

Report to Development Permit Panel

To: Development Permit Panel

Date: April 25, 2024

From:

Suzanne Smith

File: DP 21-945917

Program Manager, Development

Re:

Application by Arno Matis Architecture for a Development Permit at 6851 and

6871 Elmbridge Way

Staff Recommendation

That a Development Permit be issued which would:

- 1. Permit the construction of 376 residential units, hotel and accompanying commercial uses in a high-rise mixed use development containing three 15 storey towers at 6851 and 6871 Elmbridge Way on a site zoned "High-Density Mixed Use (ZMU52) Oval Village (City Centre)"; and
- 2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development's podium (Levels 3 to 6) for components of the building and residential balcony units; and
 - b) Not require a large size on-site loading space in the proposed development.

Suzanne Smith

Program Manager, Development

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Att. 4

Staff Report

Origin

Arno Matis Architecture has applied to the City of Richmond on behalf of Landa Oval Development Ltd. for permission to develop a high-rise mixed use development containing three 15 storey towers at 6851 and 6871 Elmbridge Way on a site zoned "High-Density Mixed Use (ZMU52) – Oval Village (City Centre)". The site currently contains multi-tenant light industrial buildings (Attachment 1 – Location Map).

Highlights of the proposed development include:

- 341 market residential units and 35 affordable housing units (Low End Market Rental LEMR).
 - o Market residential units are located in the development podium and two towers at the north west and south west portions on the site.
 - LEMR units are dispersed throughout the development's podium, consistent with the Housing Agreement Bylaw and housing covenant secured through the rezoning for this development.
- Approximately 13,854 m² (149,123 ft²) of floor area for:
 - o A hotel tower at the north east portion of the site; and
 - o Commercial floor space at-grade around the subject sites road frontages.
- Approximately 750 m² (8,073 ft²) of on-site indoor amenity space on Level 6 of the development's podium.
- Approximately 3,037 m² (32,690 ft²) of on-site outdoor amenity space on Level 6 and 9 of the development.
- A new City road (herein called the new west road) along the subject sites west edge that will connect Elmbridge Way and River Road and provide the primary vehicle access to the development's parkade. The name of this road will be determined by Council through the City's Road Naming Policy process.

The site is being rezoned from "Light Industrial (IL)" to "High-Density Mixed Use (ZMU52) – Oval Village (City Centre)" under Richmond Zoning Bylaw, Amendment Bylaw 10423 (RZ 17-782750).

A Servicing Agreement (SA 23-035702) is required as a rezoning consideration item and includes, but is not limited to, the design and construction of new and upgraded water mains, storm sewer and sanitary infrastructure (including new service connections) around the subject site. Frontage works, a public pathway, widening of the existing lane to the east and the new west road (including all tie-ins and transitions to existing road infrastructure) will also be completed through this Servicing Agreement.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north: The Richmond Olympic Oval is located across River Road on a site zoned "High

Rise Apartment and Olympic Oval (ZMU4) - Oval Village (City Centre)"

To the east: Across an existing lane is the Onni 'Ora' high density mixed use development on

a site zoned "Residential/Limited Commercial (RCL3)".

To the south: Across Elmbridge Way is an existing building containing Worksafe BC offices on

a site zoned "Downtown Commercial (CDT1)".

To the west: A site zoned "Light Industrial Business Park (IB1)" containing existing light

industrial buildings.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on December 19, 2022. At the Public Hearing, concerns were noted from the neighbouring development to the east (Ora mixed use project) in relation to traffic impacts and concerns about the lane. The project was referred back to staff to address these matters with the developer and returned for a second Public Hearing. The applicant subsequently met with residents of the Ora development, and with City staff to review the issues and potential revisions in response.

A revised rezoning proposal was brought forward to the May 15, 2023 Public Hearing where the bylaw received 2nd and 3rd reading. This rezoning proposal made the following modifications to address traffic impacts and lane concerns raised at the previous Public Hearing that have been included and complied with as part of this Development Permit application:

- *Hotel Pick-up and Drop-Off* All hotel vehicle pick-up and drop-off functions were relocated on-site within the project parkade (level 1). No hotel vehicle pick-up or drop-off functions will occur in the lane. This was a significant change made from the original design in response to concerns.
- Lane Access As a result of concerns about impacts of traffic from the development proposal to the existing lane, the lane access to the proposed development's parkade will be restricted to hotel guests and on-site employees only (enter from the lane) and on-site employees (exit from the lane).
- *Main Site Access* The new west road vehicle access to the parkade will be the primary entrance/exit to the development and will accommodate a majority of the traffic for the development and minimize traffic impacts to the lane.
- *Vehicle Access Restrictions* Installations to facilitate vehicle access restrictions to the lane and ensuring that new west road vehicle access remains the primary vehicle access to the development have been incorporated (i.e., gate, security intercom/FOB access).
- Lane Width and Function Works to widen the lane by 3 m will accommodate 1.5 m of additional pavement widening to the existing lane and 1.5 m wide concrete transition area. This lane widening undertaken by the proposed development would result in a total 7.5 m wide drive-aisle plus 1.5 m wide concrete transition area that will be designed to enable access to the parkade and loading/service functions from the lane. Pedestrians can also utilize this transition area to facilitate safe movements through the lane as needed.

- These lane works will be completed through the City's Servicing Agreement process, which is a rezoning consideration for the subject development.
- On-site Loading On-site loading spaces are arranged to allow access from the lane to accommodate standard loading functions required for this development's non-residential and residential uses. In accordance with the rezoning, no on-site large loading space is provided as none of the proposed uses in the development would require service from these large trucks and the on-site loading facilitates (accommodating medium sized trucks) can adequately service the proposed development. A variance is included in this Development Permit application to not require a large size loading facility that is outlined in the Zoning Compliance/Variance section of the report below. This approach is supported by Transportation staff.

In addition to the above and in response to concerns about vehicles temporarily stopping in the lane and the resulting negative impacts to lane operations, regulatory revised "no stopping" signage was posted in the lane by the City at the time of the Public Hearing in May 2023, which would prohibit any vehicles from stopping or parking in the lane and require use of the on-site loading facilities in the Ora development.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "High-Density Mixed Use (ZMU52) – Oval Village (City Centre)" except for the zoning variances noted below.

Zoning Compliance/Variances (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

1) Reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development's podium (Levels 3 to 6) for components of the building and residential balcony units.

(Staff supports the proposed variance as the proposed setback reduction only applies to one small corner portion of the development's podium on levels 3 to 6 of the project. The proposed reduction in setback will have no impact to the pedestrian streetscape at-grade and does not result in any additional shadowing to adjacent areas. The proposed variance also enables the residential dwelling units at this corner portion of the podium adequate private outdoor space (i.e., balcony) and also maintains the project podiums' asymmetrical and angled design that is an element included in this development's design rationale.

2) Not require a large size on-site loading space in the proposed development.

(Staff supports the proposed variance as this matter was assessed through the processing of the rezoning application which confirmed that none of the proposed uses in the development would require service from larger trucks that would require a large size loading space. The current loading facilities accessed from the lane provide for medium size loading, which is adequate to service the development, has been reviewed and confirmed through the submitted Traffic Impact Assessment by the applicant's Transportation consultant and is supported by

Transportation staff. In addition, a rezoning consideration item secures a legal agreement that specifies a maximum truck size (i.e., medium sized truck SU-9 or equivalent) aligned with the on-site loading being provided in the project and prohibits large size vehicles (i.e., WB-17 or equivalent).

Advisory Design Panel Comments

The Advisory Design Panel was supportive of project to move forward subject to the proposal giving consideration to ADP comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes from December 6, 2023 is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in 'bold italics'.

Analysis

Conditions of Adjacency

- The proposal will have public roads along the north (River Road), south (Elmbridge Way) and west (new west road) frontages and an existing lane to the east.
- The design provides for a vibrant and pedestrian friendly streetscape along these public road
 frontages. At-grade commercial retail units (CRUs) wrap around the River Road, new west
 road and Elmbridge Way road frontages and provides for an activated streetscape on-site and
 provides continuity with adjacent at-grade retail developed on neighbouring developments to
 the east.
- Smaller open plaza spaces, situated between the frontage works (boulevards, sidewalks/multi-use pathways) and CRUs along the public roads provide additional opportunities for the development of a pedestrian friendly public realm.
- In response to elevation transitions, grade differences are addressed through the gradual sloping of the grade between the sidewalk and entrances to the CRU's and incorporating steps/risers were necessary along the north edge (River Road) of the development. Along the south edge (Elmbridge Way), the grade difference is managed through stairs and accessible ramps between the sidewalk and open spaces directly in front of the CRUs with landscape pockets incorporated into this area. This grade transition along Elmbridge Way generally aligns with the approach to managing a similar grade condition in the neighbouring development to the east.
- A lane exists between the subject site and neighbouring high-density mixed use development to the east (Ora development) that will be further widened by 3 m through this development. The new west road will be dedicated, designed and constructed through this project and will connect Elmbridge Way and River Road along the west edge of the site. The placement of the residential towers at the north west and south west portions of the site and hotel tower at the north east area responds to the surrounding adjacency conditions to minimize shadowing and to ensure compliance with minimum tower separation guidelines in the City Centre Area Plan (CCAP).
- Shadowing from the proposed development has been minimized to the public plaza area on the north side of River Road (Olympic Oval plaza area) by pushing the hotel tower location as far south as possible. Furthermore, residential tower locations have also been situated as far south as possible and separation between the residential towers has been reduced to allow the tower on the north west portion of the site to be pulled back from River Road while still complying with minimum tower separation distances. Upper levels of the residential tower

(north west tower levels 13 to 15) and hotel tower (north east tower levels 14 and 15) have been stepped back and terraced on the north side to reduce shadowing of surrounding areas.

Urban Design and Site Planning

- Residential lobby building entrances from the street are designed around open entrance plazas at the north west and south west portions of the development site. Entrances to the hotel lobby are situated at the north east portion of the site and the commercial/office lobby entrance is located at the south east corner. The overall placement and shaping of the development's podium creates plazas and open space at-grade adjacent to pedestrian entrances to the residential and/or hotel lobby and CRU's fronting the public roads around the project.
- The parkade for the development is located within the podium and consists of one level of parking below grade and five levels above grade. Access and egress to the development's parkade will be through the primary vehicle access from the new west road and restricted access from the lane as outlined previously in this report. Hotel pick-up and drop-off functions have been incorporated into the level 1 of the parkade with direct internal access from the pick-up/drop-off area being provided to the hotel lobby area.
- Indoor amenity space is provided on level 6 of the project podium. The indoor amenity area is required to be available for use by all residents and is 750 m² or 8,073 ft² in area and complies with City Centre Area Plan (CCAP) amenity space guidelines. Indoor amenity facilities will consist of a lounge, fitness centre and other resident recreation spaces (i.e., yoga, steam/sauna facilities). Access to the indoor amenity space is provided from the outdoor amenity area and the residential podium. It will be accessible to both market strata and residents of the LEMR units.
- Outdoor amenity space is provided on level 6 of the project podium and on level 9. On level 6, outdoor amenity space is provided in a consolidated courtyard area with a variety of features including seating and patio areas available to all residents, outdoor kitchen and dining areas and multi-purpose lawn/open space areas. An outdoor pool is also proposed as part of the outdoor amenity, which would be an amenity that would be available to residents and hotel guests. A small portion of the indoor amenity is also to be shared with the hotel. A legal agreement was secured through the rezoning to ensure the shared use of the outdoor pool amenity and small portion of the indoor amenity to enable access for all residents and hotel guests. On level 9, additional outdoor amenity space containing the children's play area is provided in courtyard area between the residential towers. The outdoor amenity areas on level 6 and 9 is required to be available for use by all residents and is 3,037 m² (32,690 ft²) in area, which exceeds with City Centre Area Plan (CCAP) amenity space guidelines. Outdoor amenity features include:
 - A children's play area with climbing structure and landscaping to enable outdoor play and activities.
 - Access to the outdoor amenity on level 6 is provided from the residential podium.
 Access to the outdoor amenity on level 9 is provide from the residential towers.
 - The outdoor amenity areas are designed to have good natural light/sun exposure. The placement of the amenity areas in and shape and orientation of the residential towers helps to maximize sun exposure and minimize excessive shadowing.
- Service functions for the proposed development located on the subject site containing the residential and commercial loading areas, hotel shuttle loading and garbage/recycling

collection areas are located on-site and accessed from the lane. Garbage/recycling rooms for the residential and non-residential areas are located on level 1 and sized to accommodate all the necessary bins and equipment.

Architectural Form and Character

- The architectural form of the project podium and the application of asymmetrical plaza spaces at-grade are a design response to other similar shaped and oriented public spaces in the surrounding area (i.e., Richmond Olympic Oval plaza area on the north side of River Road opposite of the subject site and linear park to the east between the Ora project and Hollybridge Way).
- Frontage width of CRU's along River Road and Elmbridge Way is broken up through the use of varied setbacks and triangular plaza areas that integrate well with pedestrian-oriented commercial activities (i.e., retail, restaurants and cafes).
- Horizontal frame elements on the project podium wrap around the perimeter of all four frontages and differentiate and help break up the massing between the podium and tower components of the project. These horizontal frames are generally limited to levels 3 to 6 of the podium and provide another architectural response to break up the vertical massing of the building form at the lower levels by providing a strong horizontal building element between levels 2 and 3.
- The boomerang/wave footprint shape of the three towers is a consistent design element in this project that enables minimal direct tower to tower overlook within the development site as well as to existing neighbouring developments. This tower form also provides for maximum natural light exposure for residential units in the tower and hotel rooms while also ensuring natural sunlight exposure to the indoor and outdoor amenity spaces on levels 6 and 9 of the project.
- Although the shape of the three towers are similar, the application of balconies and metal/aluminum frames to the residential towers compared to the application of a generally contiguous glass curtain wall cladding for the hotel tower provides for a distinct architectural expression between the residential and hotel towers.
- The development's contemporary design and architecture is reflected in the proposed cladding, building materials and glazing proposed in the project that will consist of glazed curtain wall systems, aluminum frame/screen assemblies around balconies, podium and building parapets and glass guardrails around balconies.

Landscape Design and Open Space Design

- On-site landscaping in the subject development is located at-grade and on levels 6 and 9 associated with the outdoor courtyard amenity areas. Other landscape planting areas are proposed on the rooftops of the hotel/commercial mid-rise tower and rooftop of the two residential towers.
- At-grade, landscape design looks to enhance the pedestrian vibrant streetscape and integrate with the boulevard and sidewalk/pathway works being implemented on the public road frontages of the subject site. Pockets of landscaping are incorporated into the public plaza areas and consist of low level groundcovers and shrubs. Where larger plazas are situated generally around the corners of the development site, additional landscape plantings have been incorporated to provide varied surface treatment in the plaza areas directly in front of the CRUs.

- Where there is a grade transition between the sidewalk and entrance to the CRUs or building entrance areas, landscaping has been implemented in the form of concrete planters and terraces to reduce the presence of stairs and accessible ramps adjacent to the public road.
- The outdoor courtyard located on level 6 provides a significant planted landscape environment that include multi-purpose open spaces with trees, landscaped terraces around the edges and landscape buffers and screens provided between residential dwelling units, communal outdoor areas and outdoor patios to be used for the hotel. Benching, furniture (fixed and stationary tables and chairs), pathways and patios also have been integrated into the programing of the outdoor space area as a high-quality amenity for residents and guests of the hotel.
- The outdoor courtyard on level 9 provides the outdoor amenity area containing areas and installations to facilitate children's play and activities.
- The proposed landscaping plant lists include the incorporation of native plantings for landscaping throughout the project. A total of 83 on-site trees will be planted as part of this development, which will consist of a mix of both deciduous and coniferous tree species.
 - O The proposed amount of trees to be planted (83) exceeds the Official Community Plan requirements of 2:1 tree replacement ratio (the rezoning identified the removal of 6 on-site trees requiring a minimum of 12 replacement trees at the OCP 2:1 replacement ratio).
- An on-site irrigation system will be provided for all planted and landscaped areas.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$1,506,747 as a Development Permit consideration (Attachment 4).

Crime Prevention Through Environmental Design

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the design development of the subject project.
- Building entrances to the hotel, CRUs and residential lobby areas have clear and visible sight lines from the adjacent public sidewalks and roadways.
- Clear sight lines is provided along the existing lane with limited recesses located along the building edge adjacent to the lane.
- Active and passive surveillance is provided from the development to the public areas along the road and lane frontages and amenity areas located on level 6 and 9 of the project.

Accessible Housing and Unit Composition

- The proposed development includes 38 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - o stairwell hand rails;
 - o lever-type handles for plumbing fixtures and door handles; and
 - o solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

- The residential unit mix is as follows:
 - Market residential units 341 total units consisting of 13 studios; 165 one bedroom (includes those with den); 135 two bedroom (includes those with den); 26 three bedroom (includes those with den) units.
 - Unit mix complies with the 40% family friendly unit target identified in the Official Community Plan (OCP).
 - Affordable LEMR Units 35 total units consisting of 3 studios; 10 one bedroom; 11 two bedroom; 11 three bedroom units.
 - Unit mix complies with the Affordable Housing Strategy targets for unit mix composition.

Public Art

- This development will install public art and the developer has been working with an
 independent public art consultant to prepare a Public Art Plan. Through the rezoning, a legal
 agreement will be registered on title to secure the implementation of a Public Art Plan and a
 financial security provided in accordance with the public art rezoning consideration item for
 this project.
- For public art contributions with a cumulative budget over \$250,000, the Public Art Plan is presented for Council approval prior to Building Permit issuance. The contribution amount is anticipated to be \$330,781, therefore, the Public Art Plan for this project will be brought forward for Council approval prior to issuance of the Building Permit.

Sustainability

- The proposed development will be connected to the City Centre District Energy Utility (DEU) for space and domestic hot water heating services. For cooling, an on-site low carbon energy plant will be required to be designed and constructed at the applicant's sole cost and transfer it to the City. Legal agreements for the connection to the City's DEU system and development of on-site low carbon energy system were secured through the rezoning.
- Based on the above provisions for connection to a City DEU system and provisions of an onsite low carbon energy system, the subject development will be subject to BC Energy Step Code – Step 2. The developer has confirmed that the project has been designed and modelled to comply with Step 2 performance targets.

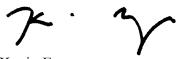
Transportation

- Parking standards for the project are in compliance with Zoning Bylaw 8500 as they were secured through the associated rezoning (currently at third reading) prior to the introduction of the Provincial Bill 44 (limited residential parking requirements).
- The parkade is located within the project podium and contains a total of 675 parking spaces of which:
 - o 350 parking stalls are for residential uses.
 - o 273 parking stalls are for non-residential uses.
 - 52 stalls allocated to Richmond Olympic Oval use during special events (when not reserved by the oval, these stalls can be used by the public). This was secured by legal agreement at rezoning.

- Through the rezoning, a package of Transportation Demand Management Measures were secured that have been incorporated into this Development Permit application submission, including:
 - Transit pass program available for the residential and non-residential uses in the development.
 - o Additional on-site bicycle amenities and facilities:
 - o Dedicated car-pool parking spaces (5 stalls)
 - o Car share program and dedicated parking stalls for two car share vehicles
 - Electric Vehicle charging infrastructure (outlets to support level 2 EV charging infrastructure for a minimum of 10% of the non-residential parking stalls.
 - o Interim off-site walkway connection along River Road that will be designed and constructed through the Servicing Agreement for this project.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

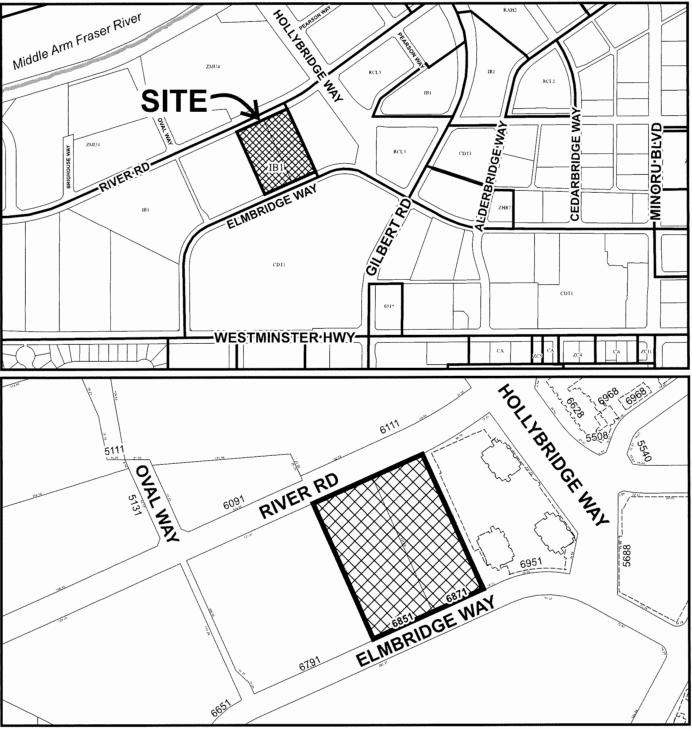


Kevin Eng Planner 3

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- Att. 1 Location Map
- Att. 2 Development Application Data Sheet
- Att. 3 Advisory Design Panel Excerpt of December 6, 2023 Meeting Minutes
- Att. 4 Development Permit Considerations







DP 21-945917

Original Date: 01/26/21

Revision Date: 04/17/24

Note: Dimensions are in METRES



Floor Area Gross: 72,561 m²

Development Application Data Sheet

Floor Area Net: 42,225 m²

Development Applications Department

DP 21-945917	Attachment 2
Address: 6851 and 6871 Elmbridge Way	
Applicant: Arno Matis Architecture	Owner: Landa Oval Holdings Ltd.
Planning Area(s): City Centre Area Plan – Oval Village	

	Existing	Proposed
Site Area:	13,913 m²	13,832 m²
Land Uses:	Light industrial business park uses	Residential (apartment housing) Hotel and supporting commercial services At-grade commercial Office
OCP Designation:	Mixed use	Mixed use – no change
City Centre Area Plan (CCAP) Designation	Urban Centre T5	No change – complies with OCP
Zoning:	Industrial Business Park (IB1)	High Density Mixed Use (ZMU52) – Oval Village (City Centre)
Number of Units:	N/A	 376 residential dwelling units 35 affordable LEMR units 341 strata residential units

	ZMU 52 Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 3.1 FAR including: - Base (including AH): 2.0 FAR - Village Centre Bonus: 1.0 FAR (non-residential use only) - 0.1 FAR – indoor amenity space only	Max 3.1 FAR including: - Base (including AH): 2.0 FAR - Village Centre Bonus: 1.0 FAR (non-residential use only) - 0.05 FAR – indoor amenity space only	none permitted
Lot Coverage:	Max. 90% for buildings and landscaped roofs over parking spaces	Max. 90% for buildings and landscaped roofs over parking spaces	none

	ZMU 52 Bylaw Requirement	Proposed	Variance
Setbacks (m)	Road: 3.0 m (9.84 ft.) Lane: 0.0 m (0.0 ft.)	Road: - River Road: 3.0 m (9.84 ft.) - New West Road: 3.0 m (9.84 ft.) - Elmbridge Way: 3.0 m (9.84 ft.) - Lane: 3.0 m (9.84 ft.)	Reduce River Road setback to 0.25 m to permit a minor encroachment for components of the building and balconies on levels 3 to 6
Height (m):	47 m (154 ft.) GSC	47 m (154 ft.) GSC	none
Lot Size:	Min. 10,000 m ²	13,832 m²	none
Parking	Min. 675 stall - Residential (AH and Mkt): 350 - Shared pool (commercial/hotel, residential visitor): 273 - Oval: 52	Min. 675 stall - Residential (AH and Mkt): 350 - Shared pool (commercial/hotel, residential visitor): 273 - Oval: 52	none
Bicycle Parking	Class 1 – 512 spaces Class 2 – 121 spaces	Class 1 – 644 spaces Class 2 – 138 spaces	none
Loading	Medium Size – 4 spaces Large Size – 1 space	Medium Size – 4 spaces	No large size loading space
Amenity Space – Indoor:	750 m ²	750 m ²	n/a
Amenity Space – Outdoor:	2,256 m ²	3,037 m ²	n/a



04.24.2024

ADVISORY DESIGN PANEL COMMENTS:

<u>December 6, 2023 Excerpt of Meeting Minutes</u>
<u>DP 21-945917 – HIGH-RISE MIXED-USE PROJECT (356 DWELLING UNITS AND HOTEL)</u>
<u>ARCHITECT: Arno Motis Architecture Inc./Arcadis</u>
<u>LANDSCAPE ARCHITECT: PFS Studio</u>

PROPERTY LOCATION: 6851 and 6871 Elmbridge Way

Applicant's Presentation

Arno Matis, Arno Matis Architecture, and Londscope Architect Jeffrey Staates, PFS Studio, presented the project and together with Beth Deckert, Arcadis, answered queries from the Ponel.

Panel Discussion

Comments from Ponel members were as follows:

- Appreciate that the proposed 38 Bosic Universal Housing (BUH) units have varying numbers of bedrooms as it
 presents multiple opportunities for persons/fomily members with disabilities to live in the proposed development;
 APPLICANT RESPONSE: Noted with thanks.
- Also oppreciate that the proposed hotel will provide not only occessible rooms for people with mobility issues but
 also rooms that ore designed to accommodate people with hearing impairment; APPLICANT RESPONSE: Noted with
 thanks.
- Consider installing appropriate safety mirrors around the corners of the parkode ramp to enhance the sofety of
 cyclists accessing/exiting the parkade; RESPONSE FROM ARCHITECT: Project will install appropriate safety mirrors
 around the corners at the parkade ramp.
- Consider appropriate surface treatment for the elevotor flooring and walls to facilitate cleoning and mointenance for areas that are used to transport bicycles within the building; RESPONSE FROM ARCHITECT: Project will use appropriate surface treatment for elevator flooring/walls to facilitate cleaning and maintenance.
- The proposed development works very well; APPLICANT RESPONSE: Noted with thanks.
- Appreciate that a lot of thought and creative ideas have been put into the design of the proposed towers; the
 different design of the towers compared to other new developments in the nearby area is appreciated; APPLICANT
 RESPONSE: Noted with thanks.
- Overall, the proposed project is well presented; APPLICANT RESPONSE: Noted with thanks.
- Consider looking at how to reduce the retaining wall along the New West Road frontage at the transition slope to
 help soften the transition from the street; also consider further orchitectural articulation along the New West Road
 façade particularly above the vehicle access to improve the pedestrian experience; RESPONSE FROM LANDSCAPE
 ARCHITECT: The planters along New West Road have been terraced with the front planter along the sidewalk
 limited to max. 24" high.
- The north side ploza works well; however, the proposed stairs on the south plaza are long; look at the neighbouring
 Ora development on their approach to grade transition and investigate opportunities to reduce the scale of the stairs
 and incorporate additional landscaping to help soften the Elmbridge Way frontage; RESPONSE FROM LANDSCAPE
 ARCHITECT: The stairs along Elmbridge Way have been reduced in scale by doubling planted segments. Additional
 planting has been incorporated to soften the grading. Please refer to drawing L2.01 Ground Level Landscape Plan.
- Consider moving the location of the accessible ramp at the southeast corner onto the laneway to soften the grade transition from Elmbridge Way; RESPONSE FROM LANDSCAPE ARCHITECT: The accessible ramp has been relocated



to the laneway with the entry point facing the Elmbridge Way. Please refer to drawing £2.01 Ground Level Landscape Plan.

- CRUs along the New West Road appear to be narrow, particularly those near the corner plaza; look at their
 relationship to the corner plaza space in terms of size to ensure their viability as CRUs; RESPONSE FROM
 ARCHITECT: CRU depths along New West Road are 30 ft. Note that previous iterations did not include CRU on the
 New West Road. This has been added to animate the public realm.
- Ensure adequate weather protection along the south side of the building to provide opportunities for installing outdoor cafés; also investigate opportunities for additional planting along the south edge to create more intimate patio spaces adjacent to the CRUs; RESPONSE FROM LANDSCAPE ARCHITECT: Additional planting has been added to provide a soften CRU frontage and intimate patio spaces along Elmbridge way. Please refer to drawing L2.01 Ground Level Landscape Plan. Please note that overhangs are provided on all three street frontages to provide weather protection. Average overhang depths River Road = 6.6' New West St = 4' Elmbridge Way = 11.5'. Frames act as overhangs on all three street frontages as a stark design choice, providing ample rain protection. These frames are shown as dotted lines on architectural drawing A.201.
- Look at opportunities to plant more trees along the New West Road right-of-way; RESPONSE FROM LANDSCAPE ARCHITECT: Given the site's horizontal and vertical constraints, it's tricky to accommodate additional trees within the private property. The narrow planters between the city sidewalk and CRU patios are designed as terraces to soften the grading transition. High planters will be required for tree planting, which is not desired for pedestrians. Instead, we propose to extend landscape bulges with four additional street trees along the New West Road right-of-way with the understanding that this proposal will be subject to review and approval of the Servicing Agreement. Please refer to drawings L2.01 Ground Level Landscape Plan and L4.01 Ground Level Planting Plan.
- The design of the massing shades the central courtyard on Level 6 for some parts of the day; investigate
 opportunities to maximize sunlight exposure into the area, particularly at the outdoor swimming pool area;
 RESPONSE FROM ARCHITECT: Pool has been located on the southern end of the building, away from the 3 towers
 to maximize sunlight. The sun receives full sun from 9am-3pm during the summer (and partial sun thereafter).
 Further, boomerang massing curves to minimize shadowing on podium.
- Understond that security issues regarding access to and contral of some areas in the courtyard including the swimming pool by various users in the development will be resolved as the project moves forward; RESPONSE FROM LANDSCAPE ARCHITECT: Noted. Security issues and access control measures will be further studied and resolved as the project moves forward.
- Stepping stones are proposed for crossing the dry creek feature/pathway on the Level 6 central courtyard; ensure
 there are clear accessible routes for crossing the linear dry creek feature/pathway; RESPONSE FROM LANDSCAPE
 ARCHITECT: Stepping stones will be replaced with concrete bridges with integrated toe rail/curb to ensure clear
 accessible routes for crossing the dry creek feature. Please refer to drawing L2.02 Level 6 Landscape Plan.
- Look at how some of the central units within the interior corners of the residential buildings with small windows at
 the end relate to fire compartmentalization and separation; RESPONSE FROM ARCHITECT: Fire
 compartmentalization and separation will follow code requirements, unit adjustments to be resolved at the
 Building Permit stage.
- Appreciate the presentation package provided by the applicant especially its portrait format; APPLICANT RESPONSE:
 Noted with thanks.
- Appreciate the design team for bringing the river character into the design of the project; APPLICANT RESPONSE:
 Noted with thanks.
- Consider fine tuning the pockets of green spaces along River Road, Elmbridge Way and the New West Road including
 introducing permeability along these three sides; RESPONSE FROM LANDSCAPE ARCHITECT: Noted. Additional
 plantings have been added along Elmbridge Way CRU frontage and at the southwest corner plaza. The pockets of



green spaces will be refined further as the project moves forward to ensure the permeability from the sidewalk to the CRUs and residential entrances while optimizing plantings.

- Agree with the Panel comment that the grading treatment along Elmbridge Way looks busy: review the location of
 the stairs and introduce additional landscaping to improve the grading treatment; and RESPONSE FROM
 LANDSCAPE ARCHITECT: The stairs along Elmbridge Way have been reduced in scale by doubling planted
 segments. Additional planting have been incorporated to soften the grading. Please refer to drawing L2.01
 Ground Level Landscape Plan.
- Support the Panel comment regarding using structural soil to increase the soil volume for planting on the ground level. RESPONSE FROM LANDSCAPE ARCHITECT: Structural soil has been extended under the boulevard, bike path and sidewalk along River Road and under sidewalk along Elmbridge Way. Please refer to drawing L4.01 Ground Level Planting Plan for structural soil extent and proposed soil volume for street trees.

The following written comments submitted by Panel member Nicci Theroux were reod into the record by the Chair:

- Appreciate the detail included in the presentation package; consider including north arrow on the landscope drawings; RESPONSE FROM LANDSCAPE ARCHITECT: Noted. North arrow has been placed on the landscape drawings.
- Support the vibrant connection of the street level with CRUs; RESPONSE FROM ARCHITECT: CRU spaces are required
 to be above the flood plane. A continuous plaza surrounding the project on all three sides provides a vibrant
 connection to the street.
- Soil volume appears inadequate on Level 6; RESPONSE FROM LANDSCAPE ARCHITECT: Proposed planters on Level 6 will ensure min. 450mm depth for shrub planting with the soil mound up to achieve min. 900mm of soil depth for trees. A minimum of 6 cubic meters of soil has been provided for each tree on level 6, but opportunities to increase soil provisions will be pursued. Please refer to drawing L4.02 for the proposed soil volume.
- Consider structural soil or soil cells under the sidewalk along River Road as the soil volume appears inadequate;
 RESPONSE FROM LANDSCAPE ARCHITECT: Structural soil has been extended under the boulevard, bike path and sidewalk along River Road. Please refer to drawing L4.01 Ground Level Planting Plan for structural soil extent and proposed soil volume for street trees.
- Planters ot Elmbridge Way and New West Road appear to be too small for trees indicated; consider aiming for a
 minimum of 6 cubic metres of soil volume even for smaller trees; and RESPONSE FROM LANDSCAPE ARCHITECT: A
 minimum of 6 cubic meters of soil has been provided for each on-site tree in planter at Elmbridge Way and New
 West Road. Please refer to drawing L4.01 Ground Level Planting Plan for the proposed soil volume for trees.
- The tree trench at Elmbridge Way appears narrow; consider structural soil or soil cells under the sidewolk_RESPONSE
 FROM LANDSCAPE ARCHITECT: Structural soil has been extended under sidewalk along Elmbridge Way. Please refer to drawing L4.01 Ground Level Planting Plan for structural soil extent and proposed soil volume for street trees.

Panel decision:

It was moved and seconded

That DP 21-945917 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel. CARRIED



Development Permit Considerations

Development Applications Department 6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 6851 and 6871 Elmbridge Way

File No.: <u>DP 21-945917</u>

Prior to Development Permit issuance, the following are to be met prior to forwarding this application to Council for approval:

1. Enter into a security agreement and receipt of a Letter-of-Credit for landscaping in the amount of \$1,506,747.00

Prior to Building Permit Issuance, the developer must complete the following requirements:

- 1. As part of the existing Servicing Agreement application (SA 23-035702), design approval and construction and installation of the new sanitary sewers and forcemain in Elmbridge Way and the removal of the existing sanitary system along the south property line of the proposed site is required to be undertaken in coordination with and ahead of the other Servicing Agreement works and to discharge the existing rights of ways along the south property line to the satisfaction of the City. This is required prior to issuance of any demolition permits for the existing buildings on the proposed site and/or prior to issuance of any building permits to ensure that the new sanitary sewers and forcemains in Elmbridge Way are installed and operational and the existing sanitary system are removed and the existing rights of ways are discharged at the south property line of the proposed site before the start of any site preparation works or release of future building permits.
- 2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- 3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- 4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as
 personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
 - All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
 - The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or
 Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be
 required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering,
 drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may
 result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

	-	Signed Copy on File -		
Signed			 Date	



Development Permit

No. DP 21-945917

To the Holder:

Arno Matis Architecture

Property Address:

6851 and 6871 Elmbridge Way

Address:

1540 West 2nd Ave

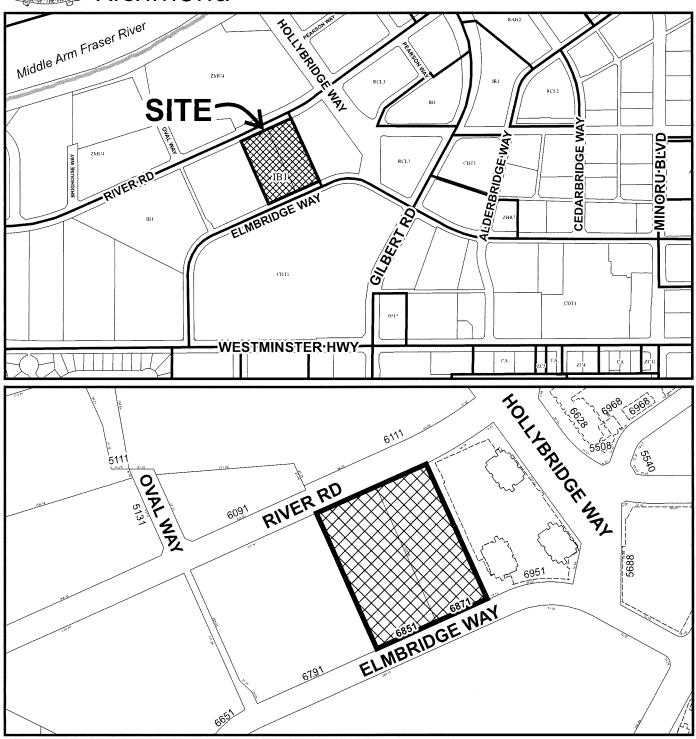
Vancouver, BC V6J 1H2

- 1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
- 2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
- 3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development's podium (Levels 3 to 6) for components of the building and residential balcony units.
 - b) Not require a large size on-site loading space in the proposed development.
- 4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #51 attached hereto.
- 5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
- 6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,506,747.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
- 7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit No. DP 21-945917

10	the Holder:	Arno Matis Architecture
Pr	operty Address:	6851 and 6871 Elmbridge Way
Ad	ldress:	1540 West 2nd Ave Vancouver, BC V6J 1H2
8.		a shall be developed generally in accordance with the terms and sof this Permit and any plans and specifications attached to this a part hereof.
	This Permit is not a Build	ling Permit.
	UTHORIZING RESOLUT AY OF ,	ION NO. ISSUED BY THE COUNCIL THE
DI	ELIVERED THIS	DAY OF , .
M.	AYOR	







DP 21-945917 SCHEDULE "A"

Original Date: 01/26/21

Revision Date: 04/17/24

Note: Dimensions are in METRES

6851-6871 Elmbridge Way, Richmond, BC, CANADA MIXED USE HOTEL / RESIDENTIAL / COMMERCIAL/ OFFICE **DEVELOPMENT PERMIT**



PROJECT DRAWING LIST - DEVELOPMENT PERMIT

	SHEETS - DP	SHEETS - DP				
SHEET#	SHEET NAME	SHEET#	SHEET NAME			
AO	COVER SHEET DP	A205	LEVEL 5 PARKING			
A000	LEVEL B1 AREA OVERLAY	A206	LEVEL 6 FLOOR PLAN			
A001	LEVEL L1 AREA OVERLAY	A207	LEVEL 7 FLOOR PLAN			
A002	LEVEL L2 AREA OVERLAY	A208	LEVEL 8 FLOOR PLAN			
A003	LEVEL L3 AREA OVERLAY	A209	LEVEL 9 FLOOR PLAN			
A004	LEVEL L4 AREA OVERLAY	A210	LEVEL 10 FLOOR PLAN			
A005	LEVEL L5 AREA OVERLAY	A211	LEVEL 11 FLOOR PLAN			
A006	LEVEL L6 AREA OVERLAY	A212	LEVEL 12 FLOOR PLAN			
A007	LEVEL L7 AREA OVERLAY	A213	LEVEL 13 FLOOR PLAN			
800A	LEVEL L8 AREA OVERLAY	A214	LEVEL 14 FLOOR PLAN			
A009	LEVEL L9 AREA OVERLAY	A215	LEVEL 15 FLOOR PLAN			
A010	LEVEL L10 AREA OVERLAY	A216	LEVEL 16 ROOF PLAN			
A011	LEVEL L11 AREA OVERLAY	A217	PARAPET FLOOR PLAN			
A012	LEVEL L12 AREA OVERLAY	A301	BUILDING SECTION A-A			
A013	LEVEL L13 AREA OVERLAY	A302	BUILDING SECTION B-B			
A014	LEVEL L14 AREA OVERLAY	A303	BUILDING SECTION C-C			
A015	LEVEL L15 AREA OVERLAY	A304	BUILDING SECTION D-D			
A016	ROOF AREA OVERLAY	A401	BUILDING ELEVATION -			
A102a	SITE DATA / REQ.		WEST			
A102b	STATISTICS	A402	BUILDING ELEVATION -			
A102c	UNIT & PARKING MIX		EAST			
A102d	DEVELOPMENT APPLICATION DATA	A403	BUILDING ELEVATION - NORTH			
	SHEETS	A404	BUILDING ELEVATION -			
A103	SURVEY PLAN	1004	SOUTH			
A104	BUILDING GRADE	A801	WALL SECTION			
A105	EXISTING STREETSCAPES	A802	WALL SECTION			
A106	CONTEXT PLAN	A803	WALL SECTION			
A107	CONTEXT ELEVATIONS	A804	WALL SECTION			
A108a	SHADOW STUDY	A805	WALL SECTION			
A108b	SHADOW STUDY	A806	WALL SECTION			
A109	SETBACK PLAN	A807	WALL SECTION			
A110	SITE PLAN	A808	WALL SECTION			
A111a	RENDERING	A809	WALL SECTION			
A111b	RENDERING	A810	WALL SECTION			
A111c	RENDERINNG	A811	WALL SECTION			
A111d	RENDERING	A812	WALL SECTION			
A200	LEVEL B1 PARKING	A813	WALL SECTION			
A201	LEVEL 1 PARKING	TOTAL: 74				
A202	LEVEL 2 PARKING					

M204-1540 W 2NO AVE, VANCOUVER, BC V6J 1H2 T. 604.708.0188

Landa Global Properties

DP 21-945917 April 25, 2024 Plan #

IBI Suite 700 1285 West Pender Street Vancouver BC V6E 4B1 Tel. (604) 683-8797

MECHANICAL Integral #180 - 200 Granville Street Vancouver, B.C. V6C 1S4 Tel: (604) 687 1800

CIVIL
Aplin & Martin
Consultants
#1818 - 1177 West
Hastings Street
Vancouver, BC V6E 2K3
Tel: (604) 678 4496

GEOTECHNICAL Horizon Engineering #220 - 18 Gostick Place North Vancouver, BC V7M 3G3 Tel: (604) 990 0546

SURVEYOR Matson Peck & Topliss #320 - 11120 Horseshoe Way Richmond, BC V7A 5H7 Tel: (604) 270 9331

ARBORIST
Radix Tree and
Landscape Consulting Inc
#264, 718-333
Brooksbank Ave, North
Vancouver V7J 3V8
Tel: (604) 770 1755

BUILDING ENVELOPE BC Building Science 611 Bent Court New Westminster, BC V3M 1V3 Tel: (604) 520 6456

LEVEL 3 PARKING

CODE CONSULTANT Camphora Engineering 2479 Kingsway Vancouver, BC V5R 5G8 Tel: (604) 800 9822 TRAFFIC CONSULTANT Bunt & Associates Engineering Ltd. #1550 - 1050 West Pender Street Vancouver, BC V6E 3S7 Tel: (604) 685 6427

ARCADIS Elmbridge Way

A0

ARCHITECT (Design) Arno Matis Architecture

| INTERIOR DESIGNER | Studio Munge | PFS Studio | 1777 West 3rd Avenue | 1777 Cest | 1604 | 736 5168 | 1786 | 1787 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888 | 1888

Holistic Engineering Ltd. #215- 7131 17th Ave Burnaby, BC V3N 1K8 Tel: (604) 360 5221

ELECTRICAL Nemetz (S/A) & Associates Ltd 2009 W 4th Avenue Vancouver, BC V6J 1N3 Tel: (604) 736 6562

SITE DATA

CIVIC ADDRESS: 6851 + 6871 Elmbridge Way, Richmond BC

LOT 125 SEC 6 BLK 4N RG 6W PL NWP65093 Lot 125, Block 4N, Plan NWP65093, Section 6, Range 6W, New Westminster Land District

LOT 126 SEC 6 BLK 4N RG 6W PL NWP65093 Lot 126, Block 4N, Plan NWP65093, Section 6, Range 6W. New Westminster I and District

SITE AREA:

LOT/SITE
LOT 125
LOT 126
SITE AREA (GROSS) :
SITE AREA (FSR) : After Dedication Areas SQ.FT 80552 69203 149.755 148,887

FAR:

EXISTING ZONING: IB1
PROPOSED ZONING: RCL3

PROPOSED USES: Mixed Use: Residential / Affordable Housing / Hotel / CRU/ Office

PROPOSED REQUIREMENTS

BUILDING HEIGHT:
NUMBER OF STORIES: 15
NUMBER OF STORIES: 15
PERMITTEDMAX HEIGHT: 47.00m / 154.20
PROPOSED HEIGHT: 47.00m / 154.20
Building Height: 7.0.HOTEL Elevetur Overruns

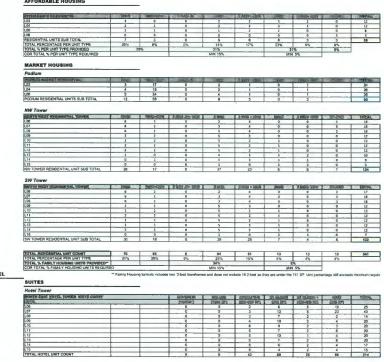
STREET NAME PROPOSED RIVER ROAD ELMBRIDGE WAY LANE

STREET NAME 2.5m From PL 2m from De 3.5m From PL RIVER ROAD ELMBRIDGE WAY NEW WEST STREET

DEDICATIONS:

LANE STREET NAME REQ. PROPOSED RIVER ROAD .5m From PL ELMBRIDGE WAY NEW WEST STREET LANE 18m From PL 18m From PL NW CORNER 4m x 4m From SRW NE CORNER 3m x 3m From SRW 3m x 3m From SRW SE CORNER 3m x 3m From SRW 3m x 3m From SRW

RESIDENTIAL UNIT MIX & HOTEL SUITE MIX



VEHICLE PARKING & LOADING

Proposed Parking								Prop	used Break o	lown	Total Proposed	Total Required	
	47	u	12	U)	1,4	LS	Total	Regular	Small	HC			1
Residential	0	0	0	68	157	136	361	178	169	7	354	828	1
Residential attordable	0	0		28	0	0	26	14	14	0	28	22	1
Rest visitor	0	0	24	37	0	0	61	30	31	0	6)	61	* Shazed with EBU
CRU-Hotel	0	67	0	0	0	0 .	67	28	34	3	67	67	"Designated for hotel guests
DRU	0	40		0	0	0	128	65	63	2	128	134	"Shared with Oval & Notel Amon
Olympic Ovel parking	51	. 1	0	0	0	0	52	22	90	g	32	53	"Shared with CRV & Hetsi Amen
	-	304	19		287	106	380	000	1986	20.00	690	664	1
St Park			* .	1 1		. 6		49.66	ANALYS.	246			1
Care chare	0	2		. 0	0	0	2	0	0	- 2	2	2	1
Carpeel	0	5	0	0	0	0	- 5	3	0	2	5	5	1
Leading (small size)*							9				6	1	1
Lording (medium size)		2					- 5				5	- 1	1
Loading (farge size)		1					1				1	1	1
Total Including Leading											709	602	1

BIKE PARKING

					Requ	ired Bike(ba	sed on TDM)								
		units/Area	Class 1	Class 2	Class 3 TOM	Class 2		Class 1 Provide	н	Total Class I Provided	Class 2	Class 1	Class 2	Dass 1 w/	Class 2 w/
		unicyarea	CHOST	CHIST &	Incr.	TDM Incr.	Morisontal	Vertical	Stacked	TOTAL CLIES I PROVIDED	Provided	Required	Required	TOM Req	TDM Req
	Residential	376	1.25	0.20	1-25	1.05	216	180	192	588	74	470	76	588	80
Phase I	Commercial	2,319 00	0.17pm(00m)	0 fper 100 m²	1.25	1 05	6	5	0	11	26	7	9	9	9
PRESE I	Hotel	12,125 00	0.27pre130ml	0.78per300m*	1.25	1.05	-17	13	12	42	36	33	33	41	35
	Office	233 00	0.27pm100m²	6 Aper 100m²	1 25	1.05	2	1	0	3	10	2	3	3	3
Zukuš					1	4	341	199	204	865	960	527	3.22	.000	128

TABLES FROM TDM REPORT (FOR REFERENCE)

1550 - 200 BURRARD ST. VANCOUVER, BC. V6C 3L6

Landa Global Properties Ltd.

M

ARNO MATIS ARCHITECTURE

Table 4.4: Total Vehicle Parking (After TDM and Shared Parking)

LAND USE	RESERVED	SHARED	TOTAL
Residential - Market	410		410
Residential - Affordable	28		28
Residential Visitor, Hotel Rooms, Amenity, Retall, Office		390	390
Sub-Total	438	390	828
20% TOM Reduction	-88	-78	-166
Reduction from Shared Parking		-40	-40
Olympic Oval Parking		+52	+52
TOTAL	350	325	675

LAND USE		DAIL	Y VEHICLE O	CHAME		SMALL LOADING DEMAND PER HOUR	MEDIUM LOADING DEMAND PER HOUR	
_		LSU	M/HSU	WB	TOTAL	2	SHARED LSU, M/HSU, WE	
Residential	12	3	4	0	19	2		
Hotel	8	4	4	-0	16	2	1	
Retail	5	2	1	0	8	2	1	
Office	1	0	1	0	2	1	1	
Total	26	9	9	0	45	7	4	
		SHARI	D USE				3	

As can be seen above, using the shared use calculator and Loading Management Plan in place, the peak loading demand at any one time would be 4 small and 3 medium vehicles. Therefore, the provision of 6 small and 4 medium loading bays would be sufficient to accommodate the anticipated peak loading demand of the complete site.

Table 4.5: Bicycle Requirem

LAND USE	DENSITY	REQUIR	CLASS I		
LAND USE	DEMSIT	CLASS I LONG TERM	CEASS 2 SHORT TERM	CLASS I	CLASS 2
Residential	376 units	1.25 spaces per dwelling unit	0 2 spaces per dwelling unit	470	76
Hotel	12,125 m'	0.27 spaces per 100m2 of GLA greater than 100m2	0.27 spaces per 100m2 of GLA greater than 100m2	33	33
Retail	2,339 m²	0.27 spaces per 100m2 of GLA greater than 100m2	0.4 spaces per 100m2 of GLA greater than 100m2	7	9
Office	834 mr	0.27 spaces per 100m2 of GLA greater than 100m2	0.4 spaces per 100m2 of GLA greater than 100m2	2	3
		SUB TOTAL		512	121
	Additiona	al for TDM 25% Class 1, 5% Cla	155 Z	128	7
		OVERALL		640	128

DP 21-945917 April 25, 2024 Plan #Z



ARCADIS

Elmbridge Way 6851-6871 Elmbridge Way Richmond, BC

Author Checker

PROJECT MGR: APPROVED BY
Designer Approver SITE DATA / REQ.



A102a

		AREA SUMMARY	COMMUNICALLY OFFICE			FSR AREA					PICI	JSIDN		Gross Clons
COMMERCIAL AREA TOTAL	COMMERCIAL EXCLUSION TOTAL			A 8 CRU Saleable/Learable Area	C Chrosistien/Service	D Elevator core and Stale	E Stair	F(S+C+O+E) Net FSR	R/(F+G) Efficiency	G Elevator shafts and Stair	H Wall	f Mechanical Shafts	P(G+H+) Total Deductions	Gross Floor M(F+P) Gross Buildable
Lend Sep.	Lored Assa	COMMERCIAL/ RETAIL	LEVEL 1	1 5.185 (500) 2 2.116 (197)	- (0) - (0)	- (0) - (0)	(O)	5,385 (500) 2,216 (197)	100%	- (0) - (0)	0 (0)	0 (0)	- (0) - (0)	Gross Buildable \$,385 (\$00) 2,116 (197)
LEVEL OF TOWNS OF THE SECOND CASE OF THE SECOND CAS		FSR: 0.10	LEVEL 1	3 2,978 (277) 4 2,688 (250)	- (0) - (0)	(0)	(Ö) (D)	2,978 (277) 2,688 (250)	100%	· (0) · (0)	0 (0)	0 (0)	· (0) · (0)	2.978 (277) 2.688 (250)
HOTEL AREA TOTAL	HOTEL EXCLUSION TOTAL	FSR AREA: 15,536 SF (1,444 m2)	LEVEL 1 LEVEL 1 TOTAL	5 973 (86) 6 1,448 (135) 15,538 (1,444)	- (0) - (0)	- (0)	(0)	923 [86) 1,448 [135]	100%	· (0)	0 (0)	0 (0)	(0) - (0)	923 (86) 1,448 (135)
Lord Area LEVEL D1 751, 15	LEVEL 1 235 PF	EXCLUSION: 0 SF (0m2)	PER	15,538 (1,684)		- (0)	- (0)	15,530 (1,440) 0.10	1.00	- (0)	- (0)	- (W	- (0)	15,588 [(1,444)
151 Ft 05 (24 (5 + 27)	1876 1 176 7 1876 1 176 7 1876 1 176 7	GFA: 15,538 SF (1,444 m2)												
(B.E. N 1997 (B.E. N 1722 F	EVE 5 1.4 F		FSR AREA					F(B+C+D+E)	B/(F+G)		EXCL	JSION	P(G+H+h)	Gress Roor M(F+P)
(5) 6) 65-1 15 (5) 6) 6-1 15	TEAST A CONTE	HOTEL_	Şi	DITES Saleable/Leasable Area	Orculation/Service	Elevator core and Stair	Scale	Net FSR	Efficiency	Elevator shafts and Stair	Wall	Mechanical Shafts	Total Deductions	Great Eulidable
(EVEL 12 PARTY (EVEL 12 PARTY	ENERT NO F	FSR: 0.84	LEVEL 1 LEVEL 2	- 5,719 (531)	\$19 (76) 502 (47)	440 (41)	534 (50) 189 (18)	7,512 (698) 691 (64)	76% PK	· (0) 835 (78)	0 (0)	233 (22) 231 (21)	233 (22) 1.066 (99)	7,745 (720) 1,757 (163)
ERELIA MEST	TEAST, 19 100 th TEAST 19 100 th	FSR AREA: 123,350 SF (11,460 mZ)	LEVEL 4	- 5,911 (549) - 1,638 (152)	- (0) - (0)	- [8]	- (0) (0)	5,911 (549) 1,638 (152)	85%	1,015 (94) 1,015 (94)	Q (Q) Q (Q)	226 (21) 149 (14)	1,241 (115) 1,164 (108) 1,746 (116)	7.152 (664)
folk Unter	T.Ta. Hadrid	EXCLUSION: 14,968 SF (1,391 m2)	LEVEL 5 LEVEL 6	1,433 (133) 25 13H1 3ACC 10,580 (983)	(0) 2.652 (246)	· (D)	· (0)	1,433 (133) 13,232 (1,229)	59% 74%	1,016 (94)	0 (0)	230 (21)	1 145 (LOS)	2,802 (260) 2,679 (249) 24,377 (1,336)
COMMERCIAL/RETAIL/HOTEL TOTAL	COMMERCIALI RETAIL/HOTEL ENCLUMENTOTAL	GFA: 138,318 SF (12,850 m2)	LEVEL 7 LEVEL N	43 3ACC 18,472 (1,716) 14 5.661 (526)	3,110 (289) 1,301 (121)	- [0] - [DI	- (0)	21,582 (2,005) 6,964 (647)	82% 70%	1,018 [95]	0 (0)	189 (16) 89 (8)	1,207 [112] 1,233 [115]	22,769 (2,117) 8,197 (762)
Level Area LEVEL 71	Level Area LEVEL 1 .19.F		LEVEL 9	20 8,026 (746) 20 8,026 (746)	1,464 (136) 1,464 (136)	· (0)	- (d) - (0)	9,490 (BB2) 9,490 (BB2)	78% 78%	829 (77) 829 (77)	0 (0)	90 (8)	919 (85) 919 (85) 919 (85)	10,409 (967) 10,409 (967)
LEVEL 74 5911 F	UPAC TO F	TOTAL COMMERCIAL/RETAIL/HOTEL	LEVEL 11 LEVEL 12	20 8.026 (746) 20 8,026 (746)	1,464 (136)	- (D) - (O)	- (a) (0)	9,490 (882) 9,490 (882) 9,490 (882)	78% 78%	879 (77) 829 (77) 829 (77)	0 (0)	90 (8)	919 (85) 919 (85) 919 (85)	10 409 (967) 10,409 (967)
ENELS NO. F	(EVE. '5 1 to .F (EVE. '5 11.6 F	FSR: 0.94	LEVEL 13 LEVEL 14	20 8,026 (746) 17 7,588 (705)	1.464 (136) 1,288 (120)	- (0) - (0)	- (0)	8.876 (R25)	78% 78%	829 (77)	0 (0)	90 (8)	919 (85) 919 (85) 919 (85)	10,409 [967] 10,409 [967] 9,795 [910]
(A)	(EVE. 7 1.67 F	FSR AREA: 138,888 SF (12,903 m2)	LEVEL 15 ROOF TOTAL	15 6,762 (628) - (0) 214 1190 6ACC 100,896 (8,012)	1,299 (121) - (0) 58,291 (1,698)	· (0)	- (0) (0)	8,061 (749) 0 (0)	76%	829 (77)	D (O)	90 (8)		8,980 (834) - (O)
(E/E) 17 14F F	(EVE. 1) 110 F	EXCLUSION: 14,968 SF (1,391 m2)	PSR	E REQUIRED TO BE ACCESSIBLE - 4 REQUIRED	minar frimal	649 (41)	723 (67)	123,390 (11,460) 0.83	784	12,0(1 (1,195)	- (0)	3,106 (136)	14,966 (1,391)	188,518 [[12,850]
129 5 1 217 5 16 16 14 801 F	10 10 17 17 18 18 18 18 18 18 18 18 18 18 18 18 18	GFA: 153,856 SF (14,294 m2)	**1 IN EVERY 20 HOTEL ROOMS AS	RE REQUIRED TO BE HEADING IMPAIRED = 11 REQUI D 11 HEADING REPAIRED UNITS (HI) ARE PROVIDED	NED .									
LEVEL York South F	LEVEL 15 HT ST. F LEVEL 15 HT ST. F FOFAL LEVEL J		Province communicated conf. section	D								-		
OFFICE AREA TOTAL	OFFICE AREA EXCLUSION FOTAL	OFFICE	TOTAL	119,434 (11,096)	18,291 (1,699)	440 (41)	723 (67)	130,000 (12,903) 9,300		12,862 (1,195)	- (0)	2,106 (196)	14 968 [(1,391)	153,856 (14,294)
Lotal Area US-BL01 Dec 7	Land Ana	FSR: 0.06	Bityles'											
15-8-0. 22-17 15-8-0: 74-07	LEAR A P	FSR AREA: 8,973 SF (2,767 m2)	LEVEL	A 6	c	PSR AREA D	E	F(8+C+D+E)	B/(F+G)	6 T	EXCL.	USION	P[G+H+i]	Gross Floor M(F+P)
FOUND BUILD	LEVEL 7 ME	EXCLUSION: 669 SF (0 m2)	LLVEL 1	Saleable/Leasable Area 1,062 (99)	Circulation/Service 128 (12)	Elevator care and State 94 (9)	Stale - (O)	Net FSR 1.284 (L19)	Efficiency 83%	Elevator shafts and Stair - (0)	W#8 0 (0)	Mechanical Shafts 0 (0)	Total Deductions	Gross Buildable 1,284 (119) 39 (9)
	TURNS OF TURNS	GFA: 9,642 SF (896 m2)	LEVEL 3 LEVEL 3 LEVEL 4	- [0]	- 101	- (0) - (0)	- (0) - (0)	- (0) - (0)		99 (5) 58 (9)	0 (0) 0 (0)	0 (0) 0 (0)	99 (9) 48 (9)	98 (9)
AFFORDAGLE HOLITING AREA FOTAL	AFFORMABLE HOLISHO EXCLUSION TOTAL	AFFORDABLE HOUSING	LEVEL S	· (0) · (0) 223 (21)	- (0)	- (0)	- (0) - (0)	(0) - (0)		98 (9) 98 (9)	0 (0)	0 (0)	98 (9) 98 (9)	98 (9) 98 (9)
Level Area	Level Area	FSR: 0,20	LEVEL S LEVEL 6 LEVEL 7 LEVEL 8	723 (21) - 101 7.465 (694)	- 101	(0)	(O) (O)	223 (21) (0) 7,466 (694)	100%	98 (9) 98 (9) 80 (7)	0 (0) 0 (0) 0 (0)	0 (0) 0 (0) 0 (0)	98 (9) 98 (9) 80 (7)	321 (30) 98 (9) 7.546 (701)
(出版が		FSR : 0.20 FSR AREA : 29,784 SF (2,638 m2)	YOTAL FOR	7 465 [694] B,731 (818)	129 (12)	1,414 (131)	1,Lin (201)	7,466 (094) 8,973 (894) 8,06	38%	80 (7) 869 (62)	(0)	- (387)	80 (7) 600 (4,234)	7,546 (701) 9,642 (gen)
CENTRY THE F		FSR AREA : 29,784 SF (2,638 m2) 29,784 SF REQUIRED	-											
MARKET HOUSING AREA TOTAL	MAZONET HOUSING EXCLUSION FOTAL	EXCLUSION: 0 SF (0 m2)	FSR AREA LEVEL								£xa.	USION		Gross Floor
Lovel Area	CECUFIC EN INC F	GFA: 29,784 SF (2,638 m2)	3	A B UITES Saleable/Lessable Area	C Circulation/Service	Elevator core and State	E Stair	F(B+C+D+E) Not F5R	B/(F+G) Efficiency vat	G or shafts and Stair	H Circulation		P(G+H+1) Total Deductions	64(F+P) Gross Buildable
ESE SONO ESE, SONO	LEVB	MARKET HOUSING	LEVEL 1	- (O)	(0)	(0)	(0)	- (0)		- (0)	0 (0)	0 (0)	- (0)	- (0)
16-6-04 217-174 (E-0) 25 20-0-7	(EVA. 1 1917 (EVA. 1 1917 (EVA. 1 1917 (EVA. 1 1917 (EVA. 1 1917 (EVA. 1 1917		LEVEL 3	12 12 12 293 (1,044)	- (0)	(0)	(O) (O)	- [0] 11.233 [1,044]	100%	- (0) - (0)	0 (0) 0 (0)	o (o)	- (0) - (0)	· (0) 11,233 [1,044]
15.5.37 (24.7.16 15.5.37 (24.7.16 15.5.37 (27.9.17)	1,5 vB. 5 21.00 F 1,6 vB. 5 912 F 1,5 vB. 7 949 F	FSR: 1.80	LEVEL 4 LEVEL 6	8 8 6.444 (599)	(0)	(O)	(0)	10,722 (996) 6,444 (599) 1,385 (129)	100%	- (0) - (0)	0 (0) 0 (0) 0 (0)	0 (0) 0 (0)	- (0) - (0)	10,722 (996) 6,444 (599) 1,385
ISBN 9015 ISBN 10 9005	(5V6) 4 (136)F (5V6) 7 (138)F	FSR AREA :268,760 SF (24,969 m2) -760 SF (71 m2) BUH BONUS	TOTAL	3 1,385 (129) 35 32 29,784 (2,767)	- (0)	- (99)	- (0)	25,784 (2,767)	100%	- (0)	- (0)	- (0)	- (0)	1,385 28,784 (2,638)
LEVEL 12 SPAN 15 LEVEL 17 SPAN 15	11/8 / 11	268,000 SF (24,898 m2)		REQUIRED TO BE BUH. 37/35 - 91% PROVIDED ITS BE BUH. 35AH + 341 MARKET - 376 RESIDENTIAL	INCT 10% OF 276 IS 30 BUILDINGS		M	8.20 IAX29,781.42 SR 0.20						
LECE UM TOWN F	(2008) 19 (219) 77 (ENG) 14 (319) 67 (ENG) 5-29 (219) 67 (1712) (2008) 25	BUH EXCEMPTION: (38 UNITS X 20 SF) = 760 SF		TO ME WITH A SHEET PROMISE - 37 & HOUSE DESTRUCTIONS	or o									
	1.11% 2,785,25	EXCLUSION : 22,865 SF (2,124 m2) GFA : 291,625 SF (27,093 m2)	PSA AREA									USION		Gross Plear
											EXC.			
AMENTY AREA TOTAL	AMENITY EXCLURION TOTAL	OFM . 201,020 OF (27,000 Hz)		A B UITES Saleable/Leasable Area	Circulation/Service	D Elevator core and Stair	E Stair	F(B+C+D+E) Net FSR	8/(F+G) Efficiency	G Elevator shafts and Stair	H Wall	USION (Mechanical Shafts	P(G+H+I) Total Deductions	Gross Ploor M(F+P) Gross Bullidable
	AMENITY EXCLUSION TOTAL Limit Area		TOTAL	- (0)	C Circulation/Service 67 (8)	101	E Stair (0)	Net FSR 87 (8)	8/(F+G) EMclancy	G Elevator shafts and Stair	н	Mechanical Shafts 0 (0)	P(G+H+I) Total Deductions 156 [(74)	Gross Bulfdable 243 (23)
Level Area LEVEL D. 912 F 1074 8126 F		AMENTY	TOTAL LEVEL 81 LEVEL 1 LEVEL 2	- (0) - 2,645 (246) - (0)	1,204 (112)	D Devetor core and Stair	(0) (0) (0) (0)	Net FSR 87 (8) 5.668 (527) - (0)	0% 47% 0%	156 (14) (0) 1,968 (183)	Wall 0 (0) 0 (0) 0 (0) 0 (0)	0 (0) 134 (12) 210 (20)	156 (54) 134 (12) 2,178 (201)	Grees Buildable 243 123 5,802 (539) 2,178 (202)
Lamid Area LECTAL PILATY FLOTAL HISATY PARKINGS BEKELLARISM TOTAL TOTAL		AMENITY FSR: 0.05	5 TOTAL LEVEL 81	BUM	1,204 (112) (0) 5,421 (504) 7,550 (701)	101	E Stady (0) (0) (0) (0) (0) (0) (0)	Het FSR #7 (8) \$ 668 (527) - (0) 20,038 (1,862) 21,204 (1,970)	0% 47% 0% 66%	156 [24] (0) 1,968 (183) 2,038 (189) 2,055 (191)	H Walf 0 0 0 0 0 0 0 0 0	0 (0) 1.24 (12) 210 (20) 137 (13) 78 (7)	156 (54) 134 (12) 2,178 (201)	Gross Bullidable 243 123) 5.802 (599 2.176 (202) 22,733 (2,064) 23,337 (2,164)
Lord Area LEVEL		AMENTY FSR: 0.05 FSR AREA: 8,104 SF (753 m2)	TOTAL LEVEL 81 LEVEL 1 LEVEL 2 LEVEL 3	RUH	1,204 (112) (0) 5,421 (504) 7,550 (701) 6,152 (572) 2,391 (217)	101	(0) (0) (0) (0) (0) (0) (0) (0) (0)	Wet PSR 87 (81 \$ 668 (527) - (01 20,038 (1,862) 21,264 (1,970) 78,630 (2,660) 22,069 (2,050)	0% 47% 0% 66% 59% 73% 84%	156 [14] (01 1,968 1183) 2,018 1189 2,055 1191] 2,052 [193) 1,542 [143]	Waff O (0)	0 (0) 3,14 (12) 210 (20) 137 (17) 76 (7) 69 (6)	156 [34] 134 [12] 2.176 [202] 2.175 [202] 2.131 [198] 2.10 [198] 1.611 [150]	Gress Buffdable 243 123 5.802 [559] 2.176 [160] 77.73 [7,064] 23.37 (2,168) 30.760 [2,88] 23.000 (2,000)
Leftel Area LECT C. P124 Y FLOTAL H1524 Y PARKBOOK BEKET LONDING MICCHY GARMANDE MICCH LEDICAL DISCH		AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 0 SF (0 m2)	5 TOTAL LEVEL 81 LEVEL 91 LEVEL 2 LEVEL 2 LEVEL 3 LEVEL 4 LEVEL 5 LEVEL 6 LEVEL 6 LEVEL 5	MAIN (0) 2,945 (246) (0) (1,204 (112) (0) 5,421 (504) 7,559 (701) 6,152 (577) 2,311 (217) 7,091 (154) 2,091 (154)	101	(5) (5) (6) (7) (7) (7) (7) (7) (7) (7) (7) (7) (7	Net FSR #7 (#1 5-668 (522) - (01 20,038 (1,462) 21,204 (1,910) 78,530 (2,660) 22,069 (2,050) 23,457 (2,179) 23,457 (2,179)	6% 65% 85% 85% 86%	156 [24] 101 1,568 [183] 2,034 [189] 2,055 [191] 2,052 [191] 1,542 [143] 1,543 [143] 1,130 [124]	H Wart 0 (0) 0 (0) 0 (0) 0 (0) 0 (0) 0 (0) 0 (0) 0 (0) 0 (0) 0 (0) 0 (0) 0 (0) 0 (0)	1 Mechanical Shafes 0 (0) 134 (132) 210 (20) 137 (12) 78 (7) 78 (7) 69 (8) 146 (134) 106 (10)	156 [GI] 134 [12] 2.178 [202] 2.178 [202] 2.131 [198] 2.131 [198] 2.130 [199] 1.611 [130]	Greet Buffoble 243 123) 5.802 (5:99) \$1,794 (2014) 22.21 (2,044) 23.327 (2,168) 80.705 (2,288) 33.605 (2,105) 33.61 (2,105) 33.61 (2,105)
Leftel Area LECT C. P124 Y FLOTAL H1524 Y PARKBOOK BEKET LONDING MICCHY GARMANDE MICCH LEDICAL DISCH		AMENTY FSR: 0.05 FSR AREA: 8,104 SF (753 m2)	100 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	NON	1,204 (112) (0) 5,421 (504) 7,550 (701) 6,152 (572) 2,331 (217) 2,091 (194) 2,091 (194) 1,642 (553) 1,194 (113) 1,194 (113)	101	\$ \$1akr	Net 75R 97 (8) 5-668 (527) - (0) 20,038 (1,862) 21,264 (1,570) 78,530 (2,560) 22,657 (2,159) 23,457 (2,179) 24,671 (1,679) 38,071 (1,679)	0% 47% 0% 66% 59% 73% 84% 85%	156 (14) 101 1,566 (143) 2,014 (169) 2,055 (191) 2,057 (193) 1,541 (143) 1,330 (124) 1,330 (124) 1,244 (116) 1,244 (116) 1,244 (116) 1,244 (116)	H Warf 0 (0)	1	156 (741 134 (12) 1.79 (201) 2.775 (202) 2.13) (198) 2.13 (198) 1.649 (157) 1.446 (135) 1.317 (122) 1.317 (122)	Gross 80,0000-bits 343,123) 540,021,5191 13,231,12,524,13 13,231,12,524,13 13,231,12,524,13 13,307,02,134,13 13,407,12,14,13 13,400,12,14,13 13,500,12,14,13 13,500,12,14,13 13,500,12,14,13 13,500,12,14,13 13,500,12,14,13
Leftel Area LECT C. P124 Y FLOTAL H1524 Y PARKBOOK BEKET LONDING MICCHY GARMANDE MICCH LEDICAL DISCH		AMENTY FSR: 0.05 FSR AREA: 8,104 SF (753 mz) EXCLUSION: 0 SF (0 mz) GFA: 8,104 SF (753 mz)	5 1074.81 1174.1	BONT	1,126 (112) (0) 5,421 (504) 7,559 (701) 6,152 (572) 2,291 (124) 2,291 (144) 1,642 (519) 1,644 (111) 1,124 (111) 1,124 (111)	101	(5) (10) (10) (10) (10) (10) (10) (10) (10	Net 458 87 (8) 3-668 (327)	Efficiency 0% 47% 0% 66% 59% 73% 84% 85% 85% 85% 85%	156 (124) 101 1,046 (125) 7,044 (129) 2,055 (129) 2,055 (129) 2,055 (129) 1,541 (124) 1,541 (124) 1,541 (124) 1,541 (124) 1,544 (116) 1,244 (116) 1,244 (116) 1,245 (116) 1,245 (116) 1,245 (116) 1,245 (116) 1,245 (116) 1,245 (116)	H Waft 9 (0) 9 (0) 9 (0) 9 (0) 0 (0)	Nechanical Sharbs 0 0 1 1 1 1 1 1 1 1	156 [174] 1.34 [12] 2.76 [201] 2.77 [201] 2.77 [201] 2.77 [201] 2.77 [109] 2.77 [109] 3.64 [157] 1.649 [157] 1.446 [131] 1.77 [122] 1.17 [122] 1.17 [122] 1.18 [122]	Greek Bullishbet 241 123) 360 (159) 1.376 (129) 1.376 (129) 1.376 (129) 1.376 (129) 1.376 (129) 1.376 (129) 1.376 (129) 1.386 (129) 1.386 (129) 1.386 (129) 1.386 (129) 1.386 (129) 1.386 (129) 1.386 (129) 1.386 (129) 1.386 (129) 1.387 (129) 1.387 (129) 1.387 (129) 1.387 (129)
Leftel Area LECT C. P124 Y FLOTAL H1524 Y PARKBOOK BEKET LONDING MICCHY GARMANDE MICCH LEDICAL DISCH		AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 0 SF (0 m2)	100 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	NON	1,204 (112) (0) 5,421 (504) 7,550 (701) 6,152 (572) 2,331 (217) 2,091 (194) 2,091 (194) 1,642 (553) 1,194 (113) 1,194 (113)	101	(5) (6) (7) (7) (7) (7) (7) (7) (7) (7) (7) (7	Net 75R 97 (8) 5-668 (527) - (0) 20,038 (1,862) 21,264 (1,570) 78,530 (2,560) 22,657 (2,159) 23,457 (2,179) 24,671 (1,679) 38,071 (1,679)	Efficiency 0% 47% 0% 66% 55% 55% 65% 65% 65% 65% 65% 65% 65	156 (14) 101 1,566 (143) 2,014 (169) 2,055 (191) 2,057 (193) 1,541 (143) 1,330 (124) 1,330 (124) 1,244 (116) 1,244 (116) 1,244 (116) 1,244 (116)	H Waft 9 (0) 9 (0) 9 (0) 0 (0)	1	156 (741 134 (12) 1.79 (201) 2.775 (202) 2.13) (198) 2.13 (198) 1.649 (157) 1.446 (135) 1.317 (122) 1.317 (122)	Gross Buildhoke 44 133 5.00 (598) 5.00 (598) 1.178 (102) 2.273 (2.04) 2.273 (2.04) 2.317 (4.05) 3.3 (60 (4.09) 2.514 (2.110) 4.489 (2.110) 4.489 (2.110) 1.516 (2.110) 1.5190 (1.01) 1.5190 (1.01) 1.5190 (1.01) 1.5190 (1.01)
Leftel Area LECT C. P124 Y FLOTAL H1524 Y PARKBOOK BEKET LONDING MICCHY GARMANDE MICCH LEDICAL DISCH		AMENTY FSR: 0.05 FSR AREA: 8, 104 SF (753 m2) EXCLUSION: 0 SF (0 m2) GFA: 8, 104 SP (753 m2) PARKING/BIKESPACE/LOADING/	5 5 1707AL 1707A	NUN -(0) -	1.104 (117) (6) (6) (7.50) (701) (8.11) (500) (7.50) (701) (8.12) (777) (2.31) (217) (2.90) (2.94) (2.90) (3.94) (2.90) (3.94) (4.94) (111) (4.94) (111) (4.94) (111) (4.94) (111) (4.94) (111) (4.94) (111) (4.94) (111)	101	6	Wet 158 #7 (#] #7 (#] \$666 (\$127) - (01 20.038 (14.62) 21.804 (1.910) 21.804 (1.910) 21.804 (1.910) 21.804 (1.910) 21.805 (1.801) 21.807 (1.601) 34.607 (1.609) 34.007 (1.609) 34.007 (1.609) 34.007 (1.609) 34.007 (1.609) 34.007 (1.609)	Efficiency 0% 47% 0% 66% 59% 73% 85% 85% 85% 85% 87% 87%	156 (14) 100 1,000 1	H Waft 9 (0) 9 (0) 9 (0) 9 (0) 0 (0)	1 Nechanical Shafts 0 (0) 1.44 (132) 220 (200) 1.77 (13) 78 (7) 78 (7) 78 (7) 1.65 (8) 1.65 (10)	156 [174] 3.54 [1.2] 2.76 [2010] 2.76 [2010] 2.71 [2010] 2.73 [2010] 2.73 [100] 2.73 [100] 3.648 [157] 1.648 [157] 1.446 [153] 1.77 [122] 1.77 [122] 1.77 [122] 1.77 [122] 1.77 [122] 1.77 [122] 1.77 [122]	Gross Butthboke A11123 5-007 1599 3-177 1601 2-273 12,044 3-306 (2,100) 3-306 (2,100) 3-306 (2,100) 1-487 (2,100) 1-489 (1,100) 1-590 (1,001) 1-590 (1,001) 1-590 (1,001) 1-590 (1,001) 1-590 (1,001) 1-590 (1,001) 1-590 (1,001) 1-590 (1,001)
Lamid Area LECTAL PILATY FLOTAL HISATY PARKINGS BEKELLARISM TOTAL TOTAL		AMENTY FSR: 9.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 9 SF (9 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTS/GARBAGE/RECYCLE	5 5 170741 1707441 170741 170741 170741 170741 170741 170741 170741 170741 1707	BUNT 100	1,394 (113) (6) 5,500 (26) 5,500 (26) 6,515 (27) 2,311 (217) 2,391 (214) 2,291 (154) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,125 (113) 1,126 (113) 1,127 (113) 1,127 (113) 1,128 (113) 1,129 (113) 1,1	191 191 191 191 191 191 191 191 191 191	6	Met P\$B 87 (B) 3666 (32) 3666 (32) 20,038 (1,482) 21,284 (1,919) 26,530 (2,660) 23,697 (2,199) 24,597 (2,199) 34,677 (2,199) 34,077 (1,679)	0% 47% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0%	156 (141) 100 1.464 (143) 2.604 (140) 2.604 (140) 2.604 (140) 2.607 (140) 2.607 (150) 1.540 (140) 1.540 (140) 1.540 (140) 1.540 (140) 1.544 (140) 1.544 (140) 1.544 (140) 1.544 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140)	H Waff 0 (0)	1 Mechanical Shafts 0 (0) 1.44 (13) 1.20 (20) 1.74 (13) 1.77 (13) 1.74 (17) 1.75 (17) 1.76 (17) 1.76 (17) 1.77 (17) 1.77 (17) 1.78 (17) 1.79 (17)	156 (178) 338 (127) 2.79 (208) 2.70 (208) 2.	Gross Butthboke 24.1 123 5.00.0 (5.99) 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.3 1.0
Level Area (LC) C. P121 T (LT) A121 T PARKING BIKE! (DADROT MICCH) GARBARES RECY (LE EXCLUSION TOTAL TOTAL	UPS AND	AMENTY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 0 SF (0 m2) GFA: 8,104 SF (753 m2) PARKING/BIKE SPACE/LOADING/ MECHANICAL/SHAFT-SIGARBAGE/RECYCLE EXCLUSION: 288,031 SF (28,759 m2) GFA: 288,031 SF (36,759 m2)	5 5 170741 1707441 170741 170741 170741 170741 170741 170741 170741 170741 1707	BONT (9) (9) (1)	1,394 (113) (6) 5,500 (26) 5,500 (26) 6,515 (27) 2,311 (217) 2,391 (214) 2,291 (154) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,125 (113) 1,126 (113) 1,127 (113) 1,127 (113) 1,128 (113) 1,129 (113) 1,1	191 191 191 191 191 191 191 191 191 191		Net 1780 27 (9) 3. Self (1):17 - (0) - (0% 47% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0%	156 (141) 100 1.464 (143) 2.604 (140) 2.604 (140) 2.604 (140) 2.607 (140) 2.607 (150) 1.540 (140) 1.540 (140) 1.540 (140) 1.540 (140) 1.544 (140) 1.544 (140) 1.544 (140) 1.544 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140)	H Waff 0 (0)	1 Mechanical Shafts 0 (0) 1.44 (13) 1.20 (20) 1.74 (13) 1.77 (13) 1.74 (17) 1.75 (17) 1.76 (17) 1.76 (17) 1.77 (17) 1.77 (17) 1.78 (17) 1.79 (17)	156 (178) 338 (127) 2.79 (208) 2.70 (208) 2.	Gross Butthboke 24.1 123 5.00.0 (5.99) 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.3 1.0
Deal	Lond Atta	AMENITY FSR: 0.05 FSR AREA: 2,104 SF (753 m2) EXCLUSION: 0 SF (0 m2) GFA: 2,104 SF (753 m2) PARKING/BIKE: SPACE/LOADING/ MECHANICAL/SHAFTS/GARBADE/RECYCLE EXCLUSION: 286,031 SF (28,759 m2) GFA: 286,031 SF (28,759 m2) TOTAL FSR: 3.00 (Exclude Amenity)	5 5 TOTAL LEVEL 3 1 LEVEL 5 1 LEVEL 10 1	BUNT 100	1,394 (113) (6) 5,500 (26) 5,500 (26) 6,515 (27) 2,311 (217) 2,391 (214) 2,291 (154) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,125 (113) 1,126 (113) 1,127 (113) 1,127 (113) 1,128 (113) 1,129 (113) 1,1	191 191 191 191 191 191 191 191 191 191		Met FSB 87 [8] 3-666 [517] 3-666 [517] 2-0038 [1,482] 2-1,264 [1,470] 7-1,550 [7,460] 2-1,064 [1,470] 3-1,07 [1,170]	0% 47% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0%	156 (141) 100 1.464 (143) 2.604 (140) 2.604 (140) 2.604 (140) 2.607 (140) 2.607 (150) 1.540 (140) 1.540 (140) 1.540 (140) 1.540 (140) 1.544 (140) 1.544 (140) 1.544 (140) 1.544 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140)	H Waff 0 (0)	1 Mechanical Shafts 0 (0) 1.44 (13) 1.20 (20) 1.74 (13) 1.77 (13) 1.74 (17) 1.75 (17) 1.76 (17) 1.76 (17) 1.77 (17) 1.77 (17) 1.78 (17) 1.79 (17)	156 (178) 338 (127) 2.79 (208) 2.70 (208) 2.	Gross Butthboke 24.1 123 5.00.0 (5.99) 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.3 1.0
1-30	Lond Atta	AMENTY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 0 SF (0 m2) GFA: 8,104 SF (753 m2) PARKING/BIKE SPACE/LOADING/ MECHANICAL/SHAFT/SIGARBAGE/RECYCLE EXCLUSION: 288,031 SF (28,759 m2) GFA: 289,031 SF (28,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity)	100 100	BUNT 100	1,394 (113) (6) 5,500 (26) 5,500 (26) 6,515 (27) 2,311 (217) 2,391 (214) 2,291 (154) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,125 (113) 1,126 (113) 1,127 (113) 1,127 (113) 1,128 (113) 1,129 (113) 1,1	191 191 191 191 191 191 191 191 191 191		Met FSR 87 [8] 3666 [517] 3666 [517] 20038 [1,482] 21,264 [1,470] 74,550 [7,460] 21,064 [1,570] 74,570 [7,460] 21,067 [1,670] 21,077 [1,170] 21,077 [1,170] 21,077 [1,170] 21,077 [1,470] 21,077	6% (%) (%) (%) (%) (%) (%) (%) (%) (%) (%	156 (141) 100 1.464 (143) 2.604 (140) 2.604 (140) 2.604 (140) 2.607 (140) 2.607 (150) 1.540 (140) 1.540 (140) 1.540 (140) 1.540 (140) 1.544 (140) 1.544 (140) 1.544 (140) 1.544 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140)	# Warf 0 (1) 0 (1)	1 Mechanical Shafts 0 (0) 1.44 (13) 1.20 (20) 1.74 (13) 1.77 (13) 1.74 (17) 1.75 (17) 1.76 (17) 1.76 (17) 1.77 (17) 1.77 (17) 1.78 (17) 1.79 (17)	35 (G1) 38 (G2) 38 (G2) 2.78 (G61) 2.78 (G61) 2.13 (G62) 2.13 (G69) 2.13 (G69) 2.13 (G69) 2.14 (G69) 2.15 (G79) 2.15 (G79	Gross Bullshoke 44 133 5.00 (1998) 5.00 (1998) 1.172 (192) 2.2.231 (2,044) 2.3.231 (2,044) 2.3.31 (2,044) 2.3.31 (2,045) 2.3.31 (2,047) 2.4.891 (2,115) 2.4.891 (2,115) 1.9.396 (1,207) 1.9.396 (1,207) 1.9.396 (1,207) 1.9.396 (1,207) 1.9.396 (1,207) 1.9.397 (1,207) 1.9.397 (1,207) 1.9.397 (1,207) 1.9.397 (1,207) 1.9.397 (1,207) 1.9.397 (1,207) 1.9.397 (1,207) 1.9.397 (1,207) 1.9.397 (1,207)
1-30	Lond Atta	AMENITY FSR: 0.05 FSR AREA: \$104 SF (753 m2) EXCLUSION: 0 SF (0 m2) GFA: 9.104 SF (753 m2) PARKING/BIKES PACE/LOADING/ MECHANICAL SHAFTS/GARBAGE/RECYCLE EXCLUSION: 288,031 SF (28,759 m2) GFA: 288,031 SF (28,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 445,405 SF (41,472 m2)	5 5 1 1076.1 1 1 1076.1 1 1 1076.1 1 1 1076.1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	BUNT 100	1,394 (113) (6) 5,500 (26) 5,500 (26) 6,515 (27) 2,311 (217) 2,391 (217) 2,391 (194) 2,291 (194) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,125 (113) 1,126 (113) 1,127 (113) 1,127 (113) 1,128 (113) 1,129 (113) 1,1	191 191 191 191 191 191 191 191 191 191		Met FSB 87 [8] 3-666 [517] 3-666 [517] 2-0038 [1,482] 2-1,264 [1,470] 7-1,550 [7,460] 2-1,064 [1,470] 3-1,07 [1,170]	0% 47% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0% 0%	156 (141) 100 1.464 (143) 2.604 (140) 2.604 (140) 2.604 (140) 2.607 (140) 2.607 (150) 1.540 (140) 1.540 (140) 1.540 (140) 1.540 (140) 1.544 (140) 1.544 (140) 1.544 (140) 1.544 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140) 1.545 (140)	H Wark 0 20 10 10 10 10 10 10 10 10 10 10 10 10 10	Mechanical Shirbs	156 (178) 338 (127) 2.79 (208) 2.70 (208) 2.	Gross Butthboke 24.1 123 5.00.0 (5.99) 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.2 1.0 7.3 1.0
1-07	Long	AMENTY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 0 SF (0 m2) GFA: 8,104 SF (753 m2) PARKING/BIKE SPACE/LOADING/ MECHANICAL/SHAFT/SIGARBAGE/RECYCLE EXCLUSION: 288,031 SF (28,759 m2) GFA: 289,031 SF (28,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity)	5 5 1 1076.1 1 1 1076.1 1 1 1076.1 1 1 1076.1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	BUNT (9) (1) (2)	1,394 (113) (6) 5,500 (26) 5,500 (26) 6,515 (27) 2,311 (217) 2,391 (217) 2,391 (194) 2,291 (194) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,125 (113) 1,126 (113) 1,127 (113) 1,127 (113) 1,128 (113) 1,129 (113) 1,1	100 Little (1007) 100 Little (· · · · · · · · · · · · · · · · · · ·	Net FSB 27 (9) 3 (64) (527) (9) (9) (9) (9) (9) (10)	(Michaey) (Ph. 1975) (Ph. 19	156 (124) 1.564 (145) 1.564 (145) 2.684 (145) 2.684 (145) 2.695 (125) 2.695 (Wark		156 [(41 156 [(41 127) (151) 127) (151) 127) (151) 127) (152) 127) (152) 127) (152) 127) (158) 127) (159) 128) (159) 128) (159) 129) (159)	Gross Butthblue A1 121 A1 12
1-30	MARINE ARTS MARINE MAR	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 0 SF (0 m2) GFA: 8,104 SF (753 m2) PARKING/BIKES/PACE/LOADING/ MECHANICAL/SHAPTS/GARBAGE/RECYCLE EXCLUSION: 88,031 SF (28,759 m2) GFA: 285,031 SF (28,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 48,405 SF (41,472 m2) -780 SF (11,212 WH BRINUS 445,455 SF (41,402 m2)	100 100	BUNE (9) (9) (1)	1,394 (113) (6) 5,500 (26) 5,500 (26) 6,515 (27) 2,311 (217) 2,391 (217) 2,391 (194) 2,291 (194) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,124 (113) 1,125 (113) 1,126 (113) 1,127 (113) 1,127 (113) 1,128 (113) 1,129 (113) 1,1	100 Little (1007) 100 Little (· · · · · · · · · · · · · · · · · · ·	Net FSB 27 (9) 3 566 (1)-27 (0) 20.039 (1)-43-2) 21.004 (1)-43-2 21.009 (1)-43-2 21.	### (Frickney) ### (Frickney) ### (Frickney) ### (Frickney) ### (Frickney)	156 (124) 1.564 (145) 1.564 (145) 2.684 (145) 2.684 (145) 2.695 (125) 2.695 (### Wark 0 0 0 0 0 0 0 0 0		156 [(41 156 [(41 127) (151) 127) (151) 127) (151) 127) (152) 127) (152) 127) (152) 127) (158) 127) (159) 128) (159) 128) (159) 129) (159)	Gress Buildholes 44 133 5 20 1598 5 20 1598 1 172 1620 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2
1,000	Long	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 0 SF (0 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTS/GARBAGE/RECYCLE EXCLUSION: 288,031 SF (28,759 m2) GFA: 268,031 SF (28,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 448,405 SF (41,472 m2) -760 SF (71 m2) BW BOWN SE (44,467 m2) 8,104 SF (753 m2) (Amenity) ZMU 52 SITE AREA: NET FL AREA (INCL AMENITY): 454,509 SF (41,272 m2) MITTEL AREA (INCL AMENITY): 454,509 SF (42,225 m2)	S S TOTAL STORY S S S S S S S S S S S S S S S S S S S	BUNT (9) (1) (2)	1,304, 1132 (0) (1) (2) (3) (4)(1) (20) (4)(1) (4)(Si	· · · · · · · · · · · · · · · · · · ·	Net FSB 27 (9) 3 (64) (527) (9) (9) (9) 20,0739 (1,442) 21,264 (1,109) 22,030 (2,640) 21,467 (1,109) 21,467 (1,109) 21,467 (1,109) 21,467 (1,109) 21,467 (1,109) 21,467 (1,109) 21,477 (1,109) 21,477 (1,109) 21,477 (1,109) 21,777 (1,441)	(Michaey) (Ph. 1975) (Ph. 19	156 (124) 1.564 (145) 1.564 (145) 2.684 (145) 2.684 (145) 2.695 (125) 2.695 (Wast	Mechanical Shafes	156 [(41 156 [(41 127) (151) 127) (151) 127) (151) 127) (152) 127) (152) 127) (152) 127) (158) 127) (159) 128) (159) 128) (159) 129) (159)	Gross Butthblue A1 121 A1 12
1-30	MARINE ARTS MARINE MAR	### AMERITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 0 SF (0 m2) GFA: 8,104 SF (753 m2) PARKING/BIKE SPACE/LOADING/ MECHANICAL/SHAFT/SQARBADE/RECYCLE EXCLUSION: 288,031 SF (26,759 m2) GFA: 288,031 SF (26,759 m2) TOTAL FSR: 3.00 (Exclude Amenity)	100 100	BUNE (9) (9) (1)	1,304, 1132 (0) (1) (2) (3) (4)(1) (20) (4)(1) (4)(Si	· · · · · · · · · · · · · · · · · · ·	Met FSB 27 (9) 3 (64) (127) (0) (0) (0) (0) (0) (0) (0) (### (Frickney) ### (Frickney) ### (Frickney) ### (Frickney) ### (Frickney)	156 (124) 1.564 (148) 1.564 (148) 2.684 (148) 2.695 (129) 2.695 (### Wark 0 0 0 0 0 0 0 0 0		156 [(41 156 [(41 127) (151) 127) (151) 127) (151) 127) (152) 127) (152) 127) (152) 127) (158) 127) (159) 128) (159) 128) (159) 129) (159)	Gress Buildholes 44 133 5 20 1598 5 20 1598 1 172 1620 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2
1-00	MARINE ARTS MARINE MAR	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 8 SF (6 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTSGARBAGE/RECYCLE EXCLUSION: 288,021 SF (26,759 m2) GFA: 288,031 SF (26,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 445,405 SF (41,407 m2) 445,445 SF (41,407 m2) 445,445 SF (41,407 m2) 445,455 SF (71 m2) BUH Borus 445,455 SF (71	S S TOTAL STORY S S S S S S S S S S S S S S S S S S S	BUNE (9) (1) (2)	1,304, 1132 (0) (1) (2) (3) (4)(1) (20) (4)(1) (4)(Si	· · · · · · · · · · · · · · · · · · ·	Met 158 82 19 3 666 (517) 3 666 (517) 5 607 (518) 5 608 (517) 5 609 (518) 5 609 (518) 5 7 609 (518) 5 7 609 (518) 5 7 609 (518) 5 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	### (Frickney) ### (Frickney) ### (Frickney) ### (Frickney) ### (Frickney)	156 (124) 1.564 (148) 1.564 (148) 2.684 (148) 2.695 (129) 2.695 (Wast		156 [(41 156 [(41 127) (151) 127) (151) 127) (151) 127) (152) 127) (152) 127) (152) 127) (158) 127) (159) 128) (159) 128) (159) 129) (159)	Gross Butthble 1411151 5-007 15-99 1-172 1621 1-272 1620 1-27
1-30	MARINE ARTS MARINE MAR	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 8 SF (6 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTSGARBAGE/RECYCLE EXCLUSION: 288,021 SF (26,759 m2) GFA: 288,031 SF (26,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 445,405 SF (41,407 m2) 445,445 SF (41,407 m2) 445,445 SF (41,407 m2) 445,455 SF (71 m2) BUH Borus 445,455 SF (71	5 5 1 1076.1 1 1 1076.1 1 1 1076.1 1 1 1076.1 1 1 1076.1 1 1 1076.1 1 1 1076.1 1 1 1076.1 1 1 1 1076.1 1 1 1076.1 1 1 1 1076.1 1 1 1 1076.1 1 1 1 1 1076.1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	BUNE (9) (1) (2)	1,304, 1132 (0) (1) (2) (3) (4)(1) (20) (4)(1) (4)(Si	, n	Met FSB 27 (9) 3 (64) (127) (0) (0) (0) (0) (0) (0) (0) (### (Frickney) ### (Frickney) ### (Frickney) ### (Frickney) ### (Frickney)	156 (124) 1.564 (148) 1.564 (148) 2.684 (148) 2.695 (129) 2.695 (Wast		156 [(41 156 [(41 127) (151) 127) (151) 127) (151) 127) (152) 127) (152) 127) (152) 127) (158) 127) (159) 128) (159) 128) (159) 129) (159)	Gross Butthble 1411151 5-007 15-99 1-172 1621 1-272 1620 1-27
1-30	MARINE ARTS MARINE MAR	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 8 SF (6 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTSGARBAGE/RECYCLE EXCLUSION: 288,021 SF (26,759 m2) GFA: 288,031 SF (26,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 445,405 SF (41,407 m2) 445,445 SF (41,407 m2) 445,445 SF (41,407 m2) 445,455 SF (71 m2) BUH Borus 445,455 SF (71	100 100	BUNE (9) (1) (2)	1,304, 1132 (0) (1) (2) (3) (4)(1) (20) (4)(1) (4)(Si	, n	Met FSB 27 (9) 3 (64) (127) (0) (0) (0) (0) (0) (0) (0) (### (Frickney) ### (Frickney) ### (Frickney) ### (Frickney) ### (Frickney)	156 (124) 1.564 (148) 1.564 (148) 2.684 (148) 2.695 (129) 2.695 (Wast		156 [(41 156 [(41 127) (151) 127) (151) 127) (151) 127) (152) 127) (152) 127) (152) 127) (158) 127) (159) 128) (159) 128) (159) 129) (159)	Gross Butthble 44 133 5-802 (598) 5-802 (598) 1-172 (192) 22,273 (2,044) 23,273 (2,044) 23,273 (2,044) 23,374 (2,145) 24,871 (2,116) 24,871 (2,116) 15,166 (2,109) 15,166 (1,116) 15,166 (1,116) 15,166 (1,116) 15,167 (1,116) 15,167 (1,116) 16,177 (1,116) 36,685 (127,095) Gross Robinski
1-90	MARINE ARTS MARINE MAR	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 8 SF (6 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTSGARBAGE/RECYCLE EXCLUSION: 288,021 SF (26,759 m2) GFA: 288,031 SF (26,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 445,405 SF (41,407 m2) 445,445 SF (41,407 m2) 445,445 SF (41,407 m2) 445,455 SF (71 m2) BUH Borus 445,455 SF (71	100 100	BUNE (9) (1) (2)	1,394 (113)	DE DE DE DE DE DE DE DE	, n	Net 758 37 (9) 37 (9) 38 (66) (527) (9) (9) 20,039 (1,442) 21,256 (1,442) 22,049 (1,656) 22,049 (1,656) 23,457 (2,179) 24,457 (2,17	### (Frickney) ### (Frickney) ### (Frickney) ### (Frickney) ### (Frickney)	156 (124) 1.564 (148) 1.564 (148) 2.684 (148) 2.695 (129) 2.695 (Wast		155 [62] 158 [62] 158 159 15	Gross Butthobia At 132) 5.002 (5.98) 5.002 (5.98) 1.172 (102) 2.2.231 (2.64) 2.1.231 (1.60) 3.1.602 (1.20) 3.1.602 (1.20) 3.1.602 (1.20) 3.1.602 (1.20) 3.1.602 (1.20) 3.1.602 (1.20) 3.1.602 (1.20) 3.1.602 (1.20) 3.1.602 (1.20) 3.1.602 (1.20) 3.1.602 (1.20) 3.1.603 (1.20) 5.1.603 (1.20) 5.1.603 (1.20) 5.1.603 (1.20) 5.1.603 (1.20) 5.1.603 (1.20) 5.1.603 (1.20) 5.1.603 (1.20) 5.1.603 (1.20) 5.1.603 (1.20) 6.1.603 (1.20) 6.1.603 (1.20) 6.1.603 (1.20) 6.1.603 (1.20) 6.1.603 (1.20) 6.1.603 (1.20) 6.1.603 (1.20) 6.1.603 (1.20) 6.1.603 (1.20) 6.1.604 (1.20) 6.1.604 (1.20) 6.1.604 (1.20) 6.1.604 (1.20) 6.1.604 (1.20) 6.1.604 (1.20) 6.1.604 (1.20) 6.1.604 (1.20)
1-00	MARINE ARTS MARINE MAR	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 8 SF (6 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTSGARBAGE/RECYCLE EXCLUSION: 288,021 SF (26,759 m2) GFA: 288,031 SF (26,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 445,405 SF (41,407 m2) 445,445 SF (41,407 m2) 445,445 SF (41,407 m2) 445,455 SF (71 m2) BUH Borus 445,455 SF (71	107 107	BUNT (9) (1) (2)	1,294 (112)	DO	E E Sour 100 1	Net 758 37 (9) 37 (9) 38 (66) (527) (9) (9) 20,039 (1,442) 21,256 (1,442) 22,049 (1,656) 22,049 (1,656) 23,457 (2,179) 24,457 (2,17	### Chickensy ### Chickensy	156 (124) 1.564 (148) 1.564 (148) 2.684 (148) 2.695 (129) 2.695 (Wast		155 (101 103	Gross Buttishole 44 133 5 20 (1998) 5 20 (1998) 5 20 (1998) 5 22 23 (1998) 2 2 23 (1998) 2 2 23 (1998) 2 3 3 (60) (1998) 3 3 (60) (2,009) 5 5 (4) (2,109) 5 5 (4) (2,109) 1 5 (4) (2,109) 1 5 (4) (2,109) 1 5 (4) (2,109) 1 5 (4) (2,109) 1 5 (4) (2,109) 1 5 (4) (2,109) 1 5 (4) (2,109) 1 5 (4) (2,109) 1 5 (4) (2,109) 1 5 (4) (2,109) 1 5 (4) (2,109) 1 5 (4) (2,109) 1 5 (4) (2,109) 1 5 (4) (2,109) 3 (4,209)
1-90	MARINE ARTS MARINE MAR	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 8 SF (6 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTSGARBAGE/RECYCLE EXCLUSION: 288,021 SF (26,759 m2) GFA: 288,031 SF (26,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 445,405 SF (41,407 m2) 445,445 SF (41,407 m2) 445,445 SF (41,407 m2) 445,455 SF (71 m2) BUH Borus 445,455 SF (71	1 1 1 1 1 1 1 1 1 1	BUNT (9) (1) (2)	1,394 (113)	DO	E E Sour 100 1	Met FSB 27 (9) 37 (6) 37 (6) 37 (6) 38 (6) (7) (7) (8) 38 (6) (7) (7) 38 (6) (7) (7) 38 (6) (7) (7) 38 (6) (7) (7) 38 (7) (7) (8) (8) (8) 38 (7) (8) (8) (8) (8) (8) 38 (7) (8) (8) (8) (8) (8) (8) 38 (8) (8) (8) (8) (8) (8) (8) (8) (8) 70 (8) (8) (8) (8) (8) (8) (8) (8) (8) (8)	### Chickensy ### Chickensy	156 (124) 1.564 (148) 1.564 (148) 2.684 (148) 2.695 (129) 2.695 (Wast		154 (14) 15 16 16 16 16 16 16 16	Gross Buttinble At 132) At 132) 5.007 (5.98) 5.007 (5.98) 1.172 (102) 2.1231 (1.00) 2.1231 (1.00) 2.1231 (1.00) 2.1231 (1.00) 2.1232 (1.00) 2.1232 (1.00) 2.1232 (1.00) 2.1232 (1.00) 2.1232 (1.00) 2.1232 (1.00) 2.1232 (1.00) 2.1232 (1.00) 2.1232 (1.00) 2.1232 (1.00) 2.1232 (1.00) 3.1232 (1.00) 3.1232 (1.00) 3.1232 (1.00) 3.1232 (1.00) 3.1232 (1.00) 3.1232 (1.00) 3.1232 (1.00) 3.1232 (1.00) 3.1232 (1.00) 3.1232 (1.00) 3.1232 (1.00) 3.1232 (1.00) 3.1232 (1.00) 3.1232 (1.00) 4.1232 (1.00)
Sept	MARINE ARTS MARINE MAR	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 8 SF (6 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTSGARBAGE/RECYCLE EXCLUSION: 288,021 SF (26,759 m2) GFA: 288,031 SF (26,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 445,405 SF (41,407 m2) 445,445 SF (41,407 m2) 445,445 SF (41,407 m2) 445,455 SF (71 m2) BUH Borus 445,455 SF (71	1	BUNE (9) (2)	1,304 (113)	DE DE DE	F	Met FSB 27 (9) 37 (6) 37 (6) 37 (6) 38 (6) (7) (7) (8) 38 (6) (7) (7) 38 (6) (7) (7) 38 (6) (7) (7) 38 (6) (7) (7) 38 (7) (7) (8) (8) (8) 38 (7) (8) (8) (8) (8) (8) 38 (7) (8) (8) (8) (8) (8) (8) 38 (8) (8) (8) (8) (8) (8) (8) (8) (8) 70 (8) (8) (8) (8) (8) (8) (8) (8) (8) (8)	### Chickensy ### Chickensy	156 (124) 1.564 (148) 1.564 (148) 2.684 (148) 2.695 (129) 2.695 (Wast		155 161 151	Gress Ruttishke A 19 129 A 10 129 A 10 1599 A 10 15
1-10	MARINE ARTS MARINE MAR	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 8 SF (6 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTSGARBAGE/RECYCLE EXCLUSION: 288,021 SF (26,759 m2) GFA: 288,031 SF (26,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 445,405 SF (41,407 m2) 445,445 SF (41,407 m2) 445,445 SF (41,407 m2) 445,455 SF (71 m2) BUH Borus 445,455 SF (71	1 1 1 1 1 1 1 1 1 1	BUNE (9) (2)	1,294 (112)	DE DE DE DE DE DE DE DE	F	Met FSB 27 (9) 37 (6) 37 (6) 37 (6) 38 (6) (7) (7) (8) 38 (6) (7) (7) 38 (6) (7) (7) 38 (6) (7) (7) 38 (6) (7) (7) 38 (7) (7) (8) (8) 38 (7) (8) (8) (8) (8) 38 (7) (8) (8) (8) (8) (8) 38 (7) (8) (8) (8) (8) (8) (8) (8) 70 (8) (8) (8) (8) (8) (8) (8) (8) (8) (8)	### Chickensy ### Chickensy	156 (124) 1.564 (148) 1.564 (148) 2.684 (148) 2.695 (129) 2.695 (Wast		155 161 151	Gross Butthobia 1 21 121 5 20 1 1519 5 20 1 1519 1 172 1 1201 1 2 2 2 3 1 2,044 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2 3 2
1-10	MARINE ARTS MARINE MAR	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 8 SF (6 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTSGARBAGE/RECYCLE EXCLUSION: 288,021 SF (26,759 m2) GFA: 288,031 SF (26,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 445,405 SF (41,407 m2) 445,445 SF (41,407 m2) 445,445 SF (41,407 m2) 445,455 SF (71 m2) BUH Borus 445,455 SF (71	1 1 1 1 1 1 1 1 1 1	BUNE (9) (2)	1,294 (112)	DESCRIPTION	F	Met FSB 27 (9) 37 (6) 37 (6) 37 (6) 38 (6) (7) (7) (8) 38 (6) (7) (7) 38 (6) (7) (7) 38 (6) (7) (7) 38 (6) (7) (7) 38 (7) (7) (8) (8) 38 (7) (8) (8) (8) (8) 38 (7) (8) (8) (8) (8) (8) 38 (7) (8) (8) (8) (8) (8) (8) (8) 70 (8) (8) (8) (8) (8) (8) (8) (8) (8) (8)	### Chickensy ### Chickensy	156 (124) 1.564 (148) 1.564 (148) 2.684 (148) 2.695 (129) 2.695 (Wast		155 [62] 157	Gress Routshoke 14 137 5 207 (598) 5 207 (598) 1 19 (102) 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2
1-30	MARINE ARTS MARINE MAR	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 8 SF (6 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTSGARBAGE/RECYCLE EXCLUSION: 288,021 SF (26,759 m2) GFA: 288,031 SF (26,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 445,405 SF (41,407 m2) 445,445 SF (41,407 m2) 445,445 SF (41,407 m2) 445,455 SF (71 m2) BUH Borus 445,455 SF (71	100 100	BUNE (9) (2)	1,294 (112)	DE DE DE DE DE DE DE DE	E	Met 1730 37 (9) 37 (9) 38 (66) (127) (0) (0) 20.0039 (1,442) 21,2504 (1,442) 22,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,467 (1,179) 24,470 (1,479) 24,470 (1	### Chickensy ### Chickensy	156 (124) 1.564 (148) 1.564 (148) 2.684 (148) 2.695 (129) 2.695 (Wast		155 (141 153 154	Gross Butthobies 44 133 5 20 1598 5 20 1598 5 20 1598 5 22 23 1 2,044 2 2 23 1 2,045 2 2 23 1 2,045 2 3 3 605 (2,09) 2 3 1 5 605 (2,09) 3 1 605 (2,09) 5 1 4 291 (2 1 1 1) 1 5 205 (1,01) 1 1 5 205 (1,01) 1 1 5 205 (1,01) 1 1 5 205 (1,01) 1 1 5 205 (1,01) 1 1 5 205 (1,01) 1 5 205 (1,01) 1 6 20 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2
1-90	MARINE ARTS MARINE MAR	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 8 SF (6 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTSGARBAGE/RECYCLE EXCLUSION: 288,021 SF (26,759 m2) GFA: 288,031 SF (26,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 445,405 SF (41,407 m2) 445,445 SF (41,407 m2) 445,445 SF (41,407 m2) 445,455 SF (71 m2) BUH Borus 445,455 SF (71	1 1 1 1 1 1 1 1 1 1	BUNE (9) (2)	1,294 (112)	Description	Face	Met 158 37 (9) 37 (9) 38 (66) (127) (0) 20.003 (1,442) 21,268 (1,456) 22,109 (1,456) 21,268 (1,456) 21,268 (1,456) 21,268 (1,456) 21,269 (1,456) 2	### Chickensy ### Chickensy	156 (124) 1.564 (148) 1.564 (148) 2.684 (148) 2.695 (129) 2.695 (Wast		155 (141 153 154	Gross Rudinbles 44 133 5 207 (1998) 5 207 (1998) 5 207 (1998) 5 22 233 (1998) 2 2 233 (1998) 2 2 233 (1998) 2 3 3 409 (1998) 3 3 409 (1999) 5 3 4 4 5 9 (1998) 1 5 3 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
1-90	MARINE ARTS MARINE MAR	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 8 SF (6 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTSGARBAGE/RECYCLE EXCLUSION: 288,021 SF (26,759 m2) GFA: 288,031 SF (26,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 445,405 SF (41,407 m2) 445,445 SF (41,407 m2) 445,445 SF (41,407 m2) 445,455 SF (71 m2) BUH Borus 445,455 SF (71	100 100	BUNK	1,394 (113)	DE DE DE DE DE DE DE DE	F	Met F5B 27 (9) 28 (9) 3 (66) (527) (9) 20.0738 (1,442) 21,264 (1,150) 24,650 (1,150) 24,650 (1,150) 24,650 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 26,657 (1,150) 2	### Chickensy ### Chickensy	156 (124) 1.564 (148) 1.564 (148) 2.684 (148) 2.695 (129) 2.695 (Wast		155 [62] 157	Gross Buttinble At 132) At 132) 5.007 (5.98) 5.007 (5.98) 1.172 (102) 2.1231 (1,04) 2.1231 (1,04) 2.1232 (1,04) 2.1232 (1,04) 2.1232 (1,04) 2.1232 (1,04) 2.1232 (1,04) 2.1232 (1,04) 2.1232 (1,04) 2.1232 (1,04) 2.1232 (1,04) 2.1232 (1,04) 2.1232 (1,04) 2.1232 (1,04) 2.1232 (1,04) 2.1232 (1,04) 3.1232 (1,04) 3.1232 (1,04) 3.1232 (1,04) 3.1232 (1,04) 3.1232 (1,04) 3.1232 (1,04) 3.1232 (1,04) 3.1232 (1,04) 4.123
1-30	MARINE ARTS MARINE MAR	AMENITY FSR: 0.05 FSR AREA: 8,104 SF (753 m2) EXCLUSION: 8 SF (6 m2) GFA: 8,104 SF (753 m2) PARKING/BIKESPACE/LOADING/ MECHANICAL/SHAFTSGARBAGE/RECYCLE EXCLUSION: 288,021 SF (26,759 m2) GFA: 288,031 SF (26,759 m2) TOTAL FSR: 3.00 (Exclude Amenity) 0.05 (Amenity) FSR AREA: 445,405 SF (41,407 m2) 445,445 SF (41,407 m2) 445,445 SF (41,407 m2) 445,455 SF (71 m2) BUH Borus 445,455 SF (71	100 100	BUNK	1,394 (113)	Description	F	Met F5B 27 (9) 28 (9) 3 (66) (527) (9) 20.0738 (1,442) 21,264 (1,150) 24,650 (1,150) 24,650 (1,150) 24,650 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 24,657 (1,150) 26,657 (1,150) 2	### Common	155 (27) 150	Wast	Mechanical Shafts	155 161 151	Gross Butthobia (1972) A 19 1319 A 20 1319
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APNO MATIS ARCHITECTURE 204-1540 W 2ND AVE, VANCOUVER, BC VAJ 1H2 T 604,708,0188

DP 21-945917 April 25, 2024 Plan # 3

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8851-8871 Elmbridge Way
Richmand, 8C

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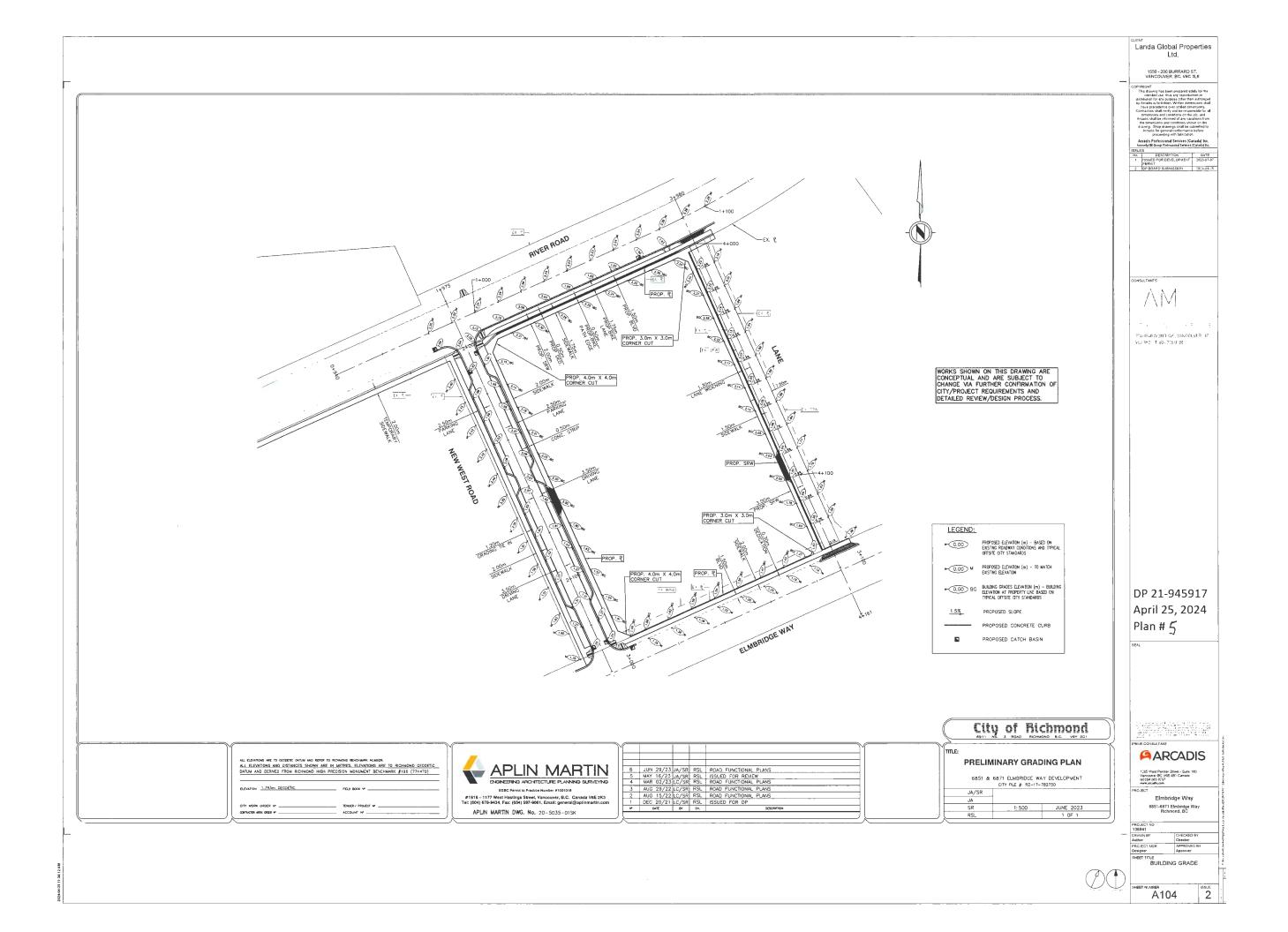
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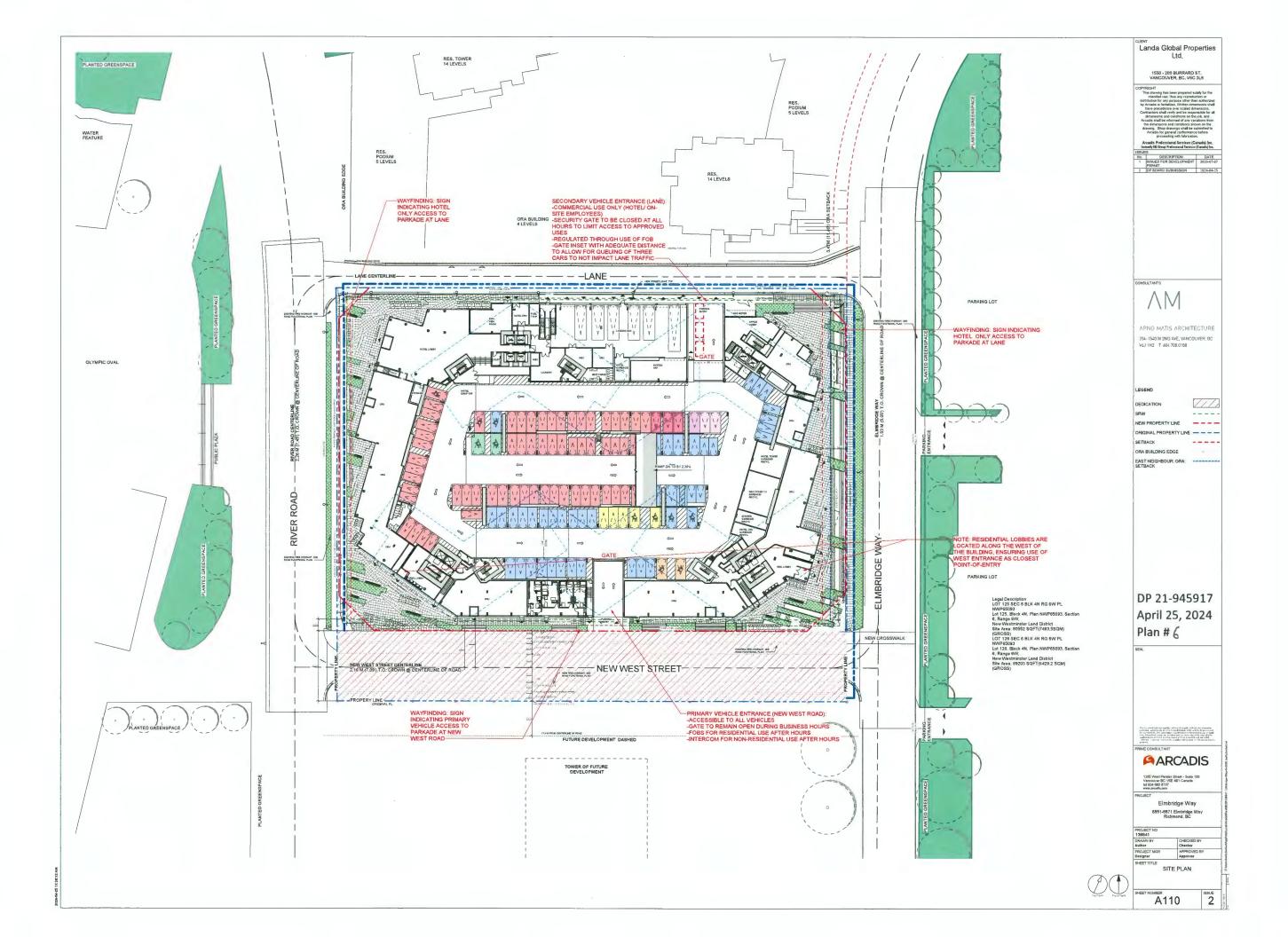
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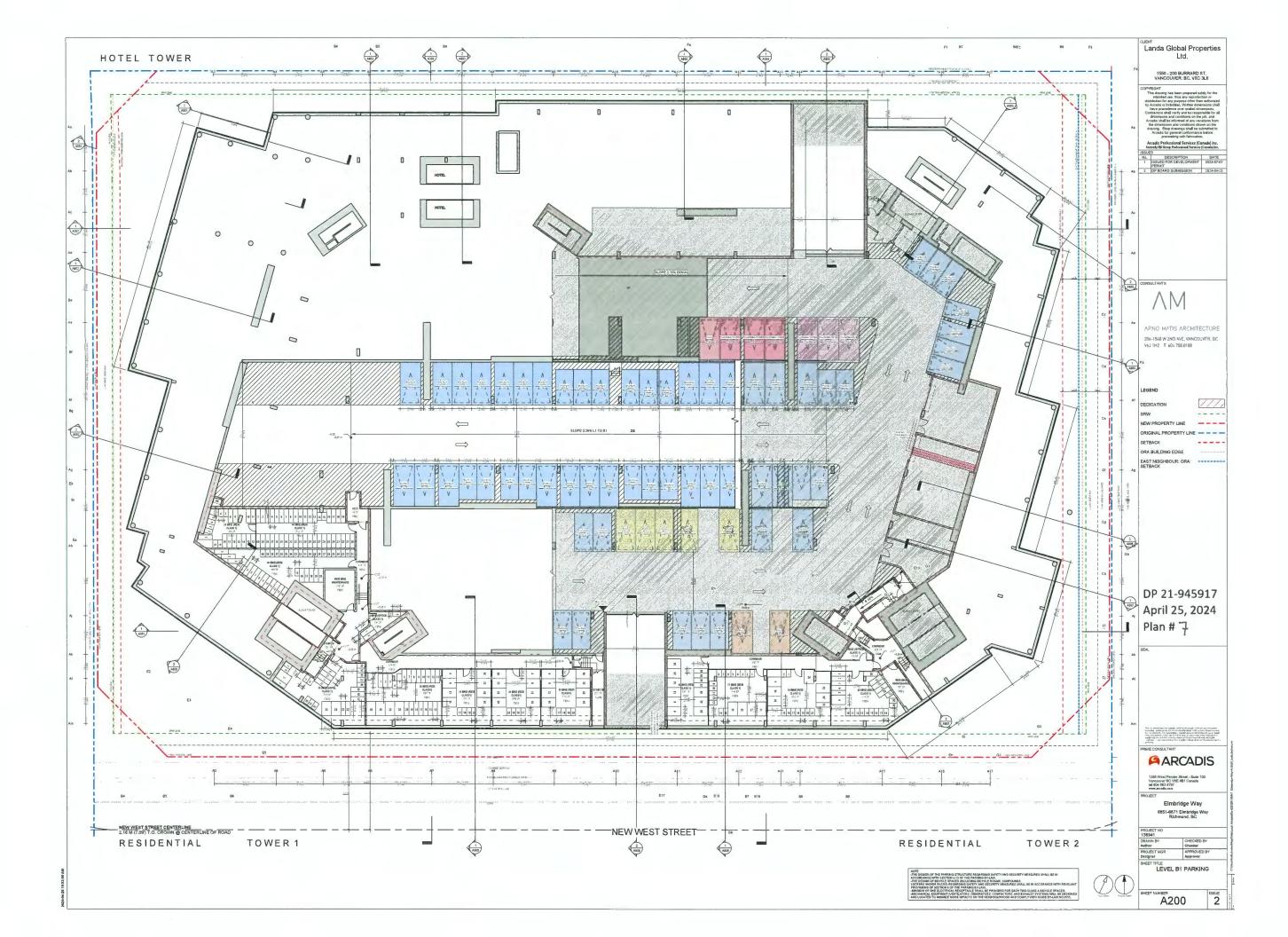
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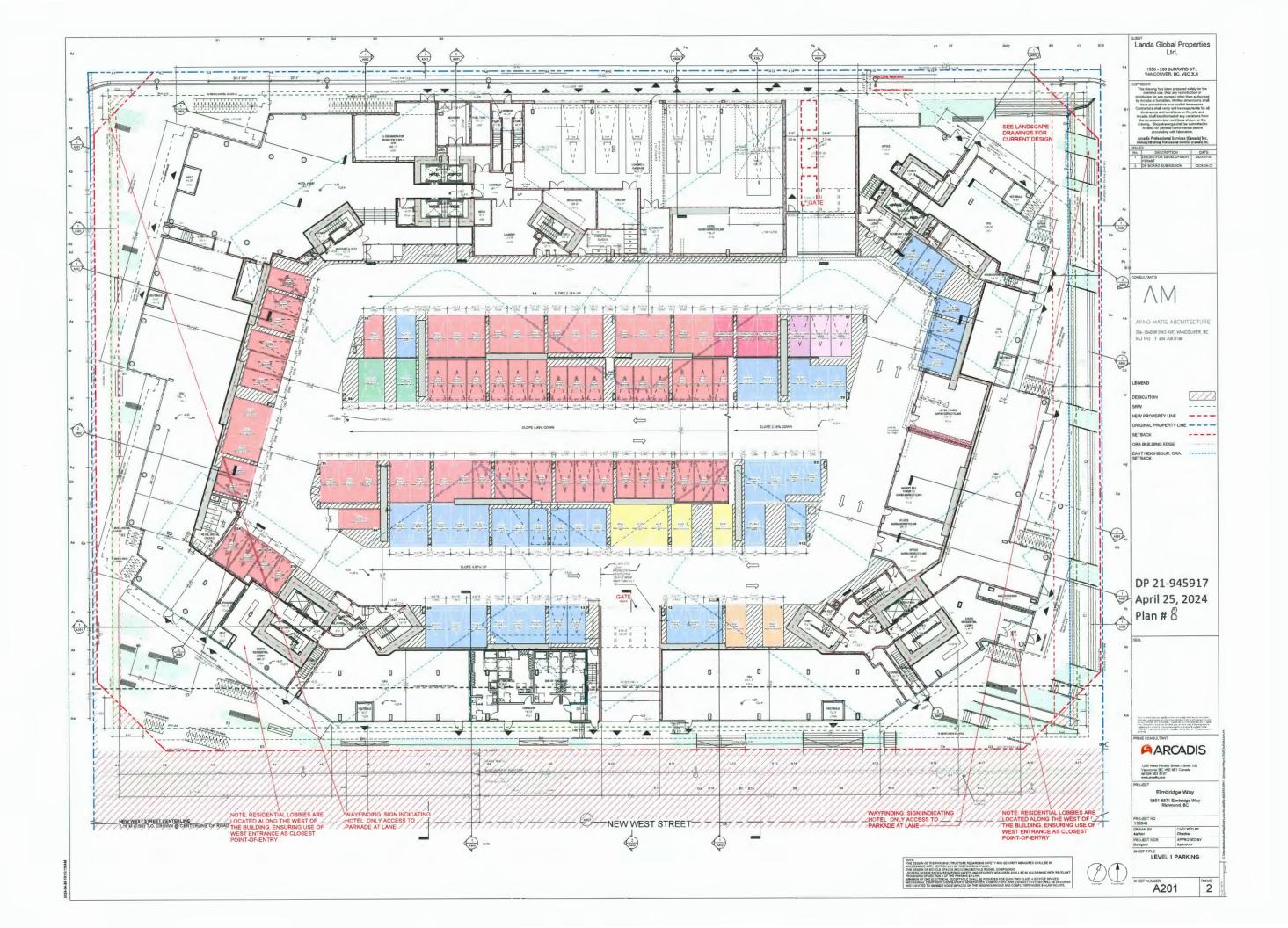
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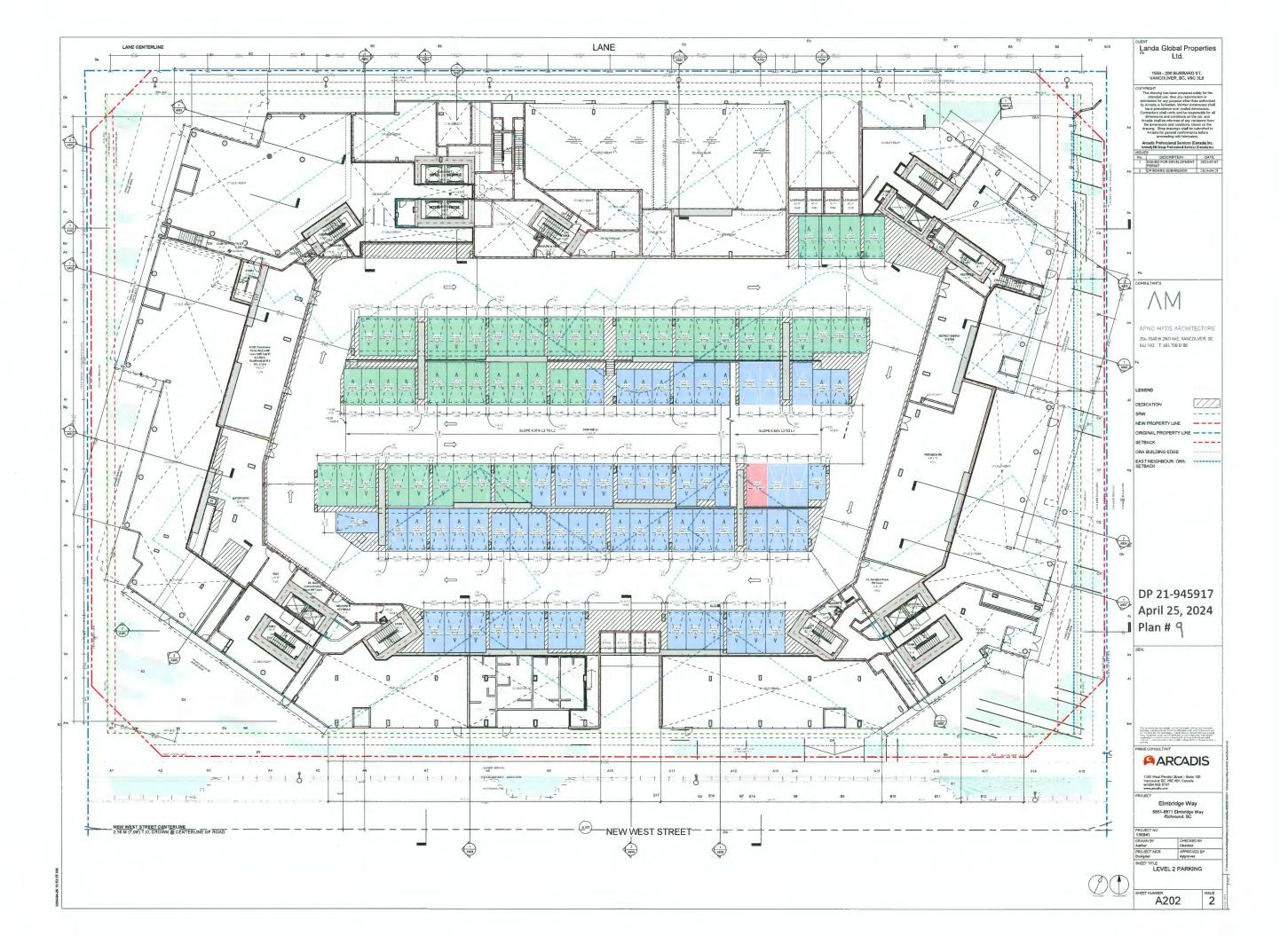
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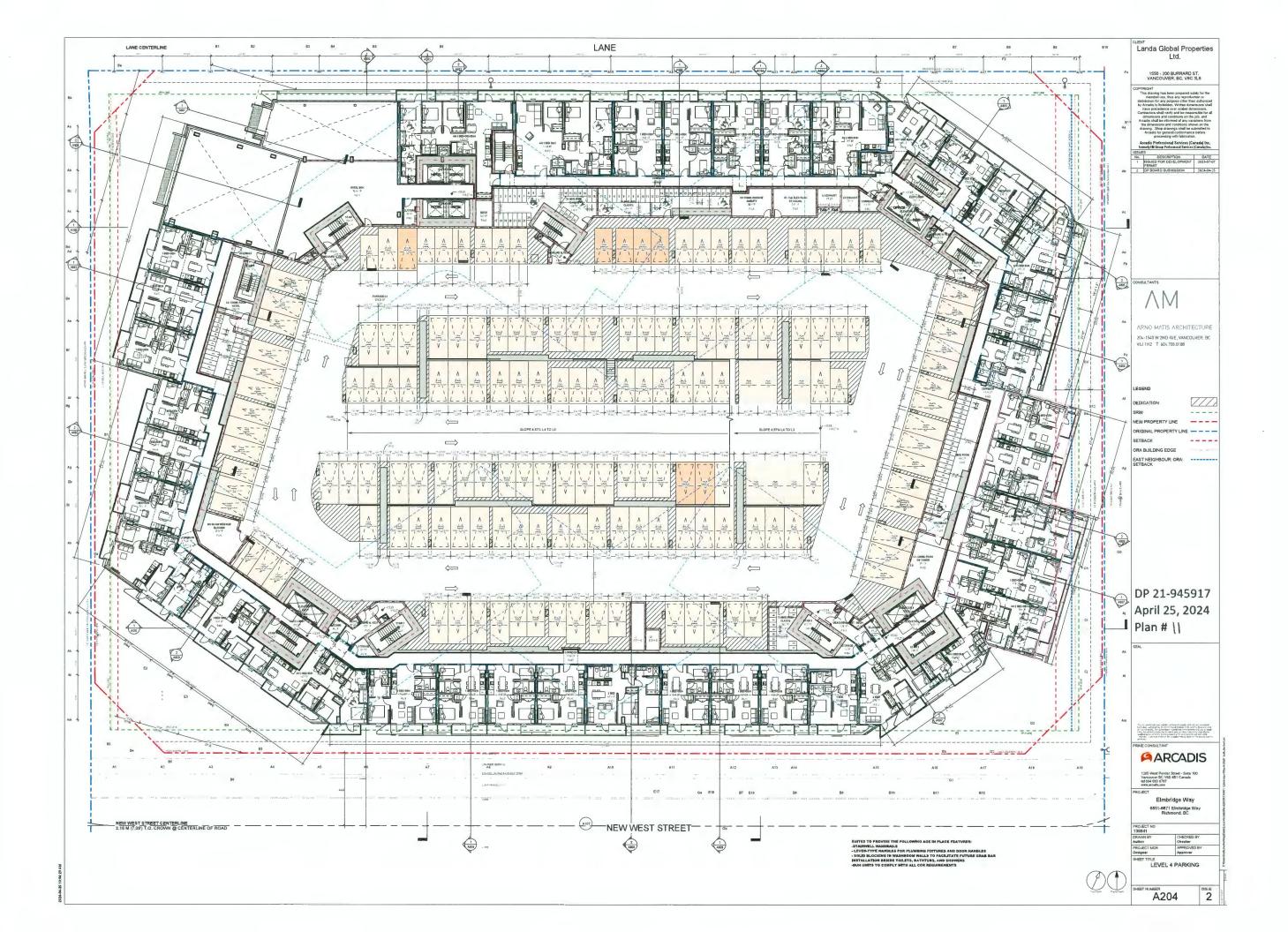


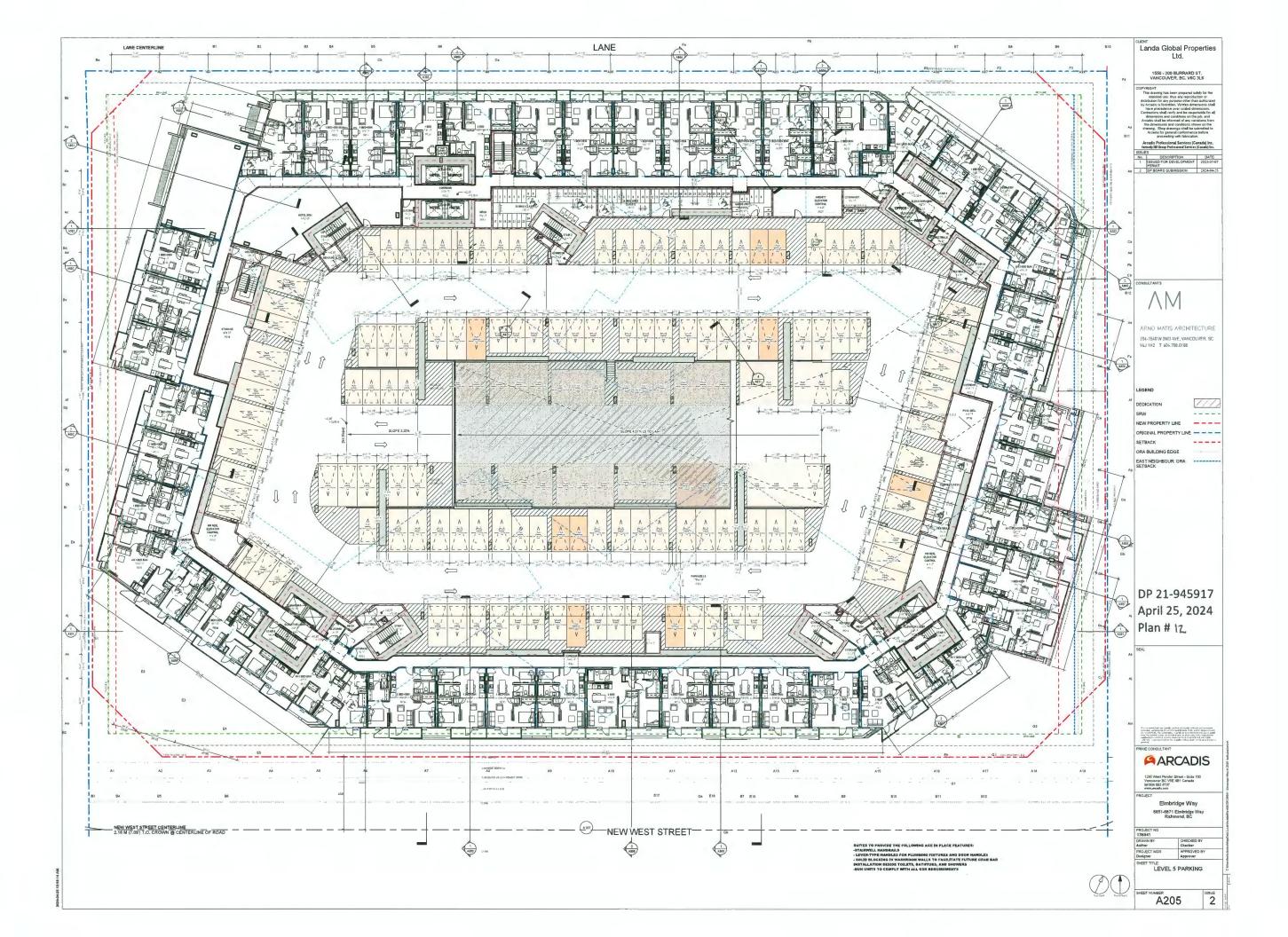


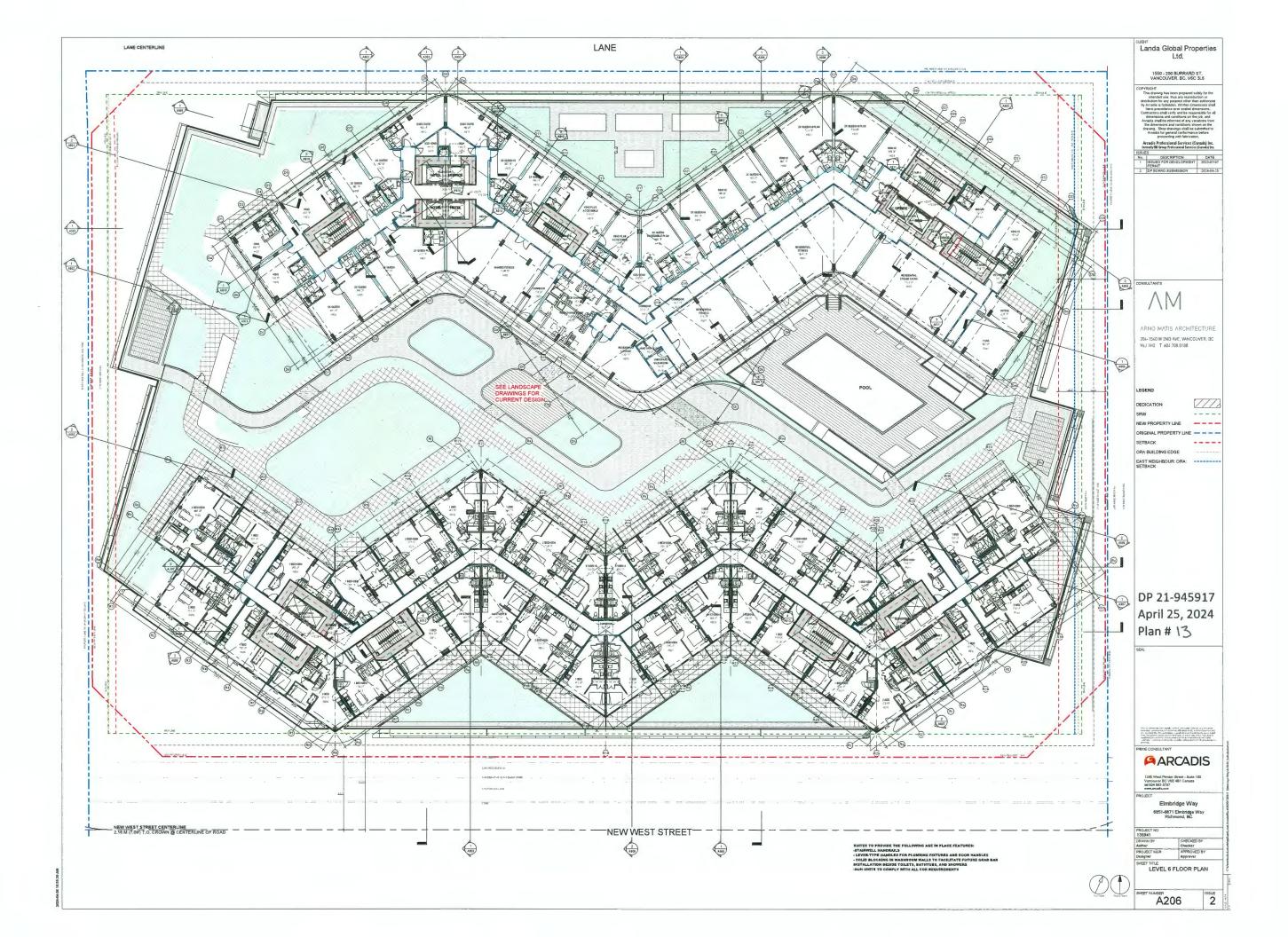


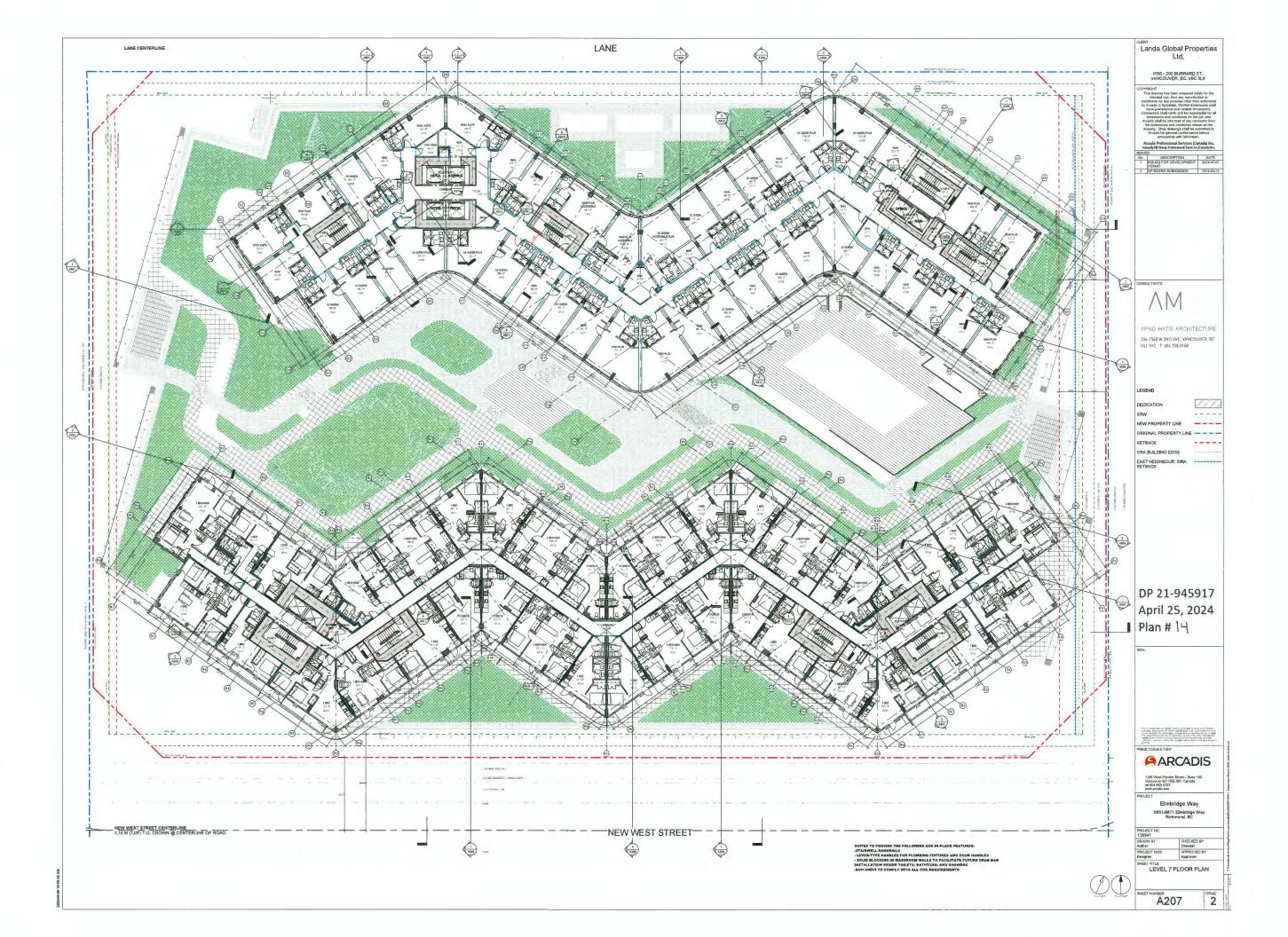


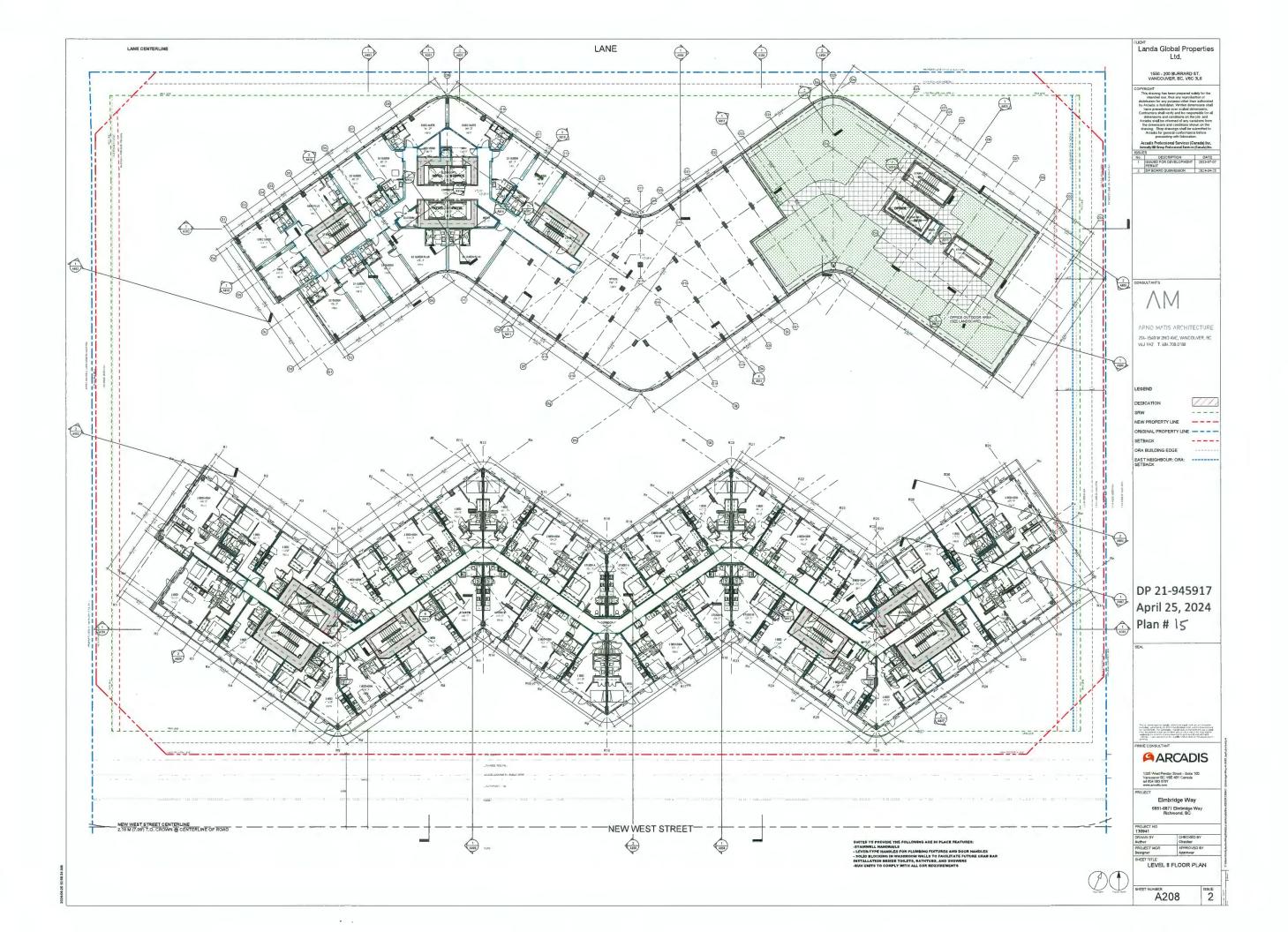


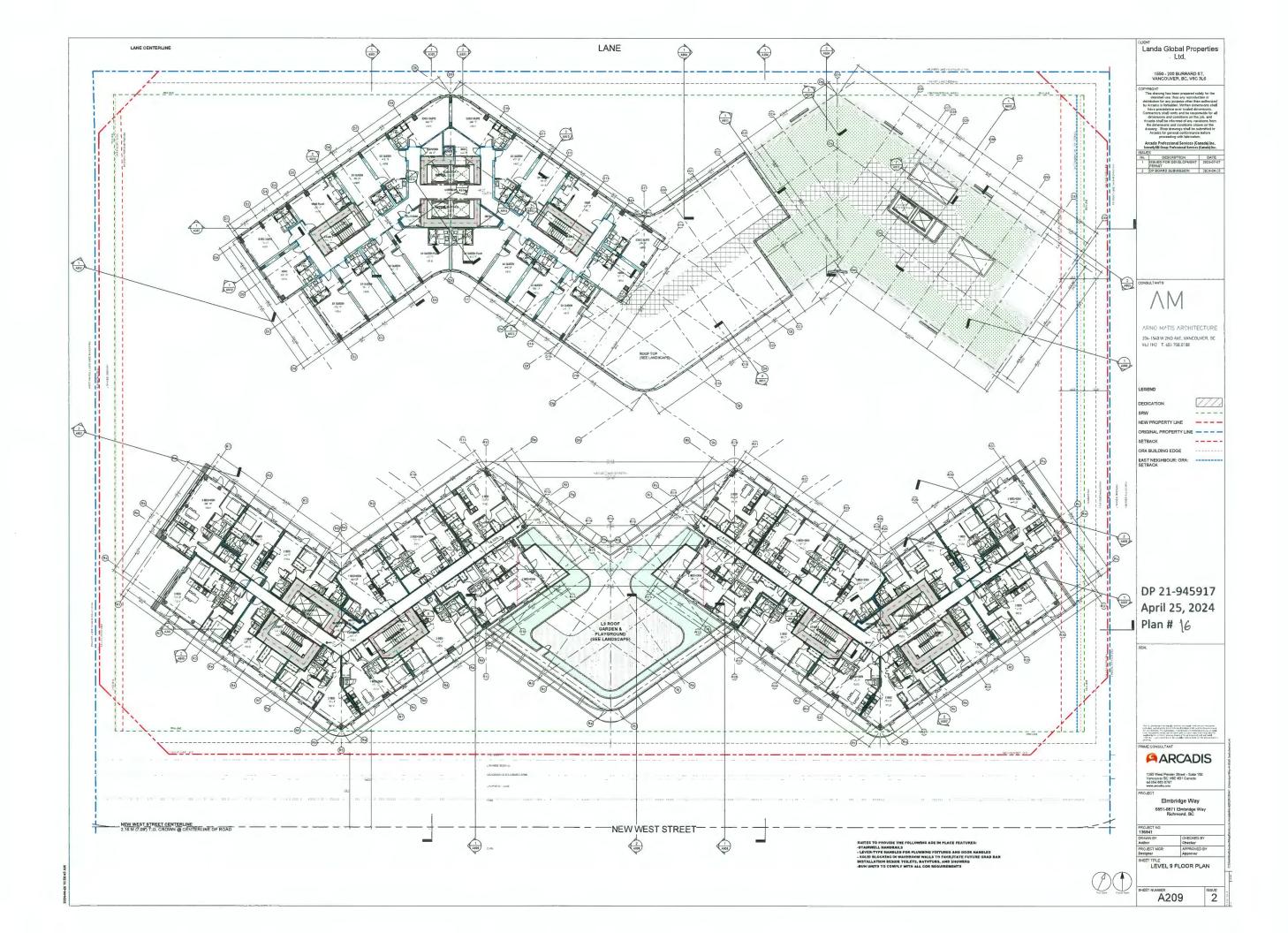


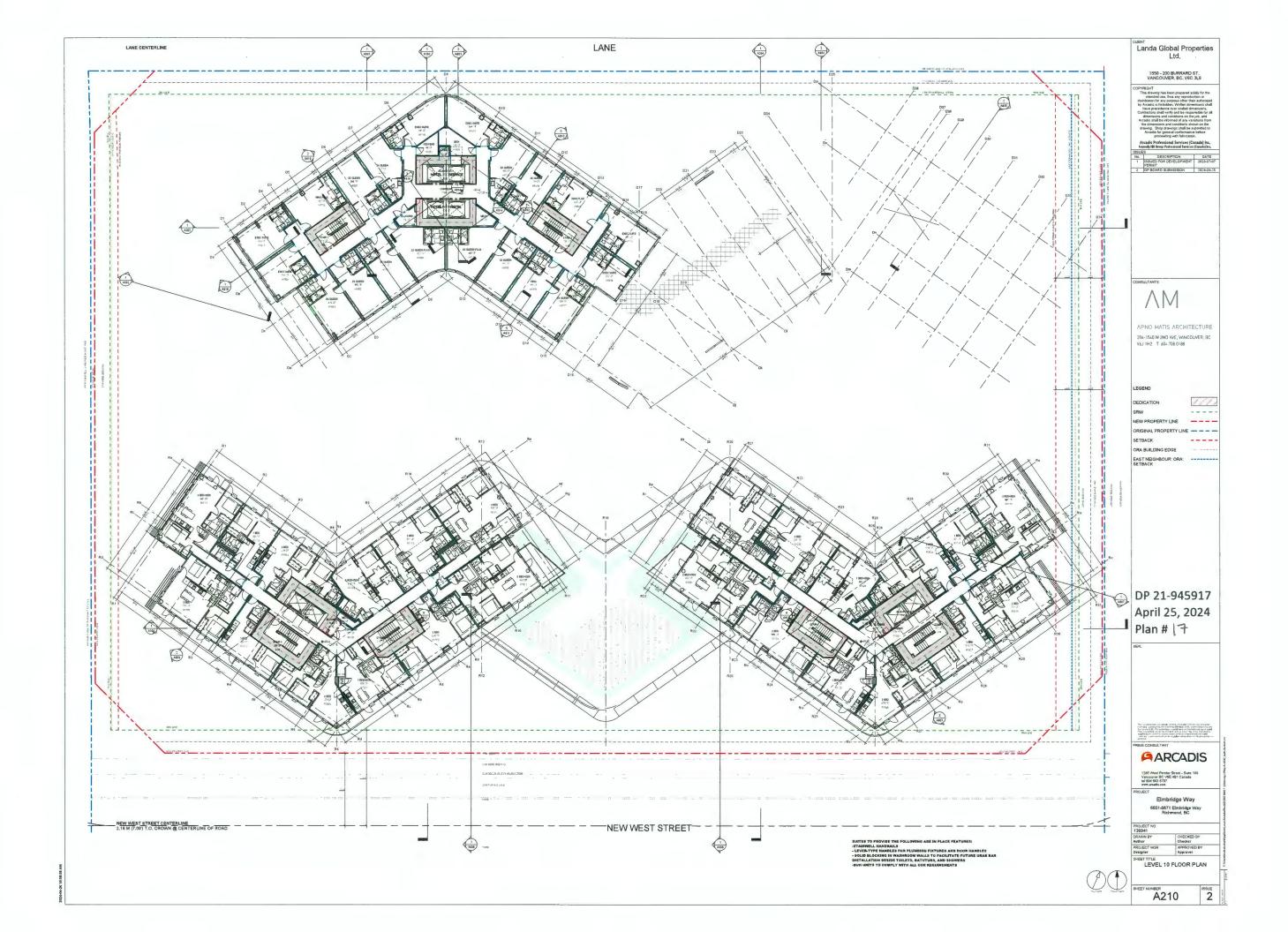


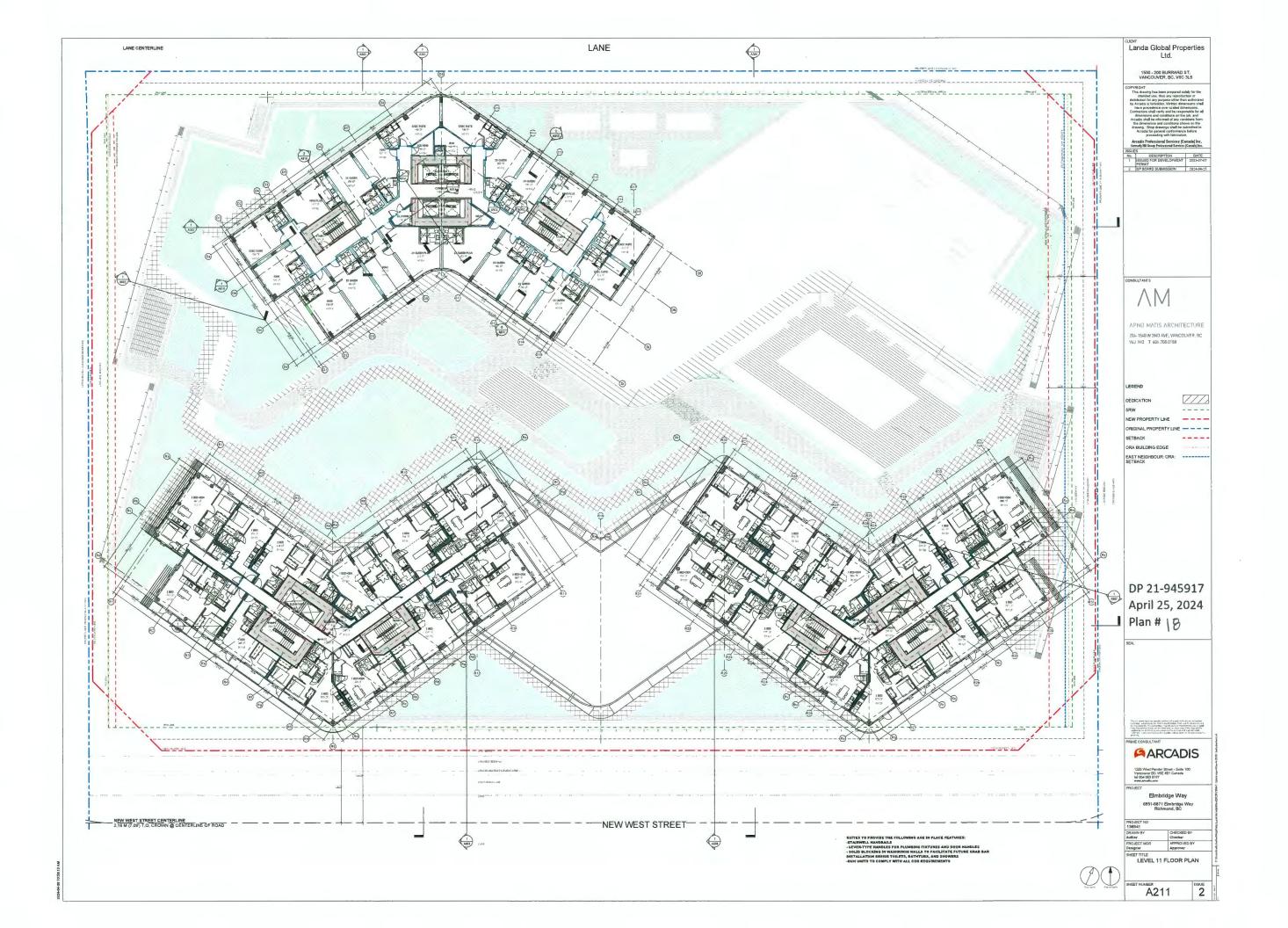


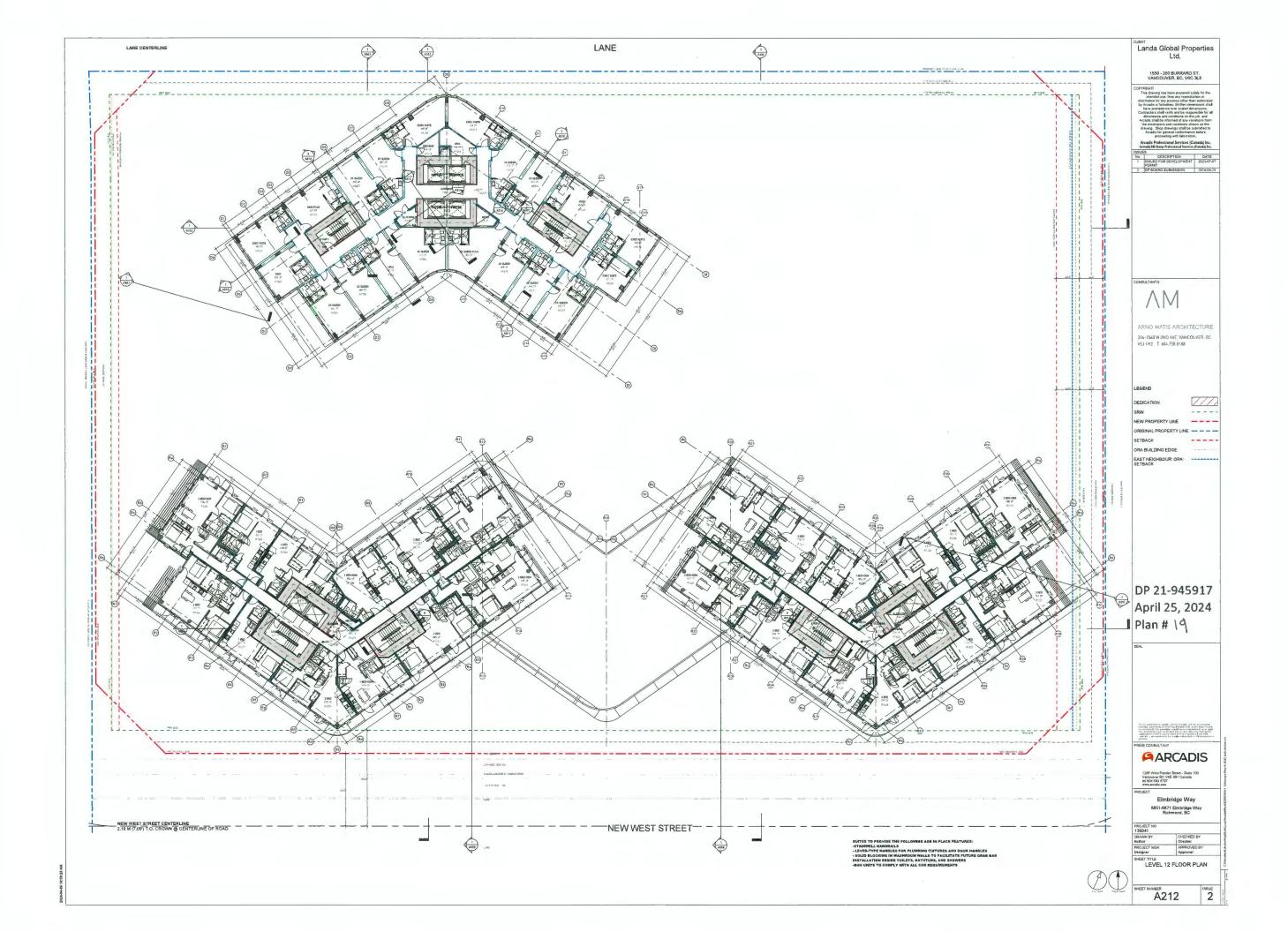


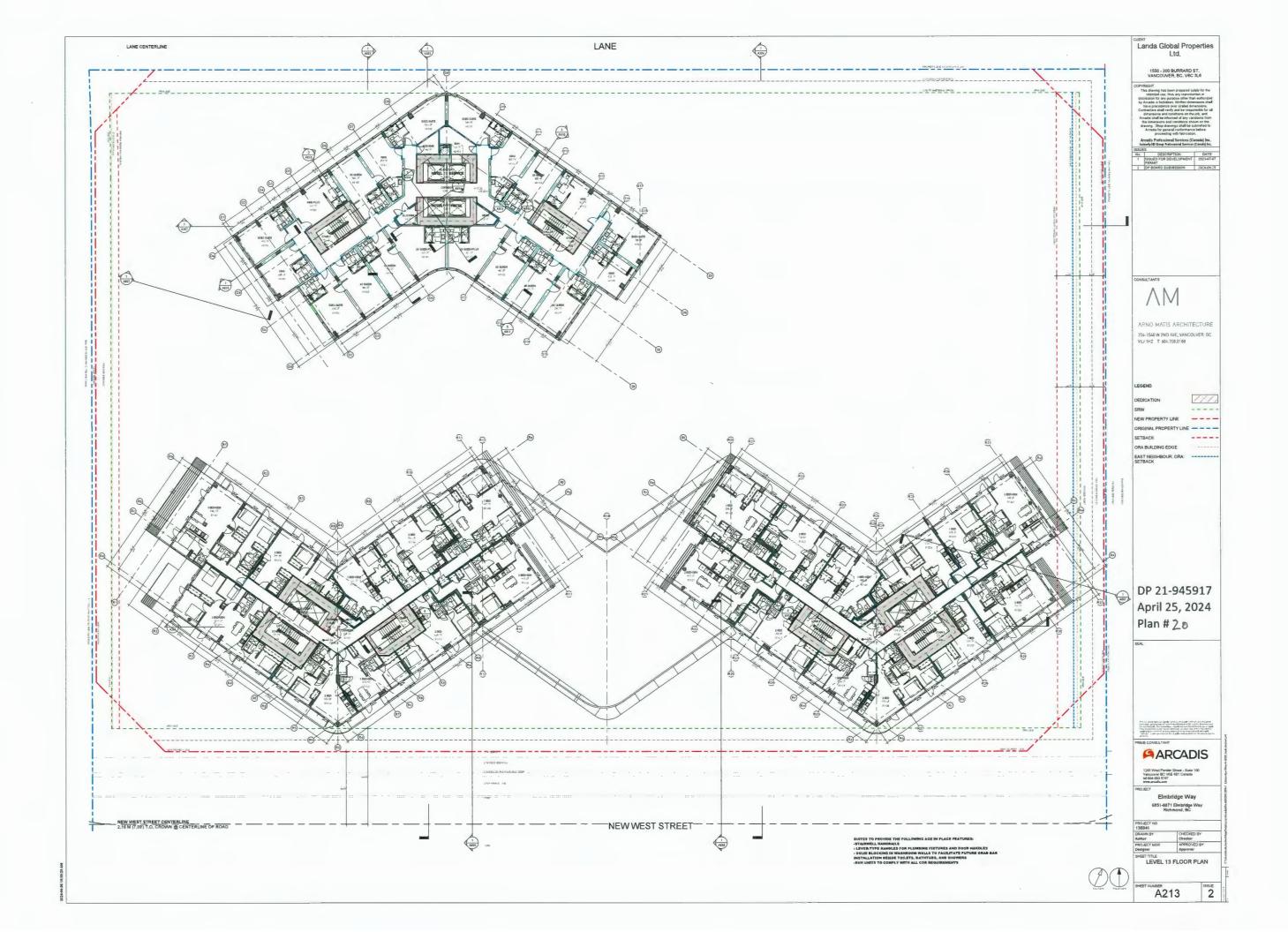


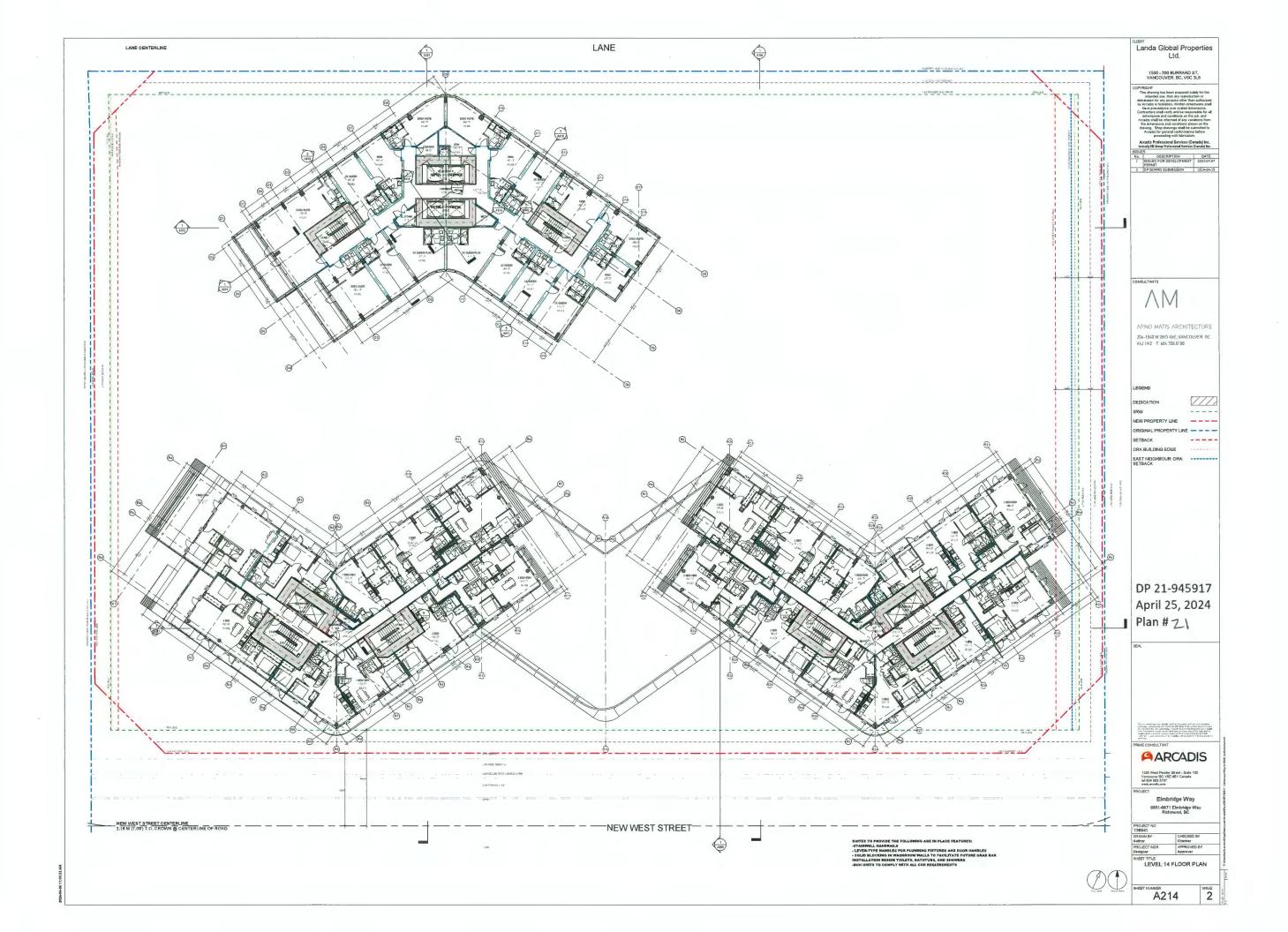


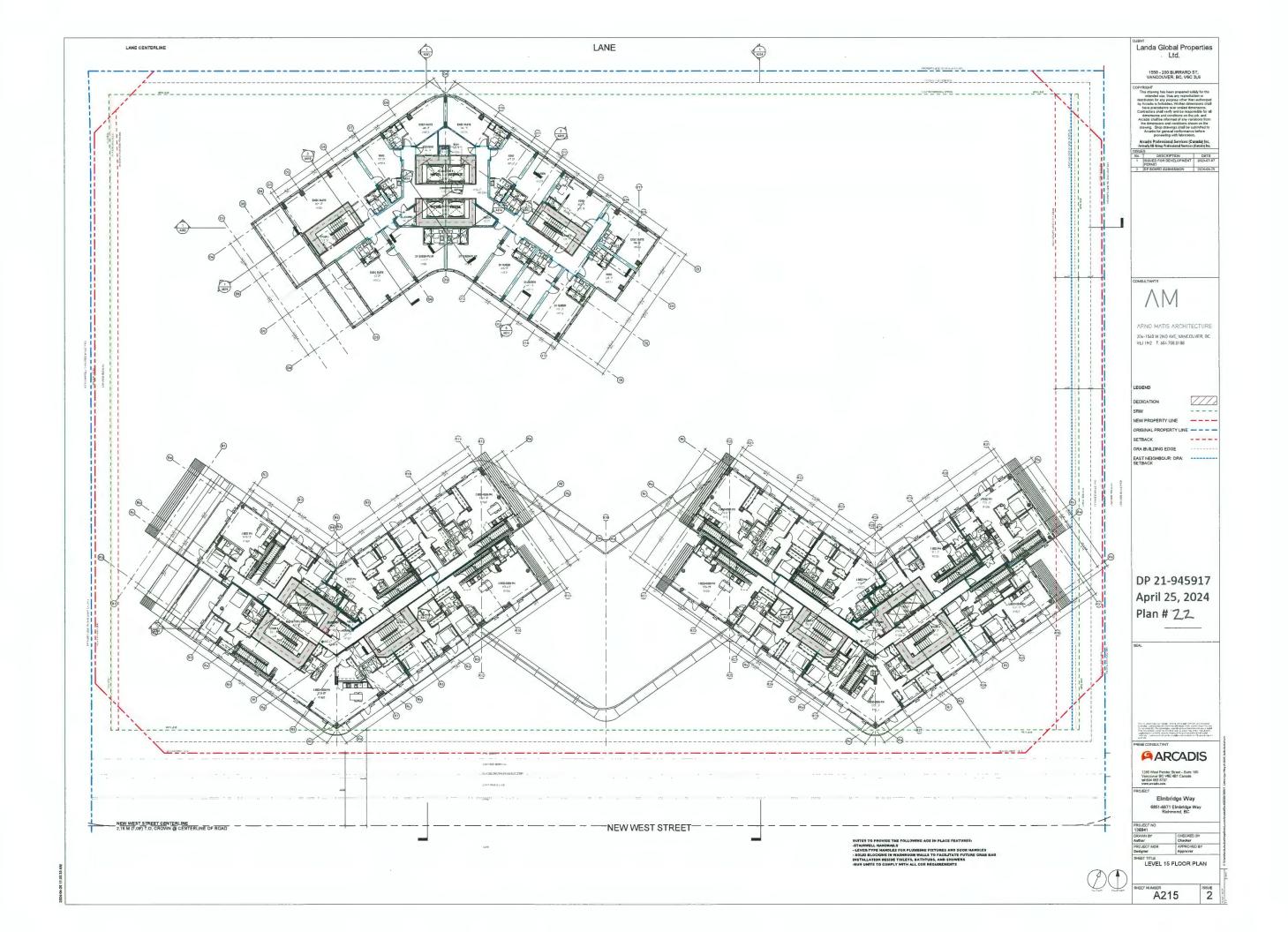


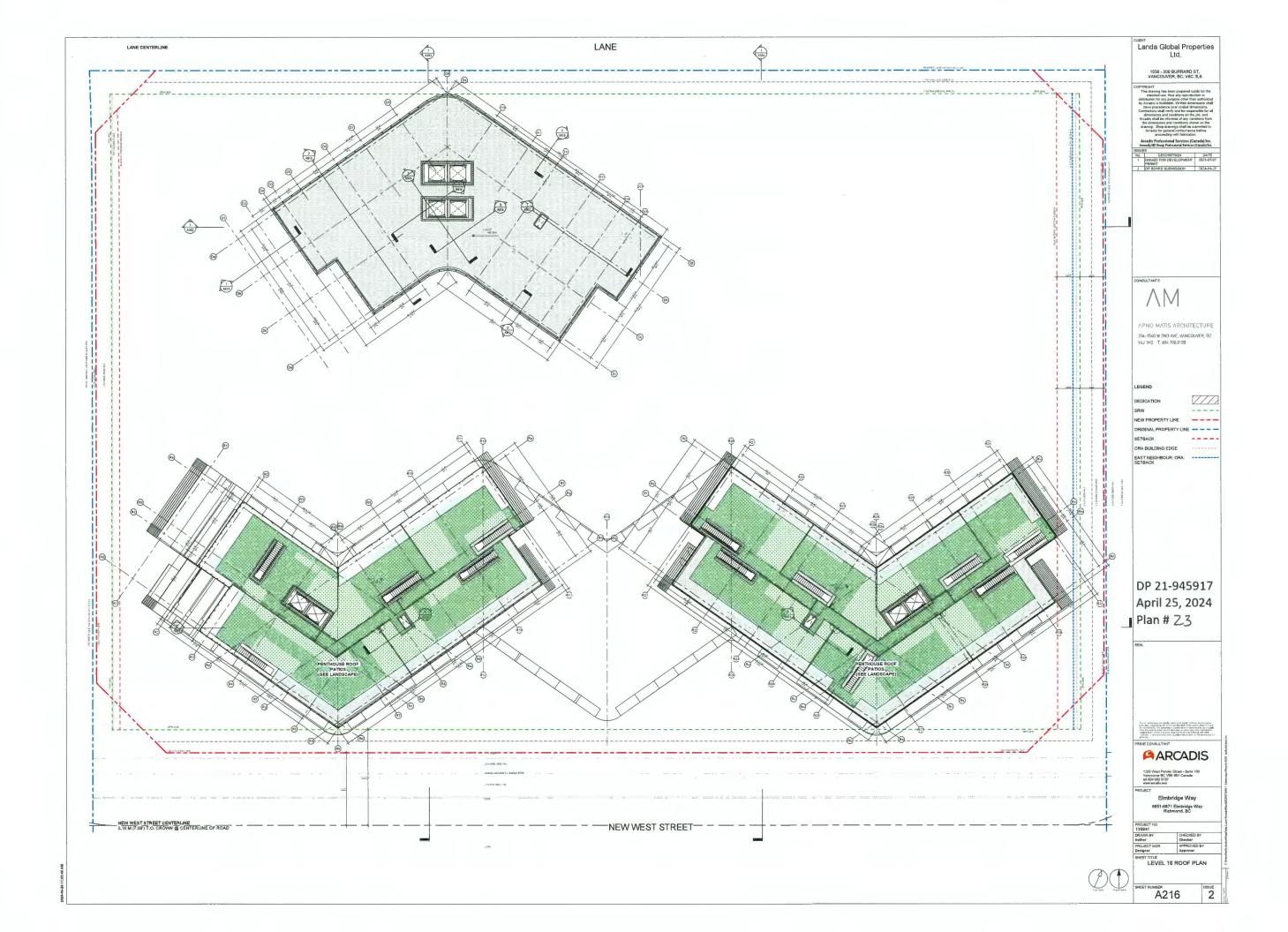


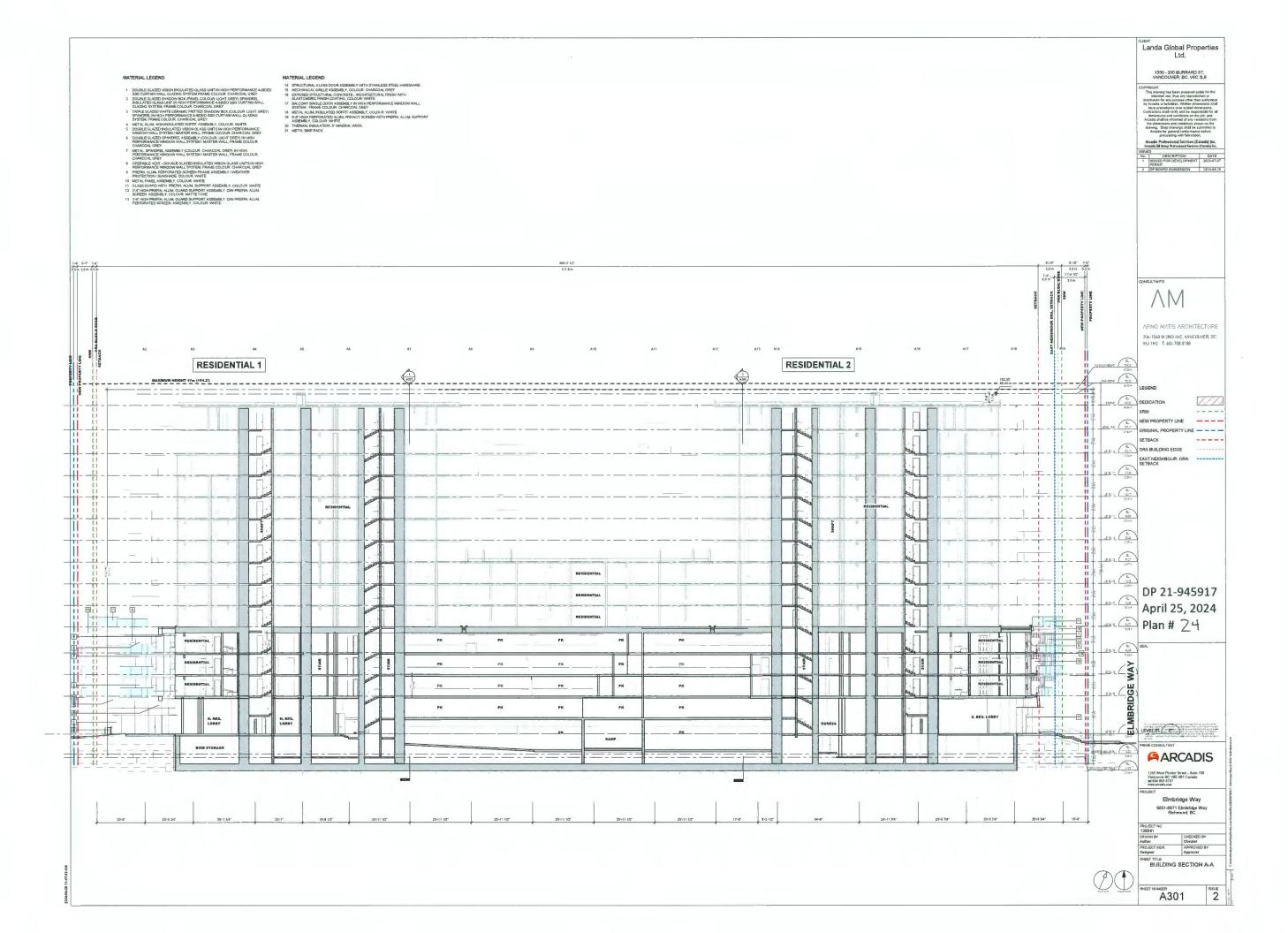


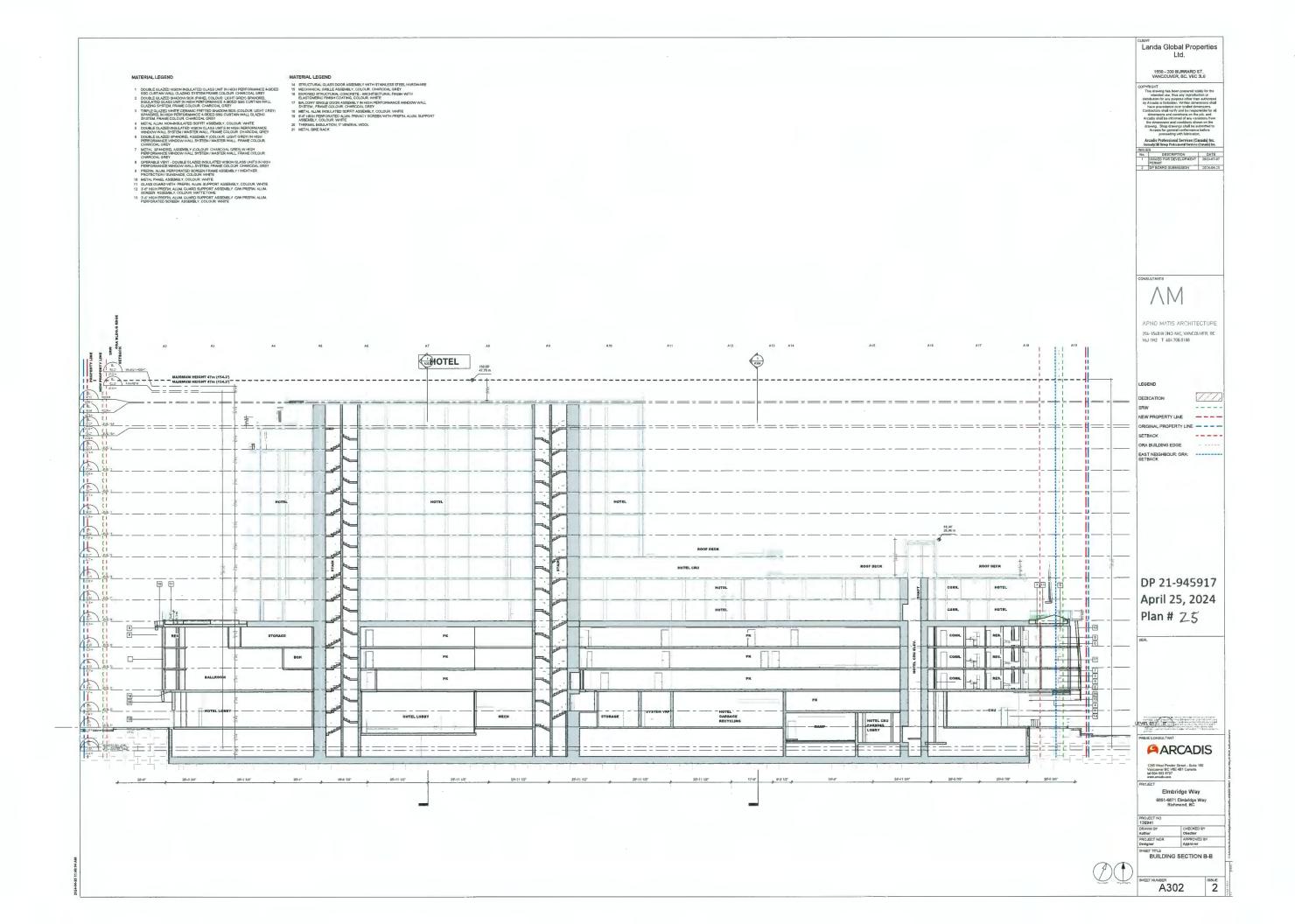


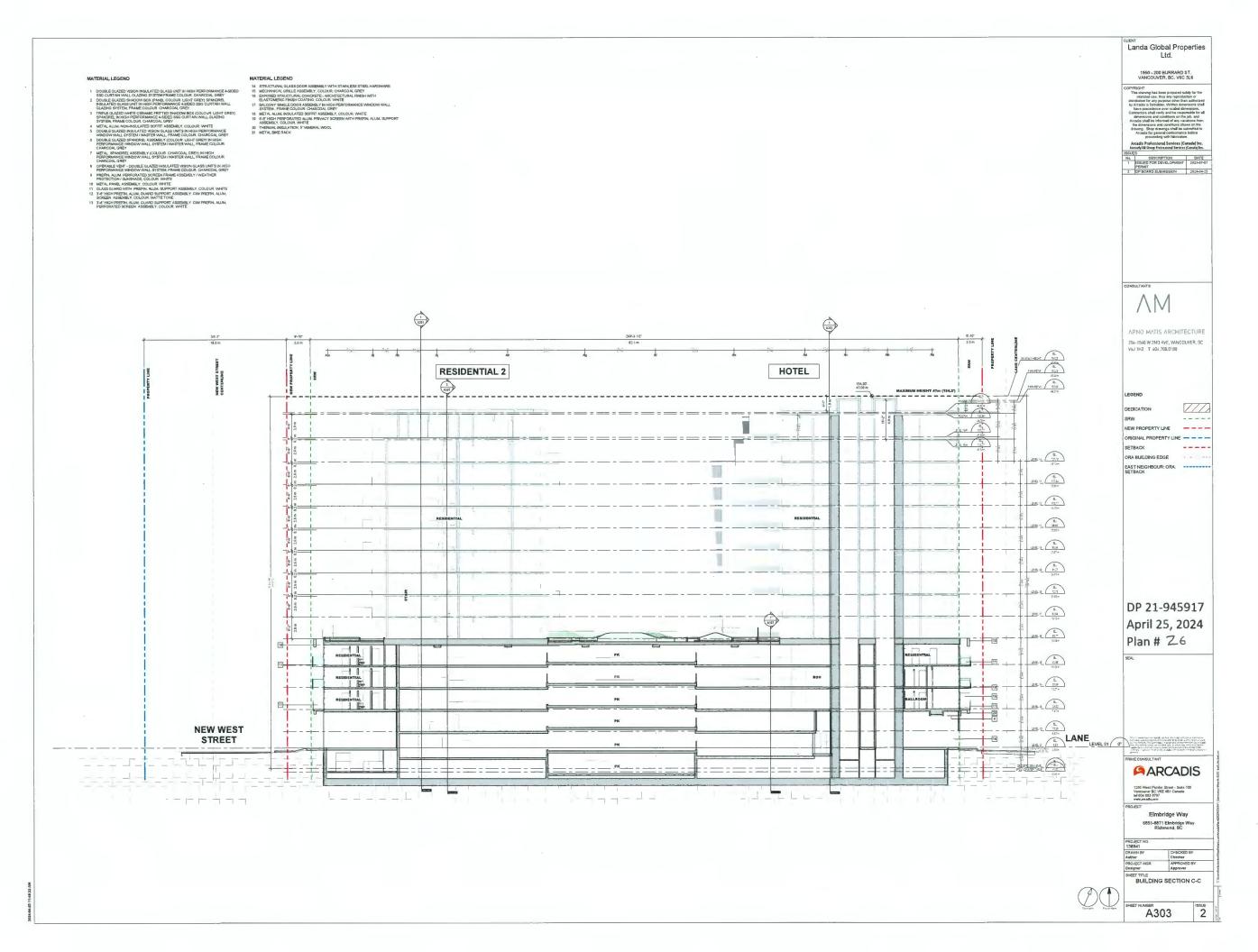












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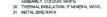
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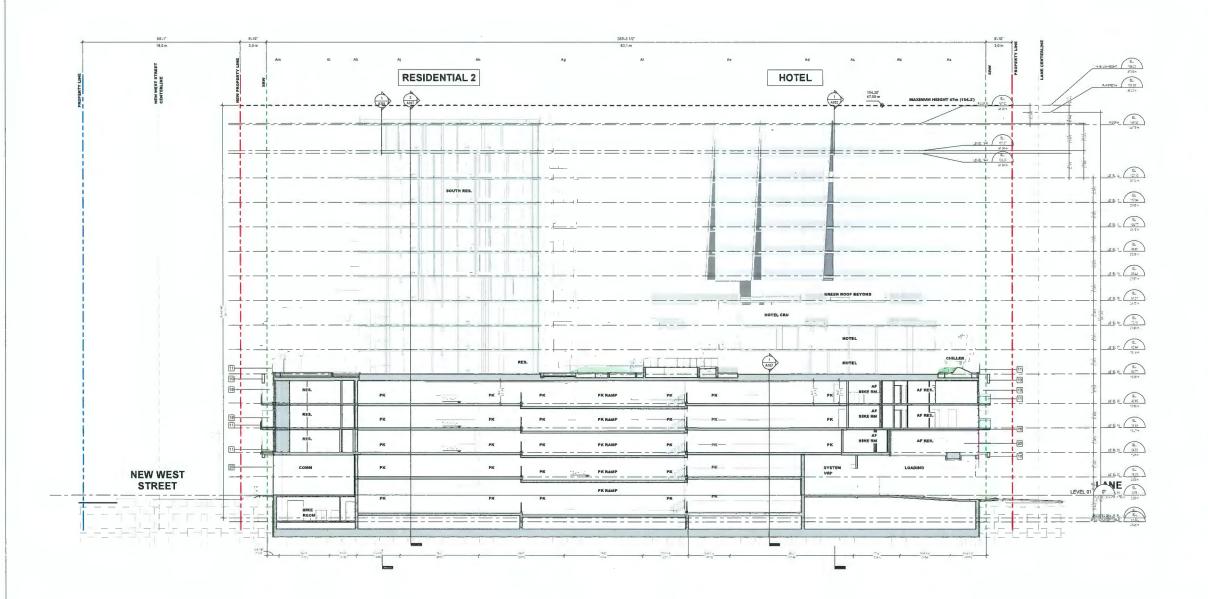
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ARNO MATIS ARCHITECTURE 204-1540 W 2NO 4VE, VANCOUVER, BC V6J 1H2 T 604.708.0188

11/1 DEDICATION ----NEW PROPERTY LINE ----ORIGINAL PROPERTY LINE - - - -SETBACK ORA BUILDING EDGE

EAST NEIGHBOUR: ORA: ---SETBACK

DP 21-945917 April 25, 2024 Plan # 27

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Elmbridge Way 6851-6871 Elmbridge Way Richmond, BC

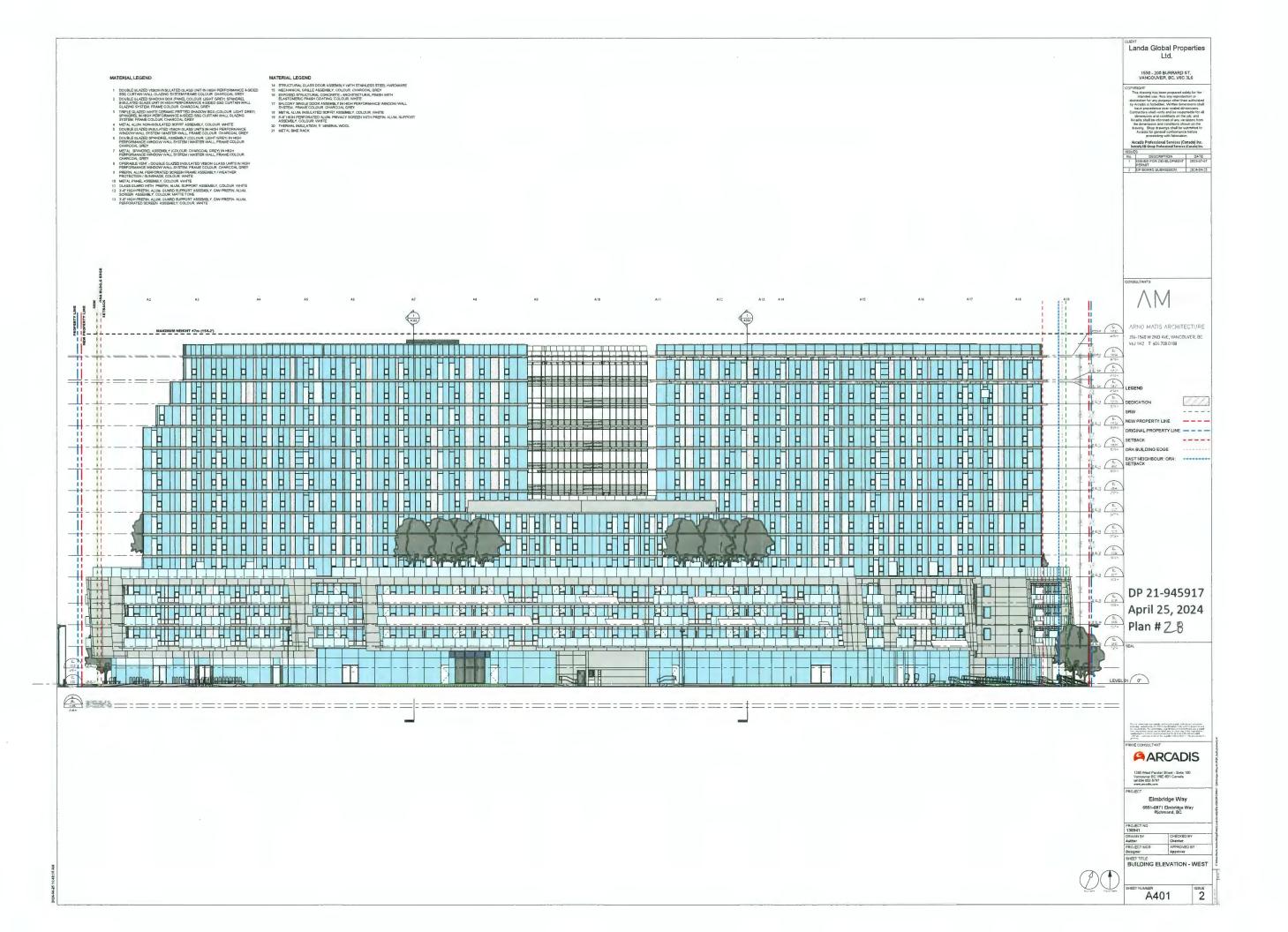
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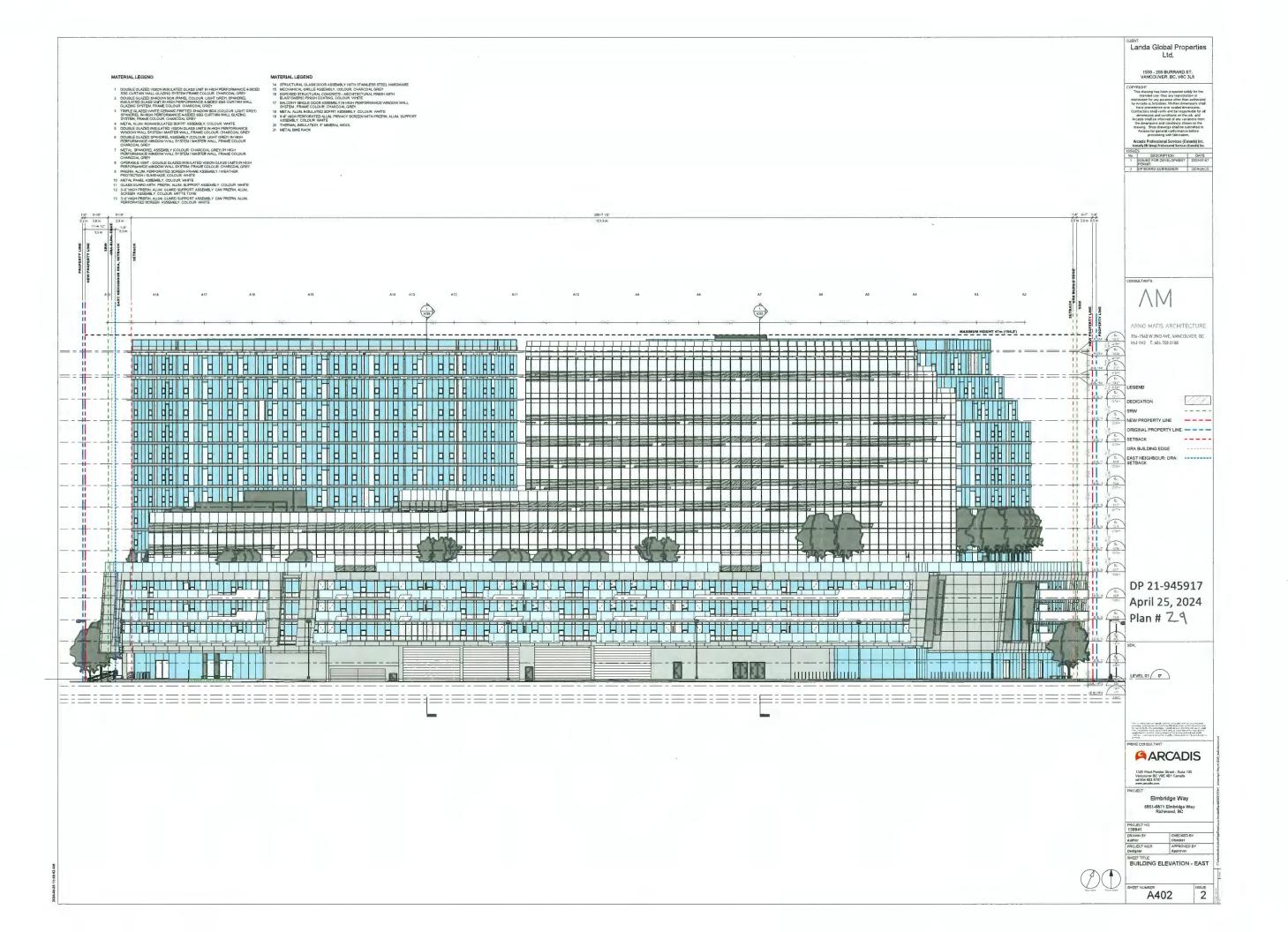
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Approver

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BUILDING SECTION D-D

1SSUE A304





- DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GUAZING SYSTEM FRAME COLOUR CHARCOAL GREY OURSEL GUAZING SHOWS SHOWN SOME COLOUR GUAZING GREY SHANDON SOME COLOUR GUAZING GREY SHANDON STANDER COLOUR GUAZING WALL THE GLAZEN SOME STANDER COLOUR GUAZING GREY SHANDON STORE LIN HICH PERFORMANCE 4-SIDED SSG CURTAIN WALL GUAZING SYSTEM FRAME COLOUR CHARCOLOUR STANDER COLOUR CHARCOLOUR STANDER COLOUR CHARCOLOUR CHARCOLOUR STANDER COLOUR CHARCOLOUR STANDER COLOUR CHARCOLOUR STANDER COLOUR STANDER CHARCOLOUR CHARCOLOUR CHARCOLOUR CHARCOLOUR CHARCOLOUR STANDER CHARCOLOUR CHARCOLO

- PERSONNERS WAS AND THE GLAZED BISLATED WISON GLASS UNITS IN HOM-PEPFORMANCE WHO WAYLL SYSTEM FRAME COLOUR CHARCOAL GREY PRESEN ALLAN EPFORATED SCREEN FRAME ASSEMBLY WIGHTHEN PROTECTION SUMSHADE COLOUR WHITE CHARCOAL GREY PROPERTIES AND STATE OF THE ST

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARD 15 MECHANICAL GRILLE ASSEMBLY, COLOUR, CHARCOAL GREY 16 EXPOSED STRUCTURAL CONCRETE ARCHITECTURAL FINISH WITH BLASTOMERIC FINISH COATING, COLOUR, WHITE

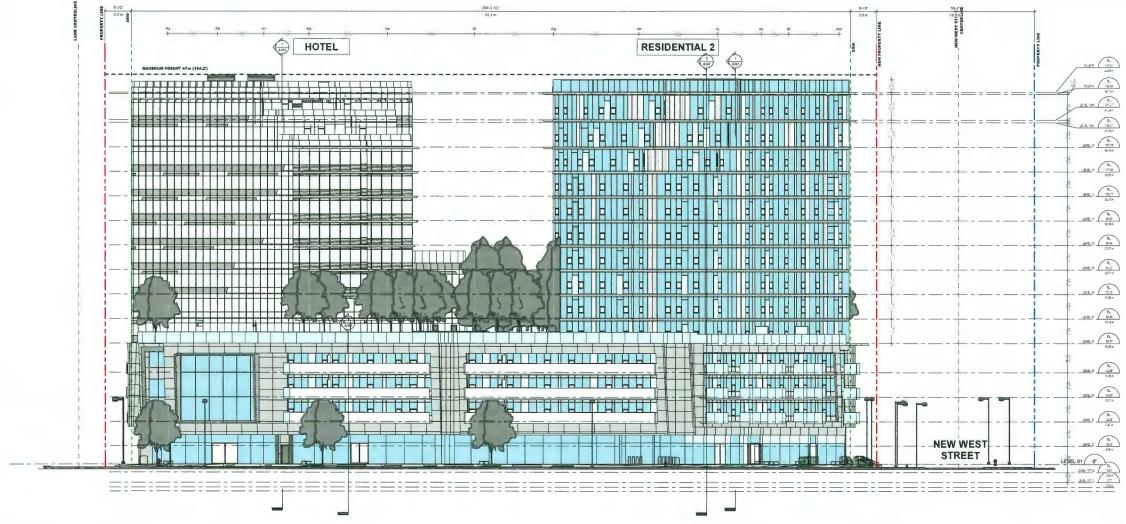
- BLASS LAMBRICE PRISEN CONTING, COLOUR WHITE IS BALCOMY ROUTE DOOR ASSEMILY IN NON-PERFORMANCE WINDOW WALL SYSTEM, FRAME COLOUR CHARCOAL GREY

 18 MET ALLANI, HISUALTED DOFFT, ASSEMBLY, COLOUR, WHITE

 19 #3" HIGH REFEORATED ALUM PRIVACY SCREEN WITH PREFIN, ALUM, SUPPOR ASSEMBLY, COLOUR WHITE

 ASSEMBLY, COLOUR WHITE

PERMIT
2 DP BOARD SUBMISSION 2024-04-25



$\wedge M$

APNO MATIS ARCHITECTURE 204-1540 W 2ND AVE, VANCOUVER, 9C V6J 1H2 T. 604,708,0188

Landa Global Properties

1550 - 200 BURRARD ST, VANCOUVER, BC, V6C 3L6

----NEW PROPERTY LINE ---ORIGINAL PROPERTY LINE - - - -SETBACK ORA BUILDING EDGE EAST NEIGHBOUR: ORA:

DP 21-945917 April 25, 2024 Plan # 30

This is well that a magazity, without a magazity with any with a magazity of the control of the

ARCADIS

Elmbridge Way 6851-6871 Elmbridge Way Richmond, BC

136941 DRAWN BY Author PROJECT MGR APPROVED BY Approver SHEET TITLE
BUILDING ELEVATION - NORTH

A403

Landa Global Properties Ltd. 1550 - 200 BURRARD ST. VANCOUVER, BC, V6C 3L6 MATERIAL LEGEND A STRUCTURAL GAASS COOR ASSESSE VITTH STANLESS STEEL HAND 1 STRUCTURAL GAASS COOR ASSESSE VITTH STANLESS STEEL HAND 1 SEVENSES STRUCTURAL CONSISTENCY HAND STANLESS STEEL HAND 1 BASTOMER STRUCTURAL CONSISTENCY HAND STRUCTURAL THRESH WITH 1 BASTOMER STRUCTURAL CONSISTENCY HAND STRUCTURAL THRESH WITH 1 BASTOMER STRUCTURAL CONSISTENCY HAND STRUCTURAL THRESH 1 BASTOMER STRUCTURAL STRUCTURAL THRESH 1 BASTOMER STRUCTURAL T CHARCOLL GIEF. OPERABLE VENT - DOUBLE GLAZED INSULATED VISION GLASS VAITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOLL GIEV PRIEDH ALLIM PERFORMATO SCHED FRAME ASSEMBLY WASTHER PROVIDED COLOUR WHITE PRIMA ESSEMBLY WASTHER PROVIDED COLOUR WHITE PRIMA ESSEMBLY COLOUR WHITE PRIMA ESSEMBLY COLOUR WHITE 2 3-F HEAT PREFORMATION SEPONT ASSEMBLY COLOUR WHITE 2 3-F HEAT PREFIN ALLIM CUARD SUPPORT ASSEMBLY ON PREFIN ALLIM SOURCE ASSEMBLY SOUR PREFIN ALLIM SOURCE SHARE WASTHER COLOUR WHITE ALLIM SUPPORT ASSEMBLY ON PREFIN ALLIM SUPPORTATION OF THE PROPRIATION OF THE PROVINCE SHARE SHARE WASTHER COLOUR WHITE ALLIM SUPPORTATION OF THE PROVINCE SHARE SHARE WASTHER COLOUR WHITE ALLIM SUPPORTATION OF THE PROVINCE SHARE WASTHER COLOUR WHITE ALLIM SUPPORTATION OF THE PROVINCE SHARE WASTHER WASTHER COLOUR WHITE PERMIT 2 DP BOARD SUBMISSION 2024-04-25 MRESIDENTIAL 2 APNO MATIS ARCHITECTURE HOTEL 204-1540 W 2ND AVE, VANCOUVER, BC V6J 1H2 T. 604 708.0188 ORIGINAL PROPERTY LINE ----SETBACK ----ORA BUILDING EDGE ORA BUILDING EDGE EAST NEIGHBOUR: ORA: SETBACK DP 21-945917 April 25, 2024 Plan # 3\

NEW WEST

STREET

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ARCADIS

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Elmbridge Way 6851-6871 Elmbridge Way Richmond, BC

Author PROJECT MGR Designer Approver
SHEET TITLE
BUILDING ELEVATION - SOUTH

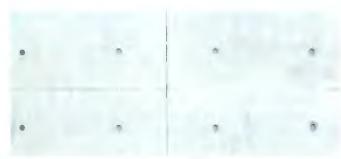
A404

MATERIAL BOARD

PODIUM COMMERCIAL



- GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 0 2-SIDED SSG STOREFRONT GLAZING SYSTEM, LOW-E GLASS, FRAME COLOUR: CHARCOAL GREY
- GLAZED SHADOW BOX (PANEL COLOUR: LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM, FRAME COLOUR: CHARCOAL
- STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE



6 EXPOSED CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMER-IC FINISH COATING, COLOUR: WHITE, WITH TIE-HOLES AT PODIUM FRAMES



 PREFIN. ALUM. PERFORATED SCREEN / FRAME ASSEMBLY / WEATHER PROTECTION/ SUNSHADE, COLOUR: WHITE

RESIDENTIAL TOWERS & PODIUM RESIDENTIAL



- gLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM, LOW-E GLASS, FRAME COLOUR: CHAR-
- GLAZED SHADOW BOX (PANEL COLOUR: LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE WINDOW WALL SYSTEM, FRAME COLOUR: CHARCOAL GREY
- OPERABLE VENT GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM, FRAME CO-LOUR: CHARCOAL GREY



- EXPOSED CONCRETE ARCHITECTURAL FINISH WITH ELASTOMER-IC FINISH COATING, COLOUR: WHITE, WITH TIE-HOLES AT PODIUM
- EXPOSED CONCRETE SOFFITS ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING, COLOUR: WHITE (STUCCO RENDERED TO MATCH WHERE DROP FOR INSULATION IS RE-QUIRED, COLOUR TO MATCH)





- 3'-6" HIGH GLASS GUARD, FRAME COLOUR: CHARCOAL GREY
- FULL HEIGHT FRAMELESS FROSTED STRUCTURAL GLASS PRIVACY SCREEN WITH PREFIN. ALUM, CLIPS

HOTEL TOWER



- GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE 4 SSG CURTAIN WALL SYSTEM, LOW-E GLASS, FRAME COLOUR: CHARCOAL GREY
- WHITE CERAMIC FRITTED GLAZED SHADOW BOX (IN COMBINATION WITH LIGHT GREY SPANDREL IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM, FRAME COLOUR: CHAR-



DP 21-945917 April 25, 2024 Plan # 32

ARNO MATIS ARCHITECTURE

204-1540 W 2ND AVE, VANCOUVER, BC V6J 1H2 T. 604.708.0188

6851-6871 Elmbridge Way Richmond, BC Canada

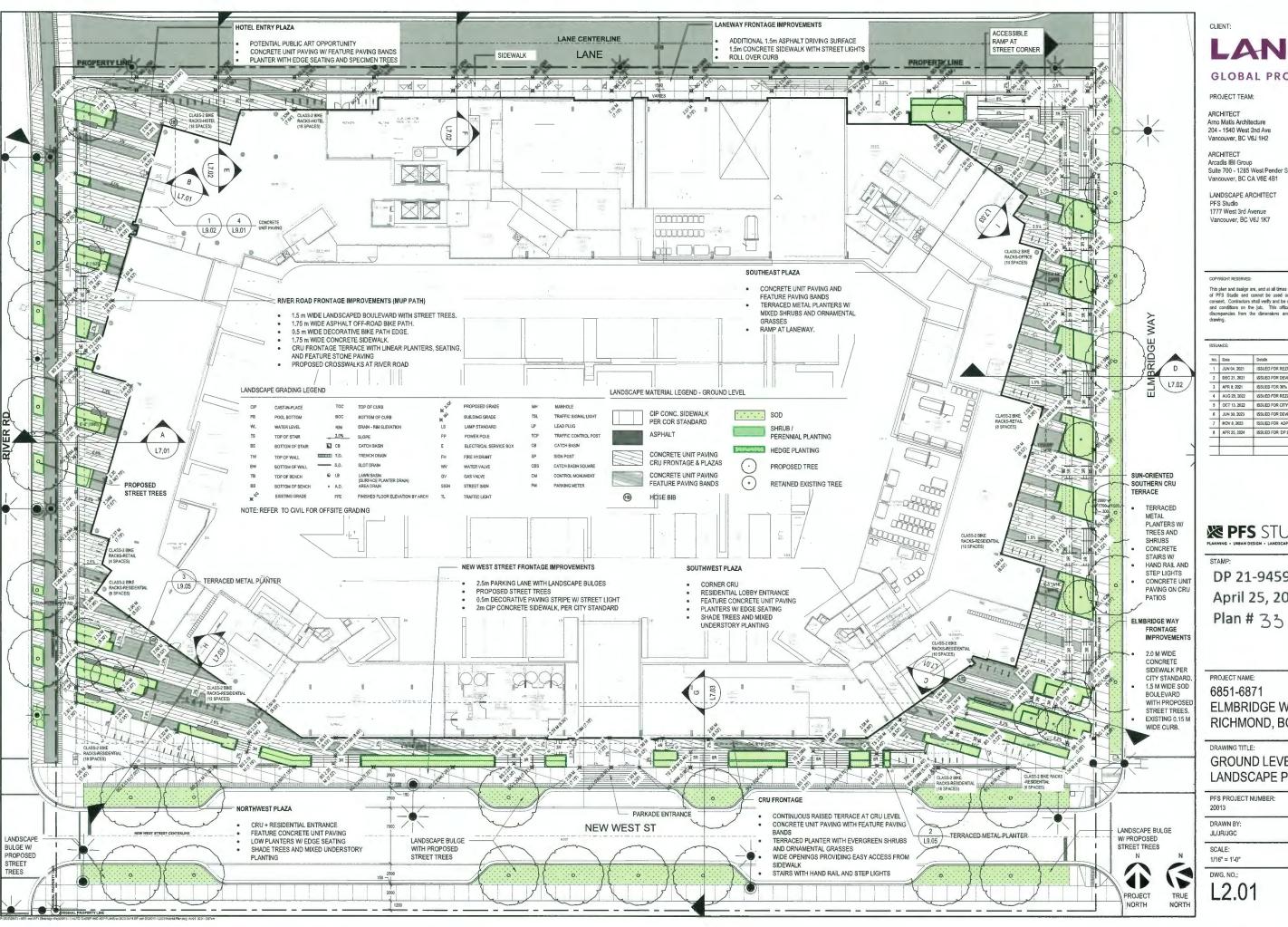
PROJECT NO 202006 STATUS DE DATE ISSUED 2021-10-22 SCALE 12" = 1'-0" DRAWN BY IDS CHECKED BY SN

M. BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW

N. MECHANICAL GRILLE ASSEMBLY, COLOUR: CHARCOAL GREY

WALL SYSTEM, FRAME COLOUR: CHARCOAL GREY

MATERIALS



LANDA

GLOBAL PROPERTIES

Suite 700 - 1285 West Pender Street

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Νo,	Dale	Details
1	JUN 04, 2021	ISSUED FOR REZONING APPLICATION
2	DEC 21, 2021	ISSUED FOR DEVELOPING PERMIT
3	APR 8, 2021	ISSUED FOR 30% BP
4	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

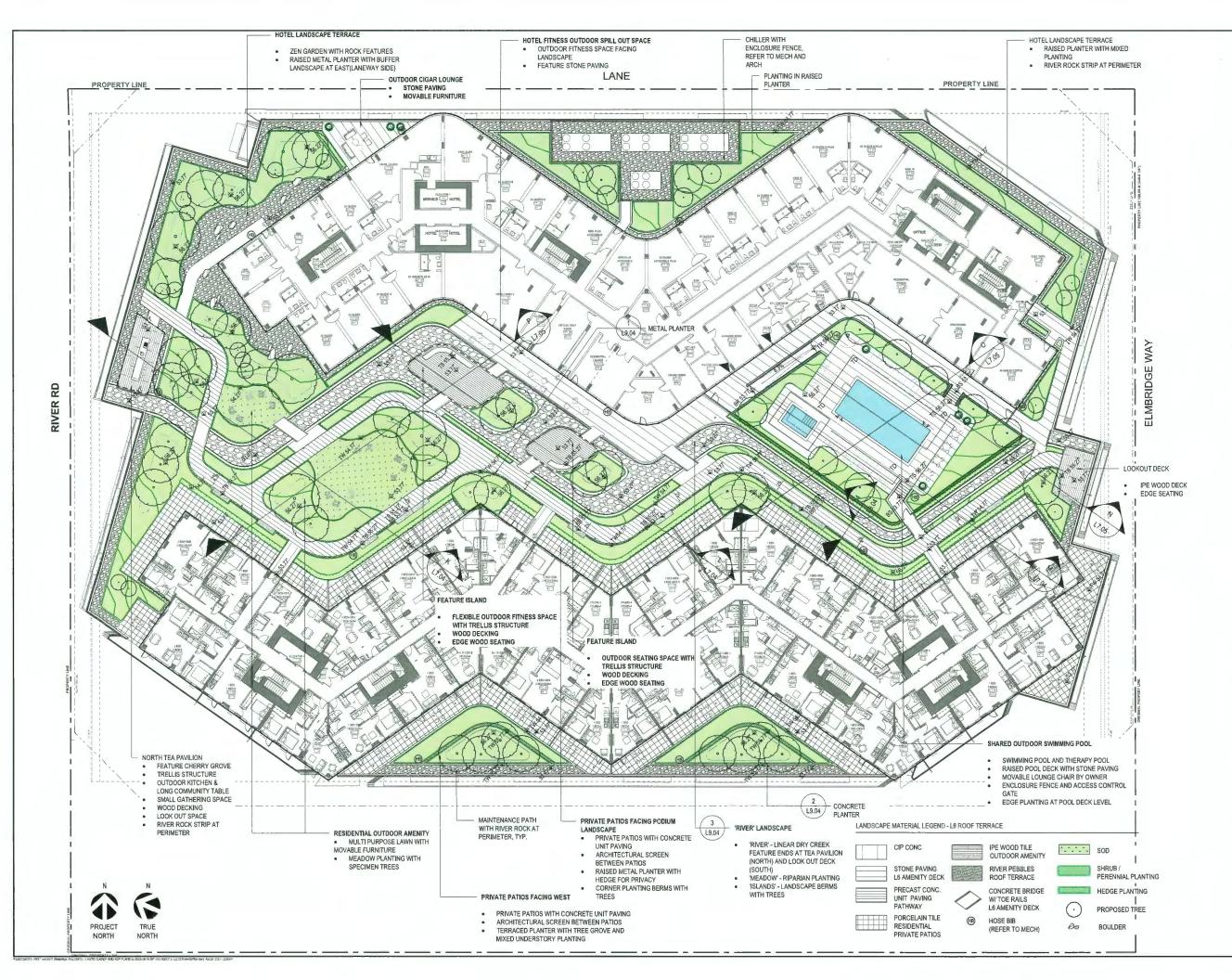
PFS STUDIO 1777 West 3" American Value of Properties of Style Style Properties of Style Properties of Properties o

DP 21-945917 April 25, 2024

ELMBRIDGE WAY RICHMOND, BC CANADA

GROUND LEVEL LANDSCAPE PLAN

DATE: 04/25/2024 CHECKED BY:



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LANDA

GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Arno Matis Architecture 204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

ARCHITECT Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION



STAMP:

FOR COORDINATION
DP 21-945917
April 25, 2024
Plan # 34

PROJECT NAME:

6851-6871 ELMBRIDGE WAY RICHMOND, BC CANADA

DRAWING TITLE:

LEVEL 6 LANDSCAPE PLAN

PFS PROJECT NUMBER: 20013	DATE:
20013	
	04/25/2024
DRAWN BY:	CHECKED BY:
JL/JR/JGC	JS

DWG. NO.:

L2.02



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GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Amo Matis Architecture 204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

ARCHITECT Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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	Date .	Details
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6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR OF BOARD SUBMISSION



STAM

DP 21-945917 April 25, 2024 Plan # 35

PROJECT NAME:

6851-6871 ELMBRIDGE WAY RICHMOND, BC CANADA

DRAWING TITLE:

LEVEL 8 LANDSCAPE PLAN

DATE: 04/25/2024
CHECKED BY
JS

L2.03



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LANDA

GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Arno Matis Architecture 204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

ARCHITECT Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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ISSUANC

Nο,	Date	Oetalls
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7	NOV 8, 2023	ISSUED FOR ADP
А	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

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PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

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STAMP:

DP 21-945917 April 25, 2024 Plan # 36

PROJECT NAME:

6851-6871 ELMBRIDGE WAY RICHMOND, BC CANADA

DRAWING TITLE:

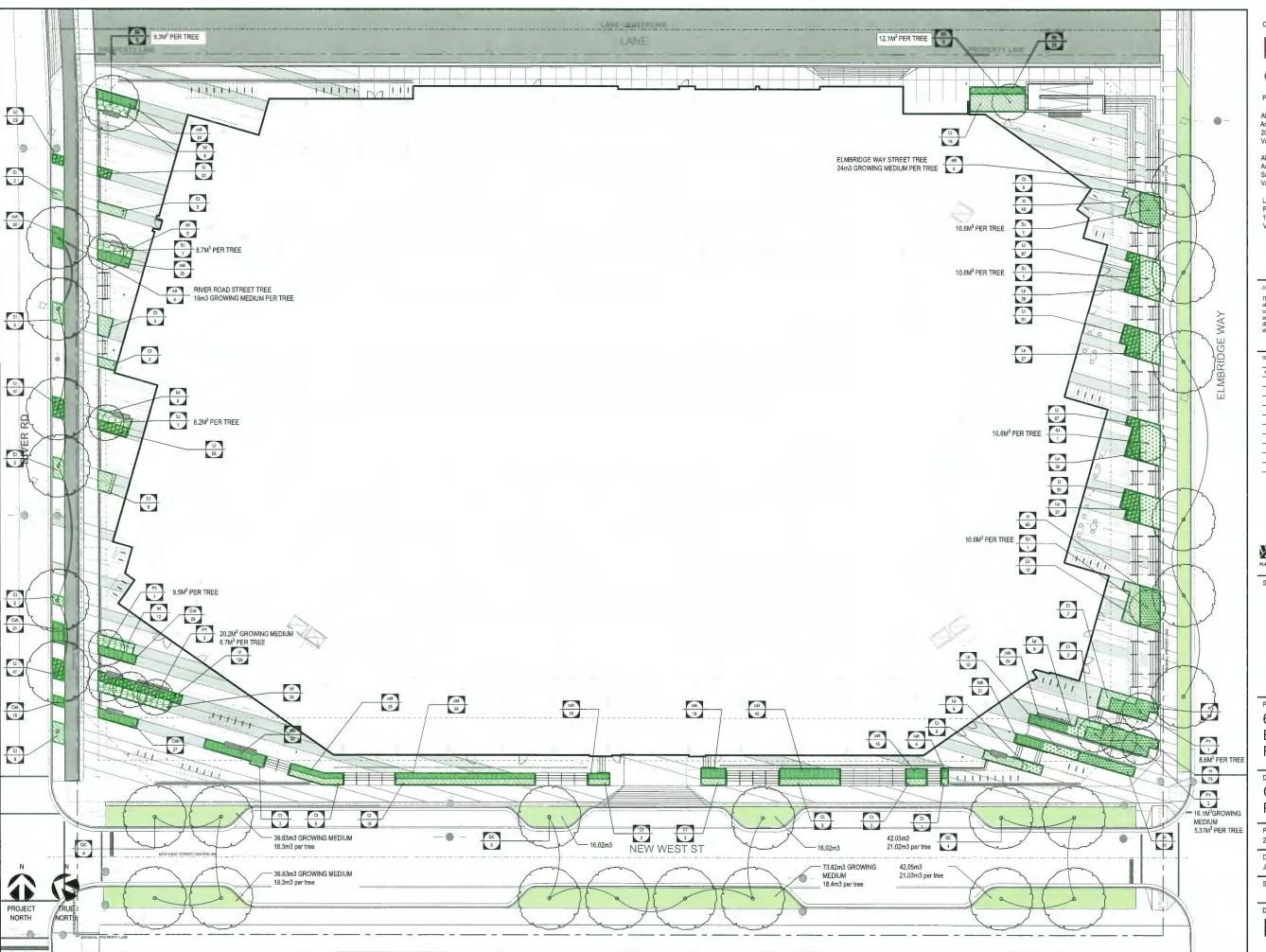
ROOFTOP LANDSCAPE PLAN

PFS PROJECT NUMBER:	DATE:
20013	04/25/2024
DRAWN BY:	CHECKED BY:
JL/JR/JGC	JS
SCALE:	
47400 41.00	

1/16" = 1'-0"

DWG. NO.:

L2.05



LANDA

GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Arno Matis Architecture 204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

ARCHITECT Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR OP BOARD SUBMISSION



DP 21-945917 April 25, 2024 Plan #37

PROJECT NAME:

6851-6871 **ELMBRIDGE WAY** RICHMOND, BC CANADA

DRAWING TITLE:

GROUND LEVEL PLANTING PLAN

PFS PROJECT NUMBER:	DATE:
20013	04/25/2024
DRAWN BY:	CHECKED BY
JL/JR/JGC	JS

DWG. NO.:



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GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Arno Matis Architecture 204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

ARCHITECT Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue

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7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

PFS STUDIO 1777 West 1º Avenue 10 Ven 110 Ven

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DP 21-945917 April 25, 2024 Plan # 38

PROJECT NAME:

6851-6871 ELMBRIDGE WAY RICHMOND, BC CANADA

DRAWING TITLE:

LEVEL 6 PLANTING PLAN

PFS PROJECT NUMBER:	DATE:
20013	04/25/2024
DRAWN BY:	CHECKED BY:
JL/JR/JGC	JS
SCALE;	

DWG. NO.:



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GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Arno Matis Architecture 204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

ARCHITECT Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

PES STUDIO 1777 West 3" Avenue Par LVI (127 Av

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DP 21-945917 April 25, 2024 Plan # 39

PROJECT NAME:

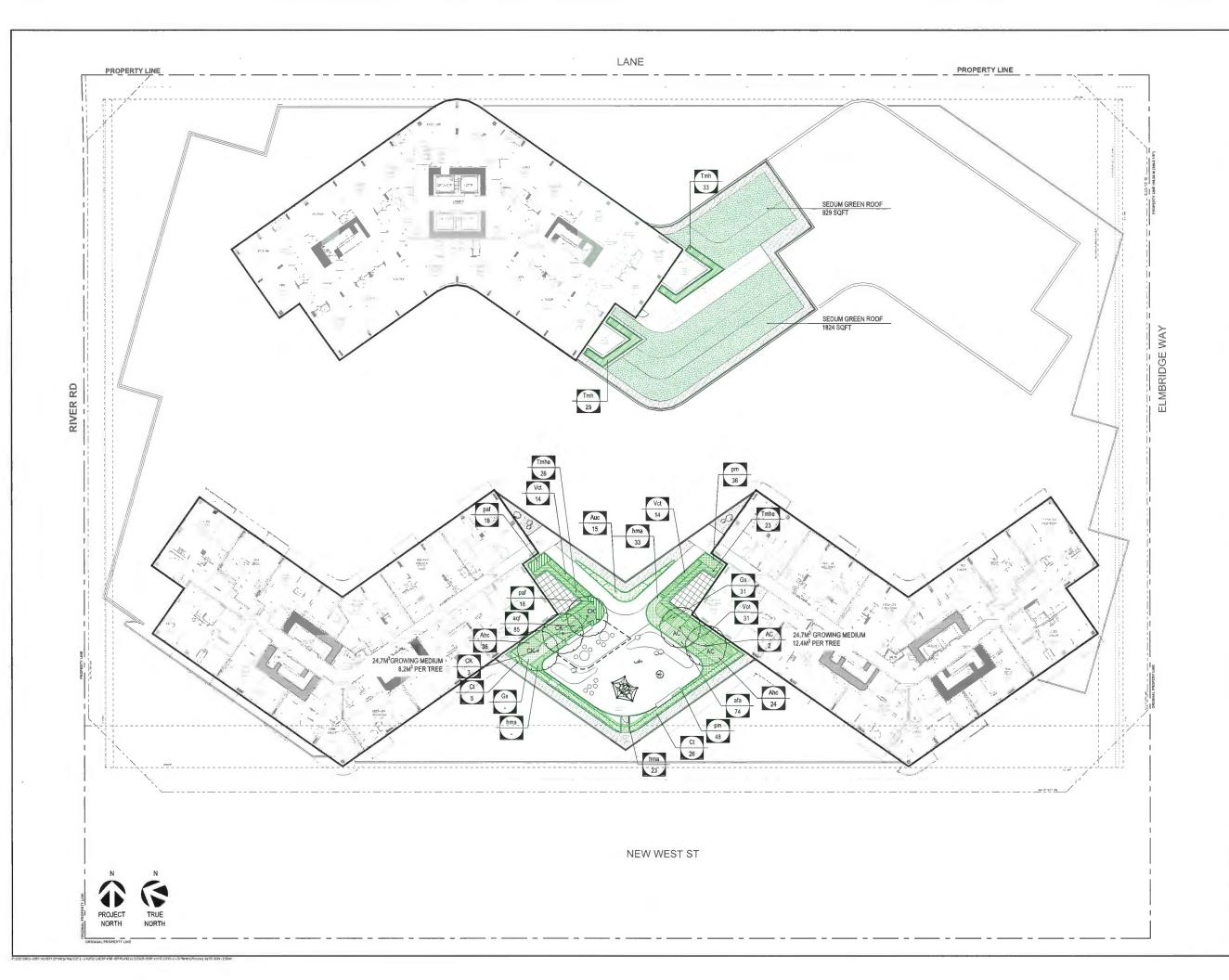
6851-6871 ELMBRIDGE WAY RICHMOND, BC CANADA

DRAWING TITLE:

LEVEL 8 PLANTING PLAN

PFS PROJECT NUMBER: 20013	DATE: 04/25/2024
DRAWN BY:	CHECKED BY
JL/JR/JGC	JS

DWC NO.



GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Arno Matis Architecture 204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

ARCHITECT Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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No.	Date	Details
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7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION



DP 21-945917 April 25, 2024 Plan # 40

PROJECT NAME:

6851-6871 **ELMBRIDGE WAY** RICHMOND, BC CANADA

DRAWING TITLE:

LEVEL 9 PLANTING PLAN

PFS PROJECT NUMBER: 20013	DATE: 04/25/2024
DRAWN BY:	CHECKED BY:
JL/JR/JGC	JS

DWG. NO.:



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GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Arno Matis Architecture 204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

ARCHITECT Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION



STAMP

DP 21-945917 April 25, 2024 Plan # 4\

PROJECT NAME:

6851-6871 ELMBRIDGE WAY RICHMOND, BC CANADA

DRAWING TITLE:

ROOFTOP PLANTING PLAN

PFS PROJECT NUMBER: 20013	DATE: 04/25/2024
DRAWN BY:	CHECKED BY:
JL/JR/JGC	JS

DWG. NO.:

PLANT SCHEDULE

KEY OTY BOTANICAL NAME	COMMON NAME	SIZE & DESCRIPTION	KEY QIY	BOTANICAL NAME	COMMON NAME	SIZE & DESCRIPTION	KEY QTY BOTAN(CAL NAME	COMMON NAME	SIZE & DESCRIPTION
STREET TREES			EVERGREEN:	SHRUBS					
AR 12 ACER RUBRUM 'OCTOBER GLORY' QC 14 QUERCUS COCCINEA	OCTOBER GLORY RED MAPLE SCARLET OAK	7CM CAL 888, UNFORM SIZE AND OLTY 7CM CAL 888, UNFORM SIZE AND OLTY	Anc 373 Age 303	AZALEA JAPONICA 'HINO CRIMSON' AZALEA 'GUMPO PINM' ARBUTUS UNEĐO 'COMPACTA'	EVERGREEN AZALEA GUMPO PINK AZALEA DWARF STRAWBERRY TREE	#3 POT 24" O.C. #3 POT 24" O.C. #5 POT FUILL 36" O.C.	GR/ASSES GROUNDCOVERS AND PEREMINALS 74 ASTILBE X ARENDSII FANAL' BOODSI and 85 ADVILEGIA FORMOSANA	FANAL ASTILBE WESTERN COLUMBINE	#1 POT 12" O.C. 10CM POT, 12" O.C.
ON SITE TREES - EVERGREEN COG 2 CHAMAECPPARIS OBTUSA 'GRACILLIS' CYJ 4 CRYPTOMERIA JAPONICA BLACK DRAGON' PCC 2 PINUS CONTORTA VAR. CONTORTA PPB 3 PINUS PARVIFLORA BERGMANIT	GRACILLIS JAPANESE FALSE CYPRESS BLACK DRAGON JAPANESE CEDAR SHORE PINE BERGMANII JAPANESE WHITE PINE	E HT, BBS SPECIMEN. 2 HT, BBS SPECIMEN. 12 HT, E WIDTH (MINL) 2 HT, WOOD CRATE, HAND-SCULPTED	Auc. 15 Cd 72 Co. Col 5 Cd 264 Cd 264 Cd 35 31	CHOISYA • DEWITTEANA 'AZTEC PEARL' CHAMAECYPARIS OBTUSA KOSTERI' CHOISYA TERNATA GAULTHERIA SHALLON	MEXICAN ORANGE 'AZTEC PEARL' KOSTER HINOXI CYPRESS MEXICAN ORANGE SALAL	#3 POT, FULL 36" O.C. 5" HT, B&B #3 POT, 36" O.C. #1 POT 18" O.C.	d 422 CALAMORROSTIS ACLIFOLIA KARIL FOERSTER' CHASMANTHIANI ATTROLLUM Onc' 518 CAREX MIDRROWN ICE DANCE 555 fg 432 FESTUCA OVINA GLAUCA' 133 HAKORECHIC ALMCA'	FOERSTER REED GRASS NORTHERN SEA DATS ICE DANCE SEDGE BLUE FESCUE JAPANESE FOREST GRASS	#1 POT 18" O.C. #1 POT 18" O.C. #1 POT 12" O.C. #1 POT, 12" O.C. #1 POT FAUL 18" O.C.
ON STET TREES - DECIDIOUS AC 2 ACER CIRCINATUM AC 16 ACER CIRCINATUM ACER PALBATUM DEMAZUMT CK 12 COMMUS COUNT PARTIAGE CK 12 COMMUS COUNT PARTIAGE CK 12 COMMUS COUNT PARTIAGE CM 12 COMMUS COUNT PARTIAGE CM 14 COMMUS COUNT PARTIAGE CM 15 COMMUS COUNT PARTIAGE CM 15 COMMUS COUNT PARTIAGE CM 15 COMMUS COUNT PARTIAGE ACER COUNT PARTIAGE CM 15 COMMUS COUNT PARTIAGE CM 15 COUNT PARTIAGE CM 15 COUNT PARTIAGE CM 15 COUNT PARTIAGE CM	WIFE LIAPLE DEMAZLIKI JAPANSSE MARLE GOLDEN FULL MOON MARLE HERITIGER WINCH RISCH CHINESE FLOWERING DOGWOOD JUNE SINGNO DOGWOOD JUNE SINGNO DOGWOOD PRINCETON SENTRY MAIDENHAIR TREE STAR MASHOL IA ARERON YOSHING CHERRY SHOW COME JAPANSSE SINGWARLL JAPANSSE STEVARTIA	8" HT BAS DAUTI-STEMBED O WN I FAUL 12" HT, BAS, MAI TI-STEMBED O UNN FAUL 2" HT, BAS, MAI TI-STEMBED O UNN 1" HT, BAS BACLIT-STEMBED O UNN 1" HT, BAS BACLIT-STEMBED O UNN 1" HT, BAS PAUL UNNFORM SIZE A GUALITY FOW CAL BAS POUR WORKING SIZE A GUALITY FOW CAL BAS UNNFORM SIZE AND CLITY FOW CAL BAS UNNFORM SIZE AND CLITY FOW CAL BAS UNIFORM SIZE SHEIGHT CLEAR TRUNK 5" HT, WAS MULTISTEM FULL 1" FOR CAL BAS SECREMBED GUALITY STRANGHT CLEAR TRUNK COM CAL BAS SECREMBED GUALITY STRANGHT CLEAR TRUNK 7" COM CAL BAS EXPOSED GUALITY STRANGHT CLEAR TRUNK 7" COM CAL BAS EXPONN SIZE SHE SHOW CONTINUE OF THE STRANGHT CLEAR TRUNK 7" COM CAL BAS EXPLINED GUALITY G	Pi 17 17 17 17 17 17 17 1	HAMAMELIS X INTERVIEDIA ARNOLO S PROVINSE: LAXIANDILA ANGUSTEROLIA SUNSTEAD BLUS' LICHOPE NUSCARI SID BLUS' LONICERA PLEATA PRUNUS LUSTFANICA LOUTA' RHODODENDRON BRUSE BRETCHBILL' SARCOCOCCA HOCKERINAA V. HUMILIS TAXUS CUSTIDATA MON.O' TAXUS X MEDIA THOSSIF TAXUS X MEDIA THOSDIF TAXUS X MEDIA THOSDIF TAXUS X MEDIA THOSDIF	WITCH HAZEL VANISTAD BLIVE ENQUENT LAVENDER BIG BLUE LLLY. TURF PRIVET HONEYSUCKLE LOUTA PORTUGUESE LAUREL BRUCE PRETCHBILL RHODODENDRON SWEET BOX EMERAD CARPET SPREADING YEW DENSE YEW HICKS YEW-MALE HM EDDIE FASTIGIATE YEW TOP HAT EDIBLE BLUEBERRYY	83 POT 81 POT 18" O.C. 81 POT, 12" O.C. 82 POT 24" O.C. 87 POT 4" HT 85 POT 3" O.C. 83 POT PULL 16" O.C. 83 POT FULL 16" O.C. 83 POT FULL 26" O.C. 87 HT FIELD GROWN 15" O.C., PULL PRINACY HEDGE 8" HT, BAB., P. O.C., 82 POT, 2" O.C., 82 POT, 2" O.C.	173 HANDRECHO MACPA 175 HANDRECHO MACPA 1763 JUNIOUS EFFUSUS 18 1770 LIRIDER MASCARI BIS BULE 1770 MISCANTINIS SIRENISI SIMALEPARTUS 1770 MISCANTINIS SIRENISI SIMALEPARTUS 1770 MISCANTINIS SIRENISI SIMALEPARTUS 1770 PERSURALA PRECIDENTA PRECI	AMBIGULA PANIES FOREST GRASS COMMON RUSH SIG BLUE ILLY TURF MALEPATUS MAZENI GRASS OWARF MADEN GRASS HAMEN FOUNTAIN GRASS HAMEN FOUNTAIN GRASS DIMITY REECE FLOWER SHORD FERN MEXICAN FEATHER GRASS	# POT FOLL 16 O.C. # POT 15 O.C. # POT 15 O.C. # POT 12 O.C. # POT 24 O.C. # POT 24 O.C. # POT 24 O.C. # POT 14 O.C. # POT 14 O.C. # POT 15 O.C.

THUNDERBIRD EVERGREEN HUCKLEBERRY #2 POT 24" O.C.

- ALL PLANT MATERIAL SHALL SE IN ACCORDANCE WITH BLC.S.L.A./B.C.N.T.A. STANDARDS.
 ALL PLANT MATERIAL AND STREET TREES ON CITY PROPERTY SHALL BE APPROVED BY CITY
 OF RICHMOND ENGINEERING AND PARKS DEPARTMENTS. FINAL SPACING. QUANTITY TREE
 SPECES TO IT BE SURSEATION OF THE GENERAL MANNERS OF ENGINEERING SERVICES.
 NEW TREES MUST SE OF GOOD STANDARD MINIMUM SCIL CALIEFS, AND INSTALLED WITH
 APPROVED ROOT ENABLESS TREE GUARDS AND APPROPRIATE OF THE CITY OF FICHMOND
 PARKS DEPARTMENT.

- SETBACKS FOR STREET TREE PLANTING, TREES SHALL NOT BE PLANTED WITHIN:

 6,0m FROM STREET LIGHTS

 - 2.0m FROM CATCH BASINS 8.0m FROM STREET INTERSECTIONS

 - 3.0m FROM HYDRANTS 2.0m FROM MANHOLES
 - 2.0m FROM DRIVEWAYS 2.0m FROM KIOSKS
- ALL PLANT MATERIAL AND PLANTED AREAS SMALL BE TOP ORESSES WITH A MINIMUM SOMM (2) ORGANIC MULCH LAYER AS PER SPECIFICATIONS.

 AUTOMATIC RRIGATION SHALL BE INSTALLED FOR ALL SOFT LANDSCAPING IN PROPERTY.
- ADEQUATE SUB-SURFACE DRAWAGE SHALL BE INSTALLED FOR ALL PLANTED AREAS.
 THE LOCATION, SPACING, AND SPECIES OF THE PROPOSED STREET TREE ARE SUBJECT TO REVIEW AND APPROVAL IN THE SERVICING AGREEMENT PROCESS.

	DECI	JUOUS SH	RUBS		
CCC	188	112	BERBERIS THUNBERGII 'ROYAL BURGUNDY'	ROYAL BURGUNDY JAPANESE BARBERRY	#3 POT 24" O.C.
V/A	Hpl	81	HYDRANGEA PANICULATA 'LITTLE QUICK FIRE'	LITTLE QUICK FIRE PANICLE HYDRANGEA	#3 POT 36" O,C.
(4gB)	HpII	6	HYDRANGEA PANICULATA 'LIME LIGHT'	HYDRANGEA PANICULATA 'LIME LIGHT'	#3 POT STANDARD
0	М	61	ITEA VIRGINIANA 'LITTLE HENRY'	LITTLE HENRY SWEETSPIRE	#3 POT FULL 36" O.C.
MAC I	Rsp	49	ROSA 'MEIRACENA' PP 26,790	ICECAP LANDSCAPE ROSE	#2 POT 24" O.C.
81110	Sj	305	SPIREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS JAPANESE SPIREA	43 POT FULL 24" O.C.
(Vos)	Vps	4	VIBURNUM PLICATUM SUMMER SNOWFLAKE	SUMMER SNOWFLAKE VIEURNUM	\$7 POT

'Vat 31 VACCINIUM OVATUM THUNDERBIRD'

SEDUM HYBRIDUM 'IMMERGRUNCHEN', SEDUM MIDDENDORF, DIFFUSUM. SEDUM TETRACTINUM 'CORAL REEF', SEDUM ALBUM 'GREEN ICE' SEDUM SPURIUM 'JOHN CREECH' SEDUM SPURIUM 'ALBUM SUPERBUM SEDUM SEXANGULARE SEDUM HYBRIDUM 'IMMERGRUNCHEN' SEDUM REFLEXUM 'BLUE SPRUCE'

GREEN ROOF PLANT SCHEDULE

CLIENT:

GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Arno Matis Architecture 204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

ARCHITECT Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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b.	Date	Details
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1	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
П	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8. 2023	ISSUED FCR ADP
П	APR 25 2024	ISSUED FOR OP BOARD SUBMISSION



DP 21-945917 April 25, 2024 Plan # 42

PROJECT NAME:

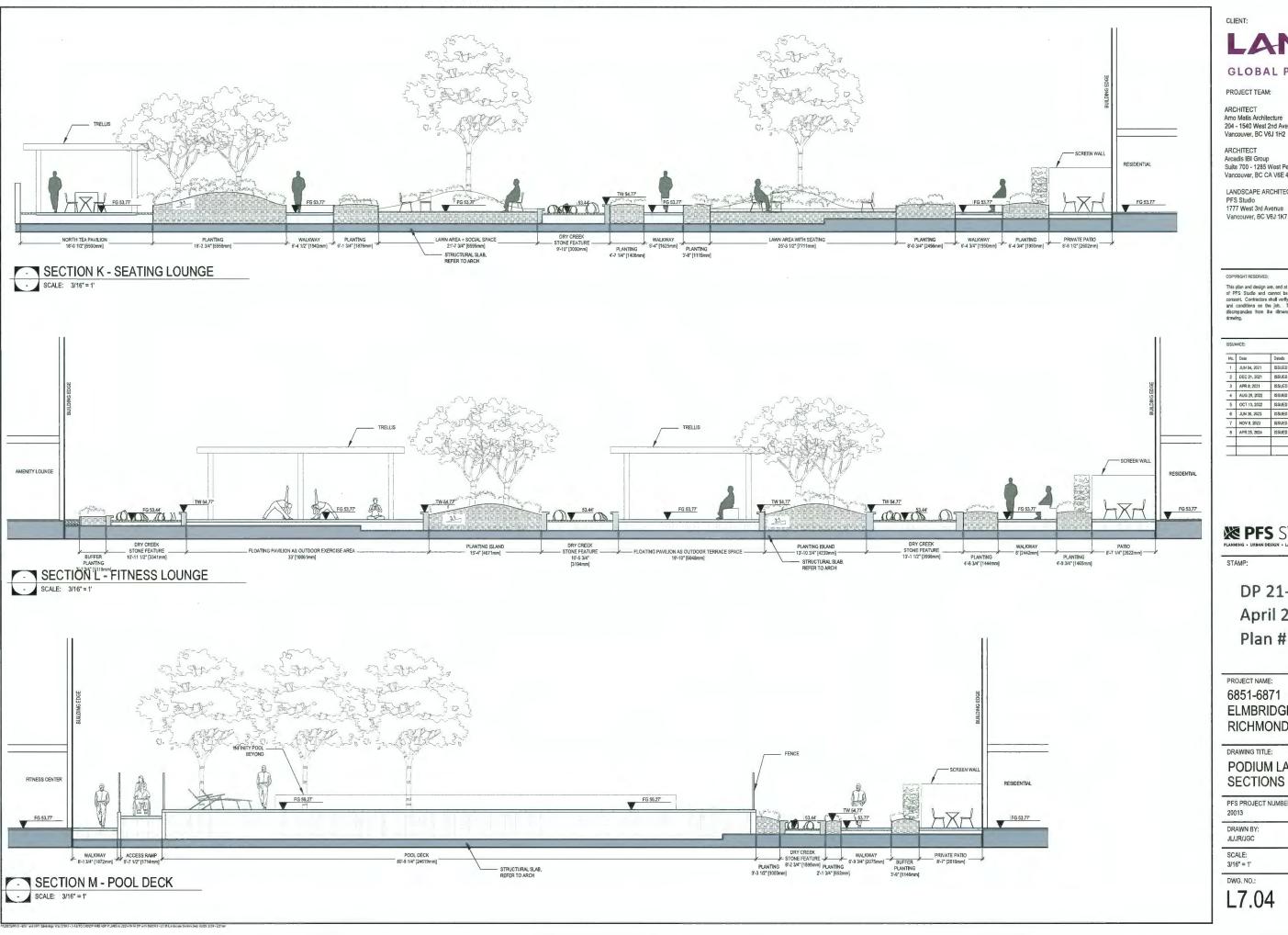
6851-6871 **ELMBRIDGE WAY** RICHMOND, BC CANADA

DRAWING TITLE:

MASTER PLANT LIST

20013	04/25/2024
DRAWN BY:	CHECKED BY:
JL/JR/JGC	JS

DWG. NO.:



LANDA

GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Amo Matis Architecture 204 - 1540 West 2nd Ave

ARCHITECT Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
В	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

PFS STUDIO OF PROPERTY OF A PR

DP 21-945917 April 25, 2024 Plan # 43

PROJECT NAME:

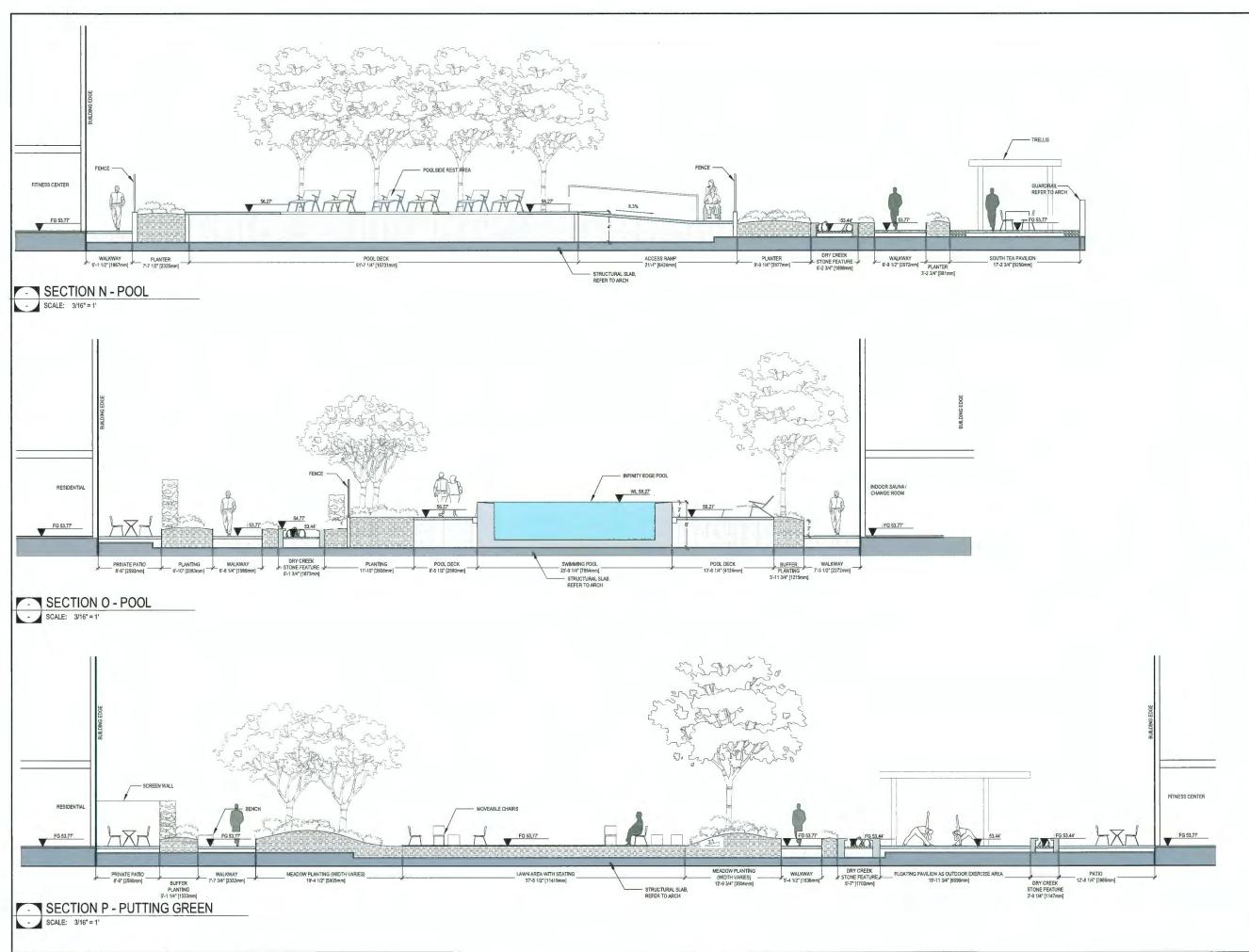
6851-6871 **ELMBRIDGE WAY** RICHMOND, BC CANADA

DRAWING TITLE:

PODIUM LANDSCAPE SECTIONS

20013	04/25/2024
DRAWN BY:	CHECKED BY
JL/JR/JGC	JS

L7.04



CLIE

LANDA

GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Arno Matis Architecture 204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

ARCHITECT Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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7	NOV 8, 2023	ISSUEO FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION



STAMP:

DP 21-945917 April 25, 2024 Plan # 낙낙

PROJECT NAME:

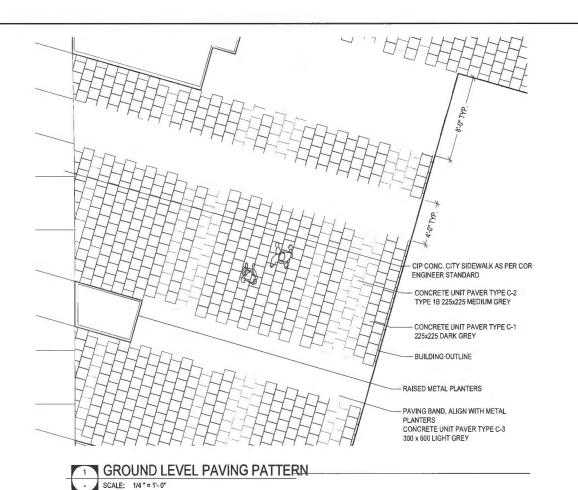
6851-6871 ELMBRIDGE WAY RICHMOND, BC CANADA

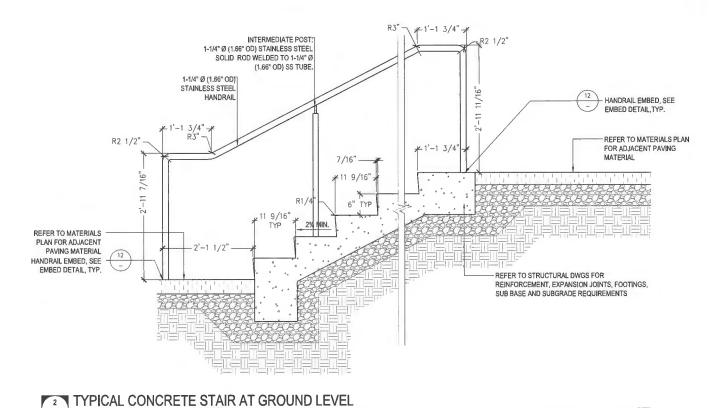
DRAWING TITLE:

PODIUM LANDSCAPE SECTIONS

PFS PROJECT NUMBER: 20013	DATE: 04/25/2024
DRAWN BY:	CHECKED BY
JL/JR/JGC	JS
SCALE:	
3/16" = 1"	

DWG. NO.: L7.05





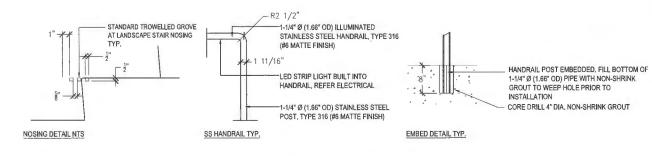
HANDRAIL AT TOP OF RAMP BEYOND 1-1/4" Ø (1.66" OD) STAINLESS STEEL HANDRAIL METAL PLANTER, REFER TO XX.XX VARIES. REFER TO GRADING PLAN CIP CONCRETE PAVEMENT CIP CONCRETE PAVEMENT ON SLAB, REFER TO 2/L9.01 ON GRADE, REFER TO 1/L9.01 HANDRAIL POST EMBEDDED. FILL BOTTOM OF 1-1/4" Ø (1.66" OD) PIPE WITH NON-SHRINK GROUT TO WEEP HOLE PRIOR TO INSTALLATION TYPICAL METAL PLANTER ON GRADE, TYPICAL METAL PLANTER ON SLAB, REFER TO 4/L9.03 REFER TO 1/L9.03

CONCRETE RAMP ON GRADE

CONCRETE RAMP ON SLAB

TYPICAL CONCRETE RAMP ON GRADE / ON SLAB

- SCALE: 1" = 1'-0"



3 TYPICAL STAIR ENLARGEMENT DETAILS

- SCALE: NTS

- SCALE: 1" = 1'-0"

GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Arno Matis Architecture 204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

ARCHITECT Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION



DP 21-945917 April 25, 2024 Plan # 45

PROJECT NAME:

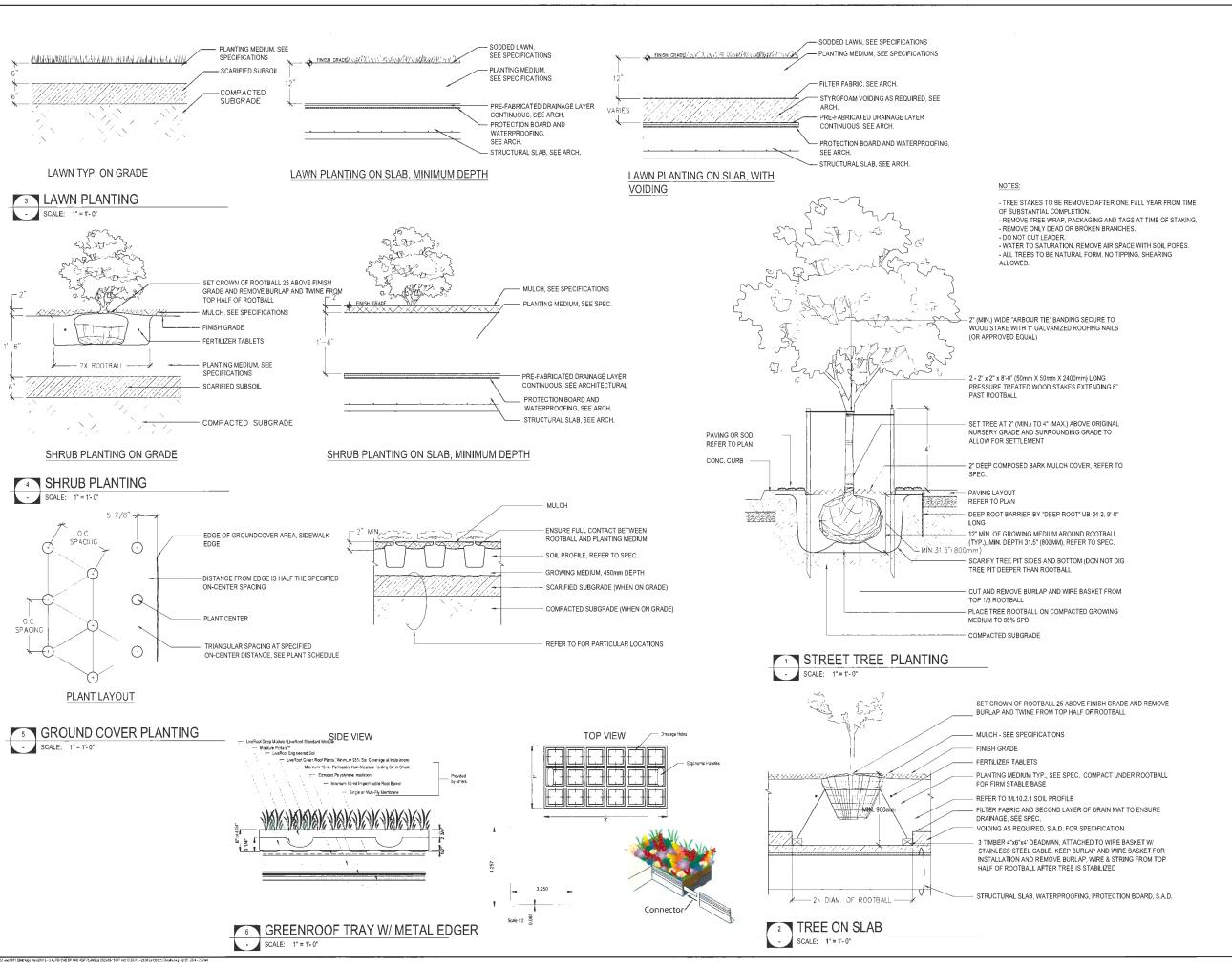
6851-6871 **ELMBRIDGE WAY** RICHMOND, BC CANADA

DRAWING TITLE:

LANDSCAPE DETAILS STAIR & RAMP

PFS PROJECT NUMBER: DATE: 20013 04/25/2024 DRAWN BY: CHECKED BY: JL/JR/JGC JS SCALE: AS SHOWN

DWG. NO.:



CLIEN

LANDA

GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT
Amo Matis Architecture
204 - 1540 West 2nd Ave
Vancouver, BC V6J 1H2

ARCHITECT
Arcadis IBI Group
Suite 700 - 1285 West Pender Street
Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

PLANNING - URBAN DESIGN - LANDSCAPE ARCHITECTURE PLANNING - URBAN DESIGN - LANDSCAPE ARCHITECTURE PLANNING - URBAN DESIGN - LANDSCAPE ARCHITECTURE PROMPTION - URBAN DESIGN - LANDSCAPE ARCHITECTURE PROMPTION - URBAN DESIGN - LANDSCAPE ARCHITECTURE PLANNING - URBAN DESIGN - LANDSCAPE ARCHITECTURE PLANNING - URBAN DESIGN - LANDSCAPE ARCHITECTURE PROMPTION - URBAN DESIGN - LANDSCAPE ARCHITECTURE PLANNING - LANDSCAPE ARCHITECTURE

STAMP

DP 21-945917 April 25, 2024 Plan # 46

PROJECT NAME:

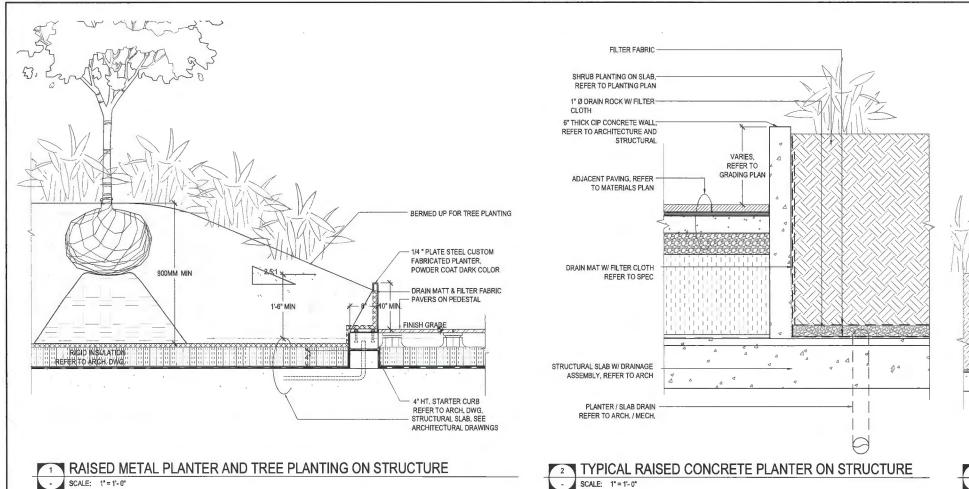
6851-6871 ELMBRIDGE WAY RICHMOND, BC CANADA

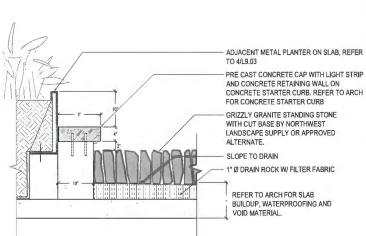
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LANDSCAPE DETAILS PLANTING

PFS PROJECT NUMBER: 20013	DATE: 04/25/2024
DRAWN BY: JL/JR/JGC	CHECKED BY: JS
SCALE: AS SHOWN	

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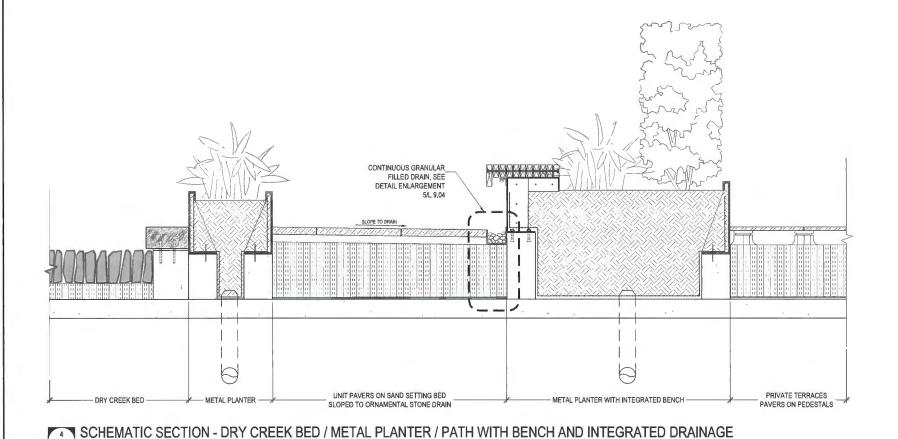




- SCALE: 1"=1'-0"

- SCALE: 1"=1'-0"

DRY CREEK BED PAVEMENT AND CONCRETE EDGING - SCALE: 1" = 1'-0"



METAL PLANTER / BENCH DECORATIVE RIVER ROCK CONTINUOUS METAL CHANNEL ADJACENT PAVING CHANNEL DEPTH TO TOP OF VOIDING BELOW ADJACENT PAVEMENT CONTINUOUS DRAIN MAT ALONG FACE OF WALL/PLANTER/BENCH/UPSTAND CURB 2"X6" CUT OUT IN CHANNEL BASE AT VERTICAL DRAIN ROCK EDGE OF VOID MATERIAL 2" X 6" DRAIN ROCK EXTEND TO TOP OF DRAIN MAT BELOW, STRUCTURAL SLAB, REFER TO ARCH

5 CONTINUOUS GRANULAR FILLED DRAIN - SCALE: 3" = 1'-0"

GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Arno Matis Architecture 204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

ARCHITECT Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

PFS STUDIO 1777 West 3" Avenue PC VIII ON 1871 AVENUE PC VIII ON 187

DP 21-945917 April 25, 2024 Plan # 47

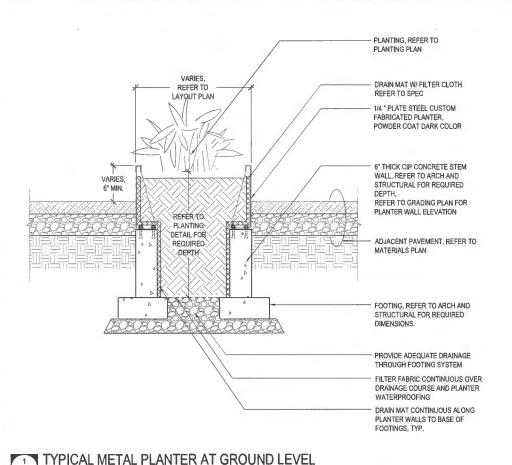
PROJECT NAME:

6851-6871 **ELMBRIDGE WAY** RICHMOND, BC CANADA

LANDSCAPE DETAILS **PLANTERS**

DATE: 04/25/2024 DRAWN BY: CHECKED BY: JL/JR/JGC JS SCALE: AS SHOWN

DWG. NO.:



PLANTING, REFER TO PLANTING PLAN DRAIN MAT W/ FILTER CLOTH REFER TO SPEC 1/4 " PLATE STEEL CUSTOM FABRICATED PLANTER, POWDER COAT DARK COLOR VARIES, 6" THICK CIP CONCRETE STEM WALL, REFER TO ARCH AND STRUCTURAL FOR REQUIRED VARIES. REFER TO GRADING PLAN FOR 6" MIN. PLANTER WALL ELEVATION PI ANTING ADJACENT PAVEMENT, REFER TO MATERIALS PLAN FOOTING, REFER TO ARCH AND STRUCTURAL FOR REQUIRED DIMENSIONS. THROUGH FOOTING SYSTEM FILTER FABRIC CONTINUOUS OVER DRAINAGE COURSE AND PLANTER WATERPROOFING DRAIN MAT CONTINUOUS ALONG PLANTER WALLS TO BASE OF FOOTINGS, TYP.

TYPICAL STEPPED METAL PLANTER AT GROUND LEVEL - SCALE: 1" = 1'-0"

PROVIDE ENGINEER SIGNED AND SEALED SHOP DRAWINGS OF ALL METAL WORK AND CARPENTRY TO FABRICATION OTHERWISE INDICATED

NOTES:

PROJECT NAME:

6851-6871 **ELMBRIDGE WAY** RICHMOND, BC CANADA

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 No.
 Date
 Details

 1
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 ISSUED FOR REZONING APPLICATION

2 DEC 21, 2021 ISSUED FOR DEVELOPING PERMIT

4 AUG 29, 2022 ISSUED FOR REZONING APPLICATION

6 JUN 30, 2023 ISSUED FOR DEVELOPING PERMIT 7 NOV 8, 2023 ISSUED FOR ADP

8 APR 25, 2024 ISSUED FOR DP BOARD SUBMI

ISSUED FOR CITY REVIEW

PFS STUDIO 1777 West 3th Avenue 12 Visit 18th Avenue 18th Avenue 18th Avenue 18th Avenue 18th Avenue 18th Avenue 1

DP 21-945917

April 25, 2024

Plan # 48

3 APR 8, 2021 ISSUED FOR 30% BP

5 OCT 13, 2022

PROJECT TEAM:

Amo Matis Architecture

204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

Arcadis IBI Group Suite 700 - 1285 West Pender Street

Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT

1777 West 3rd Avenue

Vancouver, BC V6J 1K7

ARCHITECT

ARCHITECT

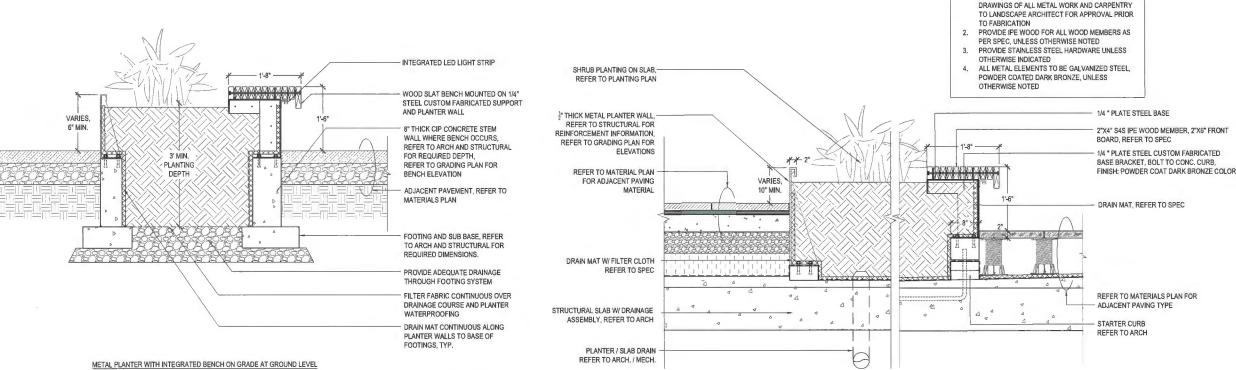
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LANDSCAPE DETAILS **PLANTERS**

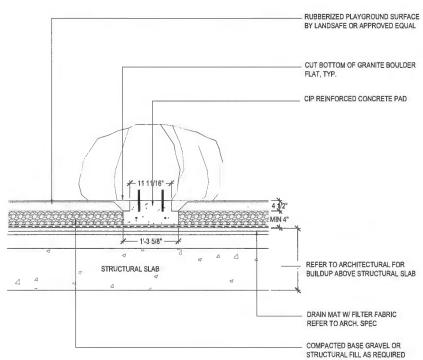
DATE: 04/25/2024 CHECKED BY: JL/JR/JGC JS SCALE: AS SHOWN

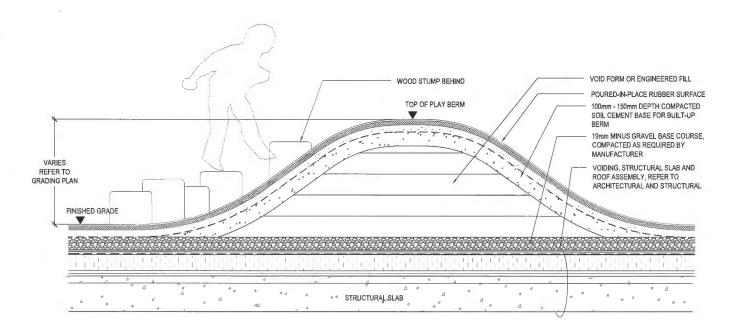
L9.05



TYPICAL METAL PLANTER WITH INTEGRATED BENCH AT GROUND LEVEL - SCALE: 1" = 1'-0"

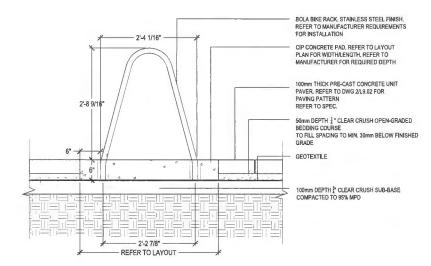
TYPICAL METAL PLANTER ON SLAB / TYPICAL PLANTER WITH INTEGRATED BENCH ON STRUCTURE - SCALE: 1" = 1'-0"



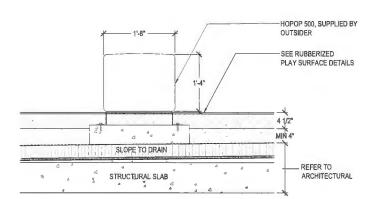


RUBBER BERM @ L9 PLAYGROUND

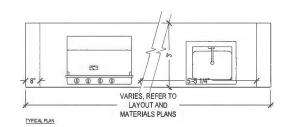


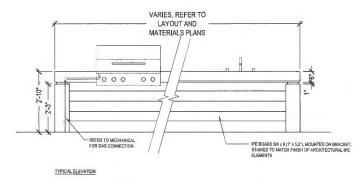


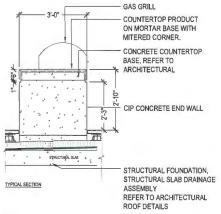












TYPICAL OUTDOOR KITCHENETTE @ TOWER ROOFTOP

SCALE: 1"=1"-0"

CLIEN

LANDA

GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Arno Matis Architecture 204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

ARCHITECT Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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No,	Date	Details
1	JUN 04, 2021	ISSUED FOR REZONING APPLICATION
2	DEC 21, 2021	ISSUED FOR DEVELOPING PERMIT
3	APR 8, 2021	ISSUED FOR 30% BP
4	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

PFS STUDIO
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STAMP

DP 21-945917 April 25, 2024 Plan # 4 9

PROJECT NAME:

6851-6871 ELMBRIDGE WAY RICHMOND, BC CANADA

DRAWING TITLE:

LANDSCAPE DETAILS FURNISHING

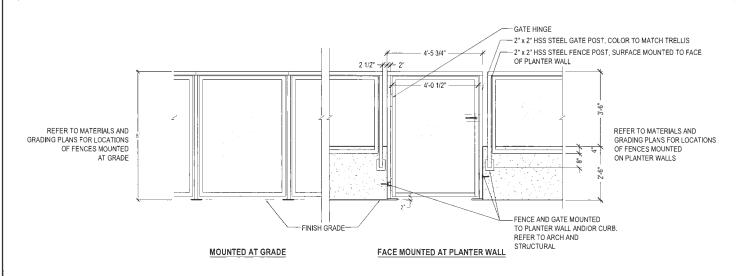
PFS PROJECT NUMBER: DATE:
20013 04/25/2024

DRAWN BY: CHECKED BY:
JLJR/JGC JS

SCALE:

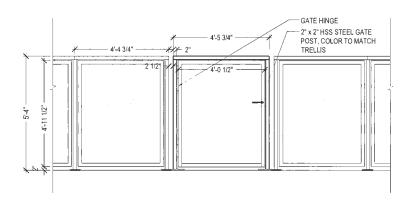
AS SHOWN

DWG. NO.:



TYPICAL FENCE AND GATE ELEVATION - L6 POOL ENCLOSURE

SCALE: 1/2" = 1'- 0"



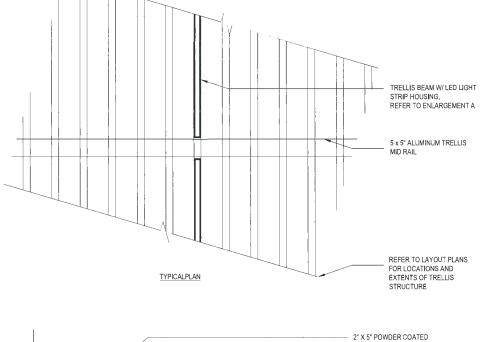
TYPICAL FENCE AND GATE ELEVATION - L16

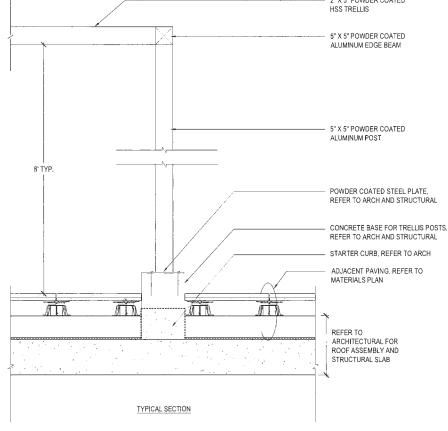
NOTES:

- 1, REFER TO ARCHITECTURAL AND STRUCTURAL FOR REINFORCING DETAILS AND FOOTING DESIGN.
- 2. FENCE, GATE AND TRELLIS FABRICATOR TO PROVIDE ENGINEER STAMPED SHOP DRAWINGS FOR TRELLIS AND FENCE DETAILS FOR CONSULTANTS APPROVAL PRIOR TO FABRICATION.
- 3. FENCE AND GATE COLOR TO MATCH TRELLIS, RAL COLOR TO BE DETERMINED. PROVIDE COLOR SAMPLE FOR CONSULTANT'S APPROVAL PRIOR TO **FABRICATION**
- 4. SITE MEASURE DIMENSIONS OF EXISTING SITE CONDITIONS INCLUDING GLASS RAILING, SITE GRADING AND PLANTER WALL DIMENSIONS PRIOR TO FABRICATION. ADJUST FENCING AND TRELLIS DESIGN WHERE REQUIRED IN SHOP DRAWINGS TO FIT STRUCTURES TO EXISTING SITE CONDITIONS.



TYPICAL FENCE SECTIONS - TOP MOUNT AND FACE MOUNT SCALE: 1/2" = 1'- 0"





TYPICAL TRELLIS STRUCTURE SECTION AND PLAN - L6 TEA PAVILLION SCALE: 1" = 1"-0"

CLIENT:

GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Anno Matis Architecture 204 - 1540 West 2nd Ave Vancouver, BC V6J 1H2

Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 481

LANDSCAPE ARCHITECT PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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4o,	Date	Details
1	JUN 04 2021	ISSUED FOR REZONING APPLICATION
2	DEC 21, 2021	ISSUED FOR DEVELOPING PERMIT
3	APR 8, 2021	ISSUED FOR 30% BP
4	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR AOP
8	APR 25 2024	ISSUED FOR DP BOARD SUBMISSION



DP 21-945917 April 25, 2024 Plan # 50

PROJECT NAME:

6851-6871 **ELMBRIDGE WAY** RICHMOND, BC CANADA

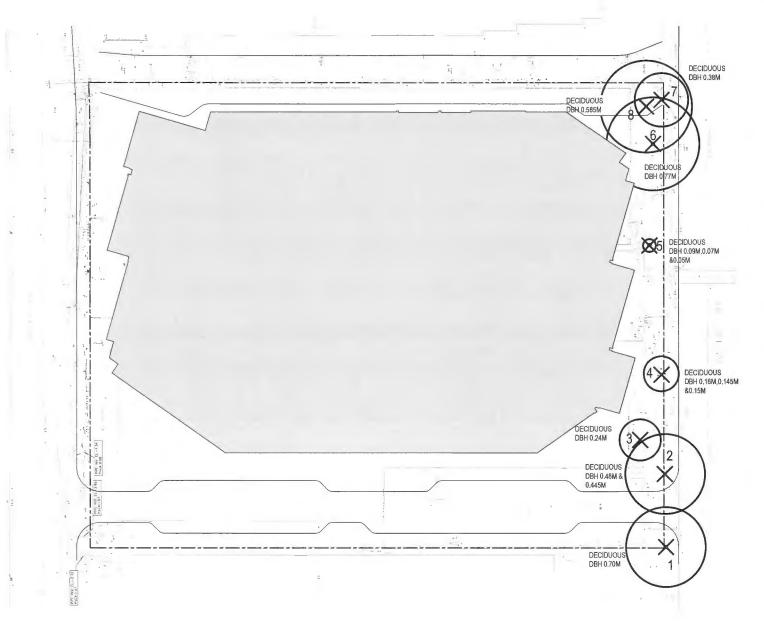
DRAWING TITLE:

LANDSCAPE DETAILS **FENCE & TRELLIS**

PFS PROJECT NUMBER: 20013	DATE: 04/25/2024
DRAWN BY: JL/JR/JGC	CHECKED BY:
SCALE;	

AS SHOWN

DWG. NO.:



LEGEND



EXISTING TREE TO BE REMOVED - TOTAL 8



EXISTING TREE TO BE RETAINED - TOTAL 0

PROPERTY LINE / LIMIT OF EXCAVATION



TREE PROTECTION FENCING



OUTLINE OF PROPOSED BUILDINGS

TREE MANAGEMENT PLAN

- ALL ONSITE LANDSCAPE FEATURES AND PLANTS NOT IDENTIFIED FOR RETENTION OR RELOCATION ARE TO BE REMOVED.
- 2. REFER TO CERTIFIED ARBORISTS TREE MANAGEMENT PLAN FOR TREE PRESERVATION.
- 3, TREES TO BE REMOVED AND RELOCATED AS PER THE CITY OF RICHMOND TREE PROTECTION BYLAW NO. 8057.
- 4. INSTALL TREE PROTECTION FENCING AS PER CITY OF RICHMOND TREE PROTECTION BY AW NO. 8057
- 4. ANY PUBLIC INFRASTRUCTURE INCLUDING NOT LIMITED TO SIDEWALKS, CURBS, LIGHTING AND STREET FURNITURE TO BE PROTECTED DURING ANY OPERATIONS OF TREE RELOCATION OR REMOVAL.
- 5. VERIFY THE LOCATION OF ALL UNDERGROUND SERVICES ON SITE PRIOR TO ANY TREE REMOVAL OR RELOCATION.

PROTECTION OF EXISTING TREES DURING DEMOLITION AND CONSTRUCTION PER CITY OF RICHMOND TREE BYLAW

APPLICANTS SHALL NOT REMOVE OR CUT ANY TREES WITH A DBH OF 20 CM OR 7% INCHES ON THE SITE UNTIL A TREE PERMIT OR DEVELOPMENT PERMIT AND/OR REZONING HAS BEEN APPROVED WHICH ADDRESSES THE REMOVAL OF TREES.

- 1. A FENCE MUST BE PLACED AT THE DRIP LINE OF ALL TREES TO BE RETAINED PRIOR TO ISSUANCE OF ANY PERMITS (DEMOLITION, REZONING, DEVELOPMENT, BUILDING). THE FENCE(S) SHALL BE 2X4 WOOD FRAME WITH CROSS BRACE CONSTRUCTION WITH SNOW-FENCE AND STAKED INTO THE GROUND THE TREE PROTECTION FENCE SHALL BE CLEARLY SIGNED "TREE PROTECTION ZONE DO NOT ENTER" AND REMAIN INTACT FOR ANY CONSTRUCTION OR DEMOLITION SITE THROUGHOUT THE ENTIRE PERIOD OF DEMOLITION AND/OR CONSTRUCTION.
- APPROPRIATE INFORMATION REGARDING EXISTING TREE PRESERVATION SHALL BE PROVIDED TO TREE PRESERVATION AND/OR PLANNING STAFF. THIS IS TO INCLUDE: 1 THE LOCATION OF ALL PROTECTIVE TREE FENCING;
- ANY EXCAVATION LOCATIONS FOR FOUNDATIONS, UTILITIES, DRIVEWAYS, PERIMETER DRAINAGE, ETC.;
- ANY EXCAVATION LOCATIONS FOR POUNDATIONS, UTILITIES, DRIVEWAYS, P.
 A GRADING PLAN OR CROSS-SECTION SHOWING FINISHED GRADE; AND
- · A DRAINAGE PLAN FOR THE SITE.
- 3. ANY ARBORIST RECOMMENDED PRUNING AND ROOT PRUNING SHALL BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.
- 4. NO ENTRY OF ANY KIND SHALL OCCUR WITHIN THE TREES' DRIP LINE/TREE PROTECTION ZONE. THIS INCLUDES PEOPLE, EQUIPMENT AND/OR MATERIALS.
- 5. FILL MATERIAL, COMPACTED SOIL AND CONTINUOUS CONCRETE WALLS WITH FOOTINGS CANNOT BE LOCATED WITHIN THE DRIP LINE OF RETAINED TREES.

TREE PROTECTION ZONE SIGNAGE

ALL TPZ ARE REQUIRED TO HAVE SIGNAGE AS SHOWN BELOW. THE SIGNAGE MUST BE A MINIMUM OF 11"X14" IN SIZE ON AT LEAST 2 SIDES. A SIGN IS AVAILABLE FOR DOWNLOAD FROM THE CITY OF RICHMOND'S TREE BYLAW WEBPAGE AT WWW.RICHMOND.CA/SERVICES/ENVIRONMENT/POLICIES/TREEREMOVAL







RICHMOND'S TREE BYLAW WEBPAGE

CONSTRUCTION IS COMPLETE'



Fencing to be installed prior to demolition and remain i place until construction is complete. A fine of \$1,000.00 per tree will be issued for relocating or removing tree protection fencing.

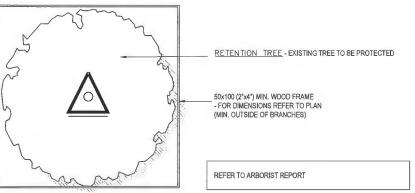
RETENTION TREE - EXISTING TREE TO BE PROTECTED

WATERPROOF SIGNAGE - IN ACCORDANCE WITH CITY OF

"TREE PROTECTION ZONE - NO ENTRY" AND SHALL ALSO READ: NO DUMPING, NO FILLING, NO DIGGING OR

EXCAVATING, NO LUMBER OR SUPPLY STORAGE, FENCING MUST BE

INSTALLED PRIOR TO DEMOLITION AND REMAIN IN PLACE UNTIL



TREE PROTECTION FENCING

SCALE: NTS

IN (2'x4') MIN. WOOD FRAME
DIMENSIONS REFER TO PLAN
OUTSIDE OF BRANCHES)

R TO ARBORIST REPORT

SNOW FENCING - (PLASTIC MESH SCREENING) SECURELY FASTENED TO WOOD FRAME

SOLID_BARRIER
50x100 (2"x4") WOOD POSTS
50x100 (2"x4") WOOD CROSS BRACE RAILS NAILED TO:
50x100 (2"x4") TOP AND BOTTOM WOOD RAILS

CLIENT:

LANDA

GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT Arno Matis Architecture 204 - 1540 West 2nd Ave

Vancouver, BC V6J 1H2

ARCHITECT

Arcadis IBI Group

Arcadis IBI Group Suite 700 - 1285 West Pender Street Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT

PFS Studio 1777 West 3rd Avenue Vancouver, BC V6J 1K7

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DP 21-945917 April 25, 2024 Plan # 5 \

PROJECT NAME:

6851-6871 ELMBRIDGE WAY RICHMOND, BC CANADA

DRAWING TITLE:

TREE MANAGEMENT PLAN

PFS PROJECT NUMBER: DATE:
20013 04/25/2024

DRAWN BY: CHECKED BY:
JUJRUJGC JS

SCALE:
1/32*=1-0"

DWG, NO,:

L0.00











PROJECT

PRO

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Ltd. $\wedge M$ 204-1540 W 2ND AVE, VANCOUVER, BC V6J 1H2 T 604.708.0188 KEY PLAN

DP 21-945917 April 25, 2024 Reference Plan

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PROJECT NO
138941

DRAWN BY CHECKED BY
Author
PROJECT MIGR APPROVED BY
Designer Approvar

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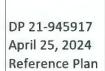
Landa Global Properties

Ltd.

1550 - 200 BURRARO ST.
VANCOUVER, BC, VeG SUS

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KEY PLAN /













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Ltd.

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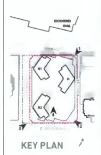
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APNO MATIS ARCHITECTURE 204-1540 W 2NO AVE, YANGOUYER, BC V6J 1HZ T 604 708.0188



DP 21-945917 April 25, 2024 Reference Plan

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PRIME CONSULTANT

PARCADIS

PROJECT

Elmbridge Way

6851-6871 Elmbridge Way
Richmond, BC

Richmond, BC

PROJECT NO
138941

DRAWN 8Y
Author
Checker
PROJECT MGR.
APProve
Approver
Approver



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MARNO MATIS ARCHITECTURE 204-1540 W 2NO AVE, VANCOUVER, BC V4J 1H2 T 604.708.0188

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