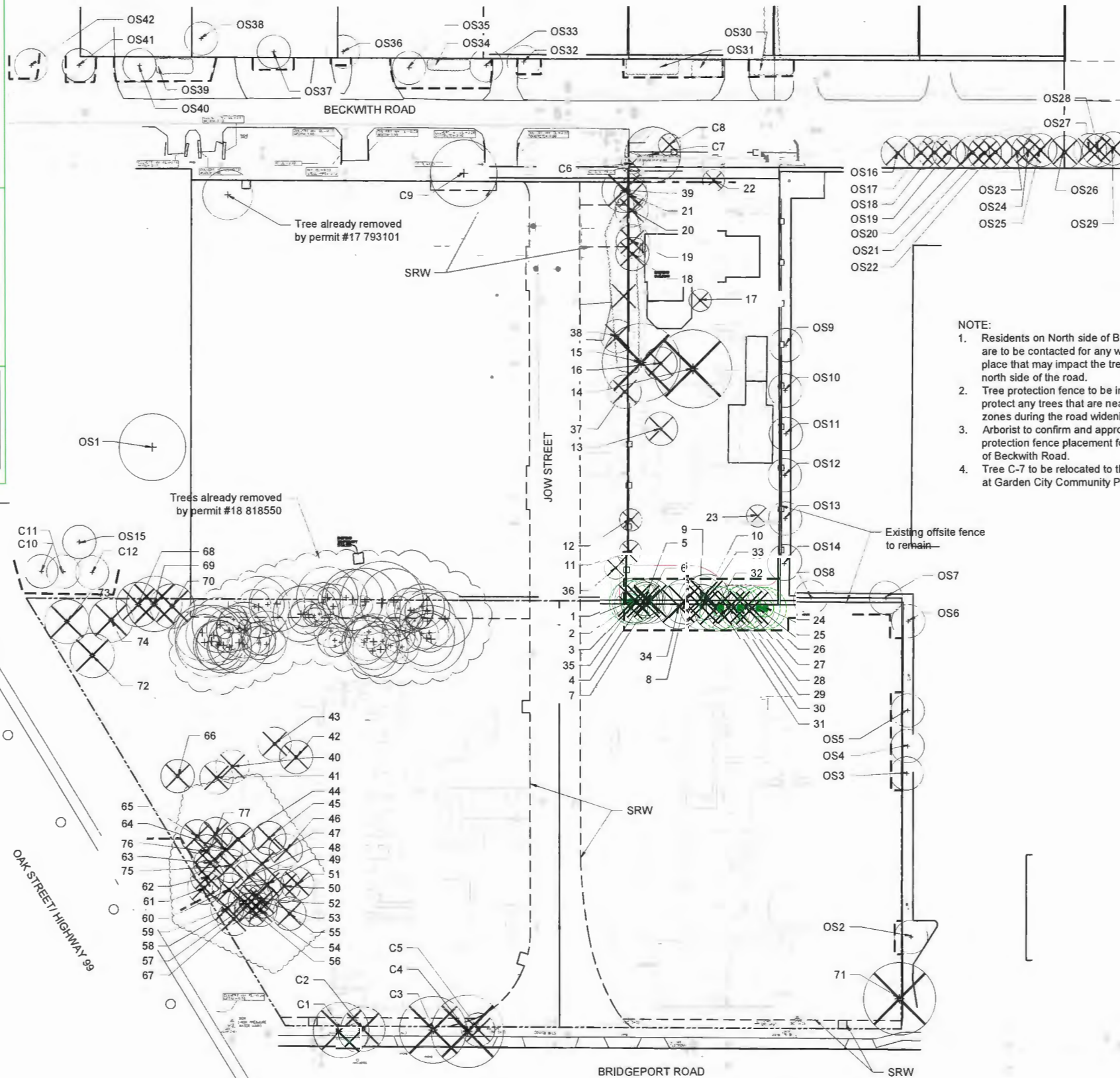
**TREE LEGEND**



KEY	REF.	DESCRIPTION
---	2	TREE PROTECTION FENCE
AR-01		

**Note:**

- Contact Arborist (Glyn Romaine, 604-882-0024, [glyn@vdz.ca](mailto:glyn@vdz.ca)) for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ)
- Read this plan together with the arborist report prepared by Glyn Romaine.



**NOTE:**

- Residents on North side of Beckwith Road are to be contacted for any work taking place that may impact the trees on the north side of the road.
- Tree protection fence to be installed to protect any trees that are near the work zones during the road widening.
- Arborist to confirm and approve tree protection fence placement for trees North of Beckwith Road.
- Tree C-7 to be relocated to the arboretum at Garden City Community Park.



DP 18-829207  
 May 7, 2024  
 Plan # 30

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
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1	AD	Issued for Development Permit	Jan 30, 2019

No.	By:	Description	Date
7	AD	Issued for Development Permit	July 12, 2019
6	AD	Issued for Development Permit	June 28, 2019
5	AD	Issued for Development Permit	May 31, 2019

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Project:  
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2777, 2888, 2899 &  
2788 Jow Street  
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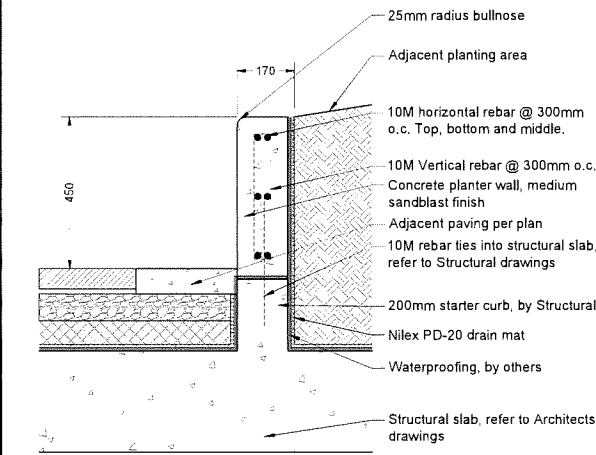
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DP2018-29

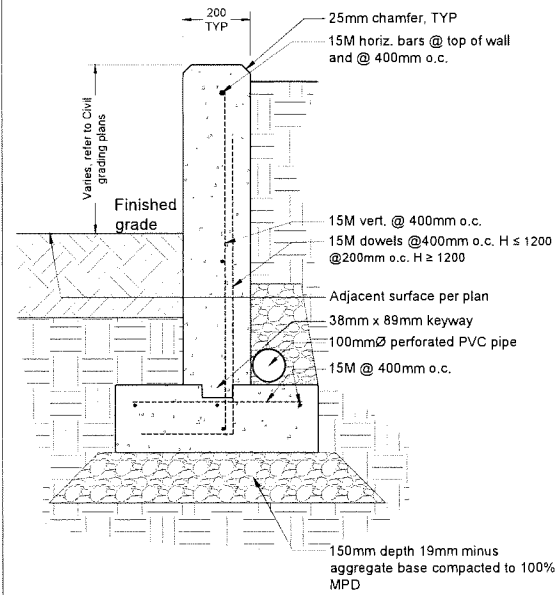
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NOTE:  
Refer to structural detail for reinforcement and slab tie in requirements

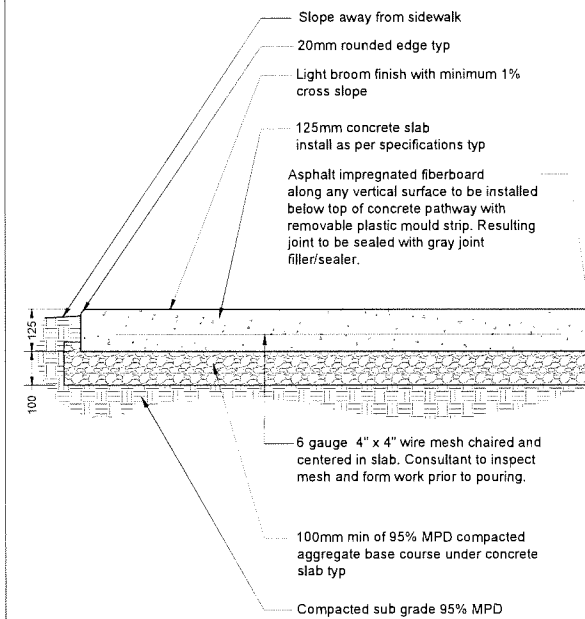


1 CONCRETE PLANTER WALL  
Scale 1:10



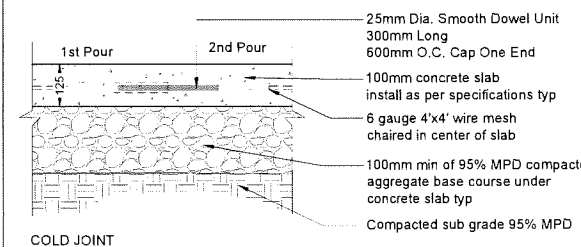
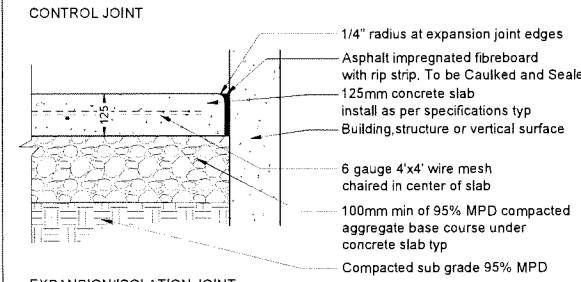
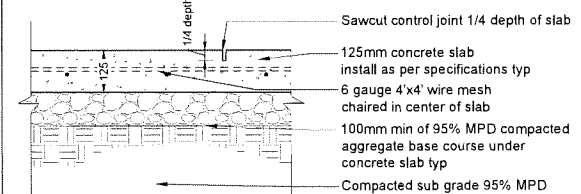
- Notes:
- Vertical Control Joints Every 3000mm on center.
  - Wall heights vary. Refer to Grading Plan.
  - Perforated pipe to drain to daylight or tie into storm system.
  - Ensure 50mm concrete cover over all rebar.
  - Walls over 1200mm in height to be structurally engineered.

2 CONCRETE RETAINING WALL  
Scale 1:10



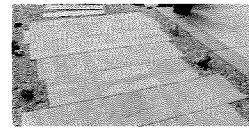
- Notes:
- Contractor to provide expansion joints where concrete meets all vertical structures
  - Horizontal scorelines at 1500mm o.c. unless shown otherwise. Refer to plans.
  - Center scoreline on 150mm smooth finish or to match existing concrete pathway

3 CONCRETE PAVING  
Scale 1:10

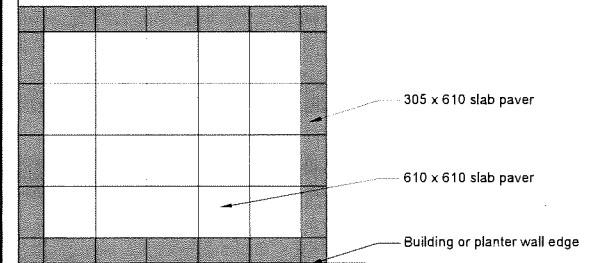


4 CONCRETE JOINTS  
Scale 1:10

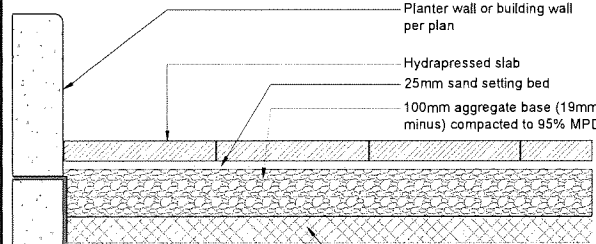
Hydrapressed Slab Details (BANDS):  
Type: New York Stone Series  
Size: 305mm x 610mm x 50mm  
Colours: Charcoal  
Pattern: Grid  
Manufacturer: Abbotsford Concrete Products  
www.pavingstones.com  
1-800-663-4091



REFERENCE IMAGE



PLAN VIEW  
Scale 1:40

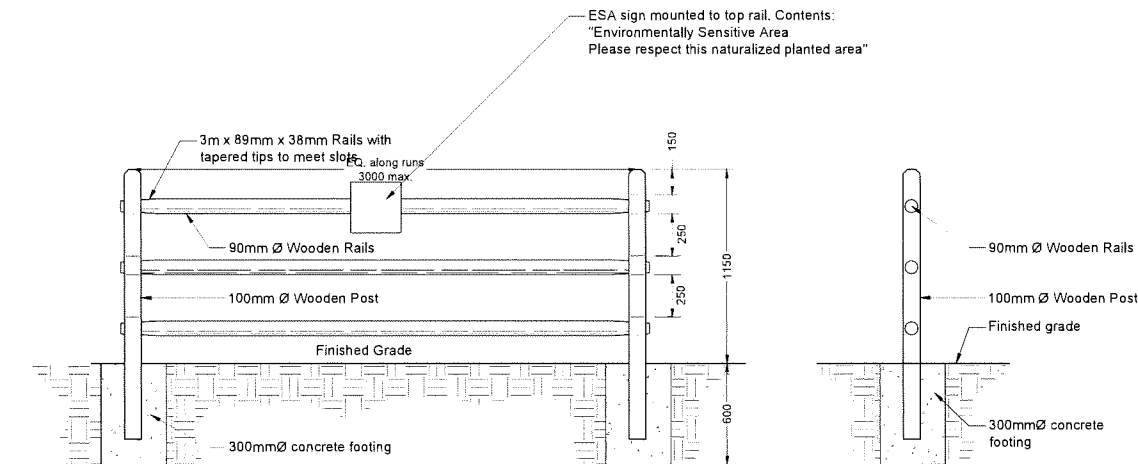


SECTION

Hydrapressed Slab Details (FIELD):  
Type: New York Stone Series  
Size: 610mm x 610mm x 50mm  
Colours: Sandalwood  
Pattern: Grid  
Manufacturer: Abbotsford Concrete Products  
www.pavingstones.com 1-800-663-4091

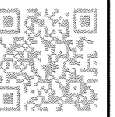
- Styrofoam void form as required
- Nilex WD-15 drain mat or approved substitute.
- Waterproof membrane by others
- Structural slab by others

5 HYDRAPRESSED SLABS  
Scale 1:10



- NOTES:
- All wood to be rough cut douglas fir #2 or better.
  - All metal hardware to be hot dip galvanized and painted to match fence.
  - Contractor to provide shop drawings.
  - Contractor to provide sign proof for review before fabrication.

6 SPLIT RAIL FENCE  
Scale 1:20



DP 18-829207  
May 7, 2024  
Plan # 31

No.	By	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
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1	AD	Issued for Development Permit	Jan 30, 2019

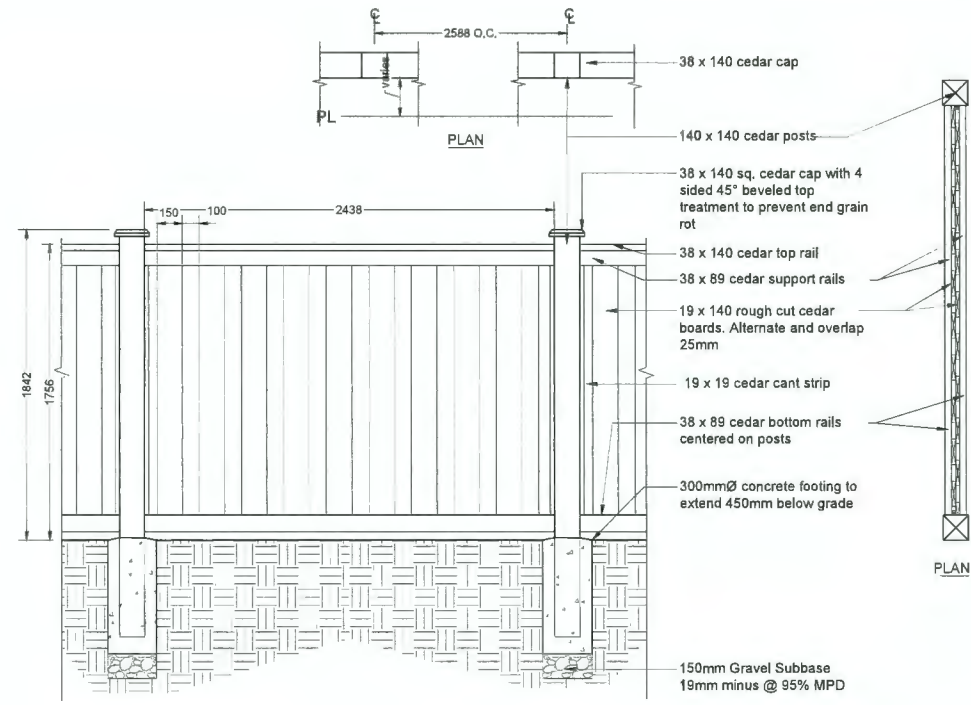
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2788 Jow Street  
Richmond, BC

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Note:  
 1. Fence to be constructed in conformance with the Morgan Creek Design Guidelines part 3.12.  
 2. Ensure all fasteners exposed to weather are hot-dipped galvanized to prevent staining.

1 1.84m HEIGHT PRIVACY FENCE  
Scale 1:20

**EOS RECTANGULAR** SPECIFICATION SHEET

Project Name: Type: 408 2 (P. 1)

**TECHNICAL DATA**

LOAD	CCT	CRI	OPTIC	DELIVERED LUMENS	LUMINAIRE EFFICACY	CENTER BEAM CANDLE POWER	MODEL
17W	3000K	90	Accent light	172	10	227	S.4615W

Wall recessed luminaire designed with a stepped downward rim for lighting wall type and eaves.

Luminaire characteristics:  
 Power Input: 17W  
 Lumens: 172lm  
 Luminaire efficacy: 10lm/W

Source: LED module (LM-80 tested)  
 3000K, 90-CRI  
 4000K, 90-CRI  
 Lumen maintenance: 70% of initial lumens at +50,000 hours (L70, LM70 method).

Optics: Accent light

Mounting: Recessed wall installation using back box necessary. Connections to be done inside the recessed box.

Material:  
 Body: Die-cast aluminum  
 Reflector: 50/50% pure anodized aluminum  
 Diffuser: Clear tempered glass  
 Hardware: Stainless steel screws and EPDM gaskets

Electrical: Integral high efficiency electronic power supply, rated at 50,000 hours, 120V/277V.

Finish: Aluminum gray

Weight: 3.75lbs (1.7kg)  
 Warranty: 5 year limited warranty  
 Certification: cULus for wet location  
 Rating: IP65 IK08

**FRONT VIEW**

**SIDE VIEW**

**ACCESSORY (incl. user 0)**

● S.4623A - Stainless steel recessed box  
 Dim: 10 1/2" x 5 1/2" x 5 1/2"  
 Dim: 287mm x 138mm x 138mm

**ORDERING INFO**

MODEL: S.4615W - 3000K, S.4615N - 4000K  
 VOLTAGE: 120V, 277V  
 FINISH: 14 - Aluminum gray

**SISTEMALUX**

2 WALL LIGHT  
N.T.S.



DP 18-829207  
 May 7, 2024  
 Plan # 32

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Drawing Title:  
**DETAILS**

VDZ Project #:  
**DP2018-29**

Drawing #:  
**LD-02**

**FGP PATH LIGHT**

landscape

landscape

Lighting Facts<sup>1</sup>

Electrical

FGP Path Light Type 4

FGP Path Light Type 5

**lighting facts**

**lighting facts**

**To Order**

AD (11/22, Sign 4)	ADP (12/24)	30K (3000K)	40K (4000K)
ADP (11/22, Sign 3)	30K (3000K)	40K (4000K)	40K (4000K)

**Product Modifications**

**Warranty**

**Other**

Designed by Precision Garden Inc.

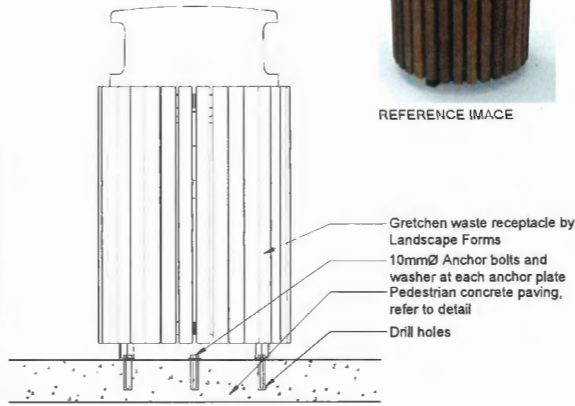
**3 BOLLARD LIGHT**  
N.T.S.

Z:\PROJECTS\DEVELOPMENT PERMITS\DP2018-29\2920 BECKWITH ROAD\DWGS\HSE\LD-02 DETAILS.DWG

NOTES:  
Install per manufacturers specifications



REFERENCE IMAGE



Gretchen waste receptacle by Landscape Forms  
10mmØ Anchor bolts and washer at each anchor plate  
Pedestrian concrete paving, refer to detail  
Drill holes

SECTION

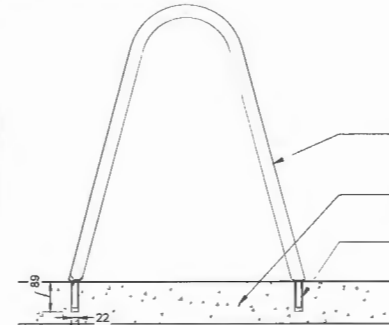
WASTE RECEPTACLE  
Model: Gretchen  
Size: 559mm x 1067mm  
Mount: Surface  
Options: Side opening  
Colour: IPE  
Manufacturer: Landscape Forms  
www.landscapeforms.com

1 WASTE RECEPTACLE  
N.T.S.

NOTES:  
Install per manufacturers specifications



REFERENCE IMAGE



Flo bike rack by Landscape Forms  
Pedestrian concrete paving, refer to detail  
89mm x 22mm drill holes

SECTION

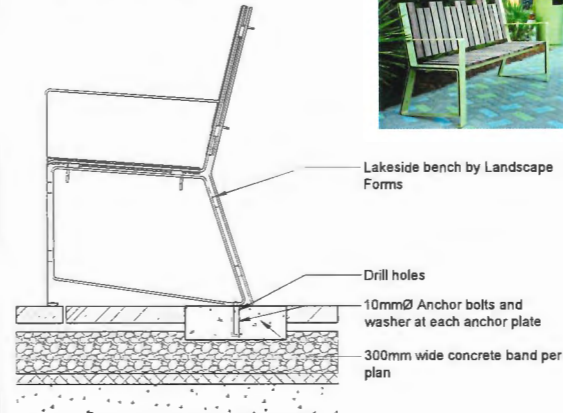
BIKE RACK  
Model: Flo  
Size: 38mm x 635mm x 686mm  
Mount: Embedded  
Colour: Metallic Silver  
Manufacturer: Landscape Forms  
www.landscapeforms.com

2 BIKE RACK  
N.T.S.

NOTES:  
1. Install per manufacturers specifications.  
2. Podium benches to be anchored to concrete bands on rear legs only.

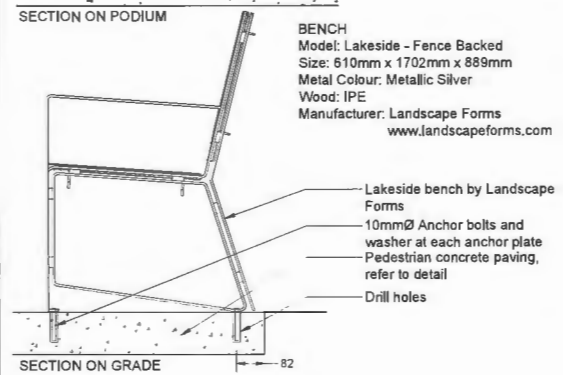


Lakeside bench by Landscape Forms



SECTION ON PODIUM

BENCH  
Model: Lakeside - Fence Backed  
Size: 510mm x 1702mm x 889mm  
Metal Colour: Metallic Silver  
Wood: IPE  
Manufacturer: Landscape Forms  
www.landscapeforms.com



SECTION ON GRADE

3 BENCH  
N.T.S.



TABLE AND CHAIRS  
Model: Parc Center  
Size: 711mm sq.  
Chairs: 4 per table  
Mount: Free standing  
Colour: Metallic Silver  
Manufacturer: Landscape Forms  
www.landscapeforms.com

4 TABLE AND CHAIRS  
N.T.S.

**VDZ+A**  
LANDSCAPE ARCHITECTURE  
FORT LANGLEY STUDIO 100-9181 Church St  
MOUNT PLEASANT STUDIO 102-355 Kingsway  
Fort Langley, BC Vancouver, BC  
V1M 2K8 V1T 3J7  
www.vdz.ca 604-882-0024



DP 18-829207  
May 7, 2024  
Plan # 33

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
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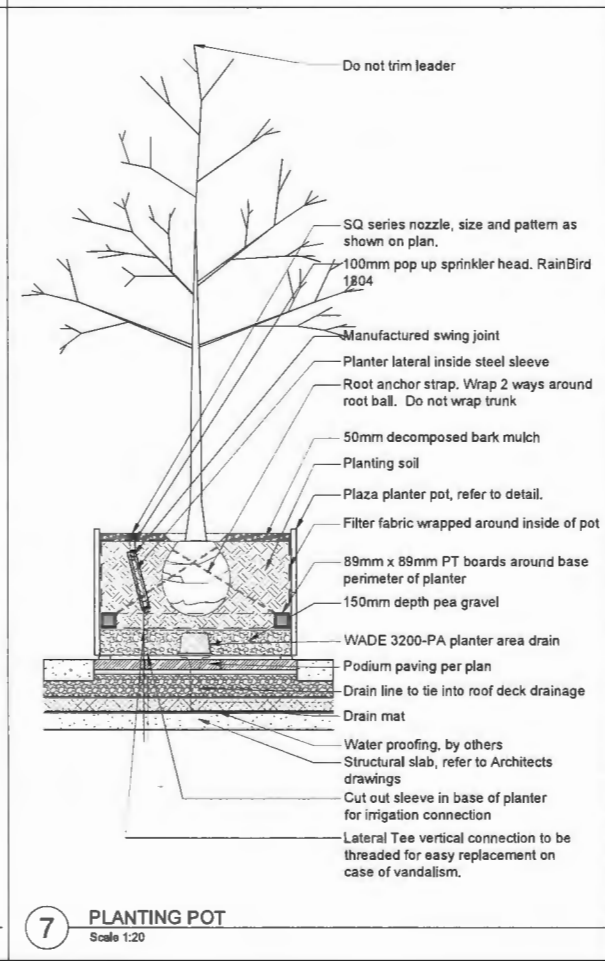
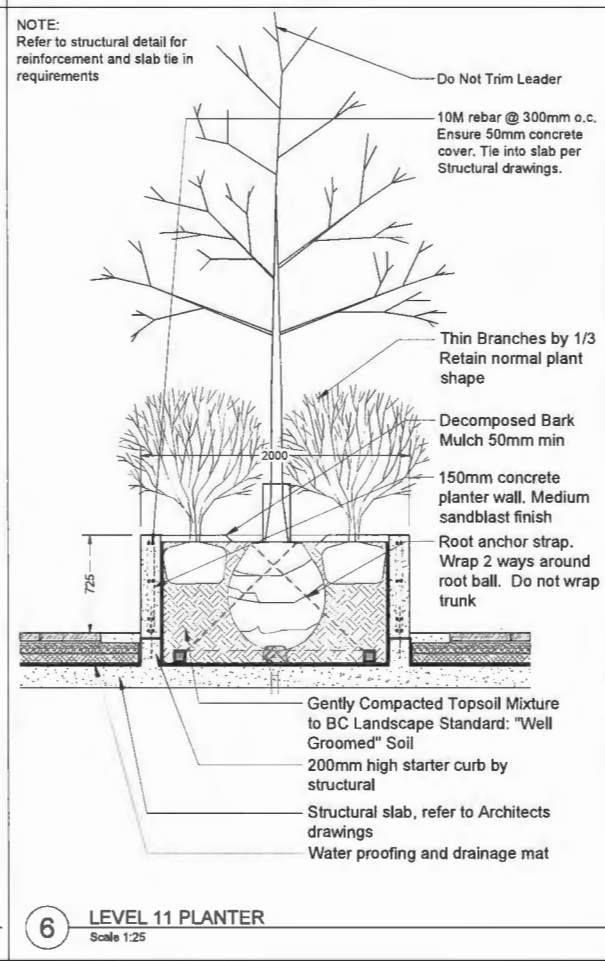
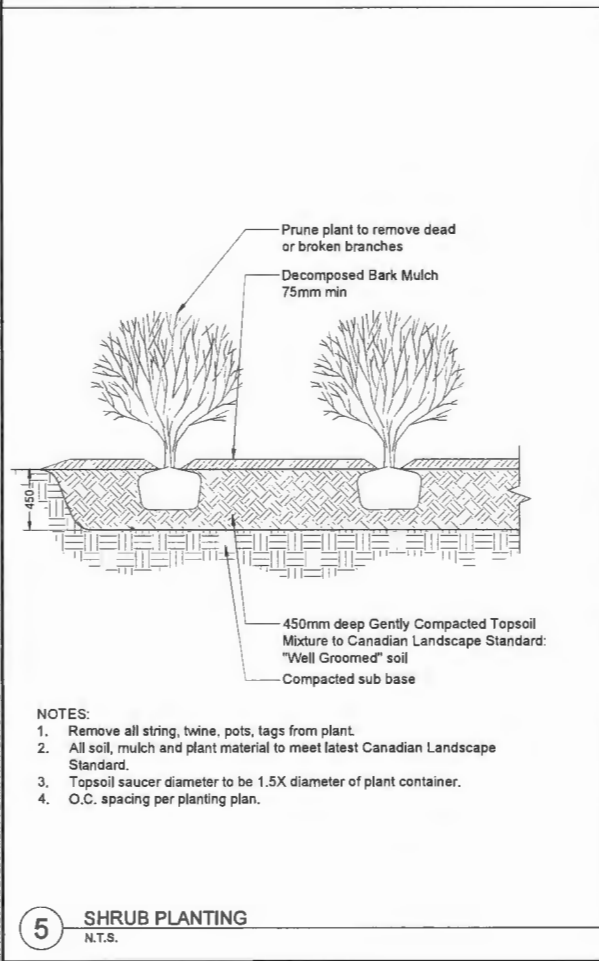
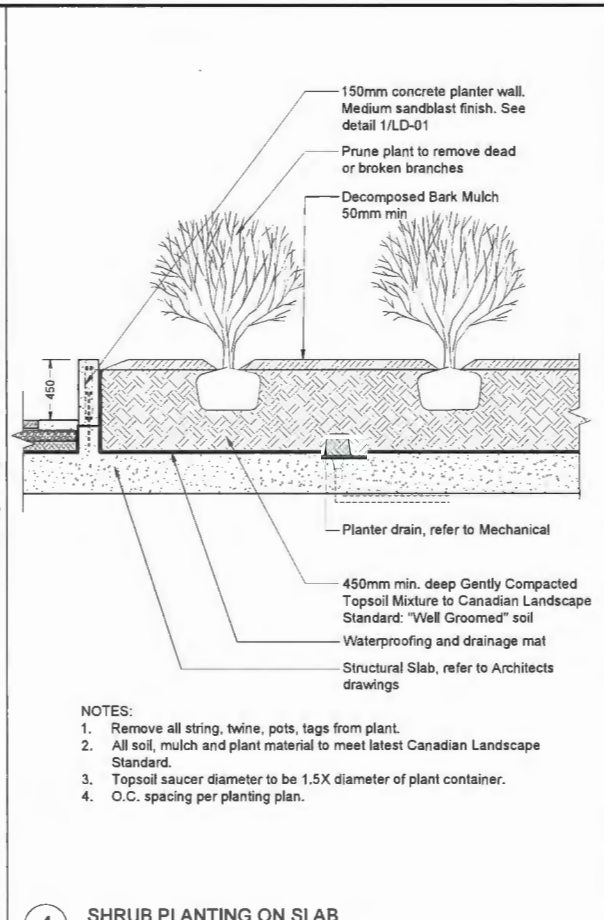
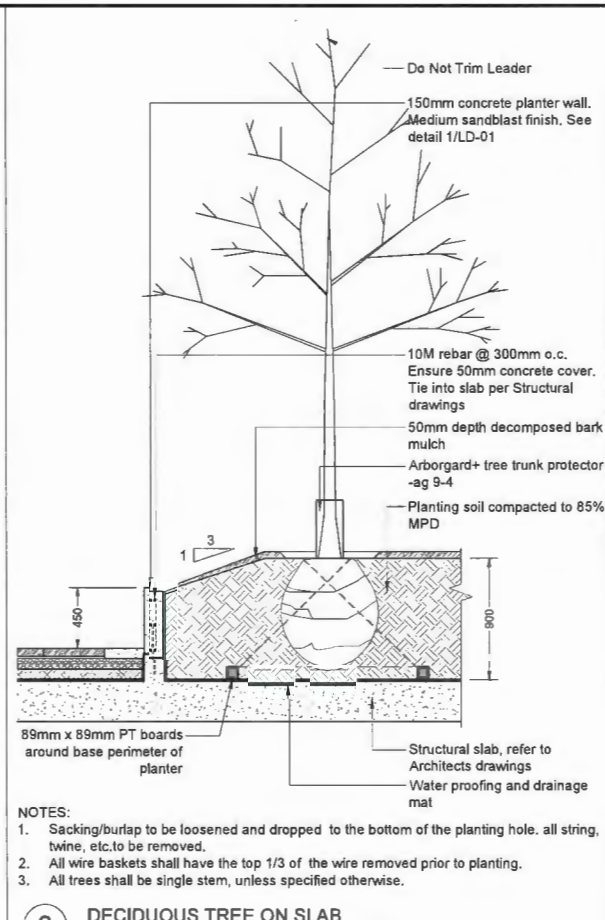
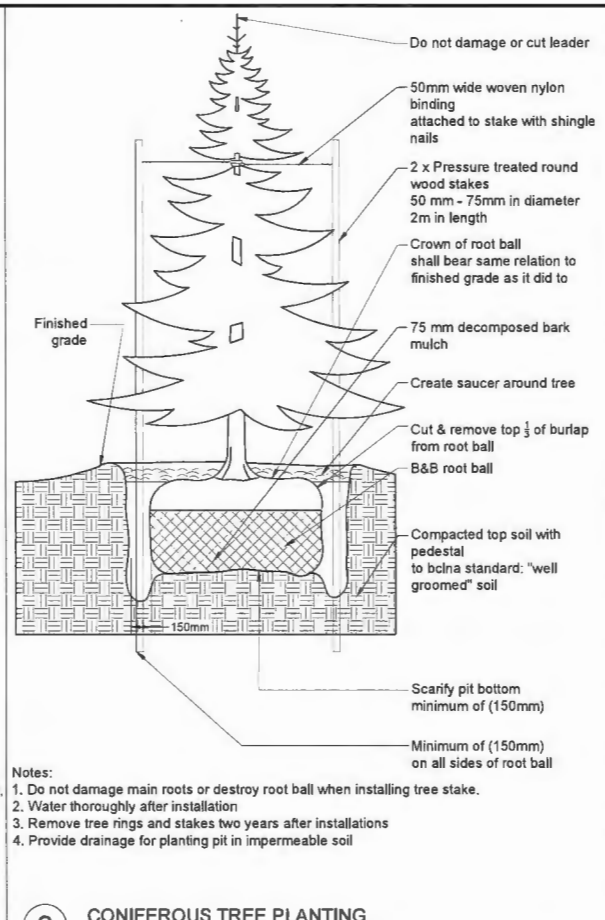
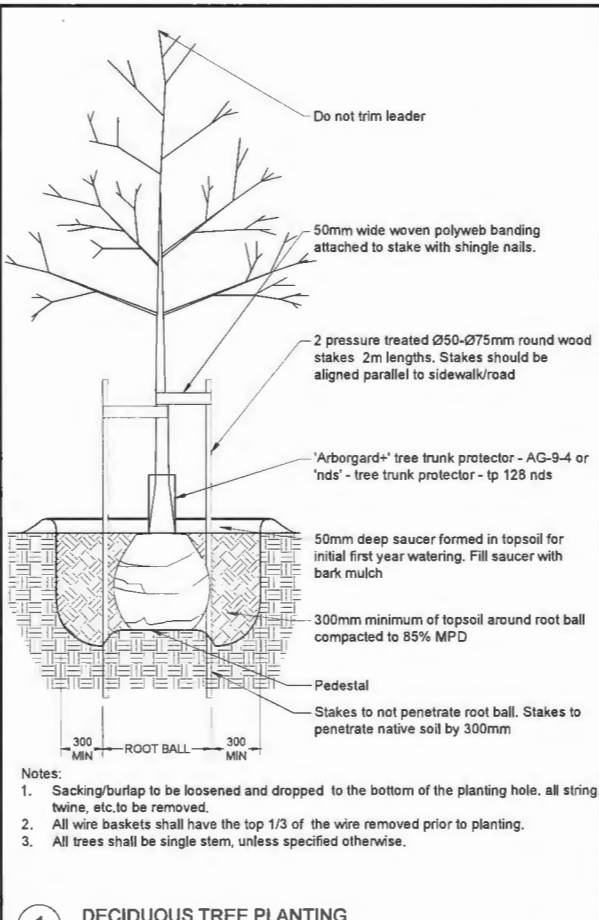


PLANTERS  
Model: Plaza  
Size: 1219mm x 1219mm x 813mm  
Colour: Wood  
Manufacturer: Landscape Forms  
www.landscapeforms.com

5 PLANTER POTS  
N.T.S.

Z:\PROJECTS\DEVELOPMENT PERMITS\DP18-829207\29-8520 BECAWITH ROAD\DWGS\DETAILS\LD-03.DWG

Drawing Title: DETAILS  
VDZ Project #: DP2018-29  
LD-03



DF 13-829207  
May 7, 2024  
Plan # 34

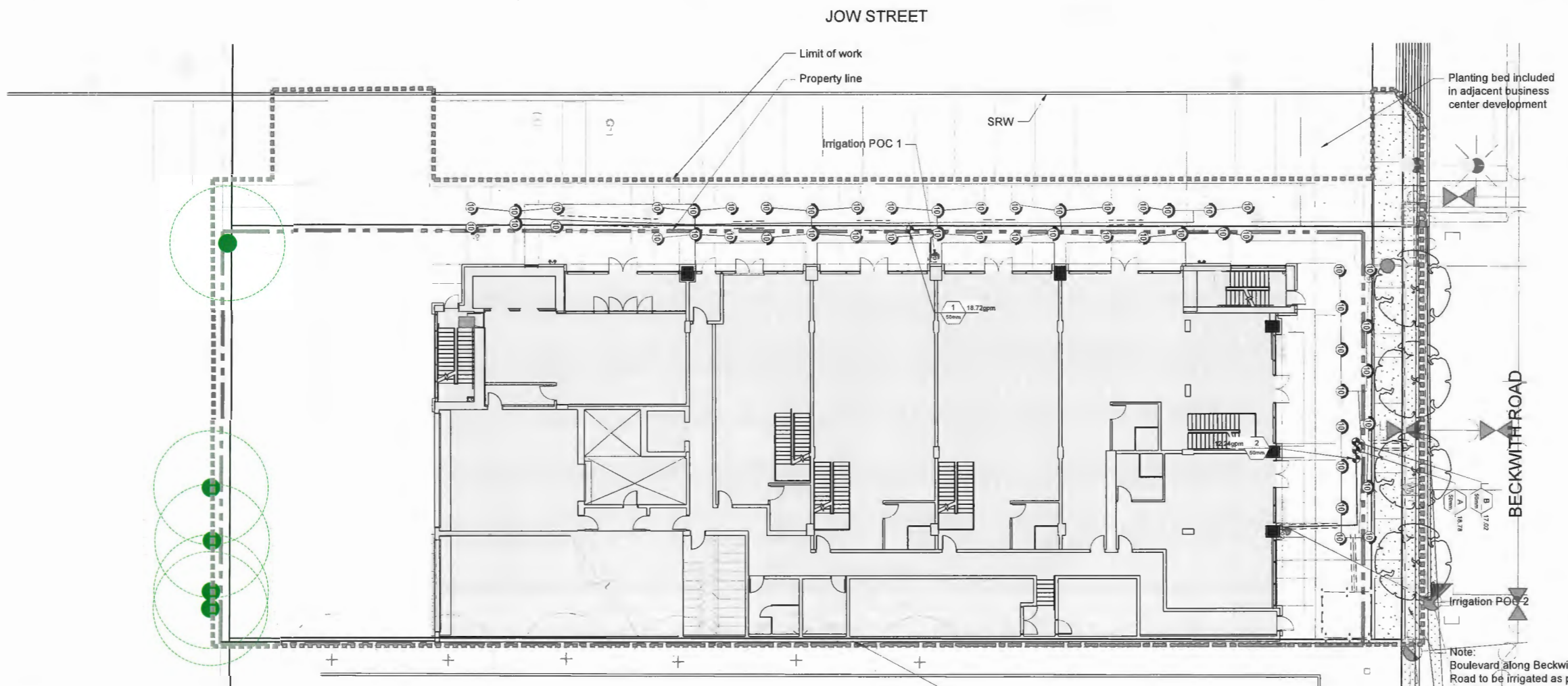
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DP 18-829207  
May 7, 2024  
Plan # 35

- NOTES:**
- All landscape areas to be fully irrigated.
  - All irrigation components to be Rainbird or approved equal.
  - 1 soil moisture sensor will be provided in landscape on each level of the building.
  - 1 rain sensor will be provided on level 7.
  - 50mmØ stub outs for irrigation to be provided on each level as shown.

Note:  
Boulevard along Beckwith Road to be irrigated as per City Standards, on a separate zone, tied to the onsite water supply. Design subject to servicing agreement.

**IRRIGATION NOTES:**

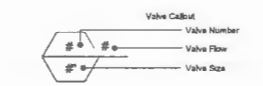
- System is based on 25 PSI (min.) and 30 GPM (max.) at the connection point.
- Contractor to determine pipe layout to ensure system operates as per specifications.
- Velocity in all irrigation lines not to exceed 5' per second. Contractor to adjust pipe sizing accordingly.
- If a discrepancy occurs between drawings and specifications, specifications are to be followed.
- All length quantities shown are approximate. Contractor to verify all quantities.
- Back Flow Prevention Valve and Water Meter as per City of Richmond standards. New service boxes sized to contain all required valves and blow-out tees. To match City of Richmond standards.
- All products to be installed as per manufacturer's specifications unless noted otherwise.
- Each irrigation line to have 4" SCH 40 PVC sleeving under all sidewalks. Steel sleeving to be used under all vehicular roads and driveways.
- All service connections to be coordinated with civil and mechanical engineer. Allow for proper winterization through ball valve installation.
- Coordinate all irrigation trenches and pipe locations to avoid conflicts with proposed utilities.
- Low-point irrigation heads require anti-draining check valves if not already provided in irrigation head specification.
- All products to be installed as per manufacturer's specifications unless noted otherwise. Contractor to provide all permits required for installation of irrigation system.
- Contractor to verify the existence, location and elevation of all underground utilities and services prior to commencement of the work.
- Install all irrigation components as per manufacturer's specifications.
- All pipe to be installed at a minimum of 18" below finish grade.
- Main line to be installed at a minimum of 24" below finish grade.
- All valves to be installed in 10" or larger valve box.
- All irrigation heads in non turf areas to be 12" High Pop heads.
- Control wire from the controller to valves shall be a minimum 14-gauge burial type, CSA approved type PE direct burial wire.
- Contractor to confirm pressure and pipe sizing at connection point and install pressure reducer as required.
- Provide as built drawings for any changes made to the irrigation plan.
- The Irrigation system will be inspected by the consultant upon completion.
- All irrigation components under sidewalks and driveways shall be sleeved. (sized as per plan).
- Plants will require daily watering during the warm weather season (July - September) and 3 times a week during the shoulder seasons of June and September. Irrigation should not be required for the remainder of the year due to natural precipitation. Plants will be monitored to ensure irrigation is satisfactory and will be adjusted accordingly to the site conditions.

**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
①	Rain Bird 1812-PRS-NP-U 08H	28	180	25	0.47	2.1 m
②	Rain Bird 1812-PRS-NP-U 08Q	7	90	25	0.24	2.1 m
③	Rain Bird 1812-PRS-NP-U 10H	34	180	25	0.75	2.7 m
④	Rain Bird 1812-PRS-NP-U 10Q	30	90	25	0.37	2.7 m
⑤	Rain Bird 1812-PRS-NP-U 12H	4	180	25	1.2	3.4 m
⑥	Rain Bird 1812-PRS-NP-U 15H	4	180	25	1.65	4.3 m
⑦	Rain Bird 1812-PRS-NP-U 15Q	2	90	25	0.82	4.3 m

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⑧	Rain Bird XBT-PC 10PC Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 3.8 l/h=black, and 7.8 l/h=red. Comes with a 13 mm FPT inlet x barb outlet.	8

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⑨	Rain Bird PEB-PRS-D 25 mm, 40 mm, 50 mm Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module.	5
⑩	Irrigation Lateral Line: CPVC Schedule 40	430.4 m
⑪	Irrigation Mainline: PVC Schedule 40	14.3 m
⑫	Pipe Sleeve: CPVC Schedule 40	41.2 m



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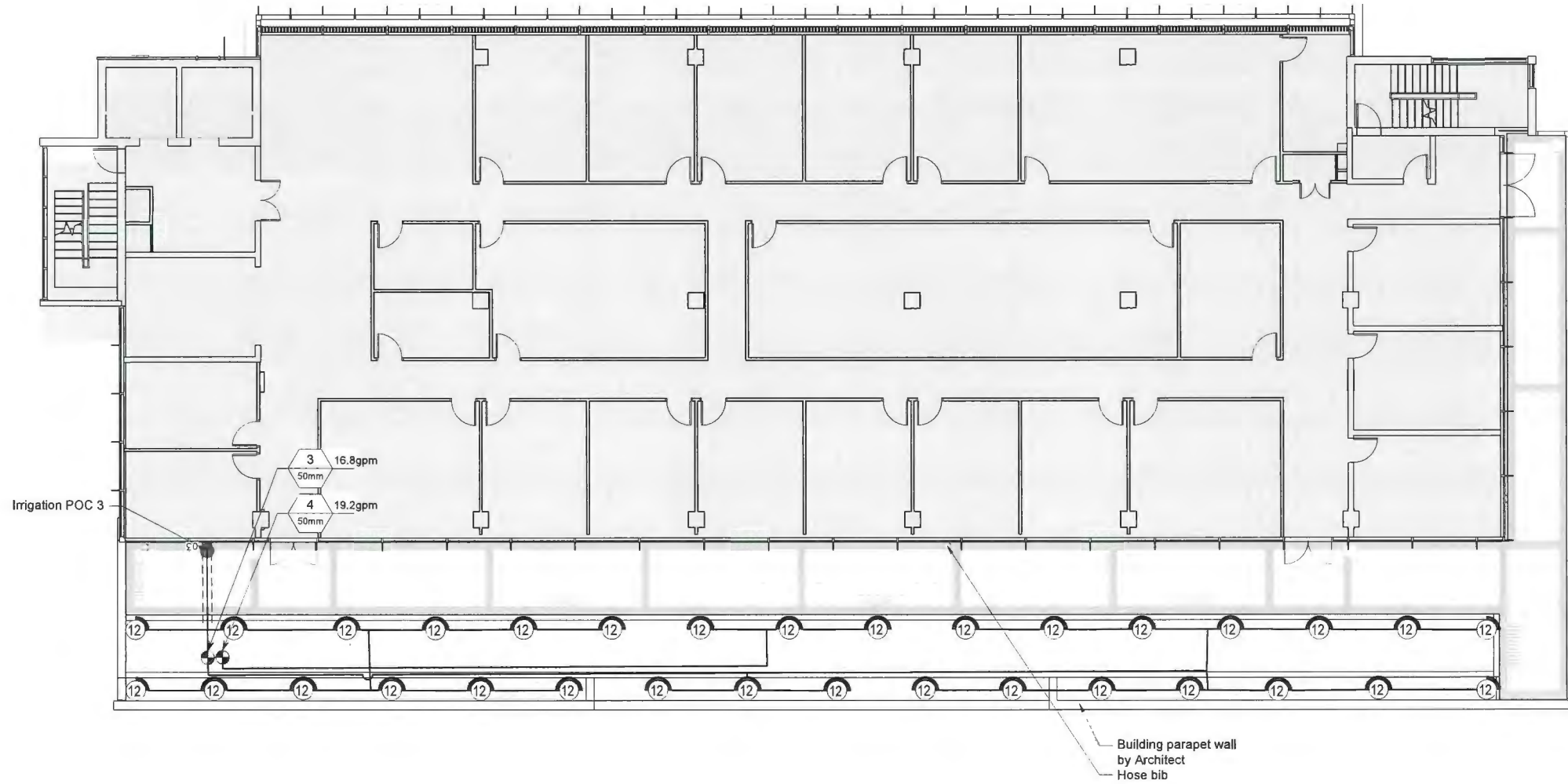
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Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVEDP\2018-29-829207\BECKWITH ROAD\DWG\SHEETS\IR-01 IRRIGATION PLAN - LEVEL 1.DWG

Drawing Title: IRRIGATION PLAN - LEVEL 1  
Drawing #: IR-01  
Project #: DP2018-29  
HARRISON



DP 18-829207  
 May 7, 2024  
 Plan # 36

No.	By	Description	Date
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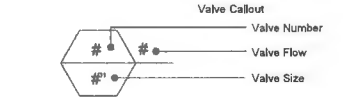
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 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/DRAWING/REVISED DRAWINGS MUST NOT BE USED FOR CONSTRUCTION UNLESS LABELLED ISSUED FOR TENDER/CONSTRUCTION.

IRRIGATION NOTES:

- System is based on 25 PSI (min.) and 30 GPM (max.) at the connection point.
- City pressure at connection point is hovering around 80PSI, pressure regulated down to 50PSI after DCV.
- Contractor to determine pipe layout to ensure system operates as per specifications.
- Velocity in all irrigation lines not to exceed 5' per second. Contractor to adjust pipe sizing accordingly.
- If a discrepancy occurs between drawings and specifications, specifications are to be followed.
- All length quantities shown are approximate. Contractor to verify all quantities.
- Back Flow Prevention Valve and Water Meter as per City of Richmond standards. New service boxes sized to contain all required valves and blow-out tees. To match City of Richmond standards.
- All products to be installed as per manufacturer's specifications unless noted otherwise.
- Each irrigation line to have 4" SCH 40 PVC sleeving under all sidewalks. Steel sleeving to be used under all vehicular roads and driveways.
- All service connections to be coordinated with civil and mechanical engineer. Allow for proper winterization through ball valve installation.
- Coordinate all irrigation trenches and pipe locations to avoid conflicts with proposed utilities.
- Low-point irrigation heads require anti-draining check valves if not already provided in irrigation head specification.
- All products to be installed as per manufacturer's specifications unless noted otherwise. Contractor to provide all permits required for installation of irrigation system.
- Contractor to verify the existence, location and elevation of all underground utilities and services prior to commencement of the work.
- Install all irrigation components as per manufacturer's specifications.
- All pipe to be installed at a minimum of 18" below finish grade.
- Main line to be installed at a minimum of 24" below finish grade.
- All valves to be installed in 10" or larger valve box.
- All irrigation heads in non turf areas to be 12" High Pop heads.
- Control wire from the controller to valves shall be a minimum 14-gauge burial type, CSA approved type PE direct burial wire.
- Contractor to confirm pressure and pipe sizing at connection point and install pressure reducer as required.
- Provide as built drawings for any changes made to the irrigation plan.
- The Irrigation system will be inspected by the consultant upon completion.
- All irrigation components under sidewalks and driveways shall be sleeved. (sized as per plan).

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
⊗	Rain Bird 1812-PRS-NP-U U12 Series	28	180	25	1,2	3,4 m
⊙	Rain Bird 1812-PRS-NP-U U12 Series	4	90	25	0,6	3,4 m
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
⊕	Rain Bird PEB-PRS-D 25 mm, 40 mm, 50 mm Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module.	2				
—	Irrigation Lateral Line: CPVC Schedule 40	154,1 m				
- - -	Irrigation Mainline: PVC Schedule 40	4,7 m				
- - - -	Pipe Sleeve: CPVC Schedule 40	3,1 m				

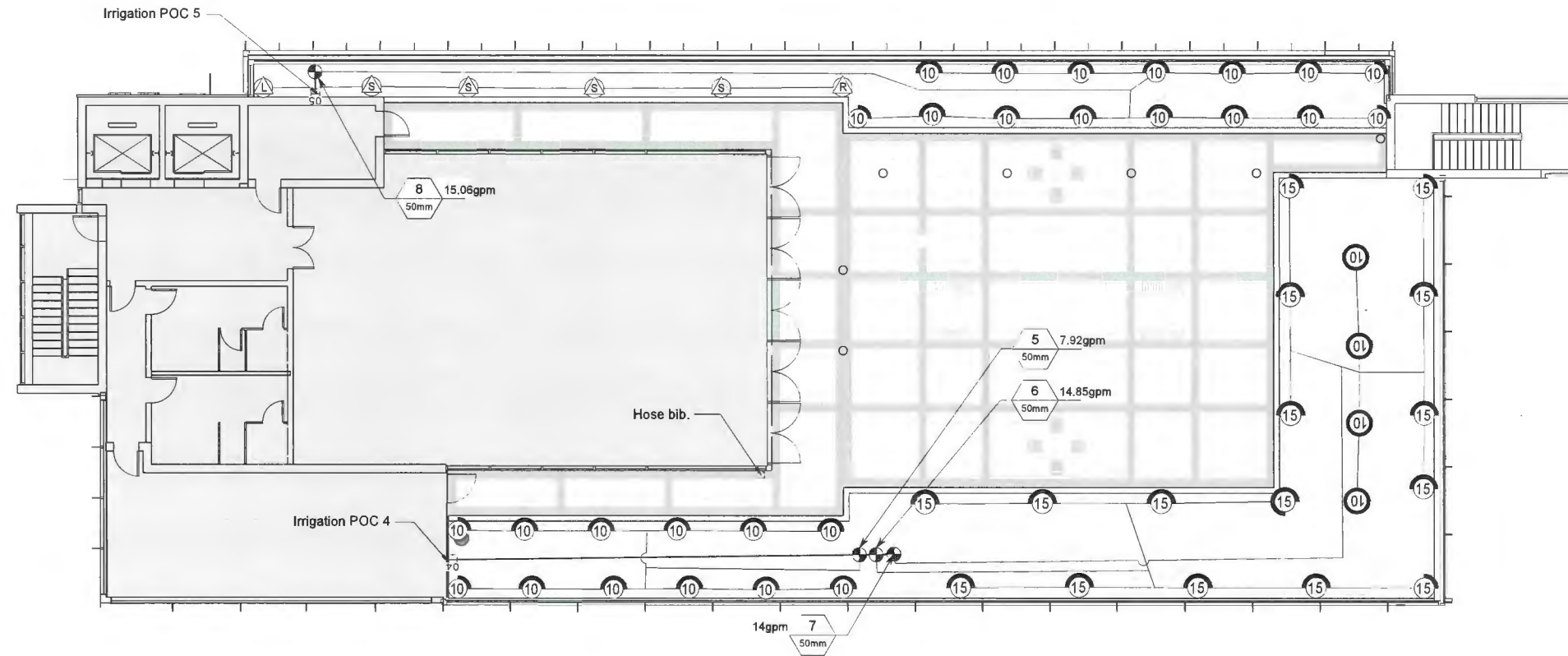


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Drawing Title: IRRIGATION PLAN - LEVEL 5  
 Drawing #: IR-02  
 Project #: DP2018-29  
 H.L.R.I.O.N.







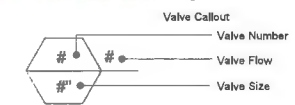
**IRRIGATION NOTES:**

- System is based on 25 PSI (min.) and 30 GPM (max.) at the connection point.
- City pressure at connection point is hovering around 80PSI, pressure regulated down to 50PSI after DCV.
- Contractor to determine pipe layout to ensure system operates as per specifications.
- Velocity in all irrigation lines not to exceed 5' per second. Contractor to adjust pipe sizing accordingly.
- If a discrepancy occurs between drawings and specifications, specifications are to be followed.
- All length quantities shown are approximate. Contractor to verify all quantities.
- Back Flow Prevention Valve and Water Meter as per City of Richmond standards. New service boxes sized to contain all required valves and blow-out tees. To match City of Richmond standards.
- All products to be installed as per manufacturer's specifications unless noted otherwise.
- Each irrigation line to have 4" SCH 40 PVC sleeving under all sidewalks. Steel sleeving to be used under all vehicular roads and driveways.
- All service connections to be coordinated with civil and mechanical engineer. Allow for proper winterization through ball valve installation.
- Coordinate all irrigation trenches and pipe locations to avoid conflicts with proposed utilities.
- Low-point irrigation heads require anti-draining check valves if not already provided in irrigation head specification.
- All products to be installed as per manufacturer's specifications unless noted otherwise. Contractor to provide all permits required for installation of irrigation system.
- Contractor to verify the existence, location and elevation of all underground utilities and services prior to commencement of the work.
- Install all irrigation components as per manufacturer's specifications.
- All pipe to be installed at a minimum of 18" below finish grade.
- Main line to be installed at a minimum of 24" below finish grade.
- All valves to be installed in 10" or larger valve box.
- All irrigation heads in non turf areas to be 12" High Pop heads.
- Control wire from the controller to valves shall be a minimum 14-gauge burial type, CSA approved type PE direct burial wire.
- Contractor to confirm pressure and pipe sizing at connection point and install pressure reducer as required. Provide as built drawings for any changes made to the irrigation plan.
- The Irrigation system will be inspected by the consultant upon completion.
- All irrigation components under sidewalks and driveways shall be sleeved. (sized as per plan).

**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
Ⓐ	Rain Bird 1812-PRS-NP-U 15 Strip Series	1	LCS	25	0,5	1,2x4,6
Ⓑ	Rain Bird 1812-PRS-NP-U 15 Strip Series	1	RCS	25	0,5	1,2x4,6
Ⓒ	Rain Bird 1812-PRS-NP-U 15 Strip Series	4	SST	25	1,1	1,2x9,1
Ⓓ	Rain Bird 1812-PRS-NP-U U10 Series	4	360	25	1,5	2,7 m
Ⓔ	Rain Bird 1812-PRS-NP-U U10 Series	22	180	25	0,8	2,7 m
Ⓕ	Rain Bird 1812-PRS-NP-U U10 Series	5	90	25	0,4	2,7 m
Ⓖ	Rain Bird 1812-PRS-NP-U U15 Series	12	180	25	1,7	4,3 m
Ⓗ	Rain Bird 1812-PRS-NP-U U15 Series	3	90	25	0,8	4,3 m
Ⓘ	Rain Bird 1812-PRS-NP-U U15 Series	1	270	25	2,5	4,3 m

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
Ⓚ	Rain Bird PEB-PRS-D 25 mm, 40 mm, 50 mm Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module.	4
—	Irrigation Lateral Line: CPVC Schedule 40	223,1 m
---	Irrigation Mainline: PVC Schedule 40	16,7 m



DP 18-829207  
 May 7, 2024  
 Plan # 38

No.	By	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

**REVISIONS TABLE FOR DRAWINGS**

No.	By	Description	Date

**REVISIONS TABLE FOR SHEET**

Project:  
 Office 2  
 Location:  
 2788 Jow Street  
 Richmond, BC

Drawn: AD Stamp:

Checked: MVDZ

Approved: MVDZ Original Sheet Size: 24"x36"

Scale: 1:100

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Drawing #: IR-04  
 DP2018-29  
 NORTH  
 Drawing Title: IRRIGATION PLAN - LEVEL 7  
 VDW Project #: DP2018-29



DP 18-829207  
 May 7, 2024  
 Plan # 39

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
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5	AD	Issued for ADP	July 4, 2019
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2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

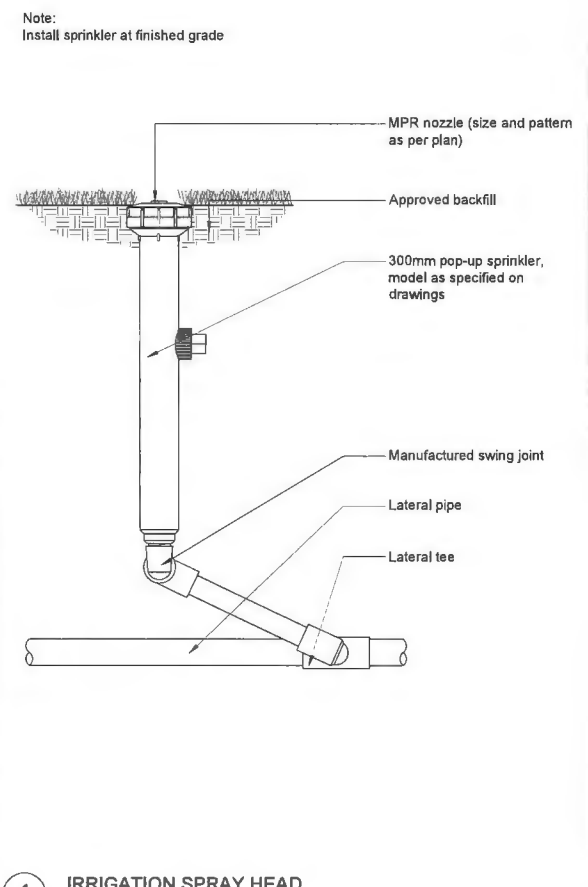
REVISIONS TABLE FOR DRAWINGS  
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No.	By:	Description	Date

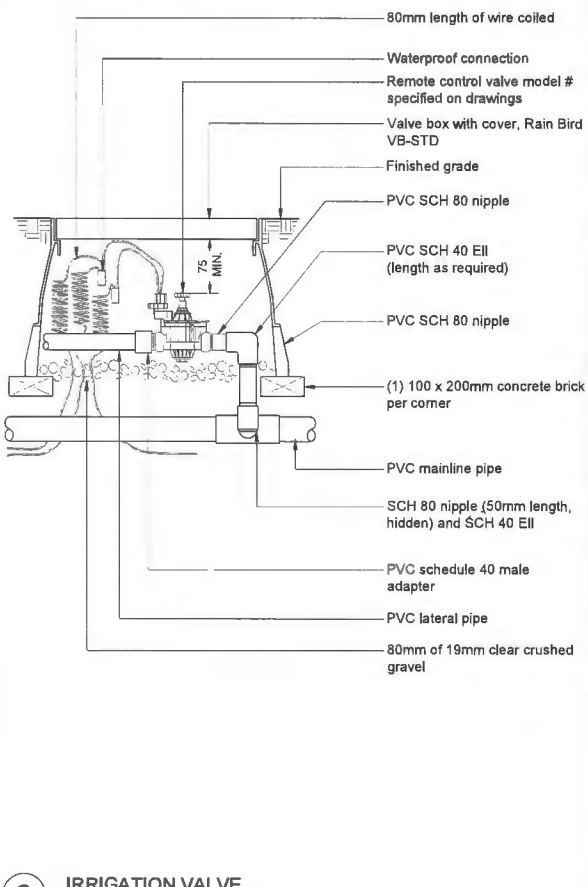
REVISIONS TABLE FOR SHEET

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 Office 2  
 Location:  
 2788 Jow Street  
 Richmond, BC

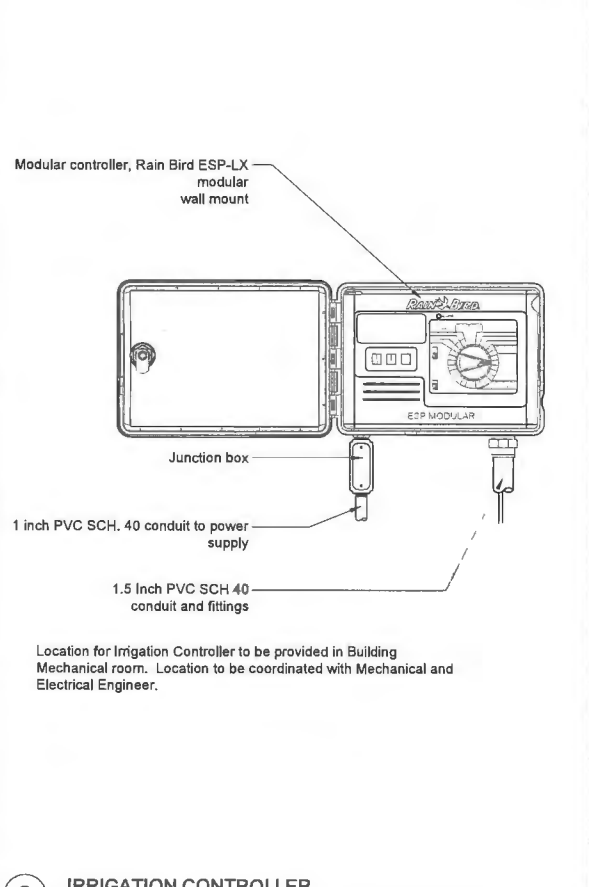
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1 IRRIGATION SPRAY HEAD  
 N.T.S.



2 IRRIGATION VALVE  
 N.T.S.



3 IRRIGATION CONTROLLER  
 N.T.S.

Z:\PROJECTS\DEVELOPMENT PERMIT\ACT\PP\DP18-829207\BECKWITH HONDD\DWG\SHEET\IR-05-IRRIGATION DETAILS.DWG

Drawing Title: IRRIGATION DETAILS

VDZ Project #: DP2018-29

Drawing #: IR-05

# Overall Aerial View



DP 18-829207  
May 7, 2024  
Reference Plan



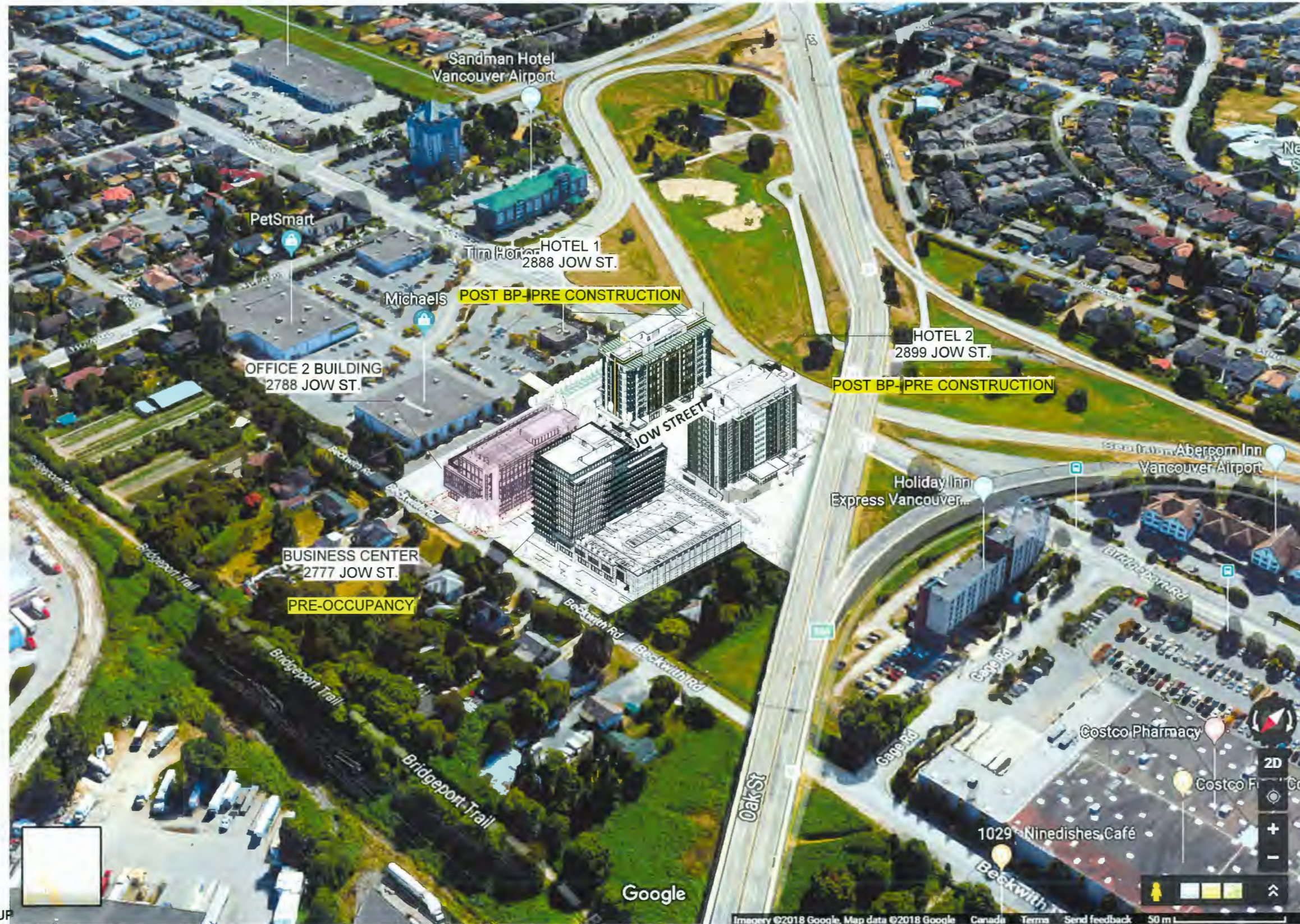
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tel 604 683 8797 fax 604 683 0492  
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**A0.02**

# Project Location in the Neighbourhood



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May 7, 2024  
Reference Plan



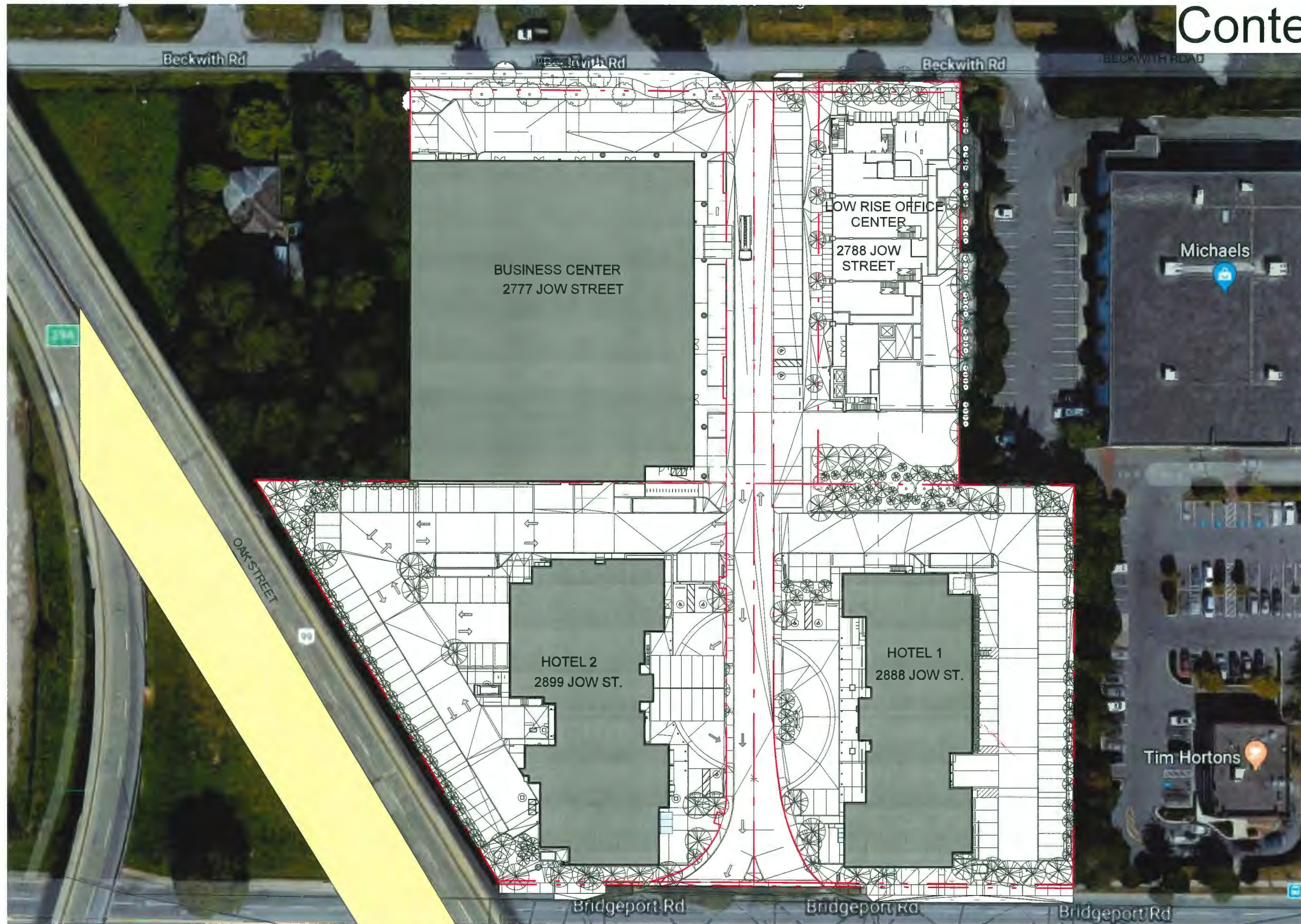
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**A0.14**

# Context Plan



DP 18-829207  
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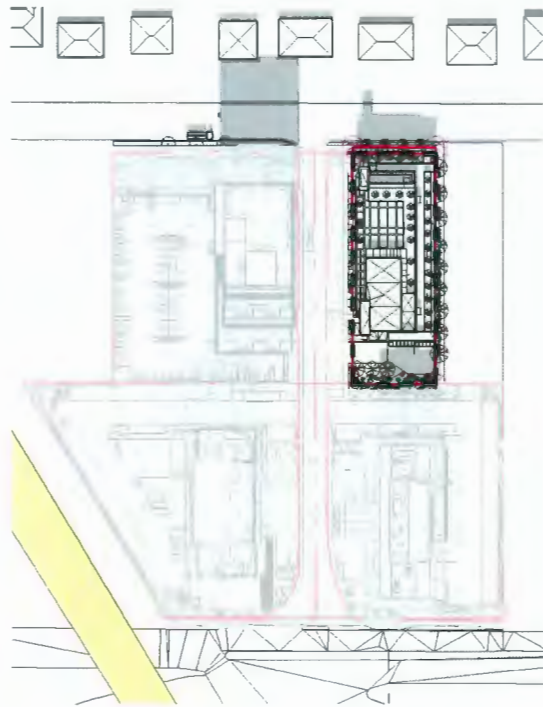


February 27, 2023

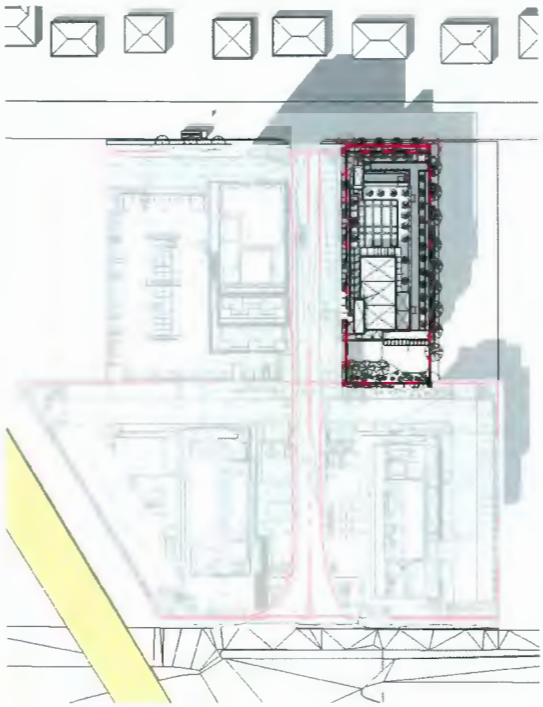
2788 JOW STREET (9520 BECKWITH ROAD)

**A0.07**

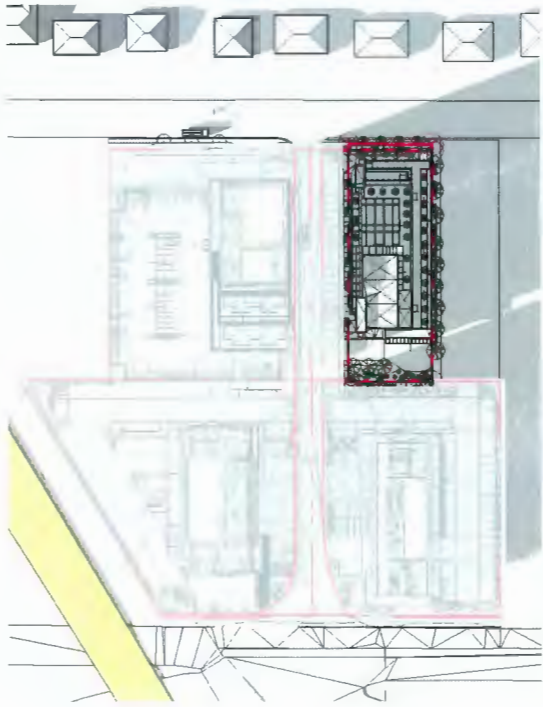
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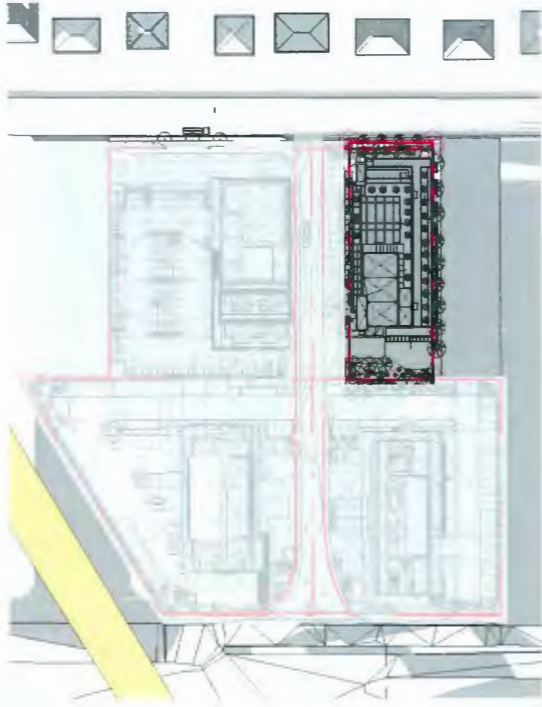
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@ 10am



MARCH 21  
@ 12pm



MARCH 21  
@ 2pm



MARCH 21  
@ 4pm

DP 18-829207  
May 7, 2024  
Reference Plan

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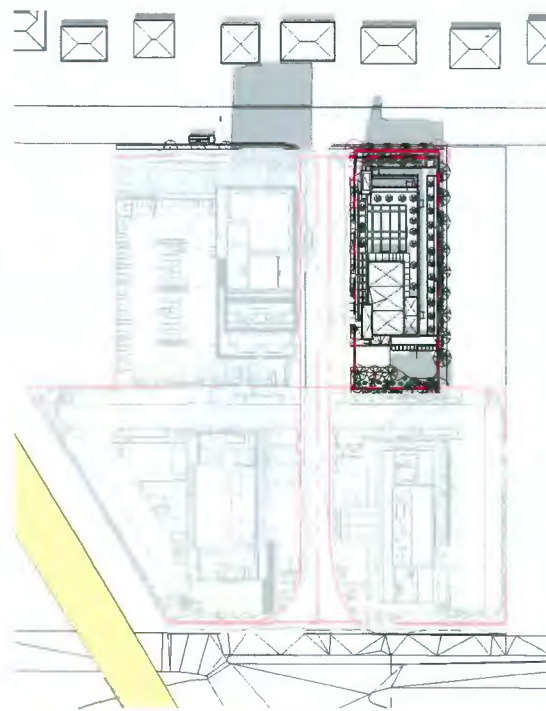


February 27, 2023

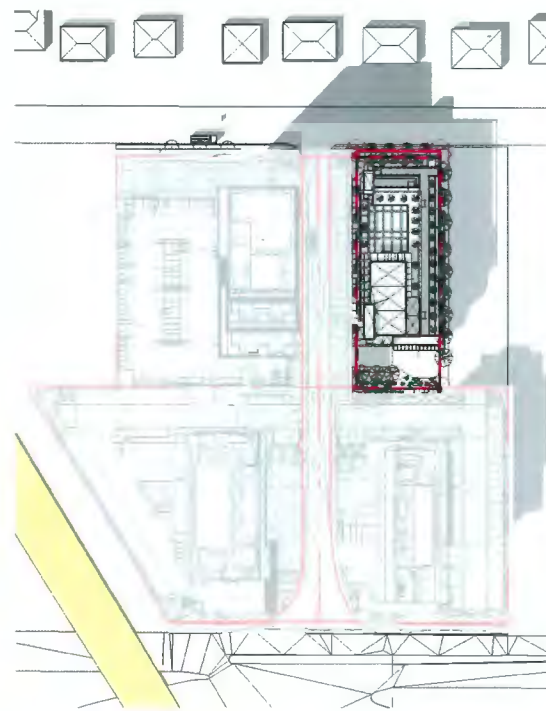
2788 JOW STREET (9520 BECKWITH ROAD)

**A0.11**

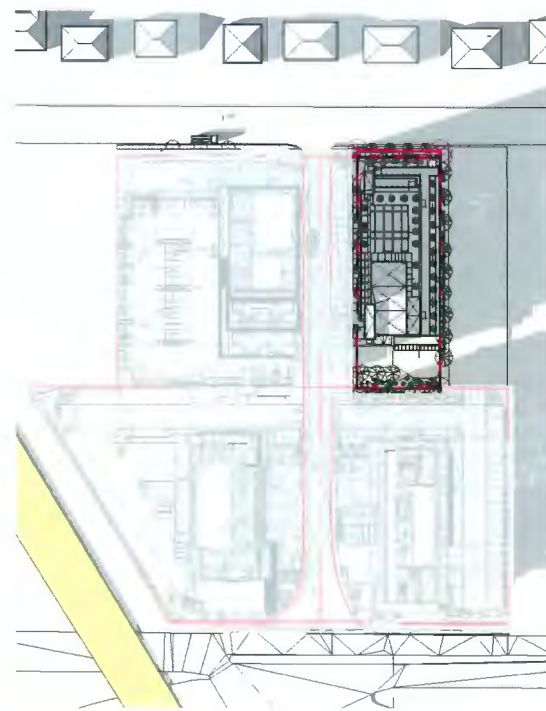
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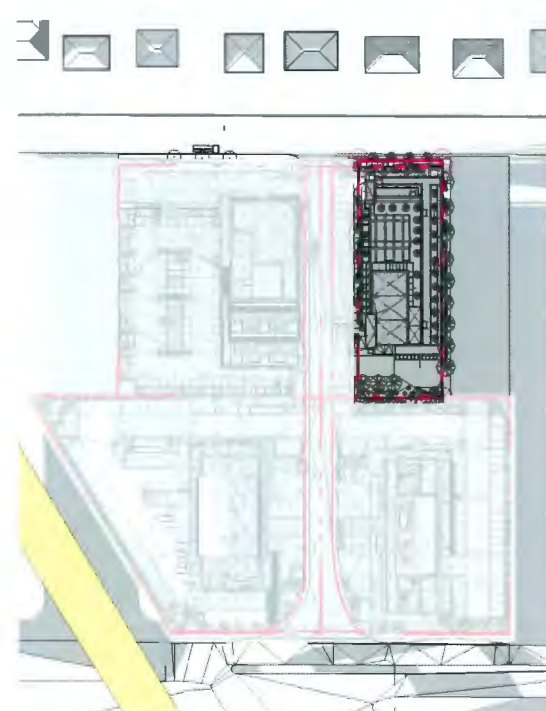
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@ 10am



SEPTEMBER 22  
@ 12pm



SEPTEMBER 22  
@ 2pm



SEPTEMBER 22  
@ 4pm



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**A0.12**



# South-West View



DP 18-829207  
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**A2.06**

# North-West View



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**A2.07**

# South-East View



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**A2.08**

# Aerial View South-West



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**A2.10**

# Aerial from South-West



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February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

**A2.11**

# Aerial View North-East



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## A2.12