

6500 COONEY RD - 6 UNIT TOWNHOUSE DEVELOPMENT

PROJECT SUMMARY

OWNER ADDRESS: 6500 COONEY ROAD, RICHMOND, BC
 LEGAL DESCRIPTION: LOT 20 SECTION 9, BLOCK 40 RANGE 6W HWY PLAN 16292
 LOT SIZE:
 ORIGINAL SITE: 8743.9 SM (374.5 SF)
 ROAD DEDICATIONS: 2.4M ALONG COONEY ROAD, 1.8M ALONG COOK ROAD, 5M X 5M AT SW CORNER
 LANE DEDICATIONS: 6M ALONG EAST PROPERTY LINE
 NET SITE AREA: 632.9 SM (8811.4 SF) (GRANTED SUBDIVISION PLAN APR 2024)

	Current Proposal (2021)	Bylaw Requirement (ETRS)
FAR DENSITY	1.2	1.2 Max
LOT COVERAGE - BUILDING	52.4%	55 % Max
LOT COVERAGE - NON-POROUS	74.1%	75 % Max
LOT COVERAGE - PLANTING	20%	20 % Min
SETBACK - COONEY	3.19 m	3 m Min
SETBACK - COOK	4.6 m	3 m Min
SETBACK - CORNER CUT	3.03 m	3 m Min
SETBACK - LAKE	0.08 m	0 m Min
SETBACK - NORTH INTERIOR SIDE YARD	1.51 m	1.5 m Min
BUILDING HEIGHT	15.43 m & 4-stories	15.0 m & 4-stories Max
LOT WIDTH	20.34 m	20 m Min
LOT DEPTH	31.62 m	30 m Min
LOT AREA	632.9 m ²	600 m ² Min
PARKING		
PARKING REQUIRED	10 (8 Residents + 2 Visitors)	10 (1.25/1st Residents + 0.25/1st Visitor)
TANDEM PARKING	25% (2 out of 8)	50 % Max
BICYCLE PARKING	8 Class 1 + 2 Class 2	8 Class 1 (1.25/1st) + 2 Class 2 (0.25/1st)
ACCESSIBLE PARKING	0	Not required
EY CHARGING	100% of resident parking spaces	10 Level 2, 12th Ey Charging outlets
AMENITY - BIROOR		
AMENITY - BIROOR	Cash-in-lane	50 m ² Min
AMENITY - BIROOR	Cash-in-lane	36 m ² Min
AMENITY - BIROOR	Cash-in-lane	63.1 m ² Min (10% of Net Site Area)
AMENITY - BIROOR	Cash-in-lane	37 m ² Min



AERIAL VIEW OF THE SUBJECT PROPOSAL



VIEW FROM LANE AT COOK ROAD



VIEW OF CHILDREN PLAY AREA

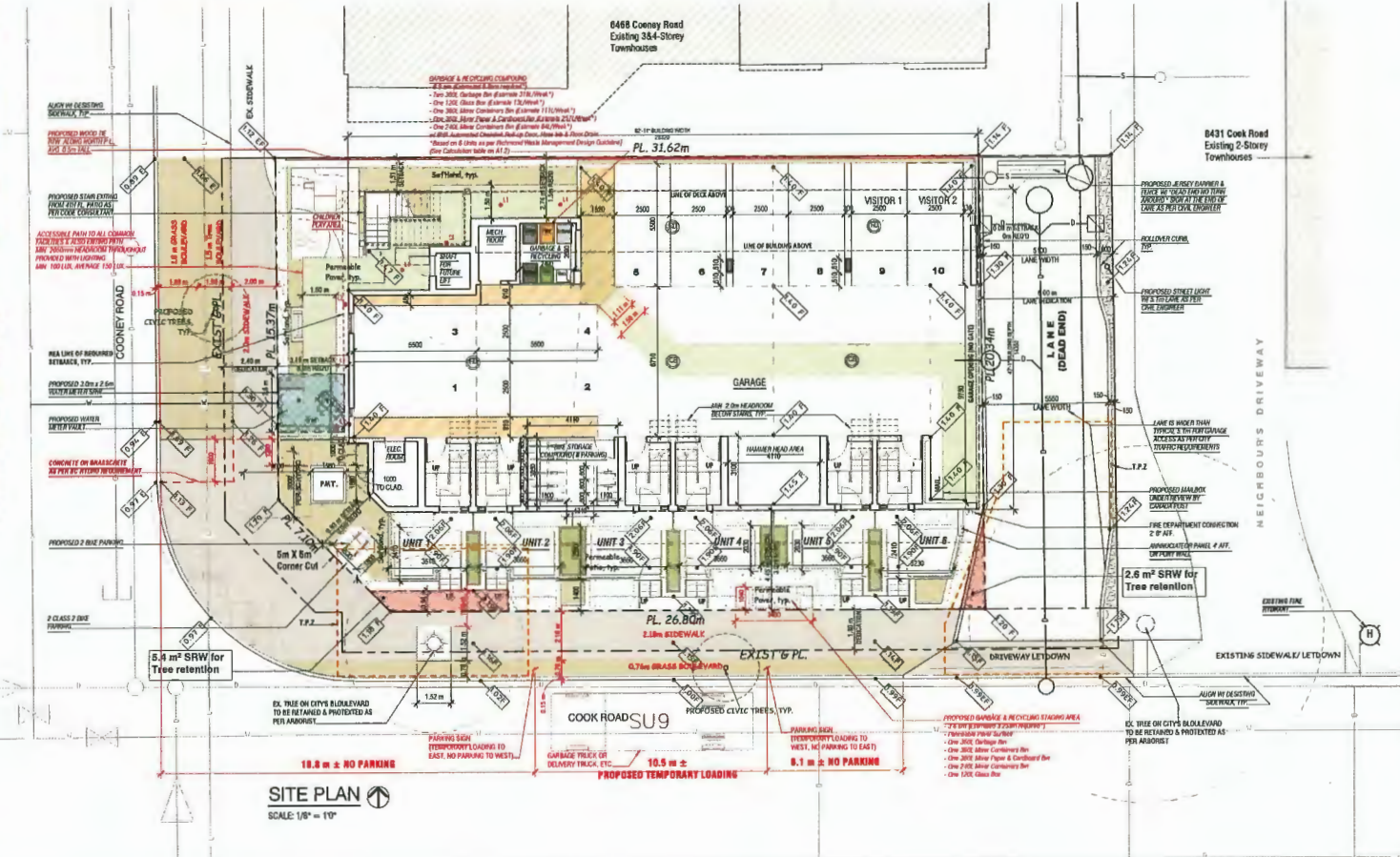


LOCATION PLAN



SITE AERIAL PHOTO

- LEGEND**
- Existing Storm Service
 - Proposed Storm Service
 - Existing Sanitary Service
 - Proposed Sanitary Service
 - Existing Water Service
 - Proposed Water Service
 - Existing Gas Line
 - Existing Street Light Duct
 - Proposed recessed light
 - Proposed wall sconce light



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Project Title
6-UNIT TOWNHOUSE
 6500 Cooney Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

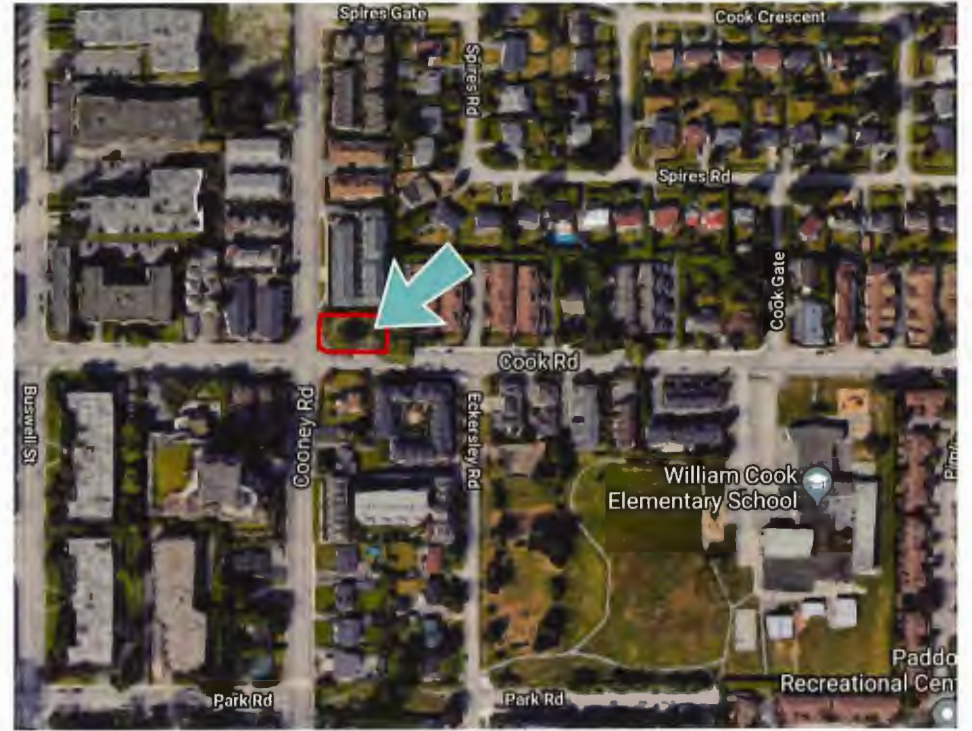
No.	Date	Provision
12	May 8 2024	Issued for DPP
12	May 3 2024	BIP Revision 2
11	Apr 23 2024	DIP Revision 2
10	Jun 12 2023	DIP Revision 1
9	Jun 9 2023	BIP Revision 1
8	Aug 19 2022	Fire fighting updates
7	Jul 29 2022	About to update
6	Jul 9 2022	BIP Submission
5	Jun 21 2022	DIP Updated Set
4	Feb 25 2022	DIP Submission Set
3	Jun 9 2021	Prepping application (Traffic Revision)
2	May 13 2021	Prepping application (Revision)
1	Jan 13 2020	Prepared for Parking Layout

Sheet Title
PROJECT DATA & SITE PLAN

Drawn: **CL**
 Checked: **KK**
 Scale:
 Print date: **May 2, 2024**
 Dwg. no. **A1.0**

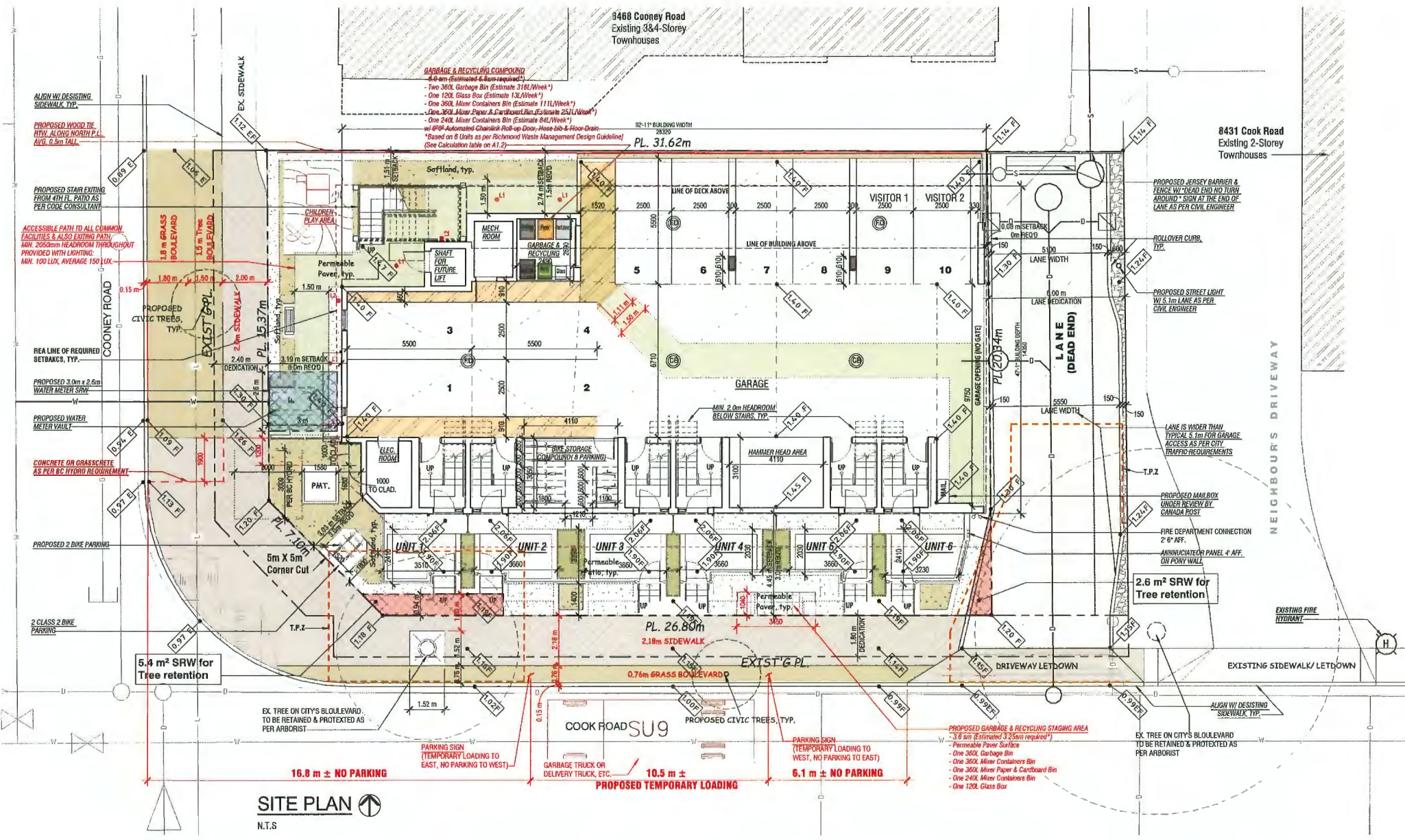


LOCATION PLAN 



SITE AERIAL PHOTO 

 <p>Kenneth Kim Architecture Inc t: 778-379-8918 f: 604-900-0775 e: kkim@kkk.ca 211-2223 West Broadway Vancouver, B.C. V6K 2E4</p>	<p>THIS DRAWING MUST BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LINES PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.</p> <p>COPYRIGHT RESERVED THIS PLAN AND DESIGN ARE AND SHALL REMAIN AT ALL TIMES THE EXCLUSIVE PROPERTY OF KENNETH KIM ARCHITECTURE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.</p>	<p>Project Title</p> <p>6-UNIT TOWNHOUSE</p>	<p>Consultants</p>	<table border="1"> <thead> <tr> <th>No</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>May 8 2024</td> <td>Issued for DPP</td> </tr> </tbody> </table>	No	Date	Revision	1	May 8 2024	Issued for DPP	<p>Sheet Title</p> <p>CONTEXT PLANS</p>	<p>File number:</p> <p>Drawn: CL</p> <p>Checked: KK</p> <p>Print date: May 8, 2024</p>	<p>Scale:</p> <p>Dwg. no.</p> <p>A0.1</p>
		No	Date	Revision									
1	May 8 2024	Issued for DPP											
<p>6500 Cooney Rd (Existing) 8399 Cooney Rd (Proposed) Richmond, BC</p>													



SITE PLAN
N.T.S.

- GARBAGE & RECYCLING COMPOUND**
- 3.0 m (Estimated & 2.5m required)
- Two 360L Garbage Bin (Estimate 318L/Week)
- One 120L Glass Bin (Estimate 13L/Week)
- One 360L Mixer Containers Bin (Estimate 111L/Week)
- One 360L Mixer Paper & Cardboard Bin (Estimate 253L/Week)
- One 240L Mixer Containers Bin (Estimate 84L/Week)
w/ #04 Automated Chainlink Roll-up Door, Hose-bib & Floor-Drain
w/ #04 Automated Waste Management Design Guideline
(See Calculation table on A1.2)

- PROPOSED GARAGE & RECYCLING STAGING AREA**
- 3.0 m (Estimated & 2.5m required)
- Permeable Paver Surface
- One 360L Garbage Bin
- One 360L Mixer Containers Bin
- One 360L Mixer Paper & Cardboard Bin
- One 240L Mixer Containers Bin
- One 120L Glass Bin

ALIGH W/ DESISTING SIDEWALK TYP.

PROPOSED STAIR EXITING FROM 4TH FL. PATIO AS PER CODE CONSULTANT

ACCESSIBLE PATH TO ALL COMMON FACILITIES & ALSO EXITING PATH MIN. 2000mm HEADROOM THROUGHOUT PROVIDED WITH LIGHTING MIN. 100 LUX, AVERAGE 150 LUX

CONCRETE OR GRASCONCRETE AS PER BC HYDRO REQUIREMENT

PROPOSED 2 CLASS 2 BIKE PARKING

5.4 m² SRW for Tree retention

EX. TREE ON CITY'S BOULEVARD. TO BE RETAINED & PROTECTED AS PER ARBORIST

16.8 m ± NO PARKING

PARKING SIGN (TEMPORARY LOADING TO EAST, NO PARKING TO WEST)

GARBAGE TRUCK OR DELIVERY TRUCK, ETC.

10.5 m ± PROPOSED TEMPORARY LOADING

6.1 m ± NO PARKING

PROPOSED JERSEY BARRIER & FENCE WITH DEAD END TO TURN AROUND SIGN AT THE END OF LANE AS PER CIVIL ENGINEER

PROPOSED STREET LIGHT W/ 5.1m LANE AS PER CIVIL ENGINEER

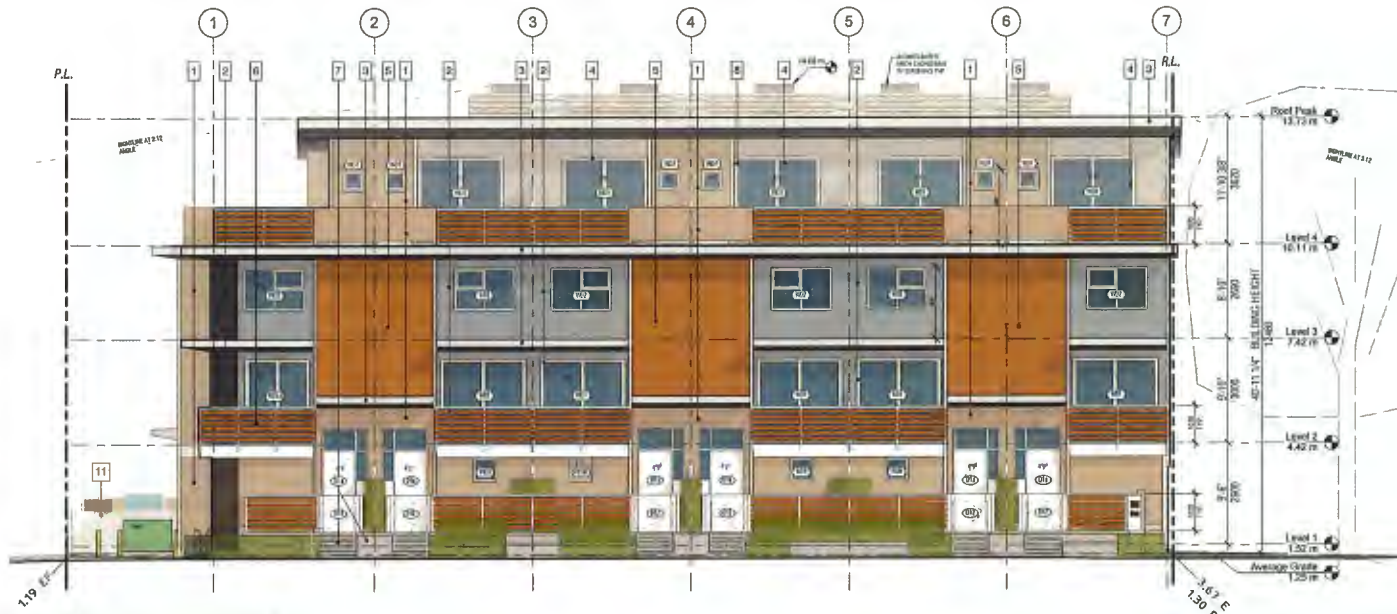
PROPOSED MAIL BOX UNDER REVIEW BY CANADA POST

FIRE DEPARTMENT CONNECTION 2' 0" AFF. ANNUNCIATOR PANEL 4' AFF. ON PONY WALL

EXISTING FIRE HYDRANT

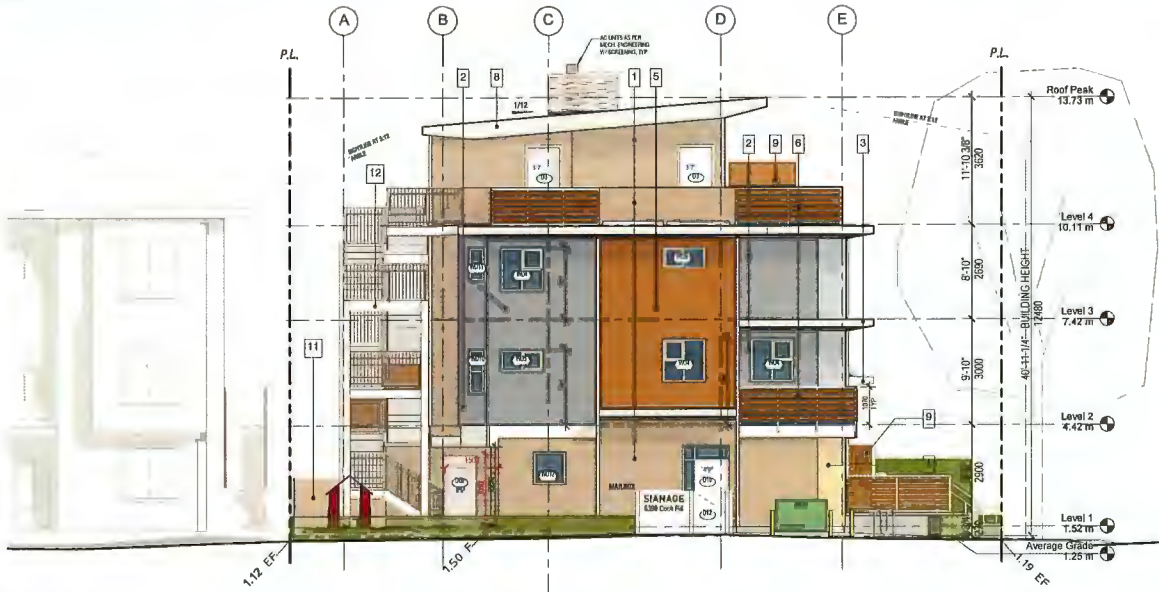
ALIGH W/ DESISTING SIDEWALK TYP.

EX. TREE ON CITY'S BOULEVARD TO BE RETAINED & PROTECTED AS PER ARBORIST



SOUTH ELEVATION (COOK RD)

SCALE: 3/16" = 1"



WEST ELEVATION (COONEY RD)

SCALE: 3/16" = 1"

MATERIALS LEGEND

- 1 Horizontal HardiePlank Siding
COLOUR: Light Brown
- 2 Slapdash Stucco Finish
COLOUR: Slate Gray
- 3 Metal Flashing
COLOUR: Silver/light gray
- 4 Slapdash Stucco Finish
COLOUR: Light Gray
- 5 Horizontal Siding
(Aluminum, Steel or Composite)
(e.g. Longboard® Tongue & Groove)
COLOUR: Simulated Wood
- 6 Alum/Glass Balcony Guards
w/ Decorative Wood Slats (Painted) @
Outside of Glass
COLOUR: Medium Brown
- 7 Concrete- Painted
COLOUR: Light Gray
- 8 Wood Trim/Fascia/Downspout- painted
COLOUR: Ivory White
- 9 Open Trills Privacy Screen
Between Units
COLOUR: Medium Brown
- 11 Wood Painted Privacy Fencing to
Neighbour
COLOUR: Medium Brown
- 12 Exit Stairs
Steel Structure: Silver/light gray
Railing: Light Brown
Tread & Landing: Light Gray



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**6-UNIT
TOWNHOUSE**
6500 Cooney Rd (Existing)
8399 Cooney Rd (Proposed)
Richmond, BC

Sign & Seal

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4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Permitting application (Traffic Revision)
2	May 13 2021	Permitting application (Firewall)
1	Jan 13 2020	Proposed w/ Fire Parking Layout

Sheet Title
**SOUTH & WEST
ELEVATION**

Drawn: **CL**

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Print date: **May 2, 2024**

Dwg. no. **A3.1**



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1	Jan 19 2020	Proposed w/ New Parking Layout

Sheet Title
NORTH & EAST ELEVATION

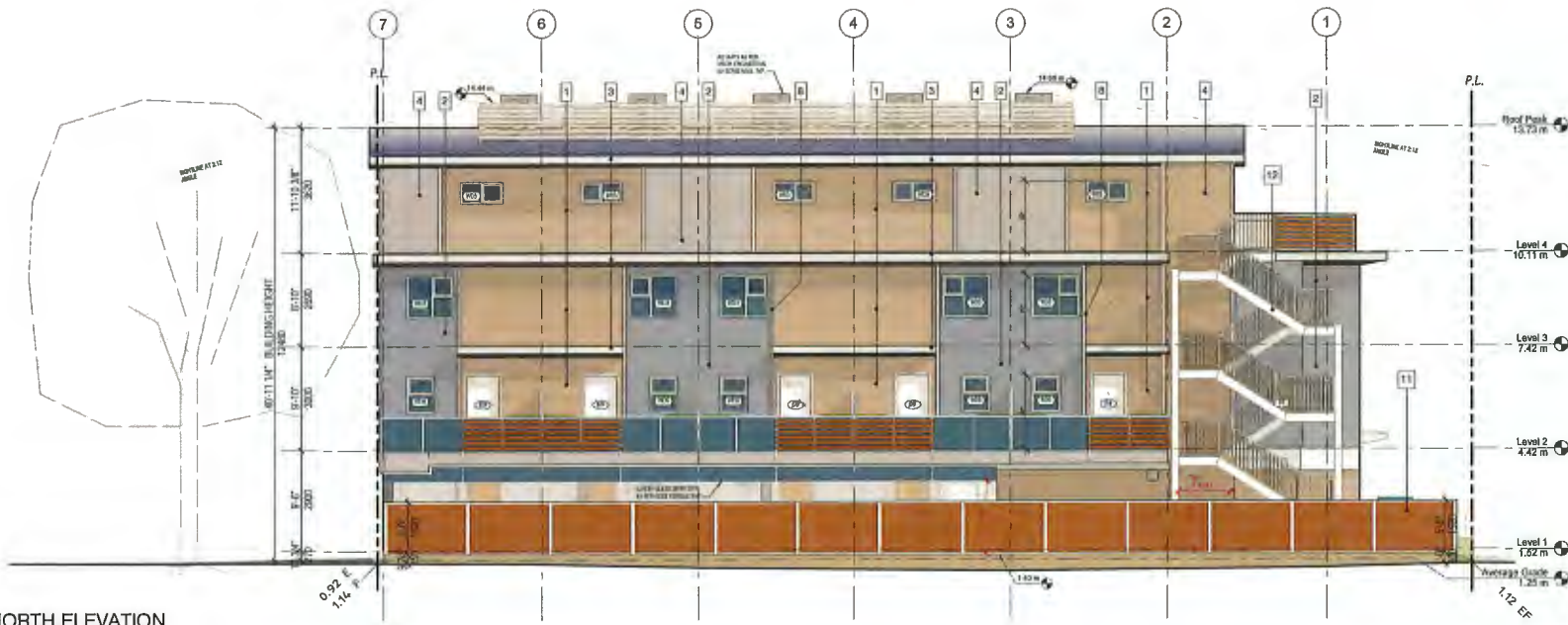
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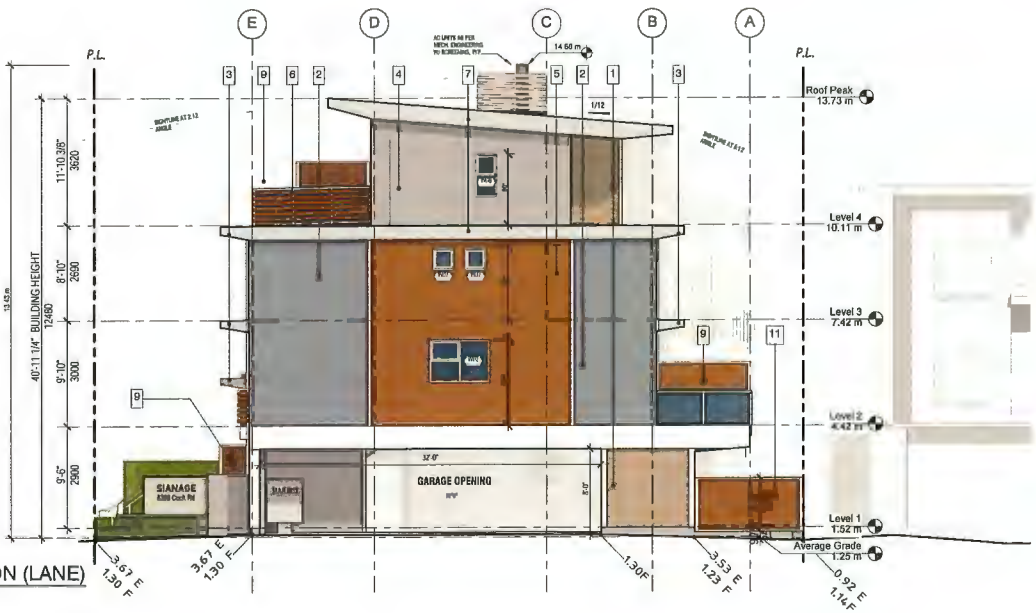
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NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



EAST ELEVATION (LANE)
 SCALE: 3/16" = 1'-0"

MATERIALS LEGEND

- Horizontal HardiePlank Sliding
 COLOUR: Light Brown
- Slapdash Stucco Finish
 COLOUR: Slate Gray
- Metal Flashing
 COLOUR: Silver/light gray
- Slapdash Stucco Finish
 COLOUR: Light Gray
- Horizontal Sliding
 (Aluminum, Steel or Composite)
 (e.g. Longboard® Tongue & Groove)
 COLOUR: Simulated Wood
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 COLOUR: Ivory White
- Open Trellis Privacy Screen
 Between Units
 COLOUR: Medium Brown
- Wood Painted Privacy Fencing to
 Neighbour
 COLOUR: Medium Brown
- Exit Stairs
 Steel Structure: Silver/light gray
 Railing: Light Brown
 Tread & Landing: Light Gray



Aerial View of the Project



View from Cooney Rd



View from Cooney Rd & Cook Rd Intersection



View from Cook Rd



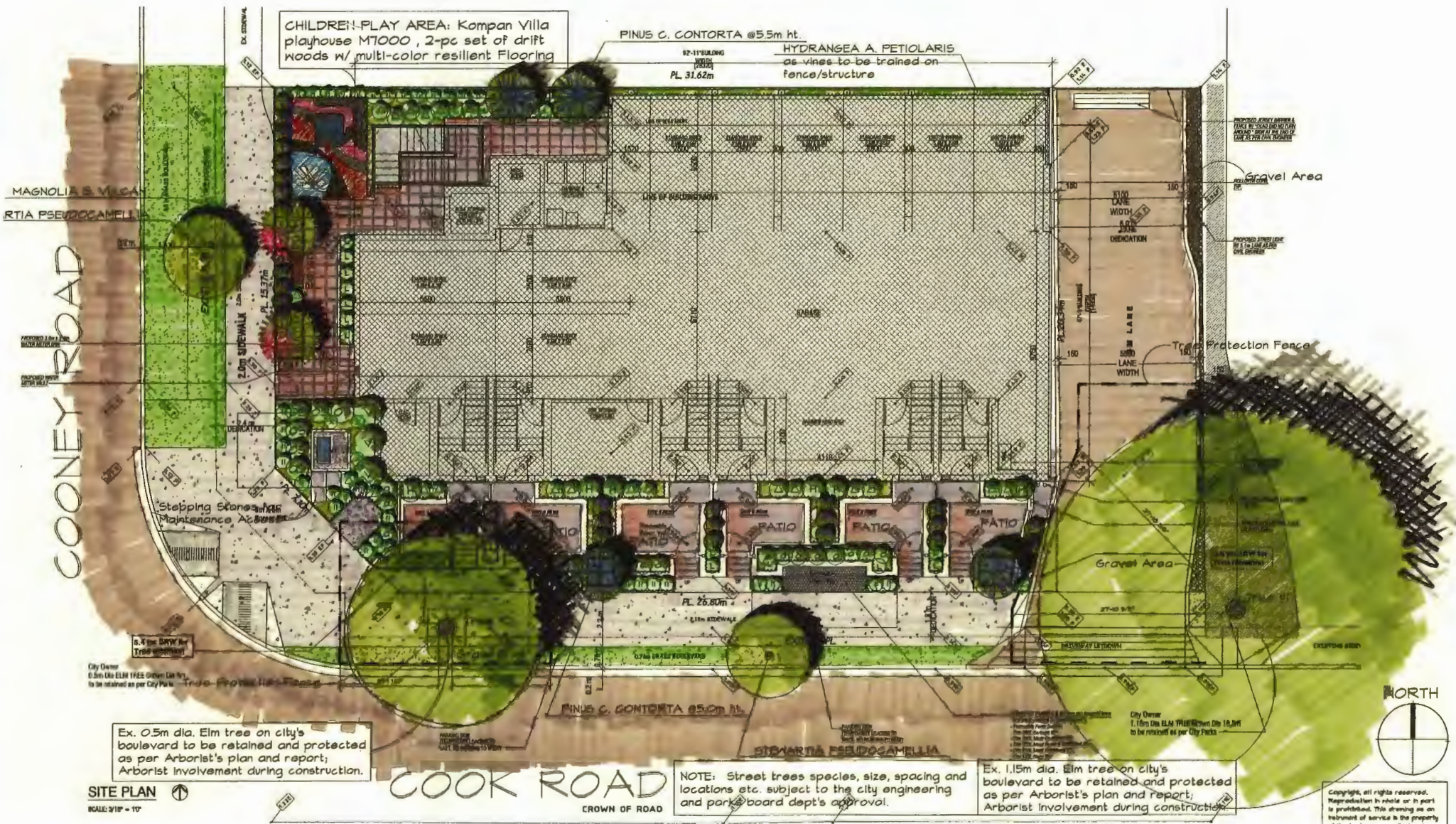
View from Lane at Cook Rd



View from North side of Project



View of Children Play Area



CHILDREN-PLAY AREA: Kompan Villa playhouse M7000, 2-pc set of drift woods w/ multi-color resilient Flooring

PINUS C. CONTORTA @ 5.5m ht.
 92'-11" BUILDING
 PL. 31.62m
 HYDRANGEA A. PETIOLARIS
 as vines to be trained on fence/structure

MAGNOLIA S. VILCA
 RTIA PSEUDOCAMELLIA

COONEY ROAD

Stepping Stones
 Maintenance Access

PROPOSED STREET SERVICE LANE
 10' WIDE (12' WIDE) SIDEWALK
 12' WIDE (14' WIDE) SIDEWALK
 18' WIDE (20' WIDE) SIDEWALK

Gravel Area

PROPOSED STREET SERVICE LANE
 10' WIDE (12' WIDE) SIDEWALK
 12' WIDE (14' WIDE) SIDEWALK
 18' WIDE (20' WIDE) SIDEWALK

Protection Fence

Gravel Area

City Owner
 8.5m Dia ELM TREE Crown Dia 10.1m
 to be retained as per City Parks Dept

City Owner
 1.15m Dia ELM TREE Crown Dia 10.1m
 to be retained as per City Parks Dept

Ex. 0.5m dia. Elm tree on city's boulevard to be retained and protected as per Arborist's plan and report; Arborist involvement during construction.

NOTE: Street trees species, size, spacing and locations etc. subject to the city engineering and parks board dept's approval.

Ex. 1.15m dia. Elm tree on city's boulevard to be retained and protected as per Arborist's plan and report; Arborist involvement during construction.


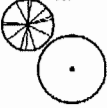



SITE PLAN
 SCALE: 3/16" = 1'

COOK ROAD
 CROWN OF ROAD

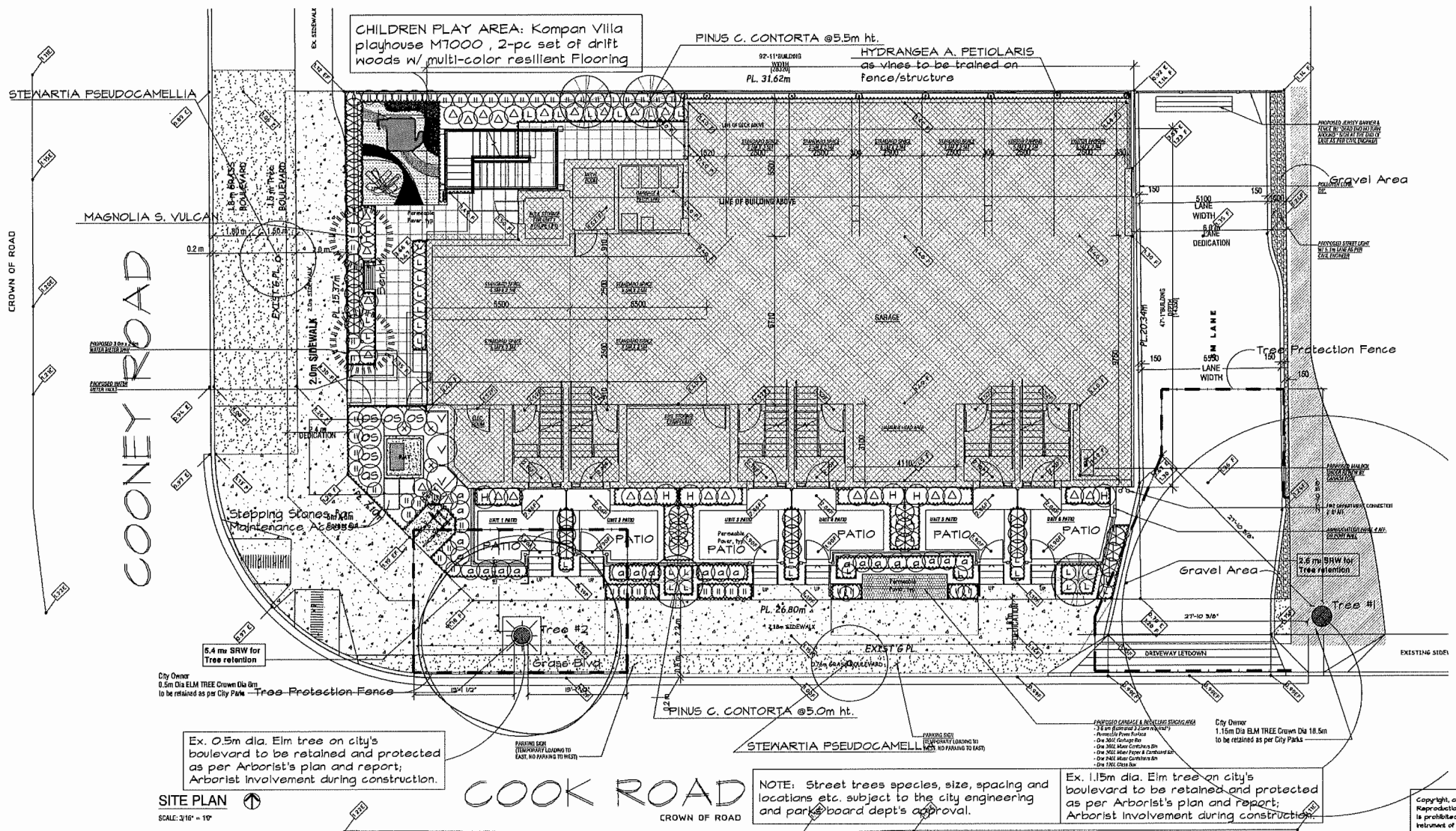


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APPENDIX 1: PLANT LIST & LANDSCAPE PLAN (LINE DRAWING)

P L A N T L I S T				Project No. 220102.KIM Updated @2024-04-18
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTED SIZE
	2	MAGNOLIA S. VULCAN	Vulcan Sav. Magnolia	3 @B&B 6cm cal., 1.75m std.
	4	PINUS CONTORTA CONTORTA	Shore Pine	B&B 5.5m+ ht.
	2	STEWARTIA PSEUDOCAMELLIA	Japanese Stewartia	B&B 5.0m+ ht. B&B 9cm cal., 1.75m std.
a	20	ABELIA EDWARD GOUCHER	Dwarf Abelia	#2 pot 40cm ht.
H	6	HYDRANGEA SERRATA BLUE BIRD	Blue Bird Hydrangea	#5 pot 50cm ht.
L	44	LAVANDULA SPICA MUNSTEAD	English Lavender	#1 pot heavy
OS	6	OSMAREA BURKWOODII	Burkwood Osmaria	#3 pot 60cm ht.
	55	LEUCOTHOE AXEL	Cherry Laurel	#2 pot 30cm ht.
△	28	RHODODENDRON DWARF (Hyb. TBD)	Dwarf Rhododendron	#2 pot 35cm ht.
Allowed	6	ROSA MEIDI BONICA/RED SEVILLENA	Meldiland Rose	#2 pot 35cm ht.
	31	TAXUS MEDIA HICKSII	Hick's Yew	B&B 1.5m+ ht.
V	3	VIBURNUM BURKWOODII	Burkwood Viburnum	#3 pot 60cm ht., bushy
	8	HYDRANGEA A. PETIOLARIS	Climbing Hydrangea	#3 pot Stkd., Heavy

- NOTE:
1. All plant materials shall meet or exceed BCSLA/BCLNA Standard.
 2. All grass areas shall be sodded unless otherwise indicated.
 3. "Hyb. TBD" denotes hybrids to be determined at the nursery during plant material inspection.
 4. For all other requirements, see Landscape Specifications & Details on 8.5"x11" sheets.
(Spec. is to be included for tendering & construction use)



SITE PLAN
SCALE: 3/16" = 1'

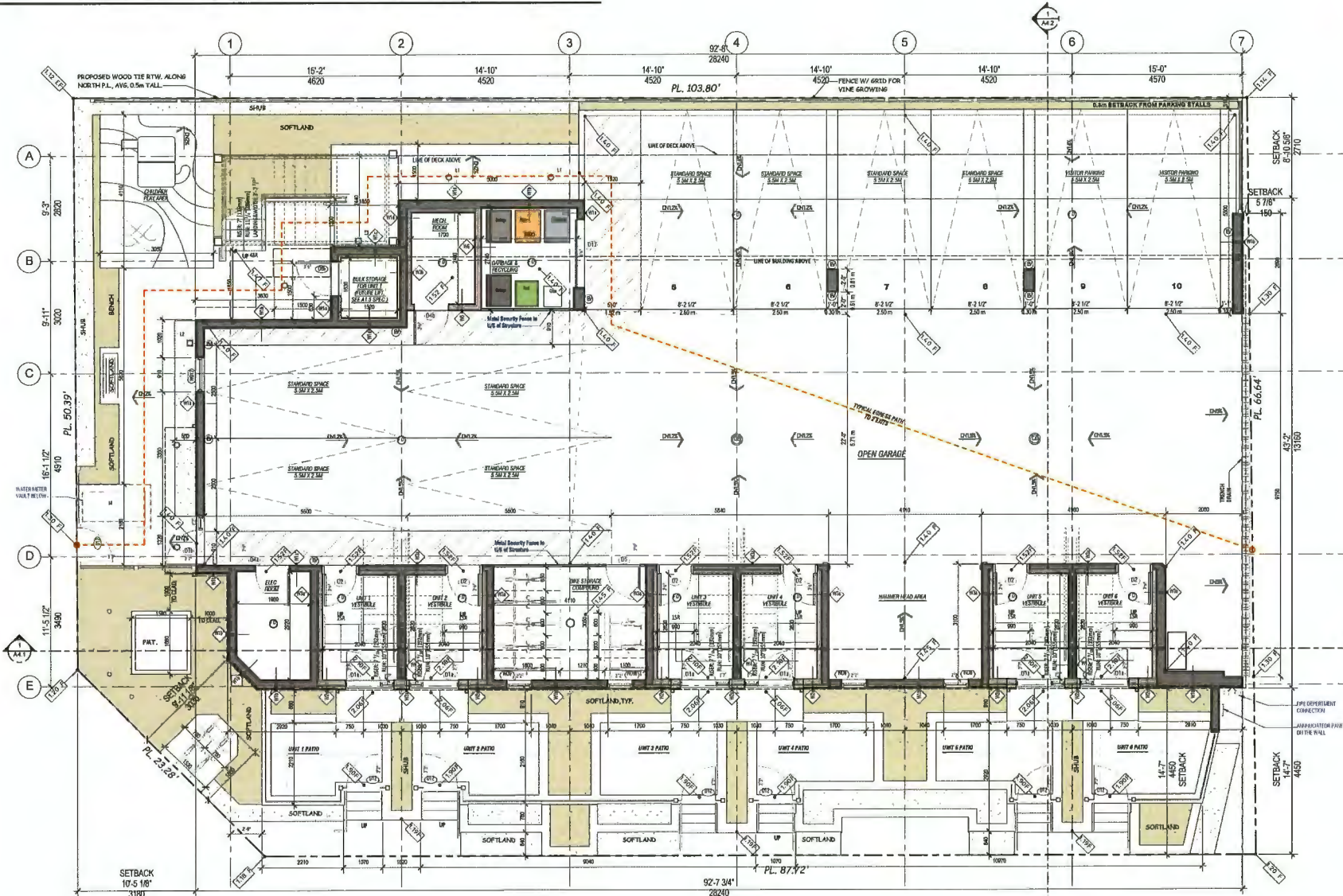
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CROWN OF ROAD

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APPENDIX 2: FLOOR PLANS & SECTIONS



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

- ⊙ LEVEL 2 EV CHARGING OUTLET, 12KW, 1 FOR EACH PARKING SPACE
- ⊙ PROPOSED RECESSED LIGHT
- ⊙ PROPOSED WALL SCONCE LIGHT



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5	Jun 21 2022	DIP Updated Set
4	Feb 29 2022	DIP Submission Set
3	Jun 9 2021	Receiving application (Traffic Reduction)
2	May 13 2021	Receiving application (Access)
1	Jan 13 2020	Propositor's New Parking Layout

Sheet Title
FIRST FLOOR PLAN

Drawn: **CL**

Checked: **KK**

Scale:

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Dwg. no.
A2.1



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1	Jan 13 2020	Proposed site have Parking Layout

Sheet Title
**SECOND FLOOR
 PLAN**

Drawn: **CL**

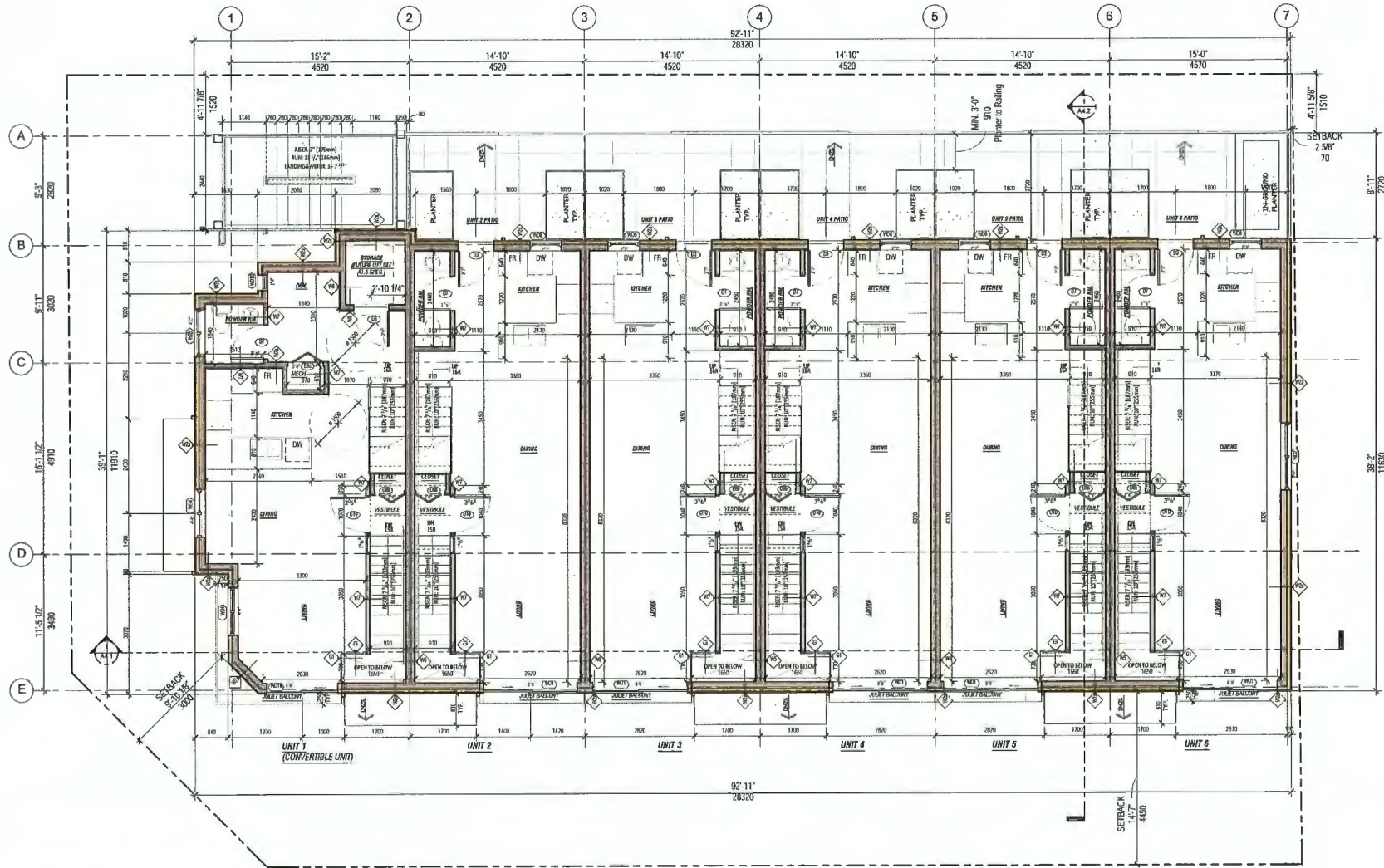
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Dwg. no.

A2.2



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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THIRD FLOOR PLAN

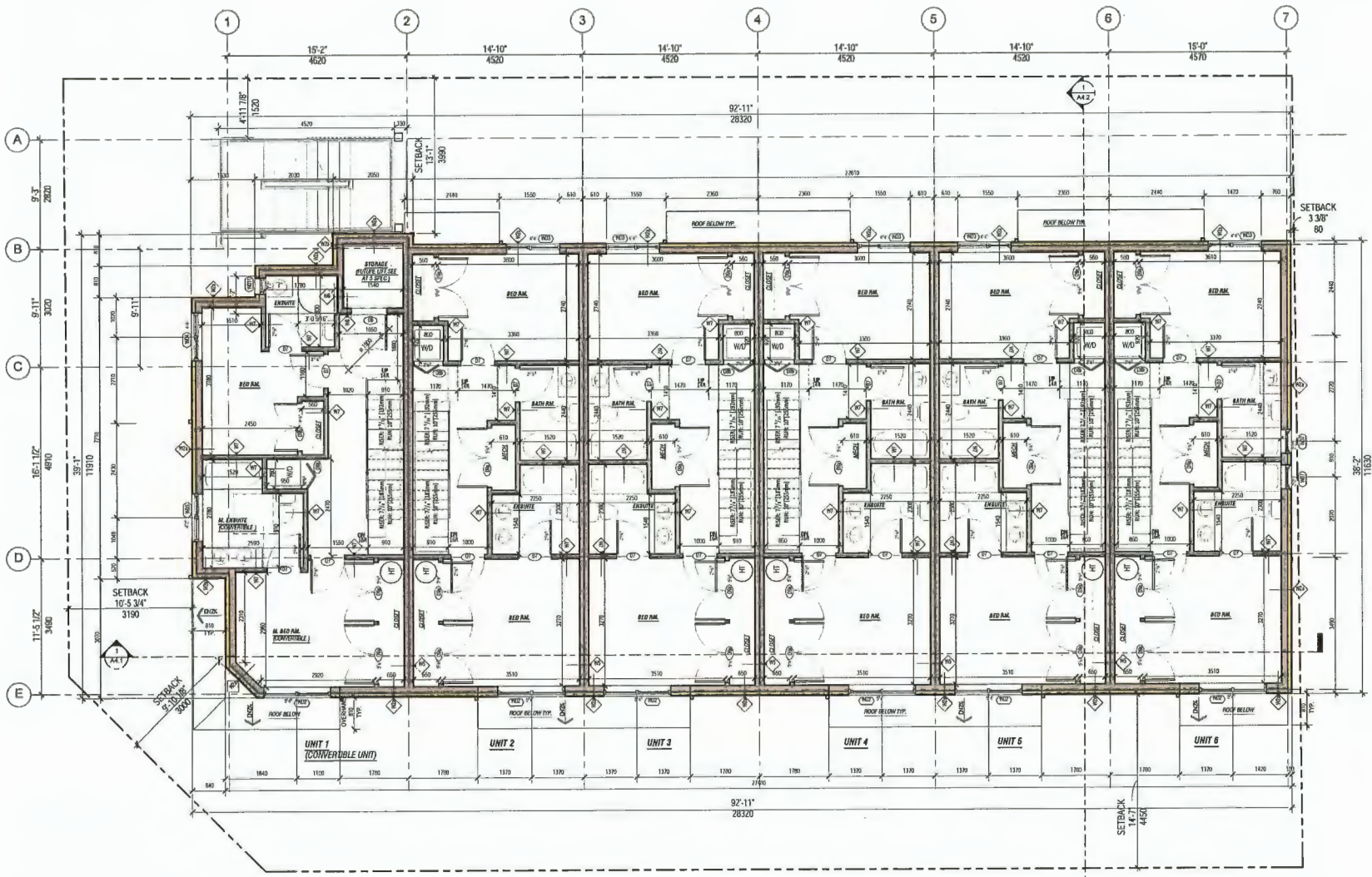
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Dwg. no.
A2.3



THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"





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 e: kenneth@kkai.ca
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Project Title
**6-UNIT
 TOWNHOUSE**
 6500 Conney Rd (Existing)
 8399 Conney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 9 2024	Issued for ODP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire lighting update
7	Jul 29 2022	Abolish update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Resolving application (Traffic Revision)
2	May 13 2021	Resolving application (Revised)
1	Jun 13 2020	Proposed w/ New Parking Layout

Sheet Title
**FOURTH FLOOR
 PLAN**

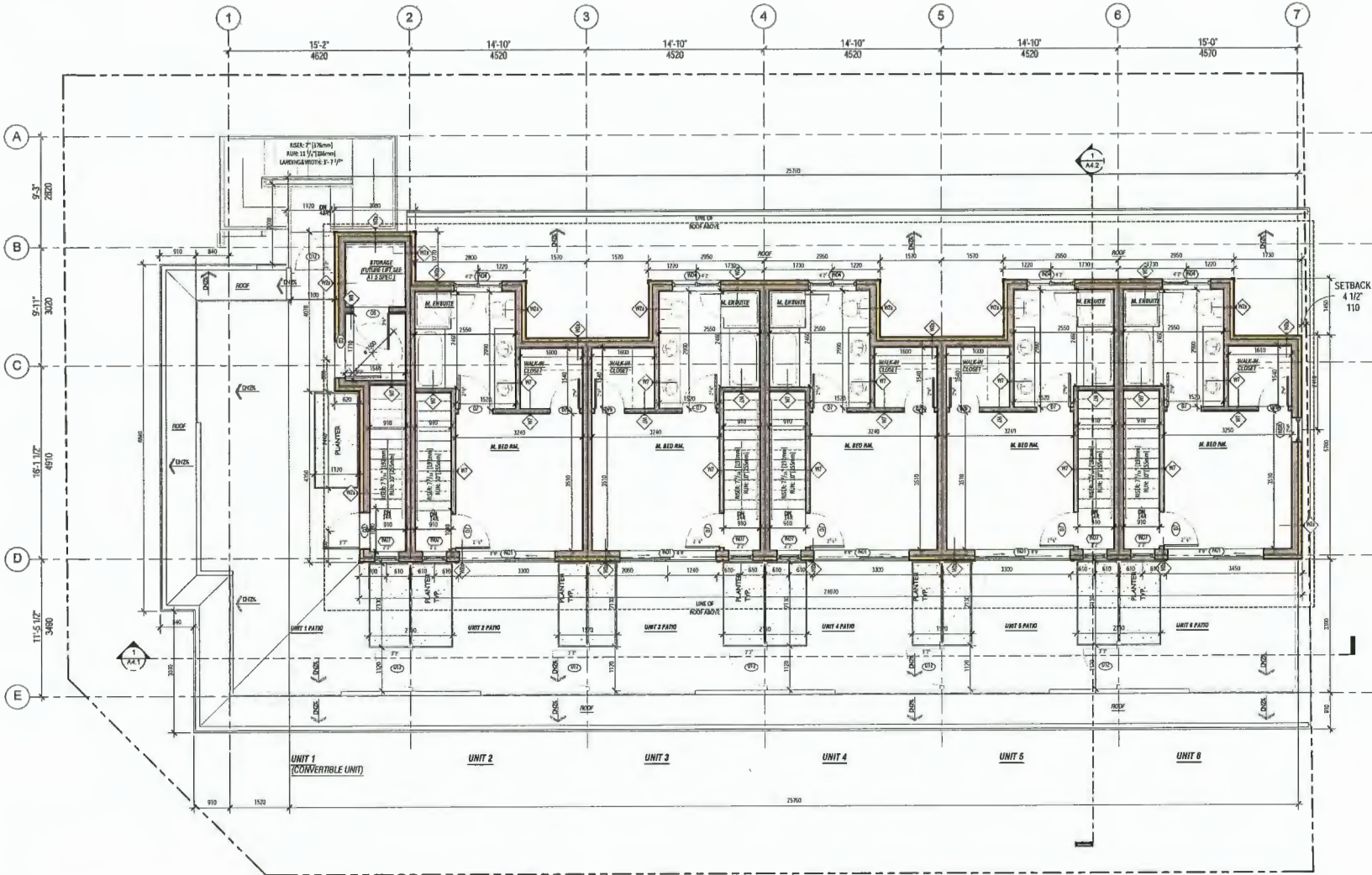
Drawn: **CL**

Checked: **KK**

Scale:

Print date: **May 2, 2024**

Dwg. no.
A2.4



FOURTH FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 778-378-8918 / 1 604-600-0775
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 211-293 West Broadway
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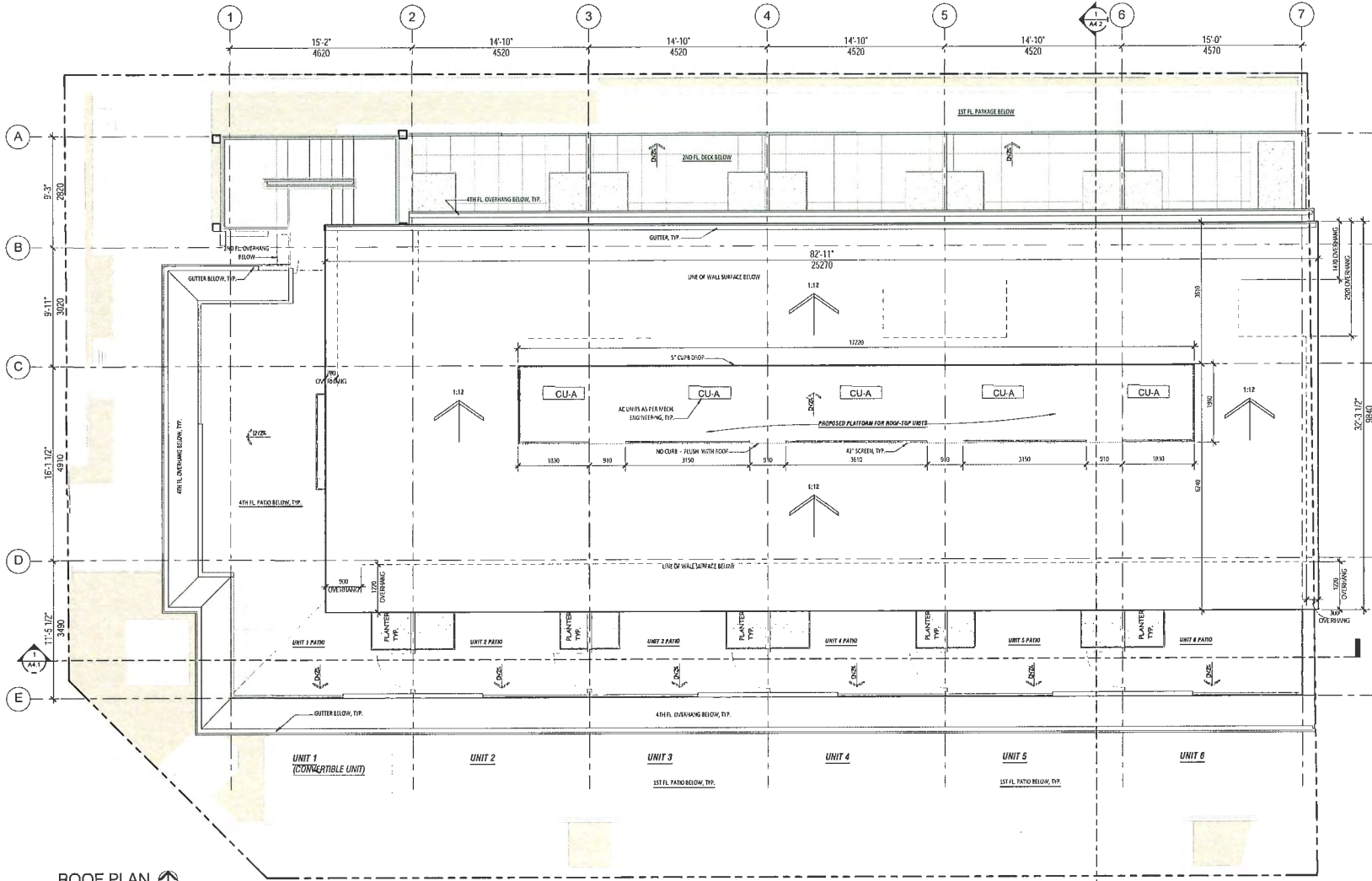
Project Title
6-UNIT TOWNHOUSE
 6500 Conney Rd (Existing)
 8399 Conney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 8 2024	Issued for DPP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abomit update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Revising approval (Final Revision)
2	May 13 2021	Revising approval (Revised)
1	Jan 13 2020	Proposed w/ Fire Ratings Layout

Sheet Title
ROOF PLAN

Drawn: **CL**
 Checked: **KK**
 Scale:
 Print date: **May 2, 2024**
 Dwg. no. **A2.5**



ROOF PLAN
 SCALE 1/4" = 10"

NOTE: ALL ROOF COVERING MATERIALS SHALL BE CLASS A, B, OR C AS PER CAN/ULC-S107- *FIRE TEST OF ROOF COVERINGS*



1 778.579-8218 / 1 604-600-0775
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Project Title
**6-UNIT
 TOWNHOUSE**
 6500 Cooney Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 6 2024	Issued for OHP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 25 2022	Abort update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Planning application (Final Revision)
2	May 13 2021	Planning application (Revised)
1	Jan 13 2020	Preparation of Final Parking Layout

Sheet Title
**LONGITUDINAL
 SECTION 1**

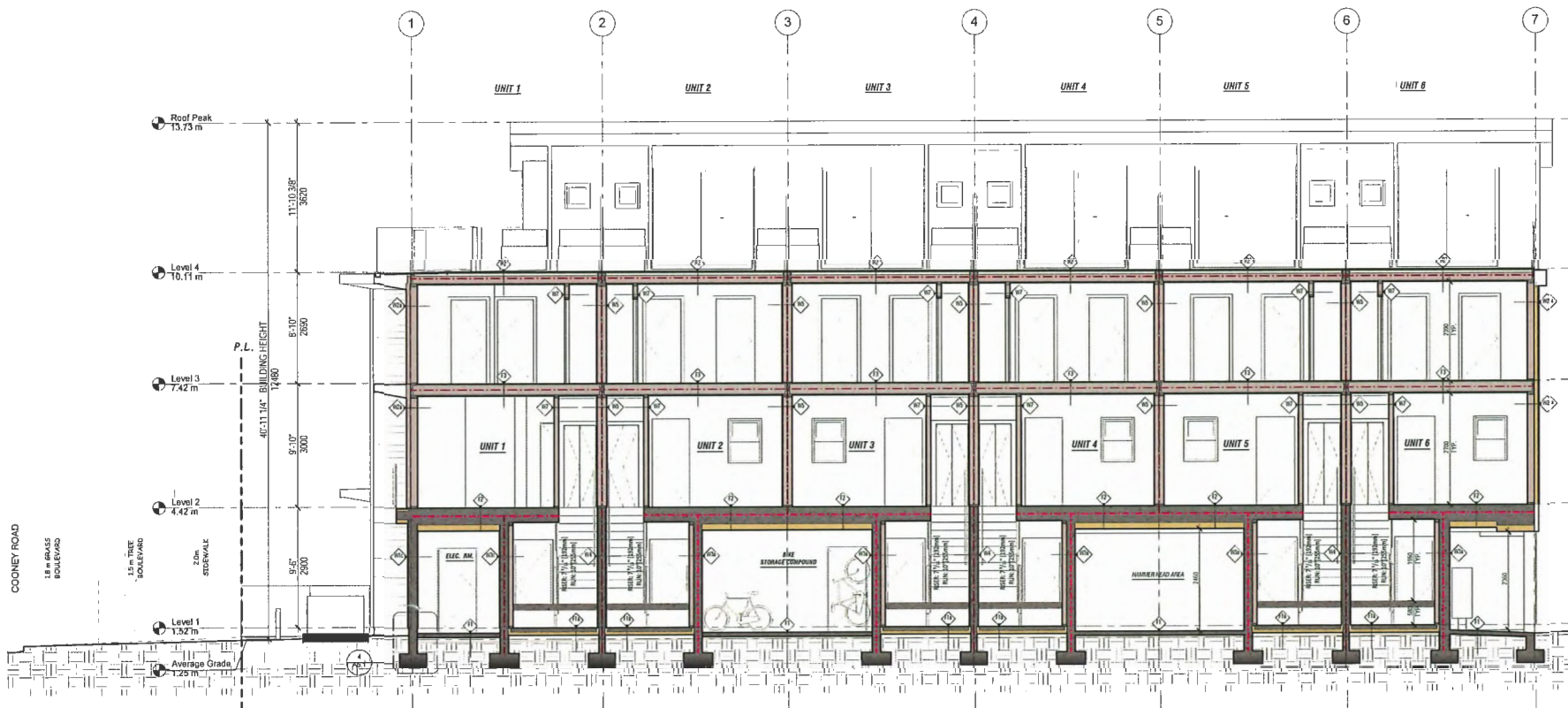
Drawn: **CY**

Checked: **KK**

Scale:

Print date: **May 2, 2024**

Dwg. no.
A4.1



LONGITUDINAL SECTION 1

SCALE: 1/4" = 1'-0"

--- 1 5/8" FRP Separation
 --- 1 3/4" FRP Separation

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Project Title
**6-UNIT
 TOWNHOUSE**
 6500 Conroy Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 8 2024	Issued for DPP
12	May 3 2024	BP Revis on 2
11	Apr 23 2024	BP Revis on 2
10	Jun 12 2023	BP Revis on 1
9	Jun 9 2023	BP Revis on 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abstract update
6	Jul 6 2022	BP Submission
5	Jun 21 2022	CP Updated Set
4	Feb 25 2022	CP Submission Set
3	Jun 9 2021	Prezoning application (Chief's Review)
2	May 13 2021	Rezonng app'cation (Review)
1	Jan 13 2020	Proposed New Parking Layout

Sheet Title
CROSS SECTION 1

Drawn: **CL**

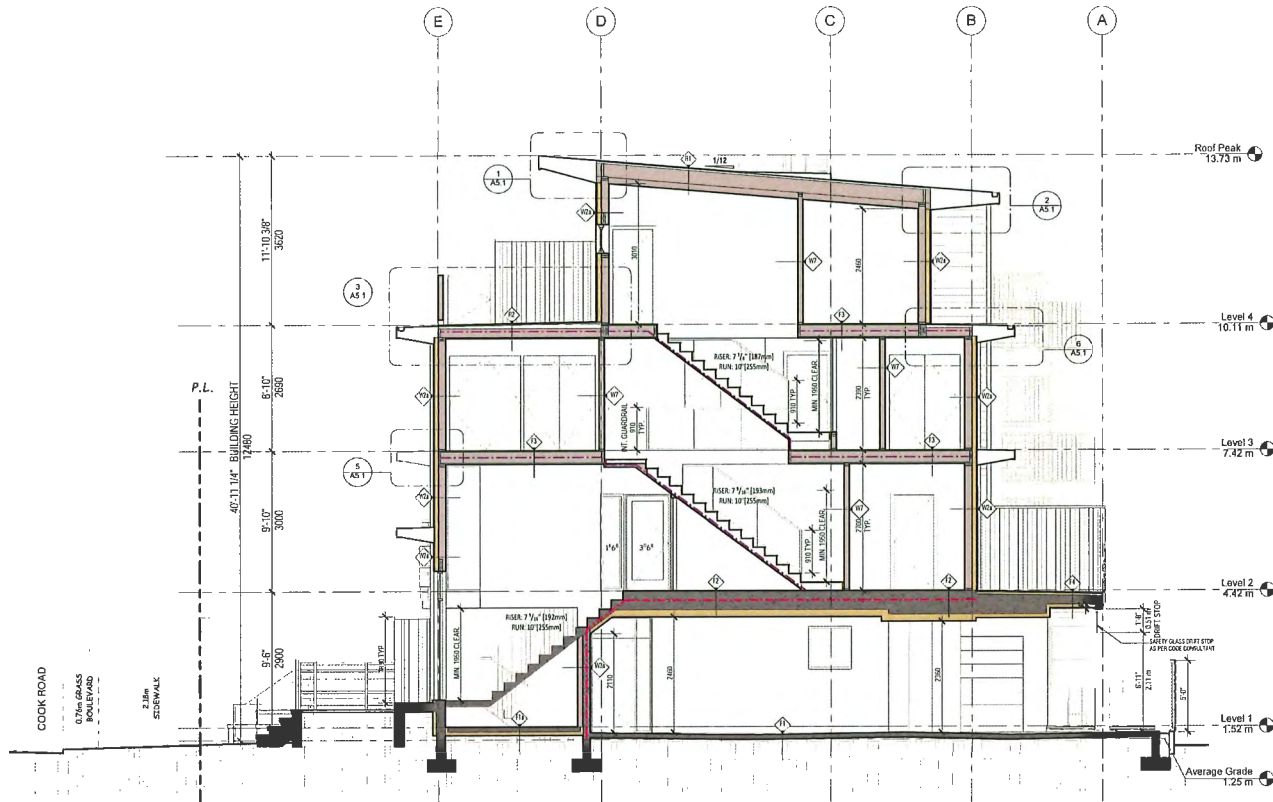
Checked: **KK**

Scale:

Print date: **May 2, 2024**

Dwg. no.

A4.2



CROSS SECTION 1

SCALE: 1/4" = 1'-0"

— 1.5m RFR Spurion
 - - - 1.0m RFR Spurion

APPENDIX 3: SHADOW ANALYSIS



SPRING/FALL EQUINOX 10AM



SPRING/FALL EQUINOX 2PM



SUMMER SOLSTICE 10AM



SUMMER SOLSTICE 2PM

SHADOW ANALYSIS 
SCALE= 1:300



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Project Title
**6-UNIT
 TOWNHOUSE**
 6500 Conney Rd (Existing)
 6399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 8 2024	Issued for DPP
12	May 3 2024	BP Revision 2
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6	Jul 5 2022	BP Submission
5	Jan 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Precedent Application (Traffic Revision)
2	May 13 2021	Precedent Application (Revised)
1	Jan 13 2020	Proposed Site Parking Layout

Sheet Title
SHADOW ANALYSIS

Drawn: **CL**

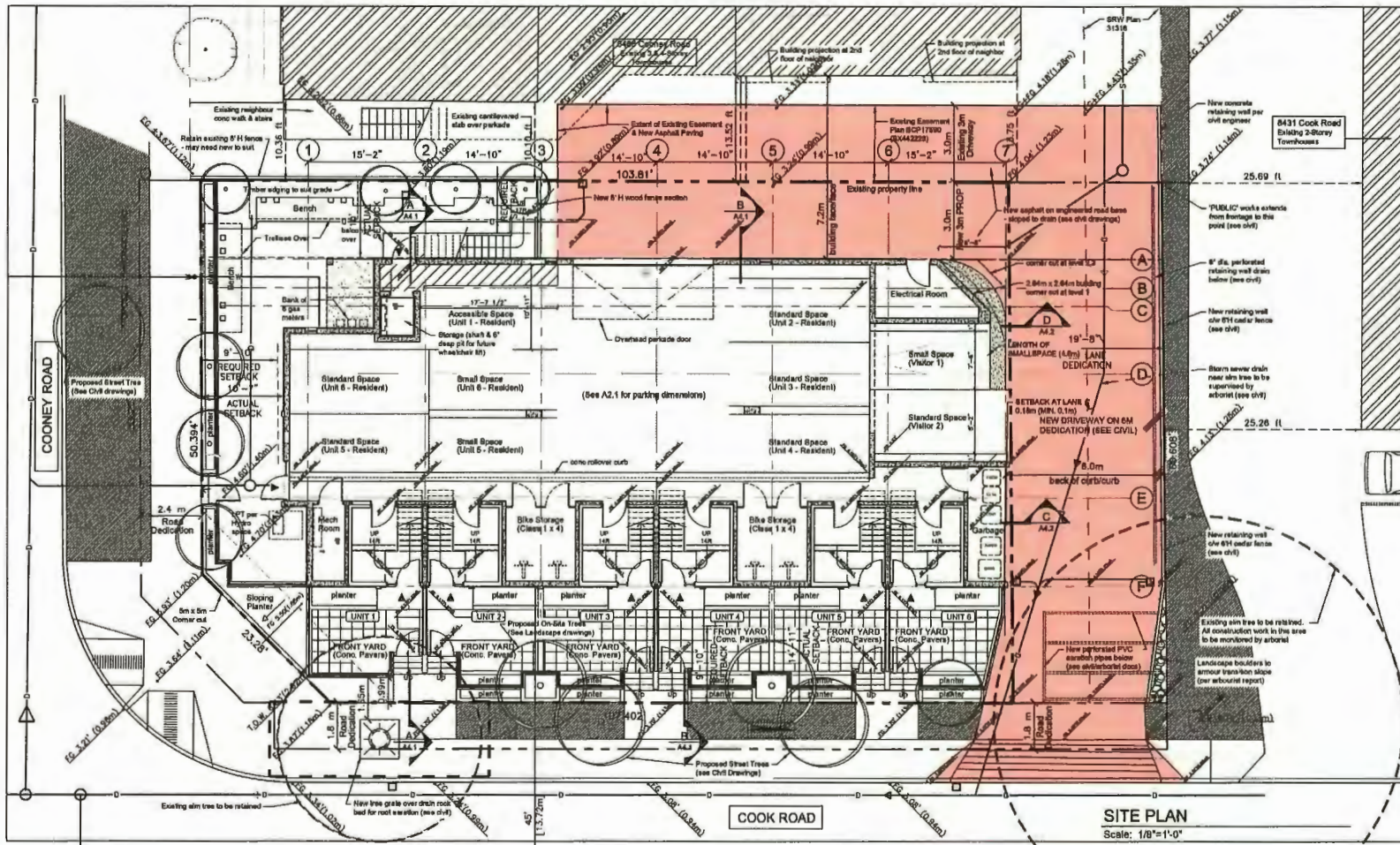
Checked: **KK**

Scale:

Print date: **May 2, 2024**

Dwg. no.
A1.4

APPENDIX 4: THE ORIGINAL OF CURRENT PROPOSAL



OLD SITE PLAN

N.T.S



NOTE: This page is only a reference to help explain the background of this project.

<p>Kenneth Kim Architecture Inc t: 778-379-9918 f: 604-800-0775 e: kkimrth@khal.ca 211-2223 West Broadway Vancouver, B.C. V6K 2E4</p>	<p>THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.</p> <p>COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND SHALL REMAIN AT ALL TIMES THE EXCLUSIVE PROPERTY OF KENNETH KIM ARCHITECTURE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.</p>	<p>Project Title 6-UNIT TOWNHOUSE</p> <p>6500 Conney Rd (Existing) 8399 Cooney Rd (Proposed) Richmond, BC</p>	<p>Consultants</p>	<table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>May 8 2024</td> <td>Issued for DPP</td> </tr> </tbody> </table>	No.	Date	Revision	1	May 8 2024	Issued for DPP	<p>Sheet Title PROJECT HISTORY/ OLD SITE PLAN</p>	<p>File number: _____ Scale: _____</p> <p>Drawn: CL Dwg. no. _____</p> <p>Checked: KK</p> <p>Print date: May 8, 2024</p>	<p>A7.2</p>
		No.	Date	Revision									
1	May 8 2024	Issued for DPP											