



To: Development Permit Panel
From: Suzanne Smith
Program Manager, Development

Date: April 25, 2024
File: DP 21-945917

Re: **Application by Arno Matis Architecture for a Development Permit at 6851 and 6871 Elmbridge Way**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 376 residential units, hotel and accompanying commercial uses in a high-rise mixed use development containing three 15 storey towers at 6851 and 6871 Elmbridge Way on a site zoned “High-Density Mixed Use (ZMU52) – Oval Village (City Centre)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development’s podium (Levels 3 to 6) for components of the building and residential balcony units; and
 - b) Not require a large size on-site loading space in the proposed development.

Suzanne Smith
Program Manager, Development

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Staff Report

Origin

Arno Matis Architecture has applied to the City of Richmond on behalf of Landa Oval Development Ltd. for permission to develop a high-rise mixed use development containing three 15 storey towers at 6851 and 6871 Elmbridge Way on a site zoned “High-Density Mixed Use (ZMU52) – Oval Village (City Centre)”. The site currently contains multi-tenant light industrial buildings (Attachment 1 – Location Map).

Highlights of the proposed development include:

- 341 market residential units and 35 affordable housing units (Low End Market Rental – LEMR).
 - Market residential units are located in the development podium and two towers at the north west and south west portions on the site.
 - LEMR units are dispersed throughout the development’s podium, consistent with the Housing Agreement Bylaw and housing covenant secured through the rezoning for this development.
- Approximately 13,854 m² (149,123 ft²) of floor area for:
 - A hotel tower at the north east portion of the site; and
 - Commercial floor space at-grade around the subject sites road frontages.
- Approximately 750 m² (8,073 ft²) of on-site indoor amenity space on Level 6 of the development’s podium.
- Approximately 3,037 m² (32,690 ft²) of on-site outdoor amenity space on Level 6 and 9 of the development.
- A new City road (herein called the new west road) along the subject sites west edge that will connect Elmbridge Way and River Road and provide the primary vehicle access to the development’s parkade. The name of this road will be determined by Council through the City’s Road Naming Policy process.

The site is being rezoned from “Light Industrial (IL)” to “High-Density Mixed Use (ZMU52) – Oval Village (City Centre)” under Richmond Zoning Bylaw, Amendment Bylaw 10423 (RZ 17-782750).

A Servicing Agreement (SA 23-035702) is required as a rezoning consideration item and includes, but is not limited to, the design and construction of new and upgraded water mains, storm sewer and sanitary infrastructure (including new service connections) around the subject site. Frontage works, a public pathway, widening of the existing lane to the east and the new west road (including all tie-ins and transitions to existing road infrastructure) will also be completed through this Servicing Agreement.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north: The Richmond Olympic Oval is located across River Road on a site zoned “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)”
- To the east: Across an existing lane is the Onni ‘Ora’ high density mixed use development on a site zoned “Residential/Limited Commercial (RCL3)”.
- To the south: Across Elmbridge Way is an existing building containing Worksafe BC offices on a site zoned “Downtown Commercial (CDT1)”.
- To the west: A site zoned “Light Industrial Business Park (IB1)” containing existing light industrial buildings.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on December 19, 2022. At the Public Hearing, concerns were noted from the neighbouring development to the east (Ora mixed use project) in relation to traffic impacts and concerns about the lane. The project was referred back to staff to address these matters with the developer and returned for a second Public Hearing. The applicant subsequently met with residents of the Ora development, and with City staff to review the issues and potential revisions in response.

A revised rezoning proposal was brought forward to the May 15, 2023 Public Hearing where the bylaw received 2nd and 3rd reading. This rezoning proposal made the following modifications to address traffic impacts and lane concerns raised at the previous Public Hearing that have been included and complied with as part of this Development Permit application:

- **Hotel Pick-up and Drop-Off** - All hotel vehicle pick-up and drop-off functions were relocated on-site within the project parkade (level 1). No hotel vehicle pick-up or drop-off functions will occur in the lane. This was a significant change made from the original design in response to concerns.
- **Lane Access** – As a result of concerns about impacts of traffic from the development proposal to the existing lane, the lane access to the proposed development’s parkade will be restricted to hotel guests and on-site employees only (enter from the lane) and on-site employees (exit from the lane).
- **Main Site Access** - The new west road vehicle access to the parkade will be the primary entrance/exit to the development and will accommodate a majority of the traffic for the development and minimize traffic impacts to the lane.
- **Vehicle Access Restrictions** - Installations to facilitate vehicle access restrictions to the lane and ensuring that new west road vehicle access remains the primary vehicle access to the development have been incorporated (i.e., gate, security intercom/FOB access).
- **Lane Width and Function** - Works to widen the lane by 3 m will accommodate 1.5 m of additional pavement widening to the existing lane and 1.5 m wide concrete transition area. This lane widening undertaken by the proposed development would result in a total 7.5 m wide drive-aisle plus 1.5 m wide concrete transition area that will be designed to enable access to the parkade and loading/service functions from the lane. Pedestrians can also utilize this transition area to facilitate safe movements through the lane as needed.

These lane works will be completed through the City's Servicing Agreement process, which is a rezoning consideration for the subject development.

- **On-site Loading** - On-site loading spaces are arranged to allow access from the lane to accommodate standard loading functions required for this development's non-residential and residential uses. In accordance with the rezoning, no on-site large loading space is provided as none of the proposed uses in the development would require service from these large trucks and the on-site loading facilitates (accommodating medium sized trucks) can adequately service the proposed development. A variance is included in this Development Permit application to not require a large size loading facility that is outlined in the Zoning Compliance/Variance section of the report below. This approach is supported by Transportation staff.

In addition to the above and in response to concerns about vehicles temporarily stopping in the lane and the resulting negative impacts to lane operations, regulatory revised "no stopping" signage was posted in the lane by the City at the time of the Public Hearing in May 2023, which would prohibit any vehicles from stopping or parking in the lane and require use of the on-site loading facilities in the Ora development.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "High-Density Mixed Use (ZMU52) – Oval Village (City Centre)" except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development's podium (Levels 3 to 6) for components of the building and residential balcony units.

(Staff supports the proposed variance as the proposed setback reduction only applies to one small corner portion of the development's podium on levels 3 to 6 of the project. The proposed reduction in setback will have no impact to the pedestrian streetscape at-grade and does not result in any additional shadowing to adjacent areas. The proposed variance also enables the residential dwelling units at this corner portion of the podium adequate private outdoor space (i.e., balcony) and also maintains the project podiums' asymmetrical and angled design that is an element included in this development's design rationale.

- 2) Not require a large size on-site loading space in the proposed development.

(Staff supports the proposed variance as this matter was assessed through the processing of the rezoning application which confirmed that none of the proposed uses in the development would require service from larger trucks that would require a large size loading space. The current loading facilities accessed from the lane provide for medium size loading, which is adequate to service the development, has been reviewed and confirmed through the submitted Traffic Impact Assessment by the applicant's Transportation consultant and is supported by

Transportation staff. In addition, a rezoning consideration item secures a legal agreement that specifies a maximum truck size (i.e., medium sized truck SU-9 or equivalent) aligned with the on-site loading being provided in the project and prohibits large size vehicles (i.e., WB-17 or equivalent).

Advisory Design Panel Comments

The Advisory Design Panel was supportive of project to move forward subject to the proposal giving consideration to ADP comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes from December 6, 2023 is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'.

Analysis

Conditions of Adjacency

- The proposal will have public roads along the north (River Road), south (Elmbridge Way) and west (new west road) frontages and an existing lane to the east.
- The design provides for a vibrant and pedestrian friendly streetscape along these public road frontages. At-grade commercial retail units (CRUs) wrap around the River Road, new west road and Elmbridge Way road frontages and provides for an activated streetscape on-site and provides continuity with adjacent at-grade retail developed on neighbouring developments to the east.
- Smaller open plaza spaces, situated between the frontage works (boulevards, sidewalks/multi-use pathways) and CRUs along the public roads provide additional opportunities for the development of a pedestrian friendly public realm.
- In response to elevation transitions, grade differences are addressed through the gradual sloping of the grade between the sidewalk and entrances to the CRU's and incorporating steps/risers were necessary along the north edge (River Road) of the development. Along the south edge (Elmbridge Way), the grade difference is managed through stairs and accessible ramps between the sidewalk and open spaces directly in front of the CRUs with landscape pockets incorporated into this area. This grade transition along Elmbridge Way generally aligns with the approach to managing a similar grade condition in the neighbouring development to the east.
- A lane exists between the subject site and neighbouring high-density mixed use development to the east (Ora development) that will be further widened by 3 m through this development. The new west road will be dedicated, designed and constructed through this project and will connect Elmbridge Way and River Road along the west edge of the site. The placement of the residential towers at the north west and south west portions of the site and hotel tower at the north east area responds to the surrounding adjacency conditions to minimize shadowing and to ensure compliance with minimum tower separation guidelines in the City Centre Area Plan (CCAP).
- Shadowing from the proposed development has been minimized to the public plaza area on the north side of River Road (Olympic Oval plaza area) by pushing the hotel tower location as far south as possible. Furthermore, residential tower locations have also been situated as far south as possible and separation between the residential towers has been reduced to allow the tower on the north west portion of the site to be pulled back from River Road while still complying with minimum tower separation distances. Upper levels of the residential tower

(north west tower levels 13 to 15) and hotel tower (north east tower levels 14 and 15) have been stepped back and terraced on the north side to reduce shadowing of surrounding areas.

Urban Design and Site Planning

- Residential lobby building entrances from the street are designed around open entrance plazas at the north west and south west portions of the development site. Entrances to the hotel lobby are situated at the north east portion of the site and the commercial/office lobby entrance is located at the south east corner. The overall placement and shaping of the development's podium creates plazas and open space at-grade adjacent to pedestrian entrances to the residential and/or hotel lobby and CRU's fronting the public roads around the project.
- The parkade for the development is located within the podium and consists of one level of parking below grade and five levels above grade. Access and egress to the development's parkade will be through the primary vehicle access from the new west road and restricted access from the lane as outlined previously in this report. Hotel pick-up and drop-off functions have been incorporated into the level 1 of the parkade with direct internal access from the pick-up/drop-off area being provided to the hotel lobby area.
- Indoor amenity space is provided on level 6 of the project podium. The indoor amenity area is required to be available for use by all residents and is 750 m² or 8,073 ft² in area and complies with City Centre Area Plan (CCAP) amenity space guidelines. Indoor amenity facilities will consist of a lounge, fitness centre and other resident recreation spaces (i.e., yoga, steam/sauna facilities). Access to the indoor amenity space is provided from the outdoor amenity area and the residential podium. It will be accessible to both market strata and residents of the LEMR units.
- Outdoor amenity space is provided on level 6 of the project podium and on level 9. On level 6, outdoor amenity space is provided in a consolidated courtyard area with a variety of features including seating and patio areas available to all residents, outdoor kitchen and dining areas and multi-purpose lawn/open space areas. An outdoor pool is also proposed as part of the outdoor amenity, which would be an amenity that would be available to residents and hotel guests. A small portion of the indoor amenity is also to be shared with the hotel. A legal agreement was secured through the rezoning to ensure the shared use of the outdoor pool amenity and small portion of the indoor amenity to enable access for all residents and hotel guests. On level 9, additional outdoor amenity space containing the children's play area is provided in courtyard area between the residential towers. The outdoor amenity areas on level 6 and 9 is required to be available for use by all residents and is 3,037 m² (32,690 ft²) in area, which exceeds with City Centre Area Plan (CCAP) amenity space guidelines. Outdoor amenity features include:
 - A children's play area with climbing structure and landscaping to enable outdoor play and activities.
 - Access to the outdoor amenity on level 6 is provided from the residential podium. Access to the outdoor amenity on level 9 is provide from the residential towers.
 - The outdoor amenity areas are designed to have good natural light/sun exposure. The placement of the amenity areas in and shape and orientation of the residential towers helps to maximize sun exposure and minimize excessive shadowing.
- Service functions for the proposed development located on the subject site containing the residential and commercial loading areas, hotel shuttle loading and garbage/recycling

collection areas are located on-site and accessed from the lane. Garbage/recycling rooms for the residential and non-residential areas are located on level 1 and sized to accommodate all the necessary bins and equipment.

Architectural Form and Character

- The architectural form of the project podium and the application of asymmetrical plaza spaces at-grade are a design response to other similar shaped and oriented public spaces in the surrounding area (i.e., Richmond Olympic Oval plaza area on the north side of River Road opposite of the subject site and linear park to the east between the Ora project and Hollybridge Way).
- Frontage width of CRU's along River Road and Elmbridge Way is broken up through the use of varied setbacks and triangular plaza areas that integrate well with pedestrian-oriented commercial activities (i.e., retail, restaurants and cafes).
- Horizontal frame elements on the project podium wrap around the perimeter of all four frontages and differentiate and help break up the massing between the podium and tower components of the project. These horizontal frames are generally limited to levels 3 to 6 of the podium and provide another architectural response to break up the vertical massing of the building form at the lower levels by providing a strong horizontal building element between levels 2 and 3.
- The boomerang/wave footprint shape of the three towers is a consistent design element in this project that enables minimal direct tower to tower overlook within the development site as well as to existing neighbouring developments. This tower form also provides for maximum natural light exposure for residential units in the tower and hotel rooms while also ensuring natural sunlight exposure to the indoor and outdoor amenity spaces on levels 6 and 9 of the project.
- Although the shape of the three towers are similar, the application of balconies and metal/aluminum frames to the residential towers compared to the application of a generally contiguous glass curtain wall cladding for the hotel tower provides for a distinct architectural expression between the residential and hotel towers.
- The development's contemporary design and architecture is reflected in the proposed cladding, building materials and glazing proposed in the project that will consist of glazed curtain wall systems, aluminum frame/screen assemblies around balconies, podium and building parapets and glass guardrails around balconies.

Landscape Design and Open Space Design

- On-site landscaping in the subject development is located at-grade and on levels 6 and 9 associated with the outdoor courtyard amenity areas. Other landscape planting areas are proposed on the rooftops of the hotel/commercial mid-rise tower and rooftop of the two residential towers.
- At-grade, landscape design looks to enhance the pedestrian vibrant streetscape and integrate with the boulevard and sidewalk/pathway works being implemented on the public road frontages of the subject site. Pockets of landscaping are incorporated into the public plaza areas and consist of low level groundcovers and shrubs. Where larger plazas are situated generally around the corners of the development site, additional landscape plantings have been incorporated to provide varied surface treatment in the plaza areas directly in front of the CRUs.

- Where there is a grade transition between the sidewalk and entrance to the CRUs or building entrance areas, landscaping has been implemented in the form of concrete planters and terraces to reduce the presence of stairs and accessible ramps adjacent to the public road.
- The outdoor courtyard located on level 6 provides a significant planted landscape environment that include multi-purpose open spaces with trees, landscaped terraces around the edges and landscape buffers and screens provided between residential dwelling units, communal outdoor areas and outdoor patios to be used for the hotel. Benching, furniture (fixed and stationary tables and chairs), pathways and patios also have been integrated into the programming of the outdoor space area as a high-quality amenity for residents and guests of the hotel.
- The outdoor courtyard on level 9 provides the outdoor amenity area containing areas and installations to facilitate children's play and activities.
- The proposed landscaping plant lists include the incorporation of native plantings for landscaping throughout the project. A total of 83 on-site trees will be planted as part of this development, which will consist of a mix of both deciduous and coniferous tree species.
 - The proposed amount of trees to be planted (83) exceeds the Official Community Plan requirements of 2:1 tree replacement ratio (the rezoning identified the removal of 6 on-site trees requiring a minimum of 12 replacement trees at the OCP 2:1 replacement ratio).
- An on-site irrigation system will be provided for all planted and landscaped areas.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$1,506,747 as a Development Permit consideration (Attachment 4).

Crime Prevention Through Environmental Design

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the design development of the subject project.
- Building entrances to the hotel, CRUs and residential lobby areas have clear and visible sight lines from the adjacent public sidewalks and roadways.
- Clear sight lines is provided along the existing lane with limited recesses located along the building edge adjacent to the lane.
- Active and passive surveillance is provided from the development to the public areas along the road and lane frontages and amenity areas located on level 6 and 9 of the project.

Accessible Housing and Unit Composition

- The proposed development includes 38 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

- The residential unit mix is as follows:
 - Market residential units – 341 total units consisting of 13 studios; 165 one bedroom (includes those with den); 135 two bedroom (includes those with den); 26 three bedroom (includes those with den) units.
 - Unit mix complies with the 40% family friendly unit target identified in the Official Community Plan (OCP).
 - Affordable LEMR Units – 35 total units consisting of 3 studios; 10 one bedroom; 11 two bedroom; 11 three bedroom units.
 - Unit mix complies with the Affordable Housing Strategy targets for unit mix composition.

Public Art

- This development will install public art and the developer has been working with an independent public art consultant to prepare a Public Art Plan. Through the rezoning, a legal agreement will be registered on title to secure the implementation of a Public Art Plan and a financial security provided in accordance with the public art rezoning consideration item for this project.
- For public art contributions with a cumulative budget over \$250,000, the Public Art Plan is presented for Council approval prior to Building Permit issuance. The contribution amount is anticipated to be \$330,781, therefore, the Public Art Plan for this project will be brought forward for Council approval prior to issuance of the Building Permit.

Sustainability

- The proposed development will be connected to the City Centre District Energy Utility (DEU) for space and domestic hot water heating services. For cooling, an on-site low carbon energy plant will be required to be designed and constructed at the applicant's sole cost and transfer it to the City. Legal agreements for the connection to the City's DEU system and development of on-site low carbon energy system were secured through the rezoning.
- Based on the above provisions for connection to a City DEU system and provisions of an on-site low carbon energy system, the subject development will be subject to BC Energy Step Code – Step 2. The developer has confirmed that the project has been designed and modelled to comply with Step 2 performance targets.

Transportation

- Parking standards for the project are in compliance with Zoning Bylaw 8500 as they were secured through the associated rezoning (currently at third reading) prior to the introduction of the Provincial Bill 44 (limited residential parking requirements).
- The parkade is located within the project podium and contains a total of 675 parking spaces of which:
 - 350 parking stalls are for residential uses.
 - 273 parking stalls are for non-residential uses.
 - 52 stalls allocated to Richmond Olympic Oval use during special events (when not reserved by the oval, these stalls can be used by the public). This was secured by legal agreement at rezoning.

- Through the rezoning, a package of Transportation Demand Management Measures were secured that have been incorporated into this Development Permit application submission, including:
 - Transit pass program available for the residential and non-residential uses in the development.
 - Additional on-site bicycle amenities and facilities:
 - Dedicated car-pool parking spaces (5 stalls)
 - Car share program and dedicated parking stalls for two car share vehicles
 - Electric Vehicle charging infrastructure (outlets to support level 2 EV charging infrastructure for a minimum of 10% of the non-residential parking stalls.
 - Interim off-site walkway connection along River Road that will be designed and constructed through the Servicing Agreement for this project.

Conclusions

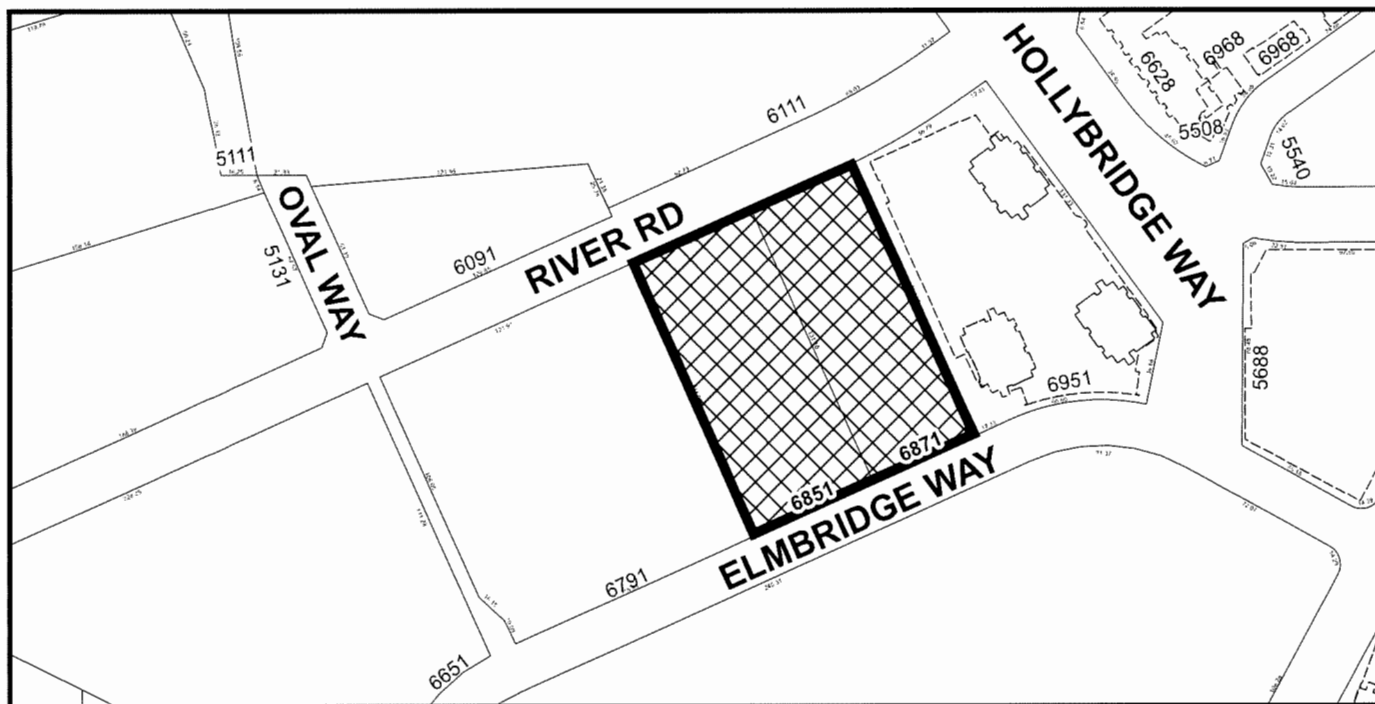
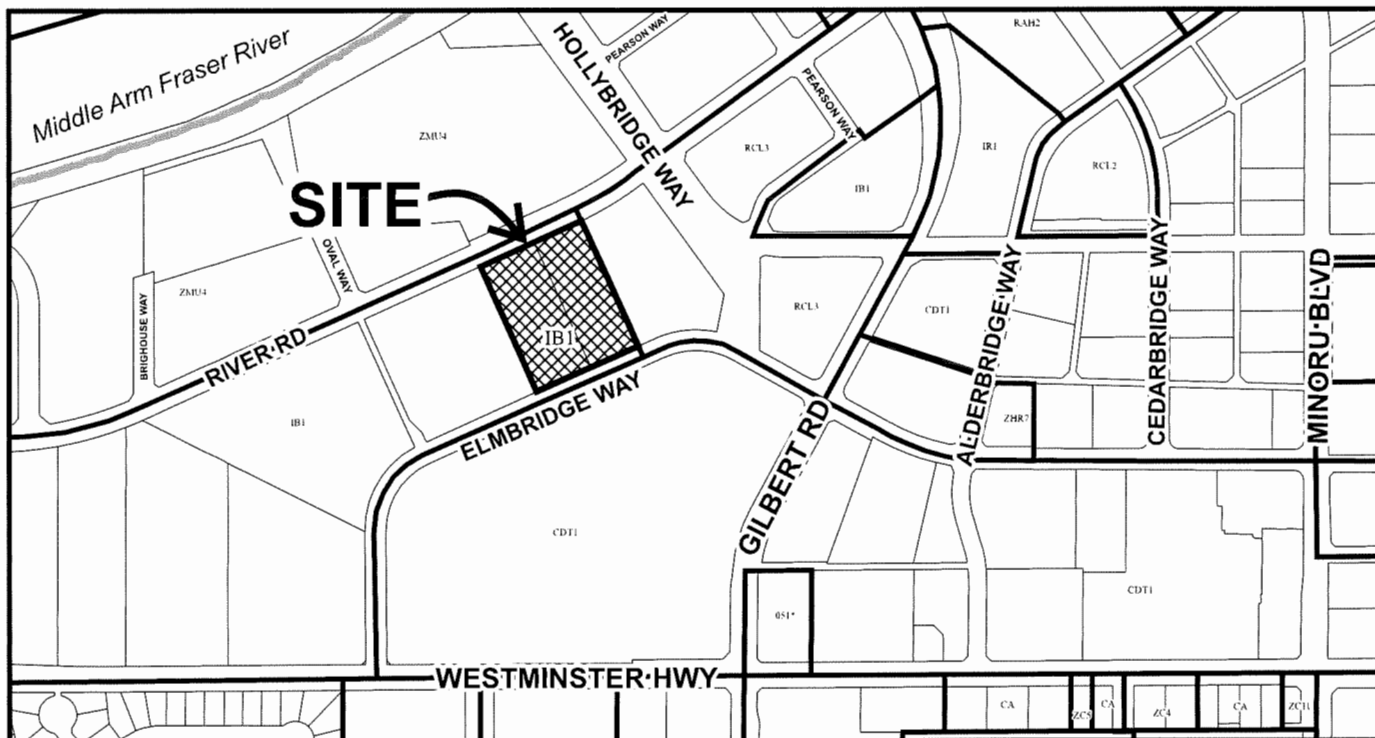
As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Kevin Eng
Planner 3

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- Att. 1 Location Map
- Att. 2 Development Application Data Sheet
- Att. 3 Advisory Design Panel Excerpt of December 6, 2023 Meeting Minutes
- Att. 4 Development Permit Considerations



DP 21-945917

Original Date: 01/26/21

Revision Date: 04/17/24

Note: Dimensions are in METRES



DP 21-945917

Attachment 2

Address: 6851 and 6871 Elmbridge Way

Applicant: Arno Matis Architecture

Owner: Landa Oval Holdings Ltd.

Planning Area(s): City Centre Area Plan – Oval Village

Floor Area Gross: 72,561 m²

Floor Area Net: 42,225 m²

	Existing	Proposed
Site Area:	13,913 m ²	13,832 m ²
Land Uses:	Light industrial business park uses	Residential (apartment housing) Hotel and supporting commercial services At-grade commercial Office
OCP Designation:	Mixed use	Mixed use – no change
City Centre Area Plan (CCAP) Designation	Urban Centre T5	No change – complies with OCP
Zoning:	Industrial Business Park (IB1)	High Density Mixed Use (ZMU52) – Oval Village (City Centre)
Number of Units:	N/A	376 residential dwelling units <ul style="list-style-type: none"> • 35 affordable LEMR units • 341 strata residential units

	ZMU 52 Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 3.1 FAR including: <ul style="list-style-type: none"> - Base (including AH): 2.0 FAR - Village Centre Bonus: 1.0 FAR (non-residential use only) - 0.1 FAR – indoor amenity space only 	Max 3.1 FAR including: <ul style="list-style-type: none"> - Base (including AH): 2.0 FAR - Village Centre Bonus: 1.0 FAR (non-residential use only) - 0.05 FAR – indoor amenity space only 	none permitted
Lot Coverage:	Max. 90% for buildings and landscaped roofs over parking spaces	Max. 90% for buildings and landscaped roofs over parking spaces	none

	ZMU 52 Bylaw Requirement	Proposed	Variance
Setbacks (m)	Road: 3.0 m (9.84 ft.) Lane: 0.0 m (0.0 ft.)	Road: - River Road: 3.0 m (9.84 ft.) - New West Road: 3.0 m (9.84 ft.) - Elmbridge Way: 3.0 m (9.84 ft.) - Lane: 3.0 m (9.84 ft.)	Reduce River Road setback to 0.25 m to permit a minor encroachment for components of the building and balconies on levels 3 to 6
Height (m):	47 m (154 ft.) GSC	47 m (154 ft.) GSC	none
Lot Size:	Min. 10,000 m ²	13,832 m ²	none
Parking	Min. 675 stall - Residential (AH and Mkt): 350 - Shared pool (commercial/hotel, residential visitor): 273 - Oval: 52	Min. 675 stall - Residential (AH and Mkt): 350 - Shared pool (commercial/hotel, residential visitor): 273 - Oval: 52	none
Bicycle Parking	Class 1 – 512 spaces Class 2 – 121 spaces	Class 1 – 644 spaces Class 2 – 138 spaces	none
Loading	Medium Size – 4 spaces Large Size – 1 space	Medium Size – 4 spaces	No large size loading space
Amenity Space – Indoor:	750 m ²	750 m ²	n/a
Amenity Space – Outdoor:	2,256 m ²	3,037 m ²	n/a

04.24.2024

ADVISORY DESIGN PANEL COMMENTS:

December 6, 2023 Excerpt of Meeting Minutes

DP 21-945917 – HIGH-RISE MIXED-USE PROJECT (356 DWELLING UNITS AND HOTEL)

ARCHITECT: Arno Matis Architecture Inc./Arcadis

LANDSCAPE ARCHITECT: PFS Studio

PROPERTY LOCATION: 6851 and 6871 Elmbridge Way

Applicant's Presentation

Arno Matis, Arno Matis Architecture, and Landscape Architect Jeffrey Staotes, PFS Studio, presented the project and together with Beth Deckert, Arcadis, answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- Appreciate that the proposed 38 Basic Universal Housing (BUH) units have varying numbers of bedrooms as it presents multiple opportunities for persons/family members with disabilities to live in the proposed development; **APPLICANT RESPONSE: Noted with thanks.**
- Also appreciate that the proposed hotel will provide not only accessible rooms for people with mobility issues but also rooms that are designed to accommodate people with hearing impairment; **APPLICANT RESPONSE: Noted with thanks.**
- Consider installing appropriate safety mirrors around the corners of the parkade ramp to enhance the safety of cyclists accessing/exiting the parkade; **RESPONSE FROM ARCHITECT: Project will install appropriate safety mirrors around the corners at the parkade ramp.**
- Consider appropriate surface treatment for the elevator flooring and walls to facilitate cleaning and maintenance for areas that are used to transport bicycles within the building; **RESPONSE FROM ARCHITECT: Project will use appropriate surface treatment for elevator flooring/walls to facilitate cleaning and maintenance.**
- The proposed development works very well; **APPLICANT RESPONSE: Noted with thanks.**
- Appreciate that a lot of thought and creative ideas have been put into the design of the proposed towers; the different design of the towers compared to other new developments in the nearby area is appreciated; **APPLICANT RESPONSE: Noted with thanks.**
- Overall, the proposed project is well presented; **APPLICANT RESPONSE: Noted with thanks.**
- Consider looking at how to reduce the retaining wall along the New West Road frontage at the transition slope to help soften the transition from the street; also consider further architectural articulation along the New West Road façade particularly above the vehicle access to improve the pedestrian experience; **RESPONSE FROM LANDSCAPE ARCHITECT: The planters along New West Road have been terraced with the front planter along the sidewalk limited to max. 24" high.**
- The north side plaza works well; however, the proposed stairs on the south plaza are long; look at the neighbouring Ora development on their approach to grade transition and investigate opportunities to reduce the scale of the stairs and incorporate additional landscaping to help soften the Elmbridge Way frontage; **RESPONSE FROM LANDSCAPE ARCHITECT: The stairs along Elmbridge Way have been reduced in scale by doubling planted segments. Additional planting has been incorporated to soften the grading. Please refer to drawing L2.01 Ground Level Landscape Plan.**
- Consider moving the location of the accessible ramp at the southeast corner onto the laneway to soften the grade transition from Elmbridge Way; **RESPONSE FROM LANDSCAPE ARCHITECT: The accessible ramp has been relocated**

to the laneway with the entry point facing the Elmbriage Way. Please refer to drawing L2.01 Ground Level Landscape Plan.

- *CRUs along the New West Road appear to be narrow, particularly those near the corner plaza; look at their relationship to the corner plaza space in terms of size to ensure their viability as CRUs; **RESPONSE FROM ARCHITECT:** CRU depths along New West Road are 30 ft. Note that previous iterations did not include CRU on the New West Road. This has been added to animate the public realm.*
- *Ensure adequate weather protection along the south side of the building to provide opportunities for installing outdoor cafés; also investigate opportunities for additional planting along the south edge to create more intimate patio spaces adjacent to the CRUs; **RESPONSE FROM LANDSCAPE ARCHITECT:** Additional planting has been added to provide a soften CRU frontage and intimate patio spaces along Elmbriage way. Please refer to drawing L2.01 Ground Level Landscape Plan. Please note that overhangs are provided on all three street frontages to provide weather protection. Average overhang depths River Road = 6.6' New West St = 4' Elmbriage Way = 11.5'. Frames act as overhangs on all three street frontages as a stark design choice, providing ample rain protection. These frames are shown as dotted lines on architectural drawing A.201.*
- *Look at opportunities to plant more trees along the New West Road right-of-way; **RESPONSE FROM LANDSCAPE ARCHITECT:** Given the site's horizontal and vertical constraints, it's tricky to accommodate additional trees within the private property. The narrow planters between the city sidewalk and CRU patios are designed as terraces to soften the grading transition. High planters will be required for tree planting, which is not desired for pedestrians. Instead, we propose to extend landscape bulges with four additional street trees along the New West Road right-of-way with the understanding that this proposal will be subject to review and approval of the Servicing Agreement. Please refer to drawings L2.01 Ground Level Landscape Plan and L4.01 Ground Level Planting Plan.*
- *The design of the massing shades the central courtyard on Level 6 for some parts of the day; investigate opportunities to maximize sunlight exposure into the area, particularly at the outdoor swimming pool area; **RESPONSE FROM ARCHITECT:** Pool has been located on the southern end of the building, away from the 3 towers to maximize sunlight. The sun receives full sun from 9am-3pm during the summer (and partial sun thereafter). Further, boomerang massing curves to minimize shadowing on podium.*
- *Understand that security issues regarding access to and control of some areas in the courtyard including the swimming pool by various users in the development will be resolved as the project moves forward; **RESPONSE FROM LANDSCAPE ARCHITECT:** Noted. Security issues and access control measures will be further studied and resolved as the project moves forward.*
- *Stepping stones are proposed for crossing the dry creek feature/pathway on the Level 6 central courtyard; ensure there are clear accessible routes for crossing the linear dry creek feature/pathway; **RESPONSE FROM LANDSCAPE ARCHITECT:** Stepping stones will be replaced with concrete bridges with integrated toe rail/curb to ensure clear accessible routes for crossing the dry creek feature. Please refer to drawing L2.02 Level 6 Landscape Plan.*
- *Look at how some of the central units within the interior corners of the residential buildings with small windows at the end relate to fire compartmentalization and separation; **RESPONSE FROM ARCHITECT:** Fire compartmentalization and separation will follow code requirements, unit adjustments to be resolved at the Building Permit stage.*
- *Appreciate the presentation package provided by the applicant especially its portrait format; **APPLICANT RESPONSE:** Noted with thanks.*
- *Appreciate the design team for bringing the river character into the design of the project; **APPLICANT RESPONSE:** Noted with thanks.*
- *Consider fine tuning the pockets of green spaces along River Road, Elmbriage Way and the New West Road including introducing permeability along these three sides; **RESPONSE FROM LANDSCAPE ARCHITECT:** Noted. Additional plantings have been added along Elmbriage Way CRU frontage and at the southwest corner plaza. The pockets of*

green spaces will be refined further as the project moves forward to ensure the permeability from the sidewalk to the CRUs and residential entrances while optimizing plantings.

- Agree with the Panel comment that the grading treatment along Elmbridge Way looks busy; review the location of the stairs and introduce additional landscaping to improve the grading treatment; and **RESPONSE FROM LANDSCAPE ARCHITECT:** The stairs along Elmbridge Way have been reduced in scale by doubling planted segments. Additional planting have been incorporated to soften the grading. Please refer to drawing L2.01 Ground Level Landscape Plan.
- Support the Panel comment regarding using structural soil to increase the soil volume for planting on the ground level. **RESPONSE FROM LANDSCAPE ARCHITECT:** Structural soil has been extended under the boulevard, bike path and sidewalk along River Road and under sidewalk along Elmbridge Way. Please refer to drawing L4.01 Ground Level Planting Plan for structural soil extent and proposed soil volume for street trees.

The following written comments submitted by Panel member Nicci Theroux were read into the record by the Chair:

- Appreciate the detail included in the presentation package; consider including north arrow on the landscape drawings; **RESPONSE FROM LANDSCAPE ARCHITECT:** Noted. North arrow has been placed on the landscape drawings.
- Support the vibrant connection of the street level with CRUs; **RESPONSE FROM ARCHITECT:** CRU spaces are required to be above the flood plane. A continuous plaza surrounding the project on all three sides provides a vibrant connection to the street.
- Soil volume appears inadequate on Level 6; **RESPONSE FROM LANDSCAPE ARCHITECT:** Proposed planters on Level 6 will ensure min. 450mm depth for shrub planting with the soil mound up to achieve min. 900mm of soil depth for trees. A minimum of 6 cubic meters of soil has been provided for each tree on level 6, but opportunities to increase soil provisions will be pursued. Please refer to drawing L4.02 for the proposed soil volume.
- Consider structural soil or soil cells under the sidewalk along River Road as the soil volume appears inadequate; **RESPONSE FROM LANDSCAPE ARCHITECT:** Structural soil has been extended under the boulevard, bike path and sidewalk along River Road. Please refer to drawing L4.01 Ground Level Planting Plan for structural soil extent and proposed soil volume for street trees.
- Planters at Elmbridge Way and New West Road appear to be too small for trees indicated; consider aiming for a minimum of 6 cubic metres of soil volume even for smaller trees; and **RESPONSE FROM LANDSCAPE ARCHITECT:** A minimum of 6 cubic meters of soil has been provided for each on-site tree in planter at Elmbridge Way and New West Road. Please refer to drawing L4.01 Ground Level Planting Plan for the proposed soil volume for trees.
- The tree trench at Elmbridge Way appears narrow; consider structural soil or soil cells under the sidewalk. **RESPONSE FROM LANDSCAPE ARCHITECT:** Structural soil has been extended under sidewalk along Elmbridge Way. Please refer to drawing L4.01 Ground Level Planting Plan for structural soil extent and proposed soil volume for street trees.

Panel decision:

It was moved and seconded

That DP 21-945917 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel. CARRIED



City of Richmond

Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 6851 and 6871 Elmbridge Way
File No.: DP 21-945917

Prior to Development Permit issuance, the following are to be met prior to forwarding this application to Council for approval:

1. Enter into a security agreement and receipt of a Letter-of-Credit for landscaping in the amount of \$1,506,747.00

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. As part of the existing Servicing Agreement application (SA 23-035702), design approval and construction and installation of the new sanitary sewers and forcemain in Elmbridge Way and the removal of the existing sanitary system along the south property line of the proposed site is required to be undertaken in coordination with and ahead of the other Servicing Agreement works and to discharge the existing rights of ways along the south property line to the satisfaction of the City. This is required prior to issuance of any demolition permits for the existing buildings on the proposed site and/or prior to issuance of any building permits to ensure that the new sanitary sewers and forcemains in Elmbridge Way are installed and operational and the existing sanitary system are removed and the existing rights of ways are discharged at the south property line of the proposed site before the start of any site preparation works or release of future building permits.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

- Signed Copy on File -

Signed

Date



No. DP 21-945917

To the Holder: Arno Matis Architecture
Property Address: 6851 and 6871 Elmbridge Way
Address: 1540 West 2nd Ave
Vancouver, BC V6J 1H2

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development's podium (Levels 3 to 6) for components of the building and residential balcony units.
 - b) Not require a large size on-site loading space in the proposed development.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #51 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,506,747.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 21-945917

To the Holder: Arno Matis Architecture
Property Address: 6851 and 6871 Elmbridge Way
Address: 1540 West 2nd Ave
Vancouver, BC V6J 1H2

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

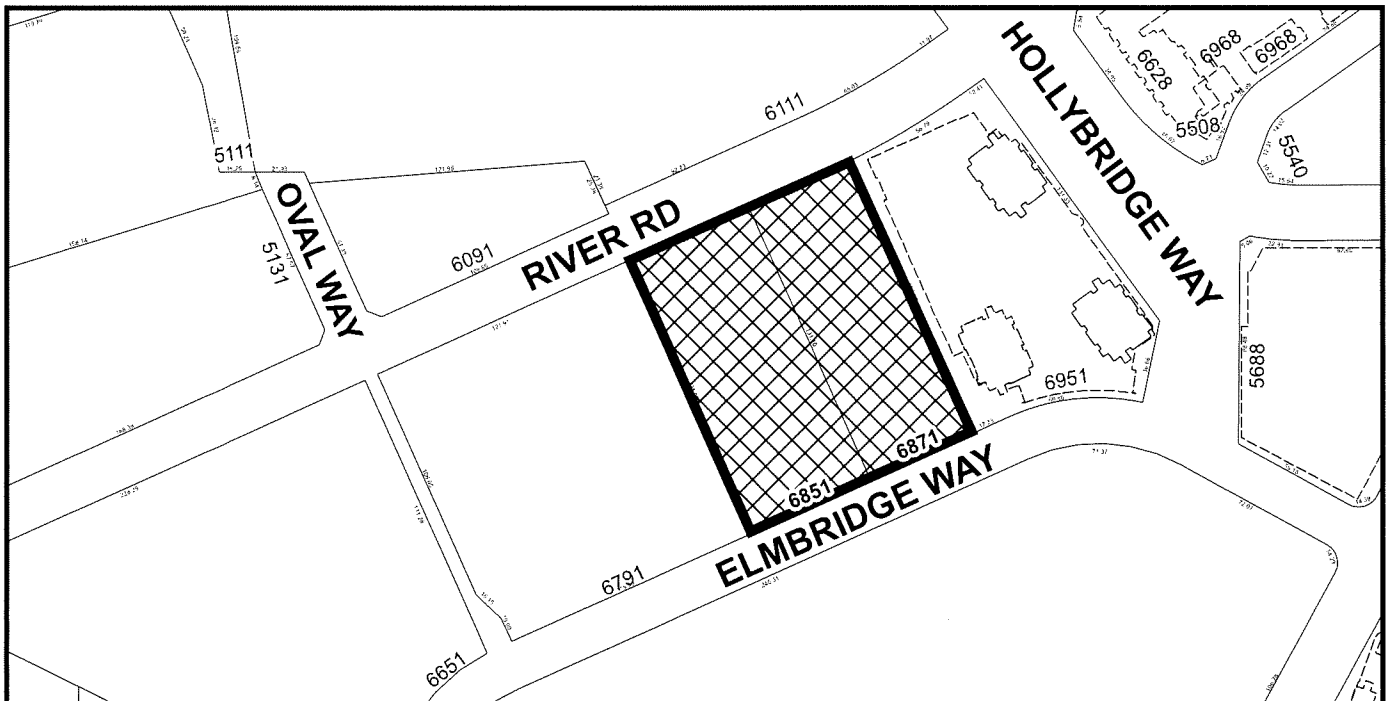
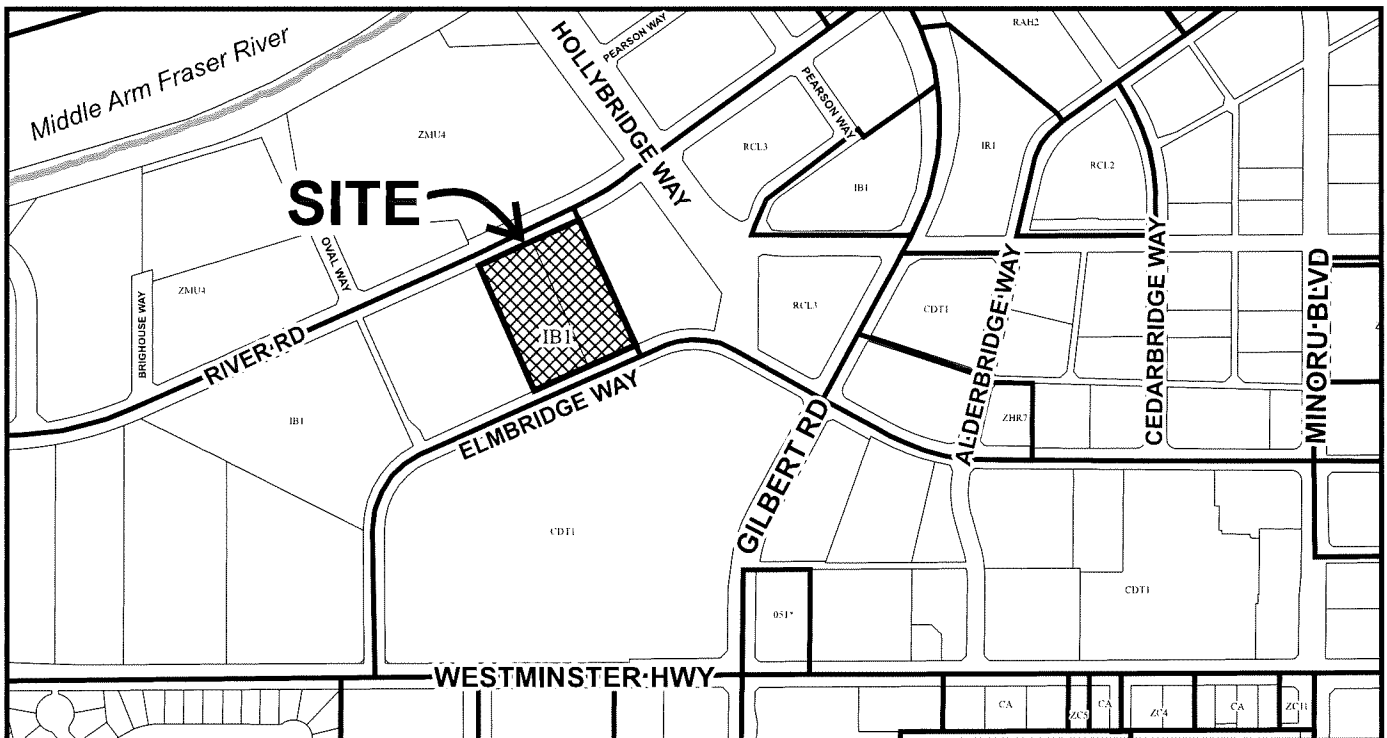
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 21-945917 SCHEDULE "A"

Original Date: 01/26/21

Revision Date: 04/17/24

Note: Dimensions are in METRES

6851-6871 Elmbridge Way, Richmond, BC, CANADA
MIXED USE HOTEL / RESIDENTIAL / COMMERCIAL/ OFFICE
DEVELOPMENT PERMIT



CLIENT
Landa Global Properties Ltd.
 1550 - 200 BARRARD ST.
 VANCOUVER, BC, V6C 3L6

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Arcadis Professional Services (Canada) Inc.
 formerly Brierley Professional Services (Canada) Inc.

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT DRAFT	2023-07-07
2	DP BOARD SUBMISSION	2024-04-25

PROJECT DRAWING LIST - DEVELOPMENT PERMIT

SHEETS - DP		SHEETS - DP	
SHEET #	SHEET NAME	SHEET #	SHEET NAME
A0	COVER SHEET DP	A205	LEVEL 5 PARKING
A000	LEVEL B1 AREA OVERLAY	A206	LEVEL 6 FLOOR PLAN
A001	LEVEL L1 AREA OVERLAY	A207	LEVEL 7 FLOOR PLAN
A002	LEVEL L2 AREA OVERLAY	A208	LEVEL 8 FLOOR PLAN
A003	LEVEL L3 AREA OVERLAY	A209	LEVEL 9 FLOOR PLAN
A004	LEVEL L4 AREA OVERLAY	A210	LEVEL 10 FLOOR PLAN
A005	LEVEL L5 AREA OVERLAY	A211	LEVEL 11 FLOOR PLAN
A006	LEVEL L6 AREA OVERLAY	A212	LEVEL 12 FLOOR PLAN
A007	LEVEL L7 AREA OVERLAY	A213	LEVEL 13 FLOOR PLAN
A008	LEVEL L8 AREA OVERLAY	A214	LEVEL 14 FLOOR PLAN
A009	LEVEL L9 AREA OVERLAY	A215	LEVEL 15 FLOOR PLAN
A010	LEVEL L10 AREA OVERLAY	A216	LEVEL 16 ROOF PLAN
A011	LEVEL L11 AREA OVERLAY	A217	PARAPET FLOOR PLAN
A012	LEVEL L12 AREA OVERLAY	A301	BUILDING SECTION A-A
A013	LEVEL L13 AREA OVERLAY	A302	BUILDING SECTION B-B
A014	LEVEL L14 AREA OVERLAY	A303	BUILDING SECTION C-C
A015	LEVEL L15 AREA OVERLAY	A304	BUILDING SECTION D-D
A016	ROOF AREA OVERLAY	A401	BUILDING ELEVATION - WEST
A102a	SITE DATA / REQ.	A402	BUILDING ELEVATION - EAST
A102b	STATISTICS	A403	BUILDING ELEVATION - NORTH
A102c	UNIT & PARKING MIX	A404	BUILDING ELEVATION - SOUTH
A102d	DEVELOPMENT APPLICATION DATA SHEETS	A801	WALL SECTION
A103	SURVEY PLAN	A802	WALL SECTION
A104	BUILDING GRADE	A803	WALL SECTION
A105	EXISTING STREETSCAPES	A804	WALL SECTION
A106	CONTEXT PLAN	A805	WALL SECTION
A107	CONTEXT ELEVATIONS	A806	WALL SECTION
A108a	SHADOW STUDY	A807	WALL SECTION
A108b	SHADOW STUDY	A808	WALL SECTION
A109	SETBACK PLAN	A809	WALL SECTION
A110	SITE PLAN	A810	WALL SECTION
A111a	RENDERING	A811	WALL SECTION
A111b	RENDERING	A812	WALL SECTION
A111c	RENDERING	A813	WALL SECTION
A111d	RENDERING		
A200	LEVEL B1 PARKING		
A201	LEVEL 1 PARKING		
A202	LEVEL 2 PARKING		
A203	LEVEL 3 PARKING		
A204	LEVEL 4 PARKING		

CONSULTANTS

ARNO MATIS ARCHITECTURE
 204-1540 W 2ND AVE, VANCOUVER, BC
 V6J 1H2 T: 604-708-0188

DP 21-945917
April 25, 2024
Plan # |

SEAL

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 Tel. (416) 588 1668
- LANDSCAPE**
 PFS Studio
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 Burnaby, BC V3N 1K9
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- MECHANICAL**
 Integral
 #180 - 200 Granville Street
 Vancouver, B.C.
 V6C 1S4
 Tel: (604) 687 1800
- ELECTRICAL**
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 Tel: (604) 736 6562
- CIVIL**
 Aplin & Martin
 Consultants
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 Vancouver, BC V6E 2K3
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- GEOTECHNICAL**
 Horizon Engineering
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 North Vancouver, BC V7M 3G3
 Tel: (604) 990 0546
- SURVEYOR**
 Matson Peck & Toplis
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 Richmond, BC V7A 5H7
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- ARBORIST**
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 BC Building Science
 611 Bent Court
 New Westminster, BC V3M 1V3
 Tel: (604) 520 6456
- CODE CONSULTANT**
 Camphora Engineering
 2479 Kingsway
 Vancouver, BC V5R 5G8
 Tel: (604) 800 9822
- TRAFFIC CONSULTANT**
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PRIME CONSULTANT

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 www.arcadisusa.com

PROJECT Elmbridge Way 6851-6871 Elmbridge Way Richmond, BC	
PROJECT NO 138841	
DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver
SHEET TITLE COVER SHEET DP	
SHEET NUMBER A0	ISSUE 2

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 User: Arno Matis

Unit	Location	Count	Notes
CRU	LEVEL 01	145	
CRU	LEVEL 02	145	
CRU	LEVEL 03	145	
CRU	LEVEL 04	145	
CRU	LEVEL 05	145	
CRU	LEVEL 06	145	
CRU	LEVEL 07	145	
CRU	LEVEL 08	145	
CRU	LEVEL 09	145	
CRU	LEVEL 10	145	
CRU	LEVEL 11	145	
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CRU	LEVEL 97	145	
CRU	LEVEL 98	145	
CRU	LEVEL 99	145	
CRU	LEVEL 100	145	

Parking Schedule - Summary	
Comments	Count
CAR SHARE	2
CARPOOL	5
CRU HOTEL	145
HOTEL GUEST	67
OVAL CRU HOTEL	152
RESIDENTIAL	328
RESIDENTIAL - AH	22
RESIDENTIAL VISITOR	61
Grand total:	662

Parking Schedule - CRU Hotel Amenity	
Type Comments	Count
COMMERCIAL SMALL STALL	14
COMMERCIAL STANDARD	25
GEODETIC SEA LEVEL 38	
COMMERCIAL ACCESSIBLE	3
COMMERCIAL SMALL STALL	25
COMMERCIAL STANDARD	13
LEVEL 01 41	
COMMERCIAL SMALL STALL	27
COMMERCIAL STANDARD	34
LEVEL 02 61	
COMMERCIAL SMALL STALL	3
COMMERCIAL STANDARD	1
LEVEL 03 4	
Grand total:	145

Parking Schedule - Hotel Room Guests	
Type Comments	Count
HOTEL CRU ACCESSIBLE	2
HOTEL CRU SMALL STALL	20
HOTEL CRU STANDARD	23
HOTEL GUEST SMALL STALL	13
HOTEL GUEST STANDARD	9
LEVEL 01 67	
Grand total:	67

Parking Schedule - Oval CRU Hotel	
Type Comments	Count
OVAL CRU HOTEL ACCESSIBLE	1
OVAL CRU HOTEL LARGE ACCESSIBLE	1
LEVEL 01 2	
OVAL CRU STANDARD	12
OVAL CRU HOTEL SMALL STALL	26
OVAL CRU HOTEL STANDARD	12
LEVEL 02 50	
Grand total:	52

Parking Schedule - Residential	
Type Comments	Count
RESIDENTIAL SMALL CAR	23
RESIDENTIAL STANDARD	36
LEVEL 03 59	
RESIDENTIAL ACCESSIBLE PARKING	2
RESIDENTIAL SMALL CAR	70
RESIDENTIAL STANDARD	82
LEVEL 04 154	
RESIDENTIAL ACCESSIBLE LARGE	1
RESIDENTIAL ACCESSIBLE PARKING	4
RESIDENTIAL SMALL CAR	61
RESIDENTIAL STANDARD	49
LEVEL 05 115	
Grand total:	328

Parking Schedule - Residential AH	
Type Comments	Count
RESIDENTIAL SMALL CAR AH	3
RESIDENTIAL STANDARD AH	3
LEVEL 03 6	
RESIDENTIAL SMALL CAR AH	4
RESIDENTIAL STANDARD AH	3
LEVEL 04 7	
RESIDENTIAL SMALL CAR AH	4
RESIDENTIAL STANDARD AH	5
LEVEL 05 9	
Grand total:	22

Parking Schedule - Residential Visitor	
Type Comments	Count
RES VISITOR SMALL STALL	31
RES VISITOR STANDARD STALL	28
RESIDENTIAL VISITOR ACCESSIBLE PARKING	2
LEVEL 03 61	
Grand total:	61

Parking Schedule - Loading	
Type Comments	Count
MEDIUM SIZE LOADING	5
MEDIUM GARBARGE LOADING	1
SMALL SIZE LOADING	6
LEVEL 01 12	
Grand total:	12

CLIENT
Landa Global Properties Ltd.
1550 - 200 BURNARD ST.
VANCOUVER, BC V8C 3L6

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ISSUES		
No.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
1	ISP BOARD SUBMISSION	2024-04-25



CONSULTANTS
APNO MATIS ARCHITECTURE
204-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T 604.708.8188

DP 21-945917
April 25, 2024
Plan # 4

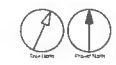
PRIME CONSULTANT
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1285 West Pender Street - Suite 100
Vancouver BC V6E 4B1 Canada
Tel: (604) 683-8737
www.arcadis.com

PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO
136941
DRAWN BY
Author
CHECKED BY
Checker
PROJECT MGR
Designer
APPROVED BY
Approver

SHEET TITLE
UNIT & PARKING MIX

SHEET NUMBER
A102c
ISSUE
2



CLIENT
Landa Global Properties Ltd.

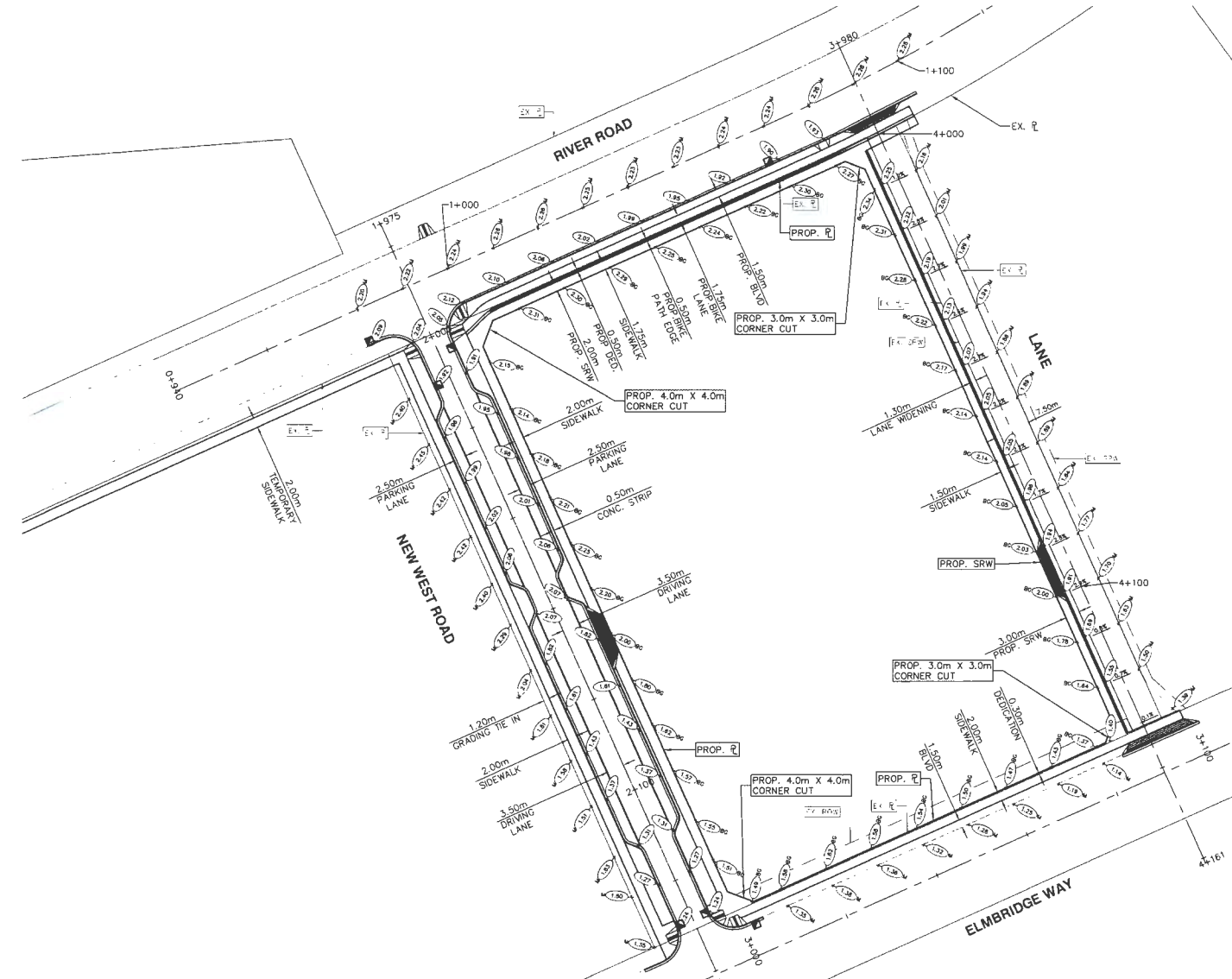
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Arcadis Professional Services (Canada) Inc.
formerly IBI Group Professional Services (Canada) Inc.

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
3	FOR BOARD SUBMISSION	2024-04-15

CONSULTANTS
AM
775 HUBBARD AVENUE, VANCOUVER BC
V6Z 1M2 T 604-735-9788



WORKS SHOWN ON THIS DRAWING ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE VIA FURTHER CONFIRMATION OF CITY/PROJECT REQUIREMENTS AND DETAILED REVIEW/DESIGN PROCESS.

LEGEND:

- PROPOSED ELEVATION (m) - BASED ON EXISTING ROADWAY CONDITIONS AND TYPICAL OFFSITE CITY STANDARDS
- PROPOSED ELEVATION (m) - TO MATCH EXISTING ELEVATION
- BUILDING GRADES ELEVATION (m) - BUILDING ELEVATION AT PROPERTY LINE BASED ON TYPICAL OFFSITE CITY STANDARDS
- PROPOSED SLOPE
- PROPOSED CONCRETE CURB
- PROPOSED CATCH BASIN

DP 21-945917
April 25, 2024
Plan # 5

City of Richmond
6011 NO. 3 ROAD RICHMOND B.C. V6Y 2Z1

TITLE:
PRELIMINARY GRADING PLAN
6851 & 6871 ELMBRIDGE WAY DEVELOPMENT
CITY FILE #: RZ-17-782750

JA/SR	DATE	DESCRIPTION
JA	1:500	JUNE 2023
SR		
RSL		1 OF 1

ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBER.
ALL ELEVATIONS AND DISTANCES SHOWN ARE IN METRES. ELEVATIONS ARE TO RICHMOND GEODETIC DATUM AND DERIVED FROM RICHMOND HIGH PRECISION MONUMENT BENCHMARK #195 (77+470).

ELEVATION: 1.783m GEODETIC FIELD BOOK: _____

CITY WORK ORDER #: _____ TENDER/PROJECT #: _____
CONTRACTOR WORK ORDER #: _____ ACCOUNT #: _____

APLIN MARTIN
ENGINEERING ARCHITECTURE PLANNING SURVEYING

EGBC Permit to Practice Number: #1001018
#1816 - 1177 West Hastings Street, Vancouver, B.C. Canada V6E 2K3
Tel: (604) 678-9434, Fax: (604) 597-9061, Email: general@aplinmartin.com
APLIN MARTIN DWG. No. 20-5035-01SK

NO.	DATE	BY	CHK.	DESCRIPTION
6	JUN 29/23	JA/SR	RSL	ROAD FUNCTIONAL PLANS
5	MAY 16/23	JA/SR	RSL	ISSUED FOR REVIEW
4	MAR 02/23	LC/SR	RSL	ROAD FUNCTIONAL PLANS
3	AUG 29/22	LC/SR	RSL	ROAD FUNCTIONAL PLANS
2	AUG 15/22	LC/SR	RSL	ROAD FUNCTIONAL PLANS
1	DEC 20/21	LC/SR	RSL	ISSUED FOR DP

PRIME CONSULTANT
ARCADIS

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Vancouver BC V6E 4B1 Canada
Tel: 604 983 8737
www.arcadis.com

PROJECT
Elmbidge Way
6851-6871 Elmbidge Way
Richmond, BC

PROJECT NO: 138941

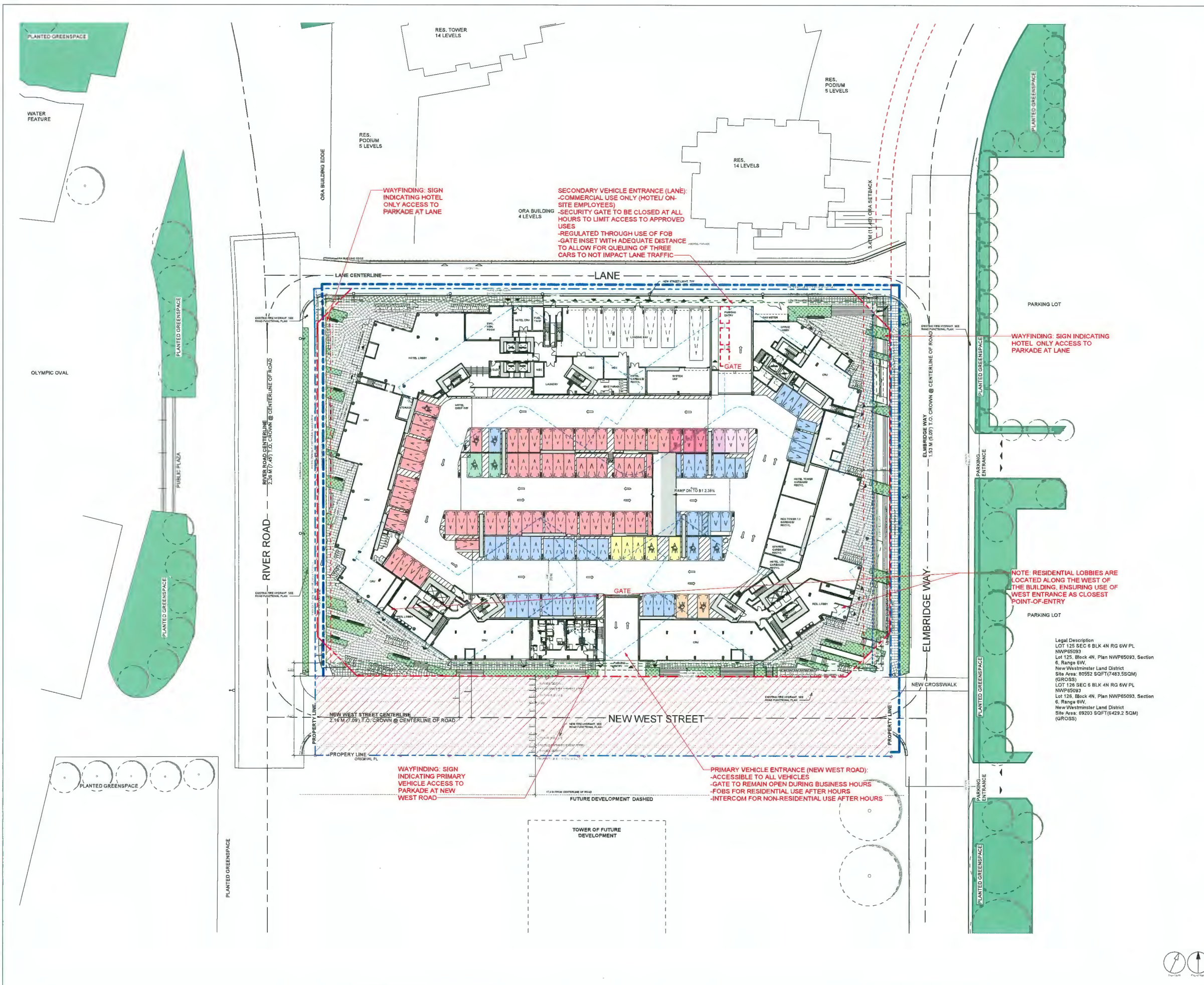
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PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
BUILDING GRADE

SHEET NUMBER
A104

ISSUE
2

REVISED 11.06.21 AM



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Formerly 3M Group Professional Services (Canada) Inc.

ISSUES	DESCRIPTION	DATE
1	REVISED FOR DEVELOPMENT PERMIT	2023-07-07
2	ED BOARD SUBMISSION	2024-04-25

CONSULTANTS
AM
APNO MATIS ARCHITECTURE
704-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T: 604.708.0188

LEGEND

DEDICATION	SYMBOL
SRW	[Symbol]
NEW PROPERTY LINE	[Symbol]
ORIGINAL PROPERTY LINE	[Symbol]
SETBACK	[Symbol]
ORA BUILDING EDGE	[Symbol]
EAST NEIGHBOUR: ORA: SETBACK	[Symbol]

Legal Description
LOT 125 SEC 6 BLK 4N RG 6W PL NWP65093
Lot 125, Block 4N, Plan NWP65093, Section 6, Range 6W,
New Westminster Land District
Site Area: 80552 SQFT (7483.5 SQM) (GROSS)
LOT 126 SEC 6 BLK 4N RG 6W PL NWP65093
Lot 126, Block 4N, Plan NWP65093, Section 6, Range 6W,
New Westminster Land District
Site Area: 89203 SQFT (8229.2 SQM) (GROSS)

DP 21-945917
April 25, 2024
Plan # 6

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PROJECT
Elmbriidge Way
8851-8871 Elmbriidge Way
Richmond, BC

PROJECT NO
136941

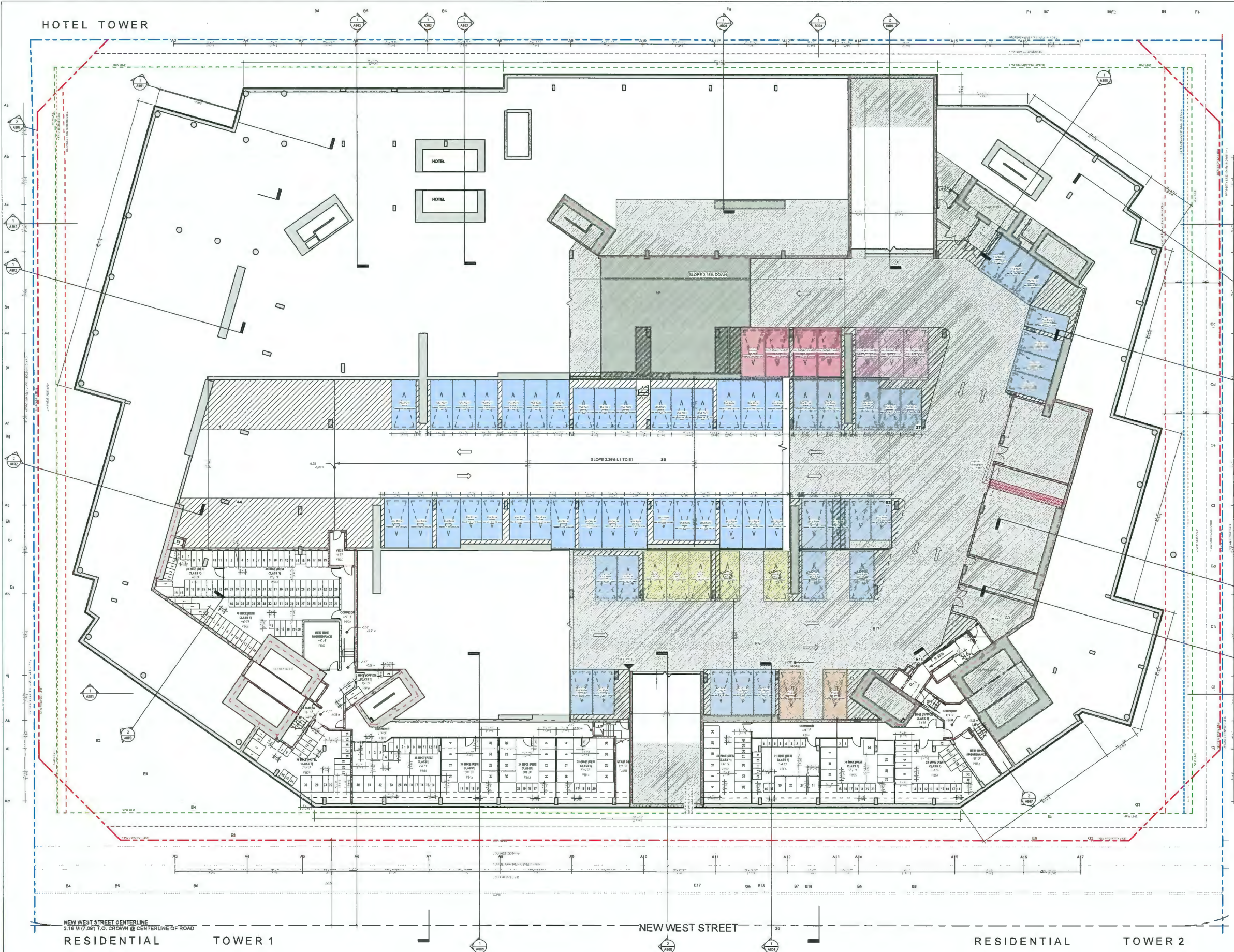
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PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
SITE PLAN

SHEET NUMBER
A110

ISSUE
2

2024-04-25 10:17:12 AM



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1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
2	TOP BOARD SUBMISSION	2024-04-25

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APND MATIS ARCHITECTURE
204-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T 604-708-0188

LEGEND

- DEDICATION: [Hatched pattern]
- SRW: [Dashed line]
- NEW PROPERTY LINE: [Red dashed line]
- ORIGINAL PROPERTY LINE: [Blue dashed line]
- SETBACK: [Red dashed line]
- ORA BUILDING EDGE: [Dotted line]
- EAST NEIGHBOUR: ORA SETBACK: [Blue dashed line]

DP 21-945917
April 25, 2024
Plan # 7

SEAL:

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Vancouver BC V6E 4B1 Canada
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PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO
136841

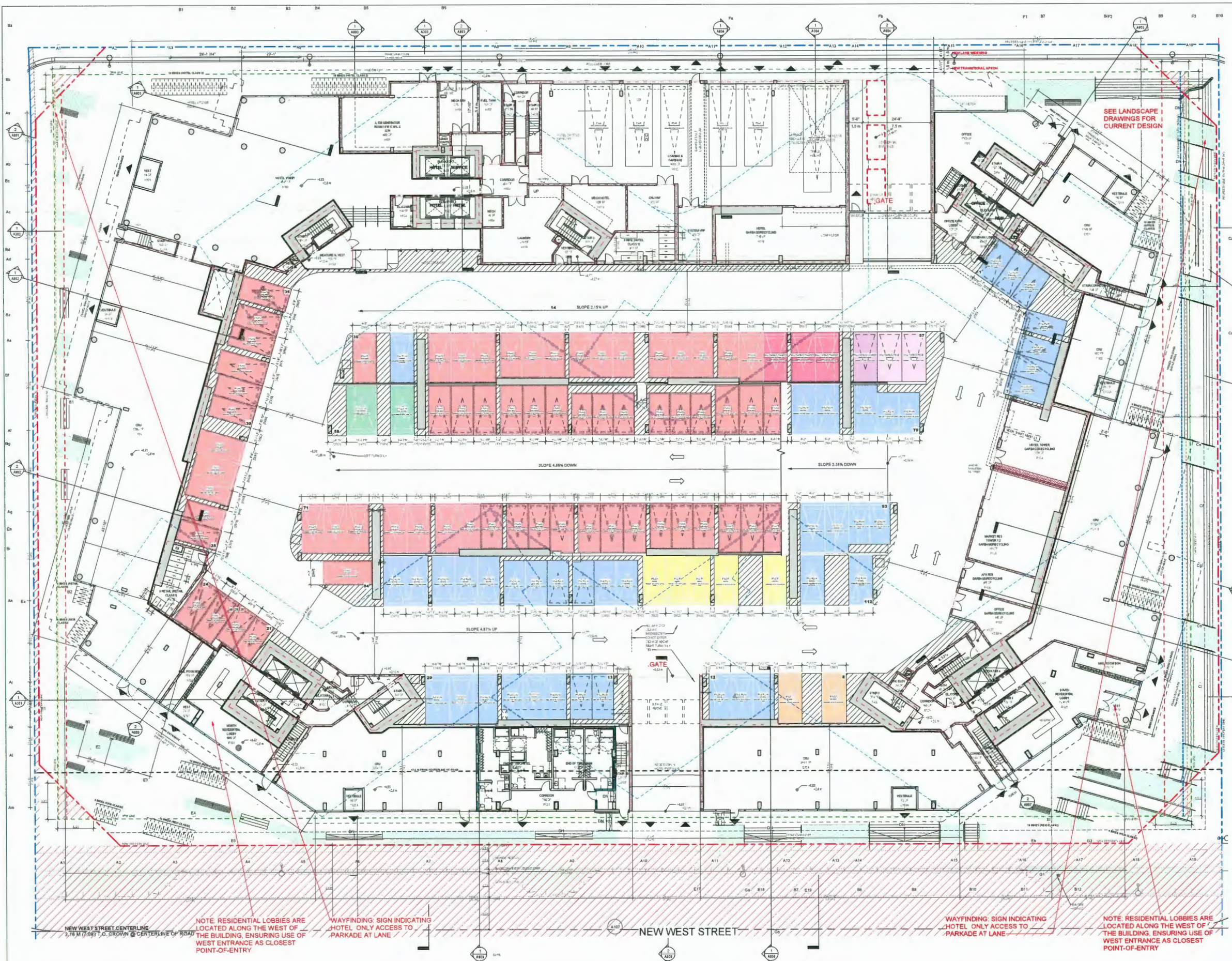
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PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
LEVEL B1 PARKING

SHEET NUMBER
A200

ISSUE
2

NOTE: THE DESIGN OF THE PARKING STRUCTURE REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH SECTION 4.1.3 OF THE PARKING PLAN. THE DESIGN OF BICYCLE SPACES INCLUDING BICYCLE RACKS, COMPARTMENTS, LOCKERS UNDER RACKS REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH RELEVANT PROVISIONS OF SECTION 4 OF THE PARKING PLAN. NUMBER OF BICYCLE RACKS SHALL BE PROVIDED FOR EACH TWO CLASS A BICYCLE SPACES. MECHANICAL EQUIPMENT VENTILATORS, GENERATOR COMPARTMENT AND EXHAUST SYSTEMS WILL BE DESIGNED AND LOCATED TO MINIMIZE NOISE IMPACTS ON THE NEIGHBOURHOOD AND COMPLY WITH NOISE BYLAW 1000.



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ISSUE	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
2	FOR BOARD SUBMISSION	2024-04-15

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V6J 1H2 T 604.708.0188

LEGEND
DEDICATION: [Hatched pattern]
SRW: [Dashed line]
NEW PROPERTY LINE: [Red dashed line]
ORIGINAL PROPERTY LINE: [Blue dashed line]
SETBACK: [Red dashed line]
ORA BUILDING EDGE: [Red dashed line]
EAST NEIGHBOUR ORA SETBACK: [Blue dashed line]

DP 21-945917
April 25, 2024
Plan # 8

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PROJECT
Elmbridge Way
6951-6971 Elmbridge Way
Richmond, BC

PROJECT NO 138941	CHECKED BY [Signature]
DRAWN BY [Signature]	APPROVED BY [Signature]
PROJECT MGR [Signature]	DESIGNER [Signature]

SHEET TITLE
LEVEL 1 PARKING

SHEET NUMBER
A201

ISSUE
2

NEW WEST STREET CENTERLINE
2.76 M (9.06 FT) TO CENTERLINE OF ROAD

NOTE: RESIDENTIAL LOBBIES ARE LOCATED ALONG THE WEST OF THE BUILDING, ENSURING USE OF WEST ENTRANCE AS CLOSEST POINT-OF-ENTRY

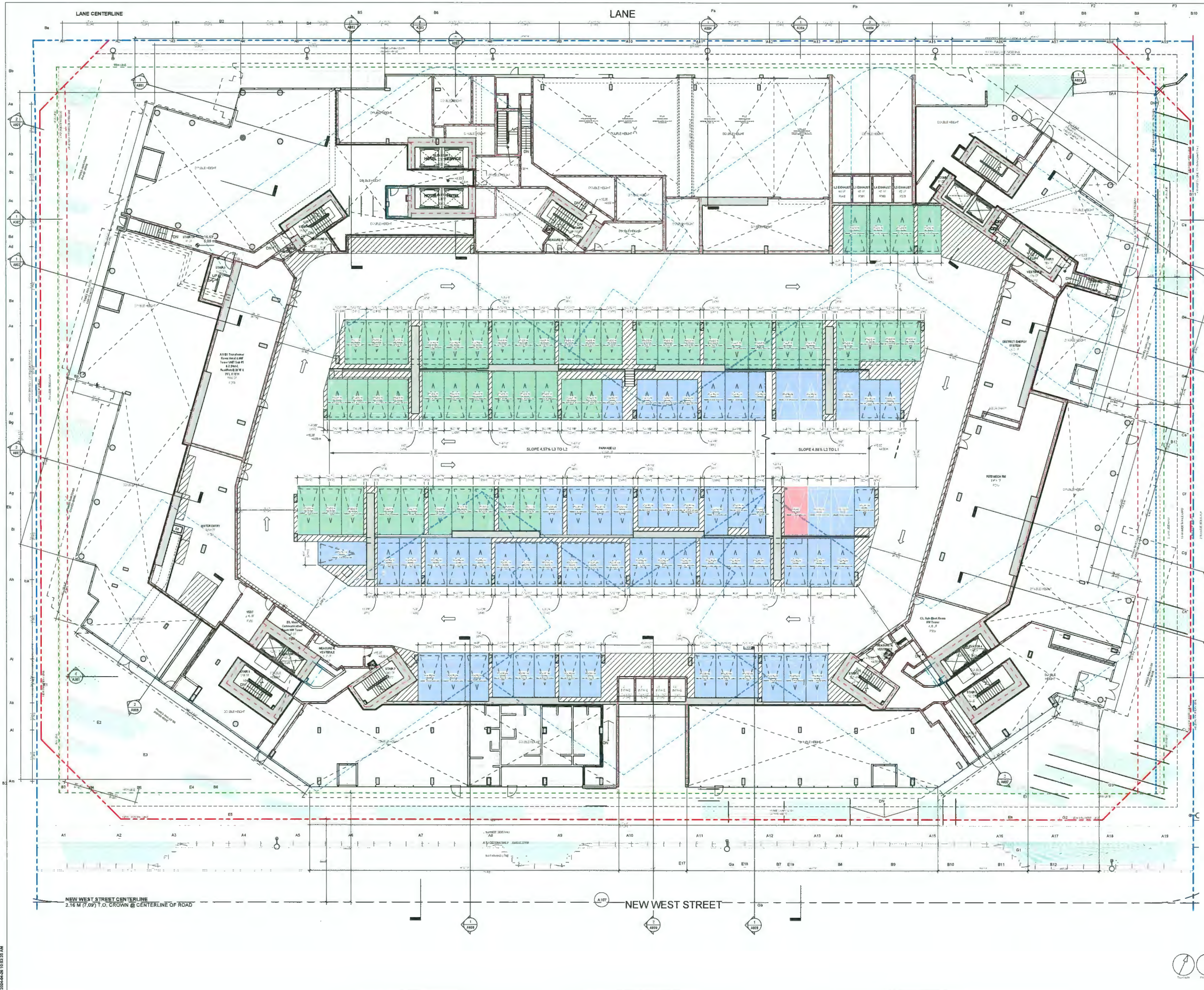
WAYFINDING SIGN INDICATING HOTEL ONLY ACCESS TO PARKADE AT LANE

NEW WEST STREET

WAYFINDING SIGN INDICATING HOTEL ONLY ACCESS TO PARKADE AT LANE

NOTE: RESIDENTIAL LOBBIES ARE LOCATED ALONG THE WEST OF THE BUILDING, ENSURING USE OF WEST ENTRANCE AS CLOSEST POINT-OF-ENTRY

FOR 04-06-15 10:15 AM



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Landscape Professional Services (Canada) Inc.

ISSUES	DESCRIPTION	DATE
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2	ED BOARD SUBMISSION	2024-04-15

CONSULTANT'S
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LEGEND

- DEDICATION
- SRW
- NEW PROPERTY LINE
- ORIGINAL PROPERTY LINE
- SETBACK
- ORA BUILDING EDGE
- EAST NEIGHBOUR: ORA SETBACK

DP 21-945917
April 25, 2024
Plan # 9

SEAL

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tel 604 683 6737
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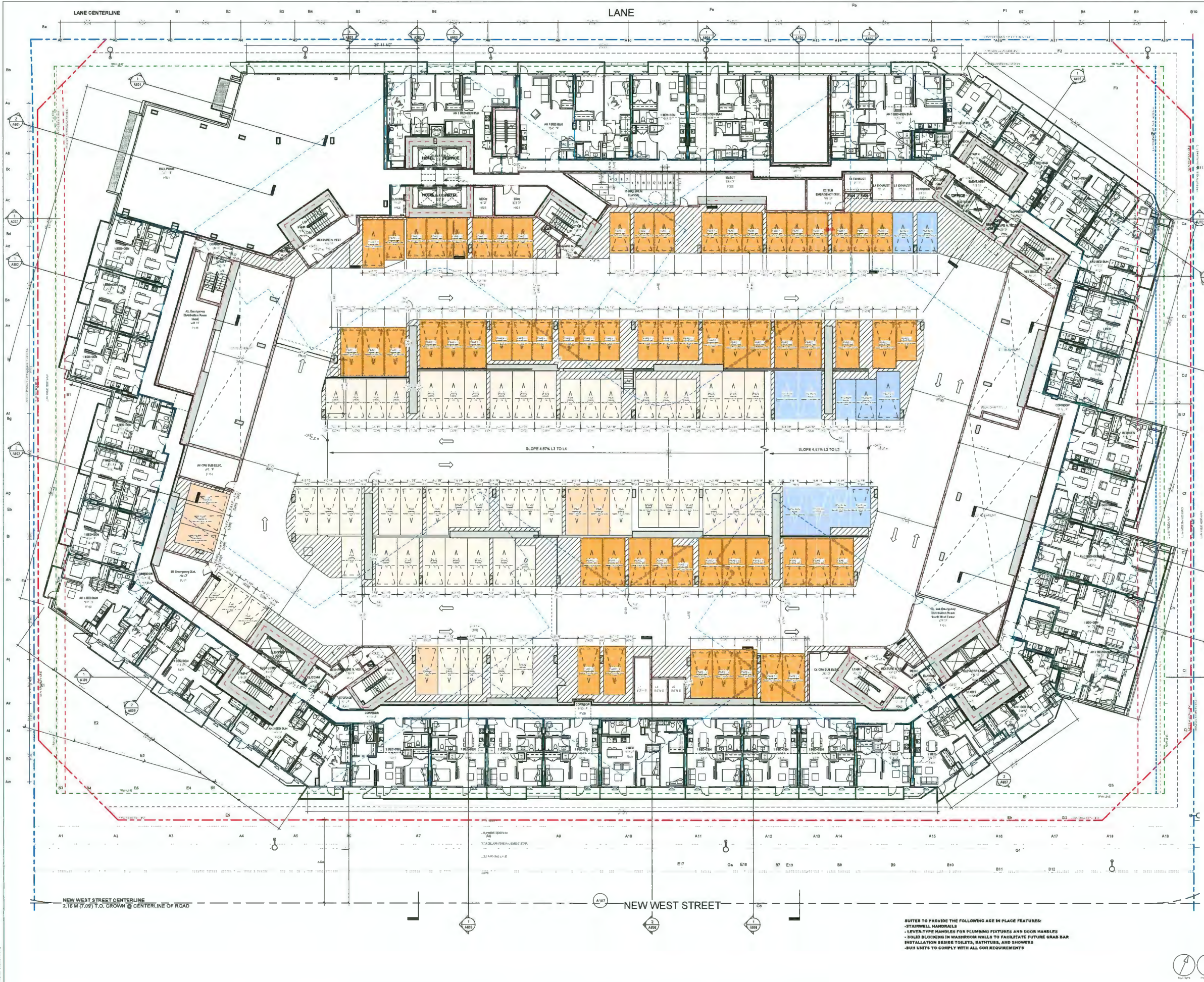
PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO 136941	CHECKED BY Checker
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SHEET TITLE
LEVEL 2 PARKING

SHEET NUMBER A202	ISSUE 2
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20240415 13:53:25 AM



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VANCOUVER, BC, V8C 3L8

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ISSUES	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-07
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AM
ARNO MATIS ARCHITECTURE
704-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T 604.708.0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 10

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PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO
136941

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PROJECT MGR Designer	APPROVED BY Approver

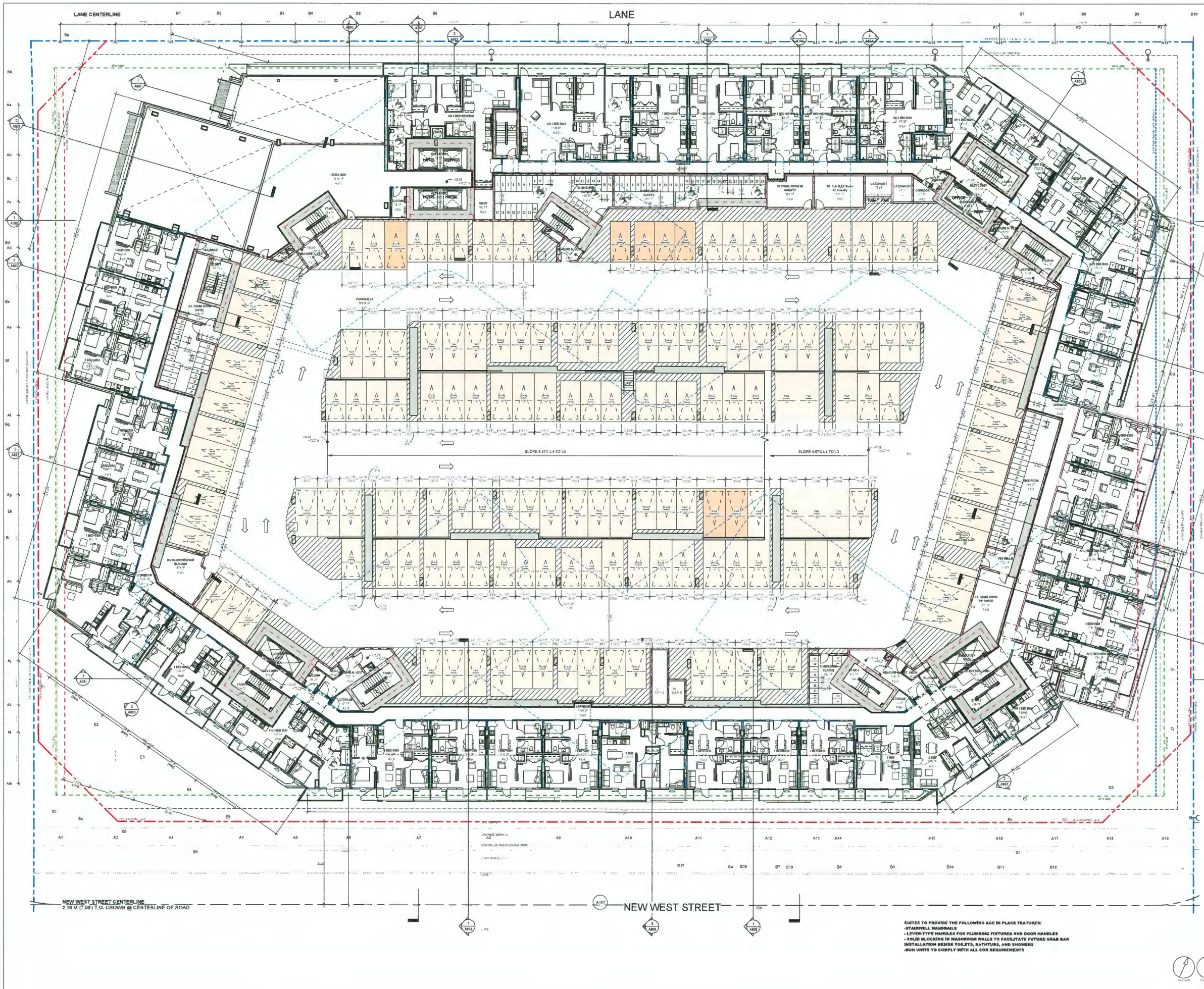
SHEET TITLE
LEVEL 3 PARKING

SHEET NUMBER
A203

FIGURE
2

NOTES TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
 - STAIRWELL HANDRAILS
 - LEVEL-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR
 - INSTALLATION BESIDE TOILETS, BATHUBS, AND SHOWERS
 - BURN UNITS TO COMPLY WITH ALL CUR REQUIREMENTS

20240425 10:53 AM AM



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ISSUE	No.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-07	
2	DP BOARD SUBMISSION	2024-04-25	

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204-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T 604.708.0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 11

SEAL

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PROJECT
Elmbridge Way
8851-8871 Elmbridge Way
Richmond, BC

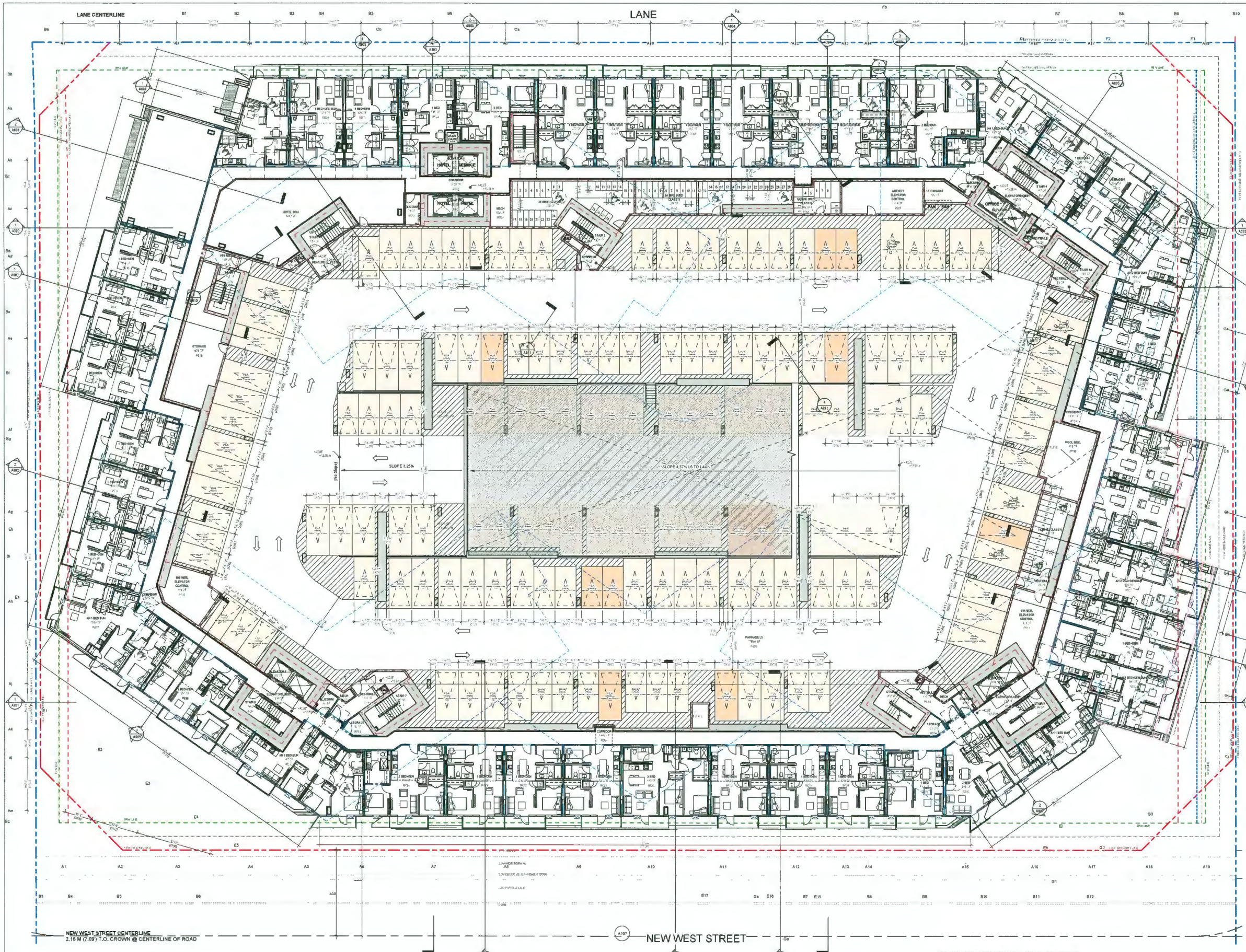
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DRAWN BY Author	APPROVED BY Approver

SHEET TITLE
LEVEL 4 PARKING

SHEET NUMBER A204	ISSUE 2
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SUITES TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
- STAIRWELL HANDRAILS
- LEVEL-TYPE HANDLES FOR PLUMBING FEATURES AND DOOR HANDLES
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHUBS, AND SHOWERS
- RUN UNITS TO COMPLY WITH ALL COR REQUIREMENTS

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ISSUES	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
2	FOR BOARD SUBMISSION	2024-04-15



ARNO MATIS ARCHITECTURE
 204-1540 W 2ND AVE, VANCOUVER, BC
 V6J 1H2 T 604.708.0188

LEGEND

DEDICATION	SYMBOL
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 12



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PROJECT
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 6851-6871 Elmbridge Way
 Richmond, BC

PROJECT NO
 136941

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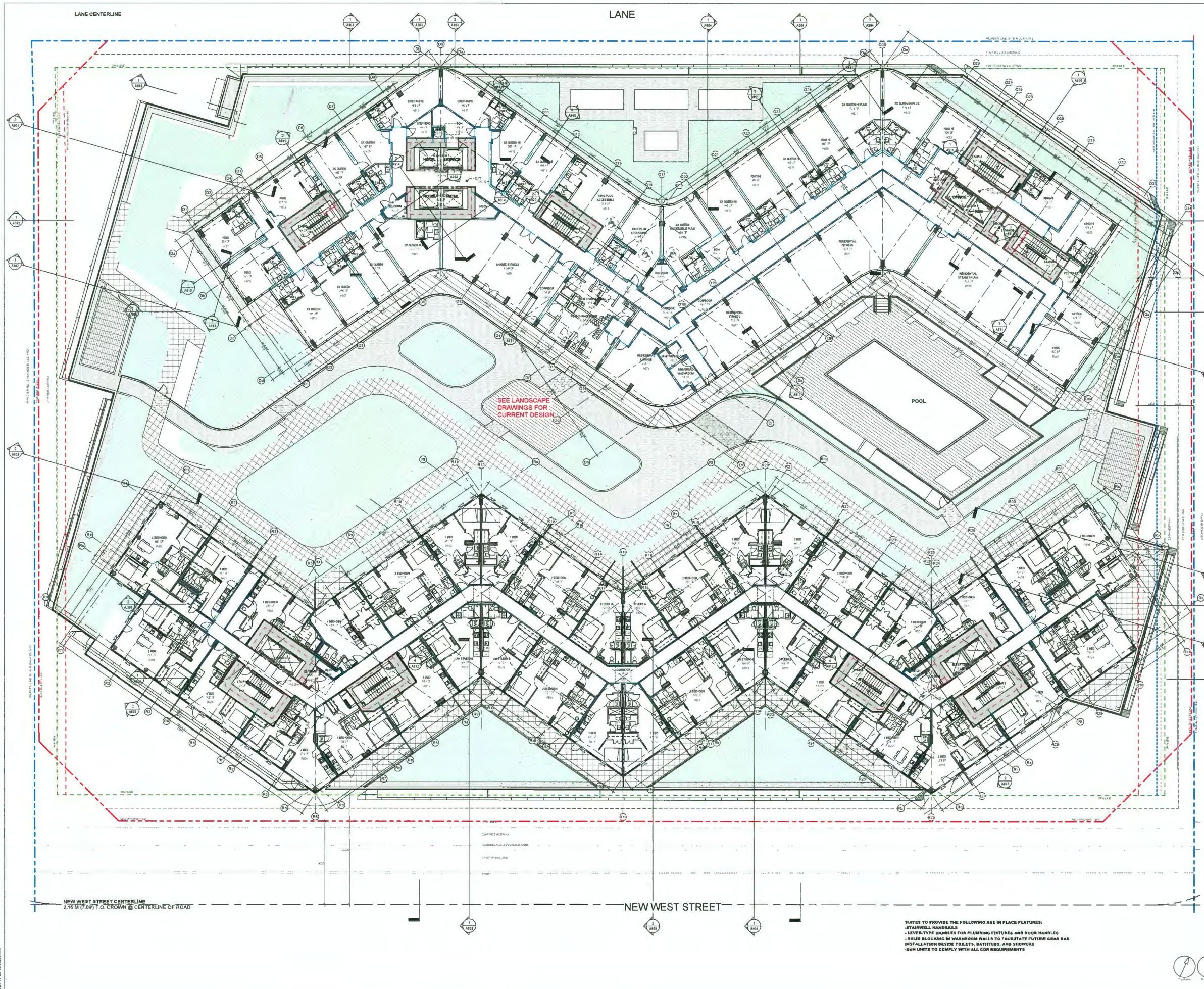
SHEET TITLE
LEVEL 5 PARKING

SHEET NUMBER
A205

ISSUE
2

- SUITES TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
- STAIRWELL HANDRAILS
 - LEVEL-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHUBS, AND SHOWERS
 - BUN UNITS TO COMPLY WITH ALL COR REQUIREMENTS

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ISSUES	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
2	DP BOARD SUBMISSION	2024-04-25

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204-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T 604.708.0188

LEGEND

- DEDICATION: [Hatched pattern]
- SRW: [Dashed line]
- NEW PROPERTY LINE: [Red dashed line]
- ORIGINAL PROPERTY LINE: [Blue dashed line]
- SETBACK: [Red dashed line]
- ORA BUILDING EDGE: [Dotted line]
- EAST NEIGHBOUR, ORA: [Blue dashed line]
- SETBACK: [Blue dashed line]

DP 21-945917
April 25, 2024
Plan # 13

SEAL:

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6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO: 136941	DRAWN BY: Author	CHECKED BY: Checker
	PROJECT MGR: Designer	APPROVED BY: Approver

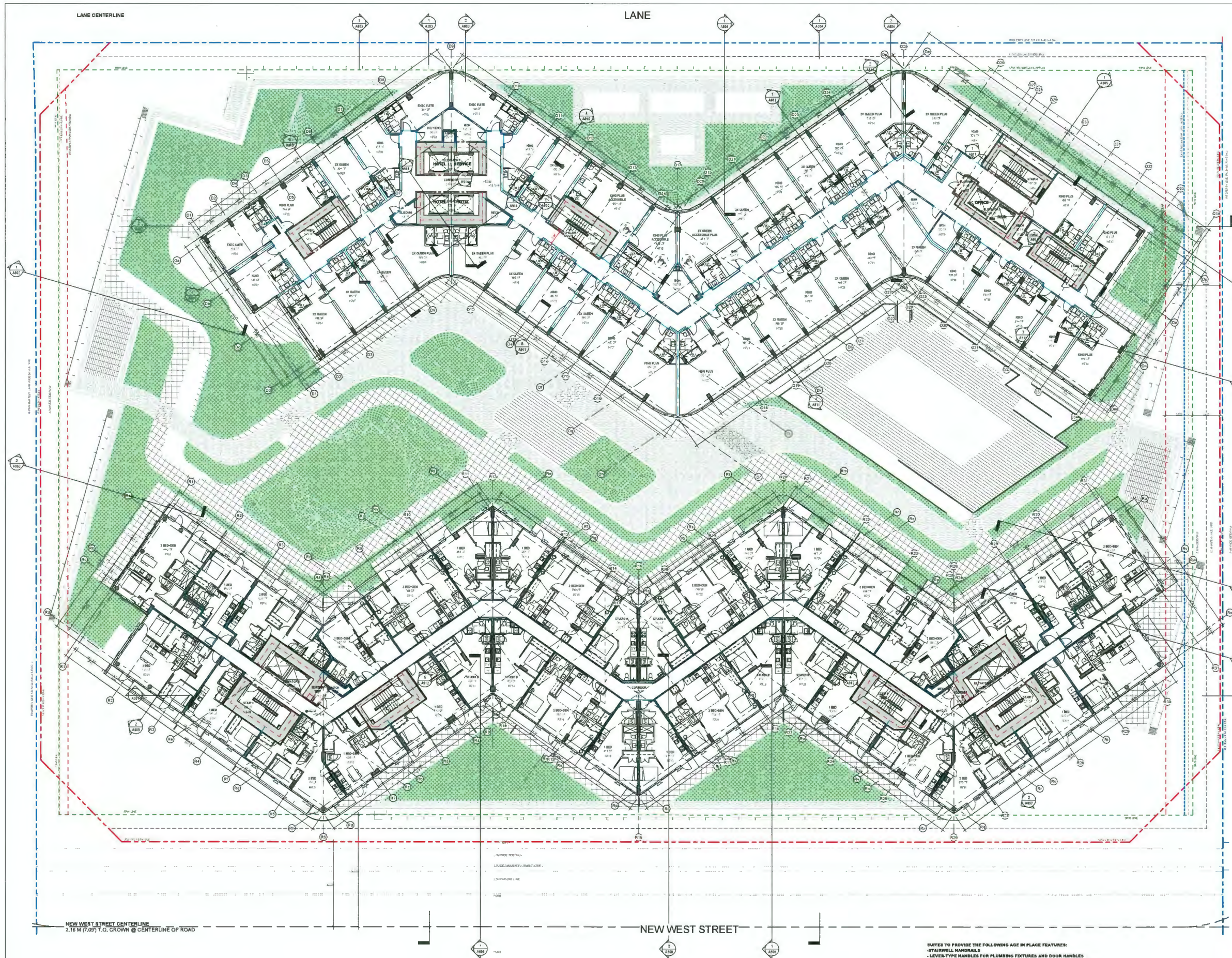
SHEET TITLE
LEVEL 6 FLOOR PLAN

SHEET NUMBER
A206

ISSUE
2

2024-04-25 10:55:30 AM

SUITES TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
 - STAIRWELL HANDRAILS
 - LEVEL-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR
 INSTALLATION BESIDE TOILETS, BATHYUBS, AND SHOWERS
 - SHUN UNITS TO COMPLY WITH ALL COR REQUIREMENTS



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ISSUE NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
2	DP BOARD SUBMISSION	2024-04-25

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 V6J 1K2 T. 604.708.0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
 April 25, 2024
 Plan # 14

SEAL

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PROJECT
Elmbridge Way
 6851-6871 Elmbridge Way
 Richmond, BC

PROJECT NO. 136941	CHECKED BY Author
DRAWN BY Author	APPROVED BY Approver

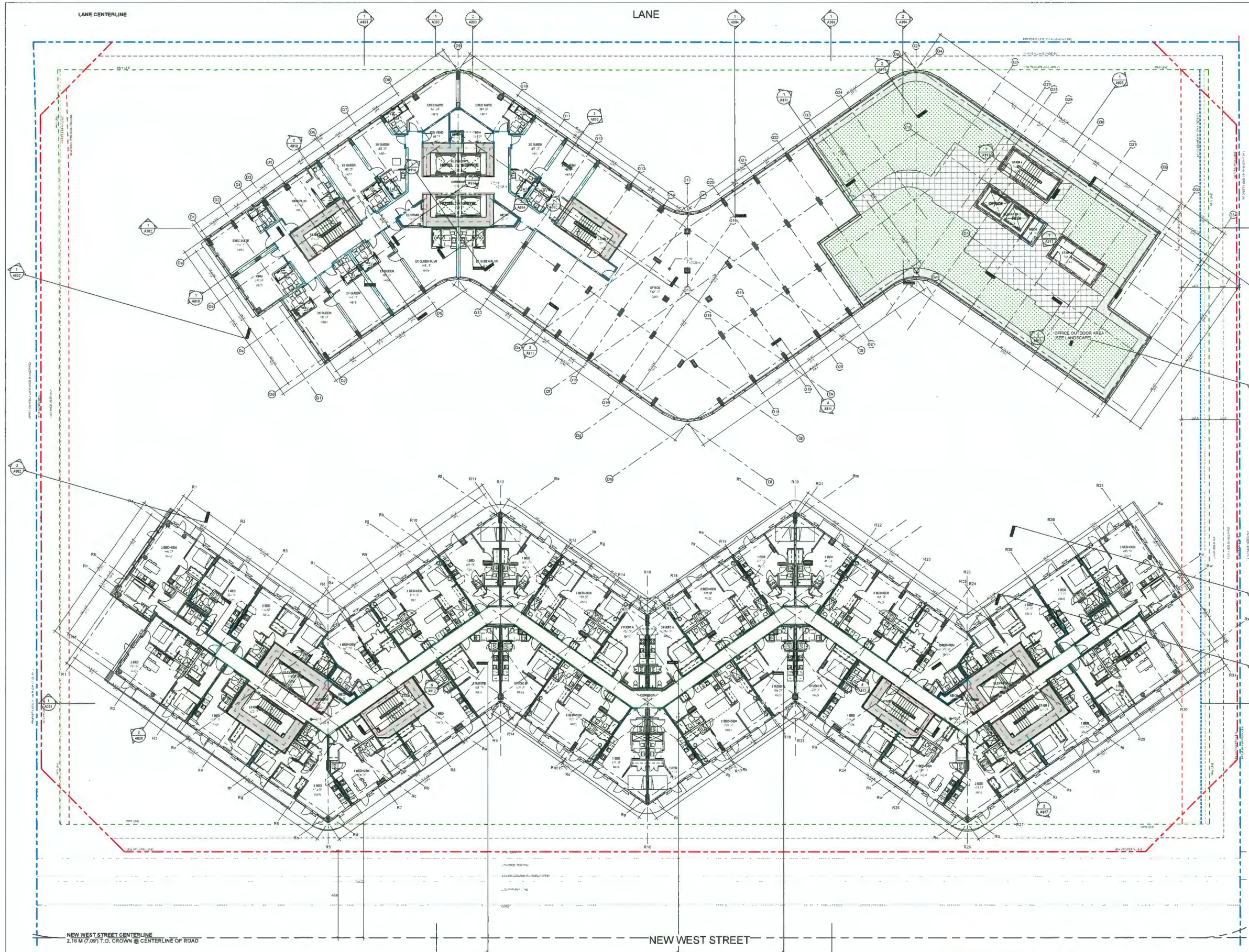
SHEET TITLE
LEVEL 7 FLOOR PLAN

SHEET NUMBER
A207

ISSUE
2

- SUITS TO PROVIDE THE FOLLOWING AS-BUILT FEATURES:
- STAIRWELL HANDRAILS
 - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHROOMS, AND SHOWERS
 - SUIT UNITS TO COMPLY WITH ALL COR REQUIREMENTS

20240425 10:55 AM AM



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Arcadis Professional Services (Canada) Inc.
formerly Hill Group Professional Services Canada Inc.

ISSUES	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT	2024-07-02
2	FOR BOARD SUBMISSION	2024-04-25

CONSULTANTS
AM

APNO MATIS ARCHITECTURE
256-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T. 604.708.0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 15

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ARCADIS
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PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO
135941
DRAWN BY
Author
CHECKED BY
Checker
PROJECT MGR
Designer
APPROVED BY
Approver

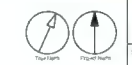
SHEET TITLE
LEVEL 8 FLOOR PLAN

SHEET NUMBER
A208
ISSUE
2

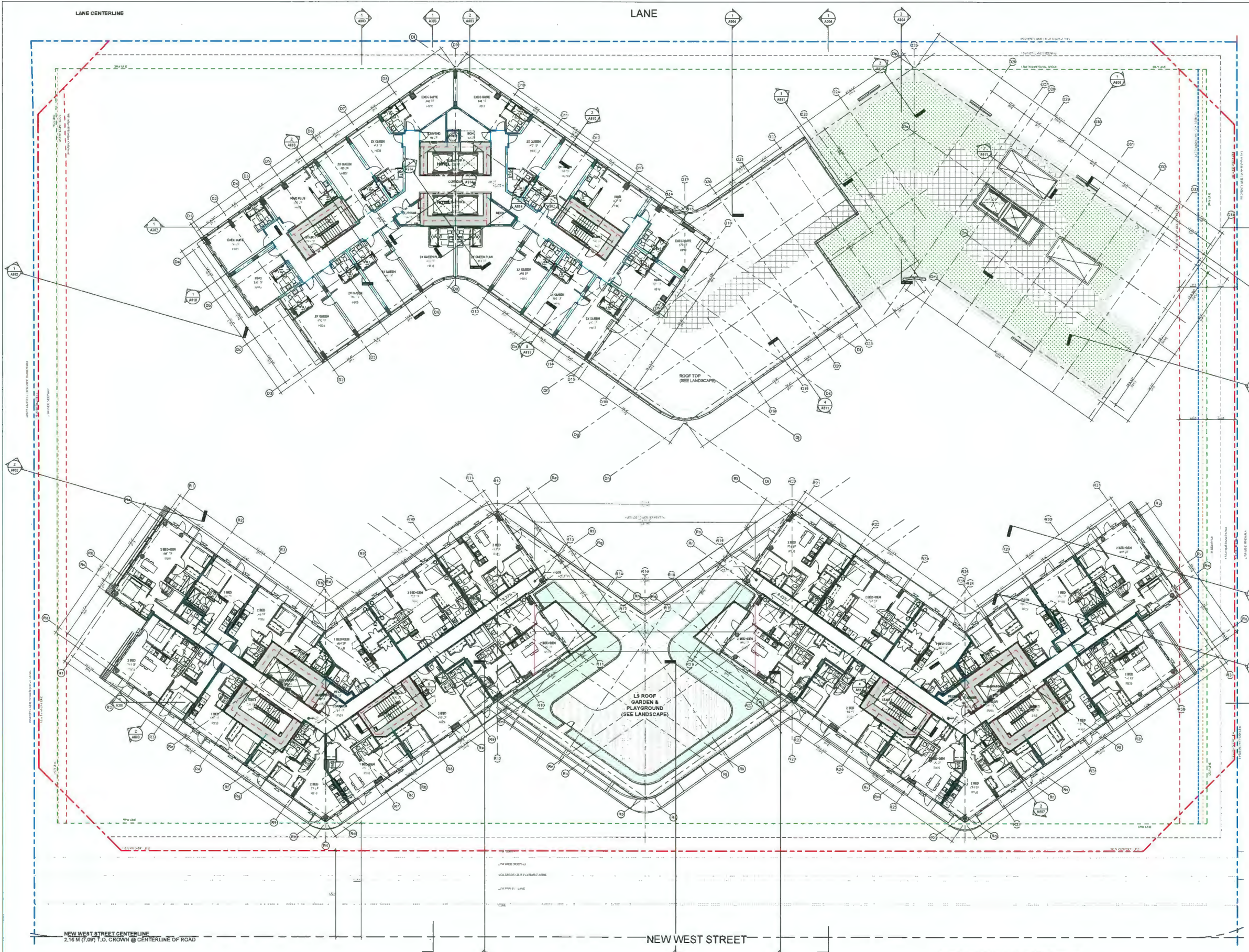
- SUITES TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
- STAIRWELL HANDRAILS
 - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - BOLD BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHTUBS, AND SHOWERS
 - BURN UNITS TO COMPLY WITH ALL COX REQUIREMENTS

NEW WEST STREET CENTERLINE
2.16 M (7.08') T.O. CROWN @ CENTERLINE OF ROAD

NEW WEST STREET



DRAWING: 10188-14-AM



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ISSUES	No.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT		2024-07
2	TOP BOARD SUBMISSION		2024-04-15

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ARNO MATIS ARCHITECTURE
204-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T. 604-708-0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 16

SEAL

PRIME CONSULTANT
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PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO
136841

DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
LEVEL 9 FLOOR PLAN

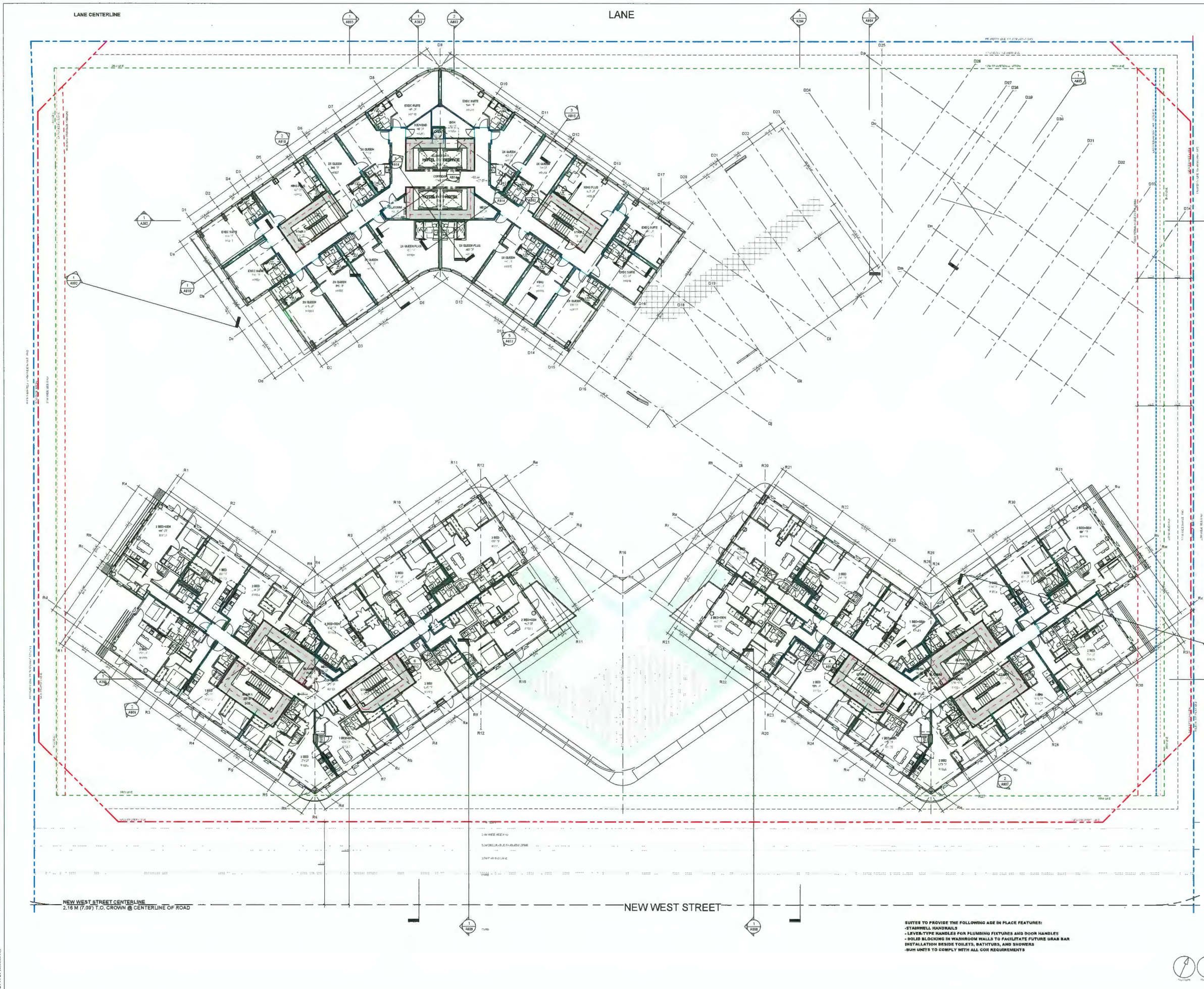
SHEET NUMBER
A209

ISSUE
2

- SUITES TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
- STAIRWELL HANDRAILS
 - LEVEL-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHTUBS, AND SHOWERS
 - BATH UNITS TO COMPLY WITH ALL COR REQUIREMENTS



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2	FOR BOARD SUBMISSION	2024-04-25

CONSULTANTS

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V6J 1H2 T 604-708-0188

LEGEND

DEDICATION

SRW

NEW PROPERTY LINE

ORIGINAL PROPERTY LINE

SETBACK

ORA BUILDING EDGE

EAST NEIGHBOUR: ORA: SETBACK

DP 21-945917
April 25, 2024
Plan # 17

SEAL

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PROJECT NO
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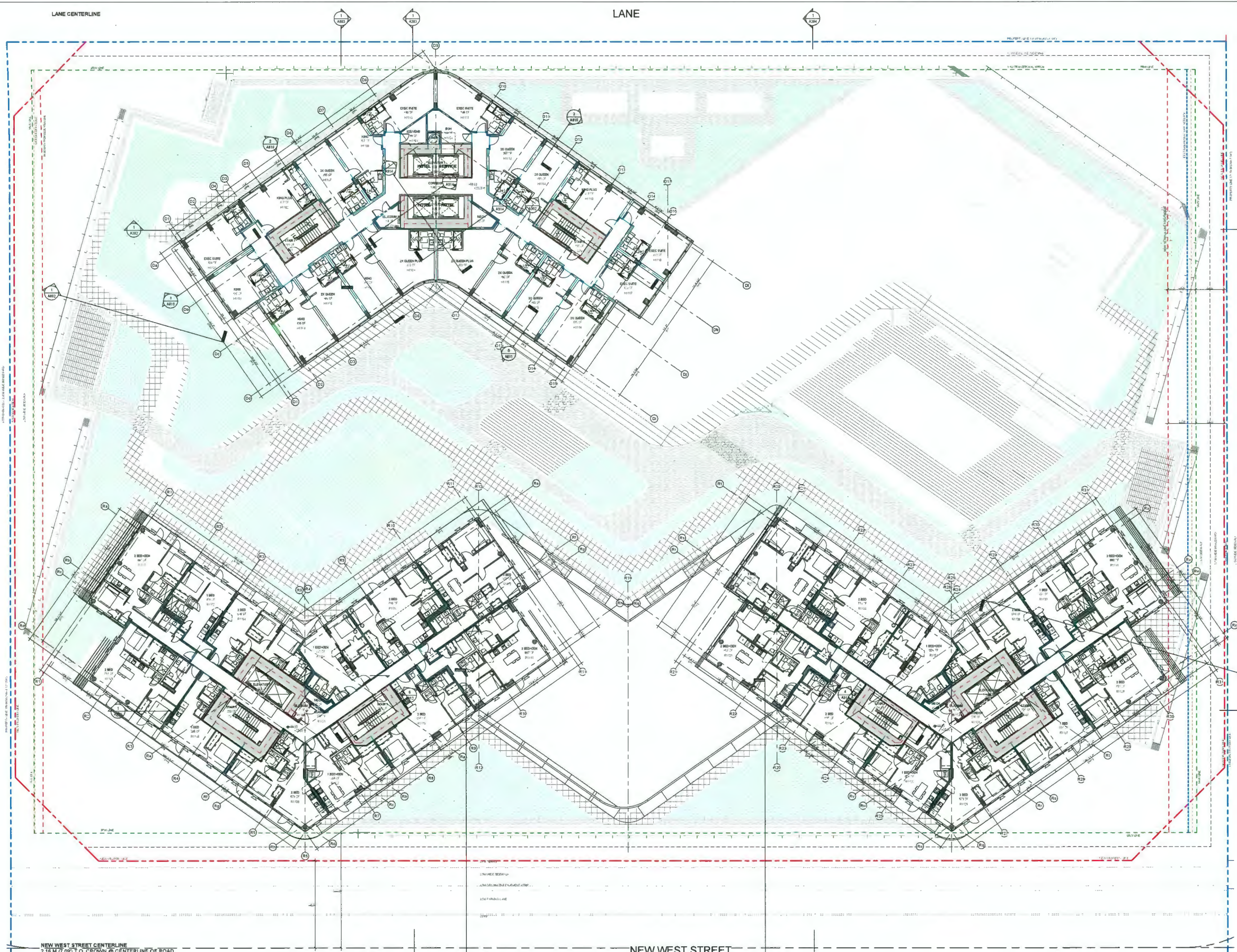
SHEET TITLE
LEVEL 10 FLOOR PLAN

SHEET NUMBER
A210

ISSUE
2

DATE: 2024-04-25 10:58 AM

SUITES TO PROVIDE THE FOLLOWING AS-BUILT FEATURES:
 - STAIRWELL HANDRAILS
 - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHTUBS, AND SHOWERS
 - BURN UNITS TO COMPLY WITH ALL GOR REQUIREMENTS



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LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 10

SEAL
The professional seal of the architect is required for the issuance of a permit. The seal of the engineer is required for the issuance of a permit. The seal of the geotechnical engineer is required for the issuance of a permit. The seal of the landscape architect is required for the issuance of a permit. The seal of the interior designer is required for the issuance of a permit. The seal of the lighting designer is required for the issuance of a permit. The seal of the acoustical consultant is required for the issuance of a permit. The seal of the fire protection engineer is required for the issuance of a permit. The seal of the structural engineer is required for the issuance of a permit. The seal of the mechanical engineer is required for the issuance of a permit. The seal of the electrical engineer is required for the issuance of a permit. The seal of the plumbing engineer is required for the issuance of a permit. The seal of the civil engineer is required for the issuance of a permit. The seal of the environmental engineer is required for the issuance of a permit. The seal of the transportation engineer is required for the issuance of a permit. The seal of the surveyor is required for the issuance of a permit. The seal of the geomatics engineer is required for the issuance of a permit. The seal of the professional accountant is required for the issuance of a permit. The seal of the professional planner is required for the issuance of a permit. The seal of the professional economist is required for the issuance of a permit. The seal of the professional historian is required for the issuance of a permit. The seal of the professional linguist is required for the issuance of a permit. The seal of the professional mathematician is required for the issuance of a permit. The seal of the professional physicist is required for the issuance of a permit. The seal of the professional chemist is required for the issuance of a permit. The seal of the professional biologist is required for the issuance of a permit. The seal of the professional geologist is required for the issuance of a permit. The seal of the professional meteorologist is required for the issuance of a permit. The seal of the professional oceanographer is required for the issuance of a permit. The seal of the professional astronomer is required for the issuance of a permit. The seal of the professional geophysicist is required for the issuance of a permit. The seal of the professional geographer is required for the issuance of a permit. The seal of the professional cartographer is required for the issuance of a permit. The seal of the professional meteorologist is required for the issuance of a permit. The seal of the professional oceanographer is required for the issuance of a permit. The seal of the professional astronomer is required for the issuance of a permit. The seal of the professional geophysicist is required for the issuance of a permit. The seal of the professional geographer is required for the issuance of a permit. The seal of the professional cartographer is required for the issuance of a permit.

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Richmond, BC

PROJECT NO
136841

DESIGNED BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
LEVEL 11 FLOOR PLAN

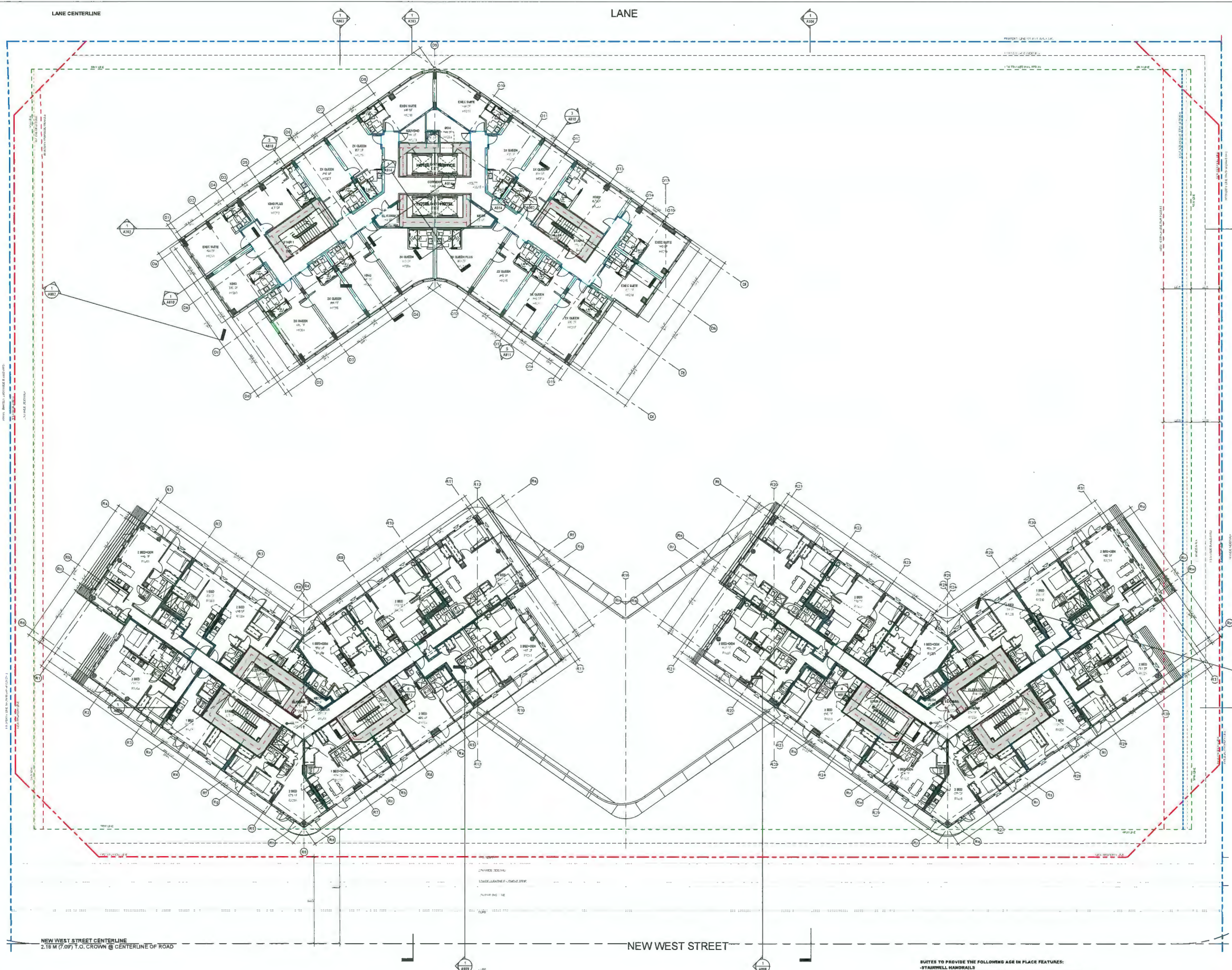
SHEET NUMBER
A211

ISSUE
2

- SUITS TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
- STAIRWELL HANDRAILS
 - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHUBS, AND SHOWERS
 - SUIT UNITS TO COMPLY WITH ALL COR REQUIREMENTS

NEW WEST STREET CENTERLINE
2.16 M (7.07') T.O. CROWN @ CENTERLINE OF ROAD

NEW WEST STREET



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LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA NEIGHBOUR EDGE	
EAST NEIGHBOUR ORA SETBACK	

DP 21-945917
 April 25, 2024
 Plan # 19

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PROJECT
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 Richmond, BC

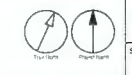
PROJECT NO
 136941

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PROJECT MGR Designer	APPROVED BY Approver

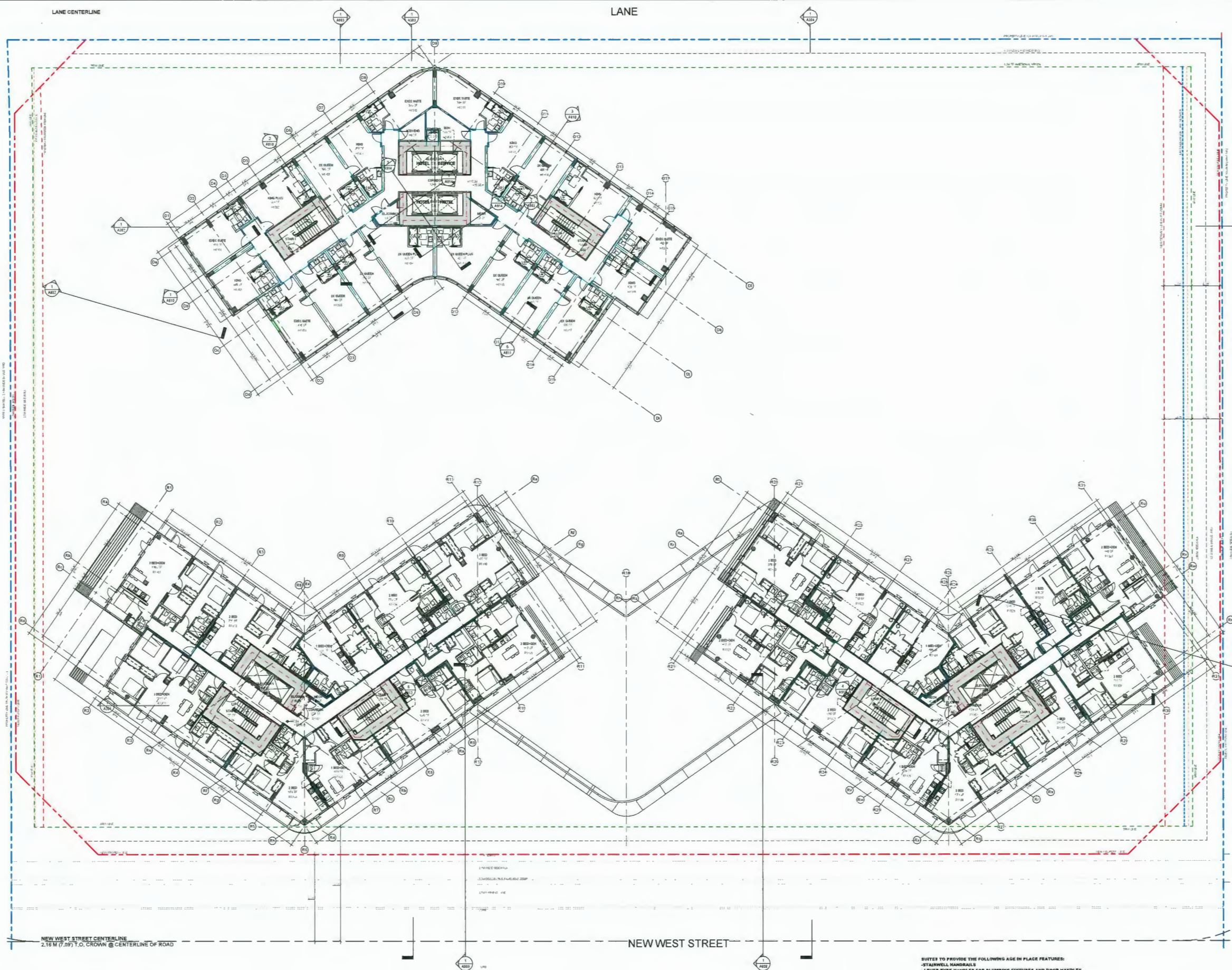
SHEET TITLE
 LEVEL 12 FLOOR PLAN

SHEET NUMBER A212	ISSUE 2
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SUITS TO PROVIDE THE FOLLOWING ASB IN PLACE FEATURES:
 - STAIRWELL HANDRAILS
 - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR
 INSTALLATION RESIDE TOILETS, BATHROOMS, AND SHOWERS
 - BUN UNITS TO COMPLY WITH ALL COR REQUIREMENTS



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LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 20

SEAL

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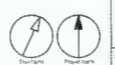
PROJECT
Elmbridge Way
6951-6971 Elmbridge Way
Richmond, BC

PROJECT NO
158941
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Author
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PROJECT MGR
Cheung
APPROVED BY
Approver

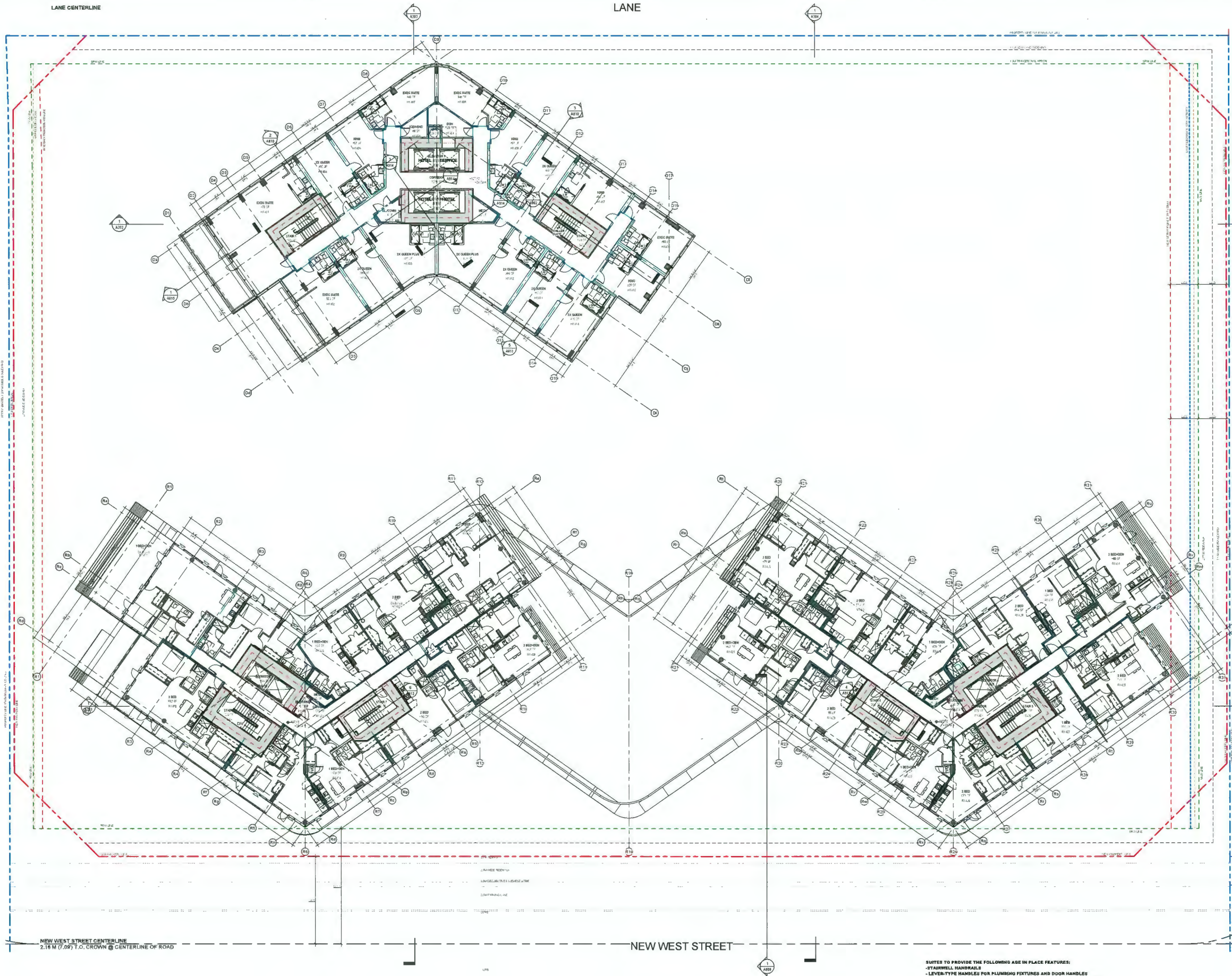
SHEET TITLE
LEVEL 13 FLOOR PLAN

SHEET NUMBER
A213
ISSUE
2

SHYTES TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
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- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHUBS, AND SHIMERS
- SHU UNITS TO COMPLY WITH ALL COR REQUIREMENTS



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LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 21

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PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO.
178941

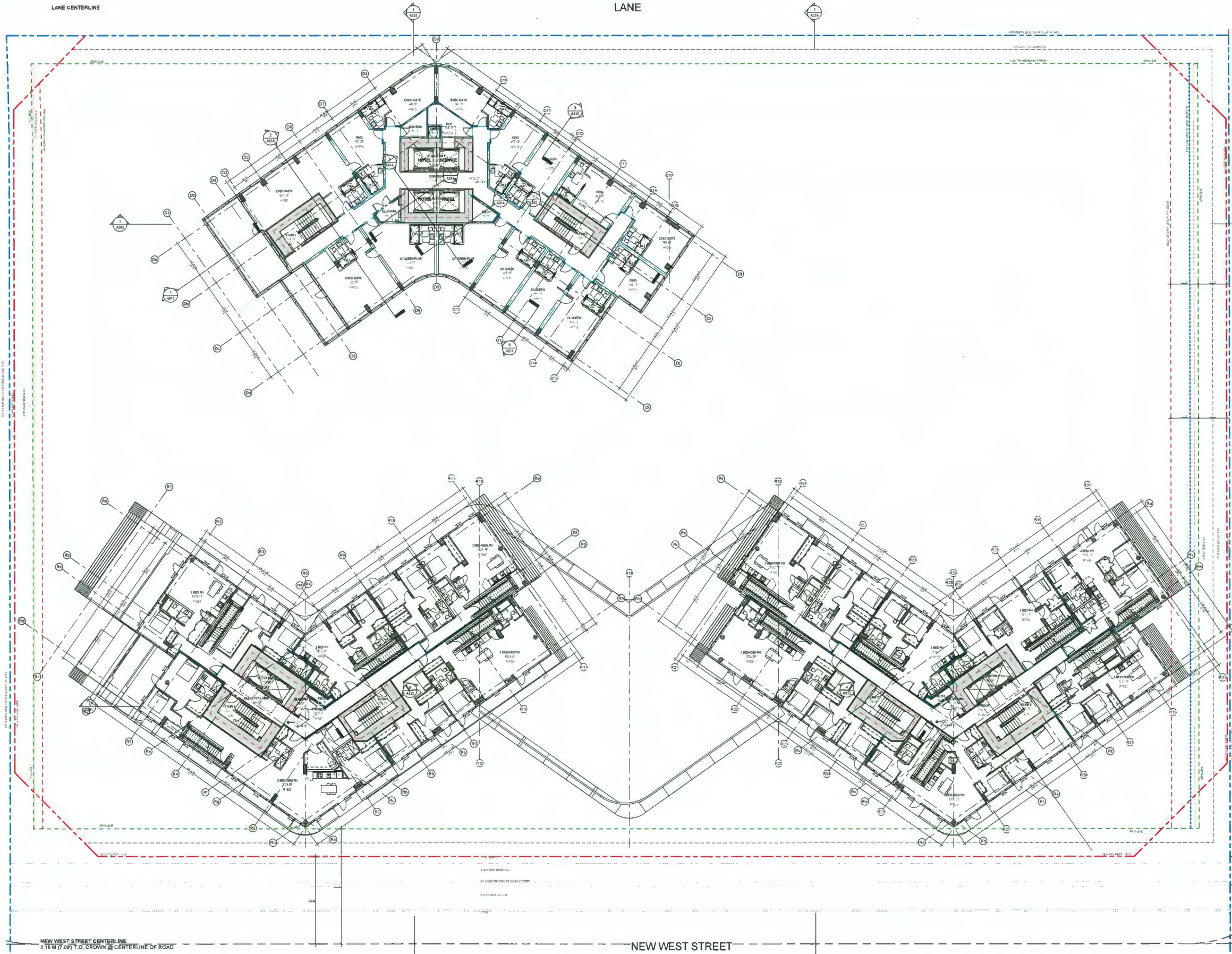
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PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
LEVEL 14 FLOOR PLAN

SHEET NUMBER A214	SHEET 2
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SUITES TO PROVIDE THE FOLLOWING AS-BUILT FEATURES:
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- LEVEL-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHUBS, AND SHOWERS
- BUN UNITS TO COMPLY WITH ALL COR REQUIREMENTS

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LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
 April 25, 2024
 Plan # 22

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PROJECT
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 6851-6871 Elmbridge Way
 Richmond, BC

PROJECT NO
 138941

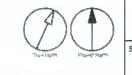
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PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
LEVEL 15 FLOOR PLAN

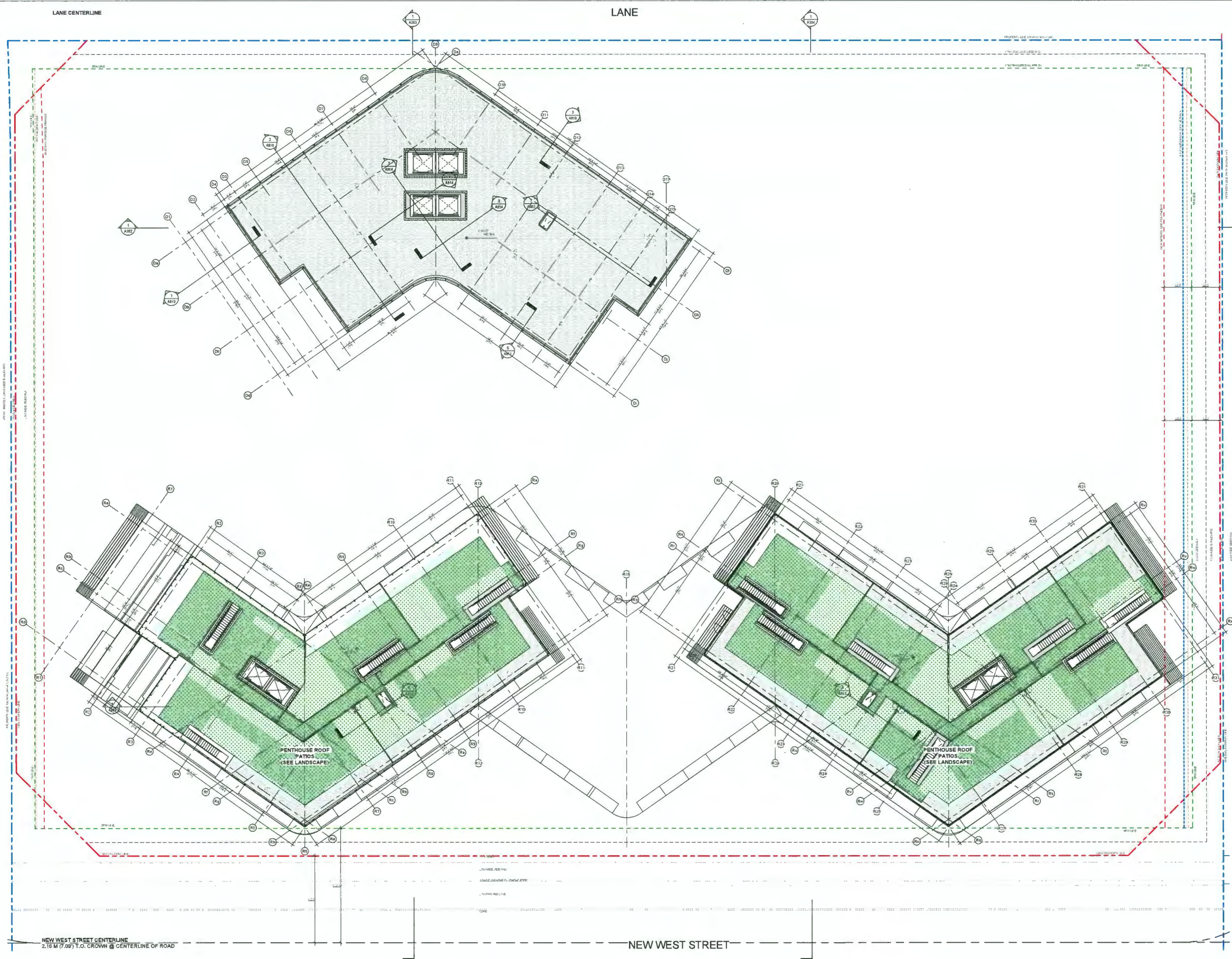
SHEET NUMBER
A215

ISSUE
2

SUITES TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
 - STAIRWELL HANDRAILS
 - LEVEL-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHUBS, AND SHOWERS
 - SUIT UNITS TO COMPLY WITH ALL COR REQUIREMENTS



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Kendy Hill Group Professional Services (Canada) Inc.

ISSUES	DESCRIPTION	DATE
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204-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T: 604.708.0188

LEGEND

- DEDICATION: [Hatched pattern]
- SRW: [Dashed green line]
- NEW PROPERTY LINE: [Dashed red line]
- ORIGINAL PROPERTY LINE: [Dashed blue line]
- SETBACK: [Dotted red line]
- ORA BUILDING EDGE: [Dotted blue line]
- EAST NEIGHBOUR, ORA, SETBACK: [Dotted blue line]

DP 21-945917
April 25, 2024
Plan # Z3

SEAL

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PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO
139841

DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
LEVEL 16 ROOF PLAN

SHEET NUMBER
A216

ISSUE
2

2024-04-25 11:00:46 AM

MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX PANEL COLOUR LIGHT GREY SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC FINISHED SHADOW BOX COLOUR LIGHT GREY SPANDREL IN HIGH PERFORMANCE 4-SIDED CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM. NON-INSULATED SCFFIT ASSEMBLY COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY COLOUR LIGHT GREY IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY COLOUR CHARCOAL GREY IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VENT - DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 9 PREFIN ALUM. PERFORATED SCREEN FRAME ASSEMBLY / WEATHER PROTECTION FINISH COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 12 3/4" HIGH PREFIN ALUM. GUARD SUPPORT ASSEMBLY / CW PREFIN ALUM. SCREEN ASSEMBLY COLOUR MATTI TONE
- 13 7/8" HIGH PREFIN ALUM. GUARD SUPPORT ASSEMBLY / CW PREFIN ALUM. PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL GRILLE ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM. INSULATED SCFFIT ASSEMBLY COLOUR WHITE
- 19 8" HIGH PERFORATED ALUM. PRIVACY SCREEN WITH PREFIN ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 20 THERMAL INSULATION, FIBERGLASS WOOL
- 21 METAL BIKE RACK

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NO.	DESCRIPTION	DATE
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2	DP BOARD SUBMISSION	2024-04-25

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704-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T: 604.708.0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 24

SEAL

PRIME CONSULTANT

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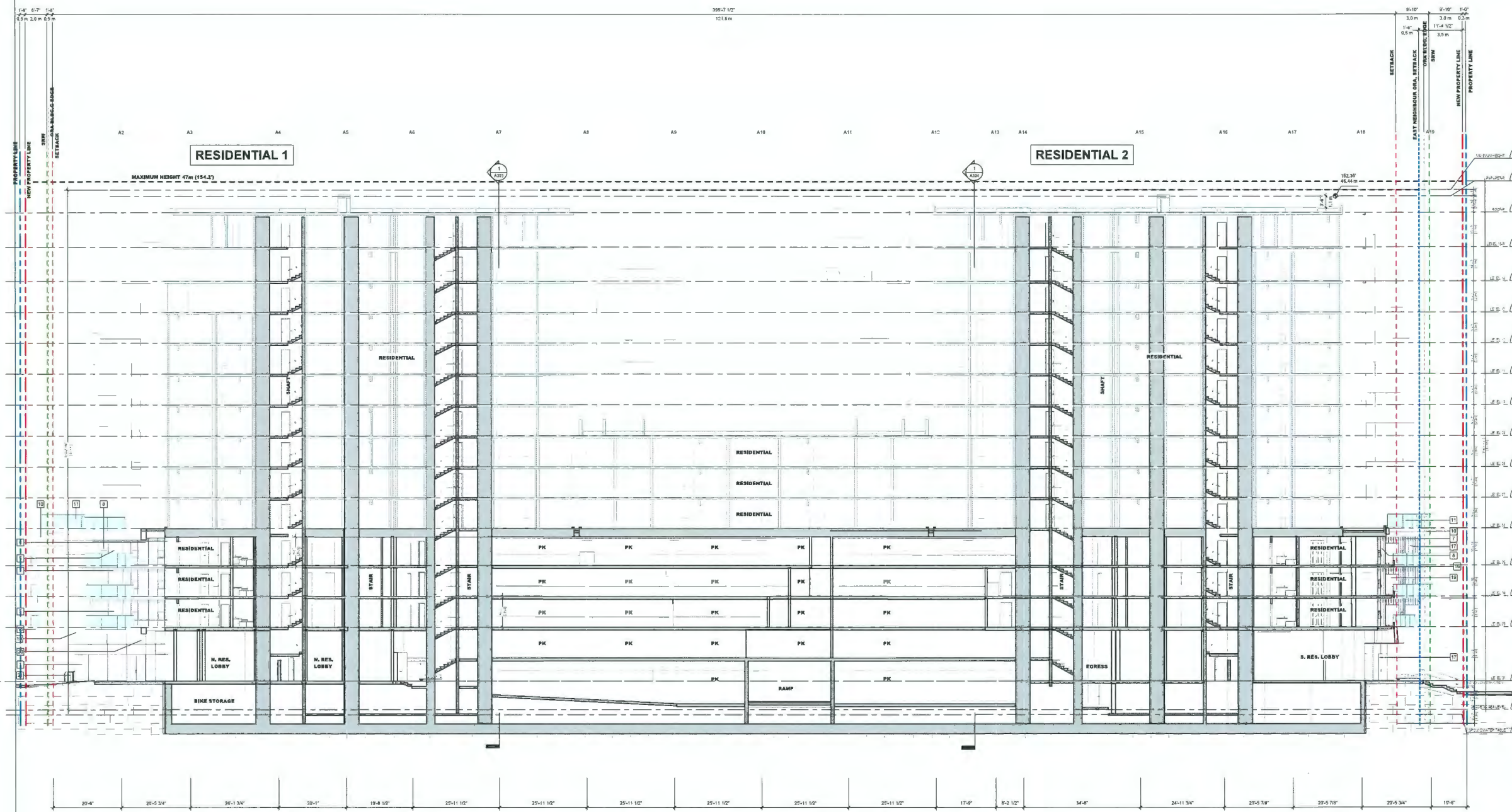
PROJECT
Elmbridge Way
6651-6671 Elmbridge Way
Richmond, BC

PROJECT NO
136941

DESIGNED BY Author	CHECKED BY Clever
PROJECT MGR. Designer	APPROVED BY Approver

SHEET TITLE
BUILDING SECTION A-A

SHEET NUMBER A301	ISSUE 2
-----------------------------	-------------------



20240425 11:47:52 AM

MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SRW CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX (PANEL COLOUR LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SRW CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC FIRNED SHADOW BOX (COLOUR LIGHT GREY) SPANDREL IN HIGH PERFORMANCE 4-SIDED SRW CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM NON-INSULATED ROFFIT ASSEMBLY COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY (COLOUR LIGHT GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY (COLOUR CHARCOAL GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VENT - DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 9 PREFIN ALUM PERFORATED SCREEN FRAME ASSEMBLY / WEATHER PROTECTION / SUNSHADE COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN ALUM SUPPORT ASSEMBLY COLOUR WHITE
- 12 2'-0" HIGH PREFIN ALUM GUARD SUPPORT ASSEMBLY CAN PREFIN ALUM SCREEN ASSEMBLY COLOUR MATTE TONE
- 13 2'-0" HIGH PREFIN ALUM GUARD SUPPORT ASSEMBLY CAN PREFIN ALUM PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL GRILLE ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM INSULATED ROFFIT ASSEMBLY COLOUR WHITE
- 19 6'-0" HIGH PERFORATED ALUM PRIVACY SCREEN WITH PREFIN ALUM SUPPORT ASSEMBLY COLOUR WHITE
- 20 TRIBURAL INSULATION 5" MINERAL WOOL
- 21 METAL BIKE RACK

CLIENT
Landa Global Properties Ltd.
1550 - 200 BURRARD ST.
VANCOUVER, BC V5C 3L6

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Arcadis US Group Professional Services (Canada) Inc.

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
2	DIP ICARD SUBMISSION	2024-04-25

CONSULTANTS
AM
APNO MATIS ARCHITECTURE
204-1548 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T 604.708.0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 25

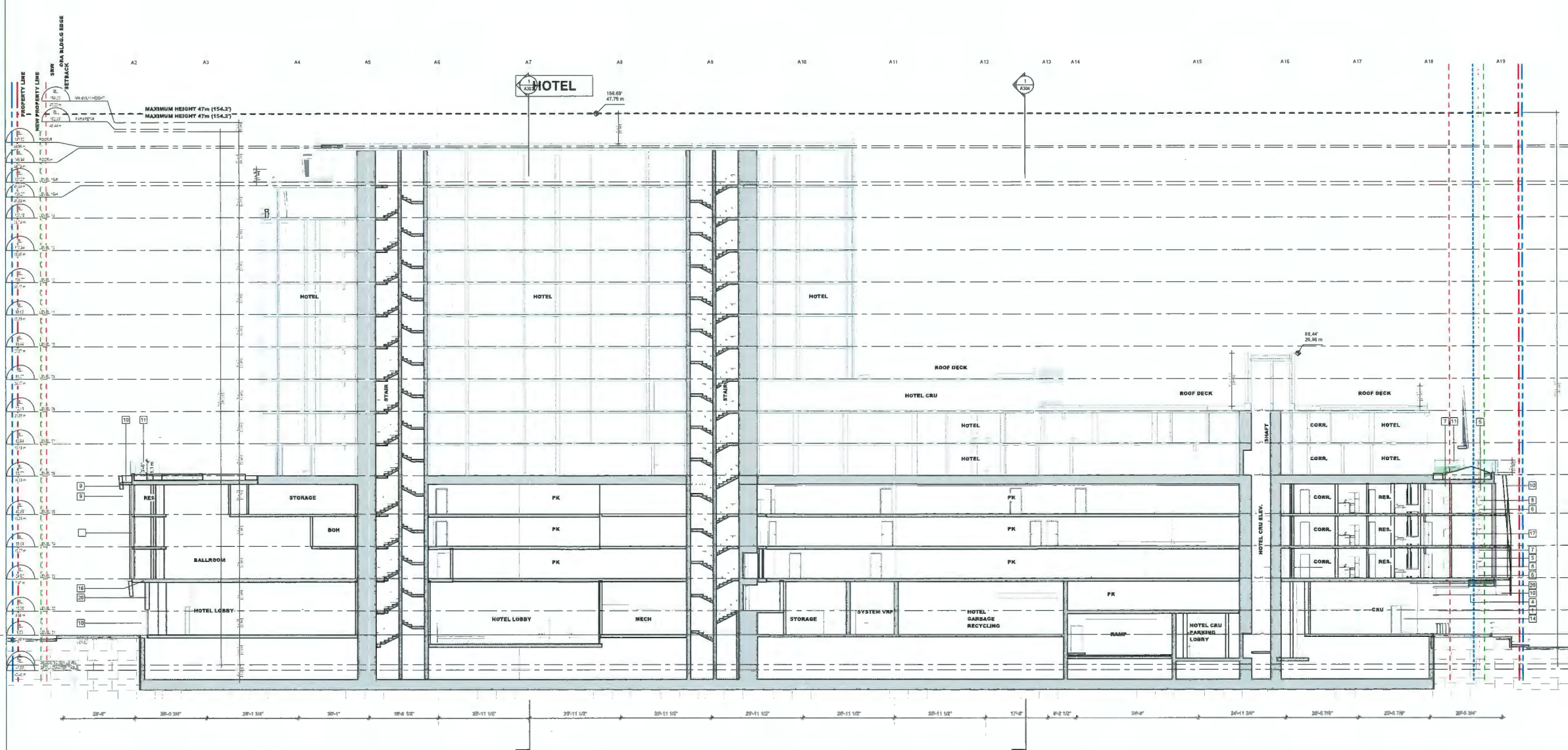
PRIME CONSULTANT
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Vancouver BC V6C 4E1 Canada
Tel 604.683.8787
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PROJECT
Elmbridge Way
8851-8871 Elmbridge Way
Richmond, BC

PROJECT NO
136941
DRAWN BY
Author
CHECKED BY
Client
PROJECT MGR
Designer
APPROVED BY
Approver

SHEET TITLE
BUILDING SECTION B-B

SHEET NUMBER
A302
REVISION
2

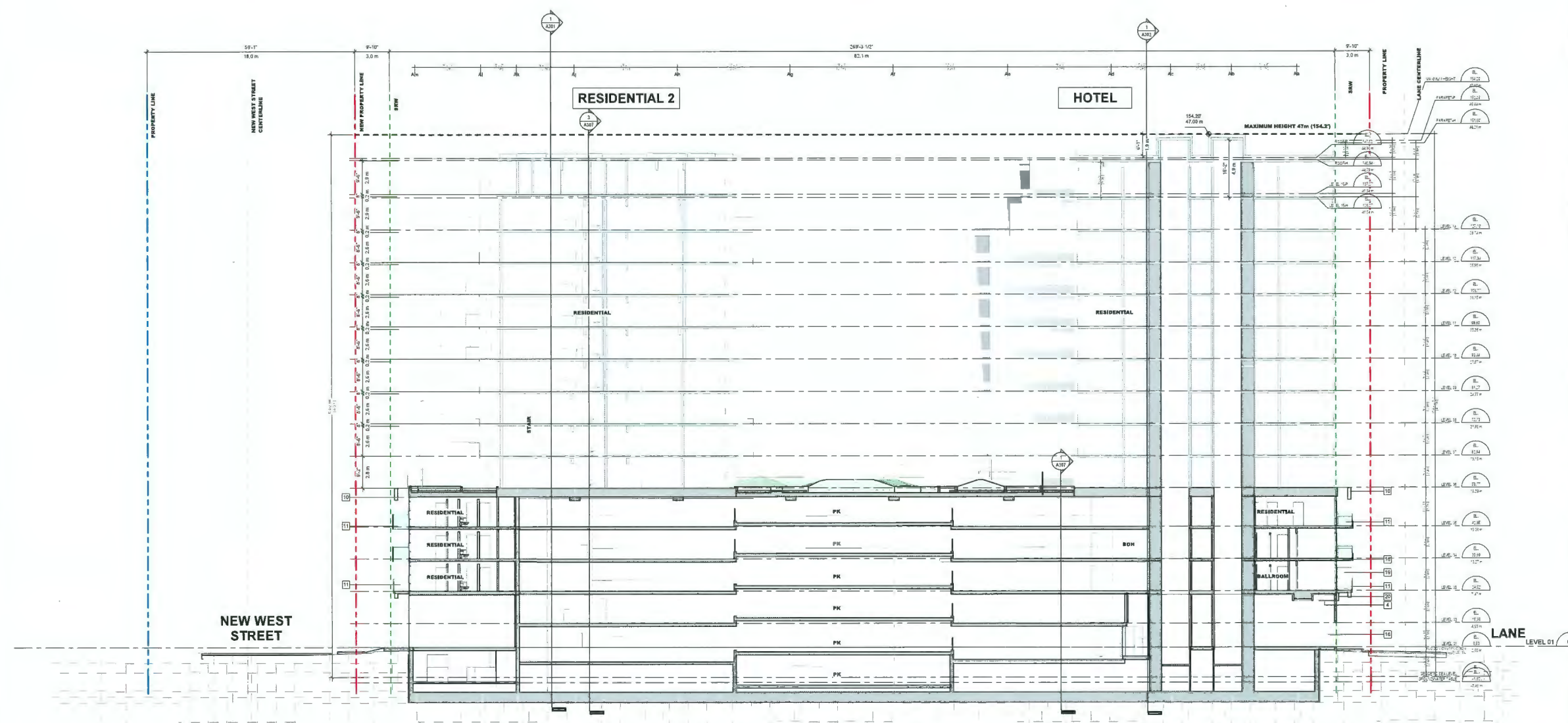


MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-8000 SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX (PANEL COLOUR LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-8000 SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC TITRATED SHADOW BOX (COLOUR LIGHT GREY) SPANDREL IN HIGH PERFORMANCE 4-8000 SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM. NON-INSULATED SOFFIT ASSEMBLY, COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNIT IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL, FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY (COLOUR LIGHT GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL, FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY (COLOUR CHARCOAL GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL, FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VIEW - DOUBLE GLAZED INSULATED VISION GLASS UNIT IN HIGH PERFORMANCE WINDOW WALL SYSTEM, FRAME COLOUR CHARCOAL GREY
- 9 PREFIN. ALUM. PERFORATED SCREEN FRAME ASSEMBLY / WEATHER PROTECTION / SUNSHADE COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN. ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 12 3'-4" HIGH PREFIN. ALUM. GUARD SUPPORT ASSEMBLY C/W PREFIN. ALUM. PERFORATED SCREEN ASSEMBLY COLOUR MATTE TONE
- 13 3'-4" HIGH PREFIN. ALUM. GUARD SUPPORT ASSEMBLY C/W PREFIN. ALUM. PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL GRILLE ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM, FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM. INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 19 8'-4" HIGH PERFORATED ALUM. PRIVACY SCREEN WITH PREFIN. ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 20 THERMAL INSULATION, 5" MINERAL WOOL
- 21 METAL BIKERACK



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 formerly IEG Group Professional Services (Canada) Inc.

ISSUES	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-01
2	TOP BOARD SUBMISSION	2024-04-25

CONSULTANTS
AM
 ARNO MATIS ARCHITECTURE
 204-1540 W 2ND AVE, VANCOUVER, BC
 V6J 1H2 T: 604.708.0188

LEGEND
 DEDICATION: [Hatched pattern]
 SRW: [Dashed line]
 NEW PROPERTY LINE: [Red dashed line]
 ORIGINAL PROPERTY LINE: [Blue dashed line]
 SETBACK: [Red dashed line]
 ORA BUILDING EDGE: [Red dashed line]
 EAST NEIGHBOUR: ORA SETBACK: [Blue dashed line]

DP 21-945917
 April 25, 2024
 Plan # Z 6

SEAL

PRIME CONSULTANT
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PROJECT
 Elmbriage Way
 6851-6871 Elmbriage Way
 Richmond, BC

PROJECT NO 136841	CHECKED BY Chester
DRAWN BY Author	APPROVED BY Approver

SHEET TITLE
BUILDING SECTION C-C

SHEET NUMBER A303	ISSUE 2
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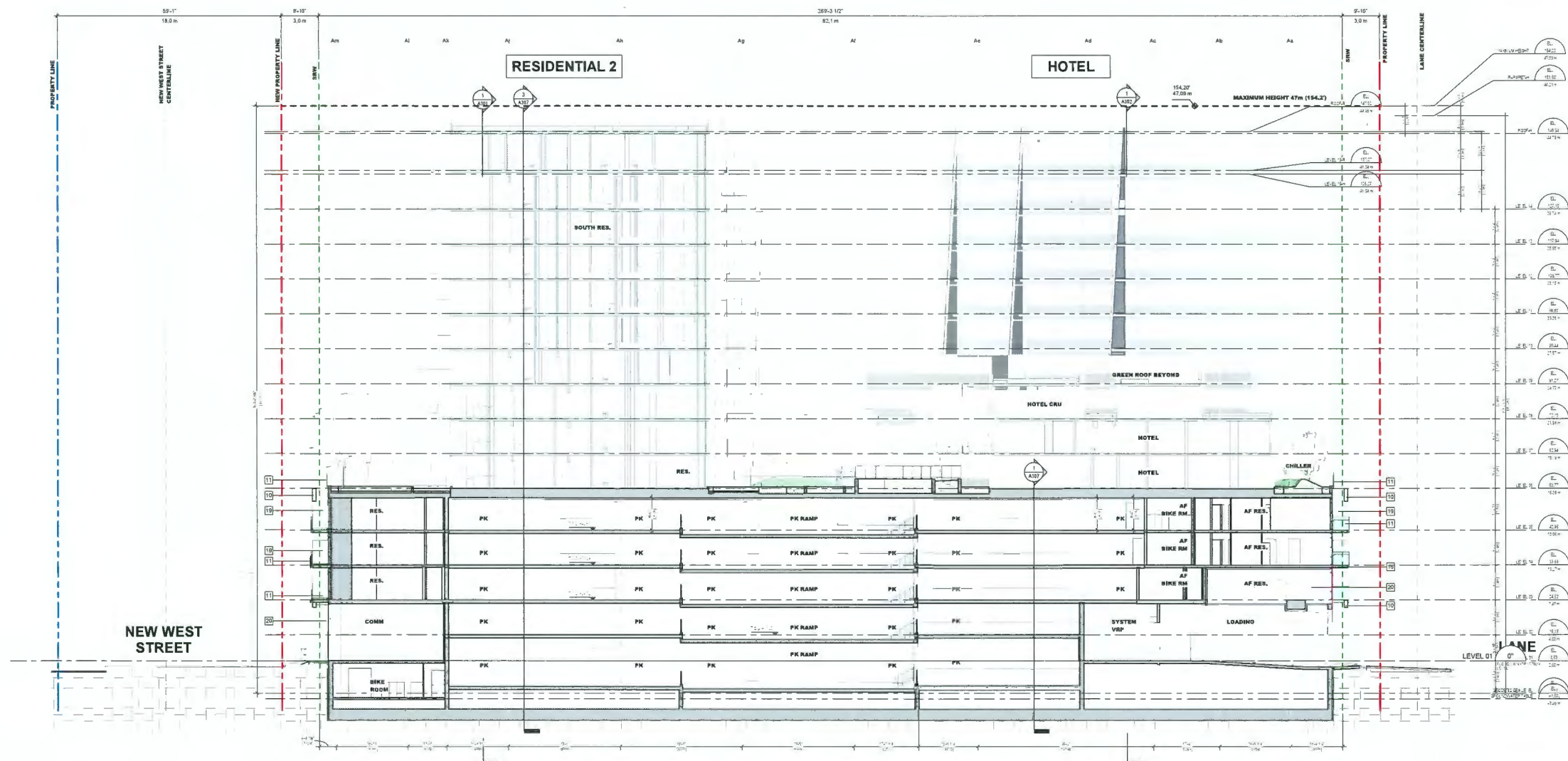
2024-04-25 14:02:22.DWG

MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSU CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX (PANEL COLOUR LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSU CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE COGNAC FINITED SHADOW BOX (COLOUR LIGHT GREY) SPANDREL IN HIGH PERFORMANCE 4-SIDED SSU CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM. NON-INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY (COLOUR LIGHT GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY (COLOUR CHARCOAL GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VENT - DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 9 PREFIN ALUM. PERFORATED SCREEN FRAME ASSEMBLY / WEATHER PROTECTION / SUNSHADE COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 12 2'-0" HIGH PREFIN ALUM. GUARD SUPPORT ASSEMBLY C/W PREFIN ALUM. SCREEN ASSEMBLY COLOUR WHITE/TONE
- 13 3'-0" HIGH PREFIN ALUM. GUARD SUPPORT ASSEMBLY C/W PREFIN ALUM. PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL GRILLE ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM. INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 19 6'-0" HIGH PERFORATED ALUM. PRIVACY SCREEN WITH PREFIN ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 20 THERMAL INSULATION 5" MINERAL WOOL
- 21 METAL BIKE RACK



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2	TOP BOARD SUBMISSION	2024-04-25

CONSULTANTS



ARNO MATIS ARCHITECTURE
204-1540 W 2ND AVE, VANCOUVER, BC
V6J 1K2 T: 604.708.0188

LEGEND

- DEDICATION
- SRW
- NEW PROPERTY LINE
- ORIGINAL PROPERTY LINE
- SETBACK
- ORA BUILDING EDGE
- EAST NEIGHBOUR: ORA SETBACK

DP 21-945917
April 25, 2024
Plan # Z7

SEAL



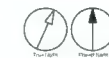
1285 West Pender Street - Suite 100
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Tel: 604.683.5767
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PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO
138941
DRAWN BY
ANDREW
CHECKED BY
CHECKER
PROJECT MGR
DESIGNER
APPROVED BY
APPROVER

SHEET TITLE
BUILDING SECTION D-D

SHEET NUMBER
A304
ISSUE
2



MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX (PANEL COLOUR LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC FINISHED SHADOW BOX COLOUR LIGHT GREY SPANDREL IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM NON-INSULATED JOIST ASSEMBLY COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY (COLOUR LIGHT GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY (COLOUR CHARCOAL GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VENT - DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 9 PREFIN ALUM PERFORATED SCREEN FRAME ASSEMBLY / WEATHER PROTECTION / BURNHIDE COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN ALUM SUPPORT ASSEMBLY COLOUR WHITE
- 12 3" HIGH PREFIN ALUM GUARD SUPPORT ASSEMBLY CAN PREFIN ALUM SCREEN ASSEMBLY COLOUR MATTIE TONE
- 13 3" HIGH PREFIN ALUM GUARD SUPPORT ASSEMBLY CAN PREFIN ALUM PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL GRILLE ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY BRIDGE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM INSULATED JOIST ASSEMBLY COLOUR WHITE
- 19 6" HIGH PERFORATED ALUM PRIVACY SCREEN WITH PREFIN ALUM SUPPORT ASSEMBLY COLOUR WHITE
- 20 THERMAL INSULATION 5" MINERAL WOOL
- 21 METAL BRK RACK

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formerly (in Group Professional Services (Canada) Inc.)

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1	ISSUED FOR DEVELOPMENT PERMIT	2024-02-07
2	FOR BOARD SUBMISSION	2024-04-25

CONSULTANTS



ARNO MATIS ARCHITECTURE
204-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T 601.708.0188

LEGEND

- DEDICATION
- SRW
- NEW PROPERTY LINE
- ORIGINAL PROPERTY LINE
- SETBACK
- ORA BUILDING EDGE
- EAST NEIGHBOUR: ORA SETBACK

DP 21-945917
April 25, 2024
Plan # 2 B

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ARCADIS
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Vancouver BC V6E 4B1 Canada
tel 604 683 9797
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PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

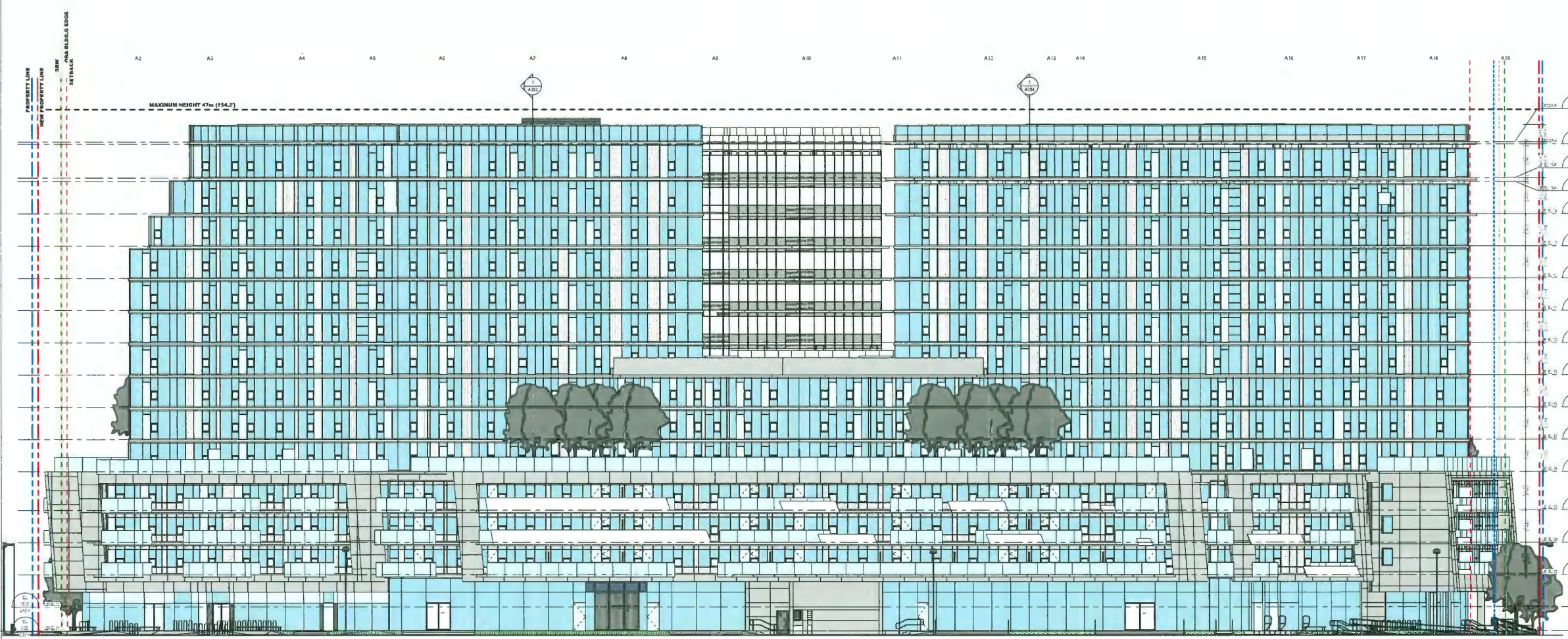
PROJECT NO
136941

DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
BUILDING ELEVATION - WEST

SHEET NUMBER
A401

ISSUE
2



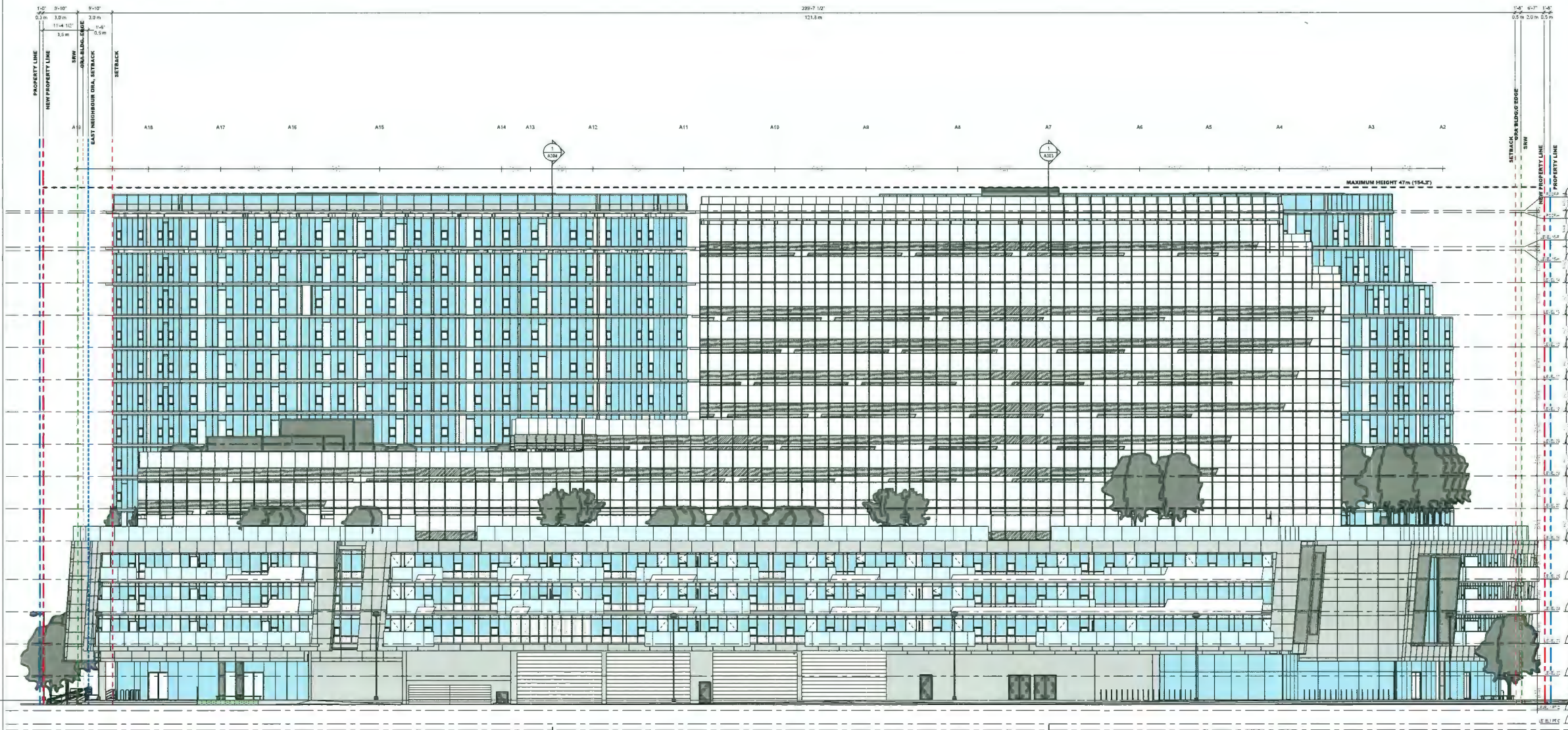
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MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE A-SIDED ISG CURTAIN WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX (PANEL COLOUR LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE A-SIDED ISG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC TITTED SHADOW BOX (COLOUR LIGHT GREY) SPANDREL IN HIGH PERFORMANCE A-SIDED ISG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM NONINSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY (COLOUR LIGHT GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY (COLOUR CHARCOAL GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VENT DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 9 PREFIN ALUM PERFORATED SCREEN FRAME ASSEMBLY WEATHER PROTECTION (SHADE COLOUR WHITE)
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN ALUM SUPPORT ASSEMBLY COLOUR WHITE
- 12 3'-6" HIGH PREFIN ALUM GUARD SUPPORT ASSEMBLY (W/ PREFIN ALUM SCREEN ASSEMBLY COLOUR MATTE TONE)
- 13 3'-6" HIGH PREFIN ALUM GUARD SUPPORT ASSEMBLY (W/ PREFIN ALUM PERFORATED SCREEN ASSEMBLY COLOUR WHITE)

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL DRILLE ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 19 6'-4" HIGH PERFORATED ALUM PRIVACY SCREEN WITH PREFIN ALUM SUPPORT ASSEMBLY COLOUR WHITE
- 20 THERMAL INSULATION 5" MINERAL WOOL
- 21 METAL BME RACK



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Arcadis Professional Services (Canada) Inc.
 formerly BE Group Professional Services (Canada) Inc.

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
2	ISSUED FOR SUBMISSION	2024-04-25

CONSULTANTS
AM
 ARNO MATIS ARCHITECTURE
 204-1540 W 2ND AVE, VANCOUVER, BC
 V6J 1H2 T. 604.708.0188

LEGEND

DEDICATION	SYMBOL
SRW	---
NEW PROPERTY LINE	---
ORIGINAL PROPERTY LINE	---
SETBACK	---
ORA BUILDING EDGE	---
EAST NEIGHBOUR, ORA SETBACK	---

DP 21-945917
 April 25, 2024
 Plan # Z9

SEAL
 LEVEL 01

PRIME CONSULTANT
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PROJECT
Elmbridge Way
 6851-6871 Elmbridge Way
 Richmond, BC

PROJECT NO
 138941

DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
BUILDING ELEVATION - EAST

SHEET NUMBER
A402

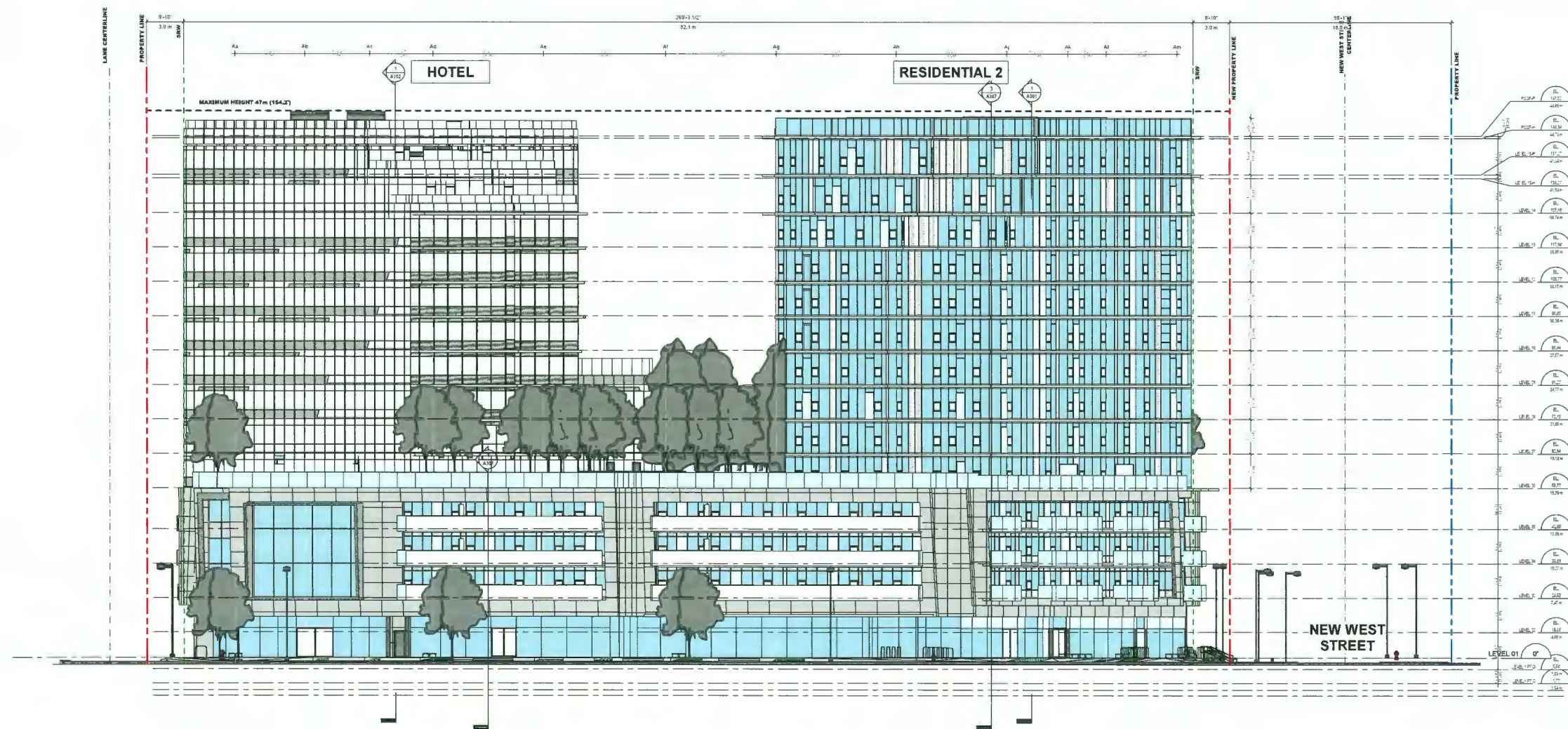
ISSUE
2

MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED ISO CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX (PANEL COLOUR LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED ISO CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC FINISHED SHADOW BOX COLOUR LIGHT GREY SPANDREL IN HIGH PERFORMANCE 4-SIDED ISO CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM. NON-INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY (COLOUR LIGHT GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY COLOUR CHARCOAL GREY IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VENT / DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 9 PREFIN. ALUM. PERFORATED SCREEN FRAME ASSEMBLY / WEATHER PROTECTION FINISHES COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN. ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 12 3'-6" HIGH PREFIN. ALUM. GUARD SUPPORT ASSEMBLY CW PREFIN. ALUM. SCREEN ASSEMBLY COLOUR MATTE TONE
- 13 3'-6" HIGH PREFIN. ALUM. GUARD SUPPORT ASSEMBLY CW PREFIN. ALUM. PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL DRILLS ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM. INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 19 8'-0" HIGH PERFORATED ALUM. PRIVACY SCREEN WITH PREFIN. ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 20 THERMAL INSULATION, 5" MINERAL WOOL
- 21 METAL BIKE RACK



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ARCADIS Professional Services (Canada) Inc.
 formerly EDC Group Professional Services (Canada) Inc.

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2024-04-25
2	DP BOARD SUBMISSION	2024-04-25

CONSULTANTS
AM
 APNO MATIS ARCHITECTURE
 704-1540 W 2ND AVE, VANCOUVER, BC
 V6J 1H2 T. 604.708.0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
 April 25, 2024
 Plan # 30

SEAL

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 1385 West Pender Street - Suite 100
 Vancouver BC V6E 4B1 Canada
 Tel: 604 683 8797
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PROJECT
Elmbridge Way
 6951-6871 Elmbridge Way
 Richmond, BC

PROJECT NO
 138941

DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
BUILDING ELEVATION - NORTH

SHEET NUMBER A403	ISSUE 2
-----------------------------	-------------------

MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX (PANEL COLOUR LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC TITRETTED SHADOW BOX (COLOUR LIGHT GREY) SPANDREL IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM. NON-INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY (COLOUR LIGHT GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY (COLOUR CHARCOAL GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VENT - DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY PROTECTION SUNSHADE COLOUR WHITE
- 9 PREFIN. ALUM. PERFORATED SCREEN FRAME ASSEMBLY WEATHER PROTECTION SUNSHADE COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN. ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 12 3"-6" HIGH PREFIN. ALUM. GUARD SUPPORT ASSEMBLY CW PREFIN. ALUM. SCREEN ASSEMBLY COLOUR HATTITONE
- 13 7'-6" HIGH PREFIN. ALUM. GUARD SUPPORT ASSEMBLY CW PREFIN. ALUM. PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL GRILLE ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM. INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 19 6'-4" HIGH PERFORATED ALUM. PRIVACY SCREEN WITH PREFIN. ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 20 THERMAL INSULATION 5" MINERAL WOOL
- 21 METAL BIKE RACK



CLIENT
Landa Global Properties Ltd.

1550 - 200 BARRARD ST.
VANCOUVER, BC, V6C 3L6

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NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
2	FOR BOARD SUBMISSION	2024-04-25

CONSULTANT'S



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LEGEND

- DEDICATION
- SRW
- NEW PROPERTY LINE
- ORIGINAL PROPERTY LINE
- SETBACK
- ORA BUILDING EDGE
- EAST NEIGHBOUR ORA SETBACK

DP 21-945917
April 25, 2024
Plan # 31

SEAL



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PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO
1306941
DRAWN BY
Author
CHECKED BY
Cbecker
PROJECT MGR
Designer
APPROVED BY
Approver

SHEET TITLE
BUILDING ELEVATION - SOUTH

SHEET NUMBER
A404
ISSUE
2

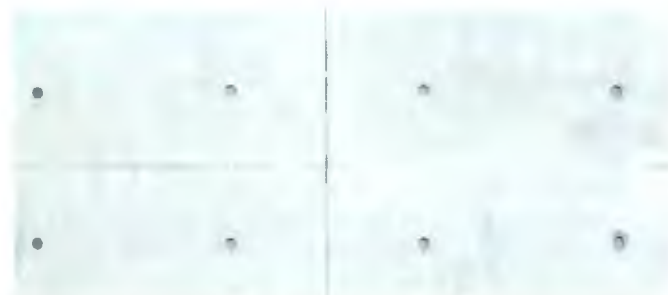
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MATERIAL BOARD

PODIUM COMMERCIAL



- A** GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 2-SIDED SSG STOREFRONT GLAZING SYSTEM, LOW-E GLASS, FRAME COLOUR: CHARCOAL GREY
- C** GLAZED SHADOW BOX (PANEL COLOUR: LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM, FRAME COLOUR: CHARCOAL GREY
- L** STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE



- G** EXPOSED CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING, COLOUR: WHITE, WITH TIE-HOLES AT PODIUM FRAMES



- I** PREFIN. ALUM. PERFORATED SCREEN / FRAME ASSEMBLY / WEATHER PROTECTION/ SUNSHADE, COLOUR: WHITE

RESIDENTIAL TOWERS & PODIUM RESIDENTIAL



- B** GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM, LOW-E GLASS, FRAME COLOUR: CHARCOAL GREY
- D** GLAZED SHADOW BOX (PANEL COLOUR: LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE WINDOW WALL SYSTEM, FRAME COLOUR: CHARCOAL GREY
- F** OPERABLE VENT - GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM, FRAME COLOUR: CHARCOAL GREY



- G** EXPOSED CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING, COLOUR: WHITE, WITH TIE-HOLES AT PODIUM FRAMES
- H** EXPOSED CONCRETE SOFFITS - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING, COLOUR: WHITE (STUCCO RENDERED TO MATCH WHERE DROP FOR INSULATION IS REQUIRED, COLOUR TO MATCH)



- J** 3'-6" HIGH GLASS GUARD, FRAME COLOUR: CHARCOAL GREY



- K** FULL HEIGHT FRAMELESS FROSTED STRUCTURAL GLASS PRIVACY SCREEN WITH PREFIN. ALUM. CLIPS

HOTEL TOWER



- B** GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE 4 SSG CURTAIN WALL SYSTEM, LOW-E GLASS, FRAME COLOUR: CHARCOAL GREY
- D** WHITE CERAMIC FRITTED GLAZED SHADOW BOX (IN COMBINATION WITH LIGHT GREY SPANDREL IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM, FRAME COLOUR: CHARCOAL GREY

- M.** BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM, FRAME COLOUR: CHARCOAL GREY
- N.** MECHANICAL GRILLE ASSEMBLY, COLOUR: CHARCOAL GREY



2 ISSUED FOR DEVELOPMENT PERMIT 2021-12-21
1 ISSUED FOR REZONING PERMIT 2021-04-04

N.J. DESCRIPTION DATE



DP 21-945917
April 25, 2024
Plan # 32

ARNO MATIS ARCHITECTURE
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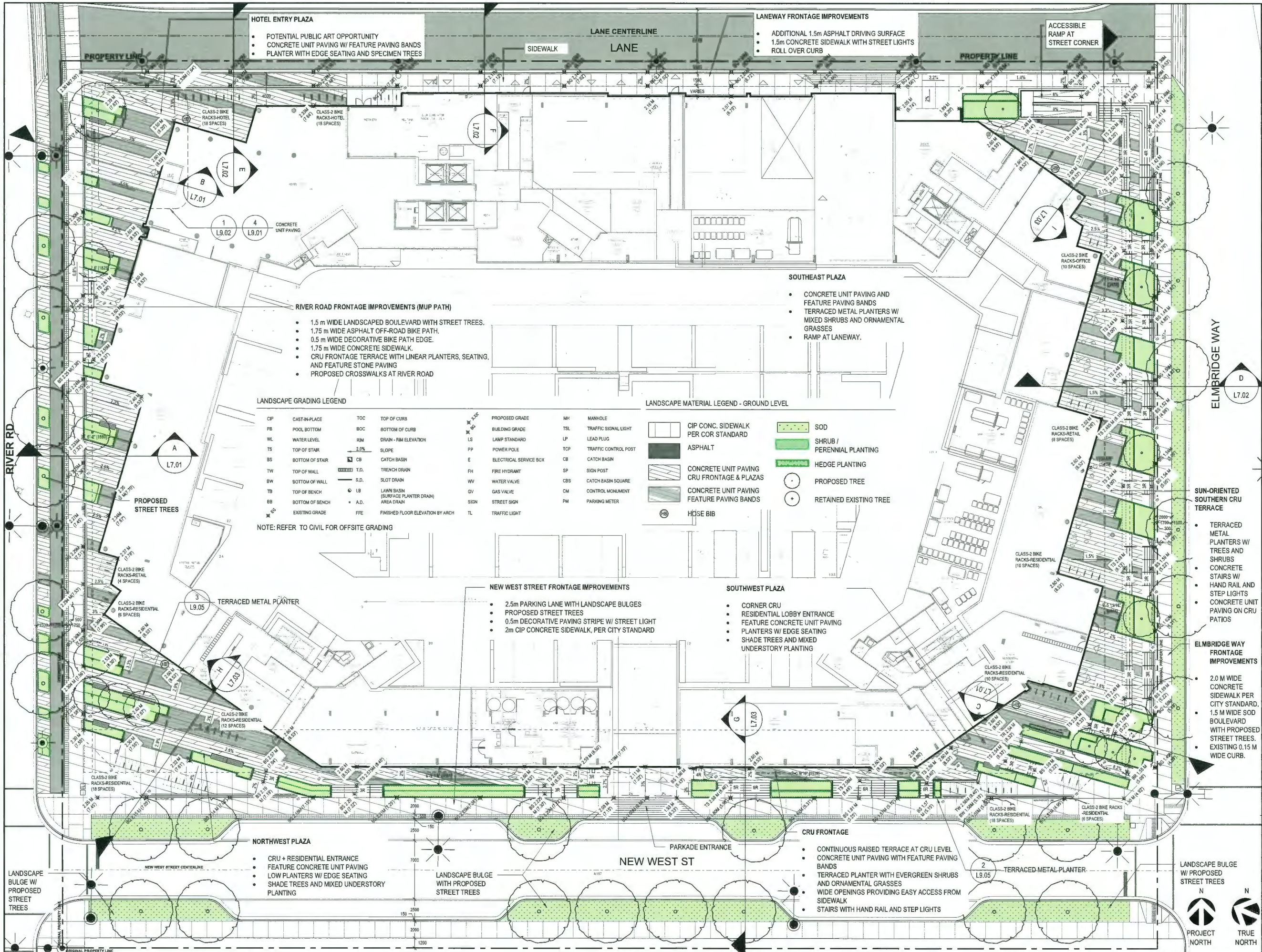
ON THIS SCALE DRAWINGS, VERIFY ALL DIMENSIONS ON SITE BEFORE ANY CONSTRUCTION. TO THE CONTRACTOR FROM THE ARCHITECTURAL, CONSTRUCTION, AND ENGINEERING AND DESIGN IS AND REMAINS THE EXCLUSIVE PROPERTY OF ARNO MATIS ARCHITECTURE INC. AND SHALL NOT BE USED FOR ANY OTHER OR CONSTRUCTION PURPOSE OTHER THAN AS EXPRESSLY AUTHORIZED BY ARNO MATIS ARCHITECTURE FOR THIS PROJECT.

6851-6871
Elmbridge Way
Richmond, BC
Canada

PROJECT NO 202006
STATUS DE
DATE ISSUED 2021-10-27
SCALE 1/2" = 1'-0"
DRAWN BY IDS
CHECKED BY SN

MATERIALS

A.112 ISSUE NO 2



HOTEL ENTRY PLAZA

- POTENTIAL PUBLIC ART OPPORTUNITY
- CONCRETE UNIT PAVING W/ FEATURE PAVING BANDS
- PLANTER WITH EDGE SEATING AND SPECIMEN TREES

LANEWAY FRONTAGE IMPROVEMENTS

- ADDITIONAL 1.5m ASPHALT DRIVING SURFACE
- 1.5m CONCRETE SIDEWALK WITH STREET LIGHTS
- ROLL OVER CURB

ACCESSIBLE RAMP AT STREET CORNER

RIVER ROAD FRONTAGE IMPROVEMENTS (MUP PATH)

- 1.5 m WIDE LANDSCAPED BOULEVARD WITH STREET TREES.
- 1.75 m WIDE ASPHALT OFF-ROAD BIKE PATH.
- 0.5 m WIDE DECORATIVE BIKE PATH EDGE.
- 1.75 m WIDE CONCRETE SIDEWALK.
- CRU FRONTAGE TERRACE WITH LINEAR PLANTERS, SEATING, AND FEATURE STONE PAVING
- PROPOSED CROSSWALKS AT RIVER ROAD

SOUTHWEST PLAZA

- CORNER CRU
- RESIDENTIAL LOBBY ENTRANCE
- FEATURE CONCRETE UNIT PAVING
- PLANTERS W/ EDGE SEATING
- SHADE TREES AND MIXED UNDERSTORY PLANTING

LANDSCAPE GRADING LEGEND

CIP	CAST-IN-PLACE	TOC	TOP OF CURB	PROPOSED GRADE	MH	MANHOLE	
PB	POOL BOTTOM	BOC	BOTTOM OF CURB	BUILDING GRADE	TSL	TRAFFIC SIGNAL LIGHT	
WL	WATER LEVEL	RIM	DRAIN - RIM ELEVATION	LS	LAMP STANDARD	LP	LEAD PLUG
TS	TOP OF STAIR	SLOPE	2.0%	PP	POWER POLE	TCP	TRAFFIC CONTROL POST
BS	BOTTOM OF STAIR	CB	CATCH BASIN	E	ELECTRICAL SERVICE BOX	CB	CATCH BASIN
TW	TOP OF WALL	T.D.	TRENCH DRAIN	FH	FIRE HYDRANT	SP	SIGN POST
BW	BOTTOM OF WALL	S.D.	SLOT DRAIN	CV	WATER VALVE	CS	CATCH BASIN SQUARE
TB	TOP OF BENCH	LB	LINEN BASIN (SURFACE PLANTER DRAIN)	GV	GAS VALVE	CM	CONTROL MONUMENT
BB	BOTTOM OF BENCH	A.D.	AREA DRAIN	SM	STREET SIGN	PM	PARKING METER
EG	EXISTING GRADE	FFE	FINISHED FLOOR ELEVATION BY ARCH	TL	TRAFFIC LIGHT		

NOTE: REFER TO CIVIL FOR OFFSITE GRADING

LANDSCAPE MATERIAL LEGEND - GROUND LEVEL

[Symbol]	CIP CONC. SIDEWALK PER COR STANDARD	[Symbol]	SOD
[Symbol]	ASPHALT	[Symbol]	SHRUB / PERENNIAL PLANTING
[Symbol]	CONCRETE UNIT PAVING CRU FRONTAGE & PLAZAS	[Symbol]	HEDGE PLANTING
[Symbol]	CONCRETE UNIT PAVING FEATURE PAVING BANDS	[Symbol]	PROPOSED TREE
[Symbol]	HOSE BIB	[Symbol]	RETAINED EXISTING TREE

NEW WEST STREET FRONTAGE IMPROVEMENTS

- 2.5m PARKING LANE WITH LANDSCAPE BULGES
- PROPOSED STREET TREES
- 0.5m DECORATIVE PAVING STRIPE W/ STREET LIGHT
- 2m CIP CONCRETE SIDEWALK, PER CITY STANDARD

SOUTHWEST PLAZA

- CORNER CRU
- RESIDENTIAL LOBBY ENTRANCE
- FEATURE CONCRETE UNIT PAVING
- PLANTERS W/ EDGE SEATING
- SHADE TREES AND MIXED UNDERSTORY PLANTING

SUN-ORIENTED SOUTHERN CRU TERRACE

- TERRACED METAL PLANTERS W/ TREES AND SHRUBS
- CONCRETE STAIRS W/ HAND RAIL AND STEP LIGHTS
- CONCRETE UNIT PAVING ON CRU PATIOS

ELMBRIDGE WAY FRONTAGE IMPROVEMENTS

- 2.0 M WIDE CONCRETE SIDEWALK PER CITY STANDARD.
- 1.5 M WIDE SOD BOULEVARD WITH PROPOSED STREET TREES.
- EXISTING 0.15 M WIDE CURB.

NORTHWEST PLAZA

- CRU + RESIDENTIAL ENTRANCE
- FEATURE CONCRETE UNIT PAVING
- LOW PLANTERS W/ EDGE SEATING
- SHADE TREES AND MIXED UNDERSTORY PLANTING

CRU FRONTAGE

- CONTINUOUS RAISED TERRACE AT CRU LEVEL
- CONCRETE UNIT PAVING WITH FEATURE PAVING BANDS
- TERRACED PLANTER WITH EVERGREEN SHRUBS AND ORNAMENTAL GRASSES
- WIDE OPENINGS PROVIDING EASY ACCESS FROM SIDEWALK
- STAIRS WITH HAND RAIL AND STEP LIGHTS

CLIENT:
LANDA
GLOBAL PROPERTIES

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ARCHITECT
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LANDSCAPE ARCHITECT
PFS Studio
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No.	Date	Details
1	JUN 04, 2021	ISSUED FOR REZONING APPLICATION
2	DEC 21, 2021	ISSUED FOR DEVELOPING PERMIT
3	APR 8, 2021	ISSUED FOR 30% BP
4	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

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STAMP:
DP 21-945917
April 25, 2024
Plan # 33

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
GROUND LEVEL
LANDSCAPE PLAN

PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

DRAWN BY: JJJ/JGC
CHECKED BY: JS

SCALE:
1/16" = 1'-0"

DWG. NO.:
L2.01

P:\2021\6851-6871 Elmbidge Way\0213-1 AUTO CAD\DP AND ADP PLANS\2023-04-18 DP and ADP\0213-1 L2.01 Ground Level Landscape Plan.dwg 4/25/24 10:21 AM

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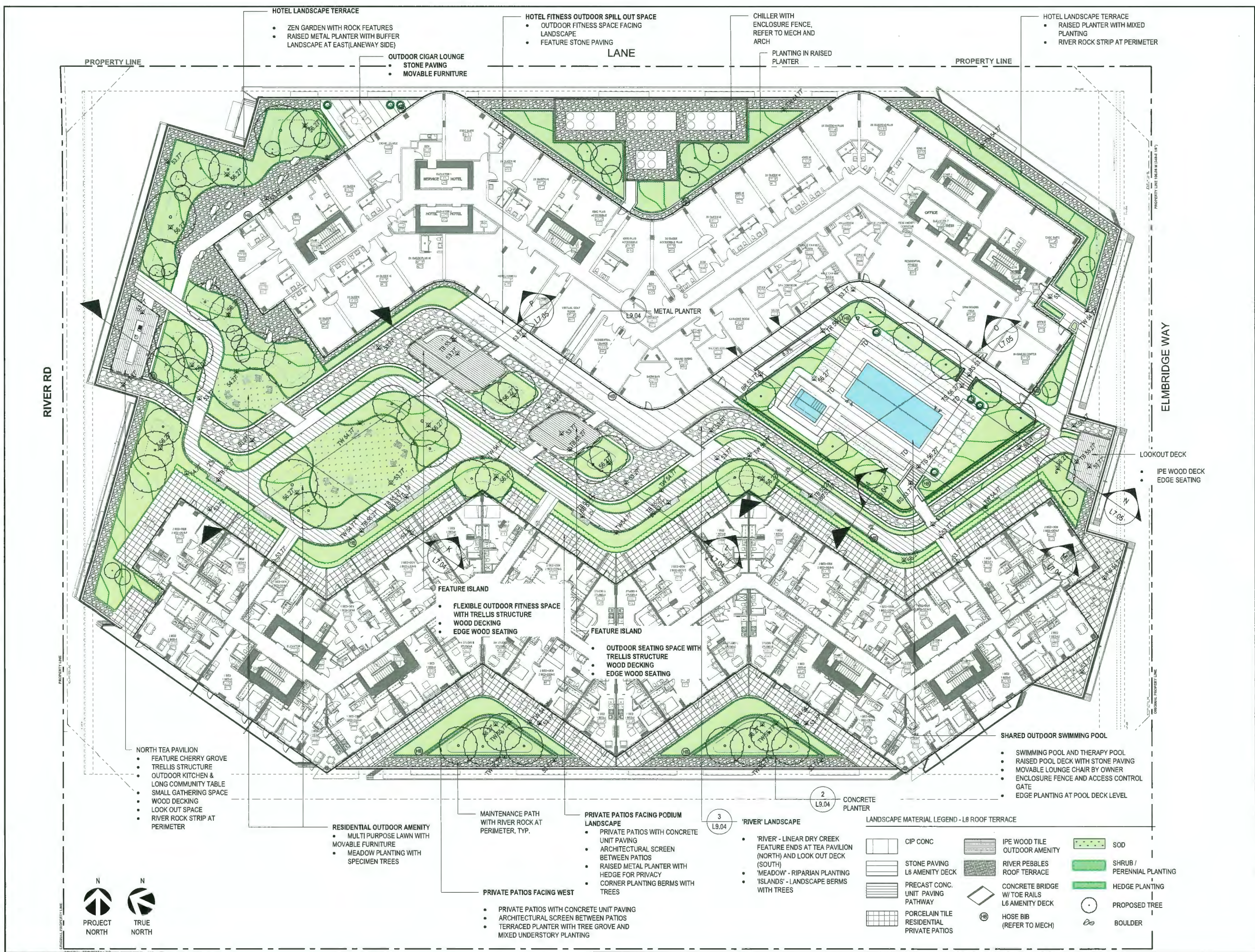
No.	Date	Details
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3	APR 8, 2021	ISSUED FOR 30% BP
4	AUG 23, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 30, 2022	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

STAMP:
 FOR COORDINATION
 DP 21-945917
 April 25, 2024
 Plan # 34

PROJECT NAME:
 6851-6871
 ELMBRIDGE WAY
 RICHMOND, BC CANADA

DRAWING TITLE:
 LEVEL 6
 LANDSCAPE PLAN

PFS PROJECT NUMBER: 20013 DATE: 04/25/2024
 DRAWN BY: JUJR/JGC CHECKED BY: JS
 SCALE: 1/16" = 1'-0"
 DWG. NO.: **L2.02**



CLIENT:

LANDA
GLOBAL PROPERTIES

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4	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 10, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
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STAMP:

DP 21-945917
April 25, 2024
Plan # 35

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
LEVEL 8
LANDSCAPE PLAN

PFS PROJECT NUMBER: 20013 DATE: 04/25/2024

DRAWN BY: JJJR/JGC CHECKED BY: JS

SCALE:
1/16" = 1'-0"

DWG. NO.:
L2.03



LANDSCAPE MATERIAL LEGEND - L8 ROOF TERRACE

	CONC. UNIT PAVING RESIDENTIAL PRIVATE PATIOS		RIVER PEBBLES ROOF TERRACE
	SHRUB / PERENNIAL PLANTING		GREEN ROOF PLANTING
	HEDGE PLANTING		PROPOSED TREE
	HOSE BIB		

CLIENT:

LANDA
GLOBAL PROPERTIES

PROJECT TEAM:

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ISSUANCE:

No.	Date	Details
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2	DEC 21, 2021	ISSUED FOR DEVELOPING PERMIT
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5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

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STAMP:

DP 21-945917
April 25, 2024
Plan # 36

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
ROOFTOP
LANDSCAPE PLAN

PFS PROJECT NUMBER: 20013 DATE: 04/25/2024

DRAWN BY: JJJR/JGC CHECKED BY: JS

SCALE:
1/16" = 1'-0"

DWG. NO.:
L2.05

RIVER RD

ELMBRIDGE WAY

LANE

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

ORIGINAL PROPERTY LINE



- ROOFTOP PRIVATE PATIOS**
- CONCRETE UNIT PAVING
 - OUTDOOR KITCHEN WITH BBQ
 - ARCHITECTURAL SCREEN BETWEEN PATIOS
 - PRIVATE STAIR HATCH, REFER TO ARCH
 - RAISED METAL PLANTERS AND CONCRETE PLANTERS
 - ORNAMENTAL RIVER ROCK AT PERIMETER

- ROOFTOP PRIVATE PATIOS**
- CONCRETE UNIT PAVING
 - OUTDOOR KITCHEN WITH BBQ
 - ARCHITECTURAL SCREEN BETWEEN PATIOS
 - PRIVATE STAIR HATCH, REFER TO ARCH
 - RAISED METAL PLANTERS AND CONCRETE PLANTERS
 - ORNAMENTAL RIVER ROCK AT PERIMETER

2
L9.04
CONCRETE PLANTER

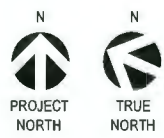
ENCLOSURE FENCE & GARDEN GATE
MAINTENANCE PATH WITH CONCRETE UNIT PAVING
OUTDOOR KITCHEN

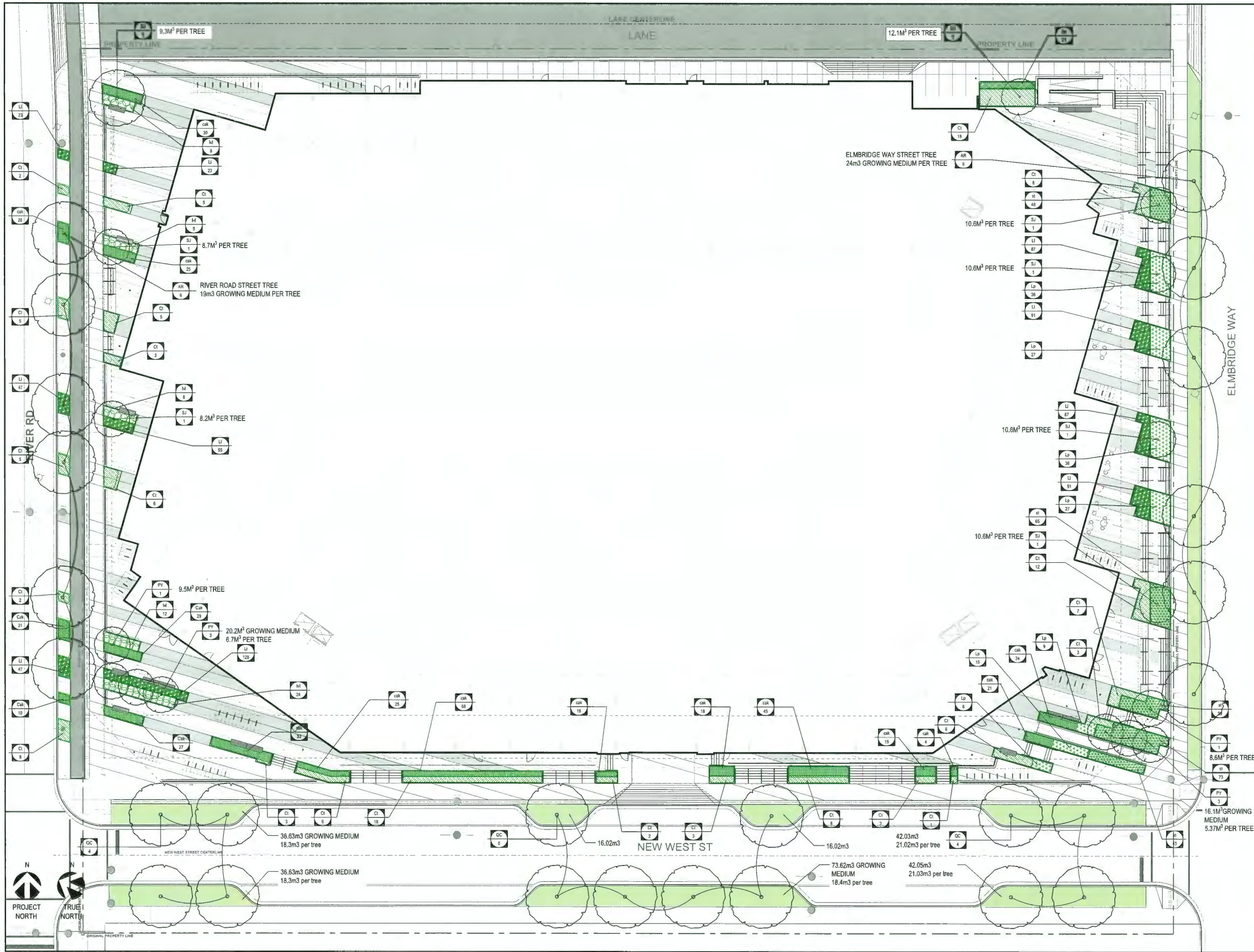
ENCLOSURE FENCE & GARDEN GATE
MAINTENANCE PATH WITH CONCRETE UNIT PAVING
OUTDOOR KITCHEN

NEW WEST ST

LANDSCAPE MATERIAL LEGEND - RESIDENTIAL TOWER ROOFTOP

CONC. UNIT PAVING	SHRUB / PERENNIAL PLANTING
RESIDENTIAL PRIVATE PATIOS	PROPOSED TREE
HOSE BIB	





CLIENT:

LANDA
GLOBAL PROPERTIES

PROJECT TEAM:

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Arno Malis Architecture
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Vancouver, BC V6J 1H2

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4	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
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6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

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STAMP:

DP 21-945917
April 25, 2024
Plan # 37

PROJECT NAME:

6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:

GROUND LEVEL
PLANTING PLAN

PFS PROJECT NUMBER:

20013

DATE:

04/25/2024

DRAWN BY:

JLJR/JGC

CHECKED BY:

JS

SCALE:

DWG. NO.:

L4.01

CLIENT:

LANDA
GLOBAL PROPERTIES

PROJECT TEAM:

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No.	Date	Details
1	JUN 04, 2021	ISSUED FOR REZONING APPLICATION
2	DEC 21, 2021	ISSUED FOR DEVELOPING PERMIT
3	APR 8, 2021	ISSUED FOR 30% BP
4	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 4, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

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STAMP:

DP 21-945917
April 25, 2024
Plan # 38

PROJECT NAME:

6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:

LEVEL 6
PLANTING PLAN

PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

DRAWN BY: JL/JR/JGC
CHECKED BY: JS

SCALE:

DWG. NO.:

L4.02



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PROJECT TEAM:

ARCHITECT
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STAMP:

DP 21-945917
April 25, 2024
Plan # 39

PROJECT NAME:

6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:

LEVEL 8
PLANTING PLAN

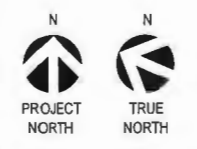
PFS PROJECT NUMBER: 20013 DATE: 04/25/2024

DRAWN BY: JLU/JJGC CHECKED BY: JS

SCALE:

DWG. NO.:

L4.03



P2122 2013 - 1871-191671-Elmbridge Way 2023-1-3-1-2024-04-25-1777 West 3rd Avenue Vancouver BC V6J 1K7 PFS Studio 604-756-2168 pfs@pfs.ca www.pfs.ca

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DP 21-945917
April 25, 2024
Plan # 40

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

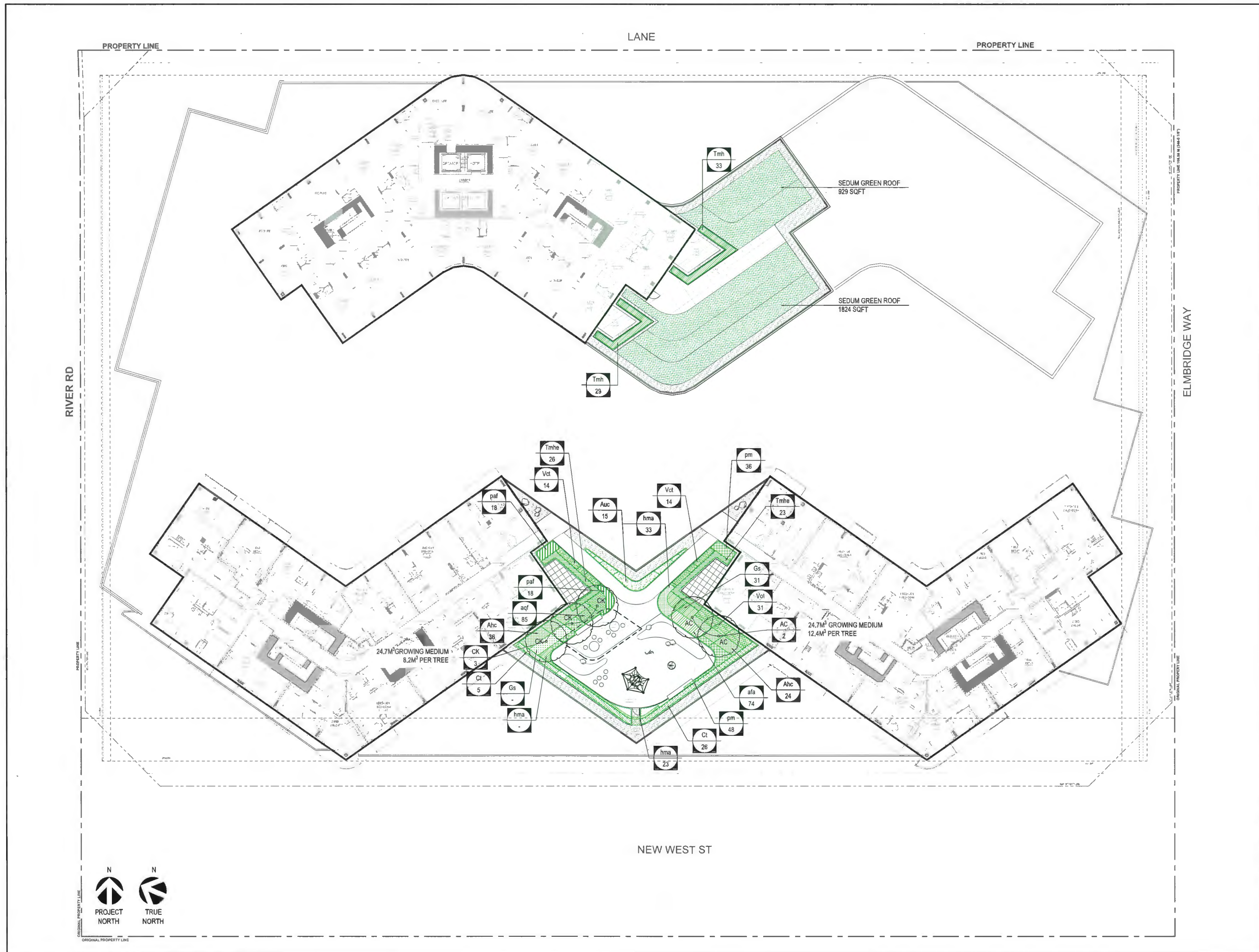
DRAWING TITLE:
LEVEL 9
PLANTING PLAN

PFS PROJECT NUMBER: 20013 DATE: 04/25/2024

DRAWN BY: JLJR/JGC CHECKED BY: JS

SCALE:

DWG. NO.:
L4.04





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GLOBAL PROPERTIES

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DP 21-945917
April 25, 2024
Plan # 41

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
ROOFTOP
PLANTING PLAN

PFS PROJECT NUMBER: 20013 DATE: 04/25/2024

DRAWN BY: JLJR/JGC CHECKED BY: JS

SCALE:

DWG. NO.:
L4.05

CLIENT:

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GLOBAL PROPERTIES

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DP 21-945917
April 25, 2024
Plan # 43

PROJECT NAME:

6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:

PODIUM LANDSCAPE
SECTIONS

PFS PROJECT NUMBER:
20013

DATE:
04/25/2024

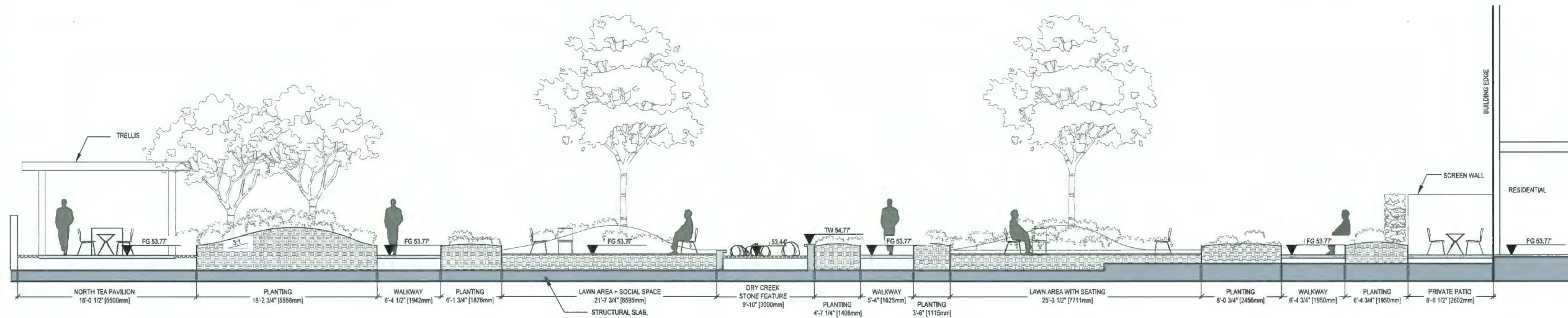
DRAWN BY:
JL/JR/JGC

CHECKED BY:
JS

SCALE:
3/16" = 1'

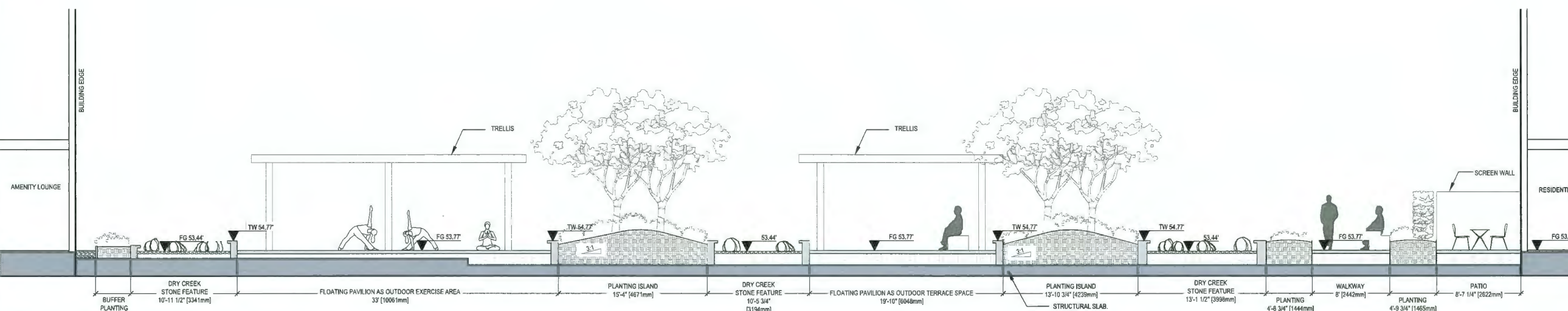
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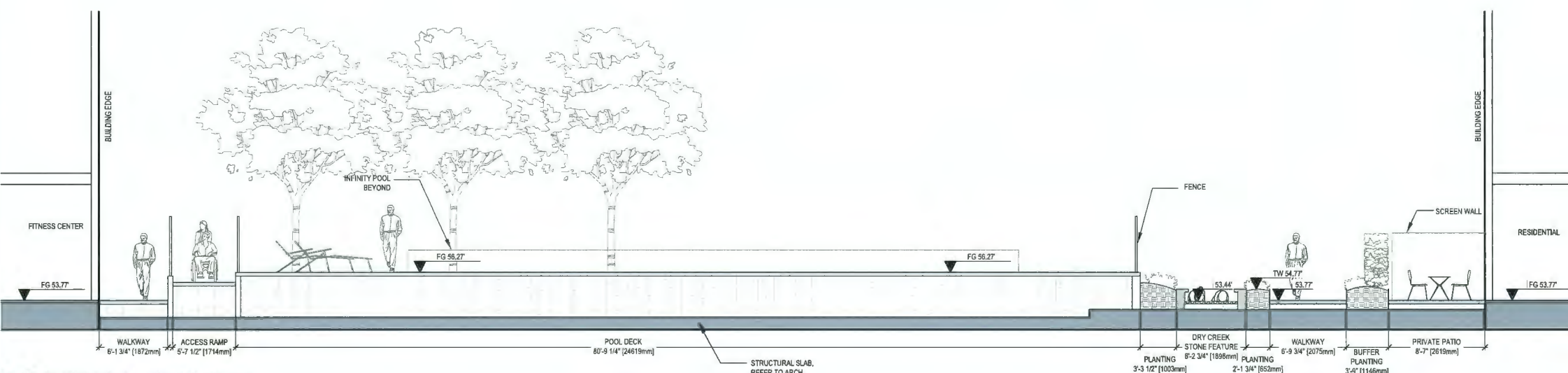
SECTION K - SEATING LOUNGE

SCALE: 3/16" = 1'



SECTION L - FITNESS LOUNGE

SCALE: 3/16" = 1'



SECTION M - POOL DECK

SCALE: 3/16" = 1'

PROJECT TEAM:

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8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

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DP 21-945917
April 25, 2024
Plan # 45

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
LANDSCAPE DETAILS
STAIR & RAMP

PFS PROJECT NUMBER: 20013
 DATE: 04/25/2024

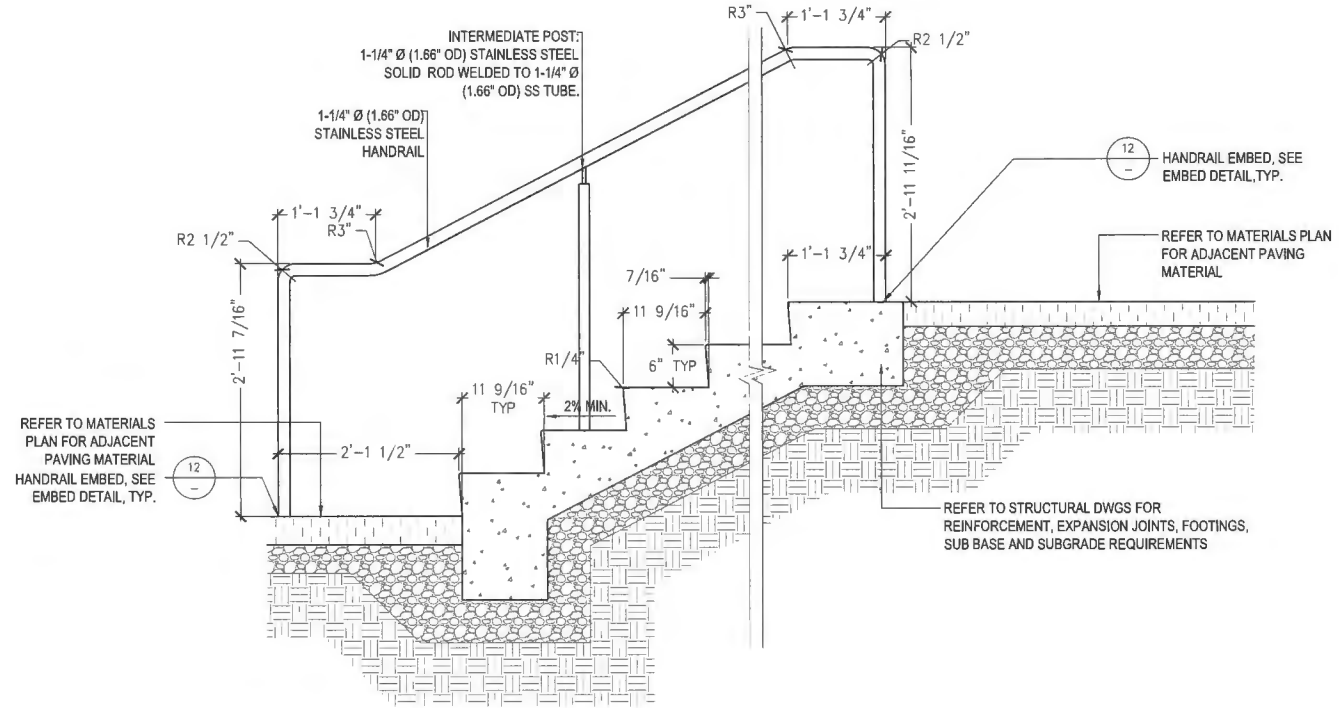
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SCALE:
 AS SHOWN

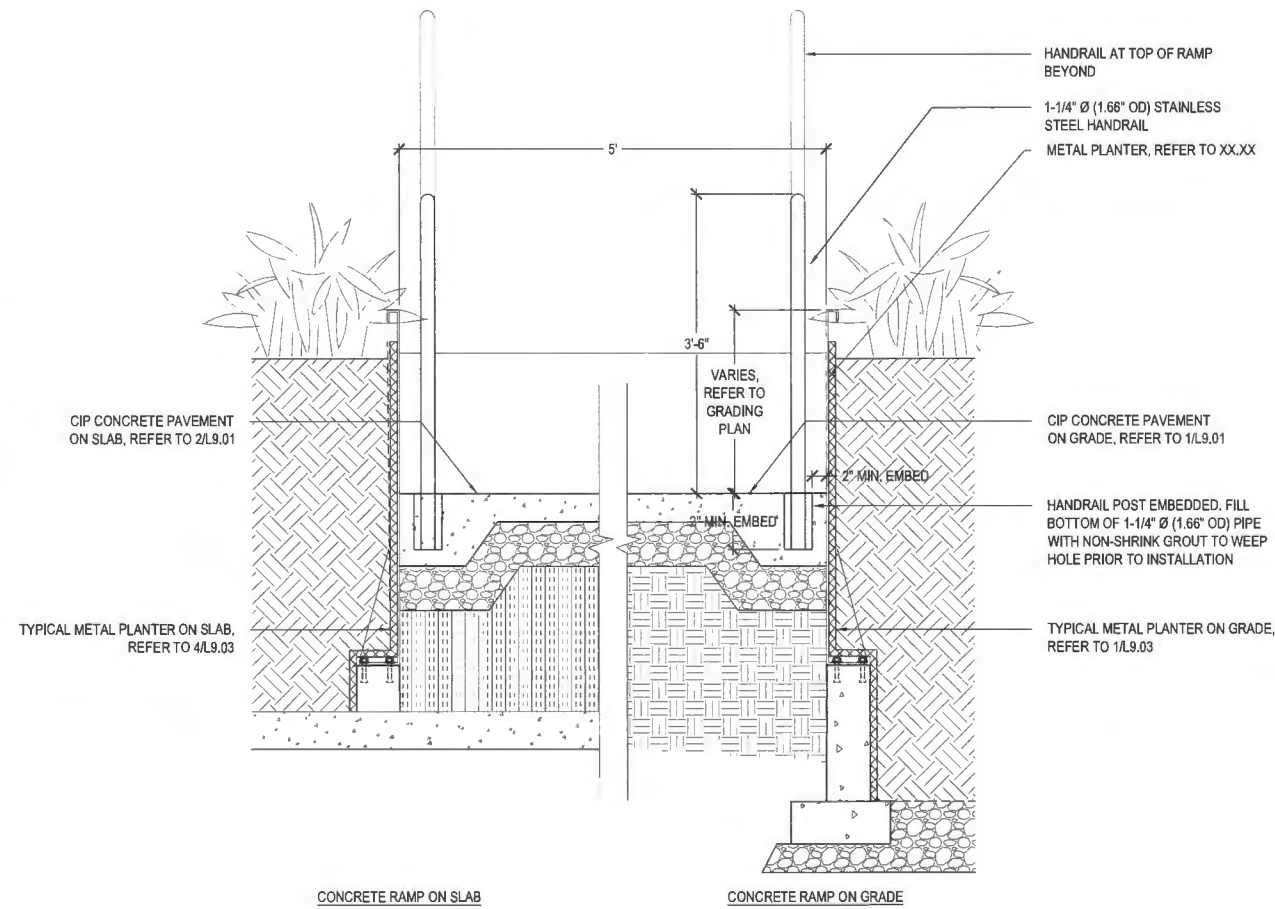
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L9.02



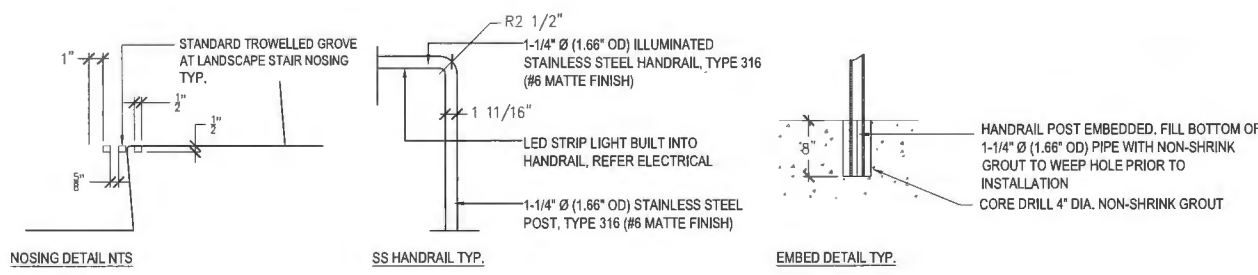
1 GROUND LEVEL PAVING PATTERN
 SCALE: 1/4" = 1'-0"



2 TYPICAL CONCRETE STAIR AT GROUND LEVEL
 SCALE: 1" = 1'-0"



4 TYPICAL CONCRETE RAMP ON GRADE / ON SLAB
 SCALE: 1" = 1'-0"



3 TYPICAL STAIR ENLARGEMENT DETAILS
 SCALE: NTS

CLIENT:

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PROJECT TEAM:

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April 25, 2024
Plan # 46

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

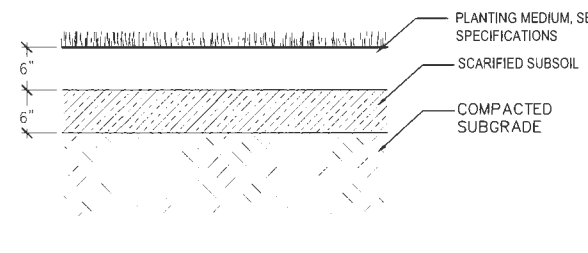
DRAWING TITLE:
LANDSCAPE DETAILS
PLANTING

PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

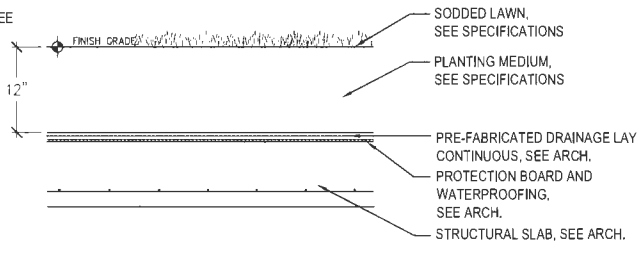
DRAWN BY: JLUR/JGC
CHECKED BY: JS

SCALE:
AS SHOWN

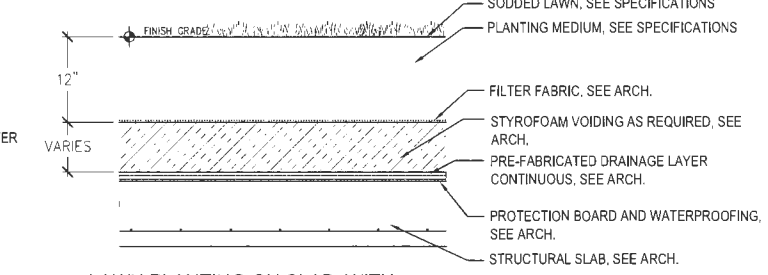
DWG. NO.:
L9.03



LAWN TYP. ON GRADE



LAWN PLANTING ON SLAB, MINIMUM DEPTH

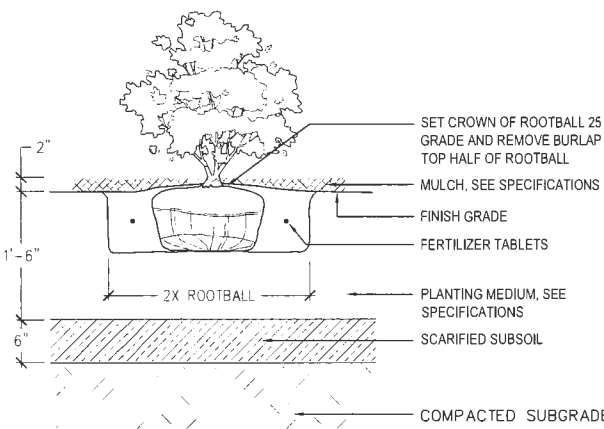


LAWN PLANTING ON SLAB, WITH VOIDING

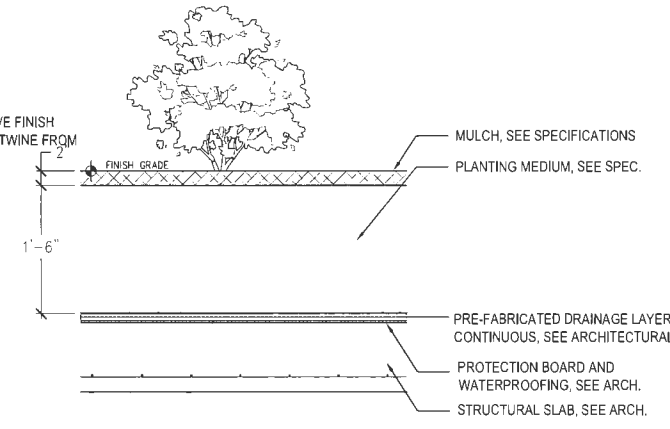
NOTES:

- TREE STAKES TO BE REMOVED AFTER ONE FULL YEAR FROM TIME OF SUBSTANTIAL COMPLETION.
- REMOVE TREE WRAP, PACKAGING AND TAGS AT TIME OF STAKING.
- REMOVE ONLY DEAD OR BROKEN BRANCHES.
- DO NOT CUT LEADER.
- WATER TO SATURATION. REMOVE AIR SPACE WITH SOIL PORES.
- ALL TREES TO BE NATURAL FORM, NO TIPPING, SHEARING ALLOWED.

3 LAWN PLANTING
SCALE: 1" = 1'-0"

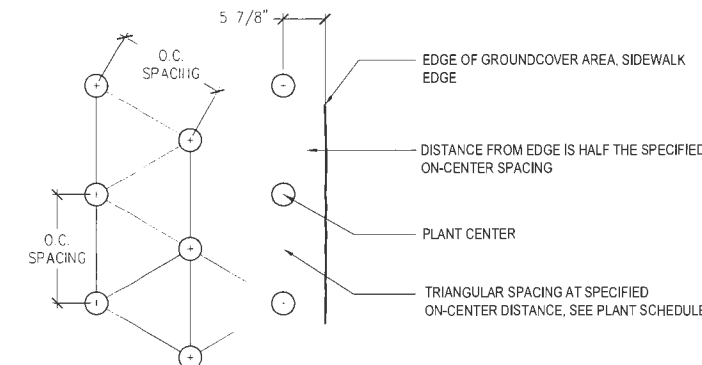


SHRUB PLANTING ON GRADE

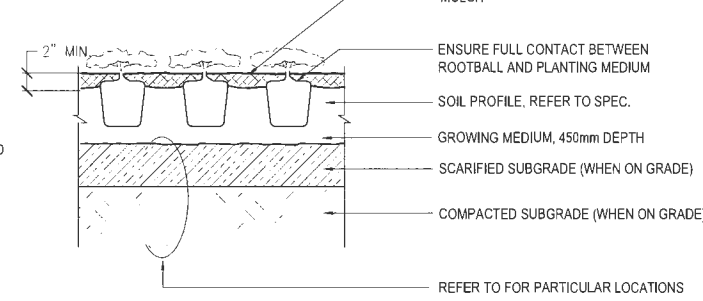


SHRUB PLANTING ON SLAB, MINIMUM DEPTH

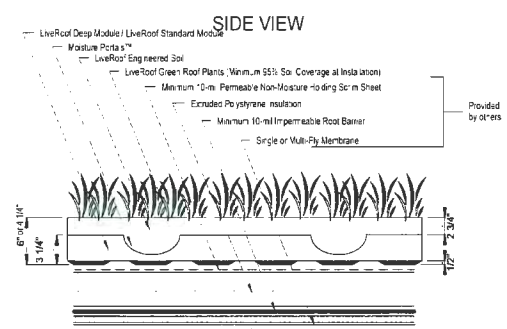
4 SHRUB PLANTING
SCALE: 1" = 1'-0"



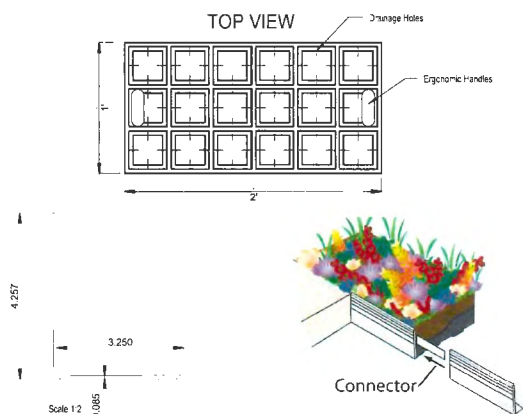
PLANT LAYOUT



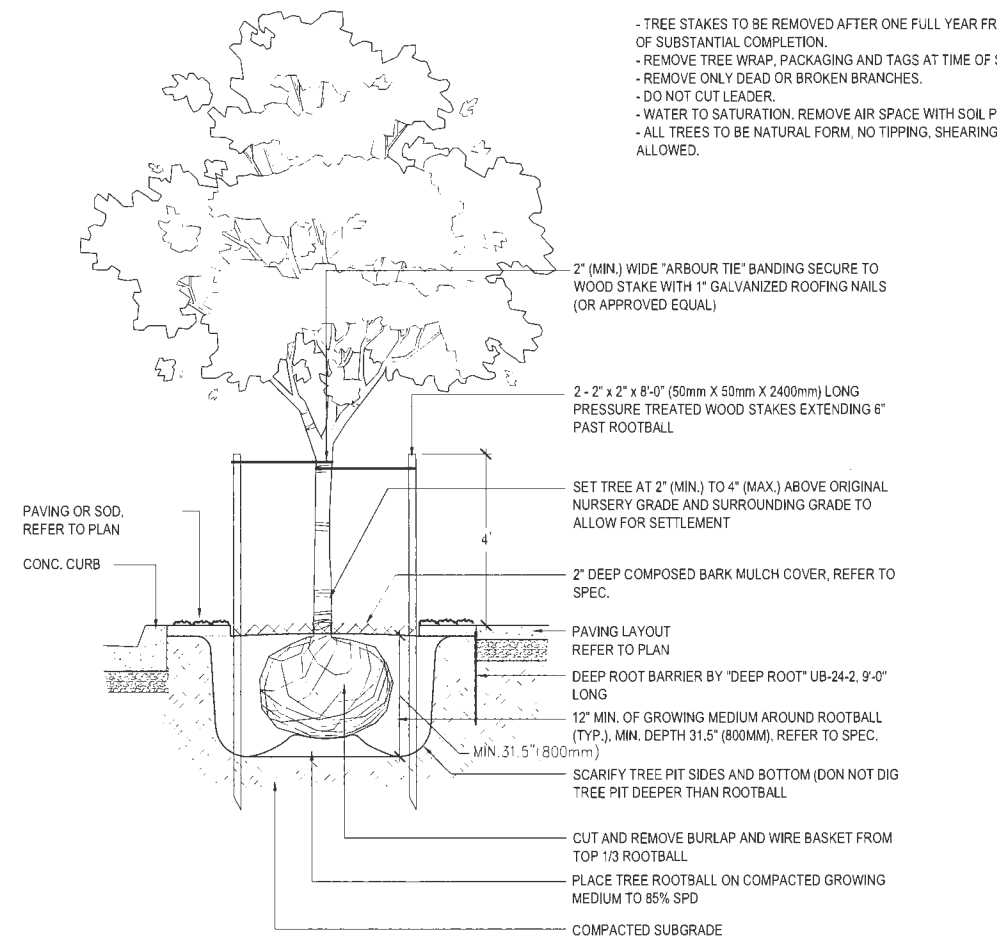
5 GROUND COVER PLANTING
SCALE: 1" = 1'-0"



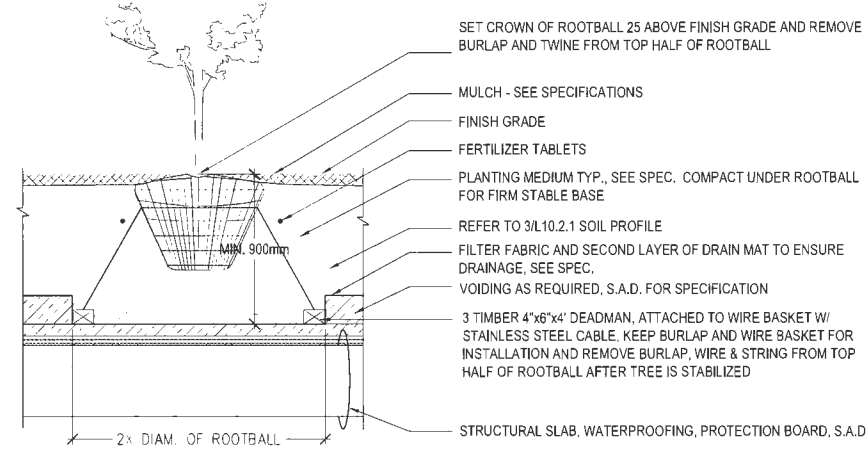
6 GREENROOF TRAY W/ METAL EDGER
SCALE: 1" = 1'-0"

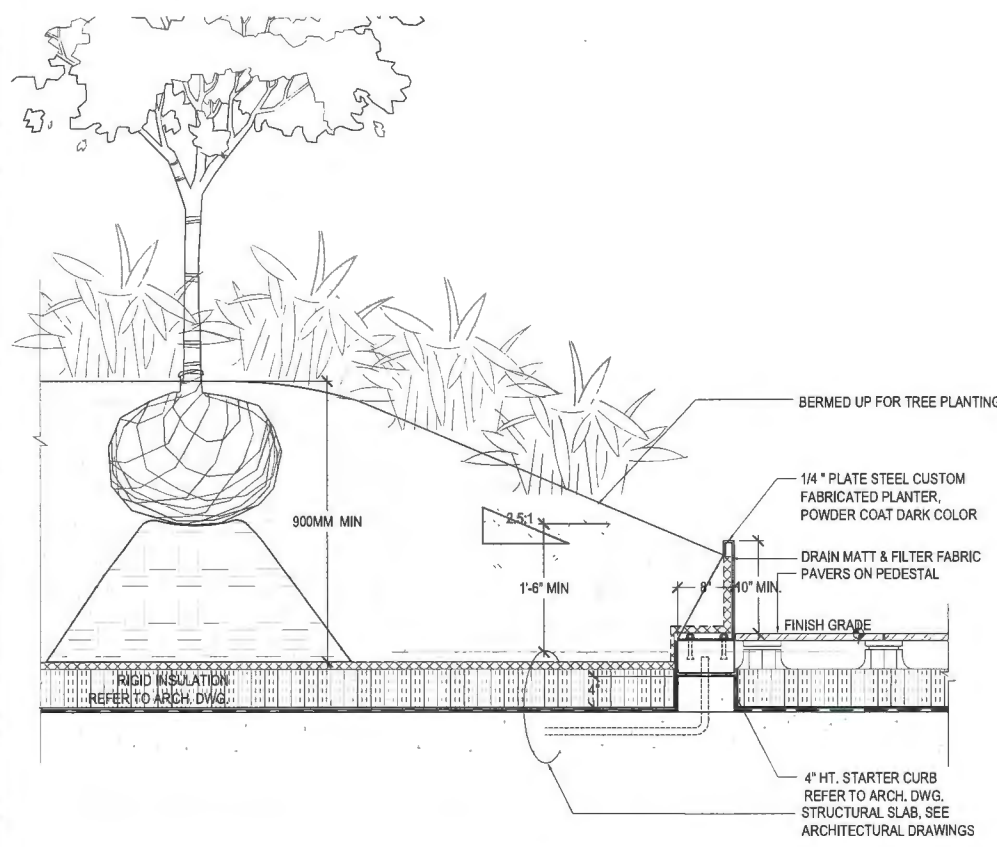


1 STREET TREE PLANTING
SCALE: 1" = 1'-0"

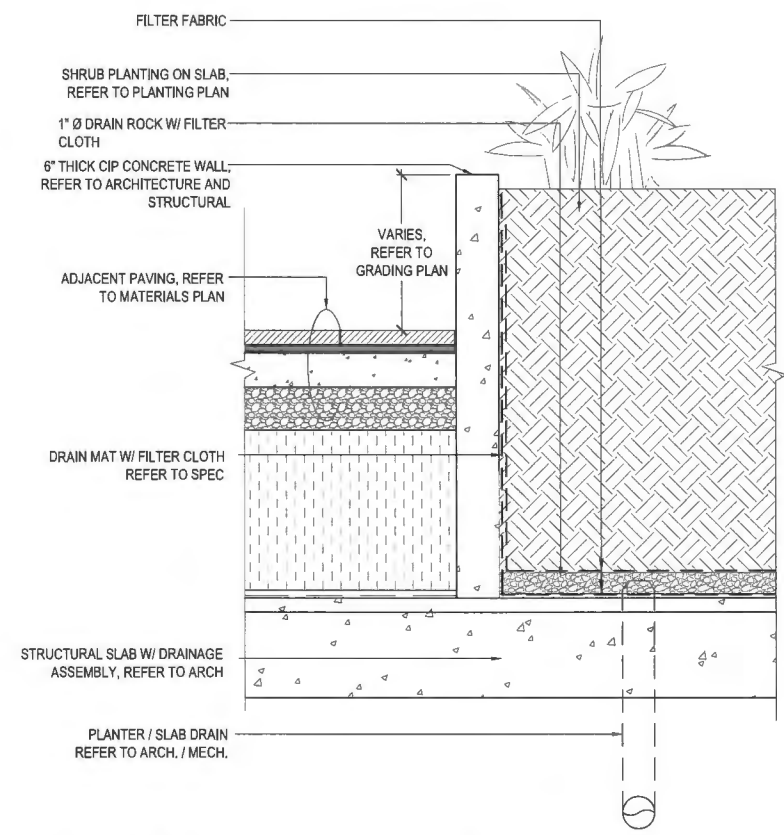


2 TREE ON SLAB
SCALE: 1" = 1'-0"

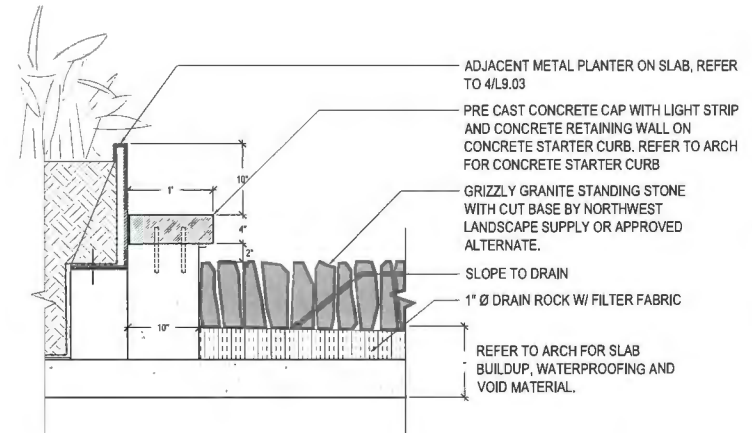




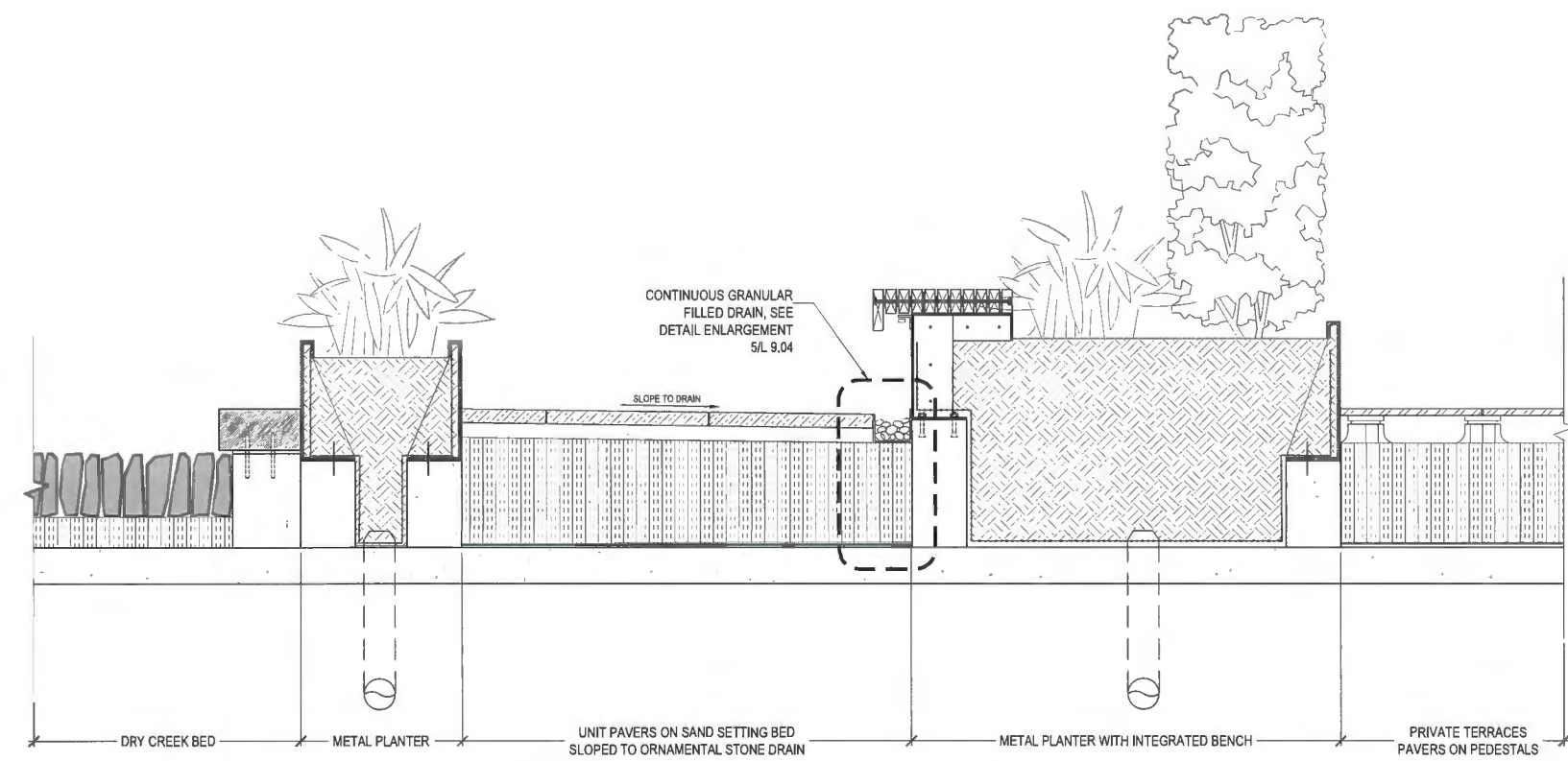
1 RAISED METAL PLANTER AND TREE PLANTING ON STRUCTURE
SCALE: 1" = 1'-0"



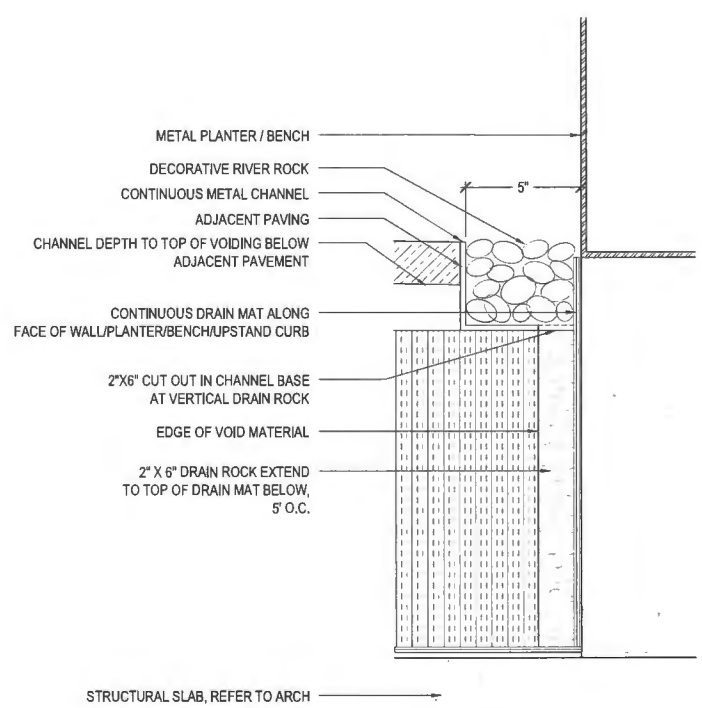
2 TYPICAL RAISED CONCRETE PLANTER ON STRUCTURE
SCALE: 1" = 1'-0"



3 DRY CREEK BED PAVEMENT AND CONCRETE EDGING
SCALE: 1" = 1'-0"



4 SCHEMATIC SECTION - DRY CREEK BED / METAL PLANTER / PATH WITH BENCH AND INTEGRATED DRAINAGE
SCALE: 1" = 1'-0"



5 CONTINUOUS GRANULAR FILLED DRAIN
SCALE: 3" = 1'-0"

CLIENT:
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GLOBAL PROPERTIES

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DP 21-945917
April 25, 2024
Plan # 47

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
LANDSCAPE DETAILS
PLANTERS

PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

DRAWN BY: JLUR/JGC
CHECKED BY: JS

SCALE:
AS SHOWN

DWG. NO.:
L9.04

CLIENT:

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GLOBAL PROPERTIES

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DP 21-945917
April 25, 2024
Plan # 48

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
LANDSCAPE DETAILS
PLANTERS

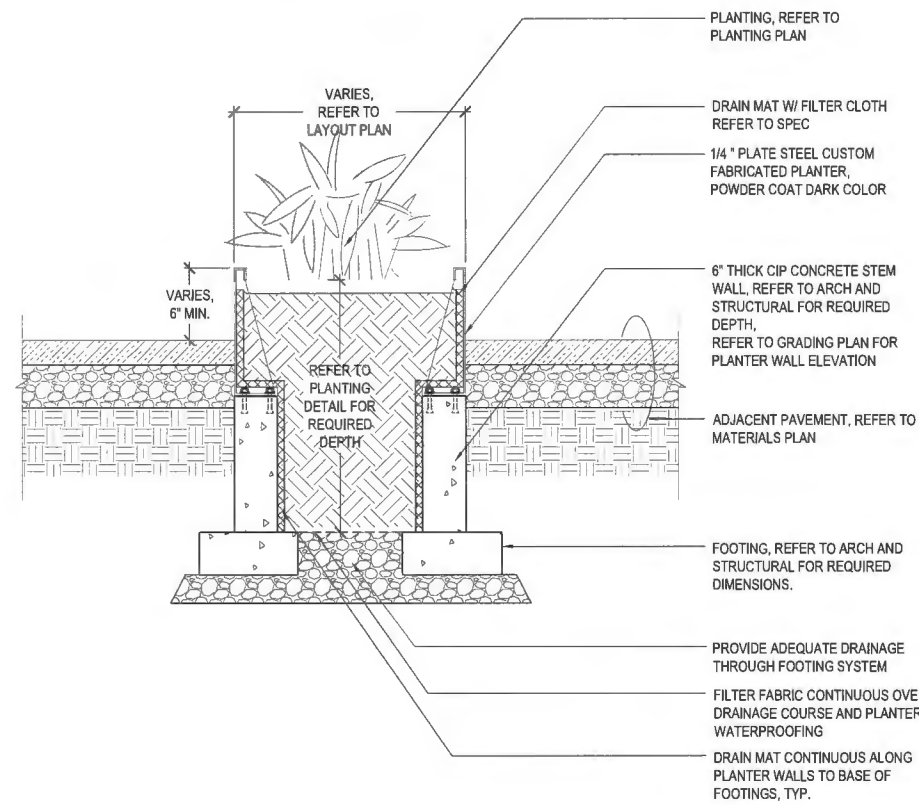
PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

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SCALE:
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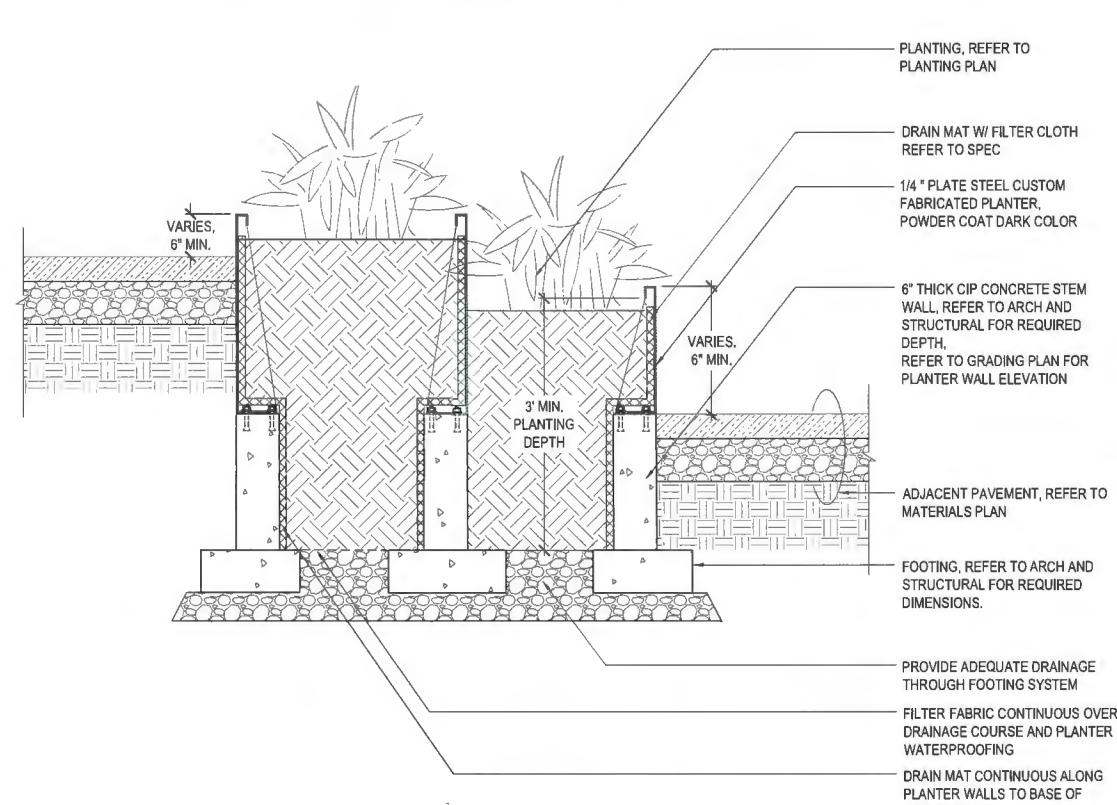
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L9.05



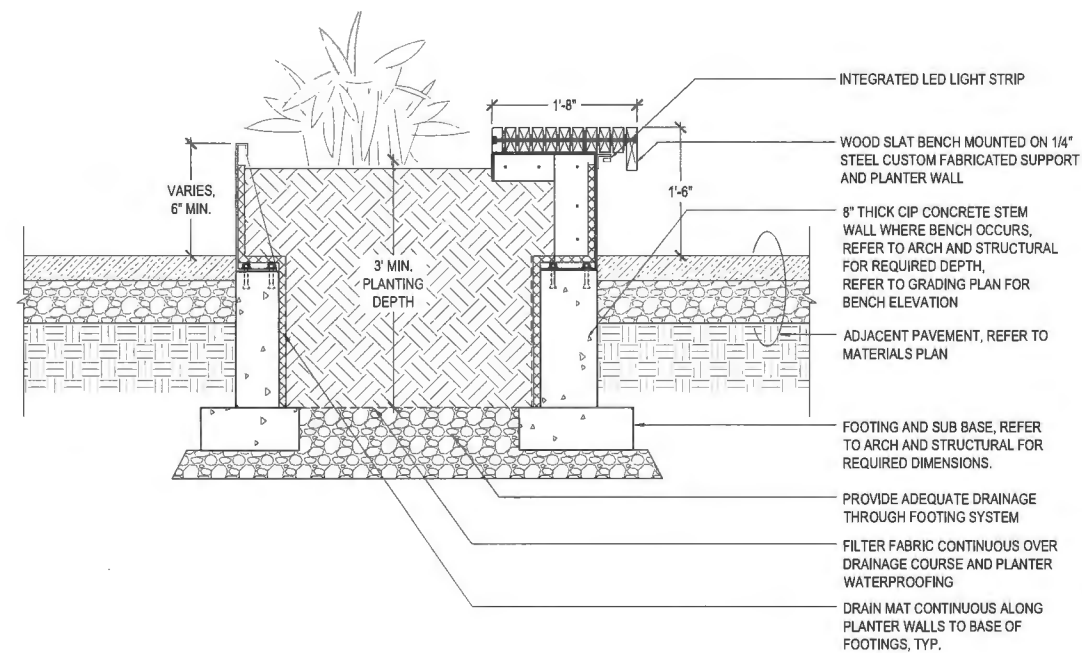
1 TYPICAL METAL PLANTER AT GROUND LEVEL

SCALE: 1" = 1'-0"



2 TYPICAL STEPPED METAL PLANTER AT GROUND LEVEL

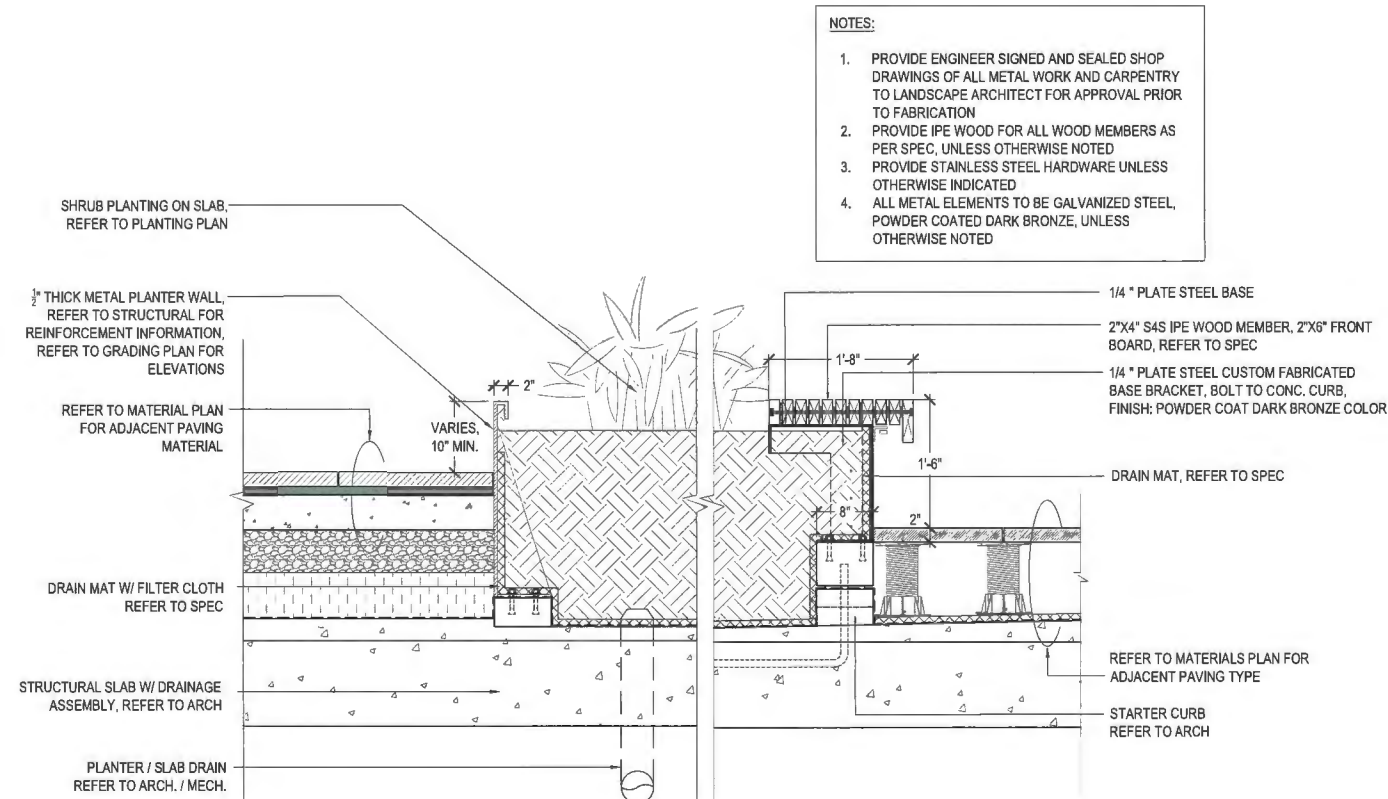
SCALE: 1" = 1'-0"



METAL PLANTER WITH INTEGRATED BENCH ON GRADE AT GROUND LEVEL

3 TYPICAL METAL PLANTER WITH INTEGRATED BENCH AT GROUND LEVEL

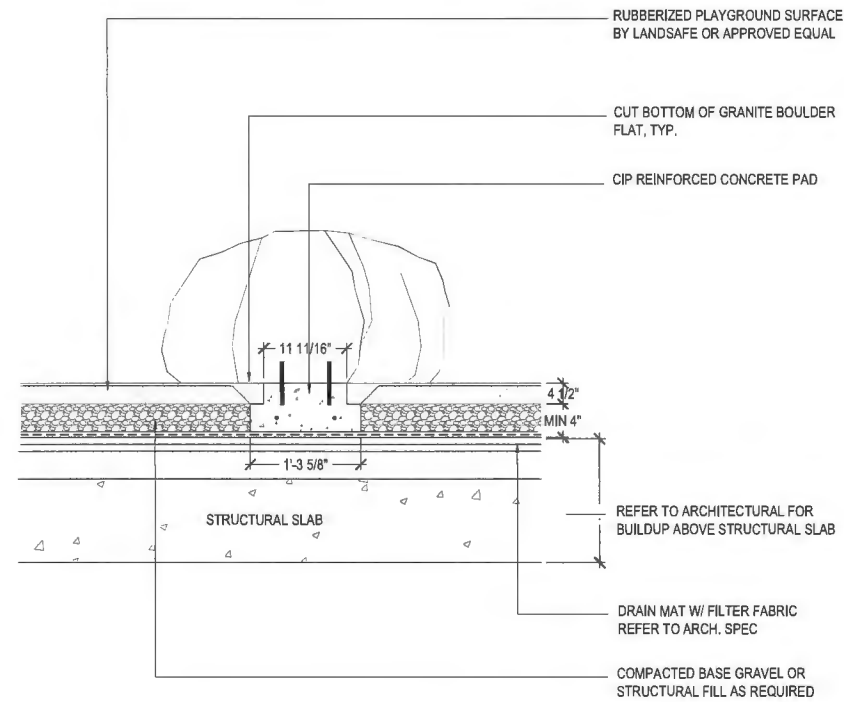
SCALE: 1" = 1'-0"



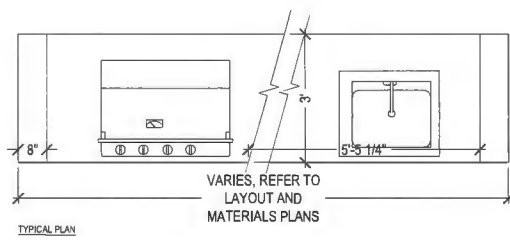
- NOTES:**
1. PROVIDE ENGINEER SIGNED AND SEALED SHOP DRAWINGS OF ALL METAL WORK AND CARPENTRY TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION
 2. PROVIDE IPE WOOD FOR ALL WOOD MEMBERS AS PER SPEC, UNLESS OTHERWISE NOTED
 3. PROVIDE STAINLESS STEEL HARDWARE UNLESS OTHERWISE INDICATED
 4. ALL METAL ELEMENTS TO BE GALVANIZED STEEL, POWDER COATED DARK BRONZE, UNLESS OTHERWISE NOTED

4 TYPICAL METAL PLANTER ON SLAB / TYPICAL PLANTER WITH INTEGRATED BENCH ON STRUCTURE

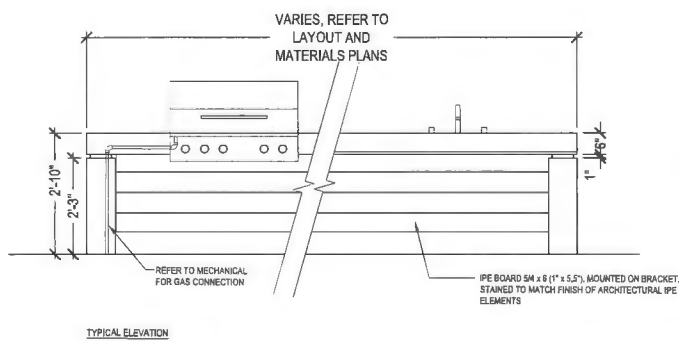
SCALE: 1" = 1'-0"



1 BOULDER IN PLAY SURFACING
SCALE: 1" = 1'-0"

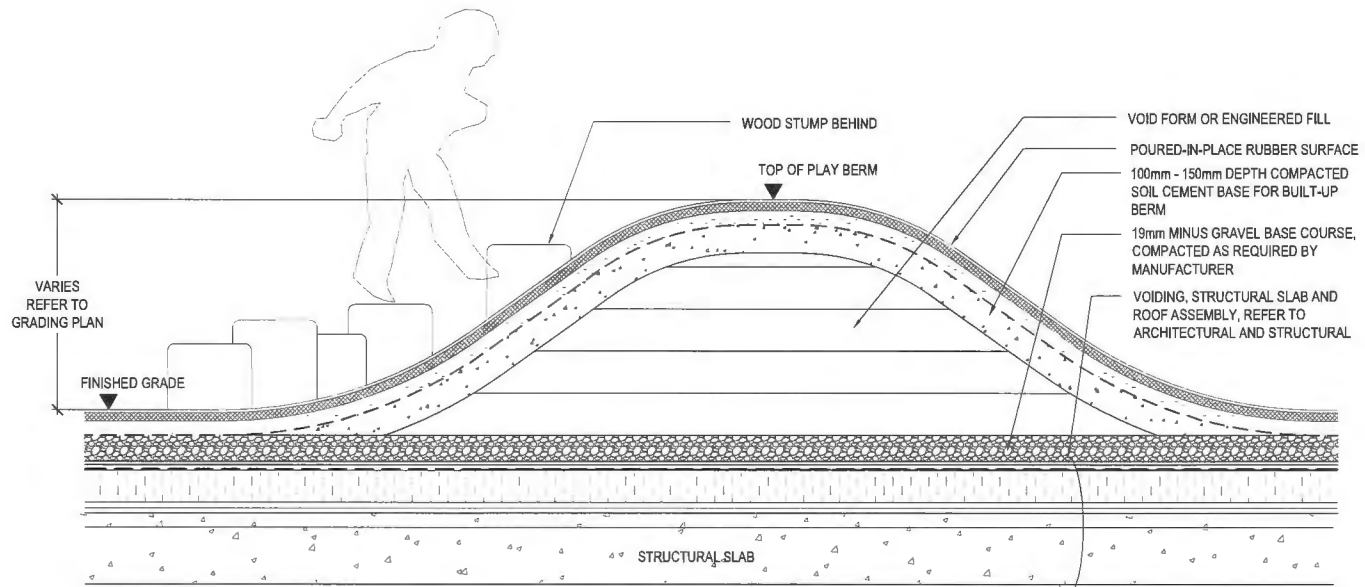


TYPICAL PLAN

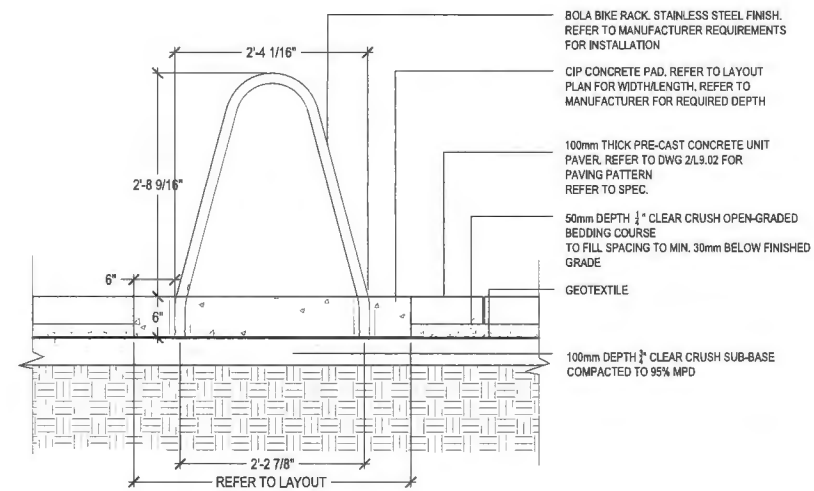


TYPICAL ELEVATION

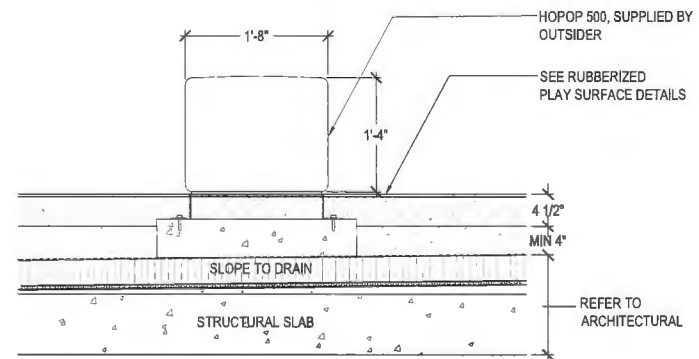
4 TYPICAL OUTDOOR KITCHENETTE @ TOWER ROOFTOP
SCALE: 1" = 1'-0"



2 RUBBER BERM @ L9 PLAYGROUND
SCALE: 1" = 1'-0"



3 BIKE RACK
SCALE: 1" = 1'-0"



5 PLAY EQUIPMENT- HOPOP 500 #157
SCALE: 1" = 1'-0"

PROJECT TEAM:

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ARCHITECT
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LANDSCAPE ARCHITECT
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3	APR 8, 2022	ISSUED FOR 30% BP
4	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

STAMP:

DP 21-945917
April 25, 2024
Plan # 49

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

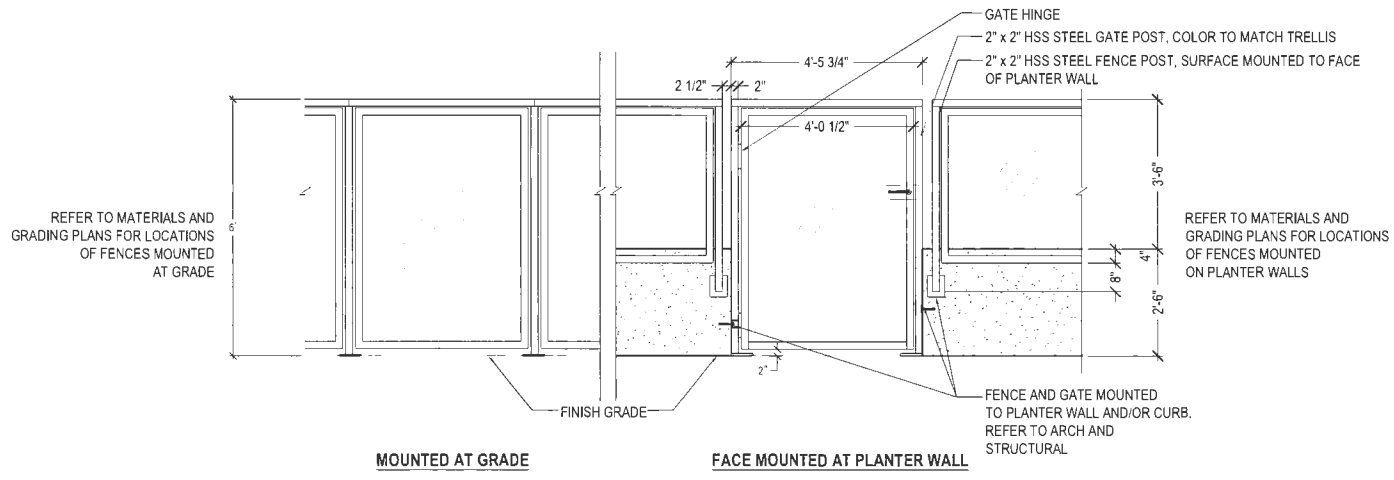
DRAWING TITLE:
LANDSCAPE DETAILS
FURNISHING

PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

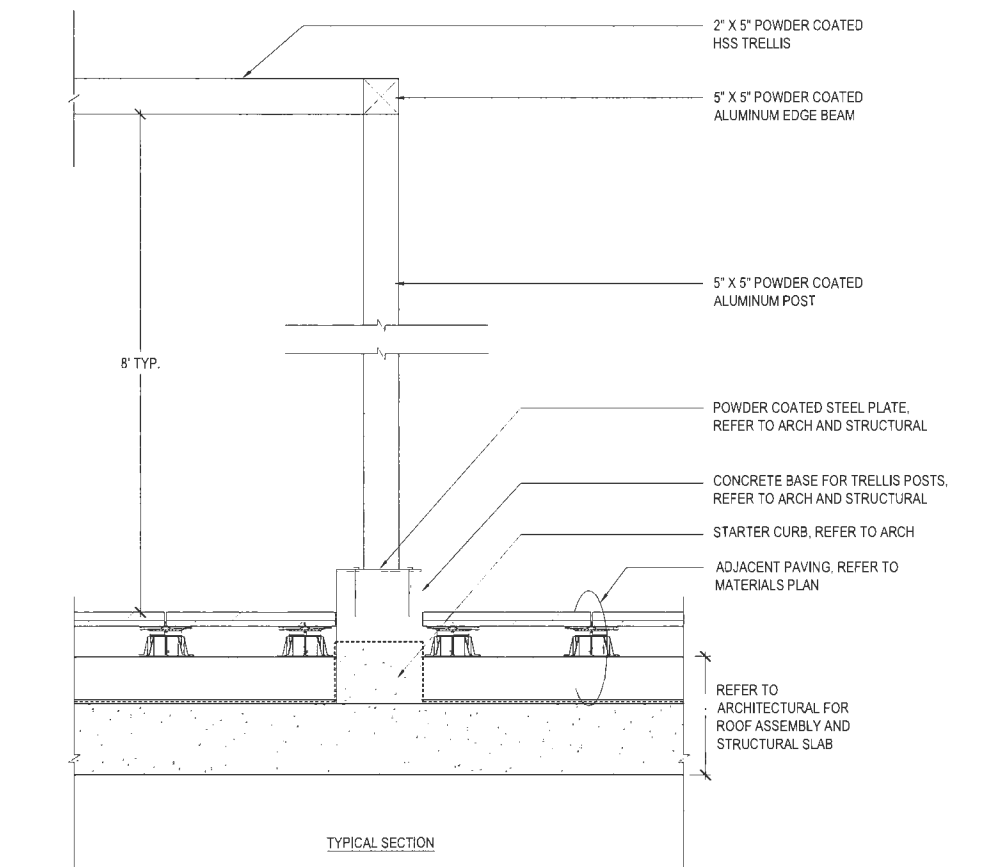
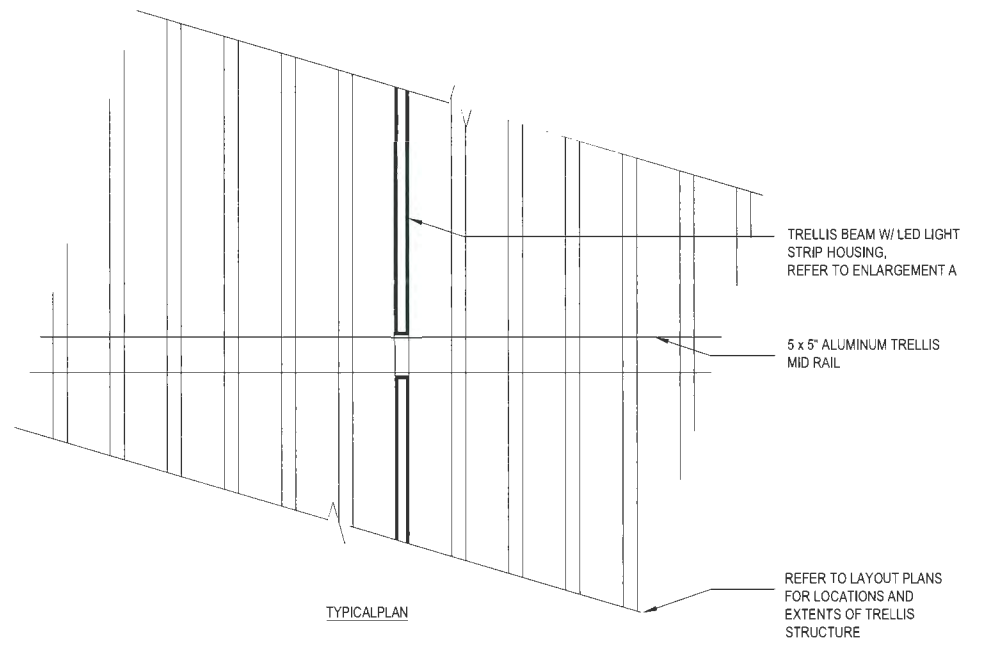
DRAWN BY: JJJR/JGC
CHECKED BY: JS

SCALE:
AS SHOWN

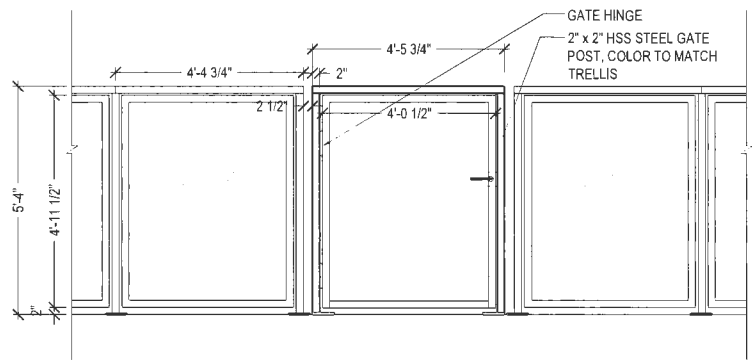
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L9.06



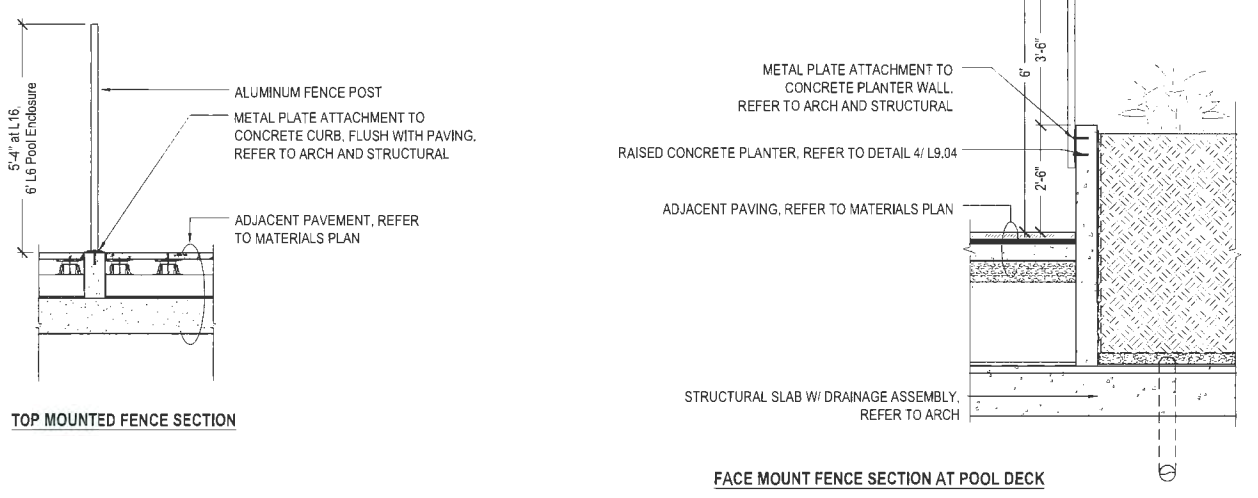
1 TYPICAL FENCE AND GATE ELEVATION - L6 POOL ENCLOSURE
SCALE: 1/2" = 1'-0"



4 TYPICAL TRELLIS STRUCTURE SECTION AND PLAN - L6 TEA PAVILLION
SCALE: 1" = 1'-0"



2 TYPICAL FENCE AND GATE ELEVATION - L16
SCALE: 1/2" = 1'-0"



3 TYPICAL FENCE SECTIONS - TOP MOUNT AND FACE MOUNT
SCALE: 1/2" = 1'-0"

- NOTES:
1. REFER TO ARCHITECTURAL AND STRUCTURAL FOR REINFORCING DETAILS AND FOOTING DESIGN.
 2. FENCE, GATE AND TRELLIS FABRICATOR TO PROVIDE ENGINEER STAMPED SHOP DRAWINGS FOR TRELLIS AND FENCE DETAILS FOR CONSULTANTS APPROVAL PRIOR TO FABRICATION.
 3. FENCE AND GATE COLOR TO MATCH TRELLIS, RAL COLOR TO BE DETERMINED. PROVIDE COLOR SAMPLE FOR CONSULTANT'S APPROVAL PRIOR TO FABRICATION
 4. SITE MEASURE DIMENSIONS OF EXISTING SITE CONDITIONS INCLUDING GLASS RAILING, SITE GRADING AND PLANTER WALL DIMENSIONS PRIOR TO FABRICATION. ADJUST FENCING AND TRELLIS DESIGN WHERE REQUIRED IN SHOP DRAWINGS TO FIT STRUCTURES TO EXISTING SITE CONDITIONS.

PROJECT TEAM:

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6	JUN 30 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8 2023	ISSUED FOR ADP
8	APR 29 2024	ISSUED FOR DP BOARD SUBMISSION

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DP 21-945917
April 25, 2024
Plan # 50

PROJECT NAME:
6851-6871
ELM BRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
LANDSCAPE DETAILS
FENCE & TRELLIS

PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

DRAWN BY: JL/JR/JGC
CHECKED BY: JS

SCALE:
AS SHOWN

DWG. NO.:
L9.07

CLIENT:

LANDA
GLOBAL PROPERTIES

PROJECT TEAM:

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DP 21-945917
April 25, 2024
Plan # 51

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
**TREE MANAGEMENT
PLAN**

PFS PROJECT NUMBER: 20013 DATE: 04/25/2024






DRAWN BY: JLU/RJGC CHECKED BY: JS

SCALE: 1/32"=1'-0"

DWG. NO.:

L0.00

LEGEND

-  EXISTING TREE TO BE REMOVED - TOTAL 8
-  EXISTING TREE TO BE RETAINED - TOTAL 0
-  PROPERTY LINE / LIMIT OF EXCAVATION
-  TREE PROTECTION FENCING
-  OUTLINE OF PROPOSED BUILDINGS

TREE MANAGEMENT PLAN

1. ALL ONSITE LANDSCAPE FEATURES AND PLANTS NOT IDENTIFIED FOR RETENTION OR RELOCATION ARE TO BE REMOVED.
2. REFER TO CERTIFIED ARBORISTS TREE MANAGEMENT PLAN FOR TREE PRESERVATION.
3. TREES TO BE REMOVED AND RELOCATED AS PER THE CITY OF RICHMOND TREE PROTECTION BYLAW NO. 8057.
4. INSTALL TREE PROTECTION FENCING AS PER CITY OF RICHMOND TREE PROTECTION BYLAW NO. 8057.
4. ANY PUBLIC INFRASTRUCTURE INCLUDING NOT LIMITED TO SIDEWALKS, CURBS, LIGHTING AND STREET FURNITURE TO BE PROTECTED DURING ANY OPERATIONS OF TREE RELOCATION OR REMOVAL.
5. VERIFY THE LOCATION OF ALL UNDERGROUND SERVICES ON SITE PRIOR TO ANY TREE REMOVAL OR RELOCATION.

PROTECTION OF EXISTING TREES DURING DEMOLITION AND CONSTRUCTION PER CITY OF RICHMOND TREE BYLAW

APPLICANTS SHALL NOT REMOVE OR CUT ANY TREES WITH A DBH OF 20 CM OR 7 1/4 INCHES ON THE SITE UNTIL A TREE PERMIT OR DEVELOPMENT PERMIT AND/OR REZONING HAS BEEN APPROVED WHICH ADDRESSES THE REMOVAL OF TREES.

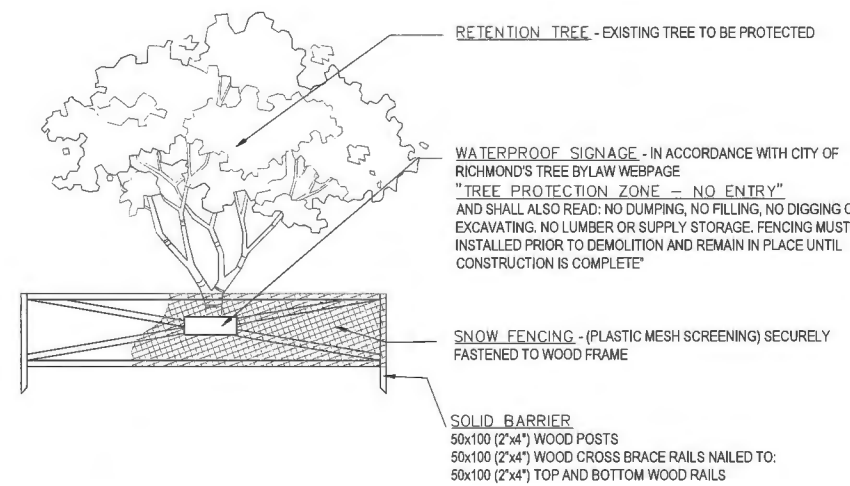
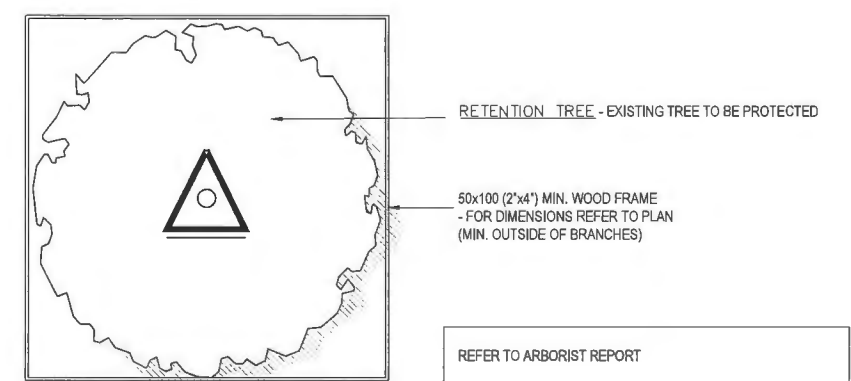
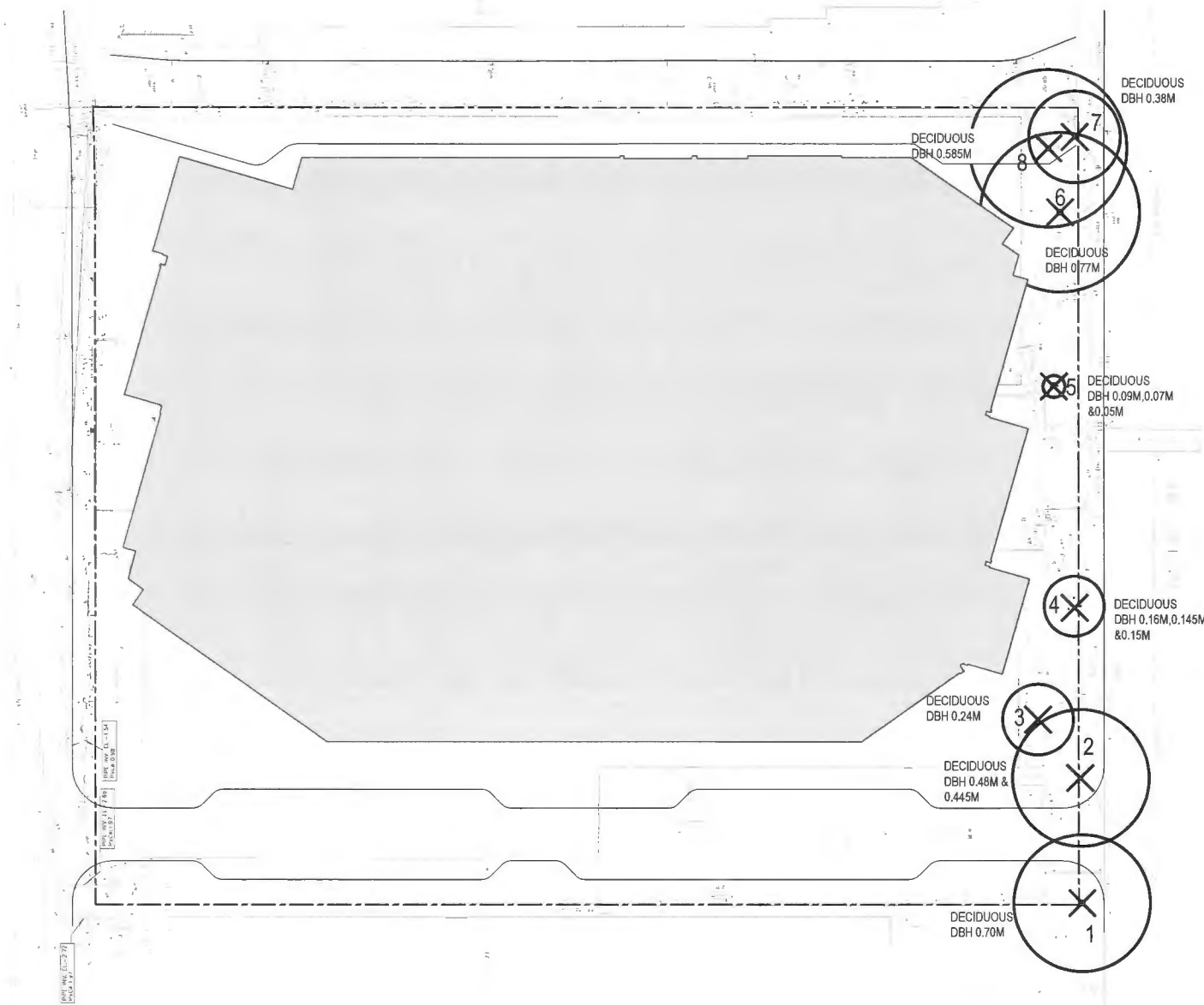
1. A FENCE MUST BE PLACED AT THE DRIP LINE OF ALL TREES TO BE RETAINED PRIOR TO ISSUANCE OF ANY PERMITS (DEMOLITION, REZONING, DEVELOPMENT, BUILDING). THE FENCE(S) SHALL BE 2X4 WOOD FRAME WITH CROSS BRACE CONSTRUCTION WITH SNOW-FENCE AND STAKED INTO THE GROUND. THE TREE PROTECTION FENCE SHALL BE CLEARLY SIGNED "TREE PROTECTION ZONE - DO NOT ENTER" AND REMAIN INTACT FOR ANY CONSTRUCTION OR DEMOLITION SITE THROUGHOUT THE ENTIRE PERIOD OF DEMOLITION AND/OR CONSTRUCTION.
2. APPROPRIATE INFORMATION REGARDING EXISTING TREE PRESERVATION SHALL BE PROVIDED TO TREE PRESERVATION AND/OR PLANNING STAFF. THIS IS TO INCLUDE:
 - THE LOCATION OF ALL PROTECTIVE TREE FENCING;
 - ANY EXCAVATION LOCATIONS FOR FOUNDATIONS, UTILITIES, DRIVEWAYS, PERIMETER DRAINAGE, ETC.;
 - A GRADING PLAN OR CROSS-SECTION SHOWING FINISHED GRADE; AND
 - A DRAINAGE PLAN FOR THE SITE.
3. ANY ARBORIST RECOMMENDED PRUNING AND ROOT PRUNING SHALL BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.
4. NO ENTRY OF ANY KIND SHALL OCCUR WITHIN THE TREES' DRIP LINE/TREE PROTECTION ZONE. THIS INCLUDES PEOPLE, EQUIPMENT AND/OR MATERIALS.
5. FILL MATERIAL, COMPACTED SOIL AND CONTINUOUS CONCRETE WALLS WITH FOOTINGS CANNOT BE LOCATED WITHIN THE DRIP LINE OF RETAINED TREES.

TREE PROTECTION ZONE SIGNAGE

ALL TPZ ARE REQUIRED TO HAVE SIGNAGE AS SHOWN BELOW. THE SIGNAGE MUST BE A MINIMUM OF 11"x14" IN SIZE ON AT LEAST 2 SIDES. A SIGN IS AVAILABLE FOR DOWNLOAD FROM THE CITY OF RICHMOND'S TREE BYLAW WEBPAGE AT WWW.RICHMOND.CA/SERVICES/ENVIRONMENT/POLICIES/TREEREMOVAL



Fencing to be installed prior to demolition and remain in place until construction is complete. A fine of \$1,000.00 per tree will be issued for relocating or removing tree protection fencing.



1 TREE PROTECTION FENCING
SCALE: NTS



1 NORTH ELEVATION RENDERING
A111a N.T.S.



2 HOTEL ENTRANCE
A111a N.T.S.



3 HOTEL ENTRANCE CORNER VIEW
A111a N.T.S.



4 BIRD'S EYE FROM NE
A111a N.T.S.

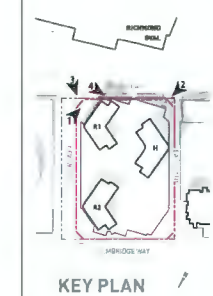
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2	DP BOARD SUBMISSION		2024-04-23

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ARNO MATIS ARCHITECTURE
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V6J 1H2 T 604.708.0188



DP 21-945917
April 25, 2024
Reference Plan

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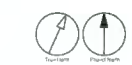
PROJECT
Elmbridge Way
8951-8971 Elmbridge Way
Richmond, BC

PROJECT NO
138041

DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
RENDERING

SHEET NUMBER A111a	ISSUE 2
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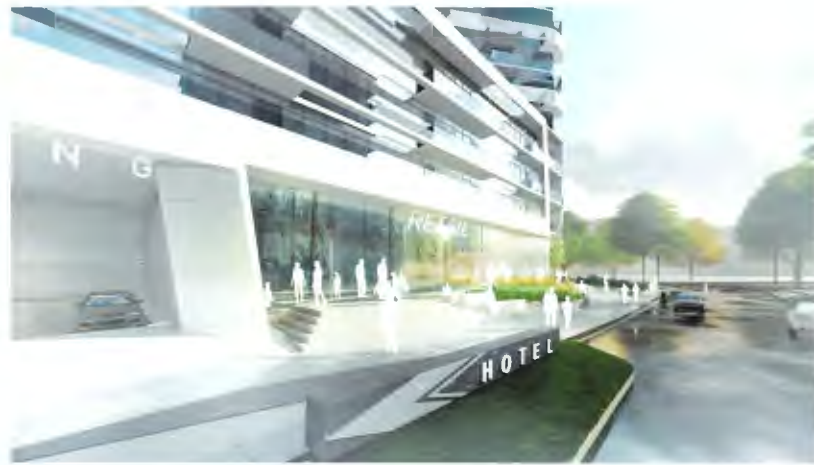
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1 NW CORNER
A111b
N.T.S.



2 NW PLAZA LOOKING SOUTH
A111b
N.T.S.



3 NEW WEST ROAD LOOKING SOUTH
A111b
N.T.S.



4 BIRD'S EYE FROM SE
A111b
N.T.S.

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Ltd.
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VANCOUVER, BC, V6C 3L6

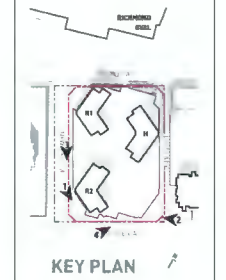
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DP 21-945917
April 25, 2024
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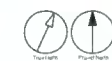
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A111b
ISSUE
2



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2024-04-15 11:30:17 AM



1 SOUTH PLAZA LOOKING EAST
A111c
N.T.S.



2 SW CORNER
A111c
N.T.S.



3 SE CORNER
A111c
N.T.S.



4 SE PLAZA LOOKING NORTH
A111c
N.T.S.

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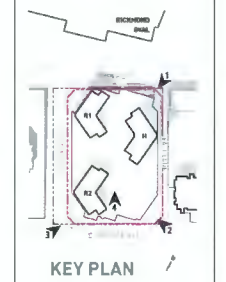
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2	DP BOARD SUBMISSION	2024-04-23

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DP 21-945917
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6851-6871 Elmbridge Way
Richmond, BC

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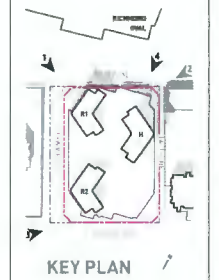
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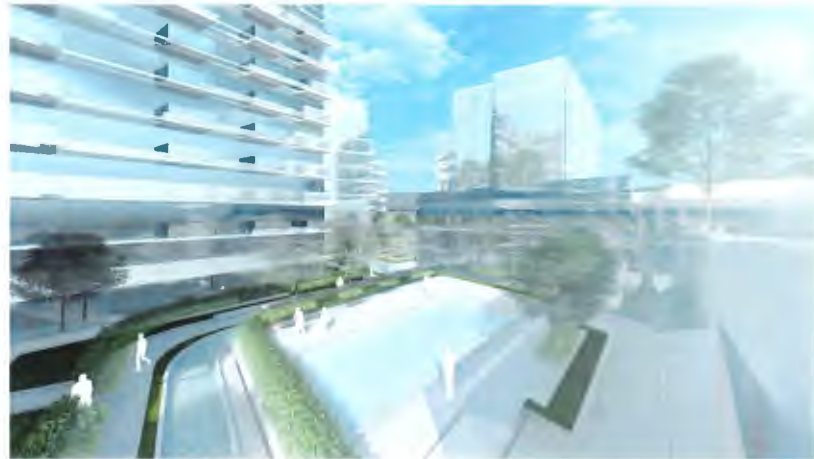
PROJECT
Elmbridge Way
 6851-6871 Elmbridge Way
 Richmond, BC

PROJECT NO
 138841

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PROJECT MGR Designer	APPROVED BY Approver

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SHEET NUMBER A111d	ISSUE 2
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1 PODIUM LANDSCAPE LOOKING NORTH
 1/2" = 1'-0"



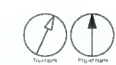
2 RW PLAZA LOOKING SOUTH
 1/2" = 1'-0"



3 NORTH ELEVATION LOOKING EAST
 1/2" = 1'-0"



4 HOTEL ENTRANCE
 1/2" = 1'-0"



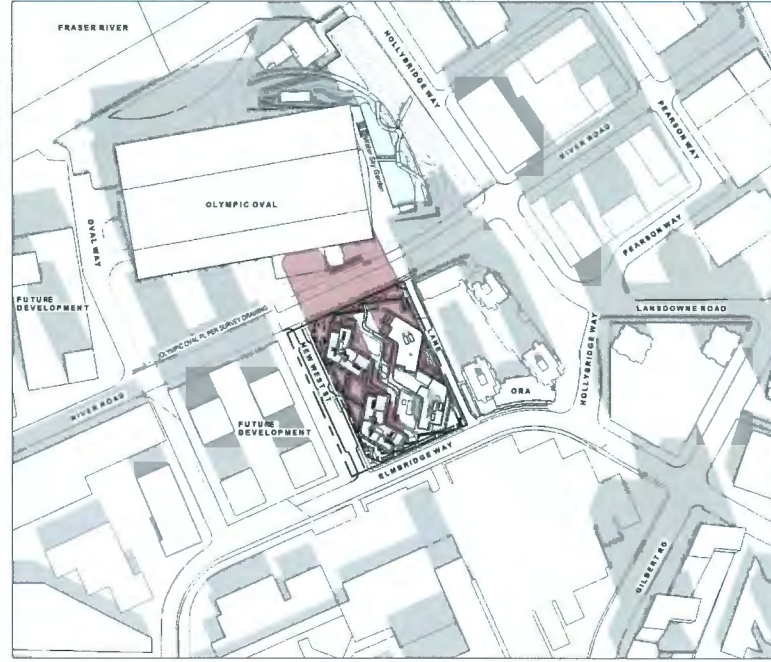
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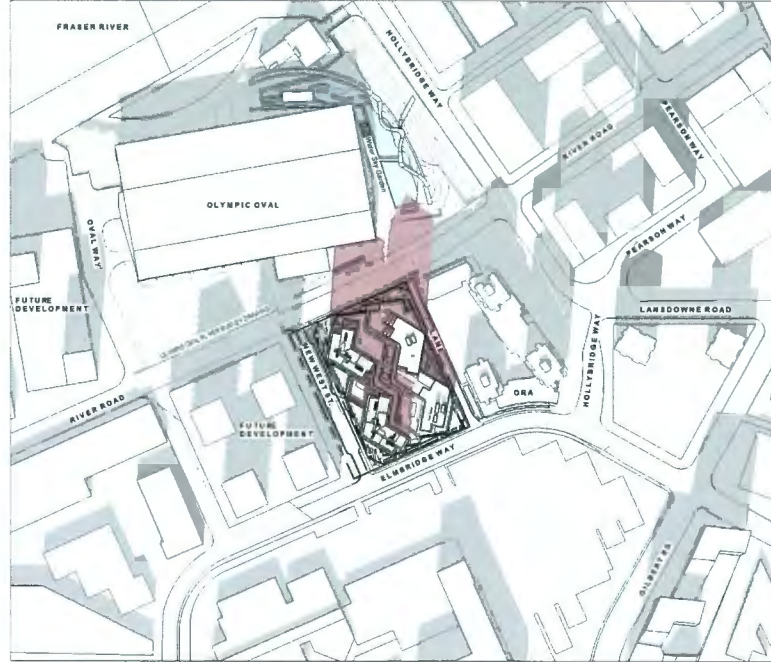
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1	ISSUED FOR DEVELOPMENT PERMIT DRAFT	2023-07-07
2	ICP BOARD SUBMISSION	2024-04-25

ARCADIS PROFESSIONAL SERVICES (CANADA) INC.
ARCADIS GROUP PROFESSIONAL SERVICES (CANADA) INC.

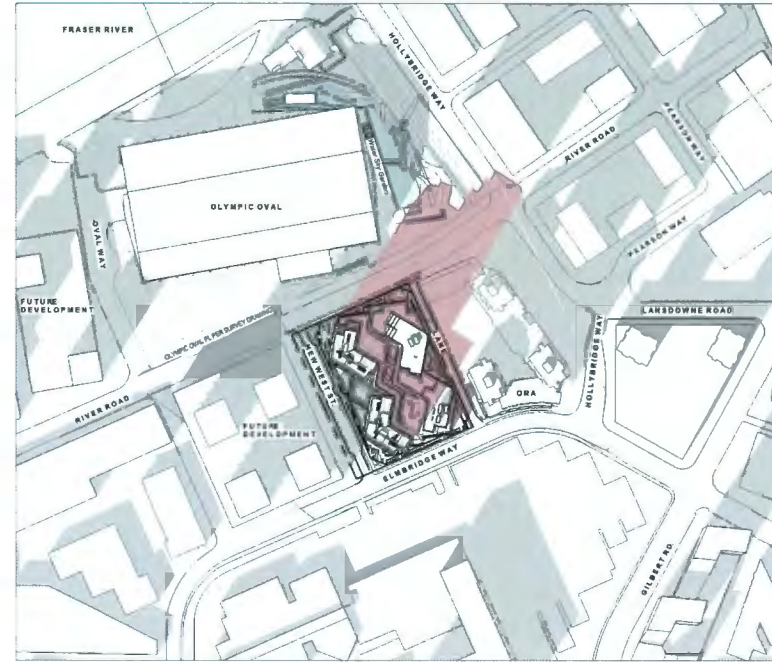
CONSULTANTS
AM
APINO MATIS ARCHITECTURE
704-1548 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T: 604-708-9198



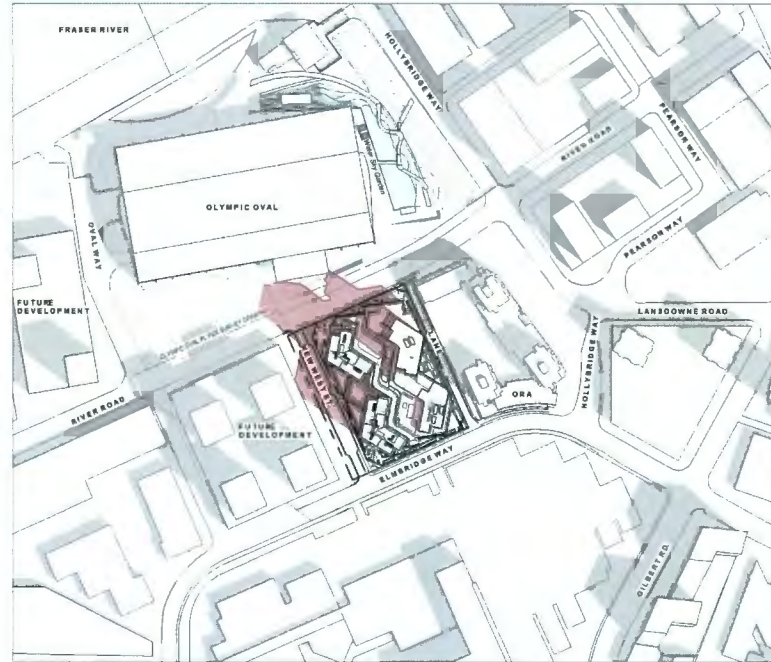
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A108a 1: 2500



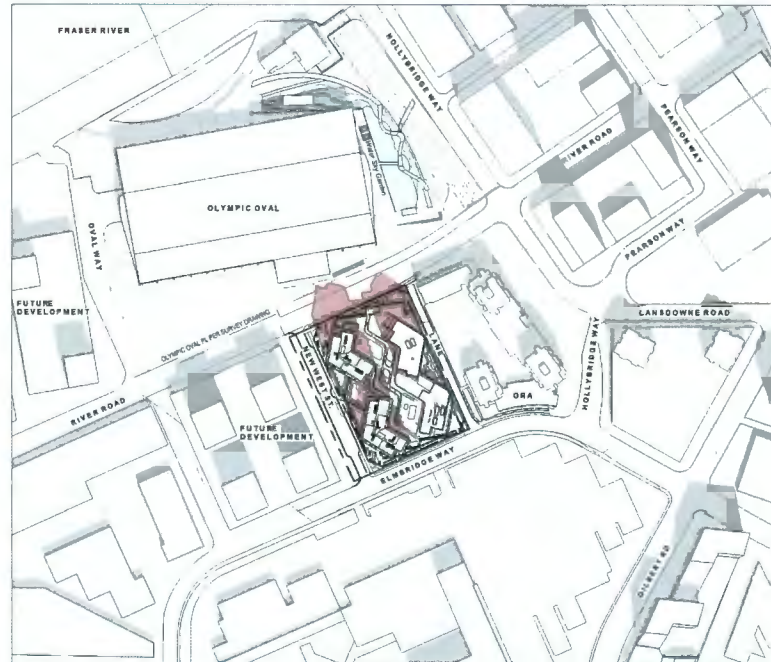
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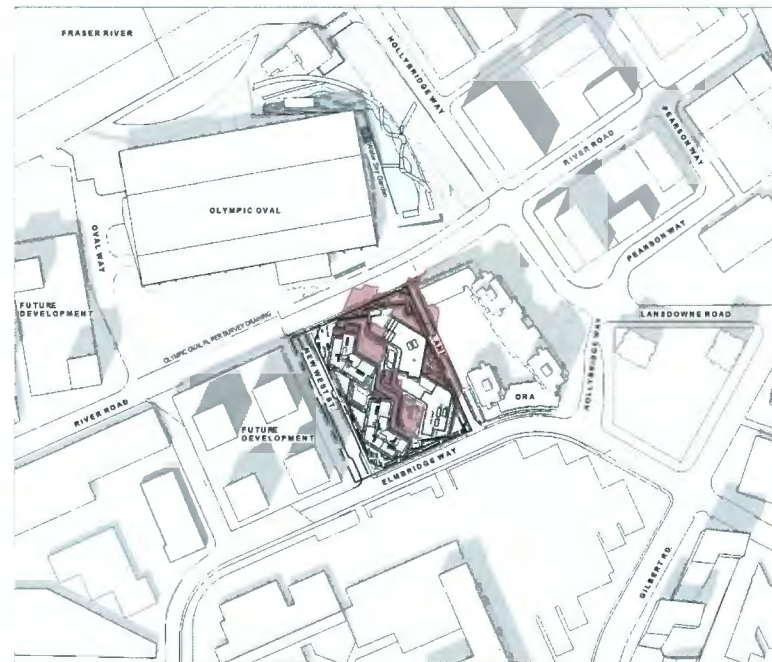
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4 SPRING EQUINOX (MAR 20) 10AM
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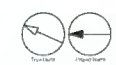
6 SPRING EQUINOX (MAR 20) 2PM
A108a 1: 2500

DP 21-945917
April 25, 2024
Reference Plan

SEAL

PRINCIPAL CONSULTANT
ARCADIS
1385 West Pender Street - Suite 100
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PROJECT Elmeridge Way 8851-8871 Elmeridge Way Richmond, BC	
PROJECT NO 138841	CHECKED BY [Signature]
DRAWN BY Author	APPROVED BY Approver
PROJECT MGR Designer	APPROVED BY Approver
SHEET TITLE SHADOW STUDY	
SHEET NUMBER A108a	ISSUE 2



APINO MATIS ARCHITECTURE

CLIENT
Landa Global Properties Ltd.

1550 - 200 BURNARD ST.
VANCOUVER, BC V5C 3L6

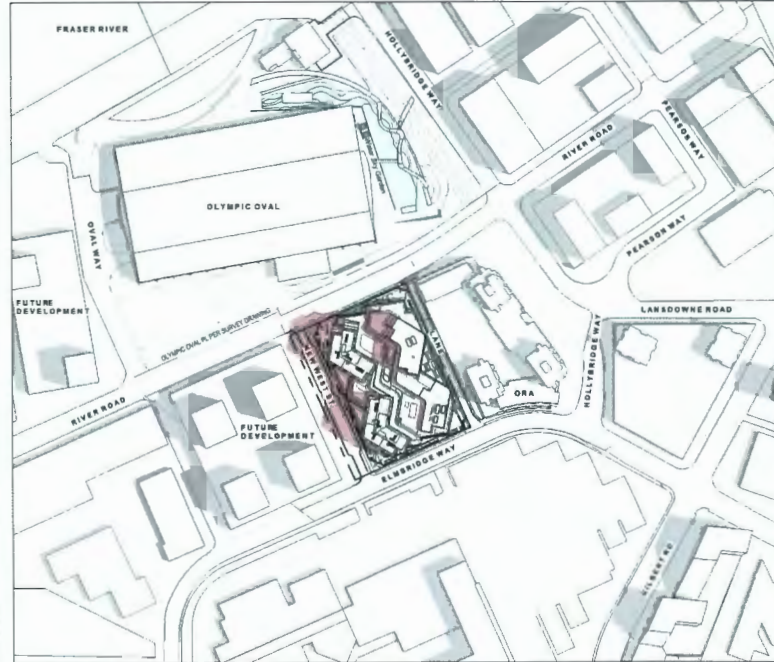
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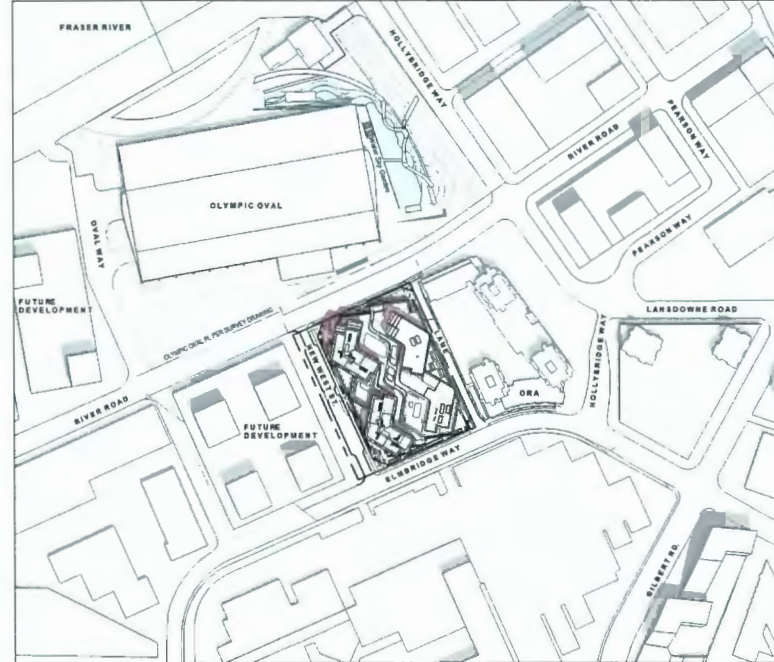
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2	PERMIT DRAFT	
3	TOP BOARD SUBMISSION	2024-04-25

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AM

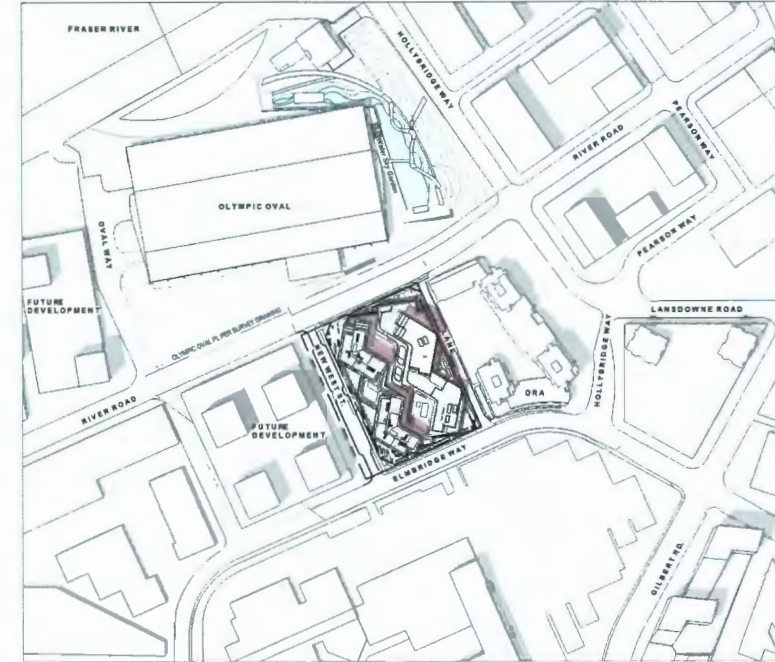
ARNO MATIS ARCHITECTURE
204-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T. 604.708.0188



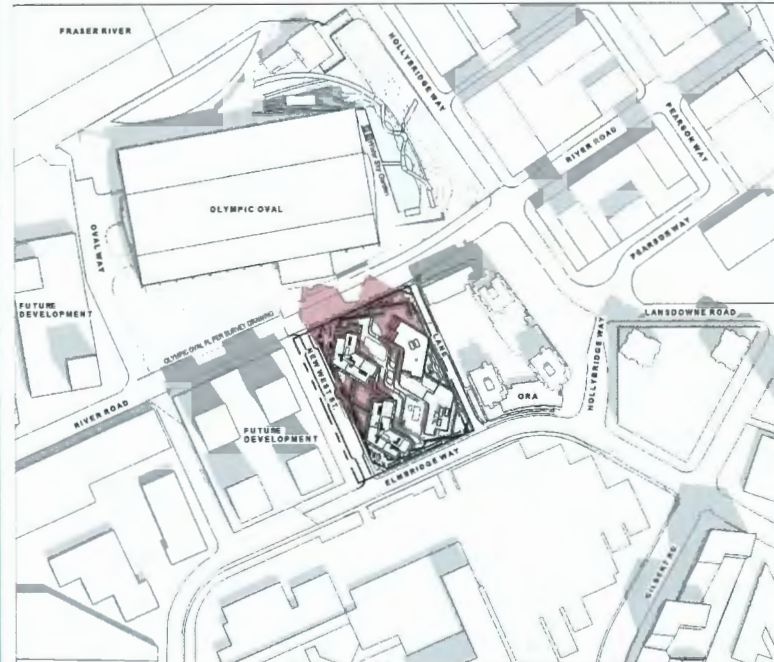
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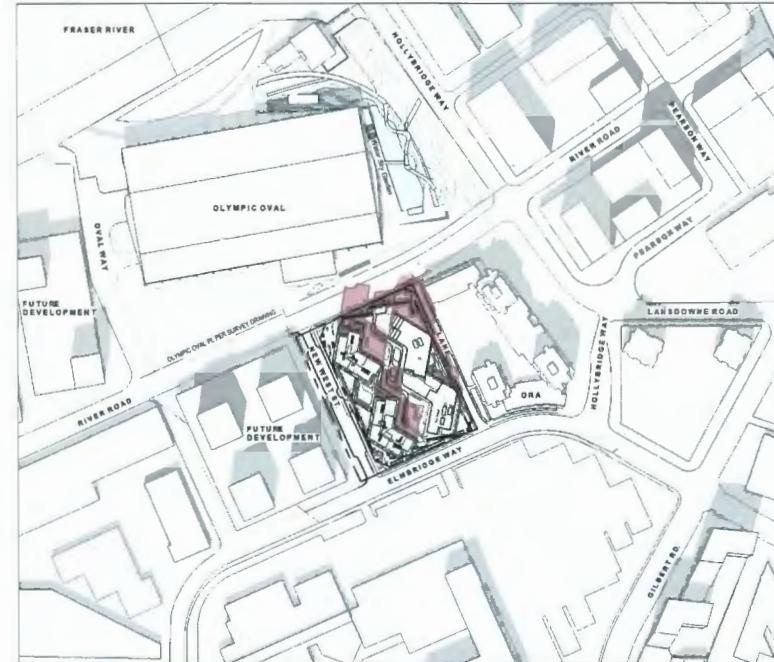
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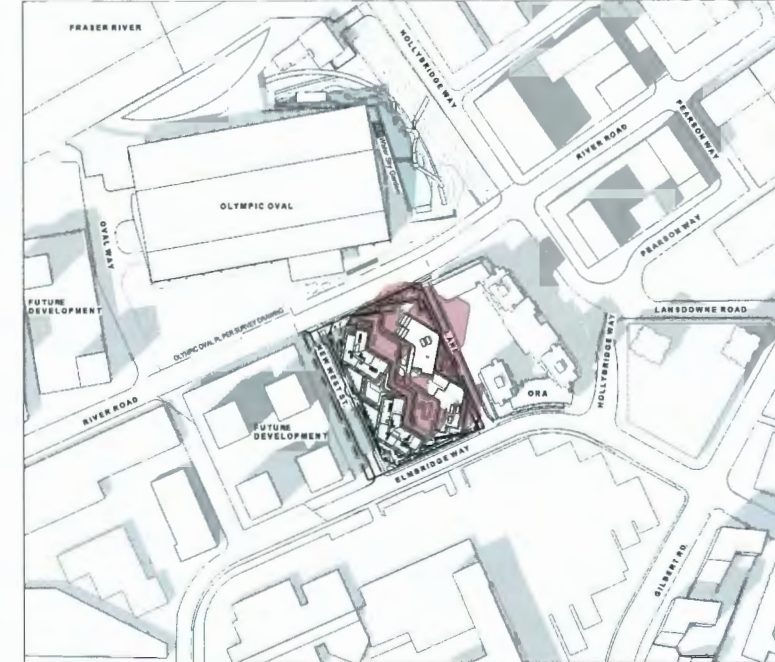
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4 FALL EQUINOX (SEPT 22) 10AM
A108b 1:2500



5 FALL EQUINOX (SEPT 22) 12PM
A108b 1:2500



6 FALL EQUINOX (SEPT 22) 2PM
A108b 1:2500

DP 21-945917
April 25, 2024
Reference Plan

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PROJECT NO
130841

DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
SHADOW STUDY

SHEET NUMBER
A108b

ISSUE
2